



University of Toronto

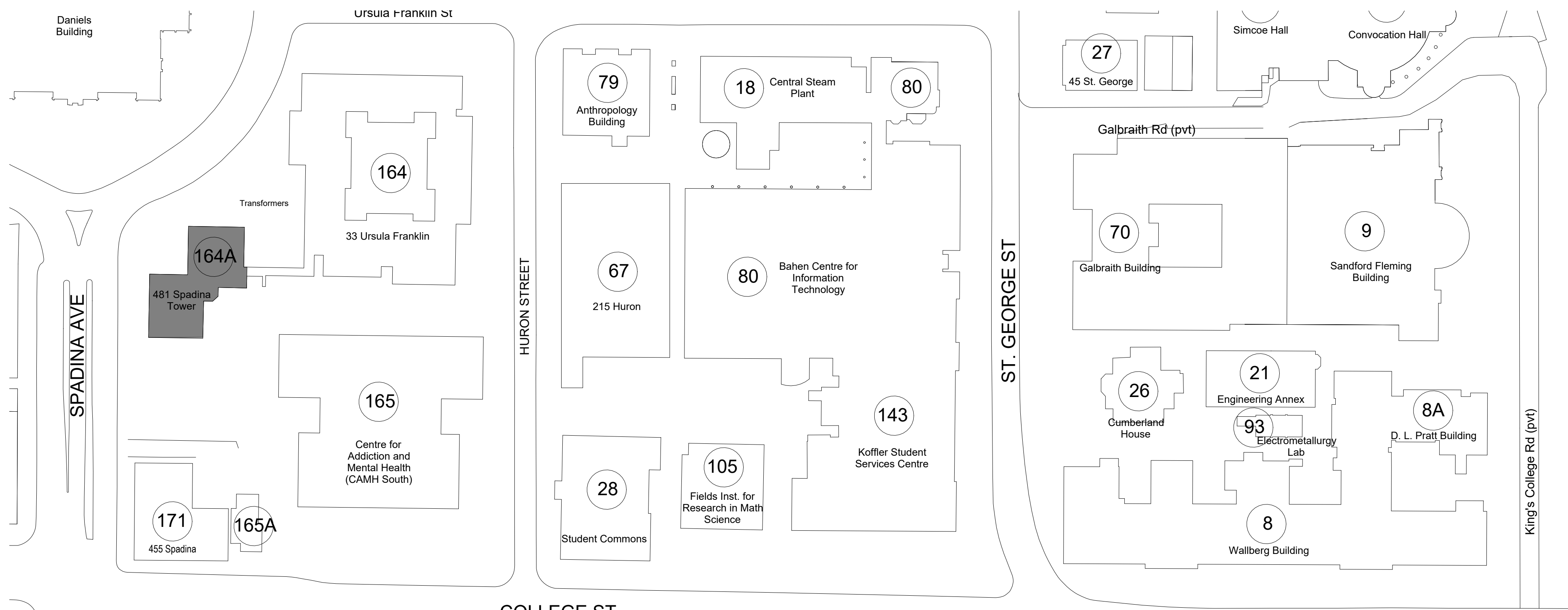
Tower FOI Relocation

481 Spadina Ave  
P164-25-078

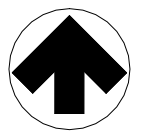
ISSUED FOR TENDER  
2026-01-21

BUILDING STATISTICS

SHEET LIST



1 CAMPUS PLAN  
A000 1:1000



CONTEXT PLAN

AREA OF WORK PLANS

ARCHITECTURAL	
SHEET NUMBER	SHEET NAME
A000	COVER SHEET
A001	ORD. MATRIX, ASSEMBLY TYPES AND ABBREVIATIONS
A002	LIFE SAFETY PLANS
A002	LEVEL 2 FLOOR FINISH PLAN
A023	LEVEL 3 FLOOR FINISH PLAN
A024	LEVEL 4 FLOOR FINISH PLAN
A027	LEVEL 7 FLOOR FINISH PLAN
A032	LEVEL 2 PAINTING PLAN
A033	LEVEL 3 PAINTING PLAN
A034	LEVEL 4 PAINTING PLAN
A037	LEVEL 7 PAINTING PLAN
A102	LEVEL 2 DEMOLITION PLAN
A103	LEVEL 3 DEMOLITION PLAN
A104	LEVEL 4 DEMOLITION PLAN
A107	LEVEL 7 DEMOLITION PLAN
A112	LEVEL 2 DEMOLITION RCP
A113	LEVEL 3 DEMOLITION RCP
A114	LEVEL 4 DEMOLITION RCP
A117	LEVEL 7 DEMOLITION RCP
A200	BASEMENT NEW CONSTRUCTION PLAN
A201	LEVEL 1 NEW CONSTRUCTION PLAN
A202	LEVEL 2 NEW CONSTRUCTION PLAN
A203	LEVEL 3 NEW CONSTRUCTION PLAN
A204	LEVEL 4 NEW CONSTRUCTION PLAN
A206	LEVEL 6 NEW CONSTRUCTION PLAN
A207	LEVEL 7 NEW CONSTRUCTION PLAN
A222	LEVEL 2 NEW RCP
A223	LEVEL 3 NEW RCP
A224	LEVEL 4 NEW RCP
A227	LEVEL 7 NEW RCP
A801	MILLWORK DETAILS
A901	DOOR SCHEDULE AND DETAILS

ELECTRICAL	
SHEET NUMBER	SHEET NAME
E101	ELECTRICAL LEGEND, DRAWING LIST, KEY PLANS & CAMPUS MAP
E102	ELECTRICAL & COMMUNICATION SPECIFICATIONS
E202	LEVEL 2 FLOOR PLAN - ELECTRICAL DEMOLITION LAYOUT
E203	LEVEL 3 FLOOR PLAN - ELECTRICAL DEMOLITION LAYOUT
E204	LEVEL 4 FLOOR PLAN - ELECTRICAL DEMOLITION LAYOUT
E207	LEVEL 7 FLOOR PLAN - ELECTRICAL DEMOLITION LAYOUT
E212	LEVEL 3 FLOOR PLAN - LIGHTING DEMOLITION LAYOUT
E213	LEVEL 3 FLOOR PLAN - LIGHTING DEMOLITION LAYOUT
E214	LEVEL 4 FLOOR PLAN - LIGHTING DEMOLITION LAYOUT
E217	LEVEL 7 FLOOR PLAN - LIGHTING DEMOLITION LAYOUT
E302	LEVEL 2 FLOOR PLAN - NEW ELECTRICAL LAYOUT
E303	LEVEL 3 FLOOR PLAN - NEW ELECTRICAL LAYOUT
E304	LEVEL 4 FLOOR PLAN - NEW ELECTRICAL LAYOUT
E307	LEVEL 7 FLOOR PLAN - NEW ELECTRICAL LAYOUT

ELECTRICAL	
SHEET NUMBER	SHEET NAME
E312	LEVEL 2 FLOOR PLAN - NEW LIGHTING LAYOUT
E313	LEVEL 3 FLOOR PLAN - NEW LIGHTING LAYOUT
E314	LEVEL 4 FLOOR PLAN - NEW LIGHTING LAYOUT
E317	LEVEL 7 FLOOR PLAN - NEW LIGHTING LAYOUT
E401	ELECTRICAL ELEVATIONS
E501	DEMOLITION & NEW SINGLE LINE DIAGRAMS
E502	PANEL SCHEDULES
E503	COMMUNICATION DETAILS
E504	ELECTRICAL RACEWAY ROUTING & SECURITY LAYOUT

MECHANICAL	
SHEET NUMBER	SHEET NAME
M101	MECHANICAL LEGEND, DRAWING LIST, KEY PLANS & CAMPUS MAP
M102	MECHANICAL SPECIFICATIONS
M110	MECHANICAL SCHEDULES, DETAILS AND CONTROL
M220	SECOND FLOOR PLAN - PLUMBING & DRAINAGE EXISTING AND REMOVAL
M221	SECOND FLOOR PLAN - PLUMBING & DRAINAGE NEW WORK
M270	SEVEN FLOOR PLAN - PLUMBING & DRAINAGE EXISTING AND REMOVAL
M271	SEVEN FLOOR PLAN - PLUMBING & DRAINAGE NEW WORK
M311	GROUND FLOOR PLAN - HVAC NEW WORK
M321	SECOND FLOOR PLAN - HVAC NEW WORK
M331	THIRD FLOOR PLAN - HVAC NEW WORK
M340	4TH FLOOR PLAN - HVAC EXISTING AND REMOVAL
M341	4TH FLOOR PLAN - HVAC NEW WORK
M370	7TH FLOOR PLAN - HVAC EXISTING AND REMOVAL
M371	7TH FLOOR PLAN - HVAC NEW WORK

PROJECT TEAM

Architect:  
U OF T Design & Engineering

Structural Engineer:  
N/A

Mechanical Engineer:  
U OF T Design & Engineering

Electrical Engineer:  
U OF T Design & Engineering

Civil Engineer:  
N/A

SEAL

DRAWING NUMBER

A000

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Form Name: University of Toronto - Design & Engineering Department Certificate of Practice Number: 250 McCaul Street, 4th Floor Toronto, Ontario M5T 1W7 1-416-978-2688 The Certificate of Practice Number The Number is the holder's BC2N Name of the Project: Tower FOI Relocation Location: 481 Spadina Ave., Toronto, ON		The architect retains all the copyright responsible control with respect to design activities. The architect's seal number is the architect's BC2N.	
Item	Ontario Building Code Data Matrix Parts 3 & 9	OBC Reference Reference is to Division 2 unless noted (A) for Division A or (C) for Division C.	
1	Project Description: <input type="checkbox"/> Change of Use <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration	<input checked="" type="checkbox"/> Part 11 11.1 to 11.4	<input checked="" type="checkbox"/> Part 3 1.1.2 (A) 9.10.1.5
2	Major Occupancy(s) Group D (Office)	3.1.2.1 (1)	9.10.2
3	Building Area (m <sup>2</sup> ) Existing: 815 New: 0 Total: 815	1.4.1.2 (A)	1.4.1.2 (A)
4	Gross Area (m <sup>2</sup> ) Existing: 5,510 New: 0 Total: 5,510	1.4.1.2 (A)	1.4.1.2 (A)
5	Number of Storeys Above grade: 2 Below grade: 1	1.4.1.2 (A) & 3.2.1.1	1.4.1.2 (A) & 9.10.4
6	Number of Storeys Per Floor: 2	3.2.1.2 & 3.2.1.5	9.10.30
7	Building Classification: D	3.2.2.20 - 83	9.10.2
8	Separation System Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor area EXISTING - NO CHANGE <input type="checkbox"/> basement <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> not required	3.2.2.20 - 83 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 3.2.1.5 3.2.2.17 INDEX
9	Standpipe required: EXISTING - NO CHANGE	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.9
10	Fire Alarm required: EXISTING - NO CHANGE	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.4
11	Water Service Supply is Adequate: EXISTING - NO CHANGE	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.5.7
12	High Building: EXISTING - NO CHANGE	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	3.2.6
13	Construction Restrictions: <input type="checkbox"/> Combustible permitted <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible required <input type="checkbox"/> Non-combustible	<input type="checkbox"/> Both 3.2.2.20 - 83	9.10.6
14	Mechanics Area (m <sup>2</sup> ): N/A	3.2.1.1 (C) - (8)	9.10.4.1
15	Occupant Load based on: <input checked="" type="checkbox"/> m <sup>2</sup> /person <input type="checkbox"/> design of building Basement Levels: 1st Floor: Occupancy: D Load: EXISTING - NO CHANGE - persons 2nd Floor: Occupancy: D Load: EXISTING - NO CHANGE - persons 3rd Floor: Occupancy: D Load: EXISTING - NO CHANGE - persons 4th Floor: Occupancy: D Load: EXISTING - NO CHANGE - persons 5th Floor: Occupancy: D Load: EXISTING - NO CHANGE - persons 6th Floor: Occupancy: D Load: EXISTING - NO CHANGE - persons 7th Floor: Occupancy: D Load: EXISTING - NO CHANGE - persons	3.1.1.7	9.10.1.3
16	Barrier-free Design: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain: EXISTING - NO CHANGE)	3.9	9.5.2
17	Hazardous Substances: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No (Explain: EXISTING - NO CHANGE)	3.3.1.2 & 3.3.1.10	9.10.1.3 (4)
18	Required Fire Resistance Rating (FRR): Horizontal Assemblies: FRR (hours): Floors: 2 Hours Roof: 0 Hours Mechanical: N/A Hours FRR of Supporting Members: Floors: 2 Hours Roof: 0 Hours Mechanical: N/A Hours	3.2.2.20 - 83 & 3.2.1.4 or Description (SG-2) 3.10.9	9.10.8 9.10.9
19	Spatial Separation - Construction of Exterior Walls: Wall: Area of EEP (m <sup>2</sup> ): L.D. (m): L.R. or L.L.: Permitted Max. % of Opening: Proposed % of Opening: FRR (hours): Listed Design or Description: Comb. Const: Comb. Const. Min. Cladding: Non-comb. Const.	3.2.2.1.1 (C)	
20	Plumbing Future Requirements: Occupant Load: Basement: EXISTING - NO CHANGE 1st Floor: EXISTING - NO CHANGE 2nd Floor: EXISTING - NO CHANGE 3rd Floor - 7th Floor: EXISTING - NO CHANGE TOTAL:	Occupant Load: BC Table Number: Fixtures Required: Fixtures Provided: 3.2.3.1.1 (C) - Part 3 3.2.3.1.1 (C) - Part 9	Building Code Reference 3.2.3.1.1 (C) - Part 3 3.2.3.1.1 (C) - Part 9

Item	Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building	OBC Ref.
11.1	Existing Building Classification: Describe Existing Use: Construction Index: Hazard Index: DS: Not Applicable (no change of major occupancy)	11.2.1 11.2.1.1A 11.2.1.1B 6.1N
11.2	Alterations to Existing Building is: <input checked="" type="checkbox"/> Basic Renovation <input type="checkbox"/> Extensive Renovation	11.3.3.1 11.3.3.2
11.3	Reduction in Performance Level: Structural: By Increase in Occupant Load: By Change of Major Occupancy: Plumbing: Sewage System:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.4	Compensating Construction: Structural: By Increase in Occupant Load: By Change of Major Occupancy: Plumbing: Sewage System:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5

PARTITION TYPES				
TAG	CONSTRUCTION	F.R.R.	S.T.C.	DESCRIPTION
P1				16mm GYPSUM BOARD 50mm STEEL STUD EXTEND TO US EXISTING CEILING 50mm NON-COMBUSTIBLE SEMI-RIGID ACOUSTIC INSULATION 16mm GYPSUM BOARD EXTEND TO US EXISTING CEILING

FURRING TYPES				
TAG	CONSTRUCTION	F.R.R.	S.T.C.	DESCRIPTION
F1				16mm GWS ON 92mm STEEL STUD EXTEND TO US EXISTING CEILING

CEILING TYPES				
TAG	CONSTRUCTION	F.R.R.	S.T.C.	DESCRIPTION
C1				45mm EXISTING SUSPENDED PREFIN. MTL. SUPPORT CHANNELS SUSPENDED FROM STRUCTURE 22mm NEW METAL FURRING CHANNEL 16mm NEW GWS 19mm NEW CEILING TILE (305mm x 305mm) ADHERED TO GWS LAYER ABOVE  • FASTEN NEW HAT CHANNELS TO EXISTING SUPPORT CHANNELS. • ENSURE GRID PATTERN ALIGNS WITH EXISTING • ENSURE EXPOSED FACE OF NEW CEILING TILES ALIGNS WITH ADJACENT EXISTING CEILING TILES
C2				45mm EXISTING SUSPENDED PREFIN. MTL. SUPPORT CHANNELS SUSPENDED FROM STRUCTURE 22mm EXISTING METAL FURRING CHANNEL 45mm EXISTING GWS 19mm NEW CEILING TILE (305mm x 305mm) ADHERED TO EXISTING GWS LAYER ABOVE  • REFER TO DETAILS 21401 & 11401 • ENSURE GRID PATTERN ALIGNS WITH EXISTING • ENSURE EXPOSED FACE OF NEW CEILING TILES ALIGNS WITH ADJACENT EXISTING CEILING TILES
C3				610 x 1220 ACOUSTIC CEILING TILE  PROVIDE PERIMETER TRIM AT EDGES FOR SUPPORT.  • REFER TO DETAIL 31401 • ENSURE GRID PATTERN ALIGNS WITH EXISTING • ENSURE EXPOSED FACE OF NEW CEILING TILES ALIGNS WITH ADJACENT EXISTING CEILING TILES
C4				610 x 1220 ACOUSTIC CEILING TILE (SQUARE)  • INSTALLED IN EXISTING GRID SUSPENSION SYSTEM LOCATED ON LEVEL 2 OR LEVEL 7 • ALLOW FOR 5% REPLACEMENT OF DAMAGED EXISTING TILES
C5				610 x 610 ACOUSTIC CEILING TILE (RECTULAR)  • INSTALLED IN EXISTING GRID SUSPENSION SYSTEM LOCATED ON LEVEL 2 • ALLOW FOR 5% REPLACEMENT OF DAMAGED EXISTING TILES
C6				610 x 610 ACOUSTIC CEILING TILE (SQUARE)  • INSTALLED IN EXISTING GRID SUSPENSION SYSTEM LOCATED ON LEVEL 7 • ALLOW FOR 5% REPLACEMENT OF DAMAGED EXISTING TILES

GENERAL NOTES PERTAINING TO ALL DRAWINGS:	
1. DO NOT SCALE THE DRAWINGS. VERIFY ALL CONDITIONS AND ALL DIMENSIONS IN THE FIELD AND NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCY BETWEEN DRAWINGS AND EXISTING CONDITIONS.	
2. AREA OF WORK DENOTED ON THE DRAWINGS IS PROVIDED FOR GENERAL GUIDANCE PURPOSES ONLY. WORK MAY BE REQUIRED OUTSIDE OF THE AREA DENOTED TO CONNECT WITH EXISTING SYSTEMS, SERVICES ETC.	
3. CONTRACTOR TO COMPLETE DEMOLITION IN ACCORDANCE WITH CURRENT REGULATIONS, CODES, LAWS AND AUTHORITIES HAVING JURISDICTION.	
4. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (ISSR) FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES. REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.	
5. PRIOR TO TENDER CALL CONTRACTOR TO VISIT THE SITE AND ASCERTAIN TO THEIR OWN SATISFACTION ALL EXISTING CONDITIONS PERTAINING TO THIS CONTRACT.	
6. CONTRACTOR TO MAINTAIN EXISTING ACCESS TO EXITS WIDTHS TO MEET MINIMUM CODE REQUIREMENTS.	
7. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION TO COMPLETE THE PROJECT AND FOR COORDINATING AND SCHEDULING DEMOLITION WITH DESIGNATED DISTANCES REMOVALS TO SUIT THE PROJECT SCHEDULE. REFER TO DESIGNATED SUBSTANCES REPORTS.	
8. CONTRACTOR TO PREVENT MOVEMENT OR SETTLEMENT OF EXISTING ADJACENT STRUCTURAL ELEMENTS.	
9. CONTRACTOR TO COORDINATE DEMOLITION WORK WITH ALL DISCIPLINES. CONTRACTOR TO CONSULT WITH ARCHITECT, PRIOR TO DEMOLITION, IF SCOPE OF WORK IS UNCLEAR OR IN DOUBT. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FURTHER INFORMATION.	
10. GENERAL TRADES: CONTRACTOR SHALL CHASE, BORE, DRILL OR SAW-CUT WALLS AND FLOORS FOR OPENINGS, TRENCHING AND MAKING GOOD AS REQUIRED BY MECHANICAL AND ELECTRICAL TRADES. ALSO REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR RELATED GENERAL TRADES WORK.	
11. CONTRACTOR TO ASCERTAIN THE LOCATION OF ANY SERVICES BURIED IN FLOOR SLABS PRIOR TO CUTTING AND OBTAIN CONSULTANTS APPROVAL BEFORE WORK COMMENCES.	
12. CONTRACTOR TO MAKE ALL NECESSARY INQUIRIES TO DETERMINE LOCATION OF ANY EXISTING SERVICES INCLUDING BUT NOT LIMITED TO HYDRO, TELEPHONE, WATER, GAS, SEWER AND CABLE.	
13. CONTRACTOR TO OPEN UP EXISTING WALLS OR CEILINGS AS REQUIRED TO COMPLETE MECHANICAL AND ELECTRICAL WORKS. CONTRACTOR TO MAKE GOOD EXISTING FINISHES ON COMPLETION OF THE WORK, UNLESS NOTED OTHERWISE ON THE DRAWINGS. FOR DIMENSIONS OF OPENINGS FOR NEW MECHANICAL AND ELECTRICAL WORK, REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.	
14. CONTRACTOR TO REMOVE ALL AFFECTED ITEMS OF FURNITURE, MILLWORK & EXISTING WALL-MOUNTED ITEMS AS NOTED ON THE DRAWINGS. CONTRACTOR SHALL ASK APPROVAL FROM U.O.F.T. REPRESENTATIVE BEFORE DISPOSING OF REMOVED ITEMS. MATERIALS & ITEMS THAT WILL NOT BE DISPOSED OF SHALL BE TAKEN BY CONTRACTOR TO THE STORAGE AREA DESIGNATED BY THE U.O.F.T. REPRESENTATIVE.	
15. CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF DEMOLISHED MATERIAL, EXCEPT WHERE NOTED OTHERWISE.	
16. CONTRACTOR TO PROVIDE NEW OPENINGS IN WALLS AS NOTED. REFER TO DOOR SCHEDULE.	
17. CONTRACTOR TO PROVIDE EXISTING FINISHES TO REMAIN AND ADJACENT AREAS DURING CONSTRUCTION.	
18. CONTRACTOR TO INFILL ANY OPENINGS REMAINING AFTER MECHANICAL, ELECTRICAL, OR OTHER ELEMENTS ARE DEMOLISHED. MATERIALS AND FINISH OF INFILL TO MATCH EXISTING. INFILL TO PROVIDE FIRE RESISTANCE RATING TO MATCH THE EXISTING SEPARATION.	
19. LOCATION OF MECHANICAL AND ELECTRICAL ROUTING IS APPROXIMATE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE SURE THE ABOVE-MENTIONED DOES NOT INTERFERE WITH EXISTING CONDITIONS BEFORE CONSTRUCTION COMMENCES. COORDINATE WITH ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF FIXTURES, GRILLES, ACCESS HATCHES ETC.	
20. CONTRACTOR TO VERIFY ON SITE THAT ALL MECHANICAL AND ELECTRICAL WORKS SHOWN CAN BE INSTALLED BEFORE CONSTRUCTION COMMENCES.	
21. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES. MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.	
22. CONTRACTOR TO PROVIDE ACCESS HATCHES AS REQUIRED TO ACCESS AND/OR SERVICE MECHANICAL/ELECTRICAL EQUIPMENT. FINAL LOCATION OF ALL ACCESS HATCHES IN DRYWALL OR PLASTER CEILINGS TO BE REVIEWED ON SITE WITH ARCHITECT PRIOR TO INSTALLATION.	
23. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.	
24. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT WALLS AND DRYWALL/PLASTER CEILINGS WITHIN CONSTRUCTION AREA, ALL NEW DRYWALL, UNLESS OTHERWISE NOTED. WALLS AND DRYWALL/PLASTER CEILINGS IN AREAS AFFECTED BY CONSTRUCTION.	
25. CONTRACTOR TO PROVIDE PRE-CASTED FLYWOOD SUPPORTS FOR WALL-MOUNTED MECHANICAL AND ELECTRICAL WORKS. COORDINATE WITH MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.	
26. CONTRACTOR TO PROVIDE ADEQUATE BLOCKING AND NECESSARY SUPPORT INSIDE WALLS AND CEILING BULKHEADS FOR ALL WALL-MOUNTED MILLWORK ITEMS, DOORS, EQUIPMENT AND ACCESSORIES, ETC.	
27. ALL MATERIALS SPECIFIED ARE TO BE INSTALLED, FINISHED, AND SEALED IN ACCORDANCE WITH THE MANUFACTURERS APPROVED RECOMMENDATIONS AND SPECIFICATIONS.	
28. THE CONTRACTOR IS RESPONSIBLE FOR THE SUPPLY AND INSTALLATION OF ANY MATERIALS NOT SPECIFICALLY DRAWN OR DESCRIBED BUT REASONABLY IMPLIED AND NECESSARY FOR COMPLETION OF THE WORK WITHOUT ADDITIONAL COSTS UNDER THIS CONTRACT.	
29. CONTRACTOR TO REPLACE ALL DAMAGED ACOUSTICAL CEILING SYSTEMS DISTURBED BY THE WORK OF THIS CONTRACT. REPAIR AND ADJUST ACOUSTICAL CEILING SYSTEM AS REQUIRED TO ACCOMMODATE CHANGES INCLUDING BUT NOT LIMITED TO WALL LOCATION, EXISTING AND NEW, MECHANICAL AND ELECTRICAL ITEMS, AND WORK STATION POWER POLES. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS.	
30. DUST PROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT-RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE OBC.	
31. ALL DIMENSIONS SHOWN ARE TAKEN TO FINISHED FACE OF WALL UNLESS OTHERWISE NOTED.	
32. ENSURE CONTINUITY OF AIR, MOISTURE AND VAPOUR TRANSITIONS TO ADJACENT ENVELOPE COMPONENTS (TYP)	

ABBREVIATIONS			
ACT	ACUSTIC CEILING TILE	FON	FOUNDATION
ADO	AUTO-DOOR OPERATOR	FEC	FIRE EXTINGUISHER
AF	ABOVE FINISH FLOOR	FCC	FIRE EXTINGUISHER
AHU	AIR HANDLING UNIT	FFL	FINISH FLOOR LEVEL
ALUM	ALUMINUM	FHC	FIRE HOSE CABINET
ANOD	ANODIZED	FIN	FINISH
BETW	BETWEEN	FIXT	FIXTURE
BF	BARRIER-FREE	FLO	FLOOR
BLDG	BUILDING	FIO	FACE OF
BLK	BLOCK	FPR	FIRE PROTECTION RATING
BO	BOTTOM OF	FRR	FIRE RESISTANCE RATING
BPG	BACK PAINTED GLASS	GA	GAUGE
BR	BRICK	GLV	GALVANIZED
BSMT	BASEMENT	GB	GRAB BAR
BUR	BUILT-UP ROOFING	GC	GENERAL CONTRACTOR
CA	CASH ALLOWANCE	GL	GLASS
CB	CATCH BASIN	GWB	GYPSUM WALL BOARD
CG	CORNER GUARD	GWS	GEORGIA WIRE GLASS
CH	CHART	HC	HOLLOW CORE
CHT	CHANGE TABLE	HD	HAND DRYER
CJ	CONTROL JOINT	HWD	HARDWOOD
CL	CENTRELINE	HM	HOLLOW METAL
CLG	CEILING	HPC	HIGH PERFORMANCE
CLR	CLEAR	HT	HEIGHT
CMU	CONCRETE MASONRY UNIT	HV	HIGH VOLTAGE
COL	COLUMN	HVC	HIGH VOLTAGE CABLE
CONC	CONCRETE	HVAC	HEATING, VENTILATING & AIR CONDITIONING
CORR	CORRIDOR	INSUL	INSULATION
CP	CEILING PANEL	INT	INTERIOR
CPT	CARPET	INT	INTERIOR
CPT	CARPET TILE	INSUL	INSULATION
CR	CARD READER	JAN	JANITOR
CT	CERAMIC TILE	JT	JOINT
CW	COMPLETE WITH	LAV	LAVATORY
DEMO	DEMOLISH	LH	LEFT HAND
DET	DETAIL	LIN	LINOLEUM
DF	DRINKING FOUNTAIN	LIT	LIGHTING
DIA	DIAMETER	LVT	LUXURY VINYL TILE
DIG	DIAGONAL	FLOORING	FLOORING
DM	DIMENSION	MDF	MEDIUM DENSITY FIBREBOARD
DIV	DIVISION	MECH	MECHANICAL
DN	DOWN	MEL	MELAMINE
DR	DOOR	MC	MICROPHONE
DS	DOWNSPOUT	MIR	MIRROR
DW	DRYWALL	MIR	MIRROR
DWG	DRAWING	MISC	MISCELLANEOUS
DWS	DRAWINGS	N.O.	NOT IN CONTRACT
EJ	EXPANSION JOINT	NC	NOT IN CONTRACT
EL	ELEVATION	NTS	NOT TO SCALE
ELEV	ELEVATION	OC	ON CENTRE
ELEC	ELECTRICAL	OH	OVERHEAD
ENG	ENGINEER	OS	OUTSIDE
ENGINEERING	ENGINEERING	OWS	OPEN WEB STEEL JOIST
EPDM	ETHYLENE PROPYLENE	PA	PUBLIC ADDRESS SYSTEM
EPS	DIENE M-C-CLASS ROOFING	PC	PRECAST
EQ	EQUAL	PCT	PORCELAIN TILE
EQUIP	EQUIPMENT	PLAM	PLASTIC LAMINATE
EVTR	ELEVATOR	PLYWD	PLYWOOD
EXIST	EXISTING	PREFAB	PREFABRICATED
EXT	EXTERIOR	PREFN	PREFINISHED
FA	FIRE ALARM	PT	PAINT
FD	FLOOR DRAIN	PTN	PARTITION
FDGB	FOLD-DOWN GRAB BAR	PVC	POLYVINYL CHLORIDE
		QTY	QUANTITY
		RA	RETURN AIR
		R8	RESILIENT BASE
		RCP	REFLECTED CEILING PLAN
		RD	ROOF DRAIN
		REF	REFER TO
		REOD	REQUIRED
		REV	REVISION
		RF	ROOM FINISH SCHEDULE
		RFS	ROOM FINISH SCHEDULE
		RH	RIGHT HAND
		RM	ROOM
		RTU	ROOFTOP UNIT
		RWL	RAIN WATER LEADER
		S	SINK
		SCD	SEAT COVER DISPENSER
		SCHED	SCHEDULE
		SD	SOAP DISPENSER
		SEM	SEMI
		SN	SEE NOTE
		SND	SANITARY NAPKIN
		SNO	SANITARY NAPKIN
		SPR	SPEAKER
		SSM	SOLID SURFACE MATERIAL
		SSTL	STAINLESS STEEL
		STL	STEEL
		STD	NATURAL STONE
		STRUC	STRUCTURAL
		SU	STAIN & VITRUMANE
		SUSP	SUSPENDED
		TEMP	TEMPORARY
		TERR	TERRAZZO
		T&G	TONGUE & GROOVE
		TIO	TOP OF
		TOC	TOP OF CONCRETE
		TOS	TOP OF STEEL
		TUMR	TILE TO MIRROR
		TPO	TOILET PAPER DISPENSER
		TV	TELEVISION
		TY	TYPICAL
		ULC	UNDERWRITERS
		ULR	UNDERWRITERS
		US	UNDERBASE
		VAT	VINYL ASBESTOS TILE
		VCB	VINYL COMPOSITE TILE
		VCT	VINYL COMPOSITE TILE
		VEST	VESTIBULE
		VF	VERIFY IN FIELD
		VN	VENT
		W	WITH
		WO	WITHOUT
		WC	WATER CLOSET
		WD	WOOD
		WP	WOOD PANEL
		WR	WASHROOM
		WV	WOOD VENEER



University of Toronto

UNIVERSITY PLANNING,  
DESIGN & CONSTRUCTION

Design & Engineering

255 McCaul Street, 4th Floor, Toronto, Ontario M5T 1W7

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5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR PRELIMINARY REVIEW	2026-01-16
3	ISSUED FOR PERMIT	2026-01-14
2	ISSUED FOR ID	2025-11-07
1	ISSUED FOR 100% SD	2025-09-23
REV	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE	UNIVERSITY OF TORONTO
TOWER FOI RELOCATION	

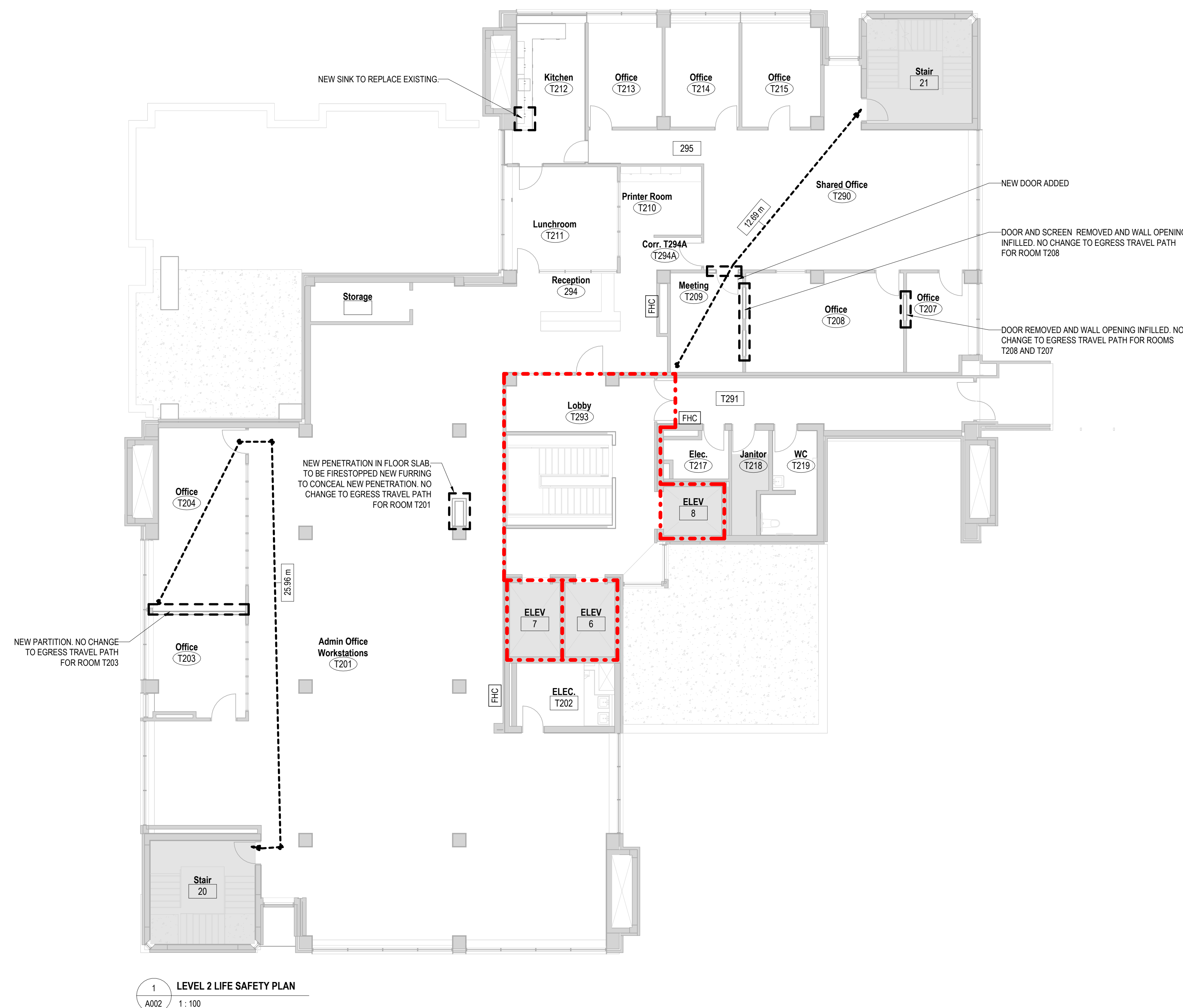
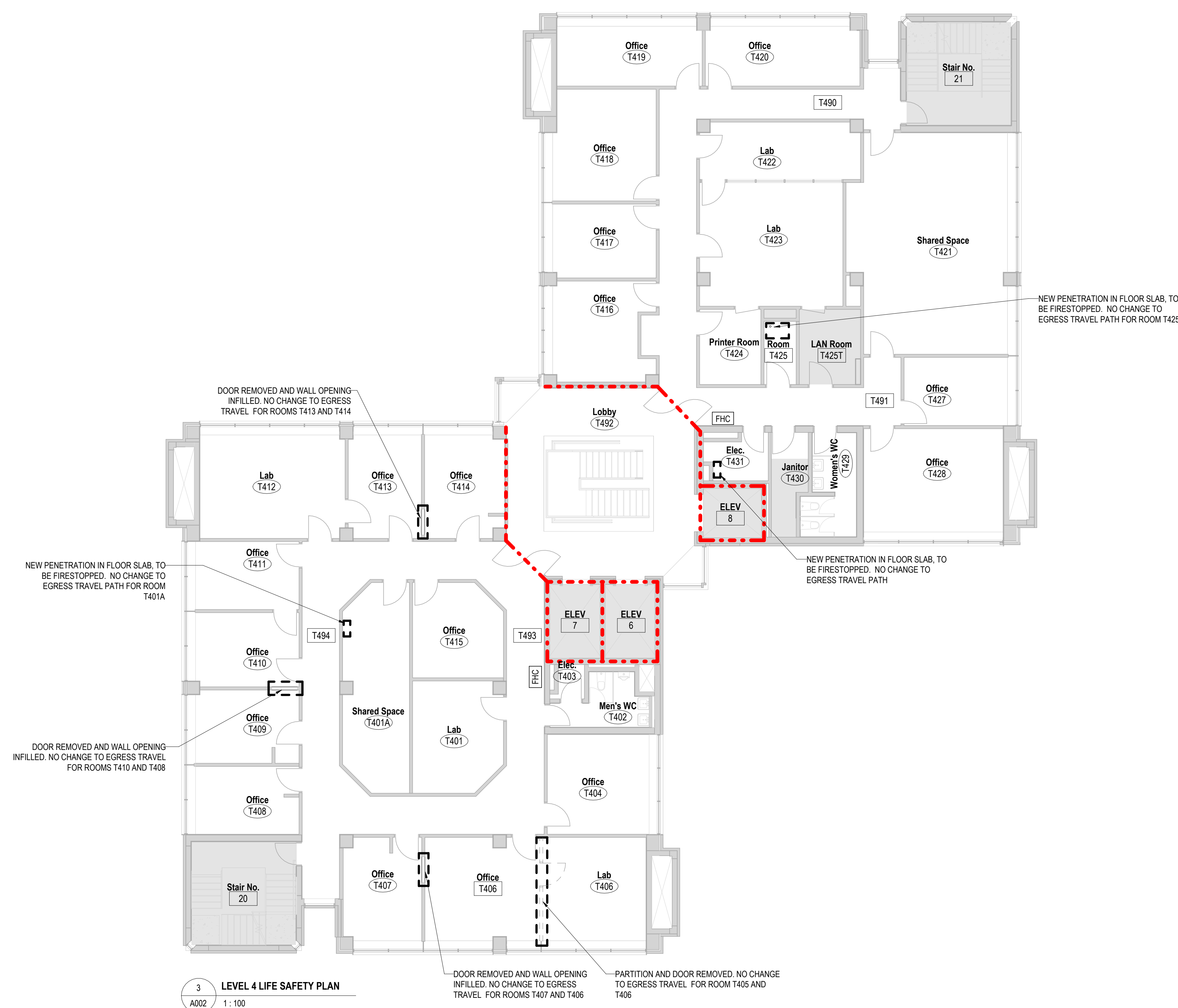
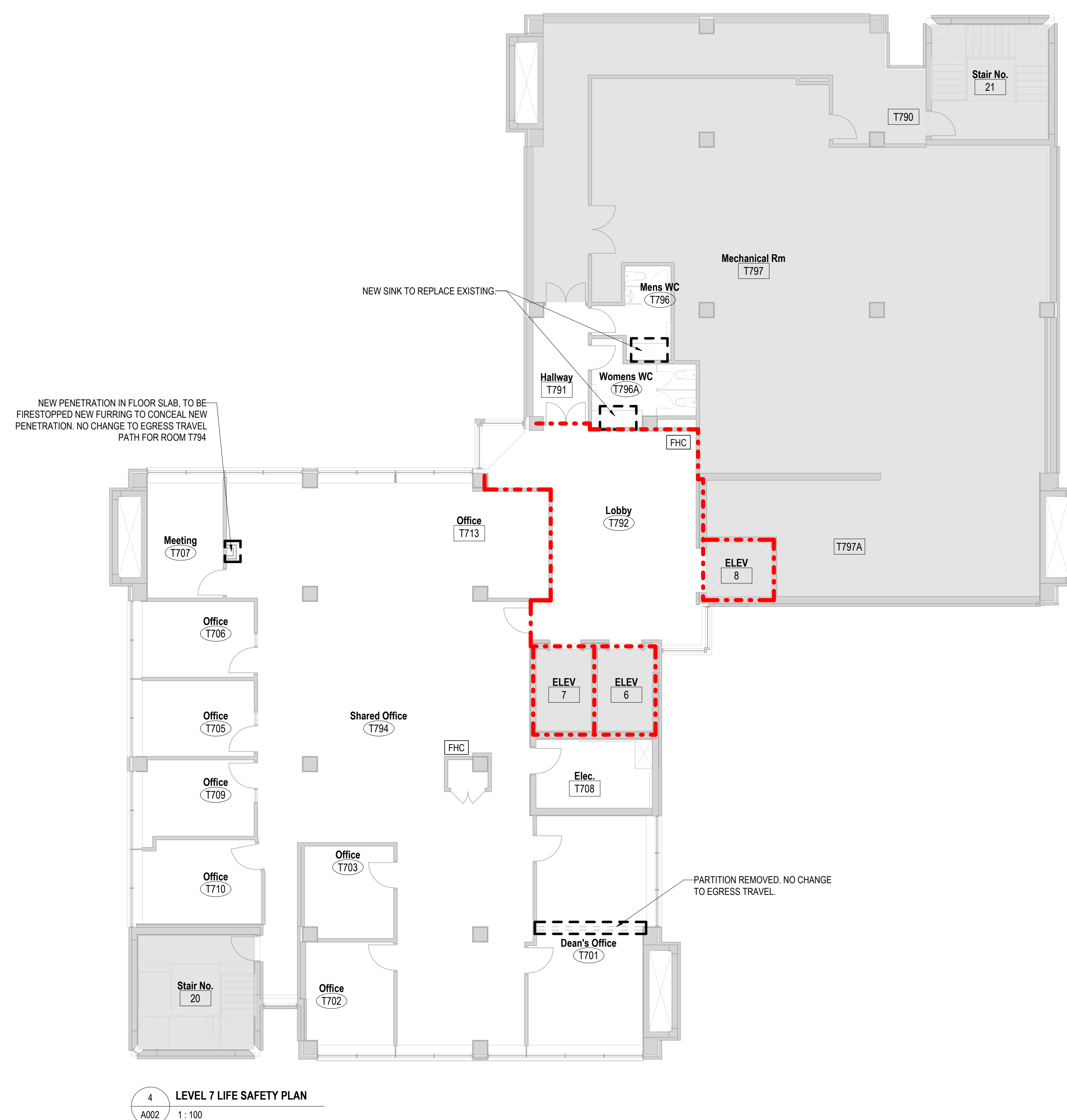
481 Spadina Ave	
DRAWING SHEET TITLE	
OBC MATRIX, ASSEMBLY TYPES AND ABBREVIATIONS	

DRAWN BY: Author	SCALE: As indicated
REVIEWED BY: Checker	DATE CREATED: 25/09/2025
UNIVERSITY PROJECT NUMBER: NORTH POINT	

P164-25-078	
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DRAWING NUMBER	REV. NUMBER
A001	5





5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR F&S REVIEW	2026-01-16
3	ISSUED FOR PERMIT	2026-01-14
2	ISSUED FOR DD	2025-11-07
1	ISSUED FOR 100% SD	2025-09-25
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LIFE SAFETY PLANS**

DRAWN BY: Author	SCALE: 1 : 100
REVIEWED BY: Checker	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT

DRAWING NUMBER	REV. NUMBER
<b>A002</b>	<b>5</b>



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FLOORING NOTES:  
1. REFER TO DSSR FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES. REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.  
2. WHERE VINYL TILE IS BEING REMOVED, REMOVE FLOOR FINISH DOWN TO SUBSURFACE. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.  
3. WHERE CARPET IS BEING REMOVED, CAREFULLY REMOVE CARPET. LEAVE EXISTING VINYL TILE IF FOUND BELOW CARPET. PATCH ANY HOLES WITH VCT OR LEVELING COMPOUND AS REQUIRED.  
4. PROVIDE NEW TRANSITION STRIP AT ALL CARPET TO VINYL FLOORING TRANSITIONS.

- FLOOR FINISH LEGEND:
- INSTALL NEW CARPET AND NEW BASEBOARD
  - EXISTING CARPET TO REMAIN AND TO BE DEEP CLEANED. INSTALL NEW BASEBOARD
  - INSTALL NEW VCT TILE AND NEW BASEBOARD
  - EXISTING VINYL TILE TO REMAIN AND BE CLEANED AND RESTORED. (RESTORATION INCLUDES WET CHEMICAL STRIPPING, SCRUBBING & RESEALING) INSTALL NEW BASEBOARD
  - EXISTING VINYL FLOOR FINISH TO REMAIN. CLEAN EXISTING FLOOR FINISH. INSTALL NEW BASEBOARD
  - EXISTING EPOXY TO BE CLEANED, PREPARED, PATCHED AND RECEIVE A NEW EPOXY COATING
  - NOT IN SCOPE

CONSTRUCTION NOTES	
No.	DESCRIPTION
A022	
1	NEW TRANSITION STRIP

1 LEVEL 2 NEW KEY PLAN FLOORING  
A022 1:50

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION

5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&S REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BP	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
----------------	------

PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 2 FLOOR FINISH  
PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A022**  
REV. NUMBER  
**5**



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FLOORING NOTES:  
1. REFER TO DSSR FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES. REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.  
2. WHERE VINYL TILE IS BEING REMOVED, REMOVE FLOOR FINISH DOWN TO SUBSURFACE. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.  
3. WHERE CARPET IS BEING REMOVED, CAREFULLY REMOVE CARPET. LEAVE EXISTING VINYL TILE IF FOUND BELOW CARPET. PATCH ANY VOIDS WITH VCT OR LEVELING COMPOUND AS REQUIRED.  
4. PROVIDE NEW TRANSITION STRIP AT ALL CARPET TO VINYL FLOORING TRANSITIONS.

FLOOR FINISH LEGEND:	
	INSTALL NEW CARPET AND NEW BASEBOARD
	EXISTING CARPET TO REMAIN AND TO BE DEEP CLEANED. INSTALL NEW BASEBOARD
	INSTALL NEW VCT TILE AND NEW BASEBOARD
	EXISTING VINYL TILE TO REMAIN AND BE CLEANED AND RESTORED. (RESTORATION INCLUDES WET CHEMICAL STRIPPING, SCRUBBING & RESEALING) INSTALL NEW BASEBOARD
	EXISTING VINYL FLOOR FINISH TO REMAIN CLEAN EXISTING FLOOR FINISH. INSTALL NEW BASEBOARD
	EXISTING EPOXY TO BE CLEANED, PREPPED, PATCHED AND RECEIVE A NEW EPOXY COATING
	NOT IN SCOPE

CONSTRUCTION NOTES	
No.	DESCRIPTION
A023	
1	NEW TRANSITION STRIP

1 LEVEL 3 NEW KEY PLAN FLOORING  
A023 1:50

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION

5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&S REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 3 FLOOR FINISH PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A023**  
REV. NUMBER  
**5**



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FLOORING NOTES:  
1. REFER TO DSSR FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES. REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.  
2. WHERE VINYL TILE IS BEING REMOVED, REMOVE FLOOR FINISH DOWN TO SUBSURFACE. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.  
3. WHERE CARPET IS BEING REMOVED, CAREFULLY REMOVE CARPET. LEAVE EXISTING VINYL TILE IF FOUND BELOW CARPET. PATCH ANY VOIDS WITH VCT OR LEVELING COMPOUND AS REQUIRED.  
4. PROVIDE NEW TRANSITION STRIP AT ALL CARPET TO VINYL FLOORING TRANSITIONS.

FLOOR FINISH LEGEND:  
INSTALL NEW CARPET AND NEW BASEBOARD  
EXISTING CARPET TO REMAIN AND TO BE DEEP CLEANED. INSTALL NEW BASEBOARD  
INSTALL NEW VCT TILE AND NEW BASEBOARD  
EXISTING VINYL TILE TO REMAIN AND BE CLEANED AND RESTORED. (RESTORATION INCLUDES WET CHEMICAL STRIPPING, SCRUBBING & RESEALING) INSTALL NEW BASEBOARD  
EXISTING VINYL FLOOR FINISH TO REMAIN. CLEAN EXISTING FLOOR FINISH. INSTALL NEW BASEBOARD  
EXISTING EPOXY TO BE CLEANED, PREPPED, PATCHED AND RECEIVE A NEW EPOXY COATING  
NOT IN SCOPE

CONSTRUCTION NOTES  
No. DESCRIPTION  
A024  
1 NEW TRANSITION STRIP

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION

5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&S REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% B0	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 4 FLOOR FINISH PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A024**  
REV. NUMBER  
**5**



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FLOORING NOTES:  
1. REFER TO DSSR FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES. REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.  
2. WHERE VINYL TILE IS BEING REMOVED, REMOVE FLOOR FINISH BACK TO SUBSURFACE. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.  
3. WHERE CARPET IS BEING REMOVED, CAREFULLY REMOVE CARPET. LEAVE EXISTING VINYL TILE IF FOUND BELOW CARPET. PATCH ANY HOLES WITH VCT OR LEVELING COMPOUND AS REQUIRED.  
4. PROVIDE NEW TRANSITION STRIP AT ALL CARPET TO VINYL FLOORING TRANSITIONS.

- FLOOR FINISH LEGEND:
- INSTALL NEW CARPET AND NEW BASEBOARD
  - EXISTING CARPET TO REMAIN AND TO BE DEEP CLEANED. INSTALL NEW BASEBOARD
  - INSTALL NEW VCT TILE AND NEW BASEBOARD
  - EXISTING VINYL TILE TO REMAIN AND BE CLEANED AND RESTORED. (RESTORATION INCLUDES WET CHEMICAL STRIPPING, SCRUBBING & RESEALING) INSTALL NEW BASEBOARD
  - EXISTING VINYL FLOOR FINISH TO REMAIN. CLEAN EXISTING FLOOR FINISH. INSTALL NEW BASEBOARD
  - EXISTING EPOXY TO BE CLEANED, PREPPED, PATCHED AND RECEIVE A NEW EPOXY COATING
  - NOT IN SCOPE

1 LEVEL 7 NEW KEY PLAN FLOORING  
A027 1:50

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION

5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&S REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 7 FLOOR FINISH  
PLAN**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/22
UNIVERSITY PROJECT NUMBER	NORTH POINT

P164-25-078

DRAWING NUMBER <b>A027</b>	REV. NUMBER <b>5</b>
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- PAINTING NOTES:
- MATERIALS SURVEY REPORT (ASB)**
- REFER TO DESIGNATED SUBSTANCES IN BUILDING.
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  - REMOVE AND DISPOSE OF ALL EXISTING WALLPAPER, EXCEPT FOR LEVEL 3 AND 4 CORRIDOR AS NOTED ON PLANS. PATCH WHERE NECESSARY AND PAINT WITH SELECTED COLOUR.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES AND CORRIDORS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  - REMOVE AND DISPOSE OF ALL PROJECTOR SCREENS, BULLETIN, CORK OR CHALK BOARDS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  - PANT ALL WASHROOM WALLS WITH SELECTED COLOUR.
  - PANT ALL WASHROOM PARTITIONS WITH SELECTED COLOUR.
  - PANT EXISTING DOOR FRAMES, INCLUDING TRANSOM FRAMES WHERE APPLICABLE.
  - PANT ALL DOORS, UNLESS NOTED OTHERWISE ON PLANS. DO NOT PAINT ANY FIRE LABELS OR SIGNAGE ON DOORS AND FRAMES.
  - PANT ALL ELEVATOR DOORS AND FRAMES WITH SELECTED COLOUR: BENJAMIN MOORE - ALKYD URETHANE ENAMEL GLOSS BLACK BERRY 2119-20.
  - DO NOT PAINT EXISTING EXPOSED BRICK.
  - PANT FRAMES OF INTERIOR SCREENS UNLESS NOTED OTHERWISE ON PLANS.
  - PANT ALL GWB CEILINGS AND BULKHEADS.
  - DO NOT PAINT EXISTING SUSPENDED INLAD CEILING TILES AND/OR GRID.
  - PANT CEILINGS WITH EXISTING 300mm x 300mm ADHERED CEILING TILES. SELECTED COLOUR TEO.
  - CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES.
  - PANT ALL DOORS, UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW PIPES, FIRE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - CONTRACTOR TO COVER AND PROTECT ALL SURFACES/FLOORING DURING THE WORK.
  - SEE GENERAL NOTES ON DRAWING A001.
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.
  - SELECTED COLOUR FOR ALL WALLS, DOORS AND FRAMES: BENJAMIN MOORE, OXFORD WHITE CC30, 100% LATEX, EGGSHELL.

PAINTING LEGEND:

NEW PAINT

NOT IN SCOPE

CONSTRUCTION NOTES	
No.	DESCRIPTION
A033	
1	IN EXISTING ELEVATOR LOBBYS PAINT ALL GWB WALLS AND CEILINGS. DO NOT PAINT EXISTING EXPOSED BRICK.
2	PAINT EXISTING ELEVATOR DOORS AND FRAMES.
3	PAINT ALL EXISTING WASHROOM PARTITIONS AND DOORS.
4	PAINT EXISTING LOBBY DOORS AND FRAMES, INCLUDING TRANSOM FRAME. (DO NOT PAINT DOOR HARDWARE, DOOR CLOSER AND KICKPLATES.)
5	PAINT OVER EXISTING WALL COVERING IN CORRIDORS ONLY. RETAIN ALL ROOM NUMBER SIGNAGE, REMOVE NAME SIGNAGE LOCATED BELOW.
6	PAINT EXISTING GWB PORTION OF STAIR GUARDRAIL.
7	DO NOT PAINT EXISTING METAL GUARDRAIL.
7	DO NOT PAINT SIDE PANEL WITH FIRE ROLL STATION, TYP.
8	DO NOT PAINT EXIT STAIRWELL DOORS OR FRAMES.

1 LEVEL 3 NEW KEY PLAN PAINTING  
A033 1:50

LEGEND - FIRE SEPARATIONS:

60min FIRE SEPARATION

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5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR PRELIMINARY REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% TME	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 3 PAINTING PLAN**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/2025
UNIVERSITY PROJECT NUMBER: NORTH POINT	

P164-25-078

DRAWING NUMBER <b>A033</b>	REV. NUMBER <b>5</b>
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- PAINTING NOTES:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (ISSUE).
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  3. REMOVE AND DISPOSE OF ALL EXISTING WALLPAPER, EXCEPT FOR LEVEL 3 AND 4 CORRIDOR AS NOTED ON PLANS. PATCH WHERE NECESSARY AND PAINT WITH SELECTED COLOUR.
  4. REMOVE AND DISPOSE OF ALL EXISTING SHELVE TRACKS INSTALLED IN OFFICES AND CORRIDORS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  5. REMOVE AND DISPOSE OF ALL PROJECTOR SCREENS, BULLETIN, CORK OR CHALK BOARDS. REMOVE ALL ANCHORING PLUGS. PATCH AND PAINT WITH SELECTED COLOUR.
  6. PAINT ALL WASHROOM WALLS WITH SELECTED COLOUR.
  7. PAINT ALL WASHROOM PARTITIONS WITH SELECTED COLOUR.
  8. PAINT EXISTING DOOR FRAMES, INCLUDING TRANSOM FRAMES WHERE APPLICABLE.
  9. PAINT ALL DOORS, UNLESS NOTED OTHERWISE ON PLANS. DO NOT PAINT ANY FIRE LABELS OR SIGNAGE, ON DOORS AND FRAMES.
  11. PAINT ALL ELEVATOR DOORS AND FRAMES WITH SELECTED COLOUR: BENJAMIN MOORE-ALKYD URETHANE ENAMEL-GLOSS-BLACK BERRY-2119-20.
  12. DO NOT PAINT EXISTING EXPOSED BRICK.
  13. PAINT FRAMES OF INTERIOR SCREENS UNLESS NOTED OTHERWISE ON PLANS.
  14. PAINT ALL GWB CEILINGS AND BULKHEADS.
  15. DO NOT PAINT EXISTING SUSPENDED INLAD CEILING TILES AND/OR GRID.
  16. PAINT CEILINGS WITH EXISTING 300mm x 300mm ADHERED CEILING TILES. SELECTED COLOUR TBO.
  17. CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES.
  18. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW PIPES, FIRE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  19. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  20. CONTRACTOR TO COVER AND PROTECT ALL SURFACES/FLOORING DURING THE WORK.
  21. SEE GENERAL NOTES ON DRAWING A001.
  22. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.
  23. SELECTED COLOUR FOR ALL WALLS, DOORS AND FRAMES: BENJAMIN MOORE, OXFORD WHITE CC30, 100% LATEX, EGGSHELL.

- PAINTING LEGEND:
- NEW PAINT
  - NOT IN SCOPE

CONSTRUCTION NOTES	
No.	DESCRIPTION
A034	
1	IN EXISTING ELEVATOR LOBBYS PAINT ALL GWB WALLS AND CEILINGS. DO NOT PAINT EXISTING EXPOSED BRICK.
2	PAINT EXISTING ELEVATOR DOORS AND FRAMES.
3	PAINT ALL EXISTING WASHROOM PARTITIONS AND DOORS.
4	PAINT EXISTING LOBBY DOORS AND FRAMES, INCLUDING TRANSOM FRAME. (DO NOT PAINT DOOR HARDWARE, DOOR CLOSER AND KICKPLATES.)
5	PAINT OVER EXISTING WALL COVERING IN CORRIDORS ONLY. RETAIN ALL ROOM NUMBER SIGNAGE. REMOVE NAME SIGNAGE LOCATED BELOW.
6	PAINT EXISTING GWB PORTION OF STAIR GUARDRAIL.
7	DO NOT PAINT SIDE PANEL WITH FIRE PULL STATION, TYP.
8	DO NOT PAINT EXIT STAIRWELL DOORS OR FRAMES.

1 LEVEL 4 NEW KEY PLAN PAINTING  
A034 1:50

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION

5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR P&S REVIEW	2025-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 4 PAINTING PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A034**  
REV. NUMBER  
**5**





5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR F&S REVIEW	2026-01-16
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% SD	2025-09-25
REV.	DESCRIPTION	DATE

PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

P164-25-078	
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DEMOLITION NOTES	
No.	DESCRIPTION
N/A A003	
1	REMOVE EXISTING CARPET FINISH AND WALL BASE. MAKE GOOD EXISTING AND PREP. PERFORM TO RECEIVE NEW FINISH.
2	REMOVE EXISTING WALL COVERING FROM ALL WALLS, BULKHEADS AND COLUMNS. PATCH WHERE NECESSARY AND REPAIR AS REQUIRED. REMOVE EXISTING DOOR FRAME AND REINSTALL EXISTING WINDOW BLINDSHADES AS REQUIRED TO CARRY OUT WORK.
3	REMOVE EXISTING FOLDABLE PARTITION (CEILING TRUCK TO REMAIN).
4	REMOVE EXISTING PROJECTION SCREEN AND MOUNTING BRACKET.
5	REMOVE EXISTING DOOR AND FRAME. MAKE GOOD TO RECEIVE NEW INFILL.
6	REMOCKOUTING DOOR AND FRAME CAREFULLY REMOVE EXISTING PARTITION TO US OF EXISTING ACCT CEILING.
7	CAREFULLY REMOVE EXISTING PARTITION ABOVE WINDOW SILL.
8	US OF EXISTING ACCT CEILING AND AROUND EXISTING BULKHEAD. PATCH AND REPAIR AS REQUIRED. MAKE GOOD TO RECEIVE NEW FINISH. REMOVE EXISTING PLASTER AS REQUIRED. REPAIR PLASTER AS REQUIRED FOR AREA ±95mm wide x ±60mm HIGH FOR NEW FINISH (ALLOW FOR AREA ±95mm wide x ±100mm HIGH FOR HIGH FINISH).
9	EXISTING VINYL FLOOR TO REMAIN. REMOVE EXIST WALL BASE. REFER TO FLOOR FINISH PLANS
10	ALL EXISTING WALL COVERINGS TO BE REMOVED TO REMAIN
11	REMOVE EXISTING SHELVES AND SUPPORTS. PATCH, REPAIR WALLS AND MAKE GOOD TO RECEIVE NEW PAINT FINISH.
12	EXISTING WALL COVERINGS TO BE REMOVED TO REMAIN AND RECEIVE NEW FINISH. OUTSIDE ROOMS. RETAIN ALL ROOM NUMBER SIGNAGE. REMOVE NAME SIGNAGE LOCATED BELOW.
13	REMOVE OPERABLE WINDOW VENT. PREP. TO INSTALL NEW WINDOW ACCT AND NEW INFILL. REFER TO MECH.
14	REMOVE EXISTING DISPENSER. DISPOSE OF IN CONTAINERS. PAPER TOWEL DISPENSER WASTE RECEPTACLE COMBIO UNIT, TOILET PAPER DISPENSERS, SANITARY NAPPY DISPOSALS).

6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR F&S REVIEW	2026-01-16
4	ISSUED FOR PERMIT	2026-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% SD	2025-09-25
<b>REV.</b>	<b>DESCRIPTION</b>	<b>DATE</b>

KEY PLAN (NTS)	SEAL
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KEY PLAN (NTS)

SEAL

PROJECT TITLE:  
UNIVERSITY OF TORONTO

## Tower FOI Relocation

481 Spadina Ave

DRAWING SHEET TITLE

### LEVEL 3 DEMOLITION PLAN

DRAWN BY: RG	SCALE: As indicated
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REVIEWED BY: EB	DATE CREATED: 25
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UNIVERSITY PROJECT NUMBER	NORTH POINT
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D164 25 078

F 164-23-078

DRAWING NUMBER	REV. NUMBER
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A103 6

<b>A103</b>	<b>6</b>
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1 LEVEL 4 DEMOLITION KEY PLAN  
A104 1:50

- GENERAL NOTES - DEMOLITION:
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  2. FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  3. DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CBC.
  4. REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES.
  5. REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  6. REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  7. REMOVE AND REINSTALL ALL EXISTING WINDOW BLINDSHADES AS REQUIRED FOR PAINTING.
  8. CLEAN ALL CEILING DIFFUSERS AND GRILLES AND PREPARE FOR PAINTING.
  9. REMOVE ALL AFFECTED MILLWORK & OTHER EXISTING WALL-MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  10. REMOVE EXISTING WALL BASE WITHIN THE CONSTRUCTION AREA. UNLESS NOTED OTHERWISE AND MAKE GOOD WALLS AS REQUIRED TO RECEIVE NEW BASE.
  11. REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  12. REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

LEGEND - DEMOLITION

- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO BE DEMOLISHED
- EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN
- EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED
- GYPSUM WALL BOARD CEILING TO BE DEMOLISHED
- DOOR TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALL TO REMAIN
- DEMOLITION NOTES
- Room name 101 EXISTING ROOM NAME & NUMBER
- ± 2382 EXISTING DIMENSION (SITE VERIFY)

DEMOLITION NOTES	
No.	DESCRIPTION
A104	
1	REMOVE EXISTING CARPET FINISH AND WALL BASE. MAKE GOOD EXISTING AND PREP. FLOOR TO RECEIVE NEW FINISH.
2	REMOVE EXISTING WALL COVERING FROM ALL WALLS, BULKHEADS AND COLUMNS. PATCH WHERE NECESSARY AND REINSTALL EXISTING WINDOW BLINDSHADES AS REQUIRED TO CARRY OUT WORK.
3	REMOVE EXISTING PROJECTION SCREEN AND MOUNTING BRACKETS.
4	REMOVE EXISTING DOOR AND FRAME. MAKE GOOD TO RECEIVE NEW INFILL.
5	REMOVE EXISTING COUNTERS, UPPER, LOWER CABINETS AND SINK. MAKE GOOD TO ACCEPT NEW FINISHES.
5A	THIS UPPER CABINET TO REMAIN.
6	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH, REPAIR & MAKE GOOD.
7	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH, REPAIR & MAKE GOOD.
8	SCRAPE AND REMOVE LOOSE AND PEELING PAINT. SURFACE REPAIR PLASTER AS REQUIRED AND PREPARE FOR NEW PAINT FINISH (ALLOW FOR AREA 915mm WIDE x 610mm HIGH FOR EACH LOCATION INDICATED).
9	REMOVE EXISTING BUILT-IN DESK AND MAKE GOOD.
10	EXISTING VINYL TILE FLOORING TO REMAIN. REMOVE EXIST. WALL BASE. REFER TO FLOOR FINISH PLANS.
10A	REMOVE EXISTING VINYL TILE FLOORING AND WALL BASE. PREP FOR NEW CARPET FLOOR FINISH AND NEW WALL BASE. REFER TO FLOOR FINISH PLANS.
12	ALL EXISTING WASHROOM PARTITIONS TO REMAIN.
13	EXISTING DOOR W/O UT DOOR HARDWARE TO REMAIN AS IS AND RECEIVE NEW PAINT. PAINT COLOUR TO MATCH ADJACENT WALLS.
14	EXISTING WALL COVERINGS IN CORRIDORS TO REMAIN AND RECEIVE NEW PAINT FINISH. OUTSIDE ROOMS. RETAIN ALL ROOM NUMBER SIGNAGE. REMOVE NAME SIGNAGE LOCATED BELOW.
15	REMOVE OPERABLE WINDOW VENT. PREP. TO INSTALL NEW WINDOW AC UNIT AND NEW INFILL. REFER TO MECH.
16	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER, WASTE RECEPTACLE, COMBIO UNIT, TOILET PAPER DISPENSERS, SANITARY NAPKIN DISPOSALS) AND FIXTURES TO REMAIN.

LEGEND - FIRE SEPARATIONS:

- 60min FIRE SEPARATION

University of Toronto  
UNIVERSITY PLANNING,  
DESIGN & CONSTRUCTION

Design & Engineering

255 McCaul Street, 4th Floor, Toronto, Ontario M5T 1W7

This drawing is the property of the University of Toronto, and must be returned upon completion of the work. All information shown on this drawing is for use on this specific project. Contractor must verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.

6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2025-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BB	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS) SEAL

PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 4 DEMOLITION  
PLAN**

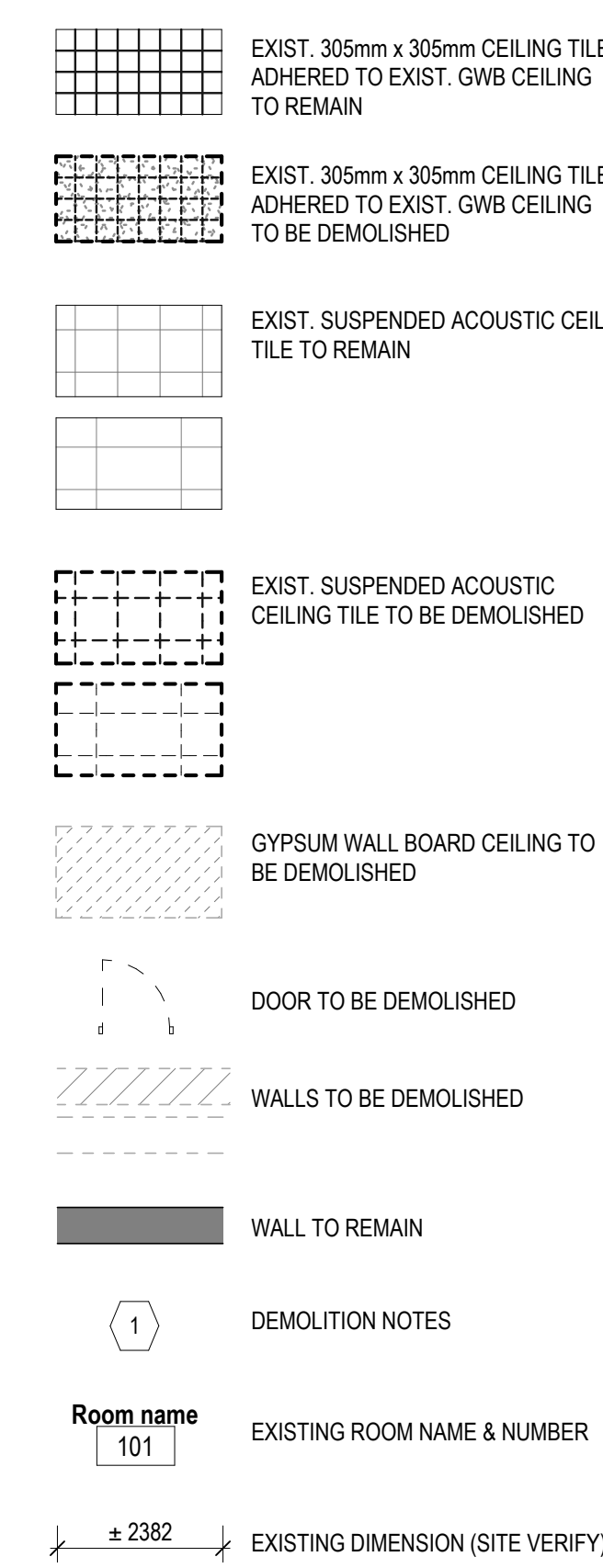
DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER: NORTH POINT	
P164-25-078	
DRAWING NUMBER <b>A104</b>	REV. NUMBER <b>6</b>





1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
2. THE CONTRACTOR SHALL FOLLOW ALL CITY AND STATE PROCEDURES REFER TO GENERAL SPECIFICATION FOR HAZARDOUS WASTE AND ALL APPLICABLE REGULATIONS. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR THE PROTECTION OF ALL ADJACENT AREAS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY REMOVED WORK. TEMPORARY HOARDING SHALL BE MAINTAINED TO PROTECT ADJACENT AREAS FROM DRYWALL, TAPE, JOLTS, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH THE EXISTING FINISHES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND MUST NOT REMOVE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE O.C.B.
7. REMOVE ALL EXISTING SHELVING TRUCKS INSTALLED IN OFFICES.
8. REMOVE ALL EXISTING CLOTHES AND BLOCKING.
9. REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS, PART, REPAIR AND MAKE GOOD.
10. REMOVE AND REINSTALL ALL EXISTING WINDOW GLASS AND REPAIR AS REQUIRED.
11. CLEAN ALL CEILING DUSTERS AND GRILLES AND PREPARE FOR PAINTING.
12. REMOVE ALL MILLWORK AND OTHER EXISTING WALL MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWING.
13. REMOVE EXISTING WALL BASE WITHIN THE EXISTING WALL. USE NEW WALL BASE TO REVERSE AND MAKE GOOD WALLS AS REQUIRED TO REVERSE NEW BASE.
14. REMOVE ALL EXISTING FLOOR FINISH WITHIN THE EXISTING FLOOR BASE TO EXPOSE THE SUBFLOOR. NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL EXISTING FLOOR FINISH WITHIN THE EXISTING FLOOR. REVERSE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
15. REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION

LEGEND - DEMOLITION



## DEMOLITION NOTES

NO	LOT	DESCRIPTION
1	EXISTING	EXISTING CARRY FLOORING TO REMAIN. REMOVE EXISTING WALL BASE. CARRY TO BE DEEP CLEANED. PREP. WALL FOR NEW WALL BASE.
2	EXISTING	REMOVE ALL BULKHEADS AND COLUMNS FOR NEW PART. PATCH WHERE NECESSARY AND MAKE GOOD TO EXISTING FINISH. REMOVE EXISTING WINDOW BLINDS/SHADES AS REQUIRED TO CARRY OUT WORK. EXISTING VINYL FLOORING TO REMAIN. REMOVE EXIST WALL BASE. PREP. WALL FOR NEW WALL BASE. REFER TO FLOOR FINISH PLAN.
3	EXISTING	REMOVE EXISTING COUNTERTOP PARTITIONS TO REMAIN. PREP. TO RECEIVE NEW FINISH.
4	EXISTING	REMOVE EXISTING SINK. MAKE GOOD TO ACCEPT NEW SINK.
5	EXISTING	REMOVE EXISTING COUNTERTOP. MAKE GOOD TO ACCEPT COUNTERTOP.
6	EXISTING	REMOVE AND REINSTALL ROOM NUMBER SIGNAGE AS REQUIRED TO REFINISH WALLS. REMOVE ANY OTHER SIGNAGE BELOW ROOM NUMBERS.
7	EXISTING	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH & MAKE GOOD.
8	EXISTING	REMOVE ALL EXISTING PARTITION.
9	EXISTING	REMOVE OPERABLE WINDOW VINYL. PREP. TO REINSTALL WINDOW AC IN VINYL AND NEW VINYL. REFER TO MECHANICAL PLAN.
10	EXISTING	REMOVE EXISTING PAPER TOWEL DISPENSER. REMOVE EXISTING PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBOS TO REMAIN.
11	EXISTING	REMOVE EXISTING SINK. MAKE GOOD TO ACCEPT NEW SINK.
12	EXISTING	REMOVE EXISTING COUNTERTOP. MAKE GOOD TO ACCEPT COUNTERTOP.
13	EXISTING	REMOVE AND REINSTALL ROOM NUMBER SIGNAGE AS REQUIRED TO REFINISH WALLS. REMOVE ANY OTHER SIGNAGE BELOW ROOM NUMBERS.
14	EXISTING	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH & MAKE GOOD.
15	EXISTING	REMOVE ALL EXISTING PARTITION.
16	EXISTING	REMOVE OPERABLE WINDOW VINYL. PREP. TO REINSTALL WINDOW AC IN VINYL AND NEW VINYL. REFER TO MECHANICAL PLAN.
17	EXISTING	REMOVE EXISTING PAPER TOWEL DISPENSER. REMOVE EXISTING PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBOS TO REMAIN.
18	EXISTING	REMOVE EXISTING SINK. MAKE GOOD TO ACCEPT NEW SINK.
19	EXISTING	REMOVE EXISTING COUNTERTOP. MAKE GOOD TO ACCEPT COUNTERTOP.
20	EXISTING	REMOVE AND REINSTALL ROOM NUMBER SIGNAGE AS REQUIRED TO REFINISH WALLS. REMOVE ANY OTHER SIGNAGE BELOW ROOM NUMBERS.
21	EXISTING	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH & MAKE GOOD.
22	EXISTING	REMOVE ALL EXISTING PARTITION.
23	EXISTING	REMOVE OPERABLE WINDOW VINYL. PREP. TO REINSTALL WINDOW AC IN VINYL AND NEW VINYL. REFER TO MECHANICAL PLAN.
24	EXISTING	REMOVE EXISTING PAPER TOWEL DISPENSER. REMOVE EXISTING PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBOS TO REMAIN.
25	EXISTING	REMOVE EXISTING SINK. MAKE GOOD TO ACCEPT NEW SINK.
26	EXISTING	REMOVE EXISTING COUNTERTOP. MAKE GOOD TO ACCEPT COUNTERTOP.
27	EXISTING	REMOVE AND REINSTALL ROOM NUMBER SIGNAGE AS REQUIRED TO REFINISH WALLS. REMOVE ANY OTHER SIGNAGE BELOW ROOM NUMBERS.
28	EXISTING	REMOVE EXISTING PARTITION GWB & FRAMING. PATCH & MAKE GOOD.
29	EXISTING	REMOVE ALL EXISTING PARTITION.
30	EXISTING	REMOVE OPERABLE WINDOW VINYL. PREP. TO REINSTALL WINDOW AC IN VINYL AND NEW VINYL. REFER TO MECHANICAL PLAN.
31	EXISTING	REMOVE EXISTING PAPER TOWEL DISPENSER. REMOVE EXISTING PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBOS TO REMAIN.
32	EXISTING	REMOVE EXISTING SINK. MAKE GOOD TO ACCEPT NEW SINK.
33	EXISTING	REMOVE EXISTING COUNTERTOP. MAKE GOOD TO ACCEPT COUNTERTOP.

LEGEND - FIRE SEPARATIONS:

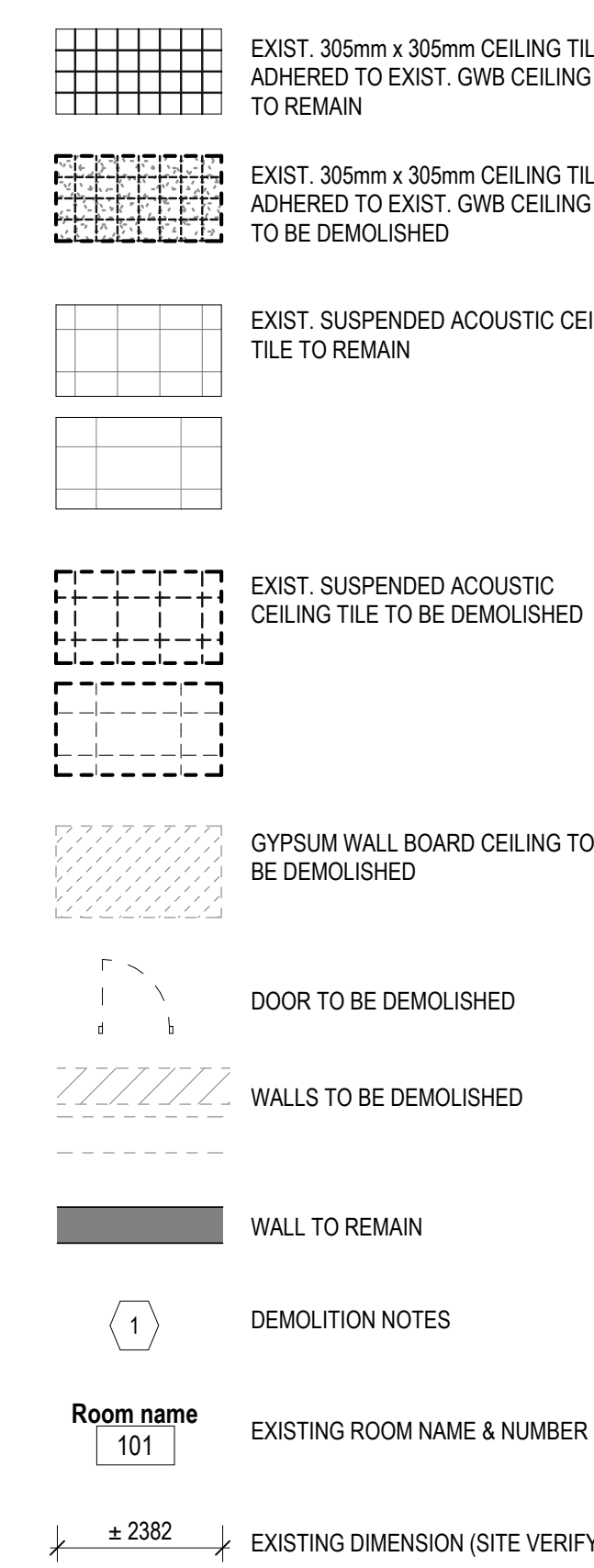






- GENERAL NOTES - DEMOLITION
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
- THE CONTRACTOR SHALL FOLLOW ALL CITY PROCEDURES REFERRED TO FOR GENERAL SPECIFICATION FOR HAZARDOUS WASTE REMOVAL AND DISPOSAL. THE CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR OBTAINING ALL NECESSARY PERMITS AND A WRITTEN REPORT WHERE APPROPRIATE BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO AIR QUALITY MONITORING, DUSTPACT TEMPORARY HOARDINGS MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING SHALL BE MAINTAINED AT ALL TIMES AND SHALL BE DRYWALL TAPE, FILLED, PAINTED TO COMPLETELY MATCH EXISTING WALLS AND CEILING SURFACES. UPON COMPLETION OF THE WORK REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING CONDITIONS. ALL DEBRIS SHALL BE REMOVED AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CODE.
- REMOVE ALL EXISTING SHELTER AND SHELVING TRUCKS INSTALLED IN OFFICES.
- REMOVE ALL DOORS, PARTITIONS AND BLOCKING.
- REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS, PART, REPAIR AND PATCH ALL DAMAGE TO MATCH EXISTING FINISHES.
- REMOVE AND REINSTALL ALL EXISTING WINDOW GLASS WHEN REQUIRED BY THE ARCHITECT.
- CLEAN ALL CEILING DIFFUSERS AND GRILLES AND PREPARE FOR PAINTING.
- REMOVE ALL EXISTING MILLWORK & OTHER EXISTING WALL MOUNTED ITEMS SUCH AS SIGN BULLETINS, BOARDERS, ETC. AND DISPOSE THEM AS DIRECTED BY THE ARCHITECT ON THE DRAWINGS AND DISPOSE OF:
- REMOVE EXISTING WALL BASE WITHIN THE ROOMS AND CORRIDORS. REMOVE ALL FLOOR COVERING AND MAKE GOOD WALLS AS REQUIRED TO RECEIVE NEW FINISH.
- REMOVE ALL EXISTING FLOOR FINISH WITHIN THE ROOMS AND CORRIDORS BACK TO THE SUBSTRATE. NOTE: OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL EXISTING FLOOR FINISH WITHIN THE ROOMS AND CORRIDORS TO RECEIVE NEW FINISH TO PROVIDE SMOOTH FINISH.
- REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION

LEGEND - DEMOLITION



DEMOLITION NOTES	
No.	DESCRIPTION
1	EXISTING 305mm x 305mm CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. PREP. FOR PAINTING
2	EXISTING 610mm x 610mm SUSPENDED ACT CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES
3	EXISTING GWB CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. PREP. FOR PAINTING

4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR DD	2025-11-07
REV.	DESCRIPTION	DATE

**KEY PLAN (NTS)**

SEAL

PROJECT TITLE: \_\_\_\_\_

UNIVERSITY OF TORONTO

## Tower FOI Relocation

481 Spadina Ave

DRAWING SHEET TITLE

## LEVEL 2 DEMOLITION RCP

P164-25-078

1 101 20 07 0

DRAWING NUMBER

**A112**

REV. NUMBE

4



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- GENERAL NOTES - DEMOLITION:
- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  - FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  - DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT-RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CBC.
  - REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES.
  - REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  - REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  - REMOVE AND REINSTALL ALL EXISTING WINDOW BLINDSHADES AS REQUIRED FOR PAINTING.
  - CLEAN ALL CEILING DIFFUSERS AND GRILLES AND PREPARE FOR PAINTING.
  - REMOVE ALL AFFECTED MILLWORK & OTHER EXISTING WALL-MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  - REMOVE EXISTING WALL BASE WITHIN THE CONSTRUCTION AREA, UNLESS NOTED OTHERWISE AND MAKE GOOD WALLS AS REQUIRED TO RECEIVE NEW BASE.
  - REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  - REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

LEGEND - DEMOLITION

- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO BE DEMOLISHED
- EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN
- EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED
- GYPSUM WALL BOARD CEILING TO BE DEMOLISHED
- DOOR TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALL TO REMAIN
- DEMOLITION NOTES
- Room name 101
- EXISTING DIMENSION (SITE VERIFY)

DEMOLITION NOTES	
No.	DESCRIPTION
1	EXISTING 305mm x 305mm CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. PREP. FOR PAINTING.
2	EXISTING GWB CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. PREP. FOR PAINTING.
3	REMOVE 2 STRIPS (±600mm) OF CEILING TILE AND GWB AS INDICATED. CAREFULLY CUT ALONG THE JOINT BETWEEN EXISTING CEILING TILES.
4	CAREFULLY REMOVE PARTITION BELOW. REPLACE ANY DAMAGED OR MISSING CEILING TILES AS REQUIRED.

LEGEND - FIRE SEPARATIONS:

- 60min FIRE SEPARATION

4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR ID	2025-11-07
REV.	DESCRIPTION	DATE

KEY PLAN (NTS) SEAL

PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 3 DEMOLITION  
RCP**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A113**  
REV. NUMBER  
**4**



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- GENERAL NOTES - DEMOLITION:
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  2. FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  3. DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CBC.
  4. REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES.
  5. REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  6. REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  7. REMOVE AND REINSTALL ALL EXISTING WINDOW BLINDSHADES AS REQUIRED FOR PAINTING.
  8. CLEAN ALL CEILING DIFFUSERS AND GRILLES AND PREPARE FOR PAINTING.
  9. REMOVE ALL AFFECTED MILLWORK & OTHER EXISTING WALL-MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  10. REMOVE EXISTING WALL, BASE WITHIN THE CONSTRUCTION AREA, UNLESS NOTED OTHERWISE AND MAKE GOOD WALLS AS REQUIRED TO RECEIVE NEW BASE.
  11. REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  12. REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

- LEGEND - DEMOLITION
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWS CEILING TO REMAIN
  - EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWS CEILING TO BE DEMOLISHED
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED
  - GYPSUM WALL BOARD CEILING TO BE DEMOLISHED
  - DOOR TO BE DEMOLISHED
  - WALLS TO BE DEMOLISHED
  - WALL TO REMAIN
  - DEMOLITION NOTES
  - Room name 101 EXISTING ROOM NAME & NUMBER
  - ± 2382 EXISTING DIMENSION (SITE VERIFY)

DEMOLITION NOTES	
No.	DESCRIPTION
1	EXISTING 305mm x 305mm CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. PREP. FOR PAINTING.
2	EXISTING GWS CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. PREP. FOR PAINTING.
3	REMOVE 2 STRIPS (±600mm) OF CEILING TILE AND GWS AS INDICATED. CAREFULLY CUT ALONG THE JOINT BETWEEN EXISTING CEILING TILES.
4	CAREFULLY REMOVE PARTITION BELOW. REPLACE ANY DAMAGED OR MISSING CEILING TILES AS REQUIRED.

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION



University of Toronto  
UNIVERSITY PLANNING,  
DESIGN & CONSTRUCTION

Design & Engineering

255 McCaul Street, 4th Floor, Toronto, Ontario M5T 1W7

This drawing is the property of the University of Toronto, and must be returned upon completion of the work. All information shown on this drawing is for use on this specific project. Contractor must verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.

PROJECT TITLE	UNIVERSITY OF TORONTO <b>Tower FOI Relocation</b>
DRAWING SHEET TITLE	<b>LEVEL 4 DEMOLITION RCP</b>
DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT
P164-25-078	
DRAWING NUMBER	REV. NUMBER
<b>A114</b>	<b>4</b>

4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR ID	2025-11-07
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)

SEAL



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- GENERAL NOTES - DEMOLITION:
1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL AND ELECTRICAL DRAWINGS.
  2. FOR ALL HAZARDOUS MATERIALS REMOVAL PROCEDURES, REFER TO GENERAL SPECIFICATION FOR HAZARDOUS MATERIALS REPORT AND SCOPE OF WORK. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF DESIGNATED SUBSTANCES AS NOTED IN THE SCOPE OF WORK AND FOR MATERIALS NOTED IN THE HAZARDOUS MATERIALS REPORT WHERE AFFECTED BY CONSTRUCTION INCLUDING BUT NOT LIMITED TO MECHANICAL AND ELECTRICAL WORK.
  3. DUSTPROOF TEMPORARY HOARDING MUST BE IN PLACE PRIOR TO ANY REMOVALS WORK. TEMPORARY HOARDING TO BE FACED ON PUBLIC SIDE BY IMPACT RESISTANT DRYWALL, TAPED, FILLED, PAINTED TO COMPLETELY SEPARATE THE WORK AREA FROM THE PUBLIC AREA. UPON COMPLETION OF THE WORK, REMOVE HOARDING, PATCH AND MAKE GOOD ALL DISTURBED AREAS TO MATCH EXISTING. HOARDING MUST MAINTAIN ACCESS TO EXITS AND MUST NOT REDUCE THE CORRIDOR WIDTH TO LESS THAN THAT PERMITTED BY THE CBC.
  4. REMOVE AND DISPOSE OF ALL EXISTING SHELVING TRACKS INSTALLED IN OFFICES.
  5. REMOVE ALL PROJECTOR SCREENS AND BLOCKING.
  6. REMOVE ALL NAILS, SCREWS, WALL PLUGS, WALL CLIPS, STAPLES FROM EXISTING WALLS. PATCH, REPAIR AND MAKE GOOD WALL SURFACES.
  7. REMOVE AND REINSTALL ALL EXISTING WINDOW BLINDSHADES AS REQUIRED FOR PAINTING.
  8. CLEAN ALL CEILING DIFFUSERS AND GRILLES AND PREPARE FOR PAINTING.
  9. REMOVE ALL AFFECTED MILLWORK & OTHER EXISTING WALL-MOUNTED ITEMS SUCH AS BULLETIN BOARDS, PEGBOARDS, CHALKBOARDS AND ACCESSORIES AS NOTED ON THE DRAWINGS AND DISPOSE OF.
  10. REMOVE EXISTING WALL BASE WITHIN THE CONSTRUCTION AREA. UNLESS NOTED OTHERWISE AND MAKE GOOD WALLS AS REQUIRED TO RECEIVE NEW BASE.
  11. REMOVE ALL EXISTING FLOOR FINISH WITHIN THE CONSTRUCTION AREA BACK TO SUBSURFACE UNLESS NOTED OTHERWISE ON FLOOR FINISH PLANS. REMOVE ALL ADHESIVE AND PATCH AND REPAIR SUBSURFACE TO RECEIVE NEW FLOOR FINISH TO PROVIDE SMOOTH FINISH.
  12. REFER TO GENERAL NOTES FOR ADDITIONAL DEMOLITION INFORMATION.

LEGEND - DEMOLITION

- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO BE DEMOLISHED
- EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN
- EXIST. SUSPENDED ACOUSTIC CEILING TILE TO BE DEMOLISHED
- GYPSUM WALL BOARD CEILING TO BE DEMOLISHED
- DOOR TO BE DEMOLISHED
- WALLS TO BE DEMOLISHED
- WALL TO REMAIN
- DEMOLITION NOTES
- Room name 101
- EXISTING ROOM NAME & NUMBER
- EXISTING DIMENSION (SITE VERIFY)

DEMOLITION NOTES	
No.	DESCRIPTION
A117	
1	EXISTING 610mm x 610mm SUSPENDED ACT CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
2	EXISTING 610mm x 1220mm SUSPENDED ACT CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES.
3	EXISTING GWB CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. PREP. FOR PAINTING.
4	CAREFULLY REMOVE PARTITION BELOW. REPLACE ANY DAMAGED OR MISSING CEILING TILES AS REQUIRED.

LEGEND - FIRE SEPARATIONS:

- 60min FIRE SEPARATION

4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR ID	2025-11-07
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 7 DEMOLITION  
RCP**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER: NORTH POINT	

P164-25-078

DRAWING NUMBER <b>A117</b>	REV. NUMBER <b>4</b>
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- GENERAL NOTES - NEW WORK:
- REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSSR)
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION
  - NEW FLOOR REFER TO FLOOR FINISH PLANS
  - NEW PAINT REFER TO PAINT PLANS
  - REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS REQUIRED FOR PAINTING
  - CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES
  - PROVIDE FIRESTOPPING TO ALL FLOOR SERVICE PENETRATIONS. REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  - UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE
  - ENSURE CONTINUITY OF FIRE SEPARATIONS
  - SEE GENERAL NOTES ON DRAWING A001
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES

- LEGEND - PLAN
- (1) CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - (P1) WALL TAG (PH= PARTIAL HEIGHT WALL)
  - (222) DOOR TAG
  - (222) SCREEN TAG
  - (240mm) FIRE RATING TAG
  - (STC) SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A200	
1	NEW PENETRATION THROUGH FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING
2	NEW PENETRATIONS THROUGH WALL TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING
3	NEW PENETRATIONS THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRESTOPPING

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

1 BASEMENT NEW CONSTRUCTION PLAN  
A200 1:50

NO ARCHITECTURAL SCOPE AT LEVEL 6.  
REFER TO ELEC.

1	ISSUED FOR TENDER	2026-01-21
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

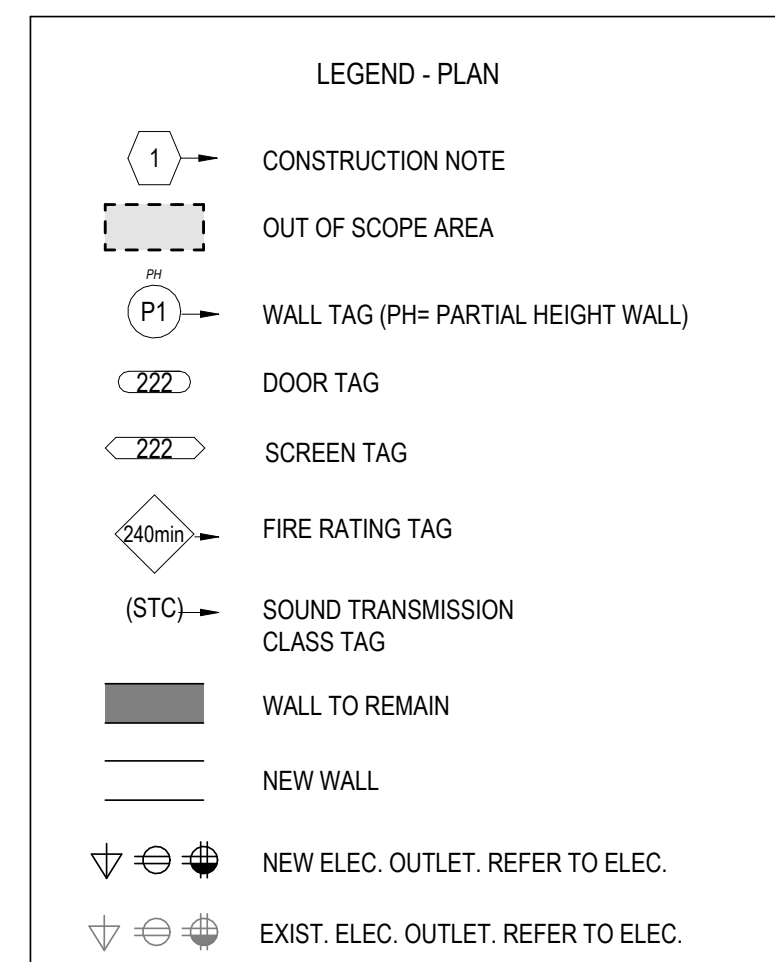
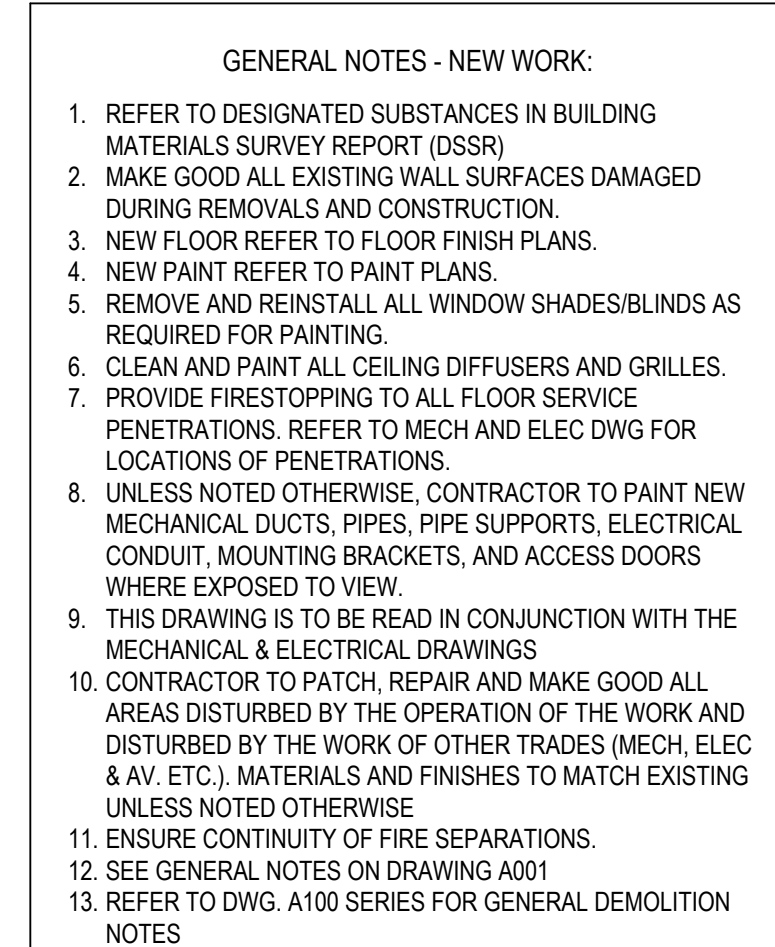
481 Spadina Ave  
DRAWING SHEET TITLE:  
**BASEMENT NEW  
CONSTRUCTION PLAN**

DRAWN BY: Author	SCALE: As indicated
REVIEWED BY: Checker	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER: NORTH POINT	

P164-25-078

DRAWING NUMBER <b>A200</b>	REV. NUMBER <b>1</b>
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CONSTRUCTION NOTES	
No.	DESCRIPTION
A201	
1	NEW WALL-MOUNTED AC UNIT. LOCATE BELOW EXISTING UNIT ON EXTERIOR WALL. REFER TO MECH. & ELEC
2	NEW PENETRATION THROUGH 2ND FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING.
3	NEW SALT TO HOTSPOT. REFER TO ELEC.
4	NEW CARD READER. REFER TO ELEC.
5	REMOVE EXISTING INTERCOM. PATCH HOLES WITH SEALANT.
6	NEW PENETRATION THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRESTOPPING. ROOM HAS ELECTROSTATIC FLOORING. ENSURE SYSTEM PERFORMANCE IS NOT COMPROMISED.
7	CORE WALL FOR NEW CONDUIT AND ADD SEALANT.

3	ISSUED FOR TENDER	2026-01-21
2	ISSUED FOR F&S REVIEW	2026-01-16
1	ISSUED FOR PERMIT	2026-01-14
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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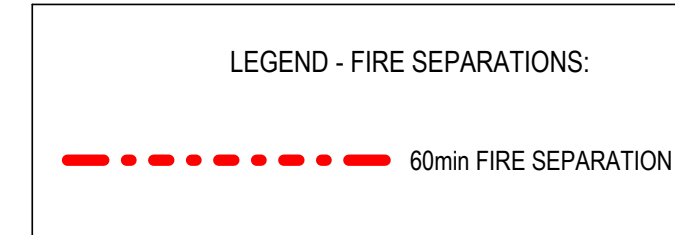
PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 1 NEW  
CONSTRUCTION PLAN**

DRAWN BY: Author	SCALE: As indicated
REVIEWED BY: Checker	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT

DRAWING NUMBER	REV. NUMBER
<b>A201</b>	<b>3</b>












NO ARCHITECTURAL SCOPE AT LEVEL 6.  
REFER TO ELEC.







- GENERAL NOTES - NEW WORK:**
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSSR)
  2. MAKE SURE ALL EXISTING AND NEW SUBSTANCES DAMAGED DURING REMOVAL ARE PROPERLY REMEDIATED
  3. NEW FLOOR REFER TO FLOOR FINISH SCHEDULE
  4. NEW CEILING REFER TO CEILING FINISH SCHEDULE
  5. REMOVE AND REINSTALL ALL WINDOW FRAMES/SHADES AS REQUIRED FOR PAINTING
  6. CLEAN AND REPAIR ALL CEILING DIFFUSERS AND OTHERS BEFORE FREESTOPPING TO ALL FLOOR SURFACE
  7. ELECTRICAL REFER TO ELECTRICAL AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  8. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW ELECTRICAL PANELS, CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS THEREON WITH CONDUIT PAINT
  9. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL ELECTRICAL DRAWINGS
  10. CONTRACTOR TO BE RESPONSIBLE TO MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES AND MECHANICAL AND ELECTRICAL TRADES
  11. UNLESS NOTED OTHERWISE
  12. ENSURE QUALITY OF ALL PREPARATIONS
  13. SEE GENERAL NOTES ON DRAWING 000
  14. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION

- ### LEGEND - PLAN
- |   |                                     |
|---|-------------------------------------|
|  | CONSTRUCTION NOTE                   |
|  | OUT OF SCOPE AREA                   |
|  | WALL TAG (PH= PARTIAL HEIGHT WALL)  |
|  | DOOR TAG                            |
|  | SCREEN TAG                          |
|  | FIRE RATING TAG                     |
|  | SOUND TRANSMISSION<br>GLASS TAG     |
|  | WALL TO REMAIN                      |
|  | NEW WALL                            |
|  | NEW ELEC. OUTLET. REFER TO ELEC.    |
|  | EXIST. ELEC. OUTLET. REFER TO ELEC. |

NO.	DESCRIPTION
NO. 0002	
1	EXISTING DOOR TO REMOVE FRAME SLAB TO ACCESS CONTROL. REF. TO 0001 FOR LOCATION.
2	PROVIDE NEW DOOR, FRAME AND HARDWARE. DOOR TO RECEIVE SLAB TO DOOR SCHEDULE.
3	PROVIDE NEW DOOR, FRAME AND HARDWARE. NEW OPENING FOR NEW DOOR.
4	NEW WALL, WHERE DOOR EXISTING.
5	NEW PARTITION.
6	NEW PARTITION DOORS TO EXISTING CEILING.
7	PASTEN TOP FLUSH TO EXISTING FABR GRID. PROVIDE SHIMS AND BRACKETS TO SUPPORT EXISTING CEILING FLEES FROM BEING PUSHED UPWARDS AND CONCEALED GASKETS TO BE USED TO SEAL DOOR TO EXISTING CEILING. PROVIDE 1000 TRIM WHERE GWS MEETS CEILING.
8	PROVIDE POWER POLE. REFER TO ELEC.
9	NEW PARTITION DOORS TO EXISTING CEILING (GUARD). PAINT FINISH: COLOR TO MATCH WALLS. INSTALL NEW VINYL BASEBOARD.
10	EXISTING COUNTERTOP, LOWER AND UPPER CABINETS TO REMAIN.
11	NEW PENETRATIONS THROUGH SLAB SLIP FOR ELEC. REFER TO ELEC. PROVIDE FIRESTOPPING.
12	NEW PENETRATIONS THROUGH EXTERIOR WALL FOR NEW ELEC. REFER TO ELEC. PROVIDE AIR DRAINING, TYP.
13	NEW PENETRATIONS THROUGH WALL ABOVE CEILING TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
14	NEW PENETRATIONS THROUGH WALL FOR NEW MECH. & ELEC. REFER TO MECH. & ELEC. SEAL OPENING, TYP.
15	NEW WALL, MOUNTED AC ELEC. REFER TO MECH. & ELEC.
16	NEW EXTERIOR WALL, INSTALL WINDOW WALL. REFER TO MECH.
17	RUN ELEC. FROM ABOVE CEILING, VERTICALLY DOWN ALONG THE WALL, OR LOCATING ELEC. CONTROL HORIZONTALLY AT LOW LEVEL, REFER TO ELEC.
18	NEW PENETRATIONS THROUGH WALL ACCESSORIES (SPOA DISPENSERS, PAPER TOWEL, DISPENSERWASTE RECEPTACLE COMBO UNIT, TOWEL PAPER DISPENSERS, SANITARY NAPKIN DISPOSAL)

6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR F&S REVIEW	2026-01-16
4	ISSUED FOR PERMIT	2026-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% SD	2025-09-25
REV.	DESCRIPTION	DATE

ITEM PLAN (AUTO)	CCAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 2 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG	SCALE: As indicated
REVIEWED BY: EB	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT

DRAWING NUMBER	REV. NUMBER
<b>A202</b>	<b>6</b>



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- GENERAL NOTES - NEW WORK:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (B35R)
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION
  3. NEW FLOOR REFER TO FLOOR FINISH PLANS
  4. NEW PAINT REFER TO PAINT PLANS
  5. REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS REQUIRED FOR PAINTING
  6. CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES
  7. PROVIDE FIRESTOPPING TO ALL FLOOR SERVICE PENETRATIONS. REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  8. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW
  9. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS
  10. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE
  11. ENSURE CONTINUITY OF FIRE SEPARATIONS
  12. SEE GENERAL NOTES ON DRAWING A001
  13. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES

- LEGEND - PLAN
- 1. CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - P1. WALL TAG (PH= PARTIAL HEIGHT WALL)
  - 222. DOOR TAG
  - 222. SCREEN TAG
  - 240/100. FIRE RATING TAG
  - (STC). SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A203	
1	EXISTING DOOR TO RECEIVE NEW SALTO ACCESS CONTROL. REFER TO DOOR SCHEDULE
2	NEW INFILL WHERE DOOR REMOVED
3	NEW PARTITION TO US OF EXISTING CEILING
4	WHERE GNB PARTITION REMOVED AT THE WINDOW/SILL, FILL ALL RESULTING HOLES WITH SEALANT. SEALANT COLOUR TO MATCH THE EXISTING WINDOW SILL COLOUR
5	PAINT ALL EXISTING WASHROOM PARTITIONS AND DOORS
6	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY WIPER DISPENSERS) AND FIXTURES TO REMAIN
8	NEW WINDOW AC UNIT. INSTALL WINDOW INFILL. REFER TO MECH
9	NEW PENETRATIONS THROUGH WALL ABOVE DOOR. TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING
10	NEW PENETRATIONS THROUGH WALL TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING
11	PATCH, REPAIR AND MAKE GOOD GNB PORTION OF GUARD AS REQUIRED. PAINT FINISH, COLOUR TO MATCH WALLS. INSTALL NEW VINYL BASEBOARD
12	NEW PENETRATION THROUGH FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2025-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BD	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
----------------	------

PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 3 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A203**  
REV. NUMBER  
**6**



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1 LEVEL 4 NEW CONSTRUCTION PLAN  
A204 1:50

- GENERAL NOTES - NEW WORK:
- REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSR).
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  - NEW FLOOR REFER TO FLOOR FINISH PLANS.
  - NEW PAINT REFER TO PAINT PLANS.
  - REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS REQUIRED FOR PAINTING.
  - CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES.
  - PROVIDE FIRESTOPPING TO ALL FLOOR SERVICE PENETRATIONS. REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS.
  - UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS.
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & A.V. ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - ENSURE CONTINUITY OF FIRE SEPARATIONS.
  - SEE GENERAL NOTES ON DRAWING A201.
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.

- LEGEND - PLAN
- 1 CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - P1 WALL TAG (PH-PARTIAL HEIGHT WALL)
  - 222 DOOR TAG
  - 222 SCREEN TAG
  - 240 FIRE RATING TAG
  - (STC) SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A204	
1	EXISTING DOOR TO RECEIVE NEW SALTO ACCESS CONTROL. REFER TO DOOR SCHEDULE.
2	NEW INFILL WHERE DOOR REMOVED.
4	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY NAPKIN DISPOSALS) AND FIXTURES TO REMAIN.
5	PAINT ALL EXISTING WASHROOM PARTITIONS AND DOORS.
6	PROVIDE OUTLETS AT DESK HEIGHT. REFER TO ELEC.
7	PATCH, REPAIR AND MAKE GOOD GWB PORTION OF GUARD AS REQUIRED. PAINT FINISH COLOUR TO MATCH WALLS. INSTALL NEW VINYL BASEBOARD.
8	NEW PENETRATIONS THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRESTOPPING.
9	NEW WINDOW AC UNIT. REFER TO MECH.
10	NEW PENETRATIONS THROUGH WALL ABOVE DOOR, TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
11	NEW PENETRATIONS THROUGH WALL TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
12	NEW PENETRATIONS THROUGH WALL ABOVE CEILING TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
13	NEW PENETRATION THROUGH FLOOR SLAB FOR ELEC. ENSURE NEW PENETRATION IS LOCATED WITHIN THE CEILING SPACE OF ROOM T323 BELOW. REFER TO ELEC. PROVIDE FIRESTOPPING.
14	DASHED LINE INDICATES LOCATION OF EXISTING PARTITION BELOW.

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2025-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BD	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 4 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A204**  
REV. NUMBER  
**6**



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1 LEVEL 6 NEW KEY PLAN  
A206 1:50

- GENERAL NOTES - NEW WORK:
- REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSSR)
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION
  - NEW FLOOR REFER TO FLOOR FINISH PLANS
  - NEW PAINT REFER TO PAINT PLANS
  - REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS REQUIRED FOR PAINTING
  - CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES
  - PROVIDE FIRESTOPPING TO ALL FLOOR SERVICE PENETRATIONS. REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS
  - UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE
  - ENSURE CONTINUITY OF FIRE SEPARATIONS
  - SEE GENERAL NOTES ON DRAWING A001
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES

- LEGEND - PLAN
- 1 - CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - P1 - WALL TAG (PH= PARTIAL HEIGHT WALL)
  - DOOR TAG
  - SCREEN TAG
  - FIRE RATING TAG
  - SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
1	NEW PENETRATION THROUGH FLOOR SLAB ABOVE FOR ELEC. LOCATION TO BE DETERMINED ON SITE. REFER TO ELEC. PROVIDE FIRESTOPPING

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

NO ARCHITECTURAL SCOPE AT LEVEL 6.  
REFER TO ELEC.

6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2025-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% BB	2025-09-23
REV.	DESCRIPTION	DATE

KEY PLAN (NTS)	SEAL
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PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 6 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER  
**P164-25-078**

DRAWING NUMBER  
**A206**  
REV. NUMBER  
**6**



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- GENERAL NOTES - NEW WORK:
- REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (DSR).
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  - NEW FLOOR REFERS TO FLOOR FINISH PLANS.
  - NEW PAINT REFER TO PAINT PLANS.
  - REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS REQUIRED FOR PAINTING.
  - CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES.
  - PROVIDE FIRESTOPPING TO ALL FLOOR SERVICE PENETRATIONS. REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS.
  - UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS.
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & A/V, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - ENSURE CONTINUITY OF FIRE SEPARATIONS.
  - SEE GENERAL NOTES ON DRAWING A201.
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.

- LEGEND - PLAN
- CONSTRUCTION NOTE
  - OUT OF SCOPE AREA
  - WALL TAG (PH= PARTIAL HEIGHT WALL)
  - DOOR TAG
  - SCREEN TAG
  - FIRE RATING TAG
  - SOUND TRANSMISSION CLASS TAG
  - WALL TO REMAIN
  - NEW WALL
  - NEW ELEC. OUTLET. REFER TO ELEC.
  - EXIST. ELEC. OUTLET. REFER TO ELEC.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A207	
1	EXISTING DOOR TO RECEIVE NEW SAL TO ACCESS CONTROL. REFER TO DOOR SCHEDULE.
2	PROVIDE POWER POLE. REFER TO ELEC.
3	PROVIDE NEW COUNTER.
4	PROVIDE NEW SINK. REFER TO MECH.
5	FASTEN EXISTING WASHROOM PARTITION TO WALL WITH NEW ANCHOR/FASTENER.
6	NEW WINDOW AC UNIT. INSTALL WINDOW INFILL. REFER TO MECH.
7	NEW PENETRATION THROUGH FLOOR SLAB FOR ELEC. REFER TO ELEC. PROVIDE FIRESTOPPING.
8	ALL EXISTING WASHROOM ACCESSORIES (SOAP DISPENSERS, PAPER TOWEL DISPENSER/WASTE RECEPTACLE COMBO UNIT, TOILET PAPER DISPENSERS, SANITARY NAPKIN DISPOSALS) AND FIXTURES TO REMAIN.
9	NEW PENETRATION IN WALL ABOVE CEILING. TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.

REV.	DESCRIPTION	DATE
6	ISSUED FOR TENDER	2026-01-21
5	ISSUED FOR FAS REVIEW	2026-01-18
4	ISSUED FOR PERMIT	2025-01-14
3	ISSUED FOR DD	2025-11-07
2	ISSUED FOR CLIENT REVIEW	2025-10-31
1	ISSUED FOR 100% DD	2025-09-23

KEY PLAN (NTS)	SEAL

PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 7 NEW  
CONSTRUCTION PLAN**

DRAWN BY: RG  
REVIEWED BY: EB  
UNIVERSITY PROJECT NUMBER: NORTH POINT  
**P164-25-078**

DRAWING NUMBER  
**A207**  
REV. NUMBER  
**6**

1  
A207  
LEVEL 7 NEW CONSTRUCTION PLAN  
1:50

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION



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1 LEVEL 2 - RCP  
A222 1:50

- GENERAL NOTES - NEW WORK:
- REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (BSR).
  - MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  - NEW FLOOR REFERS TO FLOOR FINISH PLANS.
  - NEW PAINT REFER TO PAINT PLANS.
  - REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS REQUIRED FOR PAINTING.
  - CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES.
  - PROVIDE FIRESTOPPING TO ALL FLOOR SERVICE PENETRATIONS. REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS.
  - UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  - THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS.
  - CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  - ENSURE CONTINUITY OF FIRE SEPARATIONS.
  - SEE GENERAL NOTES ON DRAWING A201.
  - REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.

- LEGEND - REFLECTED CEILING PLAN
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
  - NEW CEILING TYPE C1 (TO MATCH EXIST.)
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN 610mm x 1220mm
  - 610mm x 610mm
  - NEW GWB CEILING
  - EXIST. GWB CEILING
  - ACCESS PANEL
  - LIGHT FIXTURE: SEE ELEC. DWGS.
  - OCCUPANCY SENSOR: SEE ELEC. DWGS.
  - WIRELESS ACCESS POINT: SEE ELEC. DWGS.
  - SMOKE ALARM: SEE ELEC. DWGS.
  - FIRE ALARM: SEE ELEC. DWGS.
  - EXIT SIGN: SEE ELEC. DWGS.
  - SPRINKLER HEAD: SEE MECH. DWGS.
  - MECH. DIFFUSER: SEE MECH. DWGS.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A222	
1	EXISTING 305mm x 305mm CEILING AND LIGHT FIXTURES TO REMAIN. PAINT CEILING TILES, GWB BULKHEADS, DIFFUSERS & GRILLES.
2	EXISTING 610mm x 610mm SUSPENDED ACT CEILING AND LIGHT FIXTURES TO REMAIN. CLEAN EXIST. MECH. DIFFUSERS & GRILLES. REPLACE ANY BROKEN TILES AS REQUIRED. REFER TO SPEC FOR ALLOWANCE.
3	PAINT EXISTING GWB BULKHEAD. INCLUDE MECH. DIFFUSERS AND/OR GRILLES.
4	PAINT EXISTING REVERSE BULKHEAD AT WINDOWS. TYP.
5	EXISTING GWB CEILING AND LIGHT FIXTURES TO REMAIN. PAINT CEILING TILES, GWB BULKHEADS AT WINDOWS, DIFFUSERS & GRILLES.
6	NEW PENETRATIONS IN WALL ABOVE CEILING, TO RUN ELEC. REFER TO ELEC. PROVIDE FIRE STOPPING.
7	NEW PARTITION BELOW TO US OF EXISTING CEILING
8	NEW WALL-MOUNTED AC UNIT. REFER TO MECH. & ELEC.

- LEGEND - FIRE SEPARATIONS:
- 60min FIRE SEPARATION

This drawing is the property of the University of Toronto, and must be returned upon completion of the work. All information shown on this drawing is for use on this specific project. Contractor must verify all dimensions on the job and report any discrepancies to the Architect before proceeding with the work.

4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR ID	2025-11-07
REV.	DESCRIPTION	DATE

KEY PLAN (NTS) SEAL

PROJECT TITLE  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

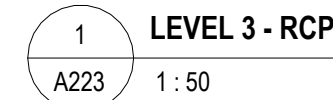
481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 2 NEW RCP**

DRAWN BY: RG SCALE: As indicated  
REVIEWED BY: EB DATE CREATED: 25/09/02  
UNIVERSITY PROJECT NUMBER: NORTH POINT

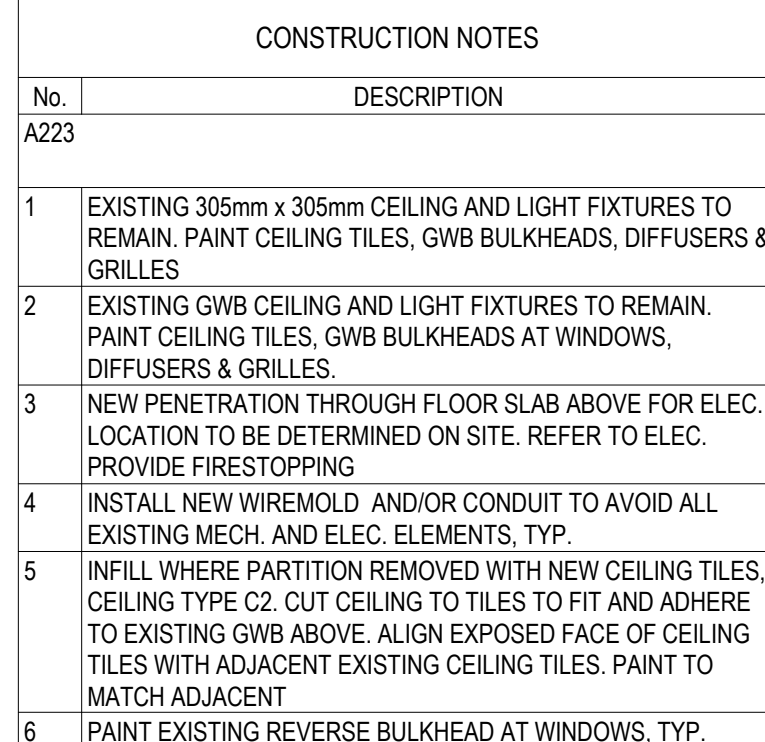
P164-25-078

DRAWING NUMBER  
**A222**  
REV. NUMBER  
**4**





- LEGEND - REFLECTED CEILING PLAN



481 Spadina Ave  
DRAWING SHEET TITLE  
**LEVEL 3 NEW RCP**

481 Spadina Ave

**LEVEL 3 NEW RCP**

COMBINED BC	COMB As indicated
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REVIEWED BY: FR	DATE CREATED: 25/09/02
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UNIVERSITY PROJECT NUMBER	NORTH POINT
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P164-25-078

DRAWING NUMBER	REV. NUMBER
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<b>A223</b>	<b>4</b>
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<b>A220</b>	<b>4</b>
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LEGEND - FIRE SEPARATIONS:

60min FIRE SEPARATION

DRAWN BY: RG	SCALE: As indicated
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REVIEWED BY: EB	DATE CREATED: 25/09/02
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UNIVERSITY PROJECT NUMBER | NORTH POINT

P164-25-078	
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ORDEN DE NUMERO	DEL NUMERO
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A222 4

<b>A223</b>	<b>4</b>
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- GENERAL NOTES - NEW WORK:
1. REFER TO DESIGNATED SUBSTANCES IN BUILDING MATERIALS SURVEY REPORT (BSR).
  2. MAKE GOOD ALL EXISTING WALL SURFACES DAMAGED DURING REMOVALS AND CONSTRUCTION.
  3. NEW FLOOR REFER TO FLOOR FINISH PLANS.
  4. NEW PAINT REFER TO PAINT PLANS.
  5. REMOVE AND REINSTALL ALL WINDOW SHADES/BLINDS AS REQUIRED FOR PAINTING.
  6. CLEAN AND PAINT ALL CEILING DIFFUSERS AND GRILLES.
  7. PROVIDE FIRESTOPPING TO ALL FLOOR SERVICE PENETRATIONS. REFER TO MECH AND ELEC DWG FOR LOCATIONS OF PENETRATIONS.
  8. UNLESS NOTED OTHERWISE, CONTRACTOR TO PAINT NEW MECHANICAL DUCTS, PIPES, PIPE SUPPORTS, ELECTRICAL CONDUIT, MOUNTING BRACKETS, AND ACCESS DOORS WHERE EXPOSED TO VIEW.
  9. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE MECHANICAL & ELECTRICAL DRAWINGS.
  10. CONTRACTOR TO PATCH, REPAIR AND MAKE GOOD ALL AREAS DISTURBED BY THE OPERATION OF THE WORK AND DISTURBED BY THE WORK OF OTHER TRADES (MECH, ELEC & AV, ETC.). MATERIALS AND FINISHES TO MATCH EXISTING UNLESS NOTED OTHERWISE.
  11. ENSURE CONTINUITY OF FIRE SEPARATIONS.
  12. SEE GENERAL NOTES ON DRAWING A01.
  13. REFER TO DWG. A100 SERIES FOR GENERAL DEMOLITION NOTES.

- LEGEND - REFLECTED CEILING PLAN
- EXIST. 305mm x 305mm CEILING TILE ADHERED TO EXIST. GWB CEILING TO REMAIN
  - NEW CEILING TYPE C1 (TO MATCH EXIST.)
  - EXIST. SUSPENDED ACOUSTIC CEILING TILE TO REMAIN 610mm x 1220mm
  - 610mm x 610mm
  - NEW GWB CEILING
  - EXIST. GWB CEILING
  - ACCESS PANEL
  - LIGHT FIXTURE. SEE ELEC. DWGS.
  - OCCUPANCY SENSOR. SEE ELEC. DWGS.
  - WIRELESS ACCESS POINT. SEE ELEC. DWGS.
  - SMOKE ALARM. SEE ELEC. DWGS.
  - FIRE ALARM. SEE ELEC. DWGS.
  - EXIT SIGN. SEE ELEC. DWGS.
  - SPRINKLER HEAD. SEE MECH. DWGS.
  - MECH. DIFFUSER. SEE MECH. DWGS.

CONSTRUCTION NOTES	
No.	DESCRIPTION
A224	
1	EXISTING 305mm x 305mm CEILING AND LIGHT FIXTURES TO REMAIN. PAINT CEILING TILES, GWB BULKHEADS AT WINDOWS, DIFFUSERS & GRILLES.
2	EXISTING GWB CEILING AND LIGHT FIXTURES TO REMAIN. PAINT CEILING TILES, GWB BULKHEADS AT WINDOWS, DIFFUSERS & GRILLES.
3	PAINT EXISTING REVERSE BULKHEAD AT WINDOWS, TYP.
4	INFILL WHERE PARTITION REMOVED WITH NEW CEILING TILES, CEILING TYPE C2. CUT CEILING TO TILES TO FIT AND ADHERE TO EXISTING GWB ABOVE. ALIGN EXPOSED FACE OF CEILING TILES WITH ADJACENT EXISTING CEILING TILES. PAINT TO MATCH ADJACENT.

1 LEVEL 4 - RCP  
A224 1:50

LEGEND - FIRE SEPARATIONS:  
60min FIRE SEPARATION

4	ISSUED FOR TENDER	2026-01-21
3	ISSUED FOR F&S REVIEW	2026-01-16
2	ISSUED FOR PERMIT	2026-01-14
1	ISSUED FOR ID	2025-11-07
REV.	DESCRIPTION	DATE

KEY PLAN (NTS) SEAL

PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE:  
**LEVEL 4 NEW RCP**

DRAWN BY: RG SCALE: As indicated  
REVIEWED BY: EB DATE CREATED: 25/09/02  
UNIVERSITY PROJECT NUMBER / NORTH POINT

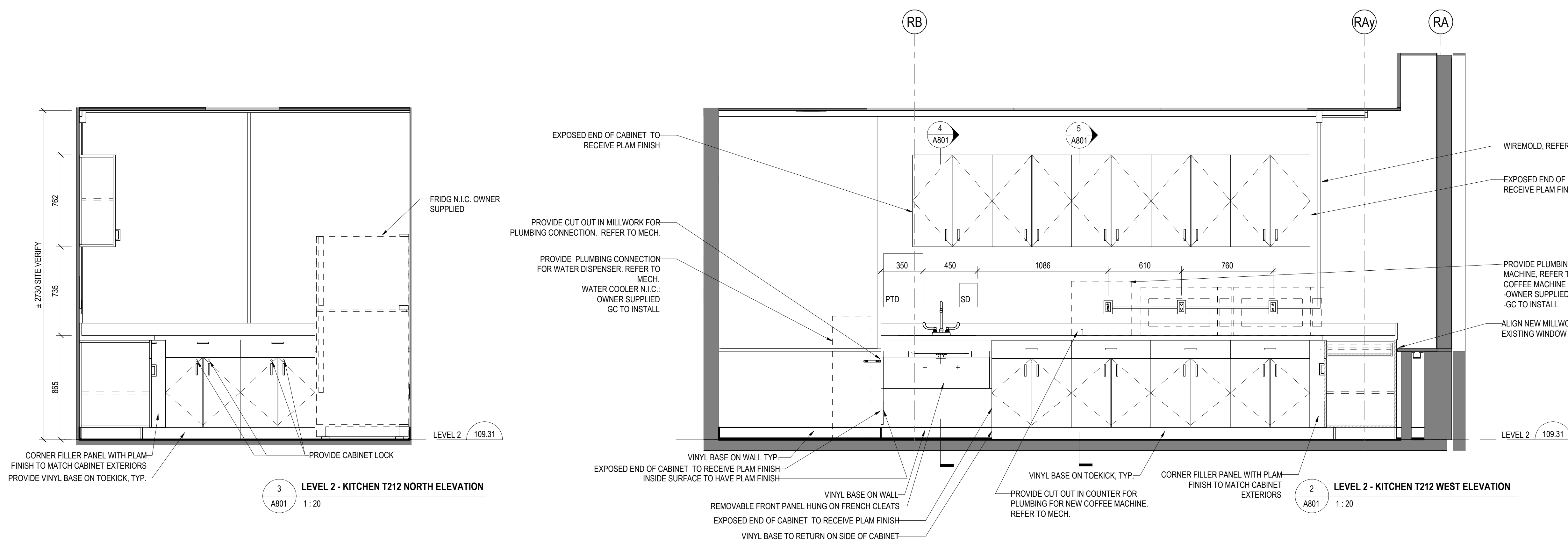
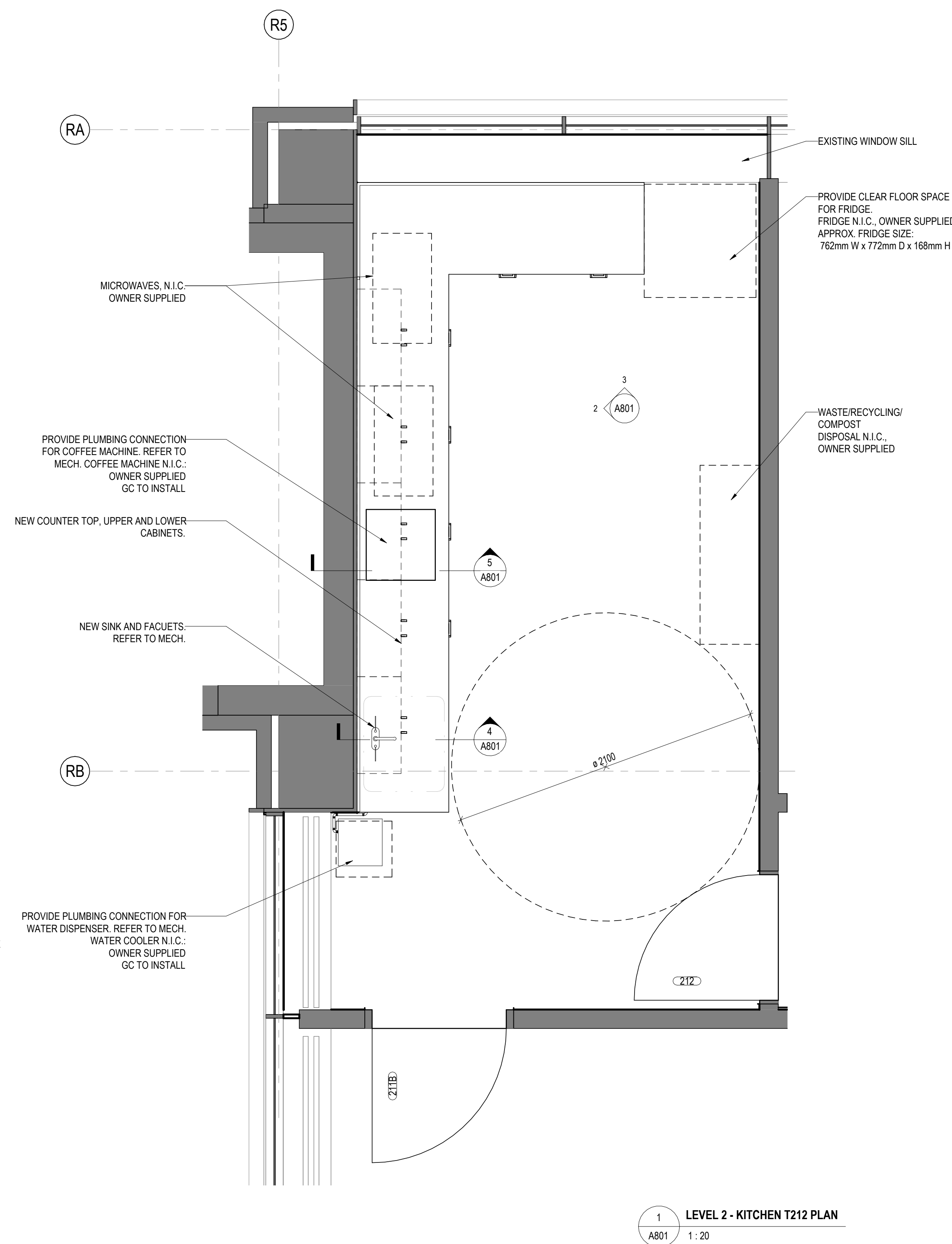
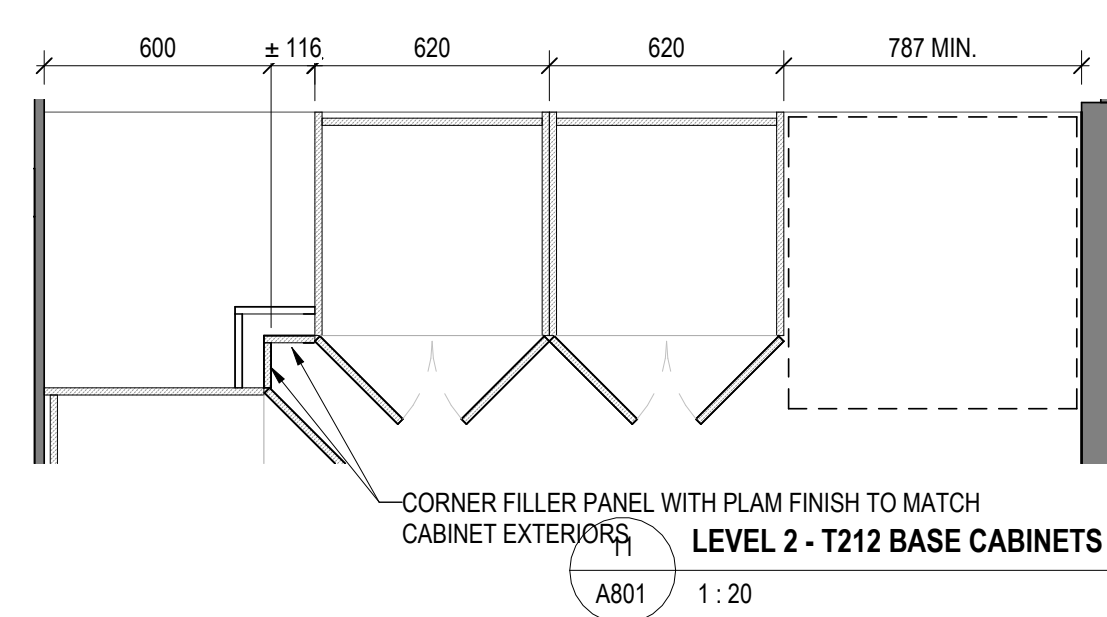
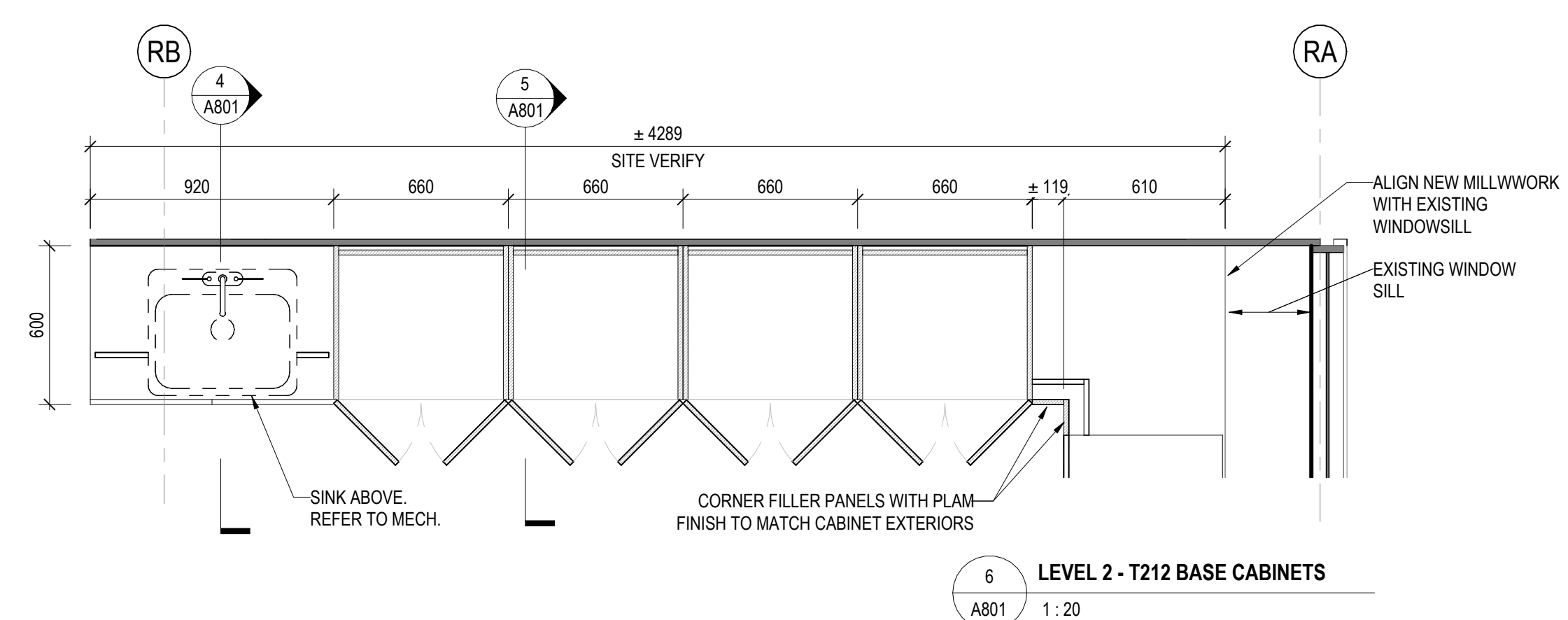
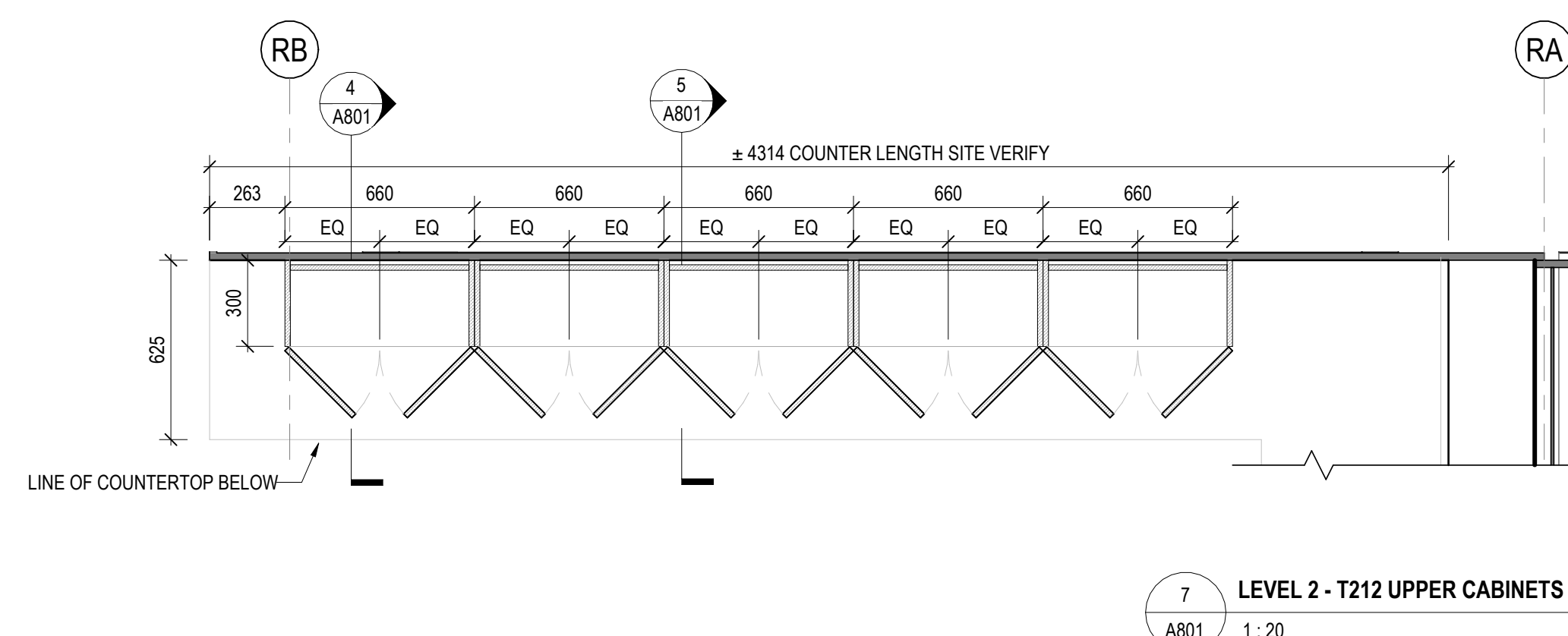
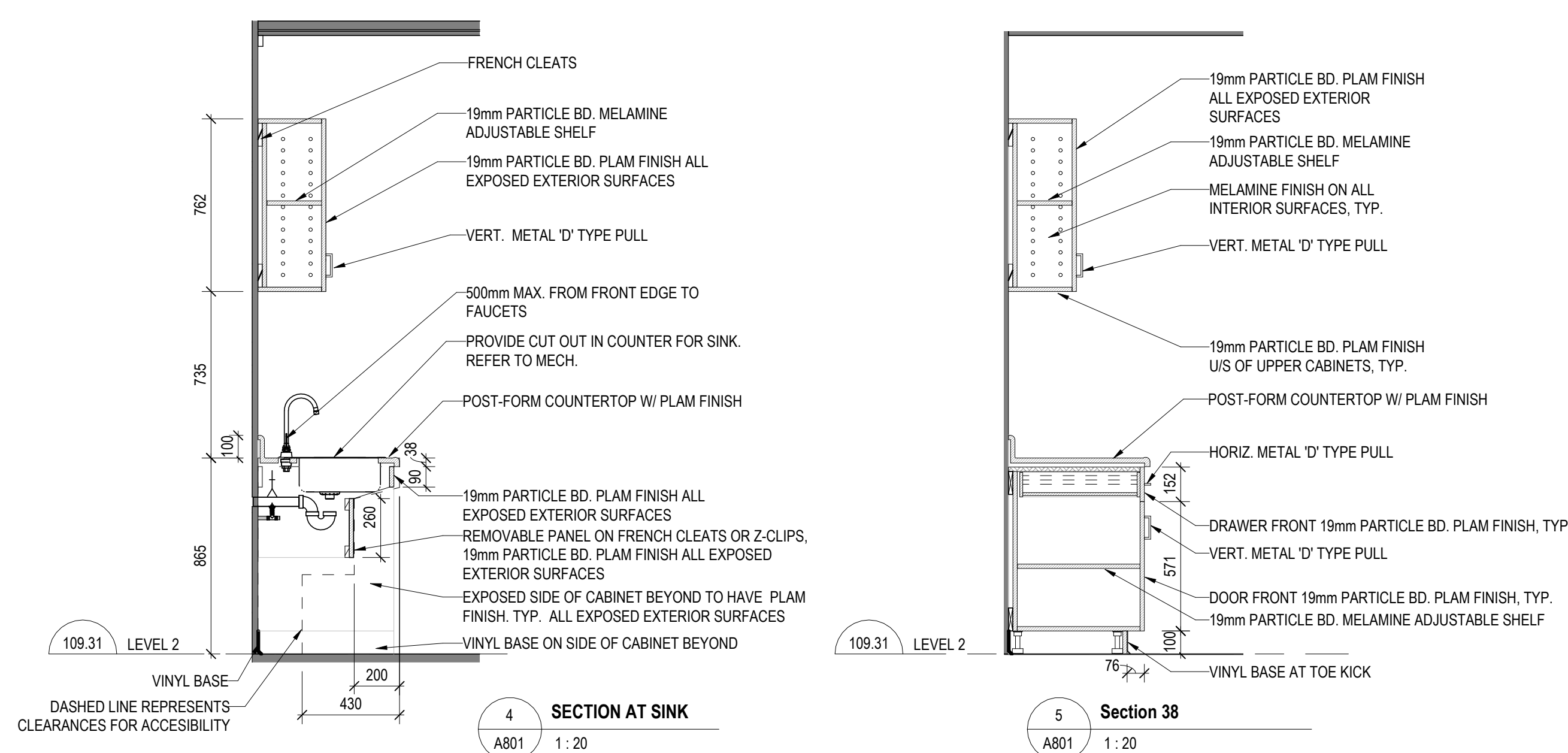
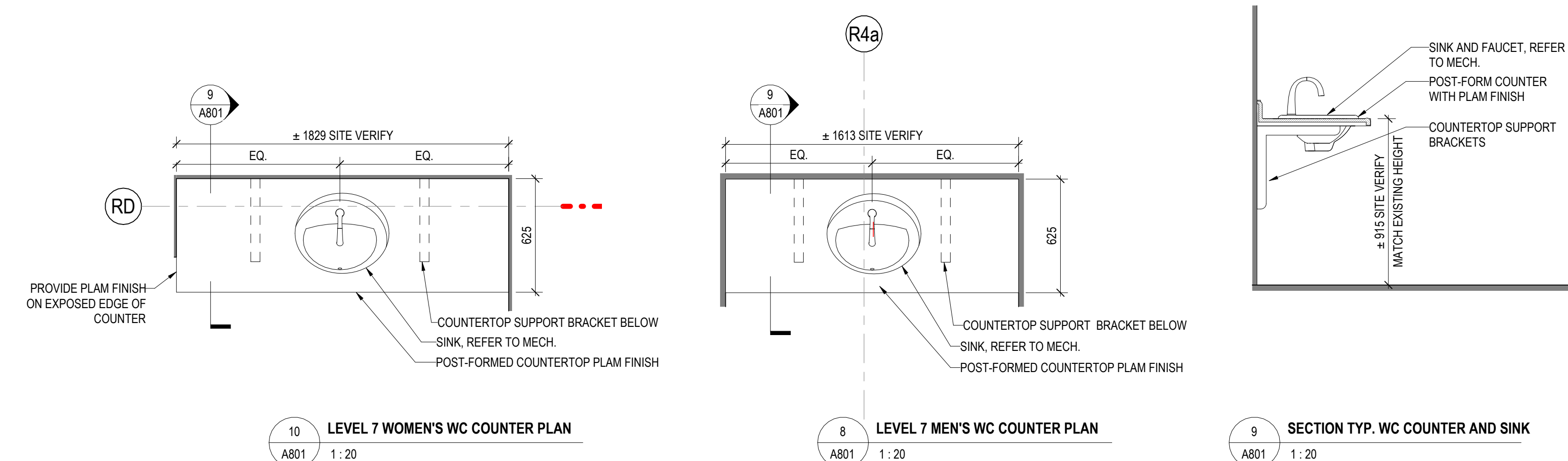
P164-25-078

DRAWING NUMBER  
**A224**  
REV. NUMBER  
**4**









GENERAL NOTES - MILLWORK:

1. FOR HARDWARE, REFER TO SPECIFICATIONS
2. FOR LOCKS, SEE ELEVATIONS.
3. FOR DOOR PULLS, SEE ELEVATIONS.
4. FOR FINISHES, SEE ELEVATIONS. REFER TO SPECIFICATIONS.

5	ISSUED FOR TENDER	2026-01-21
4	ISSUED FOR F&S REVIEW	2026-01-16
3	ISSUED FOR PERMIT	2026-01-14
2	ISSUED FOR DD	2025-11-07
1	ISSUED FOR CLIENT REVIEW	2025-10-31
<b>REV.</b>	<b>DESCRIPTION</b>	<b>DATE</b>

KEY PLAN (NTS)	SEAL
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PROJECT TITLE:  
UNIVERSITY OF TORONTO  
**Tower FOI Relocation**

481 Spadina Ave  
DRAWING SHEET TITLE  
**MILLWORK DETAILS**

DRAWN BY: Author	SCALE: As indicated
REVIEWED BY: Checker	DATE CREATED: 25/09/02
UNIVERSITY PROJECT NUMBER	NORTH POINT

P164-25-078

DRAWING NUMBER	REV. NUMBER
<b>A801</b>	<b>5</b>



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DOOR SCHEDULE									
DOOR			DOOR AND FRAME		REMARKS				
Level	DOOR NO.	LOCATION	Phase	ACCESS					
			Controlled	CONTROL					
LEVEL 2	2N-521	Stair	Existing	EXISTING	DO NOT PAINT DOOR OR FRAME. EXISTING DOOR HARDWARE TO REMAIN.				
LEVEL 2	2S-520	Stair	Existing	EXISTING	DO NOT PAINT DOOR OR FRAME. EXISTING DOOR HARDWARE TO REMAIN.				
LEVEL 2	203	Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 2	204	Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 2	207	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 2	208	Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 2	209	Meeting	New	SAL TO	NEW DOOR DOOR TYPE A. SOLID CORE WOOD DOOR. METAL DOOR FRAME. GC TO PROVIDE NEW DOOR HARDWARE. SEE HARDWARE SCHEDULE. LOCKSHOP TO PROVIDE AND INSTALL LOCKSET, SAL TO AND PERMANENT CYLINDER.				
LEVEL 2	211A	Lunchroom	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 2	211B	Lunchroom	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 2	212	Kitchen	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 2	213	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 2	214	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 2	215	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 2	218	Janitor	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP. KEYED TO THE BUILDING MASTER.				
LEVEL 2	219	Elc.	Existing	-	KEYED TO THE BUILDING MASTER. EXISTING DOOR HARDWARE TO REMAIN. NO REVISION.				
LEVEL 2	280	Corr. 123AA	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 2	291	Corr. 291	Existing	-	BOTH DOORS HAVE EXISTING HOLD OPENS. EXISTING DOOR HARDWARE TO REMAIN.				
LEVEL 2	291A	Corr. 291	Existing	-	BOTH DOORS HAVE EXISTING HOLD OPENS. EXISTING DOOR HARDWARE TO REMAIN.				
LEVEL 2	294	Reception	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	3N-521	Stair	Existing	-	EXISTING				
LEVEL 3	3S-520	Stair	Existing	-	EXISTING				
LEVEL 3	301A	Shared Office	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	301B	Shared Office	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	302	Men's WC	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	303	Elc.	Existing	-	KEYED TO THE BUILDING MASTER. EXISTING DOOR HARDWARE TO REMAIN. NO REVISION.				
LEVEL 3	304	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	305	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	306	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	307	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	308	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	309	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	310	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	311	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	312	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	313	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	314	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	315	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	315A	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	316	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	317	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	318	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	319	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	320	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	320A	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	321A	Multi-Use Rm	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	321B	Multi-Use Rm	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	322	Office	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	323A	Printer Room	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	323B	Printer Room	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	324	Elc.	Existing	-	KEYED TO THE BUILDING MASTER. EXISTING DOOR HARDWARE TO REMAIN. NO REVISION.				
LEVEL 3	325	Janitor	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP. KEYED TO THE BUILDING MASTER.				
LEVEL 3	326	Womens WC	Existing	-	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	328	Lab	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 3	360A	LOBBY	Existing	NO LOCK	EAST LEAF HAS EXISTING HOLD OPEN. EXISTING DOOR HARDWARE TO REMAIN.				
LEVEL 3	360B	LOBBY	Existing	NO LOCK	WEST LEAF HAS EXISTING HOLD OPEN. EXISTING DOOR HARDWARE TO REMAIN.				
LEVEL 4	4N-521	Stair	Existing	-	EXISTING				
LEVEL 4	4S-420	Stair	Existing	-	EXISTING				
LEVEL 4	401	Lab	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	401A	Shared Space	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	402	Men's WC	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	403	Elc.	Existing	-	KEYED TO THE BUILDING MASTER. EXISTING DOOR HARDWARE TO REMAIN. NO REVISION.				
LEVEL 4	404	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	405	Lab	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	407	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	408	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	409	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	410	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	411A	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	411B	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	412	Lab	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	413A	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	413B	Office	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	414	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	415	Office	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	416	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	417	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	418	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	419	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	420	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	421A	Shared Space	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	421B	Shared Space	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	422A	Lab	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	422B	Lab	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	423	Lab	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	424	Printer Room	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	427	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	428	Office	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	429	Women's WC	Existing	-	EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	430	Janitor	Existing	-	KEYED TO THE BUILDING MASTER. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 4	431	Elc.	Existing	-	KEYED TO THE BUILDING MASTER. EXISTING DOOR HARDWARE TO REMAIN. NO REVISION.				
LEVEL 4	490A	Lobby	Existing	NO LOCK	EAST LEAF HAS EXISTING HOLD OPEN. EXISTING DOOR HARDWARE TO REMAIN.				
LEVEL 4	492B	Lobby	Existing	NO LOCK	WEST LEAF HAS EXISTING HOLD OPEN. EXISTING DOOR HARDWARE TO REMAIN.				
LEVEL 7	7N-721	Stair	Existing	-	EXISTING				
LEVEL 7	7S-720	Stair	Existing	-	EXISTING				
LEVEL 7	701A	Dean's Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 7	701B	Dean's Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 7	702	Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 7	703	Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 7	705	Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 7	706	Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 7	707	Meeting	Existing	SAL TO	LOCKSHOP TO RETROFIT EXISTING DOOR FOR SAL TO AND PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 7	708	Elc.	Existing	-	KEYED TO THE BUILDING MASTER. EXISTING DOOR HARDWARE TO REMAIN. NO REVISION.				
LEVEL 7	709	Office	Existing	-	NEW LOCKSET IN EXIST. DOOR BY LOCKSHOP				
LEVEL 7	710	Office	Existing	-	EXIST GLAZED DOOR IN METAL FRAME. EXISTING DOOR HARDWARE TO REMAIN. PERMANENT CYLINDER PROVIDED BY LOCKSHOP.				
LEVEL 7	794	Shared Office	Existing	NO LOCK	EXISTING DOOR HARDWARE TO REMAIN. DOOR TO REMAIN UNLOCKABLE. PER OBC				
LEVEL 7	796	Men's WC	Existing	-					
LEVEL 7	796A	Womens WC	Existing	-					

DOOR & SCREEN SCHEDULE NOTES:	
1.	REFER TO HARDWARE SPECIFICATIONS FOR DOOR HARDWARE
2.	REFER TO FLOOR PLANS FOR CONFIGURATION OF NEW DOOR
3.	DOOR SIZES ARE TO BE FRAME REBATE SIZES LESS CLEARANCES
4.	LOCK SHOP TO PROVIDE CYLINDERS, KEYS AND SAL TO.
DOOR & SCREEN SCHEDULE ABBREVIATIONS:	
ALUM	ALUMINUM
ANOD	ANODIZED
CC	CLEAR COAT
EXT	EXTERIOR
EXST	EXISTING
GWG	GEORGIAN WIRED GLASS
H	HONEYWELL LOCK
HC	HOLLOW CORE
HOWR	HARDWARE
HM	HOLLOW METAL
K	KEYED LOCK
MAG LOCK	ELECTROMAGNETIC LOCK
PTD	PAINTED
S	SAL TO LOCK
SC	SOLID CORE
SCWV	SOLID CORE WOOD VENEER
TGL	TEMPERED GLASS
WO	WOOD

