

TORONTO PARAMEDIC SERVICES FLEET MAINTENANCE STATION - UPGRADE WORKS

30276606

KING STREET YARD - BUILDING NO. 8 & 9
1116 KING STREET WEST



CITY OF TORONTO



55 John St.
TORONTO, ON
M5V 3C6

ISSUES		
No.	DESCRIPTION	DATE
A	ISSUED FOR 50% DESIGN	2025-10-17
B	ISSUED FOR 75% DESIGN	2025-11-04
C	ISSUED FOR 95% DESIGN	2025-11-24
D	ISSUED FOR 100% DESIGN	2025-12-09
E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
G	ISSUED FOR TENDER - REV. 01	2025-12-23

TORONTO PARAMEDIC
SERVICES FLEET
MAINTENANCE STATION -
UPGRADE WORKS

NOT FOR CONSTRUCTION



100 - 175 Galaxy Blvd,
Toronto, ON M9W 0C9, Canada
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www.arcadis.com

PROJECT NO: 30276606	
DATE: 2025-12-23	
SHEET NUMBER G001	ISSUE G

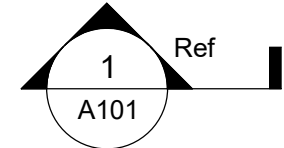
ISSUED FOR TENDER - REV. 01

GENERAL NOTES

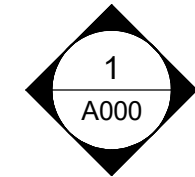
1. THE CONSULTANT IS NOT RESPONSIBLE FOR INFORMATION CONCERNING THE SITE AND SURVEY INFORMATION PREPARED BY OTHERS.
2. THE CONTRACTOR SHALL SITE VERIFY THE SURVEY INFORMATION PRIOR TO PROCEEDING WITH THE WORK. FAILURE TO REPORT ANY DISCREPANCIES SHALL CONSTITUTE ACCEPTANCE OF THE SITE CONDITIONS.
3. THE CONTRACTOR SHALL REVIEW THE DRAWINGS FOR SCOPE OF DEMOLITION AND NEW WORK, INCLUDING ALL DISCIPLINES, AND SHALL COORDINATE WITH NEW WORK DRAWINGS FOR EXACT EXTENT OF ANY DEMOLITION REQUIRED.
4. SCOPE OF WORK SHALL NOT BE LIMITED TO THAT SHOWN ON THE DRAWINGS AND SHALL INCLUDE WORK REQUIRED TO ELIMINATE ANY EXISTING, ABANDONED OR REDUNDANT COMPONENTS, AND TO FACILITATE PROPER EXECUTION OF THE WORK.
5. ALL DIMENSIONS, INCLUDING EXISTING DIMENSIONS AND SETTING-OUT GEOMETRIES, SHALL BE SITE VERIFIED BY THE CONTRACTOR PRIOR TO PROCEEDING WITH THE WORK.
6. REMOVAL AND DISPOSAL OF HAZARDOUS MATERIALS SHALL BE IN ACCORDANCE WITH LOCAL REGULATIONS AND AUTHORITIES HAVING JURISDICTION.
7. ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONTRACT DRAWINGS AND OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT BEFORE PROCEEDING WITH ANY WORK INVOLVED.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE TO THE LATEST EDITION OF THE ONTARIO BUILDING CODE.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND THE SAFETY IN AND AROUND THE WORKS' AREA AND OF ADJACENT PROPERTIES.
10. CONTRACTOR SHALL KEEP LOADS ON THE STRUCTURE WITHIN THE LIMITS OF THE DESIGN BOTH DURING AND AFTER CONSTRUCTION.
11. NOTE THAT ALL WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE.
12. THE CONTRACTOR SHALL CONFINE HIS OPERATIONS ON THE SITE TO AREAS PERMITTED BY THE OWNER.
13. PROVIDE TOUCH-UP PAINT IN THE EVENT THAT PATCH AND REPAIR IS REQUIRED. MATCH EXISTING PAINT.
14. PROVIDE ALL NECESSARY BLOCKING, BACKING AND FRAMING FOR LIGHT FIXTURES, ELECTRIC UNITS, RECESSED ITEMS AND ALL OTHER ITEMS AS REQUIRED.
15. ALL MATERIAL STORED ON SITE SHALL BE PROTECTED TO PREVENT DAMAGE AND DETERIORATION.
16. THE JOB SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION, FREE OF DEBRIS AND LITTER AND SHALL NOT BE UNREASONABLY ENCUMBERED WITH MATERIALS OR EQUIPMENT.
17. CONTRACTOR NOT TO COMMENCE CONSTRUCTION WITHOUT THE SUBMITTAL AND REVIEW OF APPROPRIATE SHOP DRAWINGS.
18. PIPING, TUBING, DUCTS, CHIMNEYS, OPTICAL FIBRE CABLES, ELECTRICAL WIRES & CABLES, TOTALLY ENCLOSED NON-COMBUSTIBLE RACEWAYS, ELECTRICAL OUTLET BOXES AND OTHER SIMILAR BUILDING SERVICES THAT PENETRATE A MEMBRANE FORMING PART OF AN ASSEMBLY REQUIRED TO HAVE A FIRE RESISTANCE RATING OR A FIRE SEPARATION SHALL BE SEALED WITH A FIRE STOP.
19. AT ALL TRANSITIONS OF MATERIALS, JOINTS TO BE CAULKED C/W WITH BACKER ROD.
20. ALL ULC RATED WALLS ARE TO BE INSTALLED USING THE ASSEMBLY AND MATERIALS IN THE ULC LISTING.
21. ALL RATED PARTITIONS TO EXTEND TO U/S OF FLOOR OR ROOF ABOVE.
22. PROVIDE FIRESTOP AND SMOKE SEALS AT PERIMETER JOINTS AND PENETRATIONS IN FIRE RATED PARTITIONS.

SYMBOLS

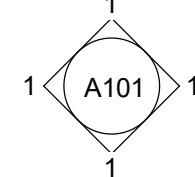
Section Marker



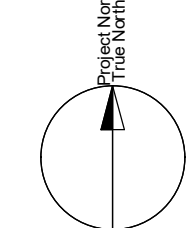
Elevation Marker



Interior Elevation Marker



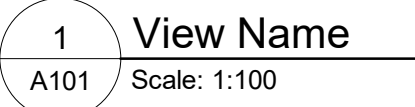
North Arrow



Elevation Datum Marker



Titlemark



Grid

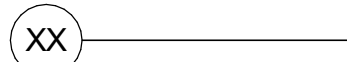
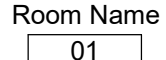


Photo Marker



TAGS

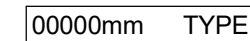
Room & Unit



Wall



Ceiling



Window



Keynote

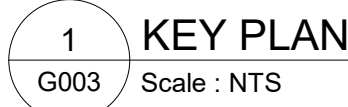
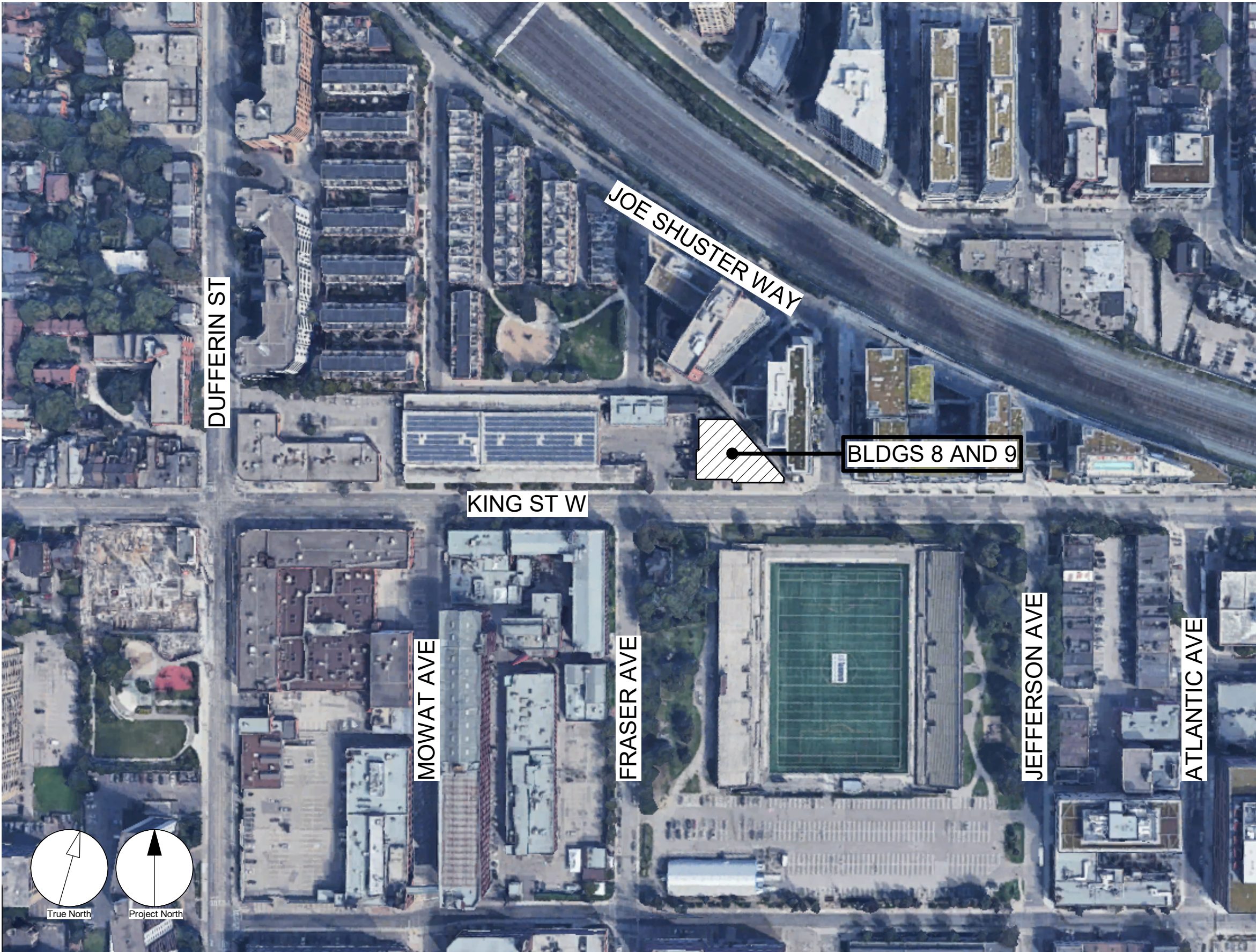


Door



DEMOLITION NOTES

1. REPAIR CEILING, WALL AND FLOOR FINISHES DAMAGED BY DEMOLITION WORK TO MATCH EXISTING ADJACENT FINISHES.
2. REPAIR WALLS DAMAGED BY DEMOLITION TO PROVIDE SMOOTH SURFACE, WITH PATCHES DRESSED FLUSH, SMOOTH AND READY TO RECEIVE FINISH MATERIAL..
3. CONSTRUCTION IN AREAS TO BE RENOVATED SHALL BE CAREFULLY COORDINATED WITH BUILDING OPS, THE CITY AND CONSULTANT PRIOR TO CONSTRUCTION. EXISTING EQUIPMENT WILL BE RELOCATED OR STORED AT CITY'S DIRECTION. EQUIPMENT AND/OR FURNISHINGS TO BE STORED SHALL BE PROTECTED FROM DAMAGE AND VANDALISM IN LOCATIONS ACCEPTABLE TO THE CITY AND BUILDING OPS.
4. COORDINATE DEMOLITION AND CONSTRUCTION OPERATIONS WITH BUILDING OPS WHERE THEY AFFECT EXISTING WORK AREAS AND NORMAL OPERATING PROCEDURES.
5. DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS OR TO THE PUBLIC SHALL BE PROPERLY SEALED AND PROTECTED TO ELIMINATE DAMAGE FROM VANDALISM DURING CONSTRUCTION. EXTERIOR GRADE PLYWOOD TO BE USED FOR HOARDING.
6. PROVIDE SCREENINGS FROM DUST, FUMES, SMOKE, WATER AND NOISE WHERE DEMOLITION REQUIRES CONSTRUCTION TO BE EXPOSED TO NORMAL OPERATIONS OF THE OCCUPANTS.
7. PATCH ALL WALL PENETRATIONS IN EXISTING FIRE RATED WALLS TO MAINTAIN THE SAME FIRE RATING OF THE EXISTING WALL/STRUCTURE. ITEMS TO REMAIN AND TO BE PROTECTED ARE DESIGNATED WITH CONTINUOUS LINES. IF DAMAGE OCCURS, PATCH, REFINISH OR REPLACE DAMAGED ITEMS AT NO COST TO THE CITY.
8. REFER TO DESIGNATED SUBSTANCE SURVEY AND FOLLOW ALL RECOMMENDED MEASURES INDICATED IN THE REPORT FOR ALL DEMOLITION WORK.



WALL TYPES

MARK	LEGEND	DESCRIPTION	FRR	REMARKS
W1		- 140mm CONCRETE BLOCK	N/A	
W2		- 90mm CONCRETE BLOCK	N/A	
W3		- 15.9mm GYPSUM BOARD - 64mm METAL STUDS	N/A	
W4		- 15.9mm GYPSUM BOARD - 64mm METAL STUDS - 15.9mm GYPSUM BOARD	N/A	
W5		- 15.9m GYPSUM BOARD - 64mm METAL STUDS - 15.9m GYPSUM BOARD - 15.9m GYPSUM BOARD	N/A	

CEILING TYPES

MARK	LEGEND	DESCRIPTION	FRR	REMARKS
C1		- 101.6 mm STEEL CHANNEL AT 610 mm O/C - 22mm FURRING CHANNELS AT 400 O/C - 15.9mm GYPSUM BOARD	N/A	

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Project Management Office
Metro Hall Toronto, ON
M5V 3C6

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CONSULTANTS

SEAL

PRIME CONSULTANT



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PROJECT NO:
30276606

DRAWN BY:
D. MOTTA

CHECKED BY:
L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

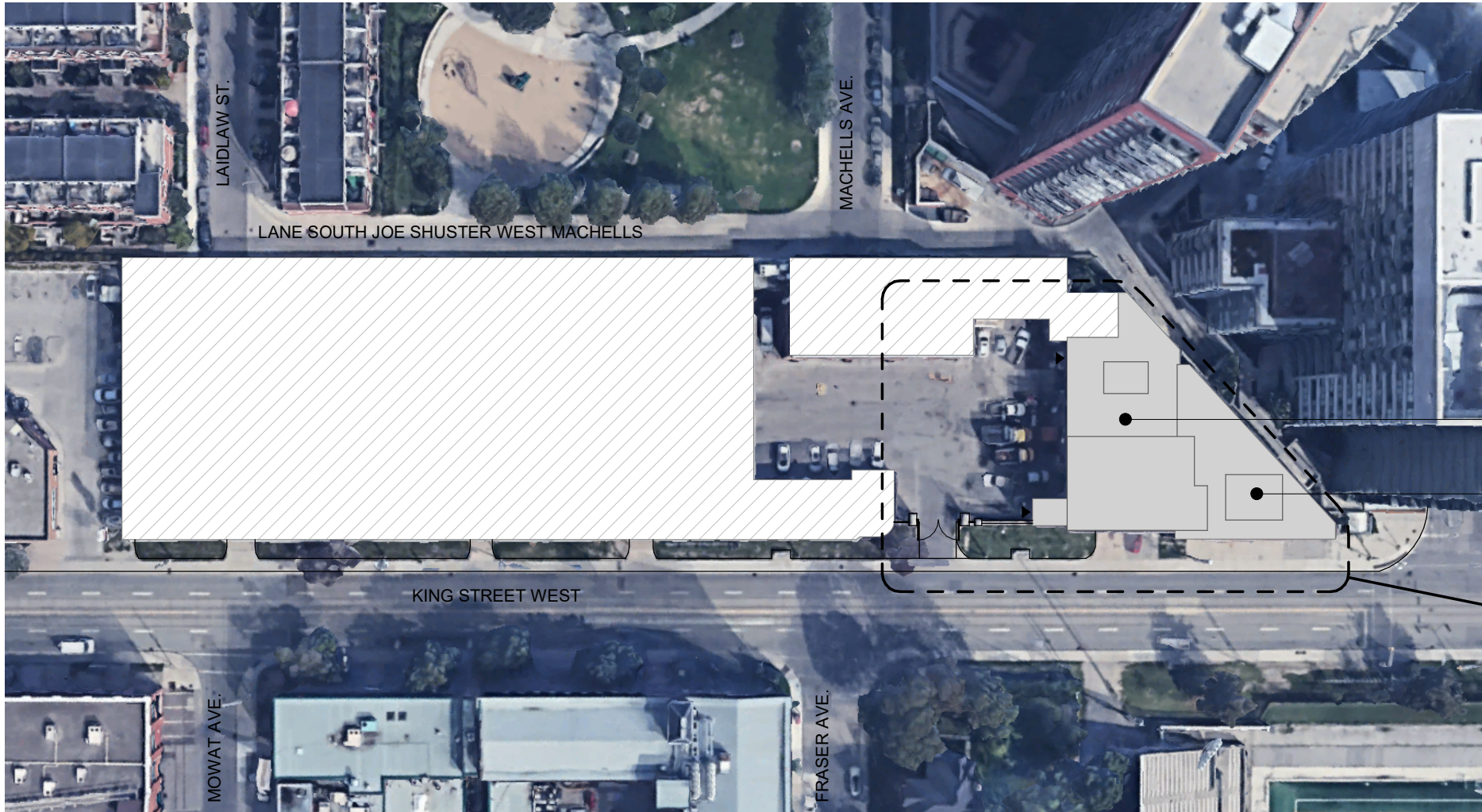
GENERAL INFORMATION

SHEET NUMBER

G003

ISSUE

G



1 KEY SITE PLAN
A001 Scale: 1 : 1000



PHOTO 1: PARKING AREA LOOKING EAST



PHOTO 2: NORTH-WEST ENTRANCE



PHOTO 3: PARKING AREA LOOKING SOUTH



PHOTO 4: STORAGE CONTAINER TO BE REMOVED



PHOTO 5: CAGED STORAGE TO BE REMOVED



PHOTO 6: PLANTER TO BE REMOVED

REMOVE AND RELOCATE ALL ITEMS IN THE AREA TO BE REPAVED, INCLUDING BUT NOT LIMITED TO WINDSHIELD WASHER FLUID TANK, FENCES, PROPANE TANKS, METAL CONTAINER, PLANTER, TABLES AND TIRES. RELOCATION OR DISPOSAL OF ITEMS TO BE COORDINATED WITH CITY.

OUTLINE OF AREA TO BE REPAVED

REMOVE AND RELOCATE ALL ITEMS IN THE AREA TO BE REPAVED, INCLUDING BUT NOT LIMITED TO TABLES AND TIRES. RELOCATION OR DISPOSAL OF ITEMS TO BE COORDINATED WITH CITY.

SITE DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING TO REMAIN
- ▶ ENTRANCE

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND SERVICES. REPORT ANY DISCREPANCY TO THE CONSULTANT PRIOR TO COMMENCING THE WORK.
- CONTRACTOR TO COORDINATE HOARDING AND FENCING FOR ENTRANCES WITH OWNER. RESTORE ANY AFFECTED WALKWAY, DRIVEWAY AND PAVING AT EXCAVATED AREAS POST CONSTRUCTION. MATCH MATERIAL AND FINISH.

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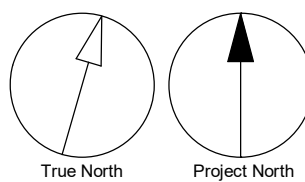
SITE PLAN - DEMOLITION

SHEET NUMBER

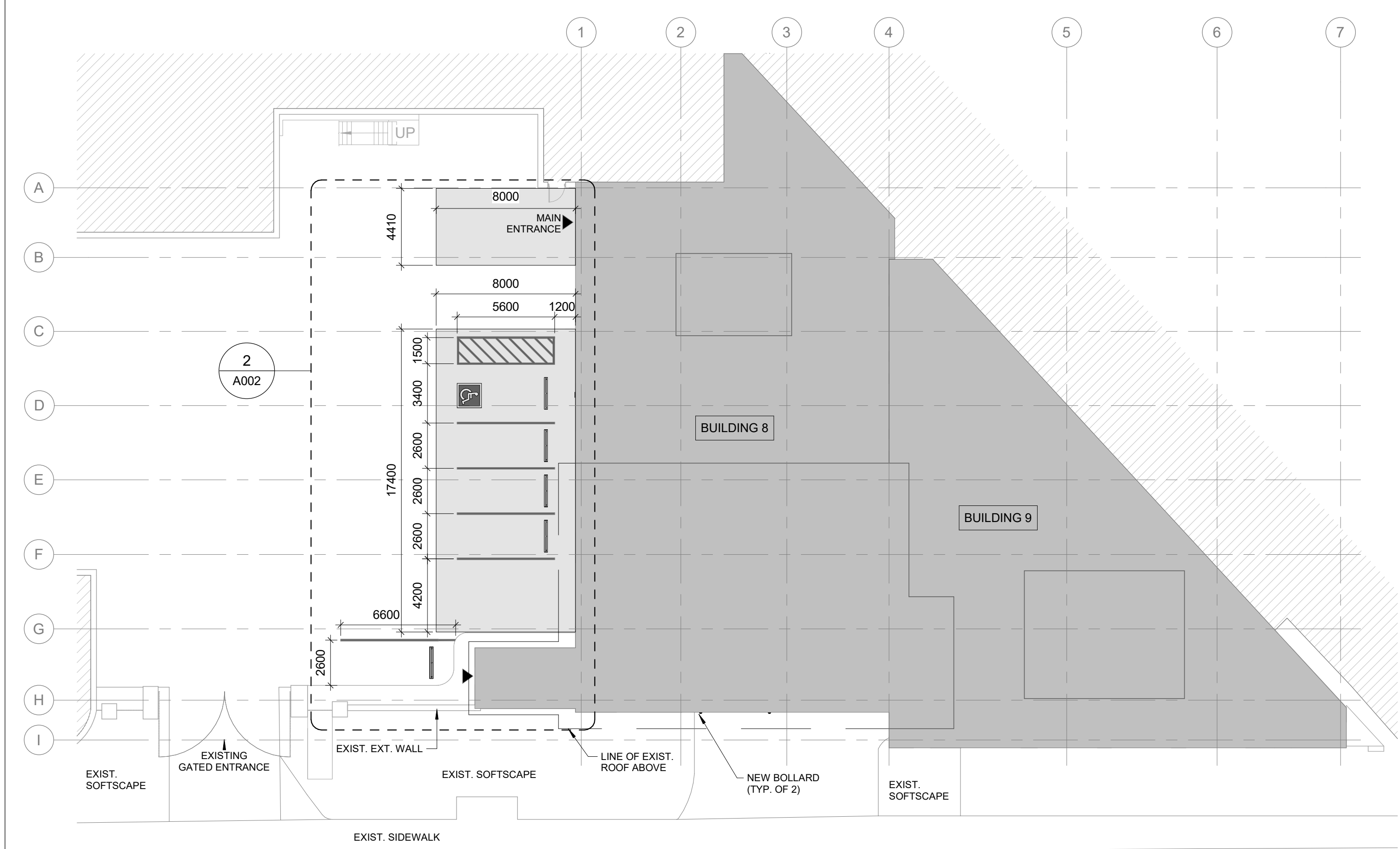
A001

ISSUE

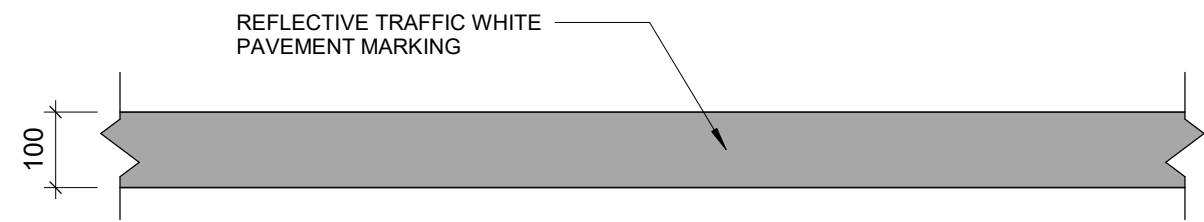
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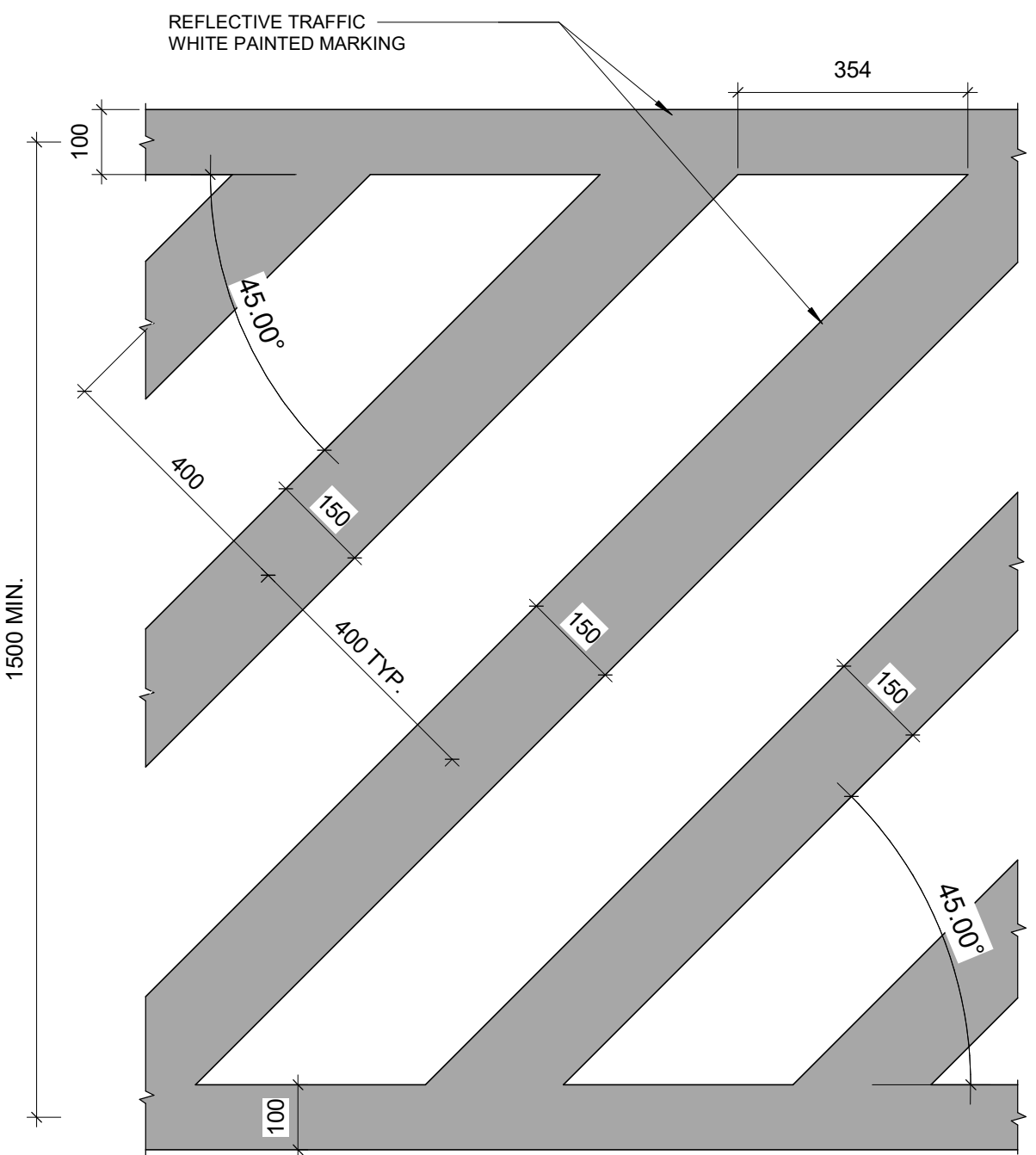
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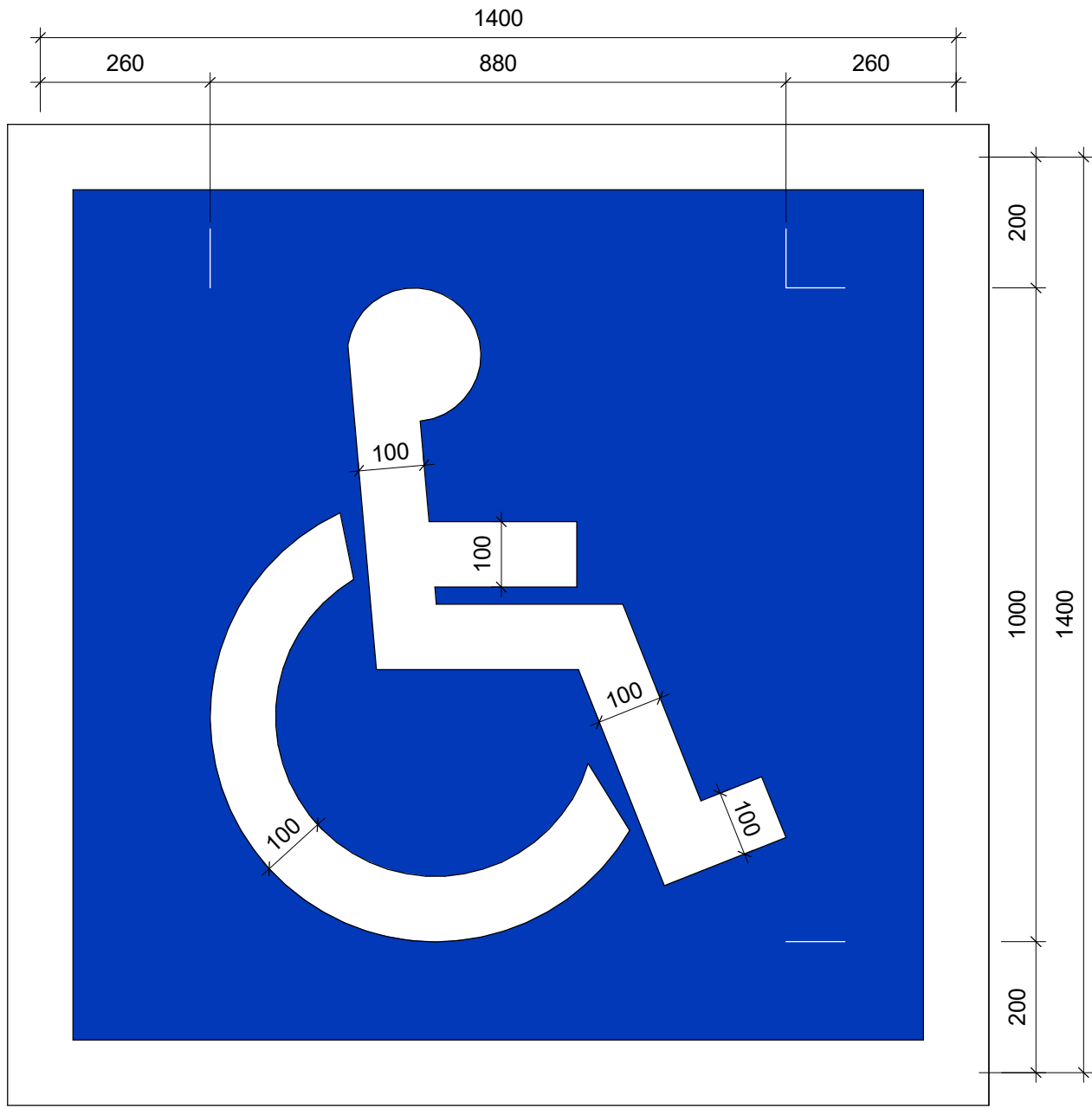
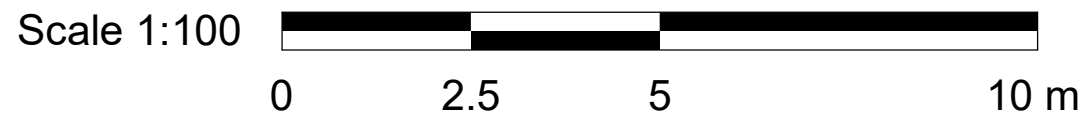
1 SITE PLAN - PROPOSED
A002 Scale: 1 : 200



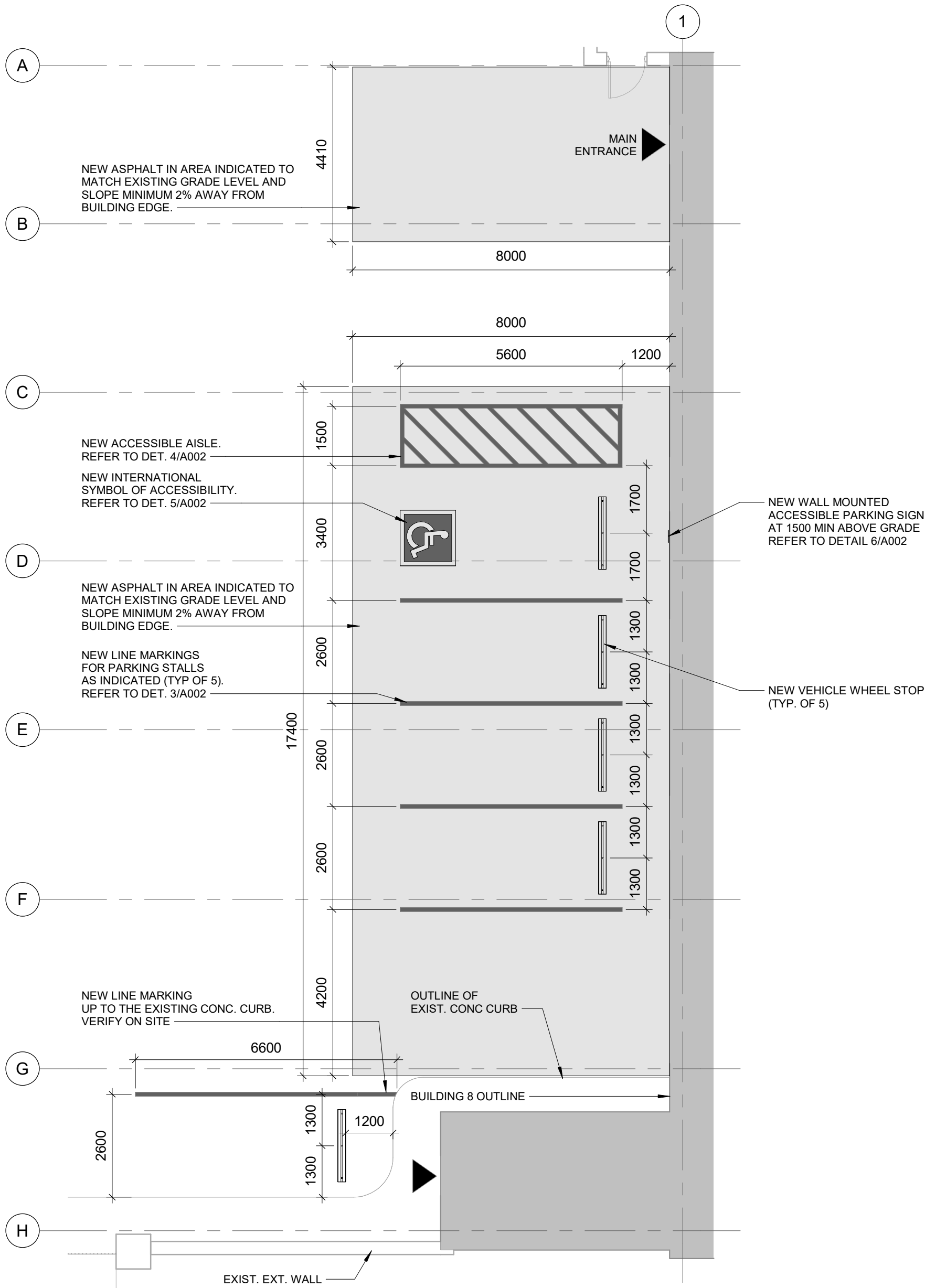
3 PAINTED LANE MARKING DETAIL
A002 Scale: 1 : 10



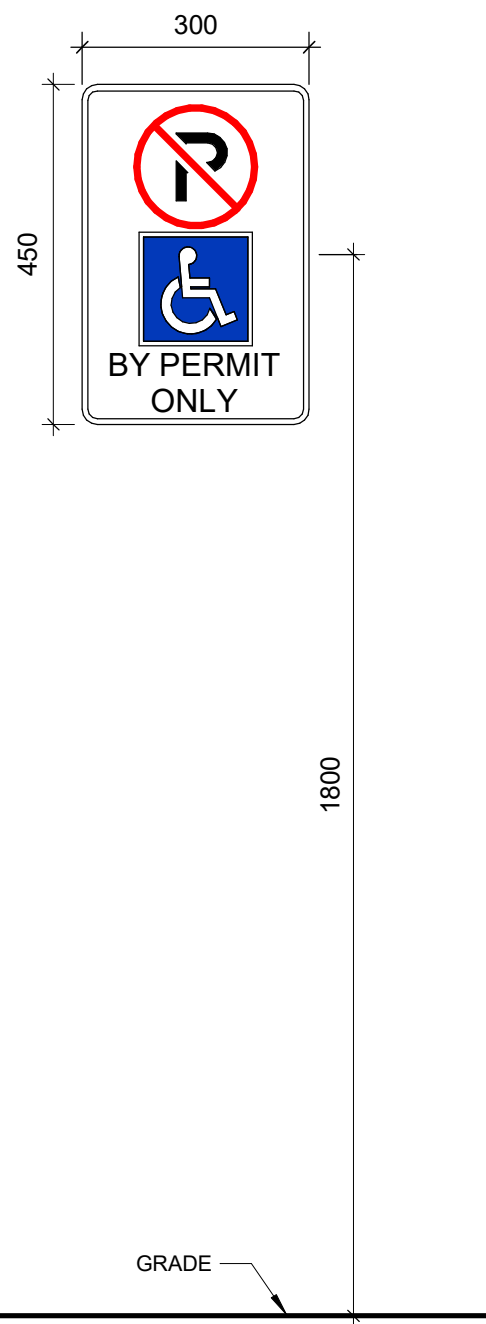
4 PAINTED WALKWAY DETAIL
A002 Scale: 1 : 10



5 ACCESSIBLE PARKING PAVEMENT MARKING DETAIL
A002 Scale: 1 : 10



2 PARTIAL SITE PLAN
A002 Scale: 1 : 100



6 ACCESSIBLE PARKING - WALL MOUNT SIGN
A002 Scale: 1 : 10

SITE KEY LEGEND

- EXISTING TO REMAIN
- NEW PAINTED LINE MARKING
- NEW BARRIER FREE PARKING
- ENTRANCE

GENERAL NOTES

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- CONTRACTOR TO COORDINATE HOARDING AND FENCING FOR ENTRANCES WITH OWNER. RESTORE ANY AFFECTED WALKWAY, DRIVEWAY AND PAVING AT EXCAVATED AREAS POST CONSTRUCTION. MATCH MATERIAL AND FINISH.

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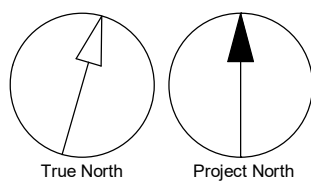
SITE PLAN - PROPOSED

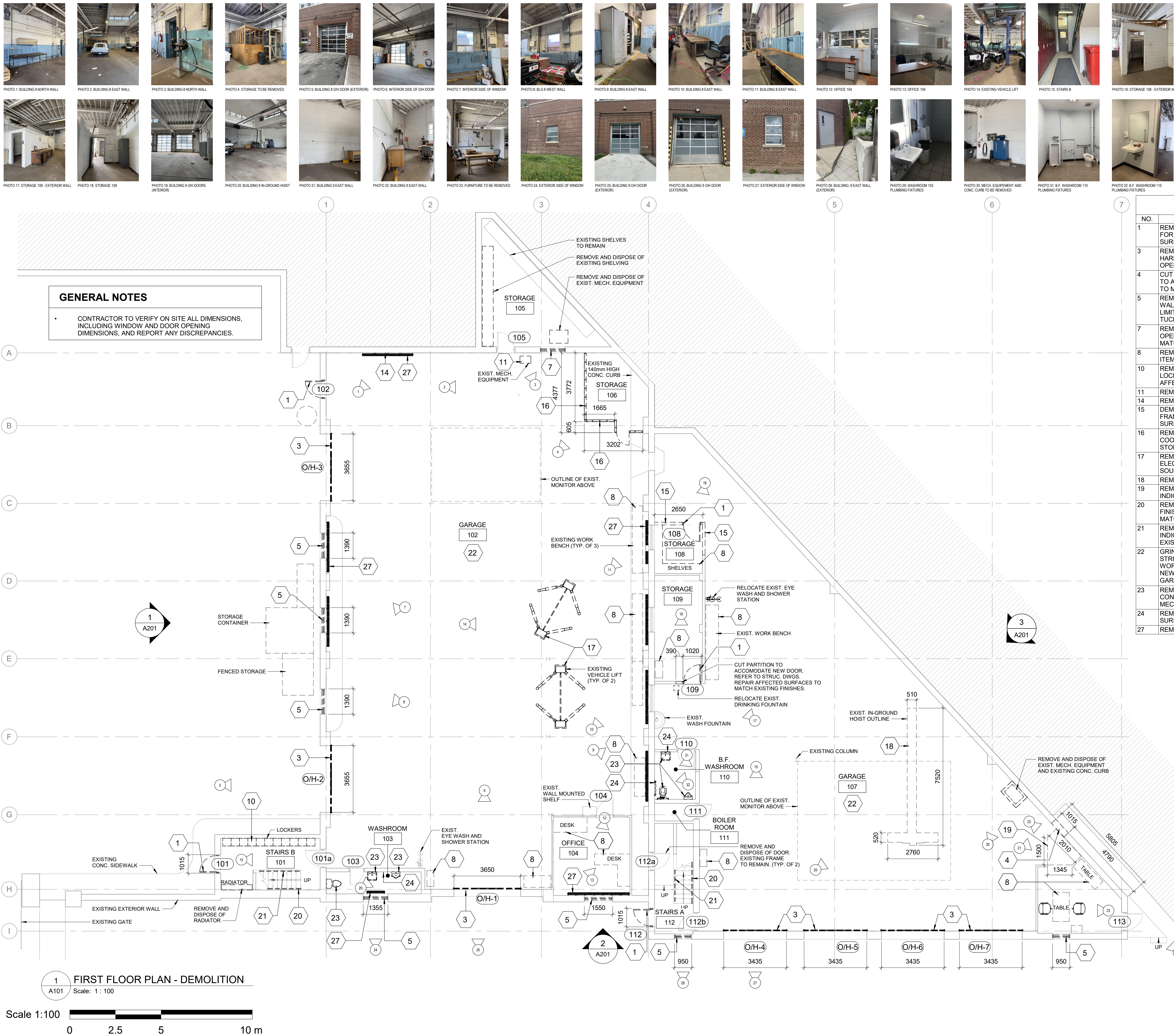
SHEET NUMBER

A002

ISSUE

G





DEMOLITION KEY LEGEND

EXISTING TO BE DEMOLISHED

WALL TO BE DEMOLISHED

WALL TO REMAIN

DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED

DOOR TO REMAIN

DEMOLITION KEYNOTES	
NO.	DESCRIPTION
1	REMOVE AND DISPOSE OF EXISTING DOOR AND FRAME. PREPARE OPENING FOR NEW DOOR AND FRAME INSTALLATION AND REPAIR ADJACENT SURFACES TO MATCH EXISTING FINISHES.
3	REMOVE AND DISPOSE OF EXISTING OVERHEAD DOOR INCLUDING ALL HARDWARE, TRACKS AND OTHER MECHANISM APPURTENANCES. PREPARE OPENING AND REPAIR ADJACENT SURFACES TO MATCH EXISTING FINISHES.
4	CUT OPENING IN EXISTING EXTERIOR WALL AS INDICATED IN FLOOR PLANS TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT SURFACES TO MATCH EXISTING FINISHES.
5	REMOVE AND DISPOSE OF EXISTING WINDOW AND FRAME AT EXTERIOR WALL. REPAIR ALL ADJACENT AFFECTED SURFACES, INCLUDING BUT NOT LIMITED TO CRACKED MASONRY AND MORTAR JOINTS REQUIRING TUCKPOINTING, TO MATCH EXISTING FINISHES.
7	REMOVE AND DISPOSE OF EXISTING WINDOW AND FRAME. PREPARE OPENING FOR INTILL AND REPAIR ADJACENT AFFECTED SURFACES TO MATCH EXISTING FINISHES.
8	REMOVE EXISTING FURNITURE AS INDICATED. CONFIRM WITH OWNER IF ITEMS ARE TO BE STORED OR DISPOSED OF.
10	REMOVE EXISTING LOCKERS AS INDICATED. CONFIRM WITH OWNER IF LOCKERS ARE TO BE STORED OR DISPOSED OF. REPAIR ADJACENT AFFECTED SURFACES TO MATCH EXISTING FINISHES.
11	REMOVE OR RELOCATE EXISTING EQUIPMENT.
14	REMOVE ALL EXISTING WALL-MOUNTED EQUIPMENT.
15	DEMOLISH PORTION OF EXISTING CMU WALL AND REMOVE WOODEN FRAMING ABOVE AS INDICATED ON PLANS. REPAIR ADJACENT AFFECTED SURFACES TO MATCH EXISTING FINISHES.
16	REMOVE AND DISPOSE OF EXISTING PARTITION AS INDICATED. COORDINATE WITH OWNER REGARDING RELOCATION OR DISPOSAL OF STORED ITEMS. PREPARE ADJACENT SURFACES FOR NEW CONSTRUCTION.
17	REMOVE AND DISPOSE OF EXISTING VEHICLE LIFTS INCLUDING ALL ELECTRICAL, MECHANICAL AND HYDRAULIC COMPONENTS BACK TO SOURCE. REFER TO DWG E101.
18	REMOVE AND DISPOSE OF EXISTING IN-GROUND HOIST AS INDICATED.
19	REMOVE AND DISPOSE OF PORTION OF EXISTING FLOOR FINISH AS INDICATED ON PLAN. PREPARE SUBSTRATE FOR NEW FLOOR FINISH.
20	REMOVE AND DISPOSE OF EXISTING WALL-MOUNTED HANDRAILS ON BRICK FINISH WALLS AS INDICATED. REPAIR AFFECTED WALL SURFACES TO MATCH EXISTING FINISHES.
21	REMOVE AND DISPOSE OF EXISTING GUARDRAILS ON CONCRETE STAIRS AS INDICATED. PATCH HOLES AND REPAIR ADJACENT SURFACES TO MATCH EXISTING FINISHES.
22	GRIND AND PREPARE NEW SLAB TO RECEIVE EPOXY FINISH. REFER TO STRUCTURAL DRAWINGS FOR EXTENT OF SLAB REMOVAL, NEW CONCRETE WORK, AND ANY REQUIRED CRACK REPAIRS. PREPARE SUBSTRATE FOR NEW FINISH. CLEAN CONCRETE FLOOR SURFACE ON REMAINING EXISTING GARAGE AREA'S SLAB. REMOVE ALL DIRT, DUST, AND DEBRIS.
23	REMOVE AND DISPOSE OF EXISTING PLUMBING FIXTURE, CAP CONNECTIONS AND PREPARE FOR NEW INSTALLATION. REFER TO MECHANICAL DWGS.
24	REMOVE AND DISPOSE OF ALL WASHROOM ACCESSORIES. REPAIR WALL SURFACES TO MATCH EXISTING FINISHES.
27	REMOVE AND DISPOSE OF ALL EXISTING WALL MOUNTED RADIATORS.

GENERAL NOTES

- CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.

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M. KOTBY

SHEET TITLE

FIRST FLOOR PLAN -
DEMOLITION

SHEET NUMBER

A101

ISSUE

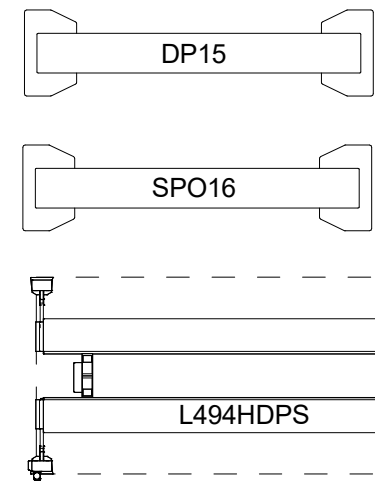
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GENERAL NOTES

- CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.

CONSTRUCTION KEY LEGEND

- EXISTING WALL TO REMAIN
- NEW WALL
- DOOR TO REMAIN
- NEW DOOR AND/OR NEW HARDWARE
REFER TO SCHEDULE



CONSTRUCTION KEYNOTES

NO.	DESCRIPTION
A	INSTALL NEW DOOR AND FRAME OF SAME SIZE AND LOCATION IN EXISTING OPENING. REFER TO DOOR SCHEDULE.
C	INSTALL NEW OVERHEAD DOOR OF SAME SIZE, AND LOCATION IN PREPARED OPENING.
D	PROVIDE NEW DOOR AND FRAME IN EXTERIOR WALL OPENING. REFER TO DOOR SCHEDULE AND STRUCTURAL DRAWINGS.
E	PROVIDE NEW DOOR AND FRAME IN NEW CONCRETE BLOCK WALL. REFER TO DOOR SCHEDULE.
F	INSTALL NEW WINDOW AND FRAME OF SAME SIZE, AND LOCATION IN EXISTING EXTERIOR WALL OPENING.
H	INFILL FORMER WINDOW OPENING WITH MASONRY UNITS TO MATCH ADJACENT WALL. REFER TO STRUCT. DRAWINGS.
I	PROVIDE NEW WINDOW AND FRAME IN NEW CONCRETE BLOCK WALL. REFER TO WINDOW TYPE SCHEDULE.
J	PROVIDE NEW HEIGHT-ADJUSTABLE DESKS WITH CHAIRS. CONFIRM LAYOUT WITH OWNER. COORDINATE WITH OWNER FOR SUPPLY AND INSTALLATION INSTRUCTIONS.
L	INSTALL NEW LOCKERS. COORDINATE WITH OWNER FOR SUPPLY AND INSTALLATION INSTRUCTIONS.
M	PROVIDE AND INSTALL NEW BENCHES.
N	PROVIDE NEW CONCRETE BLOCK WALL AS INDICATED ON PLANS. REFER TO WALL TYPE SCHEDULE AND ROOM SCHEDULE.
R	PROVIDE NEW EPOXY COATING FLOOR FINISH IN ENTIRE GARAGE AREA. FINISH TO SLOPE TO DRAINS.
S	INSTALL NEW VEHICLE LIFTS. COORDINATE WITH OWNER FOR SUPPLY AND INSTALLATION INSTRUCTIONS.
T	INSTALL NEW VEHICLE ALIGNMENT RACK. COORDINATE WITH OWNER FOR SUPPLY AND INSTALLATION INSTRUCTIONS. REFER TO MECHANICAL DRAWINGS.
U	PROVIDE NEW CONTINUOUS WALL-MOUNTED HANDRAIL ON BRICK FINISH WALLS.
V	PROVIDE NEW CONTINUOUS GUARDRAILS ON CONCRETE STAIRS.
W	CONSTRUCT NEW KITCHENETTE MILLWORK. REFER TO MILLWORK DRAWINGS A602.
X	PROVIDE NEW BOLLARD.

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C	ISSUED FOR 95% DESIGN	2025-11-24
D	ISSUED FOR 100% DESIGN	2025-12-09
E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
G	ISSUED FOR TENDER - REV. 01	2025-12-23

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PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

**KING STREET YARD -
BUILDING NO. 8 & 9**
1116 KING STREET WEST

PROJECT NO:
30276606

DRAWN BY:
D. MOTTA

CHECKED BY:
L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

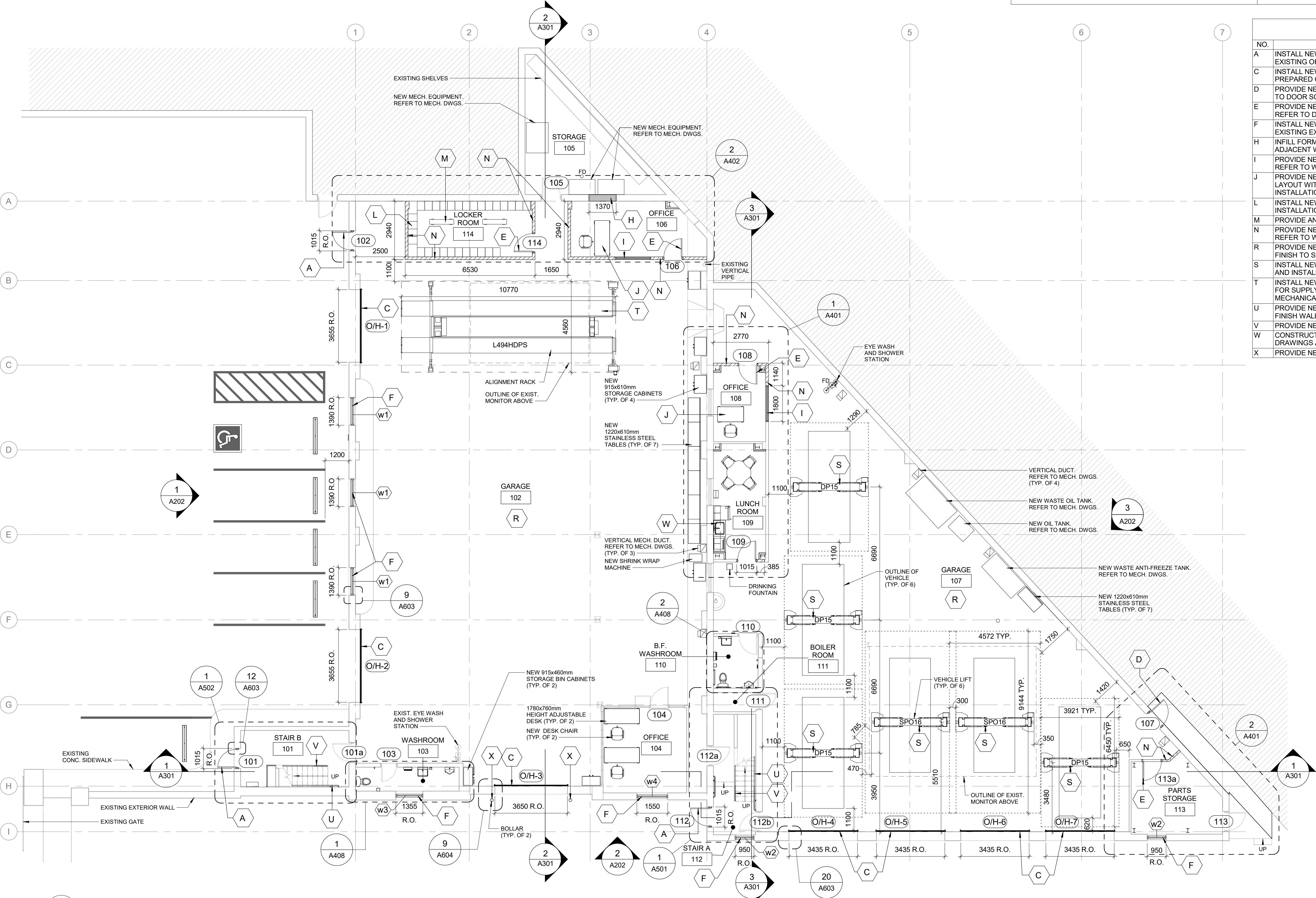
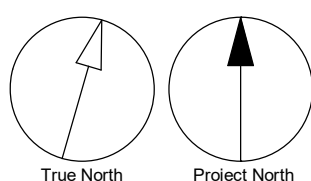
**FIRST FLOOR PLAN -
PROPOSED**

SHEET NUMBER

A102

ISSUE

G



1 FIRST FLOOR PLAN - PROPOSED

Scale: 1 : 100

Scale 1:100

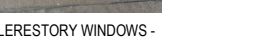
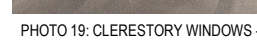
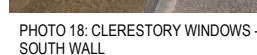
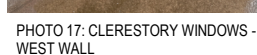
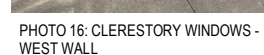
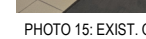
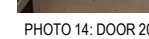
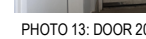
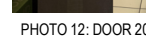
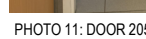
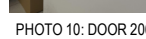
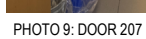
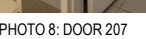
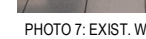
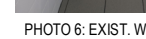
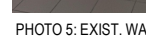
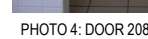
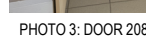
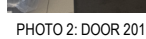
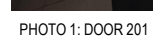


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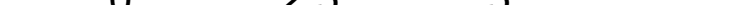
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10mm

SCALE CHECK
1 in

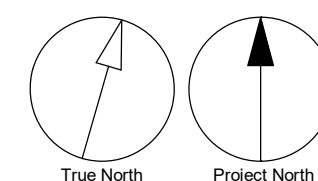


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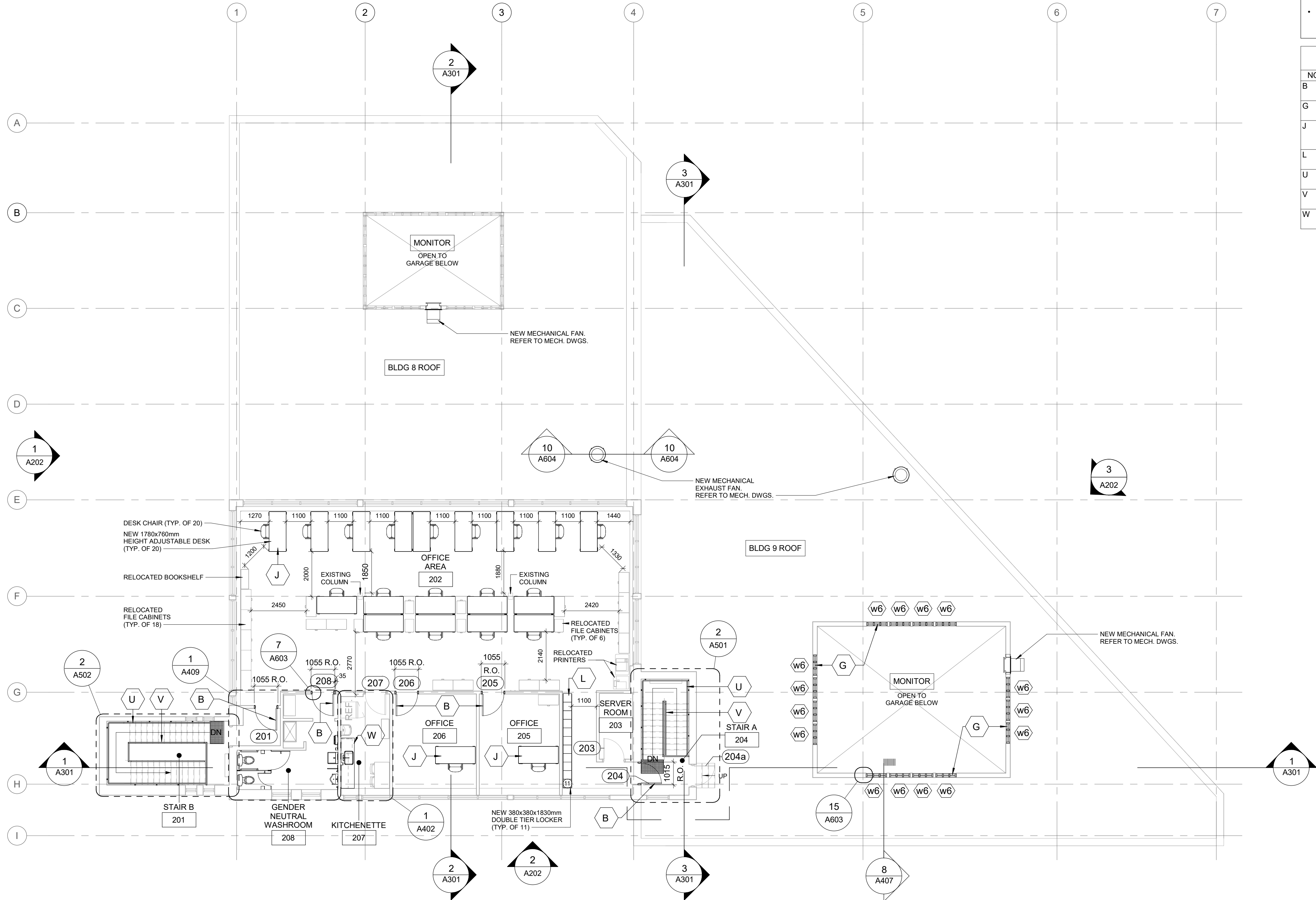


0 2.5 5 10 m

G



1 SECOND FLOOR PLAN - PROPOSED
A104 Scale: 1 : 100



CONSTRUCTION KEY LEGEND

	EXISTING WALL TO REMAIN
	NEW WALL
	DOOR TO REMAIN
	NEW DOOR AND/ OR NEW HARDWARE

GENERAL NOTES

- CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.

CONSTRUCTION KEYNOTES

NO.	DESCRIPTION
B	INSTALL NEW DOOR AND FRAME IN MODIFIED OPENING AS INDICATED IN FLOOR PLANS. REFER TO DOOR SCHEDULE.
G	INSTALL NEW CLERESTORY WINDOWS AND FRAMES OF SAME SIZE, TYPE, AND LOCATION IN EXISTING OPENINGS.
J	PROVIDE NEW HEIGHT-ADJUSTABLE DESKS WITH CHAIRS. CONFIRM LAYOUT WITH OWNER. COORDINATE WITH OWNER FOR SUPPLY AND INSTALLATION INSTRUCTIONS.
L	INSTALL NEW LOCKERS. COORDINATE WITH OWNER FOR SUPPLY AND INSTALLATION INSTRUCTIONS.
U	PROVIDE NEW CONTINUOUS WALL-MOUNTED HANDRAIL ON BRICK FINISH WALLS.
V	PROVIDE NEW CONTINUOUS GUARDRAILS ON CONCRETE STAIRS.
W	CONSTRUCT NEW KITCHENETTE MILLWORK. REFER TO MILLWORK DRAWINGS A602.

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E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
G	ISSUED FOR TENDER - REV. 01	2025-12-23

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tel 416 679 1930
www.arcadis.com

PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

**KING STREET YARD -
BUILDING NO. 8 & 9**
1116 KING STREET WEST

PROJECT NO:

30276606

DRAWN BY:

D. MOTTA

CHECKED BY:

L. BANDIERA

PROJECT MGR:

N. LAYOUN

APPROVED BY:

M. KOTBY

SHEET TITLE

**SECOND FLOOR PLAN -
PROPOSED**

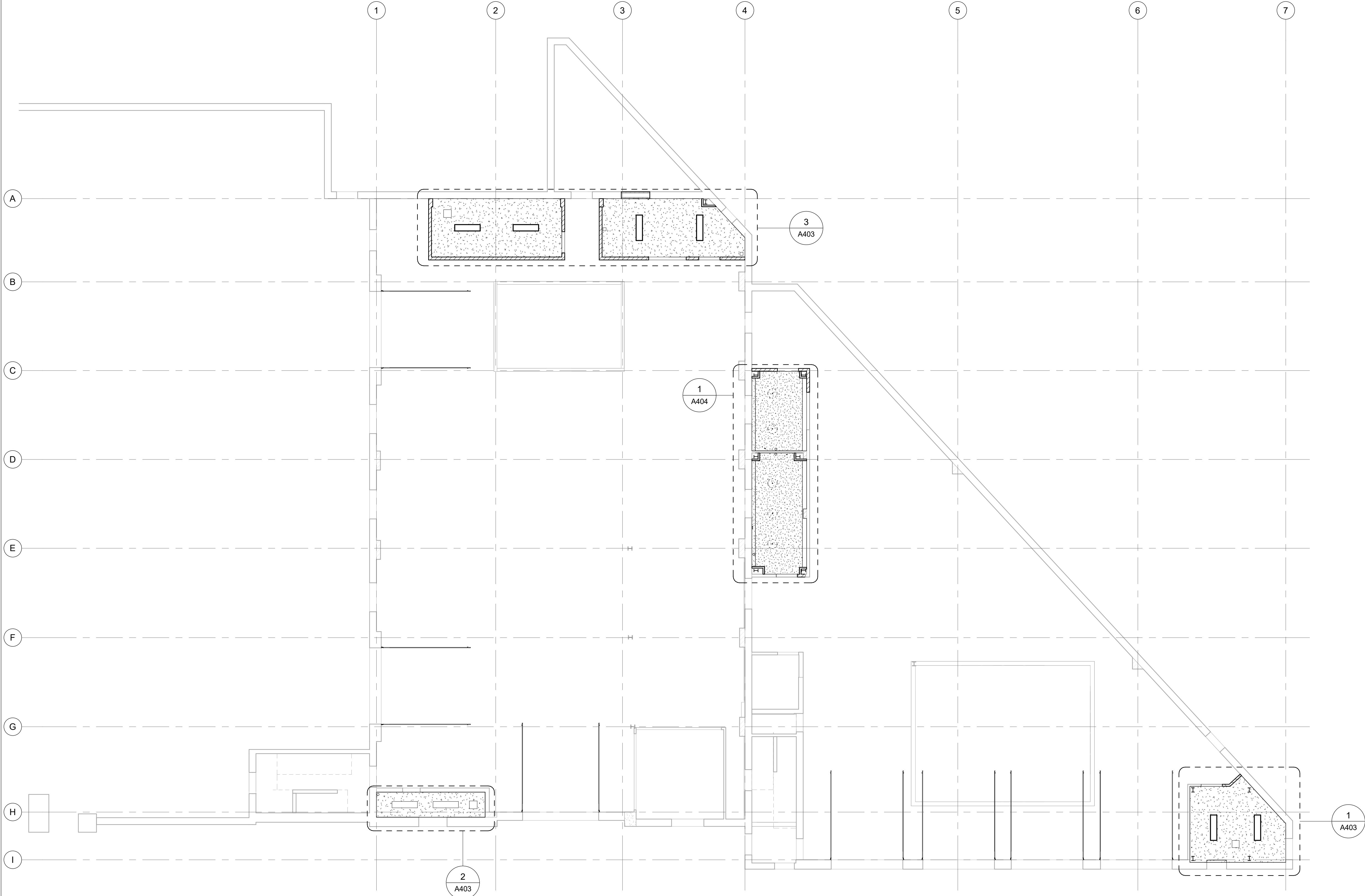
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A104

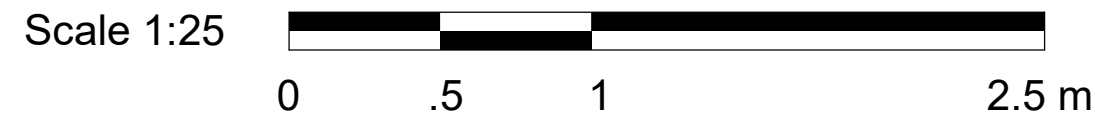
ISSUE

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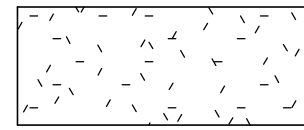
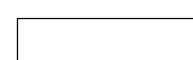

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1 1ST FLOOR - REFLECTED CEILING PLAN
A105 Scale: 1 : 100



CEILING LEGEND

-  GYPSUM BOARD CEILING
-  1220x305 RECESSED LIGHT FIXTURE
-  450 DIAMETER PENDANT LIGHT FIXTURE

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E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
G	ISSUED FOR TENDER - REV. 01	2025-12-23

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PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

**KING STREET YARD -
BUILDING NO. 8 & 9**
1116 KING STREET WEST

PROJECT NO:
30276606

DRAWN BY:
D. MOTTA

CHECKED BY:
L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

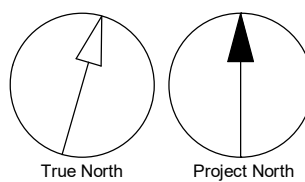
**FIRST FLOOR CEILING PLAN -
PROPOSED**

SHEET NUMBER

A105

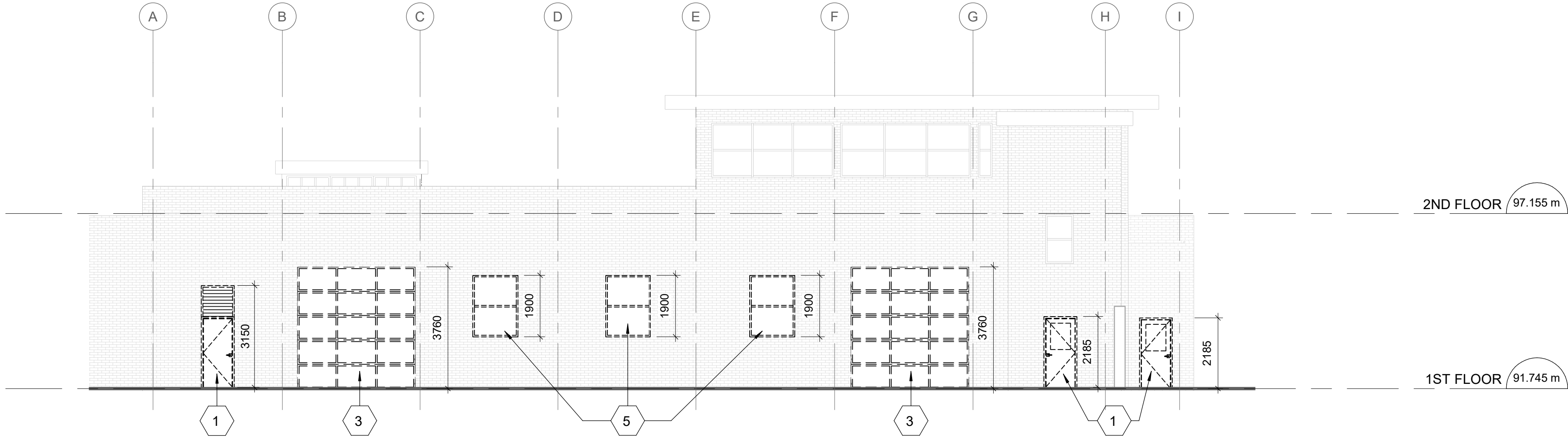
ISSUE

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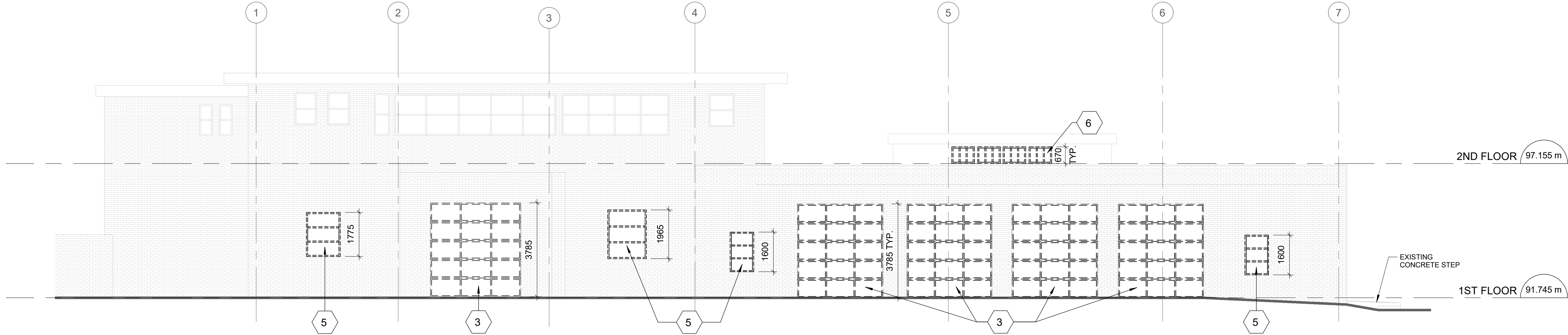


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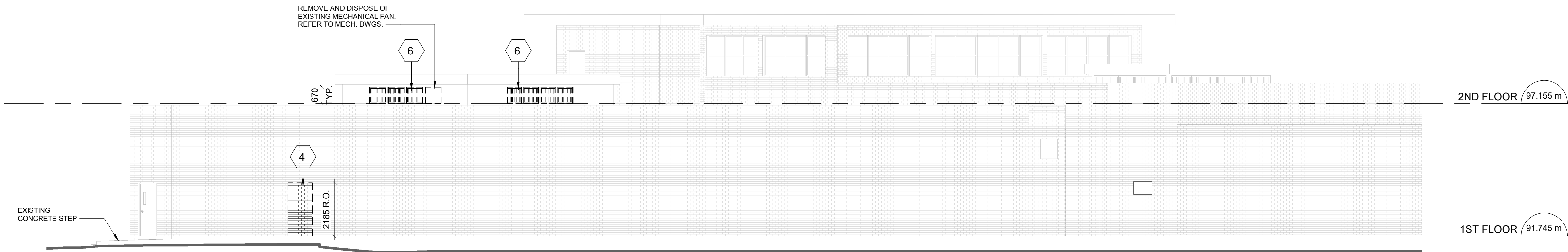
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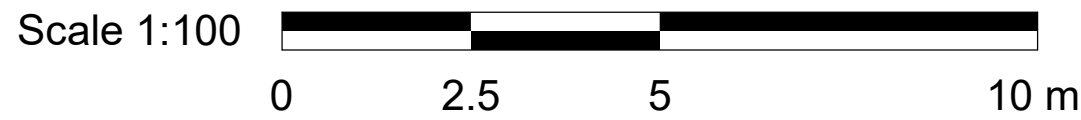
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A201 Scale: 1 : 100



2 SOUTH ELEVATION - DEMOLITION
A201 Scale: 1 : 100



3 EAST ELEVATION - DEMOLITION
A201 Scale: 1 : 100




GENERAL NOTES	
CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.	

DEMOLITION KEYNOTES	
NO.	DESCRIPTION
1	REMOVE AND DISPOSE OF EXISTING DOOR AND FRAME. PREPARE OPENING FOR NEW DOOR AND FRAME INSTALLATION AND REPAIR ADJACENT SURFACES TO MATCH EXISTING FINISHES.
3	REMOVE AND DISPOSE OF EXISTING OVERHEAD DOOR INCLUDING ALL HARDWARE, TRACKS AND OTHER MECHANISM APPURTENANCES. PREPARE OPENING AND REPAIR ADJACENT SURFACES TO MATCH EXISTING FINISHES.
4	CUT OPENING IN EXISTING EXTERIOR WALL AS INDICATED IN FLOOR PLANS TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT SURFACES TO MATCH EXISTING FINISHES.
5	REMOVE AND DISPOSE OF EXISTING WINDOW AND FRAME AT EXTERIOR WALL. REPAIR ALL ADJACENT AFFECTED SURFACES, INCLUDING BUT NOT LIMITED TO CRACKED MASONRY AND MORTAR JOINTS REQUIRING TUCKPOINTING, TO MATCH EXISTING FINISHES.
6	REMOVE AND DISPOSE OF EXISTING CLERESTORY WINDOWS AND FRAMES. REPAIR ADJACENT AFFECTED SURFACES TO MATCH EXISTING FINISHES.

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E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
G	ISSUED FOR TENDER - REV. 01	2025-12-23

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www.arcadis.com

PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

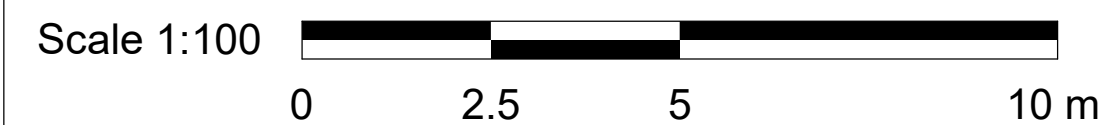
KING STREET YARD -
BUILDING NO. 8 & 9
1116 KING STREET WEST

PROJECT NO: 30276606	
DRAWN BY: D. MOTTA	CHECKED BY: L. BANDIERA
PROJECT MGR: N. LAYOUN	APPROVED BY: M. KOTBY

SHEET TITLE

BUILDING ELEVATIONS -
DEMOLITION

SHEET NUMBER	ISSUE
A201	G



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G	ISSUED FOR TENDER - REV.	2025-12-23

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tel 416 676 1930
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PROJECT TITLE
TORONTO PARAMEDIC SERVICES FLEET MAINTENANCE STATION - UPGRADE WORKS

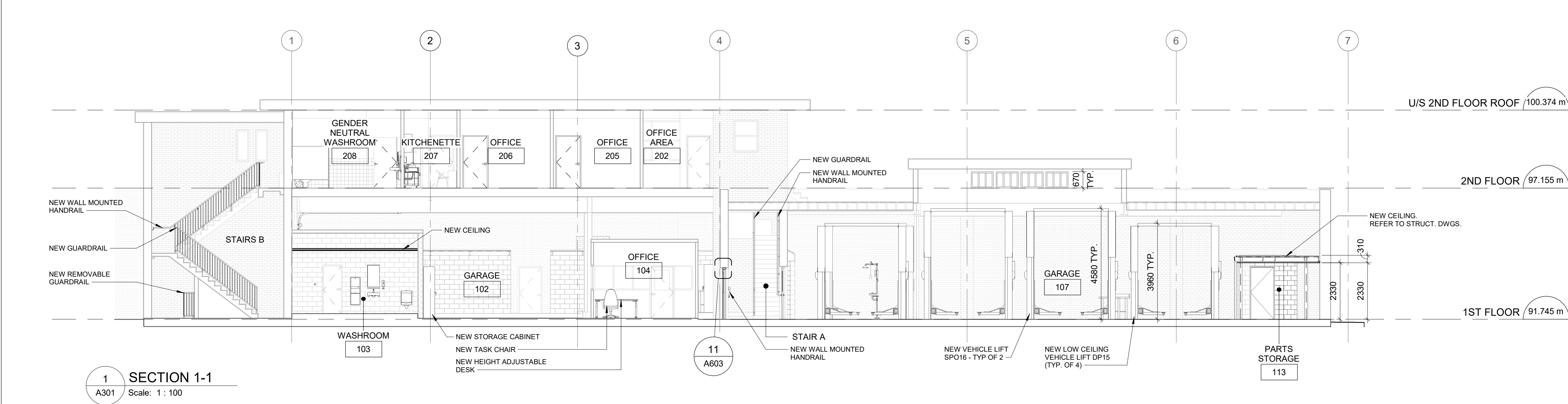
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KING STREET YARD -
BUILDING NO. 8 & 9
1116 KING STREET WEST

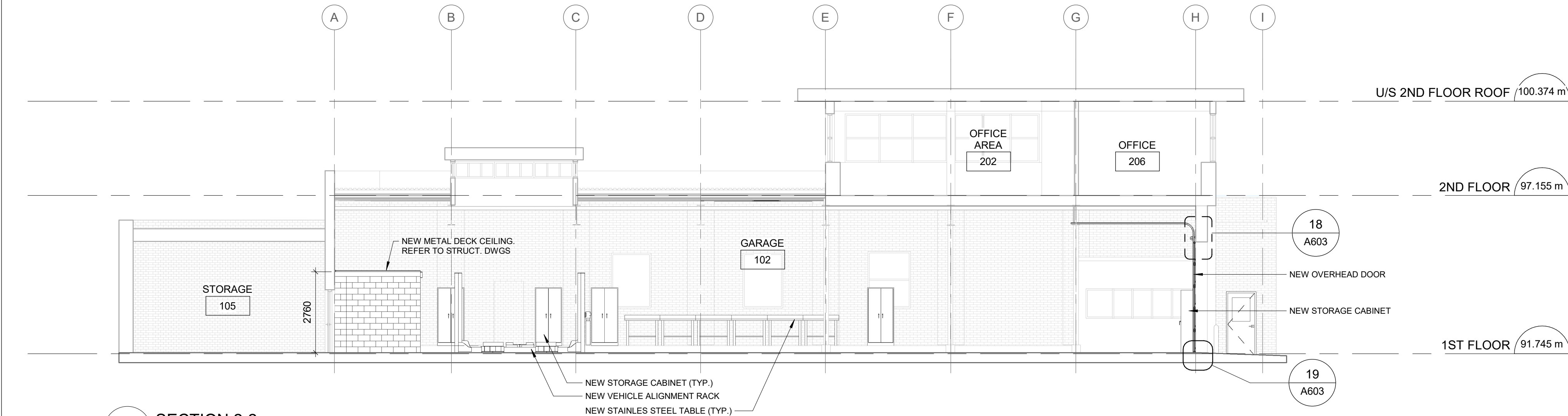
PROJECT NO: 30276606	
DRAWN BY: D. MOTTA	CHECKED BY: L. BANDIERA
PROJECT MGR: N. LAYOUN	APPROVED BY: M. KOTBY

SHEET TITLE
BUILDING ELEVATIONS -
PROPOSED

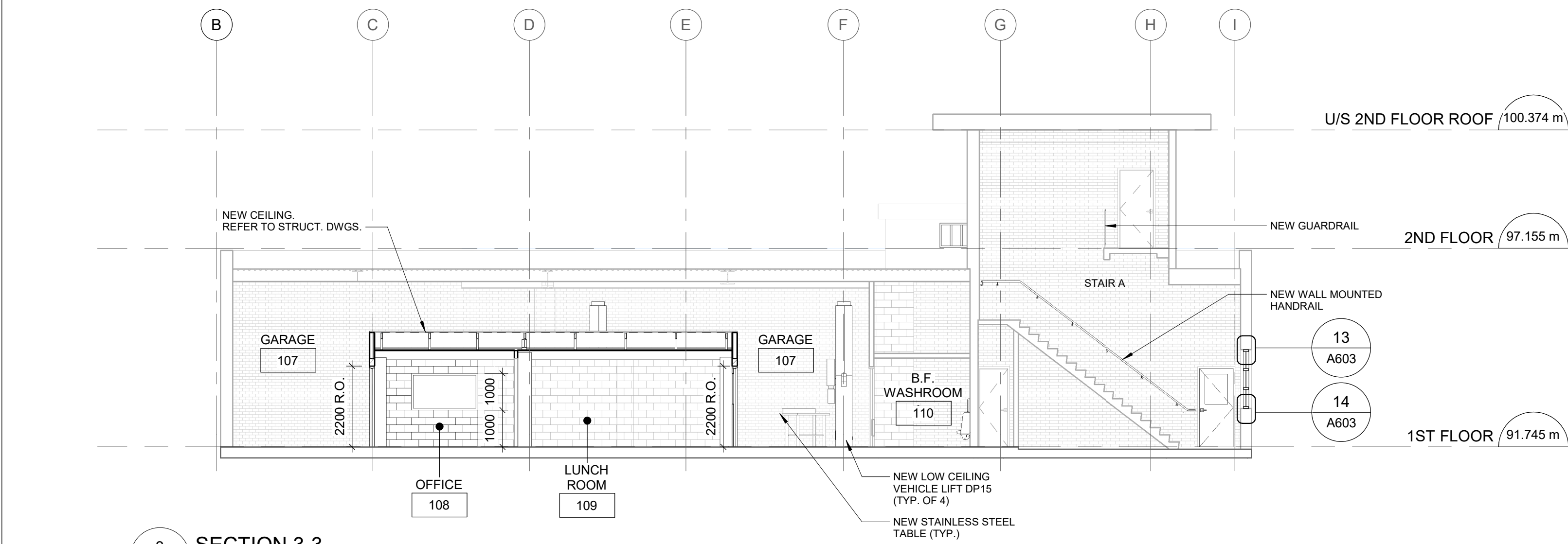
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A202	G



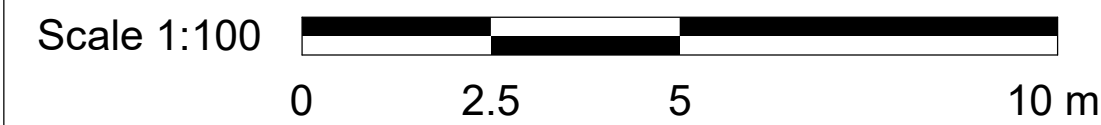
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A301 Scale: 1 : 100



2 SECTION 2-2
A301 Scale: 1 : 100



3 SECTION 3-3
A301 Scale: 1 : 100



ISSUES		
No.	DESCRIPTION	DATE
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PROJECT TITLE
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UPGRADE WORKS

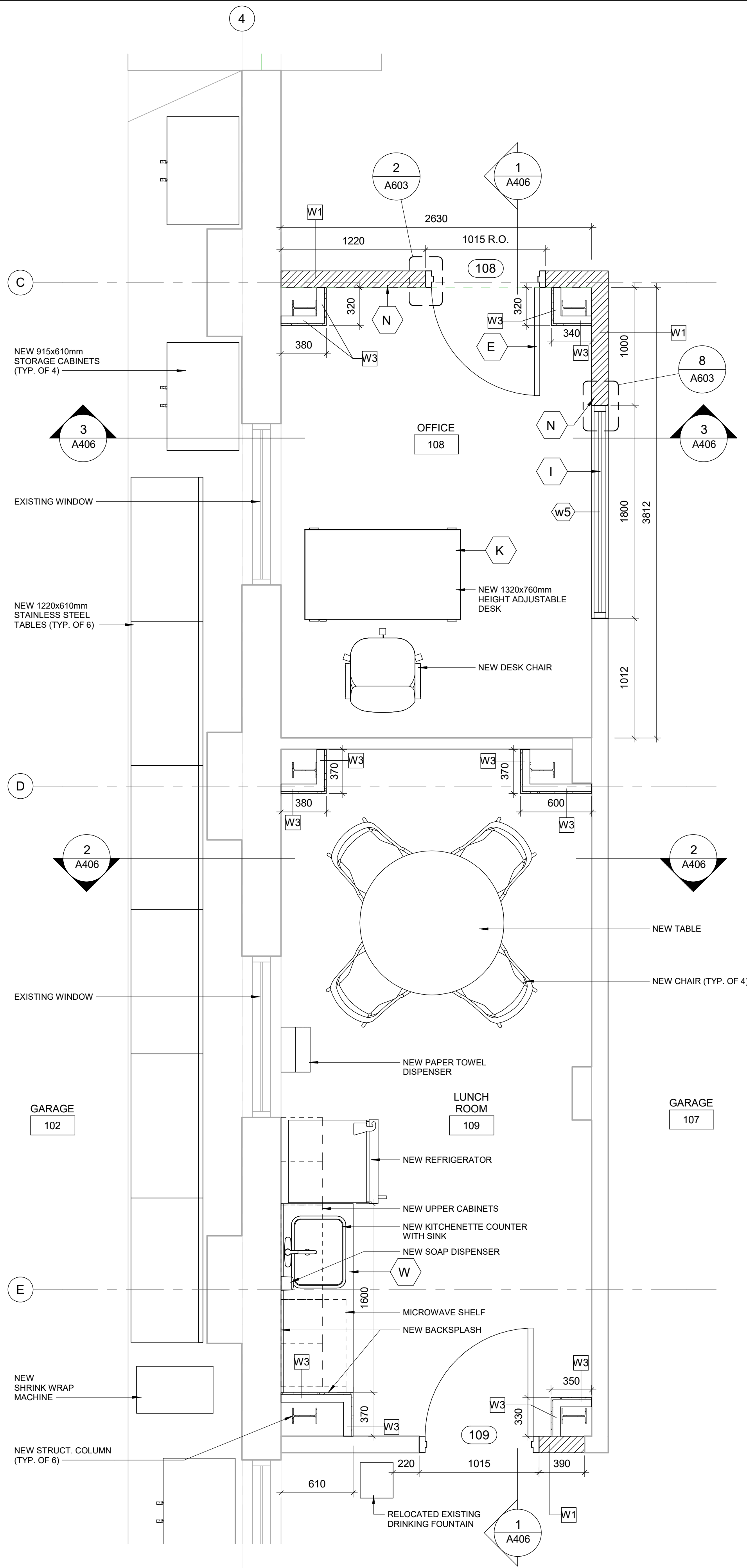
PROJECT ADDRESS
**KING STREET YARD -
BUILDING NO. 8 & 9**
1116 KING STREET WEST

PROJECT NO:
30276606
DRAWN BY:
D. MOTTA
PROJECT MGR:
N. LAYOUN
CHECKED BY:
L. BANDIERA
APPROVED BY:
M. KOTBY

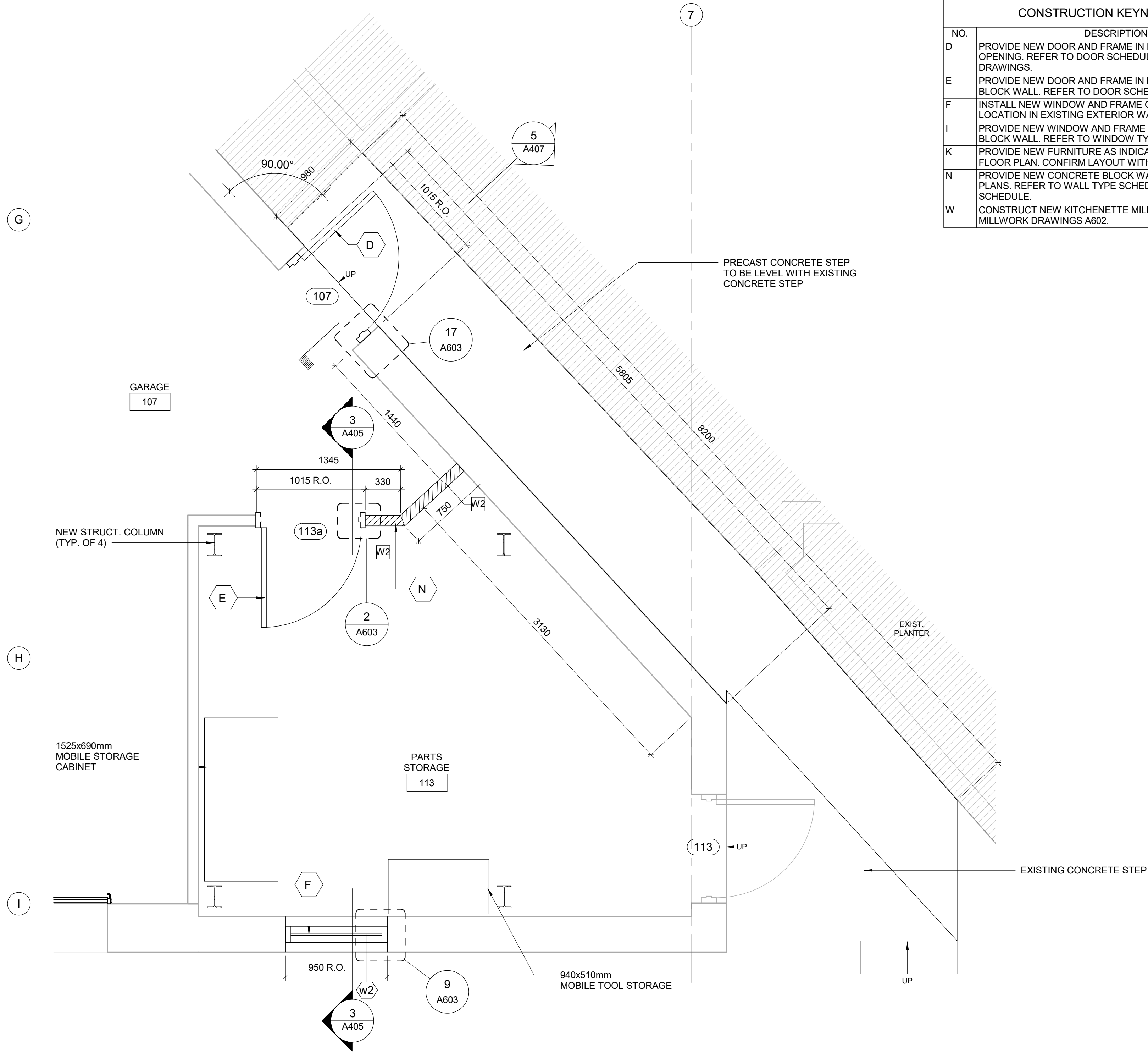
SHEET TITLE
BUILDING SECTIONS

SHEET NUMBER
A301
ISSUE
G

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2 FIRST FLOOR PARTS STORAGE - PARTIAL PLAN
A401 Scale: 1 : 25



CONSTRUCTION KEY LEGEND

	EXISTING TO REMAIN
	NEW
	DOOR TO REMAIN
	NEW DOOR AND/ OR NEW HARDWARE

GENERAL NOTES

- CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.

CONSTRUCTION KEYNOTES

NO.	DESCRIPTION
D	PROVIDE NEW DOOR AND FRAME IN EXTERIOR WALL OPENING. REFER TO DOOR SCHEDULE AND STRUCTURAL DRAWINGS.
E	PROVIDE NEW DOOR AND FRAME IN NEW CONCRETE BLOCK WALL. REFER TO DOOR SCHEDULE.
F	INSTALL NEW WINDOW AND FRAME OF SAME SIZE, AND LOCATION IN EXISTING EXTERIOR WALL OPENING.
I	PROVIDE NEW WINDOW AND FRAME IN NEW CONCRETE BLOCK WALL. REFER TO WINDOW TYPE SCHEDULE.
K	PROVIDE NEW FURNITURE AS INDICATED IN PROPOSED FLOOR PLAN. CONFIRM LAYOUT WITH OWNER.
N	PROVIDE NEW CONCRETE BLOCK WALL AS INDICATED ON PLANS. REFER TO WALL TYPE SCHEDULE AND ROOM SCHEDULE.
W	CONSTRUCT NEW KITCHENETTE MILLWORK. REFER TO MILLWORK DRAWINGS A602.

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E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
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PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

**KING STREET YARD -
BUILDING NO. 8 & 9**
1116 KING STREET WEST

PROJECT NO:
30276606

DRAWN BY:
D. MOTTA

CHECKED BY:
L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

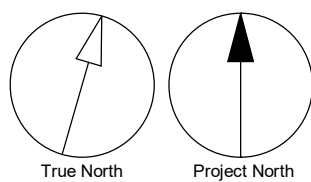
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ROOM, OFFICE 108 AND
PARTS STORAGE**

SHEET NUMBER

A401

ISSUE

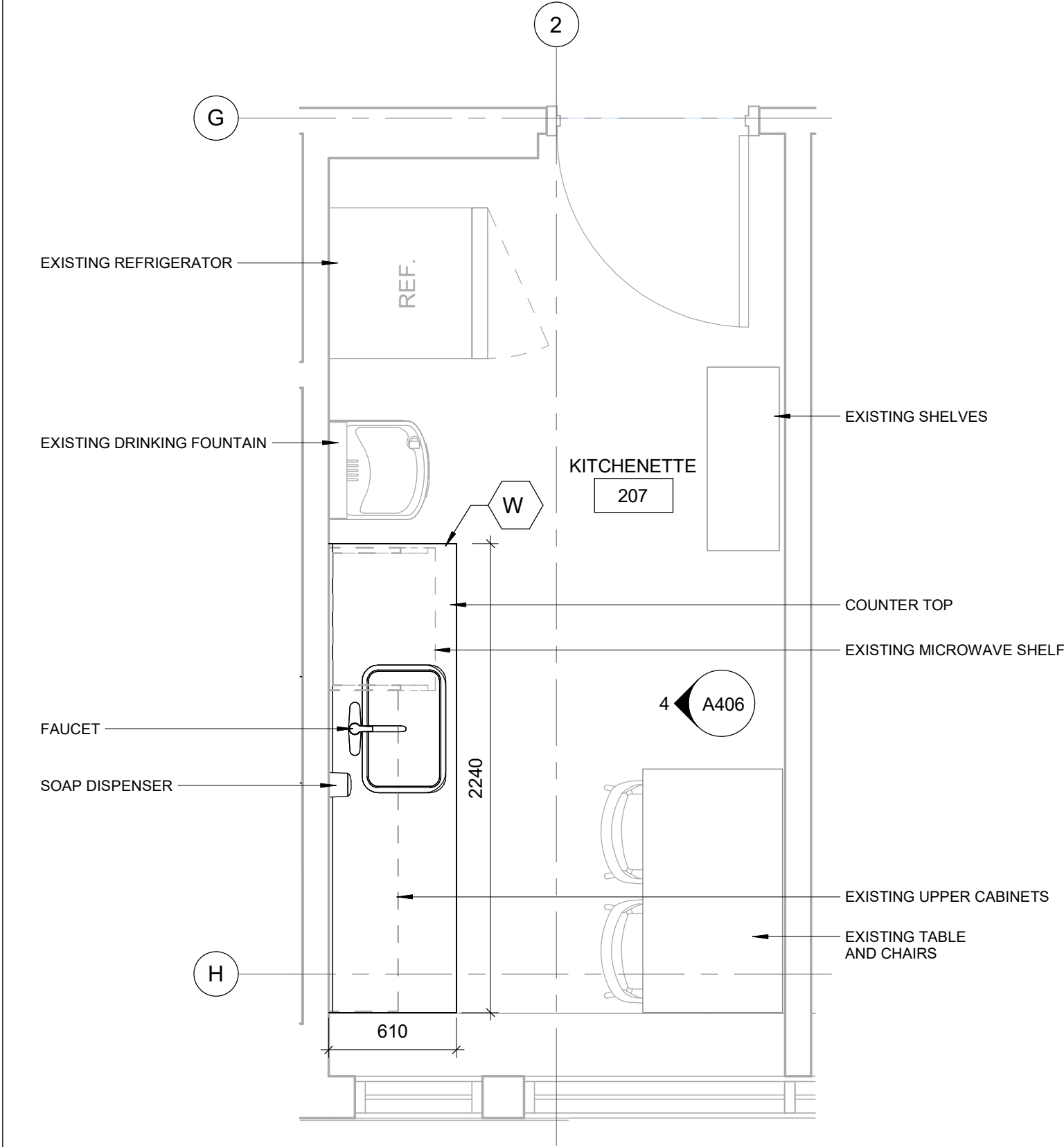
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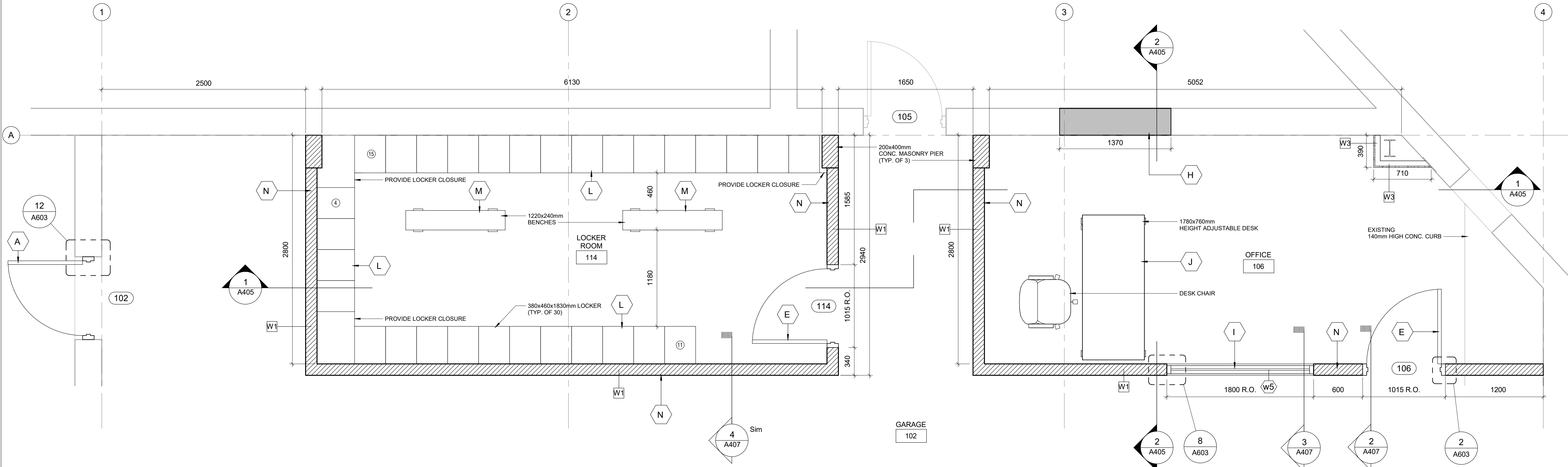
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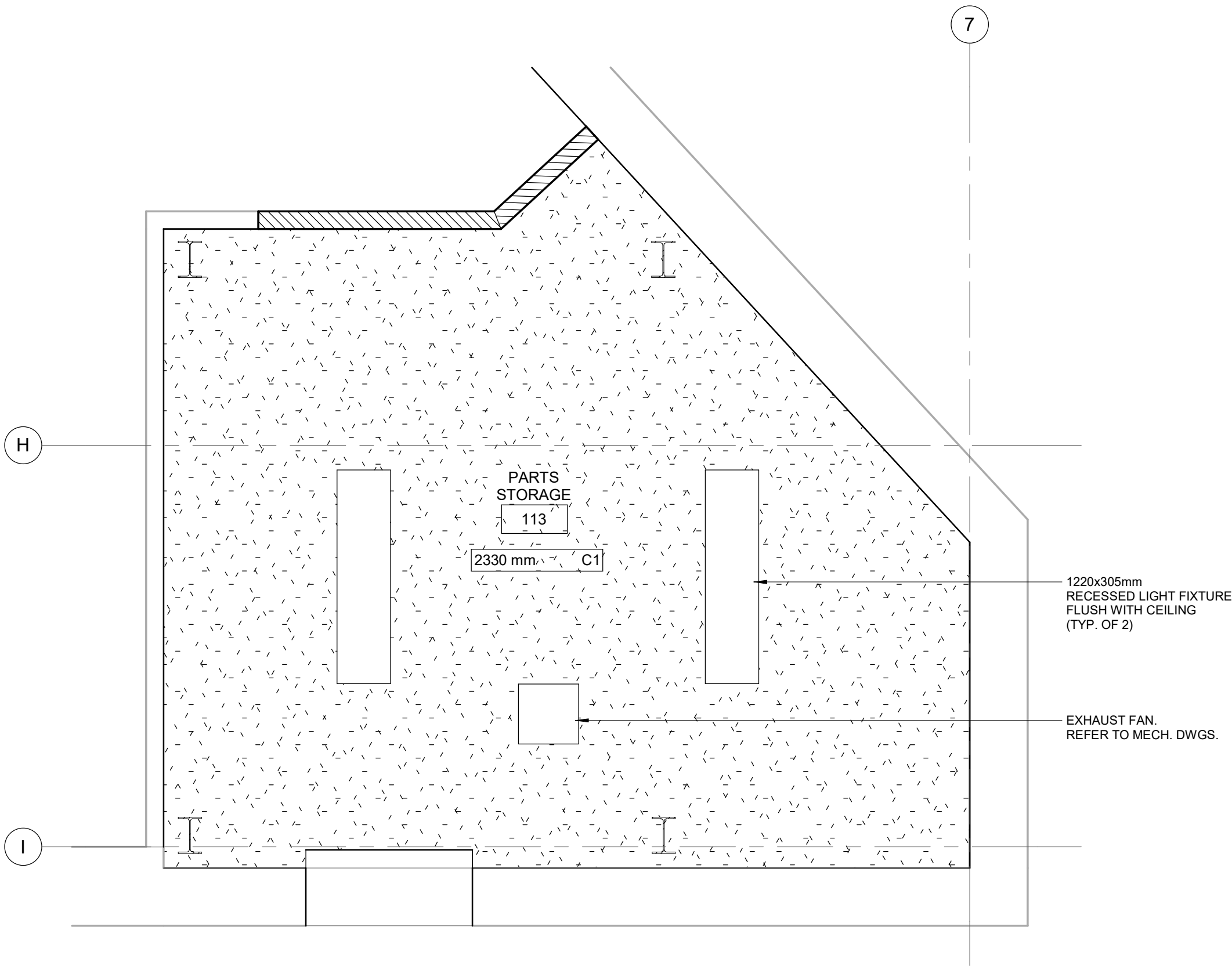
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SCALE CHECK
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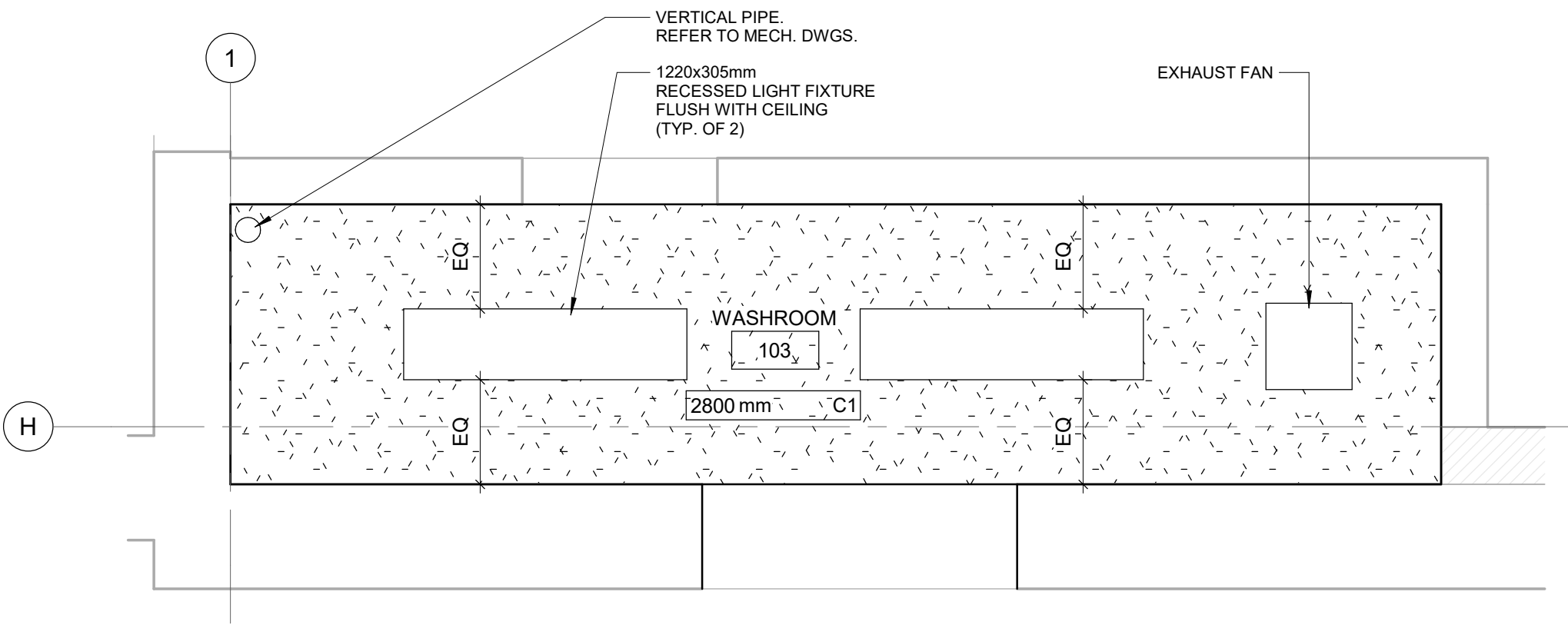


1 SECOND FLOOR KITCHENETTE - PARTIAL PLAN
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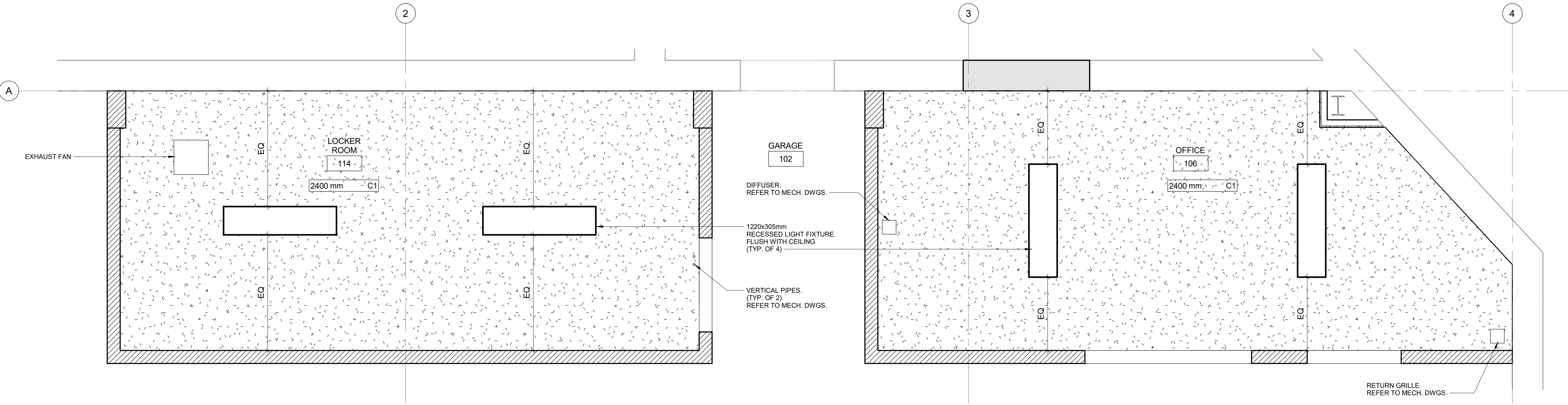




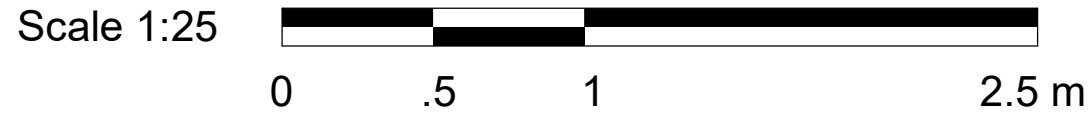
1 PARTS STORAGE 113 - REFLECTED CEILING PLAN
Scale: 1 : 25



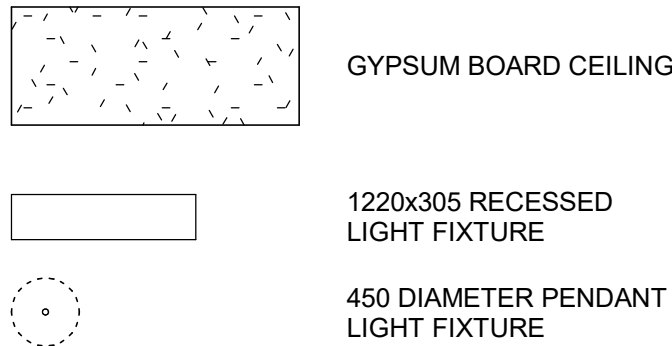
2 WASHROOM 103 - REFLECTED CEILING PLAN
Scale: 1 : 25



3 LOCKER ROOM AND OFFICE 106 - REFLECTED CEILING PLAN
Scale: 1 : 25



CEILING LEGEND



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CHECKED BY:
L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

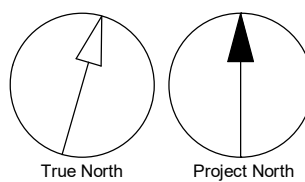
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PROPOSED**

SHEET NUMBER

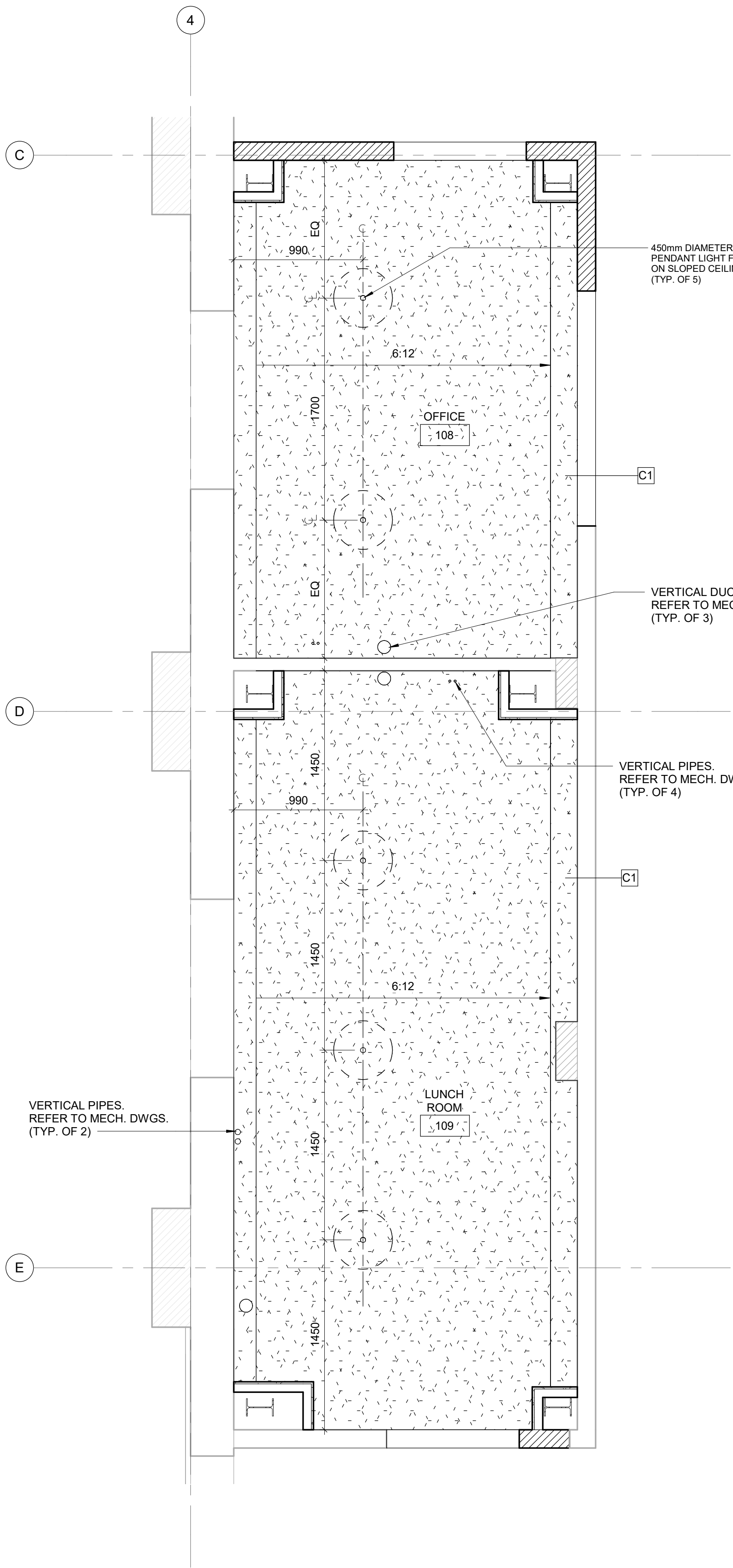
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ISSUE

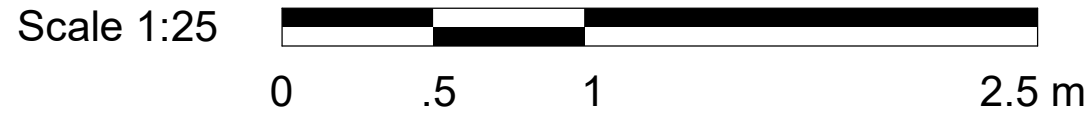
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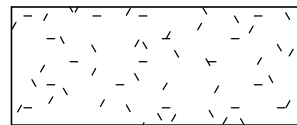
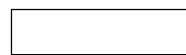

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1 LUNCH ROOM AND OFFICE 108 - REFLECTED CEILING PLAN
Scale: 1 : 25



CEILING LEGEND

-  GYPSUM BOARD CEILING
-  1220x305 RECESSED LIGHT FIXTURE
-  450 DIAMETER PENDANT LIGHT FIXTURE

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L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
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SHEET TITLE

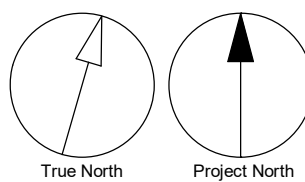
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PROPOSED**

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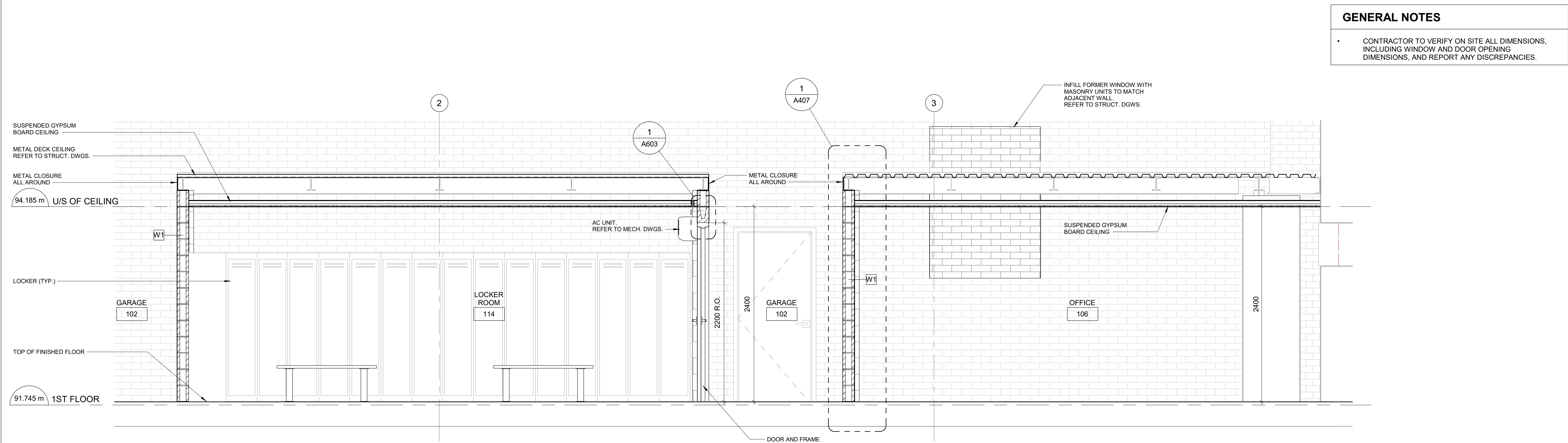
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ISSUE

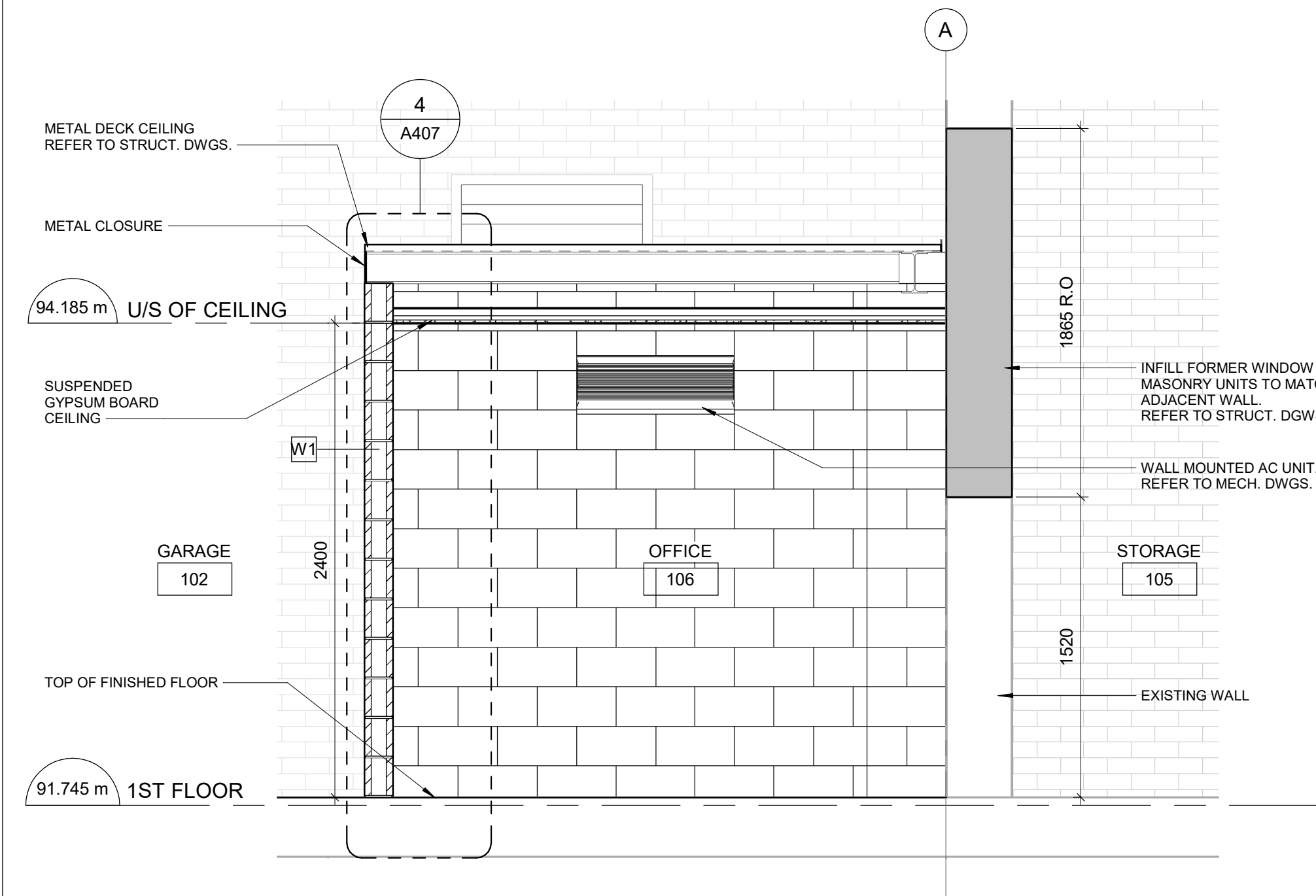
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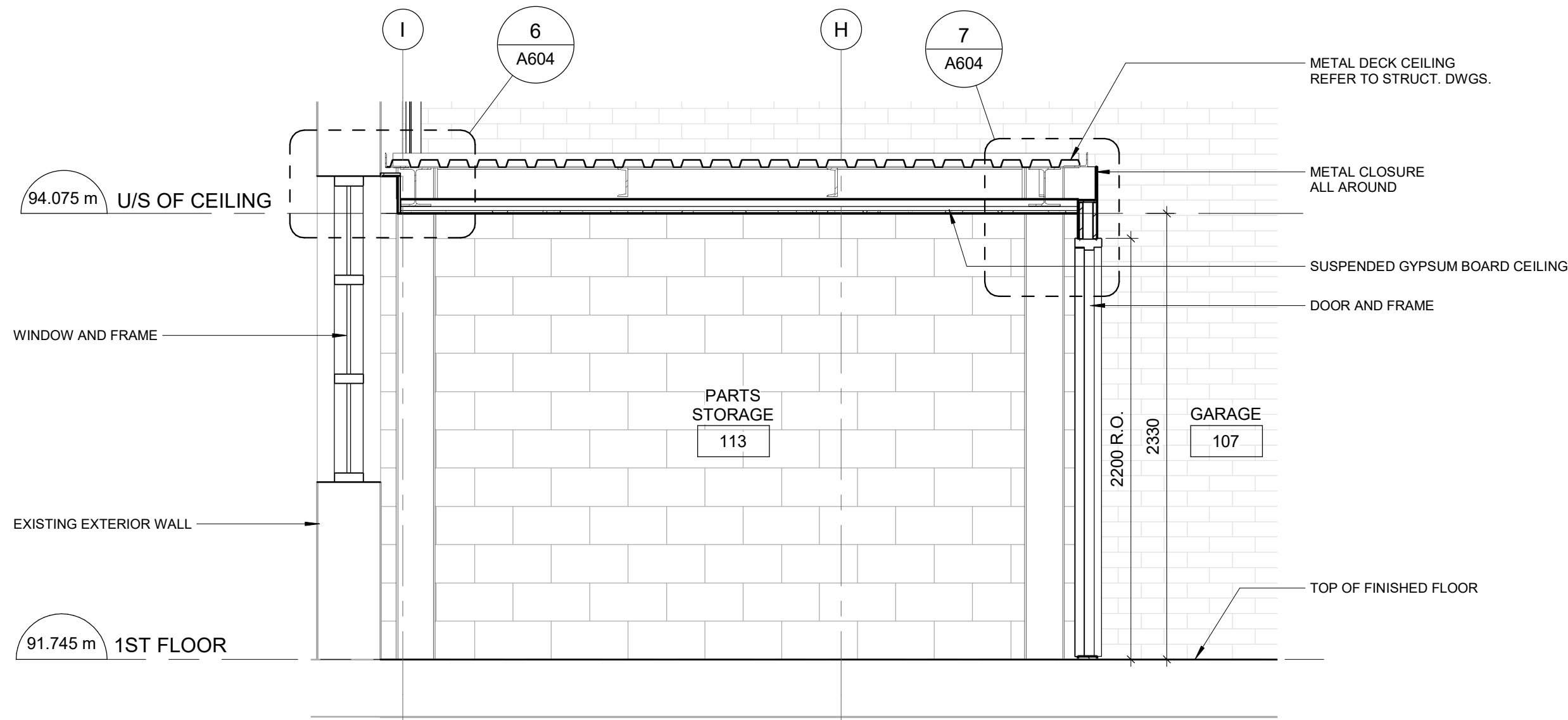
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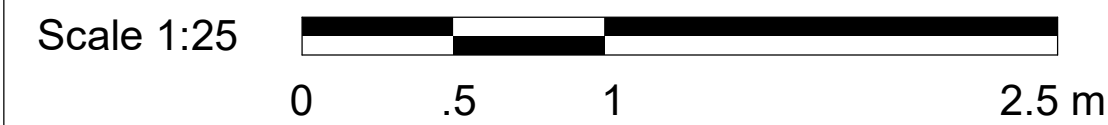
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Scale: 1 : 25



2 SECTION THROUGH OFFICE 106
Scale: 1 : 25



3 SECTION THROUGH PARTS STORAGE
Scale: 1 : 25



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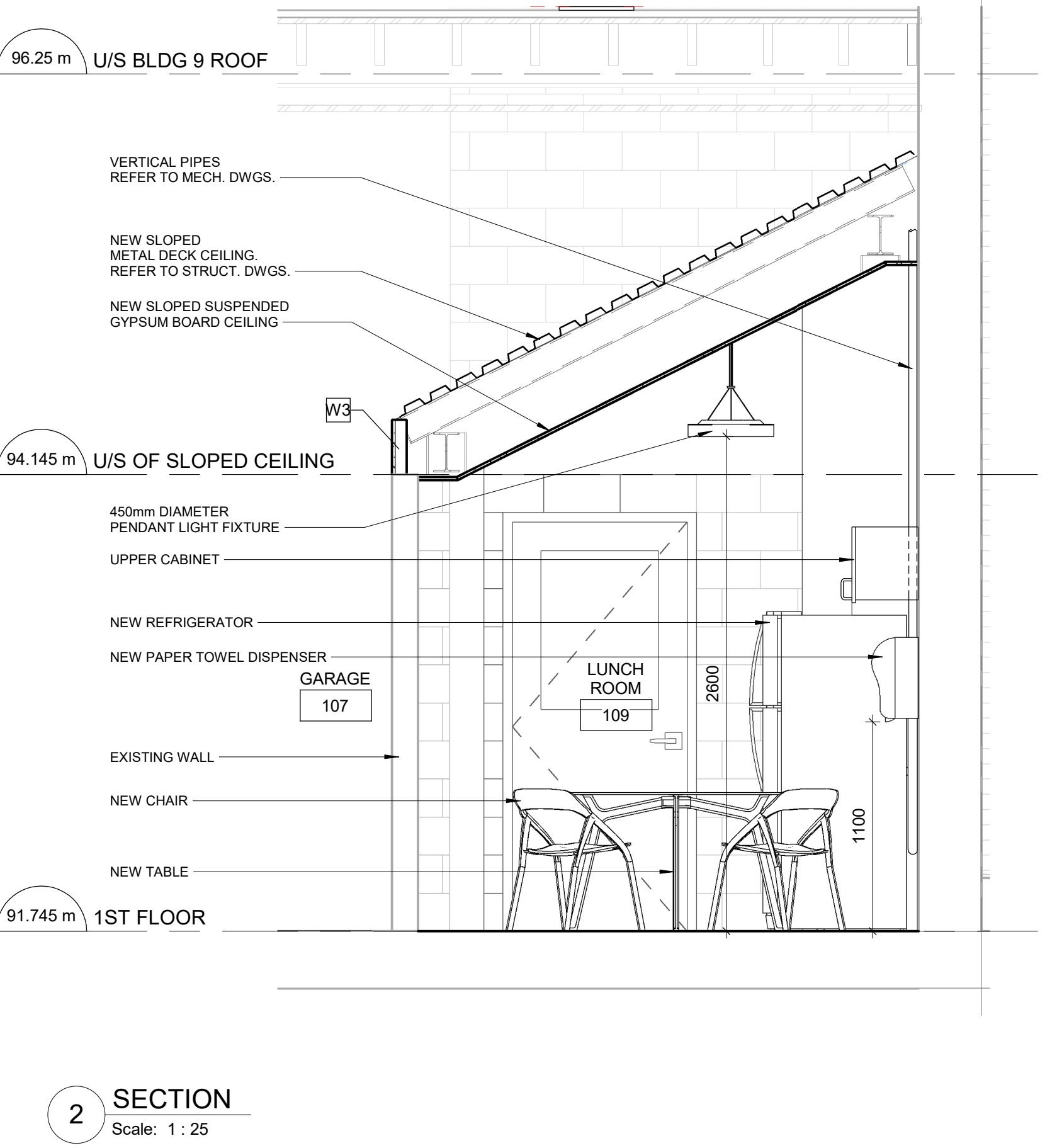
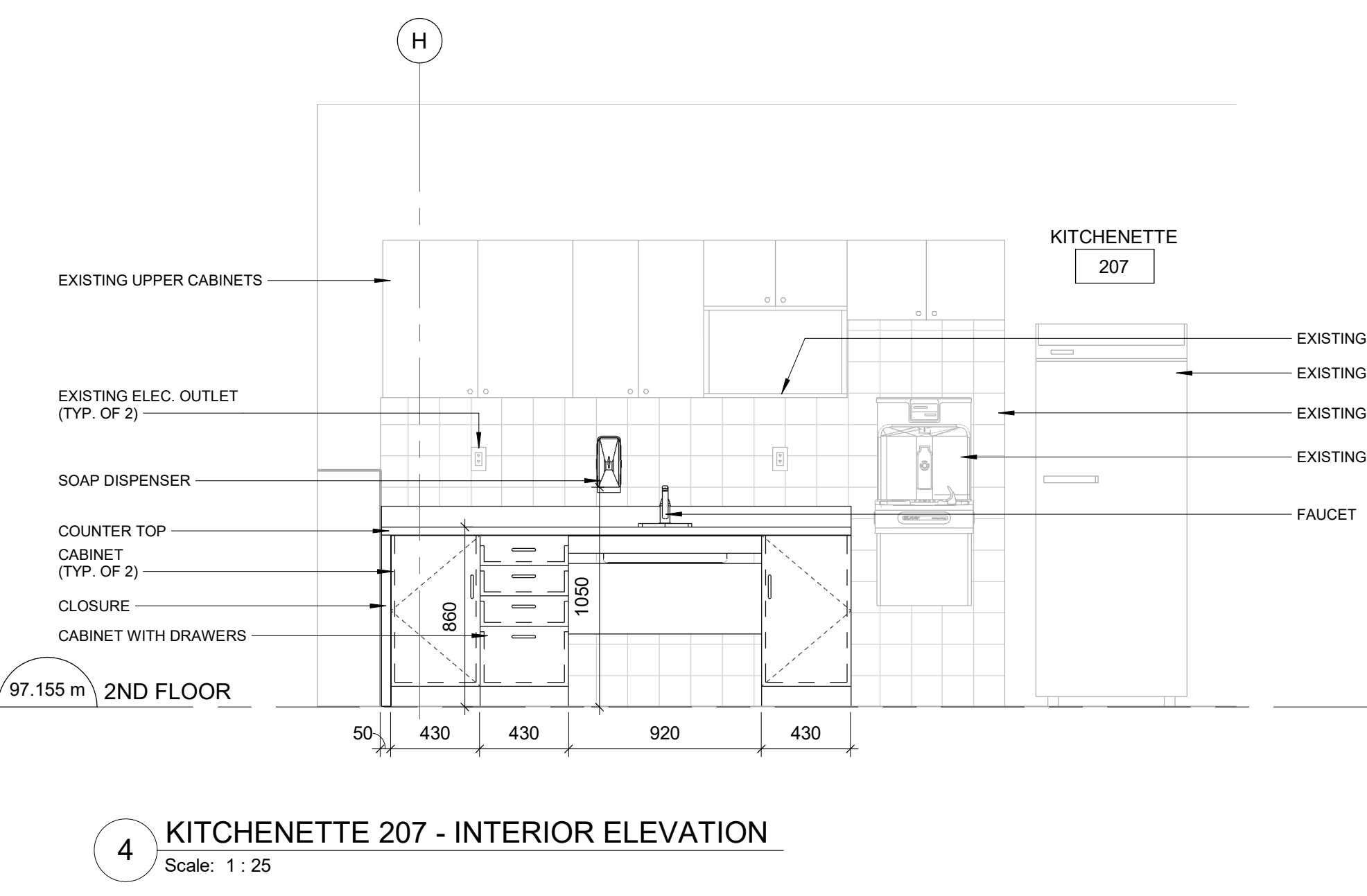
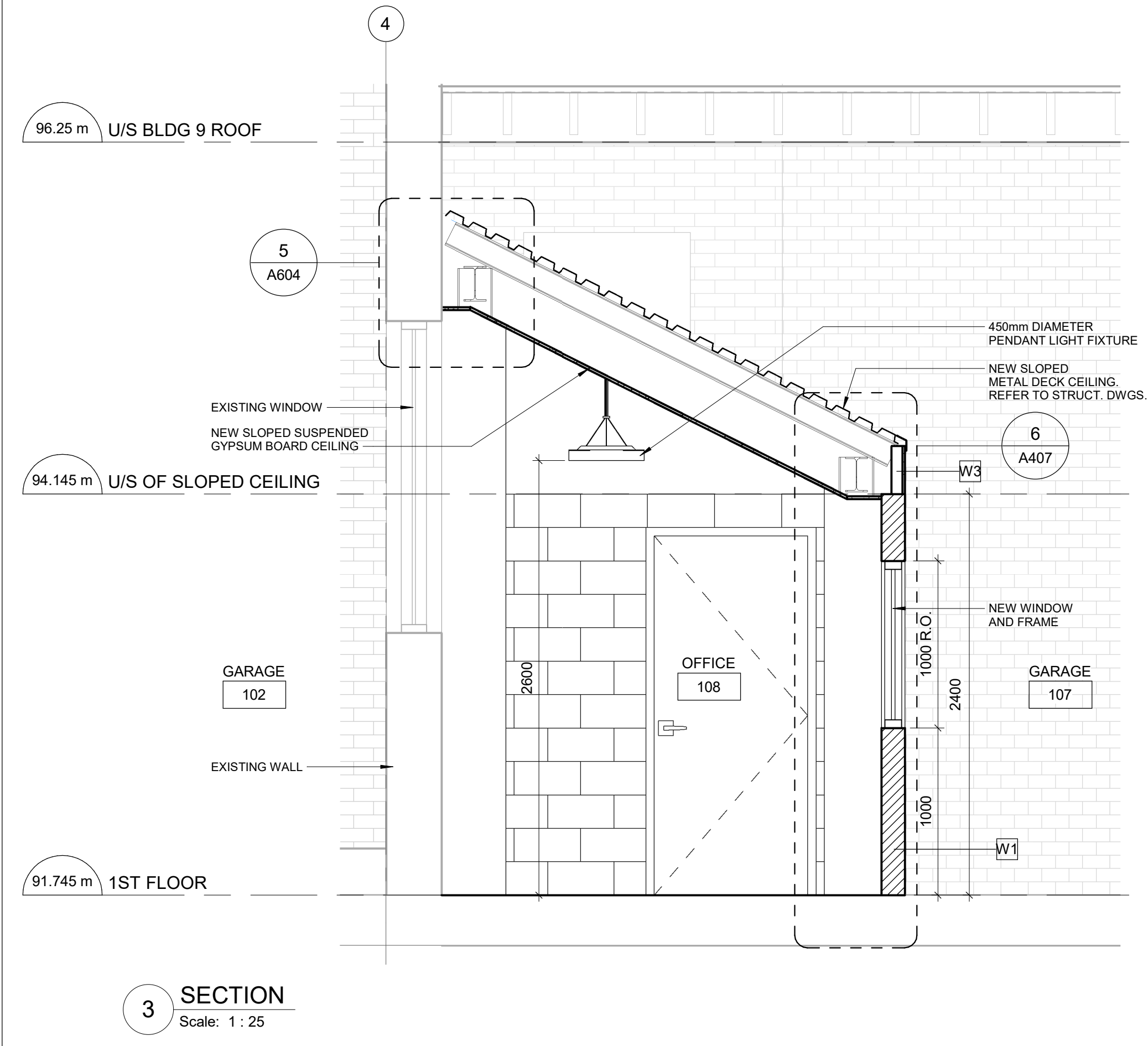
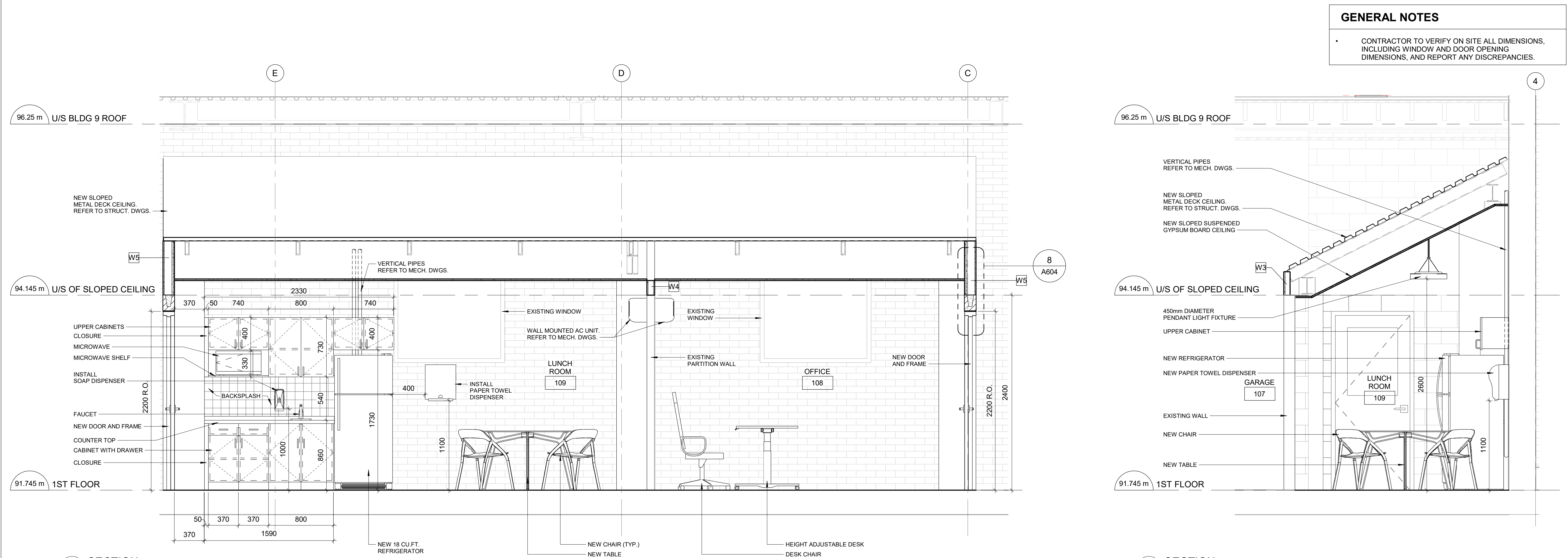
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FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS
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1116 KING STREET WEST

PROJECT NO:
30276606
DRAWN BY:
D. MOTTA
PROJECT MGR:
N. LAYOUN
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M. KOTBY

SHEET TITLE
**ENLARGED SECTIONS AND
ELEVATIONS**

SHEET NUMBER
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ISSUE
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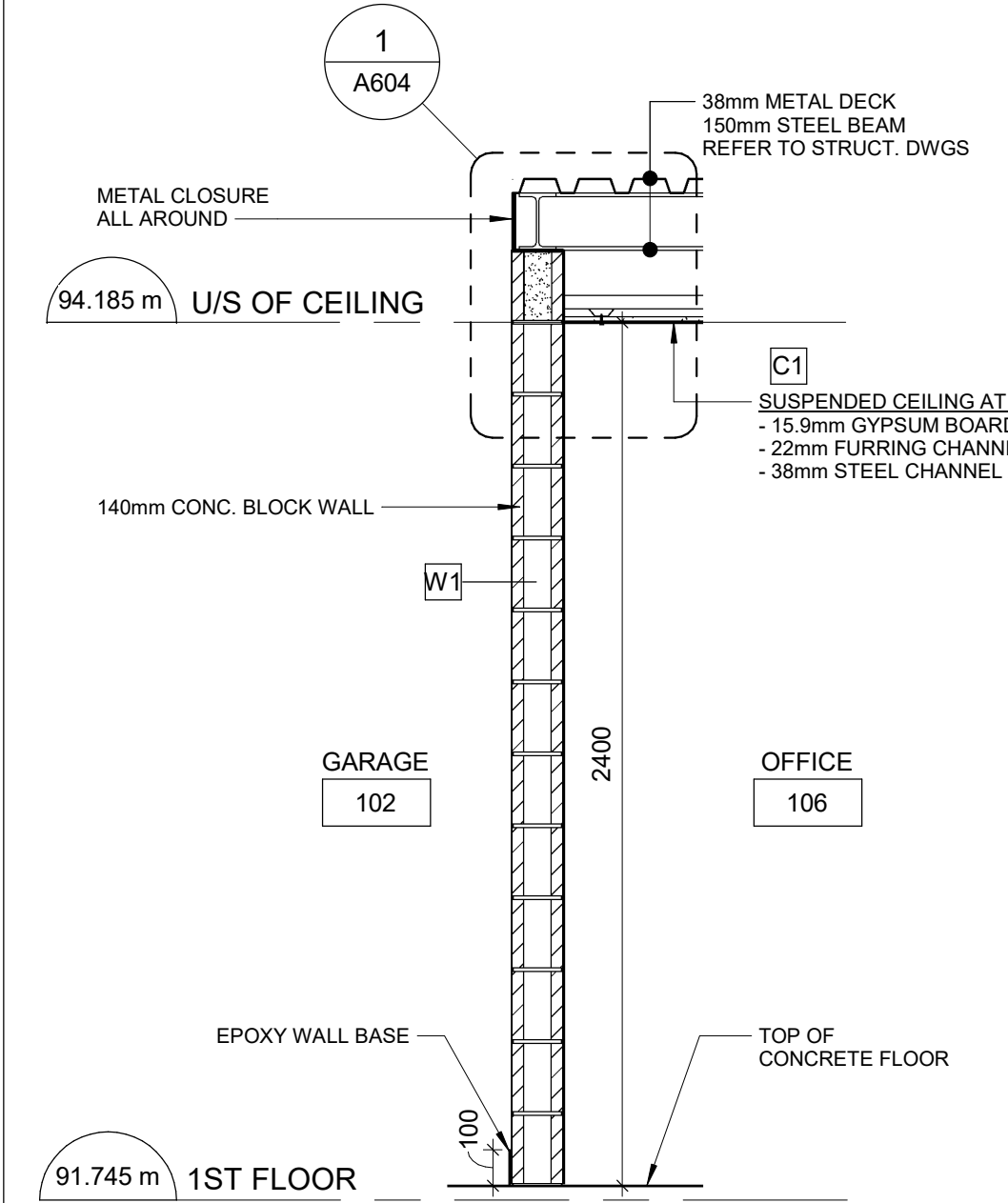
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APPROVED BY:
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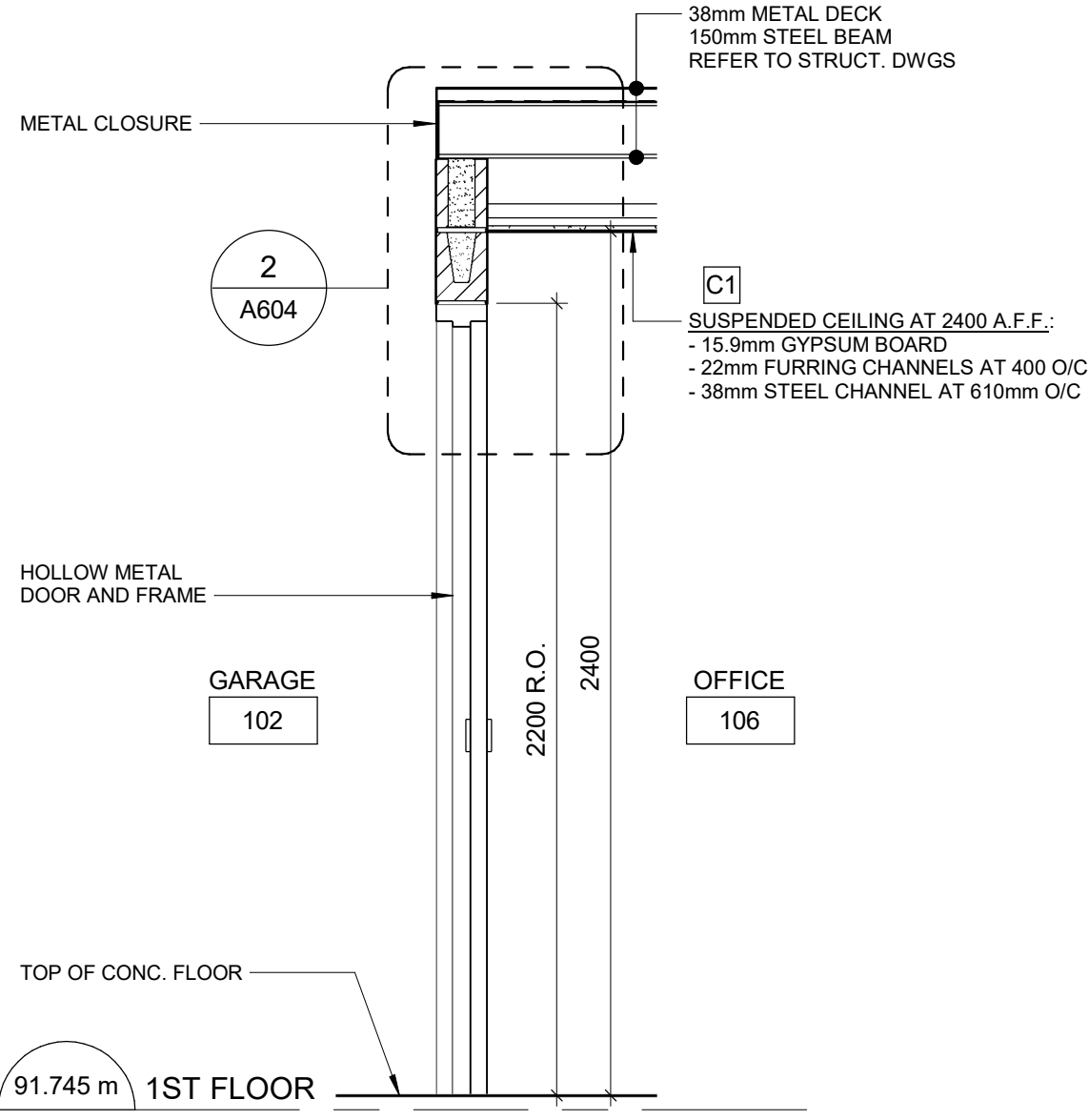
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**ENLARGED SECTIONS AND
ELEVATIONS**

SHEET NUMBER
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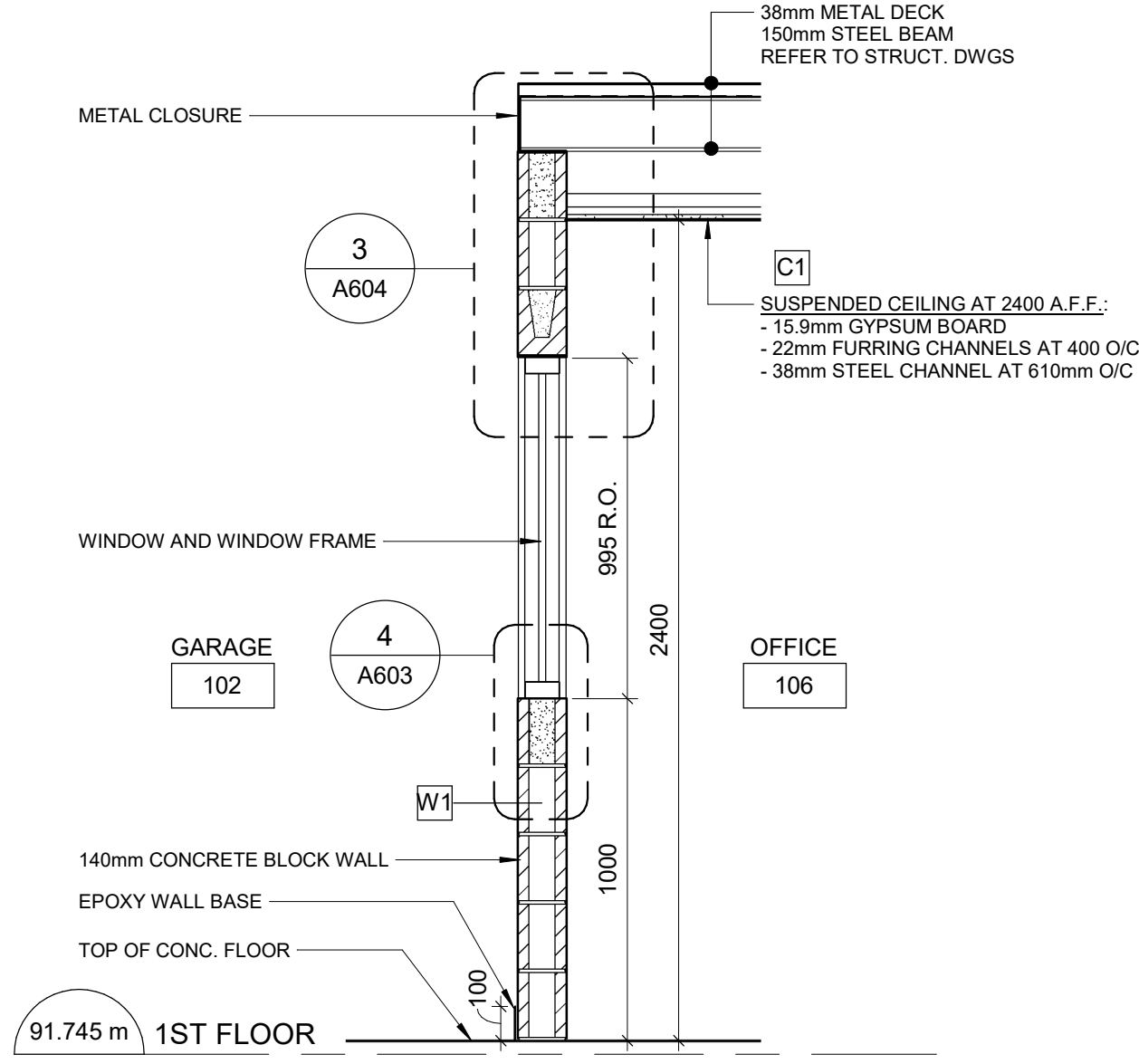
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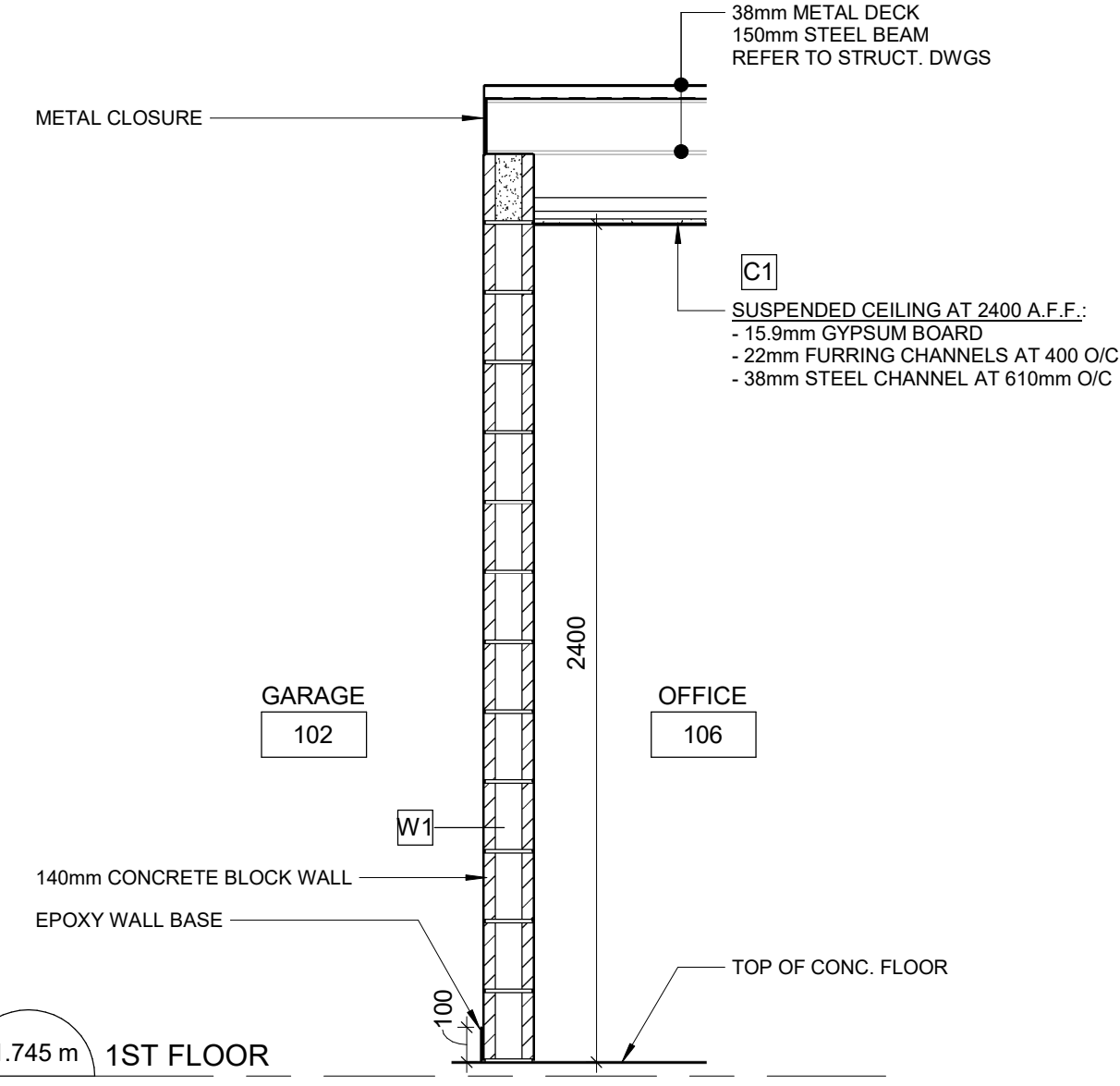
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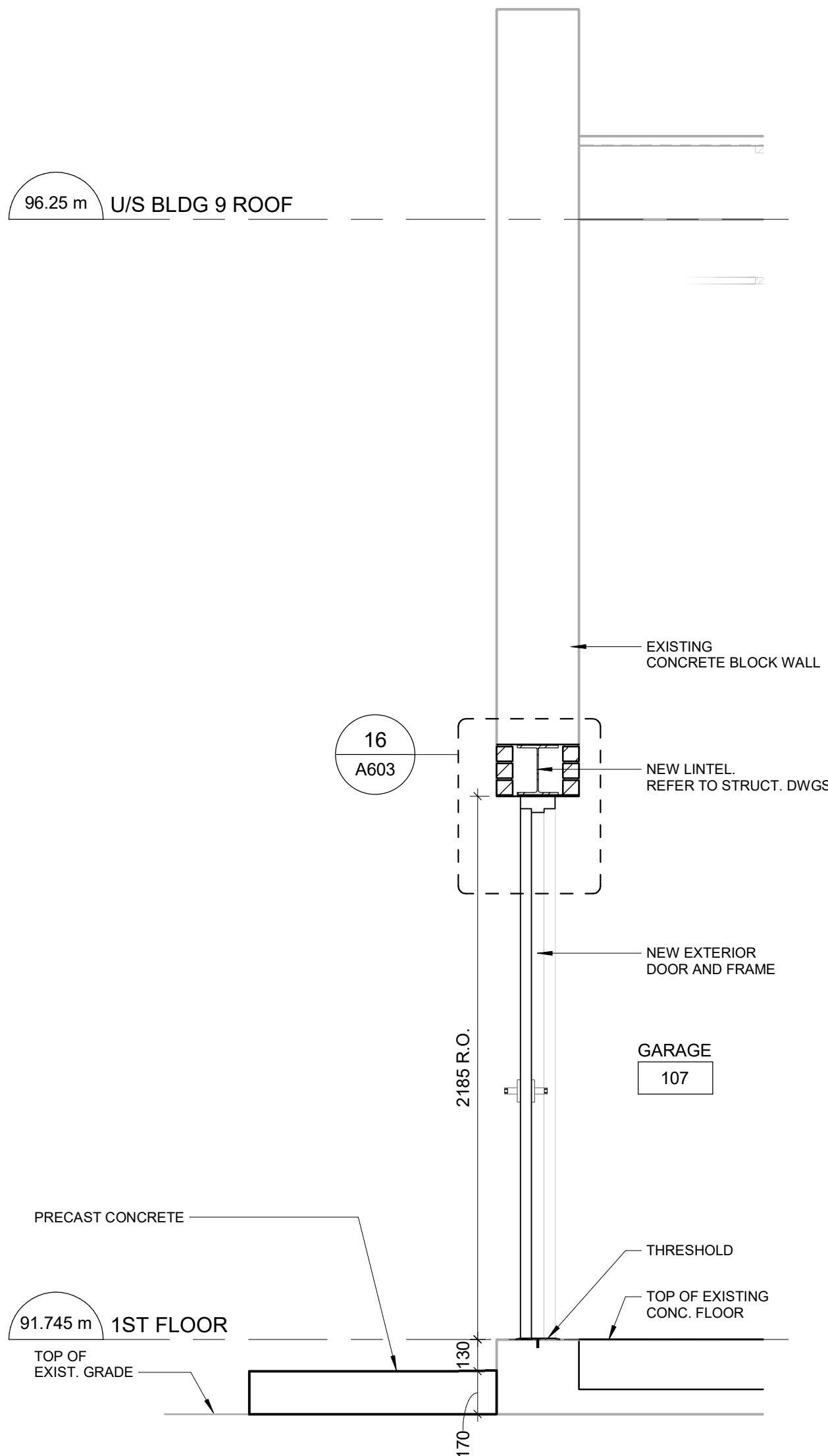
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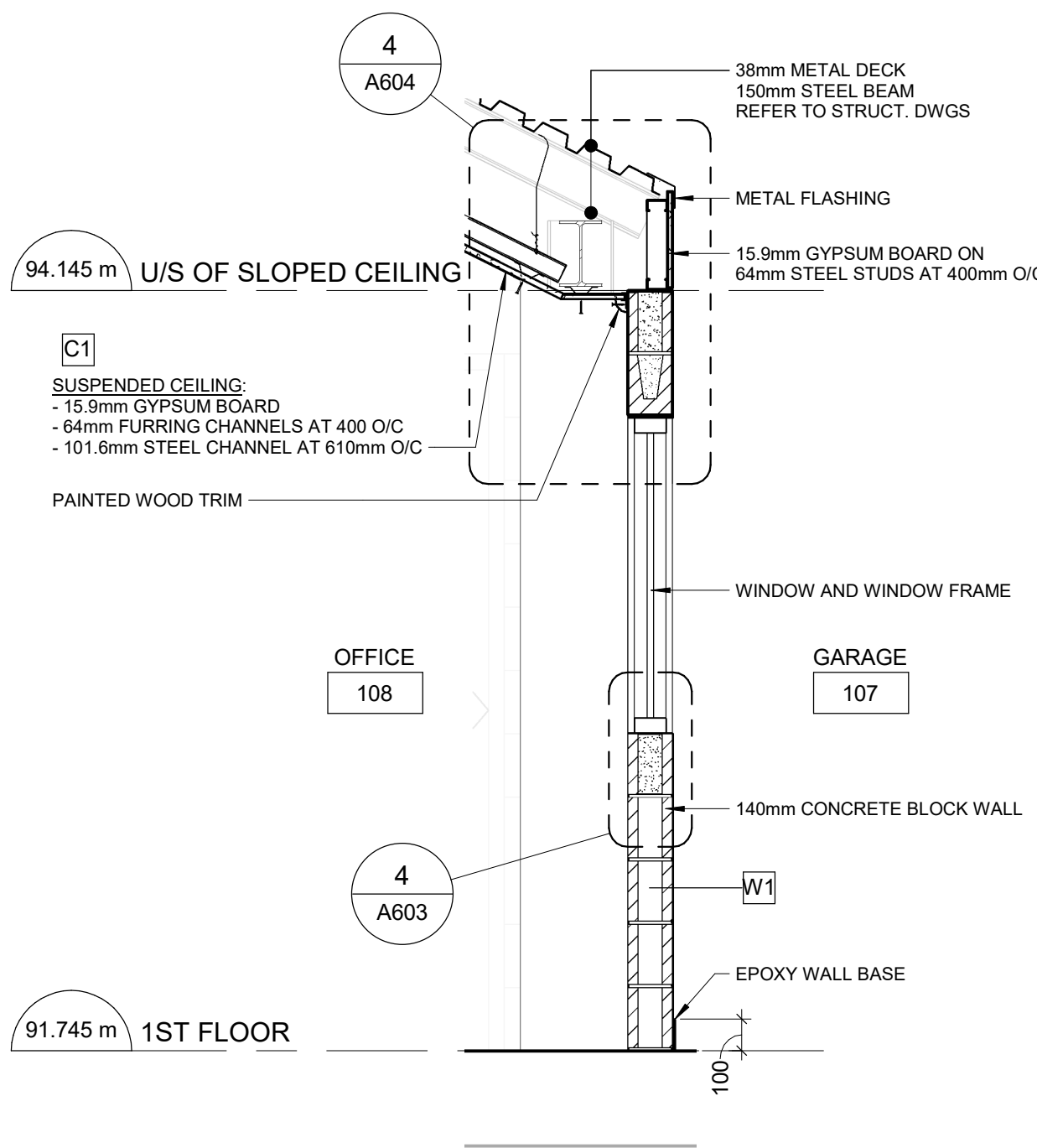
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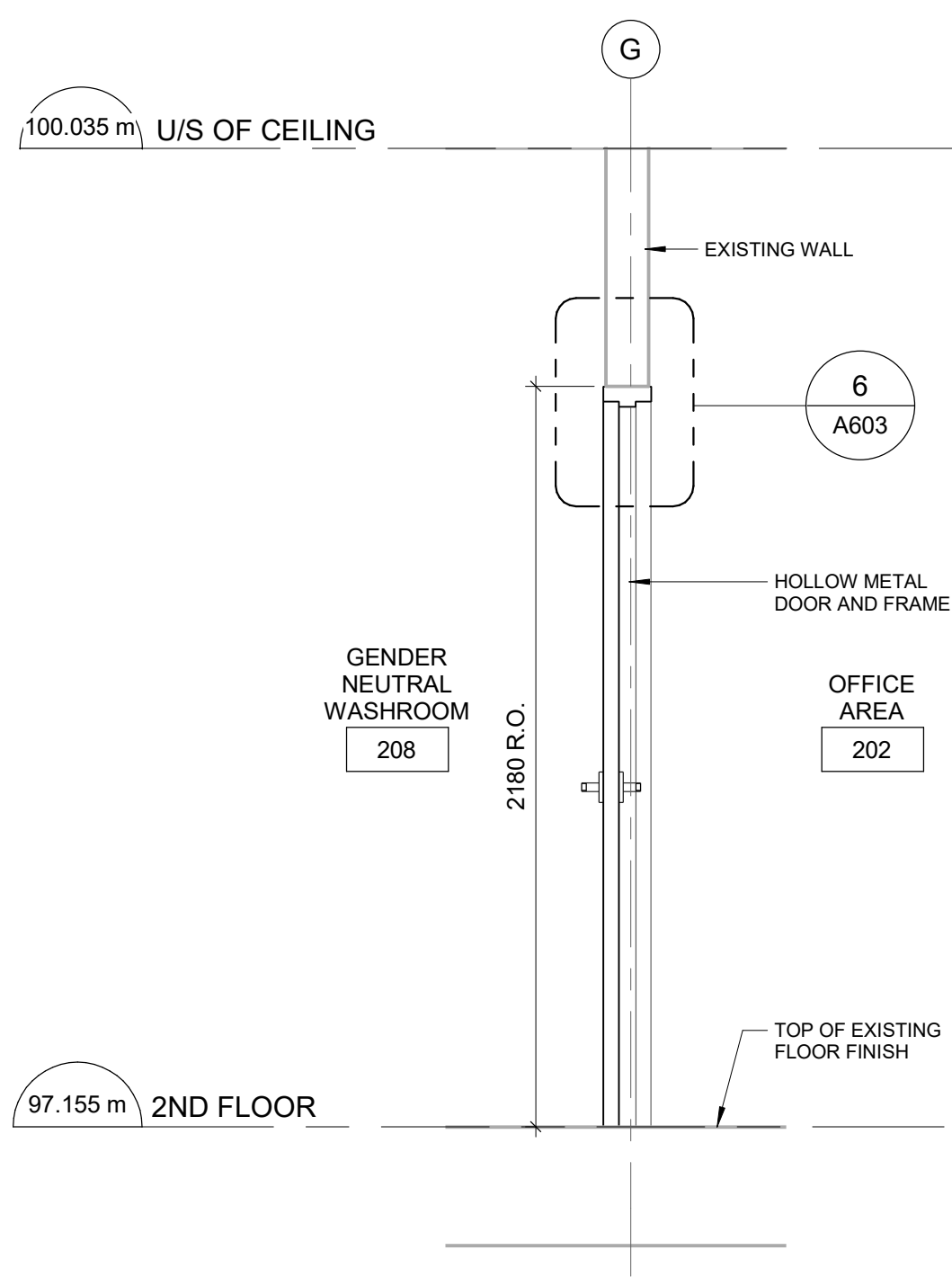
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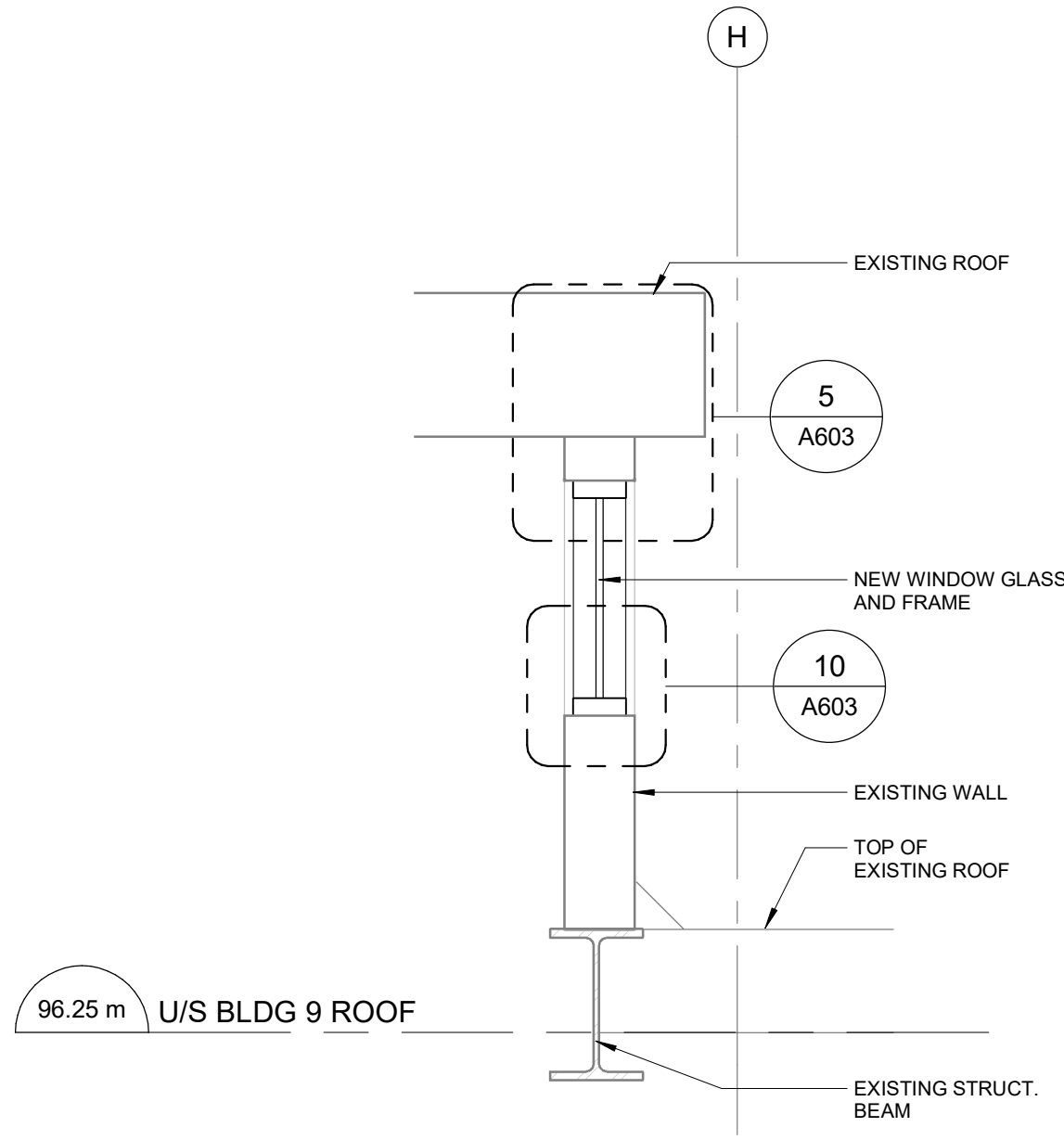
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6 SECTION AT OFFICE 108
Scale: 1 : 20



7 SECTION AT SECOND FLOOR DOOR
Scale: 1 : 20



8 SECTION AT MONITOR'S WINDOW
Scale: 1 : 20

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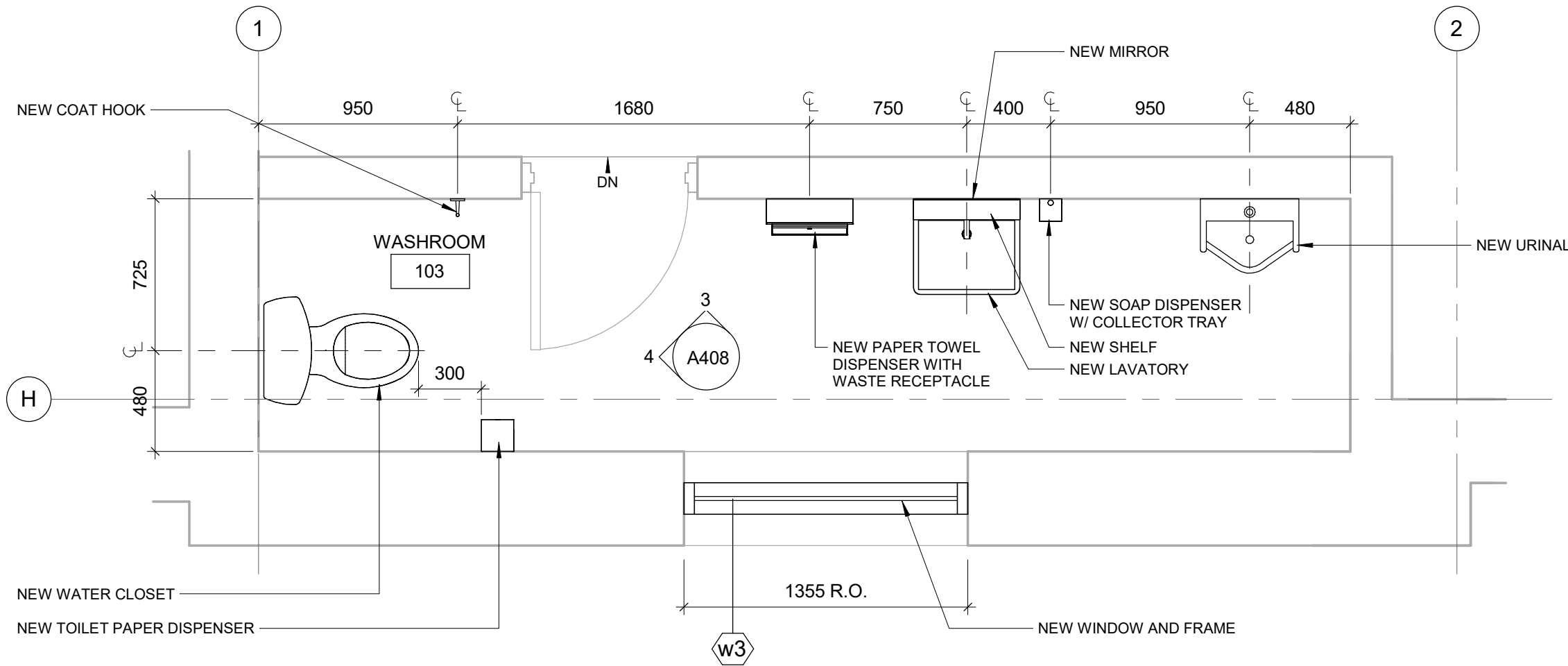
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WALL SECTIONS

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A407
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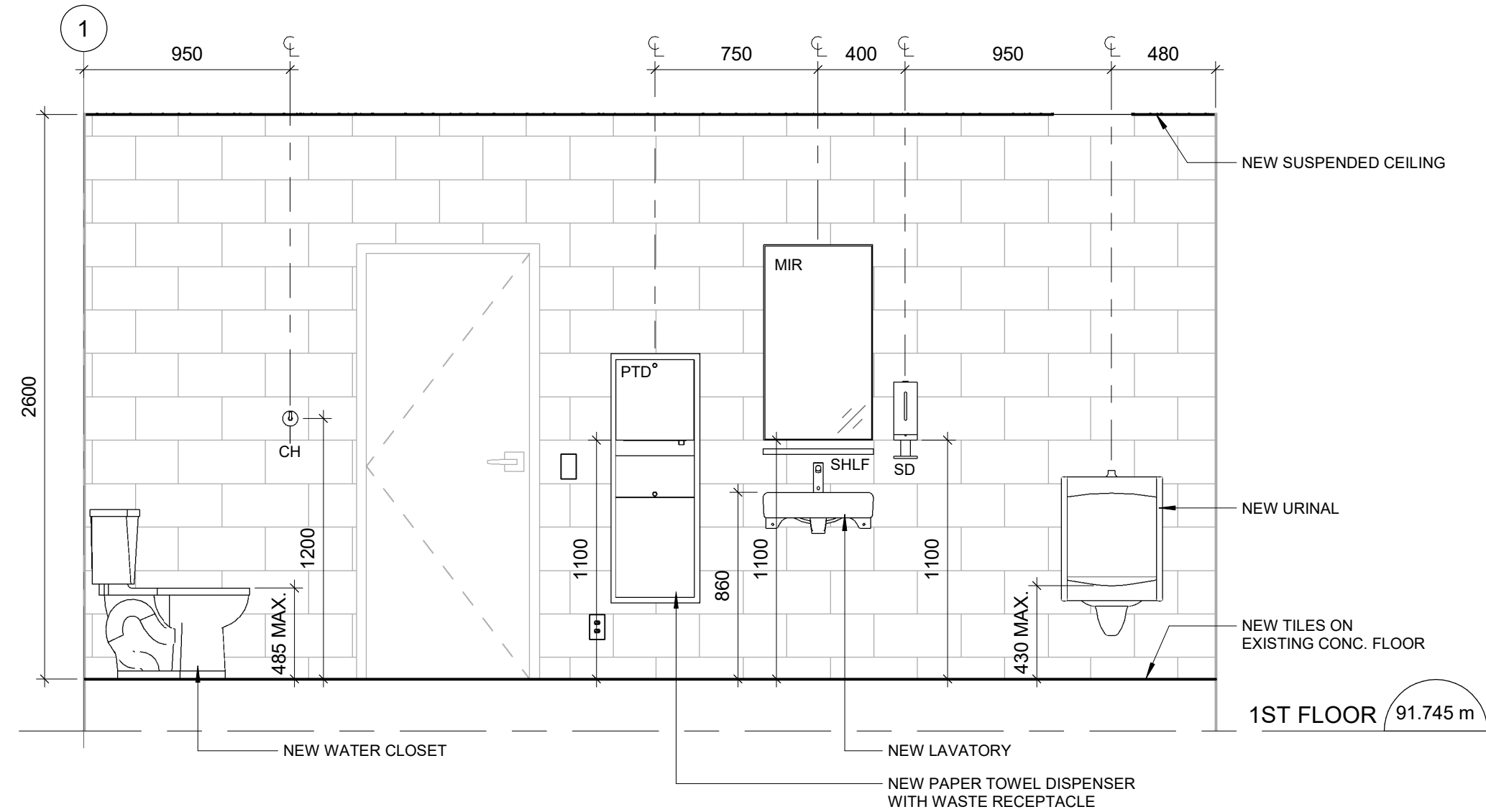
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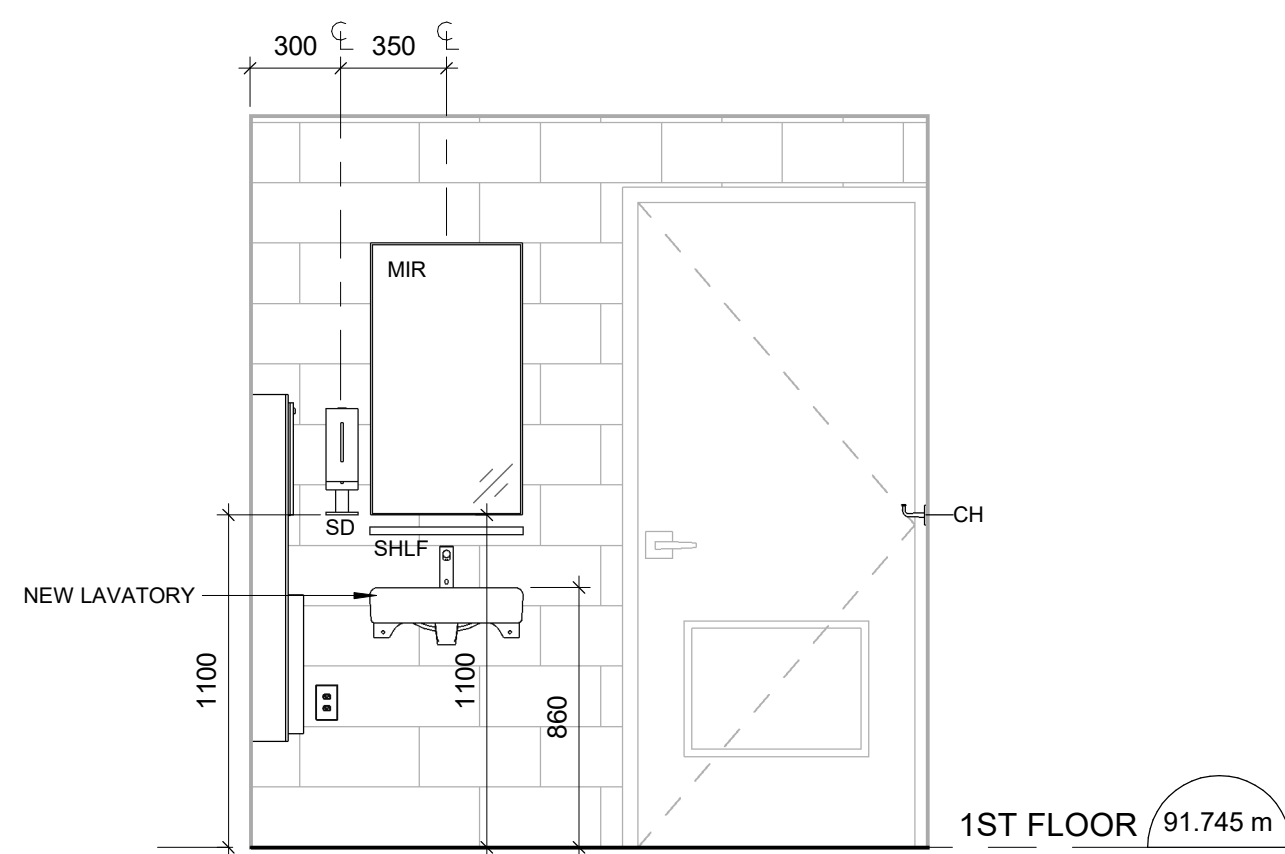
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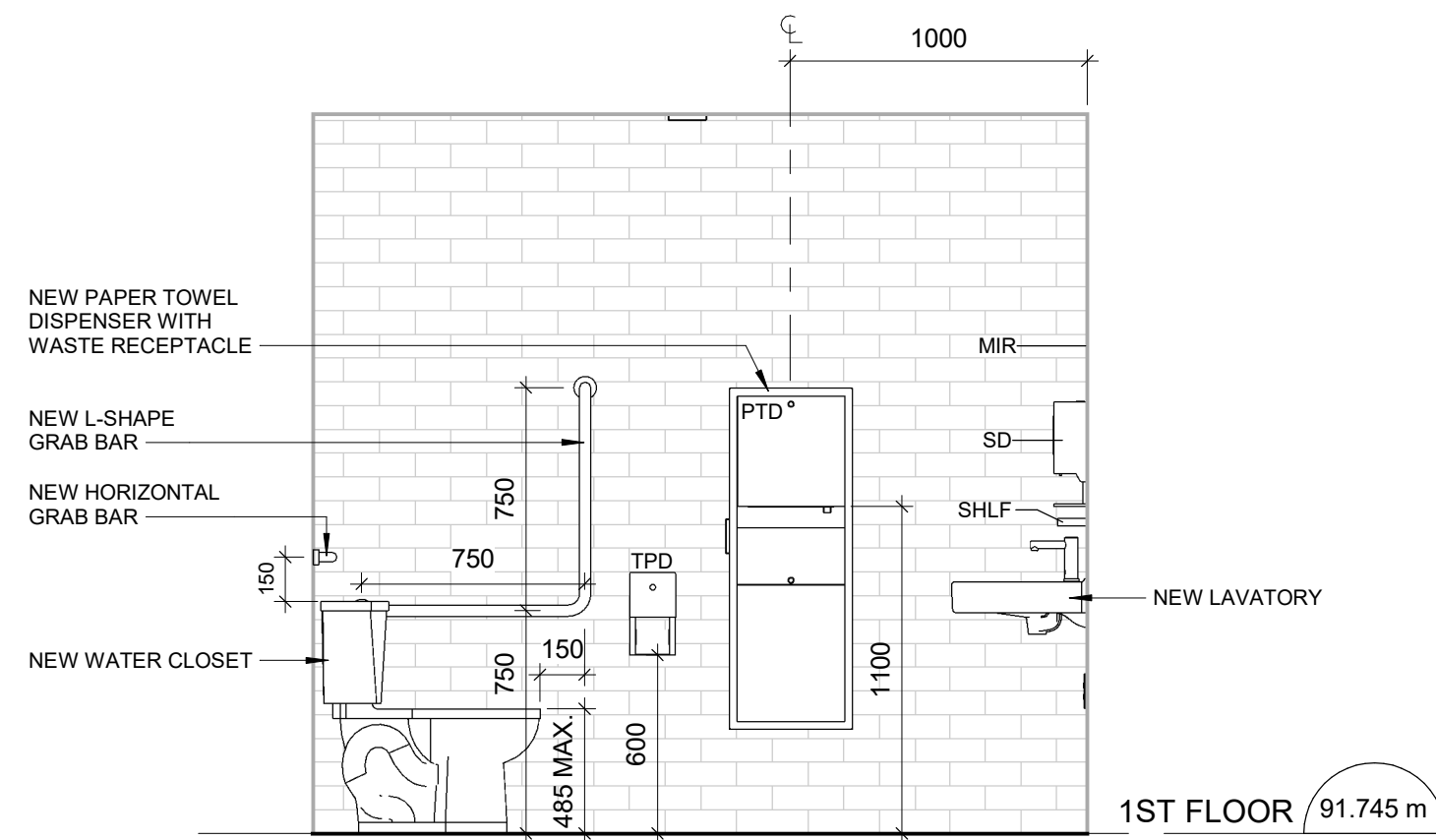
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Scale: 1 : 25



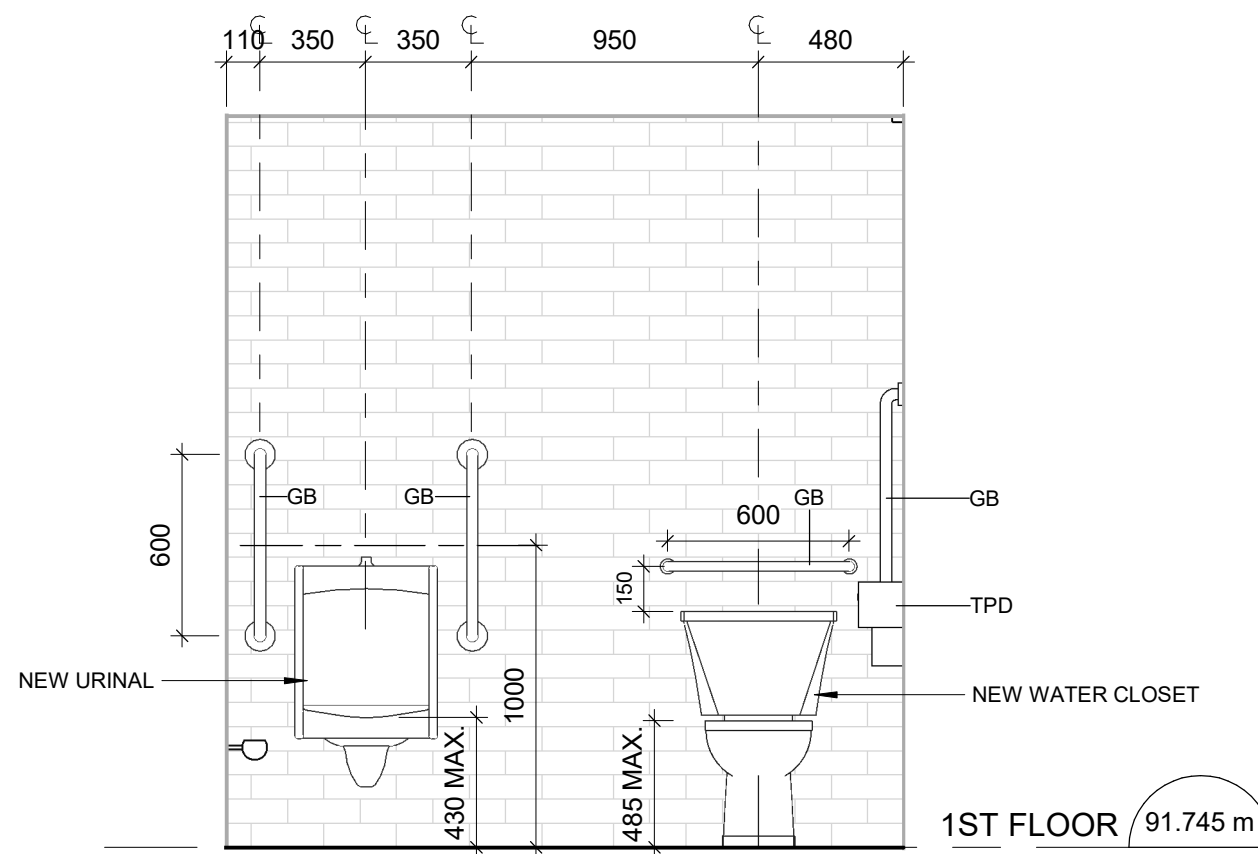
3 WASHROOM 103 - INTERIOR ELEVATION
Scale: 1 : 25



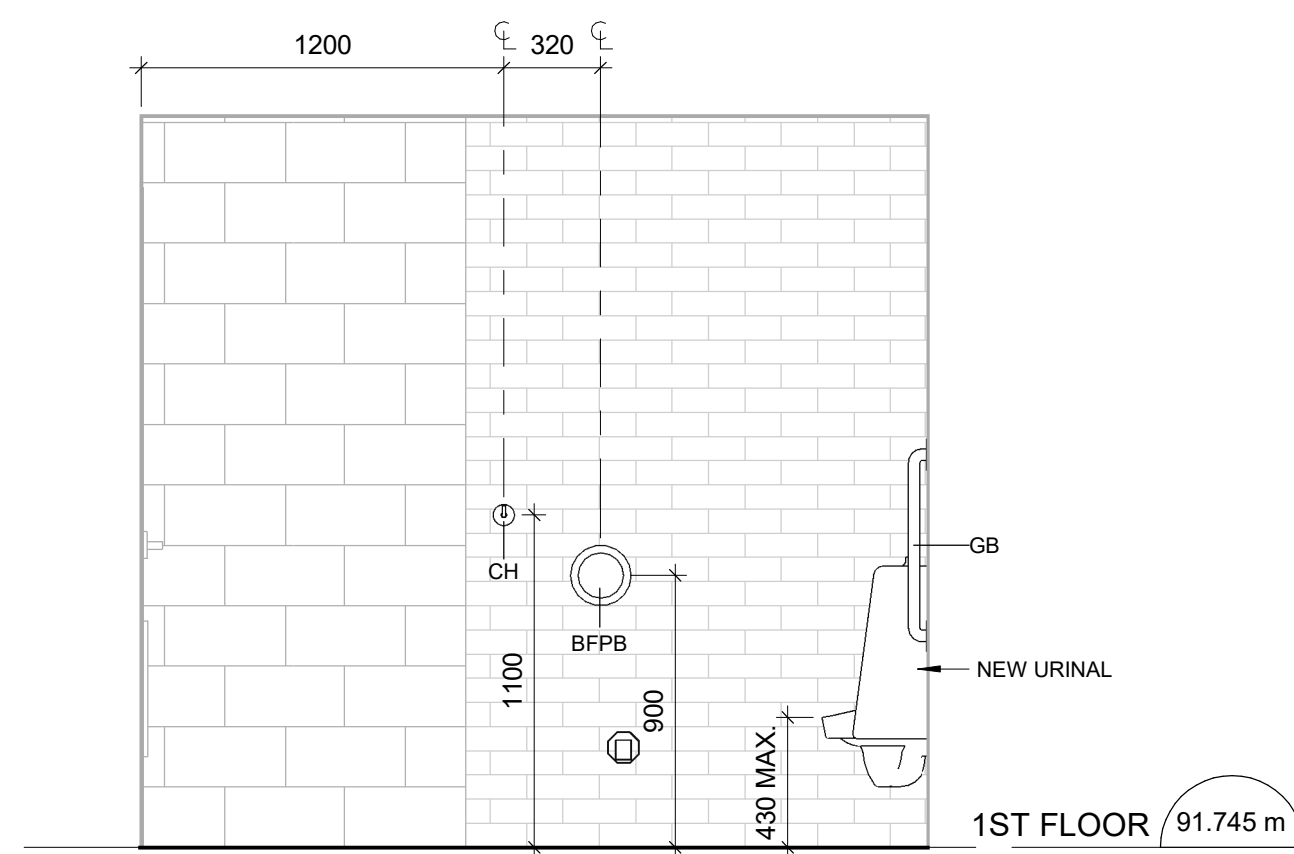
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Scale: 1 : 25



6 WASHROOM 110 - INTERIOR ELEVATION
Scale: 1 : 25

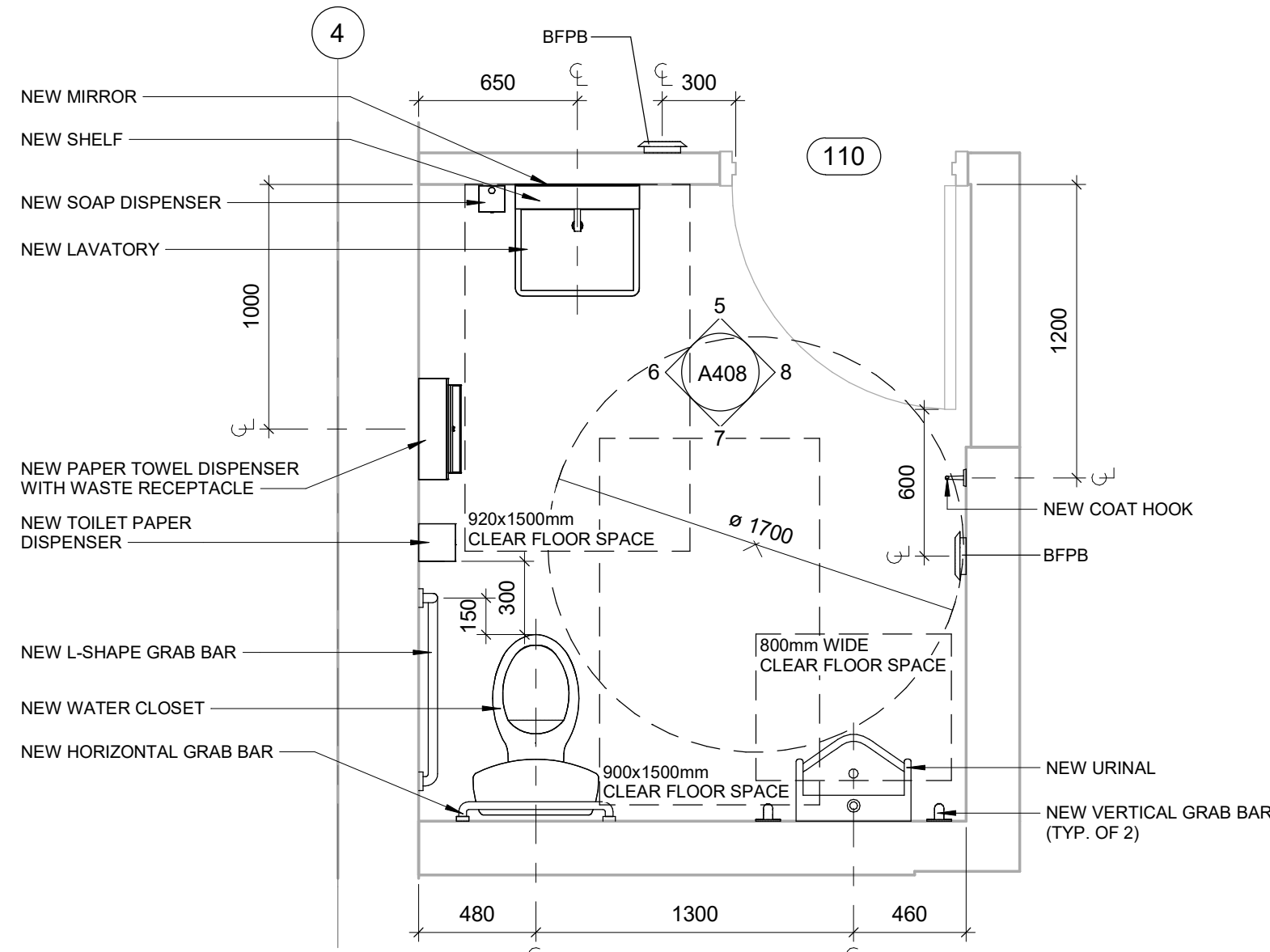


7 WASHROOM 110 - INTERIOR ELEVATION
Scale: 1 : 25

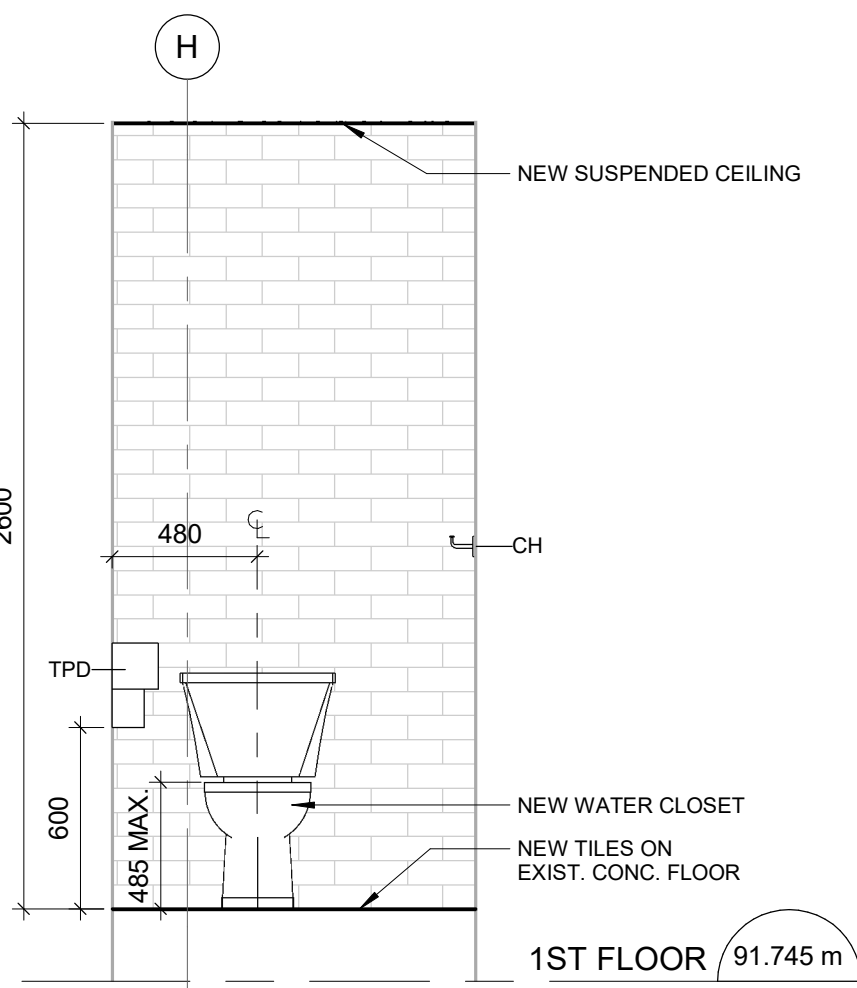


8 WASHROOM 110 - INTERIOR ELEVATION
Scale: 1 : 25

Scale 1:25
0 .5 1 2.5 m



2 WASHROOM 110 - ENLARGED PLAN
Scale: 1 : 25



4 WASHROOM 103 - INTERIOR ELEVATION
Scale: 1 : 25

ABBREVIATIONS

BFPB	BARRIER FREE PUSH BUTTON
BFWO	BARRIER FREE WAVE TO OPEN
CH	COAT HOOK
CL	CENTRE LINE
CT	CERAMIC TILE
GB	GRAB BAR
MIR	MIRROR
PTD	PAPER TOWEL DISPENSER
SD	SOAP DISPENSER
SHLF	SHELF
TPD	TOILET PAPER DISPENSER

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PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

KING STREET YARD -
BUILDING NO. 8 & 9
1116 KING STREET WEST

PROJECT NO:

30276606

DRAWN BY:

D. MOTTA

CHECKED BY:

L. BANDIERA

PROJECT MGR:

N. LAYOUN

APPROVED BY:

M. KOTBY

SHEET TITLE

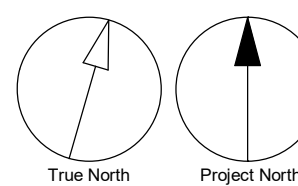
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PLANS AND ELEVATIONS

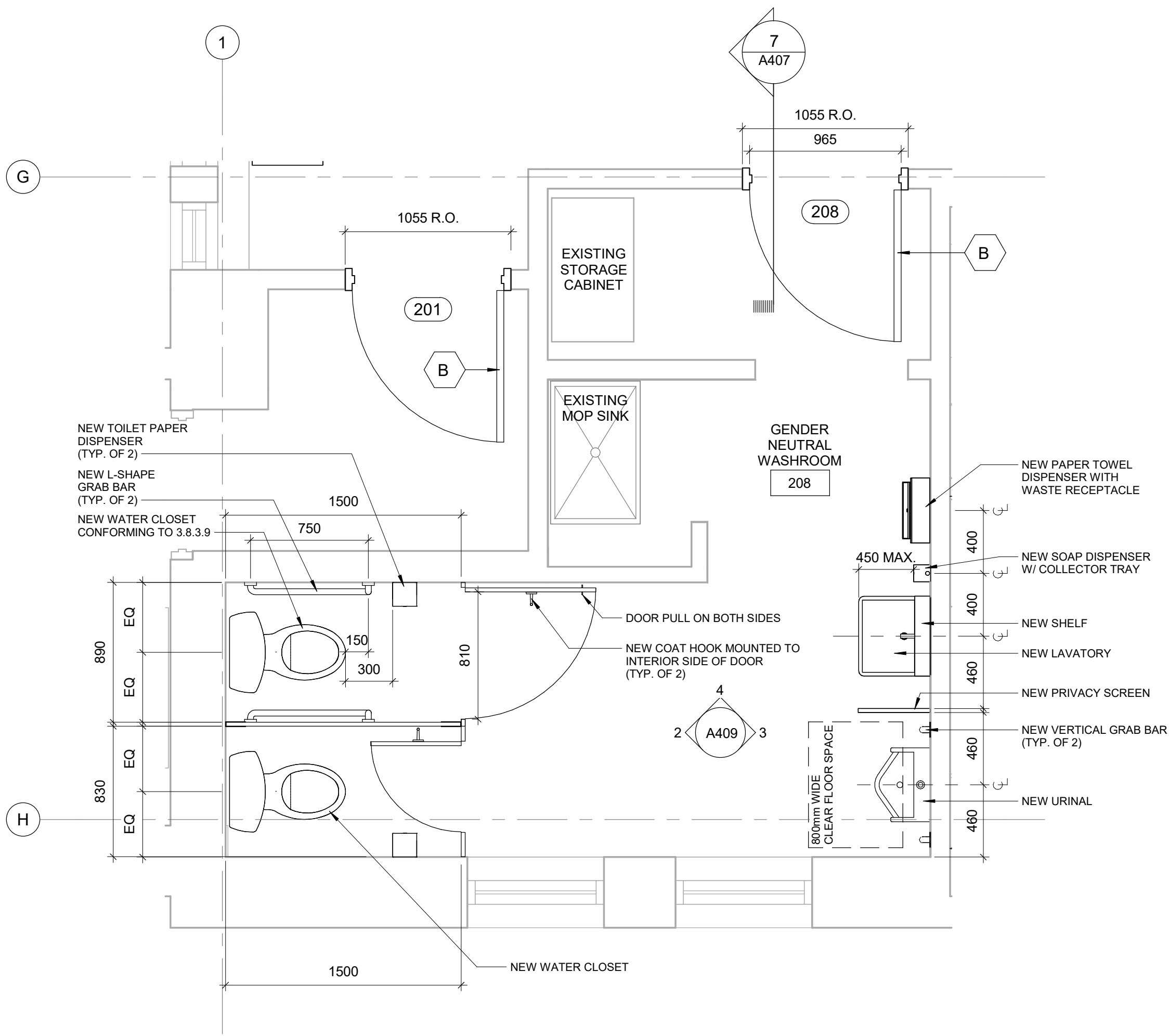
SHEET NUMBER

A408

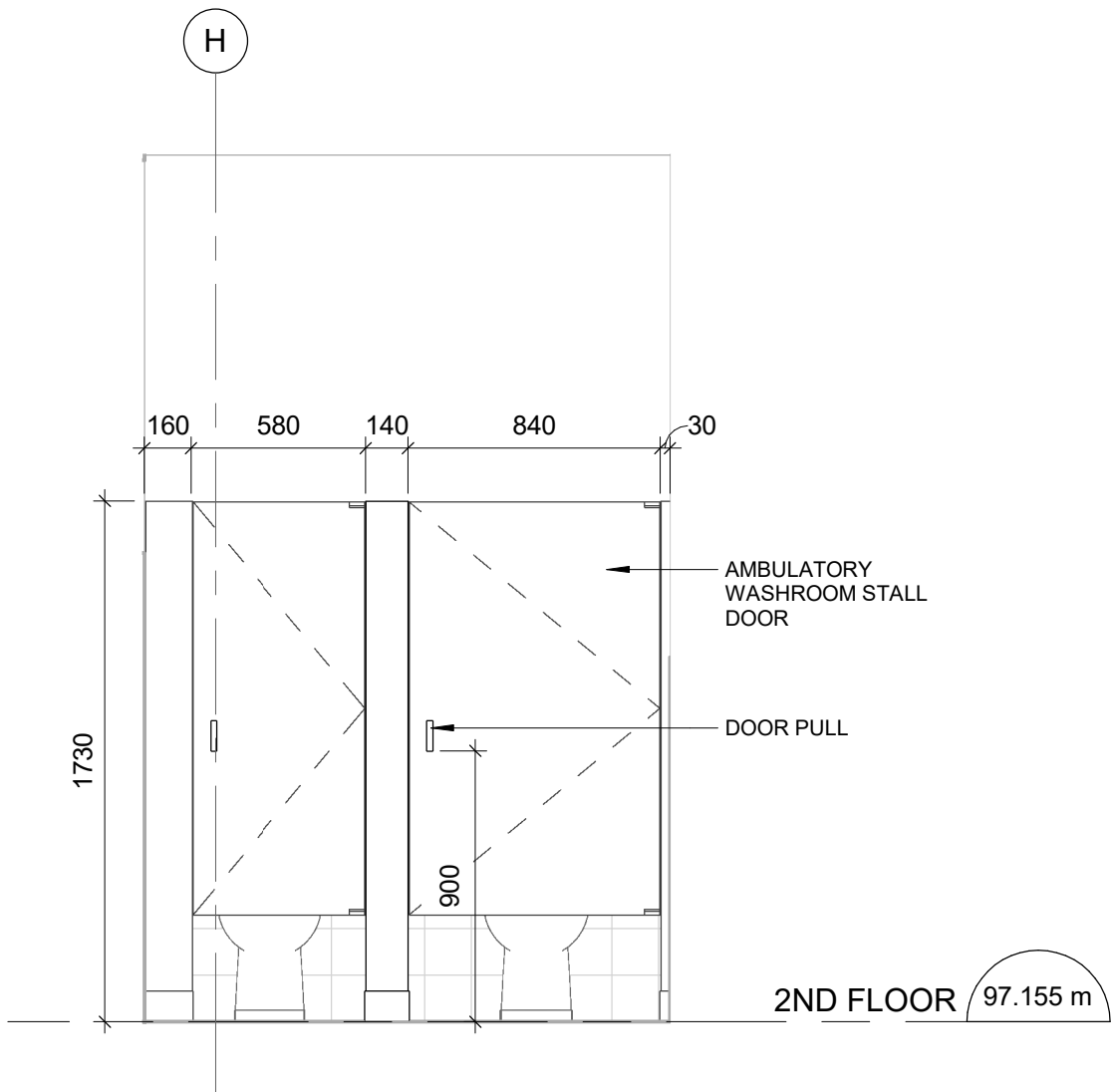
ISSUE

G

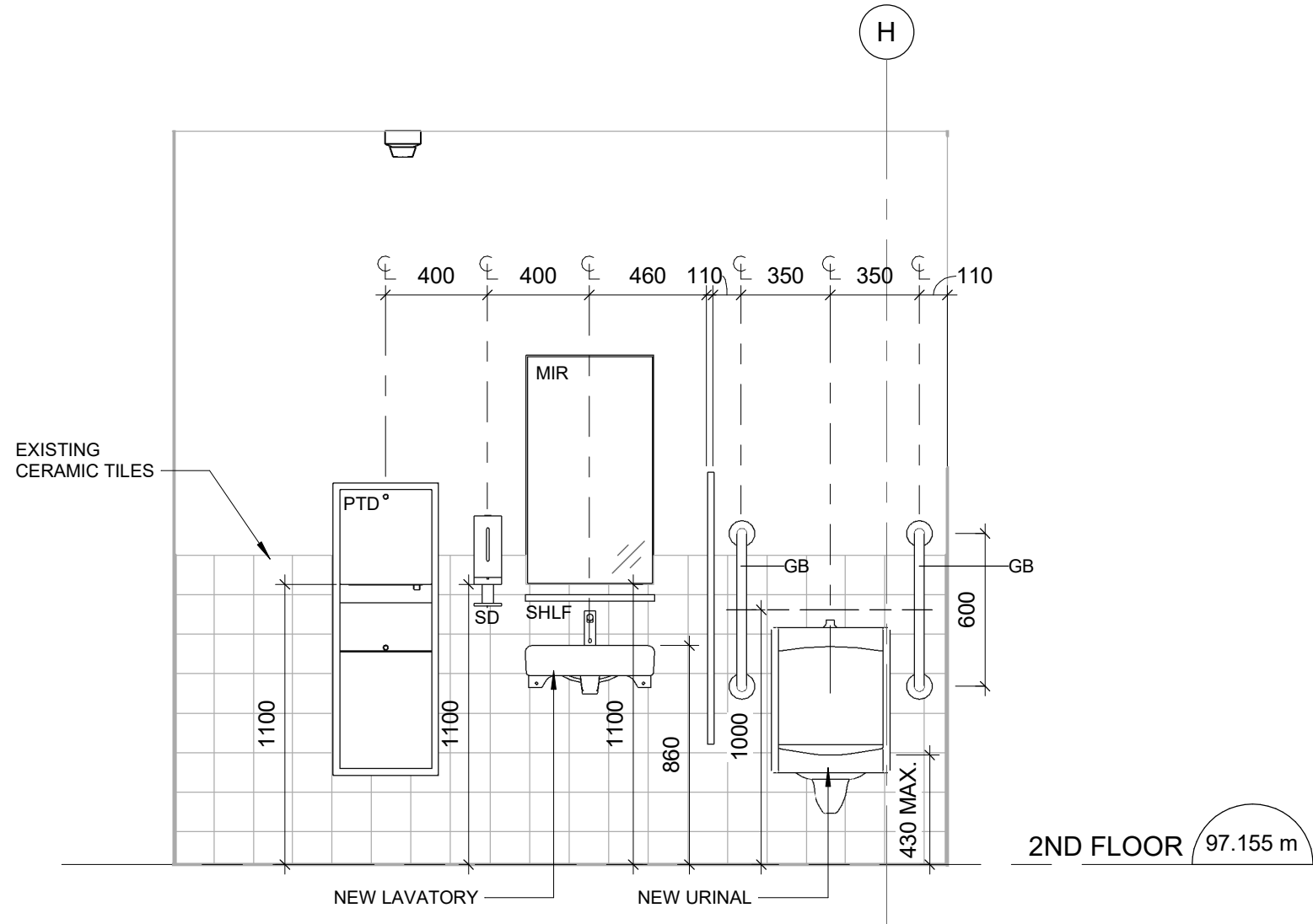




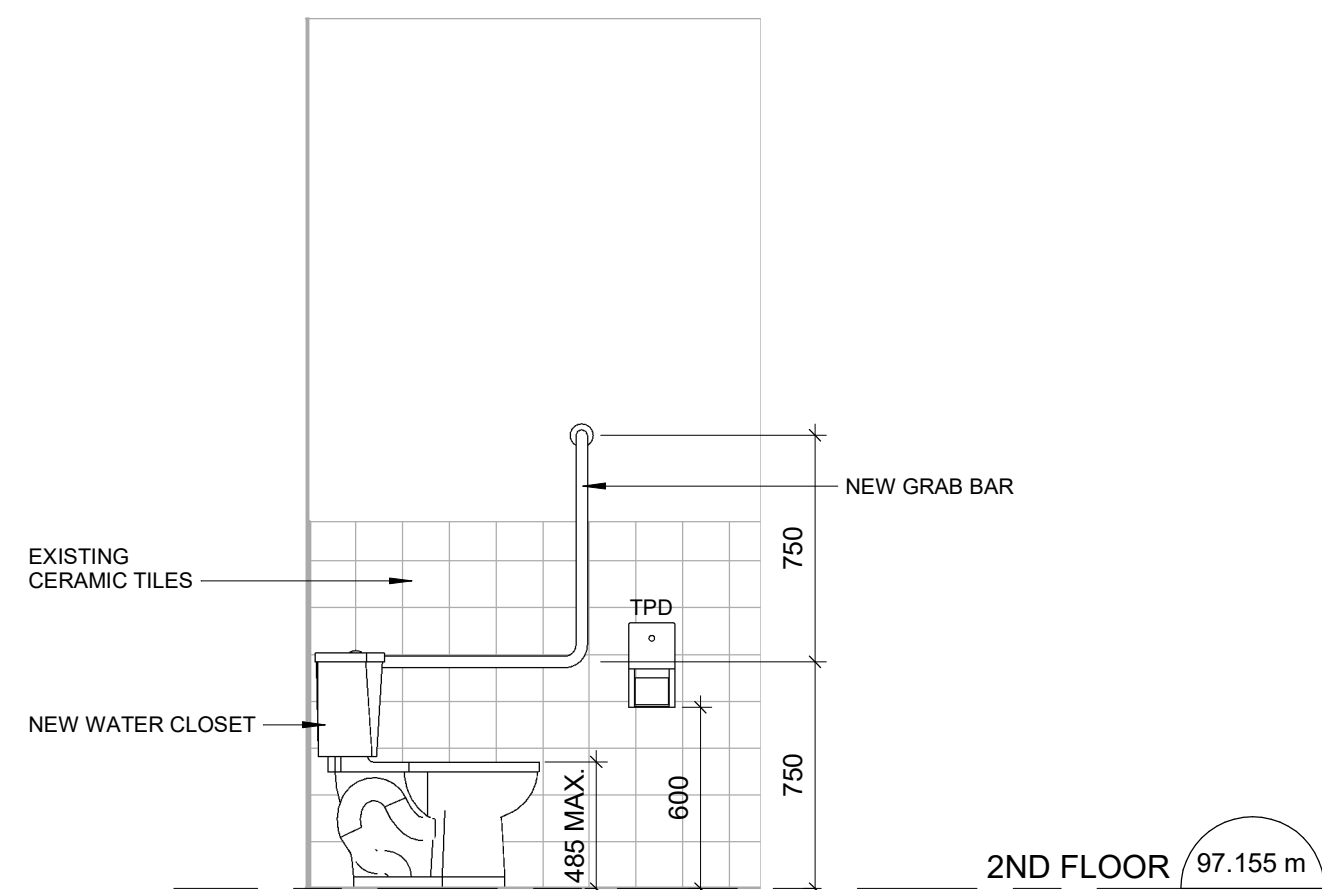
1 SECOND FLOOR WASHROOM 208 - ENLARGED PLAN
Scale: 1 : 25



2 WASHROOM 208 - INTERIOR ELEVATION
Scale: 1 : 25



3 WASHROOM 208 - INTERIOR ELEVATION
Scale: 1 : 25



4 WASHROOM 208 - INTERIOR ELEVATION
Scale: 1 : 25

ABBREVIATIONS

BFPB	BARRIER FREE PUSH BUTTON
BFWO	BARRIER FREE WAVE TO OPEN
CH	COAT HOOK
CL	CENTRE LINE
CT	CERAMIC TILE
GB	GRAB BAR
MIR	MIRROR
PTD	PAPER TOWEL DISPENSER
SD	SOAP DISPENSER
SHLF	SHELF
TPD	TOILET PAPER DISPENSER

GENERAL NOTES

- CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.

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B	ISSUED FOR 75% DESIGN	2025-11-04
C	ISSUED FOR 95% DESIGN	2025-11-24
D	ISSUED FOR 100% DESIGN	2025-12-09
E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
G	ISSUED FOR TENDER - REV.	2025-12-23
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tel 416 679 1930
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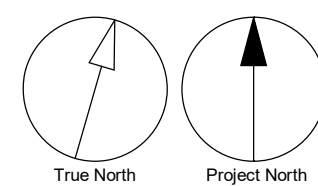
ENLARGED WASHROOM
PLANS AND ELEVATIONS

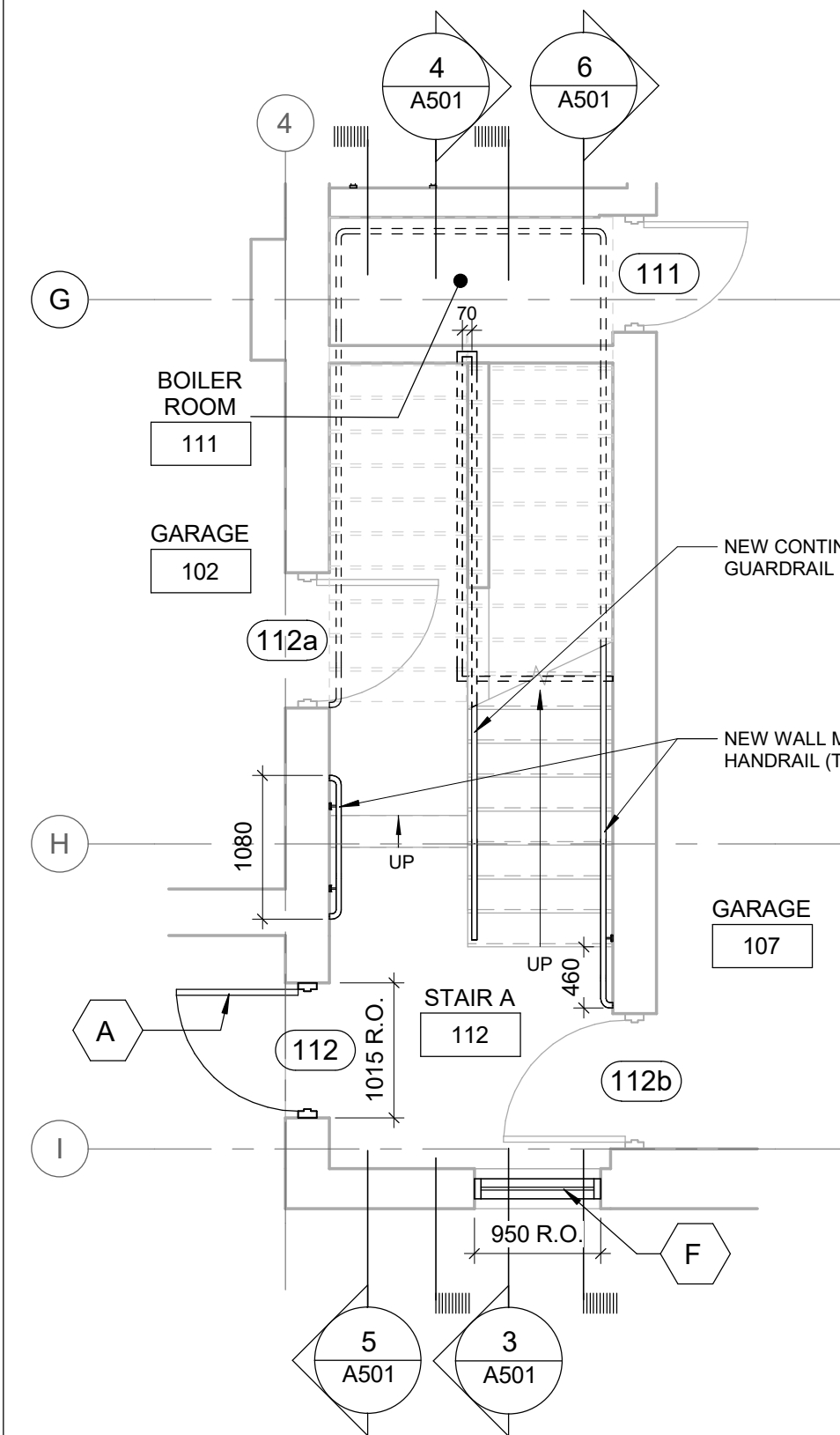
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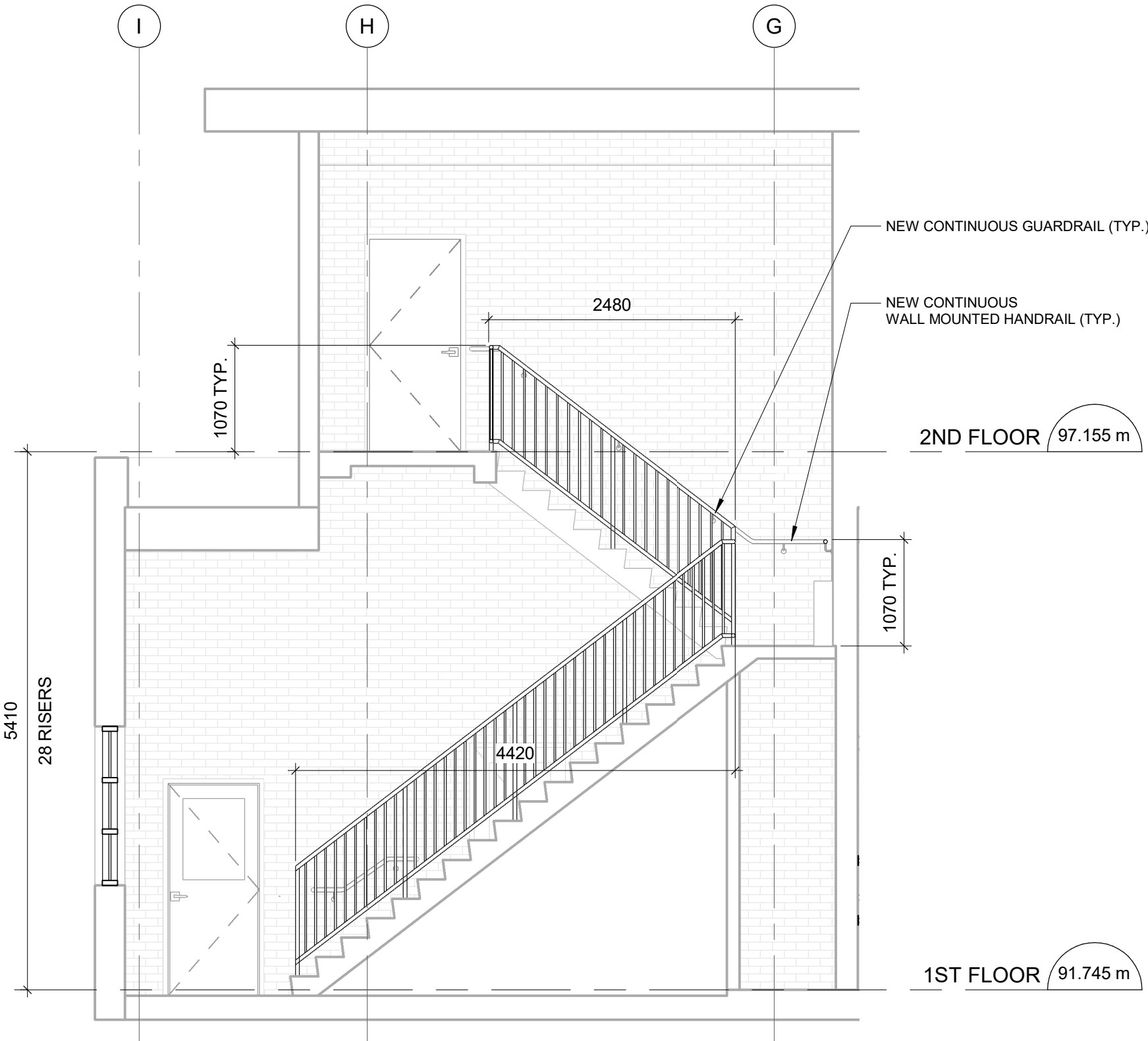
ISSUE

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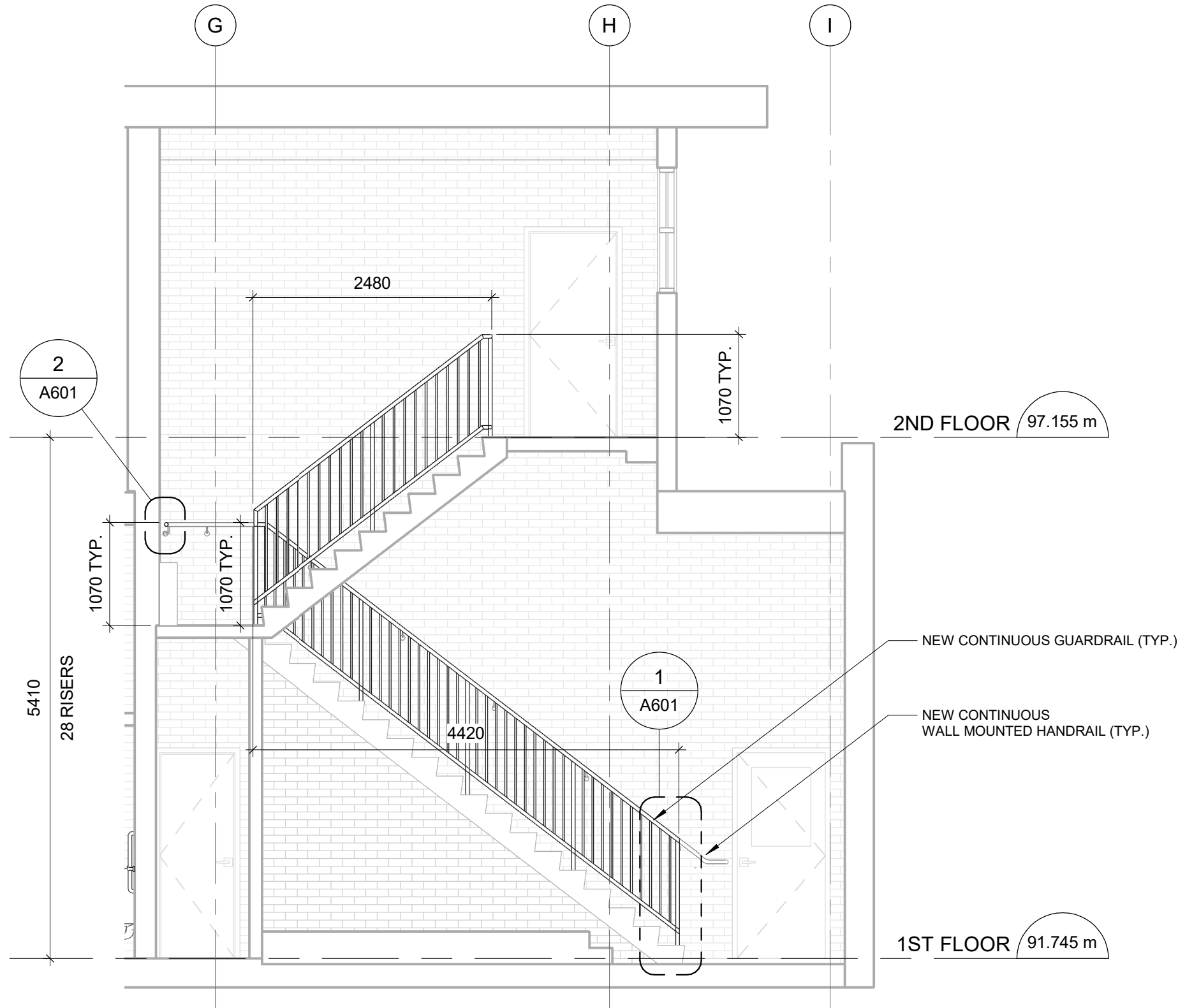




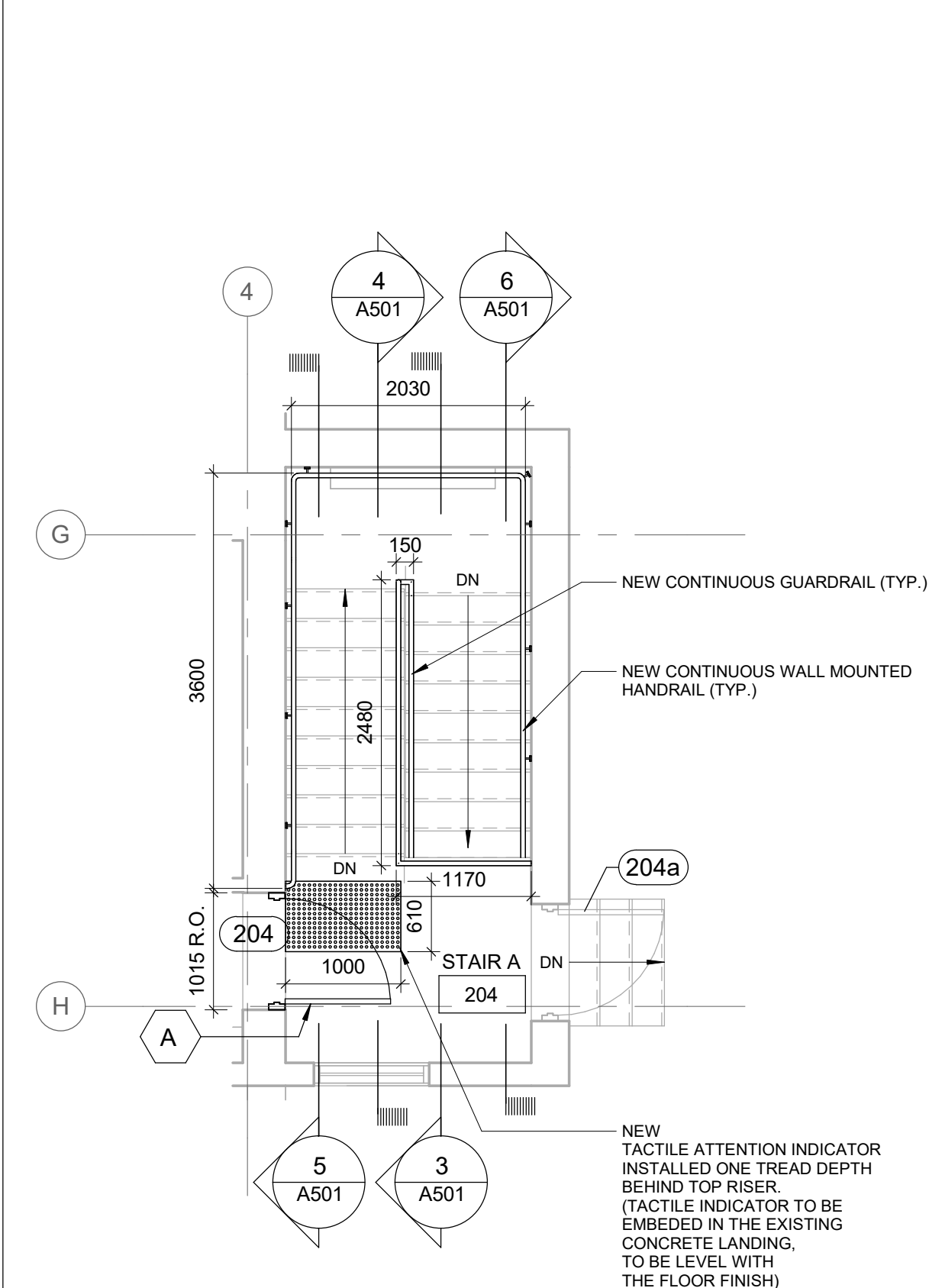
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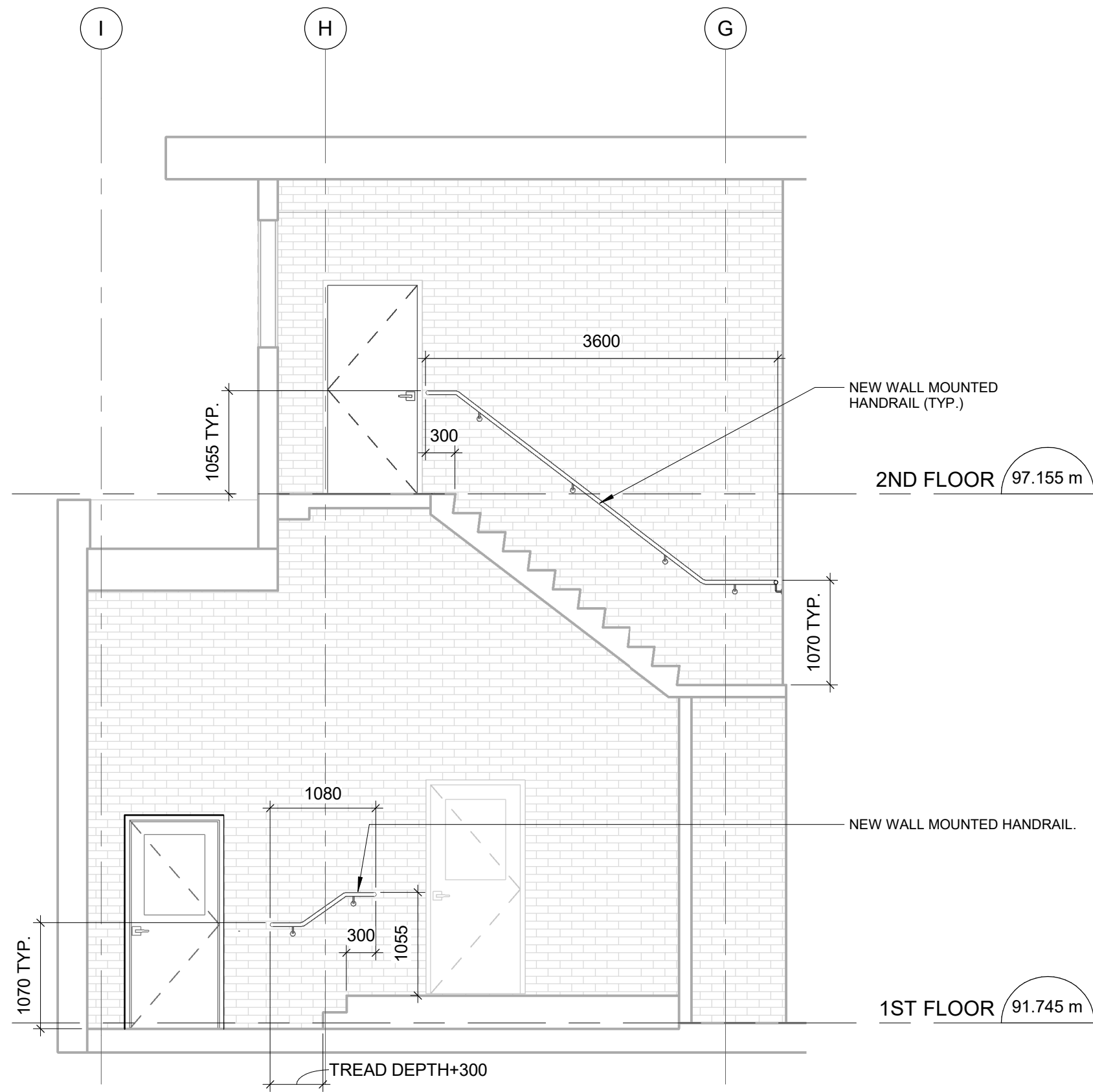
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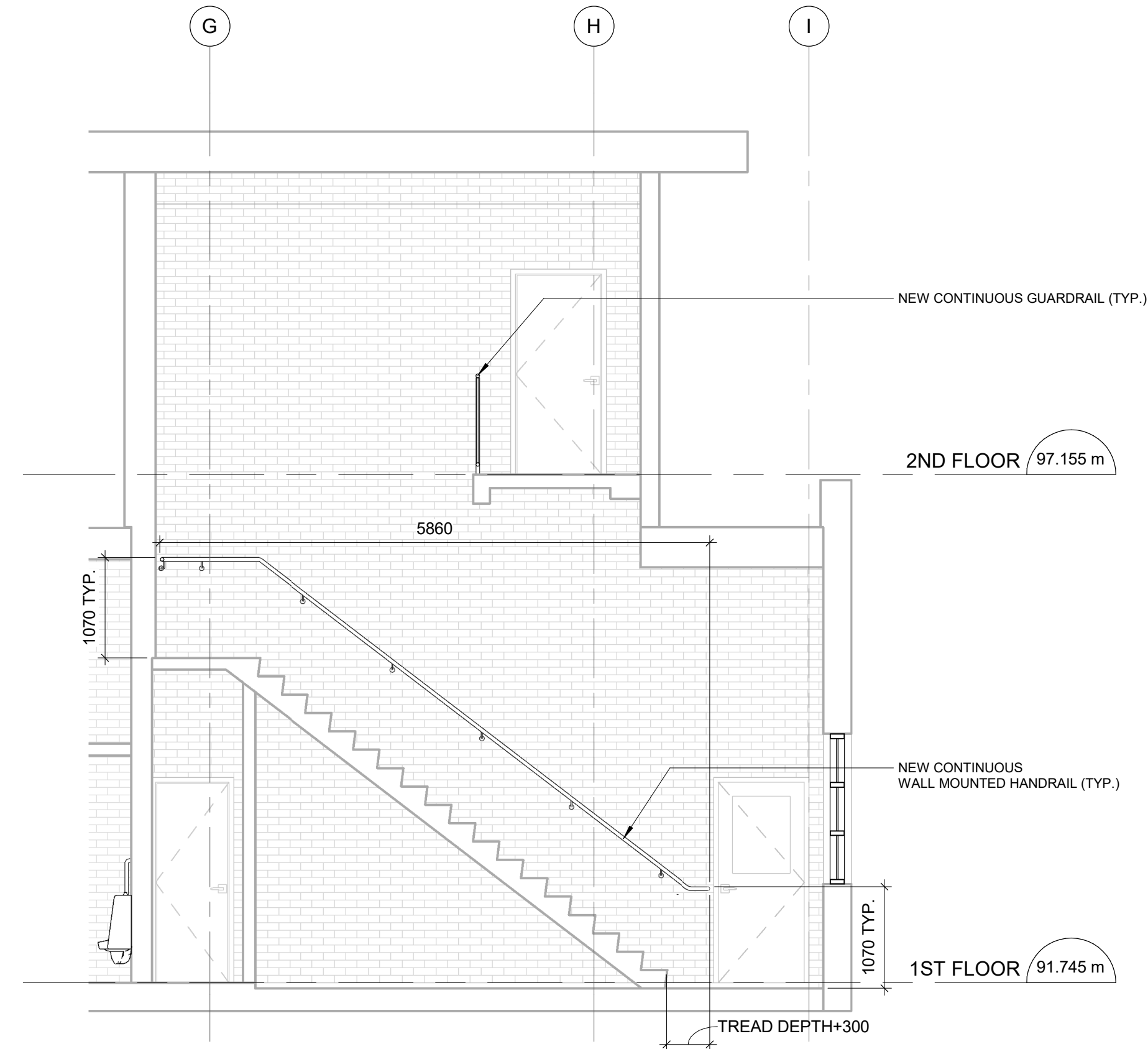
4 STAIR 'A' - SECTION
A501 Scale: 1 : 50



2 STAIR 'A' - SECOND FLOOR PLAN
A501 Scale: 1 : 50



5 STAIR 'A' - SECTION
A501 Scale: 1 : 50



6 STAIR 'A' - SECTION
A501 Scale: 1 : 50

CONSTRUCTION KEY LEGEND

	EXISTING TO REMAIN
	NEW
	DOOR TO REMAIN
	NEW DOOR AND/ OR NEW HARDWARE

GENERAL NOTES

- CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.

CONSTRUCTION KEYNOTES	
NO.	DESCRIPTION
A	INSTALL NEW DOOR AND FRAME OF SAME SIZE AND LOCATION IN EXISTING OPENING. REFER TO DOOR SCHEDULE.
F	INSTALL NEW WINDOW AND FRAME OF SAME SIZE, AND LOCATION IN EXISTING EXTERIOR WALL OPENING.

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L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

**STAIRS PLANS AND
SECTIONS**

SHEET NUMBER

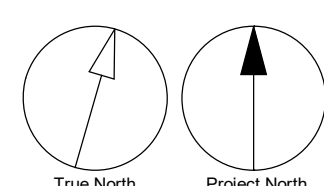
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ISSUE

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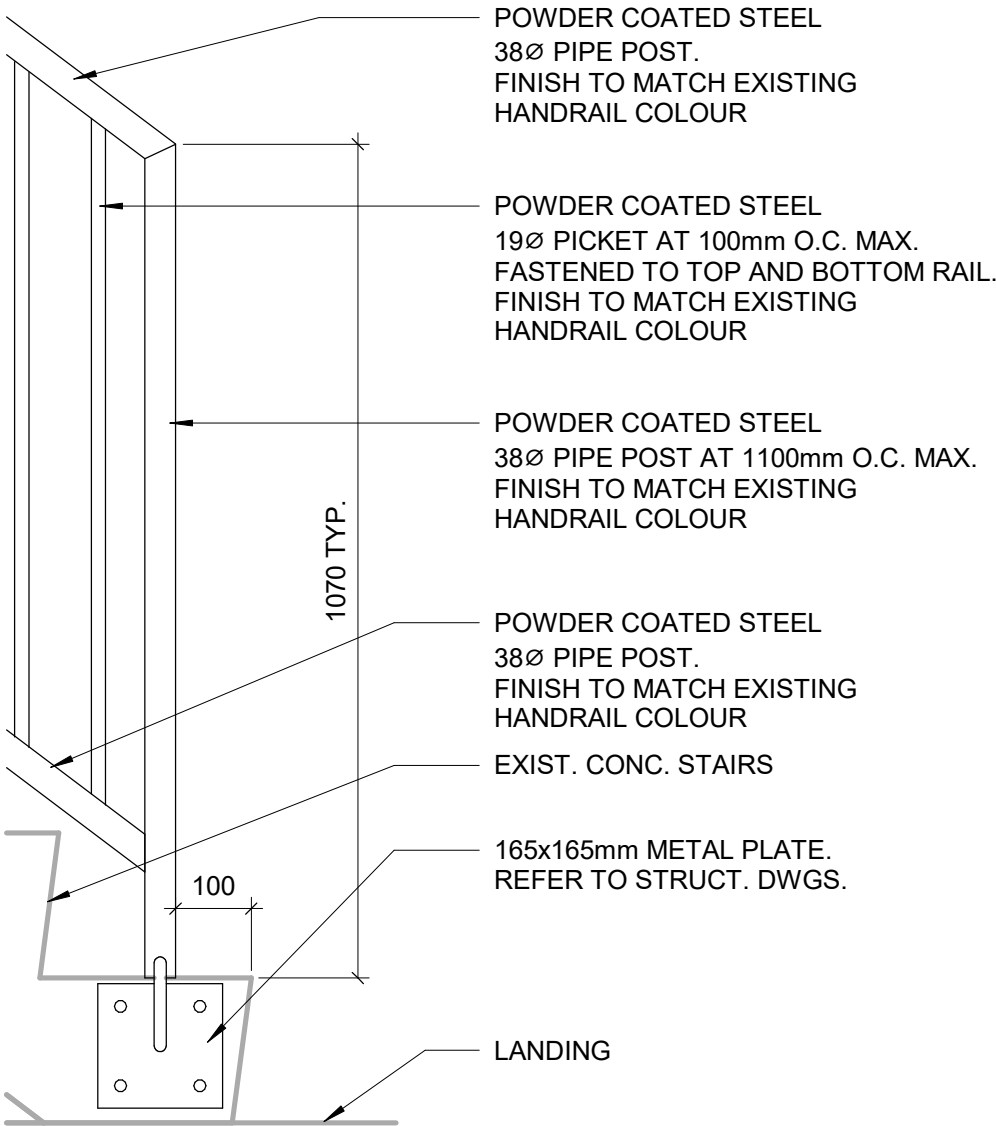
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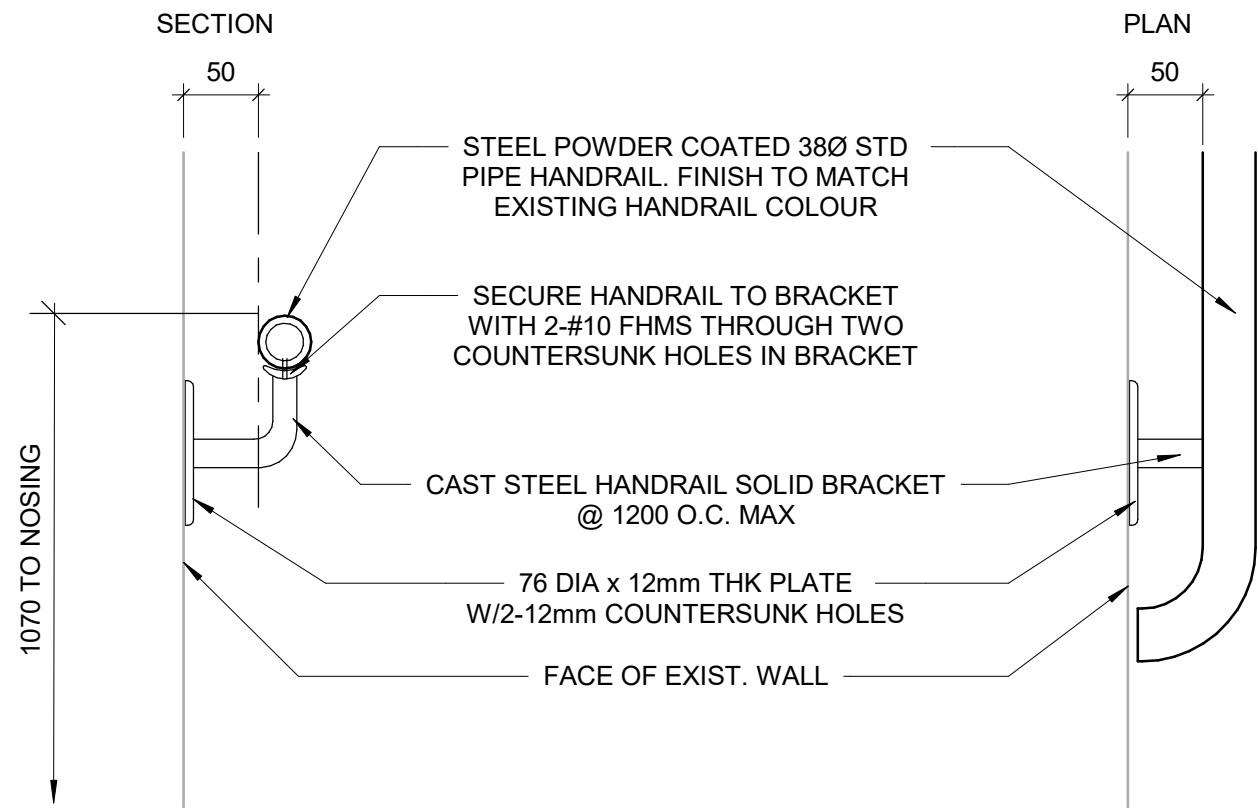


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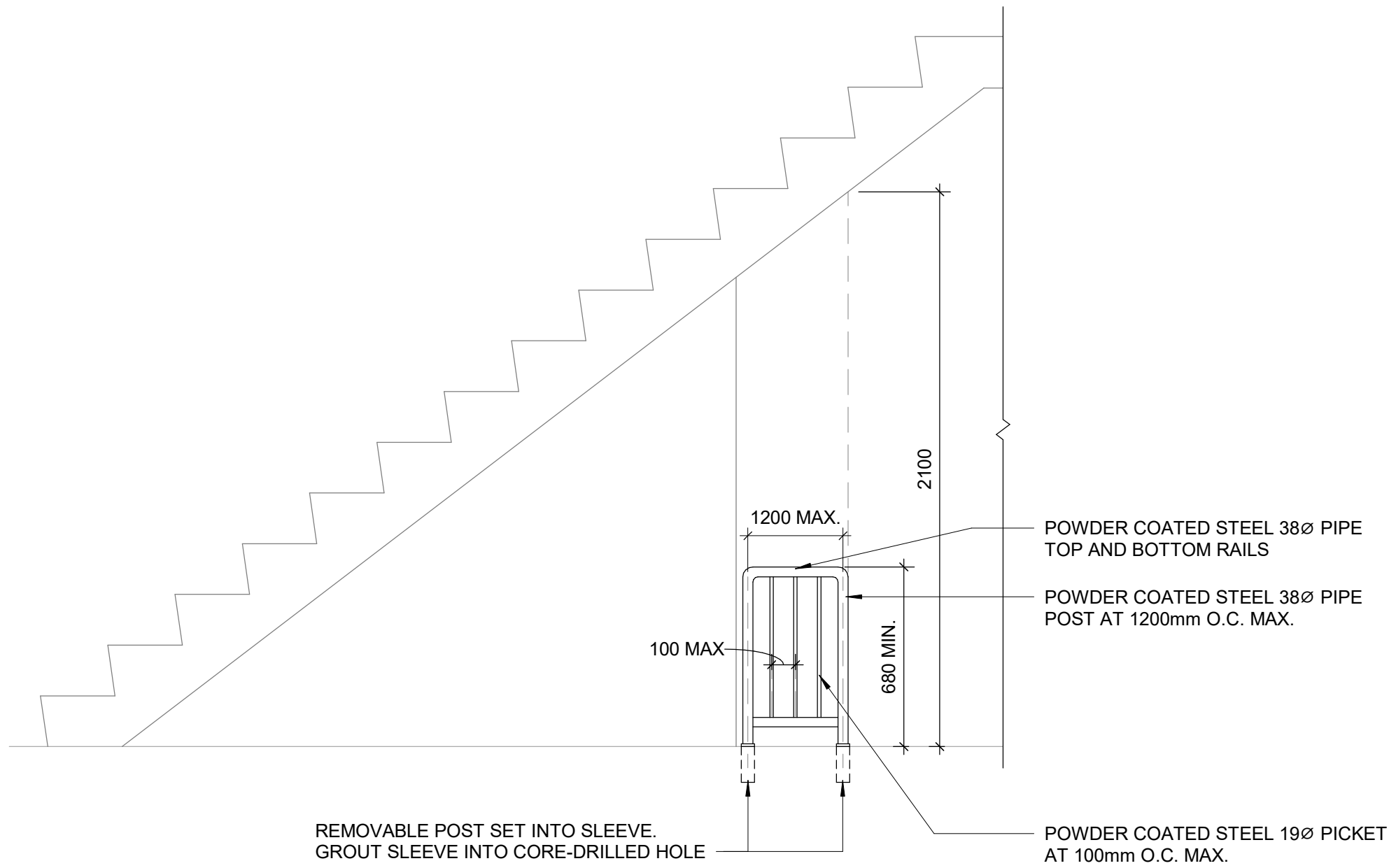
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1 GUARDRAIL DETAIL
Scale: 1 : 10



2 WALL MOUNTED HANDRAIL DETAIL - TYP.
Scale: 1 : 5



3 REMOVABLE GUARDRAIL DETAIL
Scale: 1 : 20

GENERAL NOTES

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N. LAYOUN

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M. KOTBY

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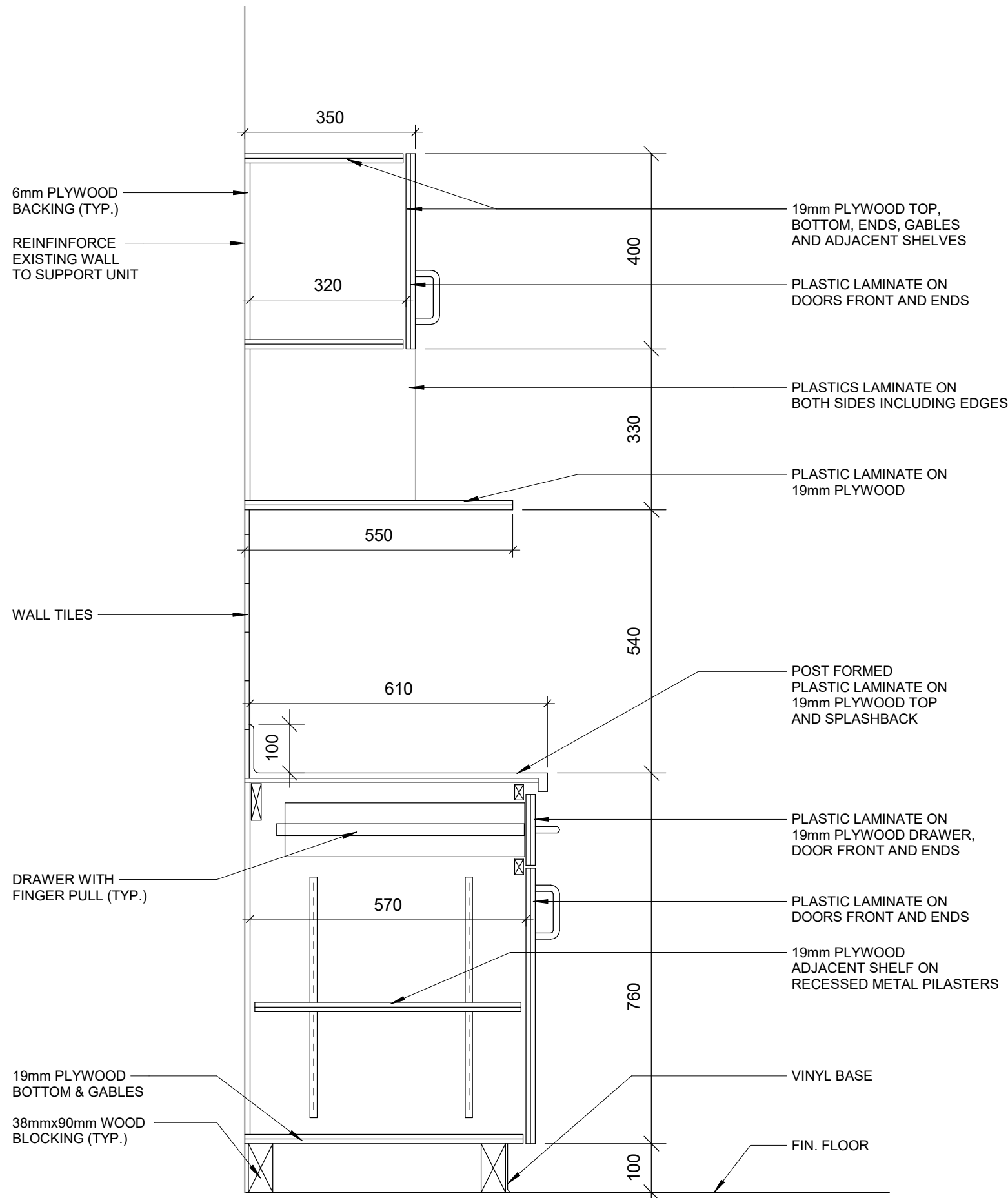
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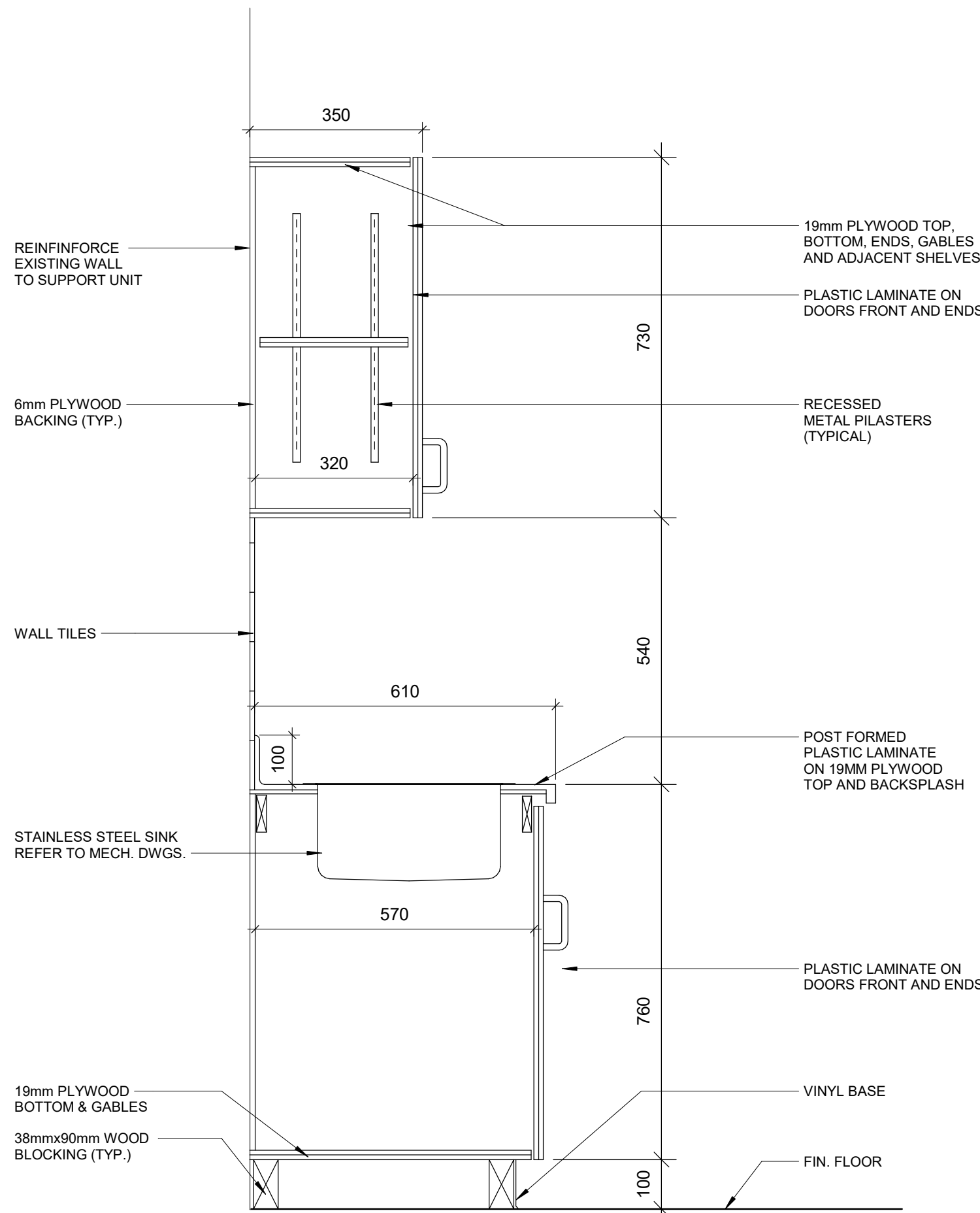
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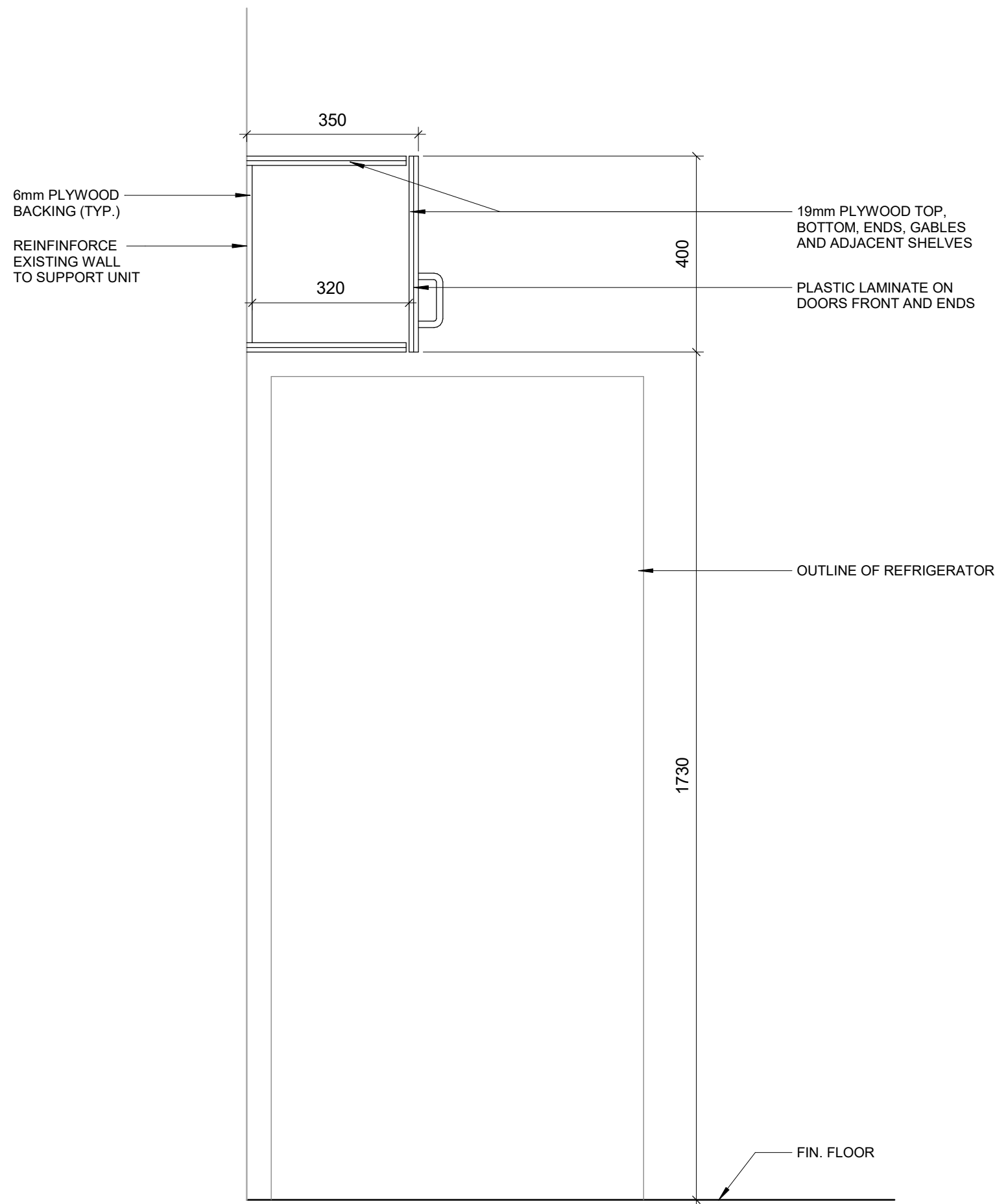
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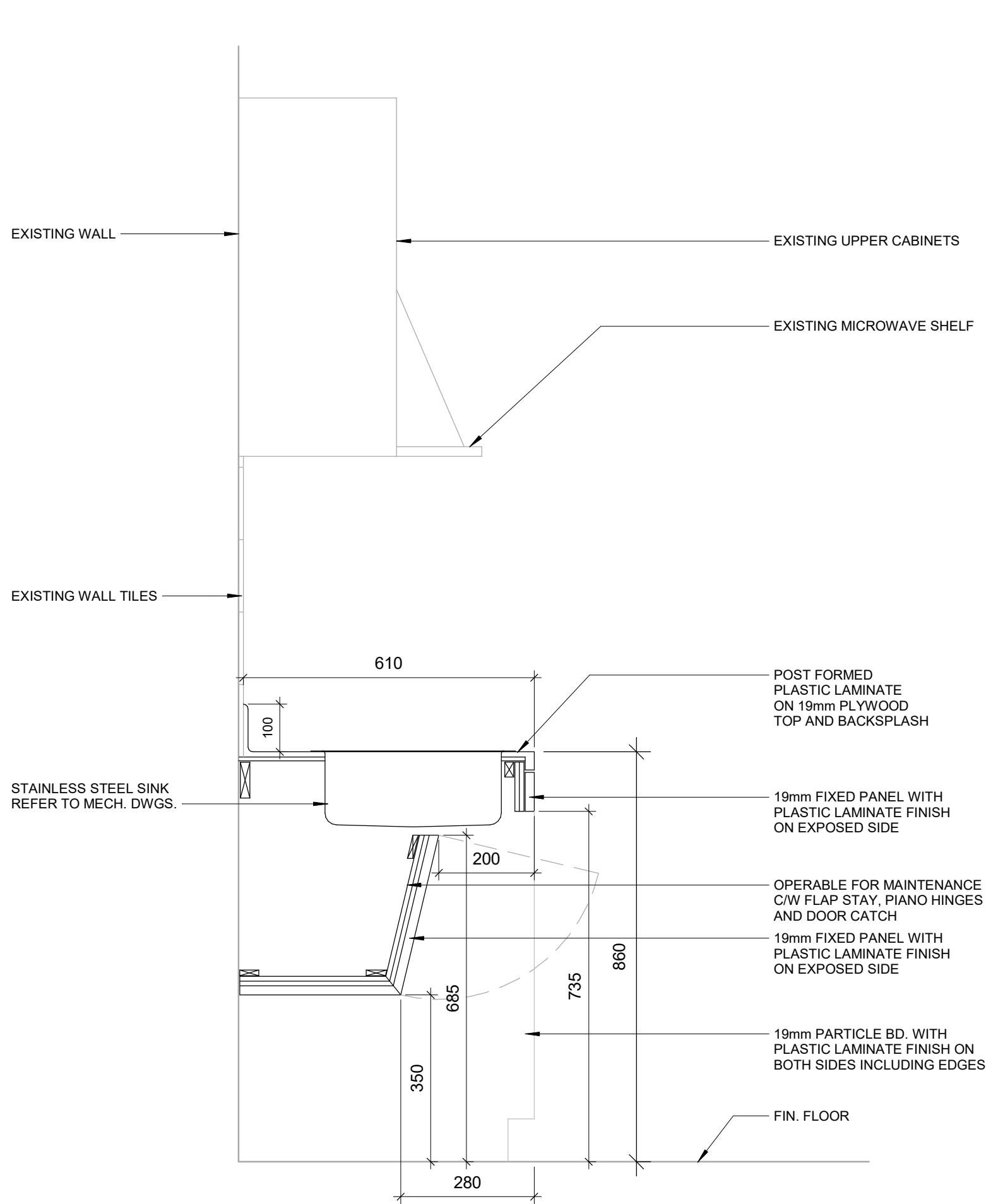
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A602 Scale: 1 : 10



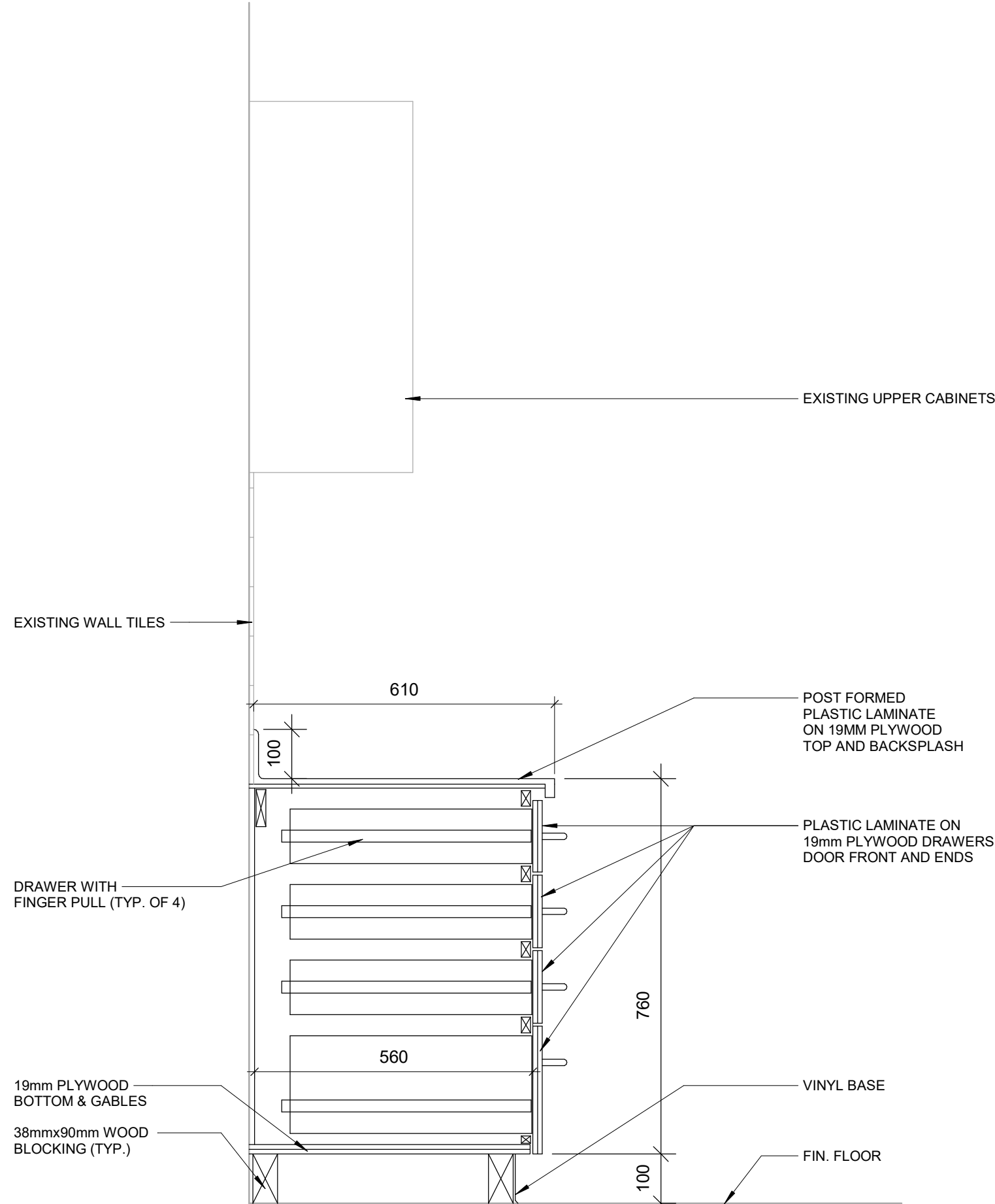
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A602 Scale: 1 : 10



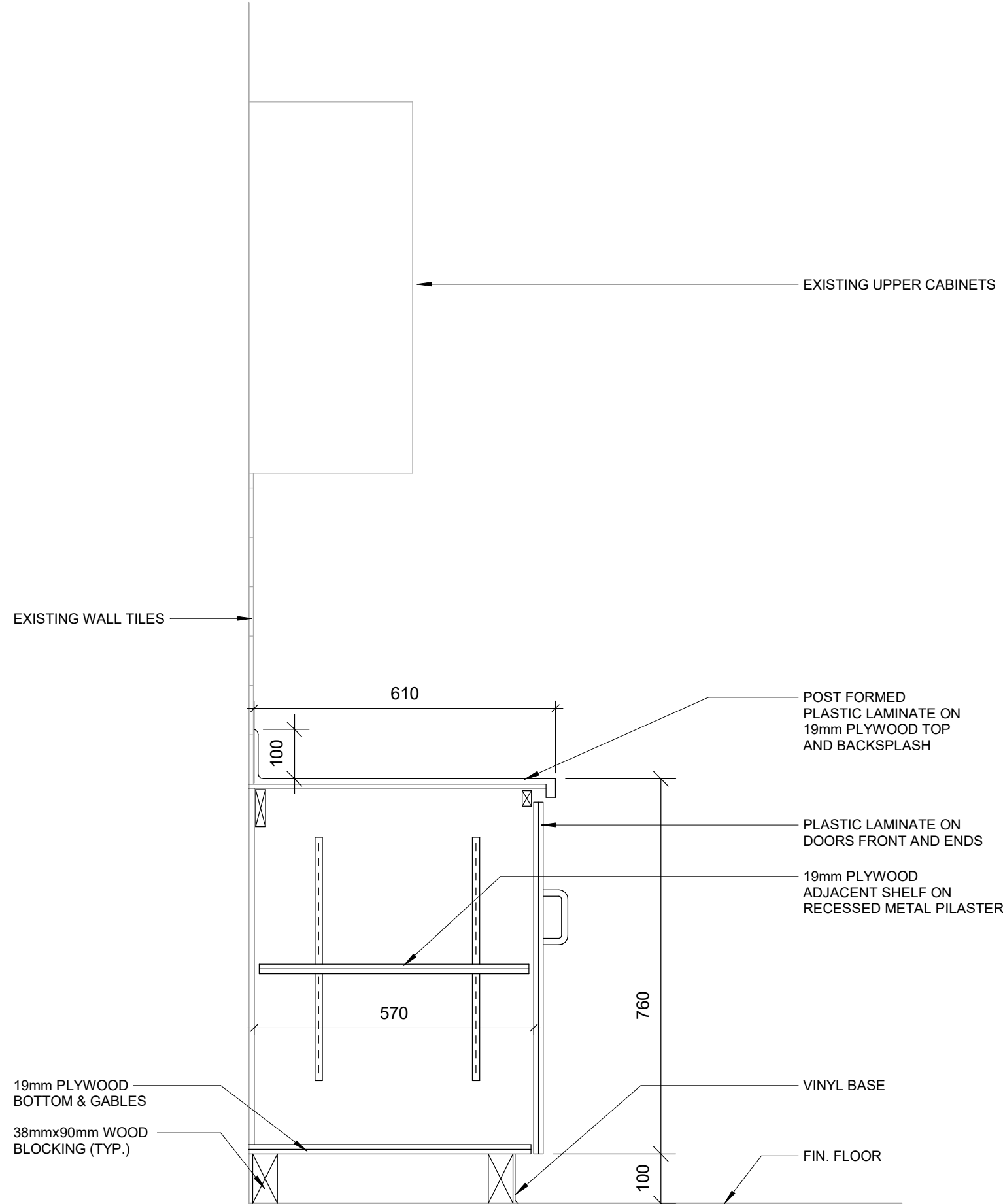
3 LUNCH ROOM 109 - MILLWORK SECTION
A602 Scale: 1 : 10



4 KITCHENETTE 207 - MILLWORK SECTION WITH SINK
A602 Scale: 1 : 10



5 KITCHENETTE 207 - MILLWORK SECTION WITH DRAWERS
A602 Scale: 1 : 10



6 KITCHENETTE 207 - MILLWORK SECTION
A602 Scale: 1 : 10

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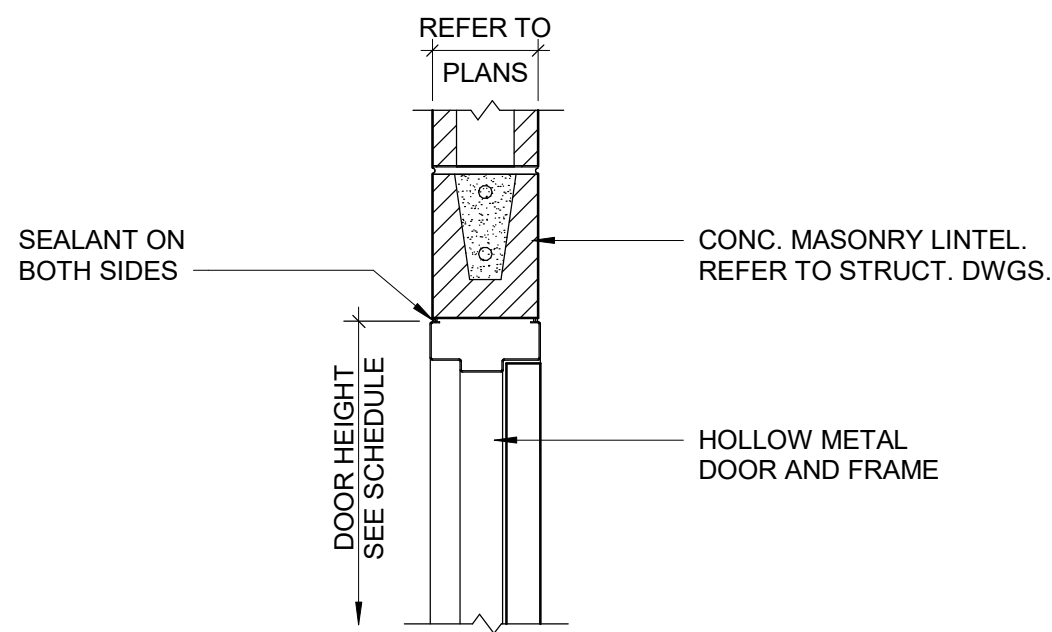
MILLWORK DETAILS

SHEET NUMBER

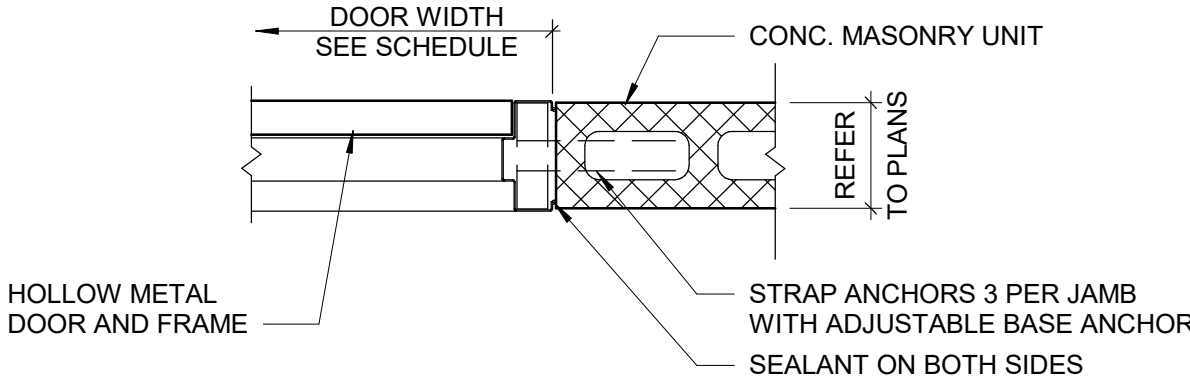
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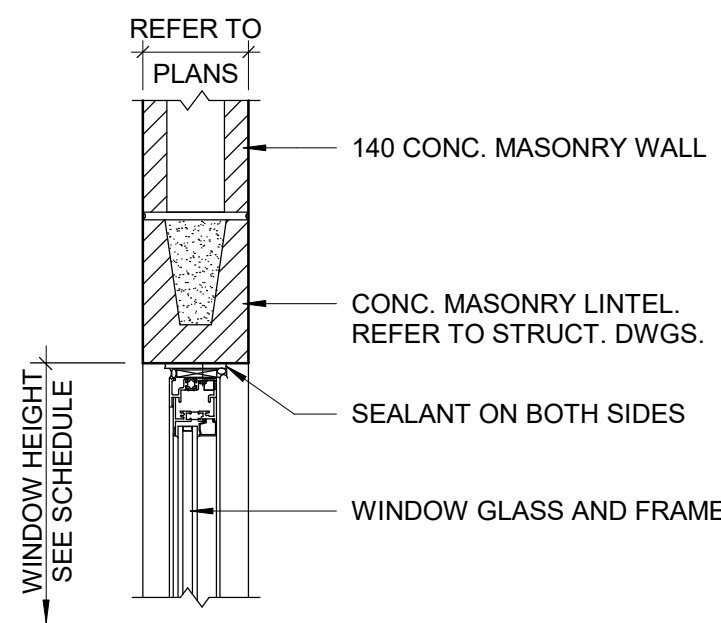
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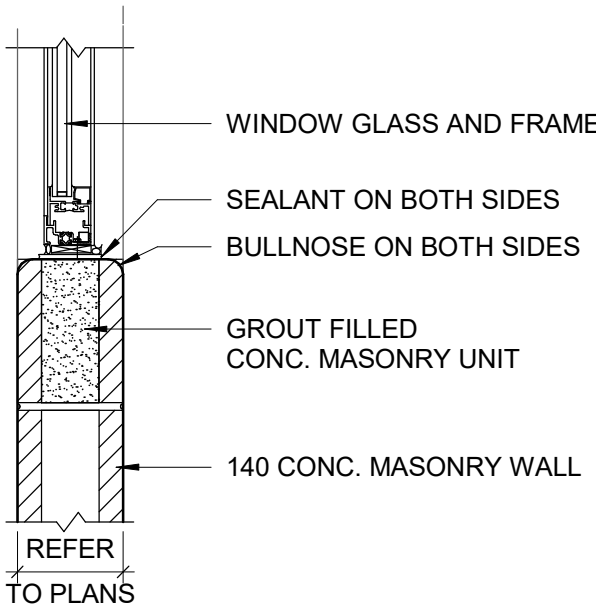
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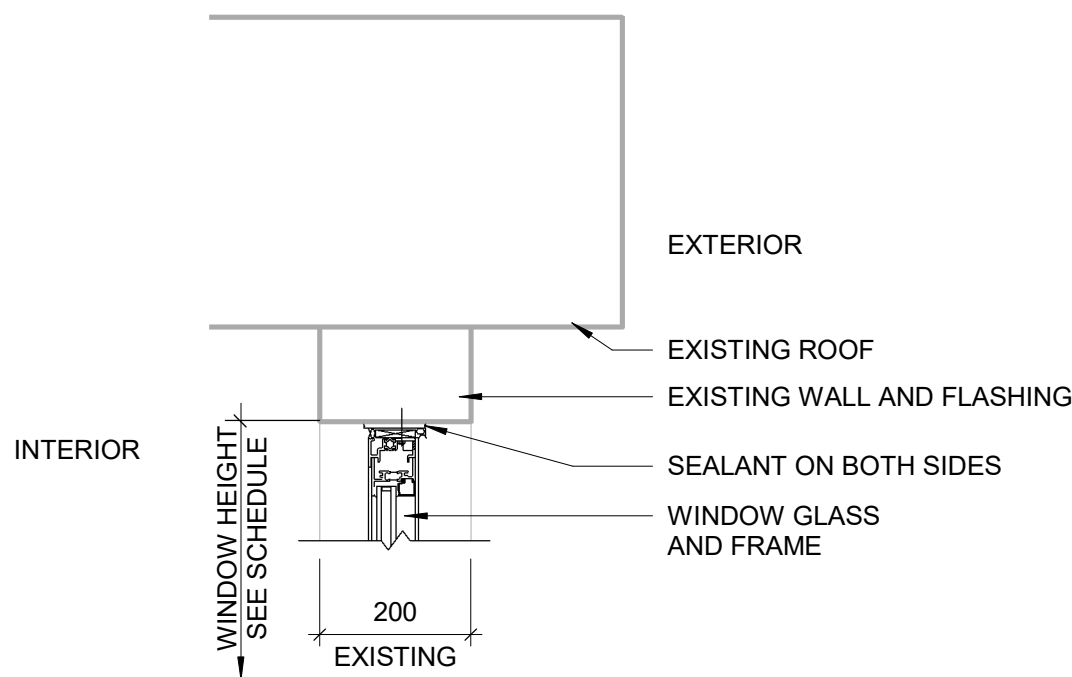
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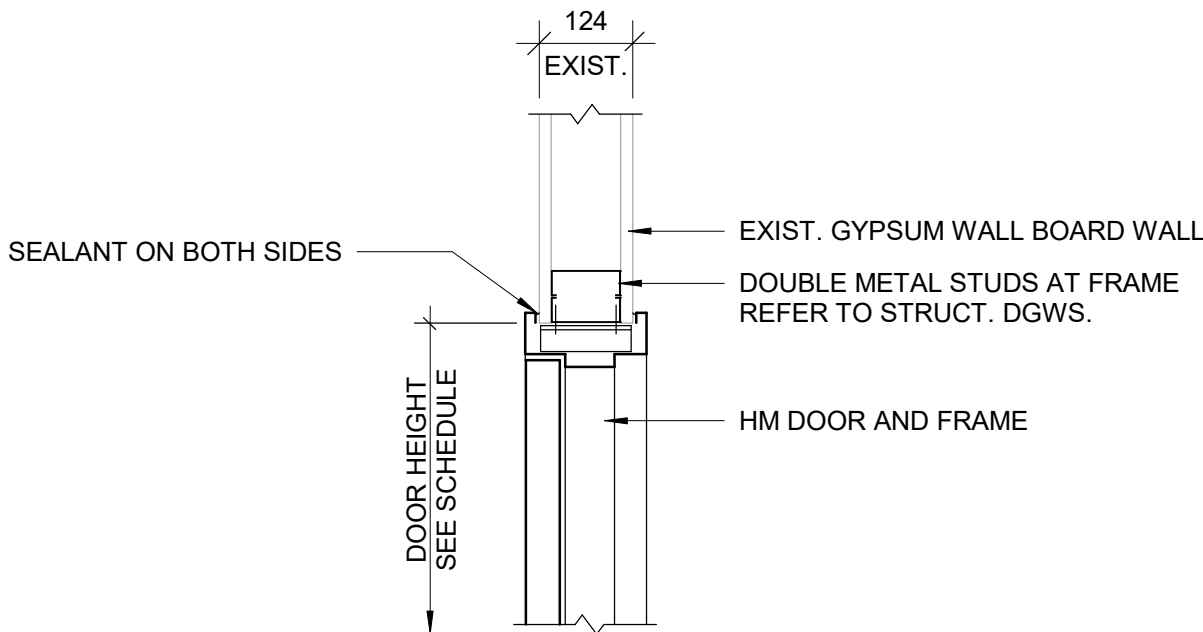
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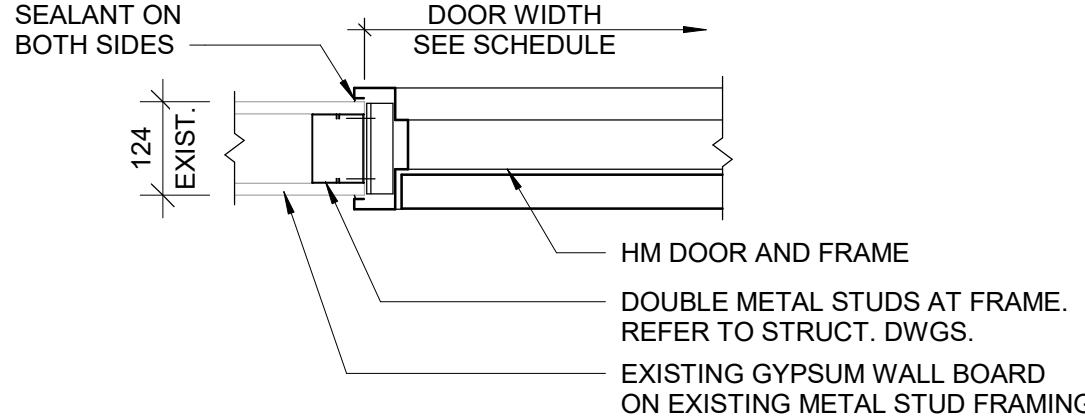
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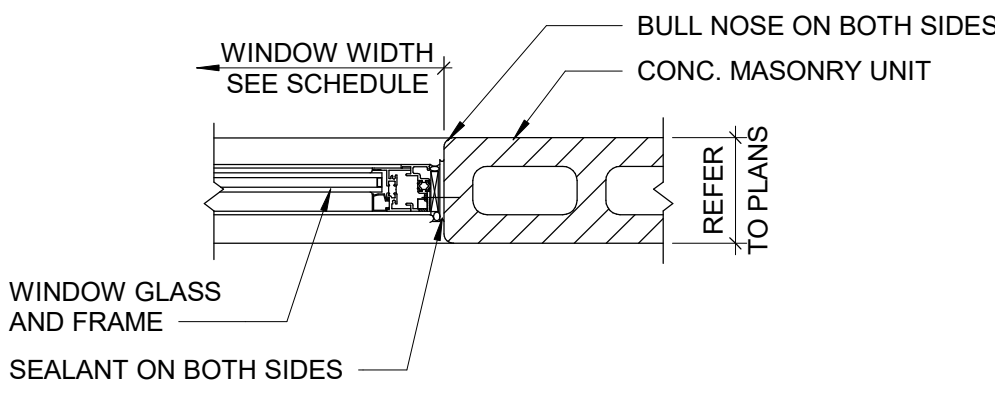
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Scale: 1 : 10



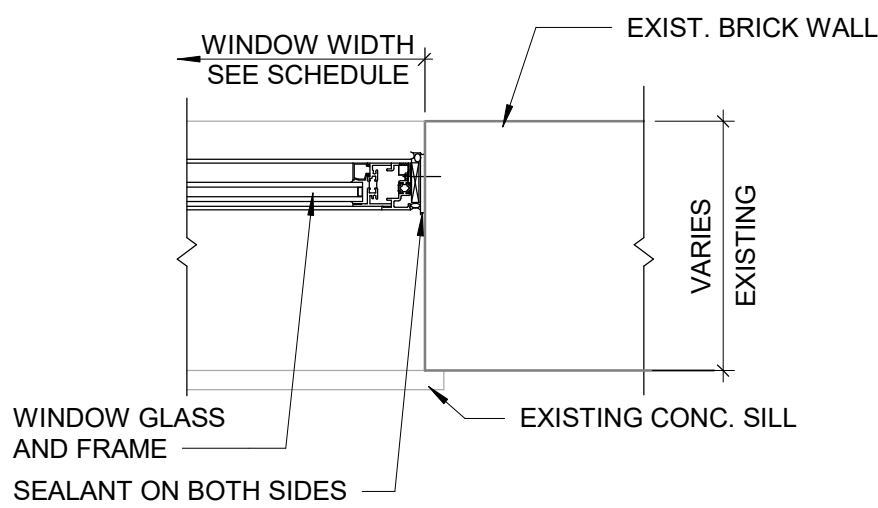
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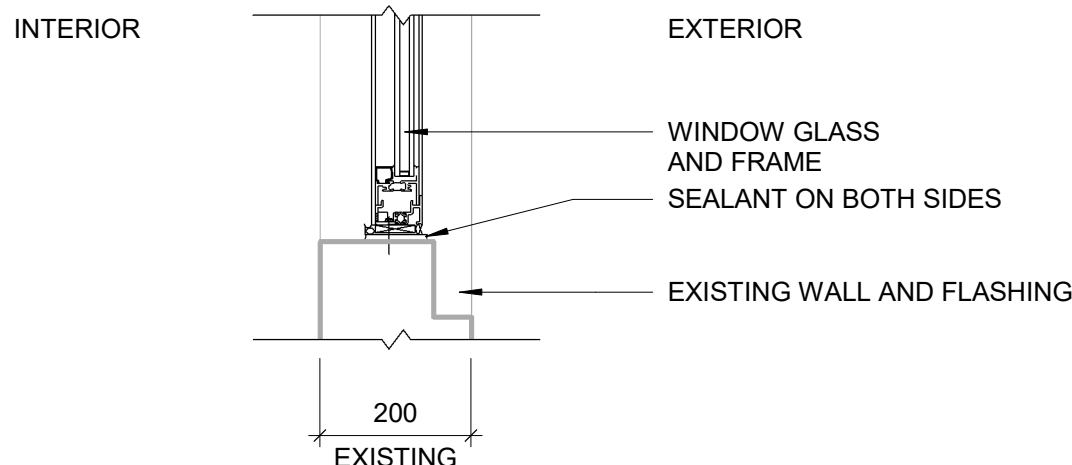
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Scale: 1 : 10



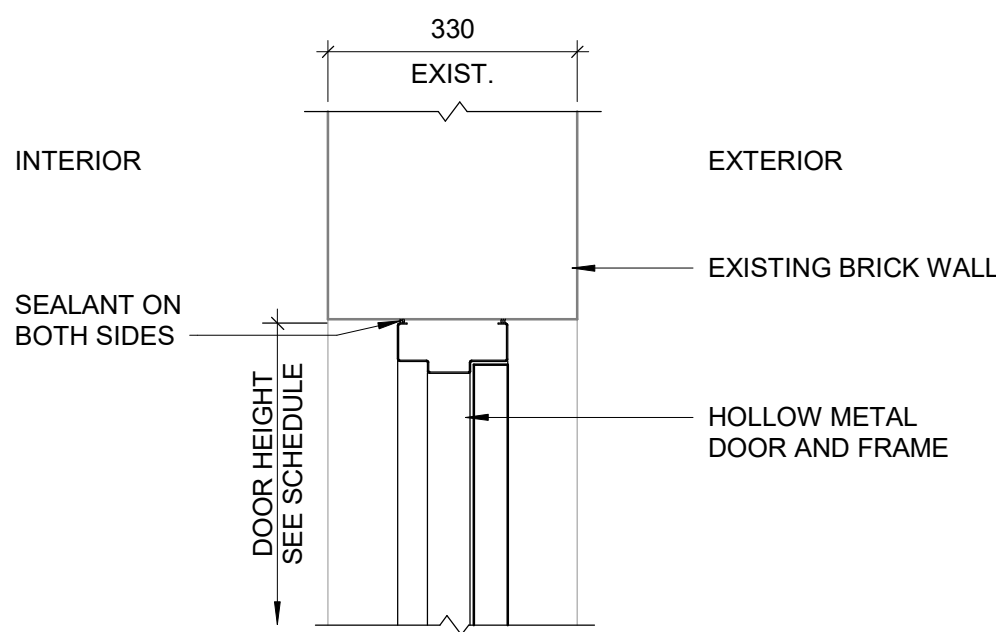
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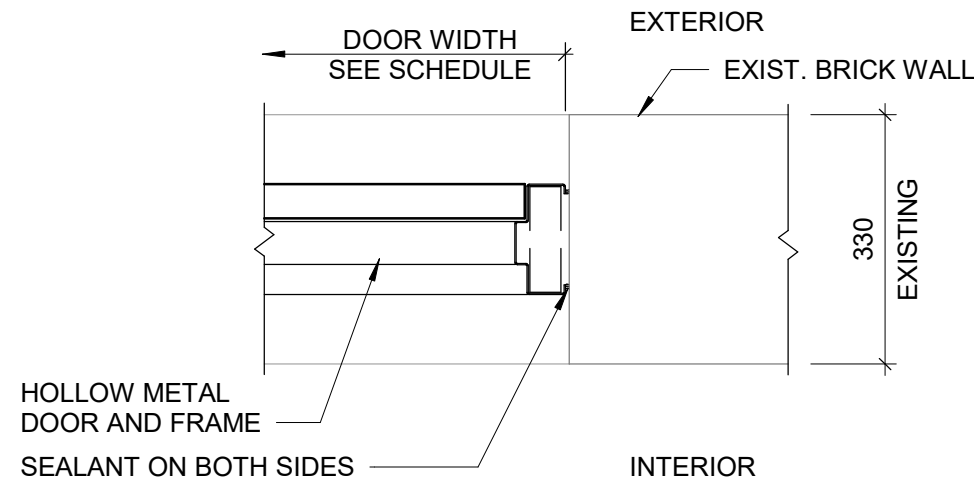
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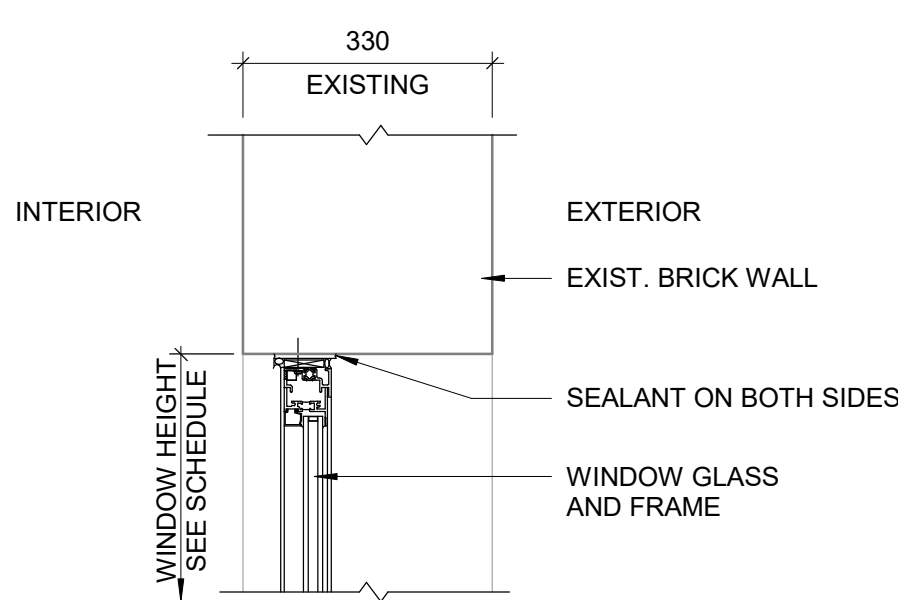
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Scale: 1 : 10



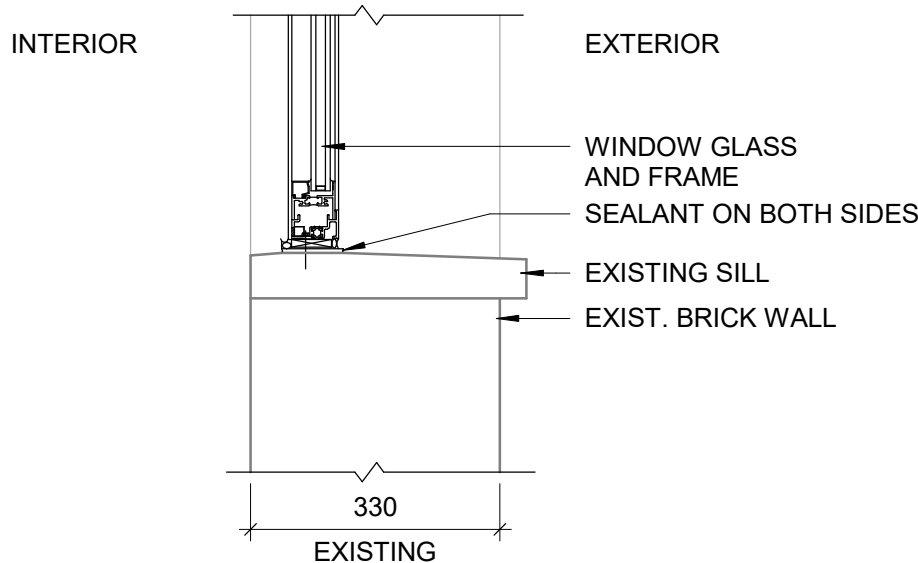
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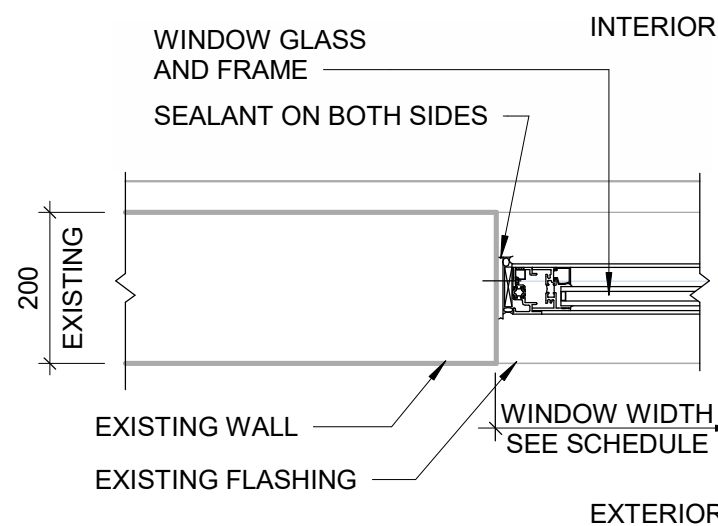
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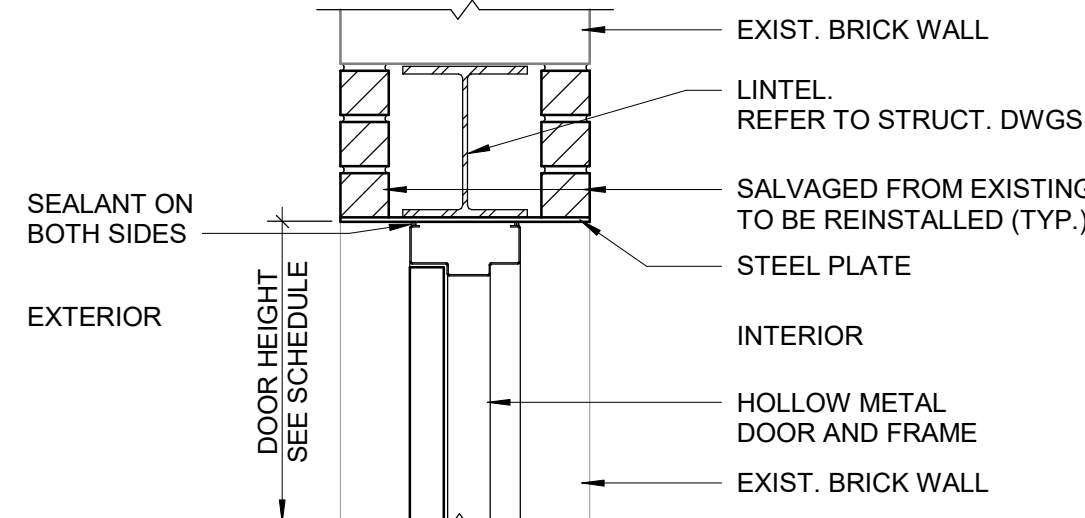
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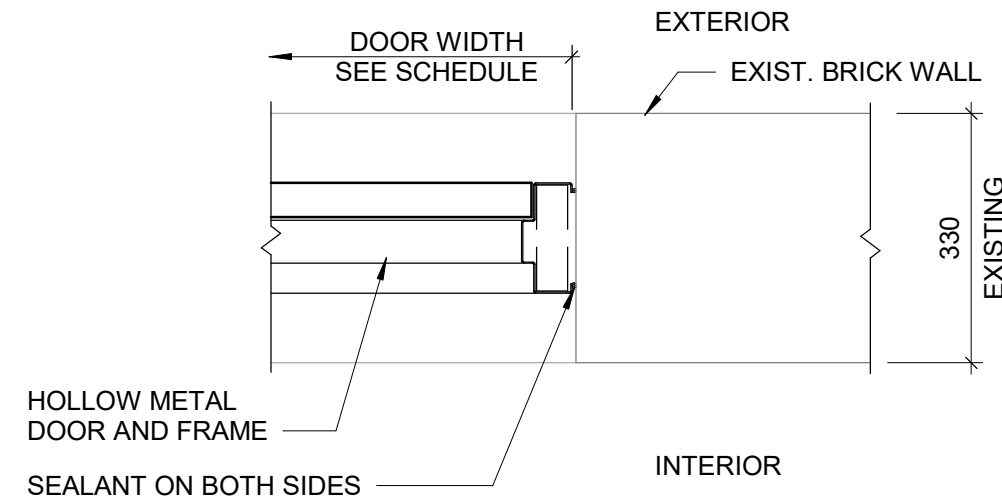
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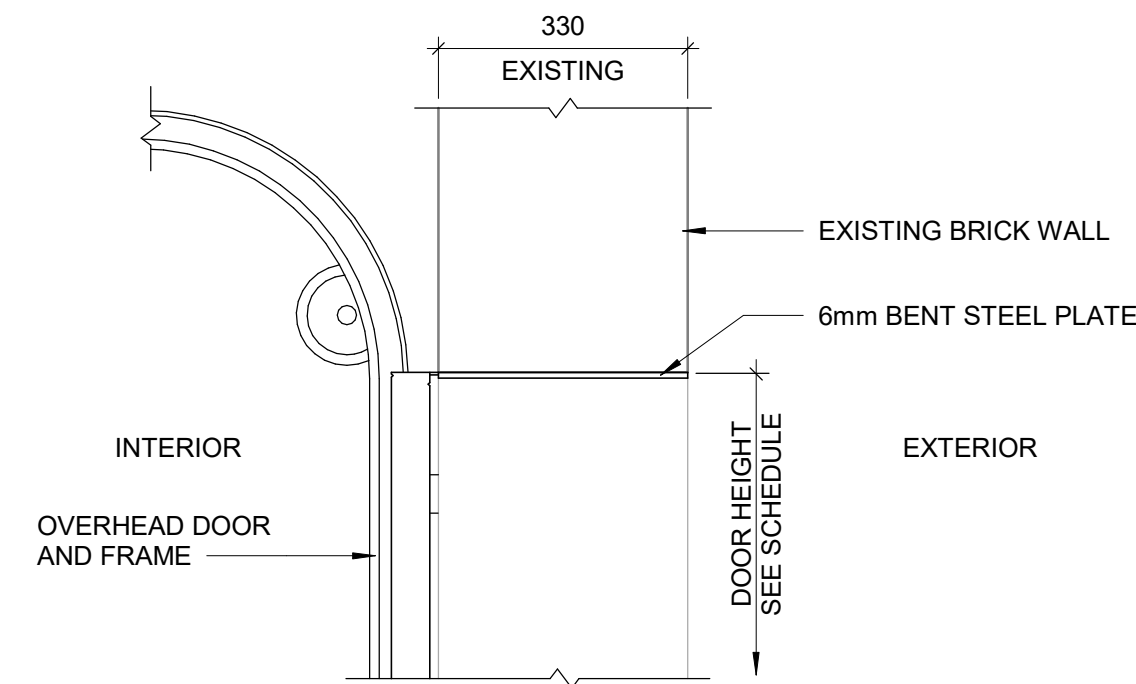
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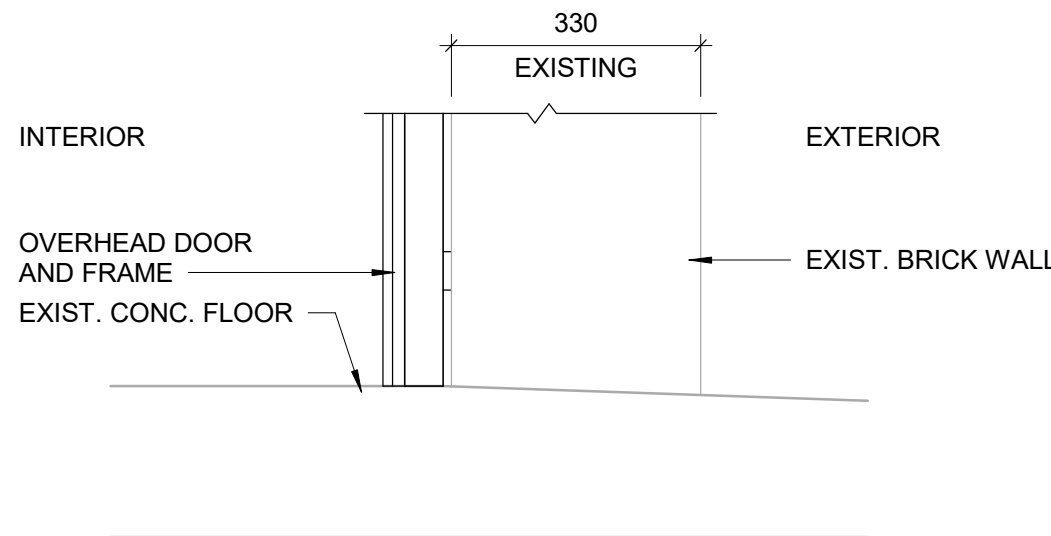
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Scale: 1 : 10



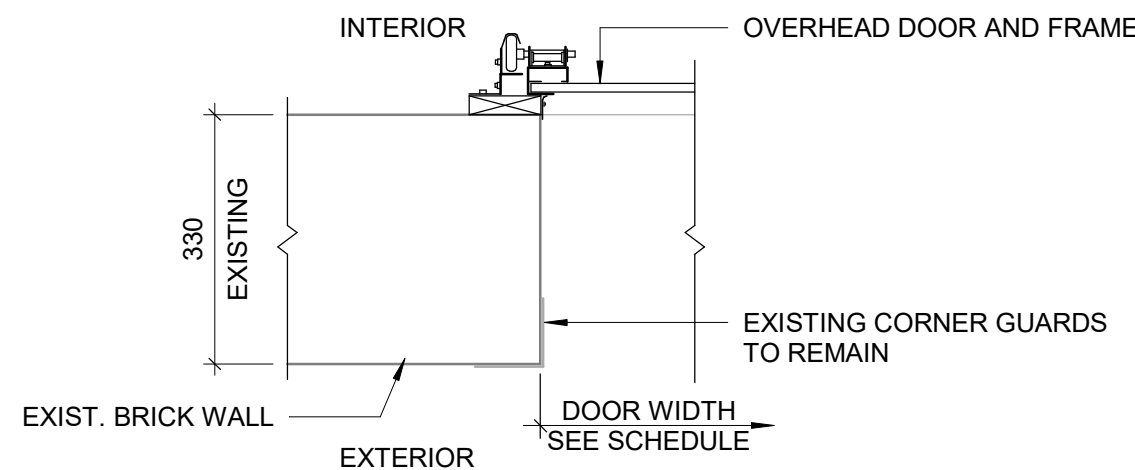
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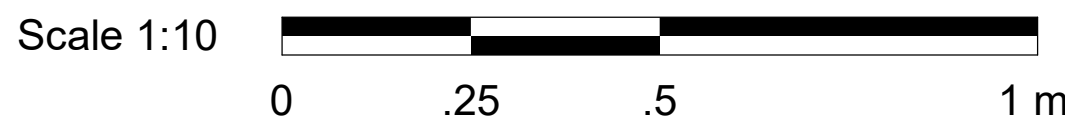
18 TYP. O/H DOOR HEAD ON EXIST. EXTERIOR WALL
Scale: 1 : 10



19 TYP. O/H DOOR SILL ON EXIST. EXTERIOR WALL
Scale: 1 : 10



20 TYP. O/H DOOR JAMB ON EXIST. EXTERIOR WALL
Scale: 1 : 10



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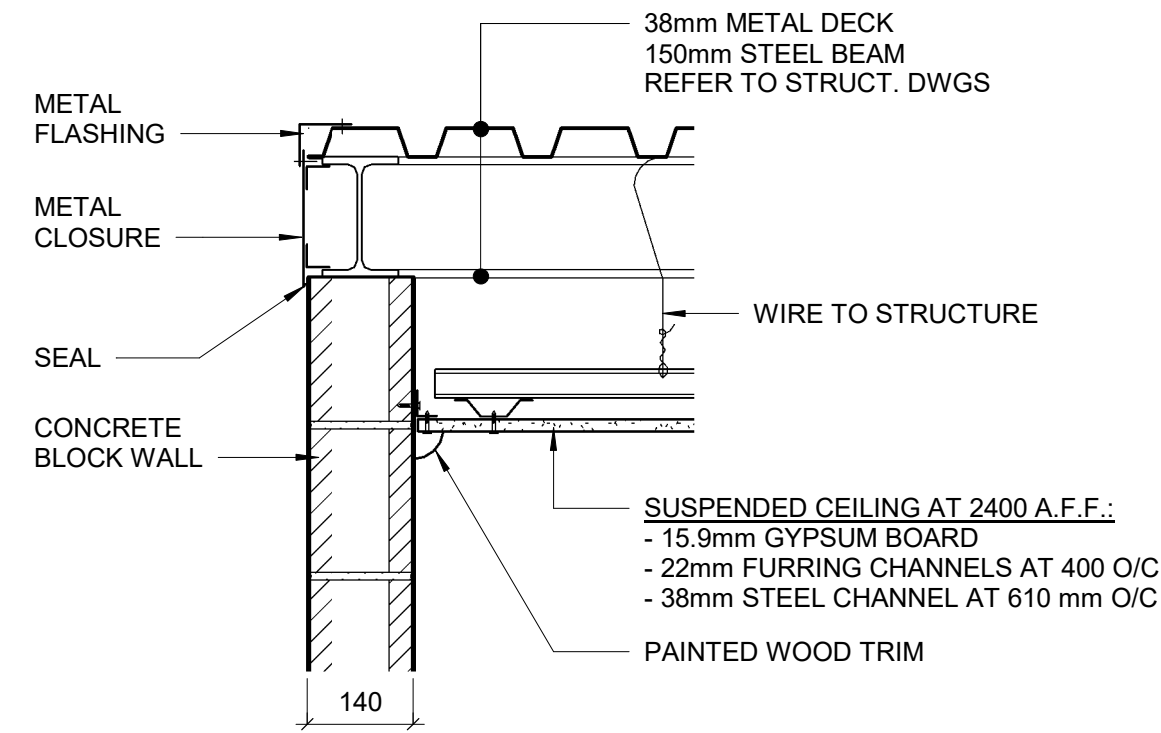
DETAILS

SHEET NUMBER

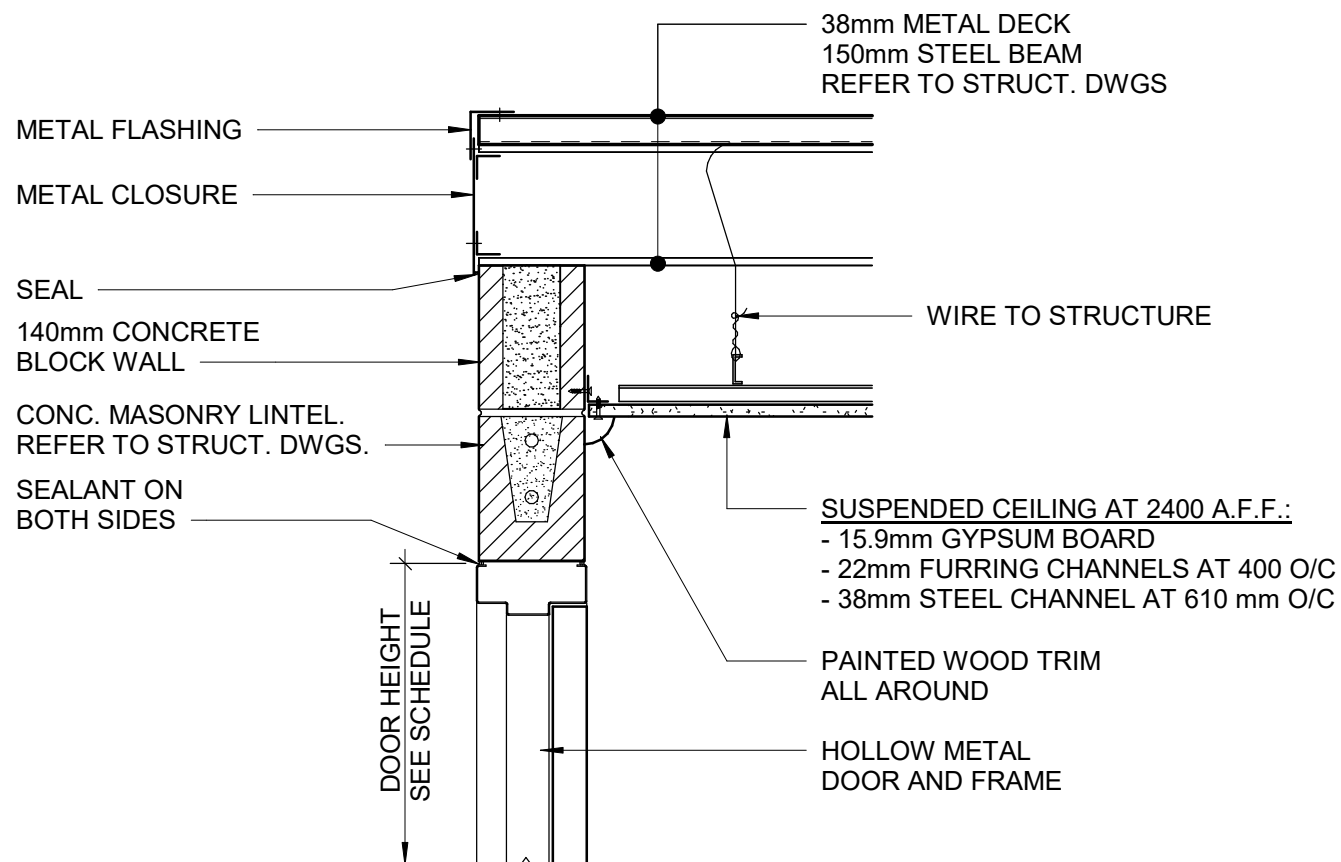
A603

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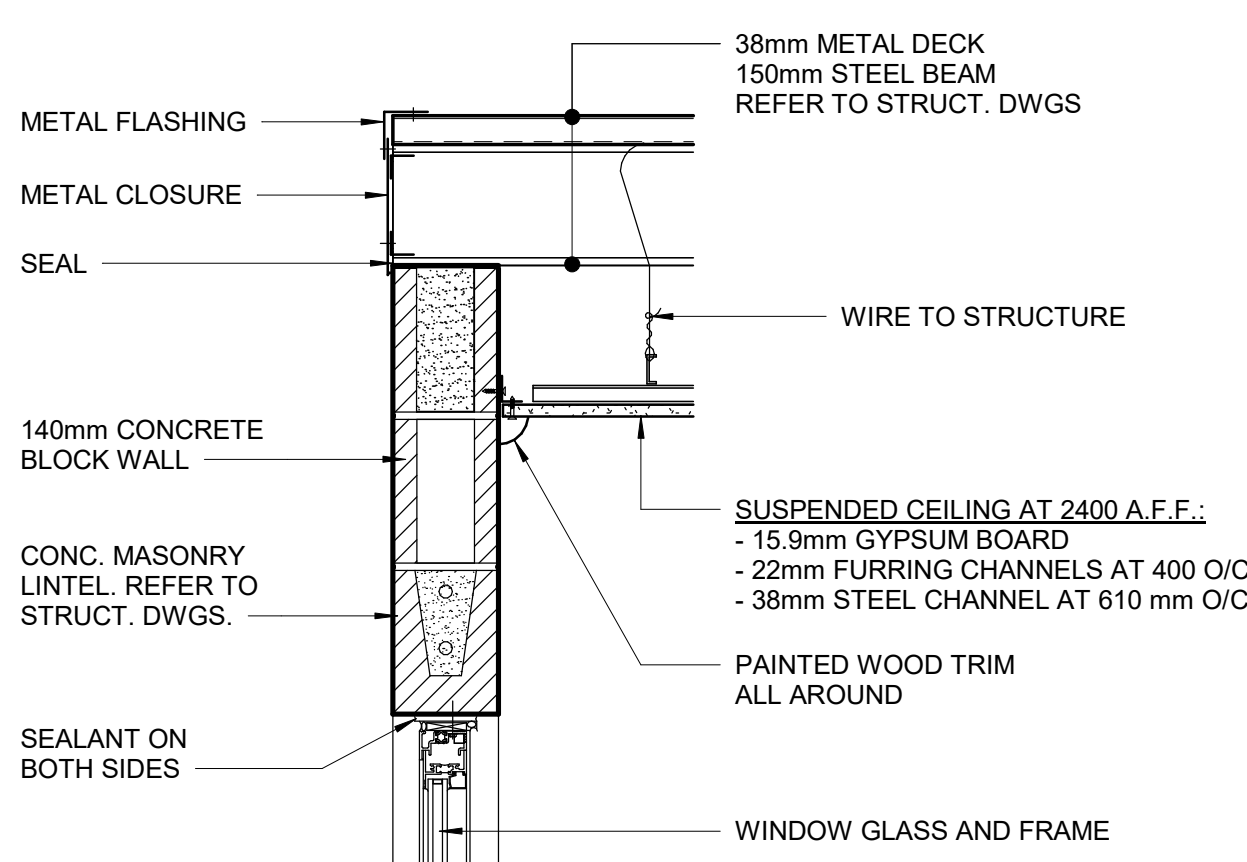
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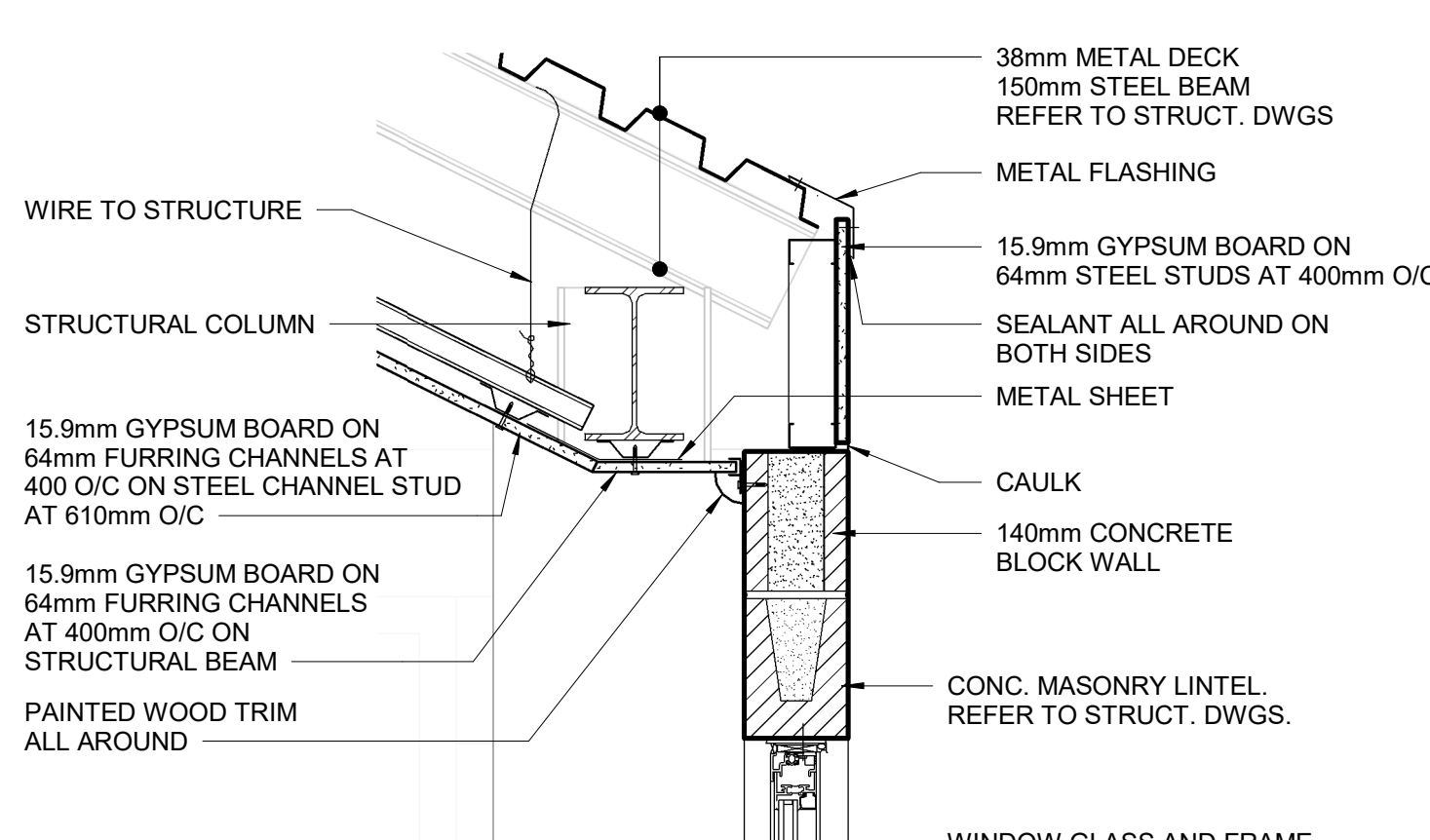
1 SUSPENDED CEILING AT OFFIE 106 AND LOCKER ROOM
Scale: 1 : 10



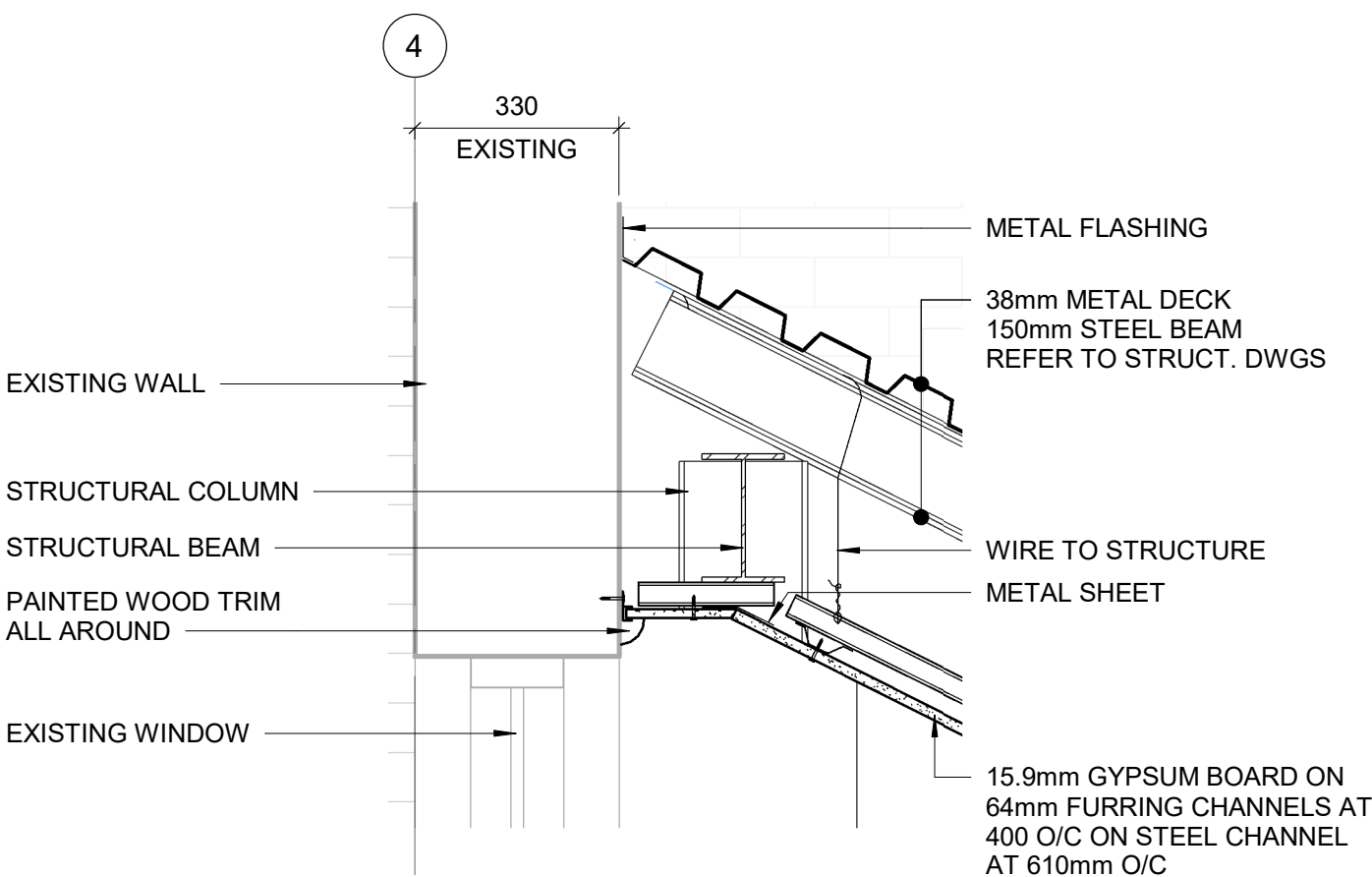
2 DETAIL AT DOOR HEAD - OFFICE 106
Scale: 1 : 10



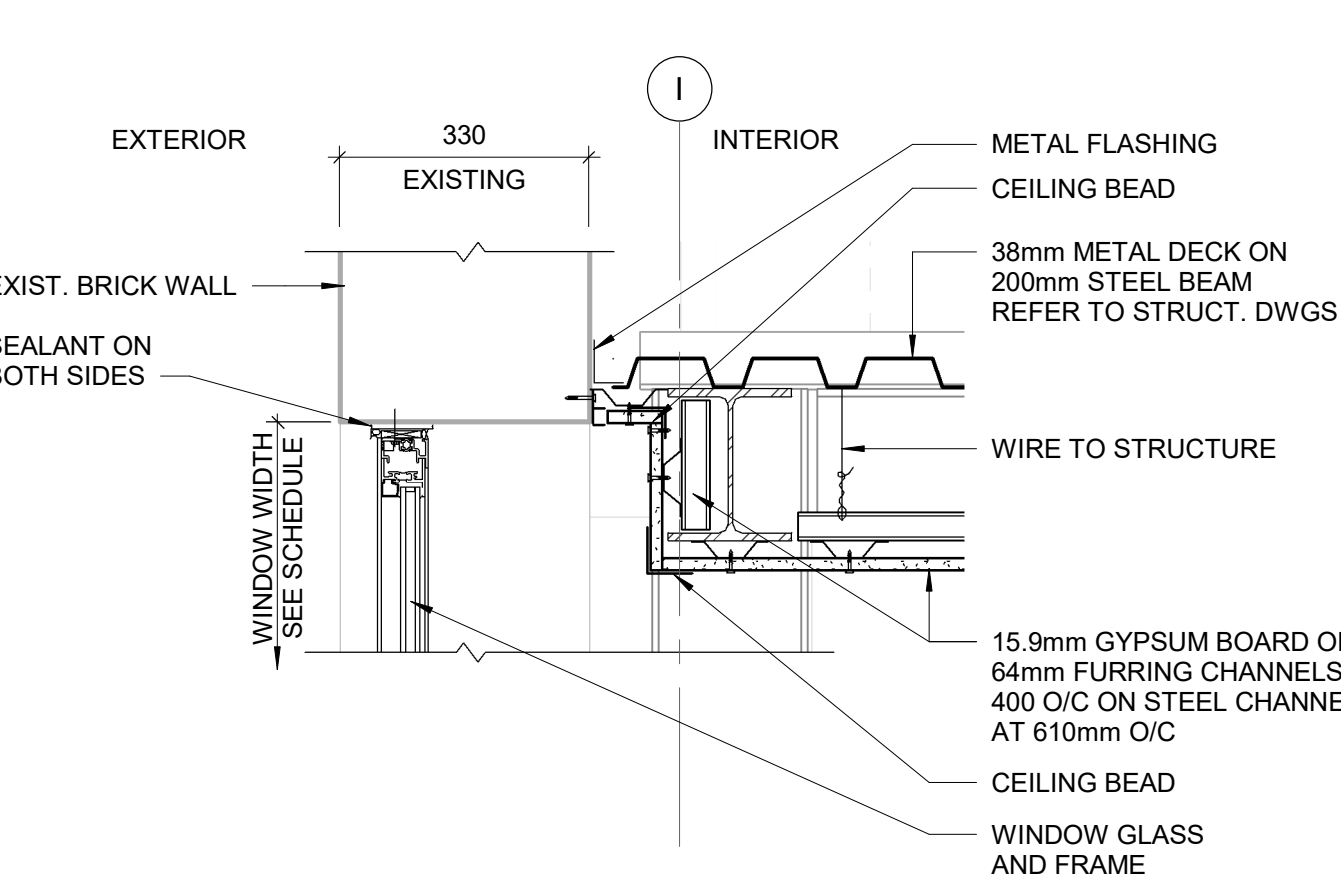
3 DETAIL AT WINDOW HEAD - OFFICE 106
Scale: 1 : 10



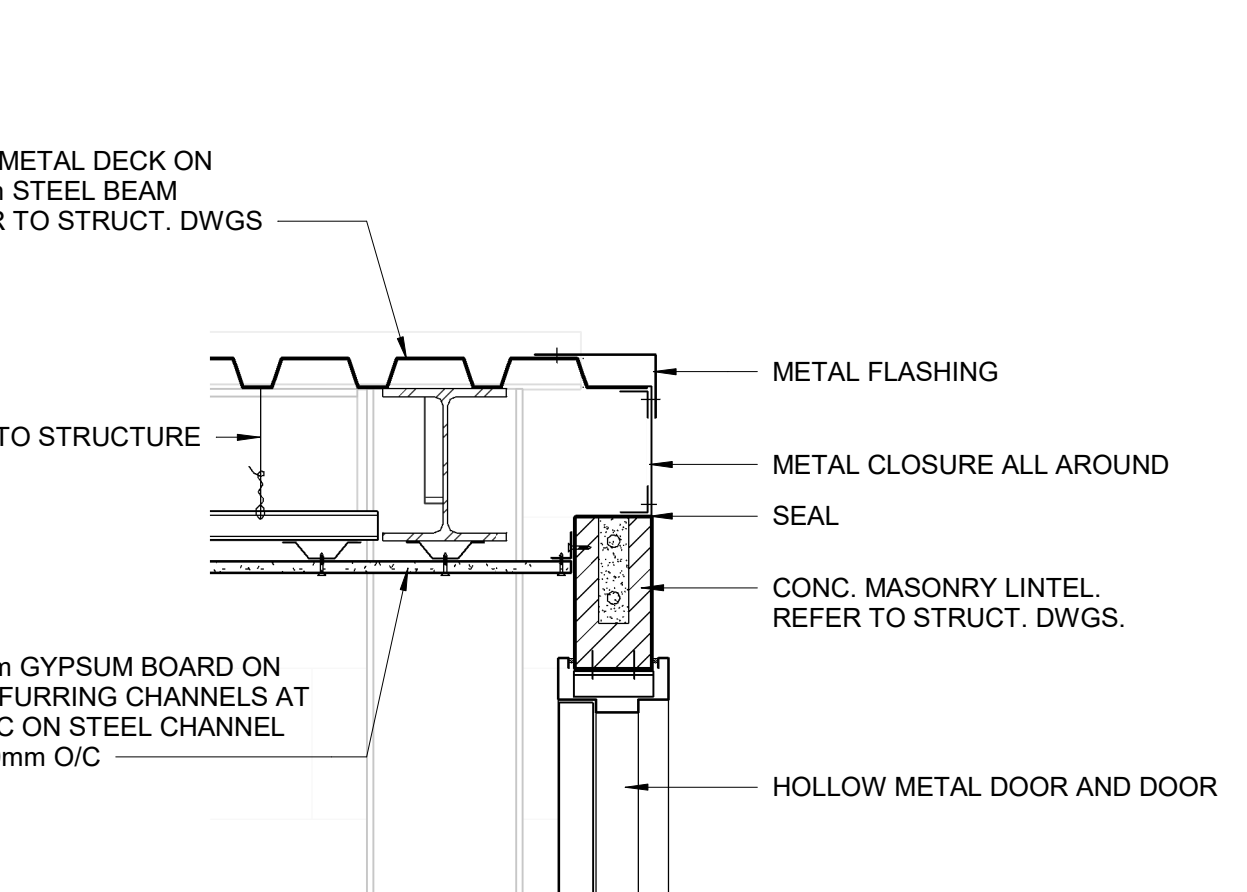
4 SUSPENDED CEILING AND WINDOW HEAD AT OFFICE 108
Scale: 1 : 10



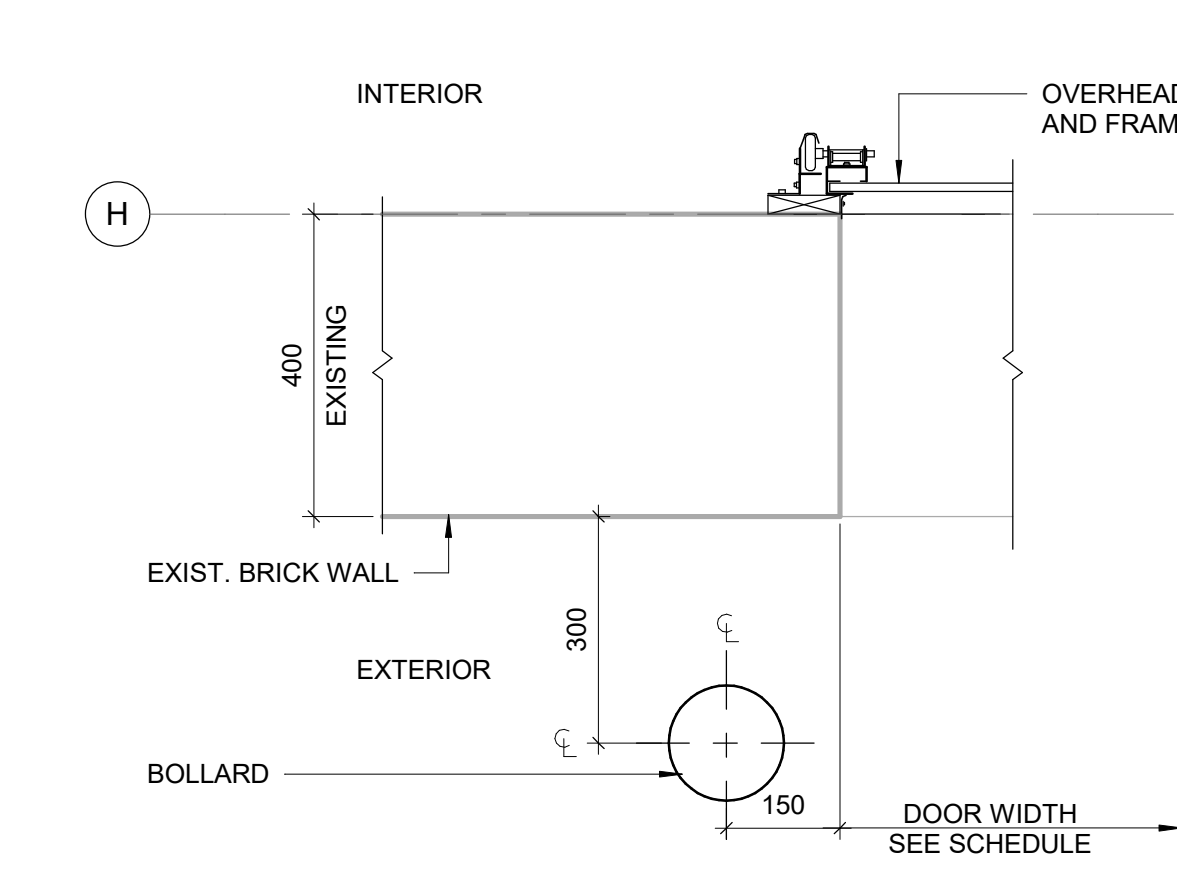
5 DETAIL - SUSPENDED CEILING AT LUNCH RM AND OFFICE 108
Scale: 1 : 12



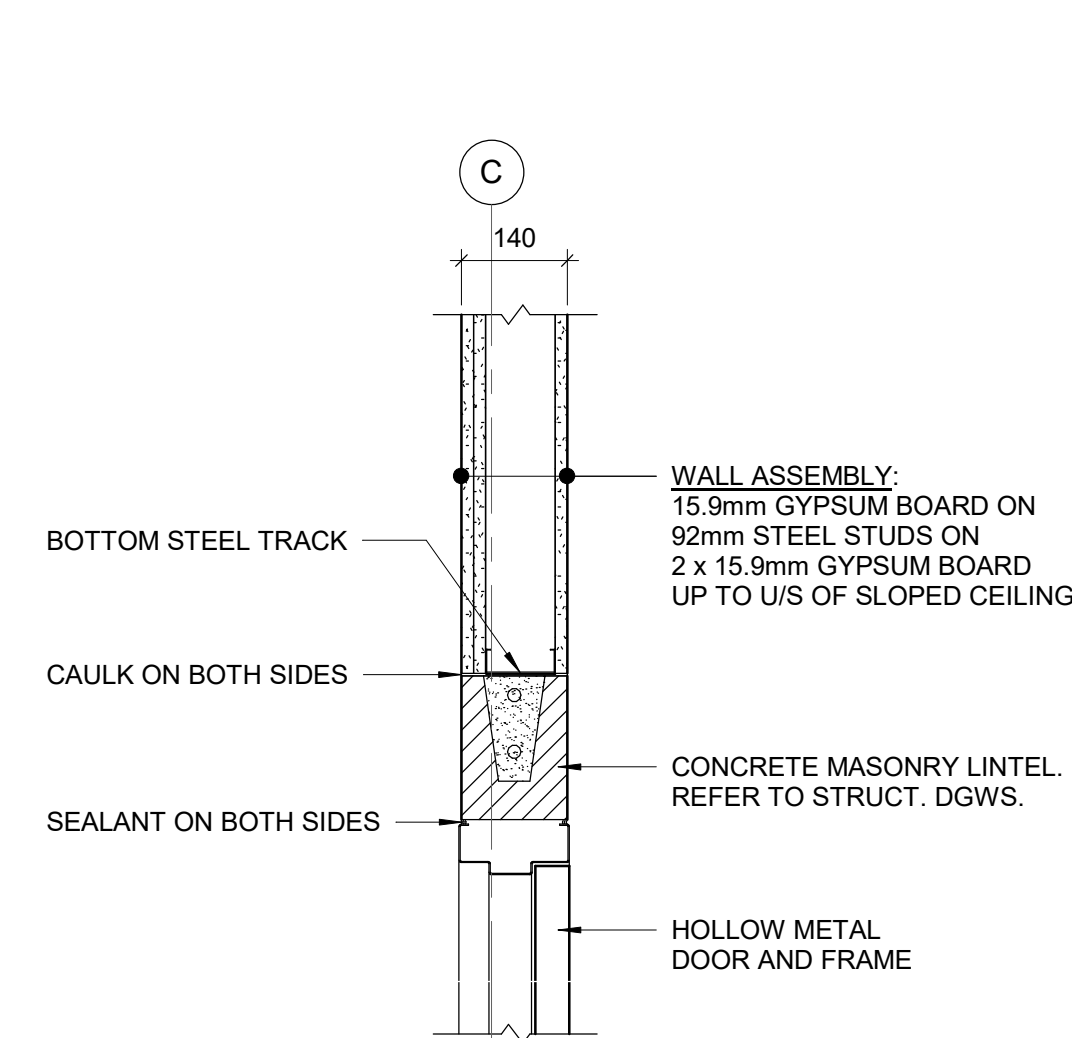
6 DETAIL - CEILING AT PARTS STORAGE ROOM
Scale: 1 : 10



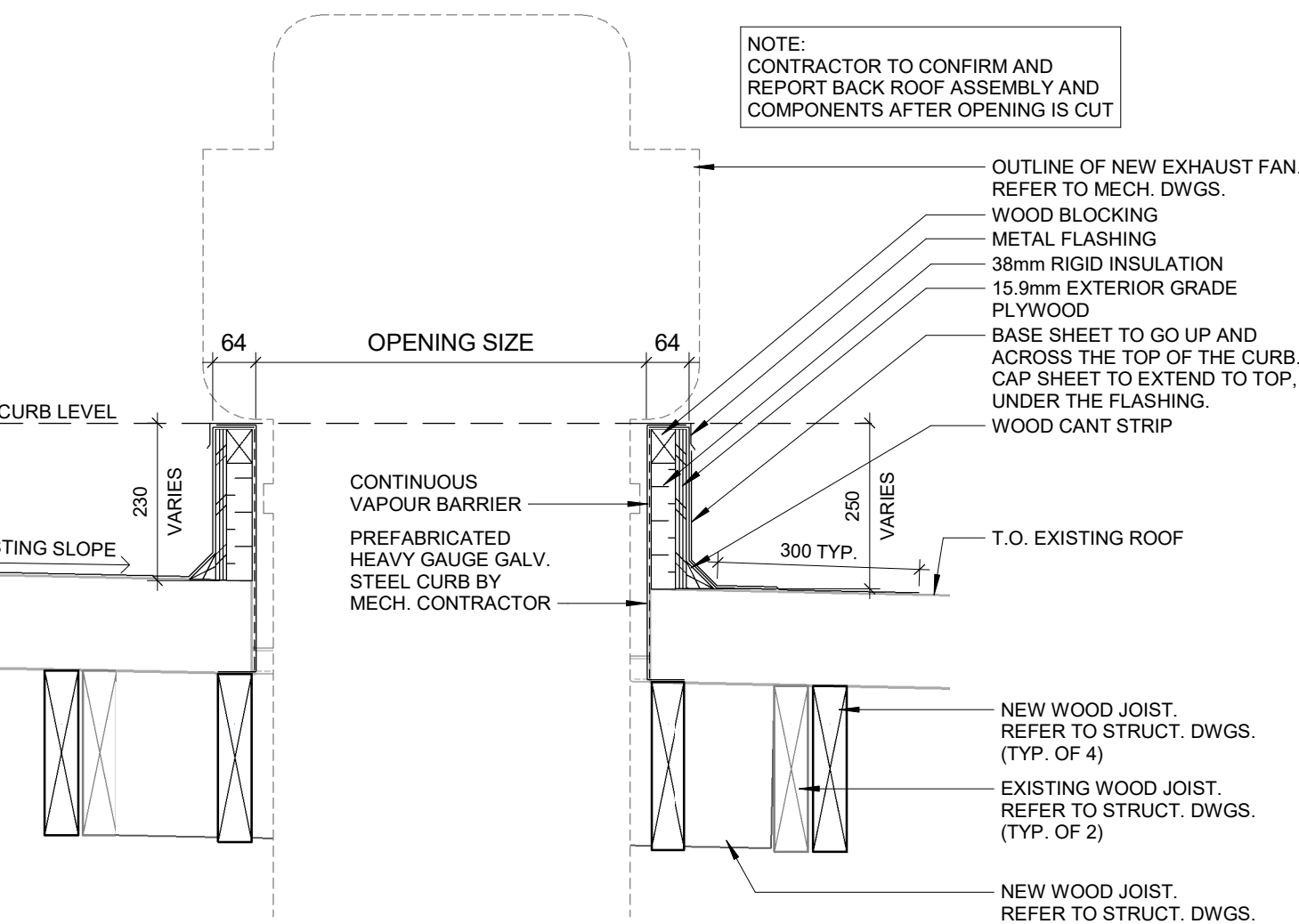
7 DETAIL - CEILING AND DOOR HEAD AT PARTS STORAGE ROOM
Scale: 1 : 10



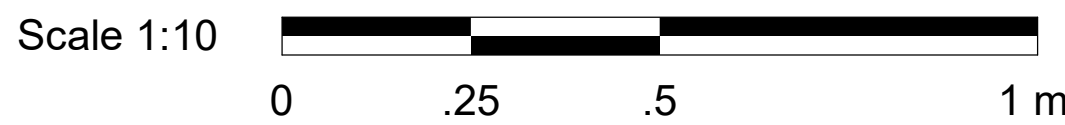
9 PLAN DETAIL - BOLLARD TYP.
Scale: 1 : 10



8 DOOR HEAD AT OFFICE 108 AND LUNCH ROOM
Scale: 1 : 10



10 ROOF OPENING FOR MECH. EXHAUST FAN
Scale: 1 : 10



ISSUES		
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tel 416 679 1930
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PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

KING STREET YARD -
BUILDING NO. 8 & 9
1116 KING STREET WEST

PROJECT NO:
30276606

DRAWN BY:
D. MOTTA

CHECKED BY:
L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

DETAILS

SHEET NUMBER

A604

ISSUE

G

GENERAL NOTES

- CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.

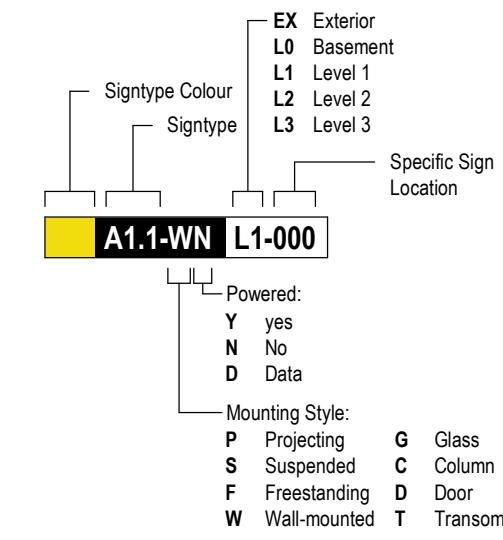
SIGN TAG LEGEND

B LX-000 Directional
E LX-000 Room ID

H LX-000 Amenity
J LX-000 Entrance

G LX-000 Inside Stair ID
S LX-000 Stair ID

SIGN TAG LEGEND



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Metro Hall Toronto, ON
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PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

**KING STREET YARD -
BUILDING NO. 8 & 9**
1116 KING STREET WEST

PROJECT NO:
30276606

DRAWN BY:
D. MOTTA

CHECKED BY:
L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

**FIRST FLOOR PLAN -
PROPOSED SIGNAGE**

SHEET NUMBER

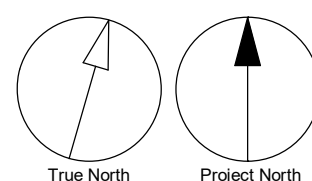
A801

ISSUE

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12/23/2025 3:07:13 PM

Scale 1:100



Autodesk Docs/JACA-302676606-TFSRMS_1116KingSW/302676606_Cot-1116KingSW-07-CENTRAL-R24.rvt

10mm

SCALE CHECK
1 m

GENERAL NOTES

- CONTRACTOR TO VERIFY ON SITE ALL DIMENSIONS, INCLUDING WINDOW AND DOOR OPENING DIMENSIONS, AND REPORT ANY DISCREPANCIES.

SIGN TAG LEGEND

B **LX-000** Directional
E **LX-000** Room ID

H **LX-000** Amenity
J **LX-000** Entrance

G **LX-000** Inside Stair ID
S **LX-000** Stair ID

SIGN TAG LEGEND

Signtype Colour
Signtype
Specific Sign Location
Powered:
Y Yes
N No
D Data
Mounting Style:
P Projecting
S Suspended
F Freestanding
W Wall-mounted
EX Exterior
L0 Basement
L1 Level 1
L2 Level 2
L3 Level 3
G Glass
C Column
D Door
T Transom

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PROJECT TITLE

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FLEET MAINTENANCE STATION -
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PROJECT ADDRESS

KING STREET YARD -
BUILDING NO. 8 & 9
1116 KING STREET WEST

PROJECT NO:
30276606

DRAWN BY:

D. MOTTA

CHECKED BY:

L. BANDIERA

PROJECT MGR:

N. LAYOUN

APPROVED BY:

M. KOTBY

SHEET TITLE

SECOND FLOOR PLAN -
PROPOSED SIGNAGE

SHEET NUMBER

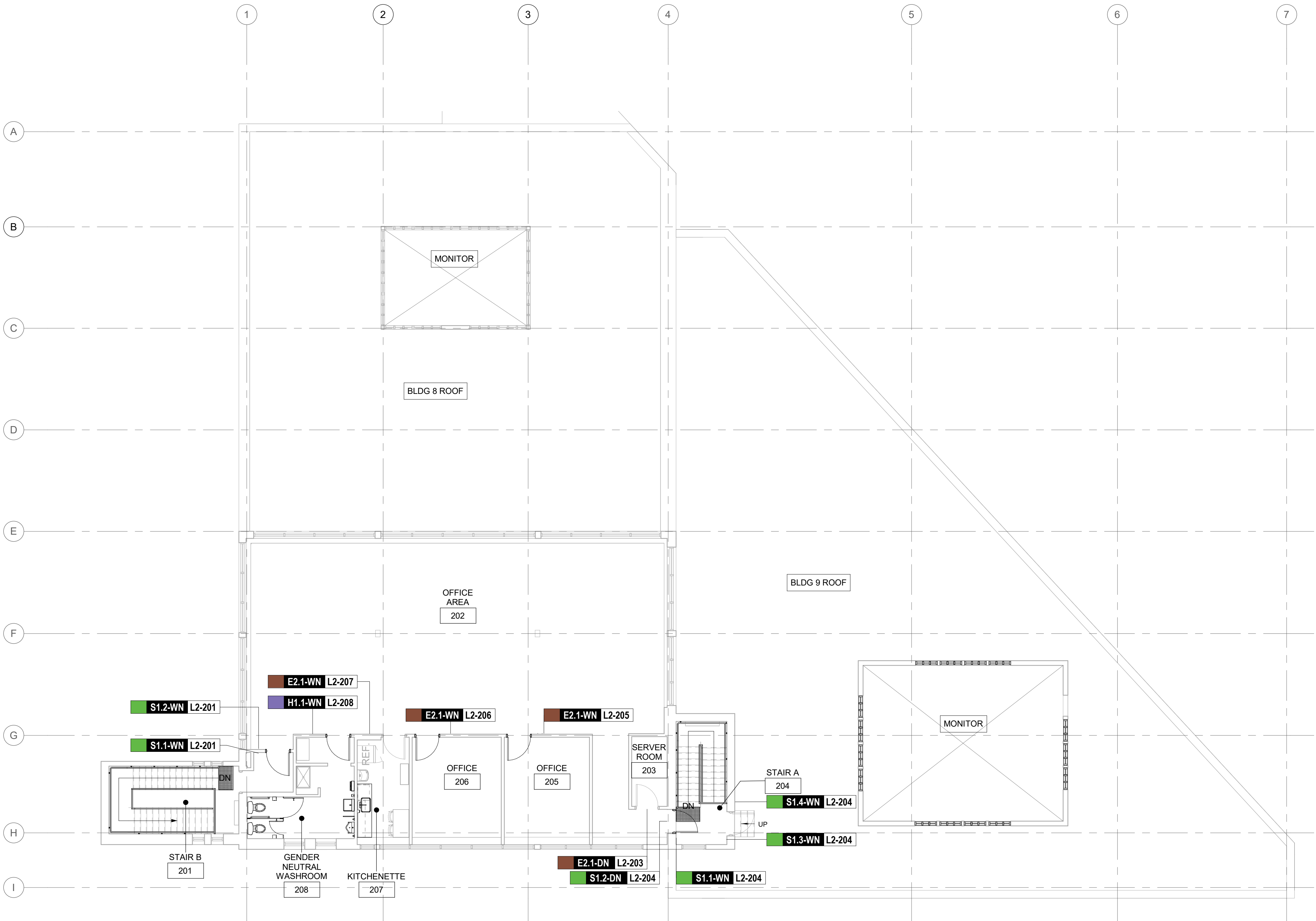
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ISSUE

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10mm


SCALE CHECK
1"=

SIGNAGE SCHEDULE						
SIGN CODE	SignType	LEVEL	LOCATI ON	SIGN TYPE DESCRIPTION	MESSAGE- SIDE A (English)	MESSAGE - SIDE B (English)
E2.1	E2.1	L1	106	Room ID	OFFICE Braille	
E2.1	E2.1	L1	105	Room ID	STORAGE Braille	
E2.1	E2.1	L1	108	Room ID	OFFICE Braille	
E2.1	E2.1	L1	104	Room ID	OFFICE Braille	
E2.1	E2.1	L1	109	Room ID	LUNCH ROOM Braille	
E2.1	E2.1	L1	111	Room ID	BOILER ROOM Braille	
E2.1	E2.1	L1	113	Room ID	PARTS STORAGE Braille	
E2.1	E2.1	L2	206	Room ID	OFFICE Braille	
E2.1	E2.1	L2	205	Room ID	OFFICE Braille	
E2.1	E2.1	L2	203	Room ID	SERVER Braille	
E2.1	E2.1	L2	207	Room ID	KITCHENETTE Braille	
H1.1	H1.1	L1	114	Amenity ID	(Men's Lockers pictogram) LOCKER ROOM Braille	
H1.1	H1.1	L1	110	Amenity ID	(Universal Washroom pictogram) WASHROOM Braille	
H1.1	H1.1	L1	103	Amenity ID	(Men/Women Washroom pictogram) WASHROOM Braille	
H1.1	H1.1	L2	208	Amenity ID	(Men/Women Washroom pictogram) WASHROOM Braille	
J4.2	J4.2	L1	102	Entrance	ENTRANCE Braille	
S1.1	S1.1	L1	101	Stair ID- Interior	FLOOR 1 STAIR B Braille	
S1.1	S1.1	L1	101	Stair ID- Interior	FLOOR 1 STAIR B Braille	
S1.1	S1.1	L2	204	Stair ID- Interior	FLOOR 2 STAIR A Braille	
S1.1	S1.1	L2	201	Stair ID- Interior	FLOOR 2 STAIR B Braille	
S1.1	S1.1	L1	112	Stair ID- Interior	FLOOR 1 STAIR A Braille	
S1.1	S1.1	L1	112	Stair ID- Interior	FLOOR 1 STAIR A Braille	
S1.2	S1.2	L1	101	Stair ID-Corridor Side	FLOOR 1 STAIR B Braille	
S1.2	S1.2	L1	112	Stair ID-Corridor Side	FLOOR 1 STAIR A Braille	
S1.2	S1.2	L2	201	Stair ID-Corridor Side	FLOOR 2 STAIR B Braille	
S1.2	S1.2	L2	204	Stair ID-Corridor Side	FLOOR 2 STAIR A Braille	
S1.2	S1.2	L1	112	Stair ID-Corridor Side	FLOOR 1 STAIR A Braille	
S1.3	S1.3	L2	204	Stair ID-Roof Exit	ROOF STAIR A Braille	
S1.4	S1.4	L1	112	Stair ID- Exterior	FLOOR 1 STAIR A Braille	
S1.4	S1.4	L1	101	Stair ID- Exterior	FLOOR 1 STAIR B Braille	
S1.4	S1.4	L2	204	Stair ID- Exterior	FLOOR 2 STAIR A Braille	

SIGNAGE SCHEDULE COUNT			
SIGN CODE	SIGN TYPE DESCRIPTION	Count	SignType
E2.1	Room ID	11	E2.1
H1.1	Amenity ID	4	H1.1
J4.2	Entrance	1	J4.2
S1.1	Stair ID- Interior	6	S1.1
S1.2	Stair ID-Corridor Side	5	S1.2
S1.3	Stair ID-Roof Exit	1	S1.3
S1.4	Stair ID- Exterior	3	S1.4

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PROJECT TITLE

TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS

KING STREET YARD -
BUILDING NO. 8 & 9
1116 KING STREET WEST

PROJECT NO:
30276606

DRAWN BY: D. MOTTA	CHECKED BY: L. BANDIERA
PROJECT MGR: N. LAYOUN	APPROVED BY: M. KOTBY

SHEET TITLE

SIGNAGE SCHEDULE

SHEET NUMBER

A803

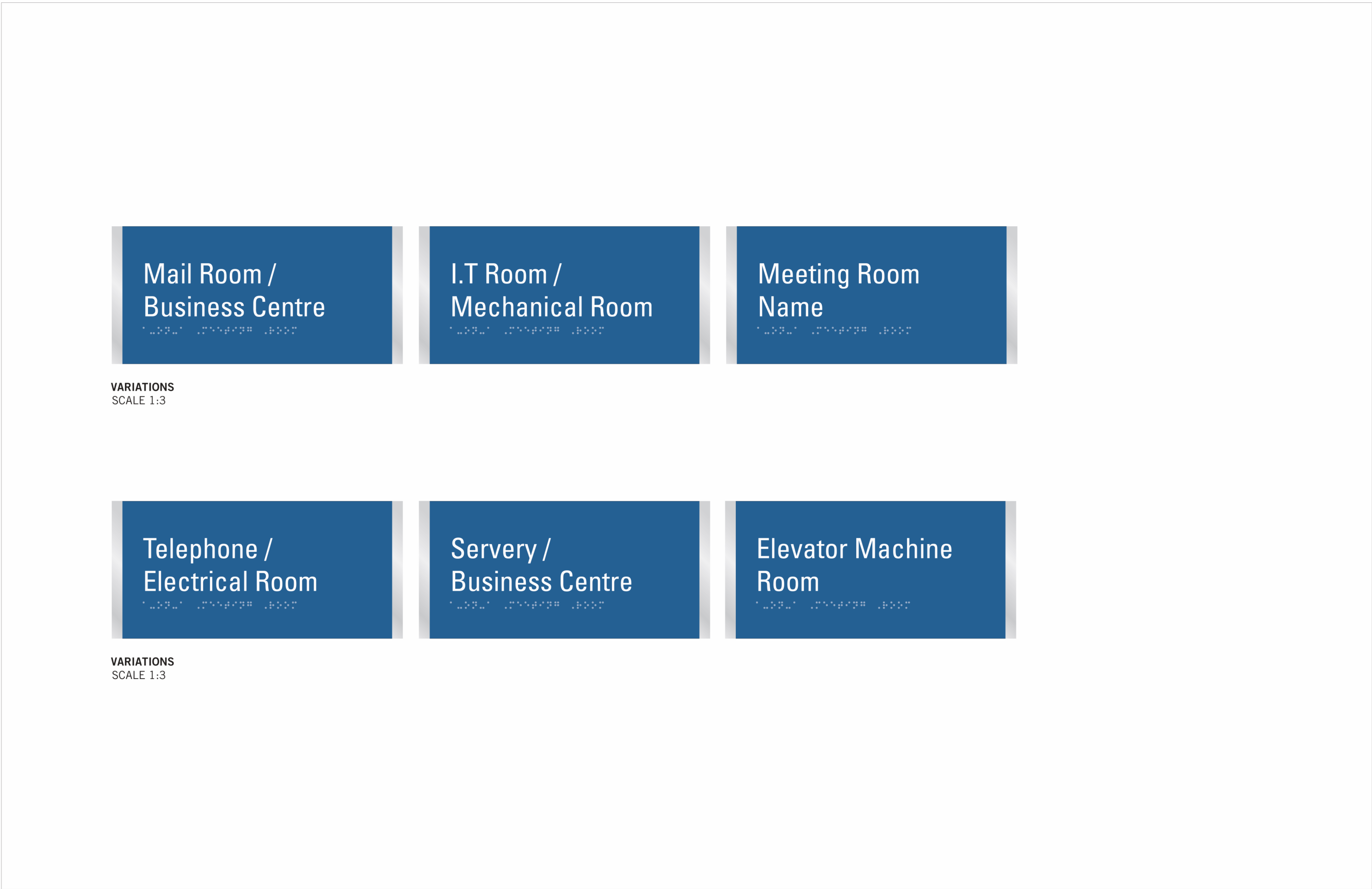
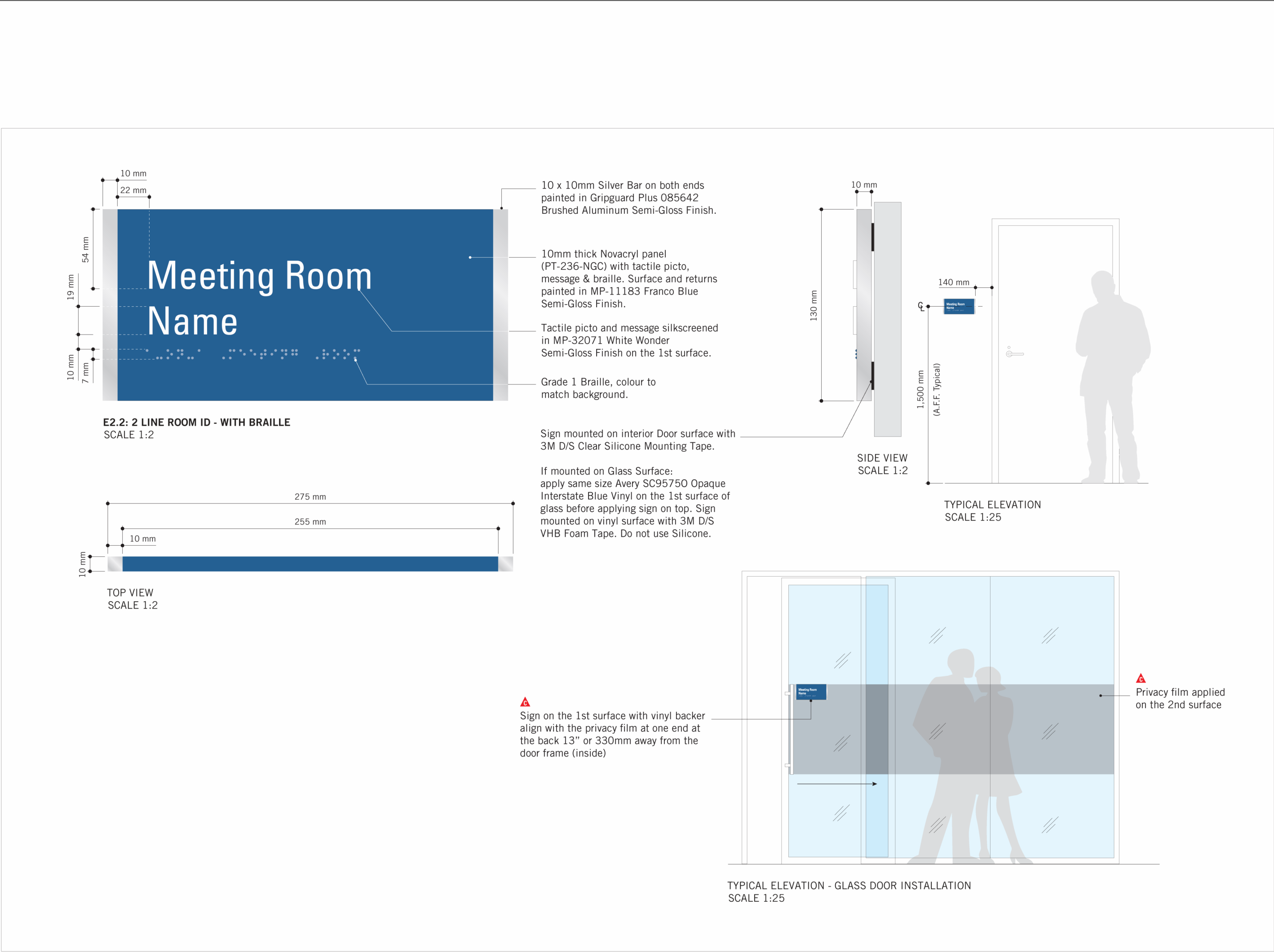
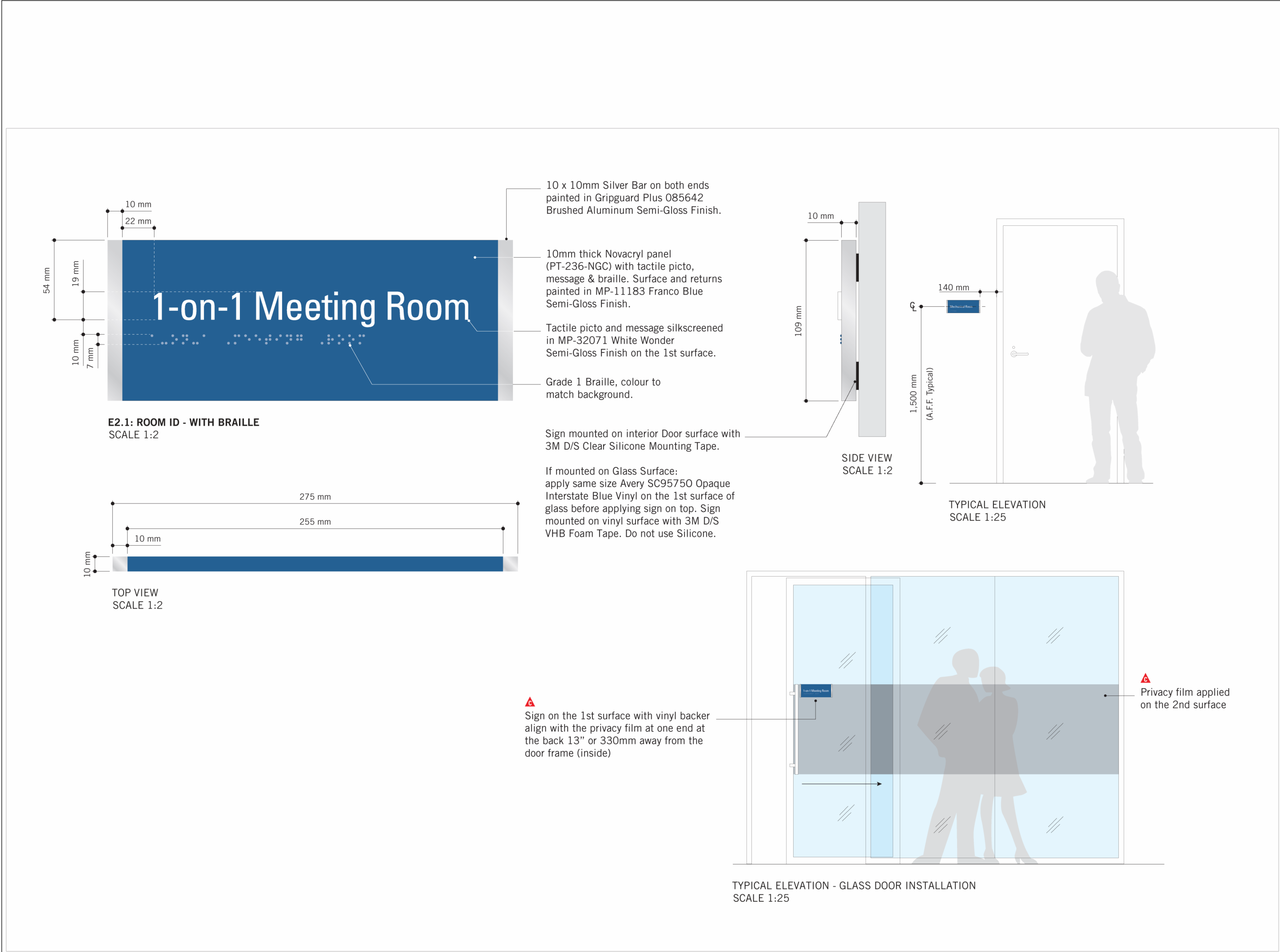
ISSUE

G

Autodesk Docs\\ACA-30287599-TPSR\\MS_1116\\King\\SW\\30287599_Cor-1116\\KING\\07-CENTRAL-R24.rvt

1 m

10mm



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UPGRADE WORKS

PROJECT ADDRESS

KING STREET YARD -
BUILDING NO. 8 & 9
1116 KING STREET WEST

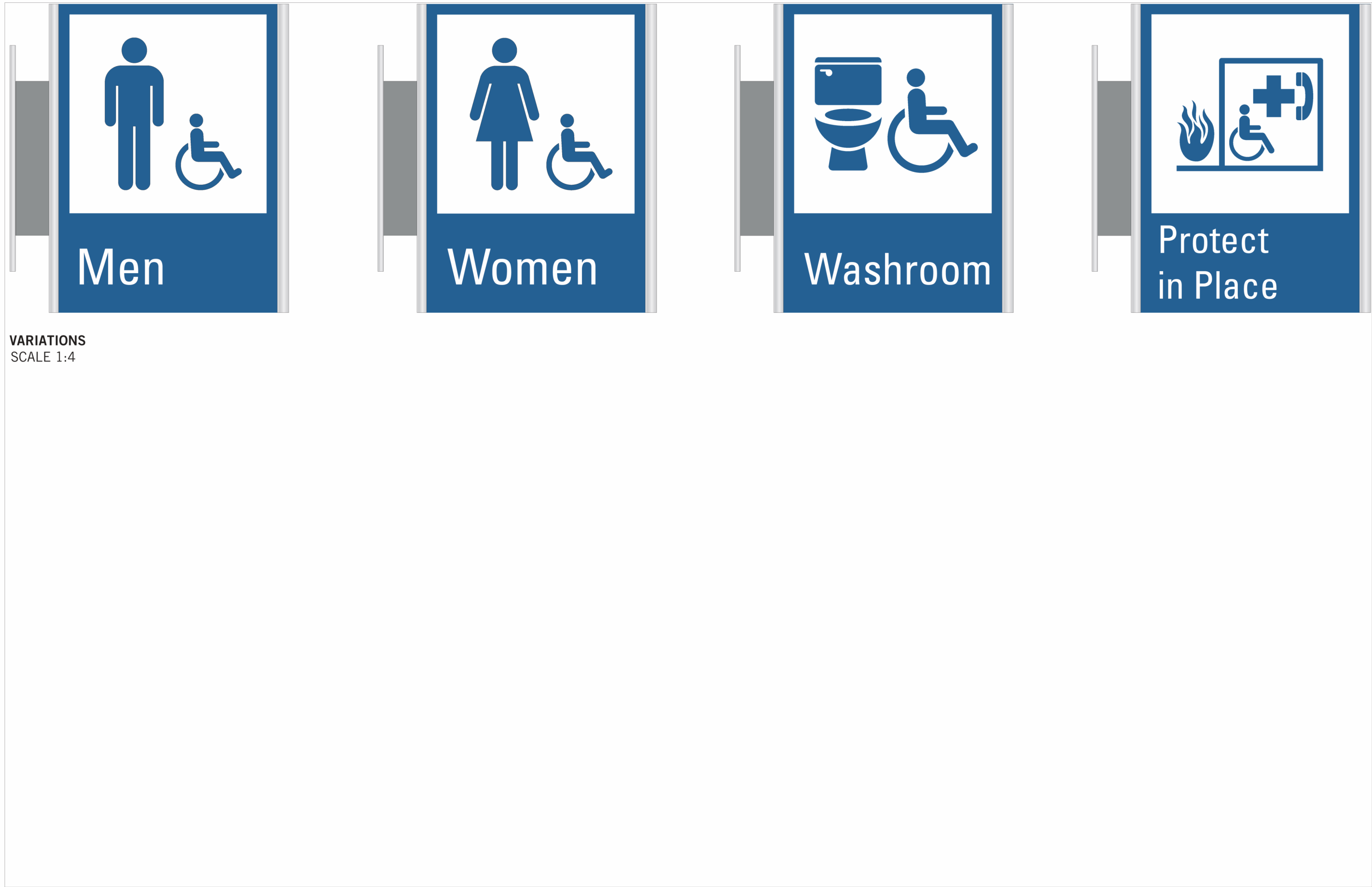
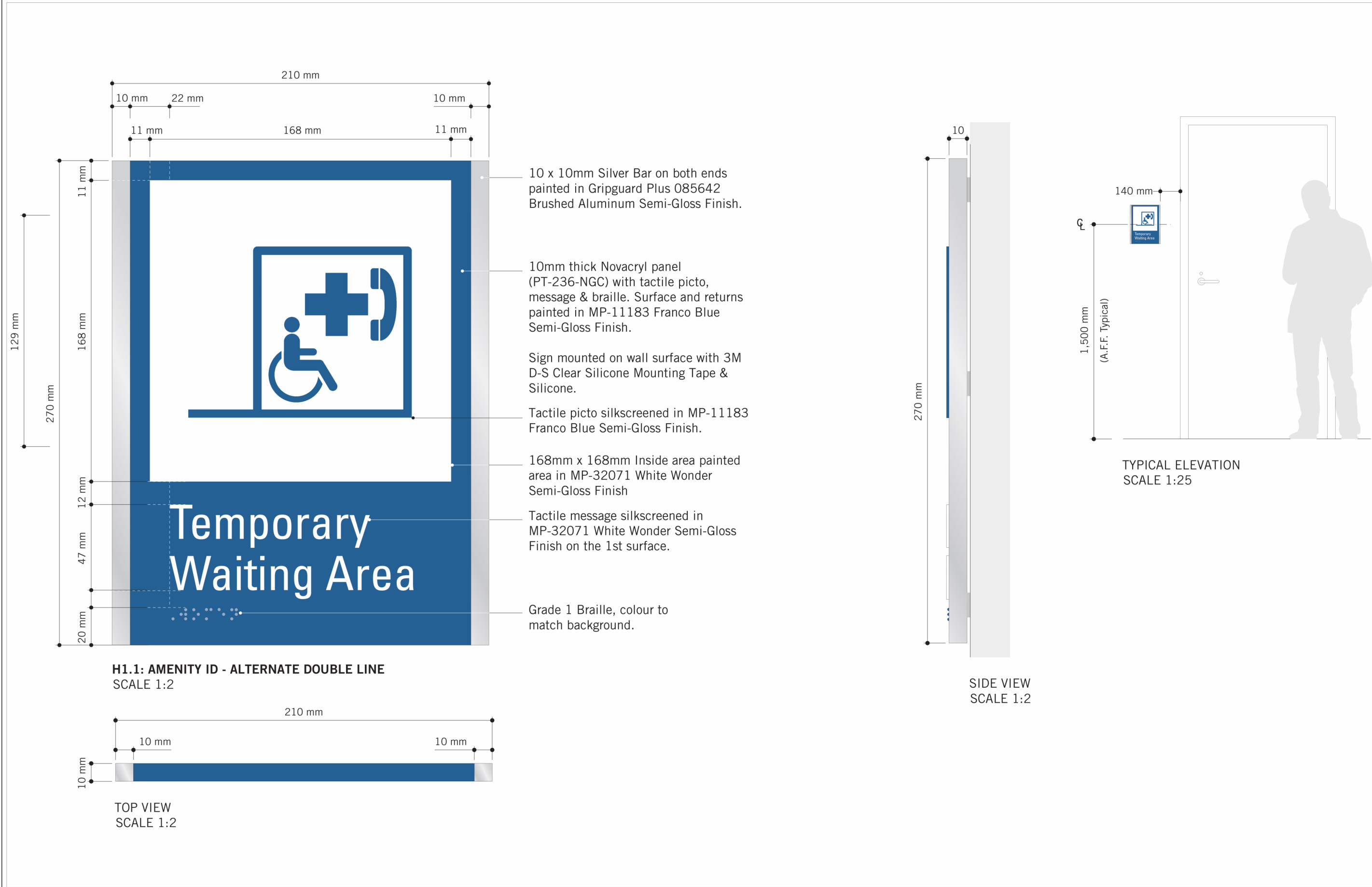
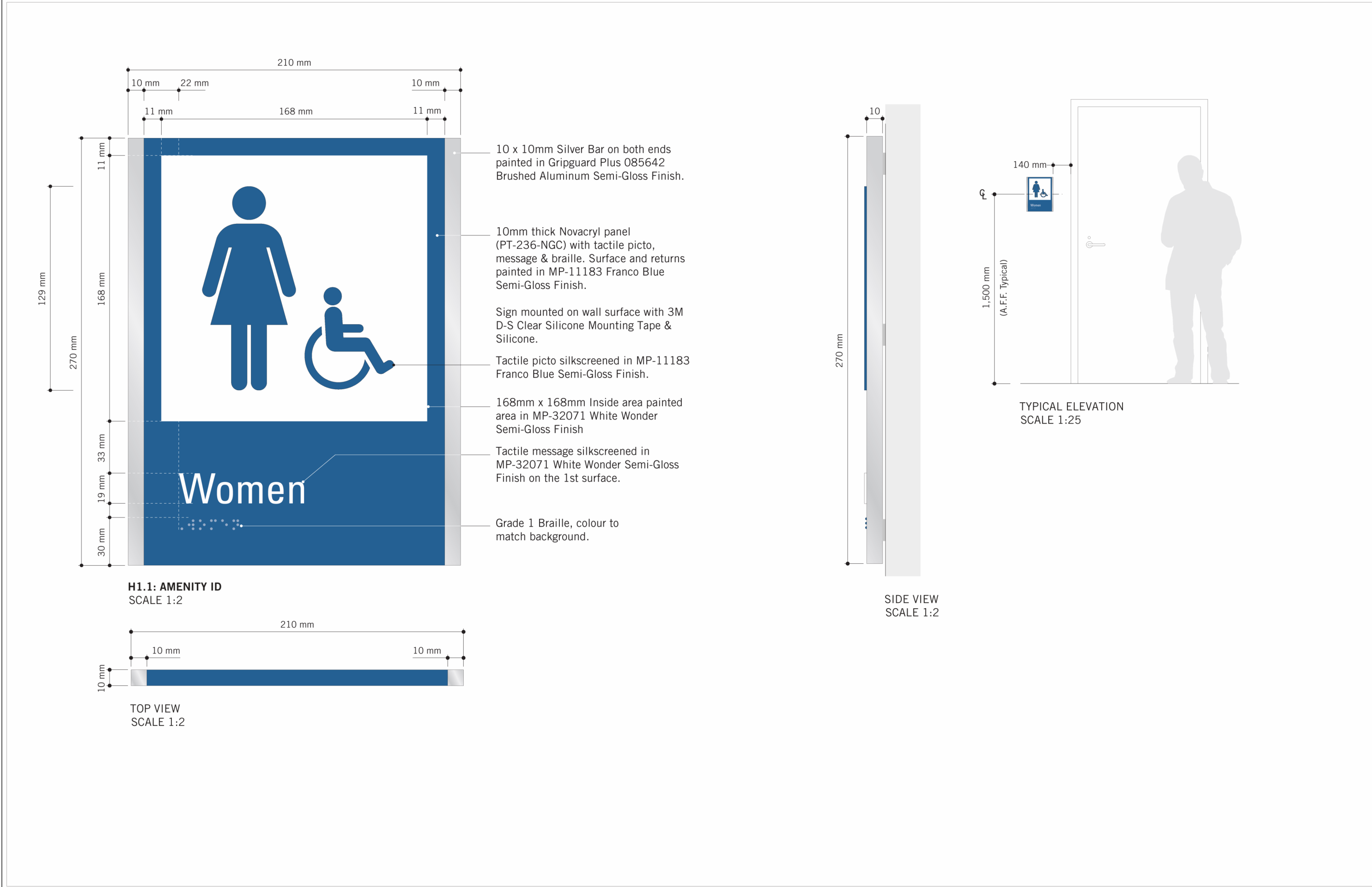
PROJECT NO:
30276606

DRAWN BY: D. MOTTA	CHECKED BY: L. BANDIERA
PROJECT MGR: N. LAYOUN	APPROVED BY: M. KOTBY

SHEET TITLE

SIGNAGE DETAILS

SHEET NUMBER	ISSUE
A805	G



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FLEET MAINTENANCE STATION -
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PROJECT ADDRESS
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1116 KING STREET WEST

PROJECT NO:
30276606

DRAWN BY:
D. MOTTA

CHECKED BY:
L. BANDIERA

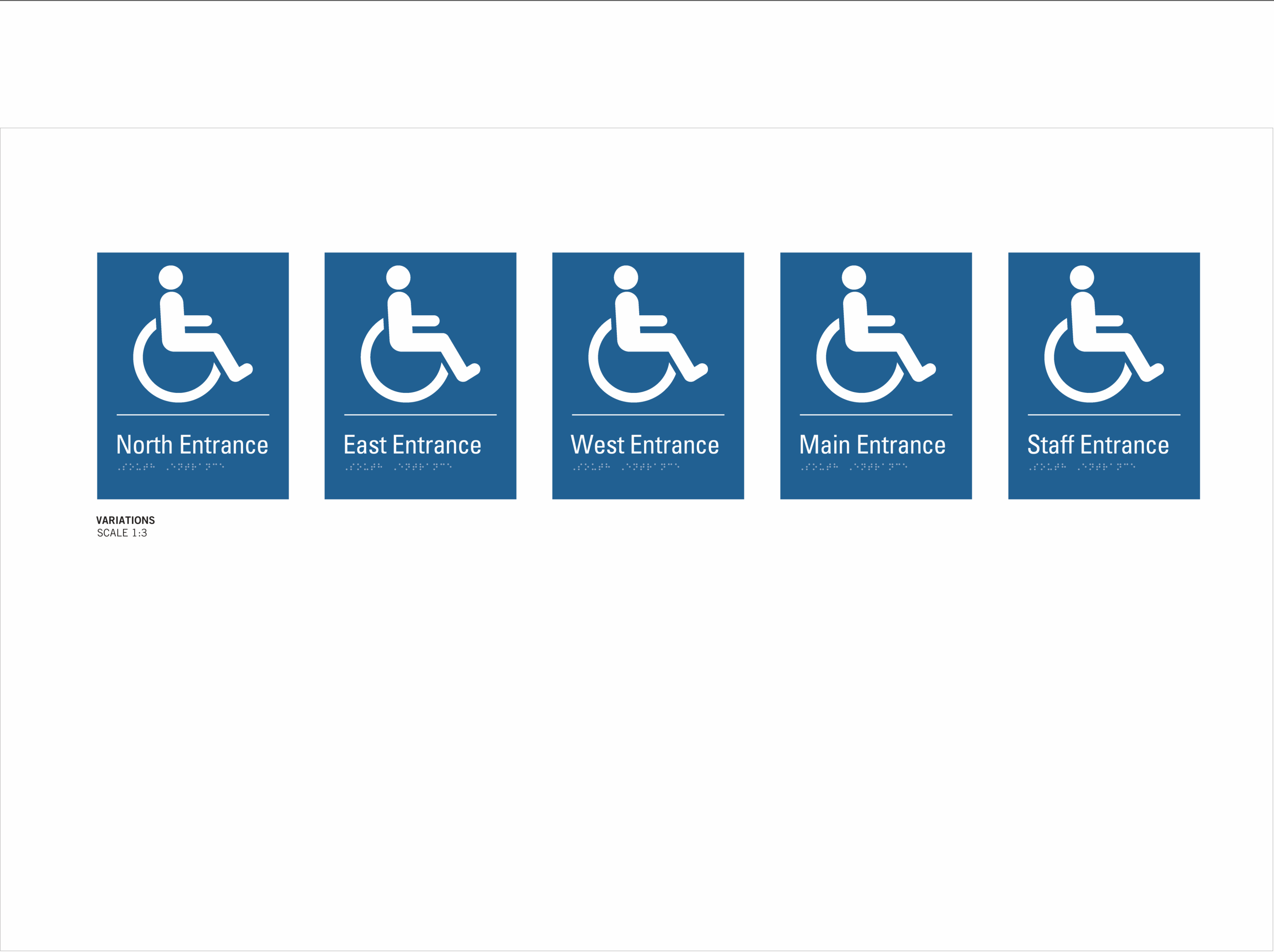
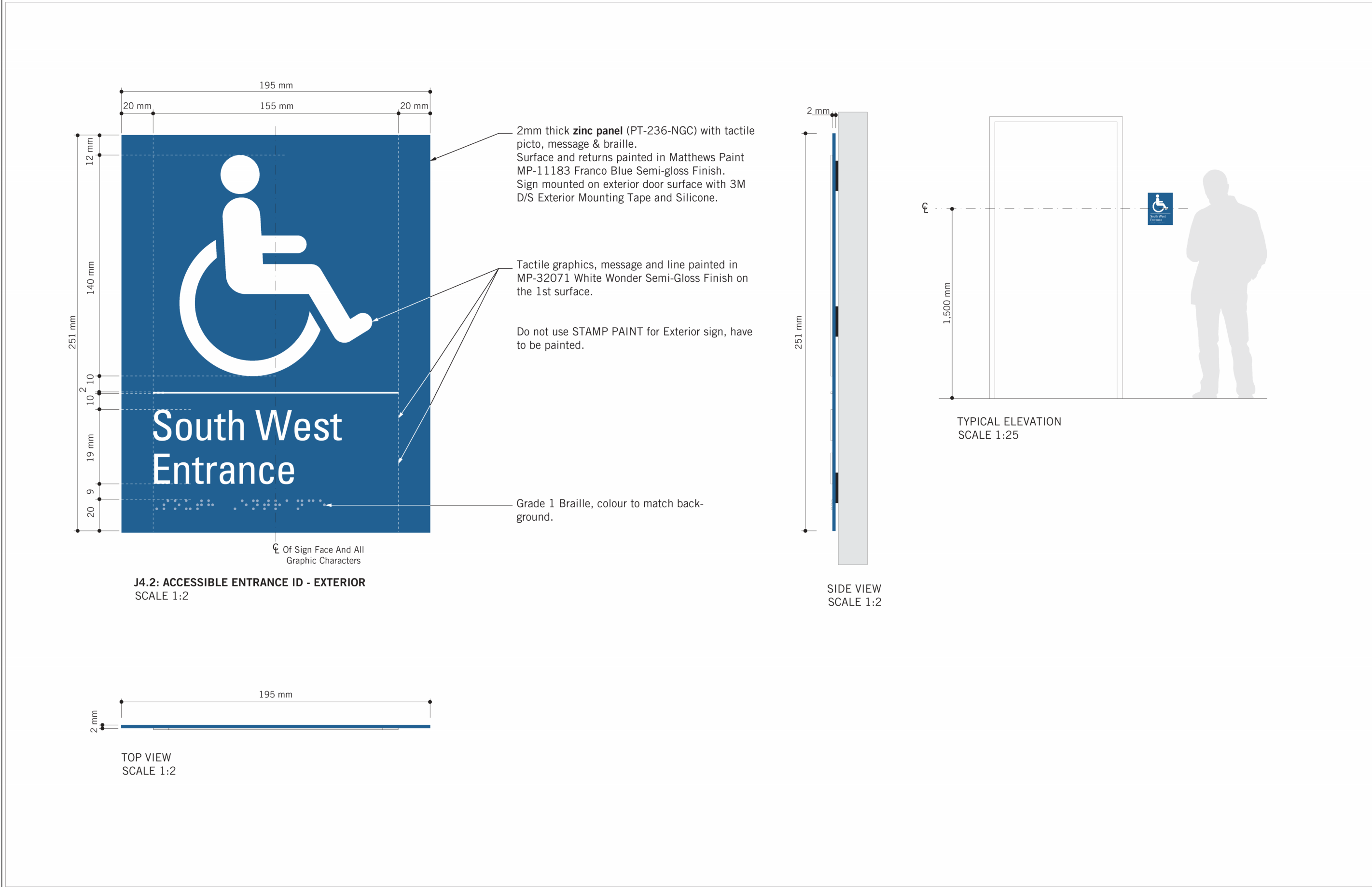
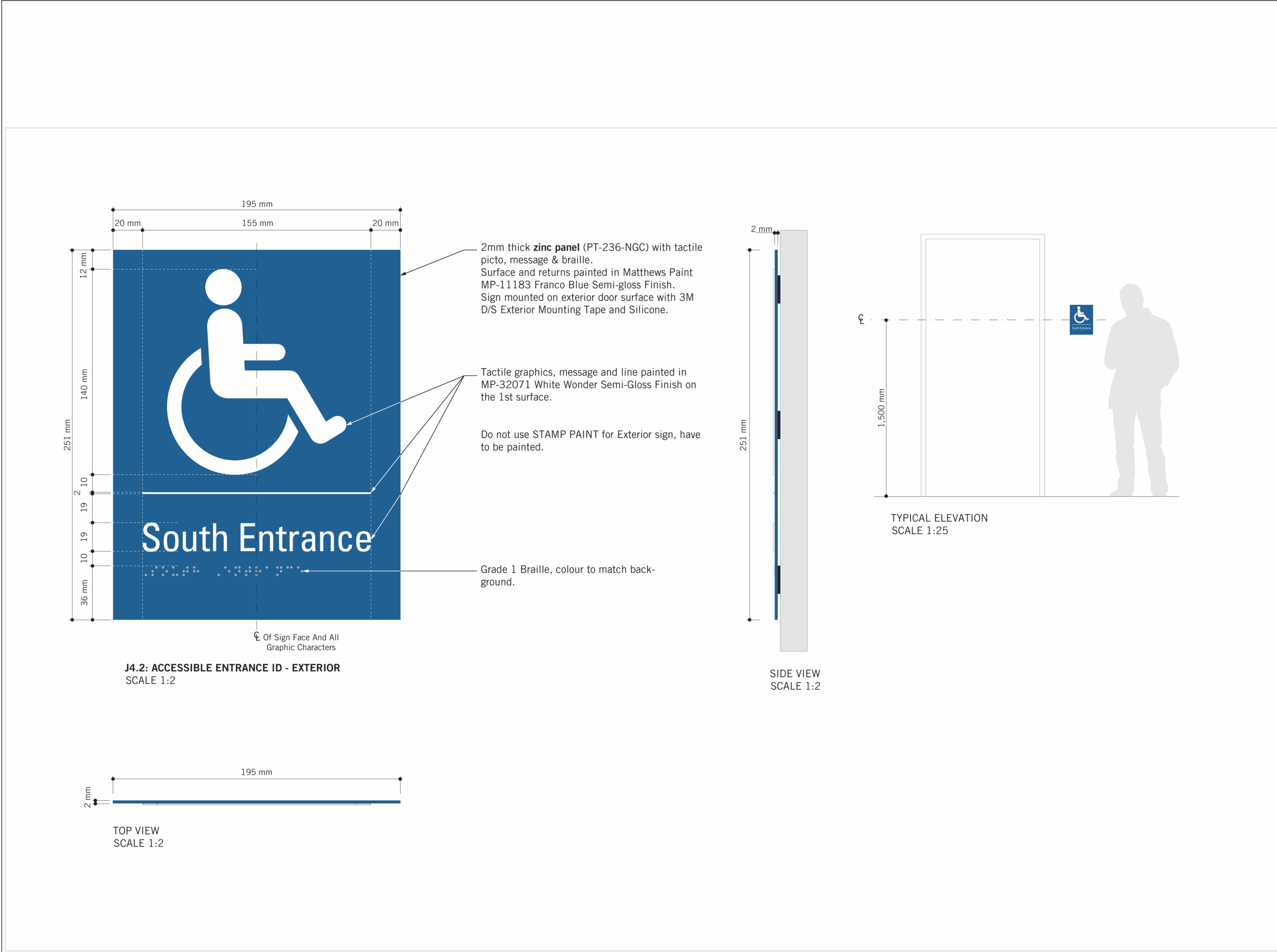
PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE
SIGNAGE DETAILS

SHEET NUMBER
A806

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PROJECT NO:
30276606

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L. BANDIERA

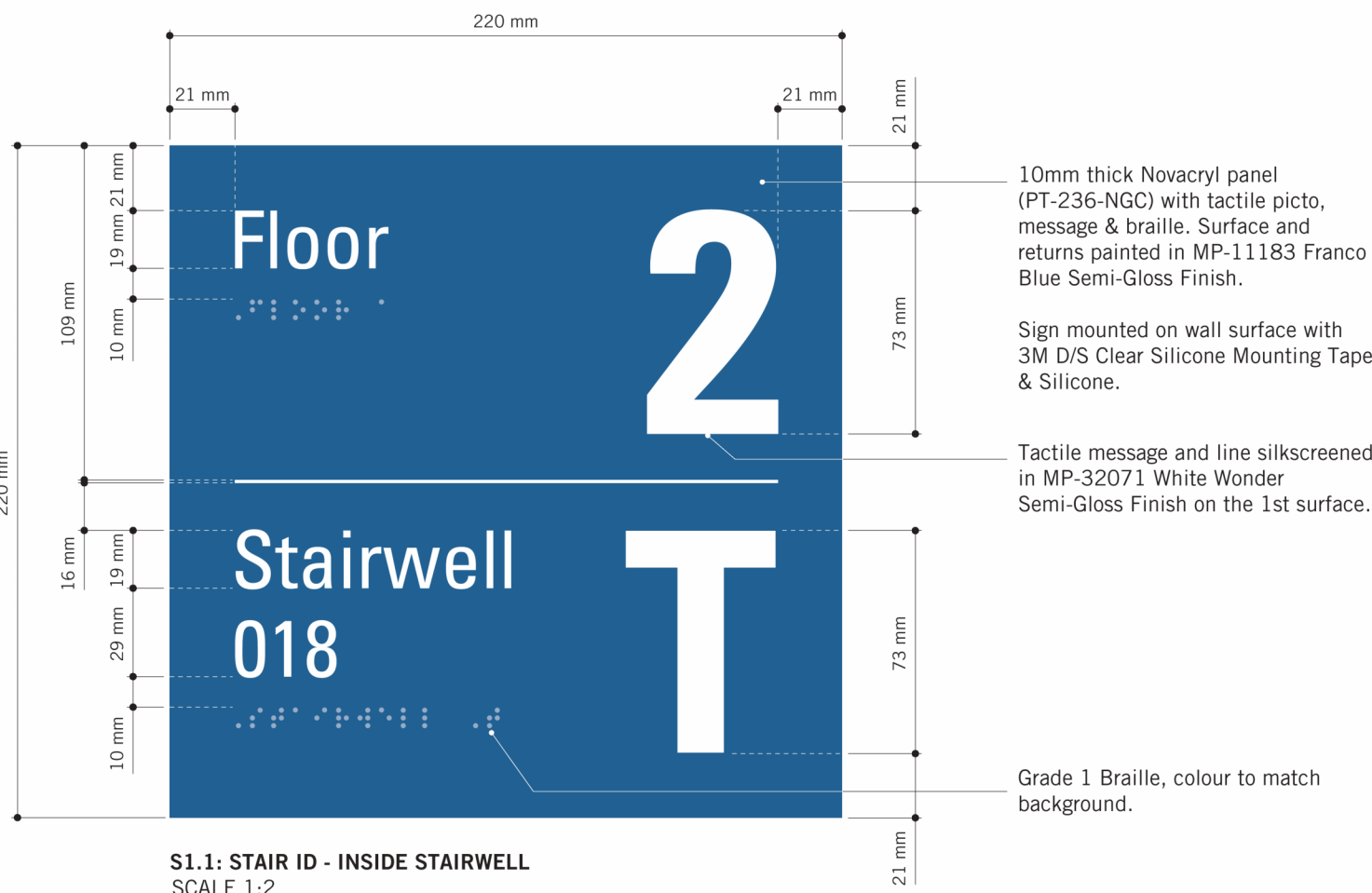
PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

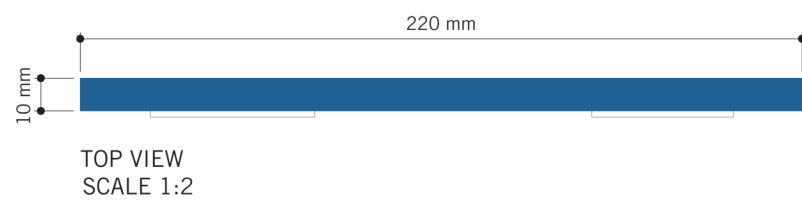
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SIGNAGE DETAILS

SHEET NUMBER
A807

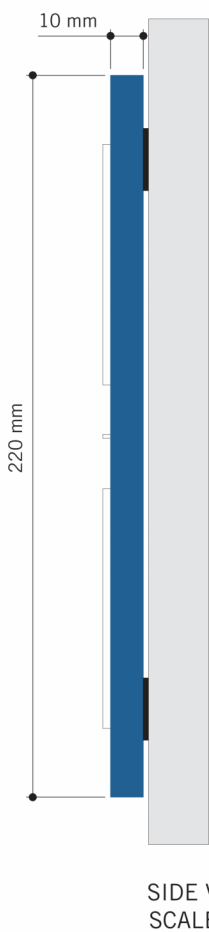
ISSUE
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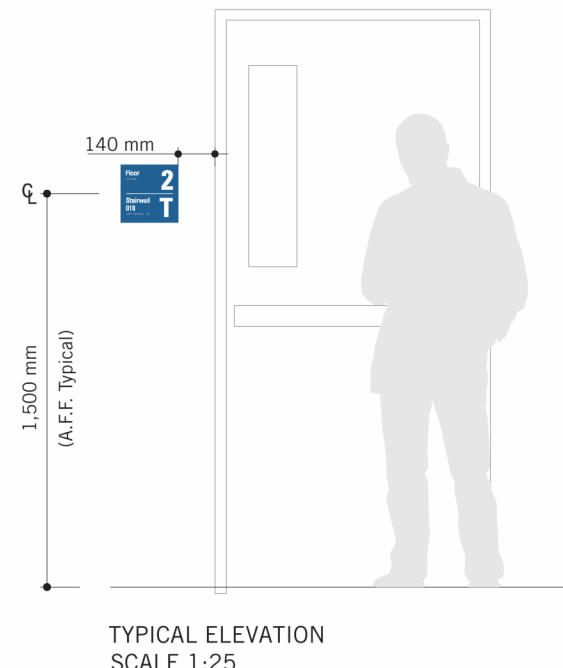
S1.1: STAIR ID - INSIDE STAIRWELL
SCALE 1:2



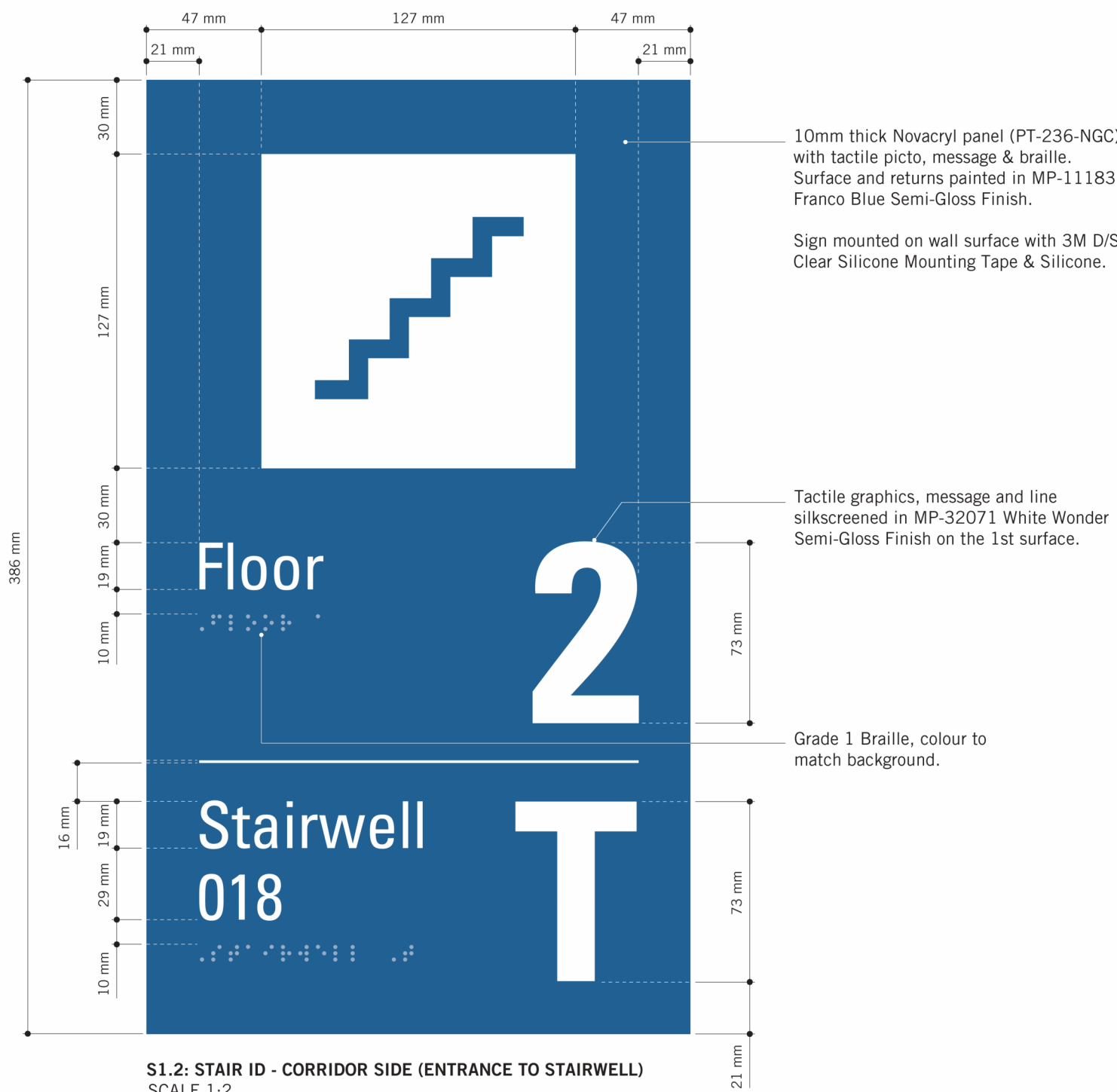
TOP VIEW
SCALE 1:2



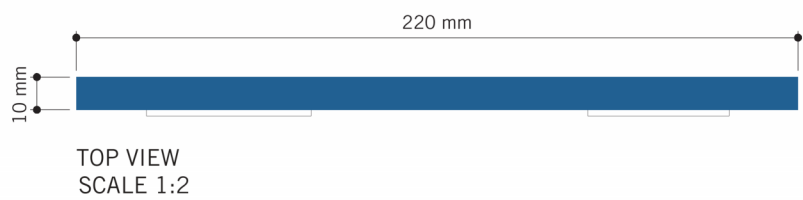
SIDE VIEW
SCALE 1:2



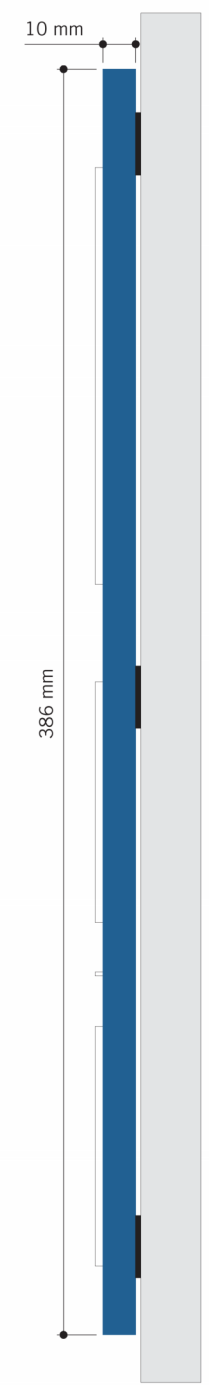
TYPICAL ELEVATION
SCALE 1:25



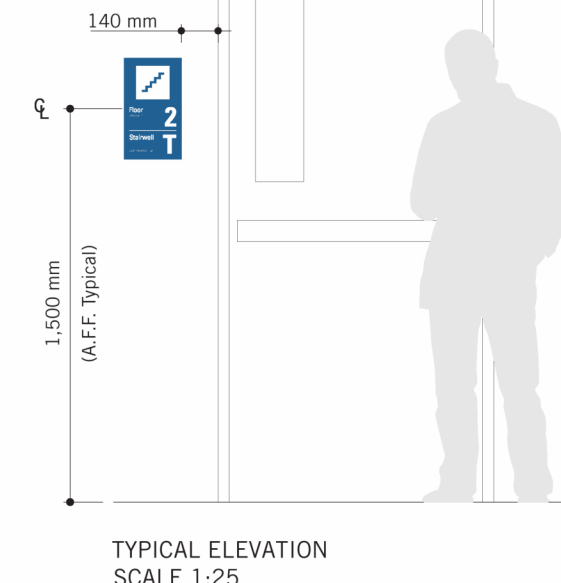
S1.2: STAIR ID - CORRIDOR SIDE (ENTRANCE TO STAIRWELL)
SCALE 1:2



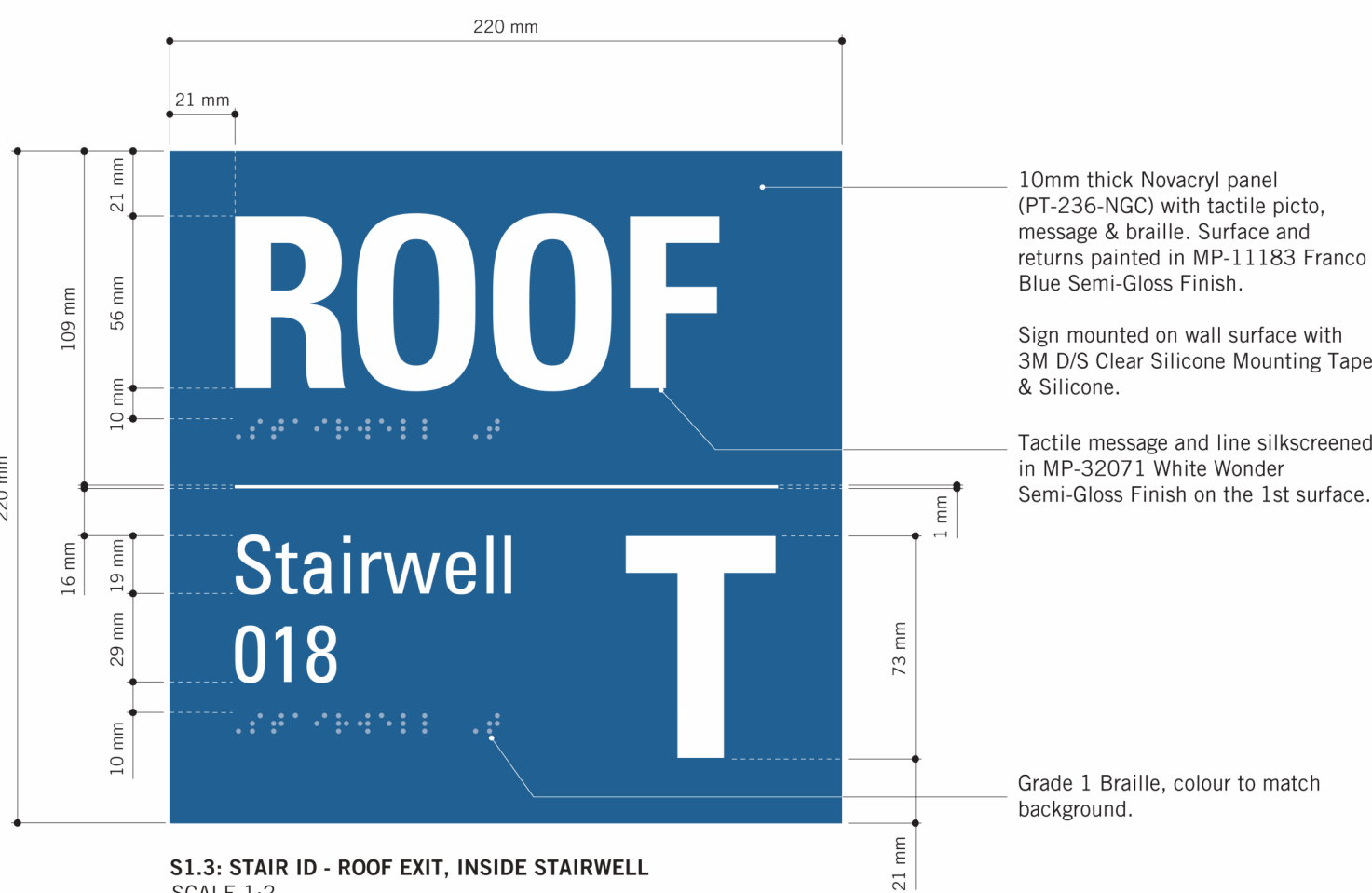
TOP VIEW
SCALE 1:2



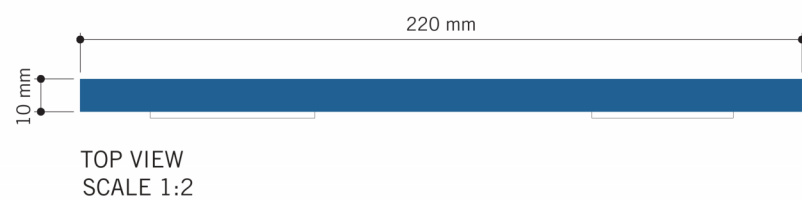
SIDE VIEW
SCALE 1:2



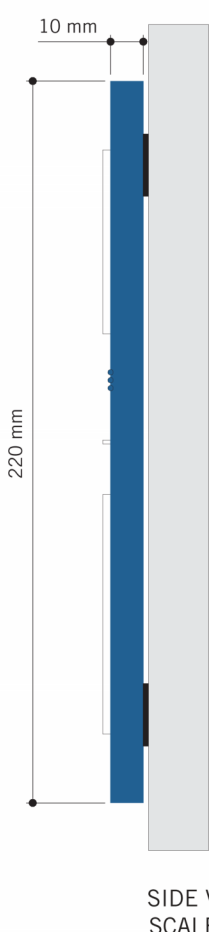
TYPICAL ELEVATION
SCALE 1:25



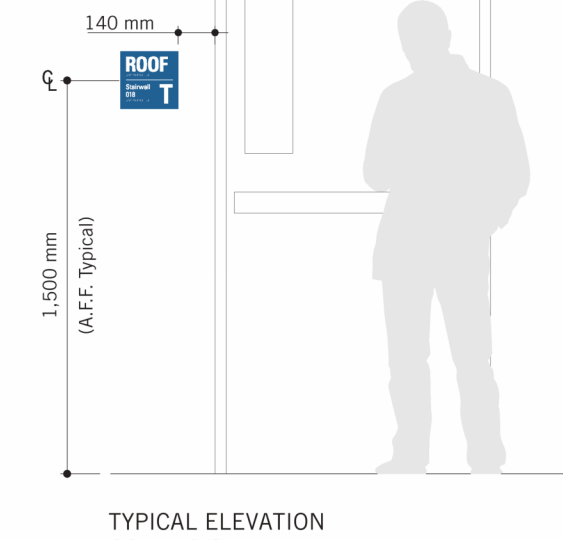
S1.3: STAIR ID - ROOF EXIT, INSIDE STAIRWELL
SCALE 1:2



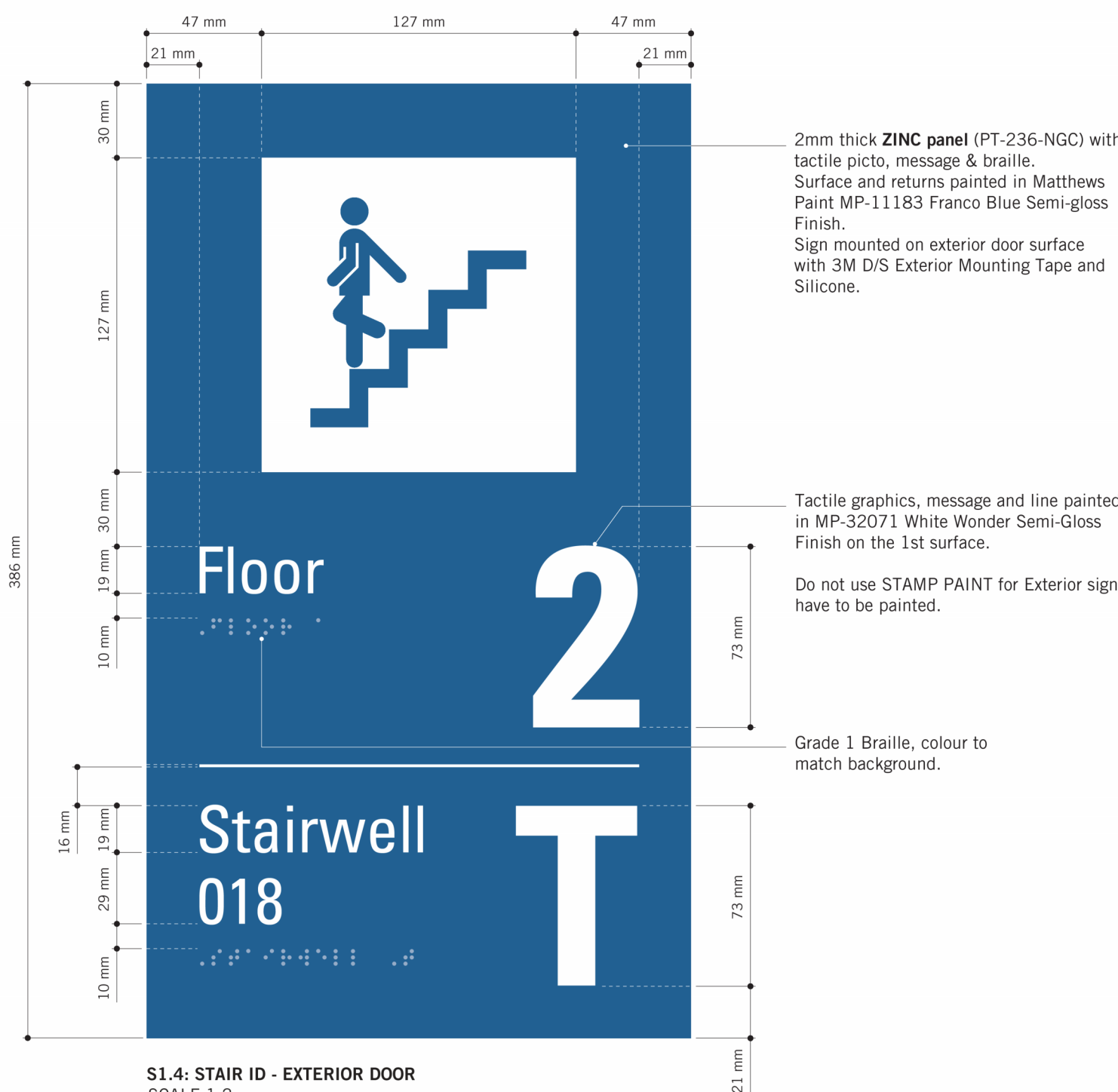
TOP VIEW
SCALE 1:2



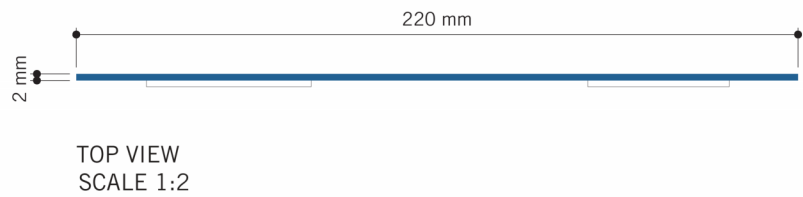
SIDE VIEW
SCALE 1:2



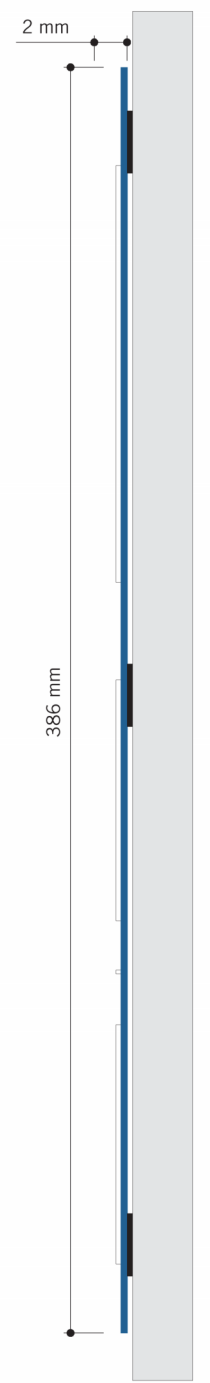
TYPICAL ELEVATION
SCALE 1:25



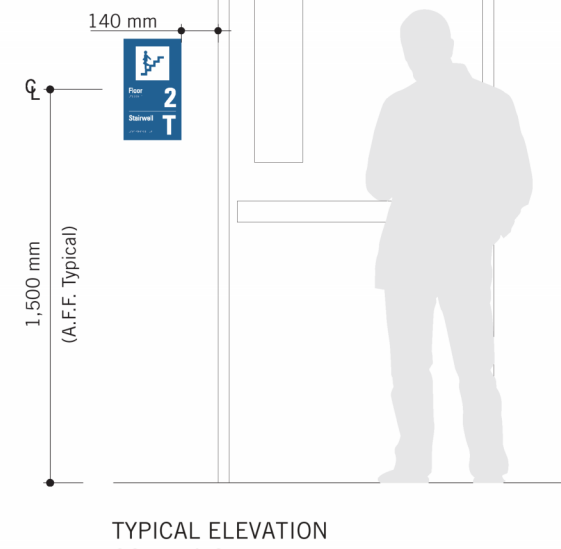
S1.4: STAIR ID - EXTERIOR DOOR
SCALE 1:2



TOP VIEW
SCALE 1:2



SIDE VIEW
SCALE 1:2



TYPICAL ELEVATION
SCALE 1:25

CLIENT

CITY OF TORONTO

Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
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Arcadis Architects (Canada) Inc.

ISSUES		
No.	DESCRIPTION	DATE
D	ISSUED FOR 100% DESIGN	2025-12-09
E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
G	ISSUED FOR TENDER - REV.	2025-12-23
01		

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PROJECT TITLE
TORONTO PARAMEDIC SERVICES
FLEET MAINTENANCE STATION -
UPGRADE WORKS

PROJECT ADDRESS
KING STREET YARD -
BUILDING NO. 8 & 9
1116 KING STREET WEST

PROJECT NO:
30276606

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PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE
SIGNAGE DETAILS

SHEET NUMBER

A808

ISSUE

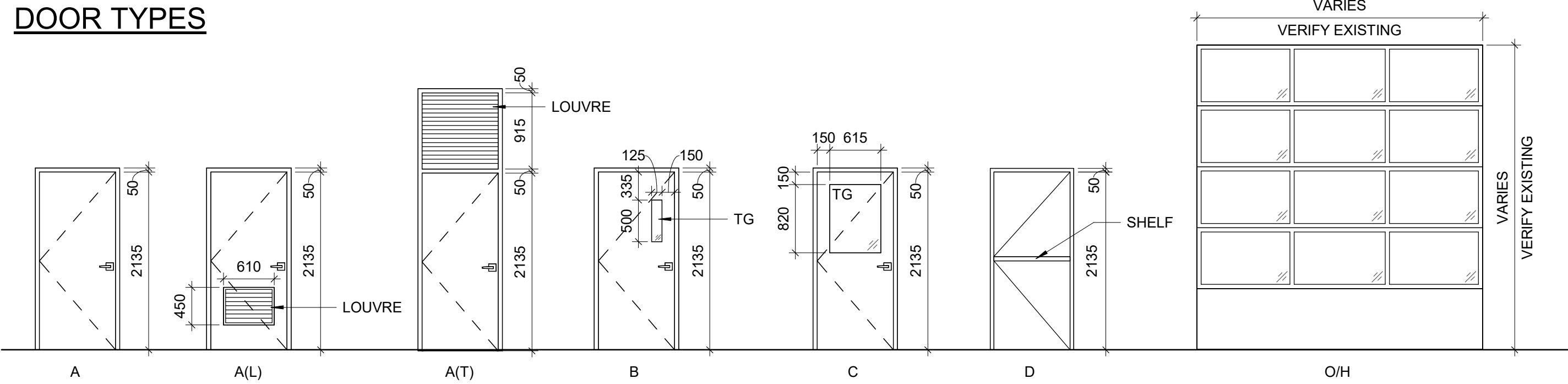
G

DOOR SCHEDULE														
NO.	LOCATION	DOOR						FRAME		FIRE RATING (MINUTES)	HARDWARE			COMMENTS
		TYPE	THICKNESS	HEIGHT	WIDTH	FINISH	GLAZING	MATERIAL	FINISH		BARRIER FREE DEVICE	SECURITY ACCESS CONTROL	PANIC DEVICE	
1ST FLOOR														
101	STAIR B	C	45	2135	915	PT	IGL	HM	PT			●	●	
101a	STAIR B	EXIST.	EXIST.	EXIST.	EXIST.	PT	EXIST.	EXIST.	PT	EXIST.		●	●	EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
102	GARAGE	A(T)	45	2135	915	PT	N/A	HM	PT		BFPB	●	●	
103	WASHROOM	EXIST.	EXIST.	EXIST.	EXIST.	PT	N/A	EXIST.	PT	EXIST.				EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
104	OFFICE	EXIST.	EXIST.	EXIST.	EXIST.	PT	EXIST.	EXIST.	PT	EXIST.				EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
105	STORAGE	EXIST.	EXIST.	EXIST.	EXIST.	PT	N/A	EXIST.	PT	EXIST.				EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
106	OFFICE	C	45	2135	915	PT	N/A	HM	PT					
107	GARAGE	A	45	2135	915	PT	N/A	HM	PT				●	
108	OFFICE	A	45	2135	915	PT	N/A	HM	PT					
109	LUNCH ROOM	C	45	2135	915	PT	N/A	HM	PT					
110	B.F. WASHROOM	EXIST.	EXIST.	EXIST.	EXIST.	PT	N/A	EXIST.	PT	EXIST.	BFPB			EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
111	BOILER ROOM	EXIST.	EXIST.	EXIST.	EXIST.	PT	N/A	EXIST.	PT	EXIST.				EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
112	STAIR A	C	45	2135	915	PT	IGL	HM	PT				●	
112a	STAIR A	C	45			PT	TG	EXIST.	PT	EXIST.		●	●	EXISTING DOOR FRAME TO REMAIN. PROVIDE NEW DOOR AND LATCHSET. PAINT DOOR AND DOOR FRAME ON BOTH SIDES
112b	STAIR A	C	45	2135	915	PT	TG	EXIST.	PT	EXIST.			●	EXISTING DOOR FRAME TO REMAIN. PROVIDE NEW DOOR AND LATCHSET. PAINT DOOR AND DOOR FRAME ON BOTH SIDES
113	PARTS STORAGE	EXIST.	EXIST.	EXIST.	EXIST.	PT	N/A	EXIST.	PT	EXIST.			●	EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
113a	PARTS STORAGE	D	45	2150	915	PT	N/A	HM	PT	N/A				DUTCH DOOR WITH SHELF
114	LOCKER ROOM	A	45	2150	915	PT	N/A	HM	PT	N/A				
O/H-1	GARAGE	O/H	N/A	3760	3655	N/A	N/A	MTL	N/A	N/A				
O/H-2	GARAGE	O/H	N/A	3760	3655	N/A	N/A	MTL	N/A	N/A				
O/H-3	GARAGE	O/H	N/A	3785	3650	N/A	N/A	MTL	N/A	N/A				
O/H-4	GARAGE	O/H	N/A	3785	3435	N/A	N/A	MTL	N/A	N/A				
O/H-5	GARAGE	O/H	N/A	3785	3435	N/A	N/A	MTL	N/A	N/A				
O/H-6	GARAGE	O/H	N/A	3785	3435	N/A	N/A	MTL	N/A	N/A				
O/H-7	GARAGE	O/H	N/A	3785	3435	N/A	N/A	MTL	N/A	N/A				
2ND FLOOR														
201	OFFICE AREA	C	45	2135	965	PT	TG	HM	PT	N/A			●	
203	SERVER ROOM	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	N/A	EXIST.	PT	EXIST.				EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
204	STAIR A	A	45	2135	915	PT	N/A	HM	PT	N/A			●	
204a	STAIR A	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	N/A	EXIST.	PT	EXIST.			●	EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
205	OFFICE AREA	B	45	2135	965	PT	TG	HM	PT	N/A				
206	OFFICE AREA	B	45	2135	965	PT	TG	HM	PT	N/A				
207	KITCHENETTE	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	PT	EXIST.				EXISTING DOOR TO REMAIN. PROVIDE NEW LATCHSET AND PAINT DOOR AND DOOR FRAME ON BOTH SIDES
208	GENDER NEUTRAL WASHROOM	A	45	2135	965	PT	N/A	HM	PT	N/A				

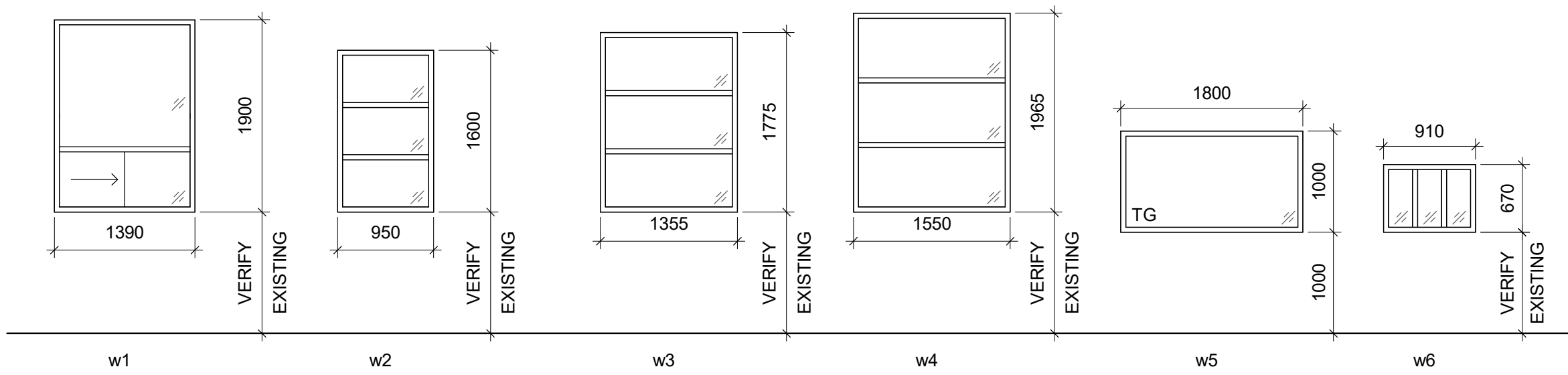
ROOM SCHEDULE																
NO.	NAME	FLOOR		BASE	WALLS								CEILING		COMMENTS	
		MATERIAL	FINISH		NORTH		SOUTH		EAST		WEST		FINISH	HEIGHT		
					MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH	MATERIAL	FINISH				
1ST FLOOR																
101	STAIR B	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	REPAIR ANY DAMAGE TO WALLS DURING CONSTRUCTION TO MATCH ADJACENT FINISHES	
102	GARAGE	CONC.	EPOXY	EPOXY	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS ON ALL EXISTING AND NEW WALLS. FLOOR FINISH TO SLOPE TO DRAINS	
103	WASHROOM	EXIST. CONC.	CT	CT	EXIST. CMU	PT	EXIST. CMU	PT	EXIST. CMU	PT	EXIST. CMU	PT	GWB	2600	PAINT TO MATCH EXISTING COLOURS	
104	OFFICE	EXIST.	EXIST.	EXIST.	EXIST. GWB	PT	EXIST. BRICK	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS	
105	STORAGE	EXIST.	EXIST.	EXIST.	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS	
106	OFFICE	EXIST. CONC.	CT	CT	EXIST. BRICK	PT	CMU	PT	EXIST. BRICK	PT	CMU	PT	GWB	2600		
107	GARAGE	CONC.	EPOXY	EPOXY	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS ON ALL EXISTING AND NEW WALLS. FLOOR FINISH TO SLOPE TO DRAINS	
108	OFFICE	EXIST. CONC.	CT	CT	CMU	PT	EXIST. GWB	PT	EXIST. CMU / CMU	PT	EXIST. BRICK	PT	GWB	2400		
109	LUNCH ROOM	EXIST. CONC.	CT	CT	EXIST. GWB	PT	EXIST. CMU	PT / CT	EXIST. CMU	PT	EXIST. BRICK	PT / CT	GWB	2400		
110	B.F. WASHROOM	EXIST. CONC.	CT	CT	EXIST. CMU	PT	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST. BRICK	PT	EXIST.	EXIST.		
111	BOILER ROOM	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.		
112	STAIR A	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	REPAIR ANY DAMAGE TO WALLS DURING CONSTRUCTION TO MATCH ADJACENT FINISHES	
113	PARTS STORAGE	EXIST. CONC.	EXIST.	EXIST.	CMU	PT	EXIST. BRICK	PT	EXIST. CMU	PT	EXIST.	PT	GWB	2400	PAINT TO MATCH EXISTING COLOURS	
114	LOCKER ROOM	EXIST. CONC.	CT	CT	EXIST. BRICK	PT	CMU	PT	CMU	PT	CMU	PT	GWB	2600		
2ND FLOOR																
201	STAIR B	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	REPAIR ANY DAMAGE TO WALLS DURING CONSTRUCTION TO MATCH ADJACENT FINISHES	
202	OFFICE AREA	EXIST.	EXIST.	EXIST.	EXIST. GWB	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS	
203	SERVER ROOM	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.		
204	STAIR A	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	EXIST.	REPAIR ANY DAMAGE TO WALLS DURING CONSTRUCTION TO MATCH ADJACENT FINISHES	
205	OFFICE	EXIST.	EXIST.	EXIST.	EXIST. GWB	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS	
206	OFFICE	EXIST.	EXIST.	EXIST.	EXIST. GWB	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS	
207	KITCHENETTE	EXIST.	EXIST.	EXIST.	EXIST. GWB	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST. GWB	PT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS	
208	GENDER NEUTRAL WASHROOM	EXIST.	EXIST.	EXIST.	EXIST. GWB	PT / CT	EXIST. GWB	PT / CT	EXIST. GWB	PT / CT	EXIST. GWB	PT / CT	EXIST.	EXIST.	PAINT TO MATCH EXISTING COLOURS	

NOTE: REPAIR EXISTING WALL SURFACES AND MAKE GOOD READY TO RECIEVE NEW PAINT

DOOR TYPES



WINDOW TYPES



GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE AND REPORT BACK ANY DISCREPANCY.
- DOOR HEIGHT IS FOR INFO ONLY. DOOR HEIGHT TO MATCH EXISTING AND TO BE MEASURED ON SITE.
- REFER TO ELEC. DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
- REFER TO DOOR HARDWARE SCHEDULE AND SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

ABBREVIATIONS

- ALUM DENOTES YES
- BFPB ALUMINUM
- BFWO BARRIER FREE PUSH BUTTON
- CMU BARRIER FREE WAVE TO OPEN
- CONC CONCRETE MASONRY UNIT
- CT CONCRETE
- ELEC CERAMIC TILE
- EPOXY EPOXY COATING
- EXIST. EXISTING
- GL GLASS
- GWB GYPSUM WALL BOARD
- HR HOUR
- HM HOLLOW METAL
- IGL INSULATED GLASS
- MTL METAL
- O/H OVER HEAD
- PREFIN PRE-FINISHED
- PT PAINTED
- R.O. ROUGH OPENING
- SS STAINLESS STEEL
- TG TEMPERED GLAZING

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Project Management Office
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ISSUES

No.	DESCRIPTION	DATE
A	ISSUED FOR 50% DESIGN	2025-10-17
B	ISSUED FOR 75% DESIGN	2025-11-04
C	ISSUED FOR 95% DESIGN	2025-11-24
D	ISSUED FOR 100% DESIGN	2025-12-09
E	ISSUED FOR TENDER	2025-12-09
F	ISSUED FOR PERMIT	2025-12-09
G	ISSUED FOR TENDER - REV. 01	2025-12-23

CONSULTANTS

SEAL

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PROJECT TITLE

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FLEET MAINTENANCE STATION -
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PROJECT NO:
30276606

DRAWN BY:
D. MOTTA

CHECKED BY:
L. BANDIERA

PROJECT MGR:
N. LAYOUN

APPROVED BY:
M. KOTBY

SHEET TITLE

DOOR AND ROOM FINISHES
SCHEDULES

SHEET NUMBER

A901

ISSUE

G