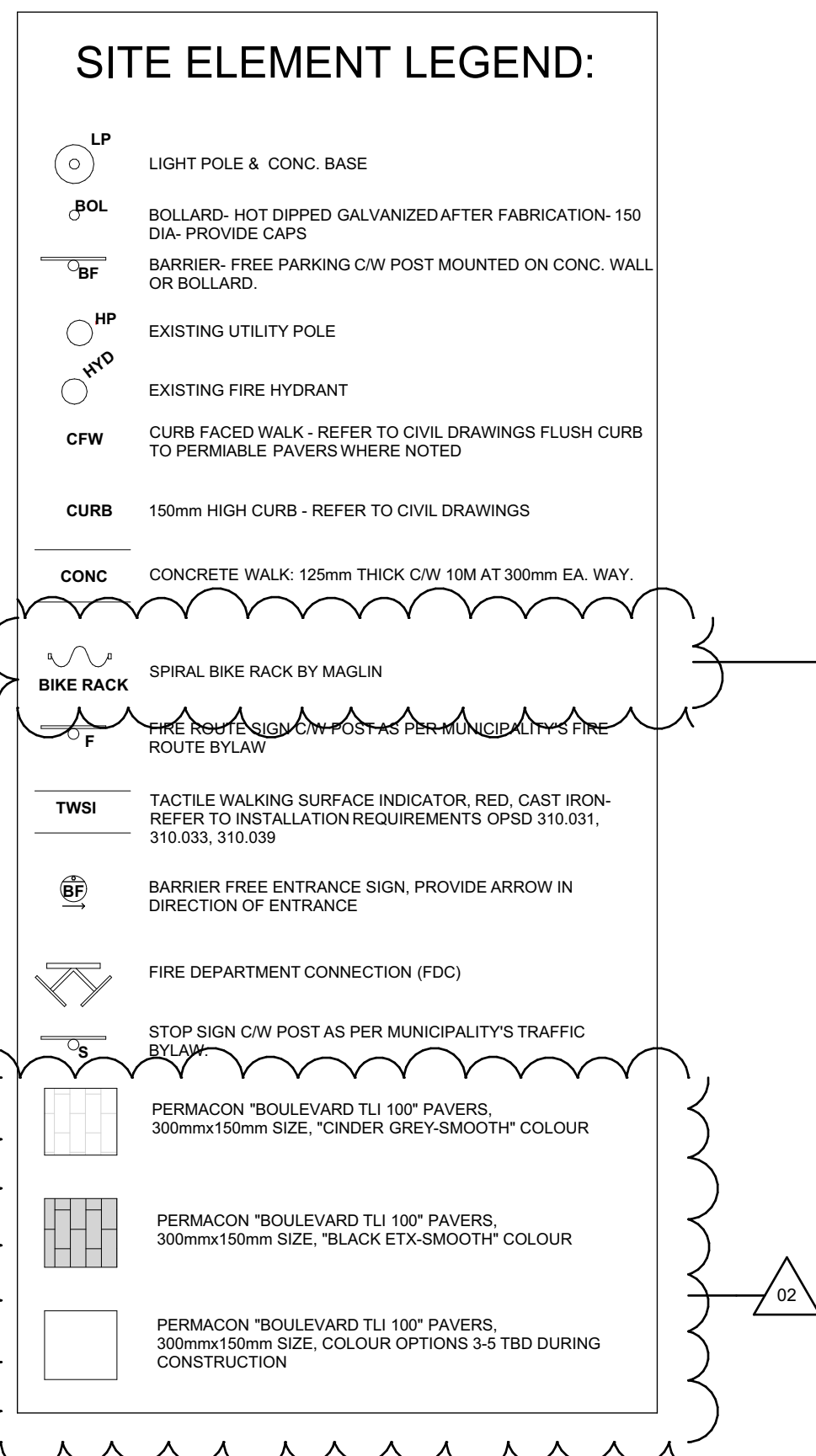


PLANTING SCHEDULE						
KEY	BOTANICAL	COMMON NAME	QUANTITY	SIZE	ROOT	COMMENT
TS	Acacia Saccharum	Sugar Maple	As Shown	50cm	Wyes Balled	
TC	Tilia Cordata	European Hornbeam	As Shown	175cm	Wyes Balled	
QA	Quercus Aleutica	Pacific Redwood	As Shown	50cm	Wyes Balled	
SH	Shorea		As Shown	50cm	Flat	
PT	Pinus Terminalis Green	Redwood	As Shown	50cm	Flat	Plant groundcover in 125cm spacing as directed, staggered
EA	Eucalyptus Globulus	Common Winged Burning Bush	As Shown	5 Gal	Flat	
PI	Pinus Foliolata Albostriata	Albino Dwarf Quercifolia	As Shown	5 Gal	Flat	
GRASS						
AG	Antigonon Canadensis	Big Bluestem	As Shown	1 Gal	Flat	Plant in 1m spacing as directed, staggered
DS	Dactyloctenium	Tufted Hair Grass	As Shown	1 Gal	Flat	Plant in 800mm spacing as directed, staggered
GP	Grass Pennycuina	Sage Sedge	As Shown	1 Gal	Flat	Plant in 500mm spacing as directed, staggered



GENERAL LANDSCAPE NOTES:

1. CONTRACTOR SHALL REVIEW THE SITE FOR DEFICIENCIES IN THE PLANT MATERIAL, SELECTION AND OTHER CONDITIONS WHICH MIGHT AFFECT THE PLANTING AND MAINTENANCE OF THE LANDSCAPE. CONTRACTOR SHALL BE RESPONSIBLE FOR CORRECTING ANY DEFICIENCIES. CONTRACTOR SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BY THE PRESENTING ARCHITECT.

2. PLANTING PRECEDENCE OVER ROAD SIDEWALK IF DISCREPANCY IN PLANTING PRECEDENCE OR PLANTING PRECEDENCE OVER NOTES.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING ACCEPTANCE INSPECTION OF LANDSCAPE AND SITE IMPROVEMENTS PRIOR TO CONSTRUCTION.

4. CONTRACTOR SHALL PREPARE AND SUBMIT REPRODUCIBLE AS-BUILT DRAWINGS OF THE LANDSCAPE. THE DRAWINGS SHALL BE IMPROVED TO REFLECT THE COMPLETION OF CONSTRUCTION. INTERFERENCES PRIOR TO PROJECT.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING PLANT MATERIAL UNTIL THE DATE OF ACCEPTANCE. ACTS OF VANDALISM OR DAMAGE TO PLANT MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

6. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING PLANT MATERIAL UNTIL THE DATE OF ACCEPTANCE. THROUGHOUT THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING PLANT MATERIAL UNTIL THE DATE OF ACCEPTANCE. THROUGHOUT THE CONSTRUCTION PERIOD, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY EXISTING PLANT MATERIAL UNTIL THE DATE OF ACCEPTANCE.

GRADING INFORMATION:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

SOO NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

TOPICS NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

LANDSCAPE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

3. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

IRRIGATION NOTES:

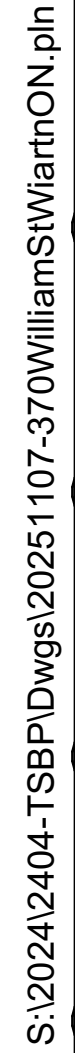
1. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

2. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

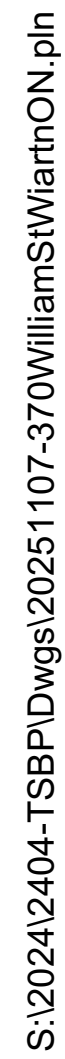
3. CONTRACTOR SHALL BE RESPONSIBLE FOR GRADING AND UTILITIES INFORMATION.

05	ADD-04	ADDENDUM 04	2025.12
02	ADD-01	ADDENDUM 01	2025.11
01		ISSUED FOR TENDER	2025.10
RevID	Change	Revision	Date

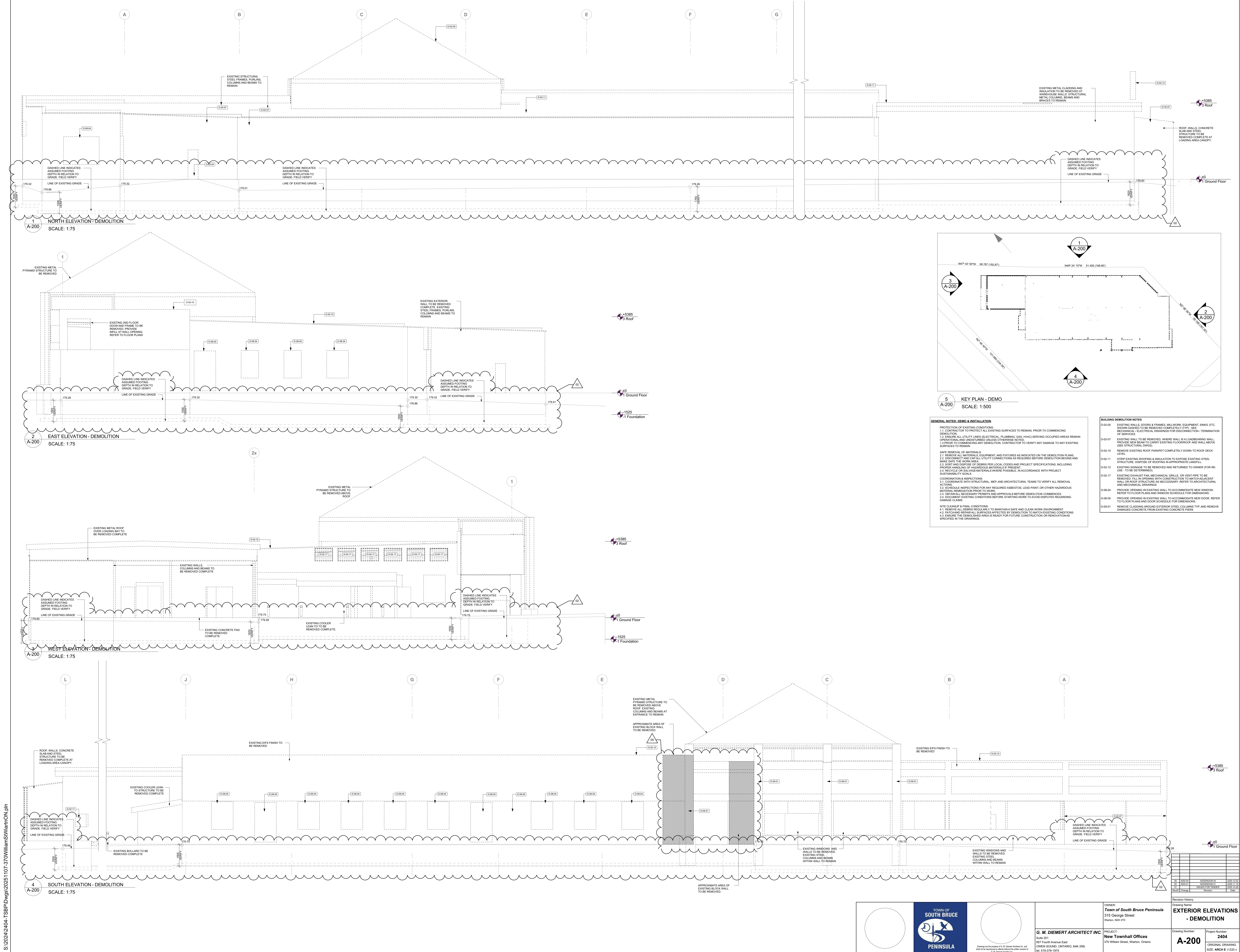
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Drawing Name LANDSCAPE PLAN	
Drawing Number: A-004	Project Number: 2404
ORIGINAL DRAWING SIZE: ARCH E (1220 x 915mm) (48" x 36")	



05	ADD-04	ADDENDUM 04	2025.12.02
04	ADD-03	ADDENDUM 03	2025.11.27
03	ADD-02	ADDENDUM 02	2025.11.21
02	ADD-01	ADDENDUM 01	2025.11.19
01		ISSUED FOR TENDER	2025.10.28
Rev'd	Change	Revision	Date



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GENERAL NOTES: DEMO & INSTALLATION

PROTECTION OF EXISTING CONDITIONS:

- 1.1 CONTRACTOR TO PROTECT ALL EXISTING SURFACES TO REMAIN. PRIOR TO COMMENCING DEMOLITION.
- 1.2 ENSURE ALL UTILITY LINES (ELECTRICAL, PLUMBING, GAS, HVAC) SERVING OCCUPIED AREAS REMAIN OPERATIONAL AND UNDISTURBED UNLESS OTHERWISE NOTED.
- 1.3 PRIOR TO COMMENCING ANY DEMOLITION, CONTRACTOR TO VERIFY ANY DAMAGE TO ANY EXISTING SURFACES TO REMAIN.

SAFE REMOVAL OF MATERIALS:

- 2.1 REMOVE ALL MATERIALS, EQUIPMENT AND FIXTURES AS INDICATED ON THE DEMOLITION PLANS.
- 2.2 DISCONNECT AND CAP ALL UTILITY CONNECTIONS AS REQUIRED BEFORE DEMOLITION BEGINS AND MARK SAFE WORK AREA.
- 2.3 SORT AND DISPOSE OF DEBRIS PER LOCAL CODES AND PROJECT SPECIFICATIONS, INCLUDING PROPER HANDLING OF HAZARDOUS MATERIALS IF PRESENT.
- 2.4 RECYCLE OR SALVAGE MATERIALS WHERE POSSIBLE, IN ACCORDANCE WITH PROJECT SUSTAINABILITY GOALS.

COORDINATION & INSPECTIONS:

- 3.1 COORDINATE WITH STRUCTURAL, MEP AND ARCHITECTURAL TEAMS TO VERIFY ALL REMOVAL ACTIONS.
- 3.2 SCHEDULE INSPECTIONS FOR ANY REQUIRED ASBESTOS, LEAD PAINT OR OTHER HAZARDOUS MATERIAL REMEDIATION BEFORE DEMOLITION COMMENCES.
- 3.3 OBTAIN ALL NECESSARY PERMITS AND APPROVALS BEFORE DEMOLITION COMMENCES.
- 3.4 DOCUMENT EXISTING CONDITIONS BEFORE STARTING WORK TO AVOID DISPUTES REGARDING DAMAGE CLAIMS.

DEMO CLIMBER & FINAL CONDITIONS:

- 4.1 REMOVE ALL DEBRIS REGULARLY TO MAINTAIN A SAFE AND CLEAN WORK ENVIRONMENT.
- 4.2 PATHWAYS REMAIN CLEAR, SURFACES INSPECTED BY DEMOLITION TO MATCH EXISTING CONDITIONS.
- 4.3 ENSURE THE DEMOLISHED AREA IS READY FOR FUTURE CONSTRUCTION OR RENOVATIONS SPECIFIED IN THE DRAWINGS.

BUILDING DEMOLITION NOTES

D-02-05 EXISTING WALLS, DOORS & FRAMES, MILLWORK, EQUIPMENT, SINKS, ETC. SHOWN DAMAGED TO BE REMOVED COMPLETELY (TYP.). SEE MECHANICAL, ELECTRICAL DRAWINGS FOR DISCONNECT/TERMINATION OF SERVICES.

D-02-07 EXISTING WALL TO BE REMOVED, WHERE WALL IS A LOAD-BEARING WALL, PROVIDE NEW BEAM TO CARRY EXISTING FLOOR/ROOF AND WALL ABOVE (SEE STRUCTURAL DRAWING).

D-02-10 REMOVE EXISTING ROOF PARAPET COMPLETELY DOWN TO ROOF DECK LEVEL.

D-02-11 STRIP EXISTING ROOFING & INSULATION TO EXPOSE EXISTING STEEL STRUCTURE. DISPOSE OF ROOFING IN APPROPRIATE LANDFILL.

D-02-12 EXISTING SIGNAGE TO BE REMOVED AND RETURNED TO OWNER (FOR RE-USE - TO BE DETERMINED).

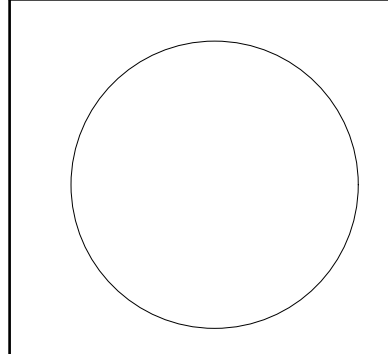
D-02-17 EXISTING EXHAUST FAN, MECHANICAL GRILLE, OR VENT PIPE TO BE REMOVED. FILL IN OPENING WITH CONSTRUCTION TO MATCH ADJACENT WALL OR ROOF STRUCTURE, AS NECESSARY. REFER TO ARCHITECTURAL AND MECHANICAL DRAWINGS.

D-08-04 PROVIDE OPENING IN EXISTING WALL TO ACCOMMODATE NEW WINDOW. REFER TO FLOOR PLANS AND WINDOW SCHEDULE FOR DIMENSIONS.

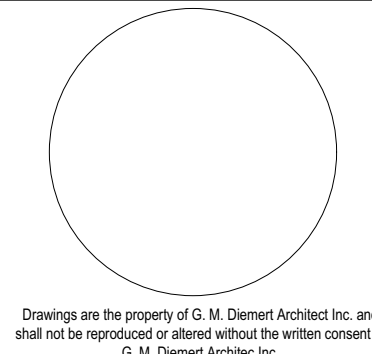
D-08-05 PROVIDE OPENING IN EXISTING WALL TO ACCOMMODATE NEW DOOR. REFER TO FLOOR PLANS AND DOOR SCHEDULE FOR DIMENSIONS.

D-09-01 REMOVE CLADDING AROUND EXTERIOR STEEL COLUMNS TYP. AND REMOVE DAMAGED CONCRETE FROM EXISTING CONCRETE PIERS.

Revision History			
Revision Number	Revision Description	Date	By
18	2025-09-24	2025-09-24	AD
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100	2025-11-13	2025-11-13	AD



TOWN OF
SOUTH BRUCE
PENINSULA



G. M. DIEMERT ARCHITECT INC.
Suite 201
957 Fourth Avenue East
OVERSEAS, ONTARIO, N4K 2N6
Tel: 519-376-1975

OWNER:
Town of South Bruce Peninsula
315 George Street
Warton, N4K 2T0

PROJECT:
New Townhall Offices
370 William Street, Warton, Ontario

Drawing Number:
A-200

Project Number:
2404

ORIGINAL DRAWING
SHEET ARCH E 1/200 x
110mm (48" x 30")

OWNER:
Town of South Bruce Peninsula
315 George Street
Warton, N4K 2T0

PROJECT:
New Townhall Offices
370 William Street, Warton, Ontario

Drawing Number:
A-200

Project Number:
2404

ORIGINAL DRAWING
SHEET ARCH E 1/200 x
110mm (48" x 30")

OWNER:
Town of South Bruce Peninsula
315 George Street
Warton, N4K 2T0

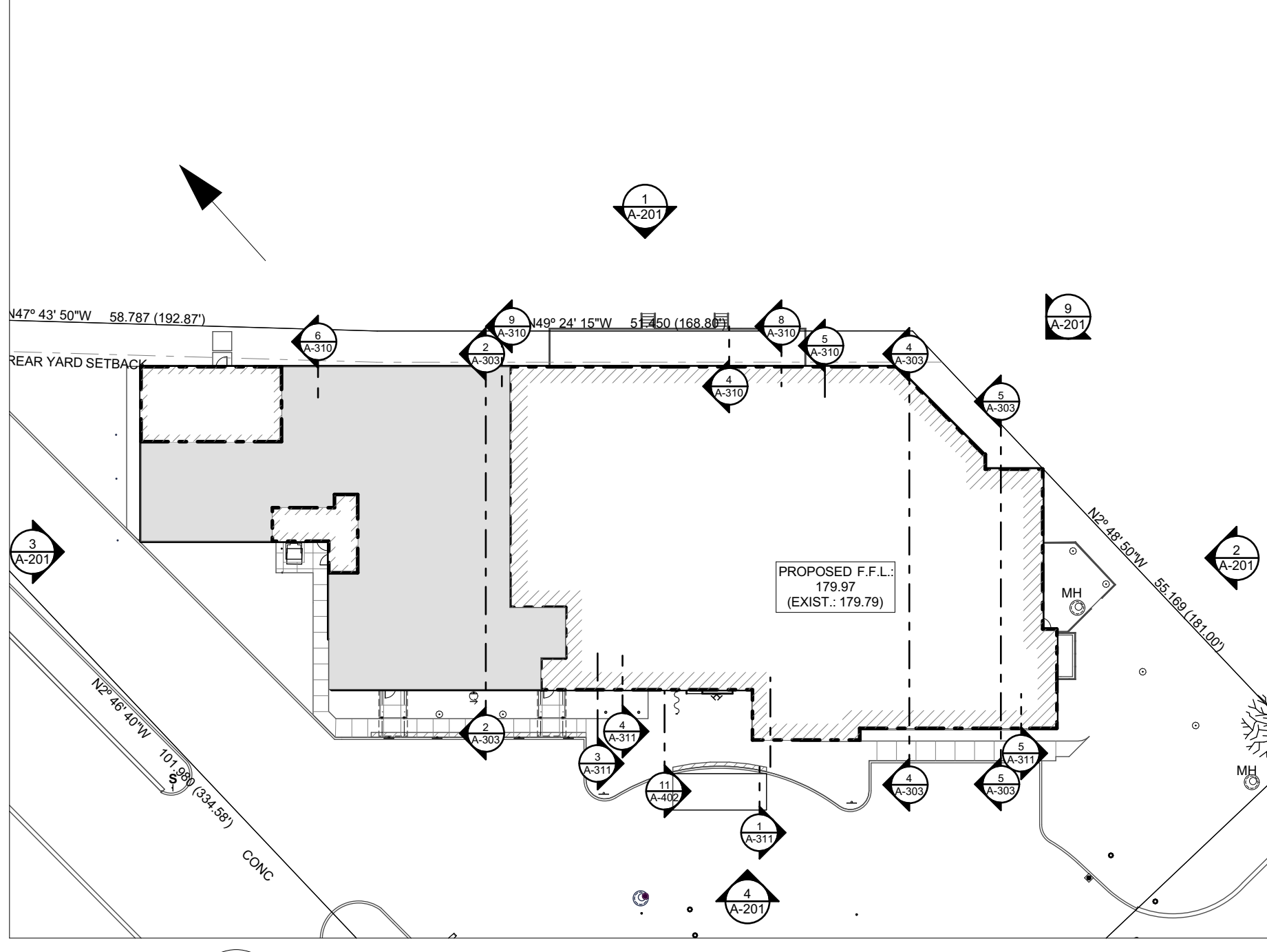
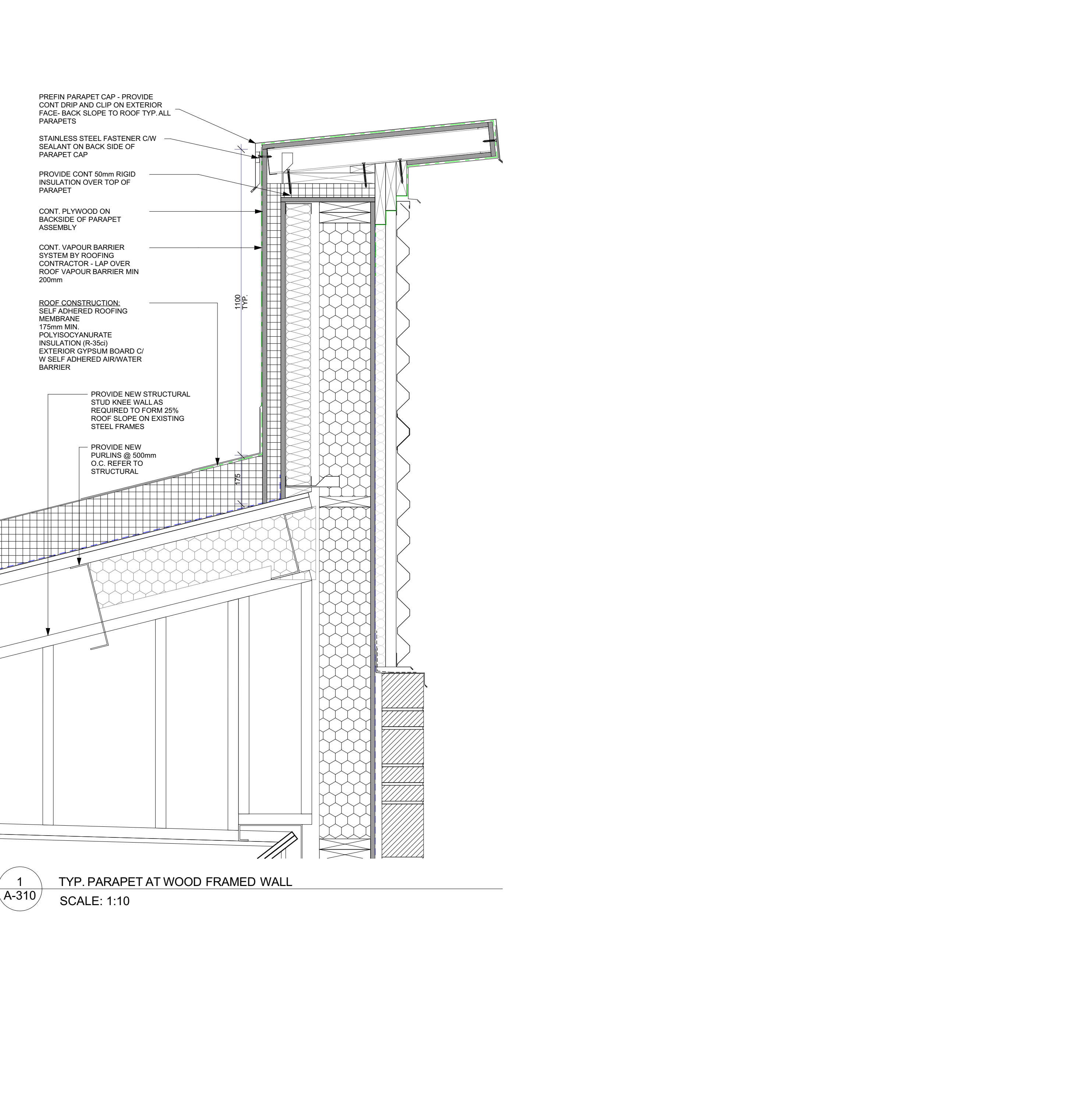
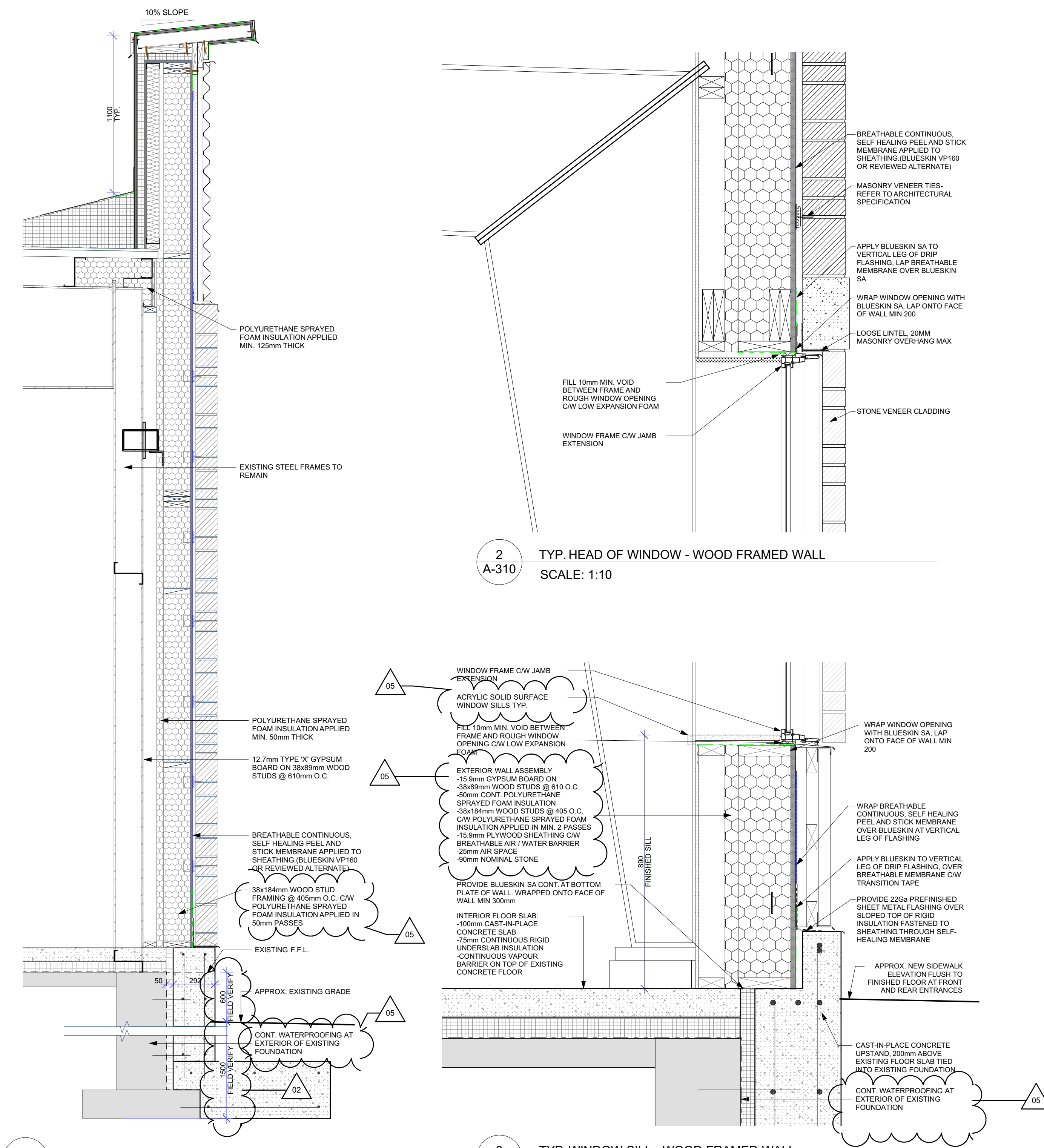
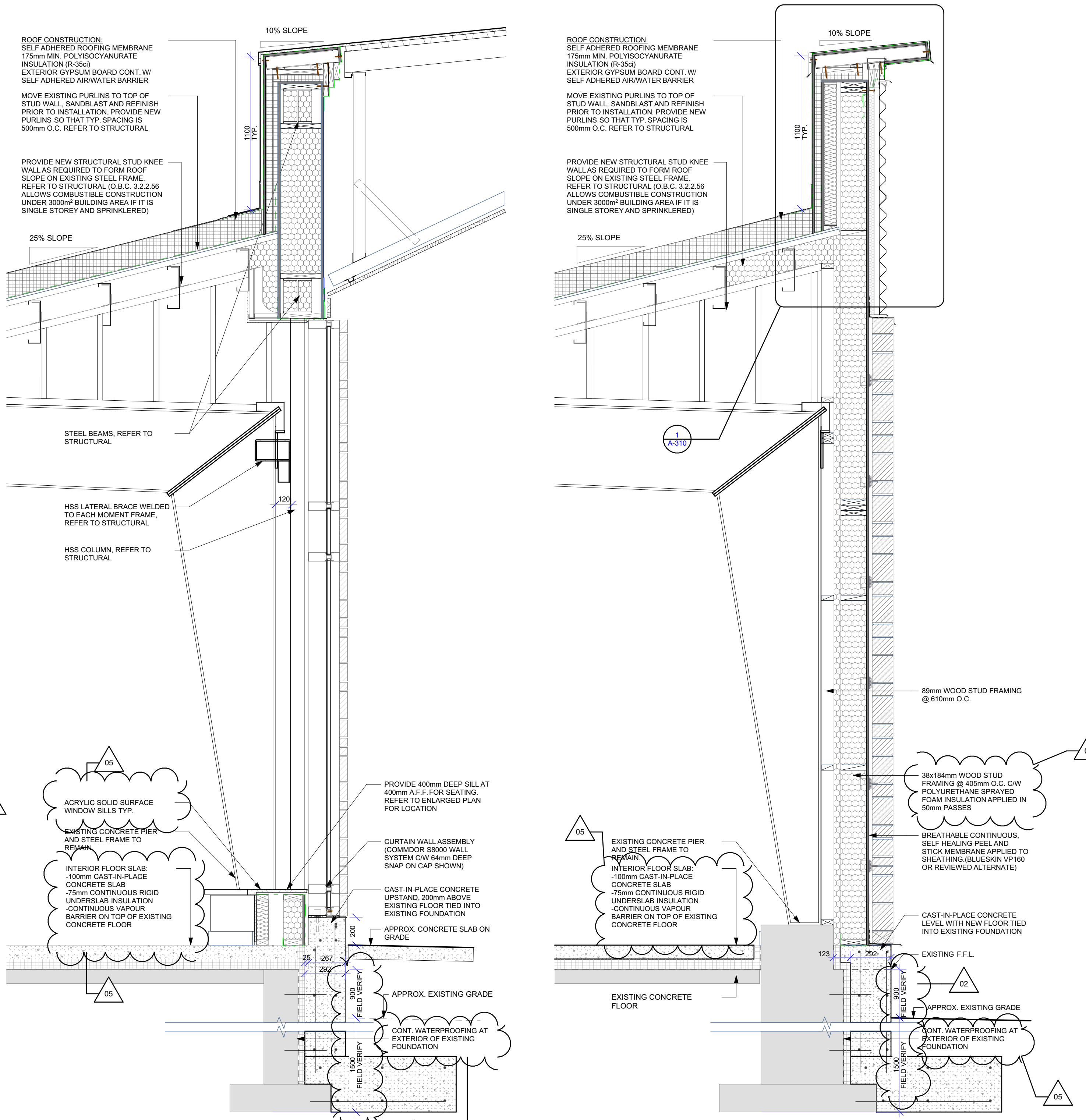
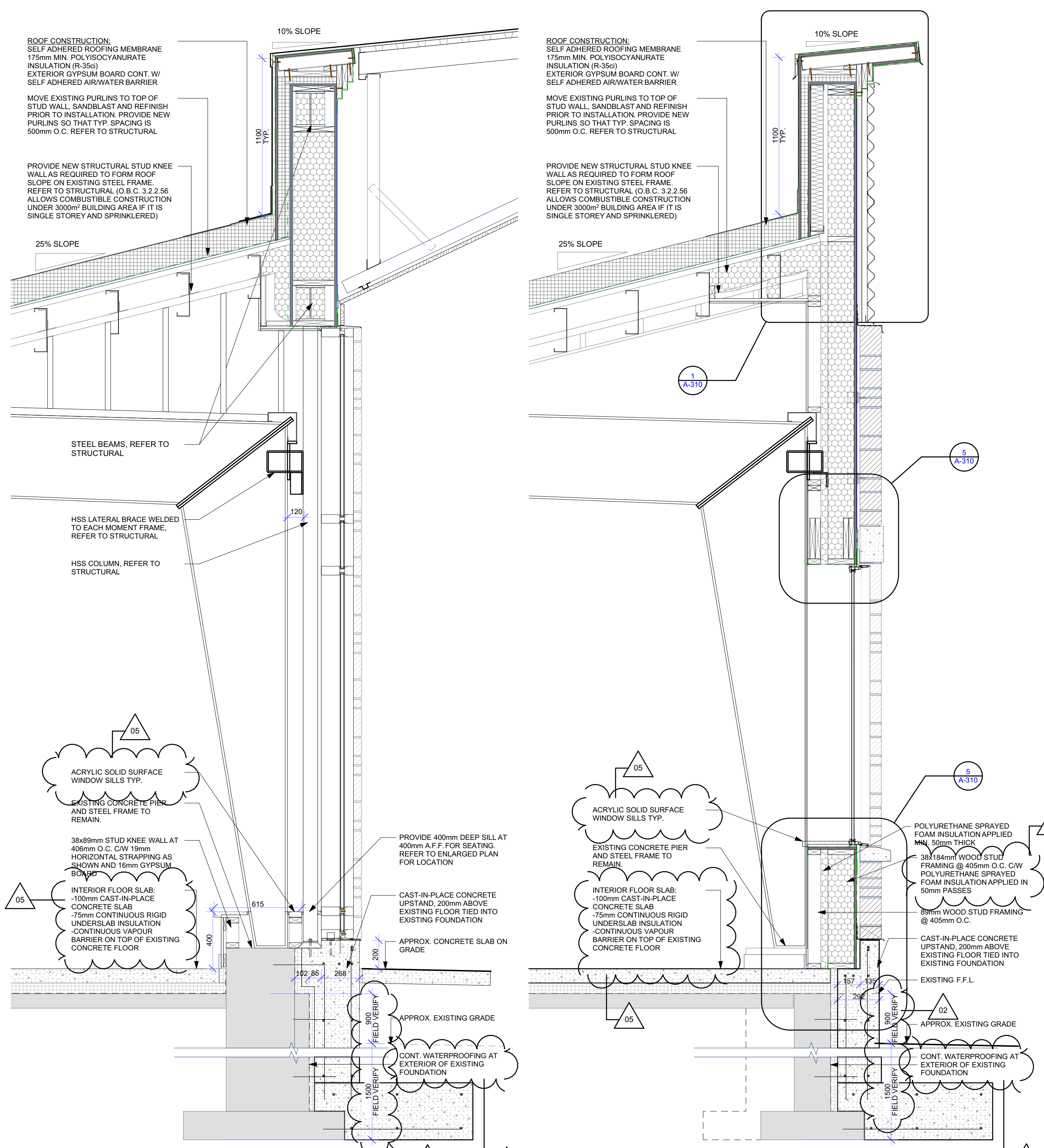
PROJECT:
New Townhall Offices
370 William Street, Warton, Ontario

Drawing Number:
A-200Project Number:
2404ORIGINAL DRAWING
SHEET ARCH E 1/200 x
110mm (48" x 30")

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Town of South Bruce Peninsula
315 George Street
Warton, N4K 2T0

PROJECT:
New Townhall Offices
370 William Street, Warton, Ontario

Drawing Number:
A-200Project Number:
2404ORIGINAL DRAWING
SHEET ARCH E 1/200 x
110mm (48" x 30")



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TOWN OF
SOUTH BRUCE
PENINSULA

OWNER:
Town of South Bruce Peninsula
315 George Street
Warton, N4R 2T0

PROJECT:
New Townhall Offices
957 Fourth Avenue East
OVERSEAS, ONTARIO, N4R 2N6,
Tel: 519-376-1975

Drawing Number:
A-310

Project Number:
2404

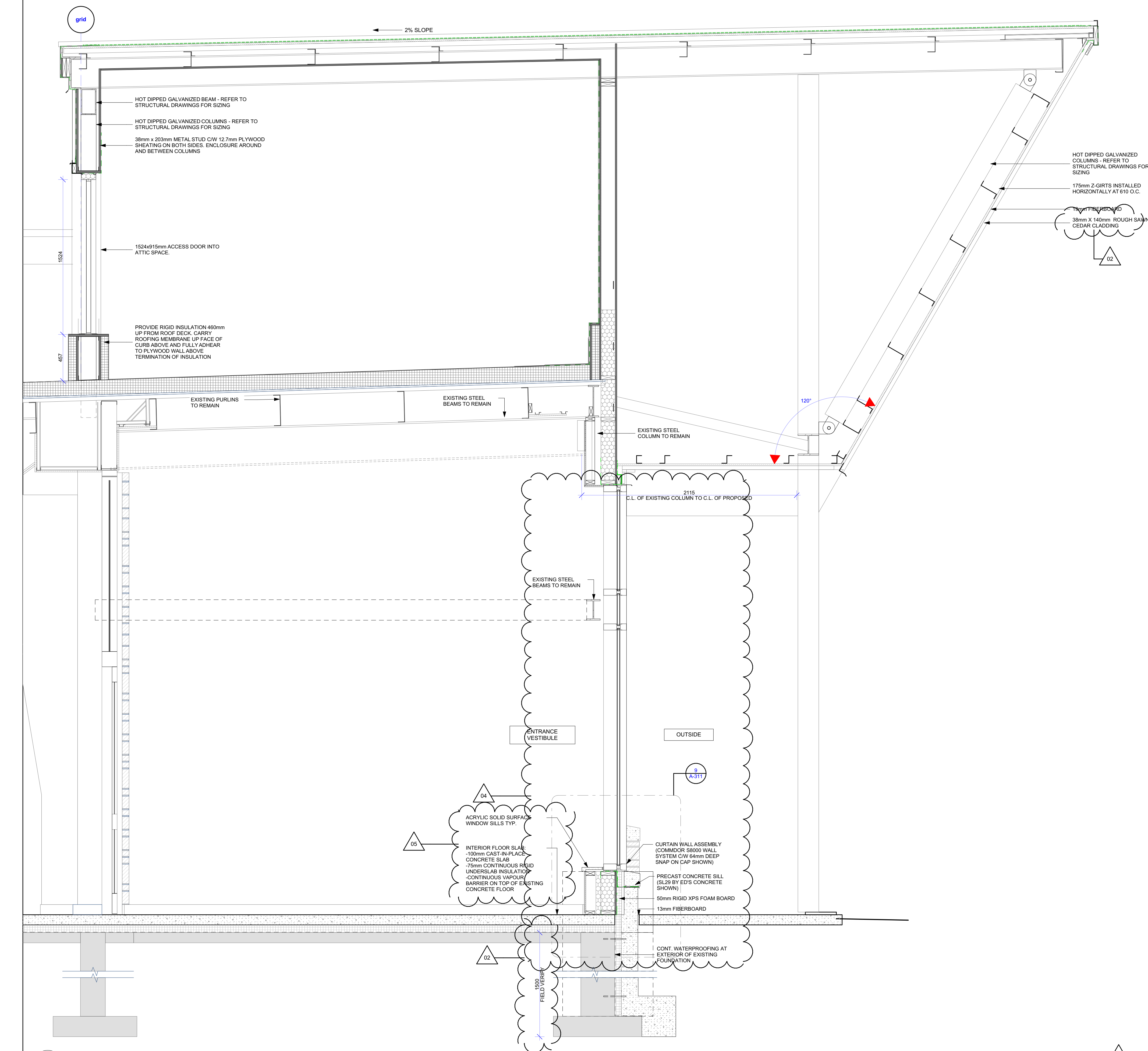
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REVISIONS:

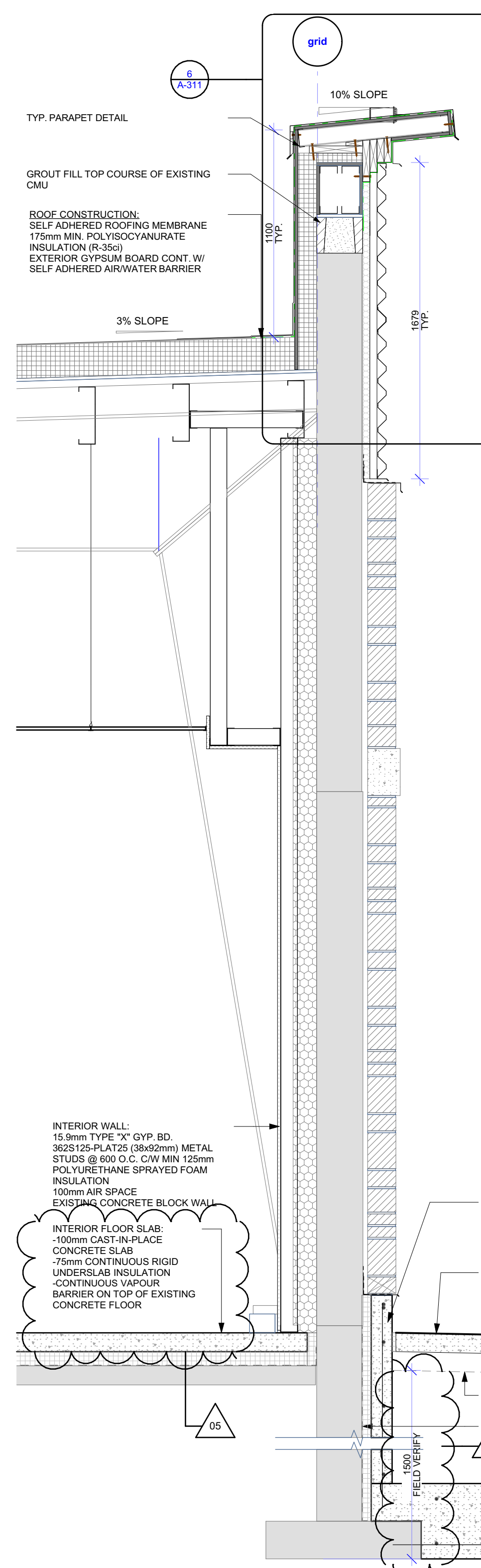
NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2025-10-27

Revision History

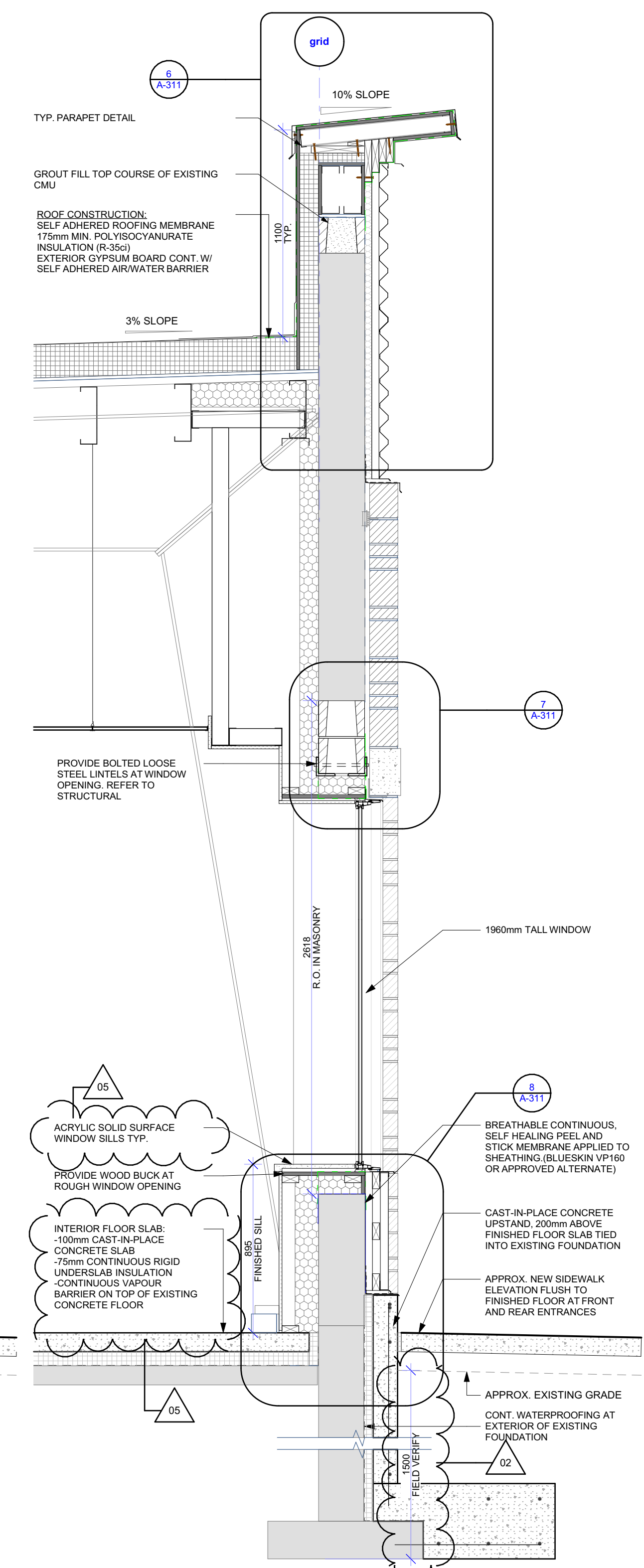
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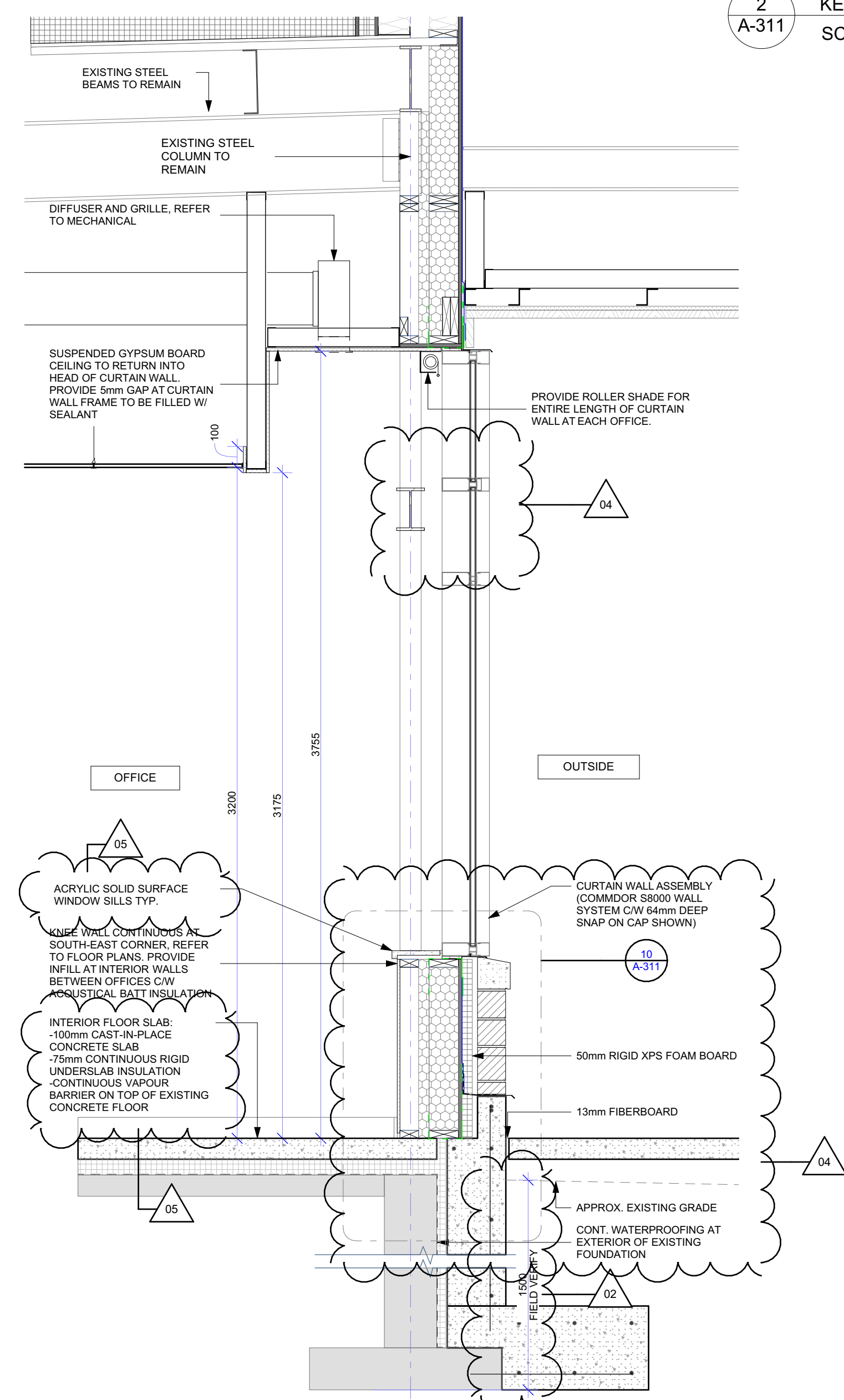
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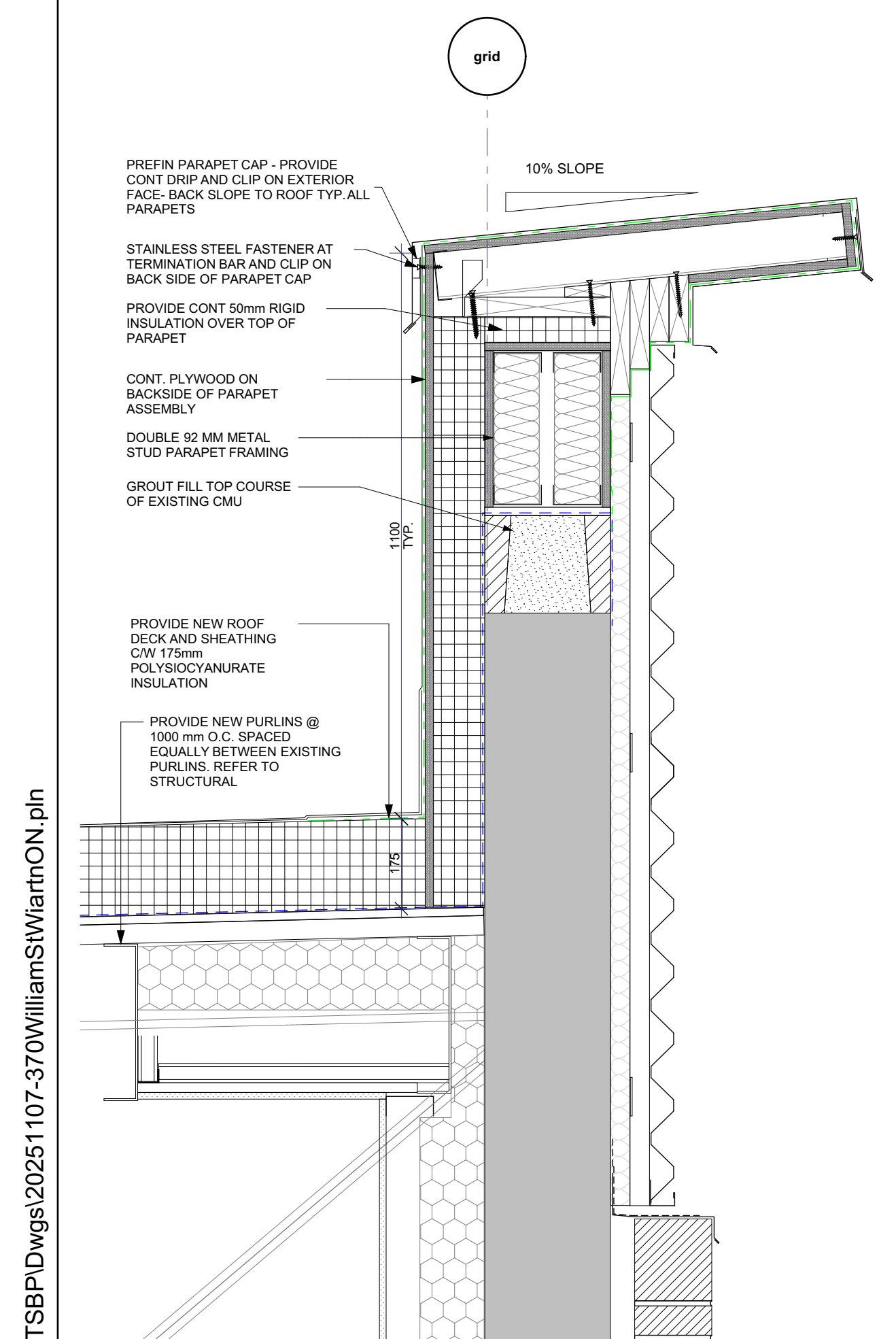
3 SECTION THROUGH W1C BLOCK WALL
SCALE: 1:20



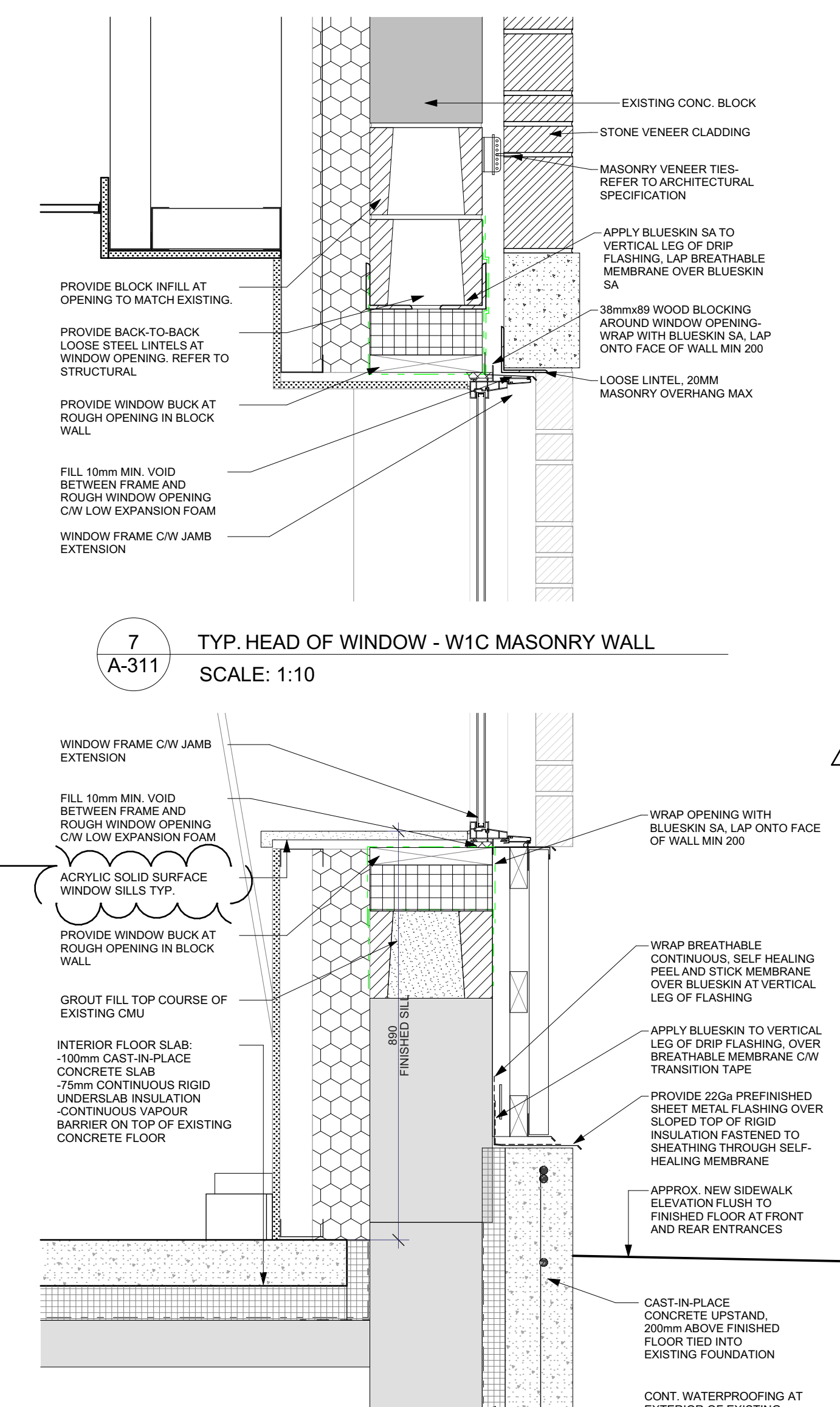
4 SECTION THROUGH W1C BLOCK WALL AT WINDOW
SCALE: 1:20



5 SECTION THROUGH W1B WALL AT SOUTH OFFICE
SCALE: 1:20

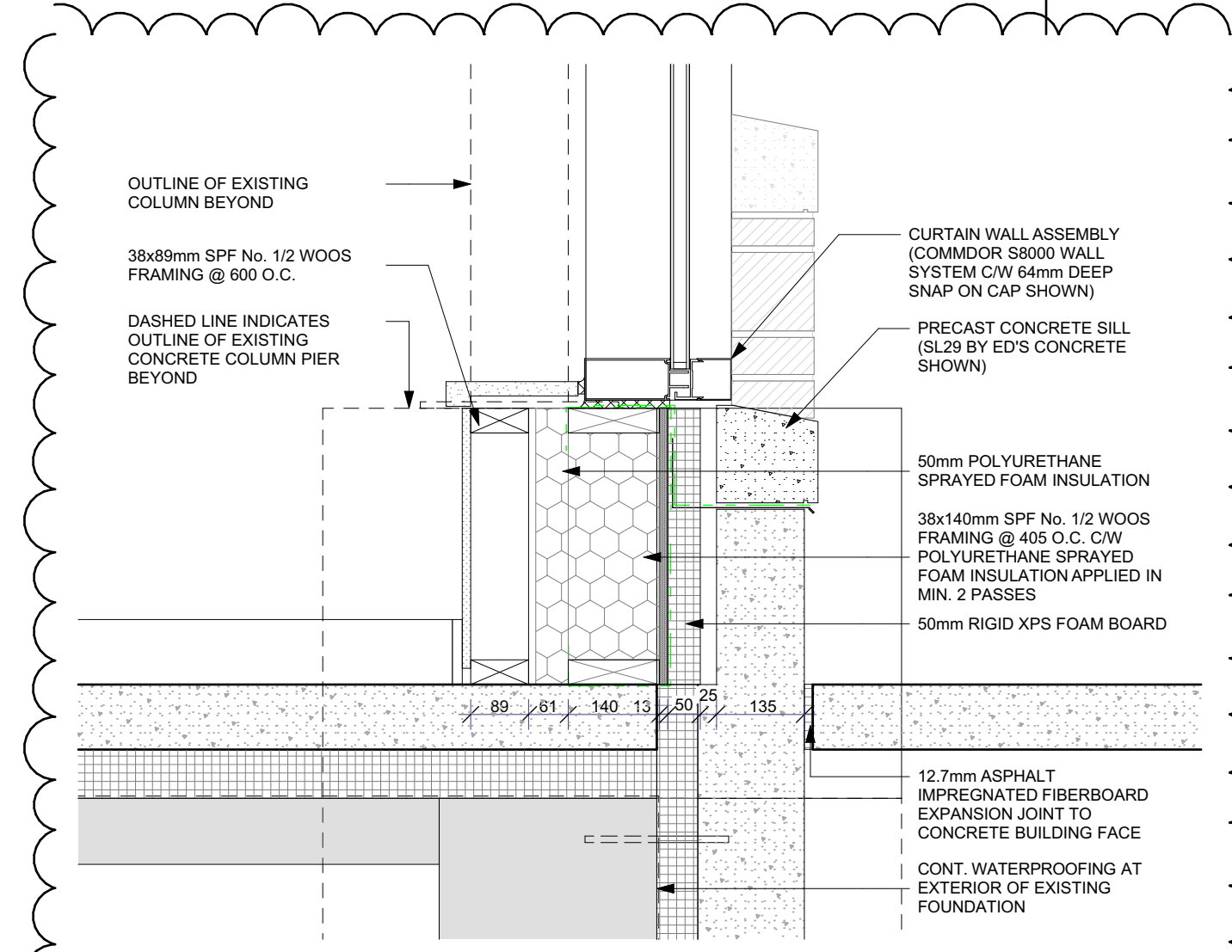


6 TYP. PARAPET AT MASONRY WALL
SCALE: 1:10

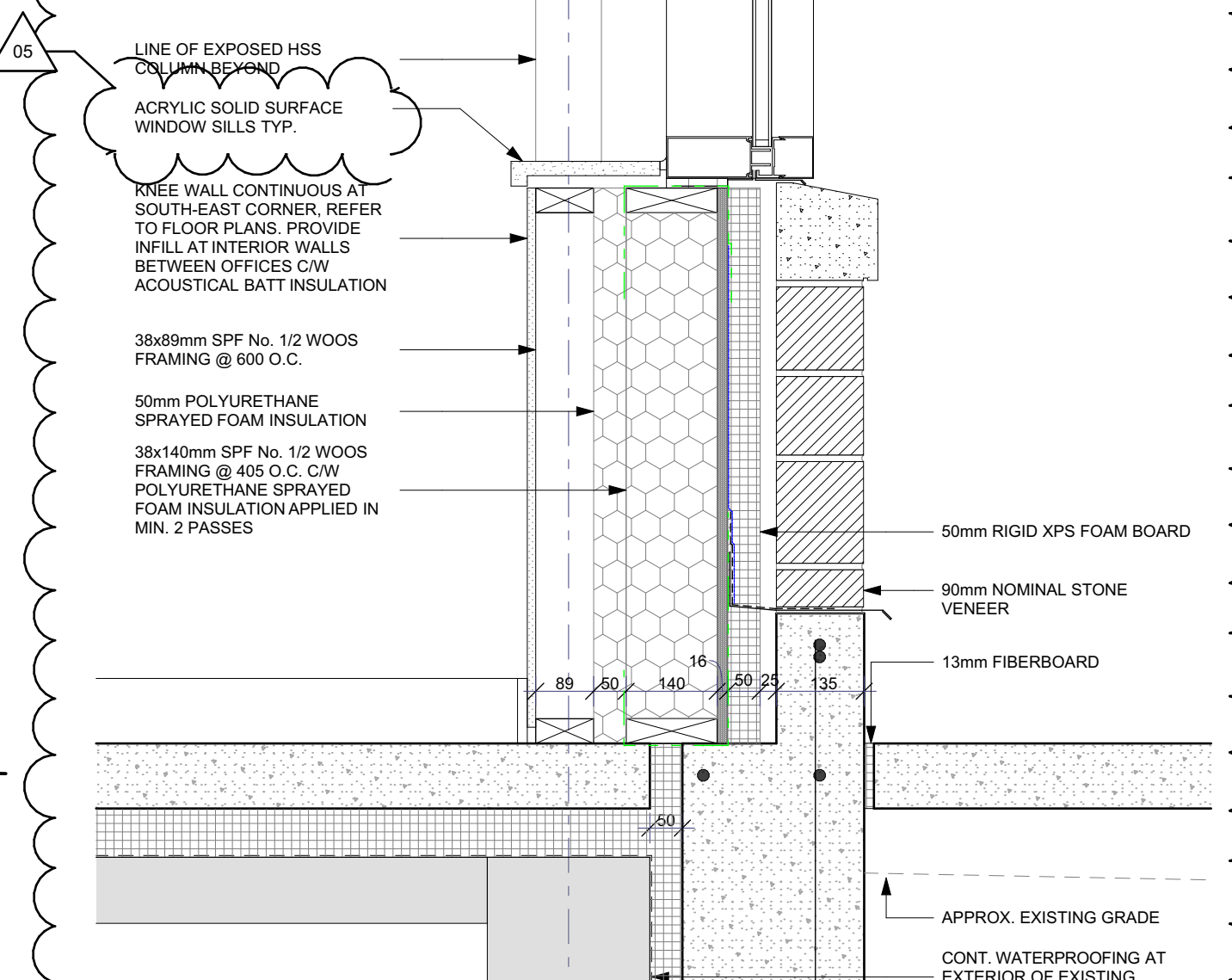


7 TYP. HEAD OF WINDOW - W1C MASONRY WALL
SCALE: 1:10

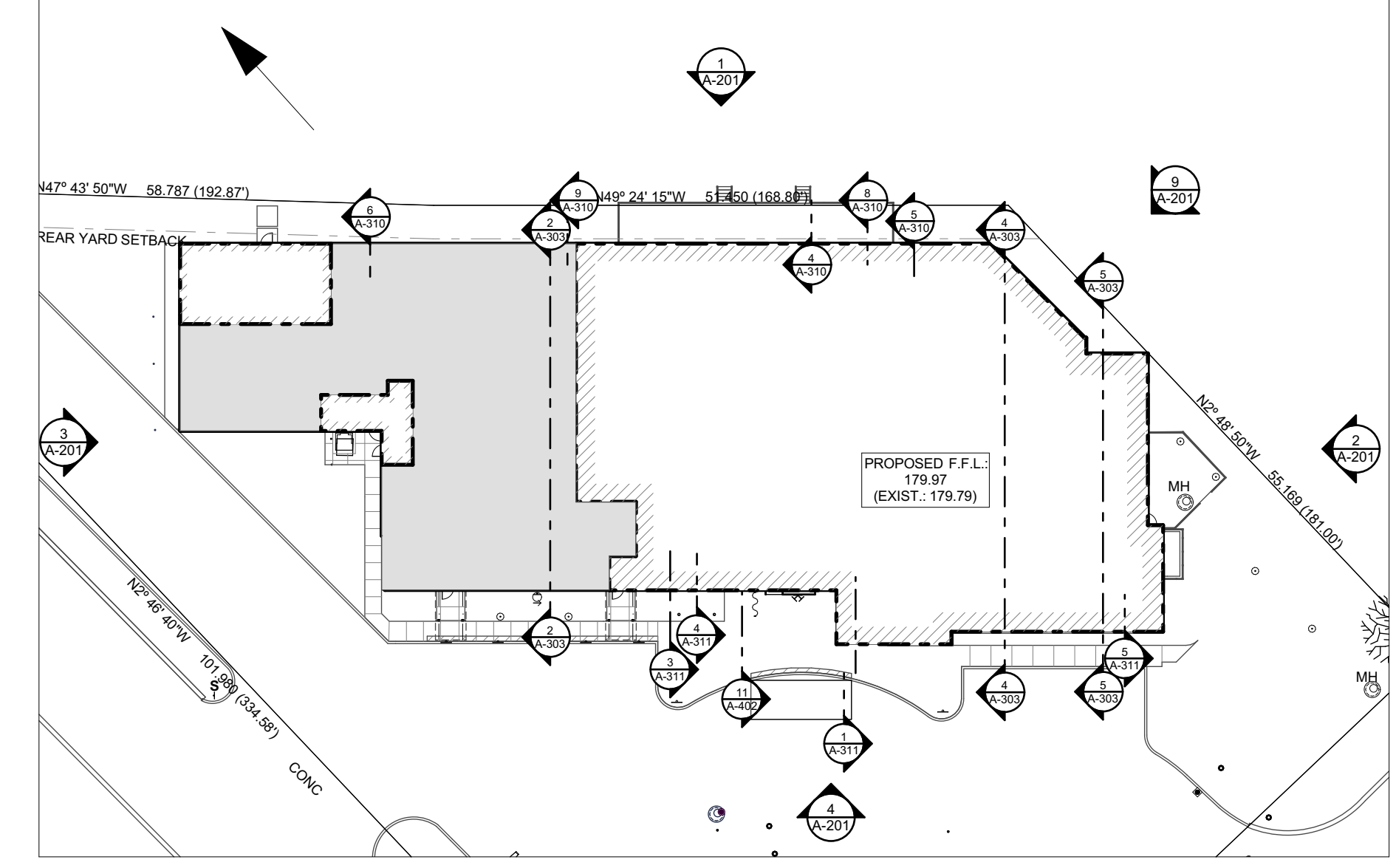
8 TYP. WINDOW SILL - W1C MASONRY WALL
SCALE: 1:10



9 SECTION THROUGH BASE OF W1B WALL - VESTIBULE
SCALE: 1:10



10 SECTION THROUGH BASE OF W1B WALL - OFFICE
SCALE: 1:10



2 KEY PLAN - NEW
SCALE: 1:500

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TOWN OF
SOUTH BRUCE
PENINSULA

OWNER:
Town of South Bruce Peninsula
315 George Street
Warton, ON N2Y 2T0

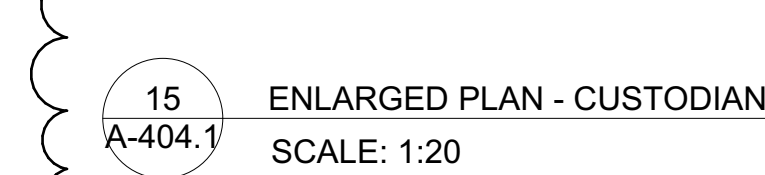
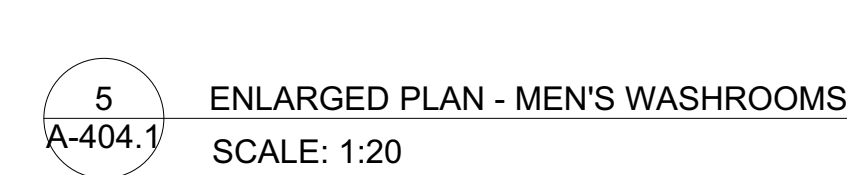
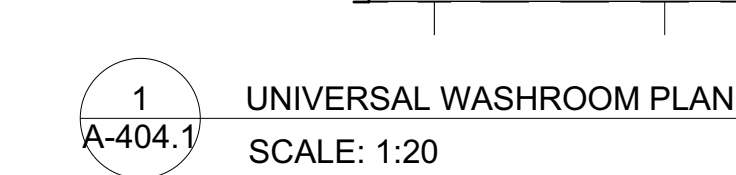
PROJECT:
New Townhall Offices
370 William Street, Warton, Ontario

G. M. DIEMERT ARCHITECT INC.
Suite 201
957 Fourth Avenue East
Owen Sound, Ontario, N4K 2N6
Tel: 519-376-1975

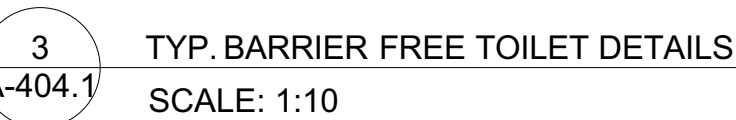
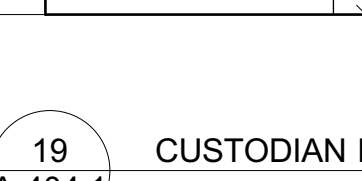
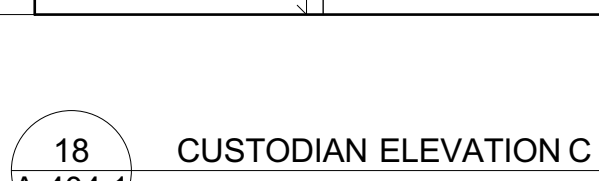
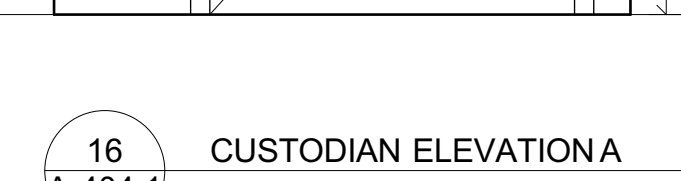
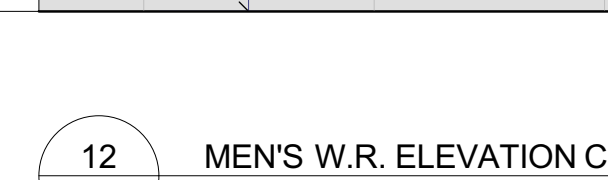
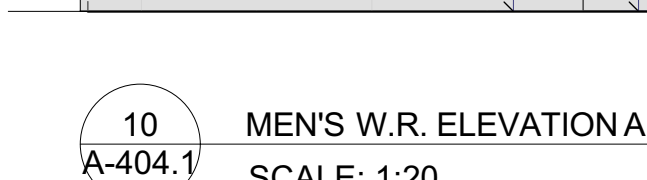
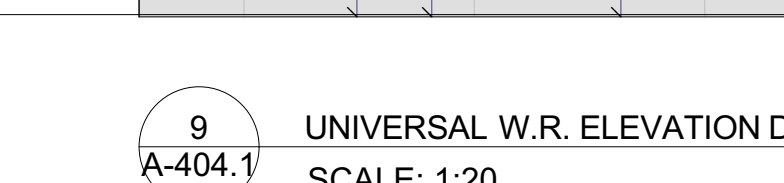
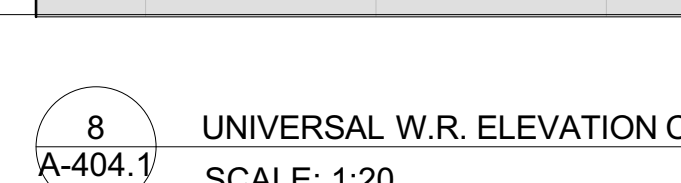
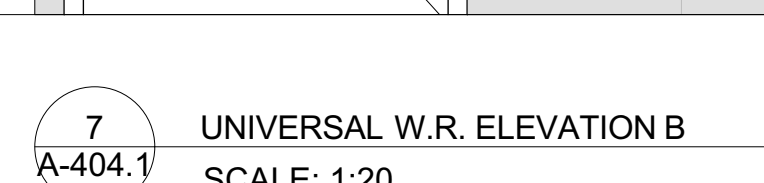
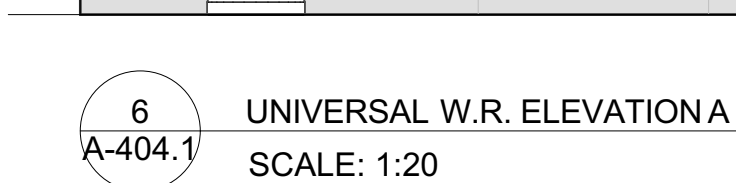
Revision History			
Revision	Description	Date	By
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2	REVISED PER COMMENTS	2025-11-10	GD
3	REVISED PER COMMENTS	2025-11-10	GD

Drawing Number: **A-311** Project Number: **2404**

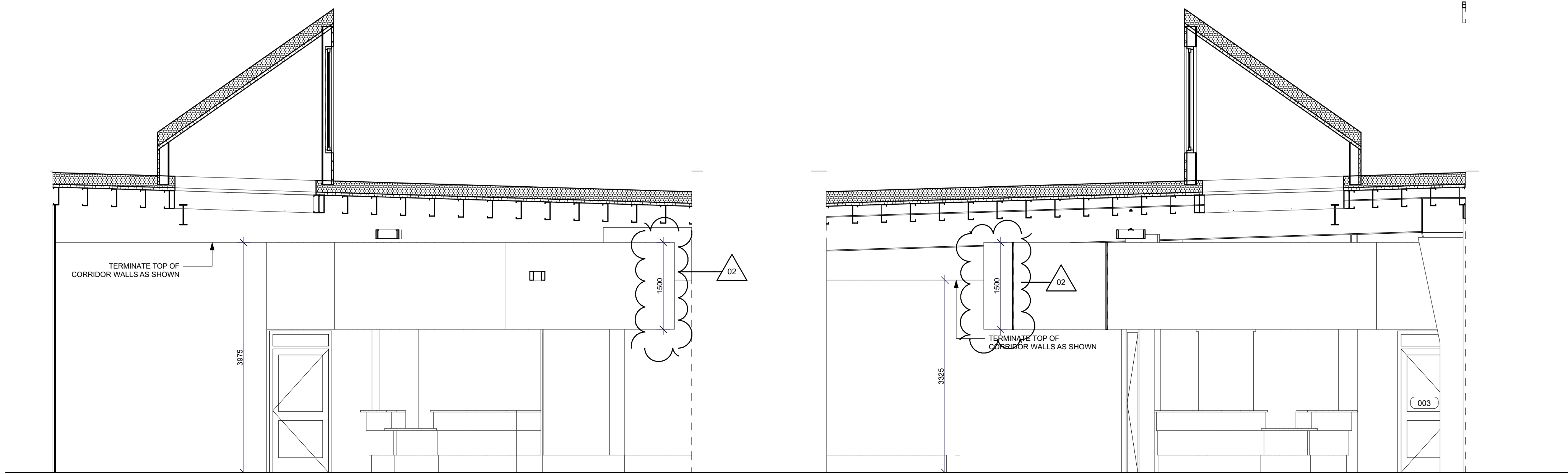
ORIGINAL DRAWING
SHEET ARCH E 1/200 x 1/100mm (A4 x 30)



FINISH NOTES	
FC-01	INTEGRAL FLASH COVE BASE TO MATCH FLOORING
SP-01	STAINLESS STEEL PANEL FLASHED INTO MOP SINK
WP-01	RESILIENT WALL PROTECTION (ACROYN OR CORROGUARD)

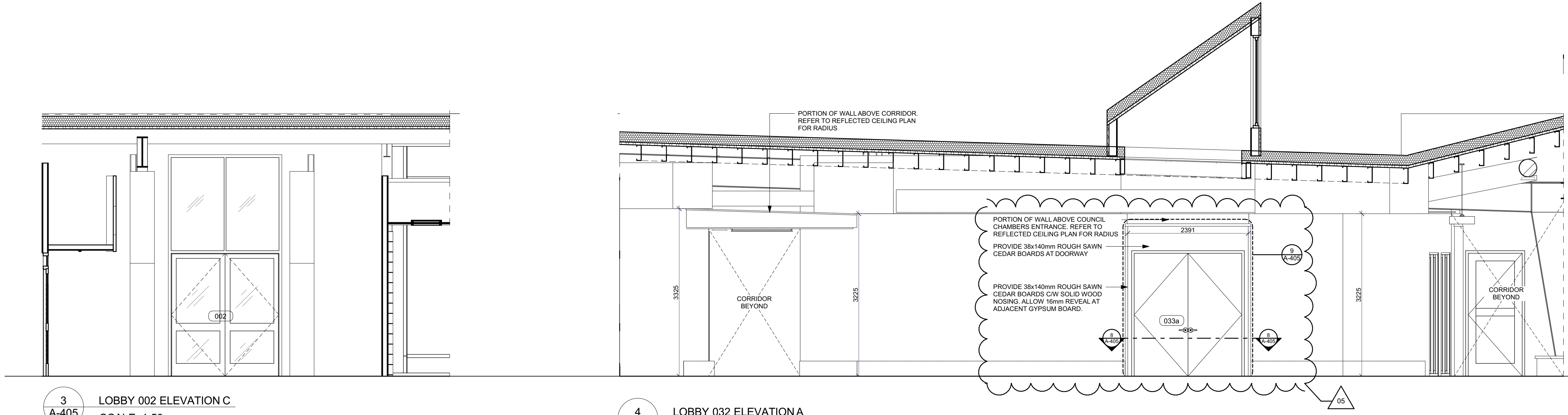


05	ADD-04	ADDENDUM 04	2025.12.
03	ADD-02	ADDENDUM 02	2025.11.
01		ISSUED FOR TENDER	2025.10.
RevID	Change	Revision	Date



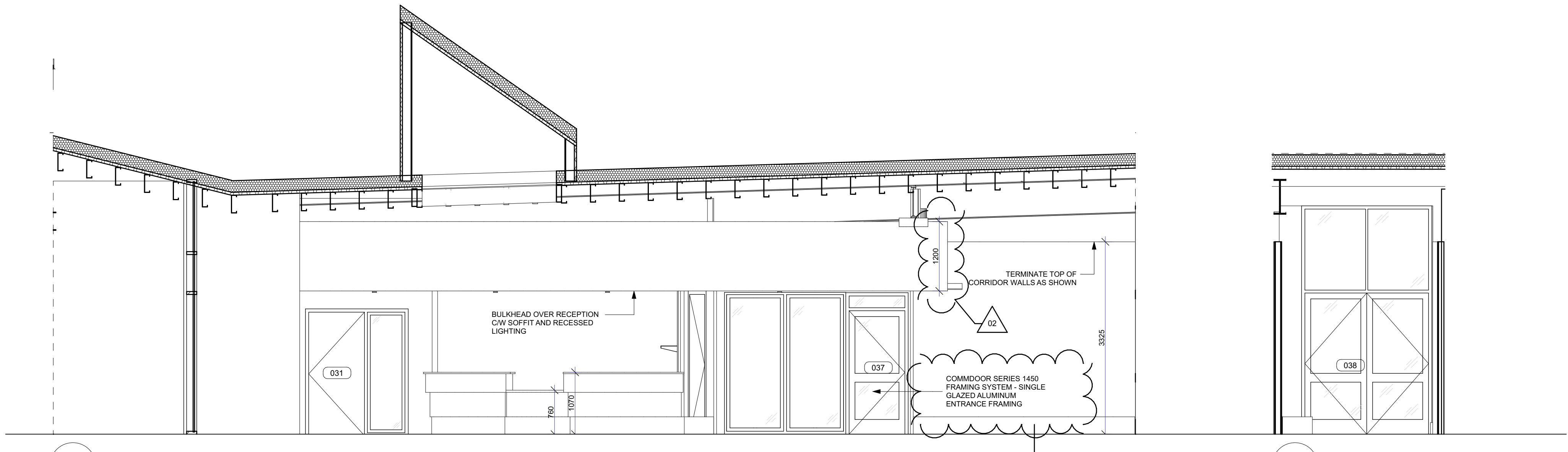
1 LOBBY 002 ELEVATION A
SCALE: 1:50

2 LOBBY 002 ELEVATION B
SCALE: 1:50



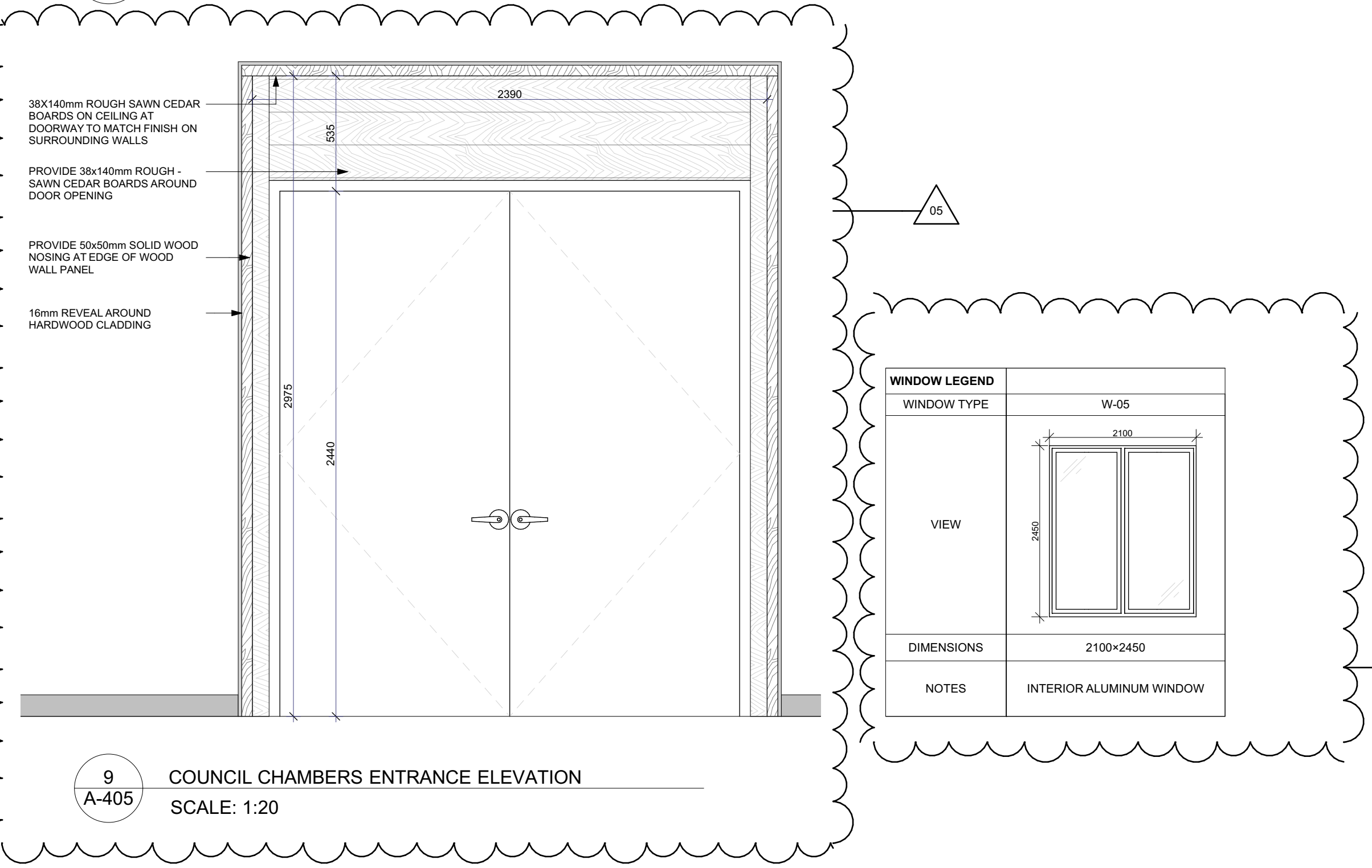
3 LOBBY 002 ELEVATION C
SCALE: 1:50

4 LOBBY 032 ELEVATION A
SCALE: 1:50

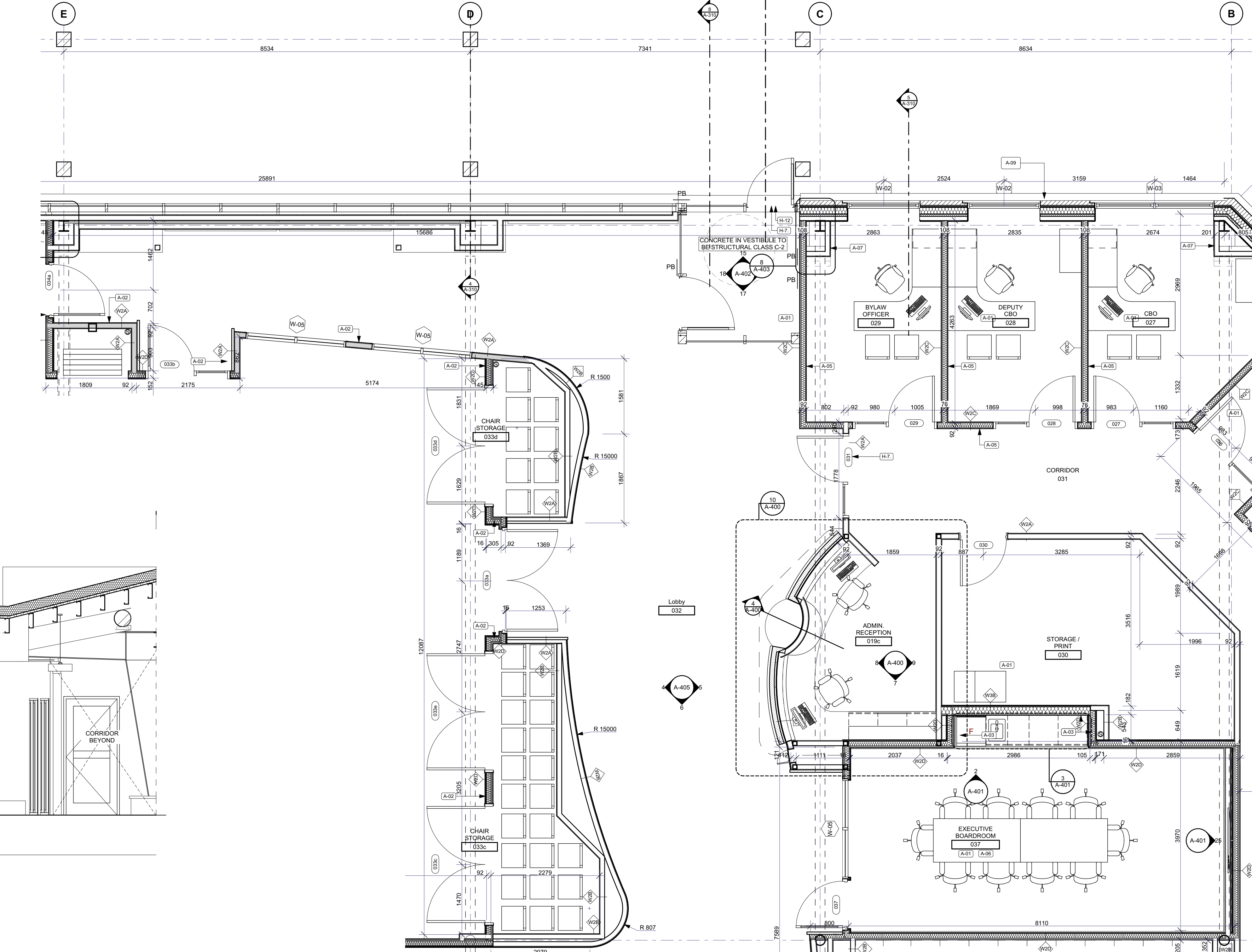


5 LOBBY 032 ELEVATION B
SCALE: 1:50

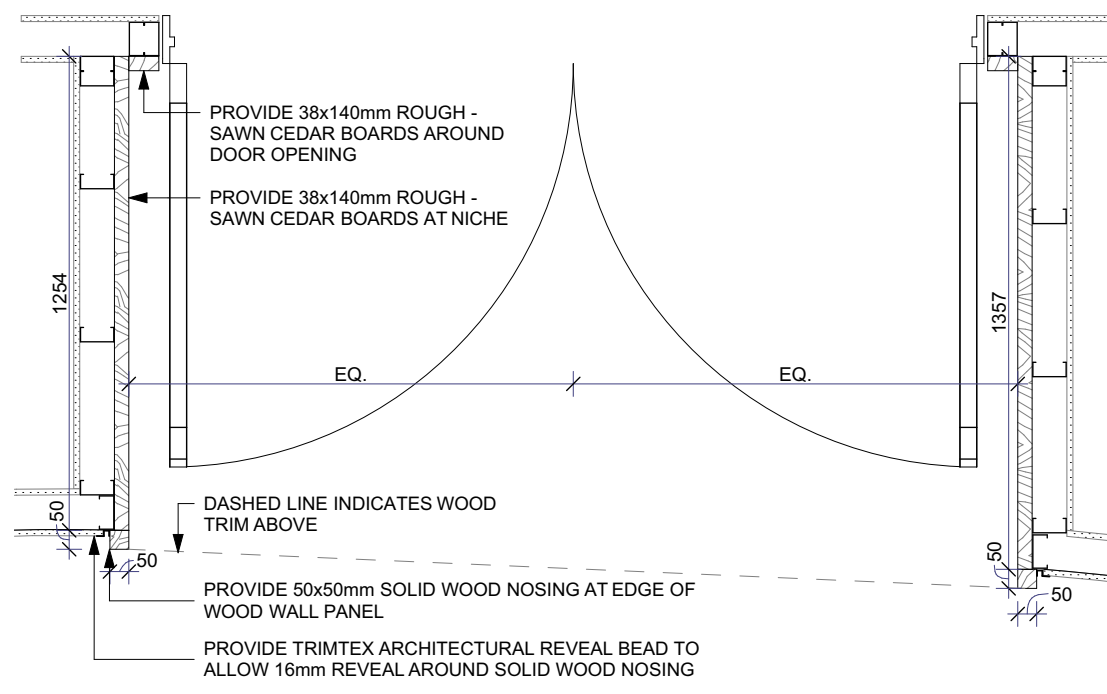
6 LOBBY 032 ELEVATION C
SCALE: 1:50



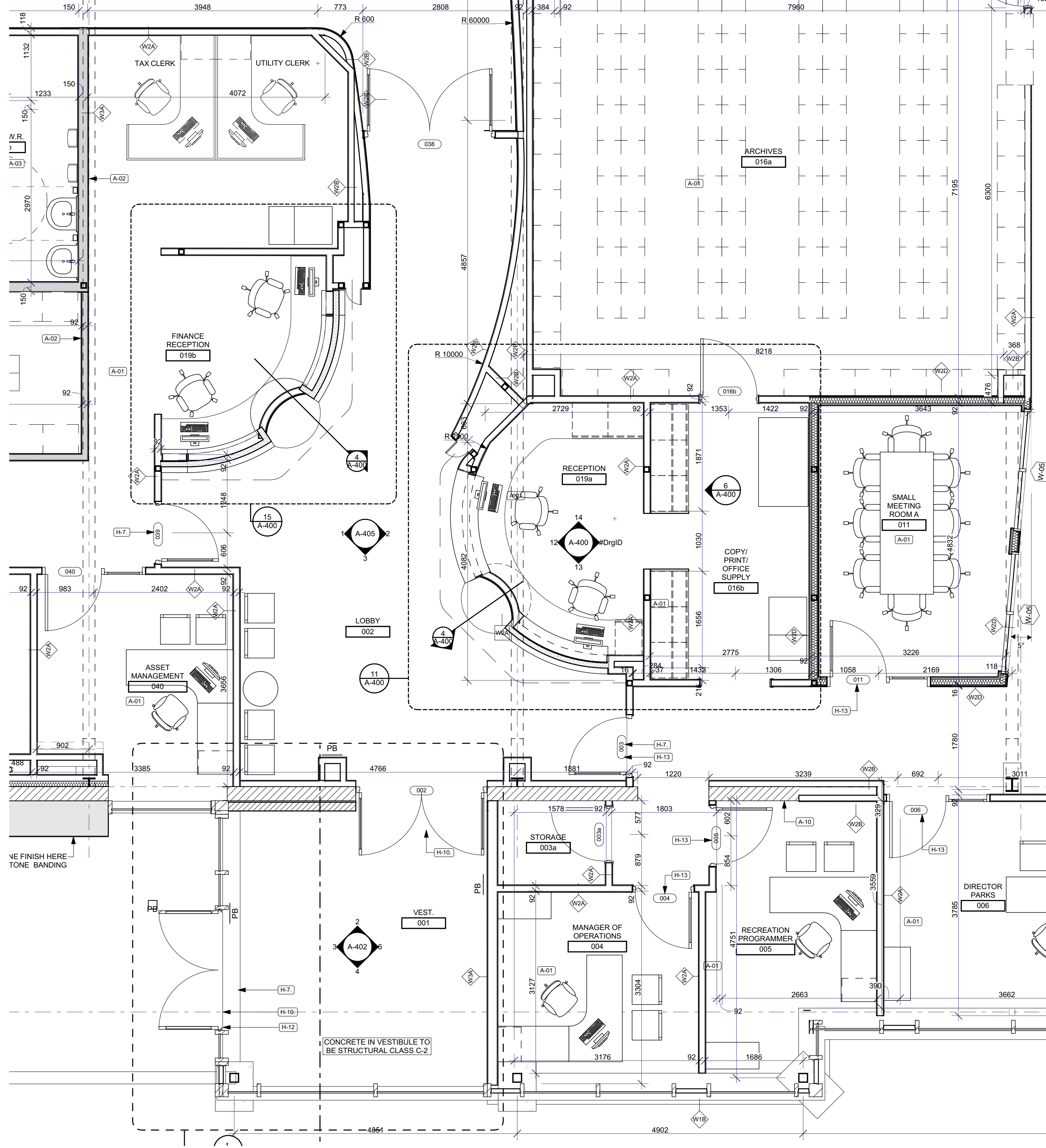
9 COUNCIL CHAMBERS ENTRANCE ELEVATION
SCALE: 1:20



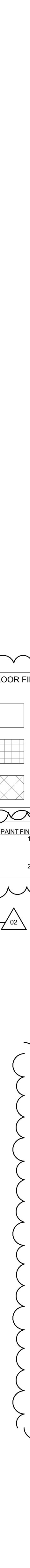
7 GROUND FLOOR-1:50
SCALE: 1:50



8 SECTION THROUGH COUNCIL CHAMBERS ENTRANCE
SCALE: 1:20



7 GROUND FLOOR-1:50
SCALE: 1:50

[illegible]