



Addendum #3

**Question & Answer
Request for Proposal**

for

RFP No. ORE20251180
BA Inclusive ECE Student Common Room Alteration

Issued: November 27, 2025

**Addendum #3 to Request for Proposal No: RFP No. ORE20251180
BA Inclusive ECE Student Common Room Alteration**

This Amendment consists of 25 pages, including the cover sheet.

No.	Question	University Response
1	What is the assembly for the new partition for the Study Lounge area. It also has what appears to be a glass screen incorporated into it. What is the screen framing material and glass specification?	Drawing A102 updated.
2	Please confirm that all existing flooring is to remain.	Yes, confirmed.
3	Is the GC responsible for furniture relocation?	Yes.
4	Is the GC supposed paint the existing lockers? What is the specification for this paint?	Lockers finishes by owner, not in scope. Drawings updated accordingly.
5	Is the existing floor a raised access floor or will we need to trench the floor for the new floor boxes?	Raised access floor.
6	Please provide a specification for the floor boxes.	Floor boxes are only being moved no additional are required

No.	Question	University Response
7	Are the proposed power plug switches to be surface mounted?	Surface mounted on brick veneer finish, and concealed in drywall area. Patch and repair drywall as required.
8	Is there sufficient space on the existing panel for the new circuits?	GC's electrical trade to verify.
9	Are the millwork and countertop only for the Study Counter space? Could you please provide the specifications?	Wilsonart standard laminate Designer White D354-60 Matte finish on 2x25mm plywood
10	Could you please provide the assembly for P3 partition?	Drawing A102 updated.
11	The drawings show P3 under glass (partition) could you please provide the glass/metal specifications?	Drawing A102 updated.
12	Is it a union job? What are the working hours?	Please follow procurement rules for the University. VOR's under 100k need to be unionized and above 100 Local 27 Regular working hours. Can start at 7am making noise

No.	Question	University Response
13	Are the walls that need to be cut for the electrical installation made in drywall? Would you have any specs for the bricks?	Surface mounted on brick finish, and concealed in drywall area. Patch and repair drywall as required.
14	Since the suspended (metal) floor will be cut for the installation of the electrical box, would you have the carpet specifications in case repairs are needed?	There is additional carpet in storage if required Attic Stock
15	Should the contents be removed and stored by the GC?	Contents can be shifted to the East side of the room there should be able space.
16	Is there any parking lot that can be used by GC?	Parking is available for purchase at contractors expense https://transportation.utoronto.ca/commercial/ to use unreserved spaces at the downtown campus
17	Is it possible to store any materials within the workspace?	The area will become a construction site contractors can store materials in BA1120
18	Could you please provide the wallpaper specification?	Removed for the scope

No.	Question	University Response
19	Please provide the manufacturer and full specifications of the proposed partition, as well as detailed installation information showing how the partition will be fixed to the existing access flooring.	Updated, Drawing A102
20	Please provide detailed construction drawings for the millwork cabinet, countertop, and support brackets, top platform including all specified materials and finishes.	Drawing A301 updated.
21	Detail 6/A201 shows a support bracket for the countertop at the left end only. If additional support brackets are required at other locations, please specify their positions. Also, provide details on how the countertop is attached to the concrete column.	Drawing A301 updated.
22	Detail 6/A201 – Please provide a wood blocking detail showing how the support bracket is to be attached.	Drawing A301 updated.
23	Detail 6/A201 – Please confirm that the electrical conduits for power outlets and switches are to be concealed within the drywall. Additionally, please provide a typical section of the existing wall behind the countertop to determine whether the concrete at the base of the wall needs to be broken to route the electrical conduit from the access flooring.	Surface mounted on brick finish, and concealed in drywall area. Patch and repair drywall as required.

No.	Question	University Response
24	Detail 7/A201- Please provide a wood blocking detail showing how the support brackets and upper cabinet is to be attached.	Drawing A301 updated.
25	Please confirm that the brick finish shown in Detail 7/A201 is a thin brick veneer. In addition, provide the manufacturer and product specifications for the brick finish. Please also submit the complete wall assembly details for the brick finish wall so we can perform repairs following the installation of wood blockings.	Yes, thin brick veneer.
26	Detail 7/A201 - Please provide a typical section of the existing wall behind the countertop to determine whether the concrete at the base of the wall needs to be broken to route the electrical conduit from the access flooring.	Surface mounted on brick finish, and concealed in drywall area. Patch and repair drywall as required.
27	Details 6/A201 and 7/A201 indicate a millwork platform located at the top of the upper cabinet. Please provide a detailed description of how this platform is secured to the wall.	Drawing A301 updated.
28	Detail 5/A202 – Please provide a detailed how wood blocking is to be installed to support the TV.	No specific standard

No.	Question	University Response
29	Please clarify what is meant by 'Proposed Painting' as referenced in Detail 3/A202.	Not in scope of GC. Drawings updated.
30	Please confirm whether a texture coating is present on the existing walls. If so, provide details or specifications for restoring the wall finish after the installation of wood blocking and conduits.	Existing thin brick veneer to remain. Drywall finish to be patch and repair as required for electrical work. No texture coating in the room.
31	Drawing A103 indicates new electrical floor boxes on the existing access flooring. Please provide the specifications for the floor boxes and identify the contractor who originally installed the existing access floor system.	Existing floor boxes are to remain. No new floor boxes just moving of existing
32	Please confirm that all furniture shown on Drawing A102 will be supplied and installed by the Owner.	Yes.
33	Please confirm that all demolition items shown on Drawing A101 are to be removed and disposed of by the Contractor.	Yes.
34	Could you please explain the reason for the extended project duration from December 15, 2025, to May 2026?	This is for internal use if the project can be completed earlier please provide a schedule

No.	Question	University Response
35	Provide the required assembly and finish specifications for the proposed partition if it is to be constructed as a drywall system. Also provide the glazing partition specifications as shown in detail 4/A202.	Drawing A102
36	Please confirm that the power supply for the new single-gang power switches and floor boxes will be sourced from the existing electrical panel located in the common room.	Yes.
37	Please provide the paint specification if the existing lockers are to be repainted as part of this tender.	Lockers finishes by owner, not in scope
38	Are the supports @ the countertops to be custom? Or something off the shelf from Richieleu etc.?	Drawing A301 updated.
39	Just to confirm, no bonds required for this job?	Confirming that no bonds are required for this job, unless your offer exceeds \$500,000. If the offer is over that amount, a bond will be required.
40	What is the spec on a power plug switch?	Drawings updated.

No.	Question	University Response
41	Can you share the floor box specification?	Existing floor boxes are to remain. Already answered
42	Are all the circuits dedicated or shared?	Shared
43	Please provide some details for the proposed partition on the new floor plan.	Drawing A102
44	Is there a designated location to put the lockers for relocation?	To be determined
45	Is there a list of prequal abatement contractors for UofT?	There is no asbestos or abatement for this project
46	Please provide the manufacturer and full specifications of the proposed partition, as well as detailed installation information showing how the partition will be fixed to the existing access flooring.	Drawing A102 updated.
47	Please provide detailed construction drawings for the millwork cabinet, countertop, and support brackets, top platform including all specified materials and finishes.	Drawing A301 updated.

No.	Question	University Response
48	Detail 6/A201 shows a support bracket for the countertop at the left end only. If additional support brackets are required at other locations, please specify their positions. Also, provide details on how the countertop is attached to the concrete column.	Drawing A301 updated.
49	Electrical: Confirm electrical services to all locations in layout can be accessed from the raised floor system existing	Yes, confirmed.
50	Electrical: Confirm no Data is required within the scope of work	Confirmed.
51	Electrical: How are the electrical receptacles shown in 7/A201 supposed to be roughed in in an existing brick wall to remain? Are exposed conduits acceptable?	Surface mounted on brick finish, and concealed in drywall area. Patch and repair drywall as required.
52	Electrical: In other cases similar to “item d” above, but the wall is not brick. Are we supposed to conceal the conduits?	Surface mounted on brick finish, and concealed in drywall area. Patch and repair drywall as required.
53	Electrical: How many dedicated new circuits are required for the new receptacles, where is the panel and how far from work area	GC electrical trade to verify.

No.	Question	University Response
54	Electrical: 2/A201 is showing new lighting fixtures (green pendant lights). This is not shown anywhere else on drawings . Please confirm these lights are not part of the scope.	Drawing A201 updated.
55	Electrical: Confirm TV is not part of the scope of this project. In case it is, please confirm model and quantities	Confirmed.
56	Architectural: Provide assembly construction of P3 and framing material for glass and glass thickness.	Drawing A102 updated.
57	Architectural: Confirm furniture is supplied and installed by owner.	Yes, confirmed.
57	Architectural: Provide more specific details (e.i. pattern, type, code , manufacturer) of Wallpaper WF-5.	Drawings A202 updated.
59	Electrical	<p>No ne florr boxe just proposed new location.</p> <p>At counter 5x kitchen outlets needing 3x 20a/120v circuits</p> <p>3x new wall outlets (one in study lounge two by windows seating- 1x 15a/120v circuit</p>

No.	Question	University Response
60	Could you please explain the reason for the extended project duration from December 15, 2025, to May 2026?	The timeline from December 15, 2025, to May 2026 is the planned project duration and contract term, not an extension. It reflects the scope and seasonal considerations.
61	Architectural: Confirm material and color for the Study counter upper cabinet, bulkhead and counter.	Drawing A201 updated.
62	Please confirm if new furniture will be supplied and installed by owner, is there any coordination required on our end?	Refer item #32
63	Drawing A103- Finishes schedule- WF-5 notes custom wallpaper. Please clarify what is expected.	Drawing A103 updated.
64	Drawing A201- Study Counter- What is supporting elevated shelf above the upper cabinet millwork?	Drawing A201 updated.
65	Drawing A201- Study Counter- Elevation 02- there appears to be a span of unsupported countertop, please clarify.	Drawing A201 updated.
66	New proposed partition- please confirm if lateral bracing is required, how will the wall be supported?	Drawing A102
67	Please provide a specification for the new glazing and frame.	Drawing A102

No.	Question	University Response
68	Are we to assume circuits are to be run from existing panel?	Yes.
69	Please confirm the number of circuits in the existing panel.	GC electrical trade to verify.
70	Please confirm if wall mounted conduit is acceptable.	Surface mounted on brick finish, and concealed in drywall area. Patch and repair drywall as required.
71	Please confirm if there are any power requirements within the new proposed partition.	Refer to updated drawings.
72	Please confirm if there are power requirements for the new wall mounted TV	Refer to updated drawings.
73	Please provide specifications for new floor boxes.	Existing floor boxes are to remain.
74	Please provide millwork construction specifications- Cabinet & countertop material, edge banding, hardware, P-Lam.	Drawing A301 updated.
75	<u>Electrical:</u> Confirm Model and quantities of the Electrical floor boxes required.	Existing floor boxes are to remain.

END OF ADDENDUM # 3

ALTERATIONS, ECE STUDENT COMMON RM

44 ST GEORGE ST, TORONTO, ON M5S 2E4

UNIVERSITY OF TORONTO

ISSUED FOR: CONSTRUCTION - ADDENDUM-01

ISSUE DATE: NOV 27, 2025

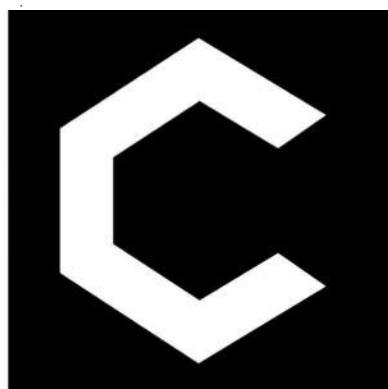


SHEET LIST	
SHEET NUMBER	SHEET NAME
A000	COVER PAGE
A001	SITE PLAN
A101	PART MAIN FLOOR - EXISTING LAYOUT
A102	PART MAIN FLOOR - PROPOSED LAYOUT
A103	PART MAIN FLOOR - FINISHING LAYOUT
A111	PART MAIN FLOOR - REFLECTED CEILING LAYOUT
A201	STUDY COUNTER - DETAILS
A202	STUDY LOUNGE - DETAIL
A203	STUDENT COMMON ROOM - DETAIL
A301	MILWORK DETAILS
A901	3D VIEWS



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FACILITIES & SERVICES
PROPERTY MANAGEMENT GROUP
4TH FLOOR, 255 MCCAUL ST, TORONTO
ON, M5T 1W7



C-Architecture

202 - 3485 REBECCA ST, OAKVILLE
ON L6L 0H4

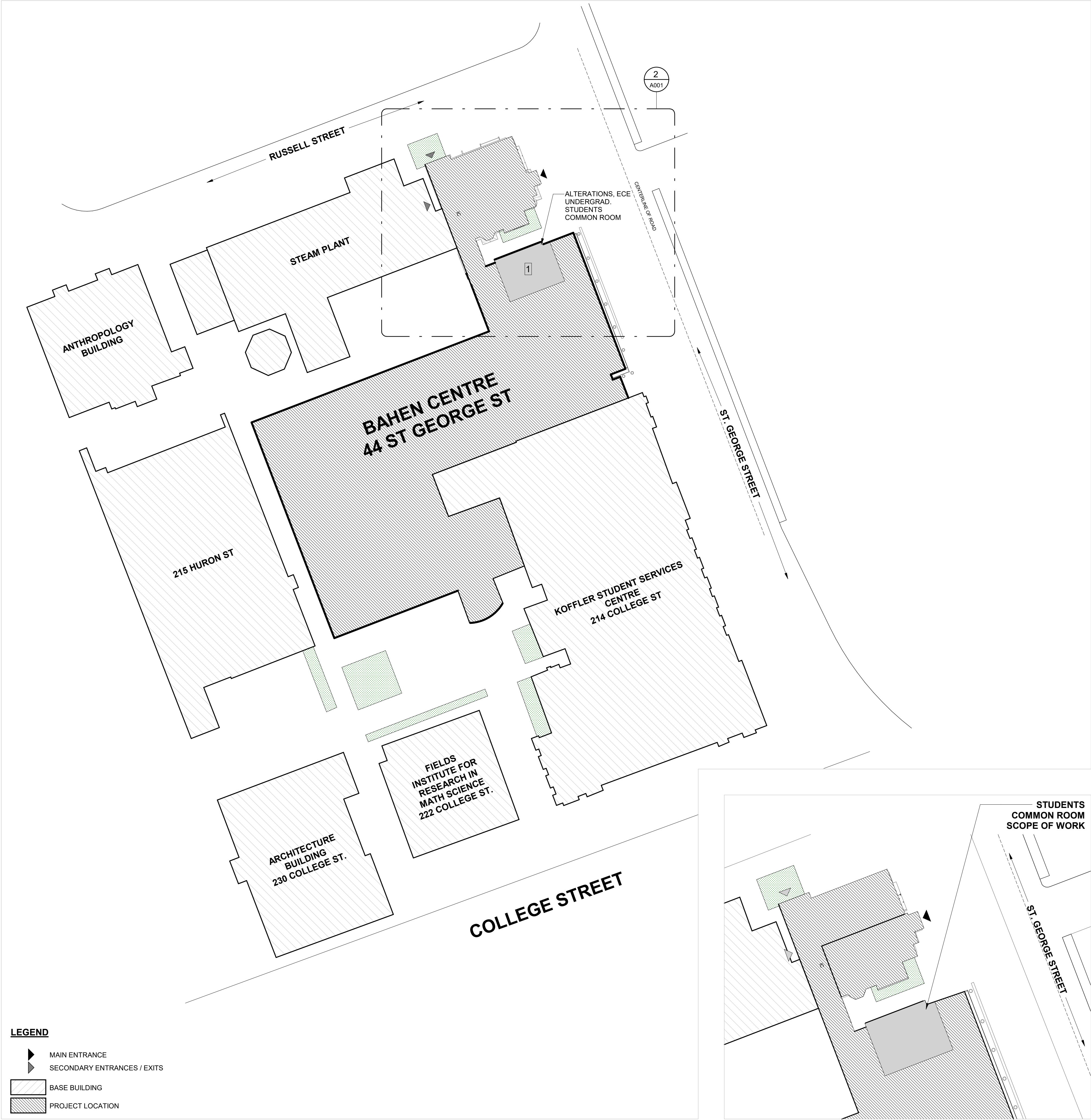
P: 905.847.7177 | E: info@c-archi.com

PROJECT #: 24-114


PROJECT TEAM:

ARCHITECT



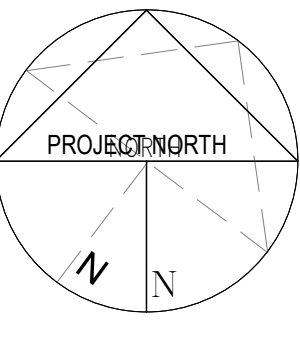
C-ARCHITECTURE LTD.
M. ARSHAD SIDDIQUI, OAA
647.741.5917
arshad@c-archi.com



FIRM NAME: CERTIFICATE OF PRACTICE NUMBER: THE CERTIFICATE OF PRACTICE NUMBER OF THE HOLDER IS THE HOLDER'S BCDN		C-ARCHITECTURE LTD 6394 ARSHAD SIDDIQUI, OAA 8950									
		ONTARIO BUILDING CODE DATA MATRIX PART 3					2024 OBC REFERENCE <small>REFERENCES ARE TO DIVISIONS A, B AND C NOTED IN THE DIVISION A OR (C) FOR DIVISION C</small>				
3.00	BUILDING CODE VERSION	O Reg. 332/12		LAST CODE AMENDMENT		O Reg. 163/24					
3.01	PROJECT TYPE	ALTERATION INTERIOR ALTERATIONS WITHIN ECE STUDENT COMMON ROOM ALTERATION					[A] 1.3.3.2				
3.02	MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY		USE		3.1.2					
3.03	SUPERIMPOSED MAJOR OCCUPANCIES	NA NA		DAYCARE CENTRE		3.2.2.7.					
3.04	BUILDING AREA (m²)	EXISTING TO REMAIN									
		DESCRIPTION	EXISTING	NEW	TOTAL	[A] 1.4.1.2.					
		MAIN BUILDING	10528.00	0.00	10528.00						
		TOTAL	10528.00	0.00	10528.00						
3.05	GROSS AREA (m²)	DESCRIPTION	EXISTING	NEW	TOTAL	[A] 1.4.1.2.					
		GROSS AREA	36847.00	0.00	36847.00						
		TOTAL	36847.00	0.00	36847.00						
3.06	MEZZANINE AREA (m²)	DESCRIPTION	MEZZ TYPE	EXISTING	NEW	TOTAL	3.2.1.1.				
				0.00	0.00	0.00					
				0.00	0.00	0.00					
		TOTAL	—	—	—						
3.07	BUILDING HEIGHT	9	STOREYS ABOVE GRADE		[A] 1.4.1.2. &						
		4	STOREYS ABOVE GRADE		3.2.1.1.						
3.08	HIGH BUILDING	YES	3.2.6.								
3.09	NUMBER OF STREETS / FIREFIGHTER ACCESS	2	3.2.2.10 & 3.2.5.								
3.10	BUILDING CLASSIFICATION	3.2.2.23.	GROUP A, DIVISION 2, ANY HEIGHT, ANY AREA, SPRINKLERED			3.2.2.20-83					
3.11	SPRINKLER SYSTEM	REQUIRED	PROVIDED	ENTIRE BUILDING			3.2.1.5. & 3.2.2.17, 3.2.2.18, 3.2.4.8 TO 3.2.4.10 AND 3.2.5.13.				
		DESCRIBE	NOT APPLICABLE								
3.12	STANDPIPE SYSTEM	REQUIRED	3.2.9.								
3.13	FIRE ALARM SYSTEM	REQUIRED	TYPE PROVIDED SINGLE STAGE					3.2.4.			
3.14	WATER SERVICE / SUPPLY IS ADEQUATE	YES	3.2.5.7.								
3.15	CONSTRUCTION TYPE	BASED ON	3.2.2.23.	3.2.2.220-83.							
		RESTRICTIONS	NONCOMBUSTIBLE								
		ACTUAL	NONCOMBUSTIBLE	HEAVY TIMBER CONSTRUCTION NO				3.2.1.4.			
3.16	OCCUPANT LOAD	FLOOR LEVEL AREA	OCCUPANT TYPE	OCCUPANT LOAD (PERSONS)	BASED ON	POSTED LIMIT REQUIRED	3.1.17. AND 3.1.17. (2)				
		DAYCARE - CHILDREN	ETR	ETR	ETR	ETR					
		DAYCARE - STAFF	ETR	ETR	ETR	ETR					
		TOTAL	ETR								
3.17	BARRIER-FREE DESIGN	YES	—		3.8						
		MINIMUM NUMBER OF PEDESTRIAN ENTRANCES REQUIRED TO BE BF	EXISTING TO REMAIN		3.8.1.2.						
		MINIMUM NUMBER OF UNIVERSAL WASHROOMS PER BUILDING	EXISTING TO REMAIN		7.3.8.2.3.A.						
3.18	HAZARDOUS SUBSTANCES	NO	3.3.1.3. & 3.3.1.19.								
3.19	REQUIRED FIRE RESISTANCE RATINGS	HORIZONTAL ASSEMBLY	RATING (H)	SUPPORTING ASSEMBLY (H)	NONCOMBUSTIBLE IN LIEU OF RATING?		3.2.2.20-83, 3.2.1.2., 3.2.1.4., 3.2.2.15.				
		STOREY BELOW GRADE	2 H	2 H	NA						
		FLOORS OVER BASEMENT	2 H	2 H	NA						
		FLOORS	2 H	2 H	NA						
		MEZZANINE	1 H	1 H	NA						
		ROOF	NA	NA	NA						
3.20	SPATIAL SEPARATION	EXPOSING BUILDING FACE	EBF AREA (m²)	L.D (m)	L.H OR H.L	% UPO PERMITTED / ACTUAL	REQUIRED FRR (H)	CONS. TYPE	CLADDING TYPE	3.2.3.	
		NORTH	ETR	ETR	ETR	ETR	ETR	ETR	ETR		
		SOUTH	ETR	ETR	ETR	ETR	ETR	ETR	ETR		
		EAST	ETR	ETR	ETR	ETR	ETR	ETR	ETR		
		WEST	ETR	ETR	ETR	ETR	ETR	ETR	ETR		
3.21	PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE+FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE							3.7.4., 3.8.2.3., TABLES 3.8.2.3.A, AND 3.8.2.3.B	
		FLOOR LEVEL OR AREA	OCCUPANT LOAD (PERSONS)	OBC SENTENCE	WATER CLOSETS REQUIRED	WATER CLOSETS PROVIDED	BARRIER FREE WATER REQUIRED CLOSETS REQUIRED PROVIDED	UNIVERSAL WASHROOM REQUIRED PROVIDED			
		EXISTING TO REMAIN	ETR	ETR	ETR	ETR	ETR	ETR	ETR	FOR REFERENCE ONLY TO BE PART OF INTERIOR FIT- OUT PERMITS	
		EXISTING TO REMAIN	ETR	ETR	ETR	ETR	ETR	ETR	ETR		
3.22	NUMBER AND LOCATION OF EXITS FROM FLOOR AREAS	MINIMUM NUMBER IF EXITS REQUIRED			EXISTING TO REMAIN					3.4.2.	
		NUMBER OF EXITS PROVIDED			EXISTING TO REMAIN						
		MAXIMUM TRAVEL DISTANCE TO ONE EXIT REQUIRED			45 M						
3.23	EXIT WIDTH BASED ON OCCUPANT LOAD	EXIT WIDTH			6.1MM / PERSON AND 9.2MM (FOR STAIRS)					3.4.3.	
		DOOR LEAF WIDTH			915MM						
		TOTAL OCCUPANT LOAD			EXISTING TO REMAIN						
		TOTAL AGGREGATE WIDTH OF EXITS REQUIRED:			EXISTING TO REMAIN						
		TOTAL AGGREGATE WIDTH OF EXITS PROVIDED:			EXISTING TO REMAIN						
3.24	SOUND TRANSMISSION DESIGN	IS THERE MORE THAN 1 DWELLING UNIT IN THE BUILDING									
		NOTES				NA					
		OPTION IMPLEMENTED				—					
3.25	ALTERNATIVE SOLUTIONS	NA									[A] 1.2.1.1. AND [C] 2.1.
3.26	NOTES	FLAME-SPREAD RATING OF INTERIOR WALL AND CEILING FINISHES, INCLUDING GLAZING SHALL NOT BE MORE THAN 150 AND SHALL CONFORM TO TABLE 3.1.13.2. OBC 2024. ETR: EXISTING TO REMAIN									
		1 <small>ALL REFERENCES ARE TO DIVISIONS OF THE OBC (UNLESS PRECEDED BY [A] FOR DIVISION A AND [C] FOR DIVISION C)</small>									



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REV #	ISSUE DATE	DRAWING ISSUE	DRAWN	REVIEW
C	2025.11.27	ADDENDUM-01	UA	AS
B	2025.03.16	IFC	UA	AS
A	2024.11.04	SCHEMATIC DESIGN	UA	AS
ISSUE #		ISSUE DATE	PROJECT ISSUE	DRAWN
OWNER / CLIENT				
UNIVERSITY OF TORONTO				
FACILITIES AND SERVICES				
647.326.1237 Doug.Graham@gmail.com				
ARCHITECT				
				
202 - 3485 REBECCA ST, OAKVILLE				
ON L6L 0H4				
905.847.7177 info@c-archi.com				
SEAL				
				
				
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PROJECT				
ALTERATIONS, ECE STUDENT COMMON RM				
44 ST GEORGE ST, TORONTO, ON M5S 2E4				
DRAWING TITLE				
SITE PLAN				
PROJECT NO.	PLOT DATE	NOV 27, 2025		
24-114	SCALE	AS NOTED		
SHEET NO.	A001			

DIVISION 1 - GENERAL REQUIREMENTS

- PART 1 GENERAL
- 1 THE CONTRACTOR WILL INSPECT THE PREMISES IMMEDIATELY TO CHECK THE EXISTING WORKING CONDITIONS. SHOULD CONTRACTOR FIND CONDITIONS WHICH HE BELIEVES WOULD IMPEDE HIS WORK, THEN SUCH CONDITIONS MUST BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO SO ADVISE WILL CONSTITUTE NOTICE THAT CONTRACTOR IS FULLY SATISFIED WITH THE EXISTING CONDITIONS AND THAT HE INTENDS TO PERFORM HIS OBLIGATIONS WITH NO ALLOWANCE EITHER IN TIME OR MONEY FOR ANY IMPEDIMENTS TO HIS WORK.
- 2 CONTRACTORS SHALL VISIT THE PREMISES WHILE BIDDING AND SHALL FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AND THE REQUIREMENTS OF THE PROJECT PRIOR TO DEVELOPING THEIR BID. MATERIAL QUANTITIES SHALL BE BASED ON ACTUAL FIELD CONDITIONS AND MEASUREMENTS. A. DIMENSIONS TAKE PRECEDENCE OVER SCALE ON CONSTRUCTION DOCUMENTS.
- 3 PRIOR TO BEGINNING THE WORK, GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND SQUARE FOOTAGES. NOTIFY THE OWNER AND ARCHITECT OF COMPLIANCE OR DISCREPANCIES, COMPARING THOSE DISCREPANCIES TO THE NUMBERS ON THE TITLE SHEET.
- 4 CONTRACTORS SHALL TAKE CARE TO PROTECT ADJACENT AREAS FROM DUST AND DAMAGE DURING THE CONSTRUCTION PROCESS AND SHALL CLEAN UP AFTER THEMSELVES AT THE END OF EACH WORKING DAY.
- 5 ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES.
- 6 UNLESS OTHERWISE SPECIFICALLY NOTED, THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, CONSTRUCTION EQUIPMENT AND MACHINERY, TRANSPORTATION, AND OTHER FACILITIES AND SERVICES NECESSARY FOR PROPER EXECUTION AND COMPLETION OF THE WORK.
- 7 THE CONTRACTOR WARRANTS TO THE OWNER AND THE ARCHITECT THAT ALL MATERIALS AND EQUIPMENT FURNISHED UNDER THIS CONTRACT WILL BE NEW UNLESS OTHERWISE SPECIFIED, AND THAT ALL WORK WILL BE GOOD QUALITY, FREE FROM FAULTS AND DEFECTS AND IN CONFORMANCE WITH THE CONSTRUCTION DOCUMENTS. ALL WORK NOT SO CONFORMING TO THESE STANDARDS MAY BE CONSIDERED DEFECTIVE. IT IS UNDERSTOOD THAT NO INFORMAL OR NON-CONFORMING WORK OR MATERIALS WILL BE ACCEPTED WHETHER DISCOVERED AT THE TIME THEY ARE INCORPORATED IN THE WORK OR AT ANY TIME BEFORE OR AFTER THE FINAL ACCEPTANCE. IF REQUIRED BY THE ARCHITECT, THE CONTRACTOR SHALL FURNISH SATISFACTORY EVIDENCE AS TO THE KIND AND QUALITY OF MATERIALS AND EQUIPMENT.
- 8 THE WARRANTIES AND GUARANTEES PROVIDED IN THE CONSTRUCTION DOCUMENTS SHALL BE IN ADDITION TO AND NOT IN LIMITATION OF ANY OTHER WARRANTY OR GUARANTEE OR REMEDY REQUIRED BY LAW OR BY THE CONSTRUCTION DOCUMENTS.
- 9 ALL DRAWINGS HEREIN CREATE AN ENTIRE PACKAGE. ALL TRADES SHALL BE RESPONSIBLE FOR REVIEWING THEIR RESPECTIVE REQUIREMENTS AND COORDINATING THEIR HIDDEN OR EXPOSED WORK WITH OTHER RELATED TRADES.
- 10 COORDINATE ALL WORK OF THE VARIOUS TRADES AND SUBCONTRACTORS TO ASSURE EFFICIENT AND ORDERLY INSTALLATION. PROVIDE ACCOMMODATION FOR ITEMS INSTALLED AT A LATER DATE. VERIFY THAT CHARACTERISTICS OF ELEMENTS IF INTERRELATED OPERATING EQUIPMENTS ARE COMPATIBLE. COORDINATE WORK OF VARIOUS SECTIONS WHICH HAVE INTERDEPENDENT RESPONSIBILITIES FOR INSTALLING, CONNECTING TO, AND PLACING IN SERVICE, SUCH EQUIPMENT. COORDINATE SPACE REQUIREMENTS AND INSTALLATION OF MECHANICAL WORK, ELECTRICAL WORK AND FIRE SPRINKLER SYSTEM WHICH ARE INDICATED, DETAILED OR IMPLIED DIAGRAMMATICALLY ON DRAWINGS.
- 11 THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING HIS BEST SKILL AND ATTENTION. HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND/OR INSTALLATION MEANS, METHODS, IMPLIED DIAGRAMMATICALLY ON DRAWINGS. GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION AND/OR INSTALLATION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- 12 GENERAL CONTRACTOR SHALL PURCHASE AND MAINTAIN INSURANCE COVERAGE IN ACCORDANCE WITH THE REQUIREMENTS OF THE LANDLORD AND THE TENANT. VERIFY AND COORDINATE WITH THE OWNER'S PROJECT MANAGER FOR ANY ADDITIONAL REQUIREMENTS.
- 13 GENERAL CONTRACTOR SHALL FURNISH ALL REQUIRED TEMPORARY FACILITIES AND ALL TEMPORARY UTILITIES IMMEDIATELY AFTER RECEIPT OF NOTICE TO PROCEED FOR USE IN CONVENIENCE OF ALL THOSE ENGAGED IN THE PROJECT WORK.
- 14 WHEN CONSTRUCTION BARRIERS ARE REQUIRED, ALL CONTRACTORS MUST STAY BEHIND THE CONSTRUCTION BARRIERS AND MAINTAIN ACCESS TO SUCH AREAS CLEAN AND FREE OF CONSTRUCTION MATERIALS AND DEBRIS. FAILURE TO MAINTAIN CLEAN MAIN ENTRANCE WILL RESULT IN BUILDING MANAGEMENT HAVING SUCH MATERIAL AND DEBRIS REMOVED AND ALL CHARGES FOR MAINTENANCE WILL BE BILLED TO GENERAL CONTRACTOR.
- 15 COORDINATE ALL CONSTRUCTION AND SCHEDULING WITH THE BUILDING CONSTRUCTION CO-ORDINATOR REVIEWING ALL SCHEDULED ACTIVITIES, PRIOR TO AND THROUGHOUT CONSTRUCTION.
- 16 ALLOWABLE TOLERANCES - UNLESS OTHERWISE NOTED OR INDICATED, THE FOLLOWING TOLERANCES SHALL APPLY TO ALL WORK.
- A. ALL VERTICAL SURFACES SHALL BE PLUMB OR CONSTRUCTED TO THE EXACT SLOPES OR ANGLES INDICATED.
- B. THE MAXIMUM DEVIATION FROM THE TRUE PLANS FOR VERTICAL AND HORIZONTAL SURFACES SHALL NOT BE GREATER THAN 1/8" AS MEASURED BY A STRAIGHT EDGE PLACED ANYWHERE ON THE SURFACE.
- C. ALL HORIZONTAL SURFACES SHALL BE LEVELED OR CONSTRUCTED TO THE EXACT ANGLE INDICATED OR INTENDED.
- D. WALL AND SOFFIT INTERSECTIONS SHALL BE 90 DEGREES OR THE EXACT ANGLE INDICATED OR INTENDED.
- E. ALL CORNERS AND EDGES SHALL BE STRAIGHT AND TRUE WITHOUT DENTS, WAVES OR BULGES OR OTHER BLEMISHES.
- F. ALL JOINTS SHALL BE TIGHT, STRAIGHT, EVEN AND SMOOTH.
- G. ALL OPERABLE ITEMS SHALL OPERATE SMOOTHLY WITHOUT STICKING OR BINDING AND WITHOUT EXCESSIVE "PLAY" OR LOOSENESS.
- 17 THE FOLLOWING MATERIALS SHALL BE LEFT AT JOBSITE. THEY SHALL BE TAKEN FROM THE SAME MATERIAL, LOT OR RUN USED TO CONSTRUCT AND FINISH THE PROJECT:
- A. ONE FULL GALLON OF EACH PAINT COLOR IN A CLEAN, TIGHTLY CLOSED CAN, AND CLEARLY MARKED.
- B. ONE FULL BOX OF EACH TYPE OF FLOOR TILE FREE FROM NICKS, SCRATCHES OR CRACKS.
- C. ONE-HALF BAG OF TILE GROUT.
- D. MATERIALS SHALL BE LEFT IN ONE LOCATION UPON OWNER'S REPRESENTATIVE'S DIRECTION AND APPROVAL.
- 18 THE OWNER OR THE OWNER'S SUBCONTRACTORS MAY OCCUPY PORTIONS OF THE PROJECT DURING THE FINAL STAGE OF CONSTRUCTION. COORDINATE AND COOPERATE WITH THE OWNER TO MINIMIZE CONFLICT AND FACILITATE THE OWNER'S OPERATION.

DIVISION 1 - GENERAL REQUIREMENTS

- 19 CONTRACTOR SHALL PROVIDE DISCONNECTION OF ALL UTILITIES BEFORE ANY DEMOLITION.
- 20 ALL DIMENSIONS AND FINISHES SHALL BE VERIFIED AND COORDINATED WITH EXISTING CONDITIONS PRIOR TO CONSTRUCTION, FABRICATION, OR PURCHASING. IN CASE OF CONFLICT BETWEEN THE PROJECT REQUIREMENTS AND/OR EXISTING CONDITIONS, THE ONE HAVING THE MOST STRINGENT REQUIREMENTS SHALL GOVERN, AS APPROVED BY THE OWNER.
- 21 PERFORM ALL WORK IN ACCORDANCE WITH ACCEPTABLE TRADE PRACTICE TO INSURE THE HIGHEST QUALITY FINISHED PRODUCT - EXPRESSED OR IMPLIED. PERFORM ALL WORK BY SKILLED MECHANICS IN ACCORDANCE WITH ESTABLISHED STANDARDS OF WORKMANSHIP IN EACH OF THE VARIOUS TRADES.
- 22 GENERAL CONTRACTOR SHALL COORDINATE BLOCKING REQUIREMENTS WITH ADJACENT OR RELATED TRADES, ACCESSORIES, EQUIPMENT AND FIXTURES. INSTALL REQUIRED BLOCKING AT NO ADDITIONAL COST TO THE CONTRACT.
- 23 CONTRACTORS SHALL PATCH, REPAIR, REPLACE AND FINISH ANY FLOOR, WALL OR CEILING TO MATCH ADJACENT, EXISTING CONSTRUCTION DUE TO ANY DAMAGE CAUSED BY DEMOLITION, REPAIR PROPERTY DAMAGE BY THE INSTALLERS TO A LIKE NEW CONDITION OR REPLACE DAMAGED SURFACES AND MATERIALS OF THE PREVIOUSLY INSTALLED WORK BY OTHER TRADES, INSTALLERS AND SUBCONTRACTORS.
- 24 WHERE REQUESTED BY THE OWNER TO CERTIFY CONFORMANCE TO TRADE STANDARDS OF THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL ENLIST A TESTING LABORATORY AT THE OWNER'S COST. IF THE REQUESTED TEST SHOWS NON-CONFORMANCE TO GENERALLY ACCEPTED TRADE STANDARDS OR THE PROJECT REQUIREMENTS, THE CONTRACTOR SHALL CORRECT THE DEFICIENCY AT NO ADDITIONAL COSTS TO THE OWNER AND REIMBURSE ALL COSTS OF THE TESTING TO THE OWNER UNLESS THE CONTRACTOR HAS USED PRODUCTS INCORRECTLY LABELED BY THE MANUFACTURER OR HAS MADE PREVIOUSLY APPROVED CHANGES.
- 25 PROVIDE SECURITY OF THE WORK, INCLUDING TOOLS AND UNINSTALLED MATERIALS. PROTECT THE WORK, STORED PRODUCTS, CONSTRUCTION EQUIPMENT AND OWNER'S PROPERTY FROM THEFT AND VANDALISM AND THE PREMISES FROM ENTRY BY UNAUTHORIZED PERSONNEL UNTIL FINAL ACCEPTANCE BY THE OWNER.
- 26 MAINTAIN AN ACTIVE FIRE EXTINGUISHER AT THE PROJECT AS REQUIRED BY LOCAL GOVERNING AGENCIES.
- 27 ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS OR INSTRUCTIONS UNLESS HEREINAFTER SPECIFIED TO THE CONTRARY.
- 28 GENERAL CONTRACTOR TO ENSURE ALL PRODUCTS, INCLUDING ELECTRICAL FIXTURES, SHALL BE DELIVERED IN UNDAMAGED CONDITION AND STORED SAFELY IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS TO AVOID DISRUPTION OF THE WORK OR DAMAGE TO THE ITEMS. REPLACE DAMAGED OR UNFIT MATERIALS AT NO COST TO THE OWNER.
- 29 NOTIFY THE OWNER WHEN THE WORK IS SUBSTANTIALLY COMPLETE AND READY FOR INSPECTION. UPON INSPECTION, PROVIDE WRITTEN OPERATION AND MAINTENANCE INSTRUCTIONS AND GUARANTEES FOR ALL EQUIPMENT AND MATERIALS INSTALLED. PROVIDE WRITTEN GUARANTEES FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE.
- 30 PROVIDE FINAL CLEANUP AND DAMAGE REPAIR AT THE PROJECT CONCLUSION. LEAVE THE PREMISES NEAT, CLEAN AND CLEAR OF TOOLS, EQUIPMENT AND SURPLUS MATERIALS, UNLESS REQUESTED BY THE OWNER. CLEANUP SHALL INCLUDE AND NOT BE LIMITED TO:
- A. POWER VACUUMING THE ENTIRE SPACE.
- B. HAND DUSTING AND CLEANING OF ALL SHELVING, CABINETRY, CASEWORK, GLASS AND MIRRORS BOTH INSTALLED UNDER THIS CONTRACT OR EXISTING WALLS, CEILINGS, FIXTURES, ETC.
- C. REPAIR OR REPLACEMENT OF PROPERTY DAMAGED DURING FINAL COMPLETION OF THE PROJECT.

DIVISION 2 - EXISTING CONDITIONS

- DEMOLITION / BUILDING ALTERATIONS
1. THE WORK MAY INCLUDE DEMOLITION OF EXISTING CONSTRUCTION, REMOVAL OF VARIOUS ITEMS OF EQUIPMENT AND CONSTRUCTION, AND THE CUTTING OR ALTERATION OF EXISTING CONSTRUCTION AS SHOWN, NOTED OR IMPLIED ON THE DRAWINGS. CONTRACTOR SHALL DETERMINE AND INVENTORY ALL NECESSARY DEMOLITION AND ALTERATION OF ITEMS TO PROVIDE FOR A COMPLETE INSTALLATION OF NEW WORK. ALL COSTS OF REMOVAL, REPAIR OR REPLACEMENT SHALL BE INCLUDED IN THE BID. ADDITIONAL COSTS FOR DEMOLITION OF ITEMS HIDDEN OR INACCESSIBLE DURING THE BIDDING PHASE, SHALL BE SUBMITTED FOR APPROVAL PRIOR TO BEGINNING THE WORK.
2. AT ALTERED CONSTRUCTION REPAIR CUT EDGES, REPLACE CONSTRUCTION, AND FIT NEW TO EXISTING CONSTRUCTION TO MATCH EXISTING WORK, MAKE JOINTS OF NEW AND EXISTING PATCHES VERY SMOOTH, EVEN AND PRACTICALLY INVISIBLE. COORDINATE ALL REPLACEMENT AND REPAIR REQUIREMENTS WITH LANDLORD, CONSTRUCTION CRITERIA AND TENANTS' COORDINATOR. SAW-CUT CONCRETE ON GRADE WITH DIAMOND SAW. JACKHAMMERING WILL NOT BE PERMITTED EXCEPT WITH THE EXPRESSED WRITTEN APPROVAL OF THE LANDLORD. CUT IN ACCURATELY LOCATED STRAIGHT LINES AND BREAK OUT SECTIONS. FLOOR MAY BE CORE DRILLED WHERE APPROPRIATE FOR INSTALLATION OF PIPES AND SIMILAR ITEMS. COORDINATE ALL CORE LOCATIONS AND SLAB MODIFICATIONS WITH LANDLORD'S STRUCTURAL ENGINEER, WHERE EXISTING PIPING AND OTHER SIMILAR ITEMS ARE UNDER EXISTING SLABS. EXERCISE CARE TO PROTECT FROM DAMAGE. EXERCISE CARE WHEN CUTTING ADJACENT TO EXISTING WALLS TO AVOID DAMAGE TO WALLS IF DAMAGED, REPAIR AS REQUIRED TO ORIGINAL CONDITION.
3. PREVENT MOVEMENT OR SETTLEMENT OF STRUCTURE. PROVIDE AND PLACE BRACING AND SHORING AND BE RESPONSIBLE FOR SAFETY AND SUPPORT OF STRUCTURE, AS DETERMINED BY THE GENERAL CONTRACTOR ENLISTED STRUCTURAL ENGINEER. ASSUME LIABILITY FOR SUCH MOVEMENT, SETTLEMENT DAMAGE OR INJURY.
4. ARRANGE AND PAY FOR DISCONNECTING, REMOVING AND CAPPING UTILITY SERVICES WITHIN AREAS AFFECTED BY DEMOLITION. PLACE MARKERS TO INDICATE LOCATION OF DISCONNECTED SERVICES. WHERE APPLICABLE, LOCATE SPRINKLER SHUT-OFF VALVE AND SMOKE ALARM PRIOR TO COMMENCING WORK; COORDINATE REQUIRED MODIFICATION WITH LANDLORD.
5. CAREFULLY REMOVE MATERIALS AND EQUIPMENT WHICH ARE INTENDED TO BE REUSED. STORE IN A SECURE LOCATION. REMOVE DEBRIS, REFUSE AND MATERIALS BEING DEMOLISHED IMMEDIATELY FROM THE SITE.
6. ERECT AND MAINTAIN WEATHERPROOF AND DUST-PROOF CLOSURES AND PARTITIONS TO PREVENT WEATHER DAMAGE OR SPREAD OF DUST, FUMES AND SMOKE TO OTHER PARTS OF THE BUILDING. IN ACCORDANCE WITH GUIDELINES AND STIPULATIONS OF LOCAL AUTHORITIES & LANDLORD.
7. PERFORM DEMOLITION IN ACCORDANCE WITH APPLICABLE AUTHORITIES HAVING JURISDICTION.
8. REPAIR ALL DEMOLITION IN EXCESS OF THAT REQUIRED AT NO COST TO THE OWNER.

DIVISION 2 - EXISTING CONDITIONS

9. REMOVE FROM SITE CONTAMINATED, VERMIN INFESTED OR DANGEROUS MATERIALS ENCOUNTERED; DISPOSE OF BY SAFE MEANS TO PROTECT HEALTH OF WORKERS AND PUBLIC.
- END OF SECTION

DIVISION 3 - CONCRETE REPAIR AND REPLACEMENT

1. NOT APPLICABLE
- END OF SECTION

DIVISION 5 - METAL FABRICATIONS

1. PROVIDE ALL MISCELLANEOUS METAL ITEMS INCLUDING MATERIALS, FABRICATIONS, FASTENINGS AND ACCESSORIES REQUIRED FOR FINISHED INSTALLATION AS INDICATED AND SPECIFIED.
2. STEEL SHALL BE FREE FROM SCALE AND PITTING AND OTHER DEFECTS AFFECTING APPEARANCE.
3. TUBING SHALL CONFORM TO REQUIREMENTS OF ASTM A500 OR A501 AS APPROVED. FOR STAINLESS STEEL TUBING CONFORM TO ASTM. FOR STAINLESS STEEL TUBING CONFORM TO ASTM A269 - (92).
4. WHERE METAL ITEMS ARE TO BE ERECTED AND IN CONTACT WITH DISSIMILAR MATERIALS, PROVIDE CONTACT SURFACES WITH COATING OF APPROVED ZINC CHROMATE PRIMER IN MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.
5. SHEET STEEL SHALL CONFORM TO REQUIREMENTS OF ASTM A606-01.
6. ALUMINUM EXTRUSIONS SHALL CONFORM TO ASTM B221. REVEALS TO BE ANODIZED FINISH (UNLESS OTHERWISE INDICATED).
7. FASTENERS SHALL BE AS REQUIRED TO ASSEMBLY AND INSTALLATION OF FABRICATED ITEMS.
8. BOLTS SHALL BE LOW CARBON STEEL EXTERNALLY AND INTERNALLY THREADED FASTENERS CONFORMING WITH REQUIREMENTS OF ASTM A307-00. INCLUDE NECESSARY NUTS AND PLAIN HARDENED WASHERS, FOR MEMBERS FOR SUPPORT OF STRUCTURAL MEMBERS OR CONNECTION THERETO. USE FASTENERS CONFORMING WITH ASTM A325-01.
9. FOR STAINLESS STEEL AND NON-FERROUS ITEMS, USE TYPE 302 AND 304 STAINLESS STEEL FASTENERS.
10. VERIFY DIMENSIONS PRIOR TO FABRICATION OR CASTING. FORM METAL ITEMS TO ACCURATE SIZES AND CONFIGURATIONS AS INDICATED ON DRAWINGS AND OTHERWISE REQUIRED FOR PROPER INSTALLATION, FABRICATE WITH ALL LINES STRAIGHT AND ANGLES SHARP, CLEAN AND TRUE, DRILL, COUNTERSINK, TAP AND OTHERWISE PREPARE ITEMS FOR CONNECTION WITH WORK OF OTHER TRADES. MAKE PERMANENT CONNECTIONS BY WELDING AND GRIND ALL EXPOSED WELDS SMOOTH TO MATCH ADJACENT SURFACES. ROUGH JOINT SURFACES NOT PERMITTED. AVOID USING BOLTS AND SCREWS UNLESS SPECIFICALLY INDICATED OR APPROVED. WHEN USED, DRAW UP TIGHT AND TIE THREADS TO PREVENT LOOSENING.
11. ALL FERROUS METAL ITEMS SHALL BE SHOP FINISHED. TOUCH-UP OR REPAIR DAMAGED AREAS PRIOR TO INSTALLATION WITH SAME MATERIAL.
12. PROVIDE CONTACT SURFACES WITH CONCRETE MASONRY OR OTHER DISSIMILAR MATERIALS WITH A MINIMUM ONE POINT ZERO (1.0) MIL DRY THICKNESS OF AN APPROVED ZINC CHROMATE PRIMER.
13. PROVIDE ALL STEEL BLOCKING AND BRACING IN METAL FRAMES PARTITIONS NECESSARY FOR A COMPLETE INSTALLATION. INCLUDE AS REQUIRED FOR SUPPORT OF ALL WALL-MOUNTED EQUIPMENT AND FABRICATIONS AS INDICATED ON DRAWINGS. PROVIDE SUPPORTS AT JAMBS OF DOORS AND ELSEWHERE, AS REQUIRED.
14. FABRICATE ALL MISCELLANEOUS FRAMING AND BRACING ITEMS TO DETAIL OF STRUCTURAL SHAPES, PLATES, AND BARS, WELD JOINTS WHERE PRACTICAL. PROVIDE BOLTS AND OTHER CONNECTION DEVICES REQUIRED. INCLUDE ANCHORAGES, CLIP ANGLES, SLEEVES, ANCHOR PLATE, AND SIMILAR DEVICES, WHETHER IMPLIED OR INDICATED. SET ACCURATELY IN POSITION AS REQUIRED AND ANCHOR SECURELY TO BUILDING CONSTRUCTION WITH FASTENERS APPROPRIATE TO THE INSTALLATION.
- END OF SECTION

DIVISION 6 - WOOD AND PLASTICS

- 1 ROUGH CARPENTRY / FINISHES.
- A. PROVIDE ROUGH LUMBER AND PLYWOOD IN STANDARD DIMENSIONS. MOISTURE CONTENT SHALL NOT BE MORE THAN 19%, WITH INDICATION OF "S-DRY" ON THE GRADE STAMP.
- B. ALL LUMBER IS TO BE GRADE STAMPED AND IS TO CONTAIN GRADING AGENCY, MILL, NUMBER OR NAME, GRADE OR LUMBER SPECIES OR SPECIES GROUPING COMBINATION DESIGNATION, RULES UNDER WHICH GRADED, WHERE APPLICABLE.
- C. LUMBER SHALL BE PROTECTED FROM THE ELEMENTS UNTIL SUCH TIME IT IS USED IN CONSTRUCTION.
- D. INSTALL ROUGH CARPENTRY WORK TO COMPLY WITH APPLICABLE CODE STANDARDS UNLESS OTHERWISE INDICATED. FOR SHEATHING UNDERLAY AND OTHER PRODUCTS NOT COVERED IN ABOVE STANDARDS, COMPLY WITH RECOMMENDATIONS OR MANUFACTURER OF PRODUCT INVOLVED FOR USE INTENDED. SET CARPENTRY WORK TO REQUIRED LEVELS AND LINES, WITH MEMBERS PLUMB AND TRUE AND CUT TO FIT.
- E. SECURELY ATTACH CARPENTRY WORK TO SUBSTRATES AND SUPPORTING MEMBERS USING FASTENERS OF SIZE THAT WILL NOT PENETRATE MEMBERS WHERE OPPOSITE SIDE WILL BE EXPOSED TO VIEW OR RECEIVE FINISH MATERIALS. INSTALL FASTENERS WITHOUT SPLITTING WOOD, FASTEN PANEL PRODUCTS TO ALLOW FOR EXPANSION AT JOINTS UNLESS OTHERWISE INDICATED.
- F. PROVIDE WOOD FRAMING MEMBERS OF SIZE AND SPACING INDICATED. DO NOT SPLICE STRUCTURAL MEMBERS BETWEEN SUPPORTS. FIRESTOP CONCEALED SPACES WITH WOOD BLOCKING NOT LESS THAN 2" THICK, IF NOT BLOCKED BY OTHER FRAMING MEMBERS. PROVIDE BLOCKING WHERE REQUIRED FOR ANCHORAGE OF CASE WORK, ACCESSORIES, AND ELSEWHERE AS REQUIRED.
- 2 PROVIDE NECESSARY ROUGH HARDWARE IN SIZES AND QUANTITIES REQUIRED BY LOCAL CODE OR APPROVED BY ARCHITECT.
- 3 USE FINISH OR CASING NAILS FOR EXPOSED WORK USE TYPE "S" TRIM HEAD SCREWS
- FOR ATTACHMENT OF WOOD TRIM TO METAL STUDS, RUNNERS, OR FURRING.
- 4 RELIEVE BACKS OF WOOD TRIM, KERF BACKS OF MEMBERS MORE THAN 5" WIDE AND 1" NOMINAL THICKNESS. EASE ALL EXTERNAL CORNERS.
- 5 INSTALL LAMINATES ONLY WHEN RECEIVING SURFACES ARE IN A SATISFACTORY CONDITION FOR INSTALLATION.
- 6 USE ADHESIVES RECOMMENDED BY THE MANUFACTURER FOR THE PARTICULAR APPLICATION. INSTALL IN ACCORDANCE WITH MANUFACTURER'S MOST CURRENT PRINTED APPLICATION INSTRUCTIONS.

DIVISION 6 - WOOD AND PLASTICS

- 7 PROTECT FROM DAMAGE BY OTHER TRADES WORKING ADJACENT TO THE INSTALLATION. REPLACE DAMAGED SURFACES.
- 8 REMOVE EXCESS ADHESIVE AND CLEAN SURFACES USING MANUFACTURER'S RECOMMENDED SOLVENT AND CLEANING PROCEDURES.
- 9 FILL IN ALL SEAMS WITH MANUFACTURER'S APPROPRIATE COLOR SEAM COMPOUND.
- 10 INSTALL WOODS AND PLASTICS IN CONFORMANCE WITH DETAILS, WITH THE FOLLOWING CONSIDERATIONS AND REQUIREMENTS:
- A. INSTALL ALL MATERIAL WITH TIGHT JOINTS.
- B. MITER CASINGS AND MOLDINGS.
- C. ALL RUNNING TRIM ONE (1) PIECE UP TO 10'-0". MATCH GRAIN AND COLOR PIECE TO PIECE.
- D. USE FINISH NAILS EXCEPT WHERE SCREWS ARE SPECIFICALLY CALLED FOR OR WHERE SCREWS DO NOT SHOW.
- E. INSTALL FIRE RATED DOORS IN ACCORDANCE WITH CHAPTER 2 & 3 OF NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 80 AS SPECIFIED IN O.B.C. 3.
- F. SET FASTENERS FOR PUTTYING.
- G. WHERE SCREW ATTACHMENT REQUIRED, SPACE SCREWS AT EQUAL INTERVALS; SINK AND PUTTY IN FINISH WOOD SURFACES.
- H. ALL MEMBERS AND LINES LEVEL AND PLUMB.
- I. SELECT AND CUT MATERIAL TO EXCLUDE DAMAGED, MARKED, OR DEFECTIVE AREAS.
- J. FINISH EXPOSED SURFACES SMOOTH, FREE FROM TOOL AND MACHINE MARKS.
- K. EASE ALL EXPOSED WOOD EDGES 1/8" MINIMUM RADIUS.
- L. NON-COMBUSTIBLE FIRE TREATED WOOD BEARING FACTORY IMPREGNATED STAIN SHALL BE USED FOR ALL WOOD FRAMING MEMBERS OF EXPOSED WOOD FINISHES TO BE FIRE RETARDANT TREATED UNLESS NOTED OTHERWISE.
- 11 ALL PLASTIC FINISHES SHALL BE FIRE TREATED. ALL WOOD BLOCKING AND FRAMING IN CEILING SPACES, PARTITIONS AND BULKHEADS AND PLYWOOD BACKBOARDS SUPPORTING ELECTRICAL PANELS, DISCONNECTS, SPLITTERS AND OTHER ELECTRICAL DEVICES SHALL BE FIRE RETARDANT TREATED.
- 12 DO NOT REGARD GROUNDS, BLOCKING, FURRING, AND SUCH OTHER FASTENING PROVISIONS AS SHOWN ON DRAWINGS AS EXACT OR COMPLETE. PROVIDE REQUIRED PROVISIONS FOR FASTENINGS, LOCATED AND SECURED TO SUIT SITE CONDITIONS AND ADEQUATE FOR INTENDED SUPPORT.
- 13 UNLESS OTHERWISE INDICATED, DO MILL WORK TO 'PREMIUM GRADE' STANDARDS OF ARCHITECTURAL WOODWORK MANUFACTURERS ASSOCIATION OF CANADA (AWMAC) 1991.

DIVISION 7 - SEALANTS AND CAULKING

- 1 PROVIDED NON-SAG SEALANT COMPLYING WITH REQUIREMENTS OF CAN/CGSB-19.13-AR7, SEALING COMPONENT, ELASTOMERIC, CHEMICAL CURING. PROVIDE ACOUSTICAL SEALANT WHICH SHALL BE NON-HARDENING, NON-DRYING SYNTHETIC RUBBER SEALING COMPOUND WITH MINIMUM 90% SOLIDS. USE AT ALL INTERIOR JOINTS AT INNER SECTIONS BETWEEN PLANES, AROUND DOOR AND WINDOW FRAMES, PRIMER SHALL BE USED, RECOMMENDED BY SEALANT MANUFACTURER FOR THE SPECIFIC CONDITIONS AND SUBSTRATES.
- 2 SEALANT BACKING MATERIAL TO BE EXTRUDED, POLYETHYLENE CLOSED CELL, ROUND FOAM ROD, 25% WIDER THAN JOINT WIDTH AND MANUFACTURED ESPECIALLY FOR CAULKING PURPOSES. ENSURE THAT SEALANT BACKING IS NOT CUT NOR PUNCTURED DURING INSTALLATION. SUPERFICIAL POINTING WITH THE SKIM BEAD WILL NOT BE ACCEPTED.
- 3 COORDINATE THIS WORK WITH OTHER TRADES INVOLVED TO AVOID DELAYS AND TO INSURE A SATISFACTORY WEATHERTIGHT INSTALLATION. INSTALL ALL REQUIRED MATERIALS IN A PROPER MANNER TO INSURE A WATERTIGHT AND WEATHERPROOF INSTALLATION.
- 4 SOUND ATTENUATION BATT INSULATION PROVIDE 'OWENS CORNING' SOUND ATTENUATION BATT INSULATION AT ALL PERIMETER WALLS OR TOILET ROOMS FULL HEIGHT OF WALLS. INSULATION SHALL BE 3 1/2" THICK FRICION FIT INSTALLATION FOR 24" STUD SPACING. CUT AS REQUIRED FOR UTILITIES IN WALLS
- END OF SECTION

DIVISION 8 - DOORS AND WINDOWS

- WOOD AND HOLLOW METAL DOORS AND FRAMES
- 1 ALL HOLLOW METAL DOOR AND FRAME TO COMPLY WITH CAN4-S104M-M80, CAN4-S105M-M85, CSDPMA, NPP A80-1992 AND NPPA 252-1990.
- 2 ALL WOOD DOOR AND FRAME TO COMPLY WITH CAN/CSA-013220-90, CAN/CSA013221-90 AND AWMAC.
- A. MINIMUM 18 GA. FOR FACE SHEETS OF INTERIOR DOORS
- B. 16 GA. FOR EDGE CHANNELS
- C. MINIMUM 22 GA. FOR FACE STIFFENERS
- D. MINIMUM 16 GA. FOR INTERIOR FRAMES
- 3 PROVIDE DOORS OF SIZES AND TYPES INDICATED ON DRAWINGS, FULLY WELDED SEAMLESS CONSTRUCTION WITH NO VISIBLE SEAMS OR JOINTS ON FACES OR VERTICAL EDGES, THICKNESS AS SCHEDULED ON DRAWINGS.
- 4 FACE STIFFENERS, EDGES AND HARDWARE REINFORCEMENT SHALL BE THE HIGHEST QUALITY WORKMANSHIP AND MATERIALS. PROVIDE IN ACCORDANCE WITH BEST TRADE PRACTICE AND MANUFACTURER'S WRITTEN RECOMMENDATIONS FOR THE USE INTENDED.
- 5 PROVIDE CUSTOM MADE WELDED UNITS WITH THE INTEGRAL TRIM, SIZES AND SHAPES AS INDICATED ON DRAWINGS. FABRICATE UNITS SQUARE, TRUE AND FREE FROM DEFECTS.
- 6 HARDWARE REINFORCEMENT AND ANCHORS (ERECTION, FLOOR AND JAMB) SHALL BE AS REQUIRED FOR A SECURE INSTALLATION AND SHALL BE IN ACCORDANCE WITH TRADE REQUIREMENTS FOR THE SPECIFIED HARDWARE AND INTENDED USE.
- 7 AFTER FABRICATION, DRESS, FILL AND SAND EXPOSED SURFACES, BODY-PUTTY HOLES AND IMPERFECTIONS. APPLY UNIFORM COAT OF MANUFACTURER'S STANDARD PRIME COAT TO ALL EXPOSED SURFACES. LEAVE READY TO RECEIVE FINISH PAINTING.
- 8 INSTALL FRAMES IN ACCURATE LOCATIONS AS INDICATED ON DRAWINGS. INSTALL RIGID, PLUMB, LEVEL AND TRUE. ALIGN WITH ADJACENT CONSTRUCTION. SECURE FLOOR ANCHORS TO FLOOR CONSTRUCTION WITH APPROVED TYPE MECHANICAL FASTENINGS. ANCHOR OR TOE IN ADJACENT MATERIALS WITH SPECIFIED ANCHORS. BRACE FRAMES TO RETAIN POSITION AND CONTINUOUSLY CHECK ALIGNMENT DURING CONSTRUCTION OF ADJACENT WALLS. ADJUST FRAME LOCATIONS AS NECESSARY USING SHIMS BEFORE FASTENING. LEAVE READY TO RECEIVE SEALANT WHERE INDICATED ON DRAWINGS
- 9 INSTALL WOOD DOORS, FRAMES AND TRIM. SIZE AND THICKNESS AS SCHEDULED ON THE DRAWINGS
- 10 PREPARE DOORS FOR FINISH HARDWARE. OBTAIN TEMPLATES FROM HARDWARE MANUFACTURER AND CONFIRM TYPE, LOCATION AND SPECIAL REQUIREMENTS OF HARDWARE FOR EACH DOOR PRIOR TO CUTTING.

DIVISION 8 - DOORS AND WINDOWS

- 11 HANG DOORS AS SCHEDULED ON DRAWINGS, IN ACCURATE LOCATIONS WITH 1/8" CLEARANCE AT TOPS AND 3/8" CLEARANCE AT BOTTOM, UNLESS SPECIFICALLY NOTED FOR "UNDERCUTS" OR OTHER DEVIATIONS IN FIT. VERIFY CLEARANCES REQUIRED FOR CARPETING AND MAKE NO JOB SITE FIT IN CUTS UNLESS APPROVED. HANG PAIRS OF DOORS AS SPECIFIED WITH CLEARANCE AT MEETING EDGES. DEMONSTRATE THAT DOORS OPEN FREELY WITHOUT BINDING AND WHEN CLOSED, LATCH PROPERLY.
- 12 GENERAL CONTRACTOR TO PROVIDE ACCESS DOOR BY ACUDOR / ACON LTD. OR APPROVED EQUAL. USE DW-5040 FOR WALLS AND CEILINGS (OR AS REQUIRED FOR RATING). SIZE AS INDICATED. FRAME SHALL BE GALVANIZED STEEL DRYWALL BEAD FOR FRAME CONCEALMENT. PANEL SHALL BE 14 GA. STEEL WITH SPRINT TYPE CONCEALED HINGES OPENING TO 175 DEGREES. FACTORY APPLIED. WITH PRIMER COAT OF BAKED ON ENAMEL GREY.
- 13 ACCEPTABLE DOOR MANUFACTURERS ARE S.W. FLEMING, DALEY, STELDOR, MACOTTA, AMBICO, AND DAYBAR INDUSTRIES LTD.

HARDWARE

- ALL FINISH HARDWARE FOR COMPLETE WORK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH DRAWINGS AND SPECIFICATIONS. QUANTITIES LISTED IN ANY INSTANCE ARE FOR THE CONTRACTORS CONVENIENCE ONLY AND ARE NOT GUARANTEED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN NECESSARY TO COMPLETE THE WORK SHALL BE PROVIDED BY THE CONTRACTOR.
- 1 THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER OPERATION AND FITTING OF HARDWARE IN LOCATIONS SPECIFIED. THE CONTRACTOR MUST SUPPLY A ROOM UNDER LOCK AND KEY TO STORE ALL FINISH HARDWARE UNTIL INSTALLATION IS MADE. THE HARDWARE SUPPLIER MUST MARK EACH ITEM OF HARDWARE AS TO DESCRIPTION AND LOCATION OF INSTALLATION IN ACCORDANCE WITH APPROVED HARDWARE SCHEDULE. EXPOSED SURFACES OF HARDWARE SHALL BE COVERED AND WELL PROTECTED DURING INSTALLATION, SO AS TO AVOID DAMAGE TO FINISHES.
- 2 PROVIDE HARDWARE FOR FIRE-RATED OPENINGS IN COMPLIANCE WITH REQUIREMENTS OF NFPA 80. THIS REQUIREMENT TAKES PRECEDENCE OVER OTHER REQUIREMENTS FOR SUCH HARDWARE.
- 3 HARDWARE FINISH SHALL BE SATIN CHROME, U.N.O.
- 4 HARDWARE SUPPLIER WILL PROVIDE APPROVED SCHEDULES AND PAPER TEMPLATES TO THE CONTRACTOR FOR DOOR AND FRAME PREPARATION. MATCH EXISTING.
- 5 EACH ITEM OF HARDWARE SHALL BE PACKAGED SEPARATELY WITH ALL NECESSARY SCREWS, BOLTS, TAMPINS, KEYS AND INSTALLATION TEMPLATES. DELIVER PACKAGES CLEARLY IDENTIFIED, WITH HEADING NUMBER AS APPROVED ON HARDWARE SCHEDULE.
- 6 INSTALL EACH ITEM IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND RECOMMENDATIONS. SET ITEMS LEVEL, PLUMB AND TRUE TO LINE AND LOCATION. ADJUST AND REINFORCE THE ATTACHMENT SUBSTRATE, AS NECESSARY, FOR A SECURE INSTALLATION. SPACE FASTENERS AND ANCHORS AS INDICATED OR IN ACCORDANCE WITH INDUSTRY STANDARDS.
- 7 MAKE FINAL ADJUSTMENT AND CHECK OF HARDWARE DURING THE WEEK IMMEDIATELY PRIOR TO ACCEPTANCE. CLEAN AND RELUBRICATE OPERATING ITEMS AS NECESSARY, TO RESTORE PROPER FUNCTIONING AND FINISH OF HARDWARE AND DOORS. MAKE OF FINAL ADJUSTMENT OF LOCKSETS AND THE ADJUST TO COMPENSATE FOR OPERATION OF HEATING AND VENTILATION SYSTEMS UNDER THE SUPERVISION OF MANUFACTURER'S REPRESENTATIVE.
- 8 LUBRICATE ALL MOVING PARTS WITH GRAPHITE-TYPE LUBRICANT, UNLESS OTHERWISE RECOMMENDED BY THE MANUFACTURER. REPLACE ALL HARDWARE THAT CANNOT BE LUBRICATED AND ADJUST TO OPERATE FREELY AND SMOOTHLY.
- 9 ALL HARDWARE TO COMPLY WITH ONTARIO BUILDING CODE (OBC) AND NATIONAL BUILDING CODE (NBC) SECTIONS ON "ACCESSIBILITY STANDARDS".

GLASS AND WINDOW FRAME'S GLAZING

- 1 GLAZING SHALL BE DESIGNED IN COMPLIANCE WITH CAN/CGSB-12-20-M.
- 2 GLASS SHALL COMPLY WITH CAN/CGSB-12.1-M90 "STANDARD FOR TEMPERED GLASS". SUBMIT SHOP DRAWINGS INDICATING DETAILS OF EDGE SUPPORT, COMPONENTS OF SYSTEM, AND CONFIRMING COMPLIANCE WITH CAN/CGSB-12.20-M.
- 3 VERIFY THAT FRAMES TO RECEIVE GLAZING ARE SQUARE AND TRUE, THAT PERIMETER CLEARANCE ARE SUFFICIENT TO PREVENT "POINT LOADING" AND THAT SURFACES ARE CLEAN, DRY AND READY TO RECEIVE GLAZING MATERIALS. REMOVE ALL PROTECTIVE COATINGS FROM FRAMING SURFACES.
- 4 UPON COMPLETION, REMOVE ALL EXCESS SEALANT AND MATERIALS FROM SURFACES AND WASH AND CLEAN ALL GLASS FRAMING MEMBERS.
- 5 PROVIDE TEMPERED GLASS, GRADE "B", STYLE #1, TYPE "1", QUALITY 03, 1/2" THICK, UNLESS OTHERWISE NOTED. ALL GLASS TO BE CLEAR GLASS.
- 6 ALL GLASS EDGES SHALL BE GROUND SMOOTH AND POLISHED.
- 7 GENERAL GLASS SHALL BE g3 IN ACCORDANCE WITH FEDERAL SPECIFICATIONS DD-G-451 AND FGMA GLAZING MANUAL.
- 8 GLASS SHALL BE AS REQUIRED FOR THE SIZES AND CONDITIONS DETAILED FRAME SECTION SHALL BE EXPOSED WHERE INDICATED. FRAME FINISH SHALL BE FACTORY MILL FINISH. REFER TO ELEVATION PLAN FOR TYPE OF FINISH COLOR.
- 9 PROVIDE RESILIENT NEOPRENE BLOCKS 70 TO 90 SHORE A DUROMETER HARDNESS AND RESILIENT ACCESSORIES DESIGNED FOR POSITIONING GLASS IN RABBETS.
- 10 PROVIDE CLIPS ON NON-CORROSIVE METAL WITH ROUNDED EDGES DESIGNED FOR CONTACT BLOCKS, NOT GLASS.
- 11 PROVIDE STANDARD PREFORMED GLAZING TAPE, STANLOCKE 400, TRIMCO 440, OR APPROVED.
- 12 PROVIDE NON-SHRINKING ELASTOMERIC TAPER WHERE REQUIRED.
- 13 USE SILICONE SEALANT DOW #795 OR GE SILPRUF, CLEAR, OR APPROVED EQUAL. USE ONLY IF REQUIRED BY LOCAL BUILDING CODES, OTHERWISE ALL GLASS SHALL HAVE A 1/4" VERTICAL CLEAR SPACE BETWEEN GLASS PANELS.
- 14 ALL EDGES, DRILLED HOLES AND NOTCHES SHALL BE FACTORY FINISH AND/OR FACTORY FORMED. TOGERS WITH MATCHING TO MATCH FRAME. INSTALL IN ACCORDANCE WITH FGMA RECOMMENDATIONS UNLESS NOTED OTHERWISE.
- 15 VERIFY THAT FRAMES TO RECEIVE GLAZING ARE SQUARE AND TRUE, THAT PERIMETER CLEARANCES ARE SUFFICIENT TO PREVENT "POINT LOADING", AND THAT SURFACES ARE CLEAN, DRY AND READY TO RECEIVE GLAZING MATERIALS. REMOVE ALL PROTECTIVE COATING FROM FRAMING SURFACES.
- 16 CENTER GLASS IN RABBETS AND POSITION SO AS TO MAINTAIN CLEARANCES ON ALL SIDES, INDOORS AND OUT, IN ACCORDANCE WITH FGMA RECOMMENDATIONS. SHIM AS REQUIRED TO POSITION AGAINST FIXED STOPS AND FRAME BARS.
- 17 SET ALL EXTRUSIONS IN CORRECT LOCATIONS AS SHOWN IN THE DRAWINGS. THEY SHALL BE LEVEL, FLUSH SQUARE PLUMB AND IN ALIGNMENT WITH OTHER WORK.
- 18 UPON COMPLETION, REMOVE ALL EXCESS SEALANT AND MATERIALS FROM SURFACES; WASH AND CLEAN ALL GLASS FRAMING MEMBERS.

DIVISION 8 - DOORS AND WINDOWS

- 19 WHERE ALUMINUM ITEMS ARE TO BE ERECTED AND IN CONTACT WITH DISSIMILAR MATERIALS, PROVIDE CONTACT SURFACES WITH COATING OF AN IMPROVED ZINC CHROMATE PRIMER IN MANNER TO OBTAIN NOT LESS THAN 1.0 MIL DRY FILM THICKNESS.



REV #	ISSUE DATE	DRAWING ISSUE	DRAWN	REVIEW
C	2025.11.27	ADDENDUM-01	UA	AS
B	2025.03.16	IFC	UA	AS
A	2024.11.04	SCHEMATIC DESIGN	UA	AS
ISSUE #	ISSUE DATE	PROJECT ISSUE	DRAWN	REVIEW

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PROJECT
ALTERATIONS, ECE STUDENT
COMMON RM

44 ST GEORGE ST, TORONTO, ON M5S 2E4

DRAWING TITLE

SPECIFICATIONS

PROJECT NO.	PLOT DATE	NOV 27, 2025
24-114	SCALE	AS NOTED
SHEET NO.		A002

DIVISION 9 - FINISHES

METAL SUPPORT SYSTEM (WALL STUDS)
1 PROVIDE CHANNEL-SHAPED ROLL FORMED SHEET STEEL MEMBERS CONFORMING WITH ASTM C640, HOT DIPPED FINISH WHERE EXPOSED TO MOISTURE NOT LESS THAN 20 GA.
2 PROVIDE COLD-ROLLED STEEL CHANNELS NOT LESS THAN 16 GAUGE
3 PROVIDE ROLL-HAT-SHAPED CHANNELS MINIMUM 25 GAUGE, 7/8" DEEP WITH 1/2" HEMMED EDGES. HOT DIPPED FINISH WHERE NOTED.
4 PROVIDE THE WIRES OF GALVANIZED ANNEALED WIRES NOT LESS THAN 16 GA.
5 PROVIDE GALVANIZED HANGARS OF STEEL WIRE IN ACCORDANCE WITH ASTM C754.
6 PROVIDE JACK STUDS BETWEEN BOTTOM TRACK AND WINDOW AND/OR RELIEF SILLS BETWEEN LINTELS AND HEADERS IN TOP TRACKS.
7 PROVIDE BLOCKING AND FRAMING FOR ALL WALL MOUNTED FINISH HARDWARE AND EQUIPMENT, INCLUDING DOOR STOPS.
8 PROVIDE CEILING SEISMIC BRACING IN ACCORDANCE WITH REQUIREMENTS OF APPLICABLE CODES AND AS INDICATED ON DRAWINGS.
9 PROVIDE DOUBLE BEAD TO BUTYL SEALANT AT FLOOR TRACKS. APPLY DOUBLE BEAD TO CEILING TRACK AND TO STUDS ABUTTING OTHER CONSTRUCTION.
10 PROVIDE CHANNEL SHAPED BLOCKING SUPPORT OR GALVANIZED STRIP SUPPORT OF WALL-HUNG CABINETS, EQUIPMENT, FIXTURES AND ACCESSORIES OF NOT LESS THAN 22 GA. MATERIAL. PROVIDE SUPPORT IN WALL OR PARTITION FRAMING SYSTEM WHEREVER WALL HUNG CABINETS AND EQUIPMENT ARE INDICATED ON DRAWINGS. AND WHERE REQUIRED FOR MOUNTING OF MISCELLANEOUS ITEMS REQUIRING BACKING.

11 SET FLOOR TRACKS IN ACCURATE LOCATIONS AND SECURELY ANCHOR IN ACCORDANCE WITH ASTM STANDARDS. ERECT STUDS ON 16" OR 24" (AS INDICATED) CENTERS AND SECURE TO TRACK. INSTALL HEAD TRACK IN ACCORDANCE WITH DETAILS. INSTALLED BLOCKING, BRACING, AND ANCHOR STRIPS, LEAVE READY TO RECEIVE FINISH MATERIALS.

12 ERECT ALL COMPONENTS FOR CEILING AND SOFFIT FRAMING IN ACCURATE LOCATIONS AS INDICATED, TRUE TO LINE, LEVEL AND PLUMB, AND IN ACCORDANCE WITH APPLICABLE ASTM STANDARDS AS REFERENCED ABOVE, USING A LASER LEVEL. ADJUST SUPPORTS, SPANS OR OTHERWISE FOR INSTALLATION WITHIN SPECIFIED TOLERANCES.

13 PROVIDE KICK BRACING IN ACCORDANCE WITH INDUSTRY STANDARDS FOR WALL STUDS, CEILING MEMBERS, DRAFT OR SMOKE STOPS AND CURTAIN WALLS.

14 INTERIOR WALL CONNECTIONS TO EXIST. STRUCTURE ABOVE REFER TO DRAWINGS.

DIVISION 9 - FINISHES

GYPSONUM WALL BOARD
1 PROVIDE GYPSONUM WALL PANELS MANUFACTURED IN ACCORDANCE WITH REQUIREMENTS OF ASTM 336.
2 PROVIDE GYPSONUM WALL BOARD PANELS 5/8" THICK WITH TAPERED AND METAL EDGES. PROVIDE 5/8" TYPE "X" FIRE RETARDANT GYPSONUM WALL BOARD TESTED AND QUALIFIED FOR 1-HOUR RATINGS AS INDICATED ON DRAWINGS.
3 PROVIDE FASTENERS IN ACCORDANCE WITH ASTM C846, UNLESS OTHERWISE NOTED OR INDICATED, PROVIDE TYPE "S" BUGLE HEAD SCREWS FOR ATTACHMENT OF WALL BOARD TO METAL FRAMING, AND TYPE "S" PAN HEAD SCREWS FOR ATTACHMENT OF FRAMING TO DOOR FRAMES.
4 PROVIDE ALL INCIDENTAL AND ACCESSORY MATERIALS, TOOLS, EQUIPMENT AND METHODS REQUIRED FOR SATISFACTORY COMPLETION OF GYPSONUM WALL BOARD CONSTRUCTION INCLUDING ACCESS DOORS AND PANELS.
5 APPLY CONTINUOUS BEAD SEALANT AT ALL JOINTS OF WALL BOARD ABUTTING ADJACENT CONSTRUCTION, INCLUDING AROUND FRAMED OPENINGS AND OTHER PROTRUSIONS THROUGH WALL BOARD WHERE SEALANT IS EXPOSED. PROVIDE POLY-SULFIDE SEALANT WHERE UNEXPOSED. PROVIDE ACOUSTIC SEALANT.
6 APPLY PRE-FILL COMPOUND TO JOINTS IN ACCORDANCE WITH INDUSTRY STANDARDS. APPLY EMBEDDING COMPOUND REINFORCING TAPE CENTERED OVER JOINT. APPLY SKIM COAT. AFTER TAPING AND EMBEDDING COMPOUND IS DRY, APPLY SECOND COAT FILLING AND TAPER FLUSH WITH SURFACE, FIRE TAPE PENETRATIONS AT DEMISING WALLS, CORRIDOR ENVELOPE AND OTHER RATED ASSEMBLIES.
7 PROVIDE FINAL FINISH THAT IS SMOOTH, WITHOUT DIVOTS, BUMPS, BOWS OR ANY OTHER SURFACE BLEMISH, READY TO RECEIVE PAINT.
8 ALL GYPSONUM BOARD& STEEL STUD WALLS & PARTITIONS ARE TO EXTEND TO THE U/S OF THE SLAB OR DECK UNLESS OTHERWISE NOTED
9 PROVIDE CORNER GUARDS TO ALL OUTSIDE CORNERS IN GYPSONUM BOARD PARTITIONS.
10. FOR ACOUSTIC PARTITIONS, ANY RECESSED OUTLETS IN WALL AND PARTITION ASSEMBLIES ARE TO BE STAGGERED. APPLY CONTINUOUS ACOUSTIC SEALANT TO BOTH SIDES OF TRACK AT THE JUNCTIONS WITH FLOORS AND STRUCTURAL SLABS AND AROUND ANY PENETRATIONS TO PARTITION.

10 DO NOT SCOREW METAL STUDS TO WINDOW CURTAIN WALL MULLIONS OR TO T-BAR. SEPARATE METAL STUDS FROM WINDOW AND CURTAIN WALL MULLIONS WITH COMPRESSIBLE FILLER.
11 TAPE AND FILL GYPSONUM BOARD PARTITIONS ABOVE FINISHED CEILING.
12 ALL GYPSONUM BOARD PARTITIONS THAT ARE RATED FIRE SEPARATIONS GREATER THAN 0-HOUR TO USE TYPE "X" GYPSONUM BOARD (TYPICAL).
13 AT ALL INTERIOR DOORS RETURN THE PARTITION MIN. 6 INCHES FROM DOOR JAMB UNLESS OTHERWISE NOTED OR INDICATED.

DIVISION 9 - FINISHES

PAINITNG
1 PROVIDE PAINT FINISHES FOR BUILDING AND OTHER SURFACES AS SCHEDULED ON DRAWINGS OR AS SPECIFIED HEREINAFTER. NO PAINT FINISH IS REQUIRED ON ITEMS HAVING COMPLETE FACTORY FINISH, EXCEPT AS MAY BE SPECIFIED HEREINAFTER.
PUTTY AND/OR SEALANT AT ALUMINUM WINDOWS, NON-FERROUS METAL UNLESS SPECIFICALLY MENTIONED IN THE PAINTING SCHEDULE.
STAINLESS STEEL, INTERIOR OR EXTERIOR OF EXISTING BUILDING, EXCEPT WHERE ALTERATIONS OCCUR OR WHERE SCHEDULED. PAINT GRILLES AND DIFFUSERS. NO PAINTING IS REQUIRED FOR INSULATING PIPING, EXCEPT WHERE EXPOSED IN FINISH, NON-MECHANICAL ROOM SPACES.

2 PROTECT WORK OF OTHER TRADES FROM DAMAGE AND DEFACEMENT CAUSED BY THIS WORK. REPAIR ANY DAMAGE CAUSED BY THE WORK OF THIS SECTION. REMOVE ELECTRICAL OUTLET AND SWITCH PLATES, MECHANICAL DIFFUSERS, GRILLES, ESCUTCHEONS, REGISTER, SURFACE HARDWARE, FITTINGS, AND FASTENINGS PRIOR TO COMMENCING THE WORK. STORE, CLEAN, AND REPLACE UPON COMPLETION.
3 PAINT CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR IF ANY SURFACE TO BE PAINTED OR STAINED IS FOUND TO BE UNSUITABLE TO PRODUCE PROPER FINISH. APPLY NO FINISH MATERIAL UNTIL THE UNSUITABLE SURFACES HAVE BEEN MADE SATISFACTORY
4 FINISH WORK SHALL BE UNIFORM, OF APPROVED COLOR, SMOOTH AND FREE FROM EDGES. MAKE ENDS OF PAINT ADJOINING OTHER MATERIALS OR COLORS SHARP AND CLEAN. WHERE HIGH GLOSS ENAMEL IS USED, LIGHTLY SAND UNDERCOAT TO OBTAIN A SMOOTH FINISH COAT.

5 PROVIDE ALL NEWLY PAINTED SURFACES WITH ONE (1) COAT TINTED PRIMER AND MINIMUM TWO (2) COATS FINAL COLOR COAT, UNLESS OTHERWISE RECOMMENDED BY MANUFACTURER'S SPECIFICATIONS, OR AS REQUIRED FOR FULL COVERAGE AND CONSISTENT TINT.

6 DELIVER ALL PAINT TO JOB SITE IN UNOPENED CONTAINERS BEARING THE MANUFACTURER'S LABEL, AND SHOWING PAINT TYPE, SHEEN AND COLOR.

7 PAINT TYPES USED SHALL BE THOSE SPECIFICALLY RECOMMENDED BY THE MANUFACTURER FOR THE MATERIAL TO WHICH THEY WILL BE APPLIED. PAINTING CONTRACTOR SHALL FOLLOW MANUFACTURER'S INSTRUCTIONS FOR PROPER APPLICATION OF THE PAINT.

8 ALL SURFACES TO BE PAINTED SHALL BE THOROUGHLY CLEANED AND PREPARED FOR PAINTING PRIOR TO APPLICATION OF PAINT. PROVIDE VENTILATORS AS REQUIRED TO PREVENT BUILD-UP OF FUMES.

9 SAND/PAPER ALL NEW WOOD TO SMOOTH AND EVEN SURFACE AND DUST OFF. AFTER PRIMING COAT HAS BEEN APPLIED, THOROUGHLY FILL ALL NAIL HOLES AND OTHER SURFACE IMPERFECTIONS WITH PUTTY TINTED WITH PRIMER OR STAIN TO MATCH WOOD COLOR. SAND ALL WOODWORK BETWEEN COATS TO A SMOOTH SURFACE.

10 PRIME ALL SURFACES WHICH RECEIVE PAINT PRIOR TO APPLICATION OF FINAL FINISH IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

11 BACK PRIME ALL EXTERIOR AND INTERIOR WOOD AND TRIM PRIOR TO INSTALLATION. THOROUGHLY CLEAN SURFACES AND APPLY NO FINISH UNLESS SURFACES ARE DRY AND FOR APPLICATION. SAND/PAPER SURFACES OF TRIM SMOOTH AND WIPE CLEAN. AFTER STAIN COAT HAS BEEN APPLIED, FILL CRACKS AND HOLES WITH PLASTIC WOOD OR PUTTY. IF STAIN HAS BEEN USED, TINT CRACK FILLER TO MATCH. PRIME BACKS OF TRIM. PRIME BARE WOOD SCHEDULED TO RECEIVE PAINT FINISH. FINISH NAIL HOLES. CRACKS AND OTHER IMPERFECTIONS WITH PUTTY AND SAND SMOOTH.

12 AT COMPLETION, TOUCH-UP AND RESTORE FINISH WHERE DAMAGED AND LEAVE ALL SURFACES IN GOOD AND CLEAN CONDITION. PROVIDE FOR MULTIPLE SITE VISITS AS REQUIRED FOR TOUCH-UP AND REFINISHING.

13 OTHER PAINT MANUFACTURERS MAY NOT BE SUBSTITUED.
14 FINISH INTERIOR SURFACES, AS SCHEDULED ON DRAWINGS, EXCEPT AS MODIFIED AND SUPPLEMENTED HEREINAFTER AND UPON WRITTEN OWNER APPROVAL. IN GENERAL, USE EGGSHELL SHEEN FOR WALL BOARD SURFACES, SEMI-GLOSS FOR HOLLOW METAL AND WOOD TRIM, AND FLAT FOR DUCTWORK.

15 ALL LINES AND TRANSITIONS BETWEEN DIFFERENT COLORS ARE TO BE CRISP, STRAIGHT AND LEVEL.
16 A TINTED GRIPPING PRIMER IS TO BE USED ON THE DOOR FRAMES.
17 ALL SURFACES ARE TO RECEIVE (1) COAT OF PRIMER.
18 THE TOP EDGE OF THE TILE IS TO BE CAULKED TIGHT WITH A CONTINUOUS BEAD BEFORE PAINTING.
19 TOPS OF THE DOOR JAMBS / FRAMES MUST BE FINISHED.
20 BOTH THE TOPS AND BOTTOMS OF THE DOORS ARE TO BE FINISHED.
21 THE TOP SURFACE OF EVERYTHING (I.E. SHELF AT BULKHEAD) IS TO BE FINISHED.

DIVISION 9 - FINISHES

REVIEW ALL AREAS TO RECEIVE TILE FLOORING (PRIOR TO SUBMITTING ESTIMATE) TO DETERMINE THE REQUIRED EXTENT OF SUB-FLOOR PREPARATION.
SET AND GROUT TILE WHEN AMBIENT TEMPERATURE IS AT LEAST 65 DEGREES AND RISING. ALIGN ALL JOINTS AND CORNERS.
CLEAN METAL AND WOOD SURFACES AND CONCRETE FLOORS, REMOVING ALL FOREIGN MATTER AND CONTAMINANTS SUCH AS GREASE, OIL, DUST, WATER, SURFACE DIRT, OLD SEALANTS OR GLAZING COMPOUNDS AND PROTECTIVE COATINGS. METAL SHALL BE CLEANED BY MECHANICAL OR SOLVENT PROCEDURES.
INSTALL TILE TO CONCRETE SUBSTRATE PER TCA STANDARD F113-89 WITH TIGHTLY BUTTED JOINTS, TO PATTERN INDICATED IN THE DRAWINGS, OR AS SPECIFIED BY OWNER. VERIFY LAYOUT AND CUTS WITH PROJECT MANAGER PRIOR TO COMMENCEMENT OF WORK. CUT TILE AT WALL INTERSECTIONS FOR CONCEALMENT BY BASE WHERE APPLICABLE. VARY MORTAR THICKNESS, AS NECESSARY, TO ACCOMMODATE VARIATION IN THE TILE THICKNESS.
CLOSE AREAS IN WHICH TILE IS BEING PLACED TO TRAFFIC AND OTHER WORK. DEEP AREA CLOSED UNTIL TILE IS FIRMLY SET. PROTECT FLOORING FROM DAMAGE. REPLACE DAMAGED TILE AT NO ADDITIONAL COST TO OWNER.
INSTALL TILE TO WOOD SURFACES AND ALUMINUM GLAZING CHANNEL AND METAL BASE WITH DOW CORNING 795 SILICONE BUILDING SEALANT. BEADS AT 6" ON CENTER

GROUT FLUSH WITH TILE EDGES. WIPE TILES WITH CHEESE CLOTH INSTEAD OF SPONGE.
DAMP CURE PER MORTAR AND GROUT MANUFACTURER'S RECOMMENDATIONS.

BASE
1 INSTALL TILE BASE IN TOILETS AS SCHEDULED. VERIFY WITH HEALTH CODE REQUIREMENTS.
2 PROVIDE JOB MITERED INSIDE AND OUTSIDE CORNERS PER ALL CONDITIONS.
3 USE ADHESIVES ONLY AS RECOMMENDED BY THE MANUFACTURER OF THE MATERIAL TO WHICH IT IS APPLIED.
4 CAREFULLY INSPECT ALL SURFACES TO RECEIVE BASE PRIOR TO INSTALLATION. REPAIR DAMAGED SURFACES PRIOR TO INSTALLATION.
5 UPON COMPLETION, IMMEDIATELY REMOVE ALL SURPLUS ADHESIVE FROM ADJACENT SURFACES. IN ACCORDANCE WITH TIMING RECOMMENDED BY THE MANUFACTURER, USING MATERIALS RECOMMENDED FOR THAT PURPOSE BY THE MANUFACTURER.

SUSPENDED CEILING SYSTEM
1 PROVIDE HOLD DOWN CLIPS WITH UL CLASSIFICATION LABEL.
2 WORK INCLUDED: PROVIDE SUSPENDED CEILING SYSTEM WHERE SHOWN ON THE DRAWINGS, AS SPECIFIED HEREIN, AND AS NEEDED FOR A COMPLETE AND PROPER INSTALLATION.
3 USE ADEQUATE NUMBERS OF SKILLED WORKMEN WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE NECESSARY CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF THE WORK OF THIS SECTION.
4 DO NOT BEGIN INSTALLATION IN ANY AREA UNTIL SUFFICIENT MATERIALS ARE ON THE JOBSITE TO COMPLETE THE WORK OF THIS SECTION IN THAT AREA.
5 PROVIDE THE MANUFACTURER'S HEAVY DUTY SUSPENSION SYSTEM, COMPLYING WITH REQUIREMENTS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION, AND AS APPROVED BY THE ARCHITECT.
6 PROVIDE OTHER MATERIALS, NOT SPECIFICALLY DESCRIBED BUT REQUIRED FOR A COMPLETE AND PROPER INSTALLATION, AS SELECTED BY THE CONTRACTOR SUBJECT TO THE APPROVAL INSTALLATION, AS SELECTED OF THE ARCHITECT.
7 EXAMINE THE AREA AND CONDITIONS UNDER WHICH WORK OF THIS SECTION WILL BE PERFORMED. CORRECT CONDITIONS ARE DETRIMENTAL TO TIMELY AND PROPER COMPLETION OF THE WORK. DO NOT PROCEED UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED.
8 EXCEPT AS MODIFIED BY REQUIREMENTS OF GOVERNMENTAL AGENCIES HAVING JURISDICTION, INSTALL THE WORK OF THIS SECTION IN STRICT ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION RECOMMENDATIONS AS APPROVED BY THE ARCHITECT.
9 PROVIDE LATERAL BRACING AS REQUIRED BY PERTINENT CODES AND REGULATIONS. SECURE LATERAL BRACING TO STRUCTURAL MEMBERS. SECURE AT RIGHT ANGLES TO THE DIRECTION OF THE PARTITION AND FOUR-WAYS IN LARGE CEILING AREAS.
10 MAKE ALL FINISHED SURFACES LEVEL, OR TRUE TO PLANE WHERE PLANE IS DESIGNED TO BE OTHER THAN LEVEL, WITHIN A TOLERANCE OF 1 IN 1000, AND STRAIGHT WITHIN A TOLERANCE OF 1 IN 1000.
11 IN ADDITION TO OTHER STIPULATED REQUIREMENTS FOR CLEANING, COMPLETELY REMOVE FINGER PRINTS AND TRACES OF SOIL FROM THE SURFACES OF EXPOSED PORTIONS, USING ONLY THOSE CLEANING MATERIALS RECOMMENDED FOR THE PURPOSE BY THE MANUFACTURER OF THE MATERIAL BEING CLEANED.

DIVISION 9 - FINISHES

MATERIALS SUSPENSION SYSTEM - AS REQUIRED TO SUPPORT GYPSUM BOARD PANELS, FIXTURES AND OTHER COMPONENTS AS INDICATED, INCLUDING ANCHORAGES, HANGERS, RUNNERS, CROSS RUNNERS, SPLINES, CLIPS, MOLDING, FASTENERS AND OTHER MEMBERS, DEVICES AND ACCESSORIES. COMPLY WITH ASTM C835, 2' X 4' AND 2' X 2



AREA NOT IN PHASE 3A SCOPE

LEGEND

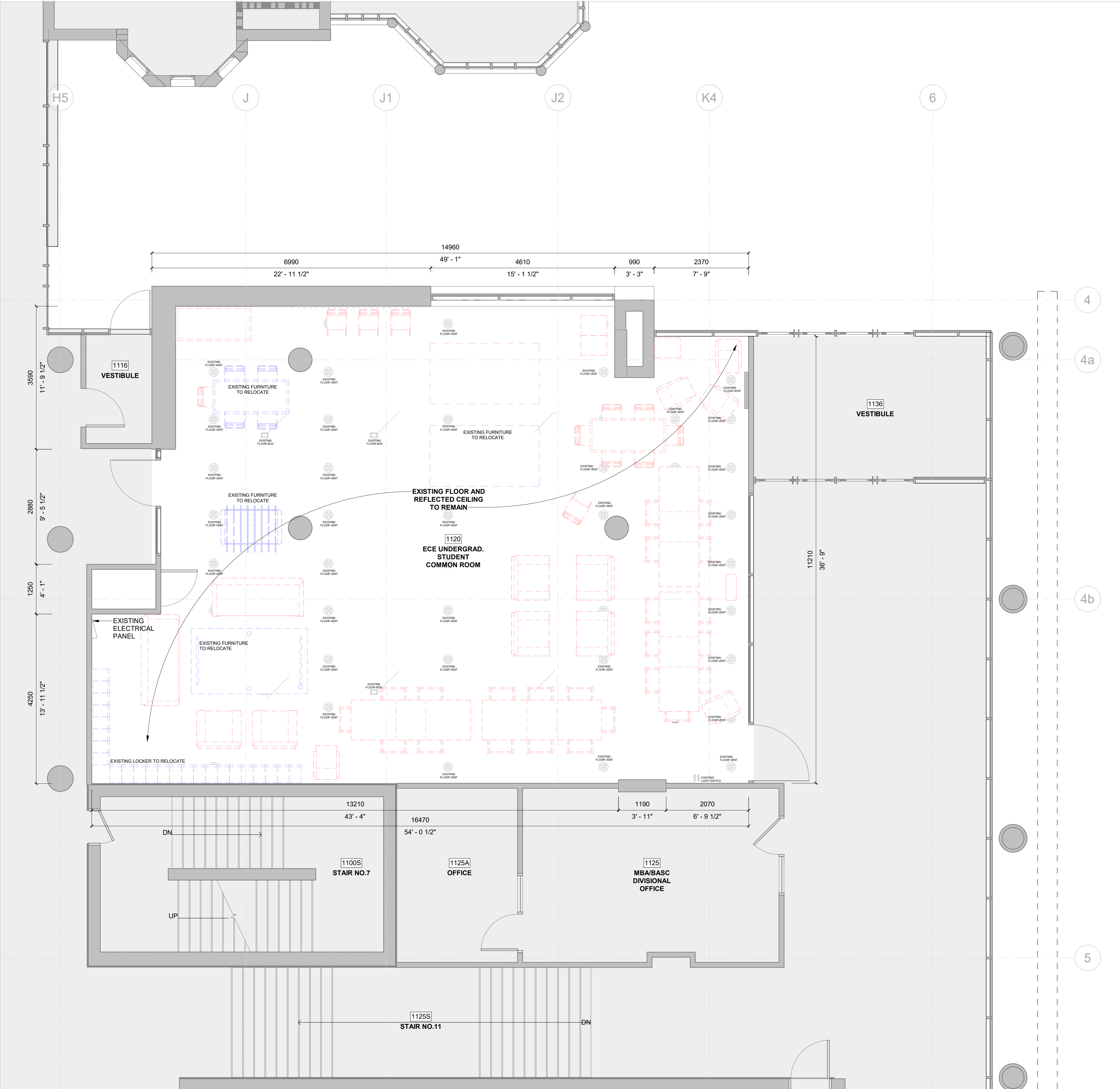
EXISTING WALL

DEMOLITION

RELOCATION

PROPOSED

EXITS



1 PART MAIN FLOOR - EXISTING LAYOUT
A101 1:50

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REV #

ISSUE DATE

DRAWING ISSUE

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REVIEW

C	2025.11.27	ADDENDUM-01	UA	AS
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REV 27, 2025

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DRAWING TITLE

PART MAIN FLOOR - EXISTING LAYOUT

PROJECT NO.

24-114

PROJECT DATE

NOV 27, 2025

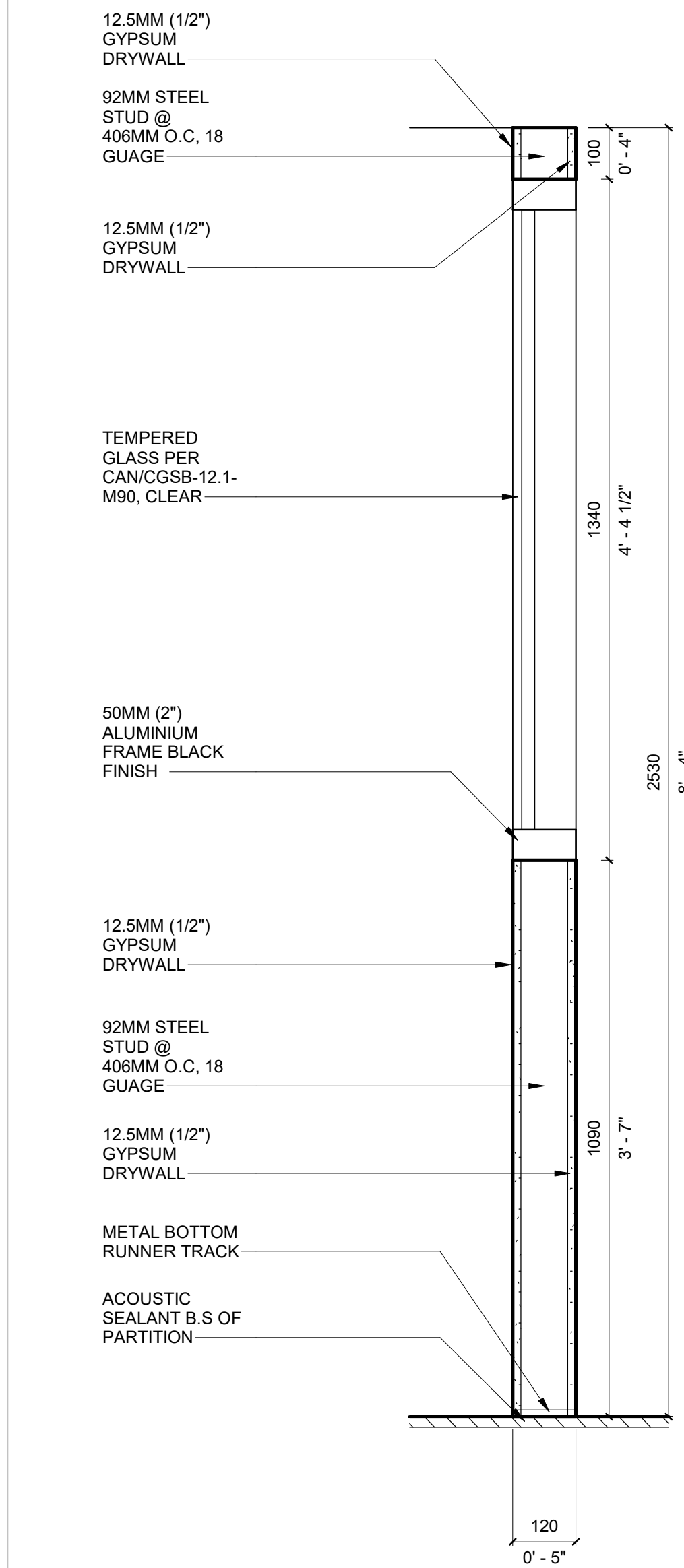
SCALE

AS NOTED

SHEET NO.

A101

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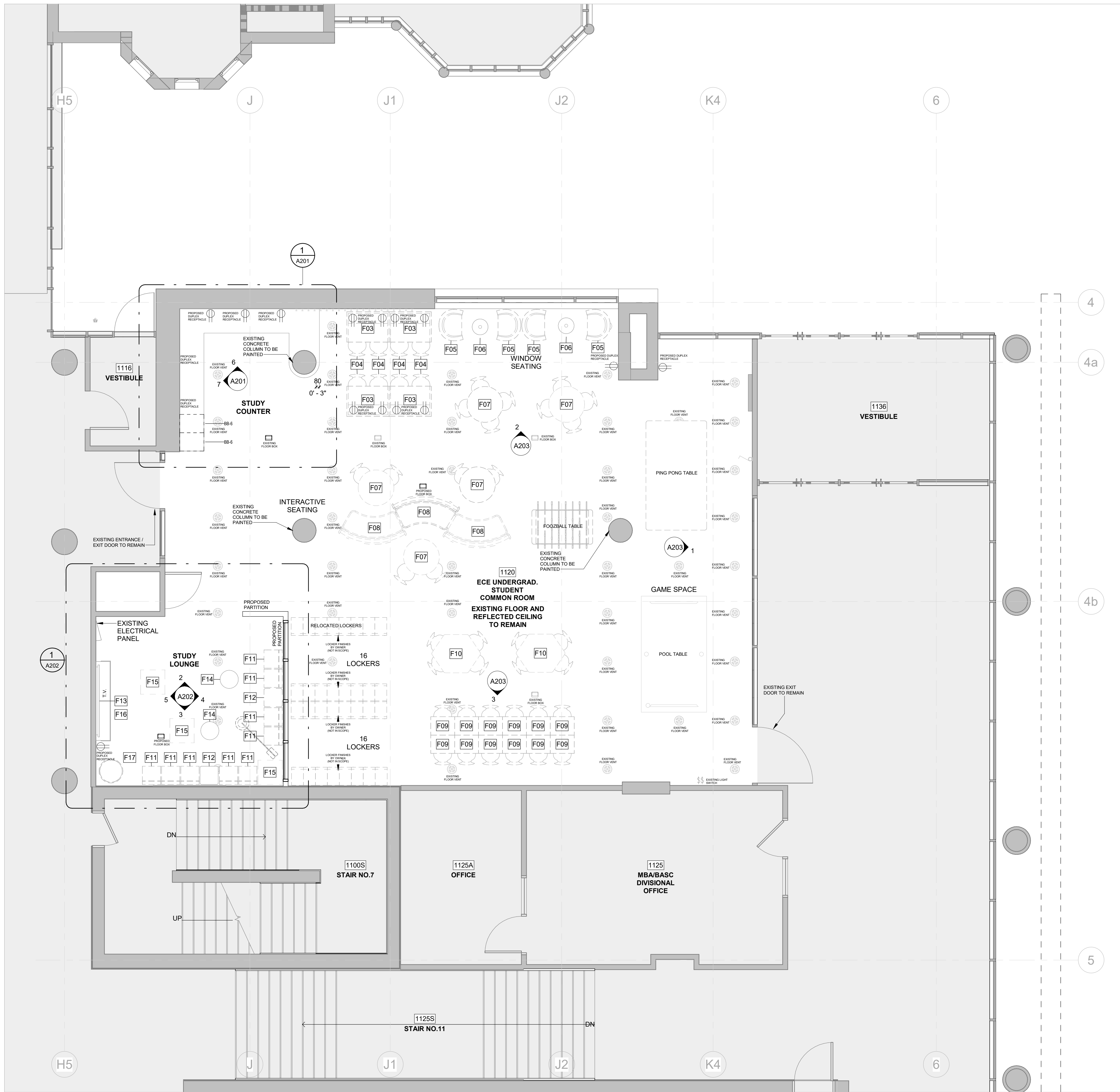


5 P3 PARTITION DETAIL

FURNITURE SCHEDULE


NO	NAME	LENGTH	WIDTH	COUNT
F03	STUDY CARRELS	1070	760	4
F04	CHAIRS	500	450	44
F05	SOFA	750	580	4
F06	COFFEE TABLE	400	400	2
F07	ROUND TABLE	900	900	6
F08	DESIGNER SOFA	1670	800	4
F09	600X460 TABLE	600	460	12
F10	HEXAGON TABLE	1220	960	2
F11	CUSTOM CHAIR	480	460	9
F12	18" COUCH	460	460	2
F13	WALL MOUNTED T.V.	1810	900	1
F14	CENTER TABLE	450	450	2
F15	24" COUCH	610	610	3
F16	T.V. CONSOLE	1890	360	1
F17	PLANTER BOX	600	600	1

ELECTRICAL LEGEND	
	ELECTRICAL FLOOR BOX
	DUPLEX RECEPTACLE
	LIGHT SWITCH



1 PART MAIN FLOOR PLAN - PROPOSED LAYOUT

1:50




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REV #	ISSUE DATE	DRAWING ISSUE	DRAWN	REVIEW
C	2025.11.27	ADDENDUM-01	UA	AS
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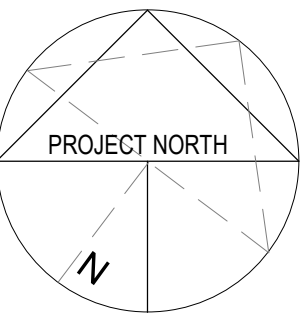


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REV. 27, 2025



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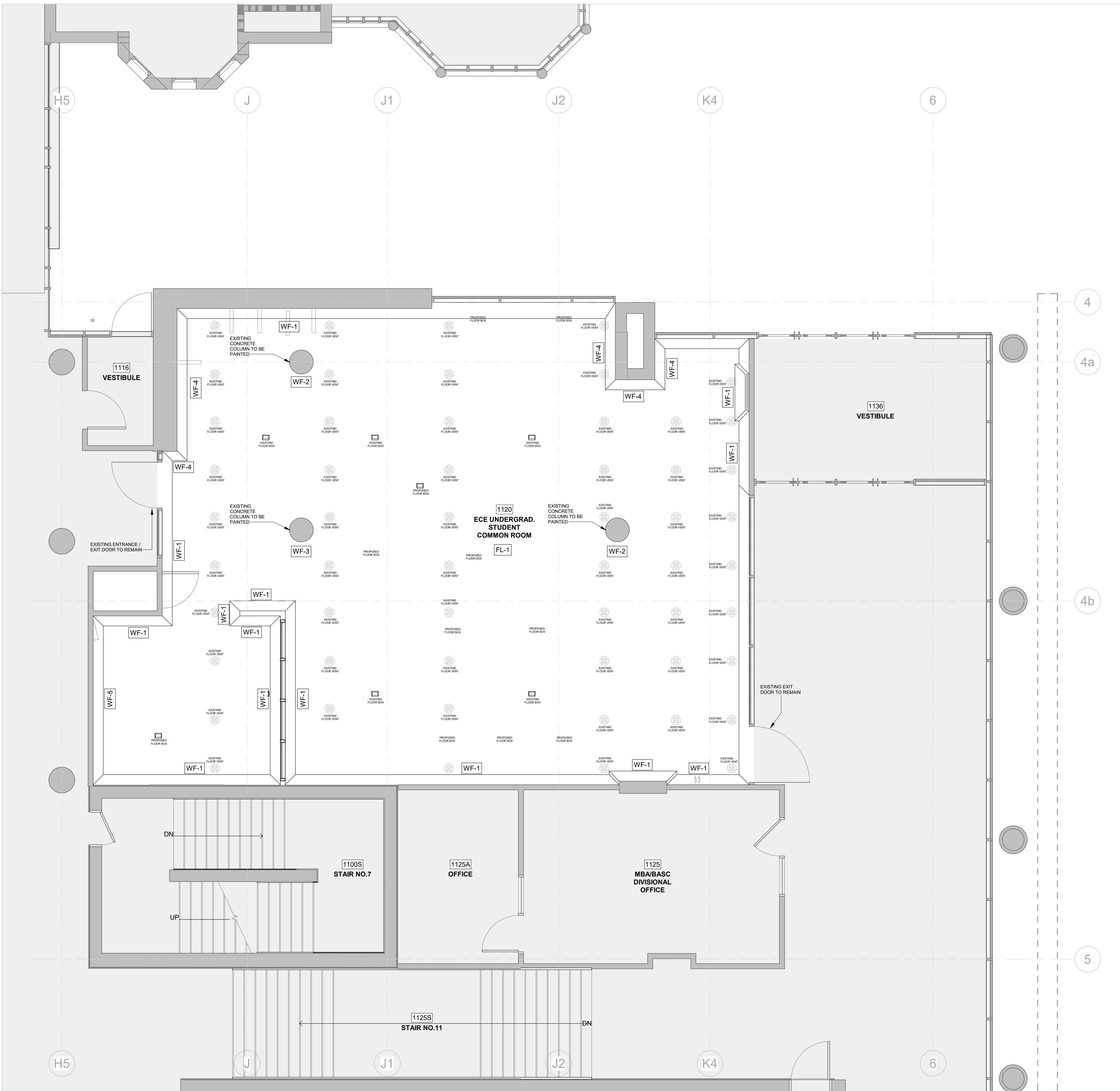
DRAWING TITLE
PART MAIN FLOOR -
PROPOSED LAYOUT

PROJECT NO.
24-114


PLOT DATE
NOV 27, 2025

SHEET NO.
A102




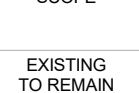
SCALE
AS NOTED



1 PART MAIN FLOOR PLAN - FINISHES LAYOUT
A103 1:50



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TORONTO

FINISHES SCHEDULE				
NO.	SPECIFICATION	COLOUR	CODE	PATTERN
WF-1	PAINT FINISH, SHERWIN WILLIAMS	WHITE SNOW	SW-9541	
WF-2	PAINT FINISH, SHERWIN WILLIAMS	FRANK BLUE	SW-6967	
WF-3	PAINT FINISH, SHERWIN WILLIAMS	ALEUTAIN	SW-6241	
WF-4	BRICK FINISH	EXISTING	EXISTING	
WF-5	CUSTOM WALLPAPER	CUSTOM	CUSTOM	NOT IN SCOPE
FL-1	CARPET FLOOR FINISH	EXISTING	EXISTING	EXISTING TO REMAIN


REV #	ISSUE DATE	DRAWING ISSUE	DRAWN	REVIEW
C	2025.11.27	ADDENDUM-01	UA	AS
B	2025.03.16	JFC	UA	AS
A	2024.11.04	SCHEMATIC DESIGN	UA	AS

ISSUE #	ISSUE DATE	PROJECT ISSUE	DRAWN	REVIEW
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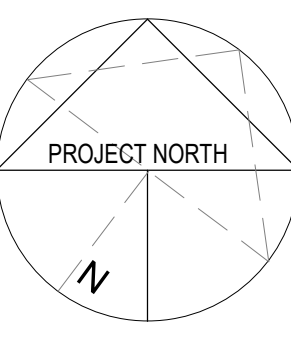


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ARCHITECTS
M. ARSHAD SIDDIQUI
LICENCE
8950
REV 27, 2025



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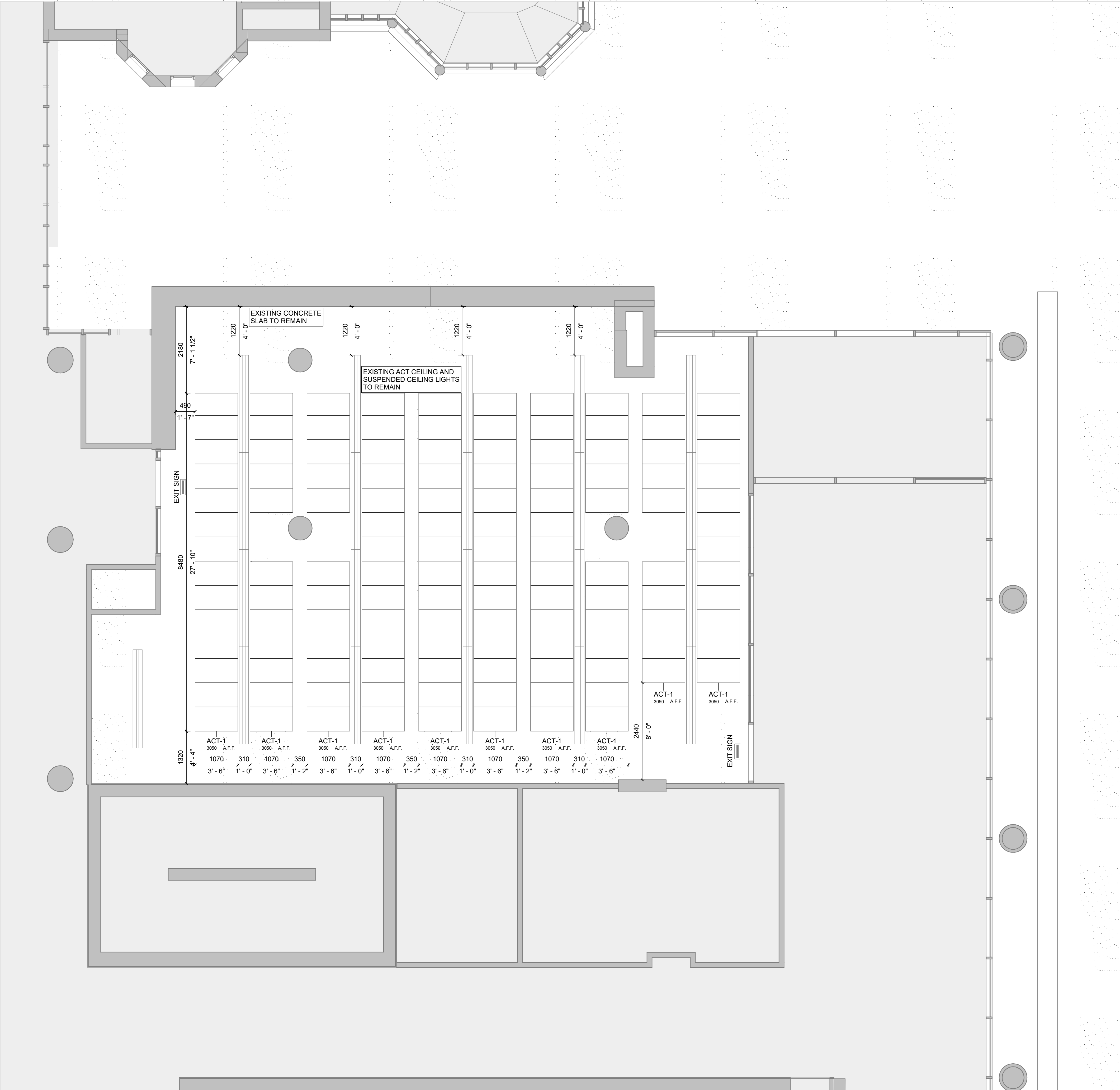
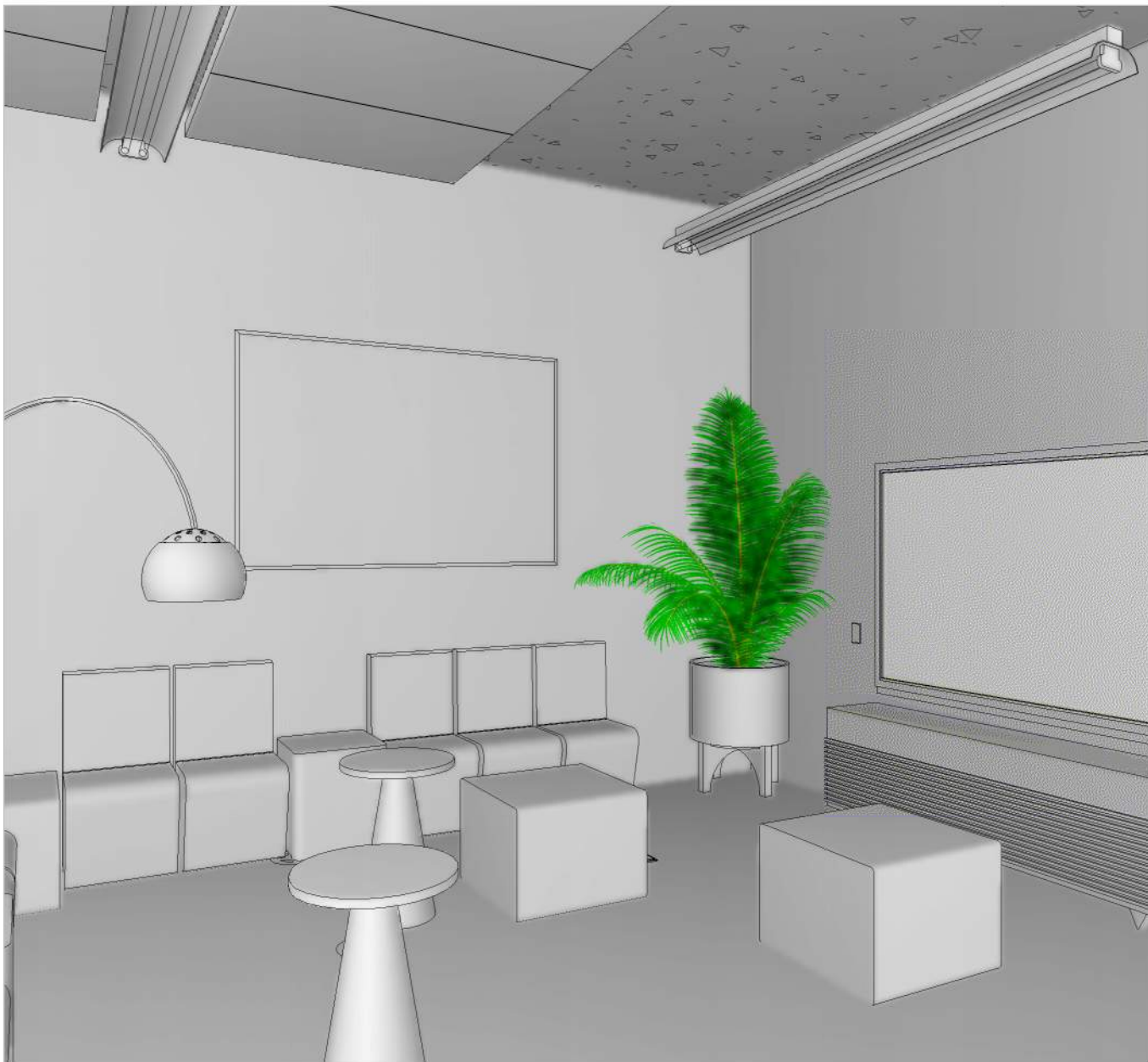
PROJECT
ALTERATIONS, ECE STUDENT
COMMON RM
44 ST GEORGE ST, TORONTO, ON M5S 2E4

DRAWING TITLE

PART MAIN FLOOR -
FINISHING LAYOUT

PROJECT NO.	PLOT DATE
24-114	NOV 27, 2025
	SCALE
	AS NOTED
SHEET NO.	


A103



1
A111

PART MAIN FLOOR - EXISTING REFLECTED CEILING LAYOUT

1:50



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REV #	ISSUE DATE	DRAWING ISSUE	DRAWN	REVIEW
C	2025.11.27	ADDENDUM-01	UA	AS
B	2025.03.16	IFC	UA	AS
A	2024.11.04	SCHEMATIC DESIGN	UA	AS
ISSUE #	ISSUE DATE	PROJECT ISSUE	DRAWN	REVIEW

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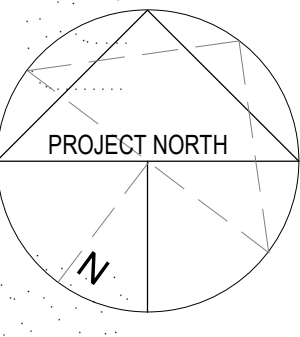
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REV. 2025



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PROJECT

ALTERATIONS, ECE STUDENT
COMMON RM

44 ST GEORGE ST, TORONTO, ON M5S 2E4

DRAWING TITLE

PART MAIN FLOOR -
REFLECTED CEILING
LAYOUT

PROJECT NO.

24-114

PLOT DATE

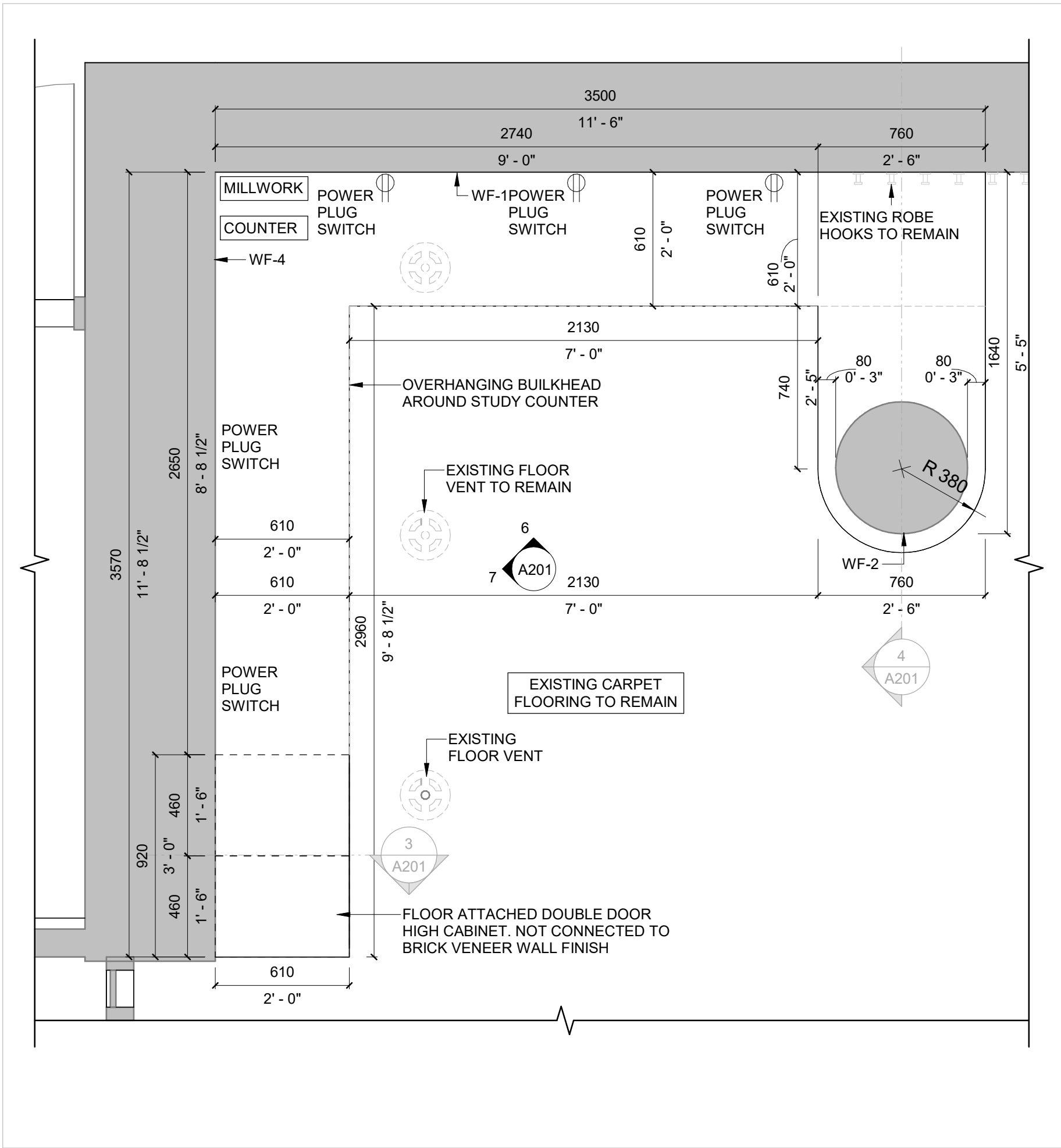
NOV 27, 2025

SCALE

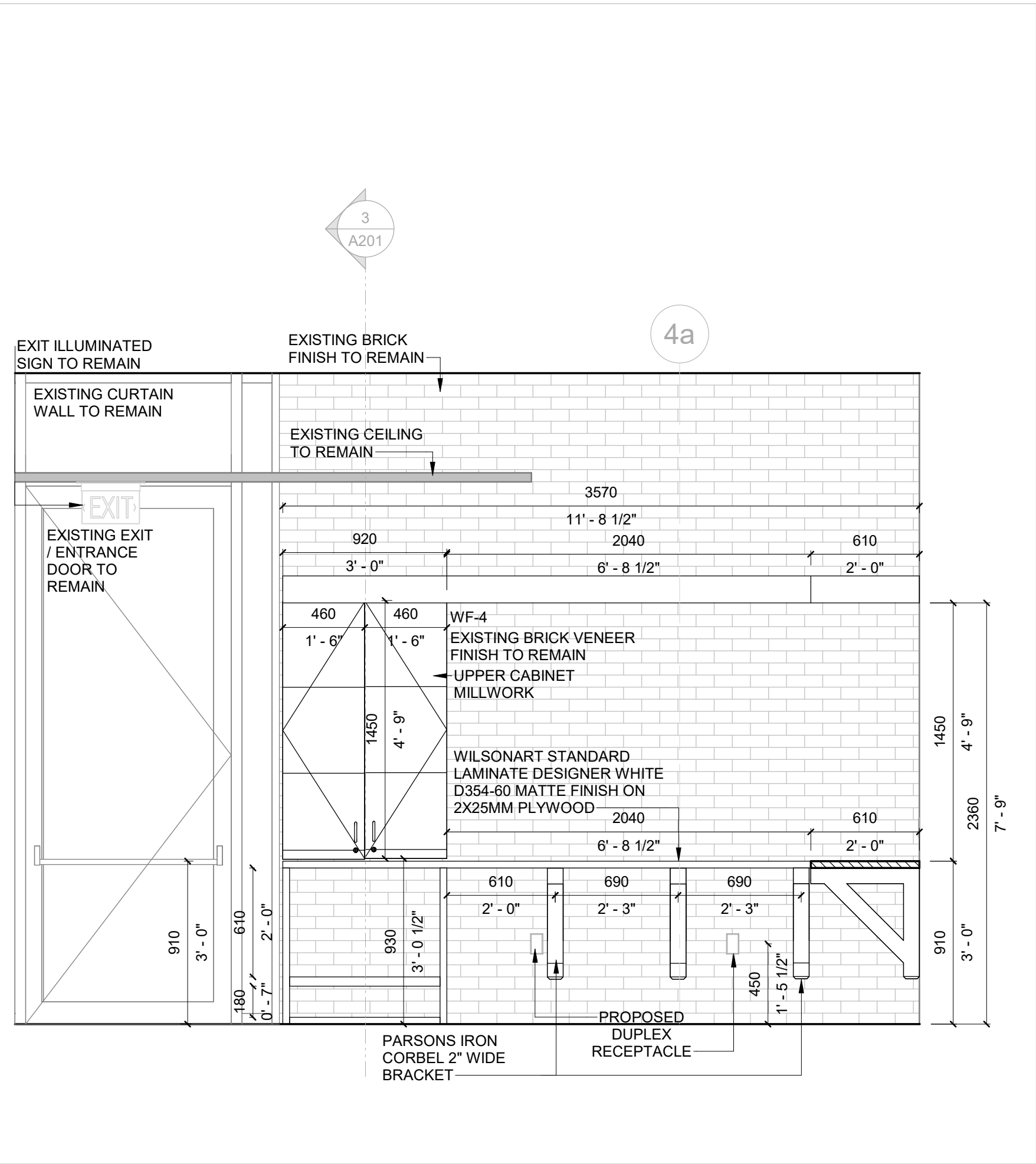
AS NOTED

SHEET NO.

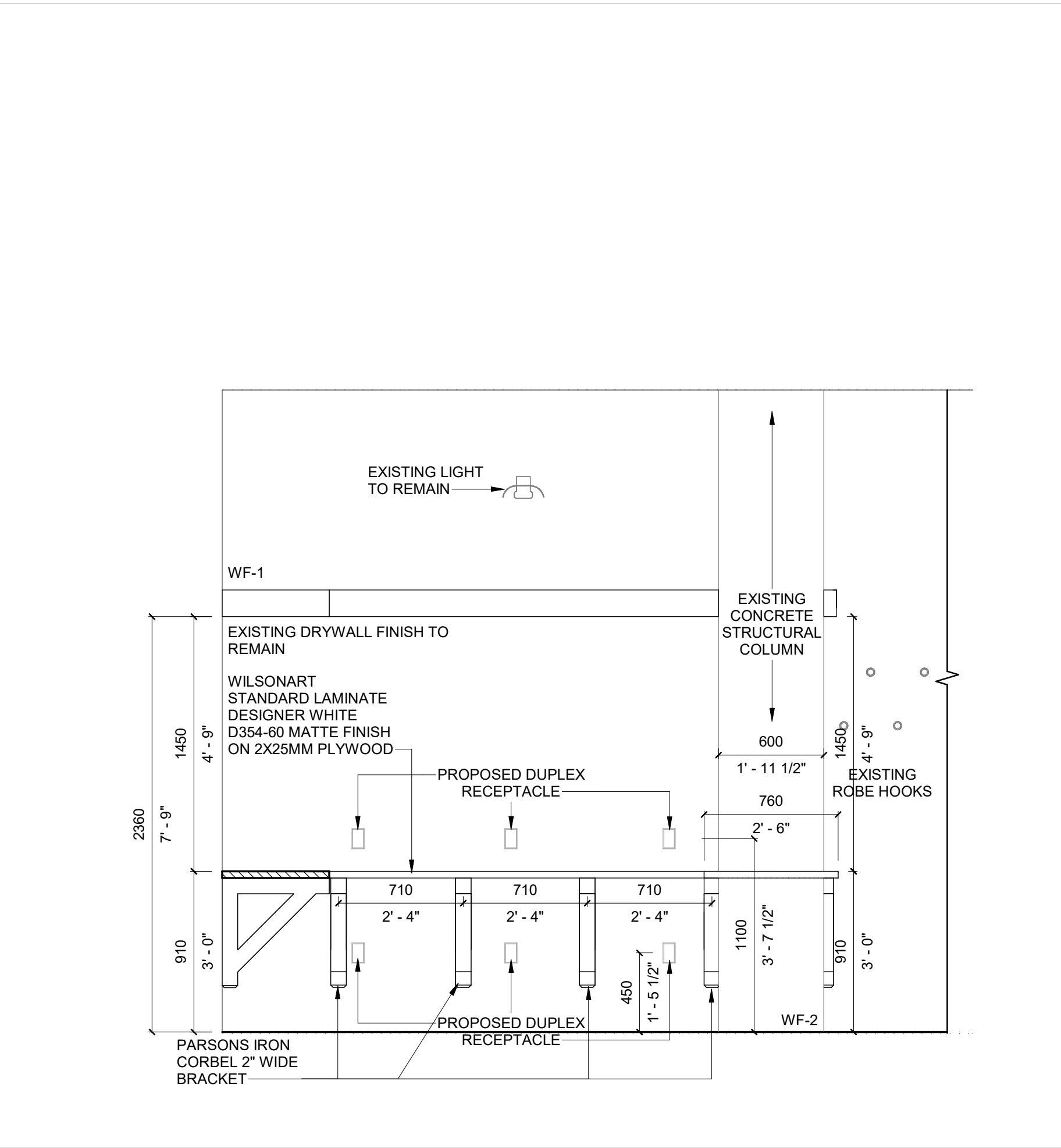
A111



1 STUDY COUNTER 1120 - BLOW-UP PLAN
A201 1:20



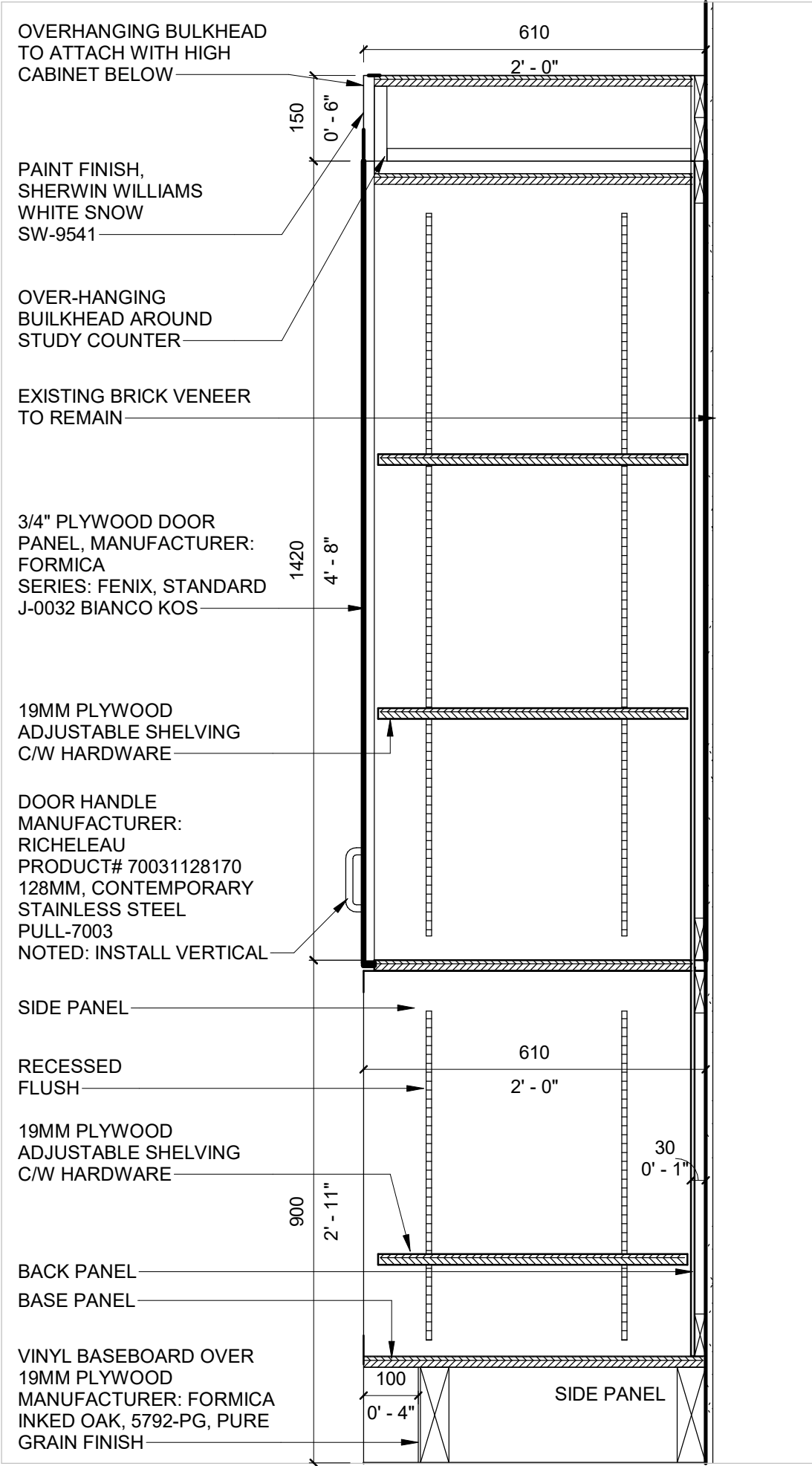
7 STUDY COUNTER ELEVATION - 01
A201 1:25



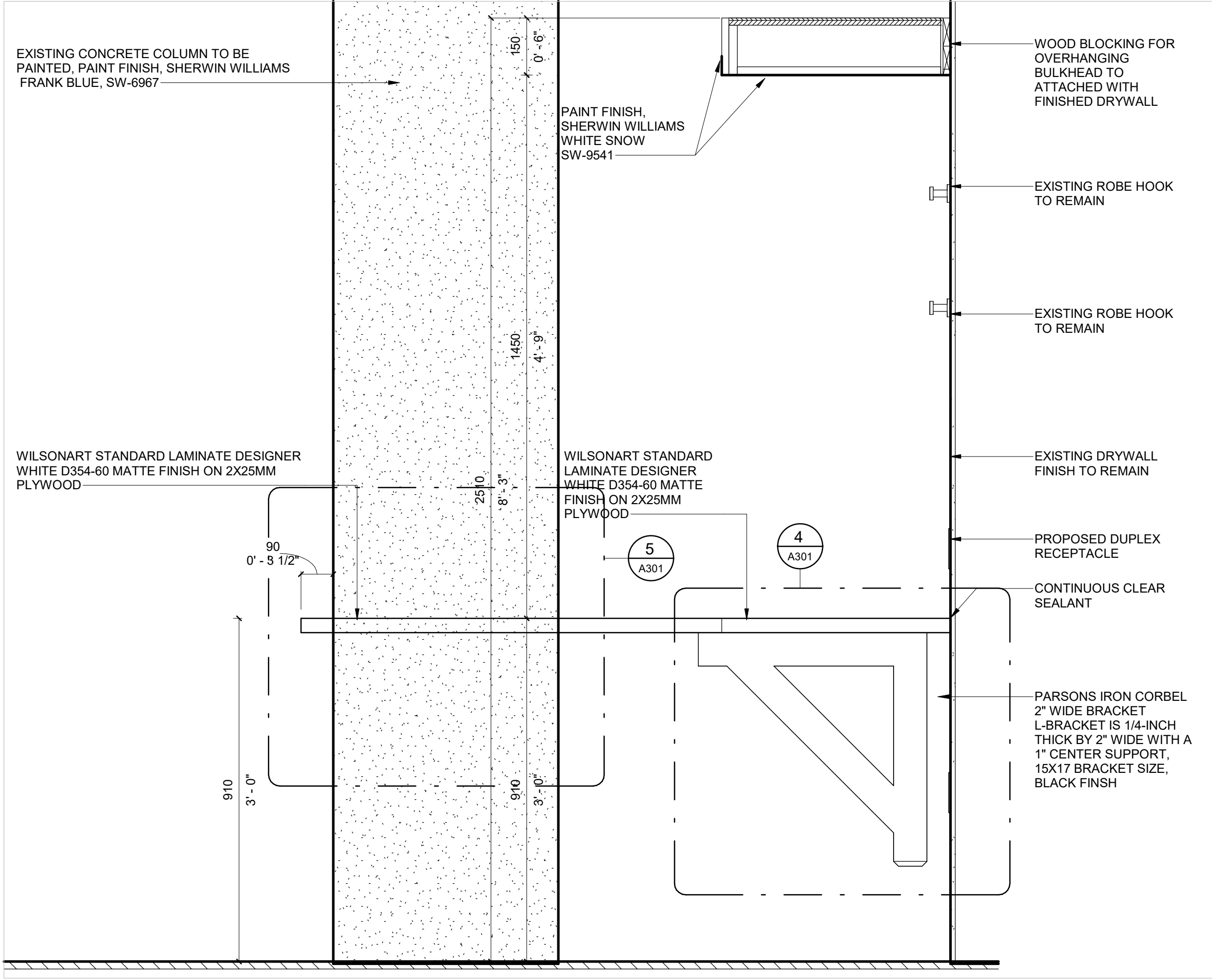
6 STUDY COUNTER ELEVATION - 02
A201 1:25



2 STUDY COUNTER - VIEW 1120
A201 1:4



3 SECTIONAL DETAIL-01
A201 1:10



4 SECTIONAL DETAIL-02
A201 1:10

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FINISHES SCHEDULE				
NO.	SPECIFICATION	COLOR	CODE	PATTERN
WF-1	PAINT FINISH, SHERWIN WILLIAMS	WHITE SNOW	SW-9541	
WF-2	PAINT FINISH, SHERWIN WILLIAMS	FRANK BLUE	SW-6967	
WF-3	PAINT FINISH, SHERWIN WILLIAMS	ALEUTAIN	SW-6241	
WF-4	BRICK FINISH	EXISTING	EXISTING	
WF-5	CUSTOM WALLPAPER	CUSTOM	CUSTOM	NOT IN SCOPE
FL-1	CARPET FLOOR FINISH	EXISTING	EXISTING	EXISTING TO REMAIN

REV #	ISSUE DATE	DRAWING ISSUE	DRAWN	REVIEW
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B	2025.03.16	IFC	UA	AS
A	2024.11.04	SCHEMATIC DESIGN	UA	AS
ISSUE #	ISSUE DATE	PROJECT ISSUE	UA	AS

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LICENCE
8850
2017-2025

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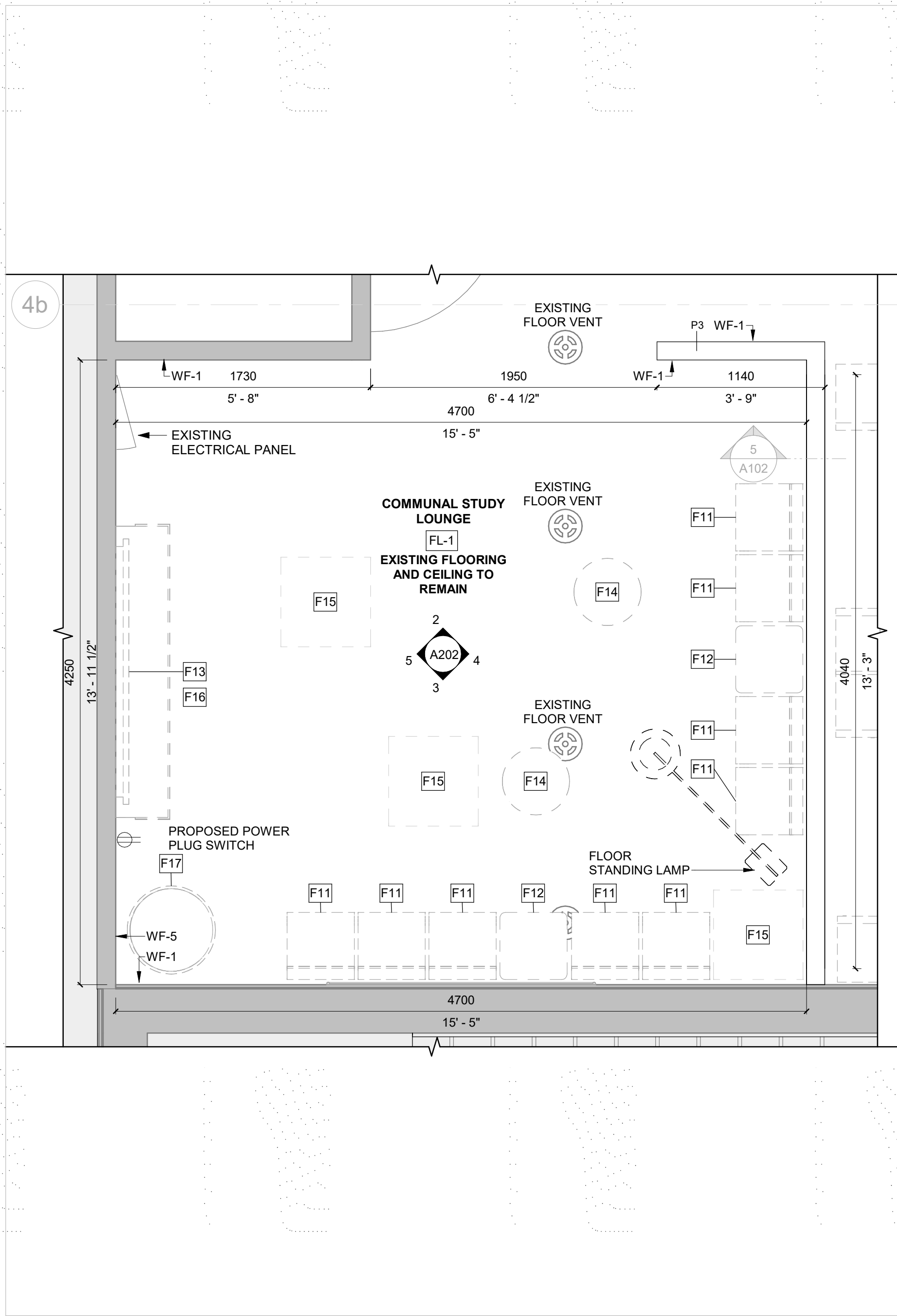
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DRAWING TITLE

STUDY COUNTER -
DETAILS

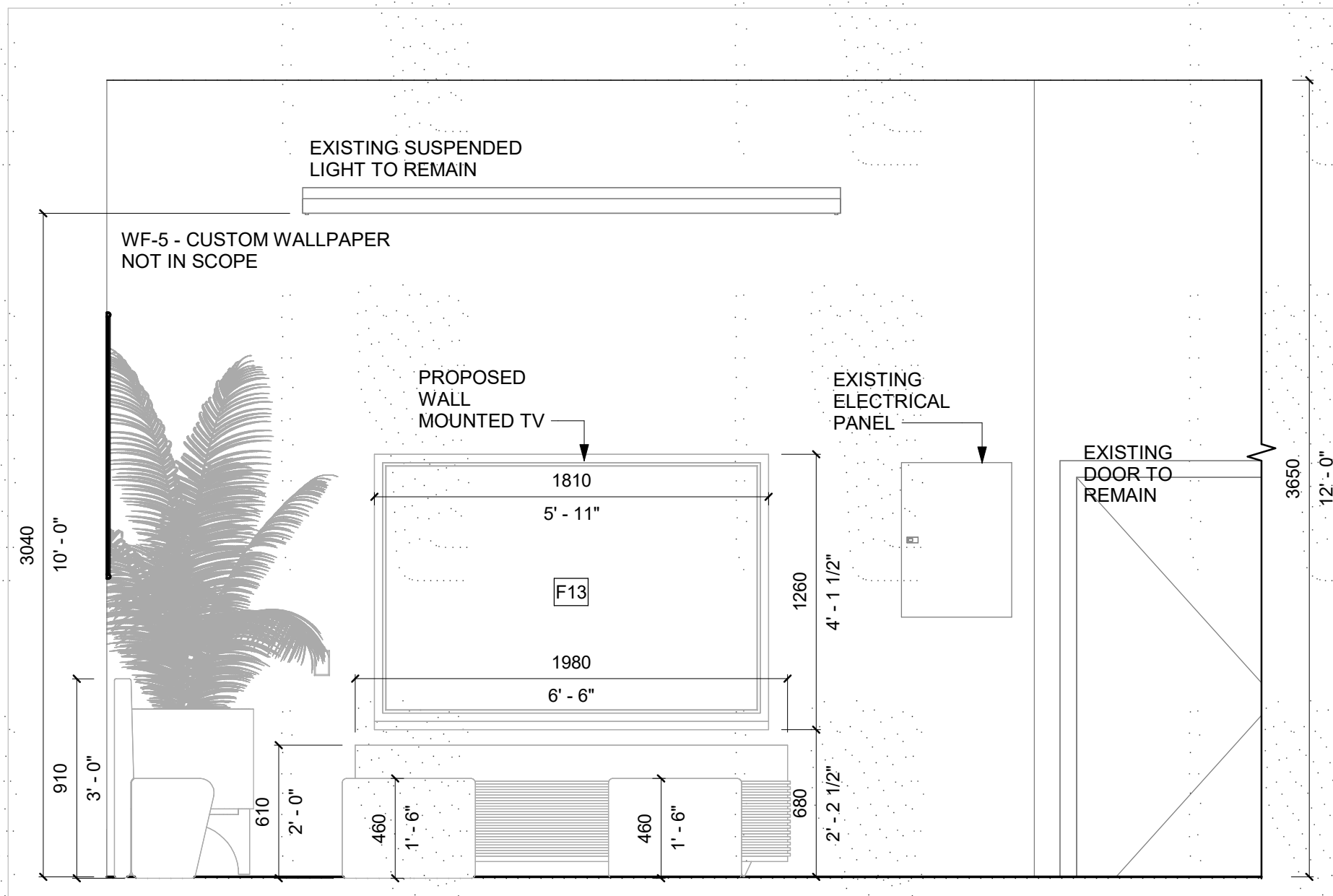
PROJECT NO.	PLOT DATE
24-114	NOV 27, 2025
SHEET NO.	SCALE
A201	AS NOTED



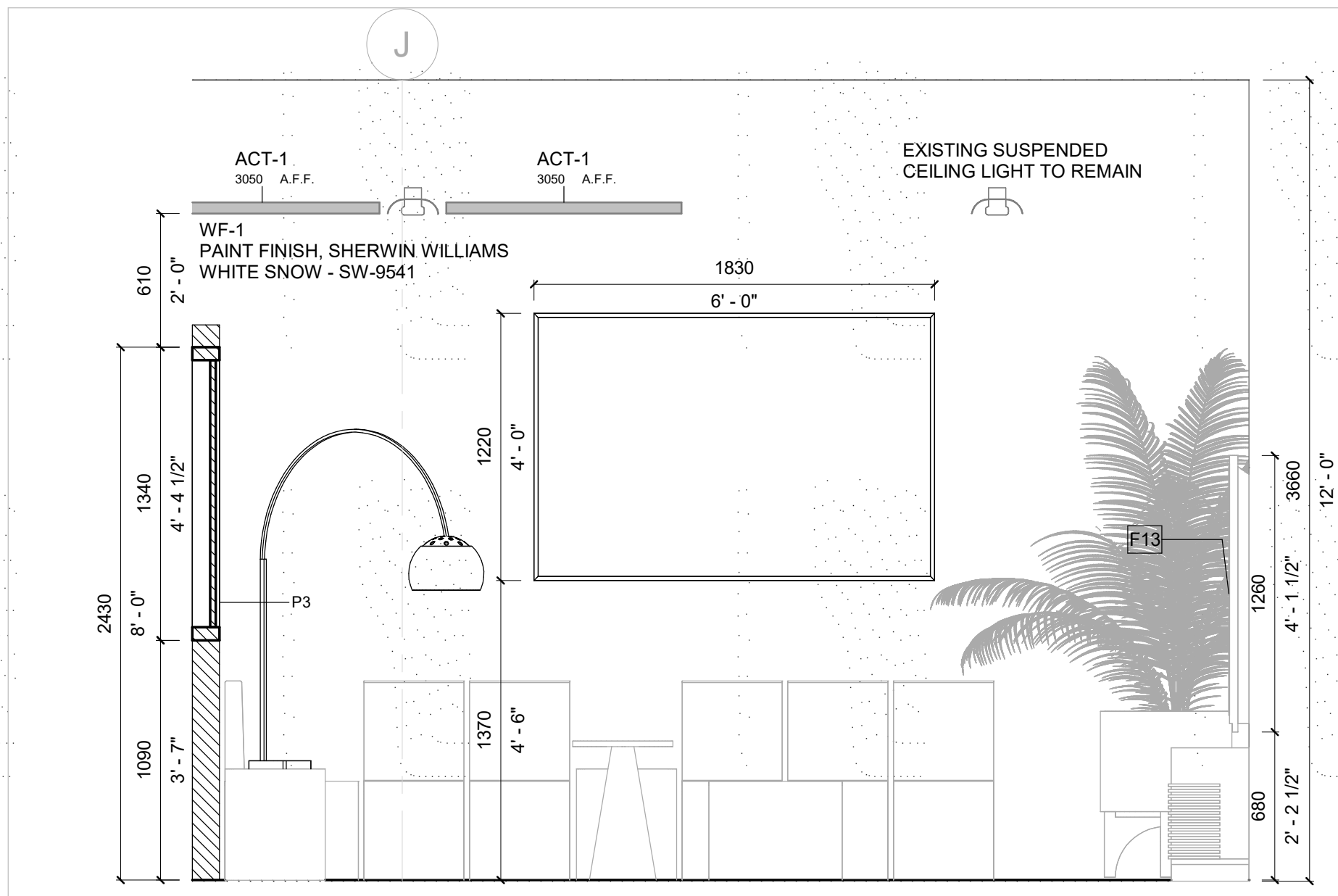
1 STUDY LOUNGE 1120 - BLOW-UP PLAN
A202 1:25



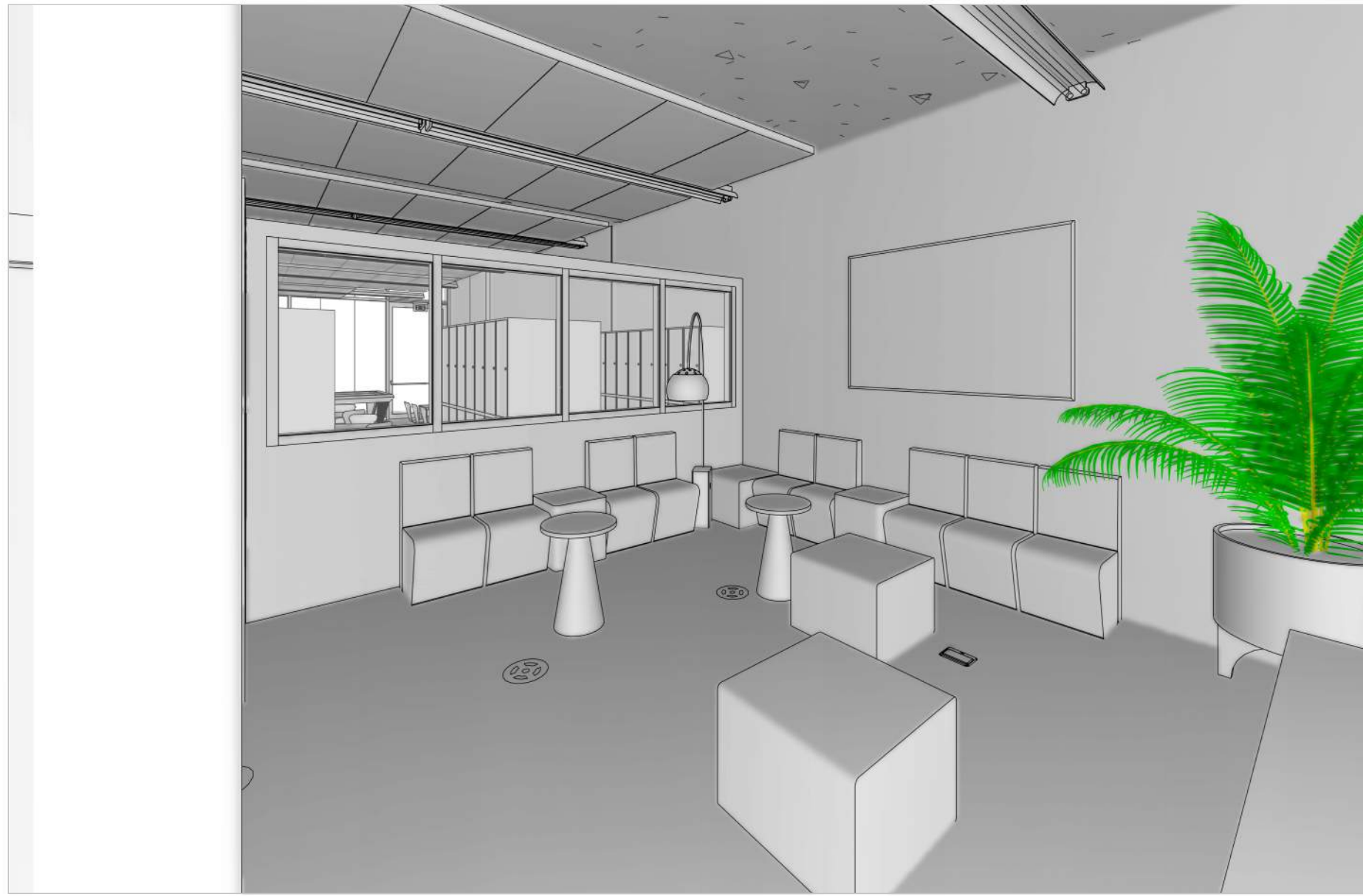
8 STUDY LOUNGE04 1120
A202



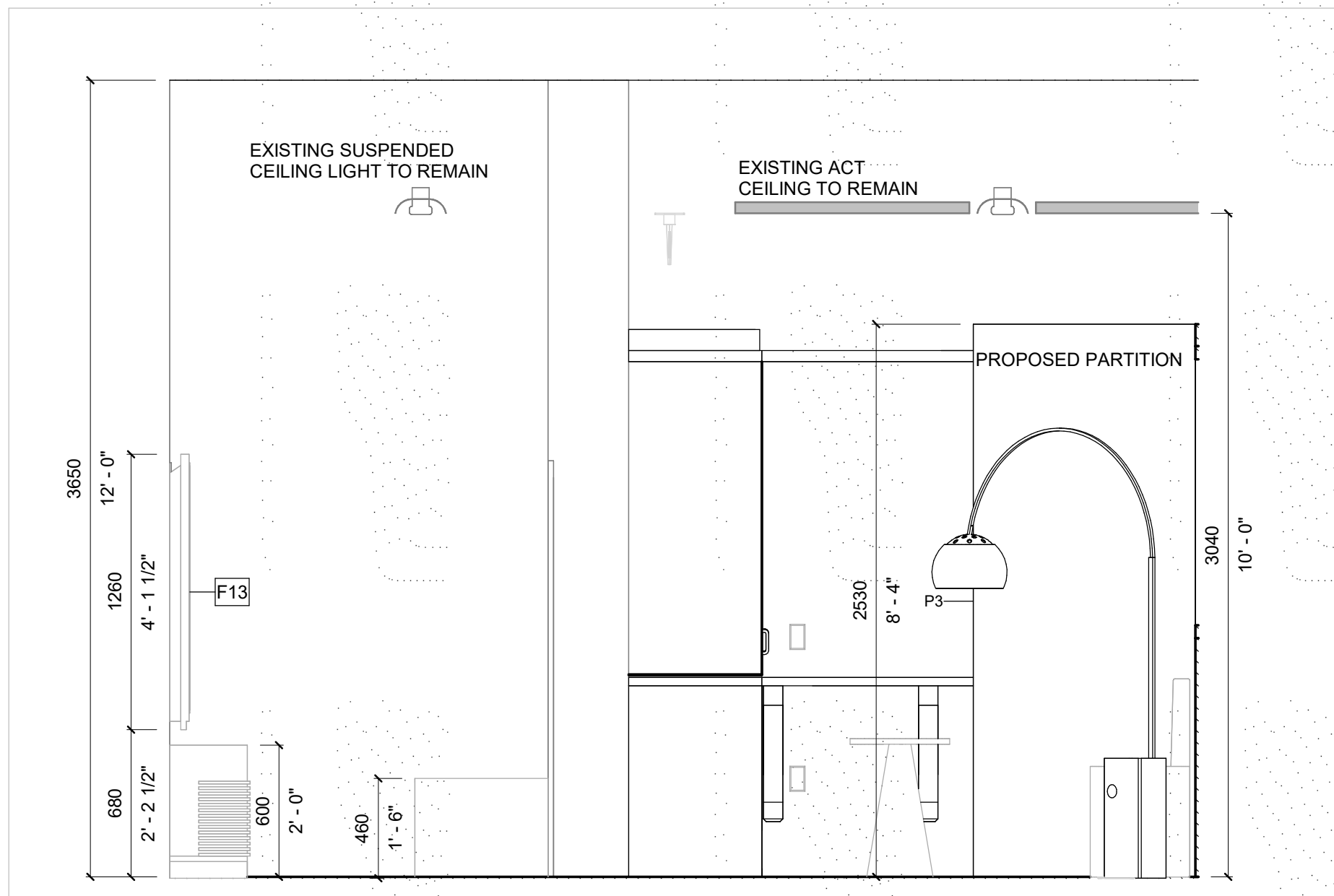
5 LOUNGE ELEVATION - 01
A202 1:25



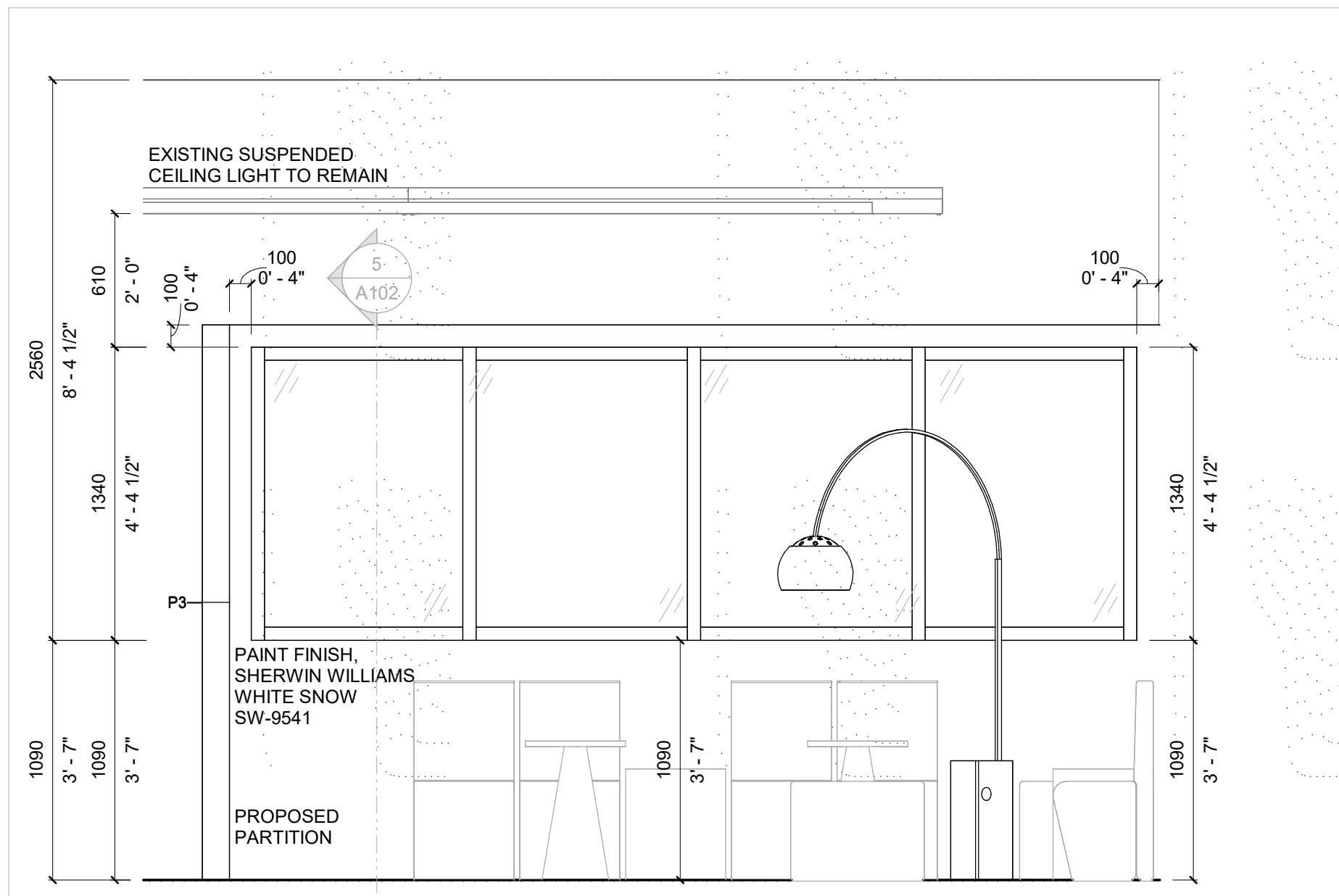
3 LOUNGE ELEATION - 03
A202 1:25



6 STUDY LOUNGE01 1120
A202



2 LOUNGE ELEVATION - 02
A202 1:25



4 LOUNGE ELEVATION - 04
A202 1:25



7 STUDY LOUNGE2 1120
A202

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FINISHES SCHEDULE				
NO.	SPECIFICATION	COLOR	CODE	PATTERN
WF-1	PAIN FINISH, SHERWIN WILLIAMS	WHITE SNOW	SW-9541	
WF-2	PAIN FINISH, SHERWIN WILLIAMS	FRANK BLUE	SW-6967	
WF-3	PAIN FINISH, SHERWIN WILLIAMS	ALEUTAIN	SW-6241	
WF-4	BRICK FINISH	EXISTING	EXISTING	
WF-5	CUSTOM WALLPAPER	CUSTOM	CUSTOM	NOT IN SCOPE
FL-1	CARPET FLOOR FINISH	EXISTING	EXISTING	EXISTING TO REMAIN

REV #	ISSUE DATE	DRAWING ISSUE	DRAWN	REVIEW
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ISSUE #	ISSUE DATE	PROJECT ISSUE	UA	AS
1	2024.11.04	SCHEMATIC DESIGN	UA	AS

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REV 27, 2025

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DRAWING TITLE
STUDY LOUNGE - DETAIL

PROJECT NO.	PLOT DATE
24-114	NOV 27, 2025

SHEET NO.	SCALE
A202	AS NOTED

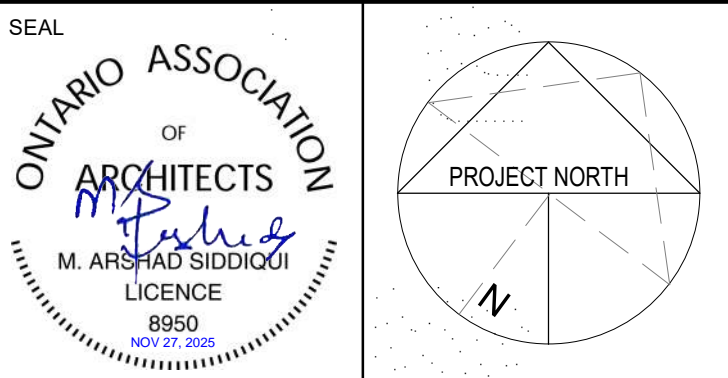


FINISHES SCHEDULE				
NO.	SPECIFICATION	CLOUR	CODE	PATTERN
WF-1	PAINT FINISH SHERWIN WILLIAMS	WHITE SNOW	SW-5541	
WF-2	PAINT FINISH SHERWIN WILLIAMS	FRANK BLUE	SW-6907	
WF-3	PAINT FINISH SHERWIN WILLIAMS	ALEUTAIN	SW-6241	
WF-4	BRICK FINISH	EXISTING	EXISTING	
WF-5	CUSTOM WALLPAPER	CUSTOM	CUSTOM	NOT IN SCOPE
FL-1	CARPET FLOOR FINISH	EXISTING	EXISTING	EXISTING TO REMAIN

[illegible]

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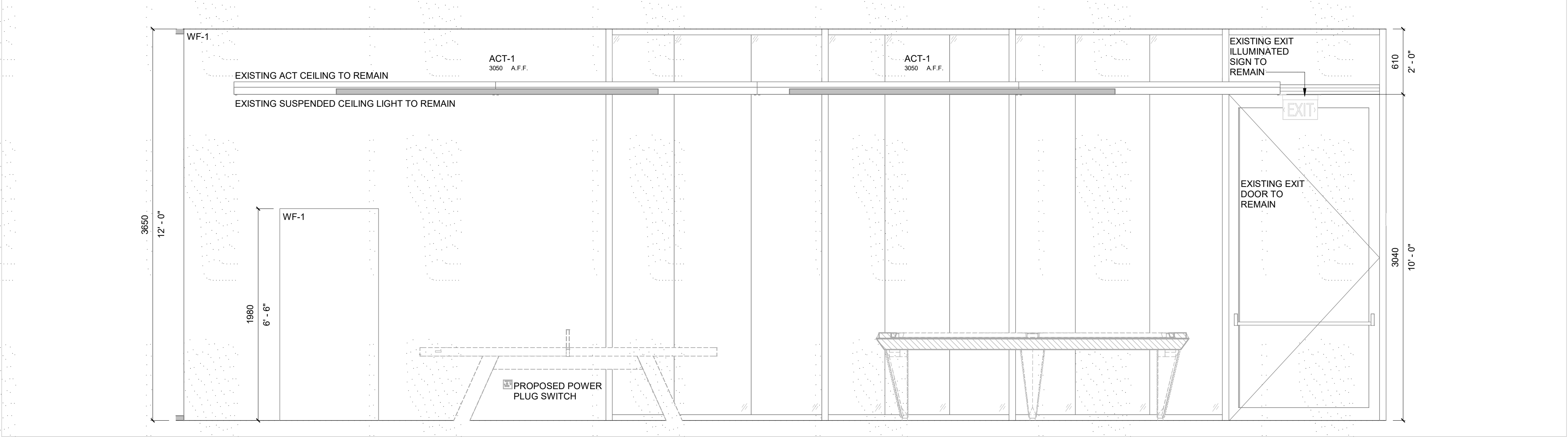
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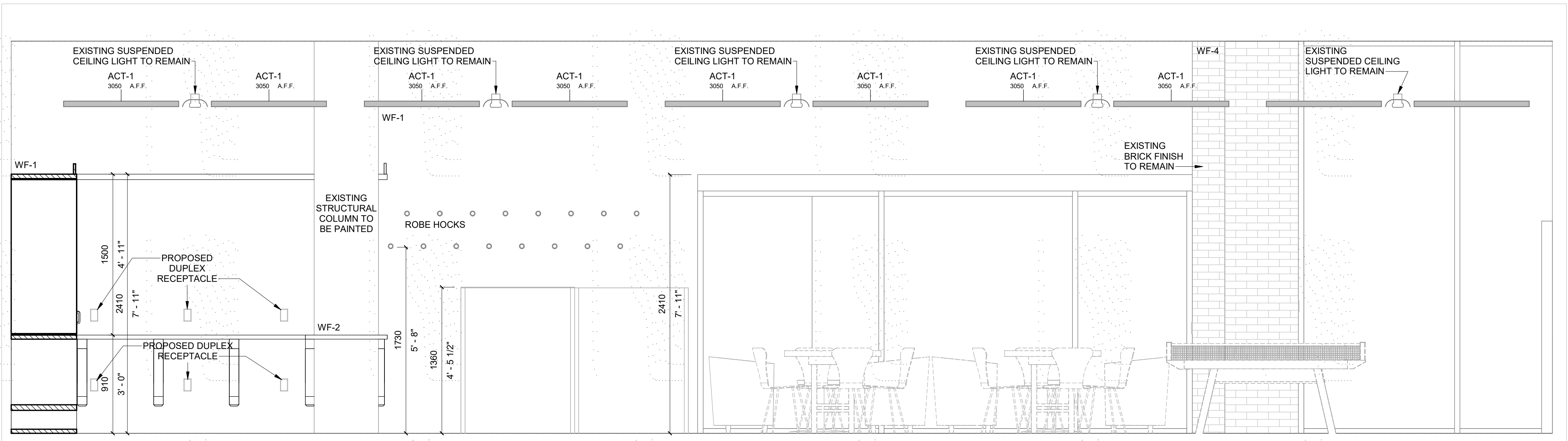
DRAWING TITLE

STUDENT COMMON ROOM
- DETAIL

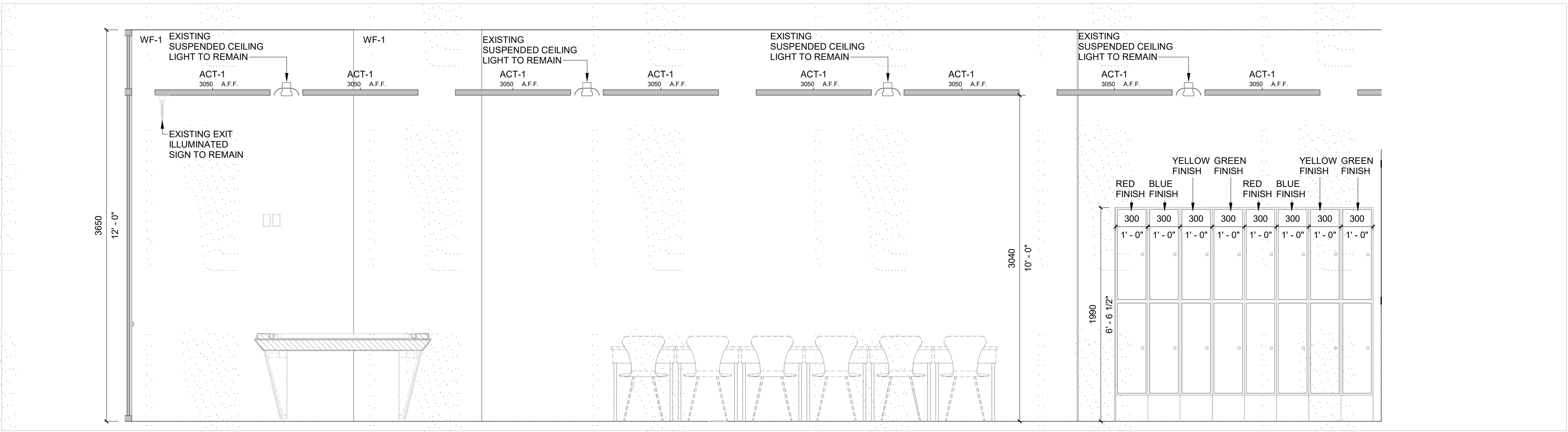
PROJECT NO.	PLOT DATE	NOV 27, 2025
24-114	SCALE	AS NOTED
SHEET NO.	A 303	



1 STUDENT COMMON ROOM ELEVATION-01



2 STUDENT COMMON ROOM ELEVATION-02
A203 1:25



3 STUDENT COMMON ROOM ELEVATION-03
A203 1 : 25

A modern lounge area featuring a modular sofa with orange, black, and beige sections, a large abstract painting on the wall, a floor lamp, and a wooden console table with a potted plant. The room has a textured ceiling with recessed lighting and a patterned rug.

