



Wednesday, July 15, 2026

DOCUMENT - 2026-264T
Interior and Exterior Renovations at Peel Regional Police 12 Division, 4600
Dixie Road, Mississauga
ADDENDUM NO. 6

Number of Pages: 13

Referring to the above Document 2026-264T - Interior and Exterior Renovations at Peel Regional Police 12 Division, 4600 Dixie Road, Mississauga, please note the following:

1. Bid Closing Date

The closing date has been extended to:

12:00PM noon local time

MONDAY, JULY 20, 2026

2. Clarifications

1. Missing ramp sections have been added on A213, A120_R14, and A211_R14 have been revised for updated detail references.
2. Overlapping tag information of A060_R14 has been corrected.
3. For clarity, Item 2.4 - BB on A060 is limited to the removal of existing raised concrete planter beds only and has been reflected in the attached A060_R14 revision to coincide with the bid form pricing request.
4. The tag on A062 is incorrect and item 2.4 has been revised to 2.5. Additionally, the foundation repair was incorrectly labeled as 2.5 and has been revised to 2.6. Refer to the attached revised A062_R14.

3. Questions and Answers

Question 1:

Please confirm if there are any additional drawings available, such as the Single Line Diagram (SLD). The project is currently issued as Tender Rev. 1, so we would expect there to be more drawings than just the site plan. Please confirm whether the 2P/60A disconnect for the transformer is to be supplied by Eaton.

Answer 1:

All drawings are issued. There are 8 pages in the electrical drawing set, including line diagrams for data and power, and lighting / emergency systems on E-01. It is up to the bidder to familiarize themselves with all information in the bid package.

Question 2:

Would you kindly clarify if cabling for Data/ Communication is in the scope of this contract?

Answer 2:

Data/communications cabling from the outlets indicated on the drawings to the IT room shall be included in the scope of work. The approximate location of the IT room at the basement level is shown on Drawing E-8.

Question 3:

Please clarify whether the supply & installation of Electric Heaters/Hand Dryers is in the scope of work. If yes, please provide the spec/manufacture details of Electric Heaters & Hand Dryers.

Answer 3:

- a. Yes, the supply and installation of the hand dryers and electric heaters are included in the scope of work. Refer to A800.
- b. Hand Dryer: Dyson Airblade V
- c. Electric Heater: Ouellet ORP Series, Model AS-1448, 48 in. × 14 in., 435 W, 208 V, as indicated on Mechanical Drawing M03, Note 1.

Question 4:

In Drawing E-08, it states to provide 2 duplex receptacles as well as one data receptacle for each workstation in the temporary office. How many workstations are there in total at the Temporary Office?

Answer 4:

Three workstations, as shown in dwg E-08.

Question 5:

It seems that there is scope for aluminum panels on the wall and ceiling. Would you please provide clearer details/ drawings which show the accurate area and location where aluminum wall panels and ceiling panels are to be installed?

Answer 5:

The extent includes both walls adjacent the renovated entrance as well as the soffit above. Refer to 02/A300 for extents, A800 for product information, and A400 / A410 for installation details.

Question 6:

Is it possible to consider Nortem cladding panels as an alternative?

Answer 6:

Alternative products will only be reviewed after the contract has been awarded and will be subject to the standard review and approval process. Please proceed based on the products and specifications identified in the tender documents.

Question 7:

There are [11] openings that require fire shutters over the existing window openings. -W03 610x2280 (2 shutters) -W04 406x2280 (3 shutters) -W05 203x2280 (6 shutters). W05 is 254mm wide and W04 is 406mm wide. Please be advised the minimum width a fire shutter can be construction at is 2'8". For the smaller size of window, the common practice is to use fire-resistant glass and ordinary window covering.

Answer 7:

The consultant will review minimum widths based on the manufacturer's selection during shop drawing review, with the understanding that there may be some excess overlap on the walls. Where windows are spaced closely together, a single shutter to cover both windows may be acceptable.

Question 8:

With respect to the \$420,000 cash allowance, can you please confirm whether this amount includes Item CA 2.2 – Temporary Wooden Barrier-Free Ramp, as shown on Drawing A060?

Answer 8:

Confirmed.

Question 9:

Please confirm if we can use native backfill under new ramp/landing as shown on structural drawings S201.

Answer 9:

Refer to drawings notes on B/S201 - "Soil bearing capacity is to be confirmed by a geotechnical consultant prior to placing concrete".

Question 10:

Please provide bottom of footing elevations of existing footings.

Answer 10:

The exact datum of the foundation is an existing condition and is unknown. Basement to ground floor height is 12'-8". Foundations are assumed to be approximately 4" below this datum, so 13'-0" below structural ground floor.

Question 11:

Drawing A060, Note 2.4 states: 'Demolition and removal of existing exterior site work and construction including sidewalks, stairs, and planter beds.' However, the Bid Form on Bid & Tender appears to request pricing only

for the demolition component under Base Bid Item 2.4. Please confirm whether Base Bid Item 2.4 is intended to include: Demolition and removal of the existing exterior site work; and Construction and reinstatement of new sidewalks, stairs, planter beds, and associated site works as indicated on the drawings.

Answer 11:

Regarding Item 2.4 - Refer to Addendum 3, Question #5 & Addendum 5, Question #26. For Clarity, Item 2.4 - BB is limited to the removal of existing raised concrete planter beds only and has been reflected in the attached A060_R14 revision. Costs associated with the ramp construction and sitework should be included as Separate Price S.1.

Question 12:

Note of drawing A101 mentions 'REFER TO BUILDING PLANS AND SECTION DETAILS FOR INFORMATION ON FOUNDATION REPAIR'. Please clarify which plan number and section number it refers to.

Answer 12:

This note refers to A121 and its subsequent detail references.

Question 13:

Section callout 04/A410 on A121 goes through the wall where the asphaltic waterproofing is to be repair. However, section detail 04 on A410 calls shows handrail/guardrail detail. Please provide proper detail.

Answer 13:

Detail callout is incorrect on A121. Disregard 04/A410 and change to 11/A410. This will be revised in the IFC set.

Question 14:

Please clarify what scope is included in BB item 2.8? The labels on the drawings only call out for the SOD restoration and new concrete paving. Is that the only scope to be included in that item?

Answer 14:

The scope of Item 2.8 is reinstatement of the soft landscape (grass) around the perimeter of the building where construction work is occurring.

Question 15:

Some phasing legends on A060 are overlapping and it's difficult to reach the numbers. Can you please fix it so that they can be read clearly.

Answer 15:

Refer to the attached revised A060 (Note, no numbering has changed but overlapping labels have been fixed). Also, description for Item 2.4 has been modified to correspond with pricing item 4 on the Bid Form, Addendum 3 Question #5, & Addendum 5 Question #26.

Question 16:

Referring to Grid Line E on Drawing A060, Base Bid Item 2.5 is indicated to be priced. Does this represent the same scope of work as Item 1.2, but at a different location? If not, please provide the relevant details and/or drawings for this scope of work. In addition, referring to Details S3 + 4 on Drawing A062, Base Bid Item 2.4 is identified at the same location. Could you please confirm whether this is an incorrect tag? Meanwhile, refer to S.3+4 on Drawings A062, Base bid item 2.4 is mentioned in the same location, is this a wrong tag?

Answer 16:

Yes, BB Item 2.5 refers to the same work as Item BB Item 1.2, but at a different location. Refer to Addendum 5, Question #27. And yes, the tag on A062 is incorrect and item 2.4 has been revised to 2.5. Additionally, the foundation repair was incorrectly labeled as 2.5 and has been revised to 2.6. Refer to the attached revised A062_R14.

Question 17:

Please provide Assemblies for legends like 'FL1, FL2, FLx1, etc.'
Architectural Drawings mention to refer 'Floor assemblies' however there are no reference to such assemblies on Project schedules A800.

Answer 17:

All assemblies are listed on A003.

Question 18:

Drawing A120 references Section Detail 03/A210; however, upon review of Drawing A210, Section 03 does not appear to be included. Please clarify the intended section reference and provide the correct drawing/detail number or issue a revised drawing set identifying the applicable section.

Answer 18:

Missing ramp sections have been added on A213. A120_R14, and A211_R14 have been revised for updated detail references.

Question 19:

As per the suppliers, 2P/50A breaker specified for the existing panel PP0 is not available for this application. Could you please advise on an acceptable alternate or confirm how you would like us to proceed?

Answer 19:

The temporary office feeder has been revised from single-phase to three-phase, and the following changes have been made to the temporary power distribution:

- The installation of a new 50A/2P circuit breaker in panel "PP-O" has been deleted from the scope of work.
- An existing 30A/3P circuit breaker in panel "PP-O" shall be used to supply the temporary transformer.
- Provide a 30 kVA, 600 V–120/208 V, 3-phase, 4-wire, NEMA 3R transformer, complete with a primary disconnect, instead of the originally specified 25 kVA transformer.
- The temporary panelboard shall be rated 125 A, 120/208 V, 3-phase, 4-wire, NEMA 3R.

- Provide a 600 V feeder from panel “PP-O” to the transformer primary disconnect. Where the feeder is installed overhead, the conductors shall be supported by an approved messenger-supported aerial cable assembly, such as quadruplex cable. A separate equipment bonding conductor shall also be installed.

Colin Zeng

Senior Procurement Analyst

CONSTRUCTION PHASING LEGEND

CONTRACTOR TO SUBMIT PHASING SCHEDULE FOR APPROVAL PRIOR TO BEGINNING CONSTRUCTION WORK.

THE FACILITY WILL REMAIN FULLY OPERATIONAL THROUGHOUT ALL PHASES OF THE RENOVATION. THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING APPROPRIATE CONSTRUCTION METHODS & SITE HOARDING TO ENSURE UNINTERRUPTED POLICE OPERATIONS. ALL WORK SHALL COMPLY WITH STANDARD WORKING HOURS AND OPERATIONAL PROTOCOLS SPECIFIC TO PEEL REGIONAL POLICE FACILITIES AND BE EXECUTED IN CONSIDERATION OF ONGOING OPERATIONS AND ALL APPLICABLE CODES AND MUNICIPAL STANDARDS.

THIS LIST IS INDICATIVE ONLY AND PROVIDED TO ILLUSTRATE INTENT, TIMING, AND PURPOSE. IT IS NOT EXHAUSTIVE. RESPONSIBILITY FOR IDENTIFYING, REVIEWING AND COORDINATING THE FULL REQUIREMENTS OF ALL DISCIPLINES RESTS WITH THE CONTRACTOR, BASED ON THE COMPLETE DRAWING SETS AND SPECIFICATIONS.

ITEMS NOTES AS [BB] SHALL BE INCLUDED IN THE BASE PRICING. ALL ELSE SHALL BE CONSIDERED AS SEPARATE PRICES. REFER TO A042 & BID FORM FOR MORE INFO.

ITEMS NOTES AS [S.#] SHALL BE INCLUDED UNDER THE ASSOCIATED SEPARATE PRICING ITEM. REFER TO A042 & BID FORM FOR MORE INFO.

ITEMS NOTES AS [CA] SHALL BE INCLUDED UNDER THE ASSOCIATED CASH ALLOWANCE. REFER TO BID FORM FOR MORE INFO.

PHASE 1A - NORTH AND SOUTH EAST CONC. EXIT REMEDIATION & FOUNDATION REPAIR

WORK UNDERTAKEN ON THE THREE EXIT PATHS FROM THE BUILDING MUST BE STAGGERED TO ALLOW FOR CONTINUOUS USE OF EXITS AT ALL TIMES.

REPAIR & RESURFACE ALL EXISTING CONCRETE SIDEWALKS, WALLS, & SLABS AT THE NORTHWEST AND SOUTHWEST AT GRADE EXITS AS SPECIFIED IN BUILDING SCIENCE DRAWINGS.

NOTE: EXITS TO BE MAINTAINED THROUGHOUT CONSTRUCTION IN THIS PHASE. REFER TO HOARDING PLAN FOR MORE INFORMATION. SUPPLY AND INSTALL NEW ELASTOMERIC WATERPROOFING SYSTEM TO WALKABLE SURFACES AS SPECIFIED, SUPPLY AND INSTALL NEW METAL HANDRAILS AND GUARD RAILS AS SPECIFIED AND DETAILED.

EXCAVATE TO DEPTH & STORE FILL ON SITE TO REMOVE EXISTING PARGED INSULATION BOARDS (NON-FACED RIGID INSULATION BELOW AND ASSOCIATED DRAINAGE BOARD TO REMAIN (ASSUMED +/- 450mm), CONTRACTOR TO V.G.) ALONG ENTIRE PERIMETER OF BUILDING. COORDINATE WITH PRP FOR SOIL STORAGE LOCATION.

SUPPLY AND INSTALL HIGH IMPACT NEW CEMENT FACED INSULATION PANELS AND REPLACE GRADE FILL TO EXISTING CONDITION. GRASS TO BE SEEDED WHERE EXCAVATION HAS OCCURRED.

NOTE: FOUNDATION WORK ON SOUTH-EAST FACADE WHERE NEW RAMP AND EXIT PLATFORM TO BE INSTALLED IS TO BE PRICED AND COMPLETED UNDER THE BASE BID SCOPE OF ITEM 1.2.

PHASE 1B - NORTH EXIT REMEDIATION

REPAIR AND RESURFACE ALL EXISTING CONCRETE SIDEWALKS, WALLS, SOFFITS, AND SLABS AT THE WEST RAISED EXIT PLATFORM AS SPECIFIED IN BUILDING SCIENCE DRAWINGS. WORK TO BE CONDUCTED ON BOTH AT GRADE AND BASEMENT PORTIONS OF THE BUILDING IN THIS AREA. ALSO ALLOW FOR REMOVAL AND REINSTALLATION OF EXISTING METAL SOFFIT FOR REPAIR WORK AT UNDERSIDE OF CONCRETE EXIT WALKWAY.

NOTE: PEDESTRIAN AND VEHICLE ACCESS TO THE SALLY PORT, LOADING BAY, AND BASEMENT EXIT TO BE MAINTAINED THROUGHOUT CONSTRUCTION IN THIS PHASE. REFER TO HOARDING PLAN FOR MORE INFORMATION.

SUPPLY AND INSTALL NEW ELASTOMERIC WATERPROOFING SYSTEM TO WALKABLE SURFACES AS SPECIFIED. SUPPLY AND INSTALL NEW METAL HANDRAILS AND GUARD RAILS AS SPECIFIED AND DETAILED.

PHASE 2 - ENTRY RAMP & STAIR CONSTRUCTION

PUBLIC RECEPTION & WASHROOM FACILITIES DURING EXTERIOR EXIT RAMP & EXIT STAIR CONSTRUCTION (DEMOLITION ARE TO BE PROVIDED IN TEMPORARY TRAILER FACILITIES. COORDINATE WITH PEEL REGIONAL POLICE STAFF FOR EXACT LOCATION. (REFER TO A050 SITE PLAN)

CONTRACTOR TO PROVIDE TEMPORARY RECEPTION FACILITIES FOR PUBLIC AND FRONT END FACING PRP STAFF FOR THE DURATION OF CONSTRUCTION OF PHASE 2 AND 3 (THROUGH CASH ALLOWANCE) INCLUDING:

- (1) 26 x 10' PREFABRICATED OFFICE TRAILER C/W HEATING AND COOLING CAPACITY & R-12 WALLS MIN. ALLOW FOR 2'36" WIDE ACCESS DOORS, 2 SLIDING WINDOWS, WORK SPACE FOR 3 OFFICERS AND PUBLIC RECEPTION AREA, DESK FITTINGS AND FIXTURES TO BE FURNISHED BY PRP. REFER TO DETAILS, AND SITE PLAN FOR LOCATIONS.
- (1) 8 x 7' PREFABRICATED SINGLE OCCUPANCY AODA & B.C. COMPLIANT WASHROOM TRAILER C/W HEATING AND COOLING CAPACITY & R-12 WALLS MIN.
- CONTRACTOR TO PROVIDE TEMPORARY DATA AND ELECTRICAL CAPACITY TO BOTH FACILITIES AS REQUIRED FOR CONTINUOUS OPERATION. FED FROM EXISTING ELECTRICAL / IT ROOMS IN BASEMENT. REFER TO ELECTRICAL.

CONTRACTOR TO PROVIDE TEMPORARY WOODEN BARRIER FREE RAMP AT A SLOPE NO GREATER THAN 1:12 AND ASSOCIATED PLATFORM TO RECEPTION & WASHROOM TRAILER W/ FLUSH, NON-SLIP FINISH WALKING SURFACE. (BY ALLOWANCE).

EXISTING OFFICE TO BE REPURPOSED AS TEMPORARY STAFF SERGEANT'S OFFICE DURING RECEPTION AREA DEMOLITION AND RECONSTRUCTION. FIXTURES & EQUIPMENT TO BE PROVIDED BY PRP. CONTRACTOR TO PROVIDE TEMPORARY DATA AND ELECTRICAL CAPACITY AS REQUIRED, AND FED FROM EXISTING ELECTRICAL / IT ROOMS IN BASEMENT. REFER TO ELECTRICAL. (BY ALLOWANCE).

EXISTING STORAGE ROOM TO BE REPURPOSED AS TEMPORARY CELL MONITOR DURING CONSTRUCTION. CONTRACTOR TO PROVIDE TEMPORARY DATA TO CELL MONITORING SYSTEM, AND TEMPORARILY MOUNT DISPLAY BOARD PER PEEL REGIONAL POLICE'S INSTRUCTIONS. REFER TO ELECTRICAL. CONTRACTOR TO PROVIDE DATA AND CABLEING FOR CCTV MONITORING. REFER TO ELECTRICAL.

DEMOLITION & REMOVAL OF EXISTING CONCRETE PLANTER BEDS. REFER TO DEMOLITION PLAN FOR FURTHER DETAILS.

PROVIDE ALL LABOUR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY FOR THE REMEDIATION OF FOUNDATION INSULATION ADJACENT TO THE NEW BARRIER FREE EXIT RAMP AND PROVISION OF NEW PROTECTION BOARD, INCLUDING ALL ASSOCIATED WORK THEREON. NOTE: SHOULD PEEL REGIONAL POLICE ELECT NOT TO PROCEED WITH THE NEW BARRIER FREE ENTRANCE RAMP AND STAIRS (COVERED UNDER SEPARATE PRICE S.1), THE CONTRACTOR IS TO CONSIDER THE FULL EXTENT OF FOUNDATION COVERBOARD REPLACEMENT ITEM 2.3 INCLUDING WALLS IN THE AREAS IMMEDIATELY ADJACENT THE RAMP, TO BE PART OF THE BASE-BID SCOPE AND FULLY COVERED UNDER THIS PRICING ITEM.

CONTRACTOR TO EXCAVATE TO BASEMENT FOOTING DEPTH TO REVEAL DAMAGED AND LEAKING FOUNDATION POINTS. REFER TO BASEMENT CONSTRUCTION PLAN FOR EXTENT, ASSESS AND REPAIR BOTH INTERIOR AND EXTERIOR AS DETAILED AND NOTED. DO NOT DISTURB BEARING SOIL BELOW FOOTING AND RESPECT 7:1 TO OPEN PIT SLOPE DURING EXCAVATION. COORDINATE WITH PRP FOR ACCESS & ACCEPTABLE WORKING HOURS IN STAFF CHANGE ROOM. NOTE: SHOULD PEEL REGIONAL POLICE ELECT NOT TO PROCEED WITH THE NEW BARRIER FREE ENTRANCE RAMP AND STAIRS (COVERED UNDER SEPARATE PRICE S.1), THE CONTRACTOR IS TO CONSIDER THE EXCAVATION, WATERPROOFING, & FOUNDATION REPAIR AND REMEDIATION OF THE BASEMENT WALL (ITEM 2.4) TO BE PART OF THE BASE-BID SCOPE AND FULLY COVERED UNDER THIS PRICING ITEM.

CONSTRUCTION OF NEW C.I.P. CONCRETE SITE WORK INCLUDING SIDEWALK, RAMP, AND EXIT STAIR. SUPPLY AND INSTALL NEW GLASS AND METAL HANDRAILS AND GUARD RAILS AS SPECIFIED AND DETAILED. SUPPLY AND INSTALL NEW FACILE WARNING SURFACES.

PROVIDE ALL LABOUR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY FOR THE REINSTATEMENT OF GRADE FINISH & GRASS LANDSCAPE COVER WHERE WORK FOR ITEMS 1.3, 2.4, 2.5, AND 2.6 HAVE BEEN UNDERTAKEN.

SUPPLY AND INSTALL NEW ALUMINUM METAL PANEL SOFFIT AND CLADDING AT ENTRANCE AS INDICATED IN PLANS AND DETAILS. ALSO COORDINATE WITH ELECTRICAL FOR NEW O.H. LIGHTING.

INTERIOR RECEPTION RENOVATIONS

DEMOLITION OF EXISTING FINISHES AND FIXTURES IN THE RECEPTION AREA, WAITING AREA, STAFF SERGEANT'S OFFICE, PUBLIC WASHROOMS, PARTIAL STAFF CORRIDOR, AND SPRINKLER SYSTEM. REFER TO DEMO & MECH PLANS.

SUPPLY AND INSTALL NEW BALLISTIC GLAZING TO EXTERIOR WINDOW AND FOYER AREA, AND NEW BALLISTIC MESH EMBEDDED DEMISING WALLS AS INDICATED IN CONSTRUCTION PLANS.

CONSTRUCTION OF NEW PUBLIC RECEIVING/WAITING AREA C/W NEW FINISHES AS SCHEDULED. CONSTRUCTION OF NEW UNIVERSAL & STANDARD SINGLE-OCCUPANT PUBLIC WASHROOMS.

CONSTRUCTION OF NEW ELEVATED OFFICER RECEPTION WORK DESKS C/W INTEGRATED BALLISTIC GLAZING AND MESH WITHIN MILLWORK. COORDINATE W/ STRUCTURAL FOR STRUCT. STEEL MOUNTING IN CEILING PLANE AND ELECTRICAL FOR NEW INTEGRATED SECURITY SYSTEM OPERABLE FROM RECEPTION WORK SPACES.

CONTRACTOR TO PROVIDE NEW FACE PLANTS FOR DOOR CONTROL AND DURESS ALARM ANNUNCIATOR PANELS TO REFLECT UPDATED BUILDING LAYOUT. REFER TO ELECTRICAL FOR MORE INFORMATION.

RENOVATION OF EXISTING STAFF SERGEANT'S OFFICE AND ADJACENT STAFF CORRIDOR, INCLUDING C/W NEW FINISHES AS SCHEDULED.

SUPPLY AND INSTALLATION OF INTEGRATED FIRE SHUTTERS IN CEILING PLANE OF EXISTING OFFICES AS NOTED AND REPAIR OF EXISTING ACT CEILING TILES. COORDINATE W/ PRP STAFF FOR ACCEPTABLE WORK HOURS.

1. Copyright of this drawing is reserved by the Architect. The drawing, and all associated documents are instruments of service by the Architect. The drawing, and the information contained therein, may not be reproduced in whole or in part without prior written permission of the Architect.

2. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide engineering certification or supplementary information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

3. Drawings are not to be scaled for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

4. Positions of exposed finishes for mechanical or electrical devices, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing govern over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as "Issued for Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.

7. The Architect of these plans and specifications gives no warranty or representation as to the accuracy of the drawings, documents and the contract documents, the contractor is to promptly notify the architect.

8. Drawings/Specifications "Issued for Construction" are to the best of our knowledge an accurate representation of documented reviews. In the case of any discrepancy, omission or conflict between the "Issued for Construction" documents and the contract documents, the contractor is to promptly notify the architect.

No.	Revision	Date
01	ISSUED FOR BUILDING PERMIT	26.01.12
02	ISSUED FOR NEW INTERNAL TENDER DRAFT REVIEW	26.02.02
03	ISSUED FOR SPAX	26.02.04
07	ISSUED 100% TENDER DRAFT	26.03.27
08	ISSUED FOR TENDER	26.04.10

10	ISSUED FOR SECURITY REVISION	26.05.08
11	RE-ISSUED FOR TENDER	26.05.19
12	RE-ISSUED FOR TENDER	26.06.25
13	RE-ISSUED FOR TENDER	26.07.03
14	RE-ISSUED FOR TENDER	26.07.14

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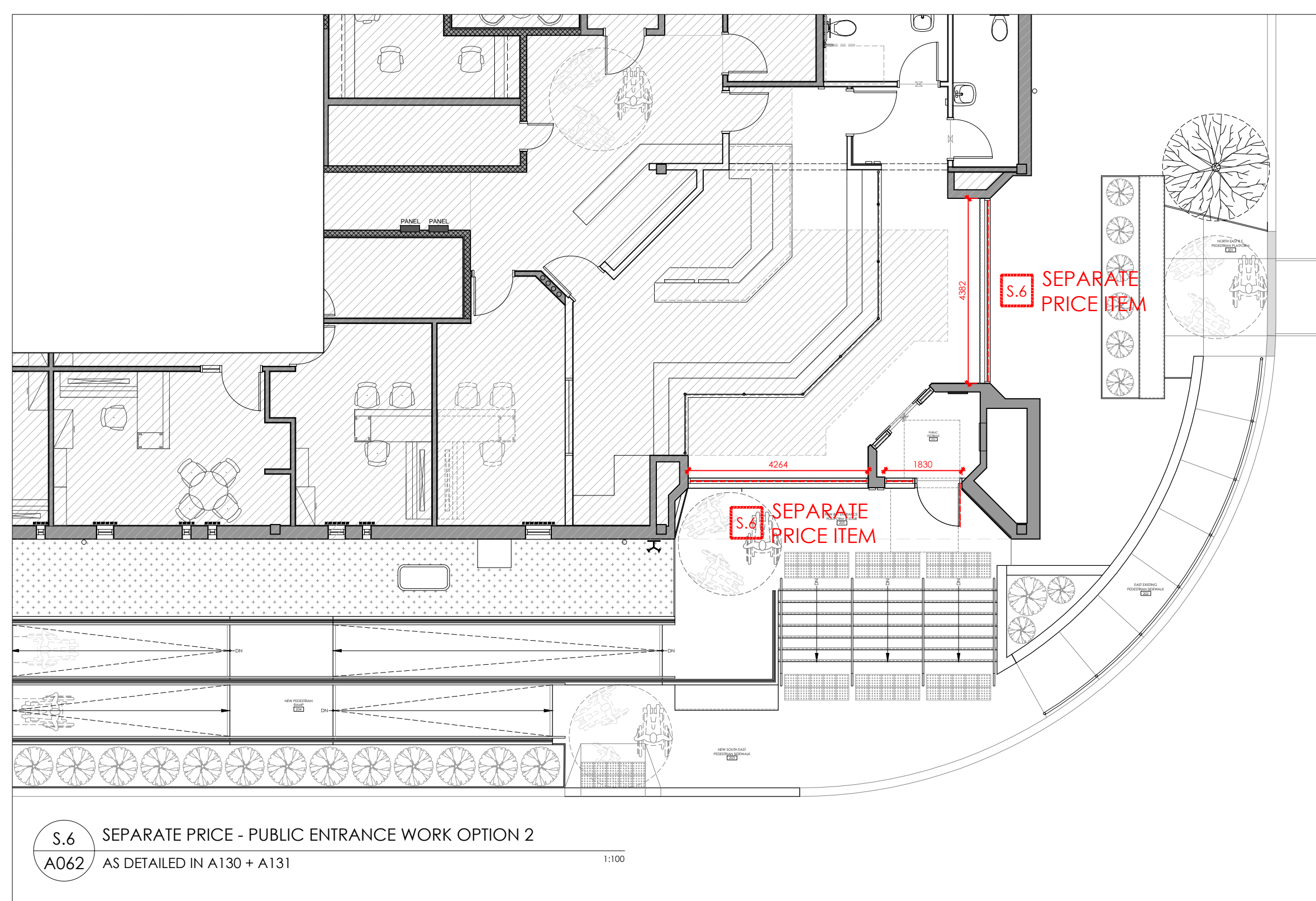
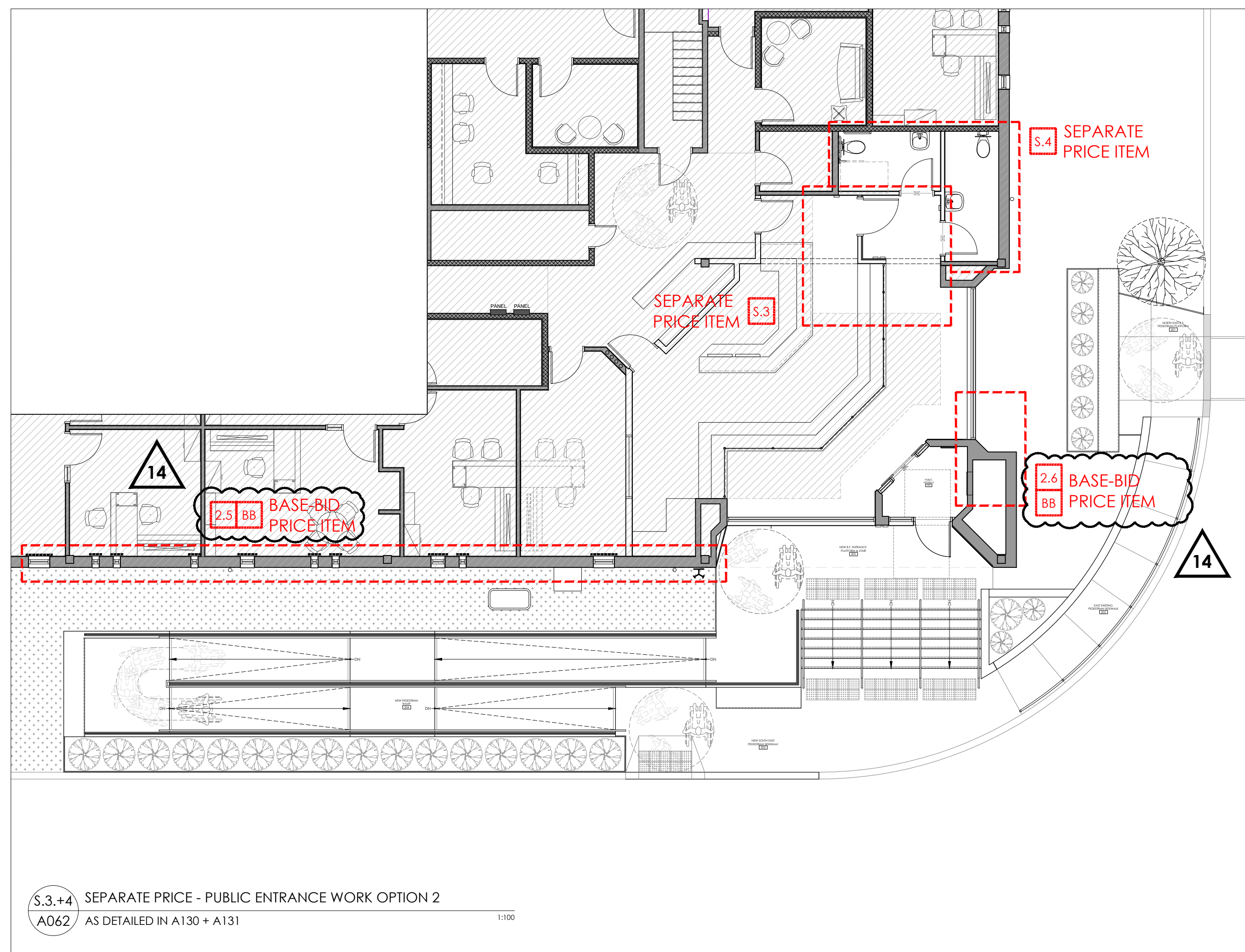


CONSTRUCTION
PHASING PLAN

260512
May 19th, 2026
1:100
MG

project number
set issue date
scale
drawn by
sheet

A060



	CONSTRUCTION PRICING REQUEST LEGEND
	PROVIDE SEPARATE PRICING FOR THE ITEMS IDENTIFIED AS ADDITIONS OR CREDITS TO THE BASE TENDER. SUCH PRICES SHALL INDICATE NET INCREASE OR DECREASE TO THE CONTRACT PRICE AND SHALL BE PROVIDED IN THE TENDER FORM FOR EVALUATION PURPOSES.
	THIS DRAWING IS TO BE READ IN CONJUNCTION WITH A600 PHASE PLAN
	BASE BUILD PRICING ITEMS
B.B	THE BASE BID PRICING AS DETAILED ON A600 SHALL INCLUDE ALL PARTS OF THE FOLLOWING: ITEMS 1.1 - REPAIR AND RESURFACE ALL EXISTING CONCRETE SIDEWALKS, WALLS, AND SLABS AT THE NORTHWEST AND SOUTHWEST AT GRADE EXITS AS SPECIFIED IN BUILDING SCIENCE DRAWINGS. NOTE: EXITS TO BE MAINTAINED THROUGHOUT CONSTRUCTION IN THIS PHASE. REFER TO HOARDING PLAN FOR MORE INFORMATION SUPPLY AND INSTALL NEW ELASTOMERIC WATERPROOFING SYSTEM TO WALKABLE SURFACES AS SPECIFIED. SUPPLY AND INSTALL NEW METAL HANDRAILS AND GUARD RAILS AS SPECIFIED AND DETALLED. ITEMS 1.2 - EXCAVATE TO FLOOR AND STORE FILL ON SITE TO REMOVE EXISTING PARCELED INSULATION BOARDS (NON-FAVED) INSGUL INSULATION BELOW AND DISCONTINUED DRAINAGE (IF ANY) FROM ASSUMED JUMP + 450MM. CONTRAIL NEW V.O.J.J. ALONG ENTIRE PERIMETER OF FOUNDATION. COORDINATE WITH PPRP FOR SOIL STORAGE LOCATION AND CONTRACTOR NEW HIGH IMPACT CEMENT GRAD INSULATION PANELS AND REPLACE GRADE FILL TO EXISTING CONDITION. GRASS TO BE SEEDED WHERE EXCAVATION HAS OCCURRED. NOTE: INTERMEDIATE WORK ON WEST-SOUTH EAST FACADE WHERE NEW RAMP AND EXIT PLATFORM TO BE INSTALLED IS NOT TO BE COMPLETED UNDER THE BASE-BID SCOPE OF ITEM 1.2 ITEM 1.3 - REPAIR AND RESURFACE ALL EXISTING CONCRETE SIDEWALKS, WALLS, PORTIONS, AND SLABS AT THE WEST RAISED EIT PLATFORM AS SPECIFIED IN BUILDING SCIENCE DRAWINGS. WORK TO BE CONDUCTED ON BOTH AT GRADE AND BASEMENT LEVELS. REMOVAL OF EXISTING METAL SAFETY FENCE TO BE REMOVED FOR REMOVAL AND REINSTALLATION OF EXISTING METAL SAFETY FOR REPAIR WORK AT UNDERSIDE OF CONCRETE EXIT WALKWAY. NOTE: PEDESTRIAN AND VEHICLE ACCESS TO THE SALTY POOL, LOADING BAY, AND BASEMENT EIT TO BE MAINTAINED THROUGHOUT CONSTRUCTION IN THIS PHASE. REFER TO HOARDING PLAN FOR MORE INFORMATION. SUPPLY AND INSTALL NEW ELASTOMERIC WATERPROOFING SYSTEM TO WALKABLE SURFACES AS SPECIFIED. SUPPLY AND INSTALL NEW METAL HANDRAILS AND GUARD RAILS AS SPECIFIED AND DETALLED ITEM 2.4 - PROVIDE ALL LABOUR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY FOR THE REMOVAL OF EXISTING BASED CONCRETE PLASTER BEDS. ITEM 2.5 - PROVIDE ALL LABOUR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY FOR THE REMEDIATION OF FOUNDATION INSULATION ADJACENT TO THE NEW BARRIER FREE EIT RAMP AND PROVISION OF NEW PROTECTION BOARD, INCLUDING ALL ASSOCIATED COST THEREON. NOTE: SHOULD FEEL REGIONAL POLICE ELECT NOT TO PROCEED WITH THE NEW BARRIER FREE ENTRANCE RAMP AND STAIRS COVERED UNDER SEPARATE PRICING ITEM 5.1). THE CONTRACTOR TO SELECT EXTENT OF FOUNDATION COVERBOARD REPLACEMENT (ITEM 2.5) INCLUDING WALLS AND AREAS IMMEDIATELY ADJACENT THE RAMP, TO BE PART OF THE BASE-BID SCOPE AND FULLY COVERED UNDER THIS PRICING ITEM. ITEM 2.6 - CONTRACTOR TO EXCAVATE TO BASEMENT FOOTING DEPths TO REVEAL DAMAGED AND LEAKING FOUNDATION. CONTRACTOR TO PROVIDE NEW BASEMENT CONSTRUCTION PLAN FOR EXTERIOR. ASSESS AND REPAIR BOTH INTERIOR AND EXTERIOR AS DETALLED AND NOTED. DO NOT DISTURB BEARING SOIL BELOW FOOTING AND RESULT 7.10 OPEN PIT HOLE DURING CONSTRUCTION. CONTRACTOR TO PROVIDE SAFE ACCESS & ACCEPTABLE WORKING HORNS IN STAFF CHANGE ROOM. NOTE: SHOULD FEEL REGIONAL POLICE ELECT NOT TO PROCEED WITH THE NEW BARRIER FREE ENTRANCE RAMP AND STAIRS COVERED UNDER SEPARATE PRICING ITEM 5.1). THE CONTRACTOR TO CONCEAL THE EXCAVATION, WATERPROOFING, & FOUNDATION REPAIR AND REGRADATION OF THE BASEMENT FLOOR. CONTRACTOR TO BE PART OF THE BASE-BID SCOPE AND FULLY COVERED UNDER THIS PRICING ITEM. ITEM 2.8 - PROVIDE ALL LABOUR, MATERIALS, EQUIPMENT, AND SUPERVISION NECESSARY FOR THE REINSTATEMENT OF GRADE FINISH & GRASS LANDSCAPE COVER WHERE WORK FOR ITEMS 1.3, 2.4, 2.5, AND 2.6 HAVE BEEN UNDERTAKEN.
	SEPARATE PRICING ITEMS
S.1	CONTRACTOR TO PROVIDE SEPARATE PRICING FOR ALL PARTS OF PHASE 2 EXTERIOR RE-CONSTRUCTION WORK TO THE EXISTING EAST MAIN ENTRANCE OF THE FACILITY INCLUDING NEW CONCERTE SLAB, ENTRY RAMP, SIDEWALKS INCLUSIVE OF NEW RAILINGS, GUARDS, AND LANDSCAPE ITEMS. AT THE BOTTOM OF EACH PRICING LISTING IN THE TENDER PACKAGE. A600 ASSOCIATED PLAN ITEMS UNDER THIS SEPARATE PRICE SCOPE SHALL INCLUDE: ITEM 2.7, AND ITEM 2.9
S.2	CONTRACTOR TO PROVIDE SEPARATE PRICING FOR ALL PARTS OF PHASE 2 INTERIOR RE-CONSTRUCTION WORK TO THE EXISTING INTERIOR RECEPTION AREA OF THE FACILITY, INCLUDING CONSTRUCTION OF THE NEW RECEPTION AREA AND PUBLIC LOBBY AS DETALLED AND DOCUMENTED IN THE DESIGN PACKAGE. CONTRACTOR TO PROVIDE NEW FACE PLATES FOR DOOR CONTROL AND DURRESS ALARM ANNUNCIATOR PANELS TO REFLECT UPDATED FIRE LAZOR. REFER TO ELECTRICAL FOR MORE INFORMATION. PRICING TO BE INCLUSIVE OF SUPPLY AND INSTALLATION OF ALL SETBACK AND POSTING COULDING TO THE TENDER PACKAGE. A600 ASSOCIATED PLAN ITEMS UNDER THIS SEPARATE PRICE SCOPE SHALL INCLUDE: ITEM 2.3, AND ITEMS 3.1 - 3.6 A600 ASSOCIATED CASH ALLOWANCE ITEMS UNDER THIS SEPARATE PRICE SCOPE SHALL INCLUDE: ITEM 2.2, AND ITEM 2.2.1
S.3	CONTRACTOR TO PROVIDE SEPARATE PRICING FOR PARTIAL INTERIOR RE-CONSTRUCTION ON A130 AND A131 INCLUDING - PARTIAL DEMOLITION OF RECEPTION DESK TO ALLOW FOR EXPANDED SECURE ENTRY DOOR - CONSTRUCTION OF NEW STUD PARTITION WALL - SUPPLY AND INSTALL NEW HOLLOW METAL DOOR AND FRAME C/W - PUSH TO OPEN CONTROLLED ENTRY SYSTEM C/W CONTROLS AT OFFICER RECEPTION WORK STATION - INTERAL STAIRA SYSTEM - BARRIER FREE ACCESSIBLE PUSH BUTTONS - ELECTRIC STRAP - AUTOMATIC DOOR CLOSER WHERE PARTIALLY REMOVED, REPAIR EXISTING RECEPTION DESK EDGES W/ VENEER MATERIAL TO MATCH ADJACENT FINISH SUPPLY AND INSTALL NEW RUBBER BASEBOARD TO MATCH ADJACENT FINISH PAINT TO MATCH ADJACENT FINISH REPAIR CEILING AND FLOOR FINISHES WHERE NEW DOOR AND WALL MEET EXISTING SURFACES
S.4	CONTRACTOR TO PROVIDE SEPARATE PRICING TO INCLUDE REMEDIATION OF EXISTING TWO (2) INTERIOR SHOWROOMS SHOW WORK ORDERS PROVIDED WITH OPTION 2 INTERIORS. ASSUME: - REMOVAL OF ALL FINISHES AND RESTORE AREA TO DRYWALL SUBSTRATE / STRUCTURAL FLOOR / ALL EXISTING PLUMBING FIXTURES AND ENDS & TEMPORARY CAP OF SANITARY AND PLUMBING LINES - RECONSTRUCTION OF NEW WALL AND FLOOR FINISHES WITH CONGRUIT ITEMS AS REQUIRED ON ABOVE - REPLACEMENT OF ALL EXISTING PLUMBING FIXTURES AND FITTINGS WITH CONGRUIT ITEMS AS SCHEDULED ON ABOVE INCLUDING THE FOLLOWING: [PCT1] FLOOR PLUMBING TO BE REPLACED C/W SCHLUTER TRANSITION TO EXISTING [PCT4] WALL TILE TO 4'x 4' A.F.F. [PT1] PAINT FINISH ABOVE TO CEILING [PCT] BASEBOARD - CONTRACTOR TO ASSUME ALL THE SAME PLUMBING FIXTURES AND QUANTITIES AS INDICATED ON ABOVE PLUMBING TO BE REPLACED TO BE MATCHED TO EXISTING - EXISTING DOOR AND CEILING TO REMAIN THROUGHOUT
S.5	CONTRACTOR TO PROVIDE ALTERATIVE PRICE [ADDITION] TO REPLACE EXPOSED EXTENT OF (LCS) 50MM CEMENT FASCE RIGID INSULATION AT THE PERIMETER OF THE BUILDING WITH LIGHTWEIGHT MASONRY UNITS & ASSOCIATED MOUNTING SYSTEM 19mm (3/4") GUARDED LIMSTONE VENEER (ASSUME ADORN MASONRY UNIT BY ARRESKRAFT - SEALED CONCRETE IN SIZE 3 METRIC ADORN: 290 mm x 90 mm x 90 mm) - INSTALL ANCHORED NICKEL SILVER VENEER TE & MECHANICALLY FASTENED TO EXISTING CMU WALL - NO CONTINUOUS AIR CAVITY 50MM RIGID EPS INSULATION TO PLACE TO EXISTING FOUNDATION. - INC. 50mm faced EPS REPLACEMENT From 100mm above floor, GRADE TO 450mm below GRADE - REPAIR AND/OR REPLACE EXISTING FOUNDATION DRAINAGE BOARD IF DAMAGED WHERE INTERESTING WITH THE DETAIL
S.6	SHOULD FEEL REGIONAL POLICE OPT NOT TO PROCEED WITH THE WORK ASSOCIATED WITH PHASE 2 INTERIOR RE-CONSTRUCTION, CONTRACTOR TO SUPPLY AND INSTALL S140 GLAZED ALUM ON ALL LOBBY GLAZING, INCLUDING W01, W02, W04, AND EXISTING SUNDAY SCREENED DOOR D1010.
	ASSUME SECURITY FILM COVERAGE AREA TO MATCH SIZE OF DOORS AND WINDOWS NOTED ABOVE IN PROJECT SCHEDULES. REFER TO A600. PROVIDE SAY \$140 SECURITY FILM BY 3M WITH THE FOLLOWING SPECIFICATIONS: - THE FILM MATERIAL SHALL CONSIST OF AN OPTICALLY CLEAR POLYESTER FILM WITH A DURABLE ABRASION RESISTANT COATING OVER ONE SURFACE AND A UV STABILIZED PRESURE SENSITIVE ADHESIVE ON THE OTHER - IMPACT PROTECTION RATING EMBE 11816 - I/E194 - NA - FOR DOUBLE HANE HAVE A NOMINAL THICKNESS OF 14 MILS (0.014 INCHES) - THE FILM SHALL BE EMBE TO THE SURFACE TO BE PROTECTED BY ORDER OF 98% - THE FILM SHALL HAVE AN APPLICATION

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3. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the interpretation of these documents by the Contractor. Upon written application the Architect will provide written/specific clarification or supplementary information regarding the intent of the Contract Documents. The Architect reserves Shop Drawings submitted by the Contractor for design coordination only.

3. Drawings are not to be used for construction. The Contractor is to verify all existing conditions and dimensions required to perform the work and report any discrepancies with the Contract Documents to the Architect before commencing any work.

4. Positions of exposed fasteners for mechanical or electrical devices, fitting and fixtures are indicated on architectural drawings. The location shown on the architectural drawing governs over the mechanical and electrical drawings. Those items not clearly located will be located as directed by the Architect.

5. These drawings are not to be used for construction unless noted below as "Issued for Construction".

6. All work is to be carried out in conformance with the Code and Bylaws of the Authorities having jurisdiction.

7. The Architect's design plans and specifications gives no warranty or representation to any party about the constructability of the building(s) represented by them. All contractors or subcontractors must satisfy themselves when bidding and at all times ensure that they can properly construct the work represented by these plans.

8. Drawings/Specifications "Issued for Construction" are to the best of our knowledge an accurate representation of documented revisions. In the case of any discrepancy, omission or conflict between the "Issued for Construction" documents and the contract documents, the contractor is to promptly notify the architect.

No.	Revision	Date
01	ISSUED FOR BUILDING PERMIT	26.01.02
02	ISSUED FOR PRELIM INTERNAL TENDER DRAFT REVIEW	26.05.19
03	ISSUED FOR RFP	26.02.04
07	ISSUED 100% TENDER DRAFT	26.03.27
08	ISSUED FOR TENDER	26.04.10
10	ISSUED FOR SECURITY REVISION	26.05.08
11	RE- ISSUED FOR TENDER	26.05.19
12	RE- ISSUED FOR TENDER	26.06.25
13	RE- ISSUED FOR TENDER	26.07.03
14	RE- ISSUED FOR TENDER	26.07.14

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True North

Project North

project

client

PEEL REGIONAL POLICE
DIVISION 12 - INTERIOR &
EXTERIOR RENOVATIONS

4600 Dixie Road,
Mississauga, ON L4W 2R1

THE REGIONAL
MUNICIPALITY OF PEEL

PEEL REGIONAL
POLICE

ALTERNATE PRICING
REQUESTS

250512

May 19th, 2026

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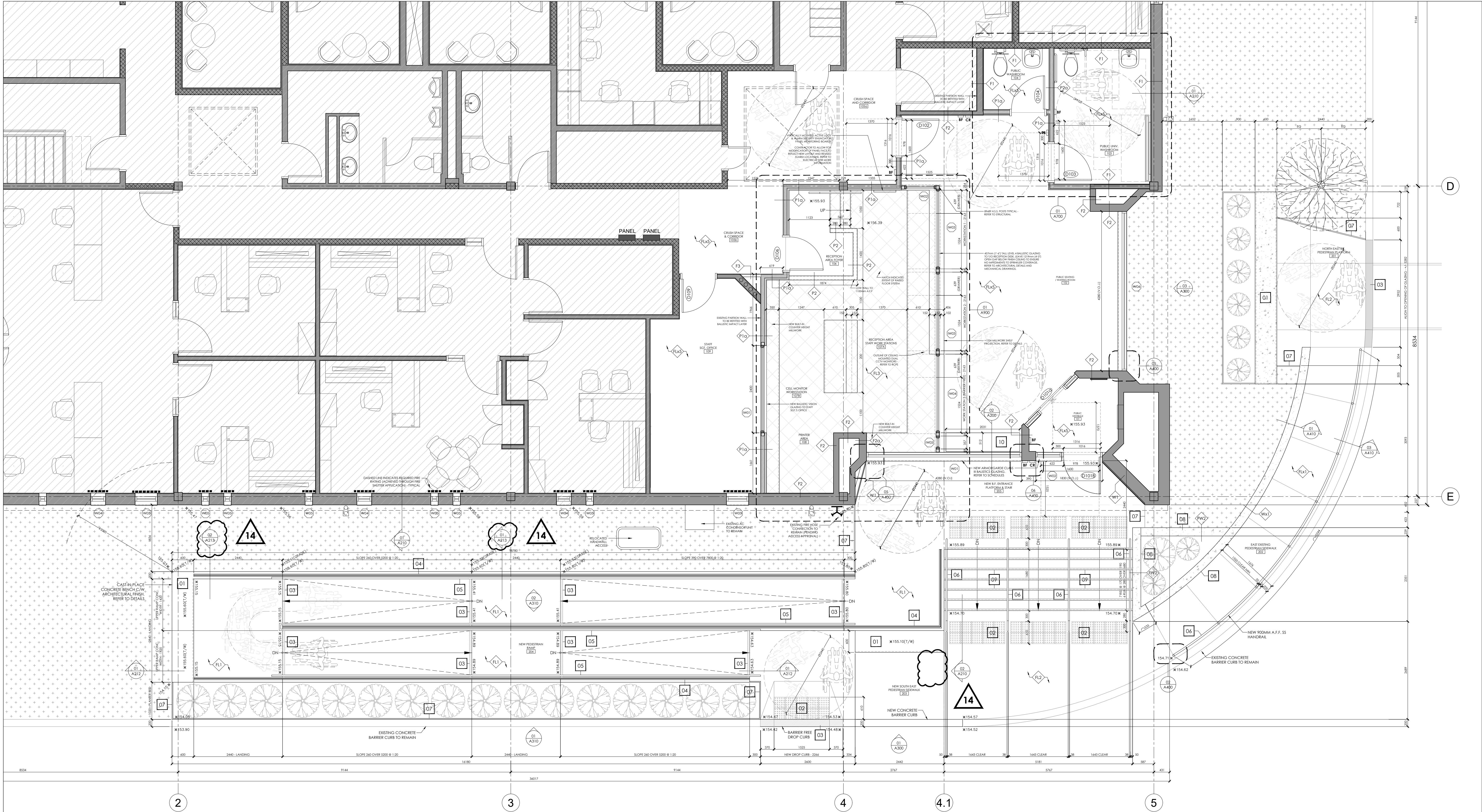
project number

set issue date

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drawn by

shub



FLOOR PLAN LEGEND			FLOOR PLAN ACCESSIBILITY NOTES		FLOOR PLAN GENERAL NOTES	DRAWING NOTES
EXISTING WALLS AND PARTITIONS TO REMAIN. CONTRACTOR TO PROTECT DURING DEMOLITION. TYPES VARY. REFER TO SCHEDULES EXISTING BLOCK MASONRY WALLS AND PARTITIONS TO REMAIN. CONTRACTOR TO PROTECT DURING DEMOLITION. NEW WALL / PARTITION CONSTRUCTION DENOTES GLAZING REQUIRING NEW INTERIOR FIRE SHUTTER SYSTEM. REFER TO DETAILS DENOTES ASSEMBLY CONTAINING ACOUSTIC BATT INSULATION W/P WALL TYPE TAG - SEE WALL ASSEMBLIES FL FLOOR TAG - SEE FLOOR ASSEMBLIES W WINDOW TAG - SEE FRAME SCHEDULE. NO CHANGES TO EXTERIOR WINDOWS D DOOR TAG - SEE DOOR SCHEDULE	UP / DOWN ARROW STAIR INFORMATION AND ORIENTATION 154.70 FLOOR HEIGHT (mm) FINISH ROOM # ROOM NAME AREA (SQ. FEET) ROOM NAME AND NET AREA A ELEVATION AND DIRECTION RAISED FLOOR SYSTEM - REFER TO DETAILS EXISTING CONCRETE RETAINING WALL TO RECEIVE NEW CONCRETE PAVING. REFER TO DETAILS AND BUILDING SCIENCE DRAWINGS EXISTING FLOATING CONCRETE STRUCTURAL SLAB TO RECEIVE ELASTOMERIC COATING FINISH. REFER TO BUILDING SCIENCE DRAWINGS	EXISTING CONCRETE SLAB ON GRADE TO RECEIVE ELASTOMERIC COATING FINISH. REFER TO BUILDING SCIENCE DRAWINGS COLOR CONTRASTING TREAD NOSING & EDGE BANDING AT CURB, STAIR TREAD AND RAMP LOCATIONS AS INDICATES. REFER TO DETAILS METAL TACTILE SURFACE INDICATORS EXPOSED IN CONCRETE SURFACE. REFER TO SCHEDULES AND INSTALLATION PER MANUFACTURER'S INSTRUCTIONS HATCH DENOTES EARTHEN BACKFILL / NATIVE SOIL FILL HATCH DENOTES SEEDED GRASS / SOFTSCAPE	PATH OF TRAVEL 1. ALL CORRIDOR WITHIN BARRIER FREE PATHS OF TRAVEL TO BE 1100mm CLEAR MINIMUM PER C.B.C. 2. ALL EGRESS STAIRS TO MAINTAIN A CLEAR WIDTH OF 1100mm BETWEEN WALL GUARDS OR GUARD AND WALL FACE. A MINIMUM IF ONE STAIR EDGE TO RECEIVE A HANDRAIL AT 800mm A.F.F. GROUND & FLOOR SURFACES 1. VERTICAL CHANGES IN LEVEL ALLOWED UP TO 8mm. 2. CHANGES IN LEVEL 6-13mm MUST BEVELLED AT NO MORE THAN A 1:2 RATIO. 3. CHANGES IN LEVEL 13mm OR GREATER ARE TO BE TREATED AS A RAMP. UNOBSTRUCTED TURNING RADII 1. ALL REQUIRED TURNING RADII TO BE 2400mm DIAM. MINIMUM PER MISSISSAUGA FACILITY ACCESS DESIGN STANDARDS (AS INDICATED) BUILDING ENTRANCES 1. PUBLIC ENTRANCES IN POLICES STATIONS ARE TO COMPLY TO 4.5.8 + 4.5.9 MISSISSAUGA FADS 2. WHERE DOORS ARE NOT ALIGNED, ALLOW 1325 MM TURNING RADIUS	PUBLIC USE DOORWAYS & DOORS LATCH SIDE DOORS - FRONT APPROACH 1. MIN. PULL SIDE CLEAR AREA = 1800 WIDTH x 1525 DEPTH. 600MM LATCH CLEARANCE 2. MIN PUSH SIDE CLEAR AREA = 1920 WIDTH x 1370 DEPTH. 300MM LATCH CLEARANCE NEW SLIDING DOORS: 1. MIN. FRONT APPROACH CLEAR AREA = 1550 WIDTH x 1370 DEPTH. 300MM LATCH CLEARANCE BOTH SIDES 2. MIN. SIDE APPROACH CLEAR AREA = 2150 WIDTH x 1370 DEPTH. 600MM LATCH CLEARANCE BOTH SIDES ACCESSIBLE RAMPS 1. SLOPES NO STEEPER THAN 1:15 (6.7%) 2. MAX. CROSS SECTIONAL SLOPE NO MORE THAN 1:50 (2%) 3. ALL LANDINGS TO BE LEVEL, INCLUDING 2400mm CLEAR TURNING RADII AT TOP AND BOTTOM OF RAMP 4. HAVE A MAXIMUM LENGTH OF 8.0M 5. INCLUDE 45-60MM COLOR CONTRASTING BARS AT TOP AND BOTTOM OF SLOPED AREAS 6. CIRC COMPLIANT GUARD RAILS TO A MINIMUM HEIGHT OF 1070mm WHERE VERTICAL CHANGE IN GRADE IS GREATER THAN 600MM 6.1. BOTTOM HORIZONTAL BAR OF GUARD RAIL TO BE NO HIGHER THAN 30MM FROM FINISH GRADE WHERE CURB NOT PROVIDED	FLOOR PLAN GENERAL NOTES 1. PROVIDE TYPE 'X' GYPSUM WALLBOARD PER SPECIFICATIONS ON ALL INDICATED WALLS AS PER F.B.E. PLAN 2. PROVIDE MOISTURE RESISTANT GYPSUM WALLBOARD PER SPECIFICATIONS IN ALL WASHROOMS 3. PROVIDE ABUSE RESISTANT GYPSUM WALLBOARD IN ALL PUBLIC CORRIDORS, LOBBIES AND VESTIBULES 4. ENCLOSE ALL EXPOSED DUCTS, PIPES, CONDUITS, ETC. ... IN FINISHED SPACES WITH CONSTRUCTION AND FINISH TO MATCH ADJACENT CONSTRUCTION UNLESS OTHERWISE NOTED. 5. PROVIDE ACCESS PANELS OF APPROPRIATE SIZE, TYPE AND FIRE RATING FOR ALL CONCEALED ITEMS THAT REQUIRE ADJUSTMENT, MAINTENANCE, MONITORING, ETC ... COORDINATE LOCATION WITH ARCHITECT OR APPROPRIATE CONSULTANT 6. CONSTRUCT FIRE AND OR SMOKE RATED ASSEMBLIES IN THEIR ENTIRETY TO US OF STRUCTURAL ABOVE PRIOR TO NON RATED ASSEMBLIES 7. REFER TO STRUCTURAL DRAWINGS FOR ALL RETROFIT TO EXISTING STRUCTURAL ELEMENTS 8. REFER TO STRUCTURAL DRAWINGS FOR THICKNESS OF JOIST ELEMENTS, SUB-FLOOR AND ALL REQUIRED REINFORCING.	DRAWING NOTES 01 NEW CAST IN PLACE CONCRETE SEATING W/ CC-2 FINISH. REFER TO STRUCTURAL DETAILS 02 NEW METAL TACTILE SURFACE INDICATOR (TWS) CAST IN CONCRETE SURFACE 03 NEW COLOUR 50MM CONTRASTING EDGE BANDING FINISH TREATMENT. PAINT (PTG) AT STAIR RAMPS AND CAST TREAD NOSING AND STAIRS (SN) 04 NEW 180MM ACY FLOOR MOUNTED DRY APPLIED GLASS GUARD RAIL ON SBS SHOE W/ 38MM DIAMETER METAL HANDRAIL (MT2), MOUNTED AT 800mm A.F.F. REFER TO DETAILS AND ELEVATIONS 05 NEW 38MM DIAMETER MT2 METAL HAND RAIL FACE MOUNTED TO GLASS GUARD AT 800MM A.F.F. REFER TO DETAILS AND ELEVATIONS 06 NEW 38mm DIAMETER MT2 METAL HAND RAIL SURFACE MOUNTED TO EXISTING CONCRETE SIDEWALK TO 800MM A.F.F. REFER TO DETAILS AND ELEVATIONS 07 METAL LANDSCAPE RETAINING EDGE (MT3) TO 300MM BELOW GRADE 08 NEW AND REPAIRED WALL SURFACE FINISHING (PAR), FULLY WRAPS ALL EXTERIOR SURFACES INCLUDING TOP. REFER TO BUILDING SCIENCE FOR REPAIR INFORMATION 09 NEW WOODSTIR TYPE 2 STAGE STAIR NOSING (SN1) CAST IN CONCRETE TREAD. TYPICAL 10 NEW 510mm X 200mm FREESTANDING WRITING DESK BY CONTRACTOR. 38mm SOLD SURFACE ON STAINLESS STEEL FRAME WITH FINISHES TO MATCH ADJACENT MILLWORK FINISHES

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No.	Revision	Date
01	ISSUED FOR BUILDING PERMIT	26.01.12
02	ISSUED FOR NEW INTERNAL TENDER DRAFT REVIEW	26.02.02
03	ISSUED FOR SPAX	26.02.04

06	ISSUED FOR BUILDING PERMIT	26.03.25
TASK CORRECTIONS		
07	ISSUED 100% TENDER DRAFT	26.03.27
08	ISSUED FOR TENDER	26.04.10
09	ISSUED FOR BUILDING PERMIT	26.05.07
TASK CORRECTIONS		
10	ISSUED FOR SECURITY REVISION	26.05.08
11	RE-ISSUED FOR TENDER	26.05.19
12	RE-ISSUED FOR TENDER	26.06.25
13	RE-ISSUED FOR TENDER	26.07.03
14	RE-ISSUED FOR TENDER	26.07.14



True North
Project North

PEEL REGIONAL POLICE
CONSTRUCTION PLANS -
DIVISION 12 - INTERIOR &
EXTERIOR RENOVATIONS

4800 Dixie Road,
Mississauga, ON L4W 2R1

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CONSTRUCTION PLANS -
ENLARGED GROUND FLOOR &
SITE WORK

project number
260512

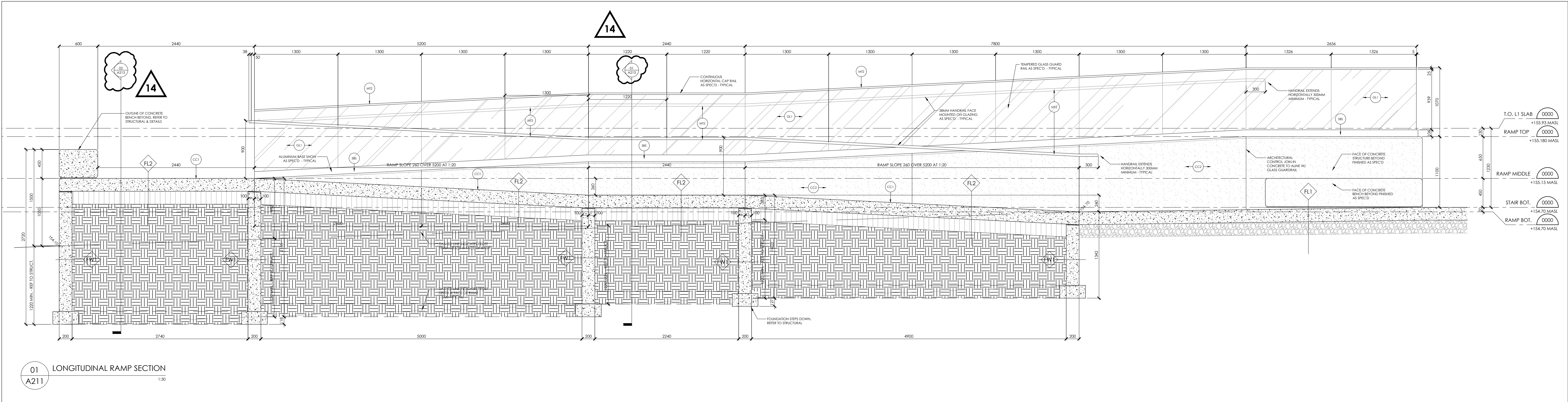
May 19th, 2026

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MG

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A120



No. Revision Date

01	ISSUED FOR BUILDING PERMIT	26.01.12
02	ISSUED FOR NEW INTERNAL TENDER DRAFT REVIEW	26.02.02
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12	RE-ISSUED FOR TENDER	26.06.25
13	RE-ISSUED FOR TENDER	26.07.03
14	RE-ISSUED FOR TENDER	26.07.14

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True North Project North

PEEL REGIONAL POLICE project
DIVISION 12 - INTERIOR & EXTERIOR RENOVATIONS

4800 Dixie Road,
Mississauga, ON, L4W 2R1 client

THE REGIONAL MUNICIPALITY OF PEEL

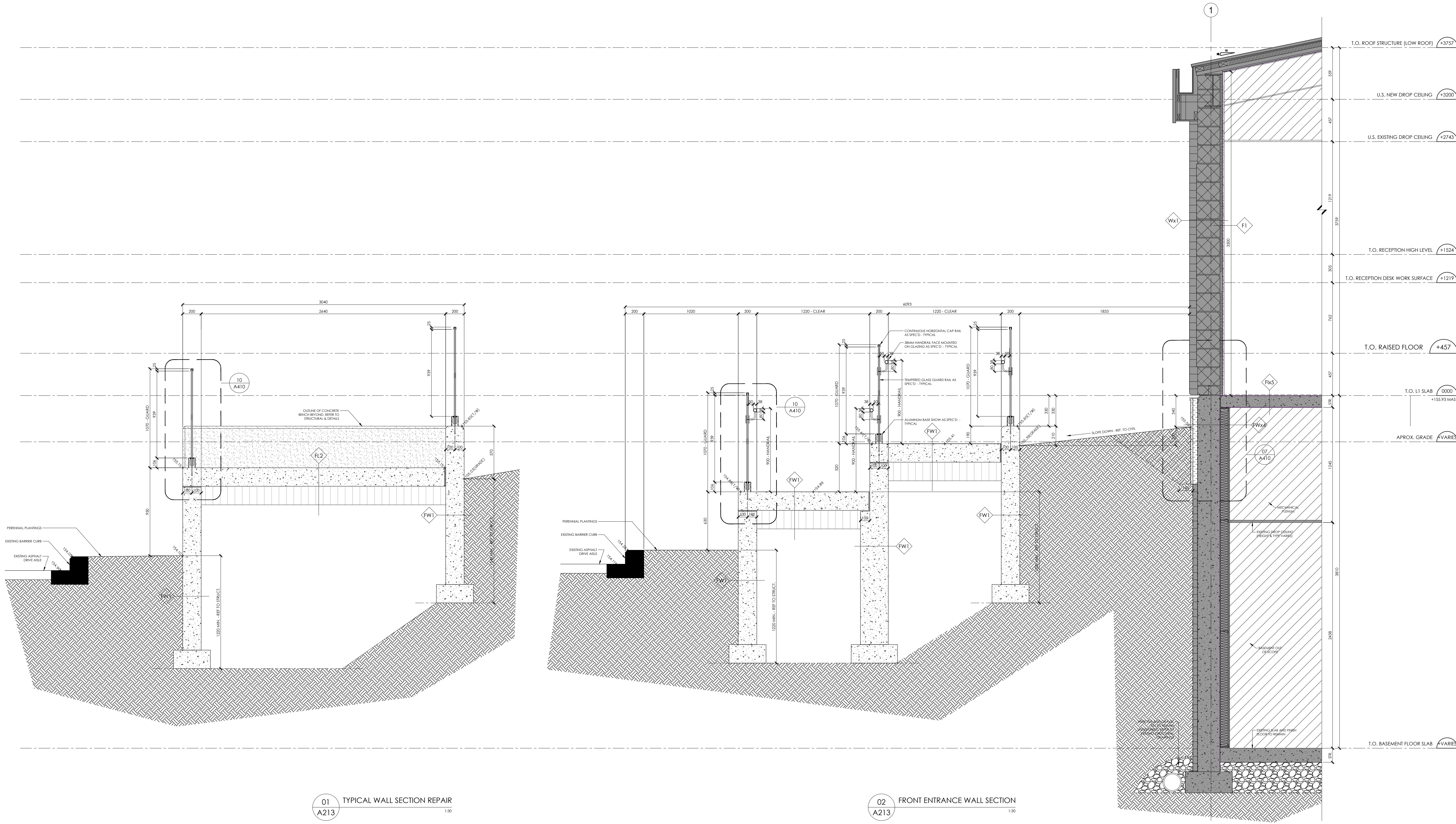
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156

RAMP SECTIONS

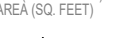
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A211



01 TYPICAL WALL SECTION REPAIR
A213 1:30

02 FRONT ENTRANCE WALL SECTION
A213 1:30

SECTION LEGEND			DRAWING NOTES					
	EXISTING WALLS AND PARTITIONS TO REMAIN. CONTRACTOR TO PROTECT DURING DEMOLITION. TYPES VARY. REFER TO SCHEDULES	ROOM # ROOM NAME AREA (SQ. FEET) AREA (SQ. FEET)  ELEVATION AND DIRECTION  RAISED FLOOR SYSTEM - REFER TO DETAILS  WALL FINISH TAG - REFER TO SCHEDULES		HATCH DENOTES EXTENT OF NEW CONCRETE (SECTION CUT)				
	EXISTING BLOCK MASONRY WALLS AND PARTITIONS TO REMAIN. CONTRACTOR TO PROTECT DURING DEMOLITION.			HATCH DENOTES EXTENT OF NEW CONCRETE IN ELEVATION				
	NEW WALL / PARTITION CONSTRUCTION			HATCH DENOTES EXTENT OF NATIVE SOIL				
	DENOTES GLAZING REQUIRING NEW INTERIOR FIRE SHUTTER SYSTEM. REFER TO DETAILS			HATCH DENOTES EXTENT OF COMPRESSIBLE VOID FORM				
	DENOTES ASSEMBLY CONTAINING ACOUSTIC BATT INSULATION			HATCH DENOTES EXTENT OF GRAVEL FILL				
	WALL TYPE TAG - SEE WALL ASSEMBLIES			HATCH DENOTES EXTENT OF GLASS IN ELEVATION				
	FLOOR TAG - SEE FLOOR ASSEMBLIES			HATCH INDICATES EXTENT OF AREA OUTSIDE OF PROJECT SCOPE				
	WINDOW TAG - SEE FRAME SCHEDULE. NO CHANGES TO EXTERIOR WINDOWS							
	DOOR TAG - SEE DOOR SCHEDULE							