

CLIENT:

CITY OF RICHMOND HILL

PROJECT NAME:

CONNOR BUILDING
RENOVATIONS

PROJECT ADDRESS:

39 KING ROAD
RICHMOND HILL,
ON

ISSUED FOR TENDER

2025-04-15

PROJECT IMAGE:



IMAGE DESCRIPTION:

CIVIL DRAWING LIST	
SHEET No.	SHEET NAME
NT-1	NOTES AND DETAILS PLAN
ER-1	EROSION AND SEDIMENT CONTROL PLAN
SS-1	SITE SERVICING PLAN
EXPR-1	EXISTING AND PROPOSED ASPHALT PLAN
GR-1	SITE GRADING PLAN
XSEC-1	CROSS SECTIONS

LANDSCAPE DRAWING LIST	
SHEET No.	SHEET NAME
L-100	NOTES
TP-1	TREE MANAGEMENT PLAN
TP-2	TREE MANAGEMENT PLAN
L-300	LANDSCAPE SITE PLAN
L-301	PLANTING PLAN
L-500	DETAILS
L-501	DETAILS
L-502	DETAILS

ARCHITECTURAL DRAWING LIST	
SHEET No.	SHEET NAME
A-001	GENERAL NOTES AND LEGENDS & ASSEMBLIES
A-002	LIFE SAFETY PLANS AND OBC MATRIX
A-101	SITE PLAN
A-102.1	SITE PLAN DETAILS - HEATED SHED
A-102.2	SITE PLAN DETAILS - STORAGE ENCLOSURE
A-102.3	SITE PLAN DETAILS - MISC. DETAILS
A-103	DEMOLITION PLANS - GROUND AND MEZZANINE LEVELS
A-104	DEMOLITION PLAN - ROOF LEVEL & SECTIONS
A-111	FLOOR PLAN - GROUND LEVEL
A-112	FLOOR PLAN - SECOND LEVEL
A-113	FLOOR PLAN - ROOF LEVEL
A-121	RCP - GROUND LEVEL
A-122	RCP - SECOND LEVEL
A-201	BUILDING ELEVATIONS - OVERALL - NORTH & EAST
A-202	BUILDING ELEVATIONS - OVERALL - SOUTH & WEST
A-211	BUILDING ELEVATIONS - PARTIAL
A-221	INTERIOR ELEVATIONS
A-301	LONGITUDINAL SECTIONS
A-302	CROSS SECTIONS
A-311	WALL SECTIONS
A-400	ENLARGED PLANS & ACCESSORIES - WASHROOMS
A-501	PLAN DETAILS
A-511	SECTION DETAILS
A-531	ELEVATOR DETAILS
A-541	MILLWORK DETAILS
A-601	DOOR & ROOM FINISH SCHEDULE
A-602	GLAZING SCHEDULE

STRUCTURAL DRAWING LIST	
SHEET No.	SHEET NAME
S-100	GENERAL NOTES
S-105	TYPICAL DETAILS
S-106	TYPICAL DETAILS
S-107	TYPICAL DETAILS
S-108	TYPICAL DETAILS
S-200	FOUNDATION AND GROUND FLOOR PLAN
S-201	SECOND FLOOR FRAMING PLAN
S-202	ROOF FRAMING PLAN
S-400	SECTIONS AND DETAILS

MECHANICAL DRAWING LIST	
SHEET No.	SHEET NAME
M-001	MECHANICAL SYMBOLS, DRAWING LIST, GENERAL NOTES & SCHEDULES
M-002	MECHANICAL SPECIFICATIONS
M-200	SITE PLAN
M-201	GROUND FLOOR HVAC DUCTWORK - DEMO WORK
M-202	SECOND FLOOR HVAC DUCTWORK - DEMO WORK
M-203	ROOF HVAC DUCTWORK - DEMO WORK
M-204	GROUND FLOOR HVAC DUCTWORK - NEW WORK
M-205	SECOND FLOOR HVAC DUCTWORK - NEW WORK
M-206	ROOF HVAC DUCTWORK - NEW WORK
M-207	STANDARD DETAILS - 1
M-208	STANDARD DETAILS - 2
M-209	CONTROL SCHEMATIC
M-210	MECHANICAL SCHEDULES

ELECTRICAL DRAWING LIST	
SHEET No.	SHEET NAME
E-201	DRAWING LIST, KEY PLAN, LEGEND
E-100	SINGLE LINE DIAGRAM - DEMOLITION
E-101	FIRE ALARM RISER AND DETAILS
E-200	SITE PLAN - LIGHTING LEVELS
E-201	SITE PLAN - NEW WORK
E-202	FLOOR PLANS - DEMOLITION
E-203	FLOOR PLANS - NEW WORK
E-300	GROUND LEVEL POWER - NEW WORK
E-301	SECOND LEVEL POWER - NEW WORK
E-302	ROOF LEVEL POWER - NEW WORK
E-400	GROUND LEVEL LIGHTING - NEW WORK
E-401	SECOND LEVEL LIGHTING - NEW WORK
E-500	DETAILS
E-501	DETAILS
E-502	DETAILS



CONSULTANT - LANDSCAPE ARCHITECTURE

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352 LANCASTER STREET WEST
KITCHENER, ONTARIO
N2H 1B3
T: 519-743-8777
www.wsp.com

CONSULTANT - CIVIL

WSP
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WHITBY, ONTARIO
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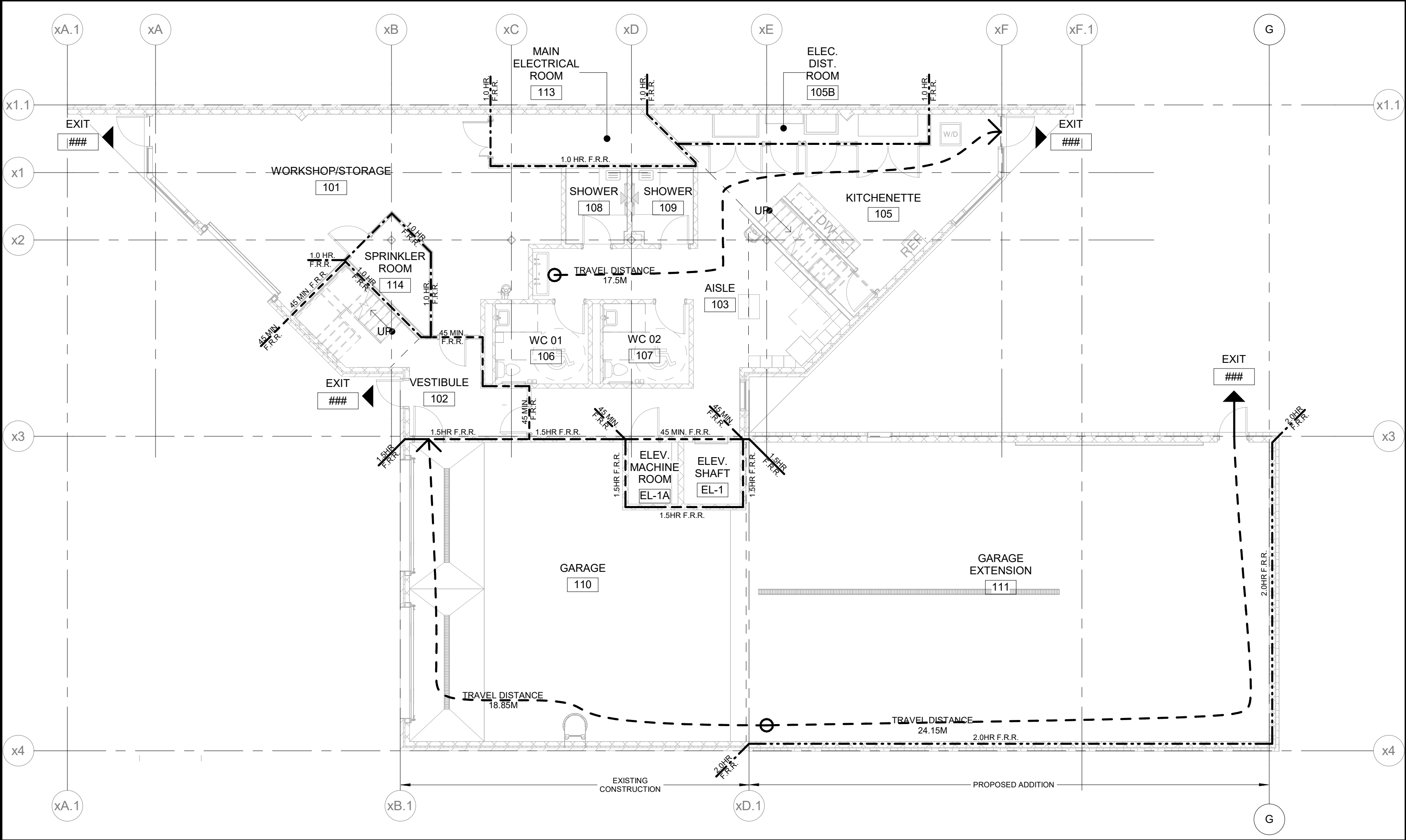
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NAME OF PRACTICE: ARCHITECTURE49 INC. 20 QUEEN STREET WEST TORONTO, ONTARIO M5H 3R3		NAME OF PROJECT: CONNOR BUILDING RENOVATIONS	
PROJECT LOCATION: HALTON HILLS, ONTARIO			
ITEM	2024 ONTARIO BUILDING CODE [O. Reg. 163/24] DATA MATRIX - PARTS 3 AND 9	OBC REFERENCE	
01	PROJECT DESCRIPTION: MAINTENANCE AND UTILITY BUILDING	<input type="checkbox"/> NEW <input checked="" type="checkbox"/> ADDITION <input type="checkbox"/> ALTERATION	<input type="checkbox"/> PART 11 11.1 TO 11.4 1.1.2.[A] <input type="checkbox"/> PART 9
02	MAJOR OCCUPANCY(S): GROUP F, DIV. 2 - VEHICLE STORAGE GROUP D - OFFICE SPACE		3.1.2.1. (1) APPENDIX "A"
03	BUILDING AREA (m²): EXISTING: 351.08 m² NEW: 176.38 m² TOTAL: 527.46 m²		1.4.1.2.[A]
04	GROSS FLOOR AREA (m²): EXISTING: 476.7 m² NEW: 176.38 m² TOTAL: 653.08 m²		1.4.1.2.[A]
05	MEZZANINE(S) AREA (m²): EXISTING: 130 m² NEW: 0 m² TOTAL: 130 m²		3.2.1.1. (3) thru (8)
06	MEZZANINE 10% OR LESS ENCLOSED AREA (m²): 0 m²		
07	MEZZANINE 40% OR MORE ENCLOSED AREA (m²): 0 m²		
08	NUMBER OF STOREYS: ABOVE GRADE: 2 BELOW GRADE: 0		1.4.1.2.[A], 3.2.1.1.
09	BUILDING HEIGHT (m): 6.71 m		3.2.2.10. & 3.2.5.
10	NUMBER OF STORIES / FIRE FIGHTER ACCESS: 1		3.2.2.8.1.
11	BUILDING CLASSIFICATION: GROUP F, DIVISION 2 - UP TO 2 STOREYS, SPRINKLERED		3.2.2.8.1.
12	SPRINKLER SYSTEM PROPOSED: NOTE: NEW SPRINKLER SYSTEM IN ENTIRE BUILDING ELECTED BY CLIENT / BUILDING OWNER.	<input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT ONLY <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.8.1. 3.2.1.5. 3.2.2.17. INDEX INDEX
13	STANDPIPE SYSTEM REQUIRED: HOSE CABINET LOCATION: 30.0M MAX. + 3.0M HOSE STREAM	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9. 3.2.9.4(1) 3.4.4.9.(1)
14	FIRE ALARM REQUIRED:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4.
15	WATER SERVICE/SUPPLY IS ADEQUATE:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7.
16	HIGH BUILDING:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.
17	CONSTRUCTION RESTRICTIONS: REQUIRED: <input checked="" type="checkbox"/> COMBUSTIBLE PERMITTED PROVIDED: <input type="checkbox"/> COMBUSTIBLE	<input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE	3.2.2.8.1.
18	HAZARDOUS SUBSTANCES:	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
19	BARRIER-FREE DESIGN:	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN):	3.8.
20	BARRIER-FREE ENTRANCES: No. of ENTRANCES REQ'D TO BE BARRIER FREE: 1	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.8.1.2. 3.8.3.3.
21	REQUIRED FIRE RESISTANCE RATINGS: FLOOR: 45 MIN. ROOF: NOT REQ'D MEZZANINE: NOT REQ'D FIRE RESISTANCE RATINGS OF SUPPORTING MEMBERS (F.R.R.): FLOOR: 45 MIN. ROOF: NOT REQ'D MEZZANINE: NOT REQ'D	HORIZONTAL ASSEMBLIES FIRE RESISTANCE RATINGS (F.R.R.): FLOOR: 45 MIN. ROOF: NOT REQ'D MEZZANINE: NOT REQ'D LISTED DESIGN NO. (ULC) OR ASSEMBLY DESCRIPTION (SB-2) FLOOR: 45 MIN. ROOF: NOT REQ'D MEZZANINE: NOT REQ'D LISTED DESIGN NO. (ULC) OR ASSEMBLY DESCRIPTION (SB-2) NIC COLUMNS FLOOR: 45 MIN. ROOF: NOT REQ'D MEZZANINE: NOT REQ'D	3.2.2.8.1. 3.2.4.1.
22	REQUIRED SEPARATION FIRE RESISTANCE RATINGS: SPACE NAME: SUITES PUBLIC CORRIDORS JANITOR ROOMS SERVICE ROOMS VERTICAL SERVICE SPACES EQ. TO VERT. HORIZONTAL SERVICE SPACES ELEVATOR - HOISTWAY ELEVATOR - MACHINE ROOM EXITS - STAIR TOWERS EXITS - CORRIDORS LOBBY SEPARATION TO OTHER EXITS	REQUIRED RATING: 45 MIN. N/A 1.0 HR (SMOKE SEAL) 45 MIN. EQ. TO VERT. 45 MIN. 45 MIN. 45 MIN. 45 MIN. N/A	3.2.2.8.1. 3.2.4.1. 3.3.1.1. (2)(a) & (b) 3.3.1.20.(2) 3.6.2.1.(1) TABLE 3.6.3.1. 3.5.3.1.(1), TABLE 3.5.3.1. 3.5.3.3.(1) 3.4.4.1.(1) 3.4.4.1.(1) ---
23	EXITS: MAX. TRAVEL DISTANCE: 30 m MAX. LOBBY TRAVEL DISTANCE: 0 m MAX. DEAD END CORRIDOR: 9 m		3.4. 3.4.2.5.(1W) N/A 3.3.1.10.(13)
24	EXPOSED BUILDING FACE & SPATIAL SEPARATION: WALL FACE AREA OF E.B.F. (m²) AREA OF U.P.O. (m²) LIMITING DISTANCE (m) RATIO (U.P.O. / E.B.F.) PERMITTED MAX. % OF OPENINGS PROPOSED MAX. % OF OPENINGS REQUIRED F.R.R. OF WALL LISTED DESIGN OR DESCRIPTION NON-COMB. CONSTR. REQ'D NON-COMB. CLADDING REQ'D		3.2.3.1. 3.3.1.1. (2)(a) & (b) 3.3.1.20.(2) 3.6.2.1.(1) TABLE 3.6.3.1. 3.5.3.1.(1), TABLE 3.5.3.1. 3.5.3.3.(1) 3.4.4.1.(1) 3.4.4.1.(1) ---
25	OCCUPANT LOAD: (REFER TO OCCUPANT LOAD CHART FOR SPECIFICS) OCCUPANT LOAD BASED ON: OCCUPANCY: LOAD: PERSONS: BASEMENT: --- LEVEL 01: GROUP F2 - MED. HAZ LEVEL 02: GROUP D - OFFICE LEVEL 03: --- LEVEL 04: --- LEVEL 05: --- LEVEL 06: --- TOTAL OCCUPANT LOAD: 16 PEOPLE		3.1.17.
26	WASHROOM REQUIREMENTS: (REFER TO WASHROOM AND HEALTH REQUIREMENTS CHART)		3.7.5.
27	OTHER: SECTION 12 - FIRE ALARM SYSTEM FIRE ALARM SYSTEM IS NOT REQUIRED BY THE REQUIREMENTS OF 3.2.4. OWNER HAS ELECTED TO INSTALL A SYSTEM IN THE BUILDING TO THE SAME STANDARDS SECTION 19 - REQUIRED FIRE RESISTANCE RATINGS VERTICAL FIRE SEPARATION REQUIREMENTS AT PERIMETER OF MEZZANINE / SECOND FLOOR (INTERCONNECTED FLOOR SPACE) MEZZANINES / FLOORS THAT DO NOT TERMINATE AT AN EXTERIOR WALL, ARE REQUIRED TO TERMINATE AT A VERTICAL FIRE SEPARATION HAVING A RATING EQUAL TO THE FLOOR ASSEMBLY BELOW OR BE PROTECTED IN CONFORMANCE TO 3.2.8.3 TO 3.2.8.11 THE INTERCONNECTED FLOOR SPACE NEED NOT CONFORM TO THE REQUIREMENTS OF 3.2.8.3 TO 3.2.8.11, IF: - INTERCONNECTED FLOOR SPACE IS FIRST STOREY AND STOREY IMMEDIATELY ABOVE - INTERCONNECTED FLOOR SPACE IS SPRINKLERED - INTERCONNECTED FLOOR SPACE CONTAINS THE FOLLOWING OCCUPANCIES GROUP 'A', Div. 1, 2, OR 3 GROUP 'D' GROUP 'E' GROUP 'F', Div. 2 OR 3 THE PERIMETER OF MEZZANINE / SECOND FLOOR IS NOT REQUIRED TO TERMINATE AT A WALL OR REQUIRED TO TERMINATE AT A WALL TO BE CONSTRUCTED AS A FIRE SEPARATION SECTION 20 - REQUIRED SEPARATION FIRE RESISTANCE RATINGS STORAGE GARAGE		3.2.4. 3.2.8.1.(1)(a) 3.2.8.1.(1)(b) 3.2.8.2.(6)(a) 3.2.8.2.(6)(b) 3.2.8.2.(6)(c) 3.3.5.6.(1)

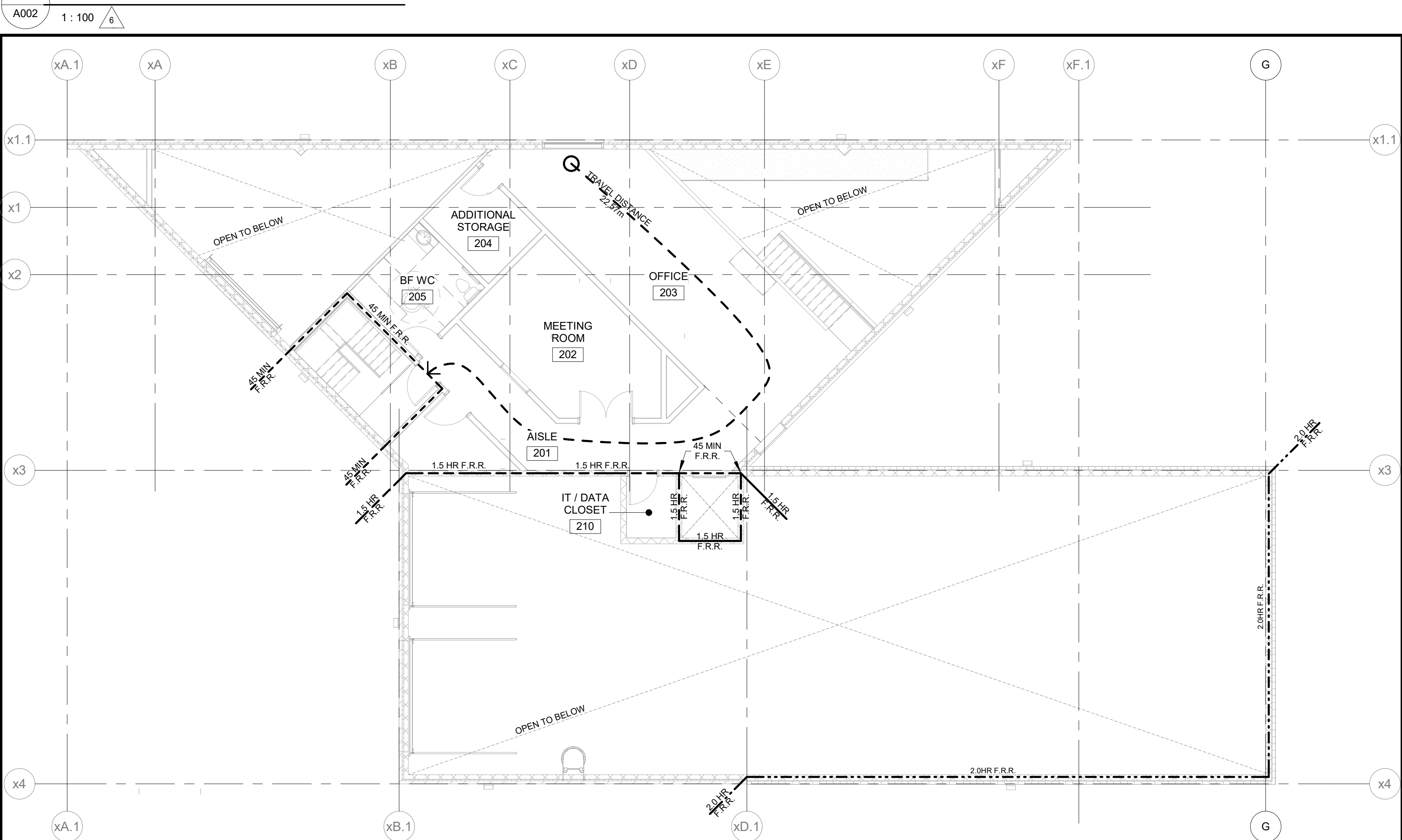
2024 ONTARIO BUILDING CODE [O. Reg. 163/24] ENVIRONMENTAL SEPARATION REQUIREMENTS			
PROJECT LOCATION:	RICHMOND HILL, ONTARIO		
PROJECT USE:	NON-RESIDENTIAL, HEATED		
DEGREE DAYS:	4000	SB-1, TABLE 2	
ZONE:	ZONE 6	SB-10, Div. 3, 1.3.1.1, TABLE 1.3.1.1	
REF. TABLE:	SB-10, Div. 3, Chapter 1, 1.1.4, TABLE 5.5.6-2017 (A,B)(S)		
OPAQUE ELEMENT	OVERALL ASSEMBLY (MAX. U-VALUE)	INSULATION MIN. RSI-VALUE	INSULATION MIN. R-VALUE
ROOF INSULATION ENTIRELY ABOVE DECK	U-0.164	6.2 ci	R-35 ci
WALLS ABOVE GRADE (WOOD FRAMED & OTHER)	U-0.281	2.3 + 1.8 ci	R-13 + R-10 ci
ABOVE GRADE (STEEL FRAMED)	U-0.250	2.3 + 2.6 ci	R-13 + R-12 ci
BELOW GRADE	C-0.284	3.5 ci	R-20 ci
FLOORS EXPOSED FROM BELOW			
STEEL JOIST	U-0.164	6.7 + 0.7 ci	R-38 + R-4 ci
WOOD FRAMED & OTHER	U-0.138	6.7 + 0.5 ci	R-38 + R-3 ci
SLAB ON GRADE (UNHEATED SLAB)	F-0.794	2.0 FOR 1200 B PERIMETER R-15 FOR 1200 B PERIMETER	
DOORS - OPAQUE			
SWING	U-2.56		
NON-SWING (OVHD)	U-2.56		
VERTICAL PENETRATION - 0% - 40% OF WALL	OVERALL ASSEMBLY (MAX. U-VALUE)	ASSEMBLY MAX. SING.	ASSEMBLY MIN. U/L SING.
NONMETAL FRAMING: ALL	U-1.54		
NONMETAL FRAMING: FIXED	U-2.15		
NONMETAL FRAMING: OPERABLE	U-2.56	0.40	1.10
NONMETAL FRAMING: ENTRANCE DOOR	U-3.94		
SKYLIGHT 0% - 3% OF ROOF ALL TYPES	U-2.56	0.40	NR

LIFE SAFETY PLAN SYMBOL LEGEND:	
-----	0 HR FIRE SEPARATION
-----	45MIN FIRE SEPARATION
-----	1.0 HR FIRE SEPARATION
-----	1.5 HR FIRE SEPARATION
-----	2.0 HR FIRE SEPARATION
-----	EXPOSING BUILDING FACE +15m FROM ADJACENT STRUCTURE
-----	EXIT PATH OF TRAVEL
EXIT	EXIT DOOR
###	CAPACITY (MAX.)
O/L:	OCCUPANT LOAD

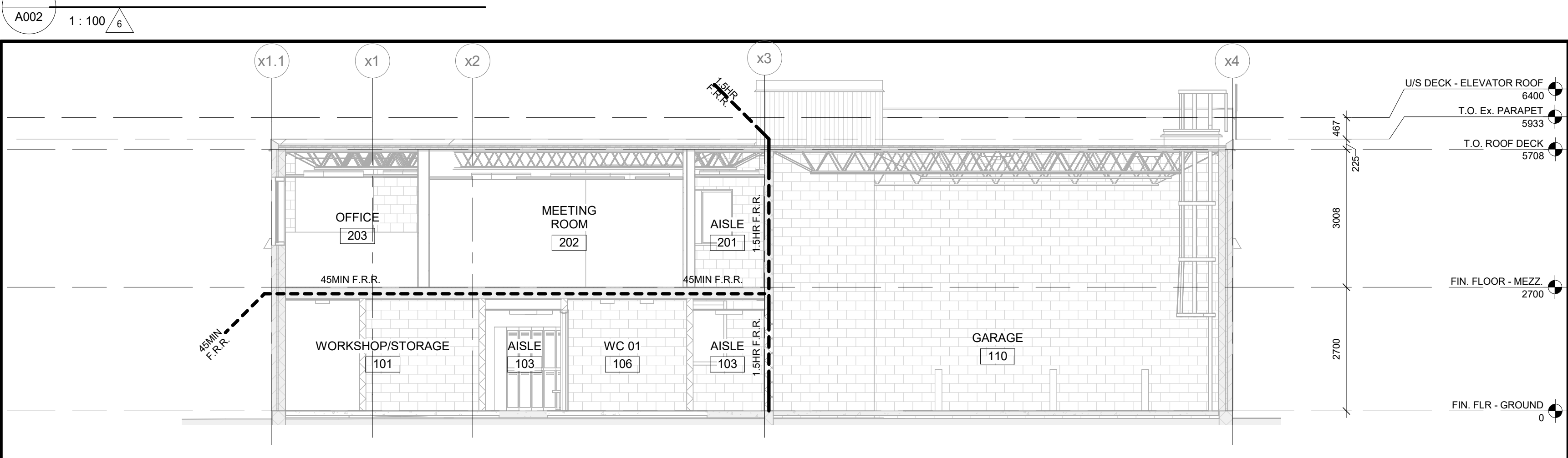
2024 ONTARIO BUILDING CODE [O. Reg. 163/24] WASHROOM REQUIREMENTS			
ITEM	ITEM DESCRIPTION:	PART 3 REFERENCE:	PART 11 REFERENCE:
24	WASHROOM REQUIREMENTS: BUILDING OCCUPANCY LOAD: STOREY: OCCUPANCY / STOREY: MAIN FLOOR: 8 PEOPLE 4 MALE 1 1 2 2 SECOND FLOOR: 8 PEOPLE 4 MALE 1 1 1 1 W/C TABLE: TABLE 3.7.4.9 (1) 3.7.4.9 (2) - ONE W/C REQUIRED IF AREA IF OCCUPANT LOAD IS NOT MORE THAN 10 PERSONS		
	UNIVERSAL WASHROOMS: No. of STOREYS: 1 No. UNIVERSAL W/C: 1 REQUIRED 1 PROVIDED	3.8.2.3 (2) TABLE 3.8.2.3.A 3.8.2.3 (3)	



1 LIFE SAFETY PLAN - GROUND LEVEL



2 LIFE SAFETY PLAN - MEZZANINE LEVEL



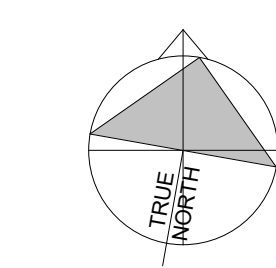
3 LIFE SAFETY SECTION - BUILDING SECTION

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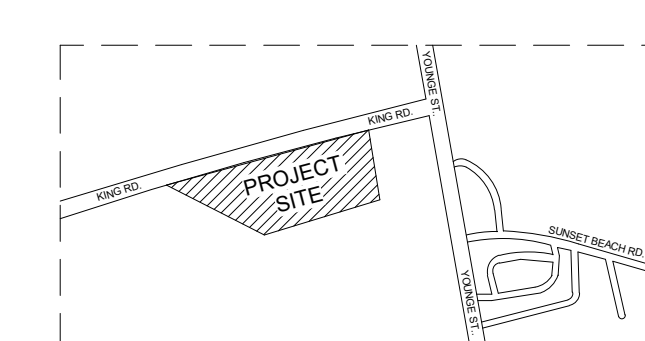
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PROJECT NO.: CANN1157-0343 CONTRACT NO. COMMENTS

DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



7	2025-04-15	ISSUED FOR TENDER
6	2025-04-04	RE-ISSUED FOR BUILDING PERMIT - COMMENTS
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
4	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
3	2025-01-10	ISSUED FOR BUILDING PERMIT
2	2024-12-19	RE-ISSUED FOR SITE PLAN APPROVAL
1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL
ND	DATE	ISSUED

PROJECT

CONNOR BUILDING
RENOVATIONS

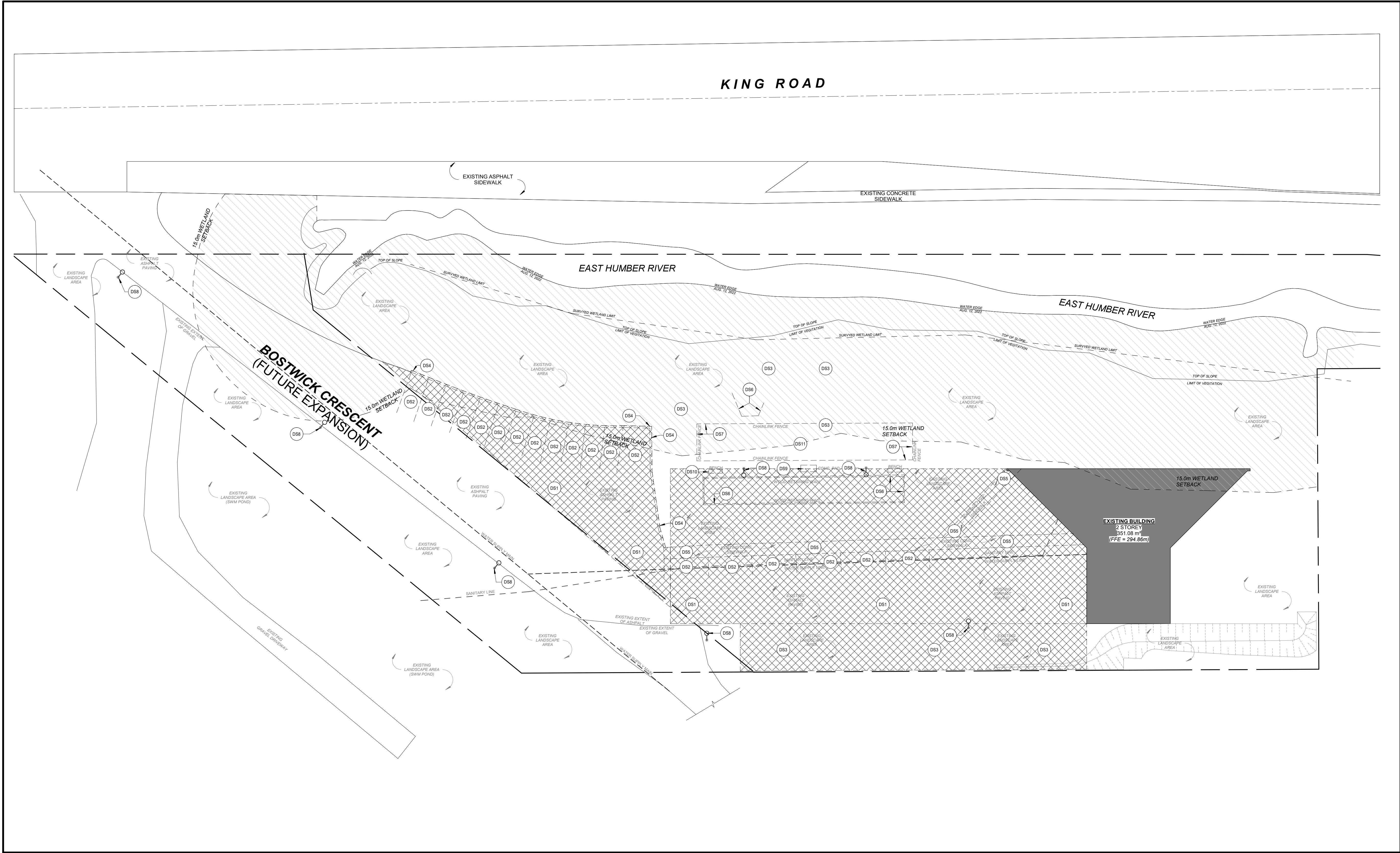
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LIFE SAFETY PLANS
AND OBC MATRIX

DRAWING NO.

A002

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DEMOLITION AND REMOVALS - SITE PLAN

SITE PLAN DEMOLITION KEYNOTE LEGEND	
TAG	DESCRIPTION
DS1	EXISTING ASPHALT AREA TO BE REMOVED. COORDINATE WITH PROPOSED CONSTRUCTION FOR EXTENT.
DS2	EXISTING PARKING STALL TO BE REMOVED. COORDINATE WITH PROPOSED CONSTRUCTION.
DS3	EXISTING LANDSCAPE GRASS AREA TO BE REMOVED AND PREPARED FOR NEW CONSTRUCTION. COORDINATED WITH PROPOSED CONSTRUCTION FOR EXTENT.
DS4	EXISTING CONCRETE CURBING TO BE REMOVED. COORDINATE WITH PROPOSED CONSTRUCTION FOR EXTENT.
DS5	EXISTING CONCRETE SIDEWALK TO BE REMOVED. COORDINATE WITH PROPOSED CONSTRUCTION FOR EXTENT.
DS6	EXISTING WOOD RETAINING WALL TO BE REMOVED. COORDINATE WITH PROPOSED CONSTRUCTION FOR EXTENT.
DS7	EXISTING CHAINLINK FENCE TO BE REMOVED.
DS8	EXISTING LIGHT STANDARD AND BASE TO BE REMOVED. COORDINATE WITH PROPOSED CONSTRUCTION FOR REMOVALS AND ELECTRICAL FOR DISCONNECT/RELOCATION.
DS9	EXISTING CONCRETE PAD TO BE REMOVED. COORDINATE WITH PROPOSED CONSTRUCTION.
DS10	EXISTING BENCH TO BE REMOVED. COORDINATE WITH PROPOSED CONSTRUCTION.
DS11	EXISTING SEPTIC TANK AND LEECHING BED TO BE REMOVED. SITE VERIFY EXTENT AND LOCATION PRIOR TO COMMENCEMENT OF WORK.

- ASSEMBLIES GENERAL NOTES:
- COORDINATE ALL NOTED REMOVALS WITH PROPOSED CONSTRUCTION AND OTHER DISCIPLINES DRAWINGS AND SPECIFICATIONS.
 - COORDINATE ALL REMOVALS AND RESTORATION WORK WITH OTHER DISCIPLINES TRENCHING FOR NEW SERVICE INSTALLATION.
 - PATCH AND MAKE GOOD ALL DISTURBED ADJACENT SURFACES IN THE PROCESS OF DEMOLITION.
 - ADJACENT REMOVED AND REPLACED SURFACES ARE TO BE MADE FLUSH AND ALIGNED AS TO NOT PRESENT A TRIP OR CATCH HAZARD.

SITE DEMOLITION PLAN GRAPHICS LEGEND			
GRAPHIC	DESCRIPTION	GRAPHIC	DESCRIPTION
	ASSEMBLY ELEMENT TO REMAIN		PROPERTY LINE
	ASSEMBLY ELEMENT TO BE DEMOLISHED / REMOVED		MUNICIPAL BY-LAW SETBACK LINE
	HORIZONTAL ASSEMBLY ELEMENT TO BE DEMOLISHED / REMOVED		EXISTING BUILDING
	KEYNOTE CALLOUT REF. TO KEYNOTE SCHEDULE		A.H.J. SENSITIVE ZONE REF. TO SITE DATA MATRIX

ARCHITECTURE49
20 QUEEN STREET WEST, SUITE 2000 | TORONTO, ON, CANADA M5H 3R3
Phone: 416-598-6987 | info@architect49.com | <http://architect49.com>

CONSULTANT - LANDSCAPE ARCHITECTURE



192 LANCASTER STREET WEST
KITCHENER, ONTARIO
N2K 1M3
T: 519-743-8777
www.wsp.com

CONSULTANT - CIVIL



119 SCOTIA COURT, UNIT 36
WHITBY, ONTARIO
L1N 9P5
T: 288-862-6201
www.wsp.com

CONSULTANT - STRUCTURAL / ELECTRICAL



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THORNHILL, ONTARIO
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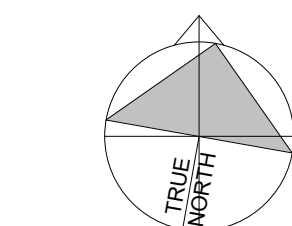
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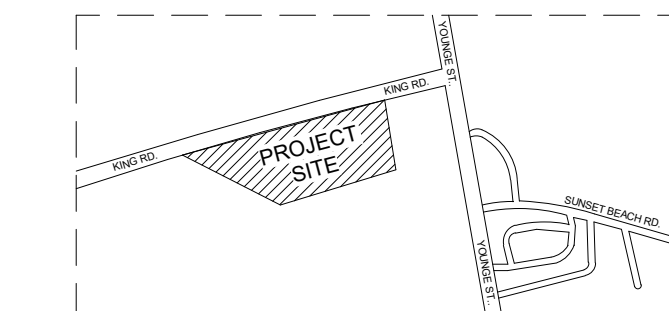
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DIGITAL REFERENCE:

PROJECT NO.: CANN11757-0343 CONTRACT NO.
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
4	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
3	2025-01-10	ISSUED FOR BUILDING PERMIT
2	2024-12-16	RE-ISSUED FOR SITE PLAN APPROVAL
1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL

PROJECT

CONNOR BUILDING
RENOVATIONS

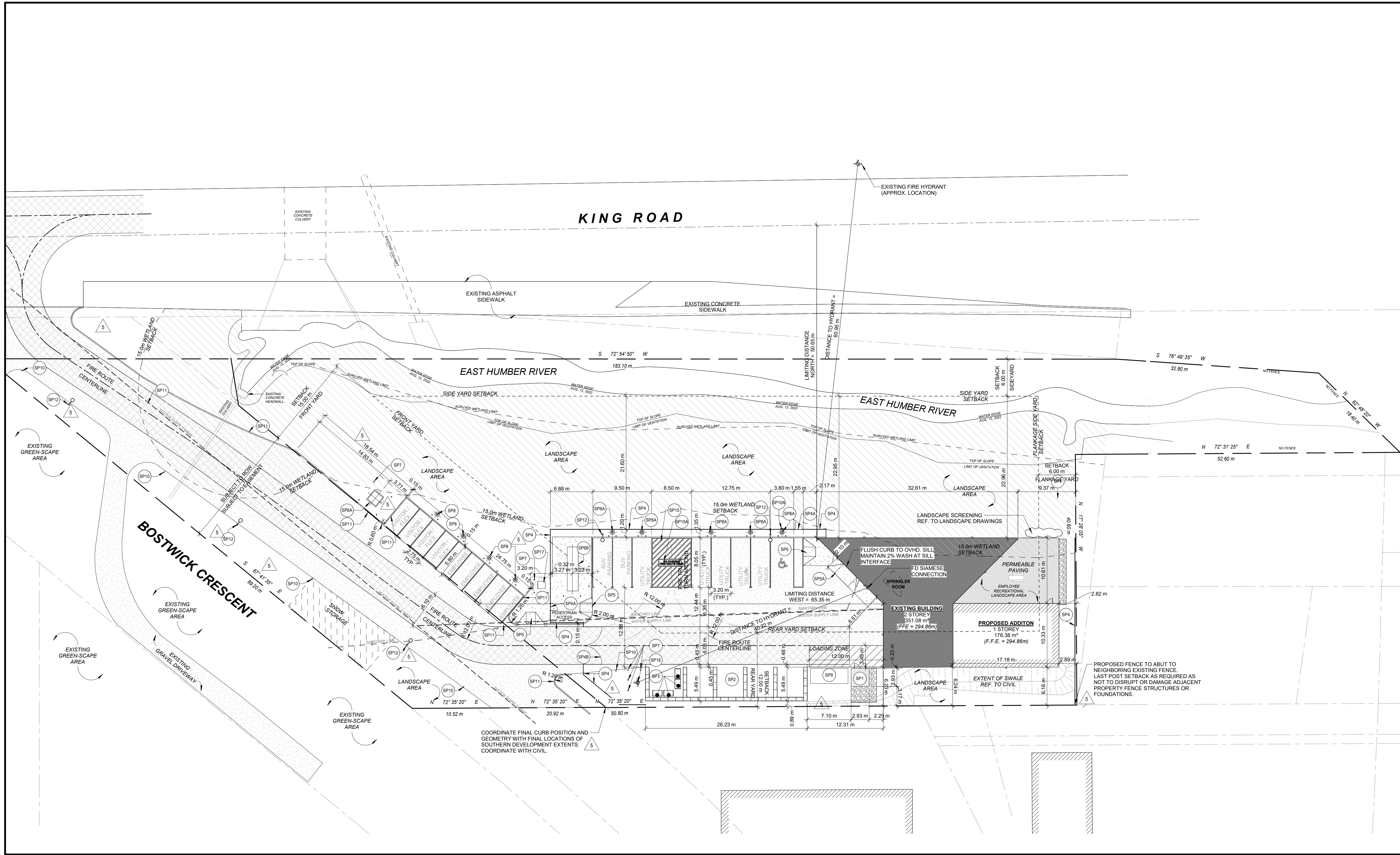
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SITE PLAN -
DEMOLITION AND
REMOVALS

DRAWING NO.

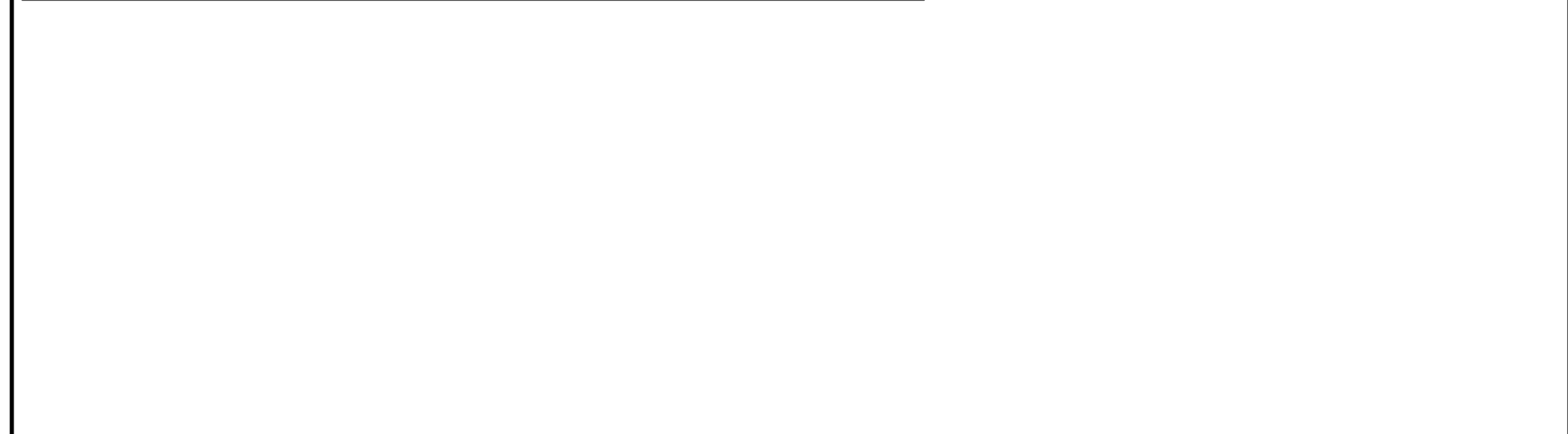
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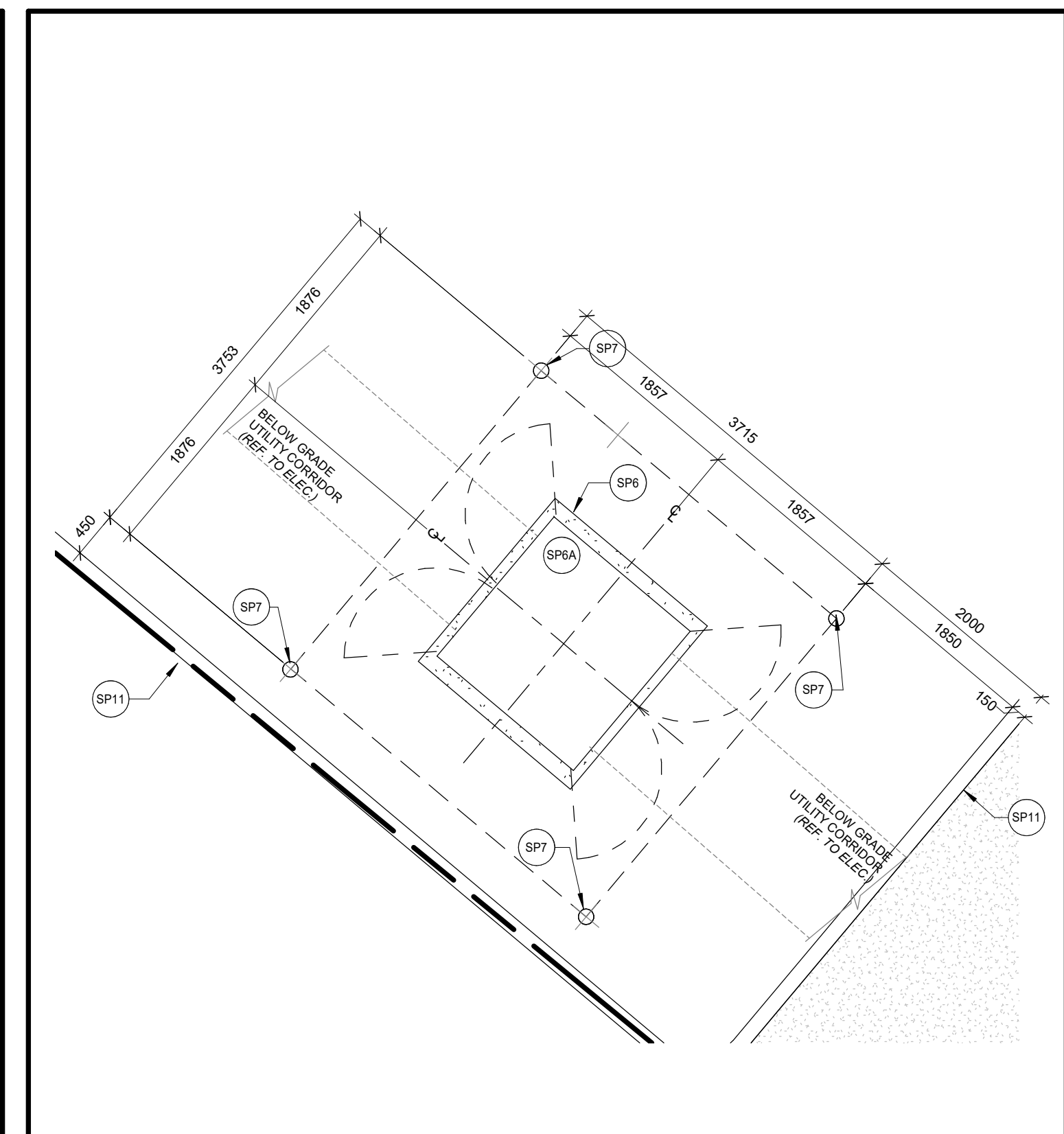


1 SITE PLAN
A101 1 : 300

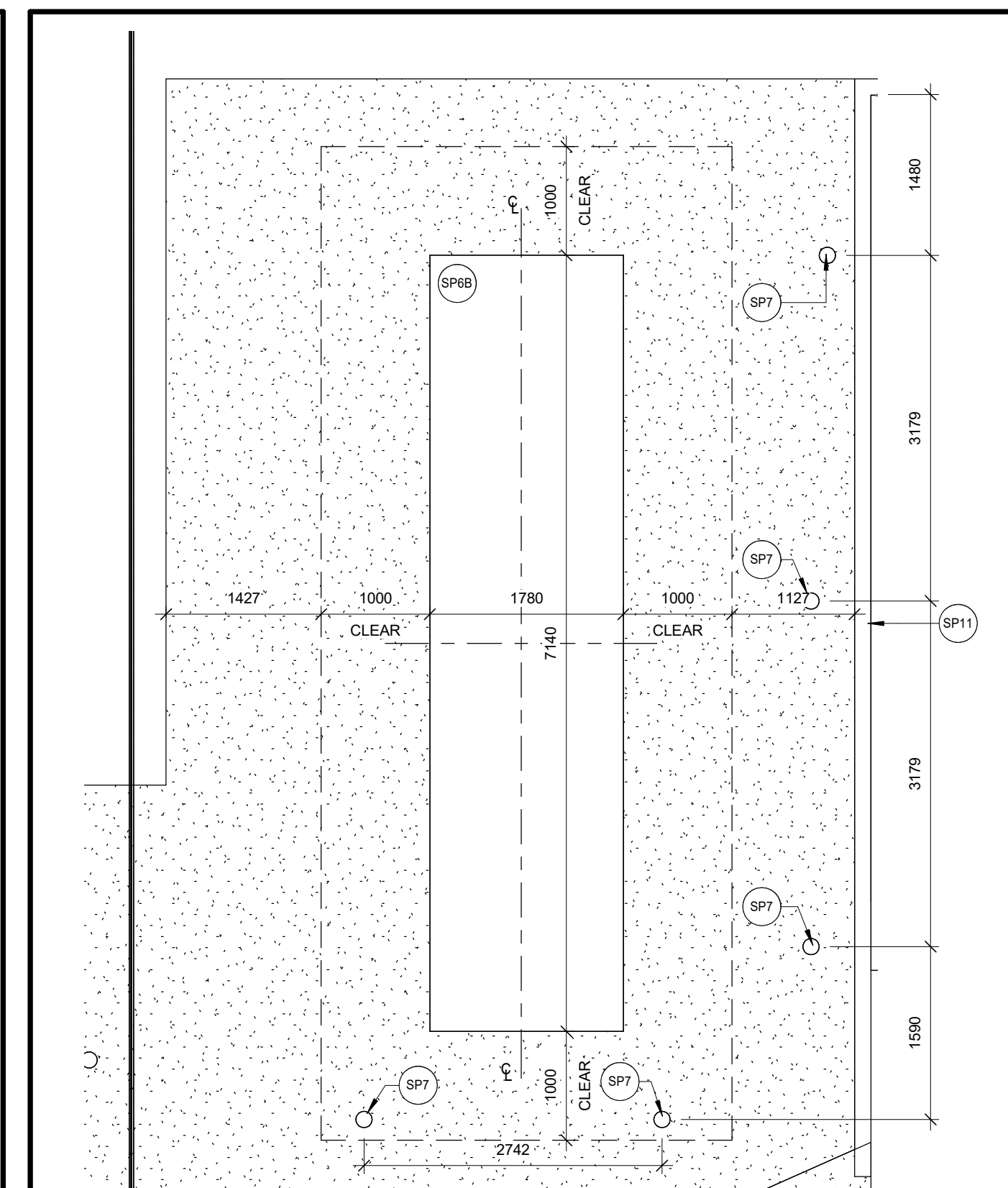
SITE PLAN KEYNOTE LEGEND	
KEYNOTE TAG	KEYNOTE DESCRIPTION
SP1	ANCILLARY STRUCTURE - HEATED SHED. REFER TO A101.1 FOR PLANS AND DETAILS.
SP2	ANCILLARY STRUCTURE - LOOSE MATERIALS STORAGE BUNKER. REFER TO A101.2 FOR PLANS AND DETAILS.
SP3	GARBAGE BINS
SP4	NEW CHAINLINK FENCE, 2.0m HIGH, COMPLETE WITH 3 WIRE ANGLED SECURITY TOP PROFILE. GALVANIZED FINISH.
SP4A	NEW CHAINLINK PEDESTRIAN GATE, 1.3m x 2.0m, GALVANIZED FINISH.
SP4B	NEW CHAINLINK VEHICLE GATE, 6.1m x 2.0m DOUBLE LEAF, GALVANIZED FINISH. INCLUDE FOB ACCESS CONTROL.
SP5	BARRIER FREE DROP CURB, COORD. WITH LANDSCAPE / CIVIL.
SP5A	VEHICLE DROP CURB AT OVERHEAD DOOR, COORD. WITH LANDSCAPE / CIVIL.
SP6	CAST-IN-PLACE CONCRETE EQUIPMENT PAD. REFER TO STRUCTURAL FOR REINF., ELECTRICAL FOR EQUIPMENT COORDINATION.
SP6A	MAIN ELECTRICAL UTILITY TRANSFORMER. REFER TO ELECTRICAL.
SP6B	BACKUP GENERATOR. REFER TO ELECTRICAL.
SP7	VEHICLE BOLLARD. REFER TO STRUCTURAL.
SP8	TWIN-POST E.V. CHARGING STATION, COMPLETE WITH VEHICLE BOLLARDS. COORD. WITH ELECTRICAL.
SP8A	TWIN-POST BLOCK HEATER RECEPTACLE STATION, COMPLETE WITH VEHICLE BOLLARDS. COORD. WITH ELECTRICAL.
SP9	TEMPORARY STORAGE 'SEA-CAN SHIPPING CONTAINER', 6.1m x 2.4m.
SP10	POST MOUNTED SIGN - FIRE ROUTE. SIGN TO BE DESIGNED AND PLACED AS PER SECTION 1090 OF THE RICHMOND HILL MUNICIPAL CODE.
SP10A	POST MOUNTED SIGN - BARRIER FREE PARKING SIGN. SIGN TO BE DESIGNED AND PLACED AS PER RICHMOND HILL MUNICIPAL REQUIREMENTS.
SP11	CONTINUOUS 150mm CONCRETE CURB PERIMETER CURB.
SP12	BASE MOUNTED SINGLE-SIDE LIGHT STANDARD. REFER TO ELECTRICAL.
SP15	PAINTED LINEWORK FOR NO PARKING ZONE, 100mm WIDE, 45 DEGREE PATTERN SPACED AT 600mm CENTERS. LAYOUT AS SHOWN. COLOUR TO BE STANDARD TRAFFIC YELLOW.
SP15A	PAINTED TEXT APPLIED TO ASPHALT, 300mm HIGH, ARIAL FONT. PAINT COLOUR TO BE STANDARD TRAFFIC YELLOW.
SP16	NEW PROPOSED LOCATION OF FIRE HYDRANT. COORDINATE WITH CIVIL.
SP17	PROPOSED GAS METER LOCATION. COORDINATE WITH UTILITY AND MECHANICAL DRAWINGS.



3 ENLARGED SITE PLAN - TRANSFORMER AREA
A101 1 : 50



2 ENLARGED SITE PLAN - GENERATOR AREA
A101 1 : 50



2 ENLARGED SITE PLAN - GENERATOR AREA
A101 1 : 50

SITE DATA MATRIX			
SITE INFORMATION:			
ROLL No.:	193808001239000		
P.I.N. (PROPERTY IDENTIFICATION No.):	---		
PARCEL I.D.:	78154		
LOT DESCRIPTION:	PART OF LOT 65 CONCESSION 1 WEST OF YONGES STREET		
MUNICIPAL ADDRESS:	39 KING ROAD RICHMOND HILL, ONTARIO		
SITE SURVEY INFORMATION:	TAKEN FROM PLAN OF SURVEY, PLAN 65R-39695 DATED: OCTOBER 14th, 2021 SURVEYOR: APRIL SARKANY OF J.D. BARNES LTD.		
APPLICABLE ZONING & BY-LAWS:			
CITY / REGION:	CITY OF RICHMOND HILL		
ZONING BY-LAW(S):	366-86 1275	RICHMOND HILL ZONING MAP, BLOCK 8 RICHMOND HILL ZONING MAP, BLOCK 8	
OFFICIAL PLAN:	CITY OF RICHMOND HILL OFFICIAL PLAN JANUARY 2023 CONSOLIDATION		
TRAFFIC & PARKING:	366-86		
MISC.:	---		
DEFINED ZONING:	366-86 1275	GENERAL COMMERCIAL 1 (GC-1) COMMERCIAL (C)	
ZONING EXEMPTION(S):	- NONE -		
APPLIED ZONING:	ZONING APPLIED AS PER RICHMOND HILL ZONING MAP, BLOCK 8		
OTHER:	SITE SUBJECT TO TORONTO CONSERVATION AUTHORITY REVIEW Q. Reg. 16606 "TRCA: Regulation of Development, Interference with Wetlands and Alterations to Shorelines and Watercourses" WETLAND LIMIT LOCATION BASED ON SURVEY: DWG NO: 21-040201-001 DATED: DECEMBER 14th, 2023 SURVEYOR: GLOVER/CHA O/LTD.		
DEVELOPMENT STATISTICS (BUILDINGS):			
PROPOSED USE:	MAINTENANCE BUILDING		
Ex. BUILDING AREA:	351.08 m ²		
NEW BUILDING AREA:	176.38 m ²		
TOTAL BUILDING AREA:	527.46 m ²		
BUILDING HEIGHT:	5.60 m		
No. OF STOREYS:	2		
NEW GROSS BUILDING AREA:	653.08 m ²		
SITE STATISTICS (AREAS):			
	ACTUAL	PERMITTED	ZONING REF.
OVERALL SITE AREA:	6,867.72 m ² 100.0 %	6,867.72 m ² 100.0 %	
PARKING & HARD SURFACE:	1,443.35 m ² 21.09 %	MAXIMUM 50.0 %	366-86 - s1.3(c)
TOTAL BUILDING AREA:	527.46 m ² 7.68 %	MAXIMUM 60.0 %	1275 - s6.2(c)
LANDSCAPE / GREENSPACE:	4,891.91 m ² 71.23 %	MINIMUM 50.0 %	366-86 - s1.3(c)
SITE SETBACKS, CLEARANCES & RESTRICTIONS:			
SETBACKS:			
FRONT YARD:	15.00 m	(366-86 - SECTION 1.3(c))	
FLANKAGE SIDE YARD:	6.00 m	(366-86 - SECTION 1.4(c))	
INTERIOR SIDE YARD:	6.00 m	(366-86 - SECTION 1.4(c))	
REAR YARD:	12.00 m	(366-86 - SECTION 1.4(c))	
CLEARANCES & RESTRICTIONS:			
MIN. LOT FRONTAGE:	30.00 m	(366-86 - SECTION 1.4(c))	
MAX. BUILDING HEIGHT:	7.50 m	(366-86 - SECTION 1.4(c))	
PARKING REQUIREMENTS:			
PROPOSED SPACE USE:	PARKING RATIO:	REQ'D SPACES:	
OFFICE AREA	3.2 SPACES PER 100.0m ² G.F.A. (AS PER BY-LAW 366-86 s1.5(a)(2) & (11))	21 SPACES TOTAL	
MAINTENANCE / CREW AREA (OTHER COMMERCIAL)	3.2 SPACES PER 100.0m ² G.F.A. (AS PER BY-LAW 366-86 s1.5(a)(2) & (11))	NOTE: SPACES CALCULATED AS TOTAL FACILITY. AS PARKING RATE BETWEEN USES IS THE SAME.	
ANY BUILDING	1 LOADING ZONE PER FIRST 1,850m ² 1 PER 300m ² INCREMENT OVER 1,850m ² (AS PER BY-LAW 366-86 s1.5(b))	1 LOADING ZONE	
PROPOSED PARKING BREAKDOWN:			
SPACE DESCRIPTION:	PARKING STALL SIZE (MM):	BY-LAW REFERENCE:	QUANTITY:
EMPLOYEE SPACES:	2.75m x 5.6m	366-86 s1.5(c)(1)	5 SPACES
VISITOR / FLEX SPACES:	2.75m x 5.6m	366-86 s1.5(c)(1)	4 SPACES
BARRIER FREE:	3.70m x 5.6m	---	3 SPACES
CREW/UTILITY TRUCK PARKING:	3.20m x 8.0m	---	5 SPACES
SUV PARKING:	2.75m x 6.0m	366-86 s1.5(c)(1)	2 SPACES
		TOTAL = 19 SPACES	
LOADING ZONES	3.50m x 12.0m + 4.5m CLEAR OVERHEAD	366-86 s1.5(c)(2)	1 LOADING ZONE

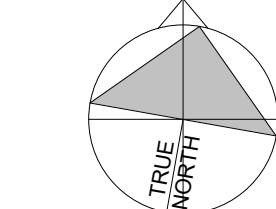
SITE PLAN GRAPHICS LEGEND			
GRAPHIC	DESCRIPTION	GRAPHIC	DESCRIPTION
	MAIN ENTRANCE		PROPERTY LINE
	PERSONELL DOOR		MUNICIPAL BY-LAW SETBACK LINE
	OVERHEAD DOOR		EXISTING BUILDING
	FIRE HYDRANT		NEW BUILDING
	KEYNOTE CALLOUT REF. TO KEYNOTE SCHEDULE		FIRE ROUTE WITH CENTERLINE
	A.H.I. SENSITIVE ZONE REF. TO SITE DATA MATRIX		SNOW STORAGE / PILEUP ZONE

2 ENLARGED SITE PLAN - GENERATOR AREA
A101 1 : 50

NOT FOR
CONSTRUCTION

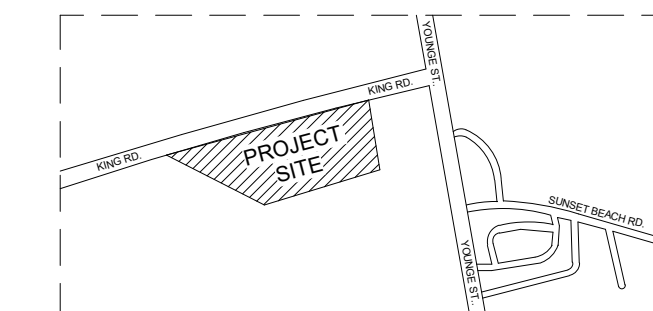
THIS BAR IS 25mm LONG WHEN PLOTTED AT
CORRECT SCALE. DO NOT SCALE DRAWINGS.

NORTH ARROW: DIGITAL REFERENCE.



PROJECT NO.: C40011757-0343 CONTRACT NO.:
DRAWN BY: TH CHECKED BY: NS / MD APPROVED BY: MD

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
4	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
3	2025-01-10	ISSUED FOR BUILDING PERMIT
2	2024-12-19	RE-ISSUED FOR SITE PLAN APPROVAL
1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL

PROJECT

CONNOR BUILDING
RENOVATIONS

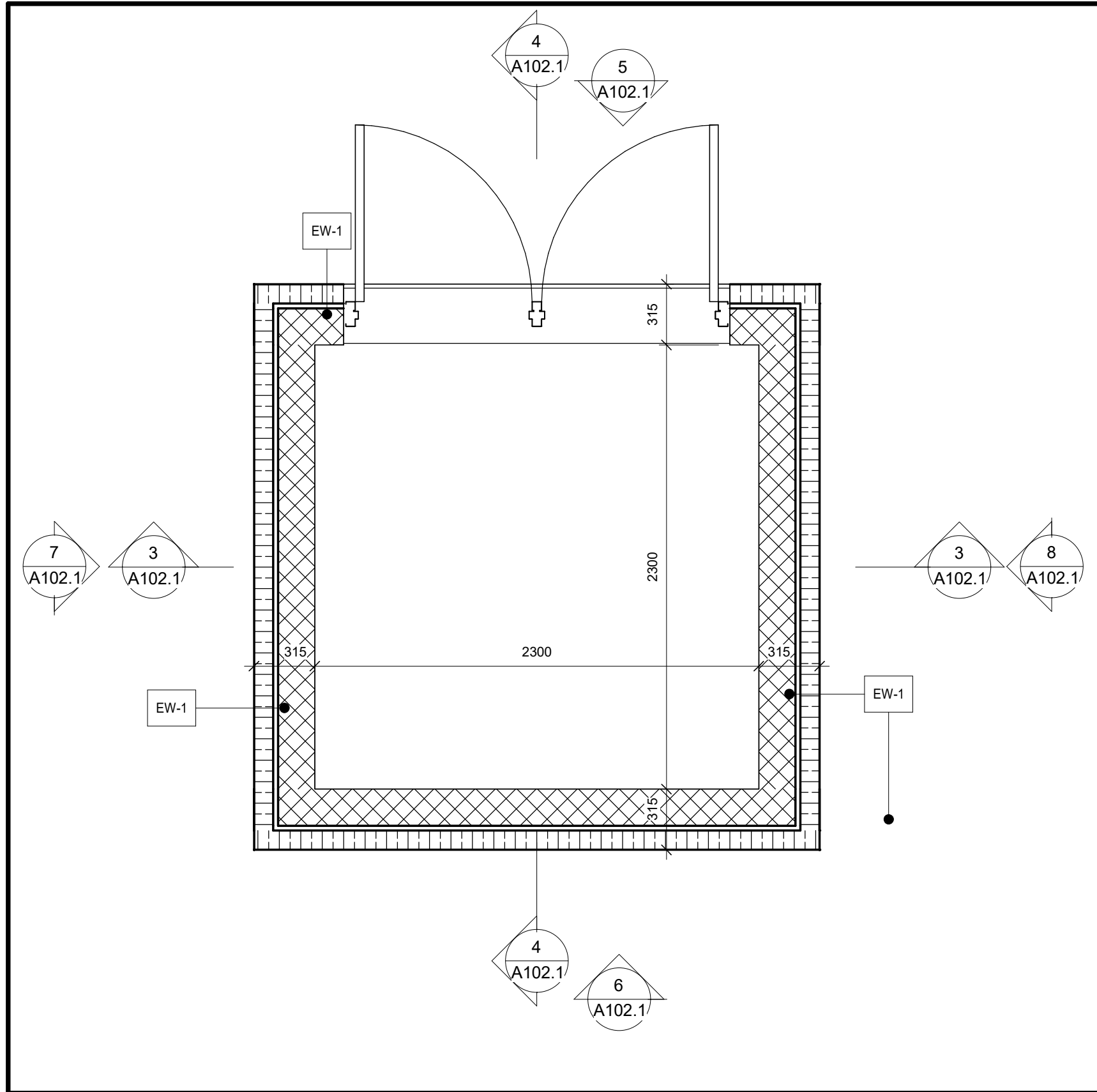
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SITE PLAN

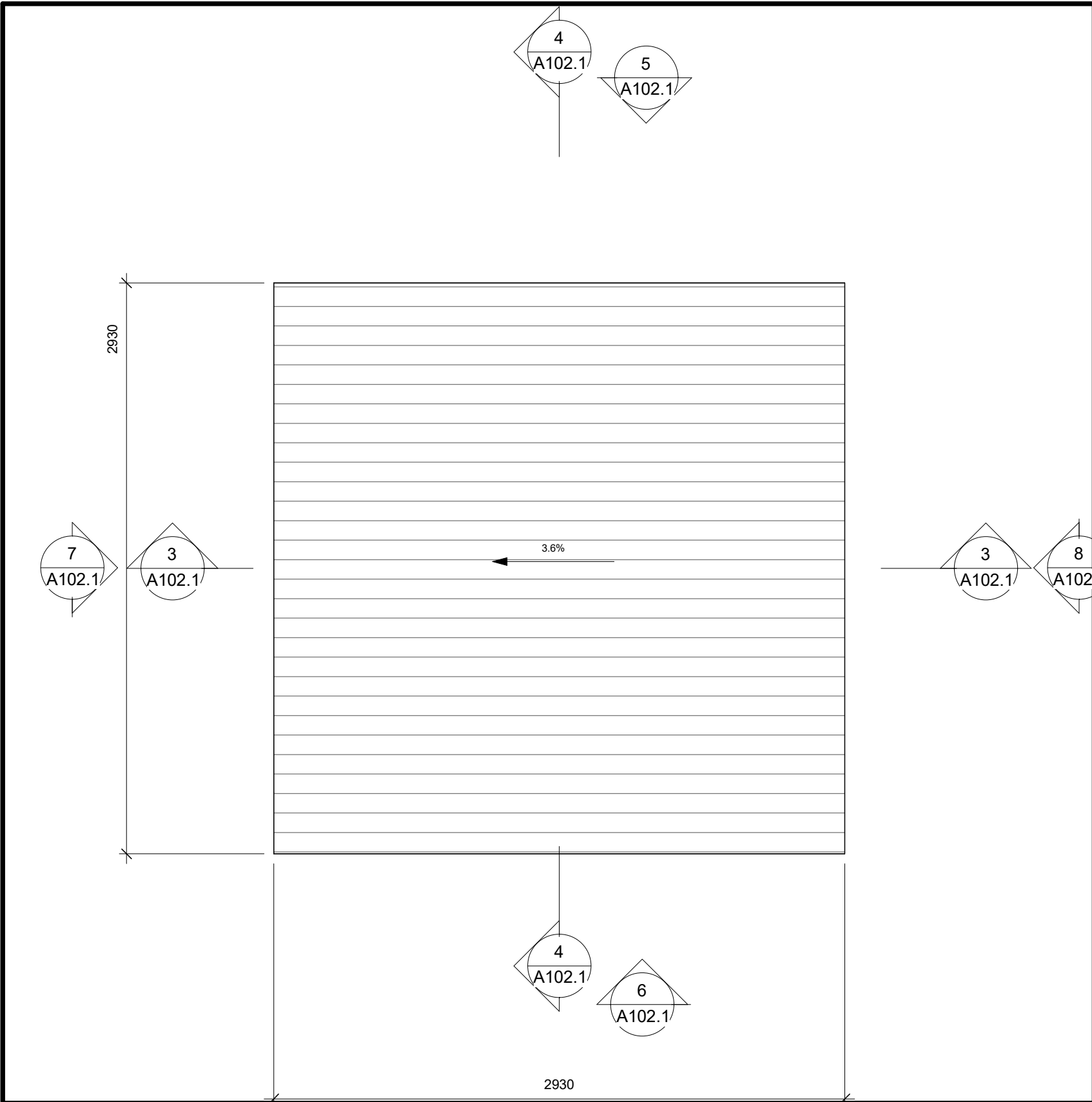
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A101

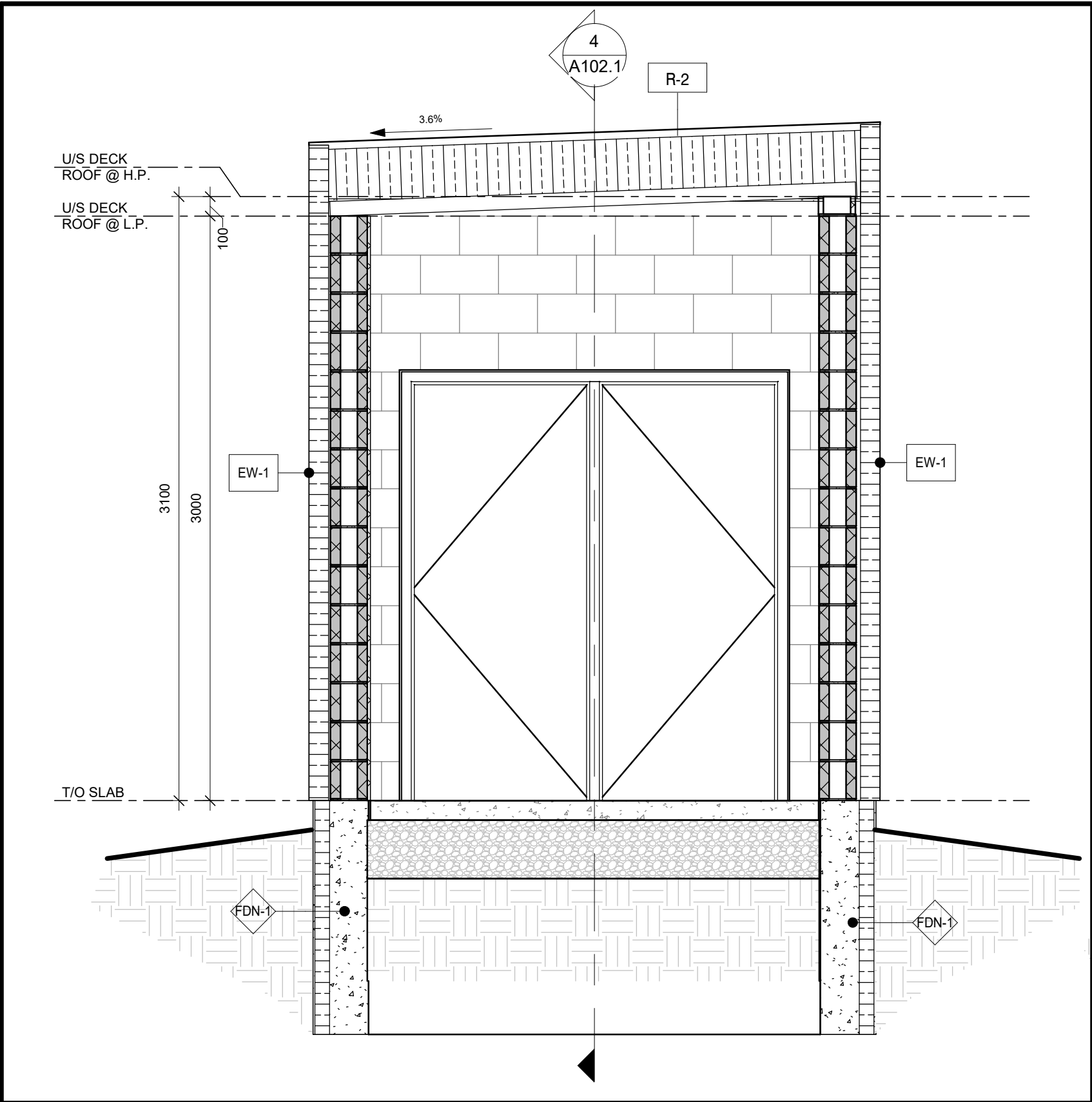
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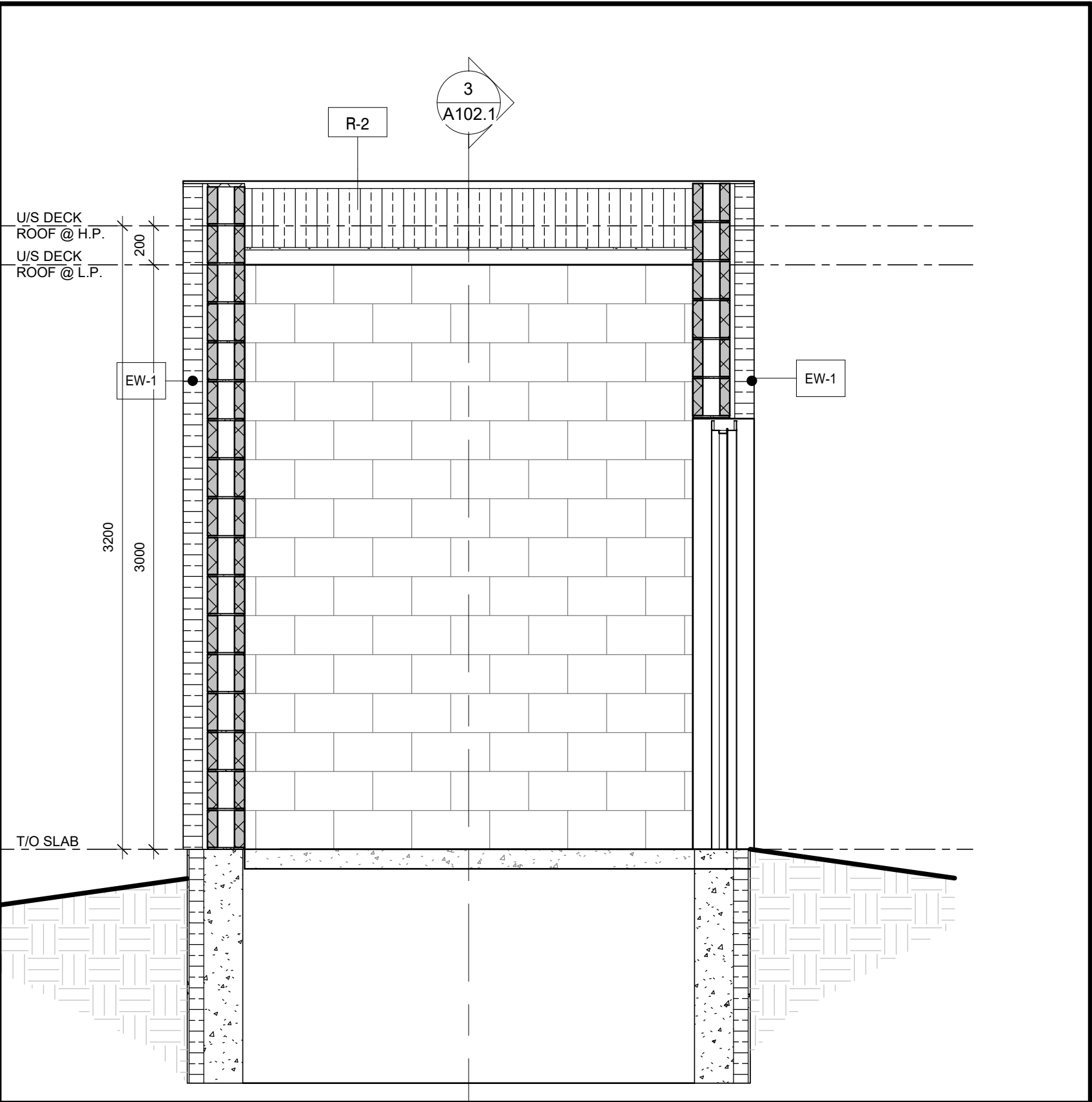
1 HEATED SHED - PLAN
A102.1/1 1:25



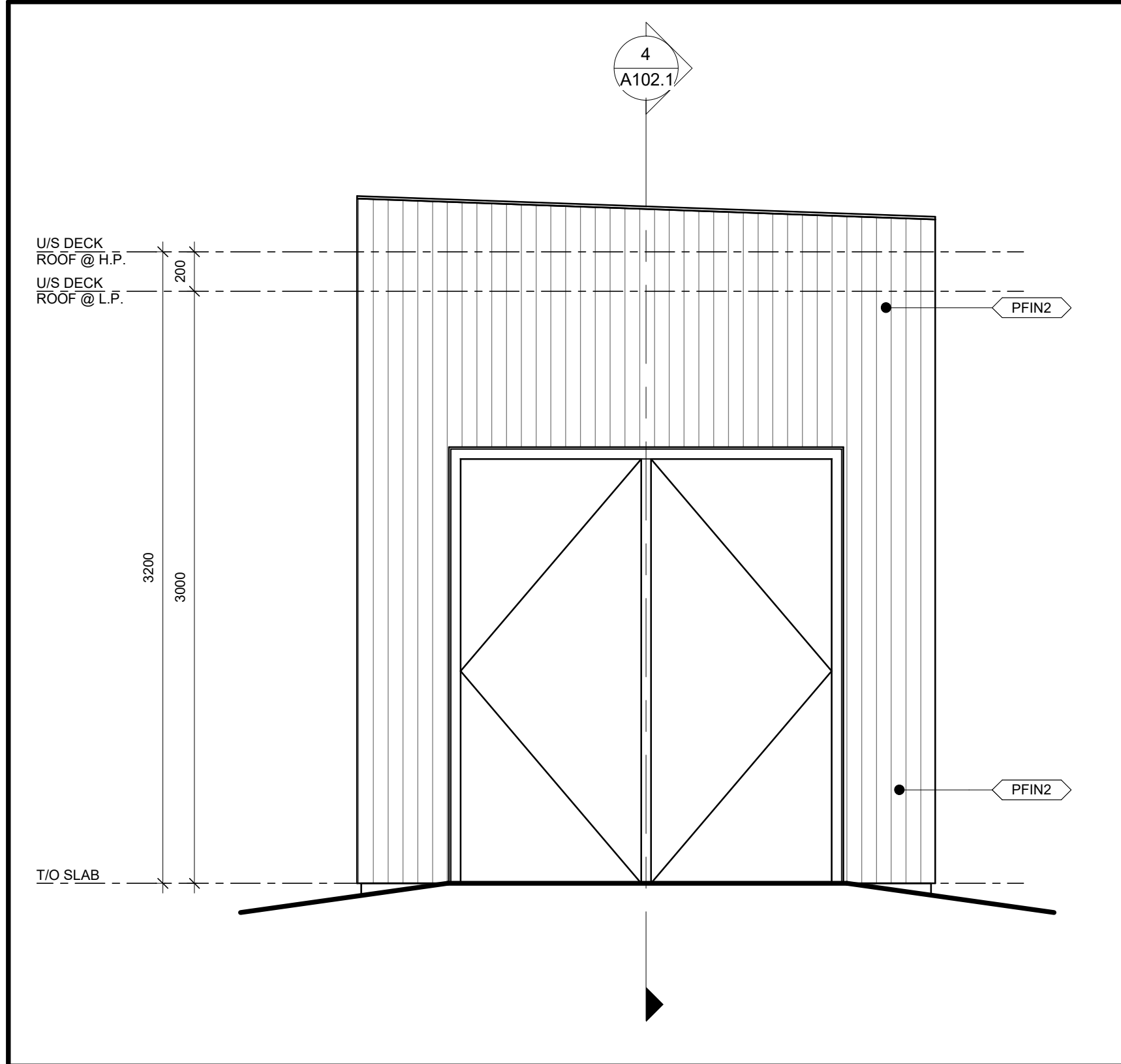
2 HEATED SHED - ROOF PLAN
A102.1/2 1:25



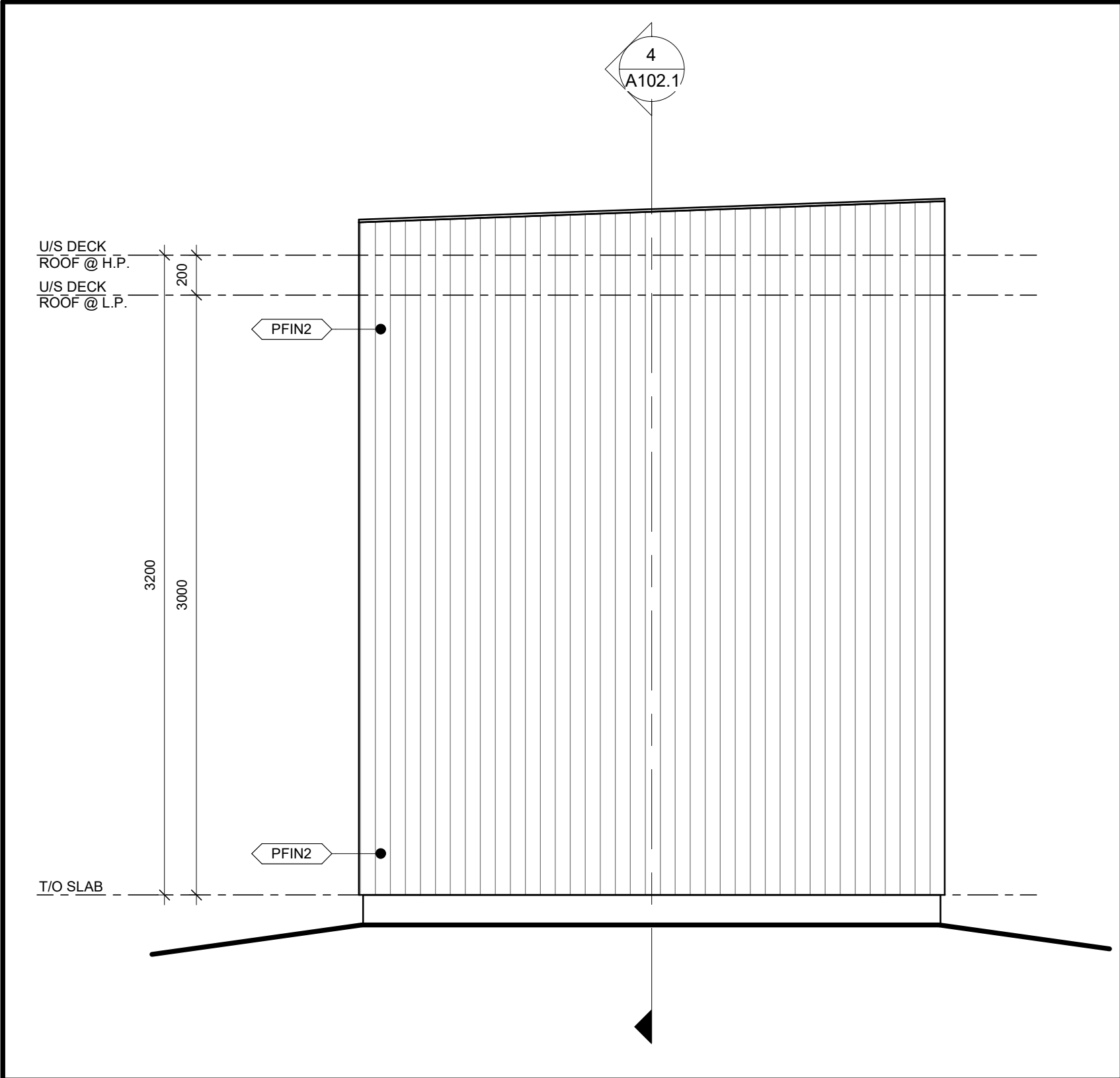
3 BUILDING SECTION - SECTION 01
A102.1/3 1:25



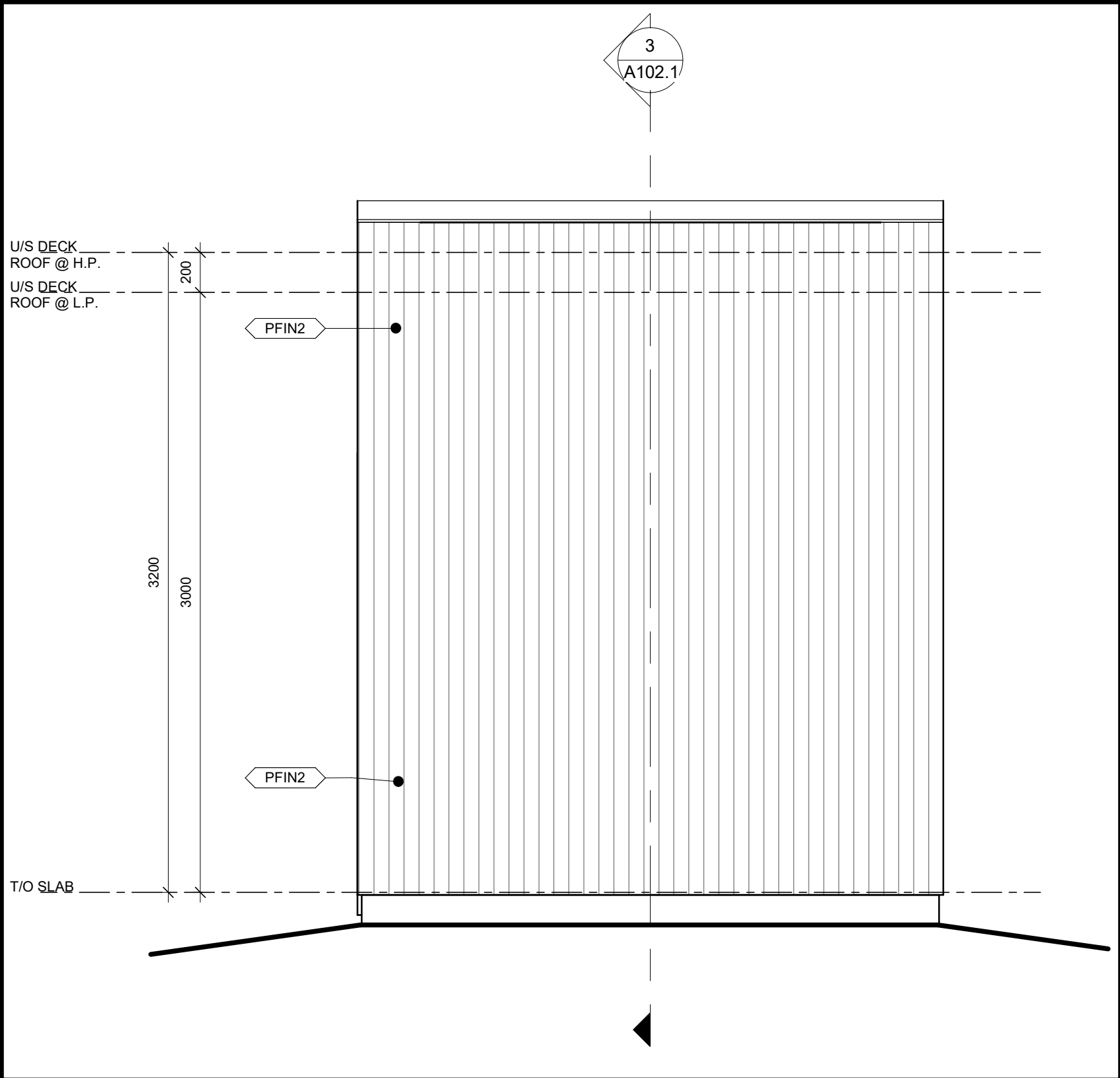
4 BUILDING SECTION - SECTION 02
A102.1/4 1:25



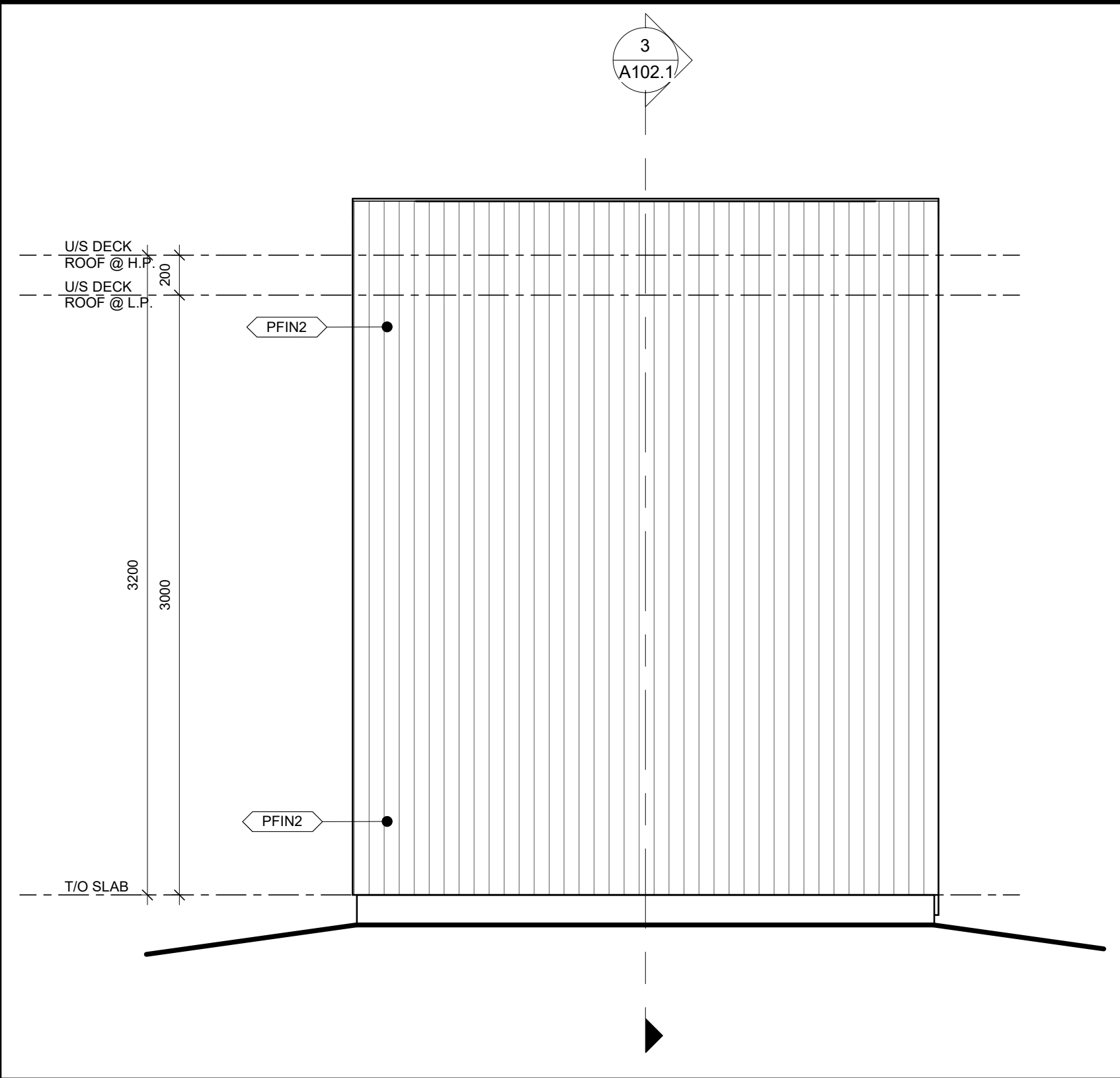
5 ELEVATION - FRONT
A102.1/5 1:25



6 ELEVATION - REAR
A102.1/6 1:25



7 ELEVATION - RIGHT
A102.1/7 1:25



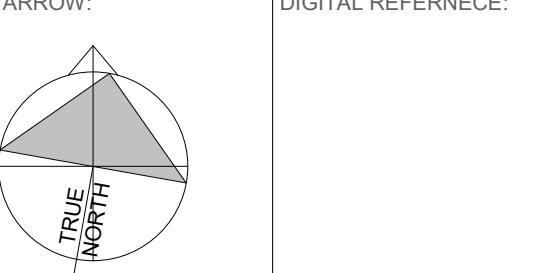
8 ELEVATION - LEFT
A102.1/8 1:25



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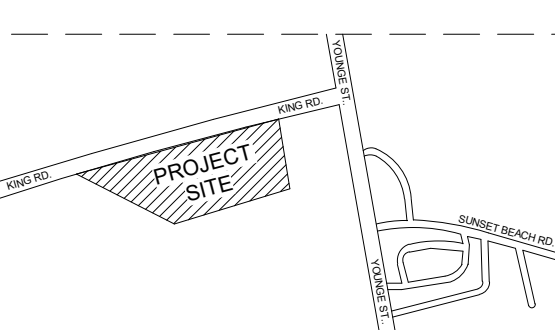
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PROJECT NO.: CAN11757-0343 CONTRACT NO.

DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
4	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
3	2025-01-10	ISSUED FOR BUILDING PERMIT
2	2024-12-16	RE-ISSUED FOR SITE PLAN APPROVAL
1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL
NO.	DATE	ISSUED

PROJECT

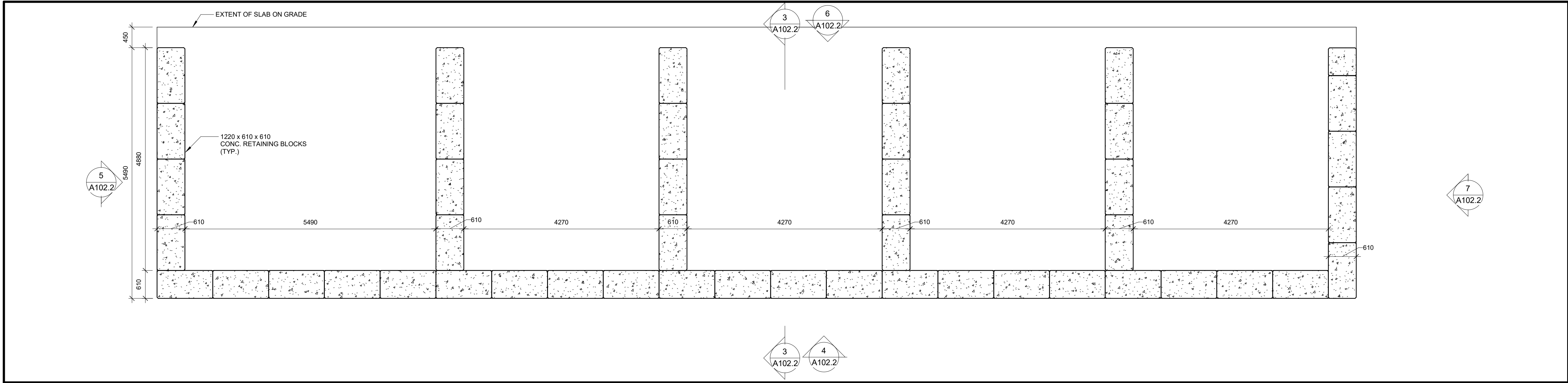
CONNOR BUILDING
RENOVATIONS

DRAWING TITLE

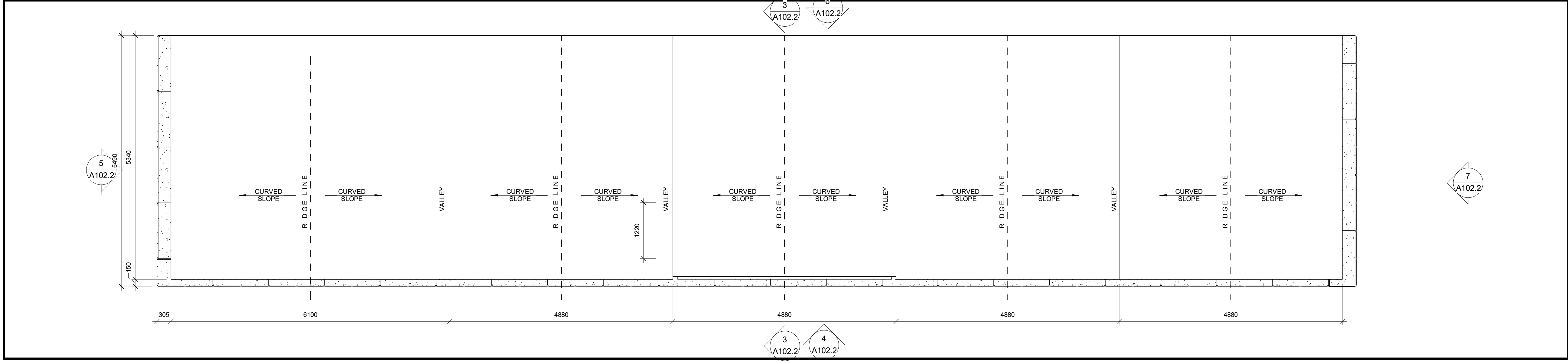
SITE PLAN DETAILS -
HEATED SHED

DRAWING NO. A102.1

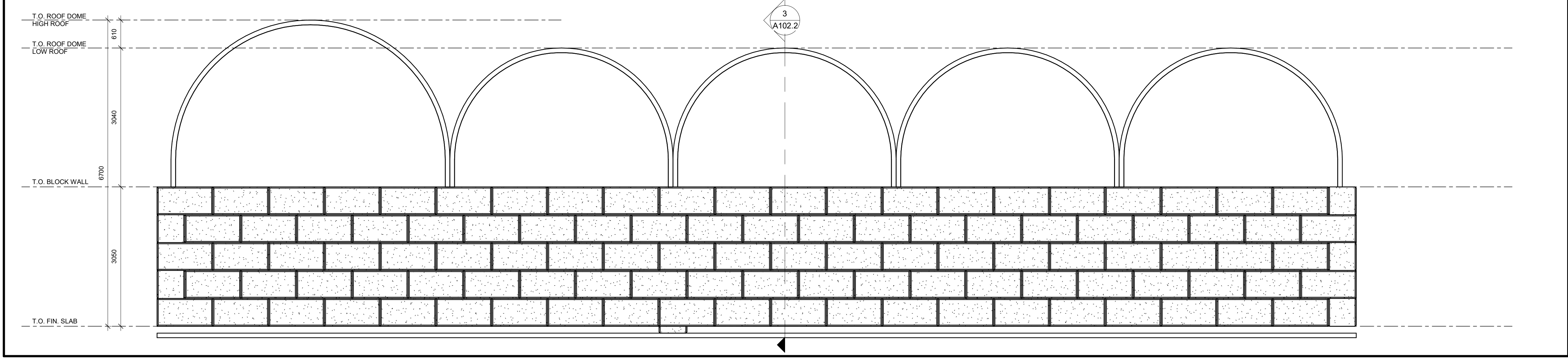
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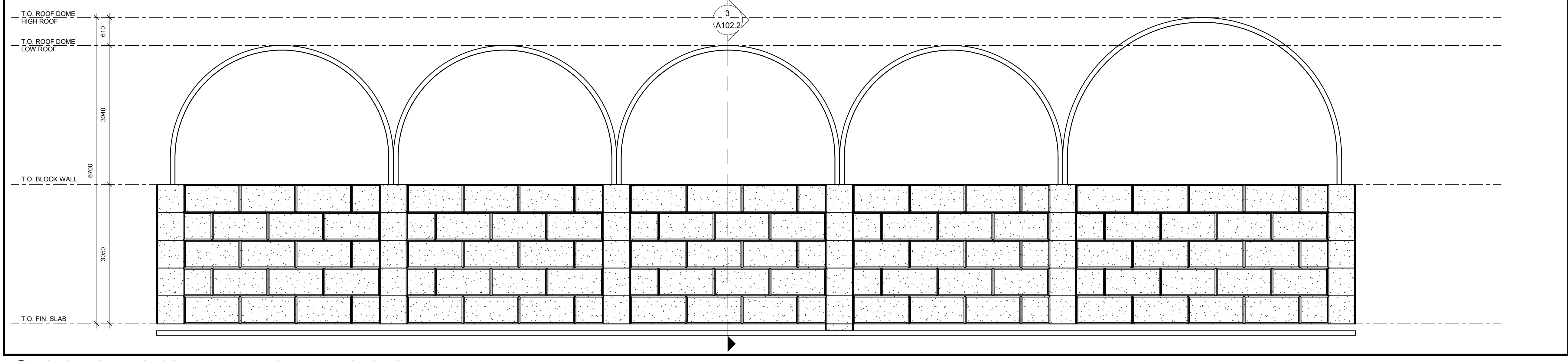
1 STORAGE ENCLOSURE - LAYOUT PLAN
A102.2 1 : 50



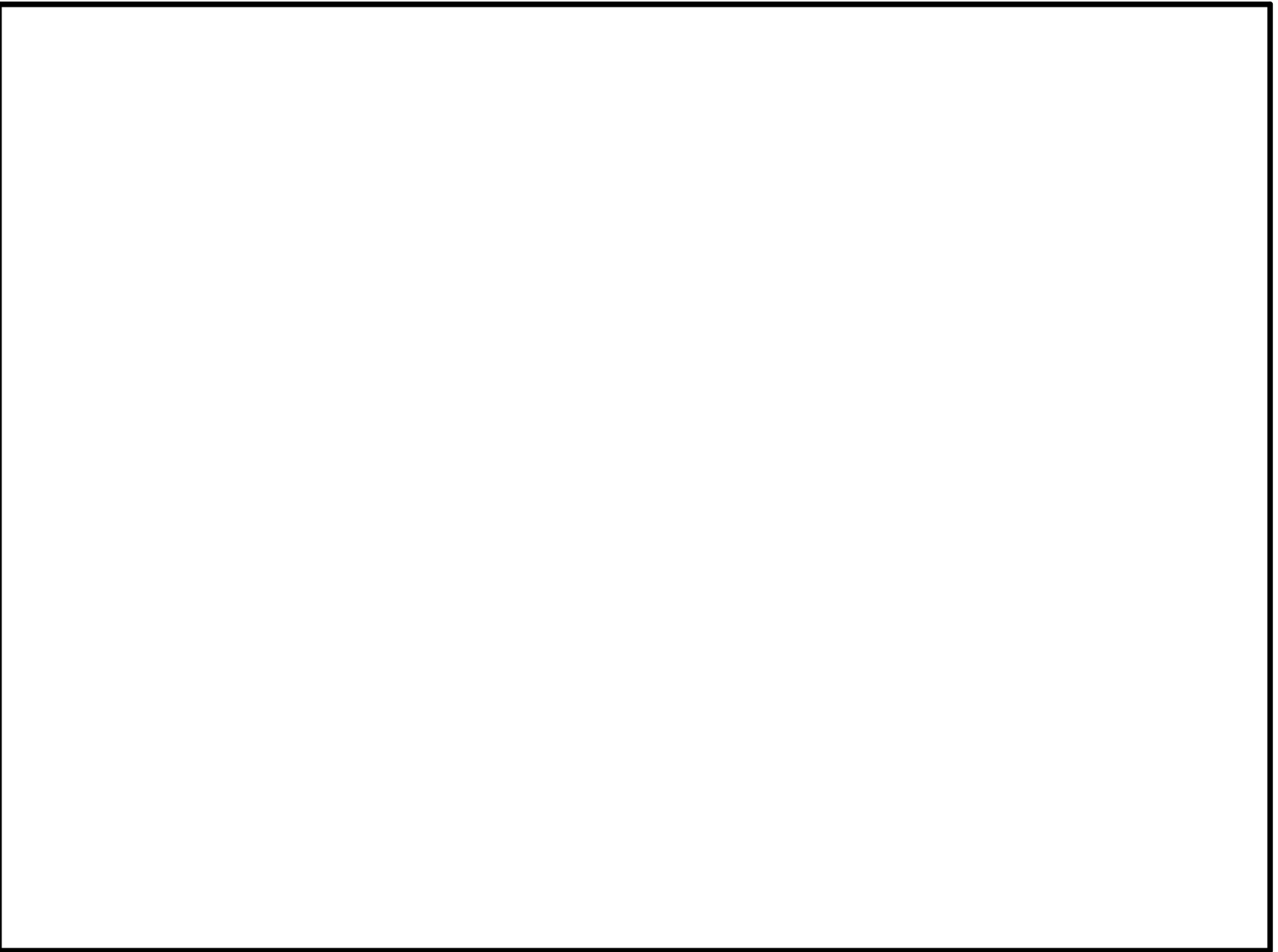
2 STORAGE ENCLOSURE - ROOF PLAN
A102.2 1 : 50



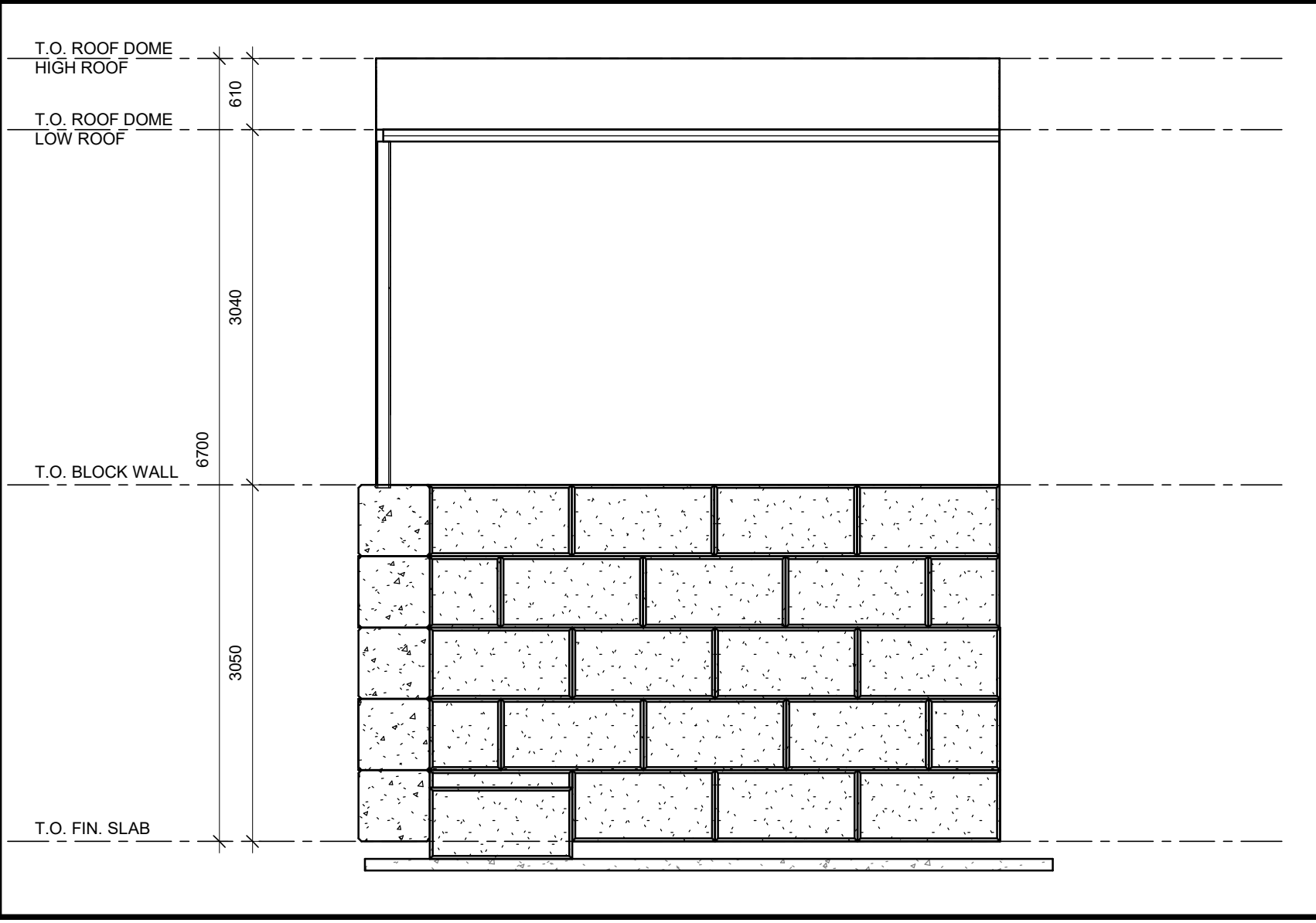
4 STORAGE ENCLOSURE ELEVATION - REAR SIDE
A102.2 1 : 50



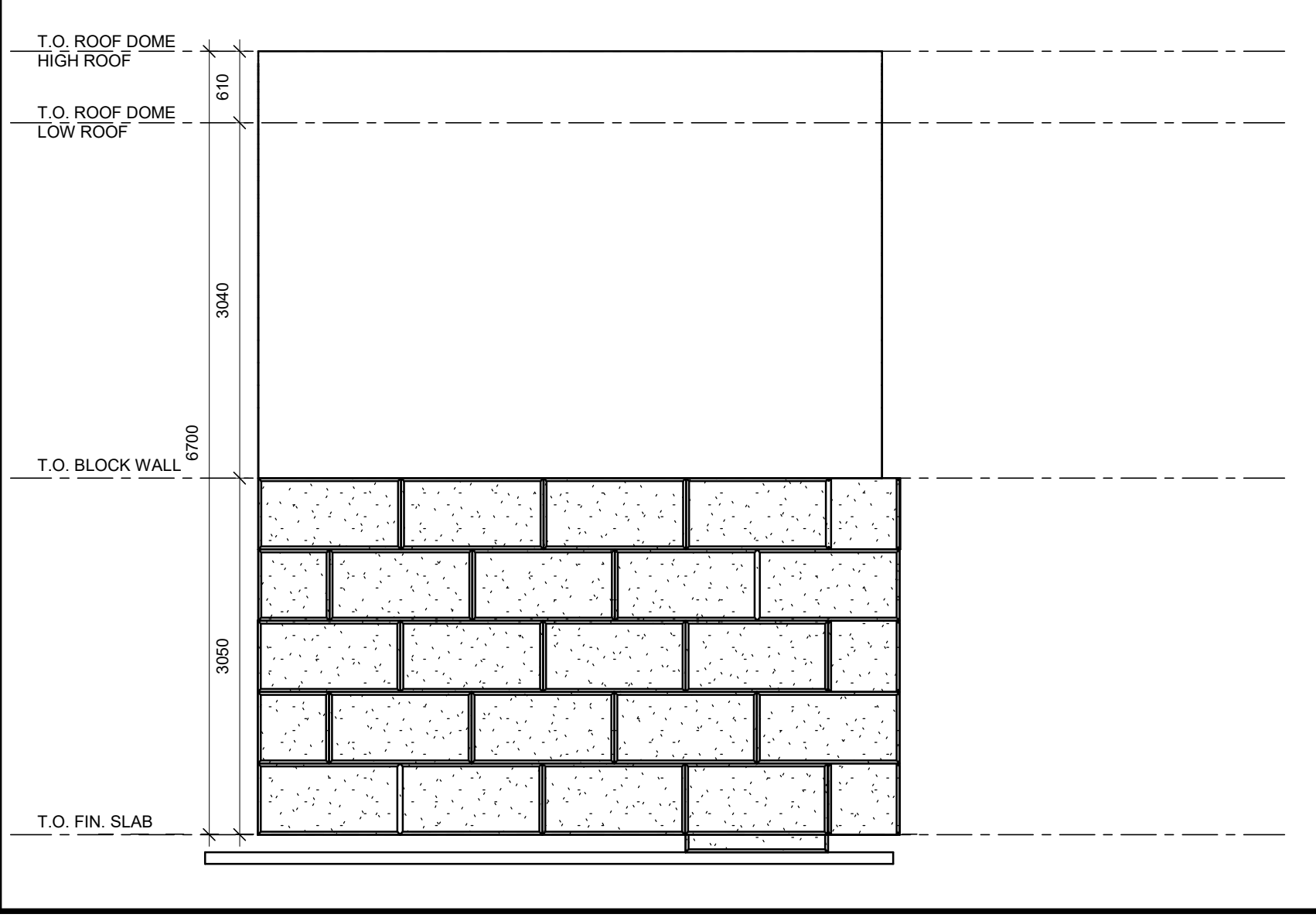
6 STORAGE ENCLOSURE ELEVATION - APPROACH SIDE
A102.2 1 : 50



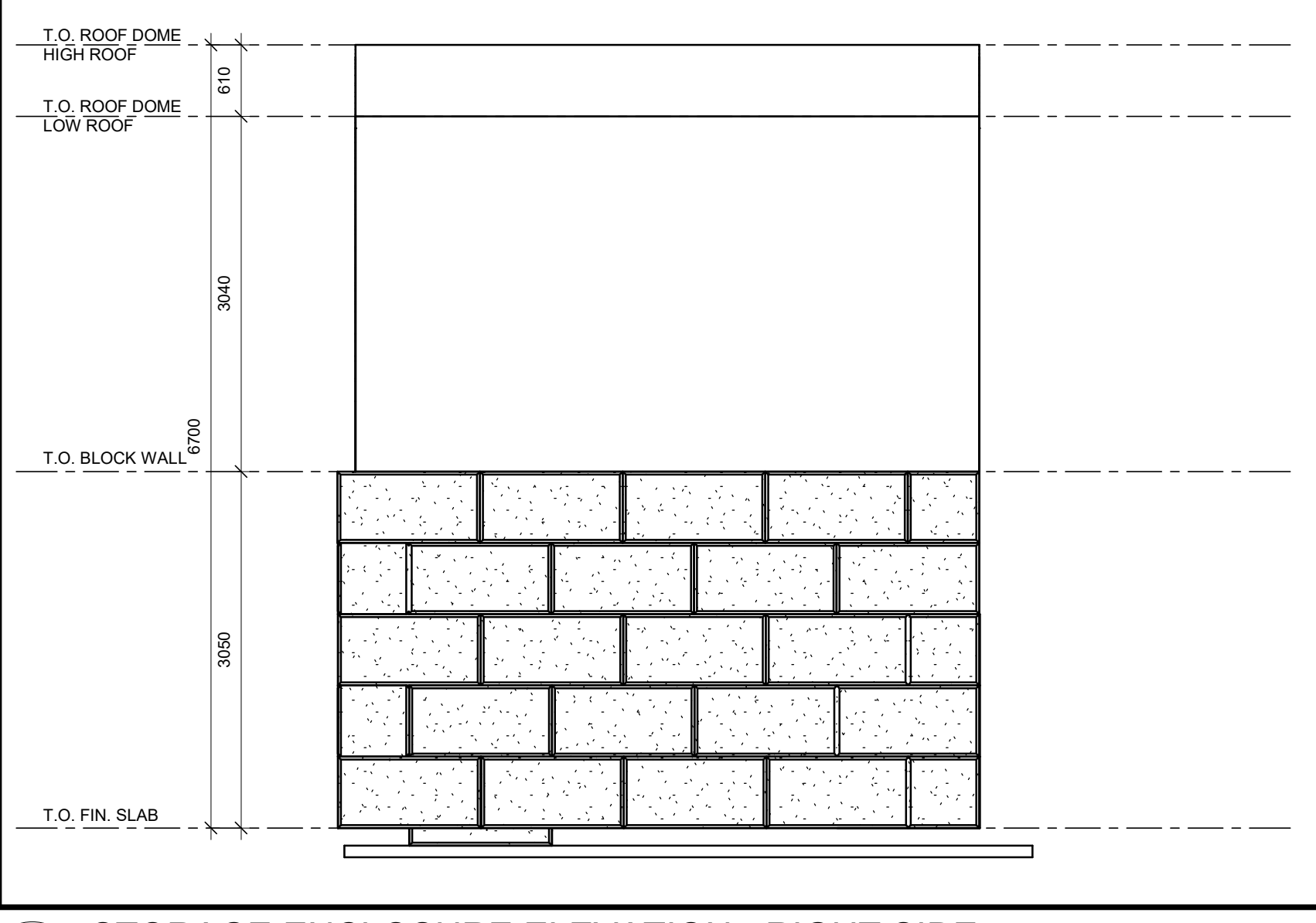
7 STORAGE ENCLOSURE ELEVATION - RIGHT SIDE
A102.2 1 : 50



3 BUILDING SECTION
A102.2 1 : 50



5 STORAGE ENCLOSURE ELEVATION - LEFT SIDE
A102.2 1 : 50

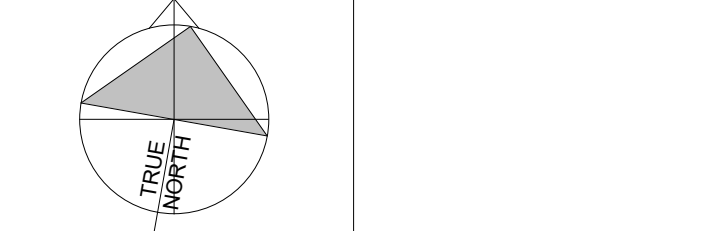


7 STORAGE ENCLOSURE ELEVATION - RIGHT SIDE
A102.2 1 : 50

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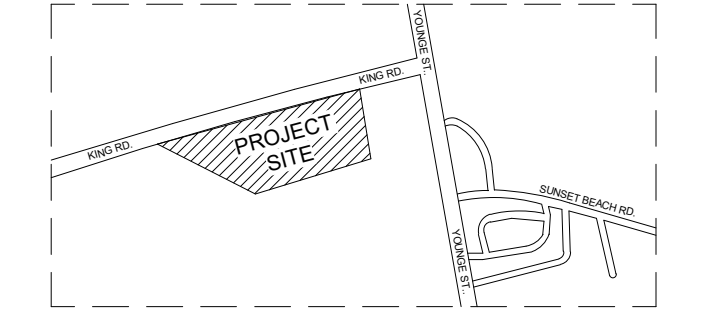
NORTH ARROW: DIGITAL REFERENCE.



PROJECT NO.: CAD011757-0343 CONTRACT NO.

DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
4	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
3	2025-01-10	ISSUED FOR BUILDING PERMIT
2	2024-12-16	RE-ISSUED FOR SITE PLAN APPROVAL
1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL
MD	DATE	ISSUED

PROJECT

CONNOR BUILDING
RENOVATIONS

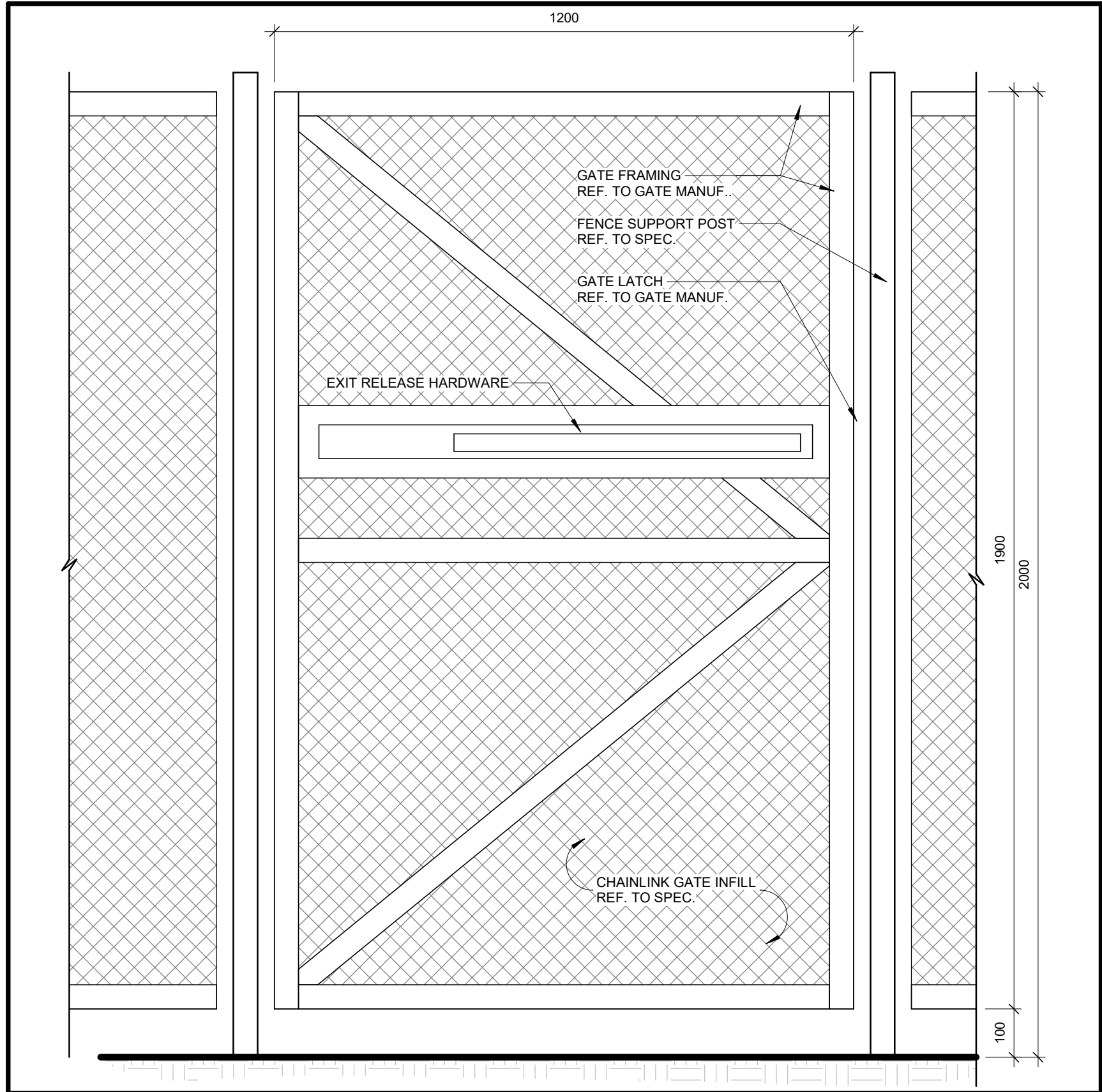
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SITE PLAN DETAILS -
STORAGE ENCLOSURE

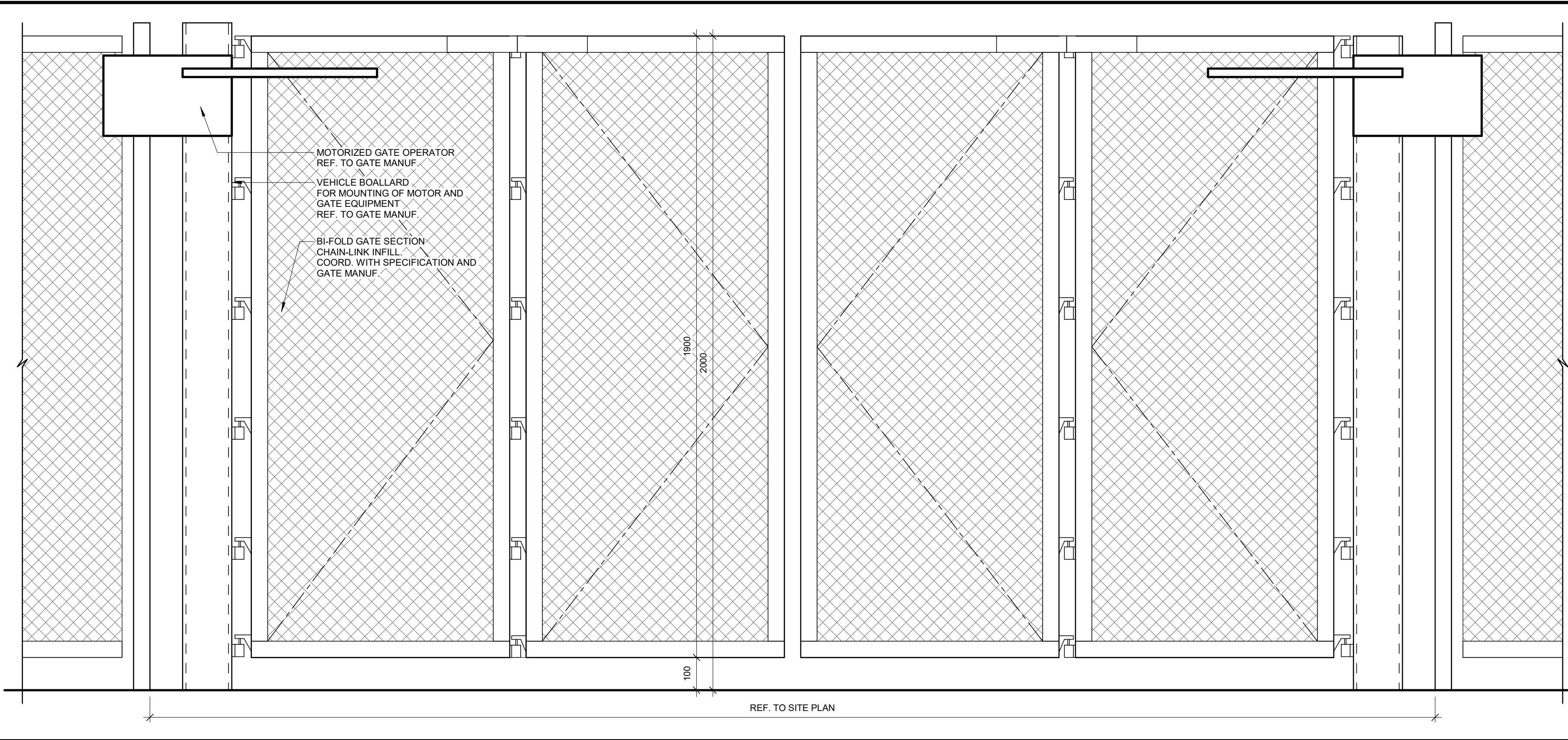
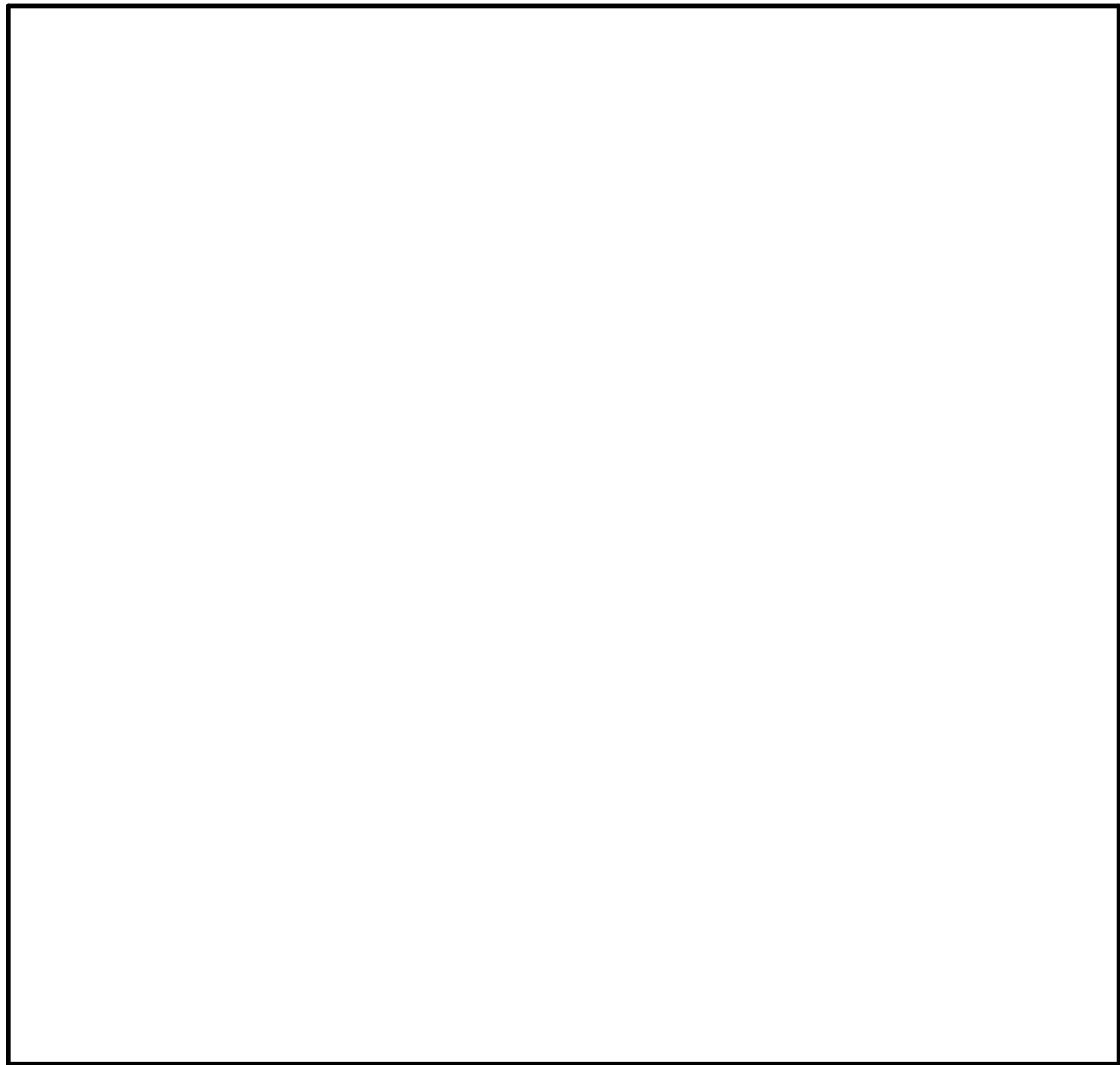
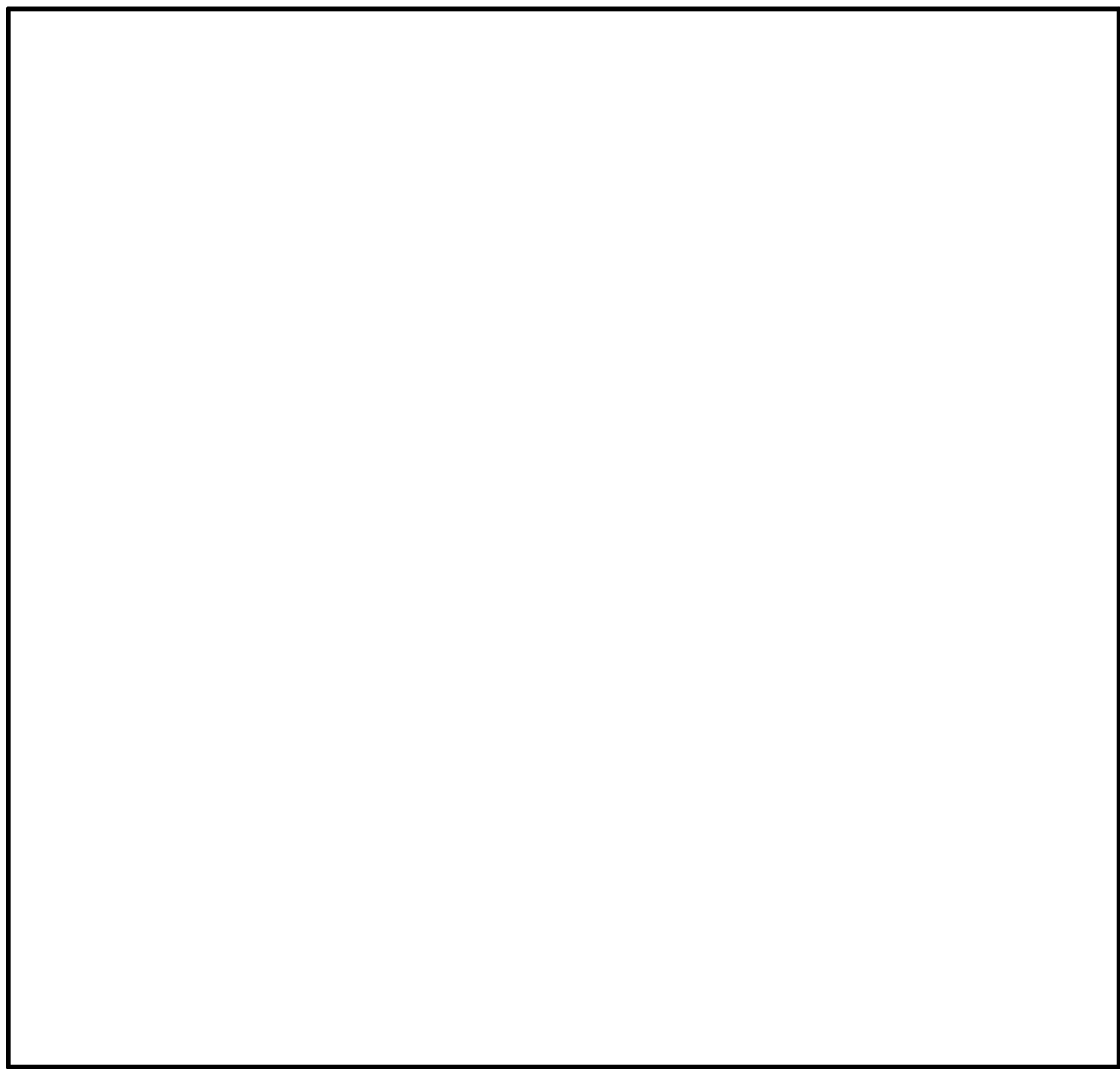
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A102.2

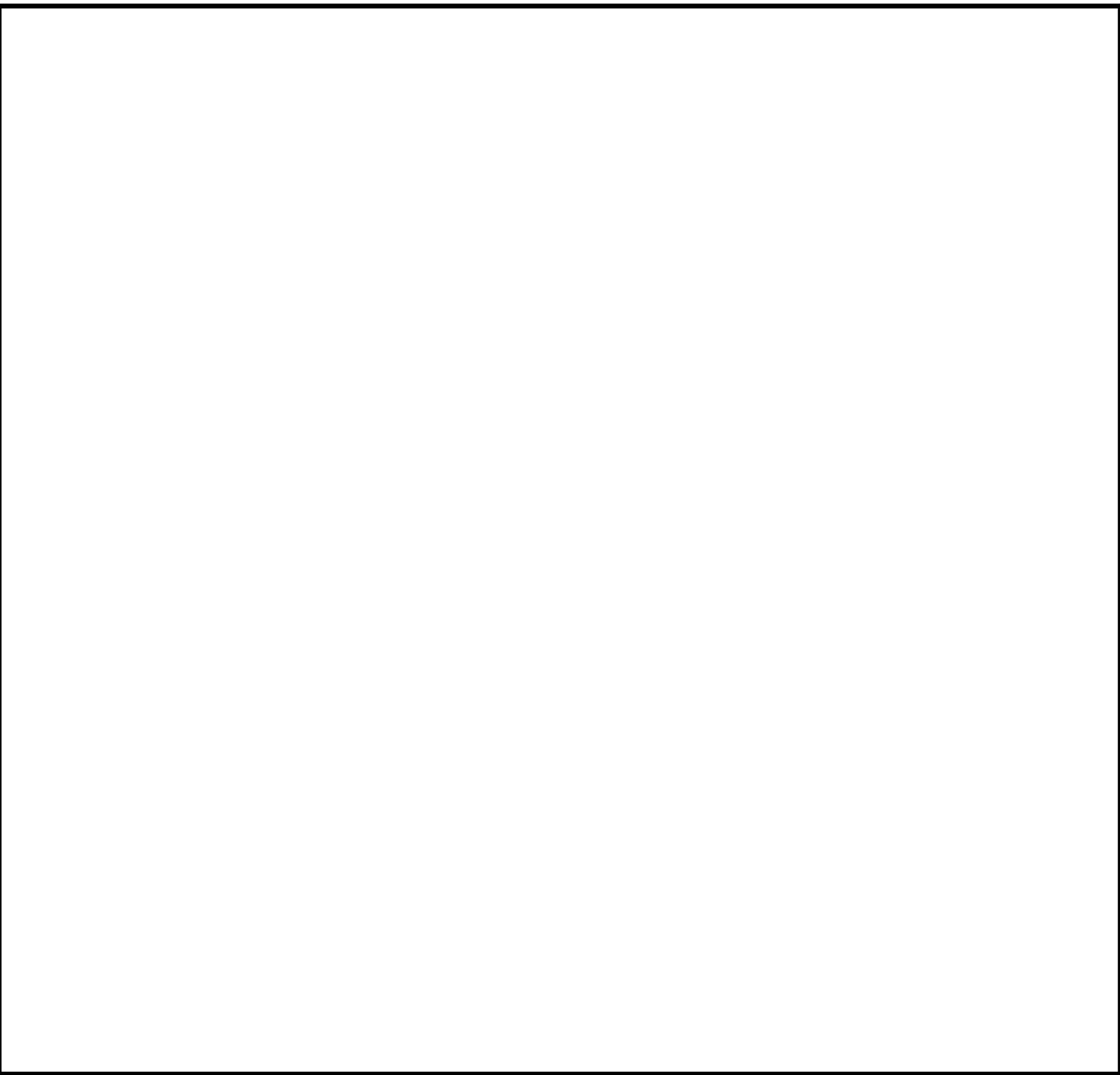
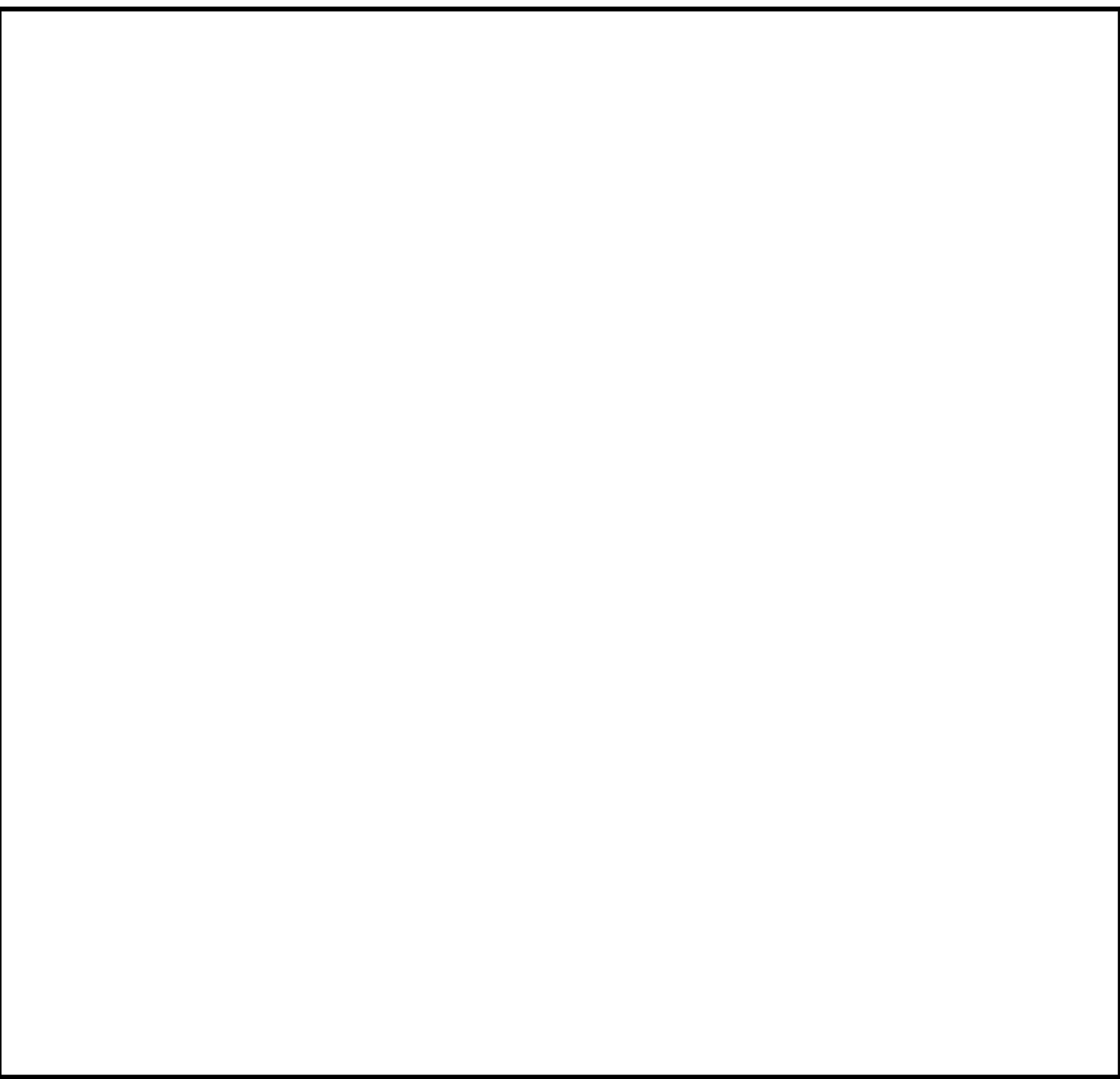
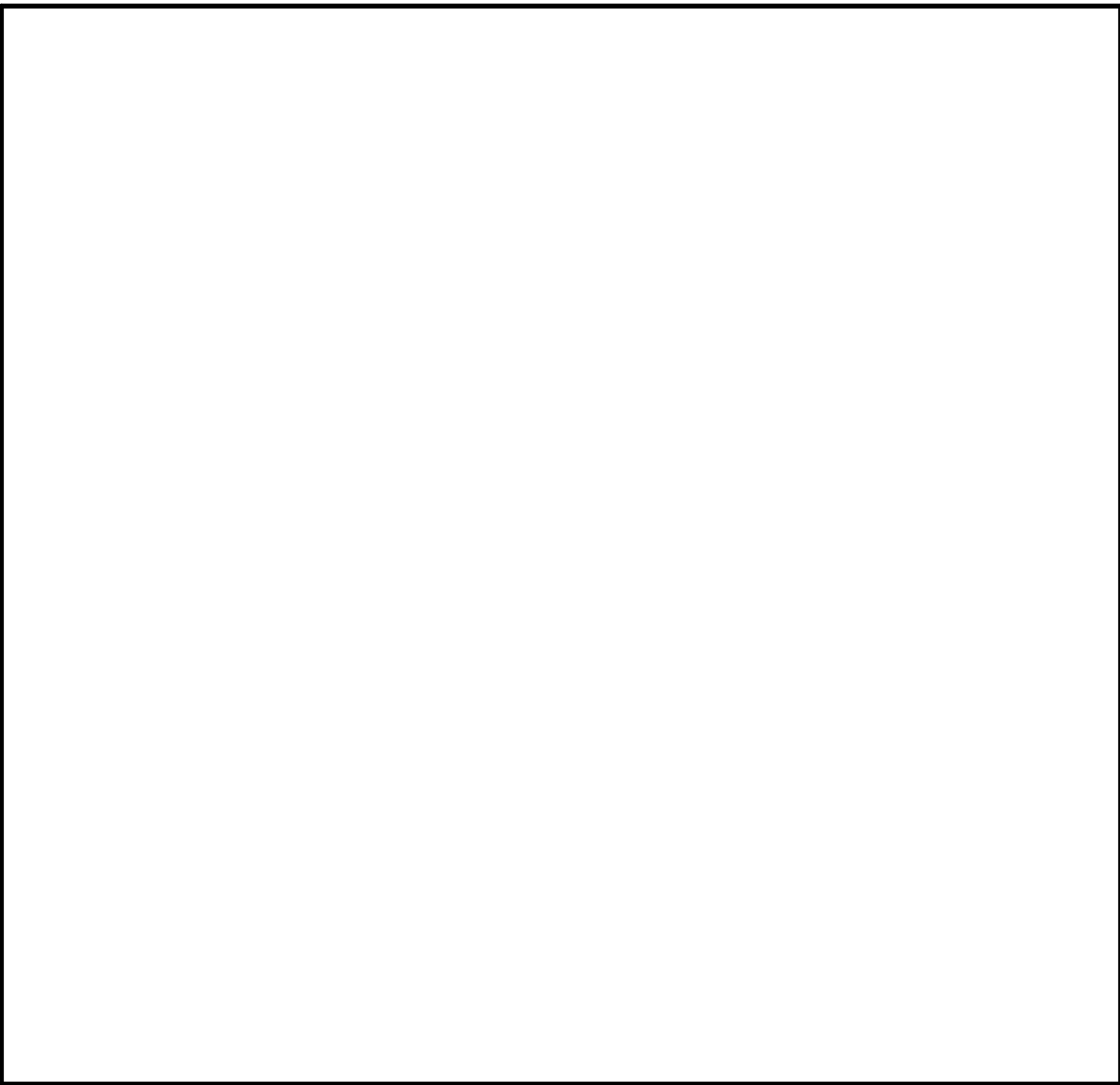
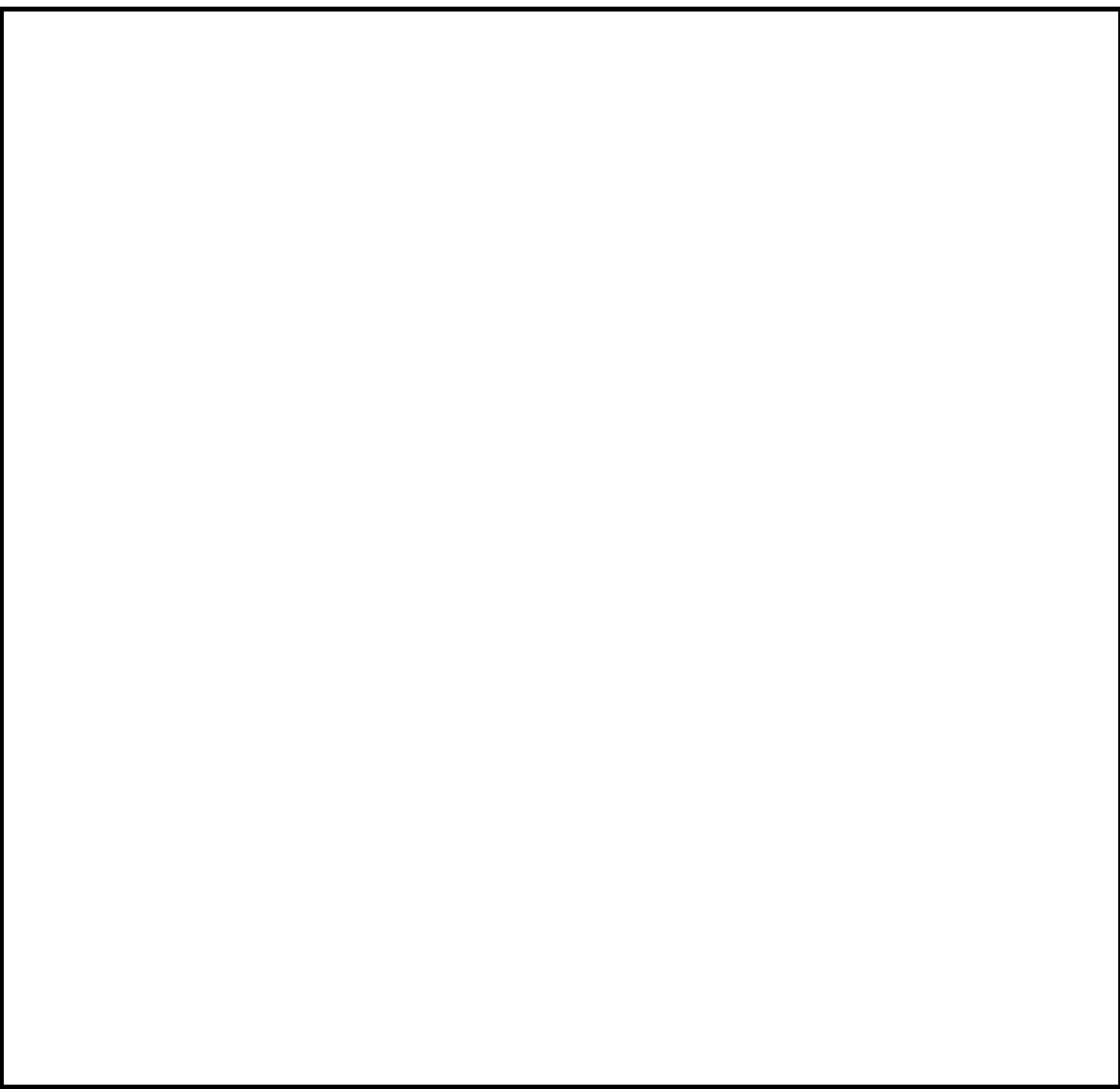
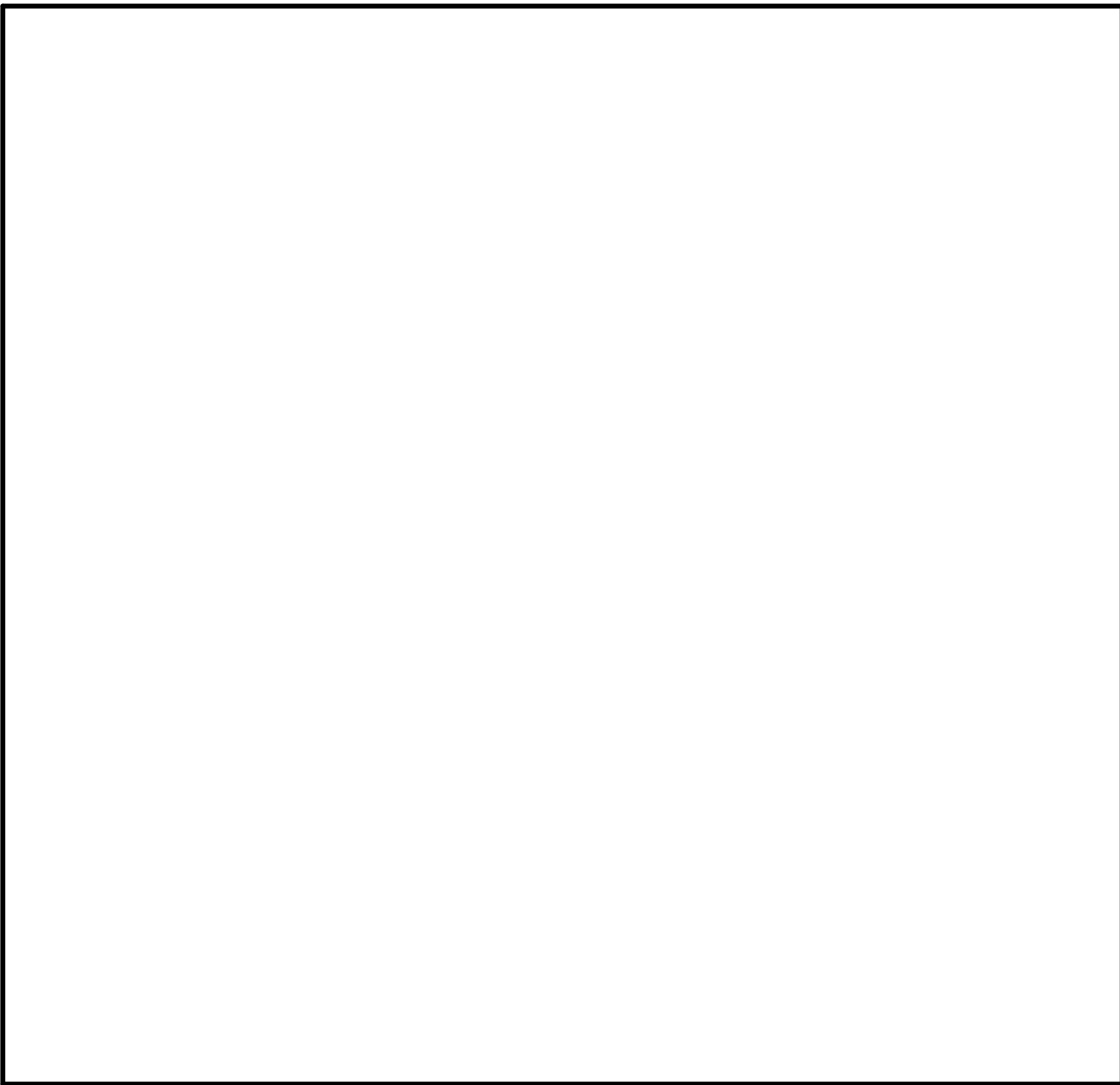
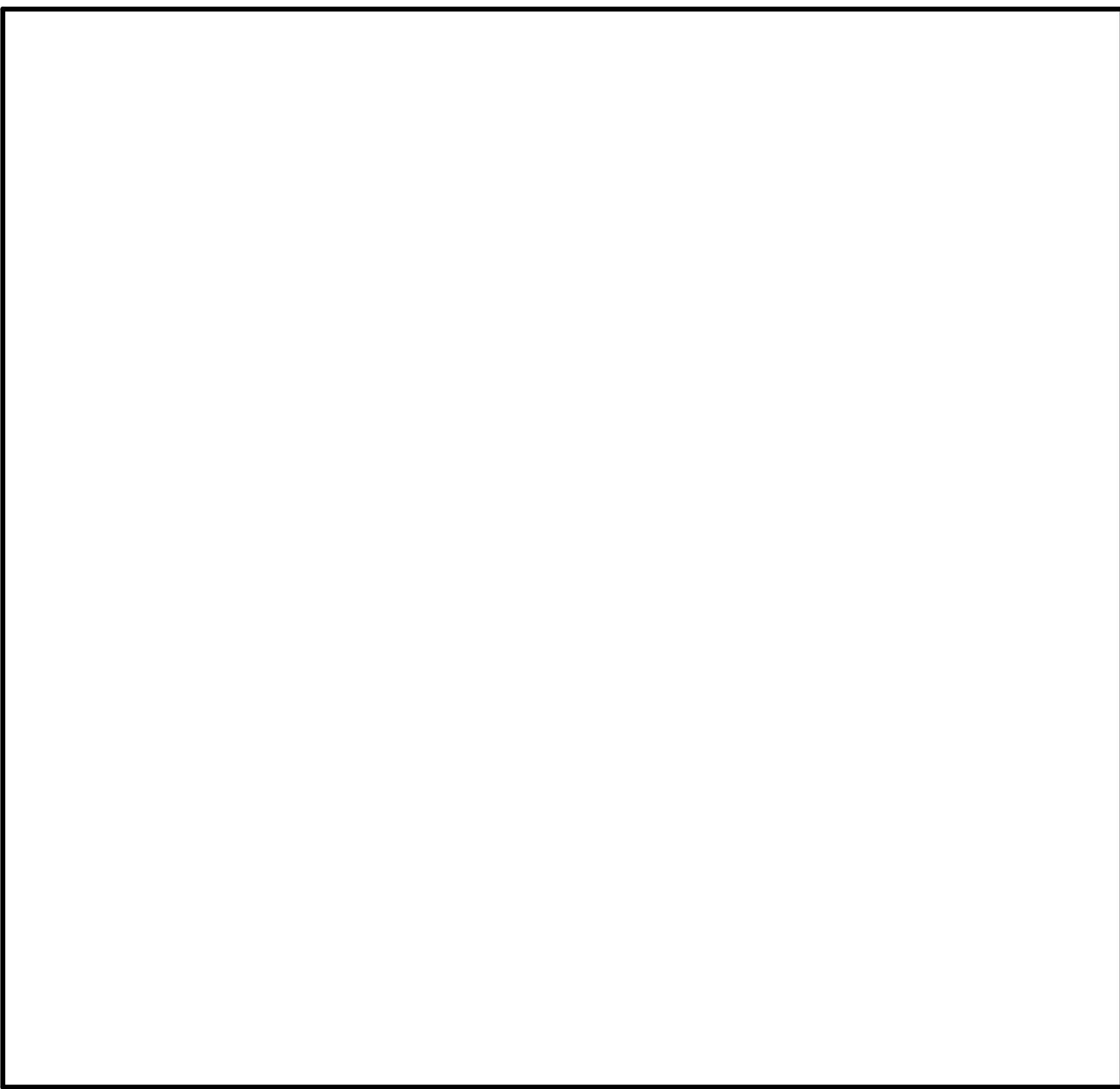
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1 SITE PLAN - SECURE FENCE - PERSONELL GATE
A102.3 1 : 10



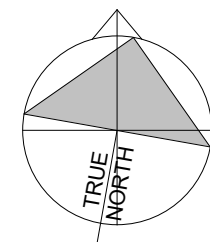
2 SITE PLAN - SECURE FENCE - VEHICLE GATE
A102.3 1 : 10



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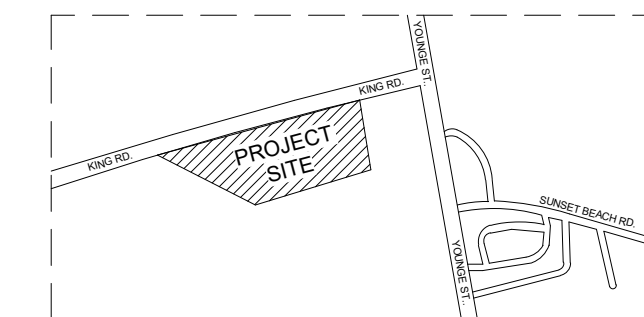
NORTH ARROW:



DIGITAL REFERENCE:

PROJECT NO.: CA0011757-0343 CONTRACT NO.
DRAWN BY: T.M. CHECKED BY: M.D. APPROVED BY: M.D.

KEYPLAN:



1 2025-04-15 ISSUED FOR TENDER
NO. DATE ISSUED
PROJECT

CONNOR BUILDING
RENOVATIONS

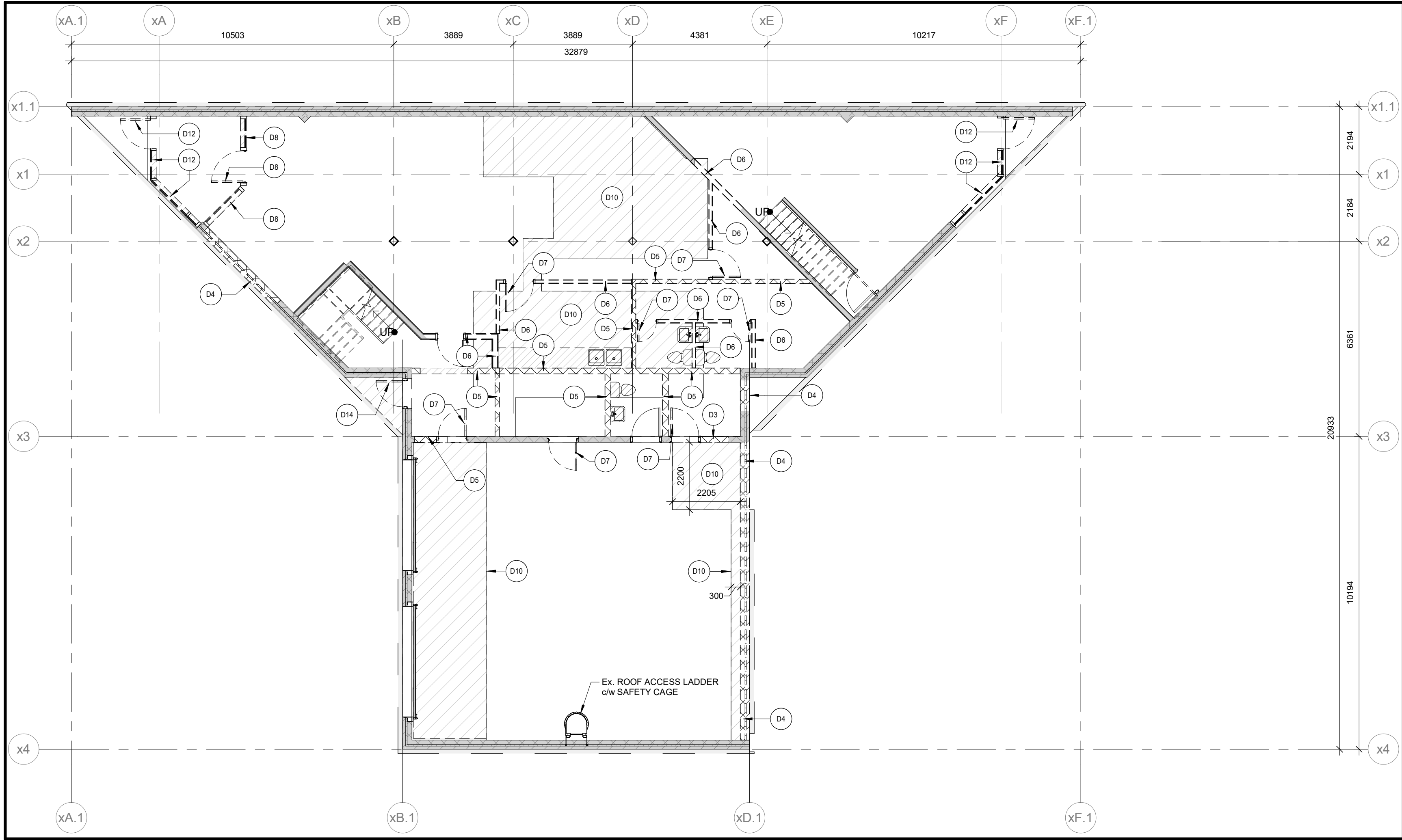
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SITE PLAN DETAILS -
MISC. DETAILS

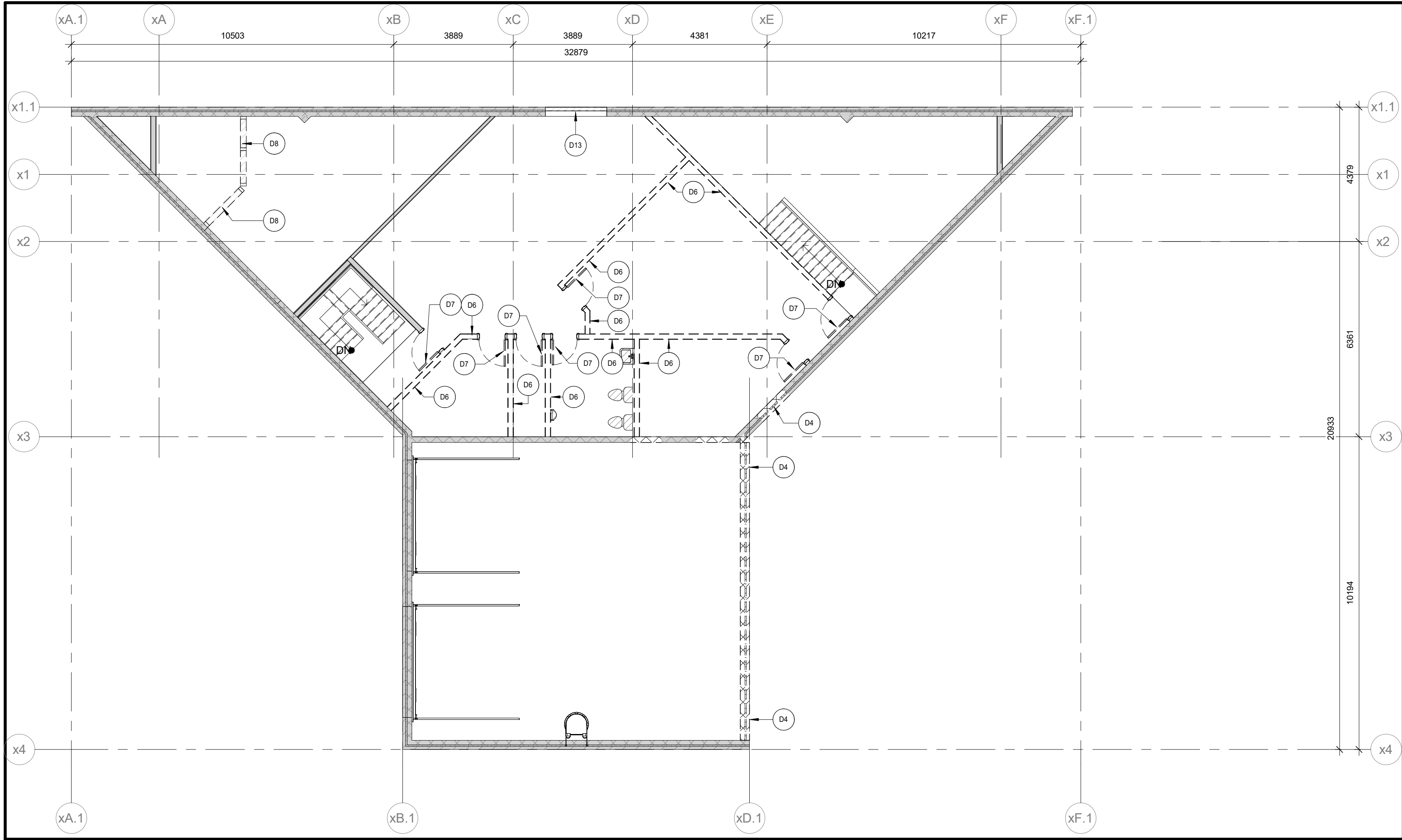
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A102.3

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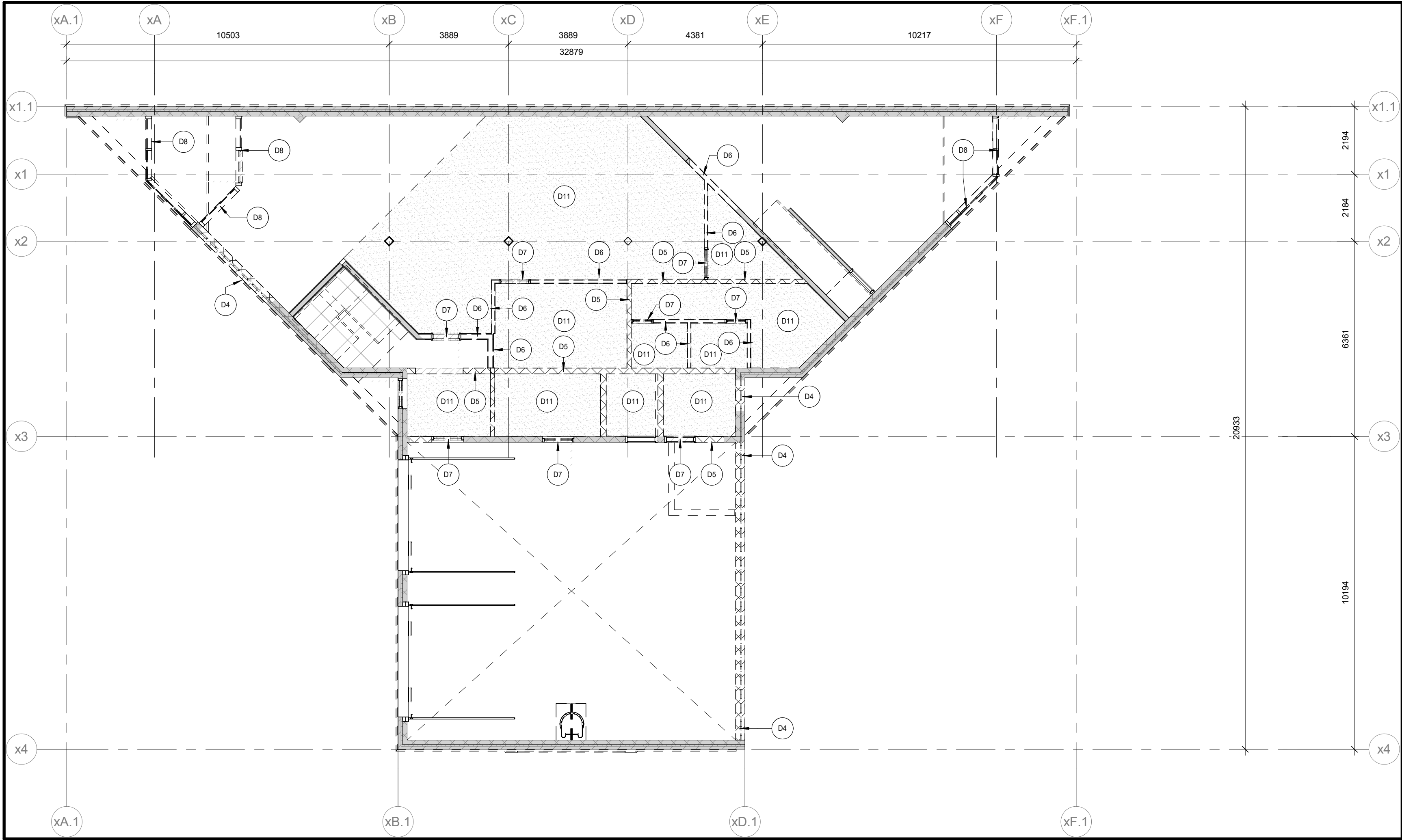
3 DEMOLITION PLAN - GROUND LEVEL
A103 1:100



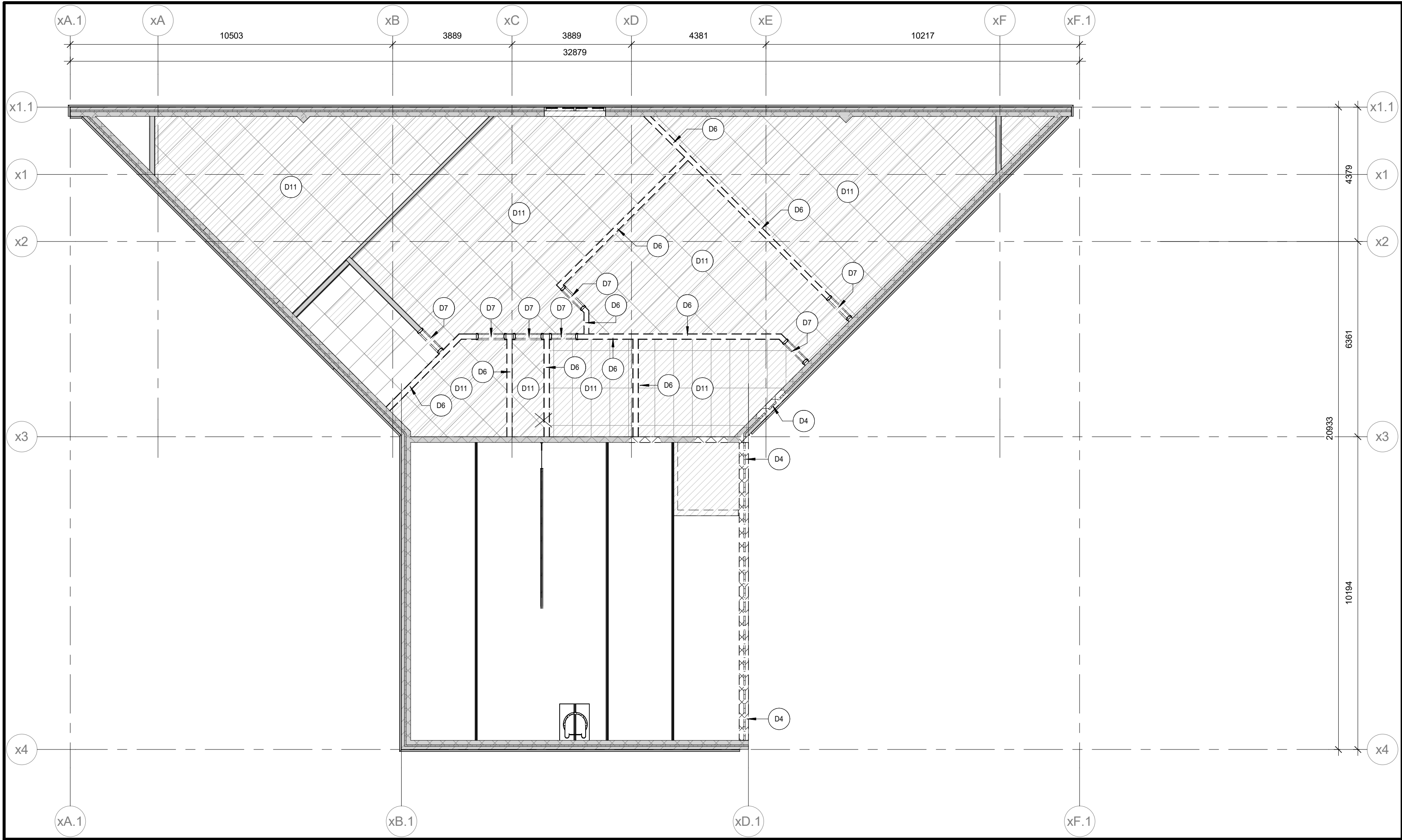
1 DEMOLITION PLAN - MEZZANINE LEVEL
A103 1:100

DEMOLITION KEYNOTE LEGEND	
TAG	DESCRIPTION
D3	EXISTING CONCRETE BLOCK WALL TO BE REMOVED TO RECEIVE NEW ELEVATOR DOOR. COORD WITH STRUCTURAL AND ELEVATOR MANUF. REQUIREMENTS FOR OPENINGS.
D4	EXISTING EXTERIOR CONCRETE BLOCK WALL AND MASONRY VENEER OT BE REMOVED. CUT EXISTING FOUNDATION WALL BELOW SLAB ON GRADE AND PREPARE TO RECEIVE NEW CONSTRUCTION.
D5	EXISTING BLOCK PARTITION TO BE REMOVED. PATCH AND MAKE GOOD EXISTING EXPOSED OR DISTURBED SLAB ON GRADE TO RECEIVE NEW CONSTRUCTION AND FINISHES.
D6	EXISTING GYPSUM AND WOOD FRAMED PARTITION TO BE REMOVED, FULL HEIGHT.
D7	EXISTING INTERIOR DOOR AND FRAME TO BE REMOVED.
D8	EXISTING INTERIOR GLAZING ASSEMBLY AND DOOR TO BE REMOVED.
D9	EXISTING METAL PARAPET AND UPSTAND TO BE REMOVED. ASSESS EXISTING ADJACENT ROOFING.
D10	EXISTING FLOOR SLAB TO BE CUT AND REMOVED TO EXTENTS AS SHOWN. PREPARE ADJACENT EXPOSED EDGES TO RECEIVE NEW CONSTRUCTION. CONTRACTOR TO CONFIRM EXTENTS TO ALLOW FOR WORKING CLEARANCES.
D11	EXISTING CEILINGS, LIGHTS AND MECH. DIFFUSERS TO BE REMOVED.
D12	EXISTING GLAZING SYSTEM AND DOORS TO BE REMOVED. EXISTING OPENING TO BE PREPARED TO RECEIVE NEW CONSTRUCTION.
D13	EXISTING PUNCH WINDOW TO BE REMOVED.
D14	EXISTING INSULATED HOLLOW METAL DOOR AND FRAME TO BE REMOVED. PREPARE OPENING TO RECEIVE NEW CONSTRUCTION.

NOTE:
COORDINATE REINSTATEMENT OF REMOVED GYPSUM IN RESPECT TO REMOVAL FOR HAZARDOUS MATERIALS ABATEMENT.
EXISTING ASSEMBLIES TO BE REINSTATED WITH A NOTED FIRE RESISTANCE RATING WILL BE RESTORED TO A DESIGN COMPARABLE TO THAT IN CBC 2024, SB-2 OR ULC DESIGN.



4 DEMOLITION PLAN - GROUND LEVEL RCP
A103 1:100



2 DEMOLITION PLAN - MEZZANINE LEVEL RCP
A103 1:100

DEMOLITION PLAN GRAPHICS LEGEND			
GRAPHIC	DESCRIPTION	GRAPHIC	DESCRIPTION
	ASSEMBLY ELEMENT TO REMAIN		ASSEMBLY ELEMENT TO BE DEMOLISHED / REMOVED
	HORIZONTAL ASSEMBLY ELEMENT TO BE DEMOLISHED / REMOVED		KEYNOTE CALL OUT REF. TO KEYNOTE SCHEDULE
	KEYNOTE CALL OUT REF. TO KEYNOTE SCHEDULE		



150 COMMERCIAL VALLEY DRIVE WEST
THORNHILL, ONTARIO
L3T 0A1
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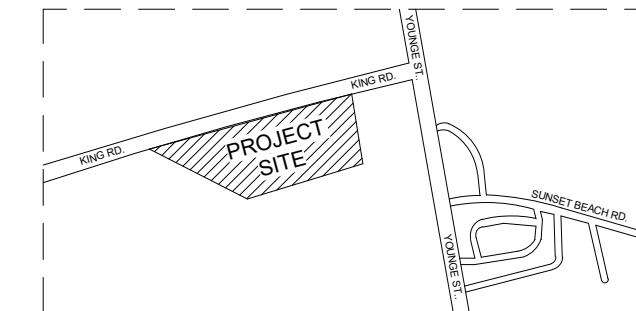
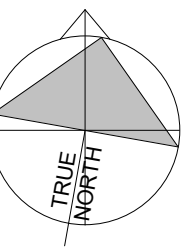
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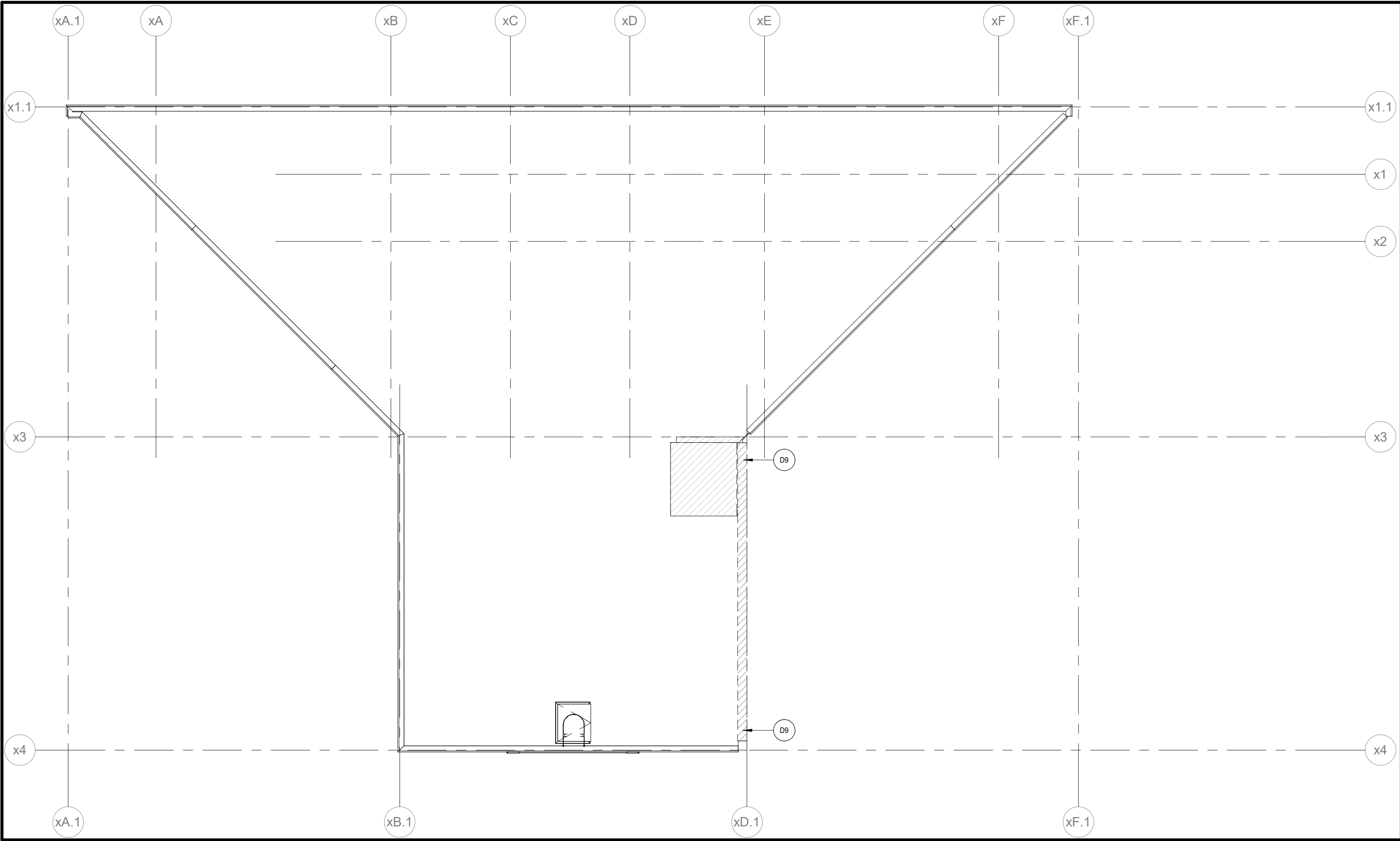
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6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
4	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
3	2025-01-10	ISSUED FOR BUILDING PERMIT
2	2024-12-18	RE-ISSUED FOR SITE PLAN APPROVAL
1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL

CONNOR BUILDING
RENOVATIONS

DEMOLITION PLANS -
GROUND AND
MEZZANINE LEVELS



1
A104
1 : 100

DEMOLITION PLAN - ROOF LEVEL

DEMOLITION KEYNOTE LEGEND	
TAG	DESCRIPTION
D3	EXISTING CONCRETE BLOCK WALL TO BE REMOVED TO RECEIVE NEW ELEVATOR DOOR. COORD WITH STRUCTURAL AND ELEVATOR MANUF. REQUIREMENTS FOR OPENINGS.
D4	EXISTING EXTERIOR CONCRETE BLOCK WALL AND MASONRY VENEER OT BE REMOVED. CUT EXISTING FOUNDATION WALL BELOW SLAB ON GRADE AND PREPARE TO RECEIVE NEW CONSTRUCTION.
D5	EXISTING BLOCK PARTITION TO BE REMOVED. PATCH AND MAKE GOOD EXISTING EXPOSED OR DISTURBED SLAB ON GRADE TO RECEIVE NEW CONSTRUCTION AND FINISHES.
D6	EXISTING GYPSUM AND WOOD FRAMED PARTITION TO BE REMOVED, FULL HEIGHT.
D7	EXISTING INTERIOR DOOR AND FRAME TO BE REMOVED.
D8	EXISTING INTERIOR GLAZING ASSEMBLY AND DOOR TO BE REMOVED.
D9	EXISTING METAL PARAPET AND UPSTAND TO BE REMOVED. ASSESS EXISTING ADJACENT ROOFING.
D10	EXISTING FLOOR SLAB TO BE CUT AND REMOVED TO EXTENTS AS SHOWN. PREPARE ADJACENT EXPOSED EDGES TO RECEIVE NEW CONSTRUCTION. CONTRACTOR TO CONFIRM EXTENTS TO ALLOW FOR WORKING CLEARANCES.
D11	EXISTING CEILINGS, LIGHTS AND MECH. DIFFUSERS TO BE REMOVED.
D12	EXISTING GLAZING SYSTEM AND DOORS TO BE REMOVED. EXISTING OPENING TO BE PREPARED TO RECEIVE NEW CONSTRUCTION.
D13	EXISTING PUNCH WINDOW TO BE REMOVED.
D14	EXISTING INSULATED HOLLOW METAL DOOR AND FRAME TO BE REMOVED. PREPARE OPENING TO RECEIVE NEW CONSTRUCTION.

DEMOLITION PLAN GRAPHICS LEGEND			
GRAPHIC	DESCRIPTION	GRAPHIC	DESCRIPTION
	ASSEMBLY ELEMENT TO REMAIN		
	ASSEMBLY ELEMENT TO BE DEMOLISHED / REMOVED		
	HORIZONTAL ASSEMBLY ELEMENT TO BE DEMOLISHED / REMOVED		
	KEYNOTE CALLOUT REF. TO KEYNOTE SCHEDULE		

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Phone: 416-368-6987 | info@architecture49.com | <http://architecture49.com>

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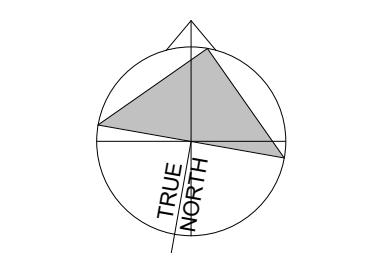
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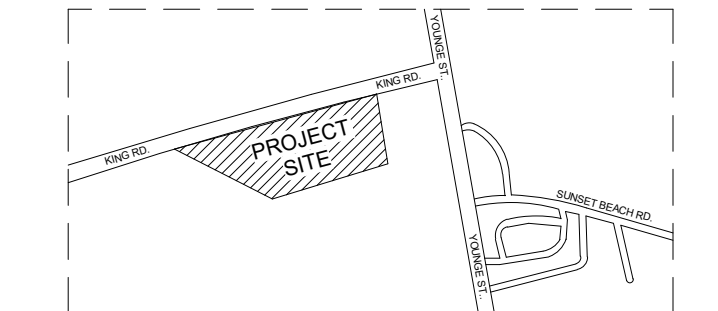
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PROJECT NO.: CANS11757-0343 CONTRACT NO.

DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
4	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
3	2025-01-10	ISSUED FOR BUILDING PERMIT
2	2024-12-16	RE-ISSUED FOR SITE PLAN APPROVAL
1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL

NO. DATE

PROJECT

CONNOR BUILDING
RENOVATIONS

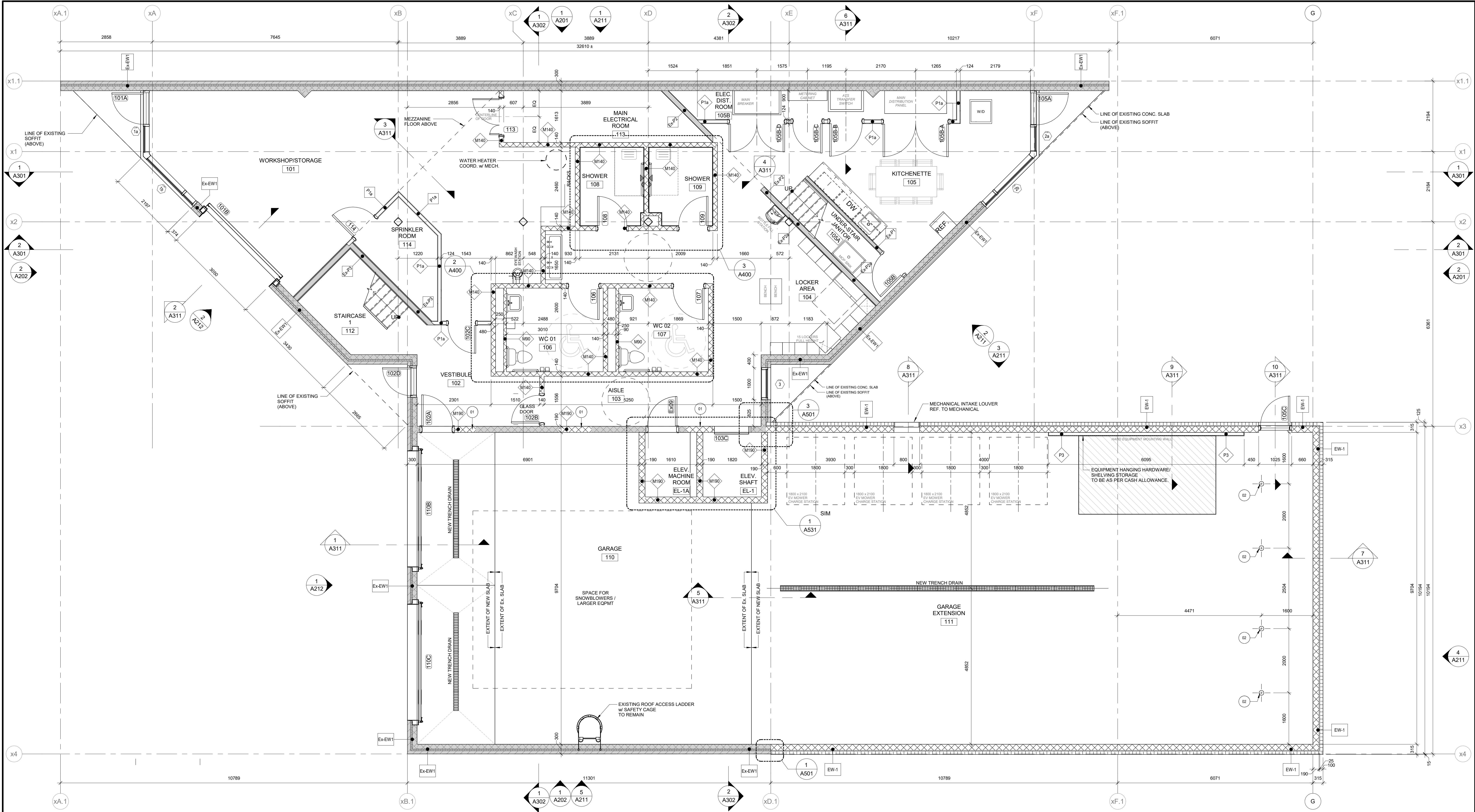
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DEMOLITION PLAN -
ROOF LEVEL &
SECTIONS

DRAWING NO.

A104

PRINT DATE: 2025-04-16 9:43:31 AM



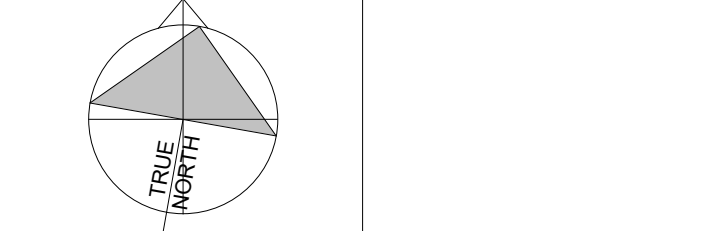
1 PLAN - GROUND LEVEL
A111 1 : 50

FLOOR PLAN KEYNOTE LEGEND	
TAG	DESCRIPTION
01	NEW BLOCK WALL ASSEMBLY TO BE "TOOTHED-IN" WITH ADJACENT EXISTING BLOCK WALL. INTERIOR FACE TO BE FLUSH TO EXISTING ADJACENT BLOCK ASSEMBLIES.
02	NEW INTERIOR 152mm DIA. CONCRETE FILLED STEEL PIPE VEHICLE BOLLARD TO 1200mm A.F.F. TRAFFIC YELLOW PAINT FINISH.

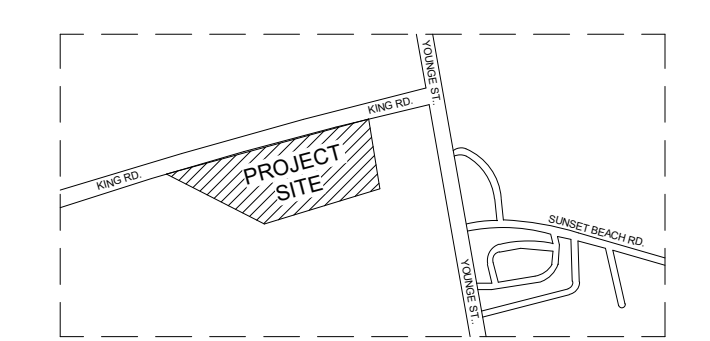
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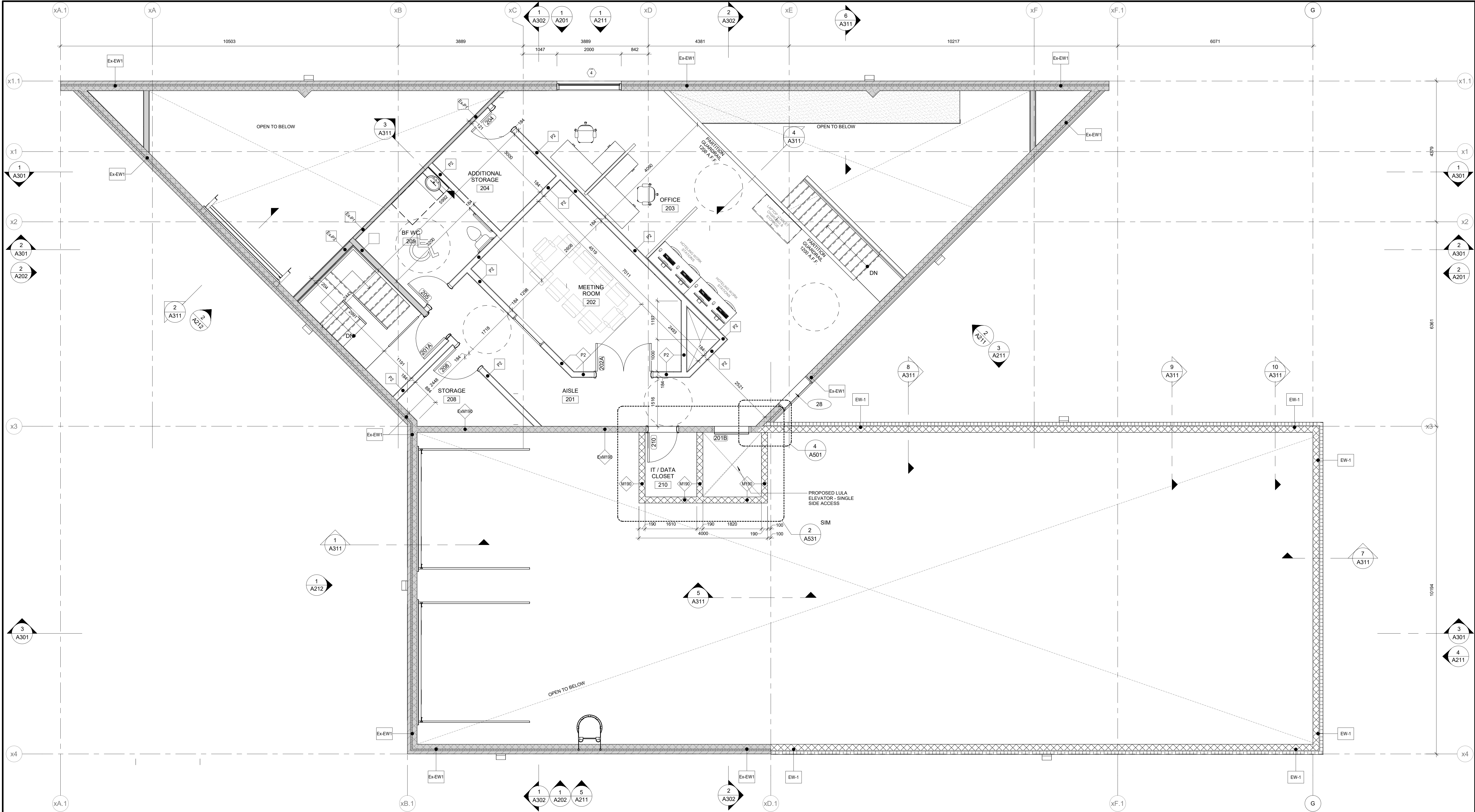


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1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL
MD	DATE	ISSUED

**CONNOR BUILDING
RENOVATIONS**

DRAWING TITLE

**FLOOR PLAN - GROUND
LEVEL**



1 PLAN - SECOND LEVEL
A112 1:50



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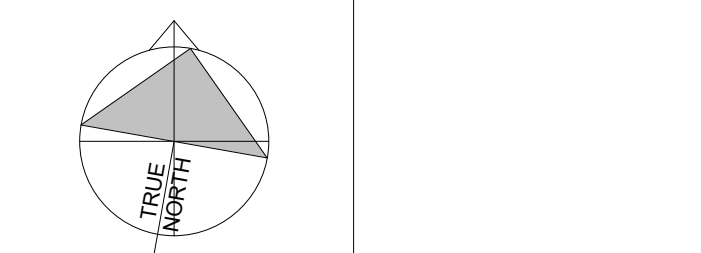
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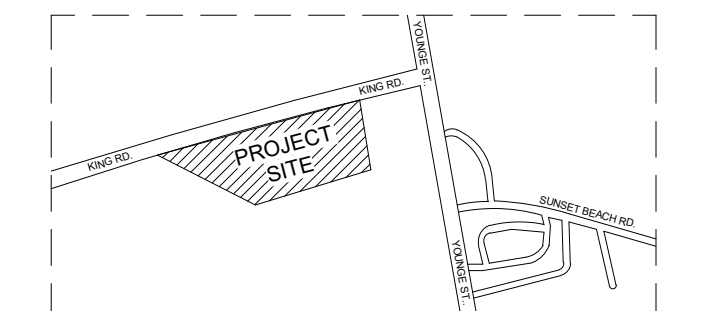
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MD	DATE	ISSUED

PROJECT

CONNOR BUILDING
RENOVATIONS

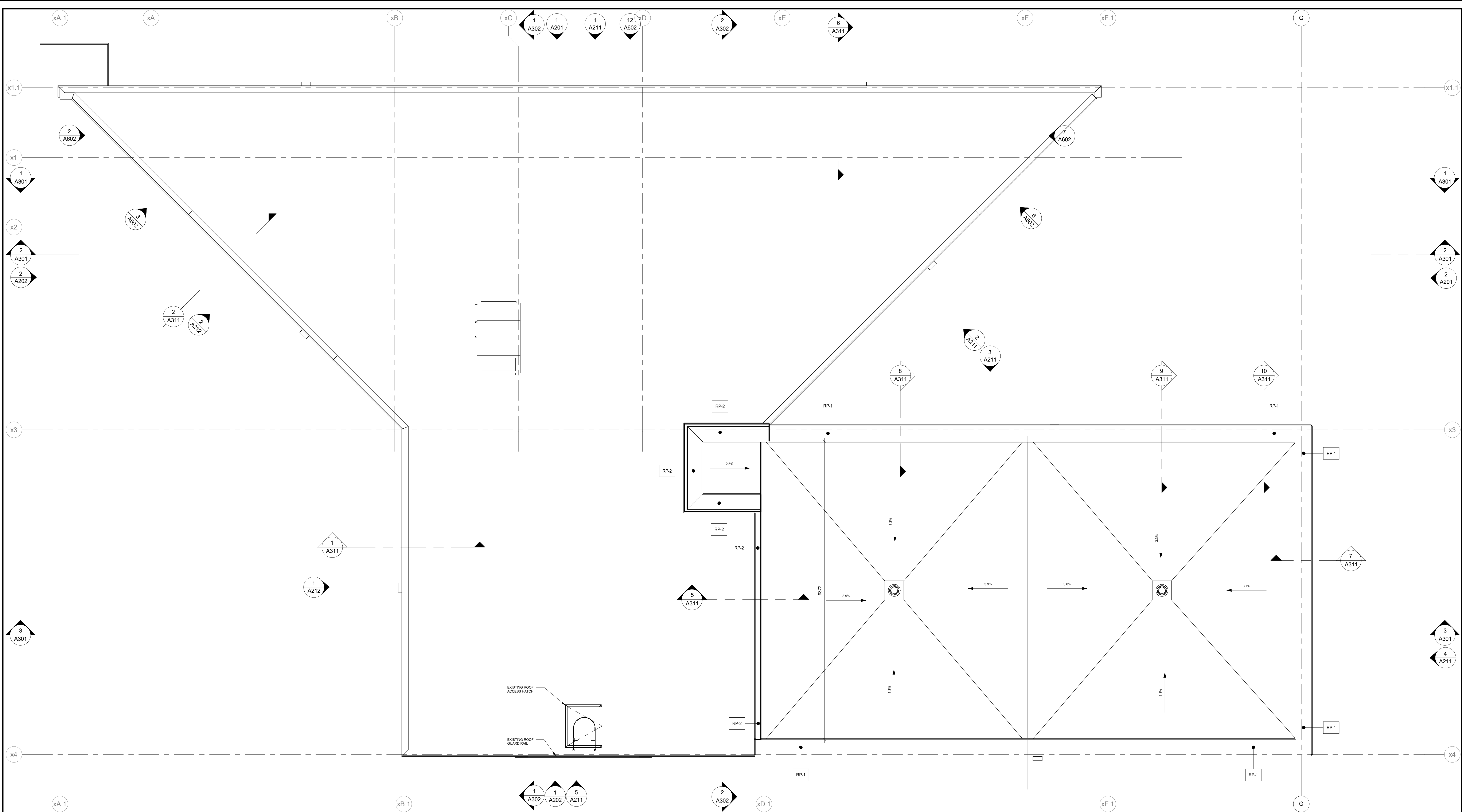
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FLOOR PLAN - SECOND
LEVEL

DRAWING NO.

A112

PRINT DATE: 2025-04-16 9:43:38 AM



1 ROOF PLAN
A113 1:50

ROOF PLAN NOTES

- REFER TO MECHANICAL & ELECTRICAL DRAWINGS FOR ALL ROOF TOP MECHANICAL & ELECTRICAL EQUIPMENT, DEVICES & SERVICES. REFER TO ARCHITECTURAL FOR ROOFING TIE-IN & PENETRATION DETAILS.
- UNDERSIDE OF ROOF DECK AT HIGH POINT TO BE AT U/S DECK DATUM UNLESS NOTED OTHERWISE.
- ROOF TYPE CONSTRUCTION TO BE [R1.1] UNLESS NOTED OTHERWISE ON ROOF PLAN.

ROOF PLAN LEGEND

R.D. (x150mm) ROOF DRAIN & 2438mm x 2438mm SUMP (SLOPED @ 4%) (SLOPED @ 4%) (SLOPED @ 4%)

U/S ROOF DECK ELEVATION (FROM HIGH POINT) AT R.D.

E.F. EXHAUST FAN, REFER TO MECHANICAL SEE DETAIL

L.P. LOUVERED PENTHOUSE SYSTEM, REFER TO MECHANICAL SEE DETAIL

S.D. SCUPPER DRAIN SEE DETAIL

2.00% ROOF SLOPE DIRECTION & SLOPE %

TAPERED RIGID INSULATION, 2% MINIMUM SLOPE TO ROOF DRAINS

150mm WIDE ADDITIONAL ROOFING CAP SHEET (COLOUR CONTRASTING)

610mm x 610mm x 50mm PRECAST CONCRETE PAVES w/ ADDITIONAL ROOFING MEMBRANE CAP SHEET BELOW

UNDERSIDE OF ROOF DECK ELEVATION DATUM, REFERENCE FROM UNDERSIDE OF ROOF DECK AT HIGH POINT

M.E. ROOFTOP EQUIPMENT, REFER TO MECHANICAL

5'-0" ROOF EDGE SETBACK

TYPICAL ROOF DRAIN DETAIL

2 A113 1:10

TYPICAL ROOF TOP MECHANICAL UNIT SUPPORT DETAIL

3 A113 1:10

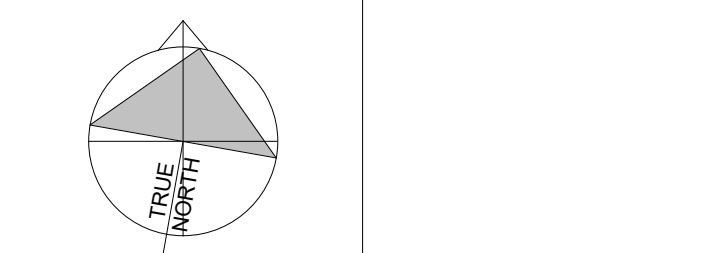
TYPICAL VENT PIPE DETAIL

4 A113 1:10

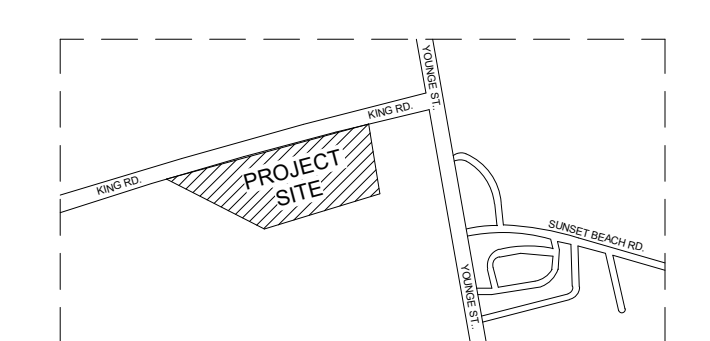
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MD	DATE	ISSUED

PROJECT

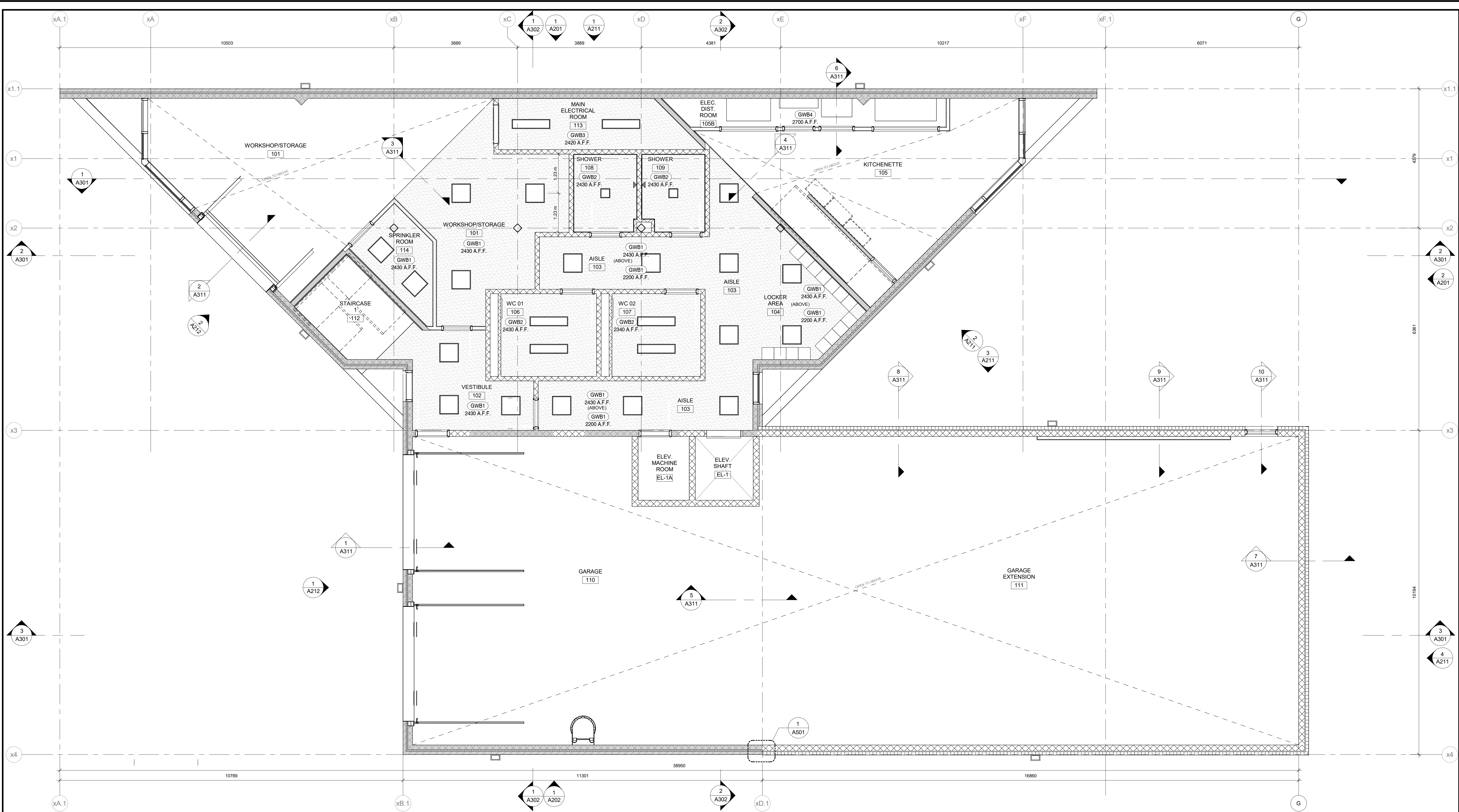
**CONNOR BUILDING
RENOVATIONS**

DRAWING TITLE

**FLOOR PLAN - ROOF
LEVEL**

DRAWING NO. **A113**

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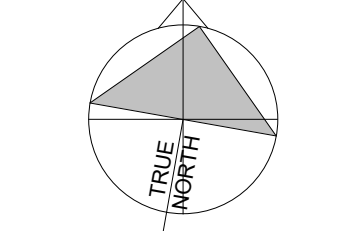
1 GROUND LEVEL RCP
A121 1:50

CEILING FINISH LEGEND	
	ACOUSTIC CEILING TILE REF. TO ASSEMBLY LEGEND
	GYPSUM BOARD CEILING REF. TO ASSEMBLY LEGEND
	EXPOSED STRUCTURE / EXPOSED TO ABOVE REF. TO FINISH LEGEND

**NOT FOR
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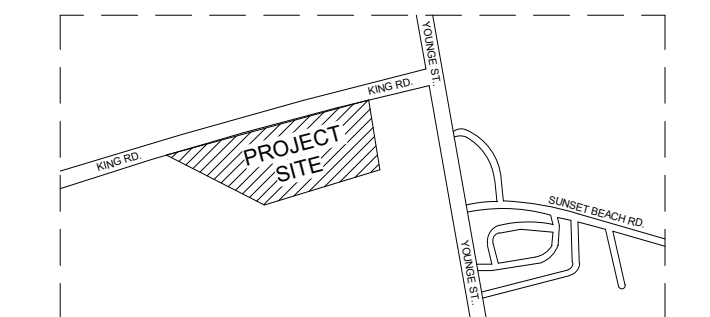
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KEYPLAN:



3	2025-04-15	ISSUED FOR TENDER
2	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
1	2025-01-10	ISSUED FOR BUILDING PERMIT ISSUED

PROJECT

**CONNOR BUILDING
RENOVATIONS**

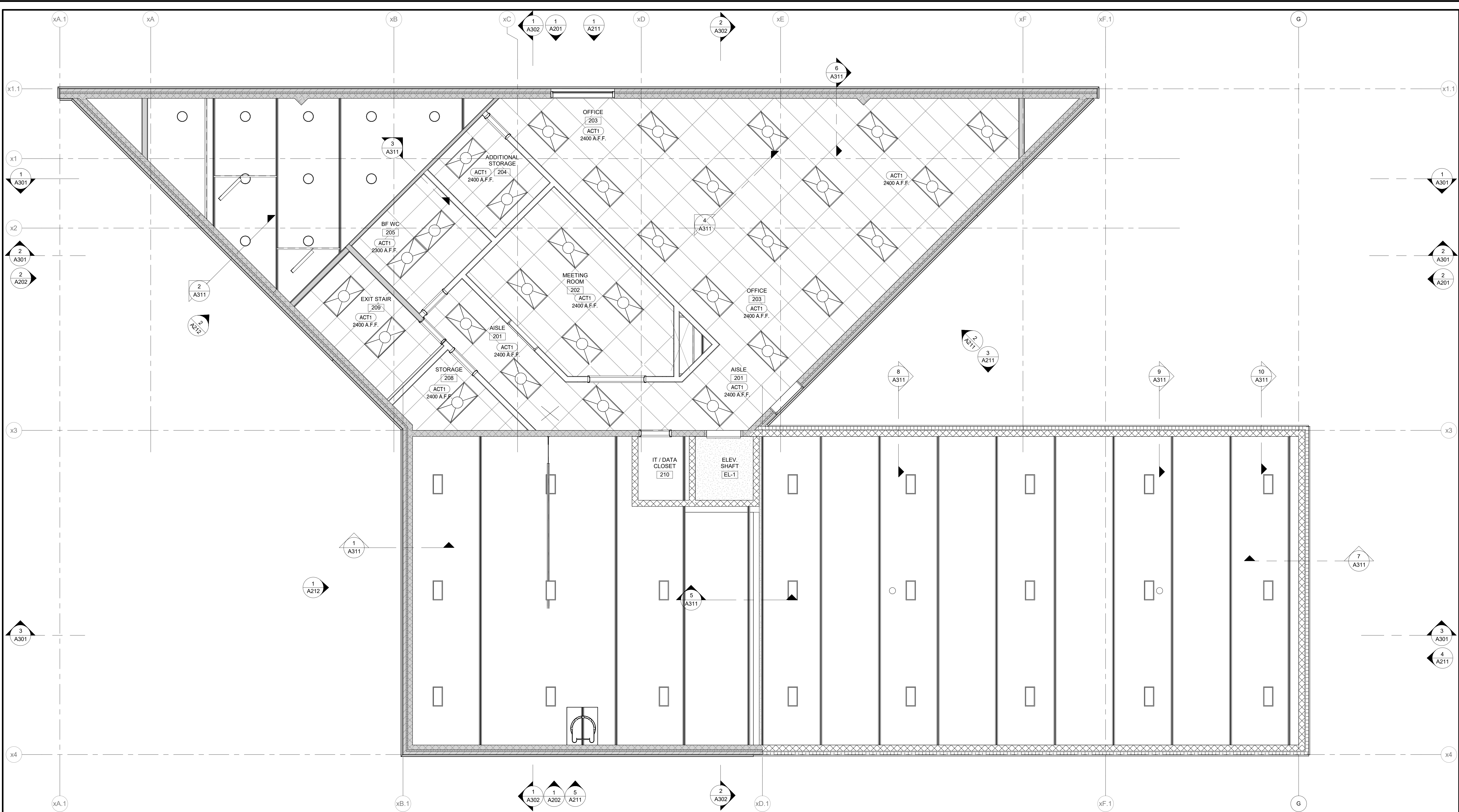
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RCP - GROUND LEVEL

DRAWING NO.

A121

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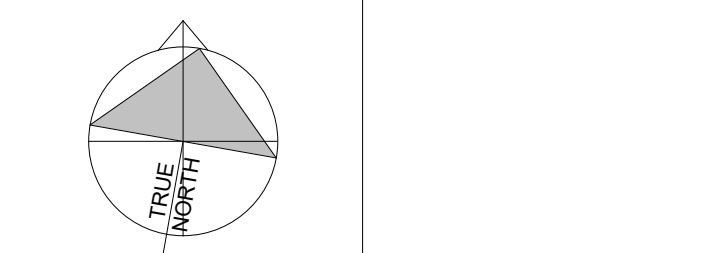
1 MEZZANINE LEVEL RCP
A122 1:50

CEILING FINISH LEGEND	
	ACOUSTIC CEILING TILE REF. TO ASSEMBLY LEGEND
	GYPSUM BOARD CEILING REF. TO ASSEMBLY LEGEND
	EXPOSED STRUCTURE / EXPOSED TO ABOVE REF. TO FINISH LEGEND

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CONSTRUCTION**

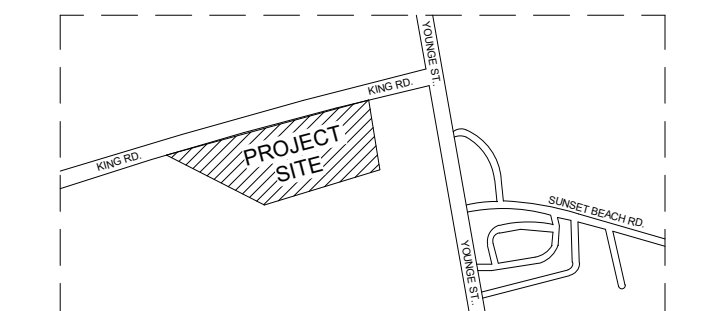
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PROJECT NO.: CA0011757-0343 CONTRACT NO.
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KEYPLAN:



3	2025-04-15	ISSUED FOR TENDER
2	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
1	2025-01-10	ISSUED FOR BUILDING PERMIT ISSUED
PROJECT		

**CONNOR BUILDING
RENOVATIONS**

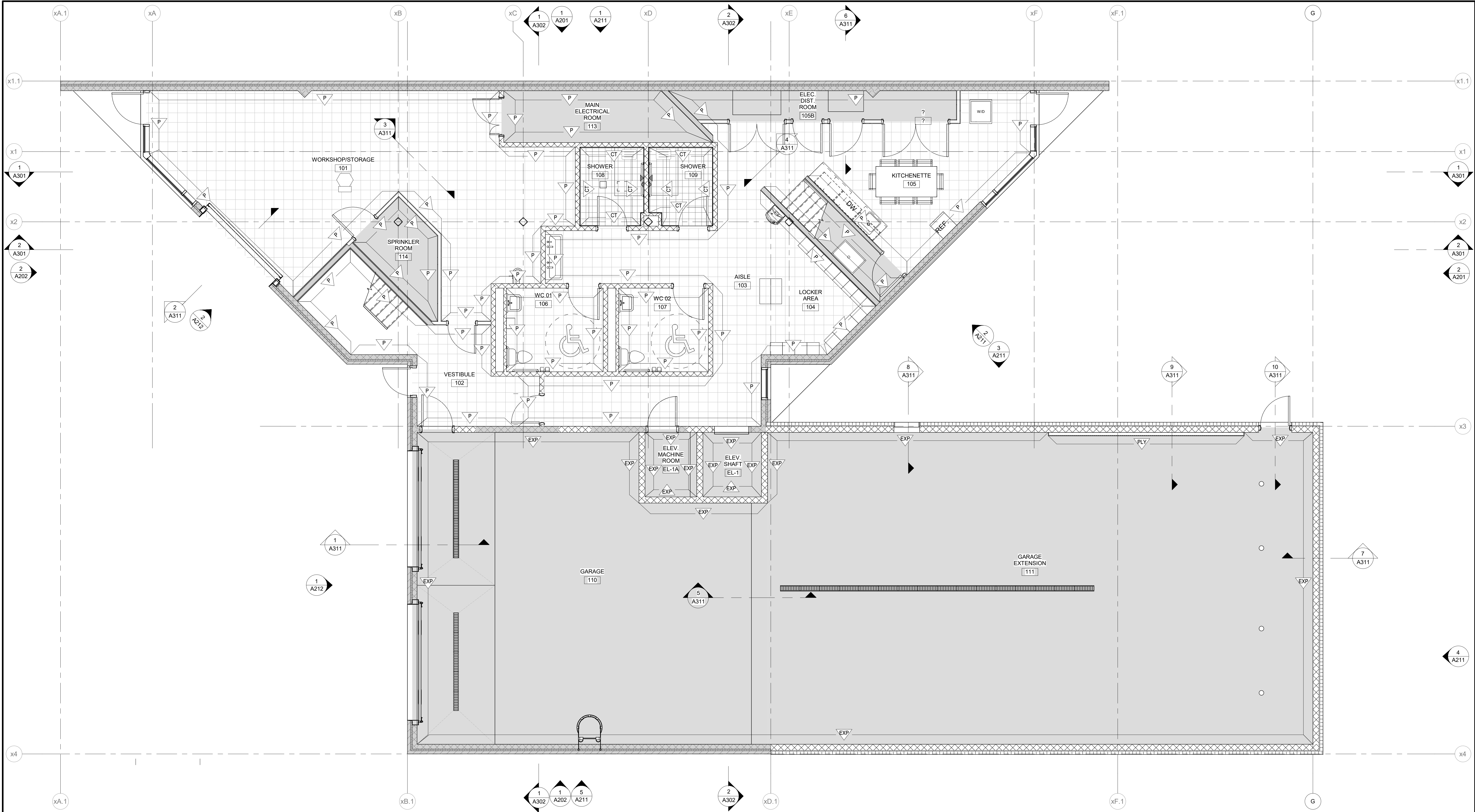
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RCP - SECOND LEVEL

DRAWING NO.

A122

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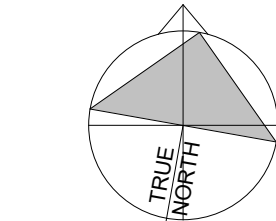
1 PLAN - GROUND LEVEL - FINISH PLAN
A131 1 : 50

FLOOR FINISH LEGEND		ROOM FINISH LEGEND	
	CERAMIC TILE	MATERIALS	FLOORING
	CONCRETE	C CONCRETE	PC POLISHED CONCRETE
	VCT	CB CONCRETE BLOCK	CS CONCRETE SEALER
		GB GYPSUM BOARD	VCT VINYL COMPOSITE TILE
		ES EXPOSED STRUCTURE	CBT CARPET
		ACT ACOUSTIC TILE	CPTT CERAMIC TILE
		GL GLAZING	CT CERAMIC TILE
		PRE PRECAST WALL PANEL	R RUBBER FLOORING
		IMP INSULATED METAL PANEL	WD WOOD LOOK VINYL FLOORING
			SV SHEET VINYL WITH WELDED BEAMS
			RTF RUBBER TRACK FLOORING
			IN INTEGRAL BASE
			RB RUBBER COVE BASE
		GENERAL NOTES	
		(REFER TO DRAWING A### FOR INFORMATION)	
		WALLS	
		P PAINT	
		EP EPOXY PAINT	
		V VINYL WALL COVERING	
		PP PRIMER PAINT ONLY	
		U UNFINISHED	
		LL LEAD LINING	
		FP FOLDING PARTITION	
		CT CERAMIC TILE	

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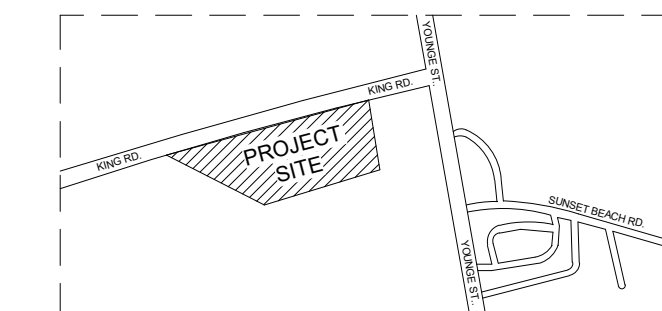
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KEYPLAN:



2 2025-04-15 ISSUED FOR TENDER
1 2025-02-24 ISSUED FOR CLIENT REVIEW - TENDER
NO. DATE STAGE
PROJECT ISSUED

**CONNOR BUILDING
RENOVATIONS**

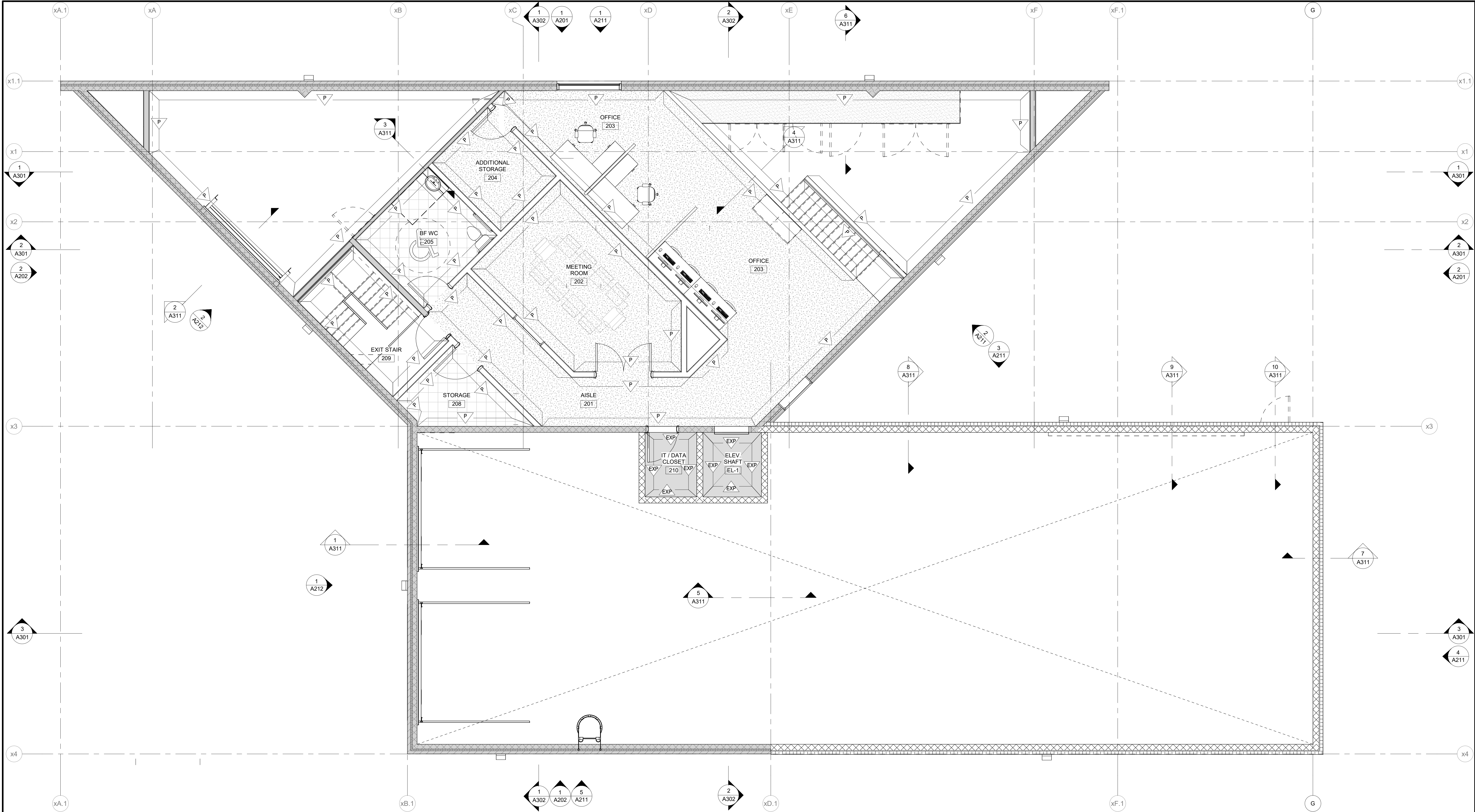
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**FLOORING PLAN -
GROUND LEVEL**




DRAWING NO.

A131

PRINT DATE: 2025-04-16 9:43:49 AM



1 PLAN - SECOND LEVEL - FINISH PLAN
A132 1 : 50

FLOOR FINISH LEGEND		
	CARPET TILE	
	CONCRETE	
	VCT	

ROOM FINISH LEGEND		
MATERIALS	FLOORING	WALLS
C CONCRETE	PC POLISHED CONCRETE	P PAINT
CB CONCRETE BLOCK	CS CONCRETE SEALER	EP EPOXY PAINT
GB GYPSUM BOARD	VCT VINYL COMPOSITE TILE	V VINYL WALL COVERING
ES EXPOSED STRUCTURE	CPT CARPET	PP PRIMER PAINT ONLY
ACT ACOUSTIC TILE	CPTT CARPET TILE	U UNFINISHED
GL GLAZING	CT CERAMIC TILE	LL LEAD LINING
PRE PRECAST WALL PANEL	R RUBBER FLOORING	FP FOLDING PARTITION
IMP INSULATED METAL PANEL	WD WOOD LOOK VINYL FLOORING	CT CERAMIC TILE
	SV SHEET VINYL WITH WELDED BEAMS	
	RTF RUBBER TRACK FLOORING	
	IN INTEGRAL BASE	
	RB RUBBER COVE BASE	

GENERAL NOTES

(REFER TO DRAWING A### FOR INFORMATION)



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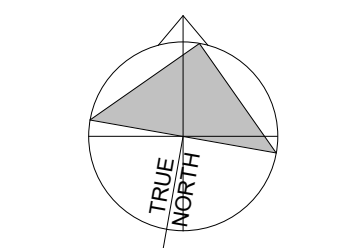


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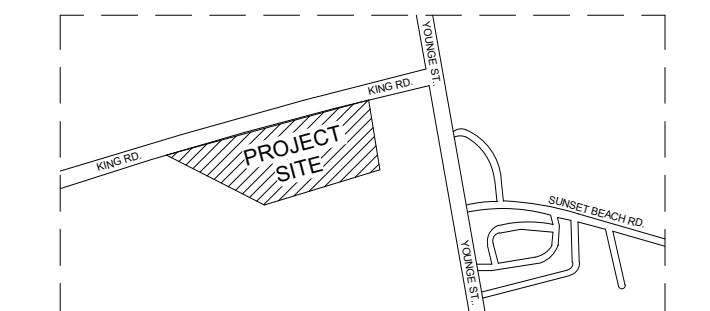
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PROJECT NO.: C40011757-0343 CONTRACT NO.

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KEYPLAN:



2 2025-04-15 ISSUED FOR TENDER
1 2025-02-24 ISSUED FOR CLIENT REVIEW - TENDER
NO. DATE STAGE
PROJECT ISSUED

CONNOR BUILDING
RENOVATIONS

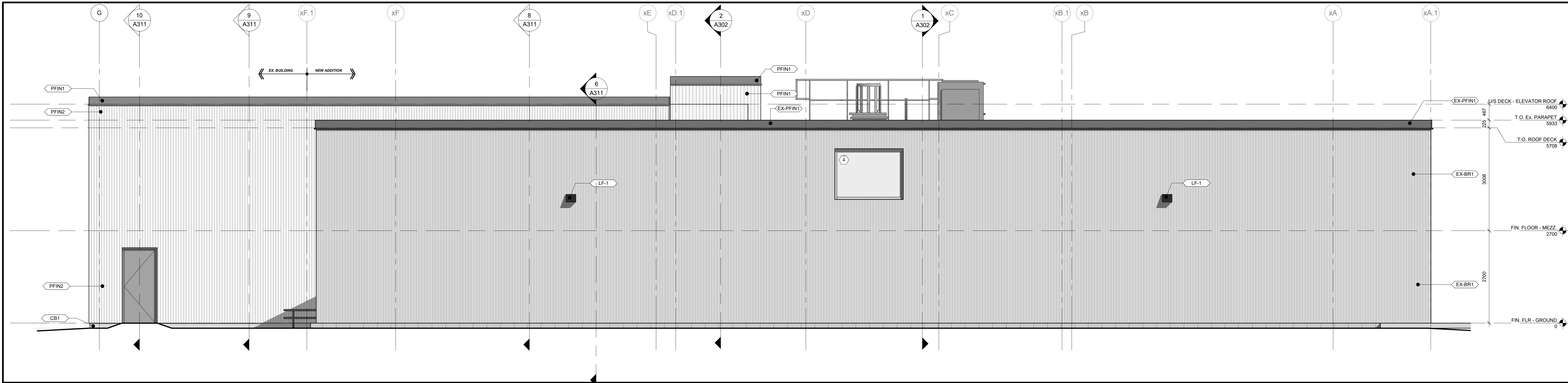
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FLOORING PLAN -
SECOND LEVEL

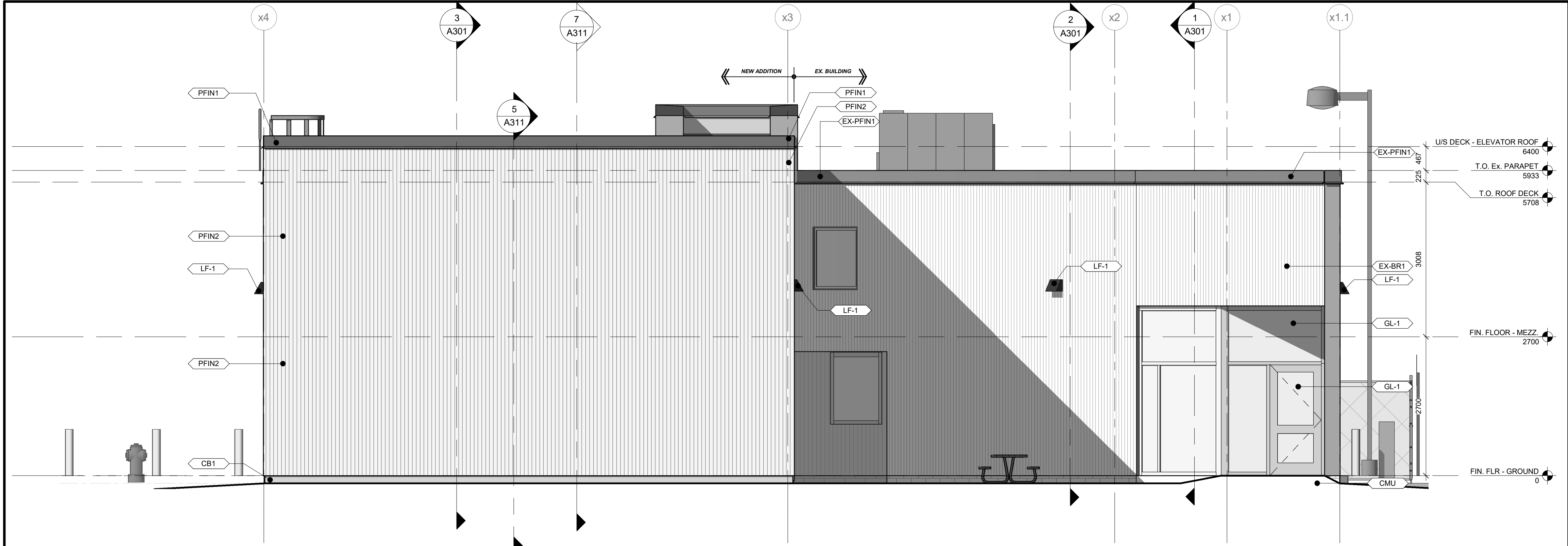
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1
A201
BUILDING ELEVATION - NORTH
1 : 50



2
A201
BUILDING ELEVATION - EAST
1 : 50

ELEVATION MATERIALS KEYNOTE LEGEND		
KEYNOTE No.	MATERIAL DESCRIPTION	COLOUR / NOTES
MASONRY		
< EX-BR1 >	EXISTING CONCRETE BLOCK VENEER VERTICAL RIB PROFILE	CONCRETE GREY (WEATHERED)
METALS		
< EX-PFIN1 >	EXISTING PRE-FINISHED METAL	GREY / GALVANIZED (WEATHERED)
< PFIN1 >	PRE-FINISHED METAL FLASHING	GREY / GALVANIZED COLOUR MATCHED TO EXISTING / ADJACENT
< PFIN2 >	PRE-FINISHED INSULATED METAL PANEL	MICRO-RIB VERTICAL CLADDING PROFILE - GREY COLOUR MATCHED TO EXISTING / ADJACENT
< PFIN3 >	PRE-FINISHED METAL CLADDING	
PAINTS & COATINGS		
< EX-PT1 >	EXISTING PAINT	BLACK (WEATHERED)
< EX-PT2 >	EXISTING PAINT	WHITE (WEATHERED)
BOARDS & PANELS		
< CB1 >	CEMENT BOARD FACED RIGID INSULATION	GREY SMOOTH FACE
LIGHTING FIXTURES		
< LF-1 >	WALL MOUNTED LIGHT WALL-PAC TRAPAZOID TYPE	DARK GREY / CHARCOAL

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CONSTRUCTION

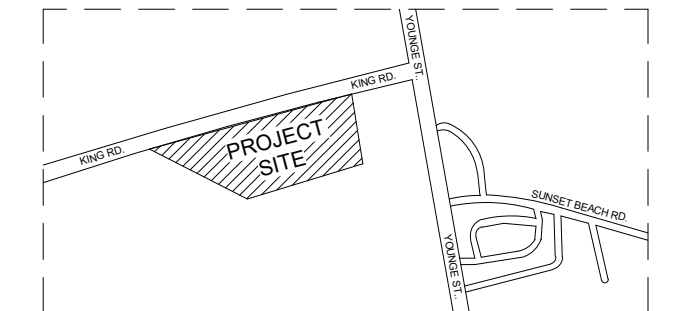
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PROJECT NO.: CAD011757-0343 CONTRACT NO.

DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
4	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
3	2025-01-10	ISSUED FOR BUILDING PERMIT
2	2024-12-16	RE-ISSUED FOR SITE PLAN APPROVAL
1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL
NO.	DATE	ISSUED

PROJECT

CONNOR BUILDING
RENOVATIONS

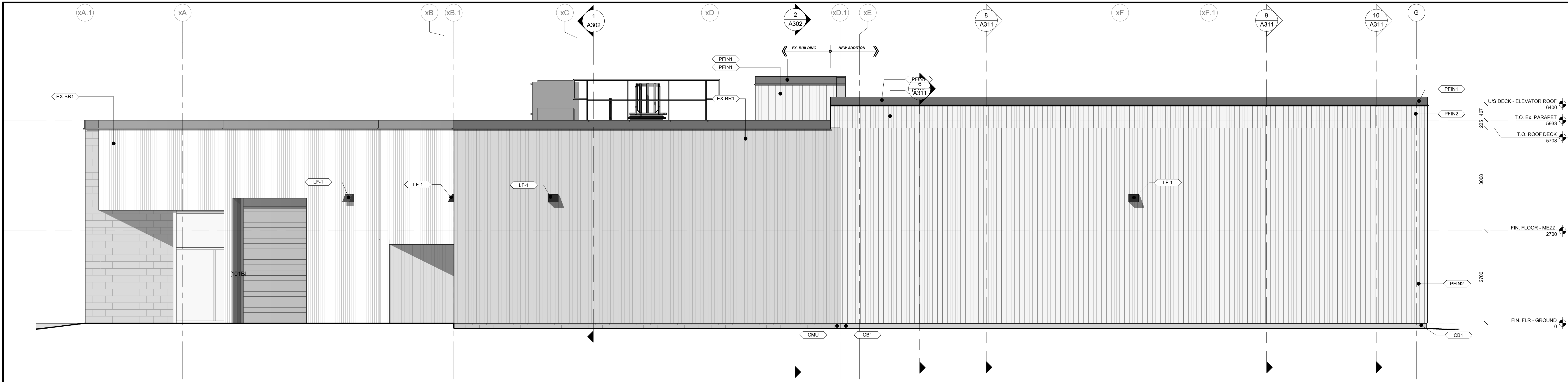
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BUILDING ELEVATIONS -
OVERALL - NORTH &
EAST

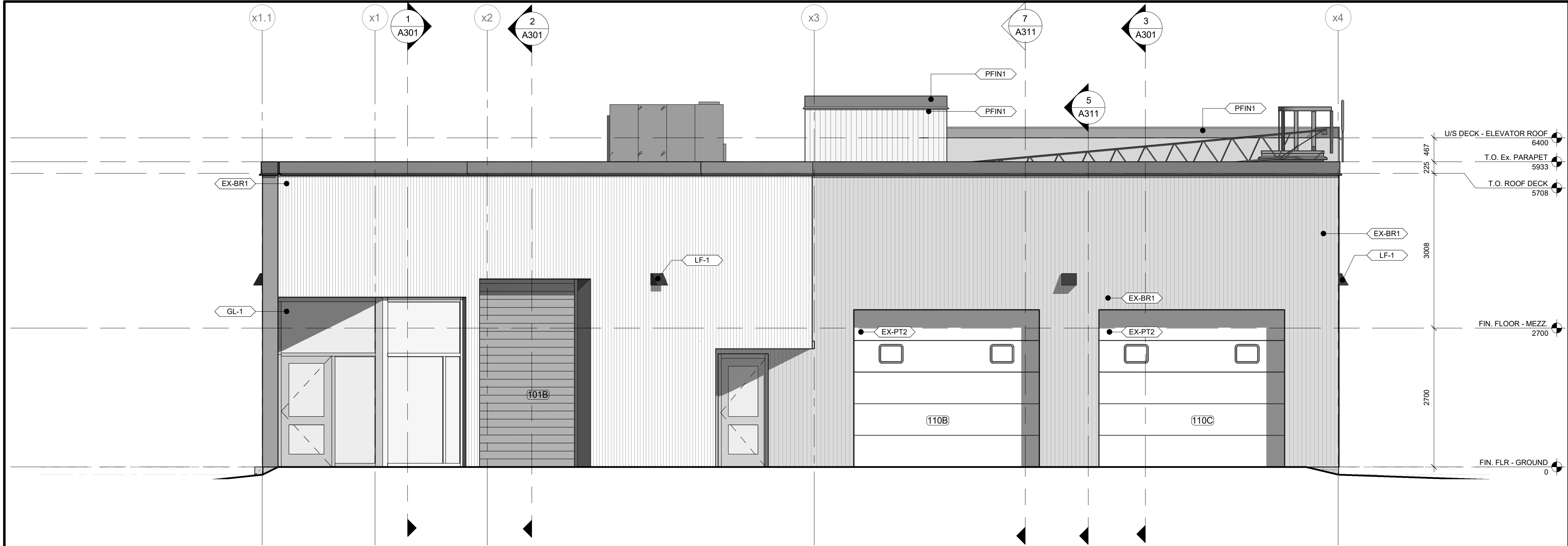
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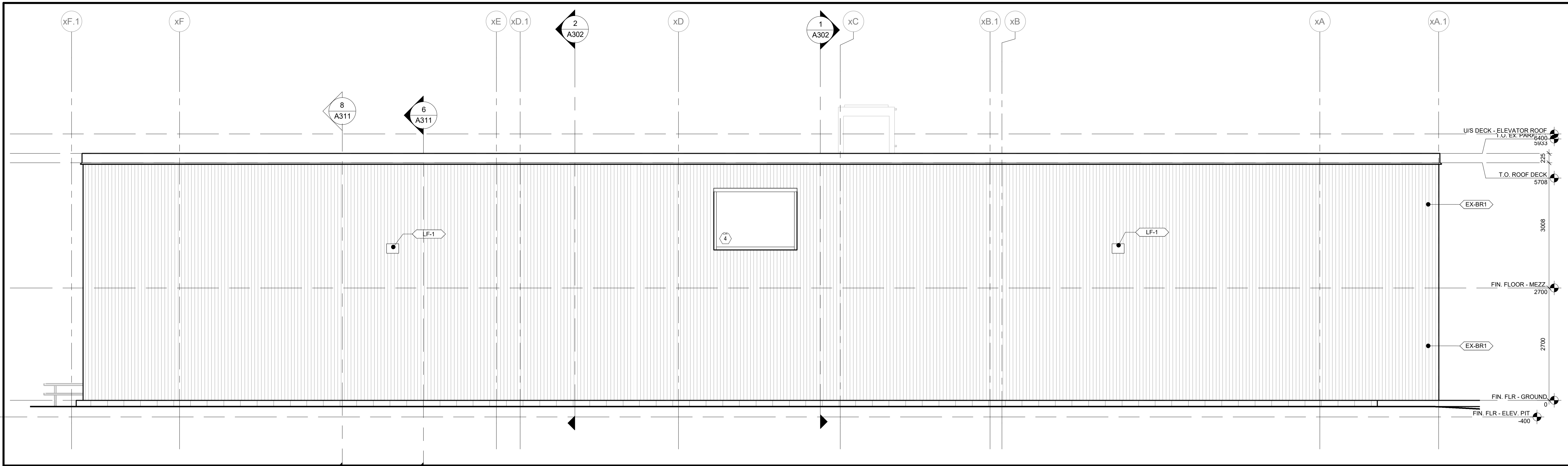


1
A202
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BUILDING ELEVATION - SOUTH



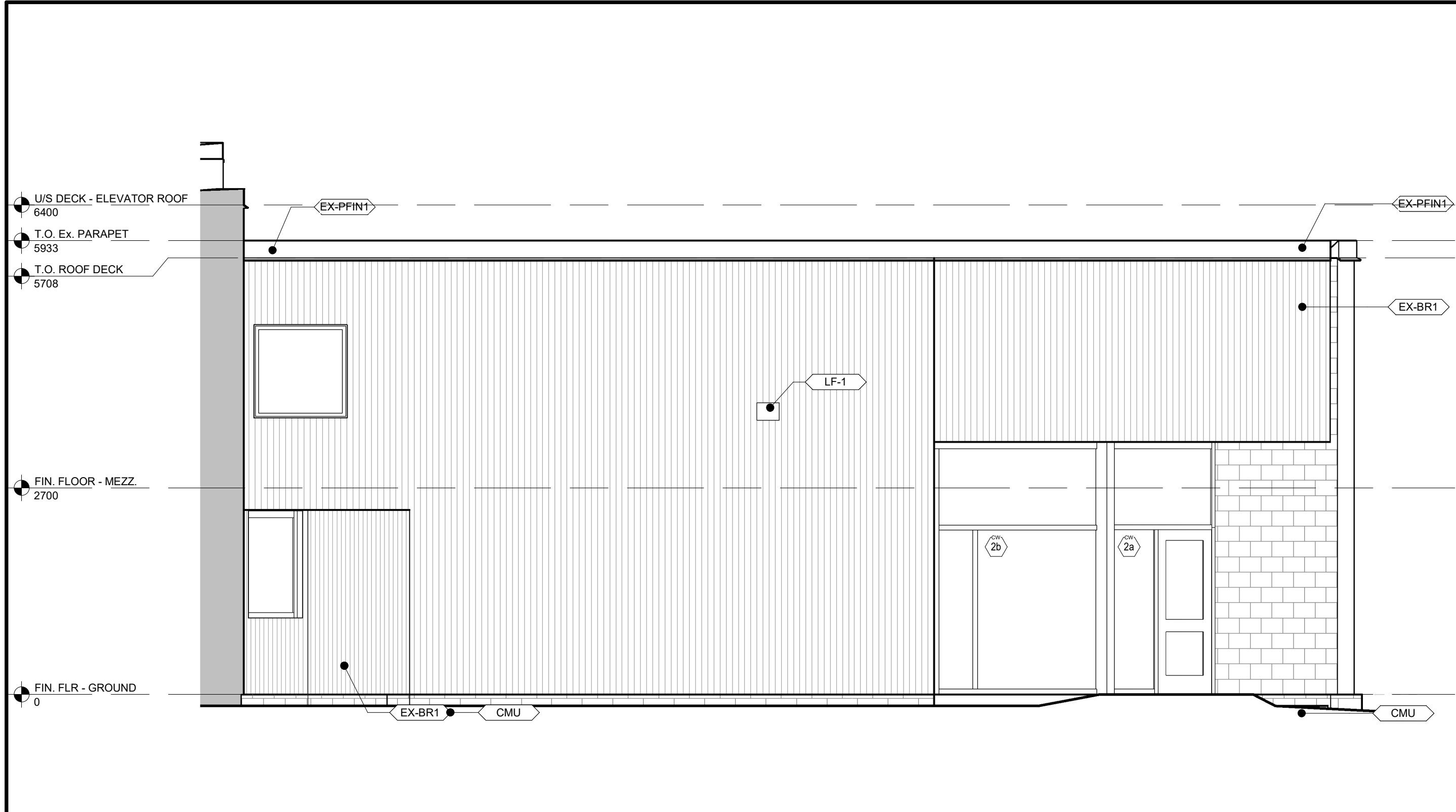
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A202
1 : 50
BUILDING ELEVATION - WEST

ELEVATION MATERIALS KEYNOTE LEGEND		
KEYNOTE No.	MATERIAL DESCRIPTION	COLOUR / NOTES
MASONRY		
EX-BR1	EXISTING CONCRETE BLOCK VENEER VERTICAL RIB PROFILE	CONCRETE GREY (WEATHERED)
METALS		
EX-PFIN1	EXISTING PRE-FINISHED METAL	GREY / GALVANIZED (WEATHERED)
PFIN1	PRE-FINISHED METAL FLASHING	GREY / GALVANIZED COLOUR MATCHED TO EXISTING / ADJACENT
PFIN2	PRE-FINISHED INSULATED METAL PANEL	MICRO-RIB VERTICAL CLADDING PROFILE - GREY COLOUR MATCHED TO EXISTING / ADJACENT
PFIN3	PRE-FINISHED METAL CLADDING	
PAINTS & COATINGS		
EX-PT1	EXISTING PAINT	BLACK (WEATHERED)
EX-PT2	EXISTING PAINT	WHITE (WEATHERED)
BOARDS & PANELS		
CB1	CEMENT BOARD FACED RIGID INSULATION	GREY SMOOTH FACE
LIGHTING FIXTURES		
LF-1	WALL MOUNTED LIGHT WALL-PAC TRAPAZOID TYPE	DARK GREY / CHARCOAL

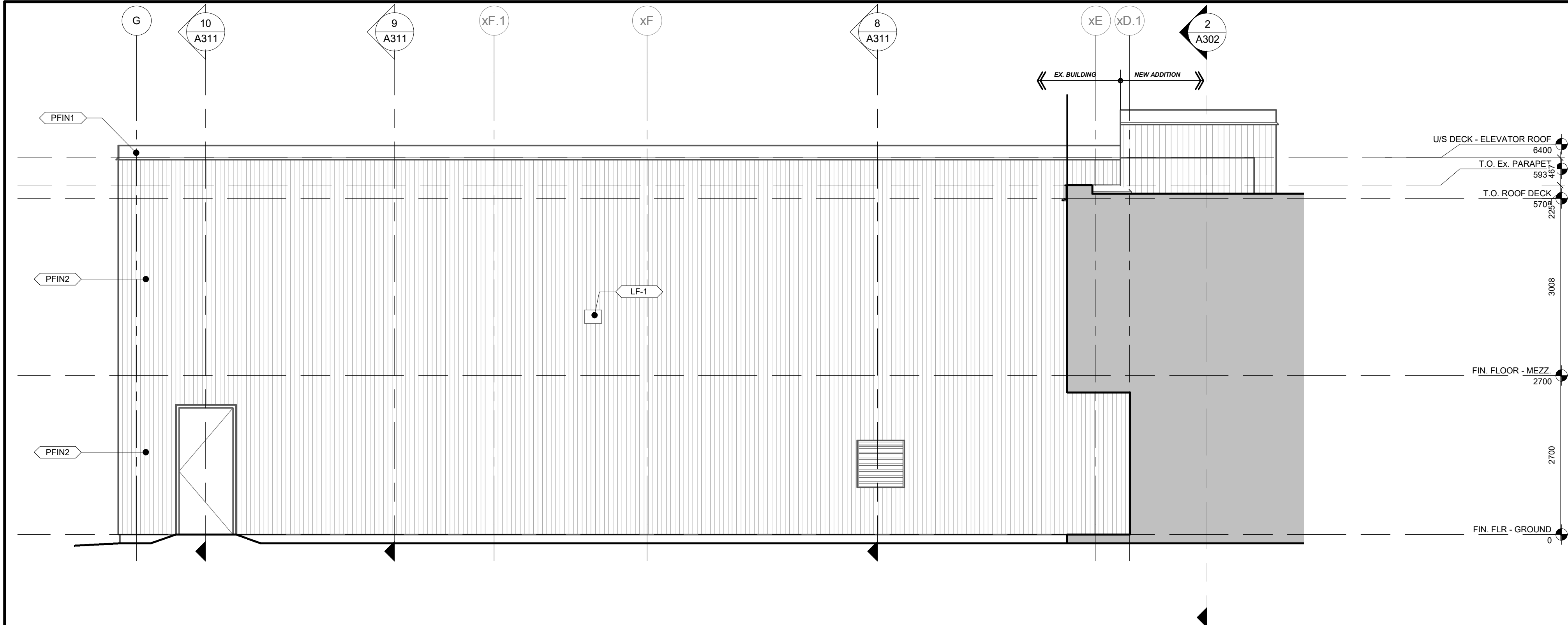


1 PARTIAL BUILDING ELEVATION - NORTH - EXISTING BUILDING
A211 1 : 50

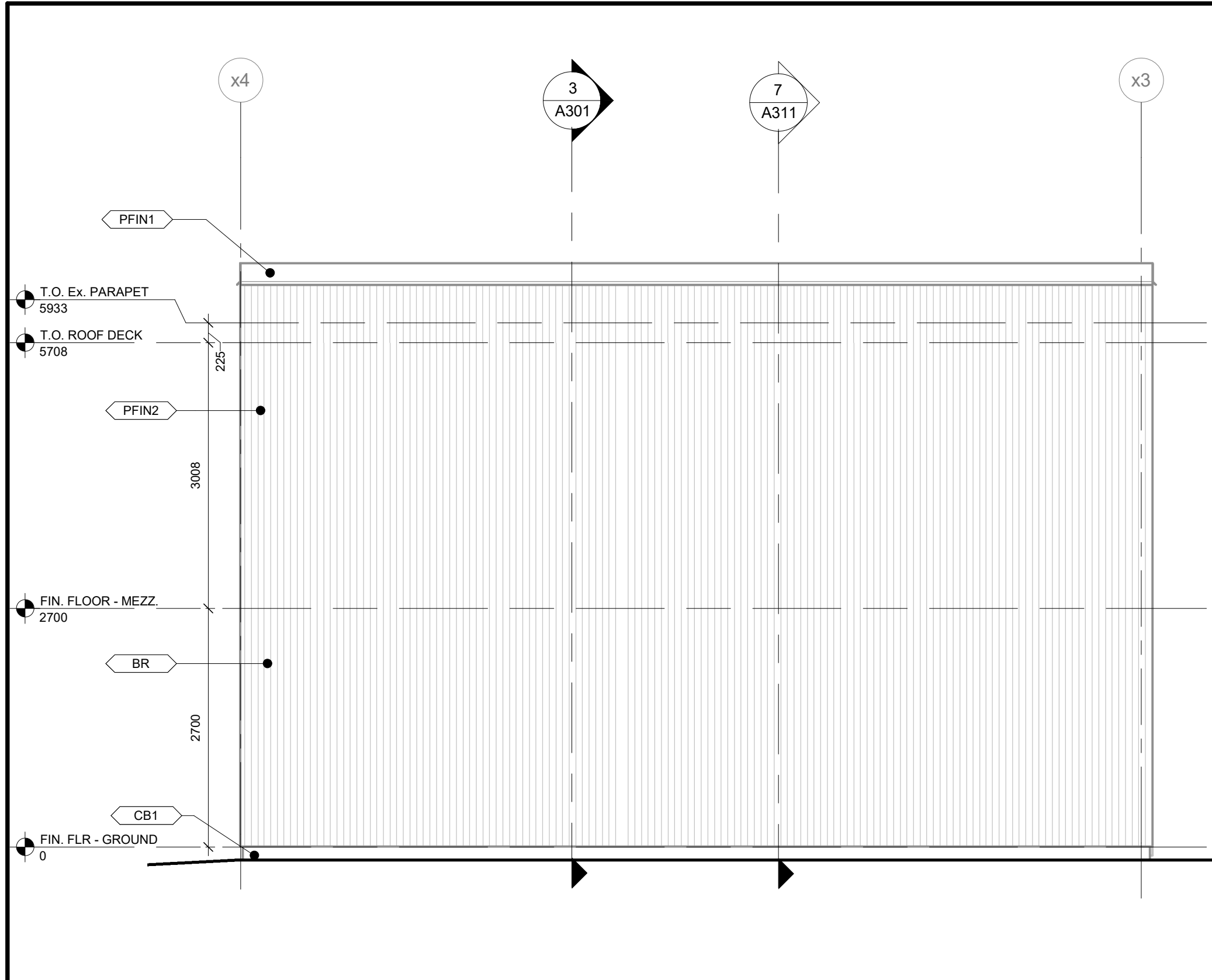
ELEVATION MATERIALS KEYNOTE LEGEND		
KEYNOTE No.	MATERIAL DESCRIPTION	COLOUR / NOTES
MASONRY		
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METALS		
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PFIN3	PRE-FINISHED METAL CLADDING	
PAINTS & COATINGS		
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BOARDS & PANELS		
CB1	CEMENT BOARD FACED RIGID INSULATION	GREY SMOOTH FACE
LIGHTING FIXTURES		
LF-1	WALL MOUNTED LIGHT WALL-PAC TRAPAZOID TYPE	DARK GREY / CHARCOAL



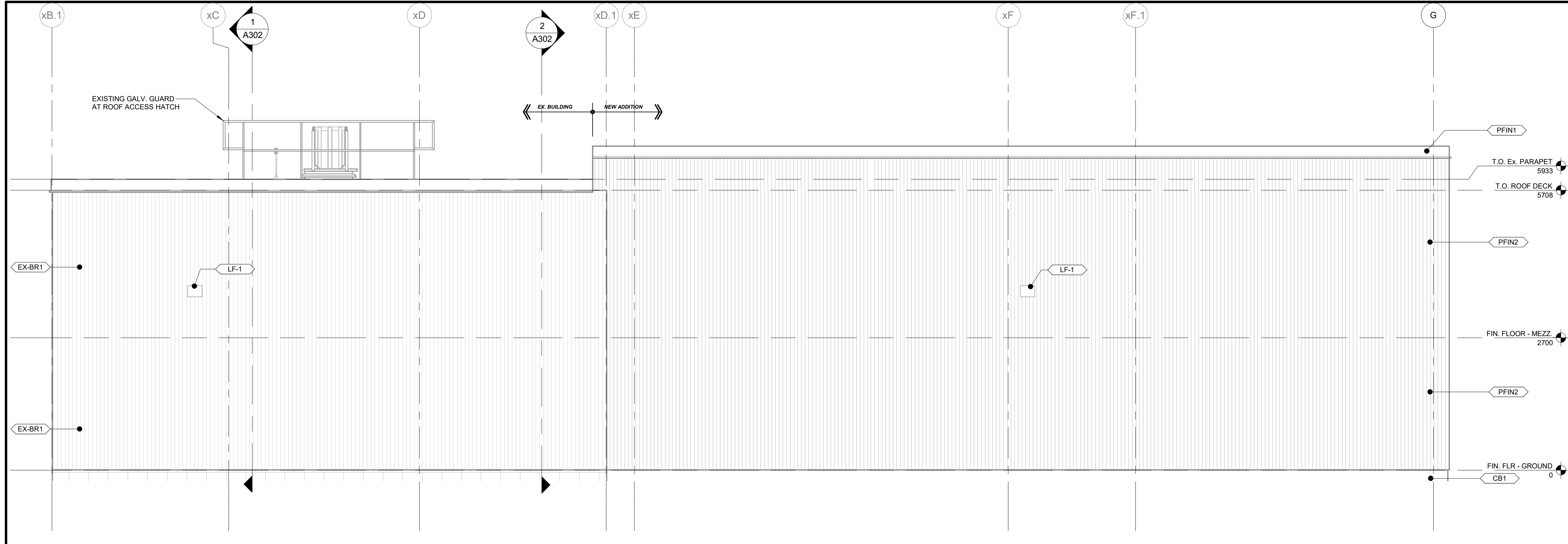
2 PARTIAL BUILDING ELEVATION - EAST
A211 1 : 50



3 PARTIAL BUILDING ELEVATION - NORTH - NEW ADDITION
A211 1 : 50



4 PARTIAL BUILDING ELEVATION - EAST NEW ADDITION
A211 1 : 50

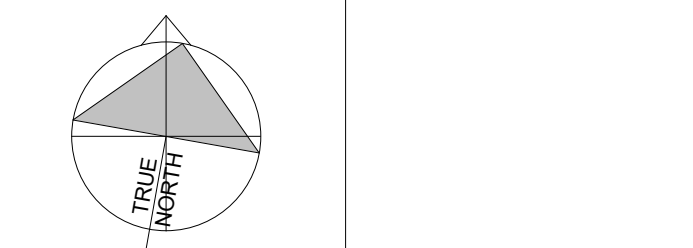


5 PARTIAL BUILDING ELEVATION - SOUTH
A211 1 : 50

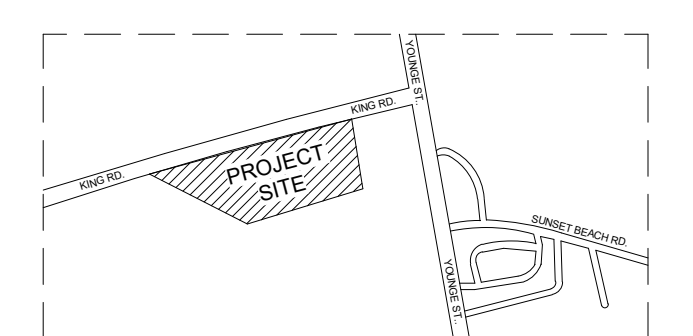
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CONSTRUCTION

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NORTH ARROW: DIGITAL REFERENCE.



PROJECT NO.: C40811757 0343 CONTRACT NO.
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver



6 2025-04-15 ISSUED FOR TENDER
5 2025-03-17 RE-ISSUED FOR SITE PLAN APPROVAL -
4 2025-02-24 REVISIONS
3 2025-01-10 ISSUED FOR CLIENT REVIEW - TENDER
2 2024-12-16 STAGE
1 2024-05-08 ISSUED FOR BUILDING PERMIT
0 2024-05-08 RE-ISSUED FOR SITE PLAN APPROVAL
ND DATE ISSUED

PROJECT

CONNOR BUILDING
RENOVATIONS

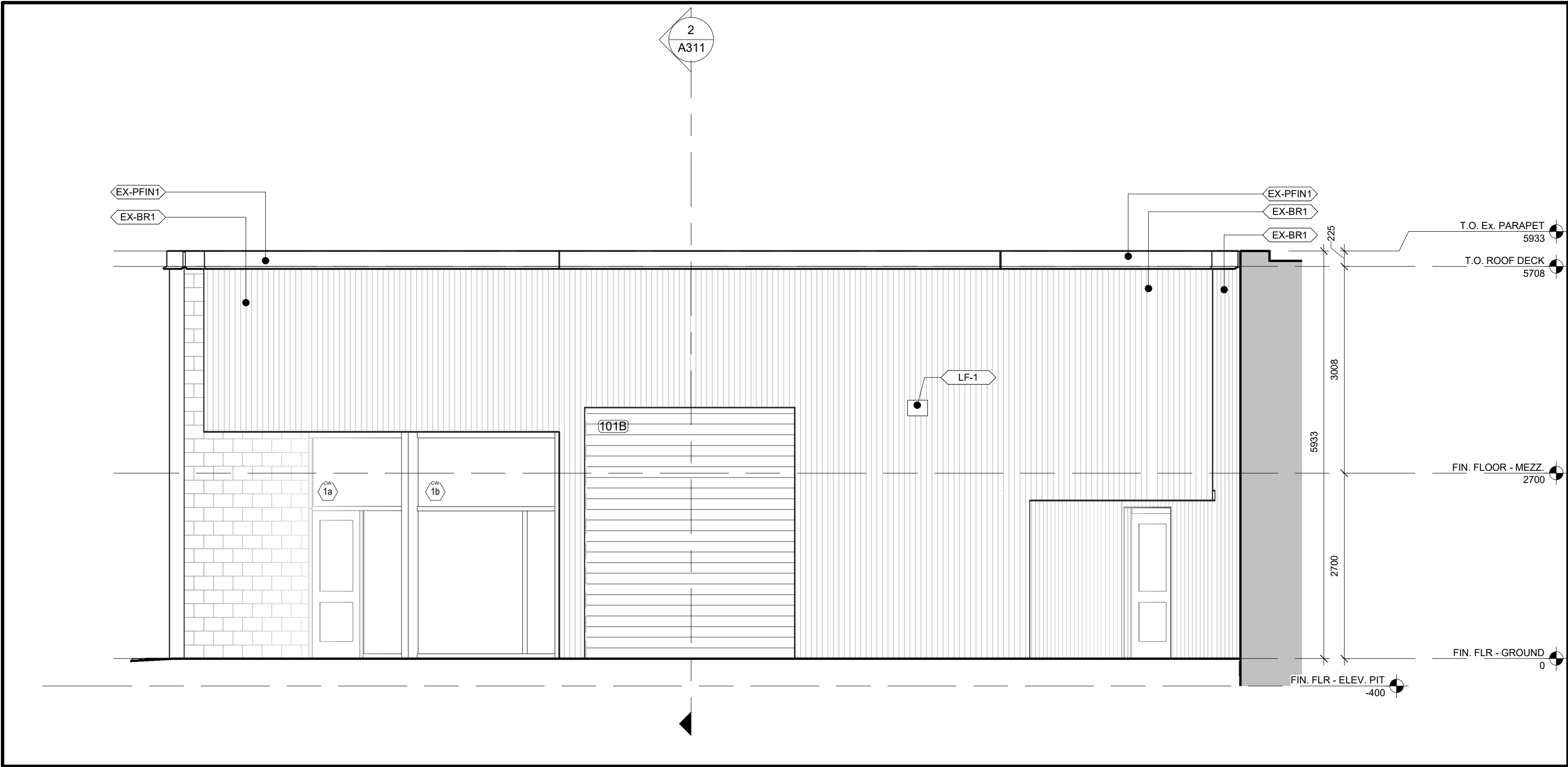
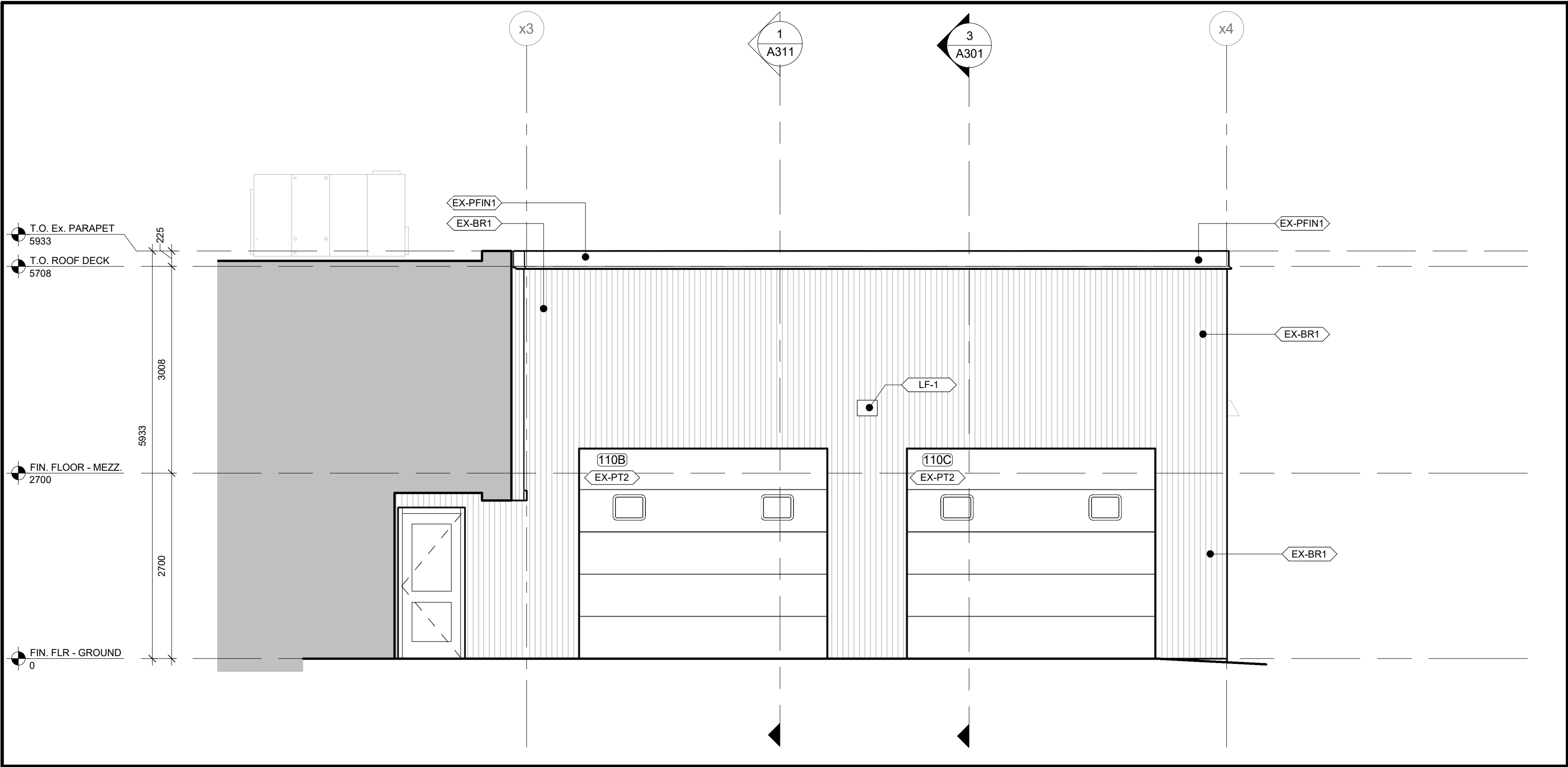
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BUILDING ELEVATIONS -
PARTIAL

DRAWING NO.

A211

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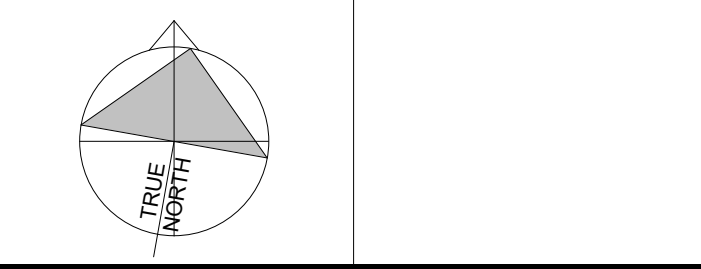


ELEVATION MATERIALS KEYNOTE LEGEND		
KEYNOTE No.	MATERIAL DESCRIPTION	COLOUR / NOTES
MASONRY		
EX-BR1	EXISTING CONCRETE BLOCK VENEER VERTICAL RIB PROFILE	CONCRETE GREY (WEATHERED)
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EX-PFIN1	EXISTING PRE-FINISHED METAL	GREY / GALVANIZED (WEATHERED)
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BOARDS & PANELS		
CB1	CEMENT BOARD FACED RIGID INSULATION	GREY SMOOTH FACE
LIGHTING FIXTURES		
LF-1	WALL MOUNTED LIGHT WALL-PAC TRAPAZOID TYPE	DARK GREY / CHARCOAL

NOT FOR
CONSTRUCTION

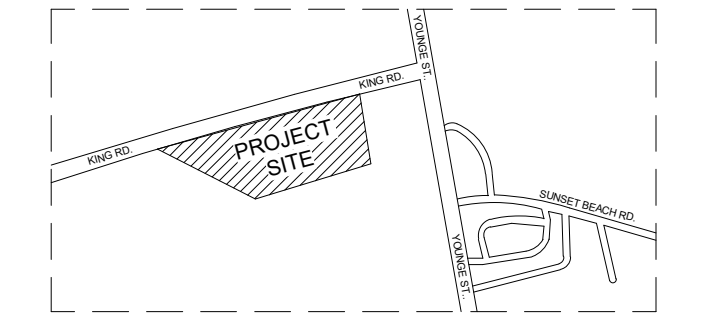
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NORTH ARROW: DIGITAL REFERENCE.



PROJECT NO.: CAD011757-0343 CONTRACT NO.:
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
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1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL

NO. DATE

PROJECT

CONNOR BUILDING
RENOVATIONS

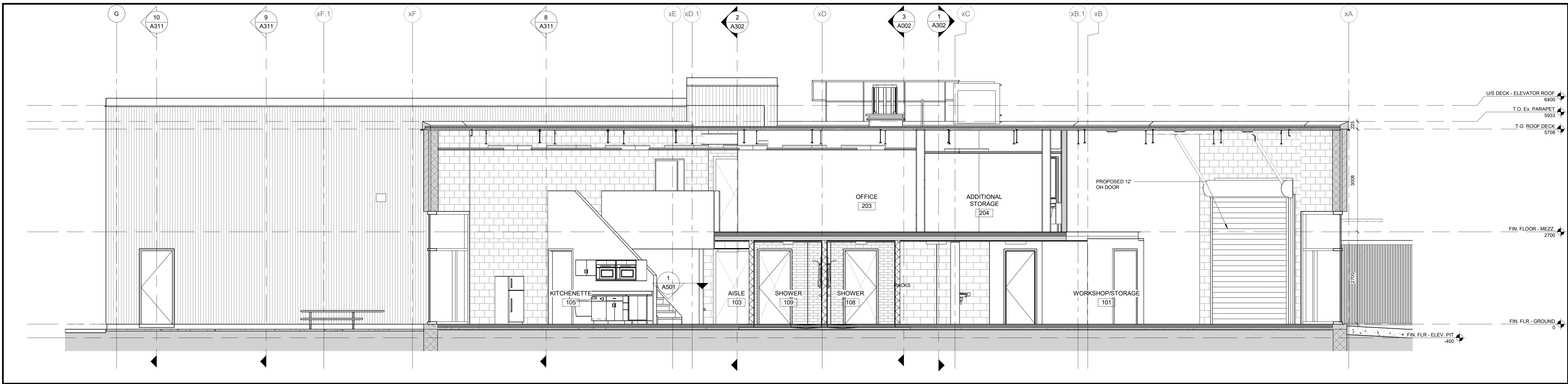
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BUILDING ELEVATIONS -
PARTIAL

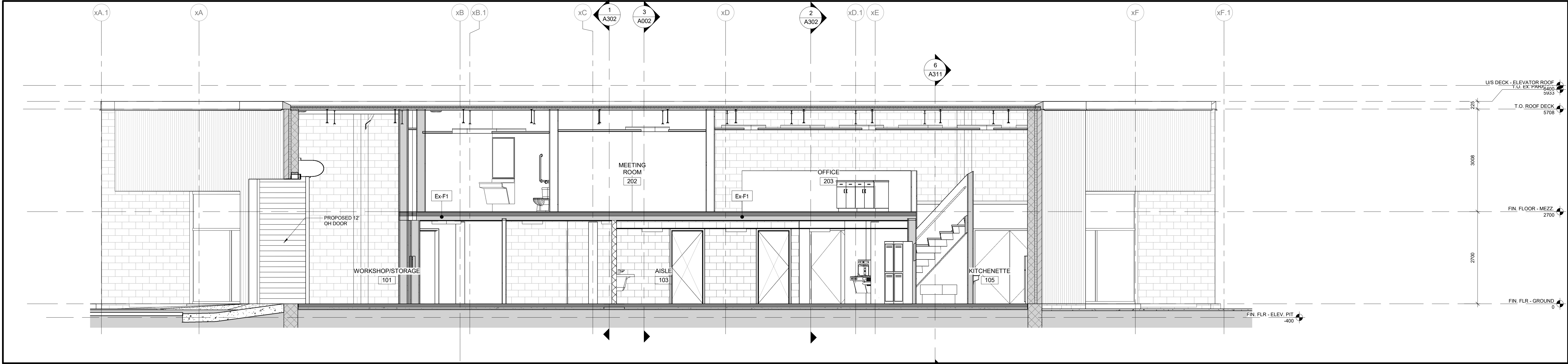
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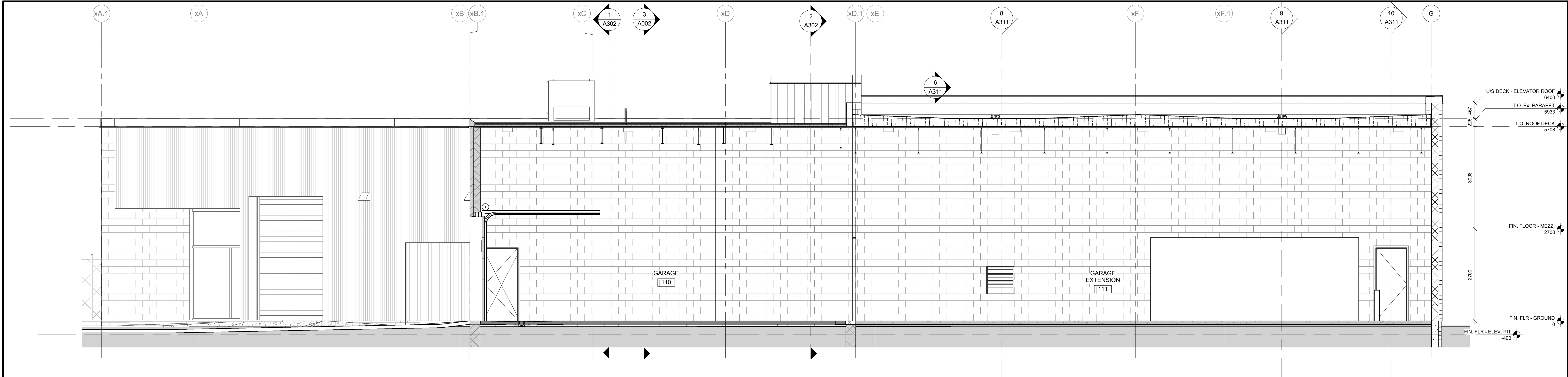
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1 BUILDING SECTION - MAJOR - 01
A301 1:50



2 BUILDING SECTION - MAJOR - 02
A301 1:50



3 BUILDING SECTION - MAJOR - 03
A301 1:50



150 COMMERCIAL VALLEY DRIVE WEST
THORNHILL, ONTARIO
L3T 0A1
T: 905-482-1100
www.wsp.com



150 COMMERCIAL VALLEY DRIVE WEST
THORNHILL, ONTARIO
L3T 0A1
T: 905-482-1100
www.wsp.com



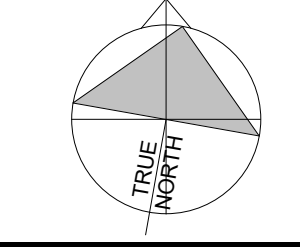
55 KING STREET, 7TH FLOOR, SUITE 700
ST. CATHARINES, ONTARIO
L2R 3H5
T: 905-487-1771
www.wsp.com



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CONSTRUCTION

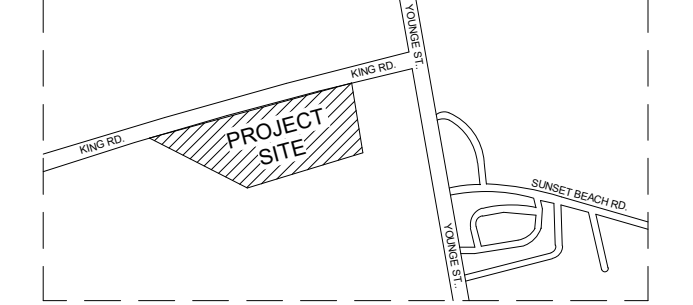
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PROJECT NO.: CA0011757 0343 CONTRACT NO.
DRAWN BY: NS CHECKED BY: MD APPROVED BY: MD

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
5	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL - REVISIONS
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1	2024-05-08	ISSUED FOR SITE PLAN APPROVAL
MD	DATE	ISSUED

PROJECT

CONNOR BUILDING
RENOVATIONS

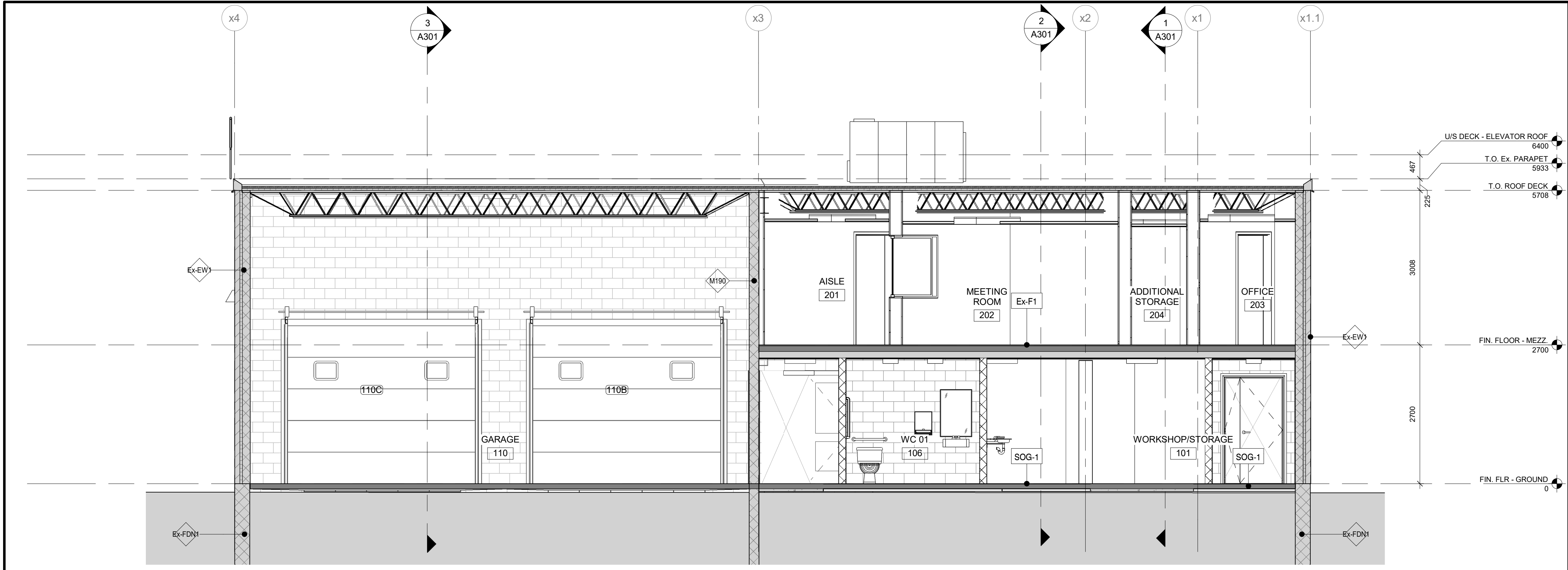
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LONGITUDINAL
SECTIONS

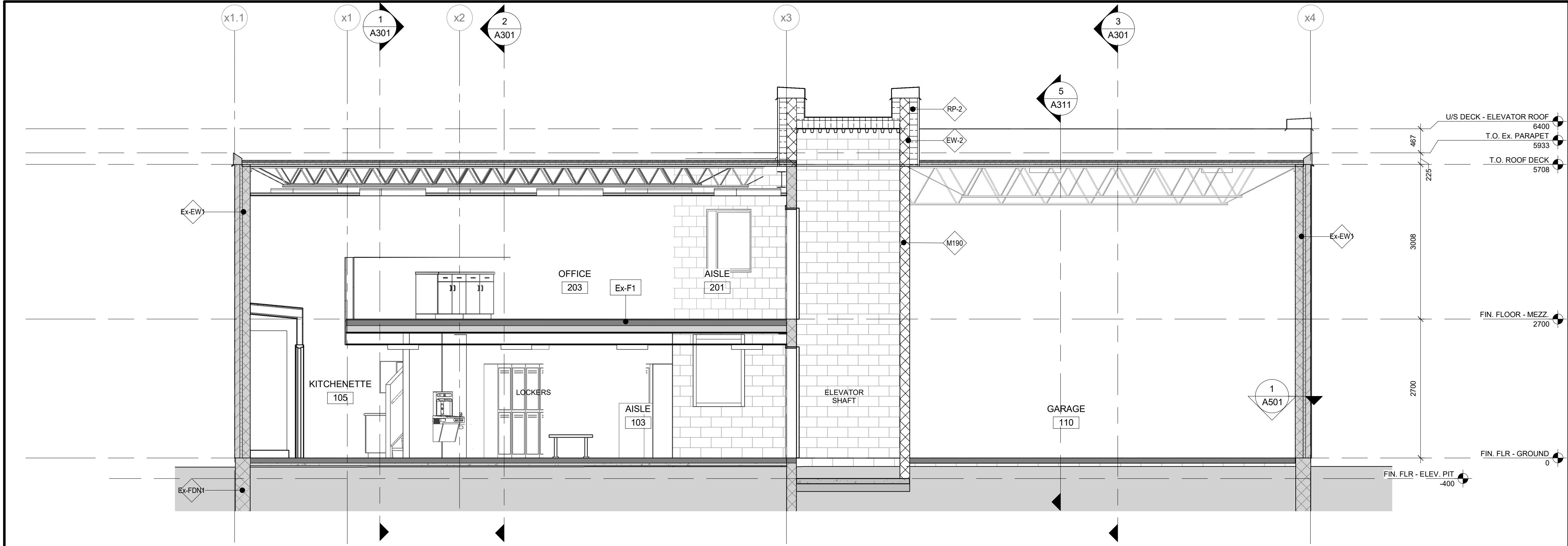
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A301

PRINT DATE: 2025-04-16 9:44:24 AM



1
A302
1 : 50
CROSS SECTION 1



2
A302
1 : 50
CROSS SECTION 2



NOT FOR
CONSTRUCTION

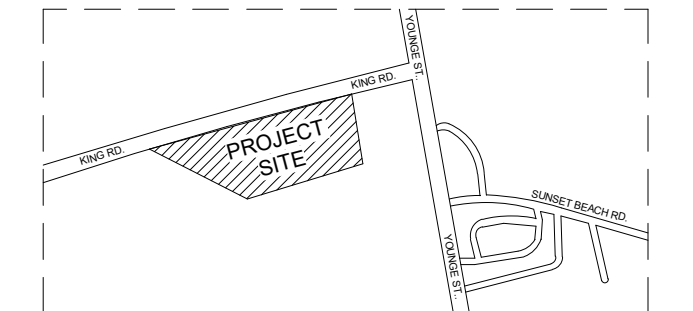
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CORRECT SCALE. DO NOT SCALE DRAWINGS.

NORTH ARROW: DIGITAL REFERENCE.

PROJECT NO.: CA0011757 0343 CONTRACT NO.

DRAWN BY: NS CHECKED BY: MD APPROVED BY: MD

KEYPLAN:



6	2025-04-15	ISSUED FOR TENDER
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NO. DATE

PROJECT

CONNOR BUILDING
RENOVATIONS

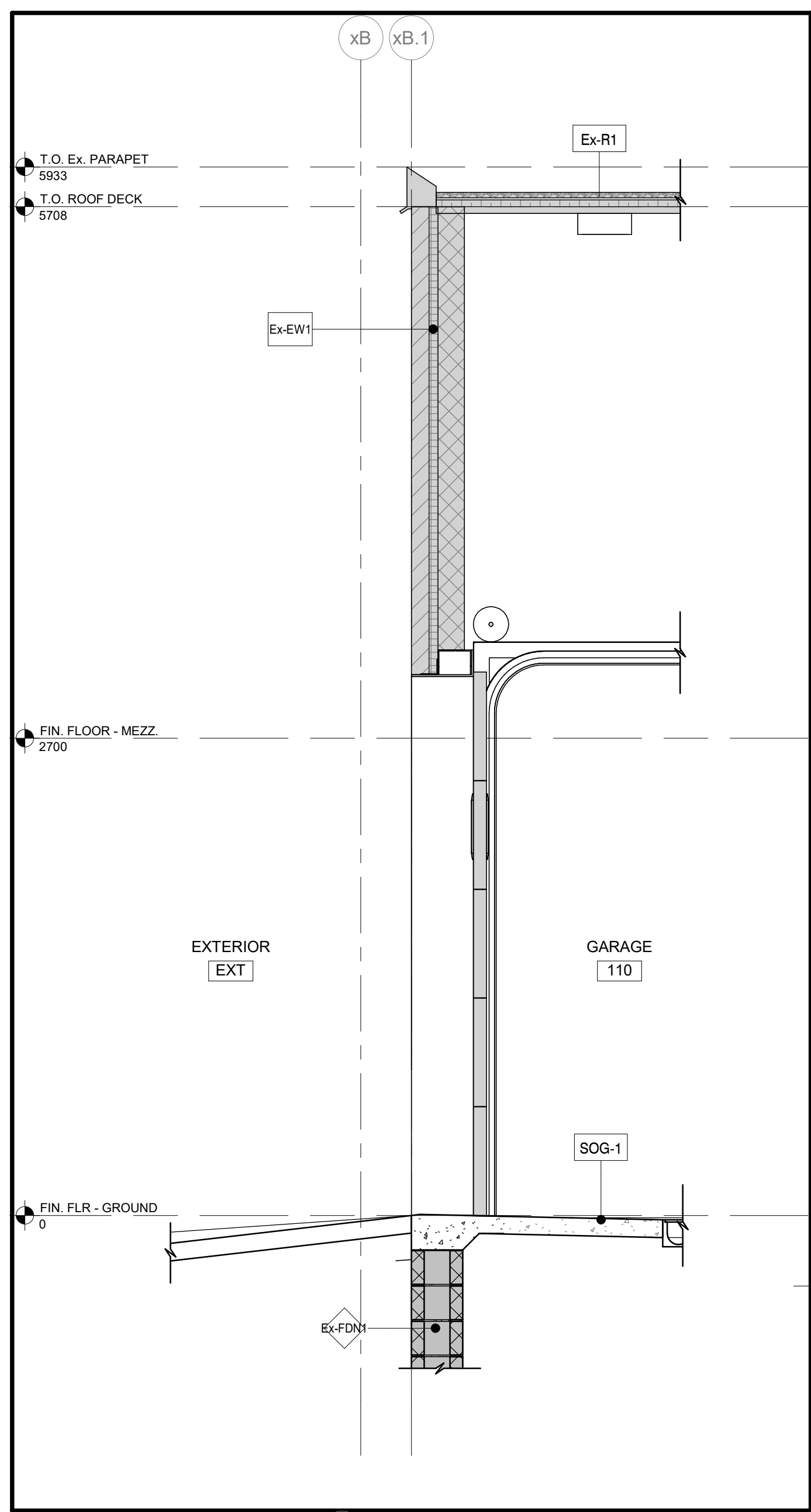
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CROSS SECTIONS

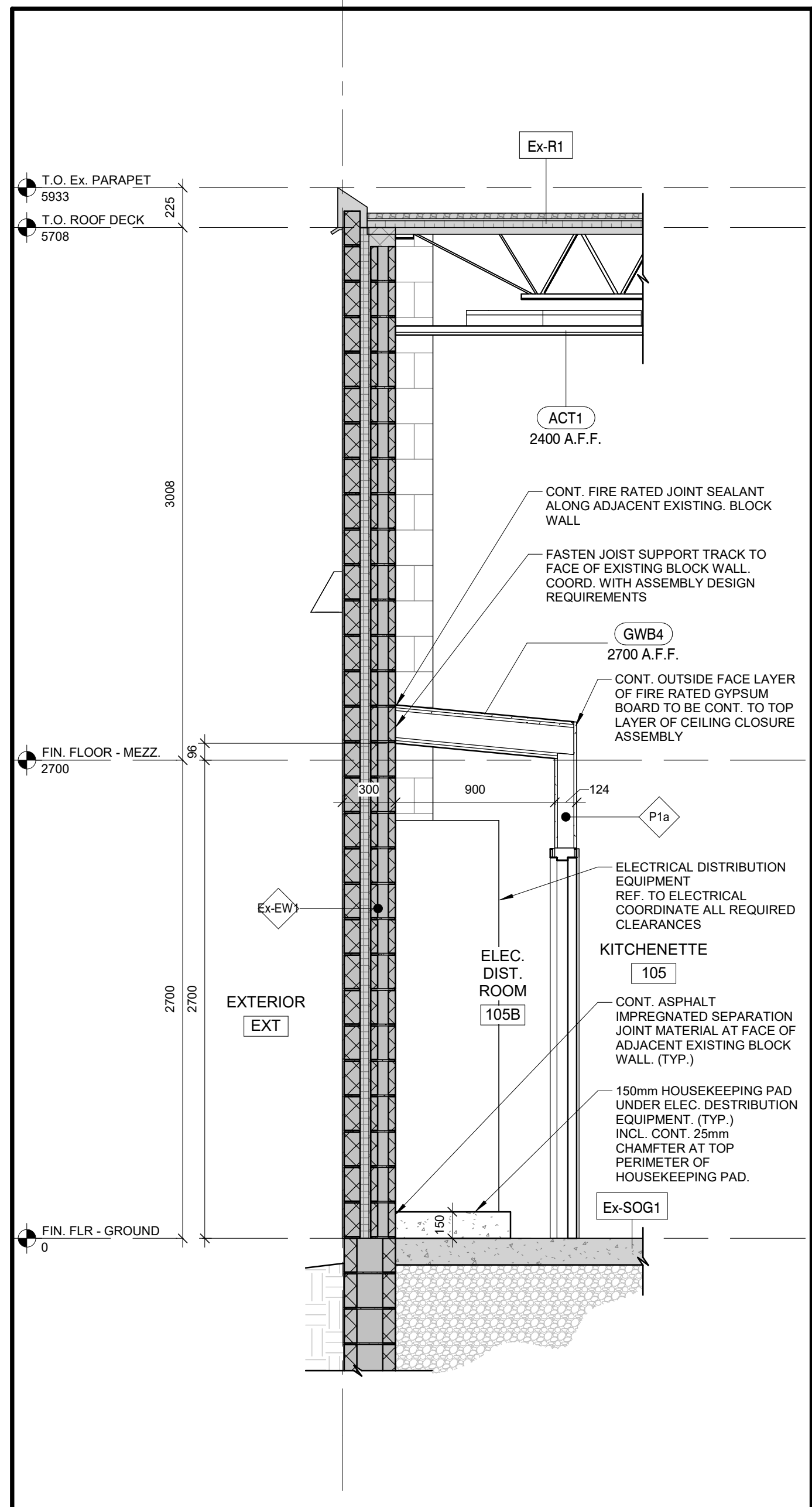
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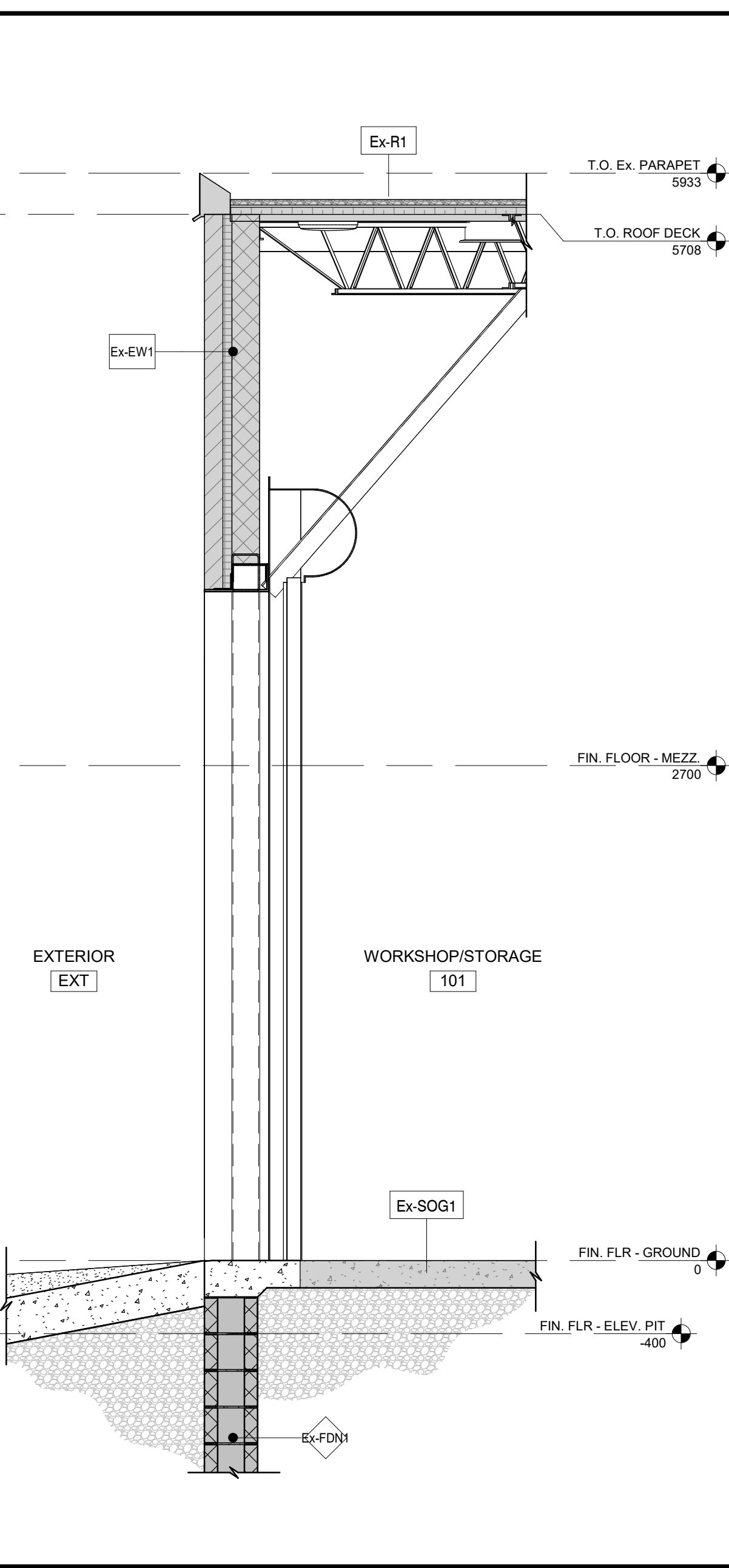


1 WALL SECTION (x1.1)
A311 1:25

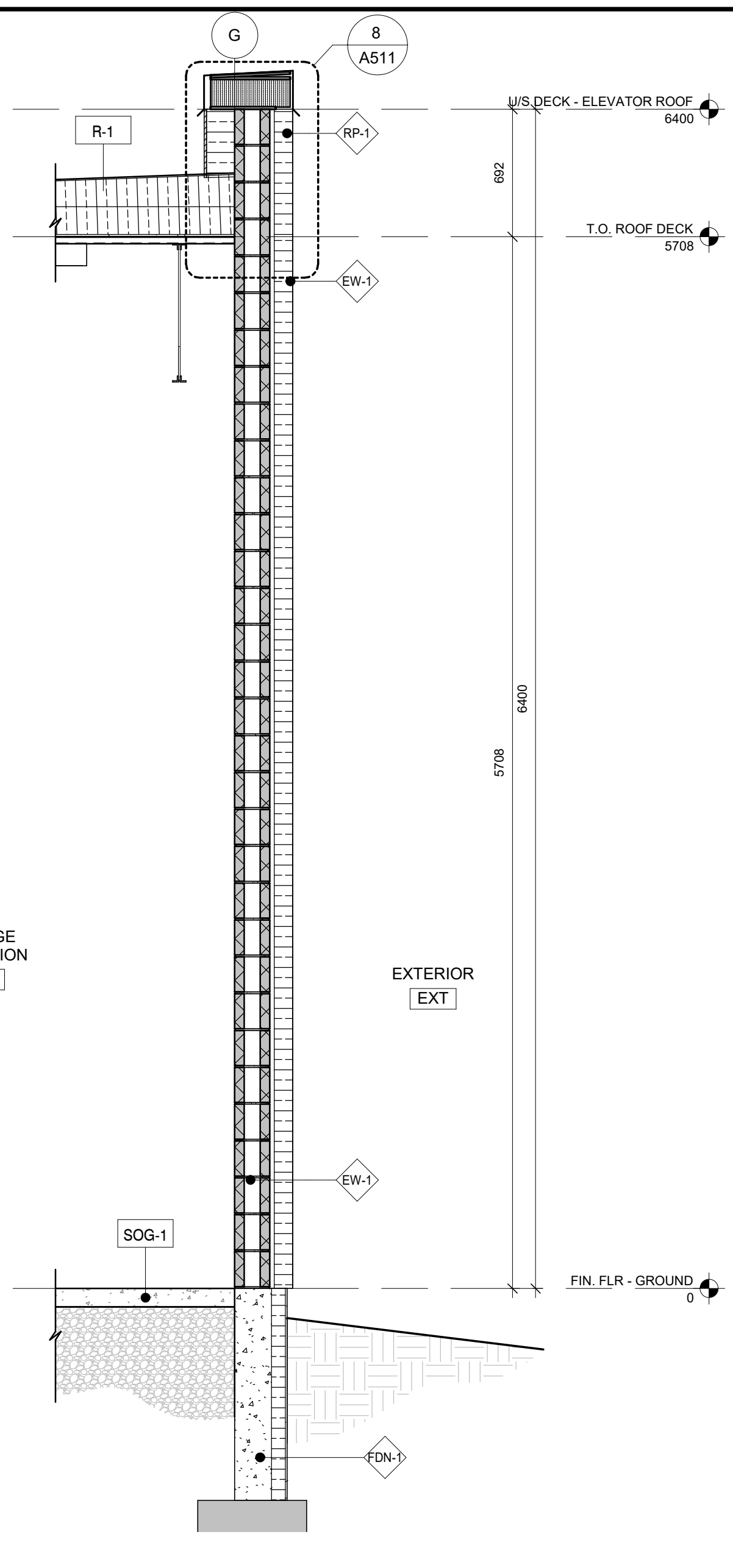


6 WALL SECTION - THRU ELEC. DIST. ROOM
A311 1:25

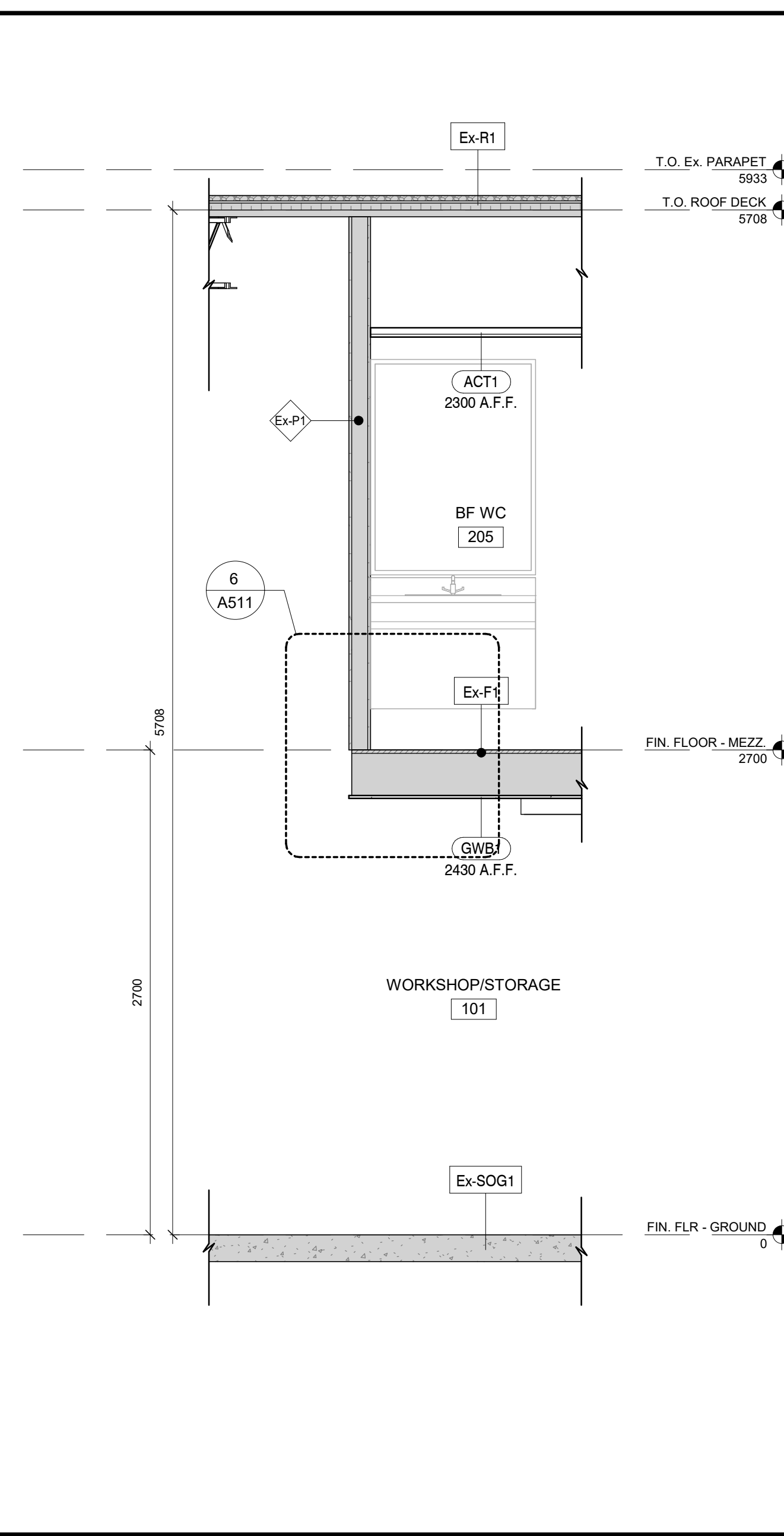
ARCH E1 (30' x 42' | 762mm x 1067mm)



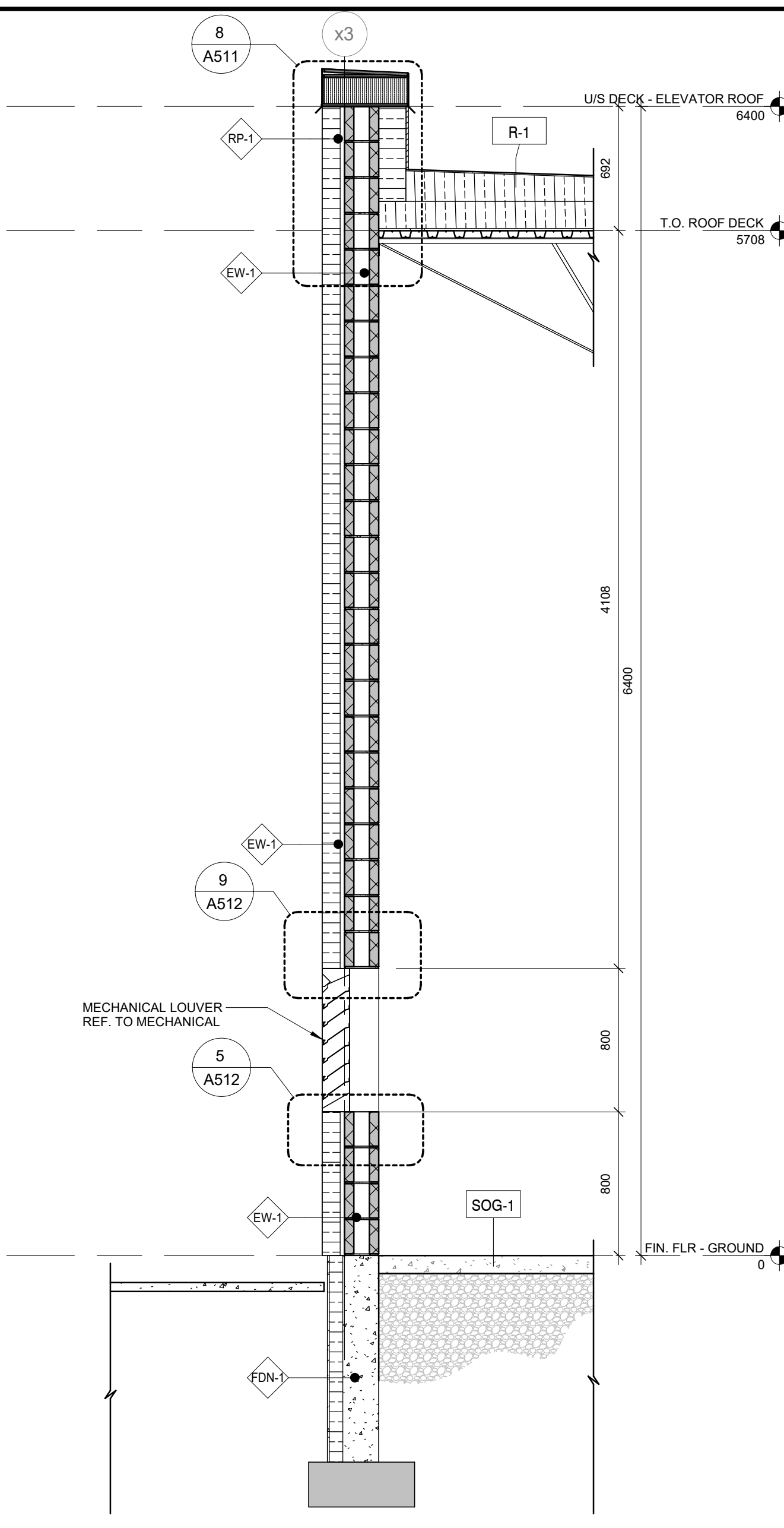
2 WALL SECTION - NEW OVHD
A311 1:25



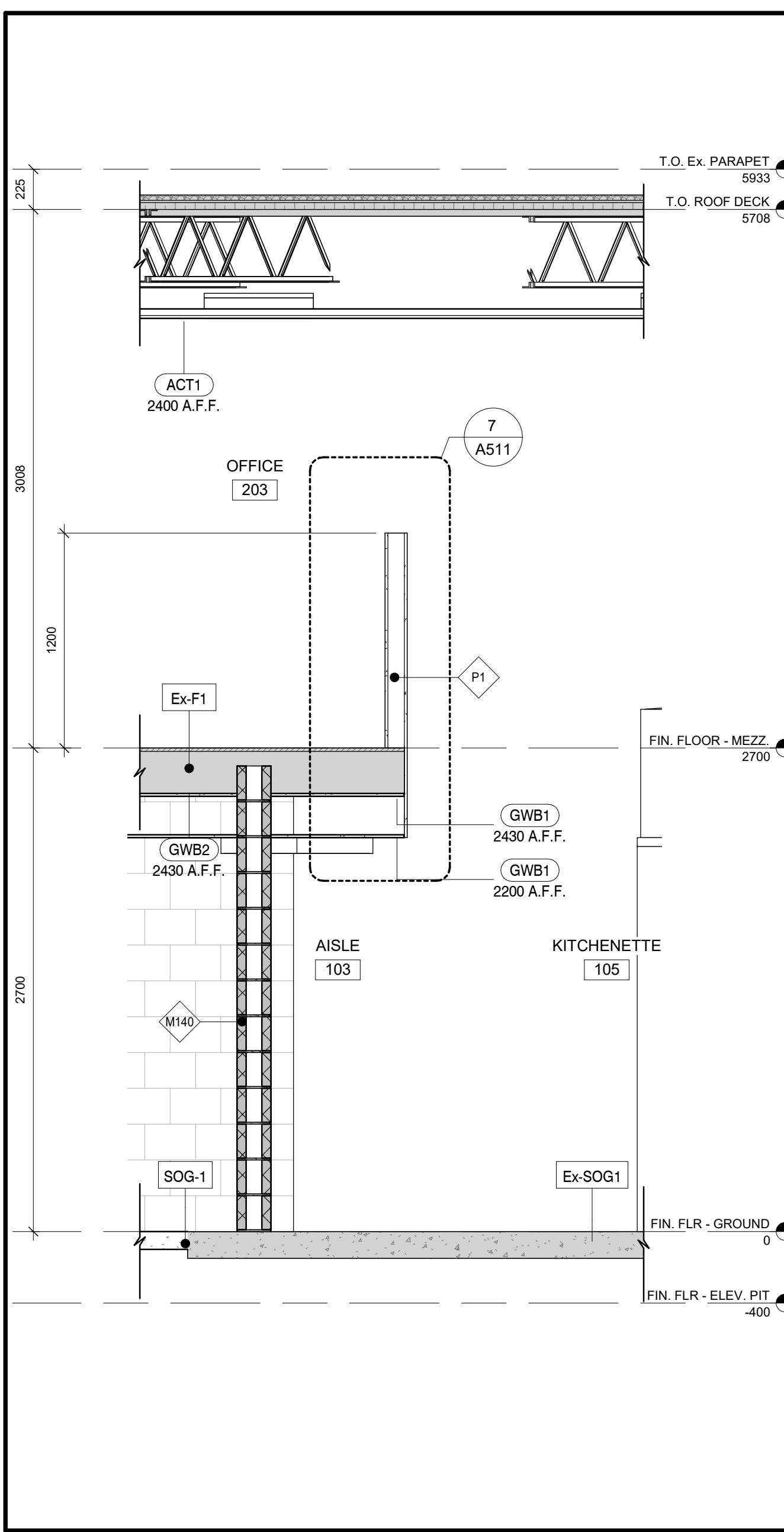
7 WALL SECTION
A311 1:25



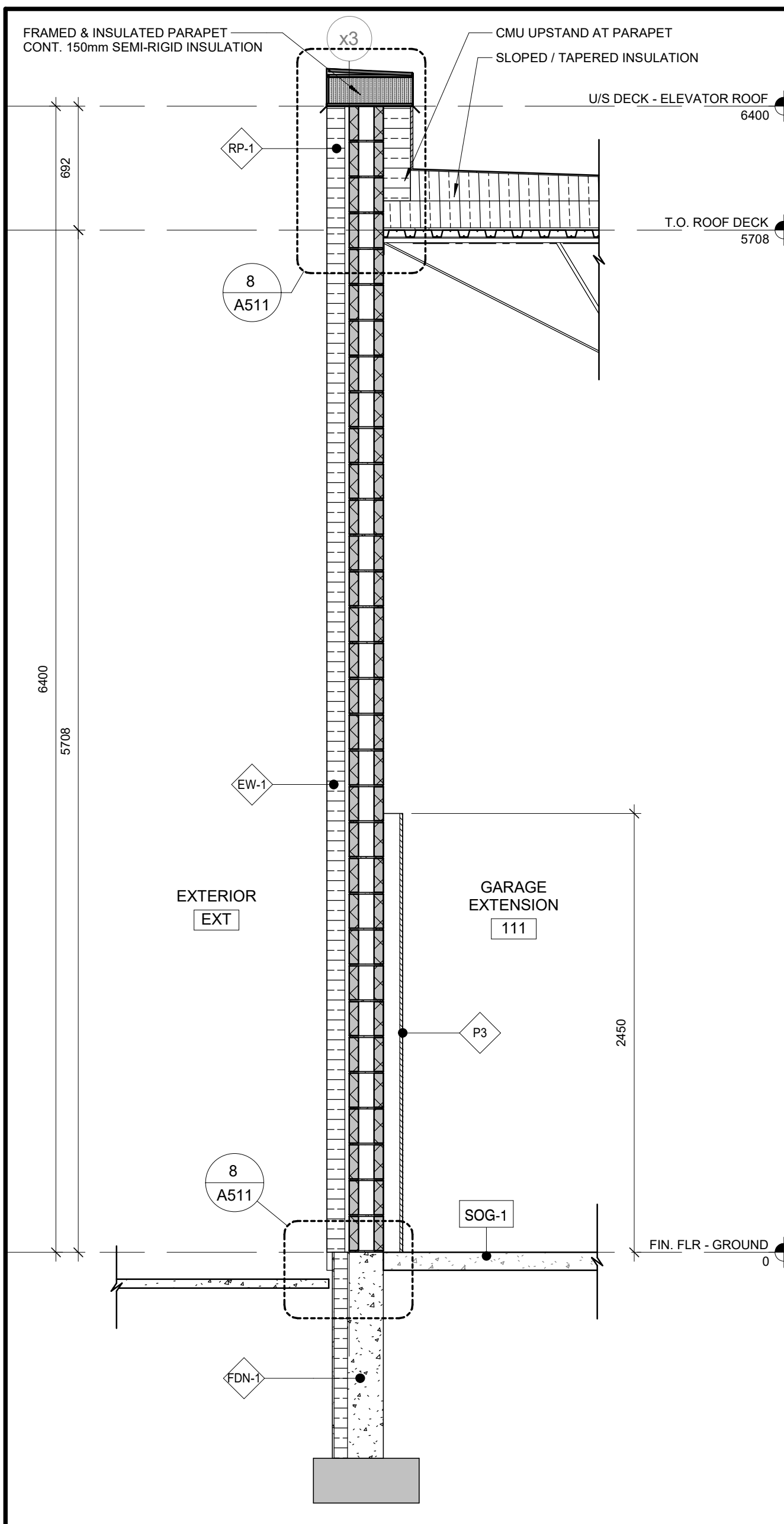
3 WALL SECTION
A311 1:25



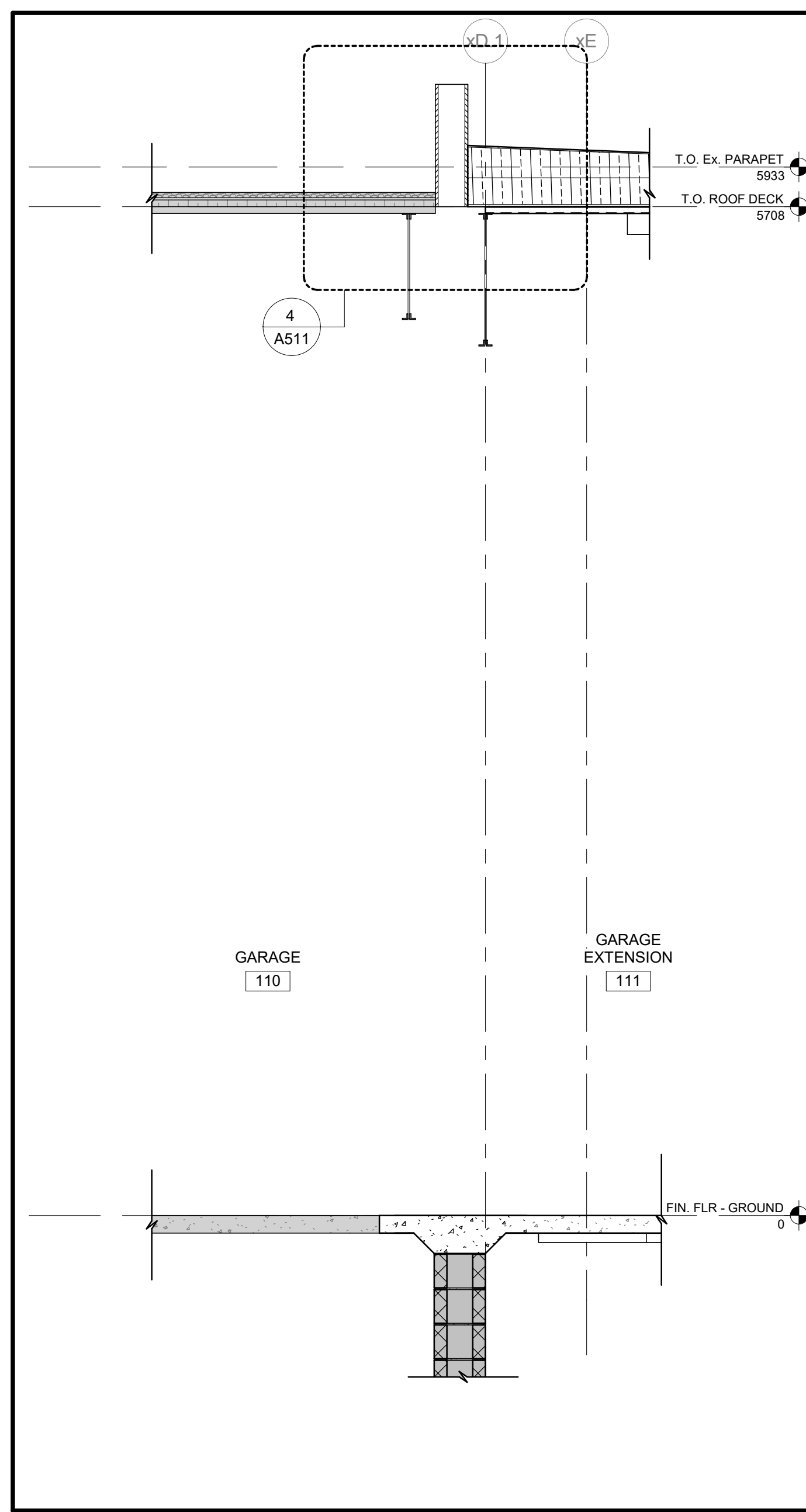
8 WALL SECTION
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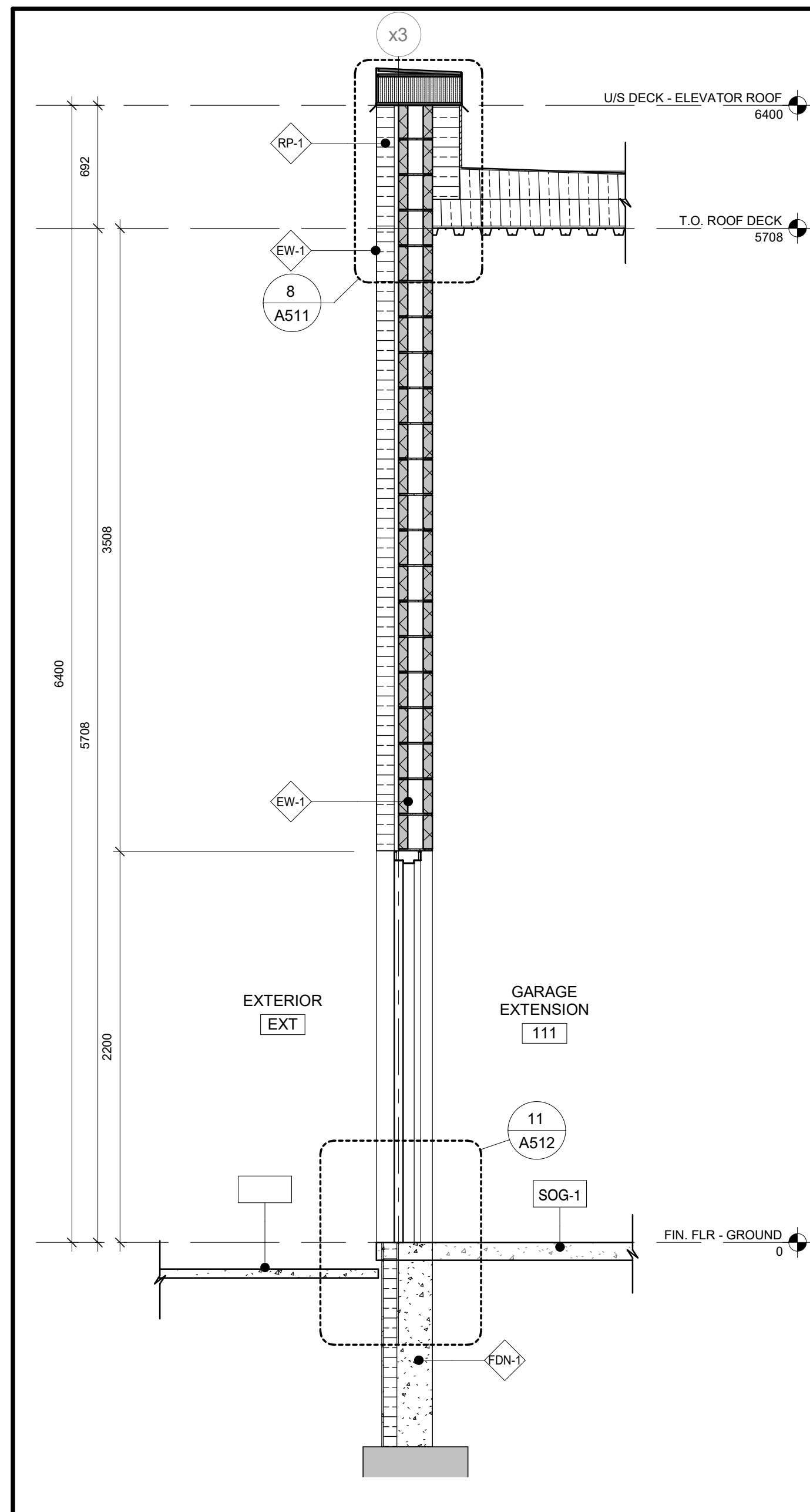
4 WALL SECTION
A311 1:25



9 WALL SECTION
A311 1:25



5 WALL SECTION - EXISTING TO NEW GARAGE
A311 1:25

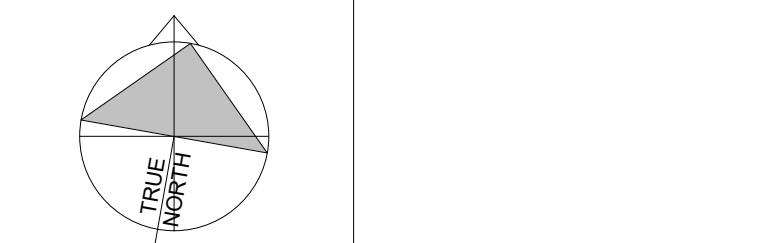


10 WALL SECTION
A311 1:25

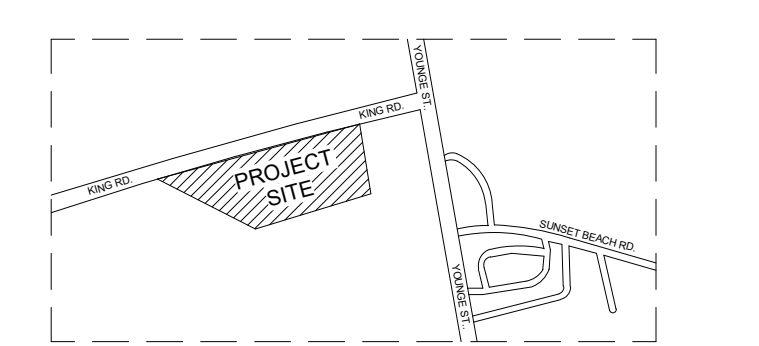
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PROJECT NO.: CANN11757-0343 CONTRACT NO.
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

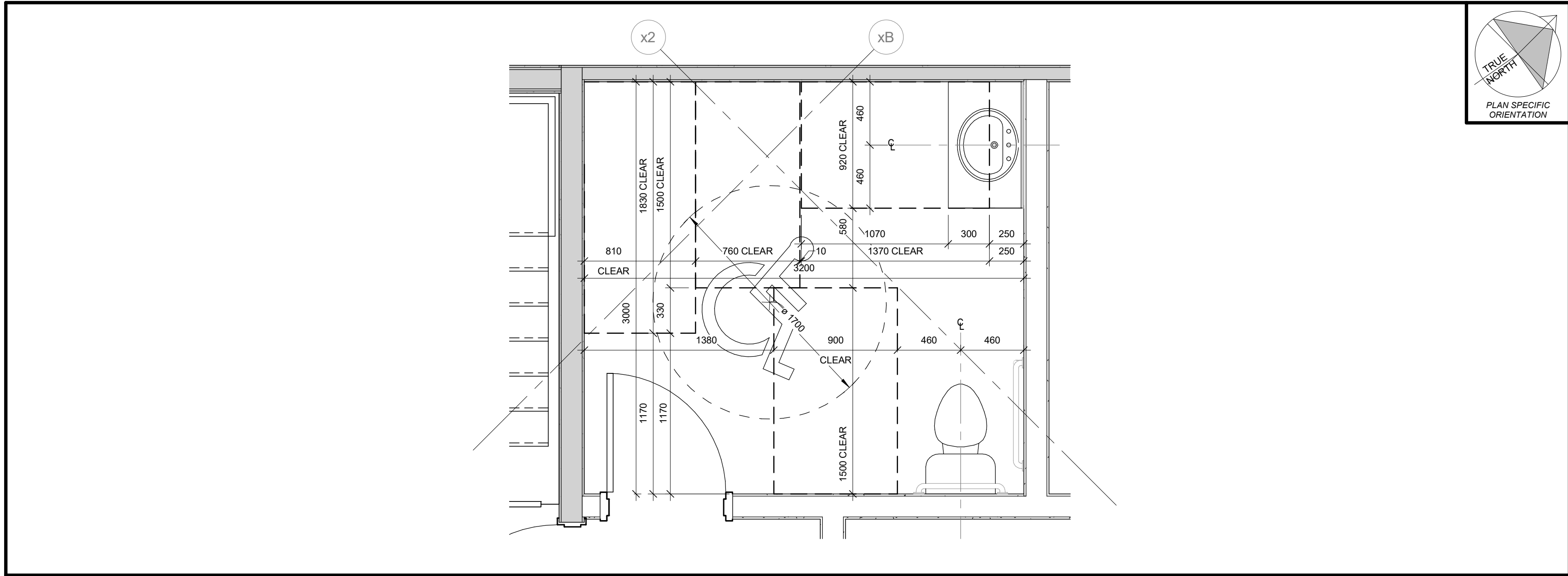


3 2025-04-15 ISSUED FOR TENDER
2 2025-02-24 ISSUED FOR CLIENT REVIEW - TENDER
1 2025-01-10 ISSUED FOR BUILDING PERMIT
NO. DATE

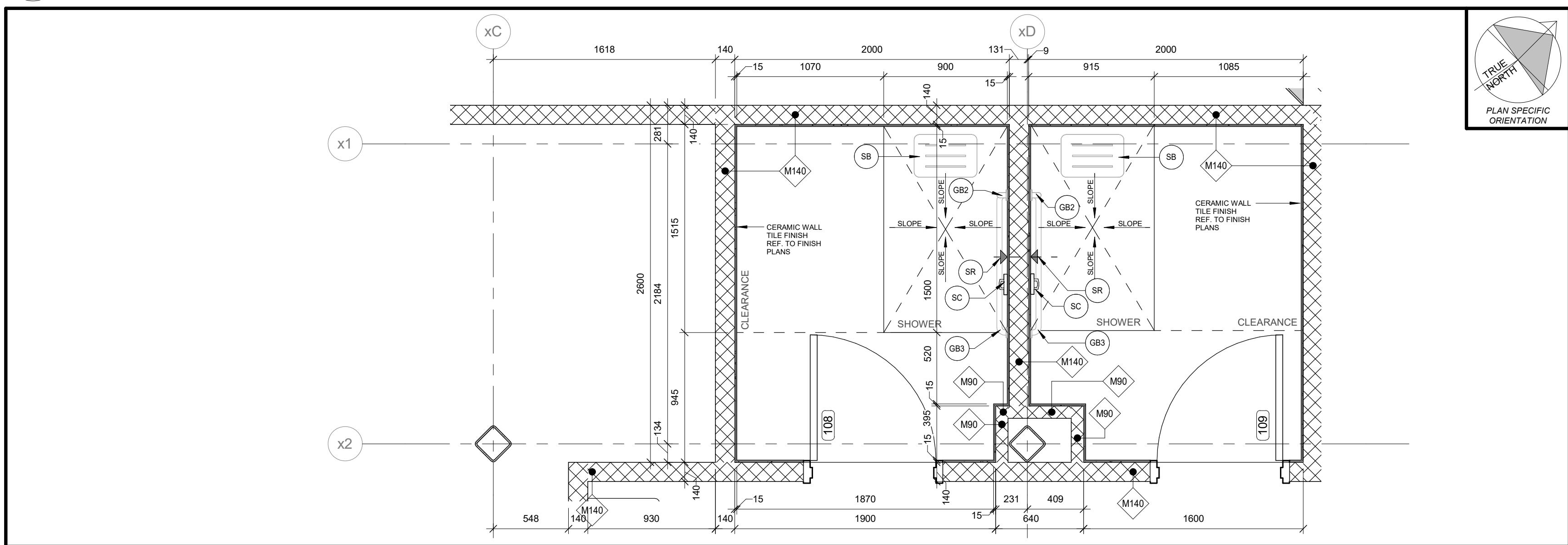
CONNOR BUILDING RENOVATIONS

DRAWING TITLE

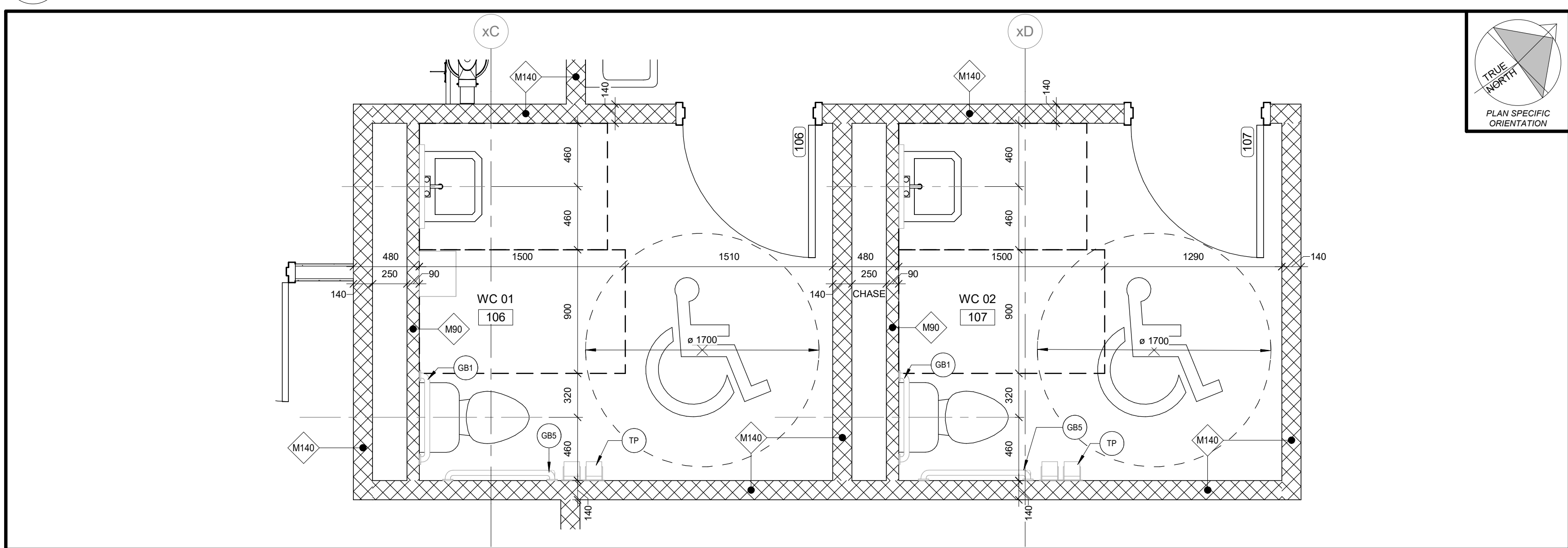
WALL SECTIONS



1
A400 1 : 25
ENLARGED PLAN - SECOND LEVEL - WASHROOM



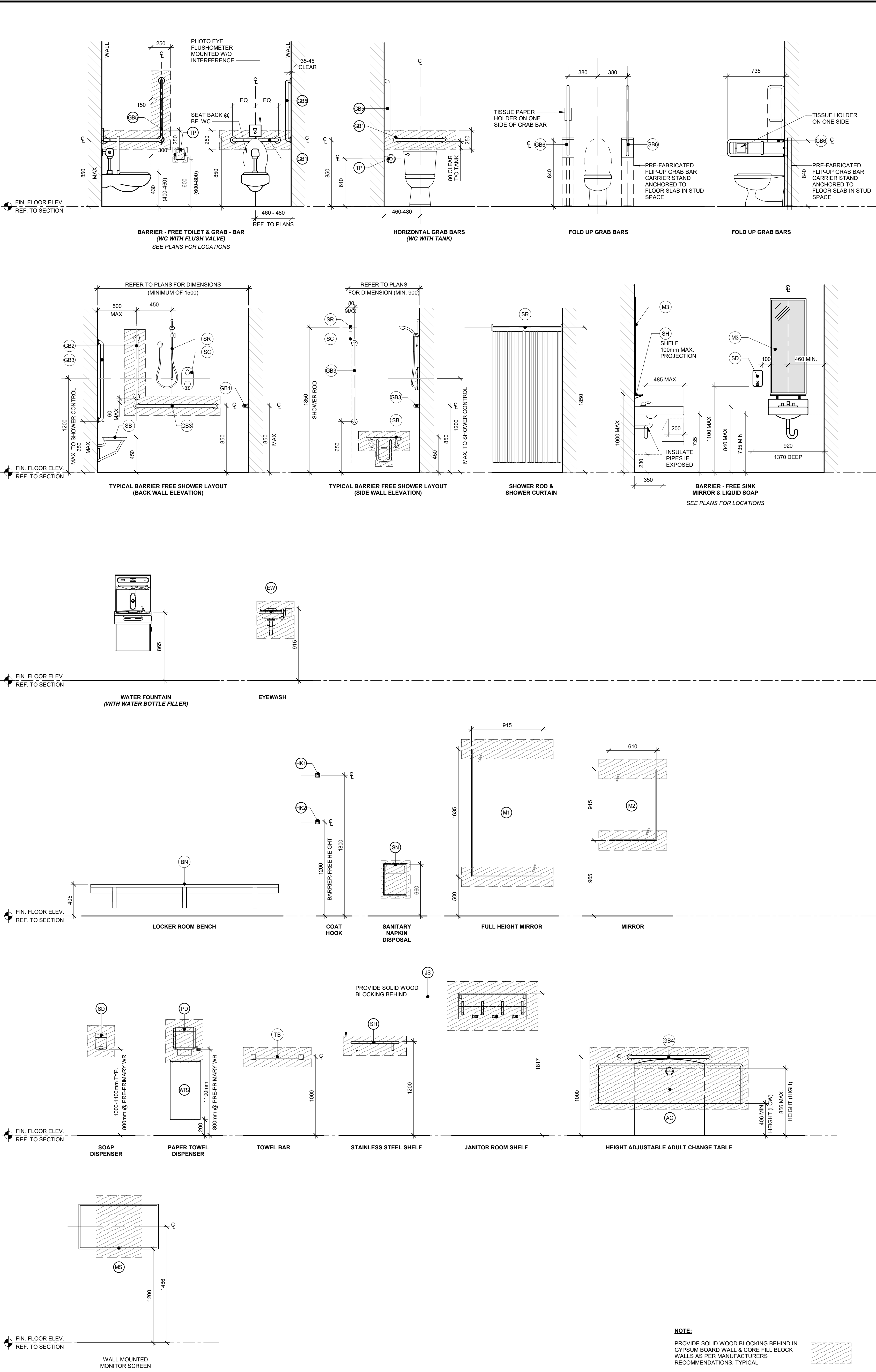
3
A400 1 : 25
ENLARGED PLAN - GROUND LEVEL - SHOWERS



2
A400 1 : 25
ENLARGED PLAN - GROUND LEVEL - WASHROOMS

ACCESSORY SYMBOL LEGEND

- | | | | |
|-----|---|-----|--|
| AC | 760mm x 1830mm ADULT CHANGE TABLE | MS | WALL-MOUNTED MONITOR SCREEN |
| BC | 610mm x 1820mm BABY CHANGE TABLE | PD | PAPER TOWEL DISPENSER |
| BN | FLOOR MOUNTED BENCH | SB | SHOWER BENCH |
| EW | EYE WASH | SC | SHOWER CONTROLS |
| GB | 30mmØ - 40mmØ GRAB BAR - 610mm LENGTH | SD | SOAP DISPENSER |
| GB1 | 30mmØ - 40mmØ GRAB BAR - 750mm LENGTH | SN | SANITARY NAPKIN DISPOSAL (SURFACE MOUNT) |
| GB2 | 30mmØ - 40mmØ GRAB BAR - 1000mm LENGTH | SR | SHOWER ROD (c/w TRANSLUCENT CURTAIN) |
| GB3 | 30mmØ - 40mmØ GRAB BAR - 1200mm LENGTH | SS | STAINLESS STEEL SHELF |
| GB4 | 30mmØ - 40mmØ L-SHAPED GRAB BAR 760mm x 760mm | TB | TOWEL BAR |
| GB5 | PREFABRICATED FLIP UP GRAB BAR | TP | TOILET TISSUE DISPENSER |
| HC | SINGLE COAT HOOK (STANDARD HEIGHT) | WR | WASTE RECEPTACLE - FLOOR MOUNTED |
| HC1 | SINGLE COAT HOOK (ACCESSIBLE HEIGHT) | WR1 | WASTE RECEPTACLE - WALL MOUNTED |
| JR | JANITOR ROOM SHELF | | |
| M | FULL HEIGHT MIRROR | | |
| M1 | MIRROR | | |
| M2 | MIRROR | | |
| M3 | MIRROR | | |

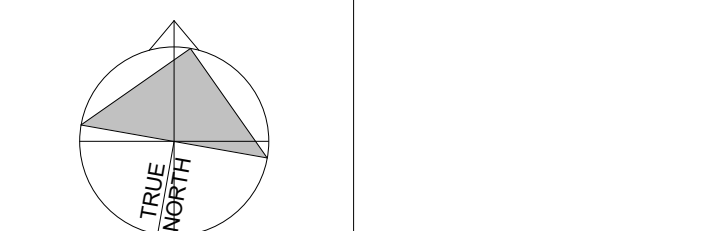


NOTE:
PROVIDE SOLID WOOD BLOCKING BEHIND IN GYPSUM BOARD WALL & CORE FILL BLOCK WALLS AS PER MANUFACTURERS RECOMMENDATIONS, TYPICAL

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CONSTRUCTION

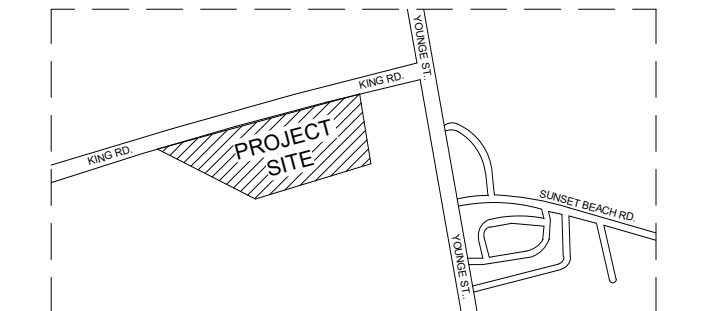
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NORTH ARROW: DIGITAL REFERENCE.



PROJECT NO.: CAN011157 0343 CONTRACT NO.
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



3	2025-04-15	ISSUED FOR TENDER
2	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
1	2025-01-10	ISSUED FOR BUILDING PERMIT
MD	DATE	ISSUED

PROJECT

CONNOR BUILDING
RENOVATIONS

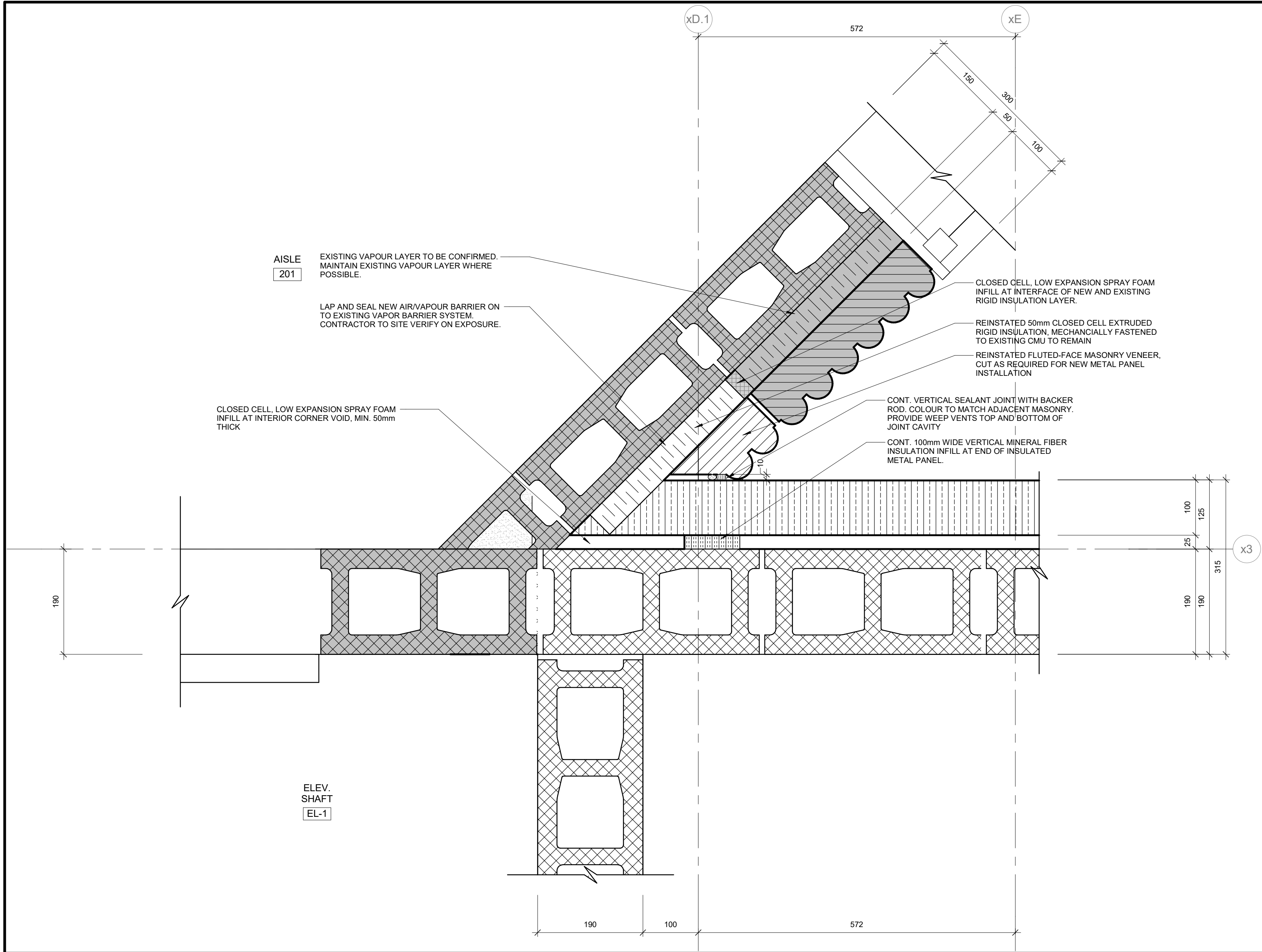
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ENLARGED PLANS &
ACCESSORIES -
WASHROOMS

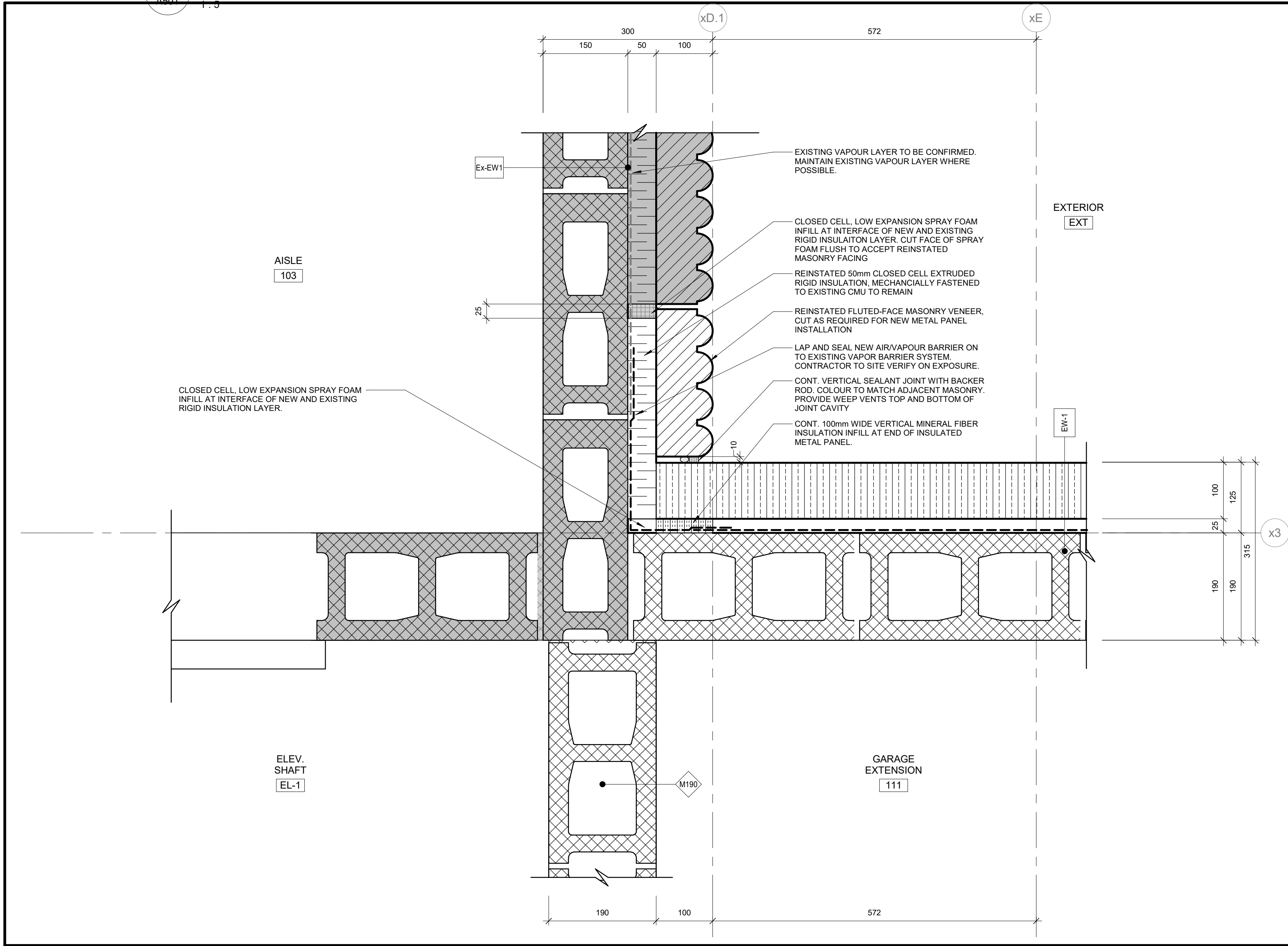
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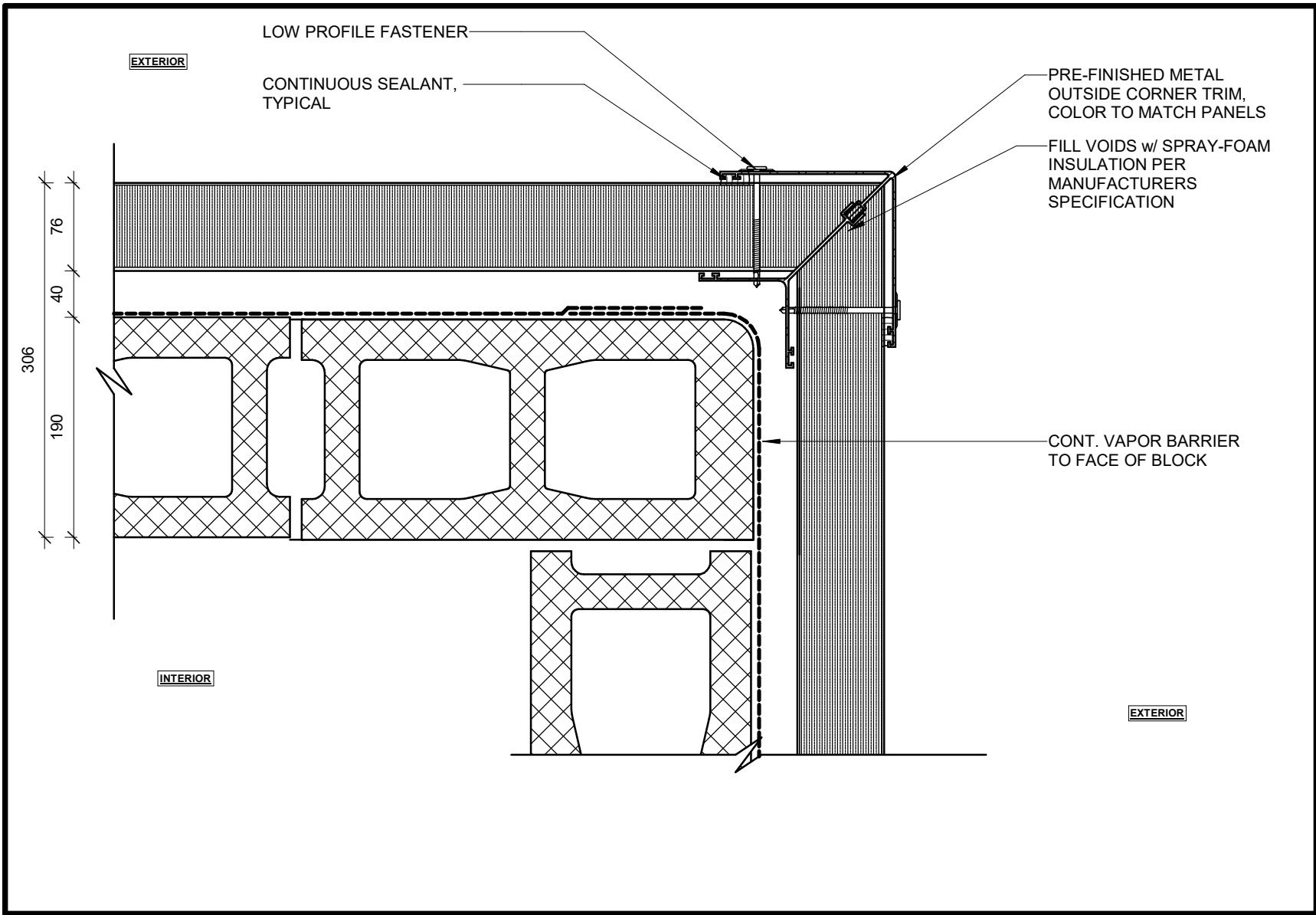
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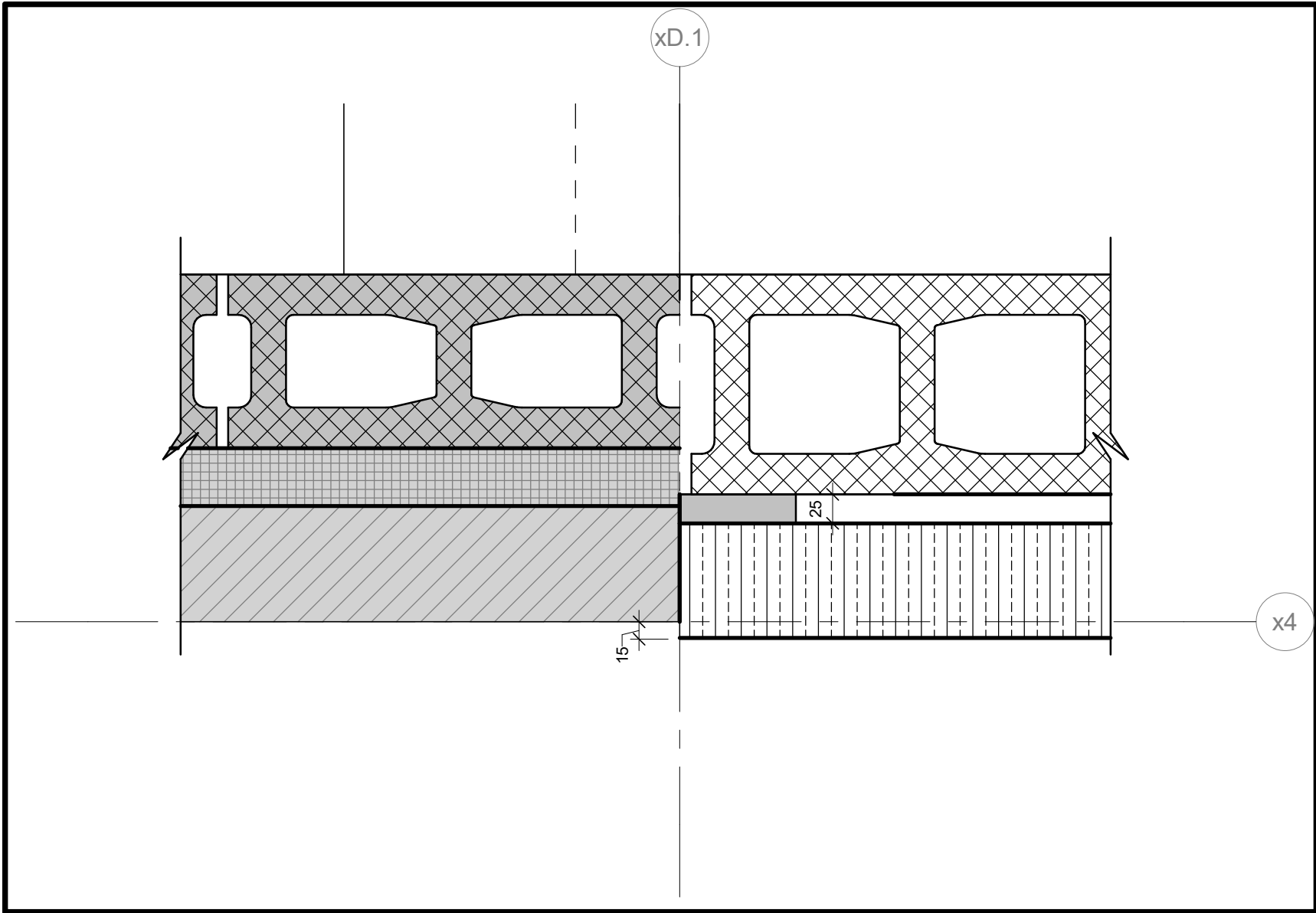
4 PLAN DETAIL - LEVEL 2 - EX. ASSEMBLY TIE-IN



3 PLAN DETAIL - LEVEL 1 - EX. ASSEMBLY TIE-IN



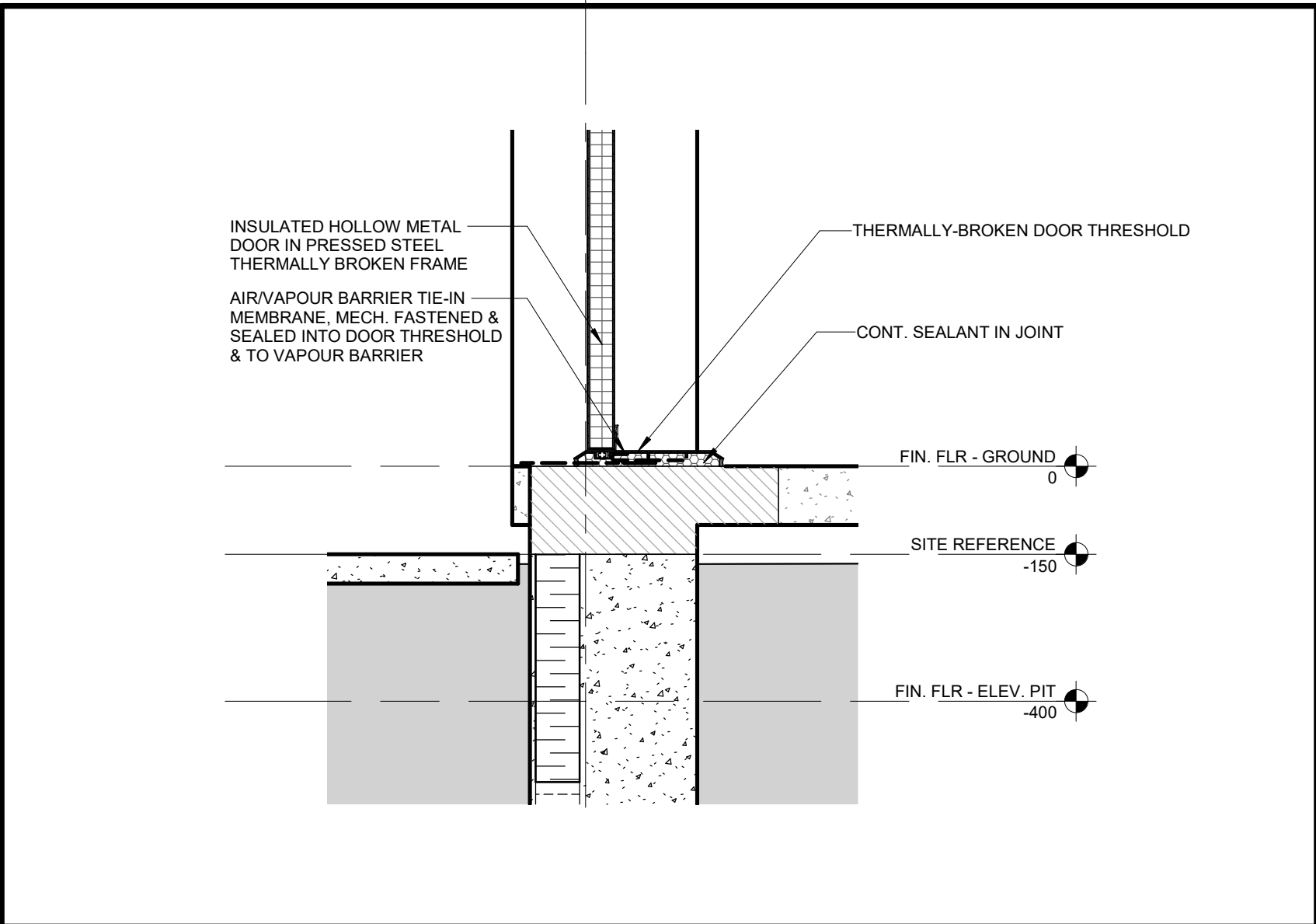
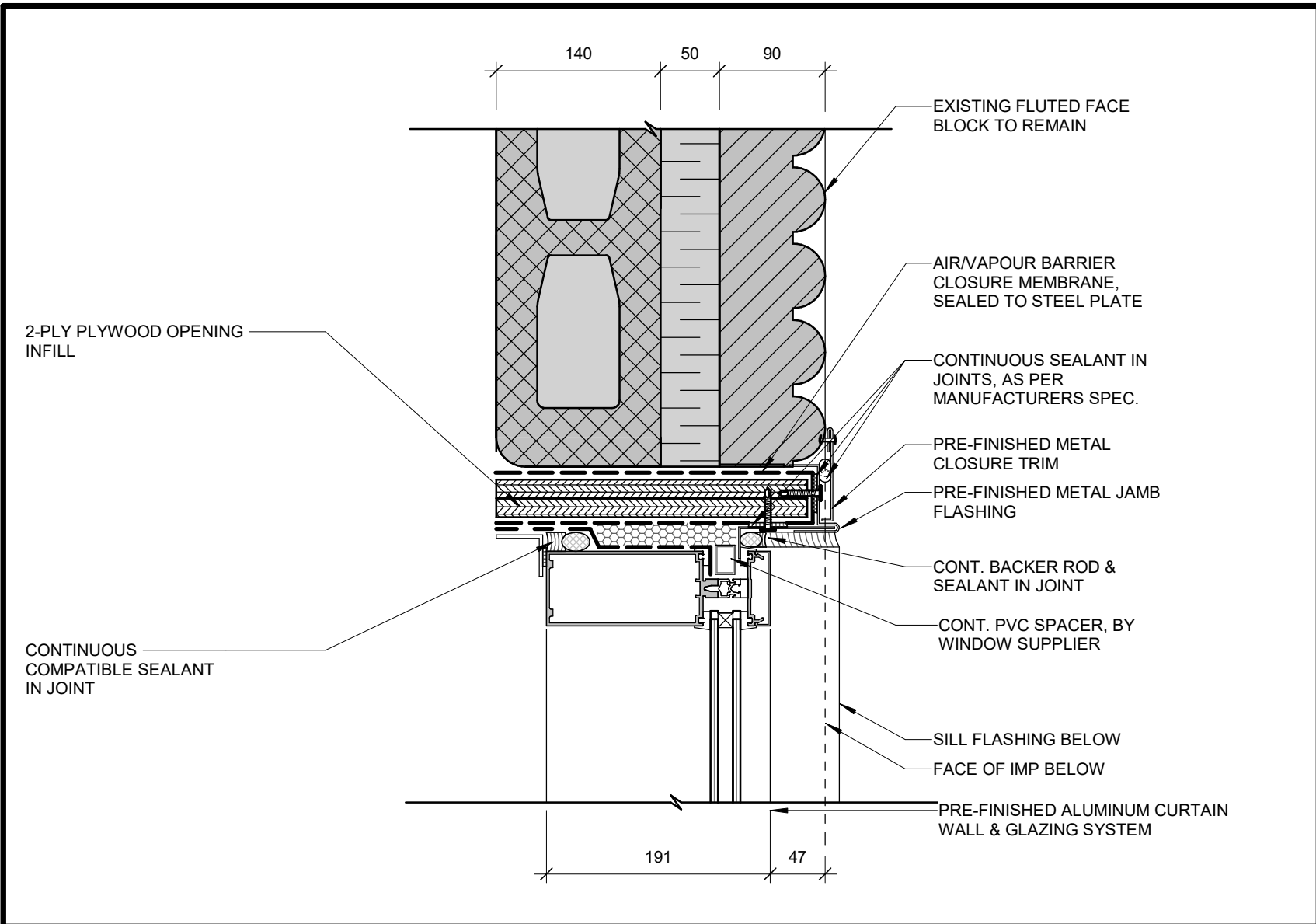
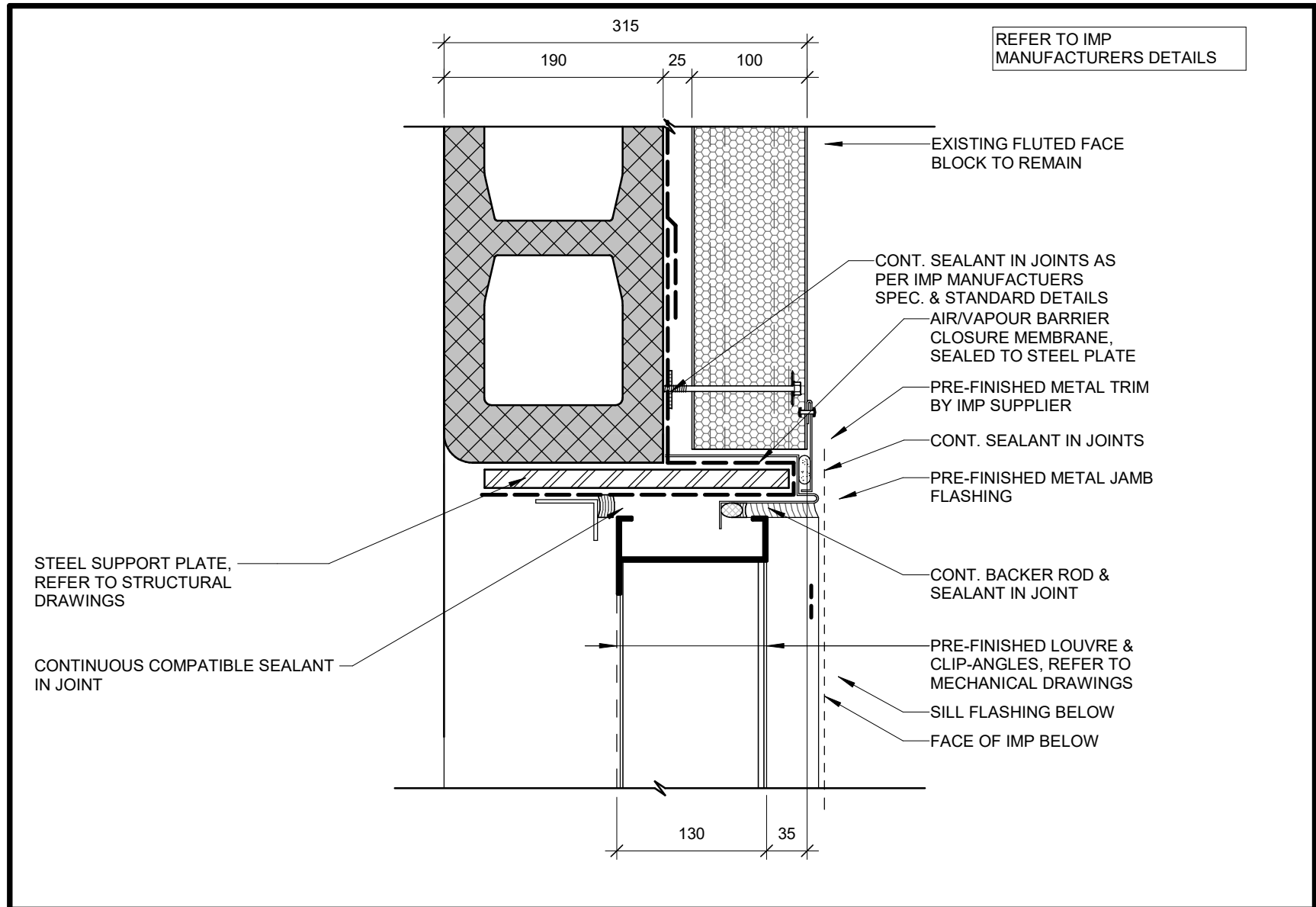
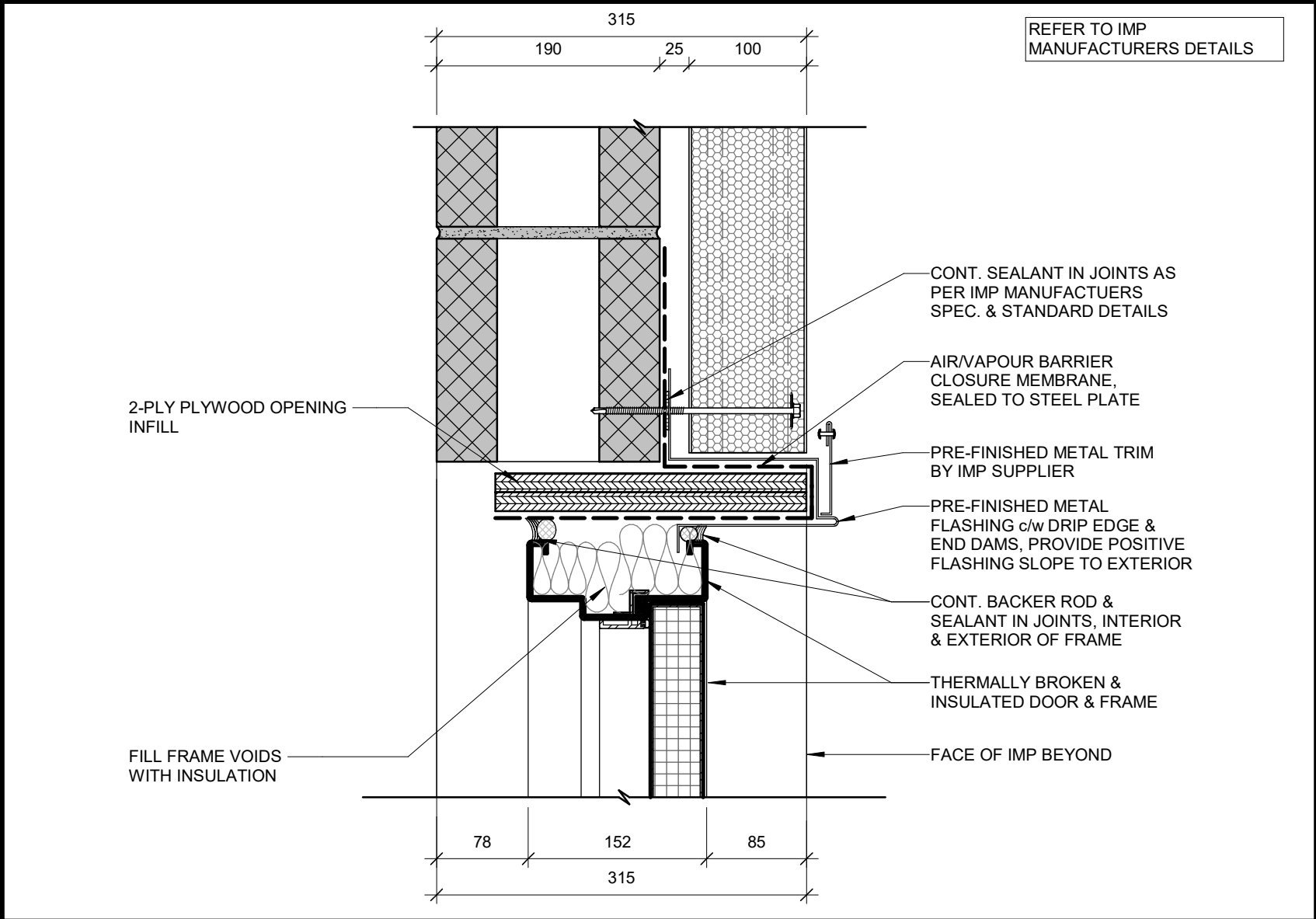
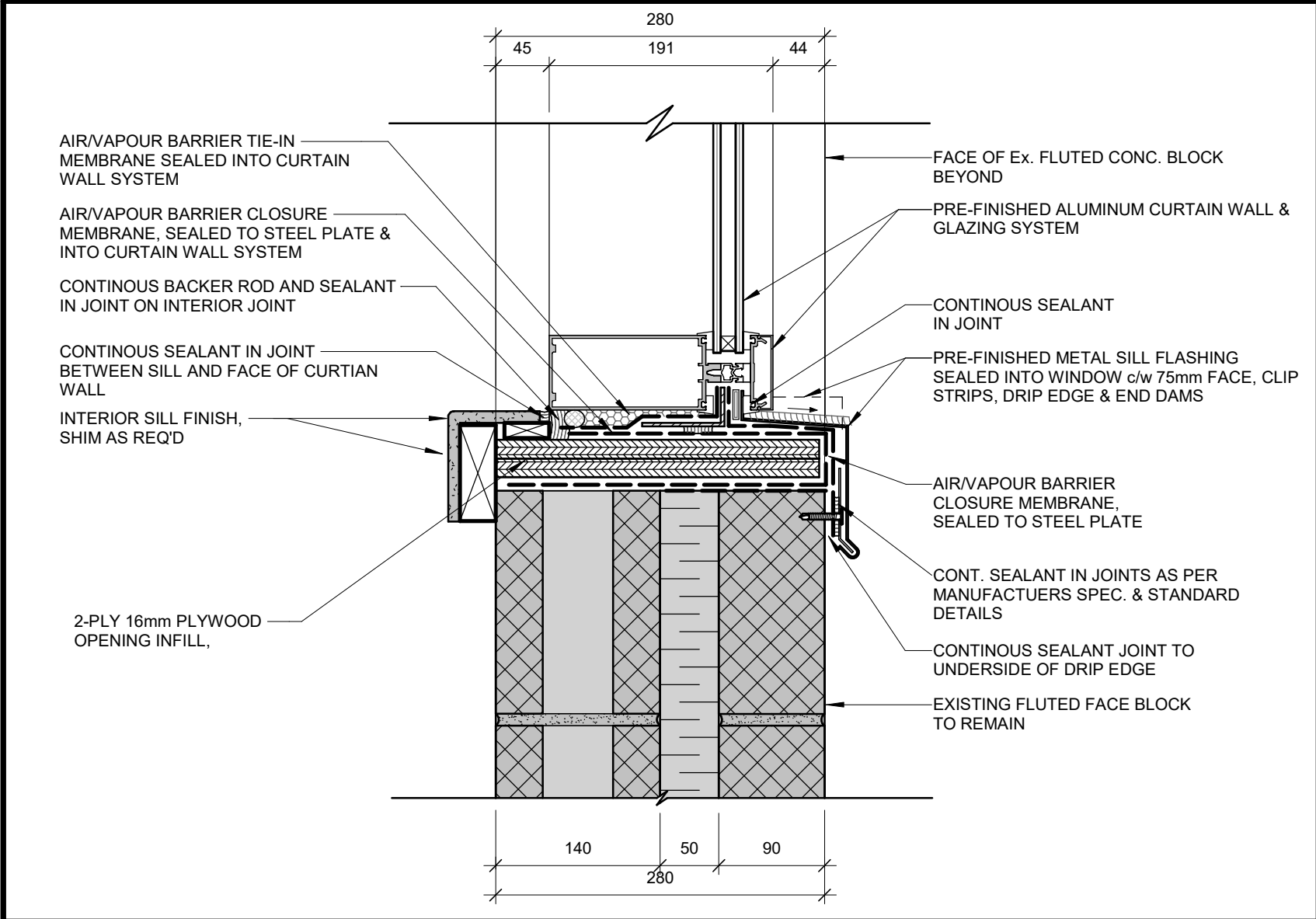
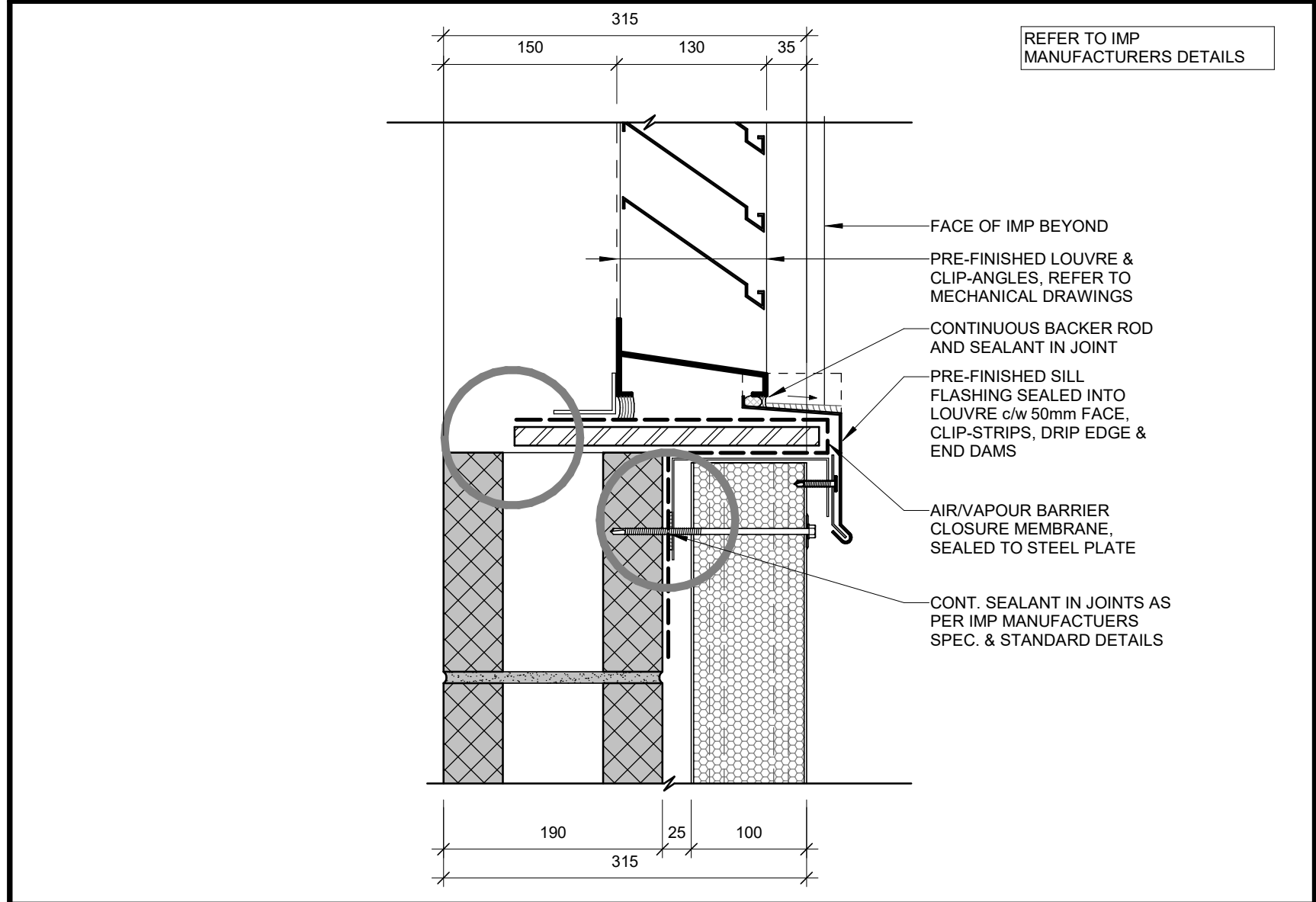
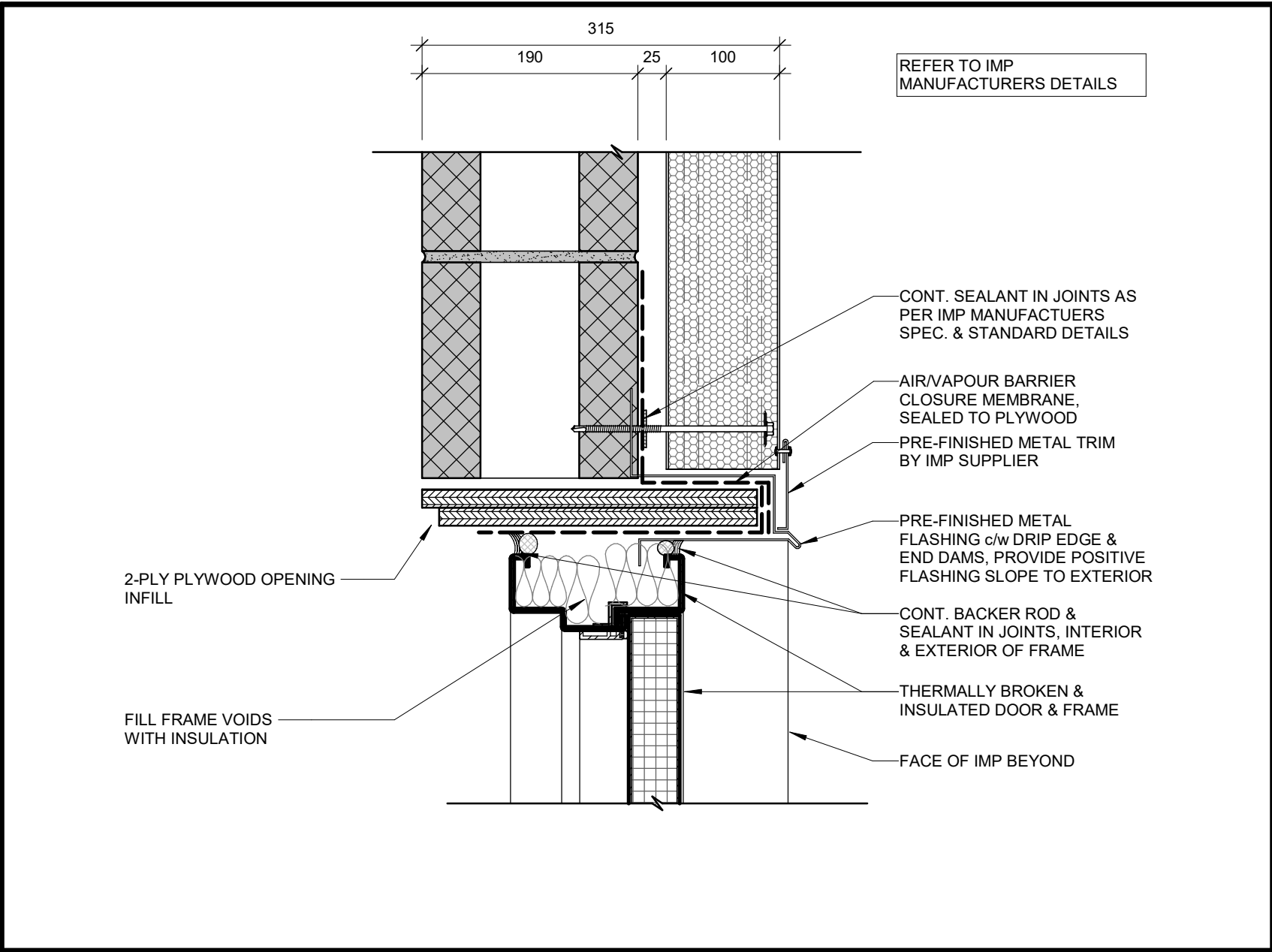
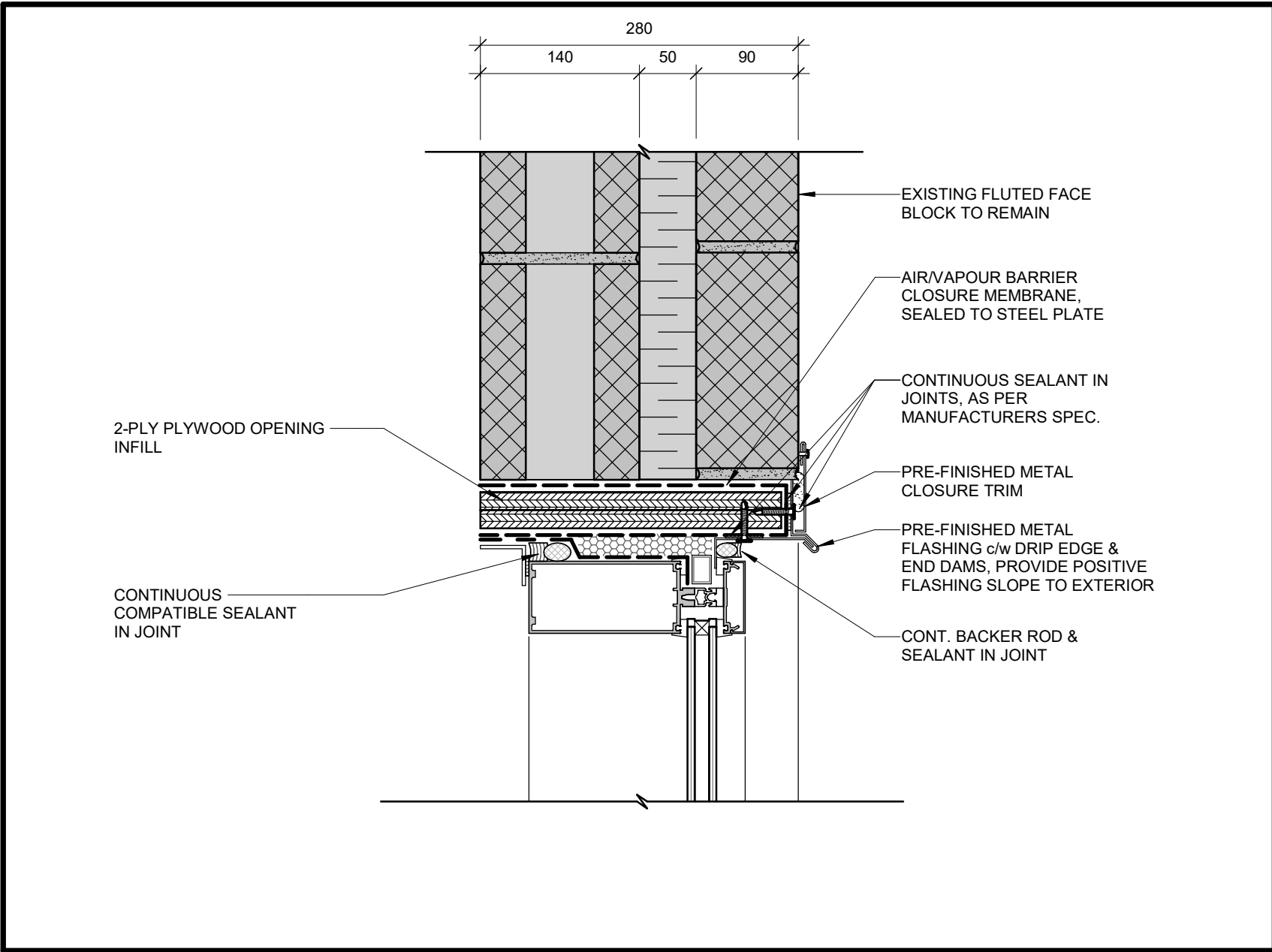
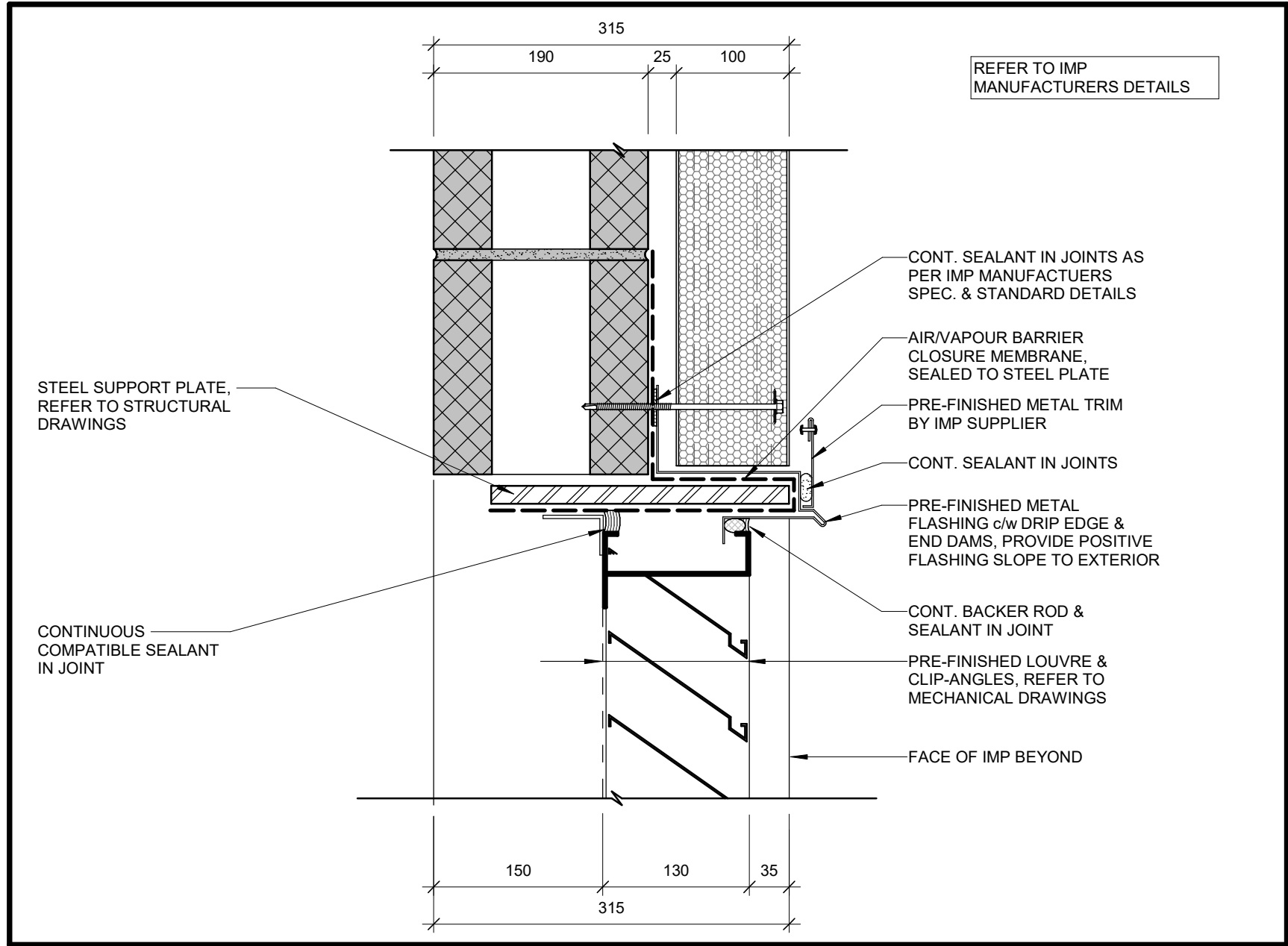
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1 PLAN DETAIL - IMP PANEL TO EX. MASONRY

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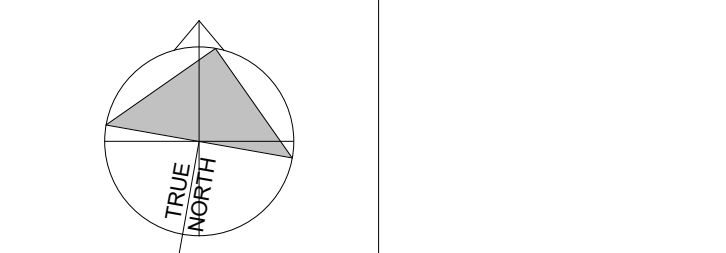
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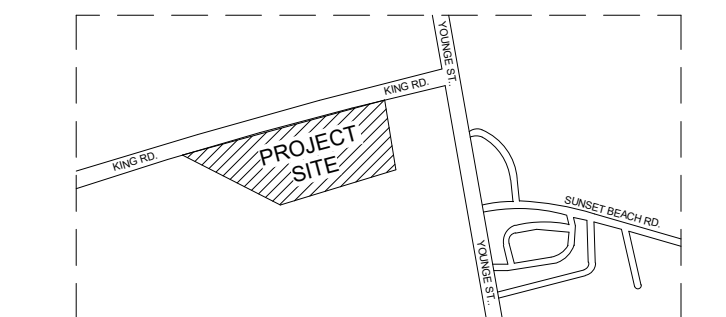
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NORTH ARROW: DIGITAL REFERENCE: 25mm



PROJECT NO.: CAN011757-0343 CONTRACT NO.
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



2	2025-04-15	ISSUED FOR TENDER
1	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER
NO.	DATE	ISSUED
PROJECT		

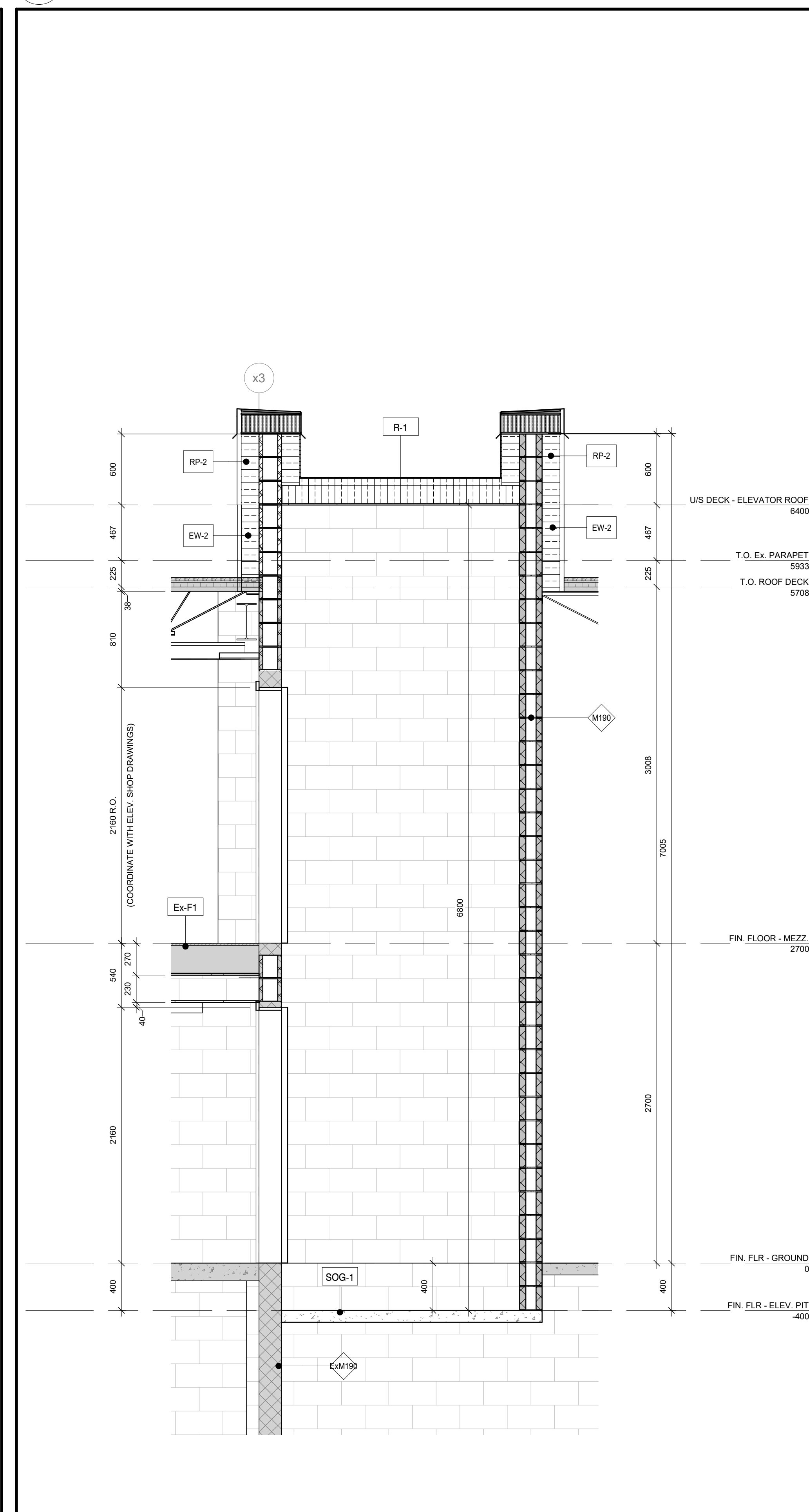
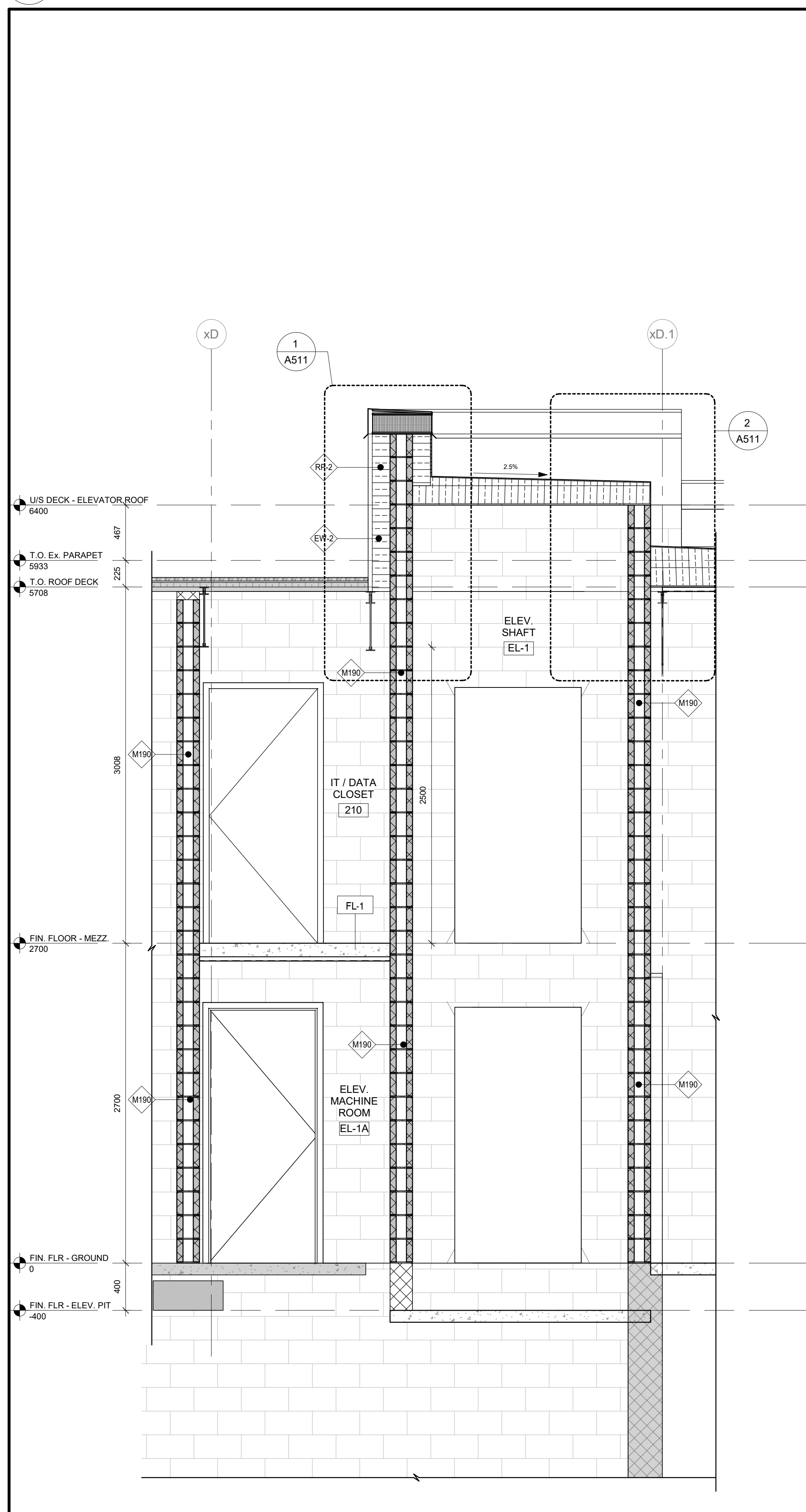
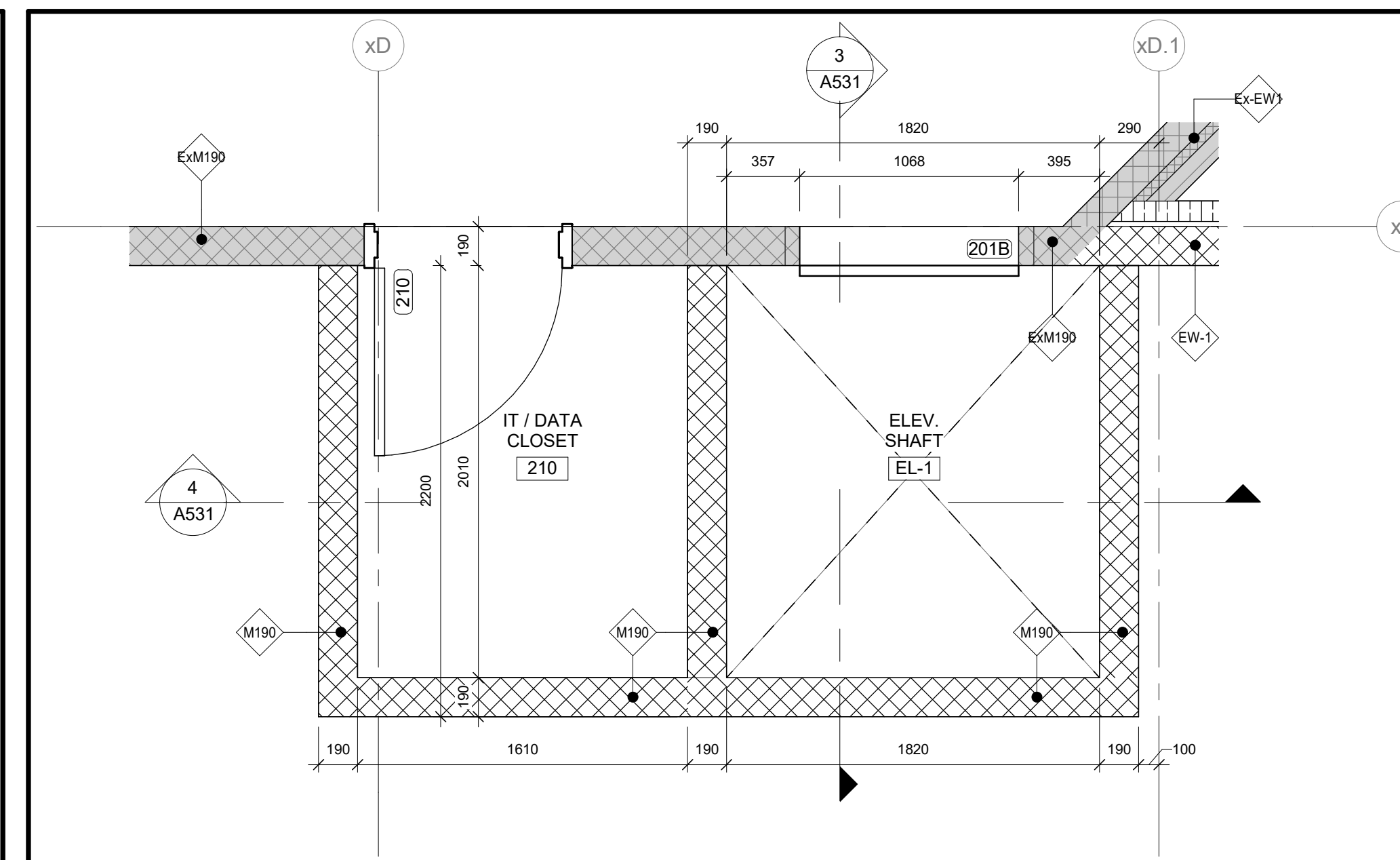
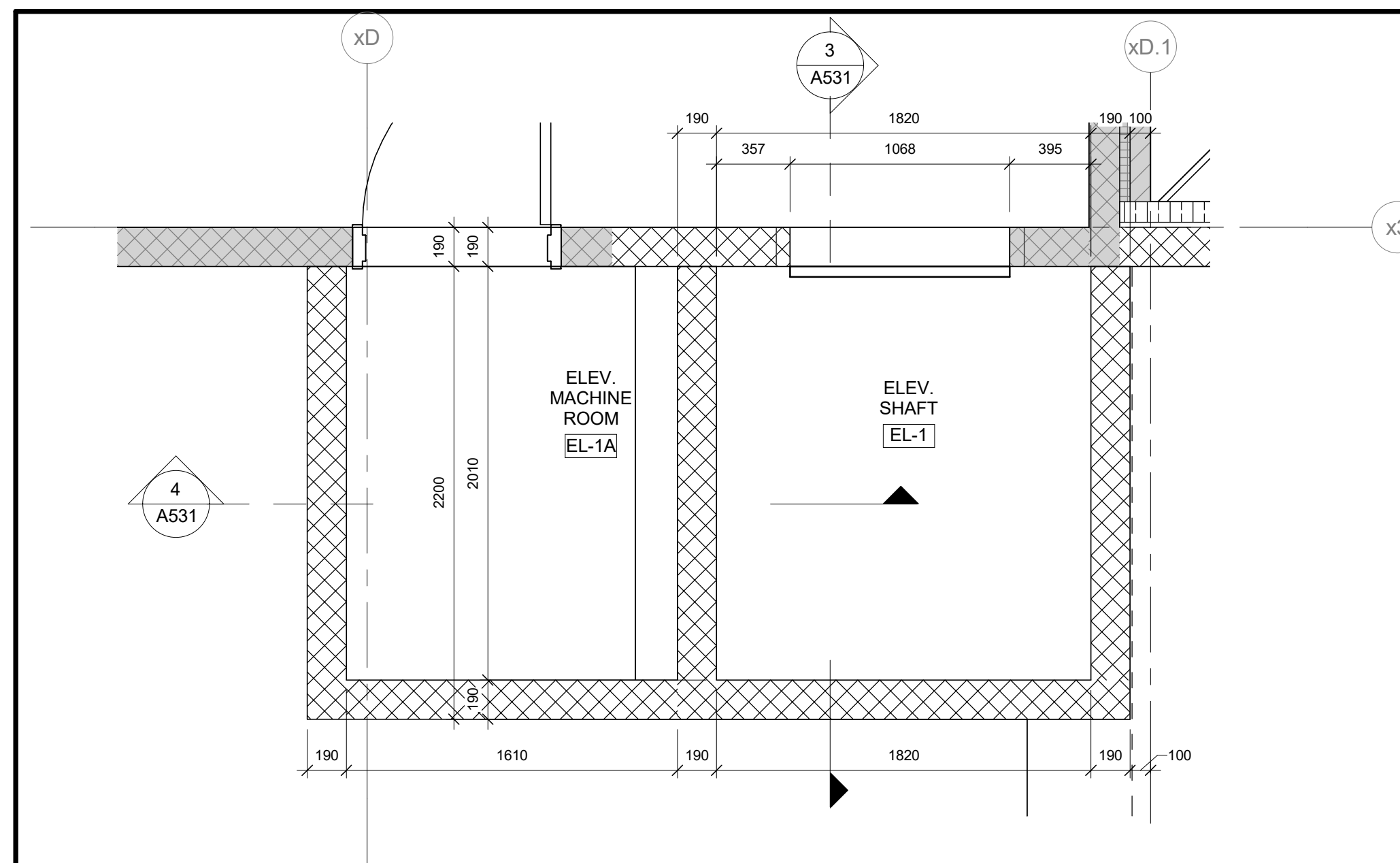
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RENOVATIONS**

DRAWING TITLE

**SECTION DETAILS -
FENSTRATIONS**

DRAWING NO. **A512**

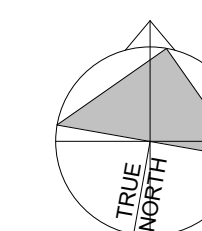
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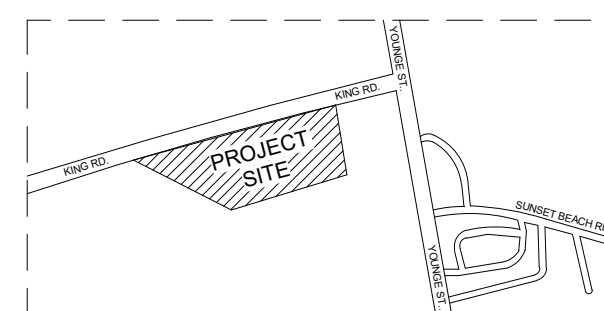
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NORTH ARROW:	DIGITAL REFERENCE:
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PROJECT NO.: CA0011757.0343 CONTRACT NO.
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approv

KEYPLAN:



3	2025-04-15	ISSUED FOR TENDER
2	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER STAGE
1	2025-01-10	ISSUED FOR BUILDING PERMIT
NO.	DATE	ISSUED

PROJECT

CONNOR BUILDING RENOVATIONS

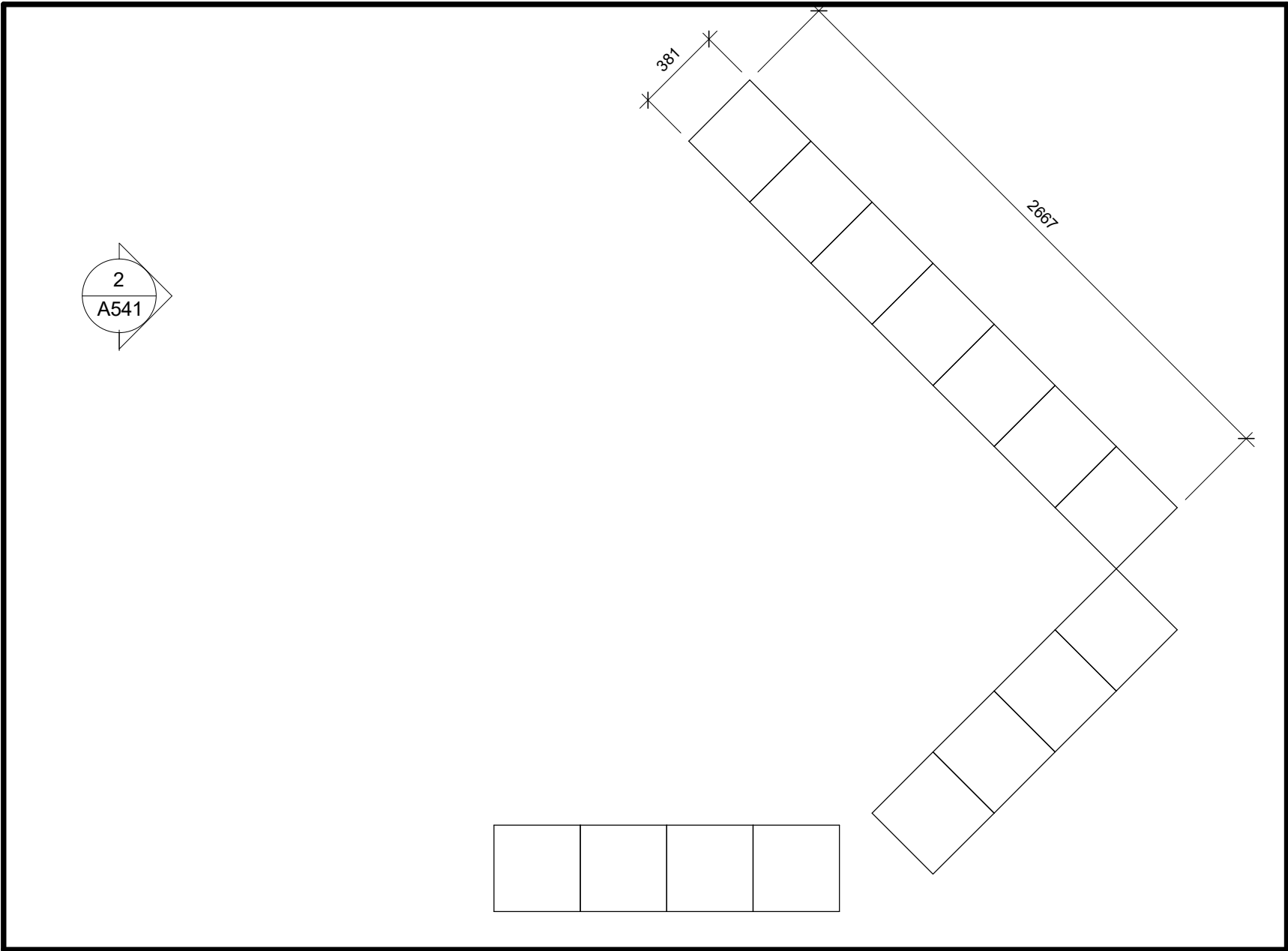
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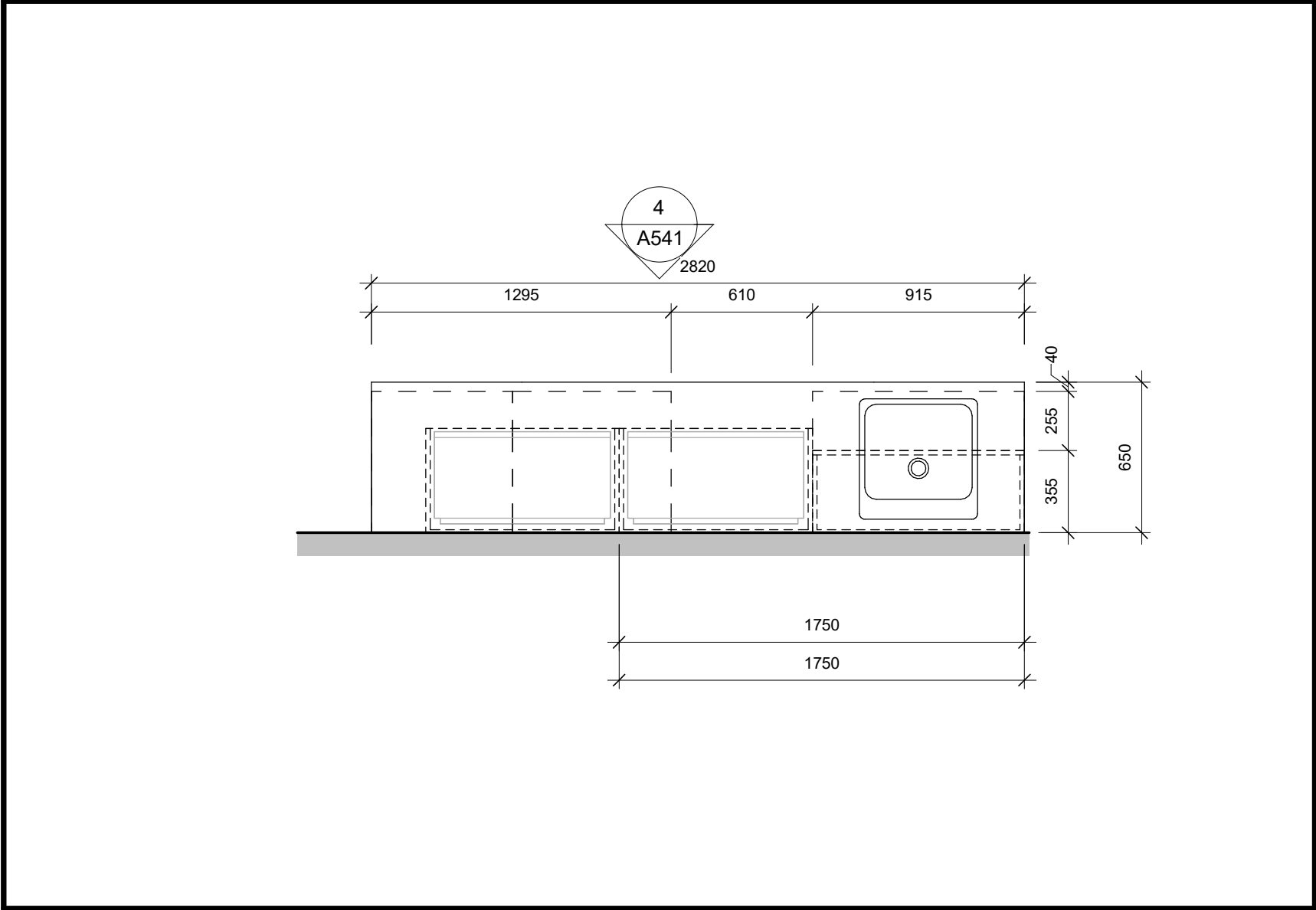
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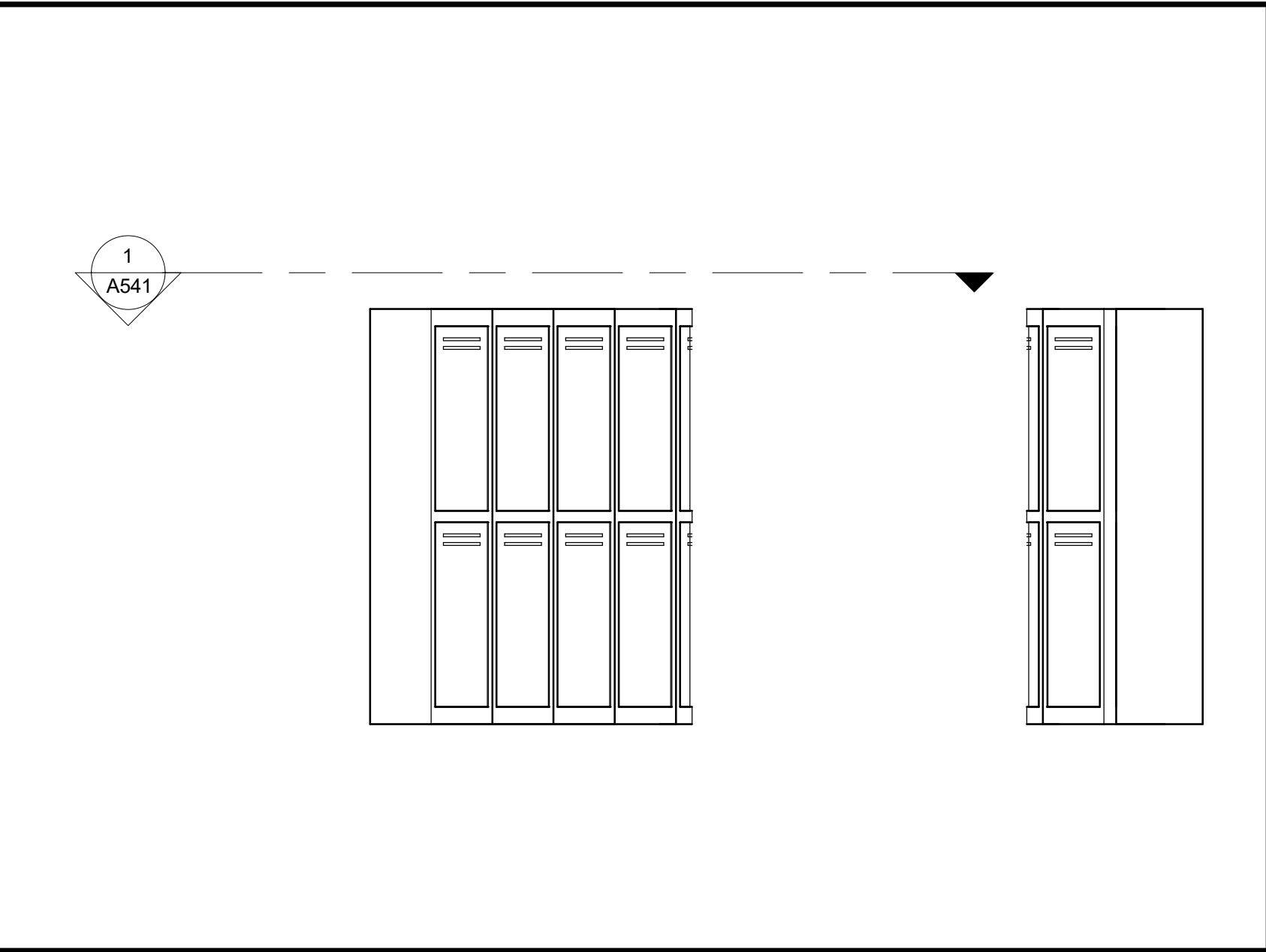
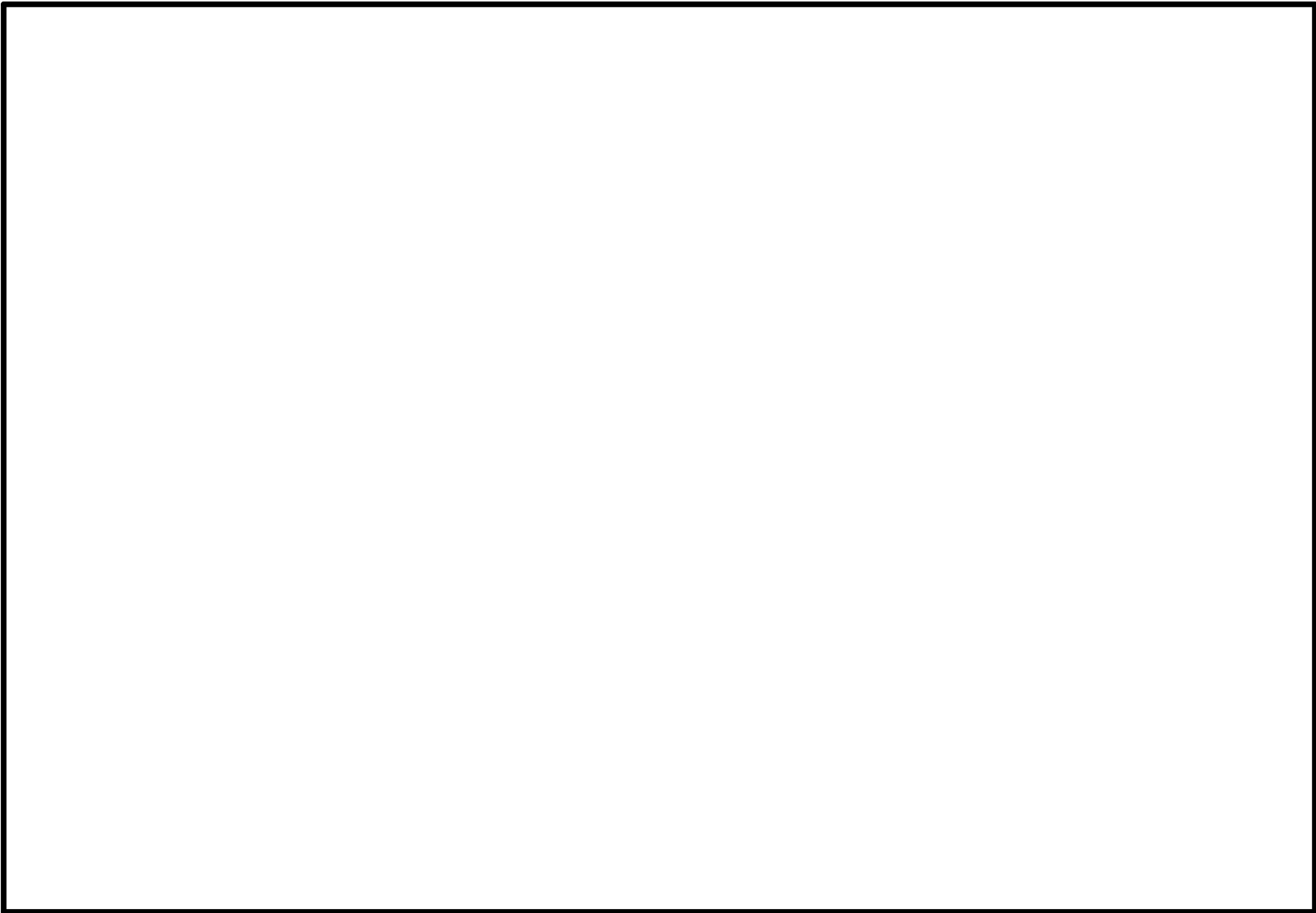
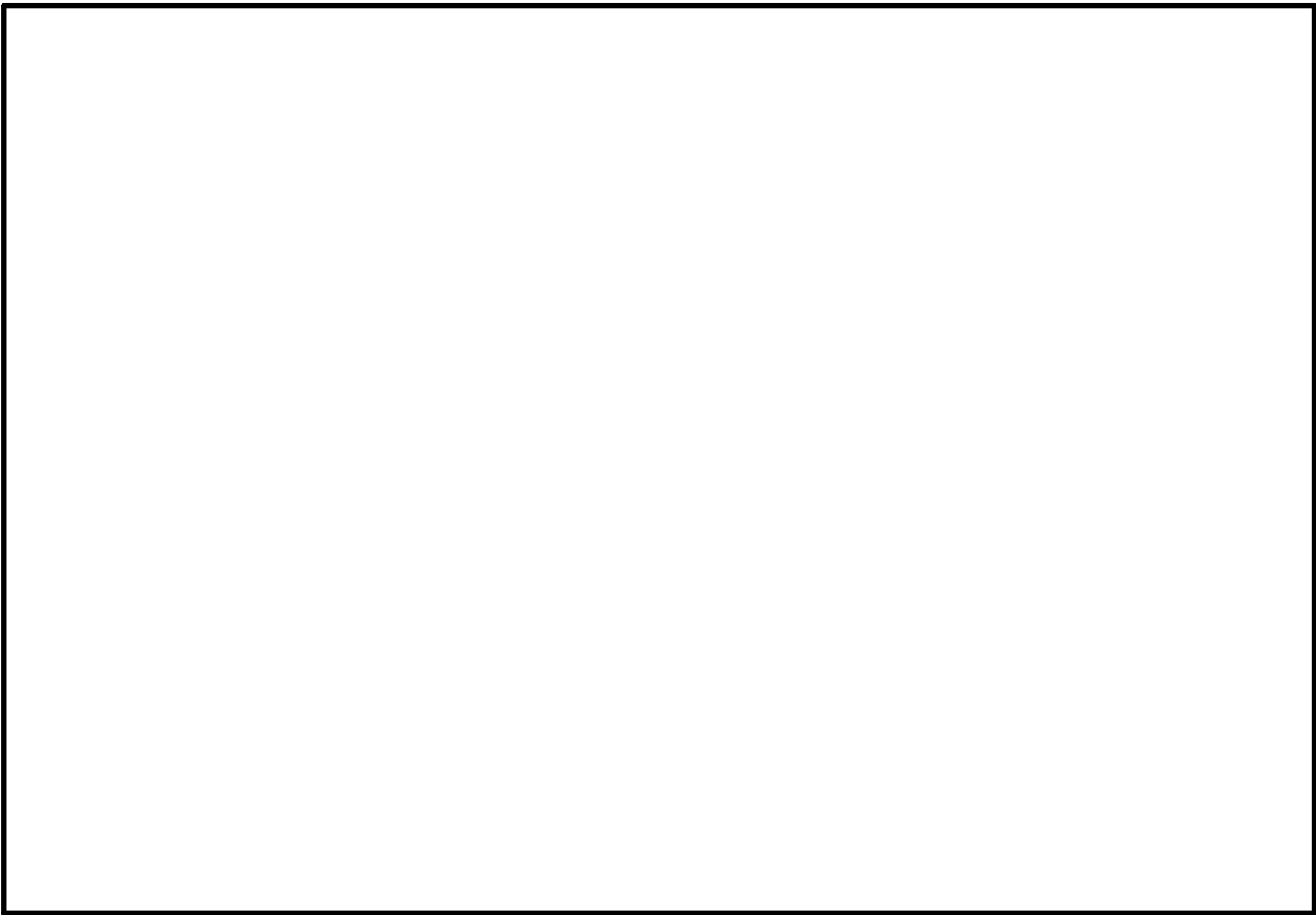
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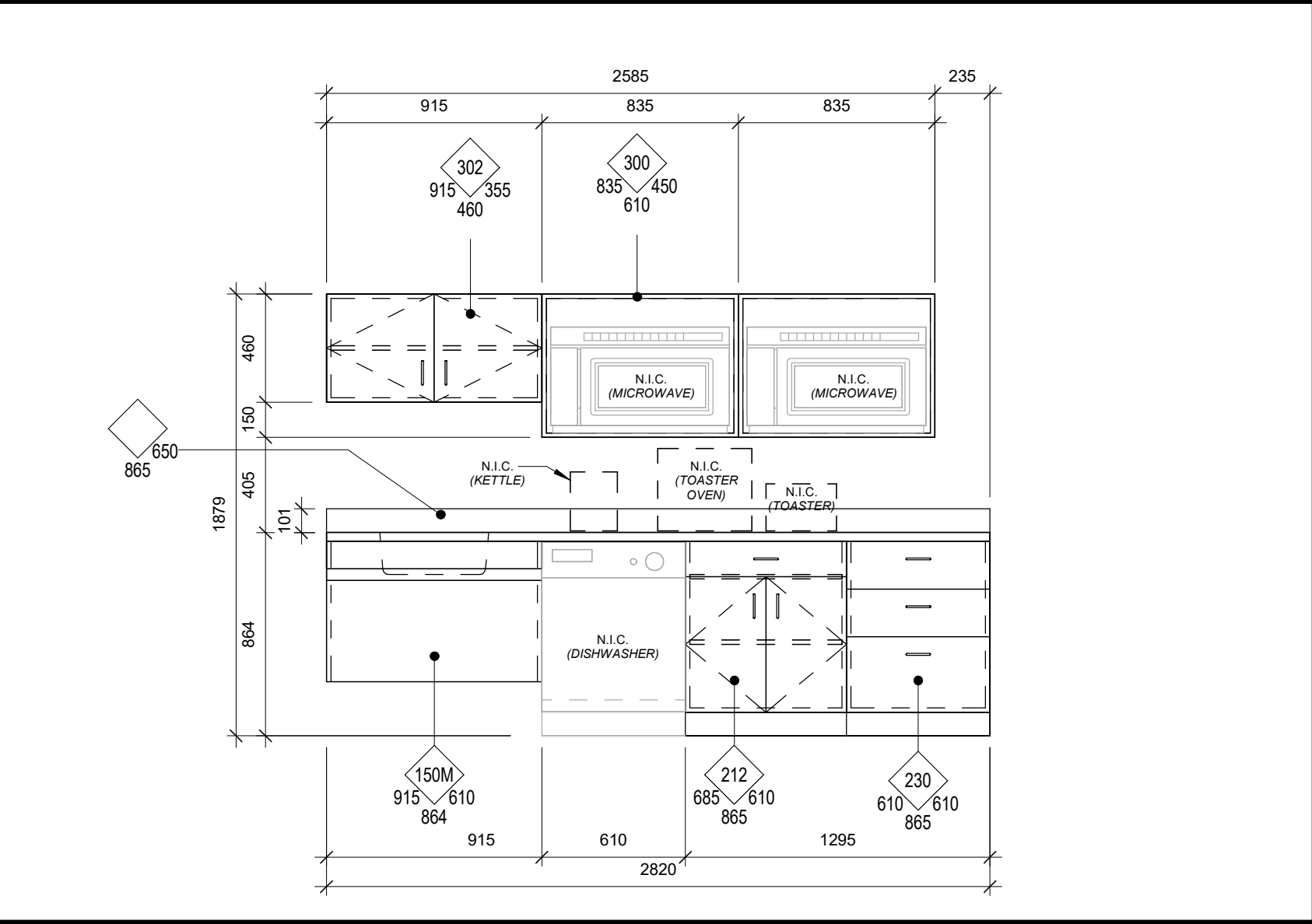
1 PLAN DETAIL - LOCKERS
A541 1 : 25



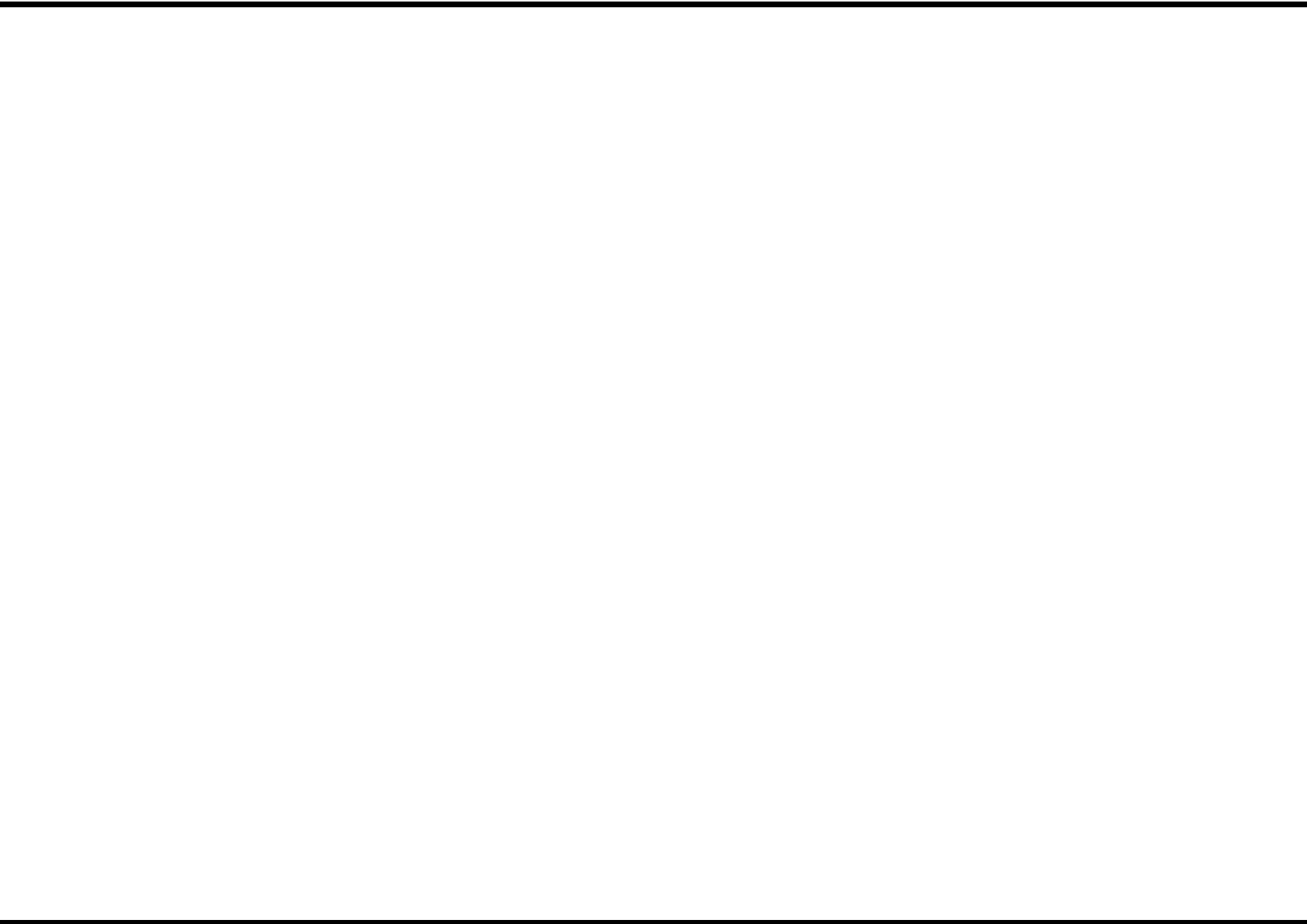
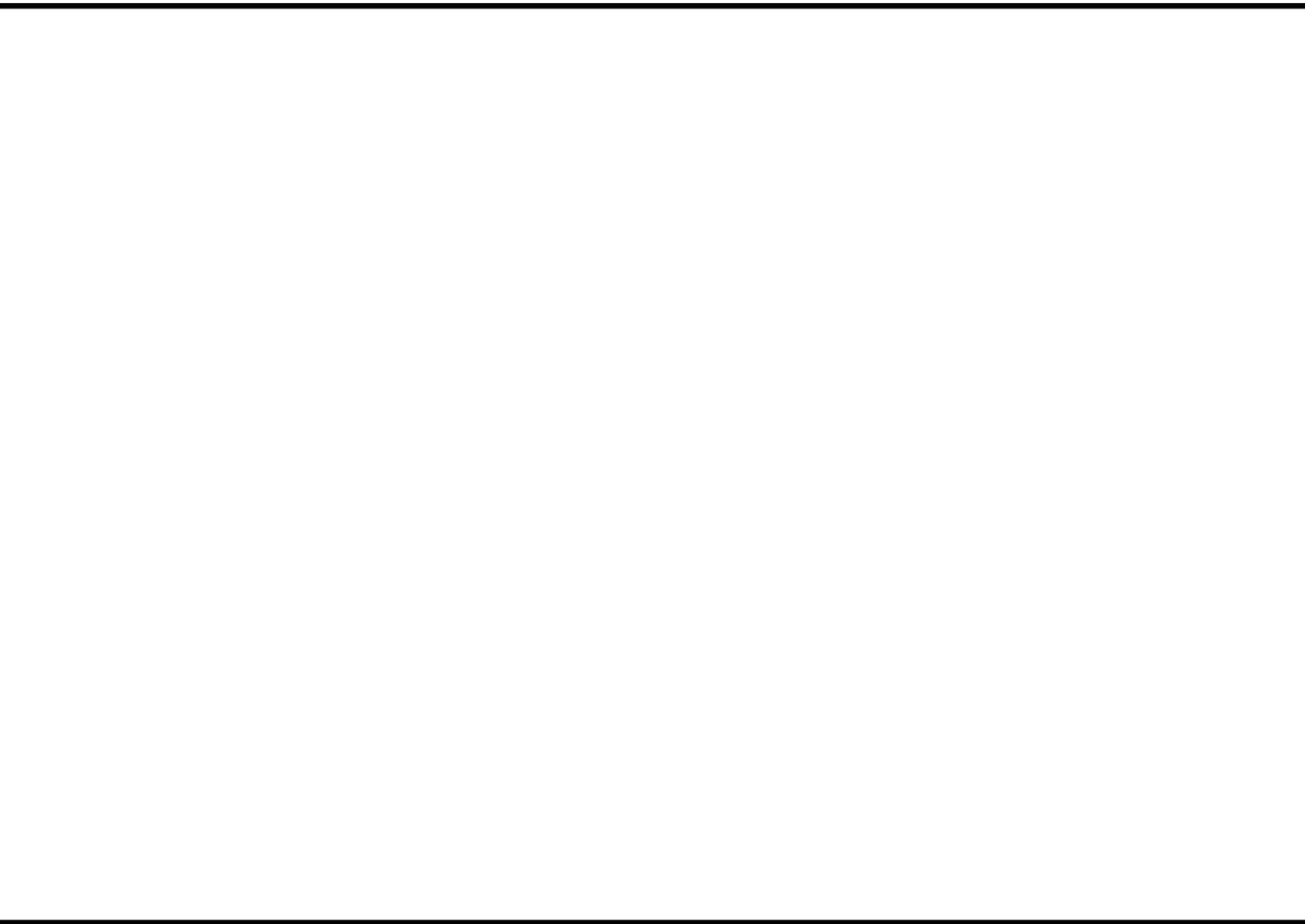
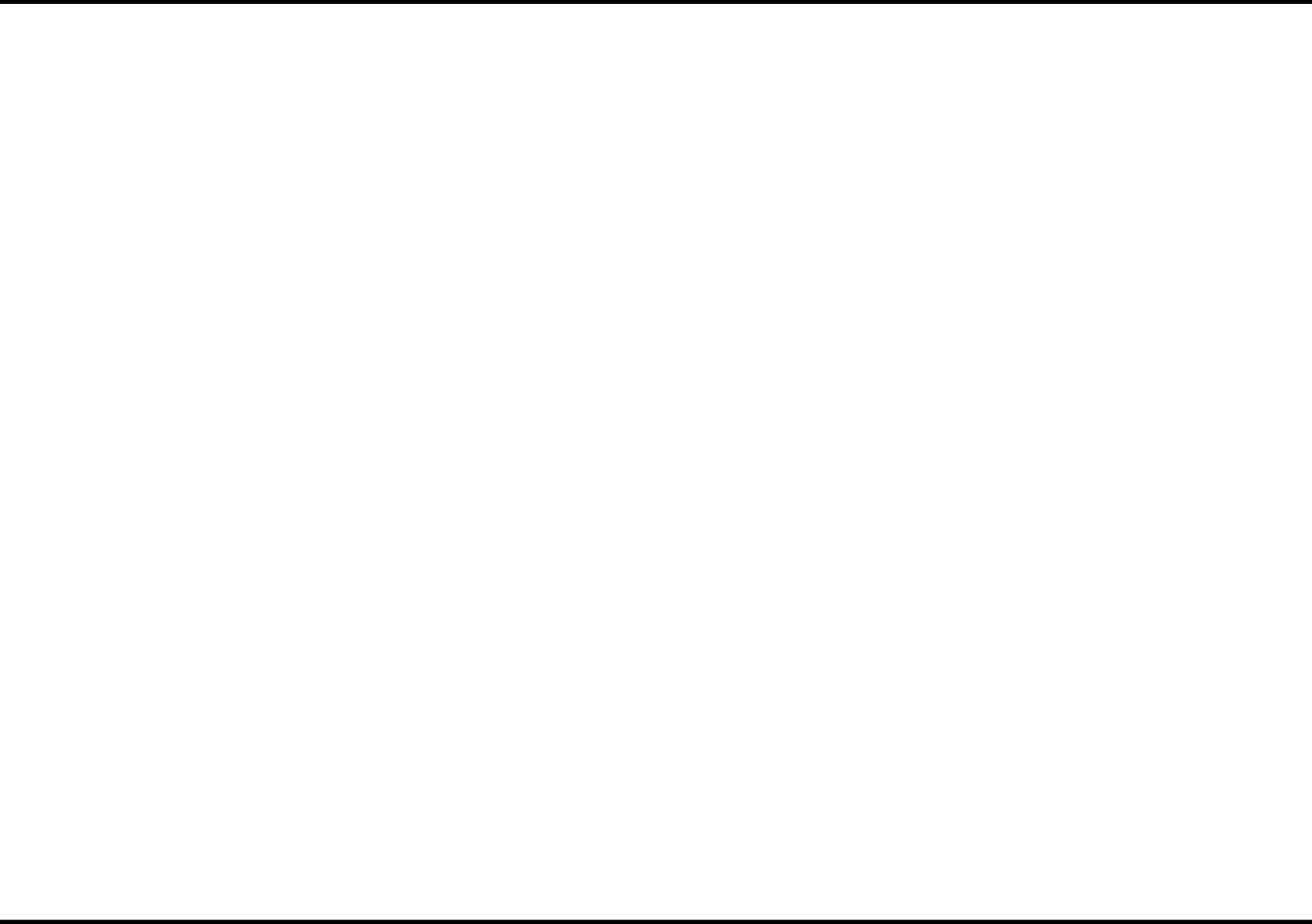
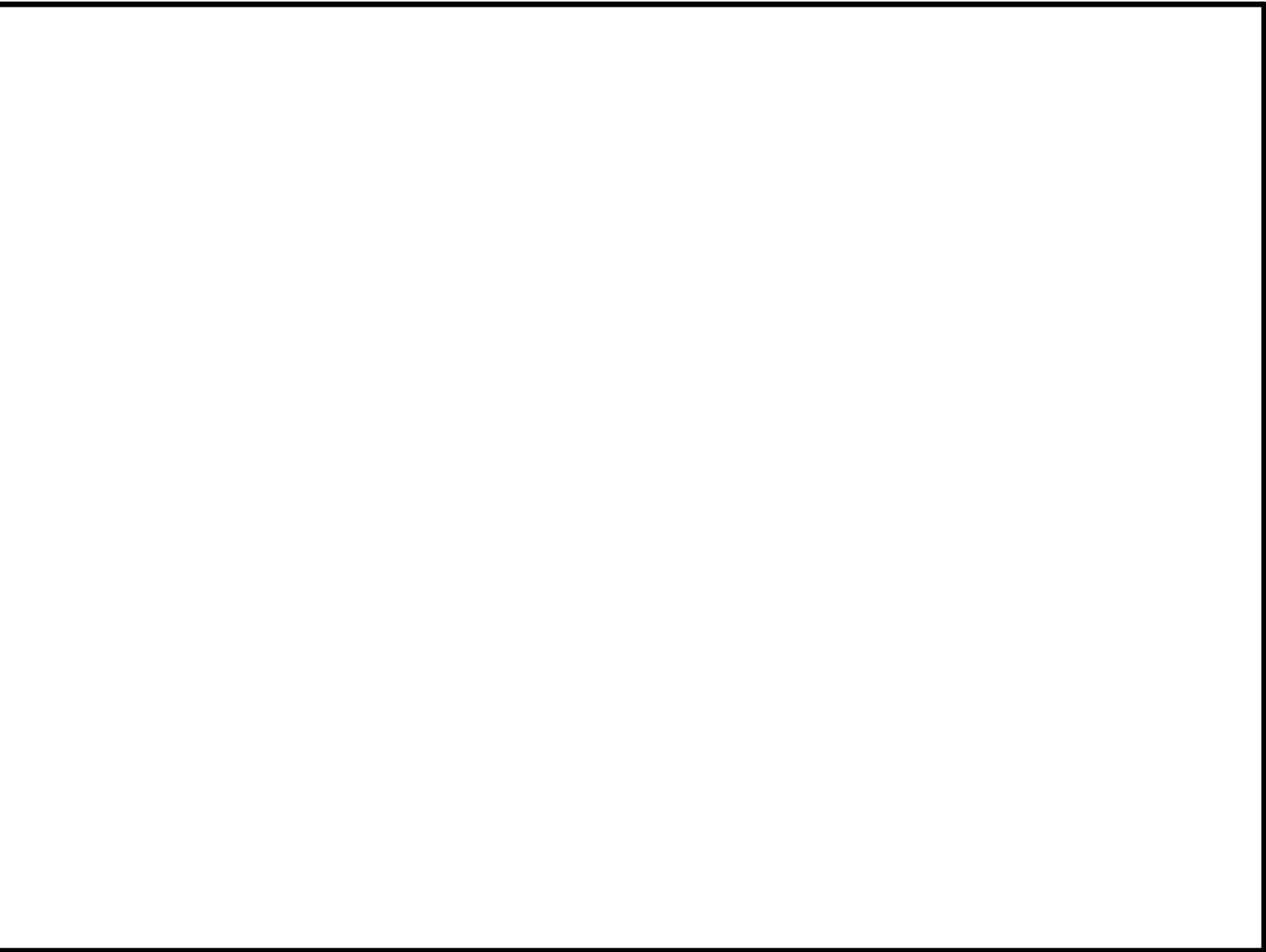
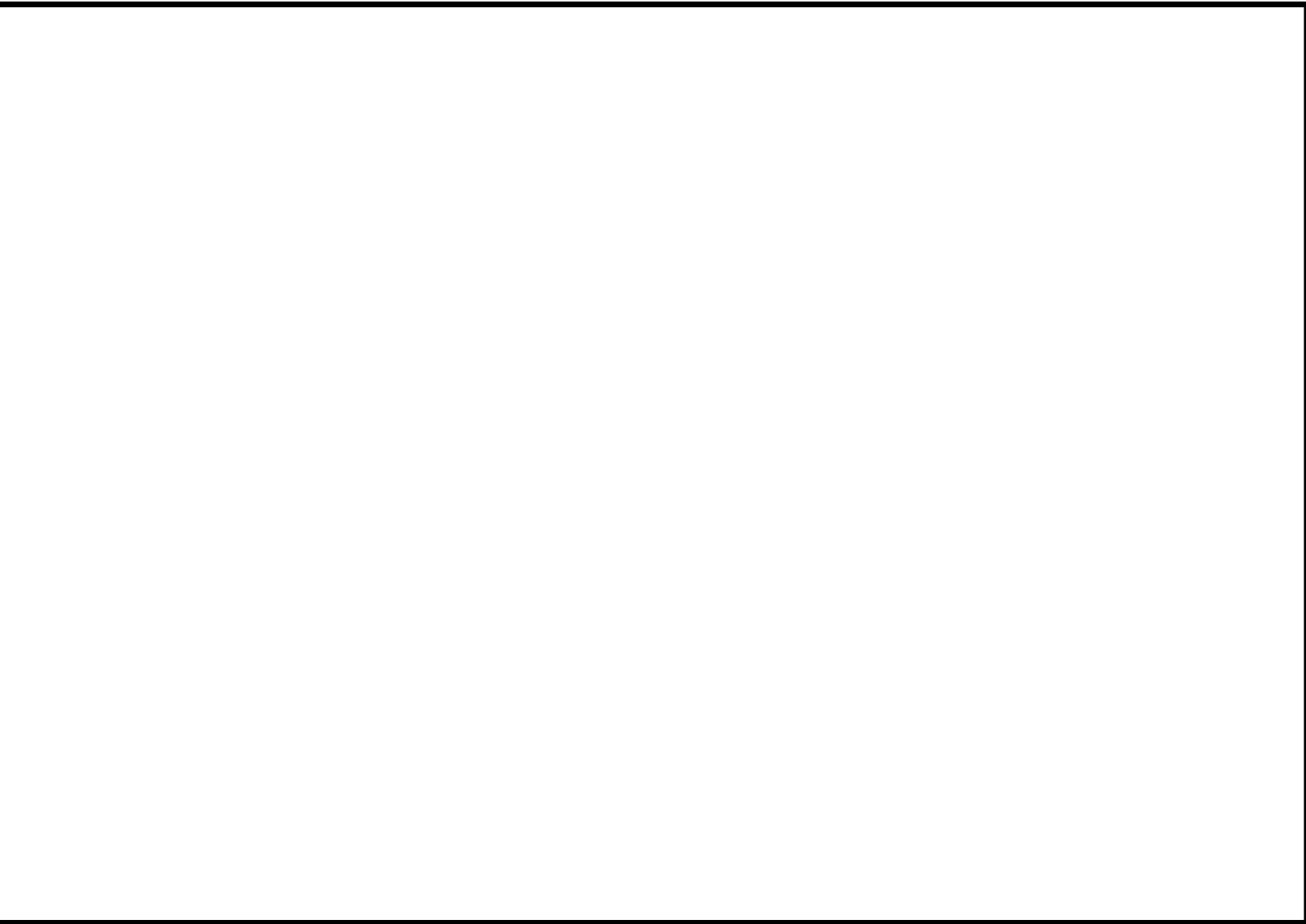
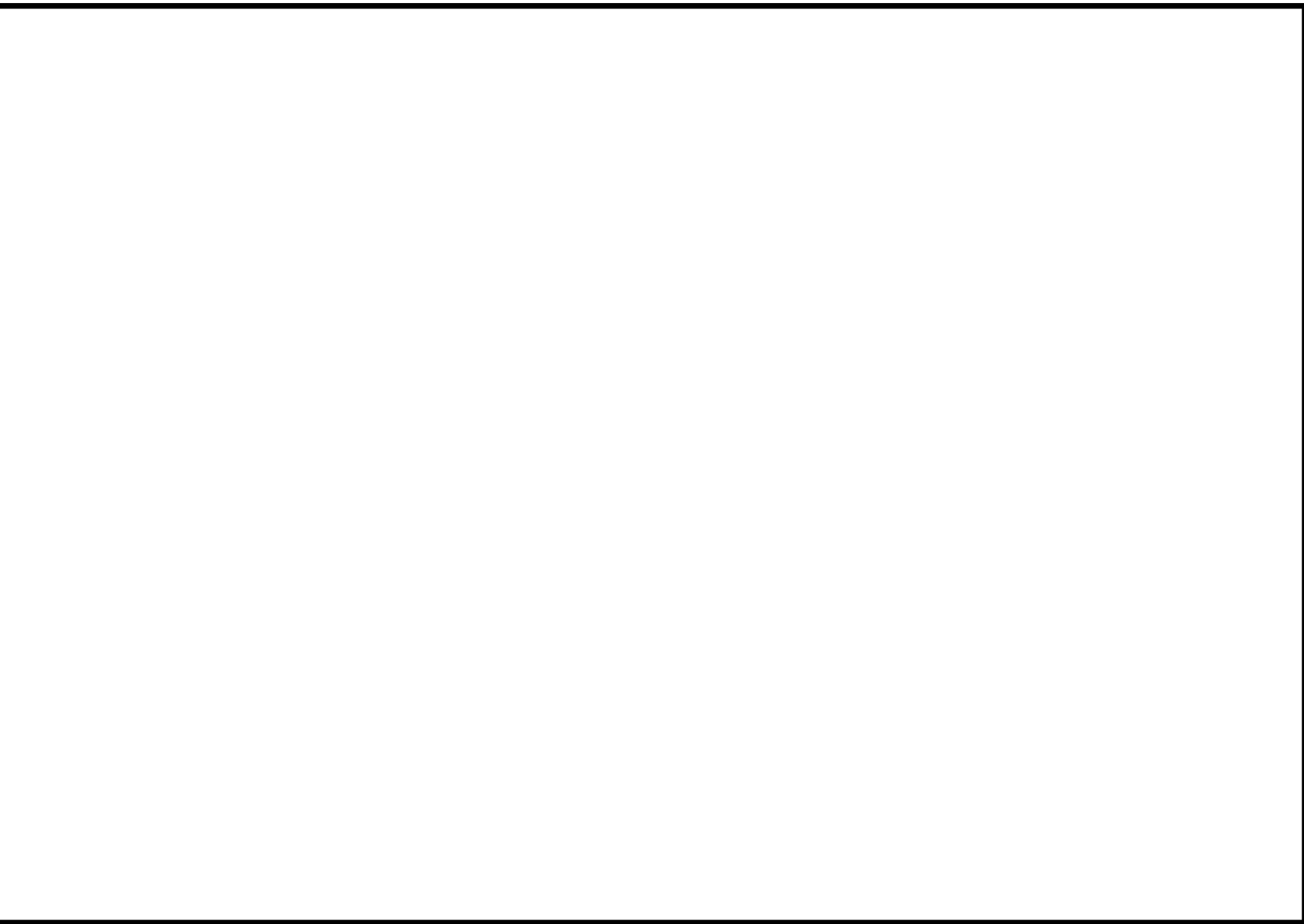
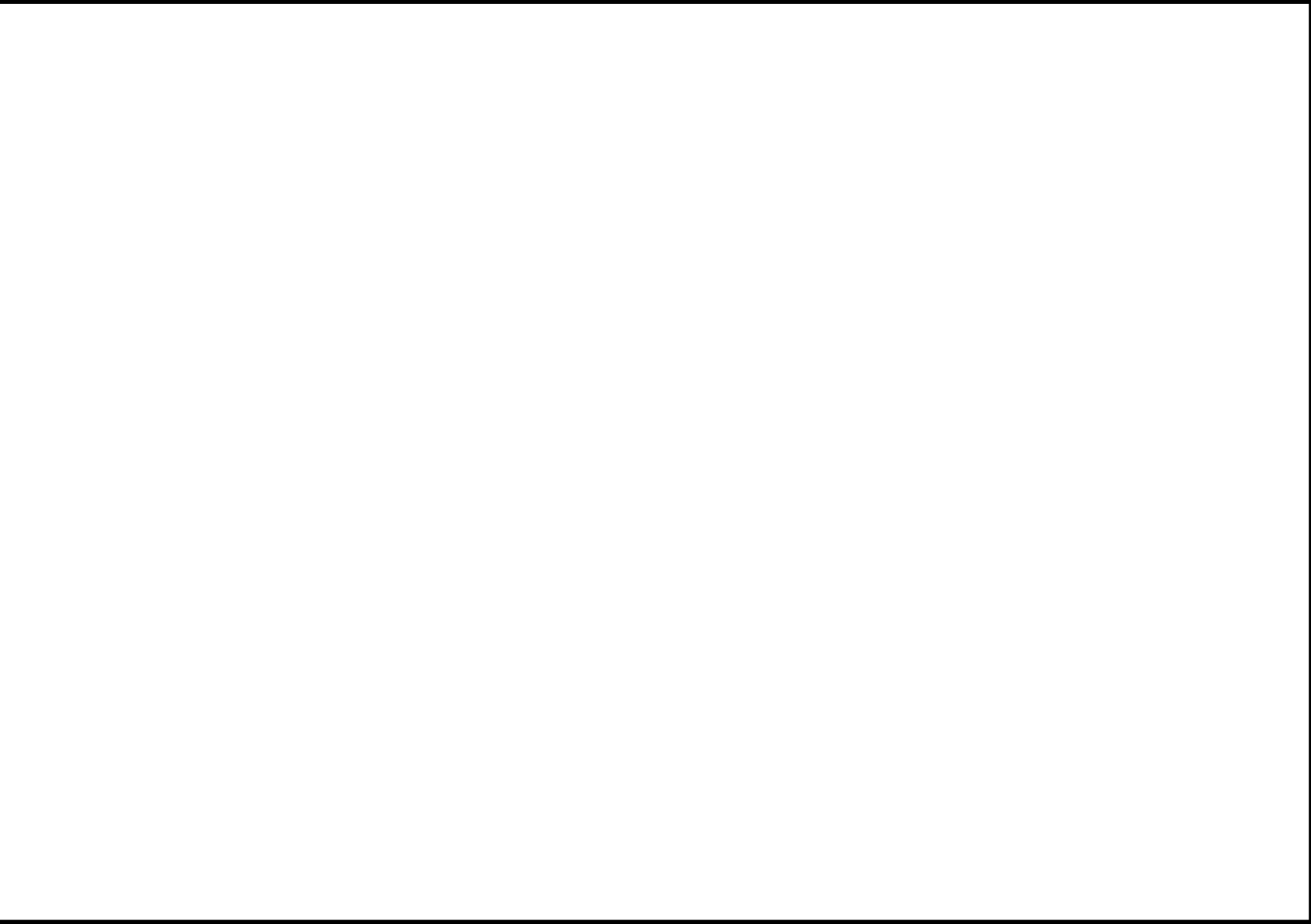
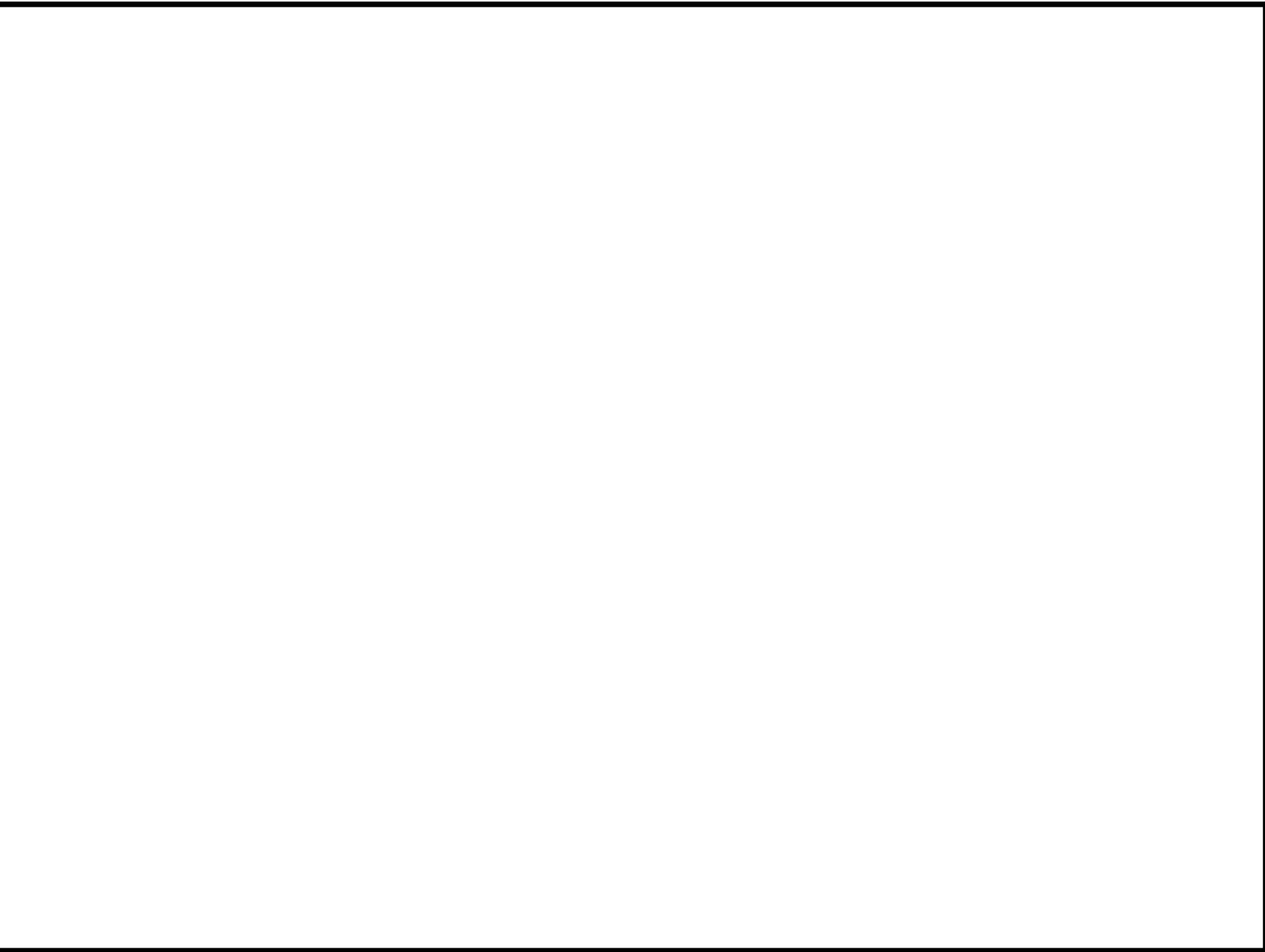
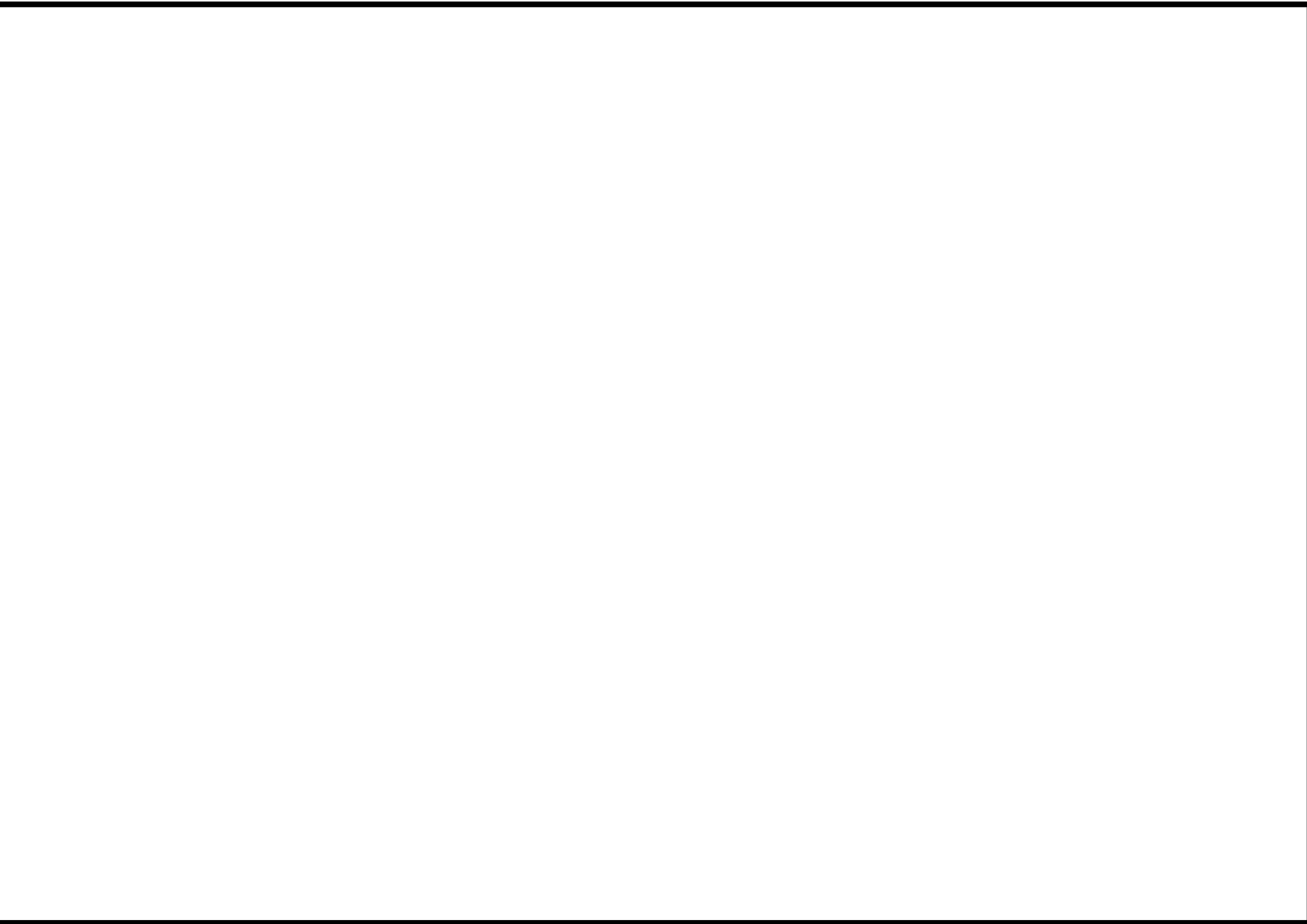
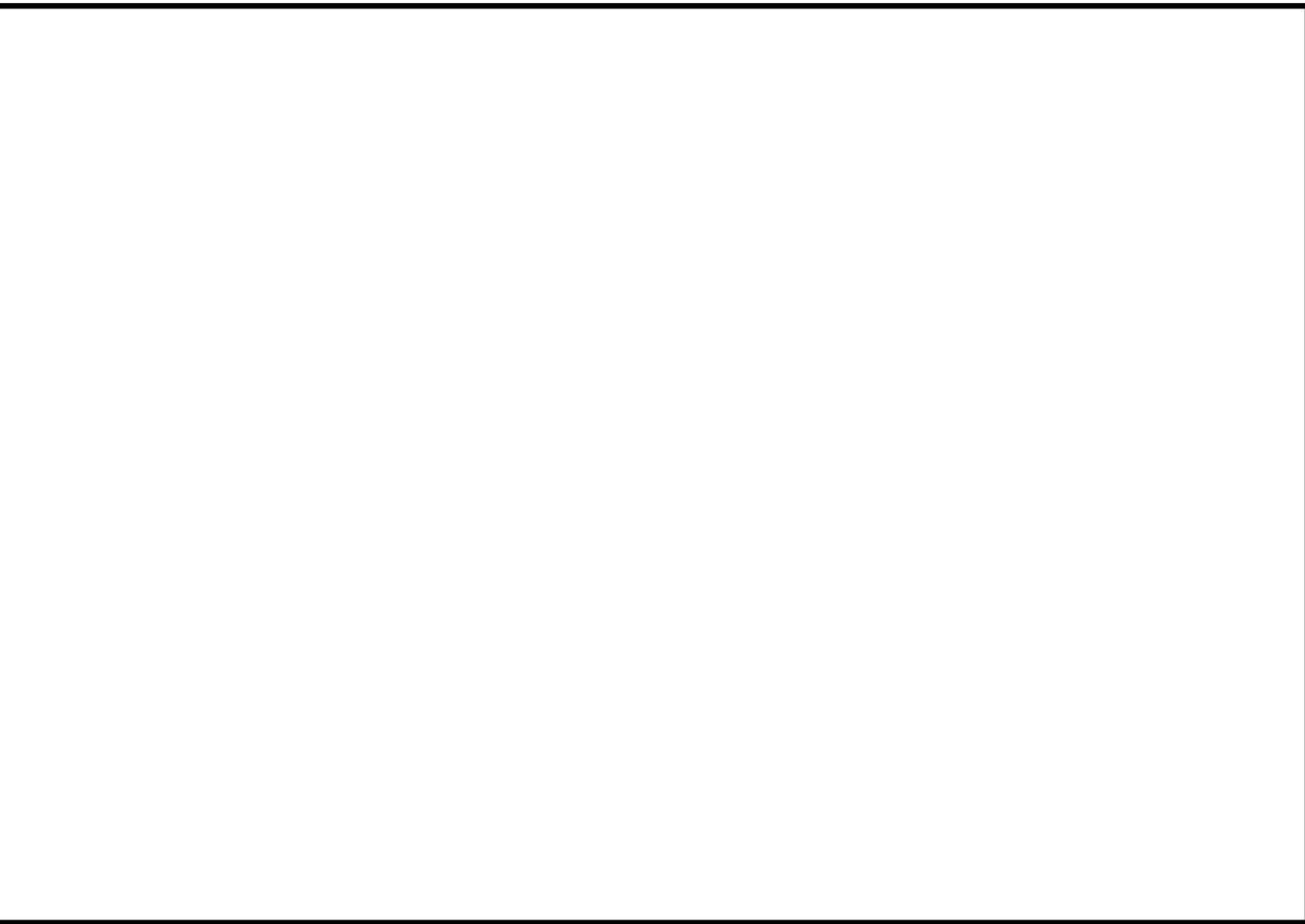
3 Plan Detail
A541 1 : 25



2 MILLWORK ELEVATION - LOCKERS
A541 1 : 25



4 Detail Section A
A541 1 : 25



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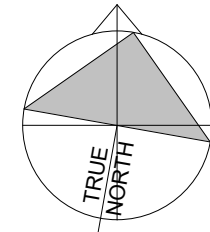


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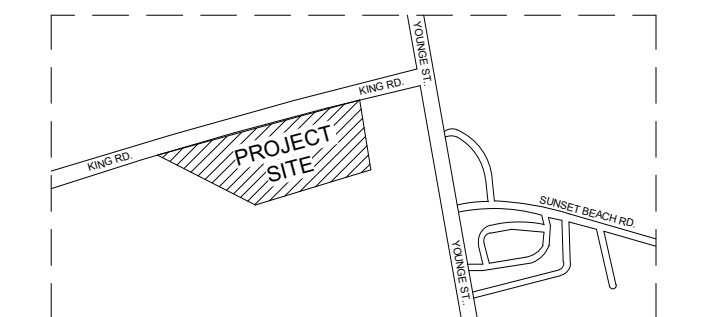
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DIGITAL REFERENCE:

PROJECT NO.: CAD011757-0343 CONTRACT NO.
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



2	2025-04-15	ISSUED FOR TENDER
1	2025-02-24	ISSUED FOR CLIENT REVIEW - TENDER
NO.	DATE	STAGE
PROJECT		ISSUED

CONNOR BUILDING
RENOVATIONS

DRAWING TITLE

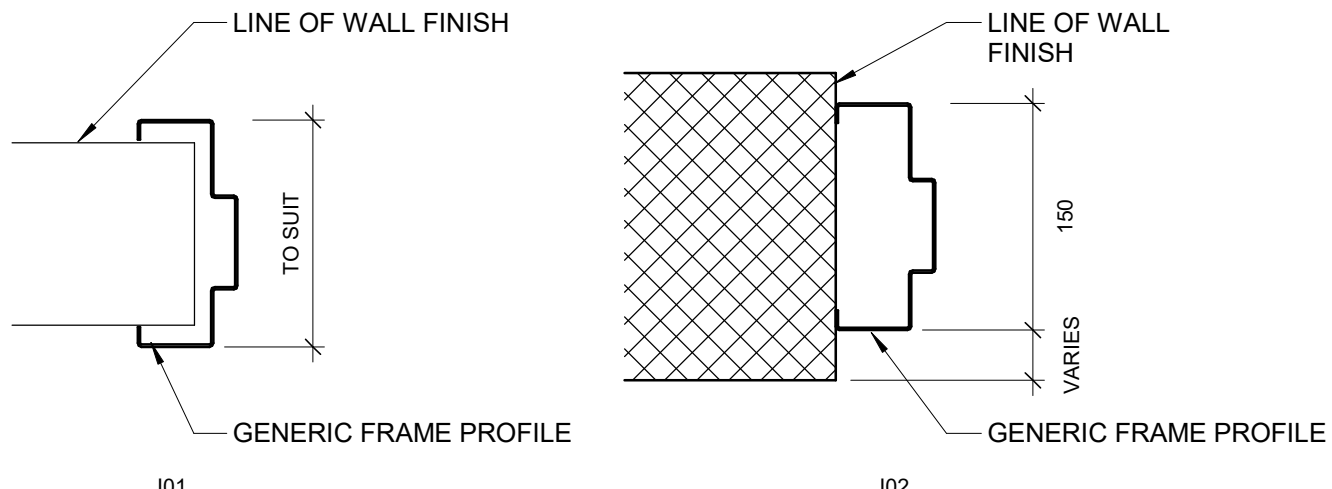
MILLWORK DETAILS

DRAWING NO.

A541

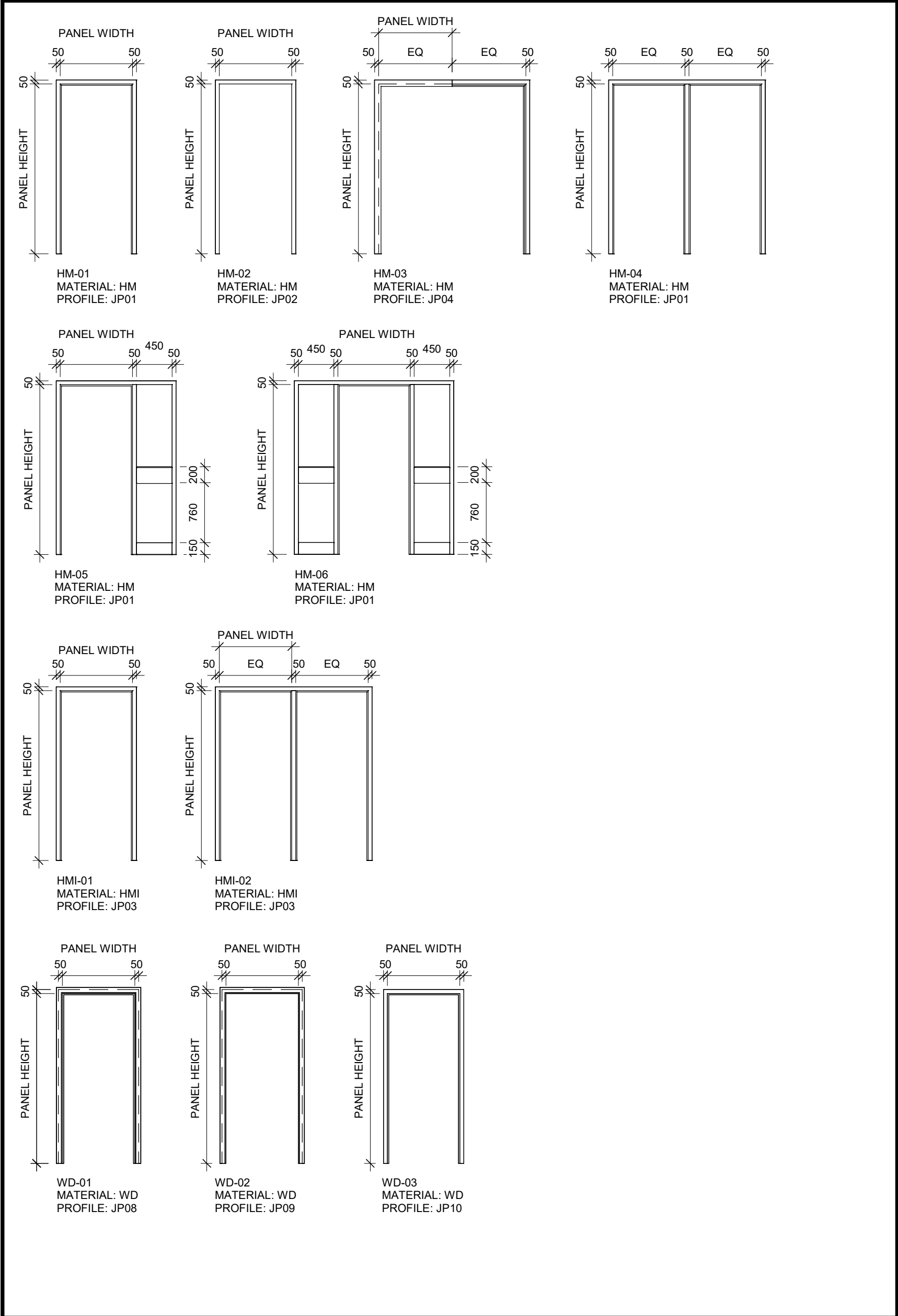
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DOOR SCHEDULE																			NOTES	
LOCATION			DOOR TYPE		DOOR SIZE						FRAME				HARDWARE NOTES	FIRE RATING				
TAG NO.	TO: ROOM NAME	FROM: ROOM NAME	Panel 1 Type	Panel 2 Type	MATERIAL	FINISH	GLAZING	WIDTH - PANEL 1	WIDTH - PANEL 2	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH				GLAZING		
101A	EXTERIOR	WORKSHOP/STORAGE	P05		ALUMINUM	ANNODIZED	THERMAL UNITS	982		2166	44		AL	ANNODIZED	NONE					
101B	EXTERIOR	WORKSHOP/STORAGE	D91		INSULATED SECTIONAL	ANNODIZED	NONE	3050		3650	75		-		NONE	POWER OPERATOR				
101C	ELEV. SHAFT	aisle	P01		HOL. METAL	PAINTED	NONE	915	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	Fire rated	0.75 HR		
102A	VESTIBULE	GARAGE	P01		HOL. METAL	PAINTED	FIRE-LITE	965	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	FIRE RATED	1.0 HR		
102B	aisle	VESTIBULE	P01		HOL. METAL	PAINTED	NONE	865	0	2150	45		HM-01	HOL. METAL	PAINTED	NONE				
102C	VESTIBULE	WORKSHOP/STORAGE	P01		HOL. METAL	PAINTED	NONE	865	0	2150	45		HM-01	HOL. METAL	PAINTED	NONE				
102D	VESTIBULE	EXTERIOR	P05		ALUMINUM	ANNODIZED	THERMAL UNITS	873		2111	44		AL	ANNODIZED	NONE					
103C	aisle	ELEV. SHAFT						1055		2134										
105A	KITCHENETTE	EXTERIOR	P05		ALUMINUM	ANNODIZED	THERMAL UNITS	997		2166	44		AL	ANNODIZED	NONE					
105B	UNDER-STAIR JANITOR	KITCHENETTE	P01		HOL. METAL	PAINTED	NONE	915	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	PASSAGE SET			
105B-A	KITCHENETTE	ELEC. DIST. ROOM	P01	P01	HOL. METAL	PAINTED	NONE	1015	1015	2150	50		HM-01	HOL. METAL	PAINTED	NONE		45 MIN		
105B-B	ELEC. DIST. ROOM	KITCHENETTE	P01		HOL. METAL	PAINTED	NONE	1015	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE		45 MIN		
105B-C	ELEC. DIST. ROOM	KITCHENETTE	P01		HOL. METAL	PAINTED	NONE	915	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE		45 MIN		
105B-D	KITCHENETTE	ELEC. DIST. ROOM	P01	P01	HOL. METAL	PAINTED	NONE	865	865	2150	50		HM-01	HOL. METAL	PAINTED	NONE		45 MIN		
105C	EXTERIOR	GARAGE EXTENSION	P01		INSULATED HOLD. METAL	PAINTED	INSUL. UNITS	915	0	2150	50		HM-01	INSUL. HOL. METAL	PAINTED	NONE	EXTERIOR			
106	WC 01	aisle	P01		HOL. METAL	PAINTED	NONE	965	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	PRIVACY SET PACKAGE			
107	WC 02	aisle	P01		HOL. METAL	PAINTED	NONE	965	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	PRIVACY SET PACKAGE			
108	SHOWER		P01		HOL. METAL	PAINTED	NONE	915	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	PRIVACY SET PACKAGE			
109	aisle	SHOWER	P01		HOL. METAL	PAINTED	NONE	915	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	PRIVACY SET PACKAGE			
110B	GARAGE		P10		INSULATED SECTIONAL	PAINTED		3600		3050	75		-	STEEL FRAME	PAINTED		EXISTING			
110C	GARAGE	EXTERIOR	P10		INSULATED SECTIONAL	PAINTED		3600		3050	75		-	STEEL FRAME	PAINTED		EXISTING			
114	WORKSHOP/STORAGE	SPRINKLER ROOM	P01		HOL. METAL	PAINTED	NONE	915	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	PRIVACY SET PACKAGE			
201A	EXIT STAIR	aisle	P02		HOL. METAL	PAINTED	FIRE-LITE	915	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	FIRE RATED	0.75 HR		
201B	aisle	ELEV. SHAFT						1055		2134										
202A	MEETING ROOM	aisle	P04		HOL. METAL	PAINTED	CLEAR	865	865	2150	50		HM-01	HOL. METAL	PAINTED	NONE				
204	ADDITIONAL STORAGE	OFFICE	P01		HOL. METAL	PAINTED		865	0	2150	45		HM-01	HOL. METAL	PAINTED	NONE	PASSAGE SET			
205	BF WC	aisle	P01		HOL. METAL	PAINTED		865	0	2150	45		HM-01	HOL. METAL	PAINTED	NONE	UNIV. BF HARDWARE			
208	STORAGE	aisle	P01		HOL. METAL	PAINTED		965	0	2150	45		HM-01	HOL. METAL	PAINTED	NONE	PASSAGE SET			
210	aisle	IT / DATA CLOSET	P01		HOL. METAL	PAINTED	NONE	915	0	2150	50		HM-01	HOL. METAL	PAINTED	NONE	FIRE RATED	0.75 HR		
HS01	EXTERIOR	HEATED SHED	P01	P01	INSULATED HOLD. METAL	PAINTED	NONE	915	915	2150	45		HM-02	INSUL. HOL. METAL	PAINTED	NONE	EXTERIOR + DEADBOLT			



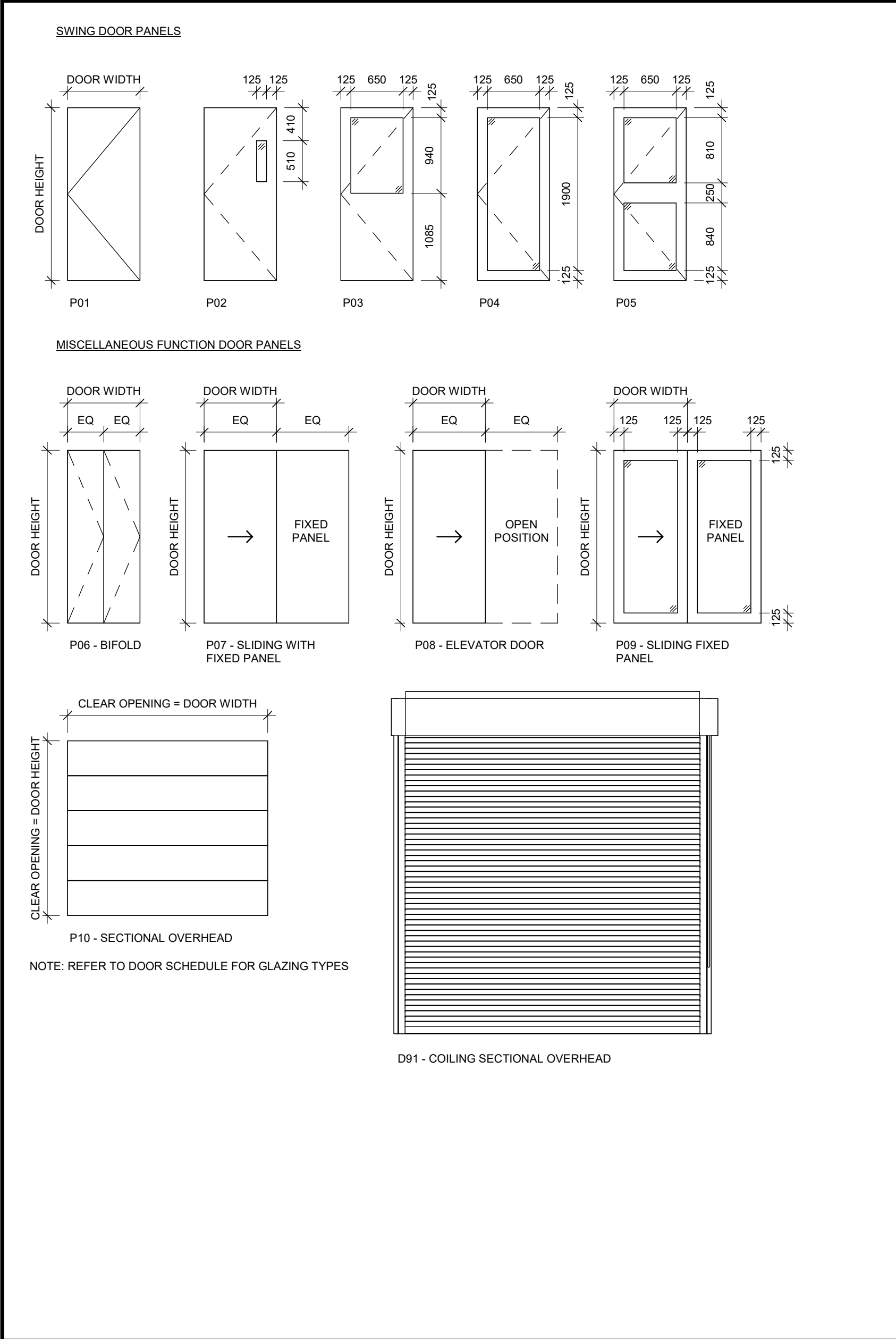
DOOR JAMB TYPES

1 : 5



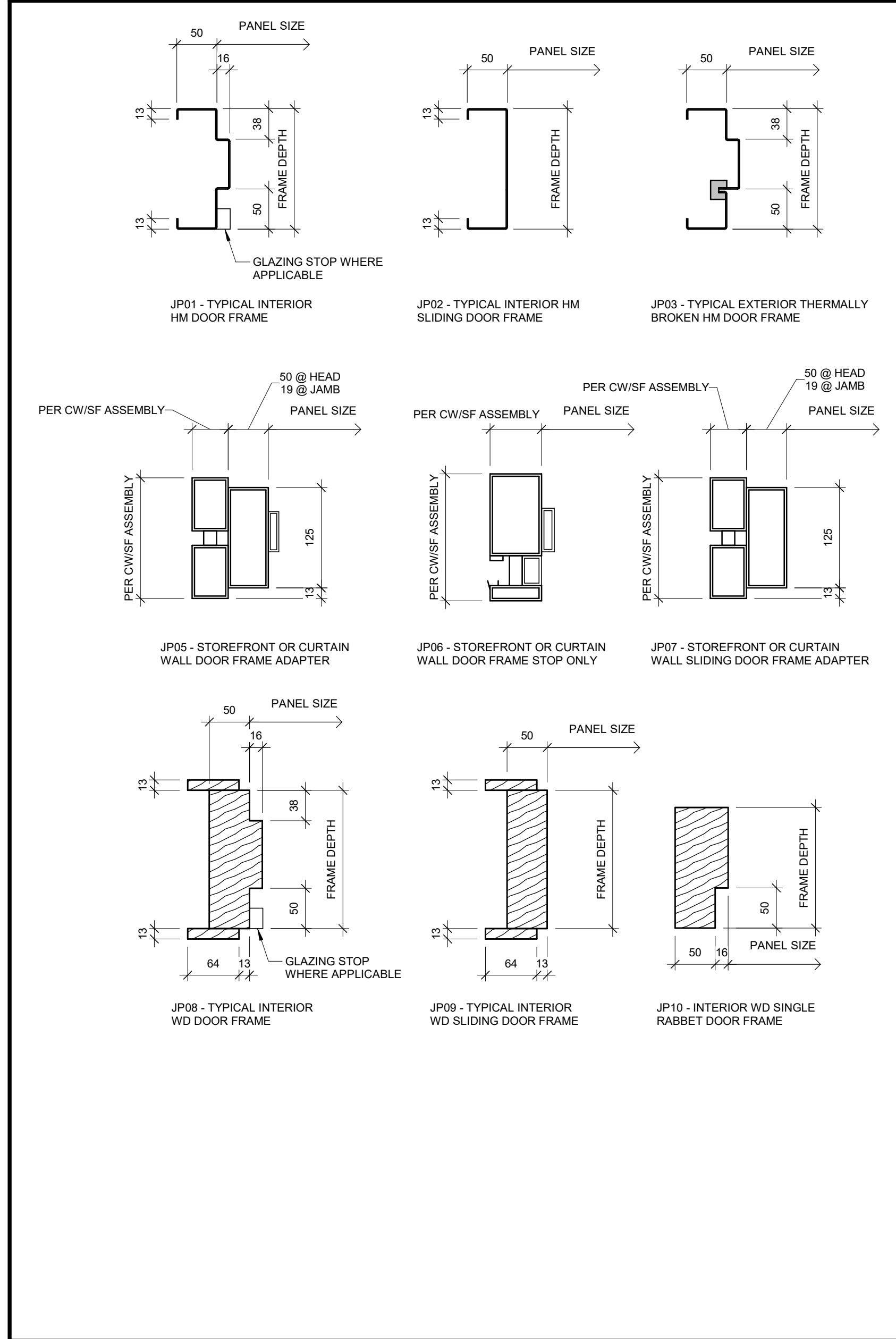
DOOR FRAME TYPES

1 : 50



DOOR PANEL TYPES

1 : 50



DOOR JAMB PROFILES

1 : 5

ROOM FINISH SCHEDULE																		
Number	Name	FLOOR		BASE		WALLS								CEILINGS				Comments
		Material	Finish	Material	Finish	NORTH		EAST		SOUTH		WEST		Material	Finish	Height		
101	WORKSHOP/STORAGE	VCT	CLEAR SEALER						PT						GWB	PAINT		
102	VESTIBULE	VCT																
103	aisle	VCT																
104	LOCKER AREA	VCT																
105	KITCHENETTE	VCT	CLEAR SEALER												EXPOSED	PAINT		
105A	UNDER-STAIR JANITOR	CONCRETE																
105B	ELEC. DIST. ROOM	CONCRETE	CLEAR SEALER															
106	WC 01	VCT	CLEAR SEALER												GWB, MOISTURE RESIST	PAINT		
107	WC 02	VCT	CLEAR SEALER	TILE BASE											GWB, MOISTURE RESIST	PAINT		
108	SHOWER	CERAMIC TILE		TILE BASE		CERAMIC TILE		CERAMIC TILE		CERAMIC TILE		CERAMIC TILE		CERAMIC TILE	GWB	PAINT		
109	SHOWER	CERAMIC TILE		TILE BASE	NONE	CERAMIC TILE		CERAMIC TILE		CERAMIC TILE		CERAMIC TILE		CERAMIC TILE	GWB	PAINT		
110	GARAGE	CONCRETE	CLEAR SEALER	NONE														
111	GARAGE EXTENSION	CONCRETE	CLEAR SEALER	NONE	NONE													
112	STAIRCASE 1																	
113	MAIN ELECTRICAL ROOM	CONCRETE																
114	SPRINKLER ROOM	CONCRETE																
201	aisle	CARPET TILE																
202	MEETING ROOM	CARPET TILE																
203	OFFICE	CARPET TILE																
204	ADDITIONAL STORAGE	CARPET TILE																
205	BF WC	VCT																
208	STORAGE	VCT																
209	EXIT STAIR																	
210	IT / DATA CLOSET	CONCRETE																
EL-1	ELEV. SHAFT	CONCRETE	CLEAR SEALER	NONE	NONE													
EL-1A	ELEV. MACHINE ROOM	CONCRETE	CLEAR SEALER	NONE	NONE													
EXT	EXTERIOR																	
HS01	HEATED SHED	CONCRETE	CLEAR SEALER	NONE	NONE													



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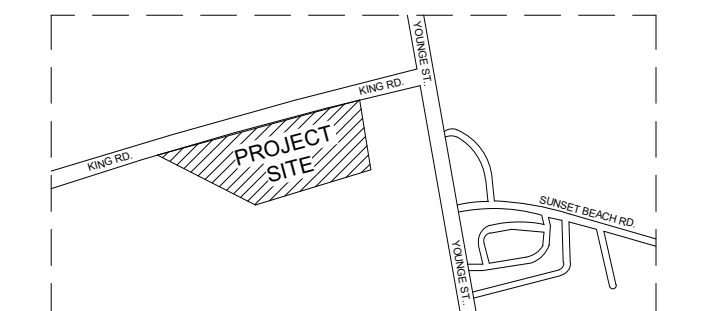
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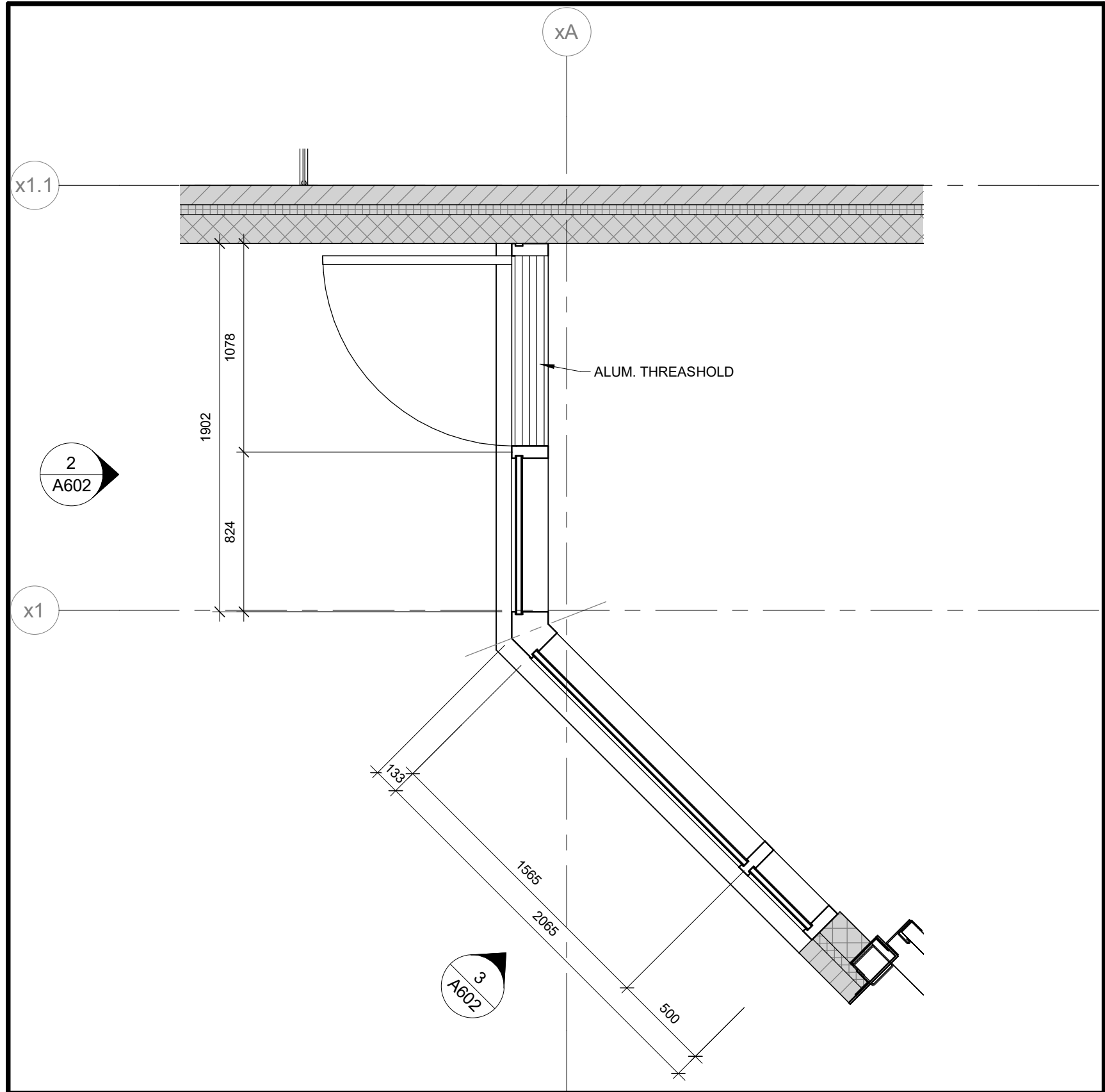


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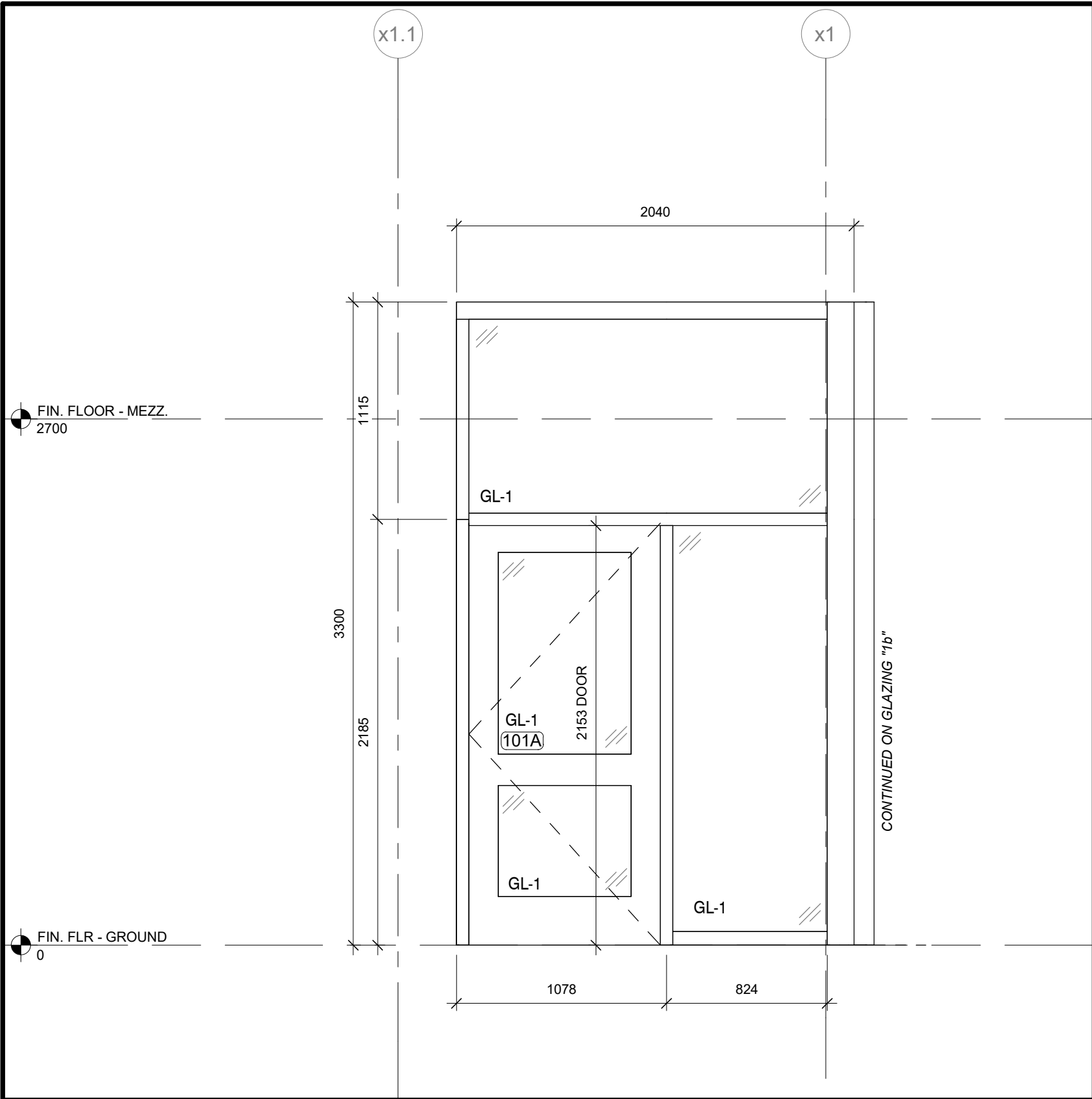


CONNOR BUILDING
RENOVATIONS

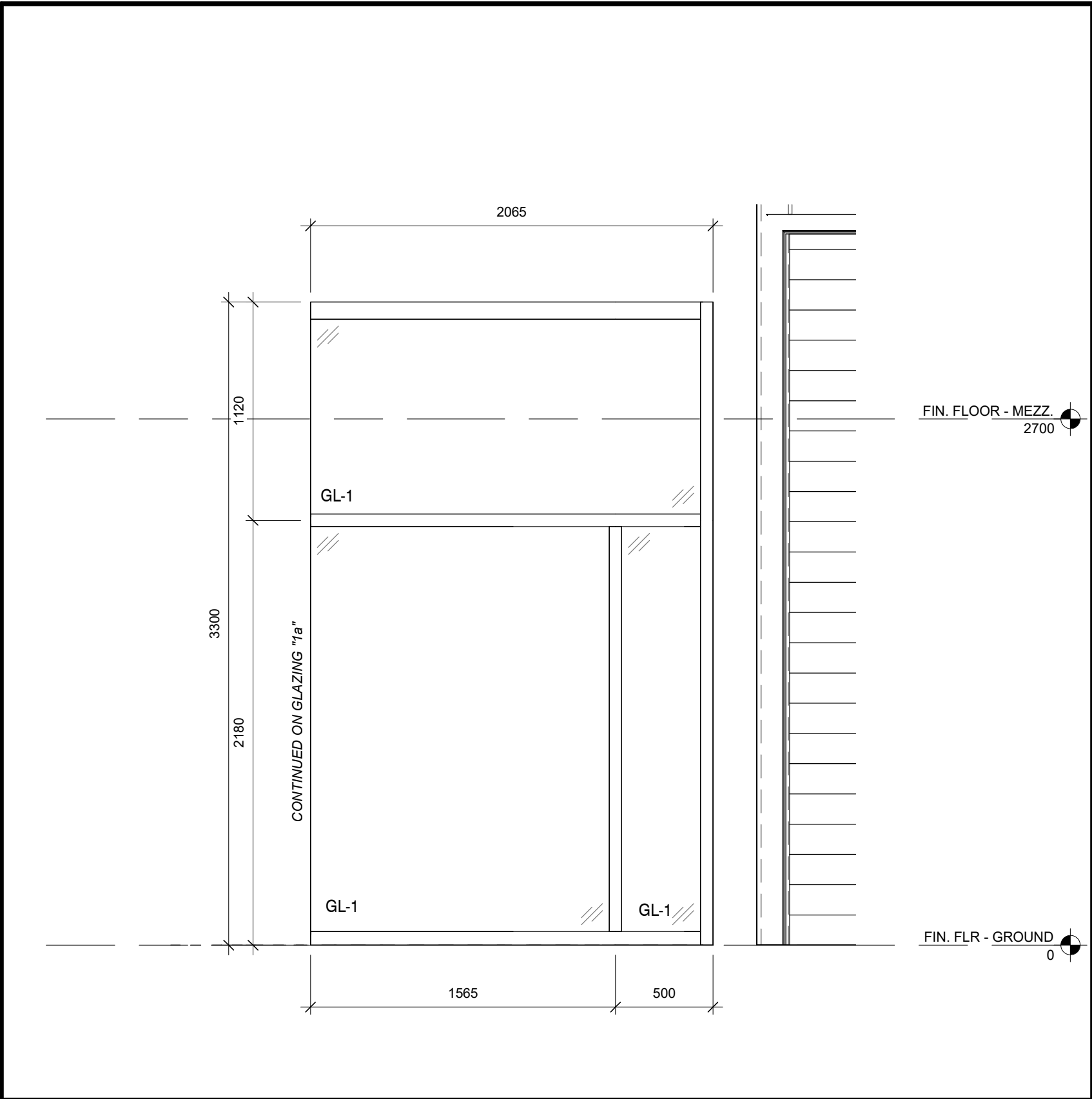
DOOR & ROOM FINISH
SCHEDULE



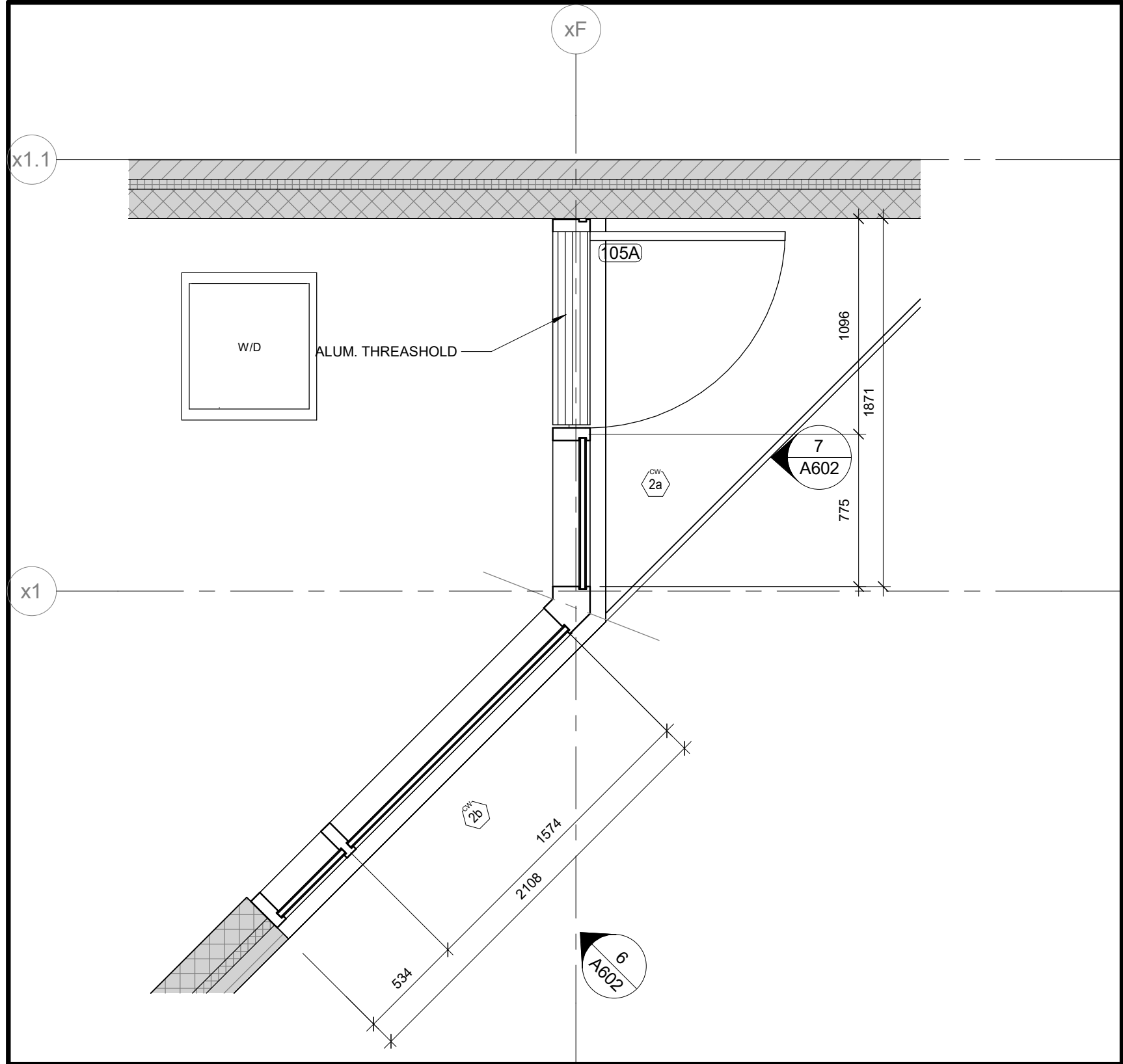
1 ENLARGED GLAZING PLAN - CW1
A602 1 : 25



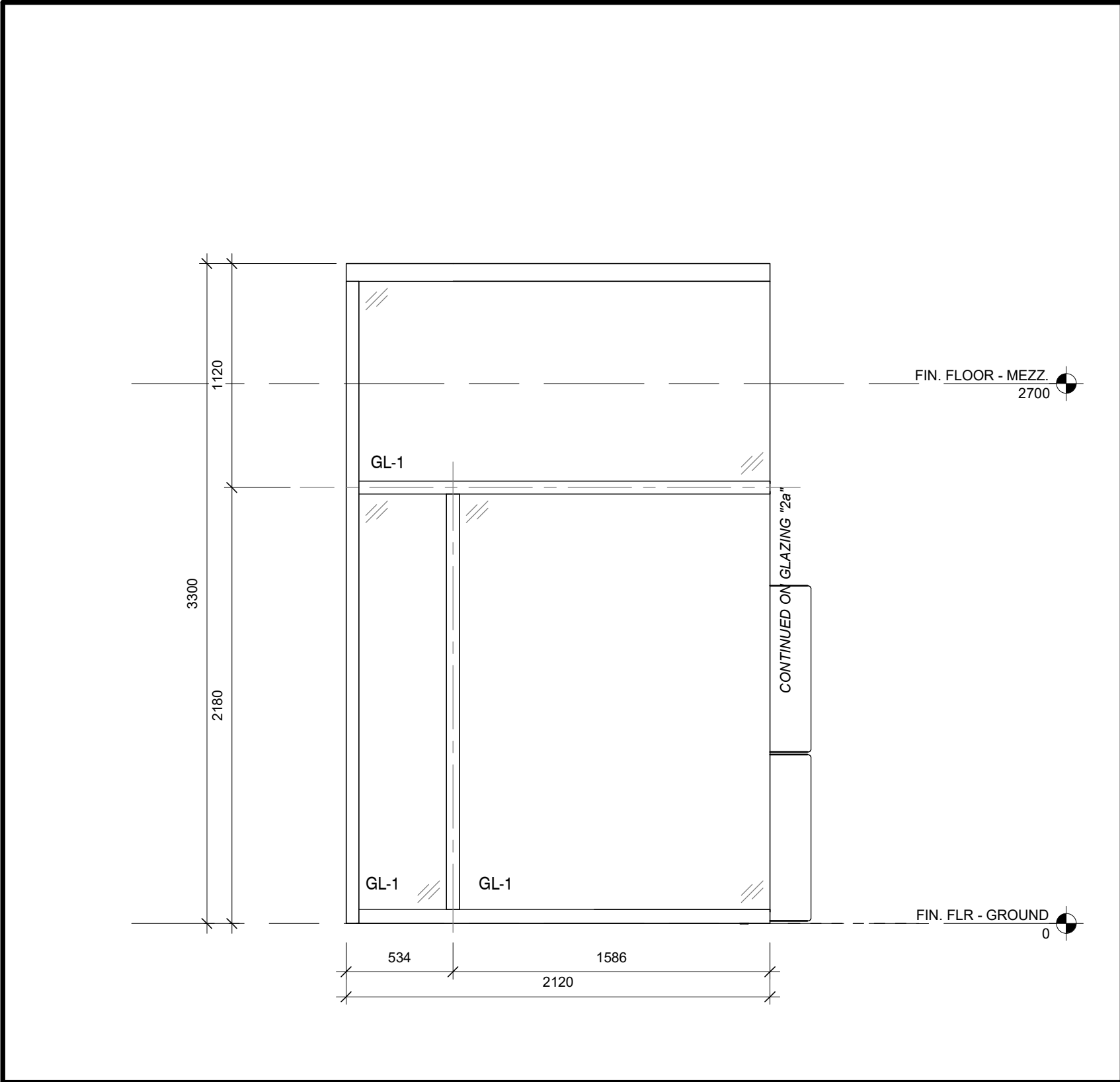
2 GLAZING ELEVATION - CW1a
A602 1 : 25



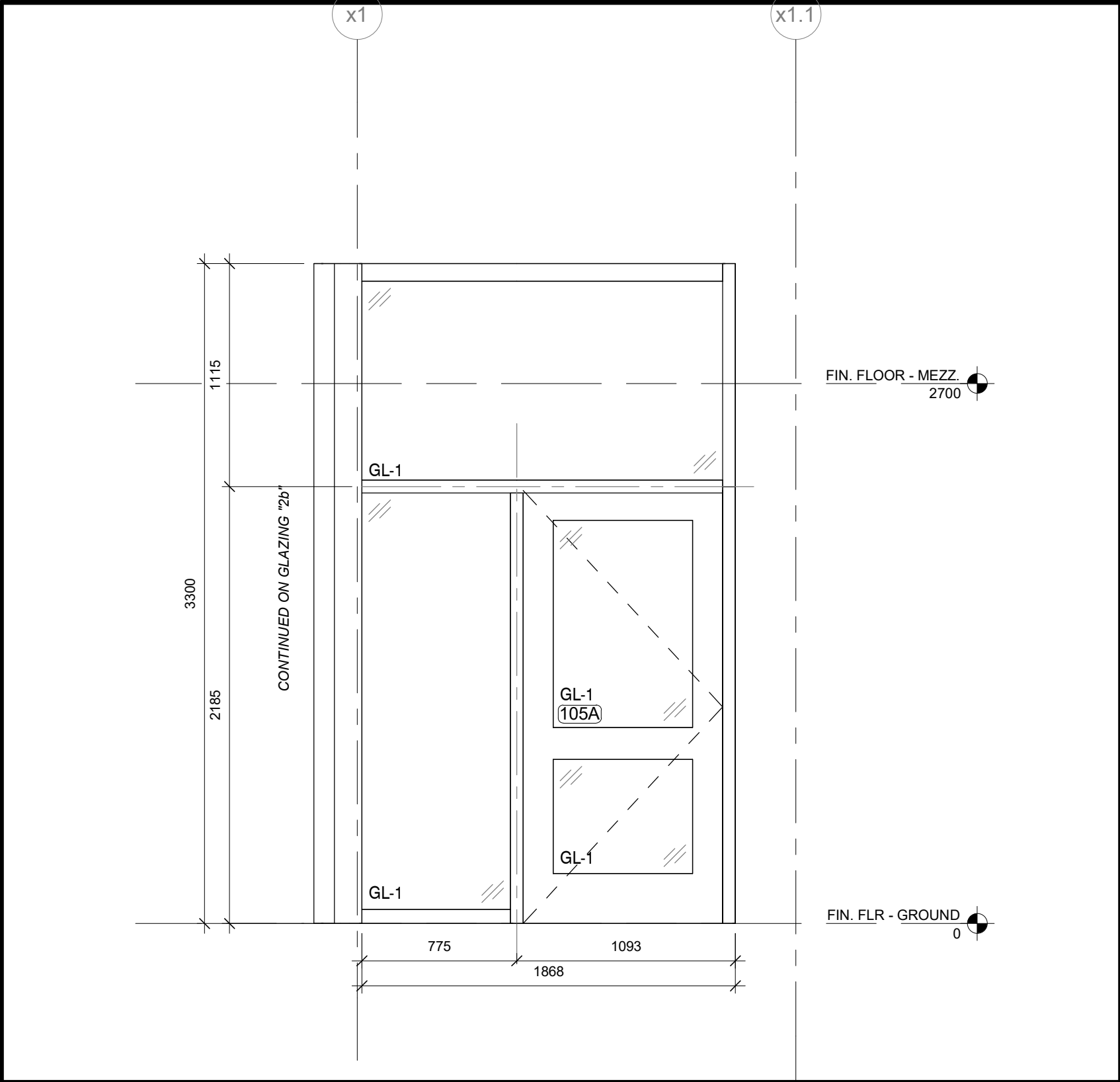
3 GLAZING ELEVATION - CW1b
A602 1 : 25



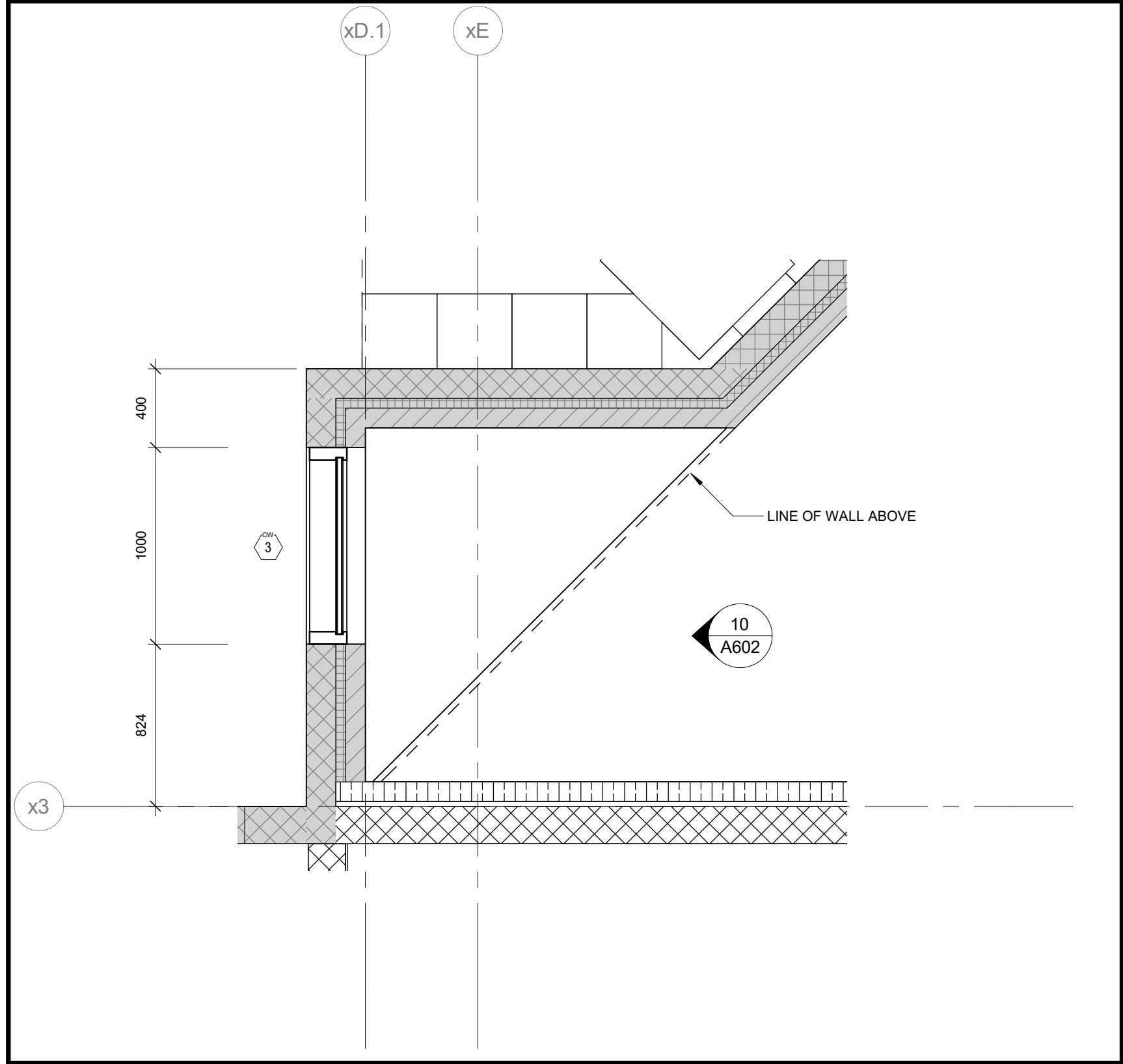
5 ENLARGED GLAZING PLAN - CW2
A602 1 : 25



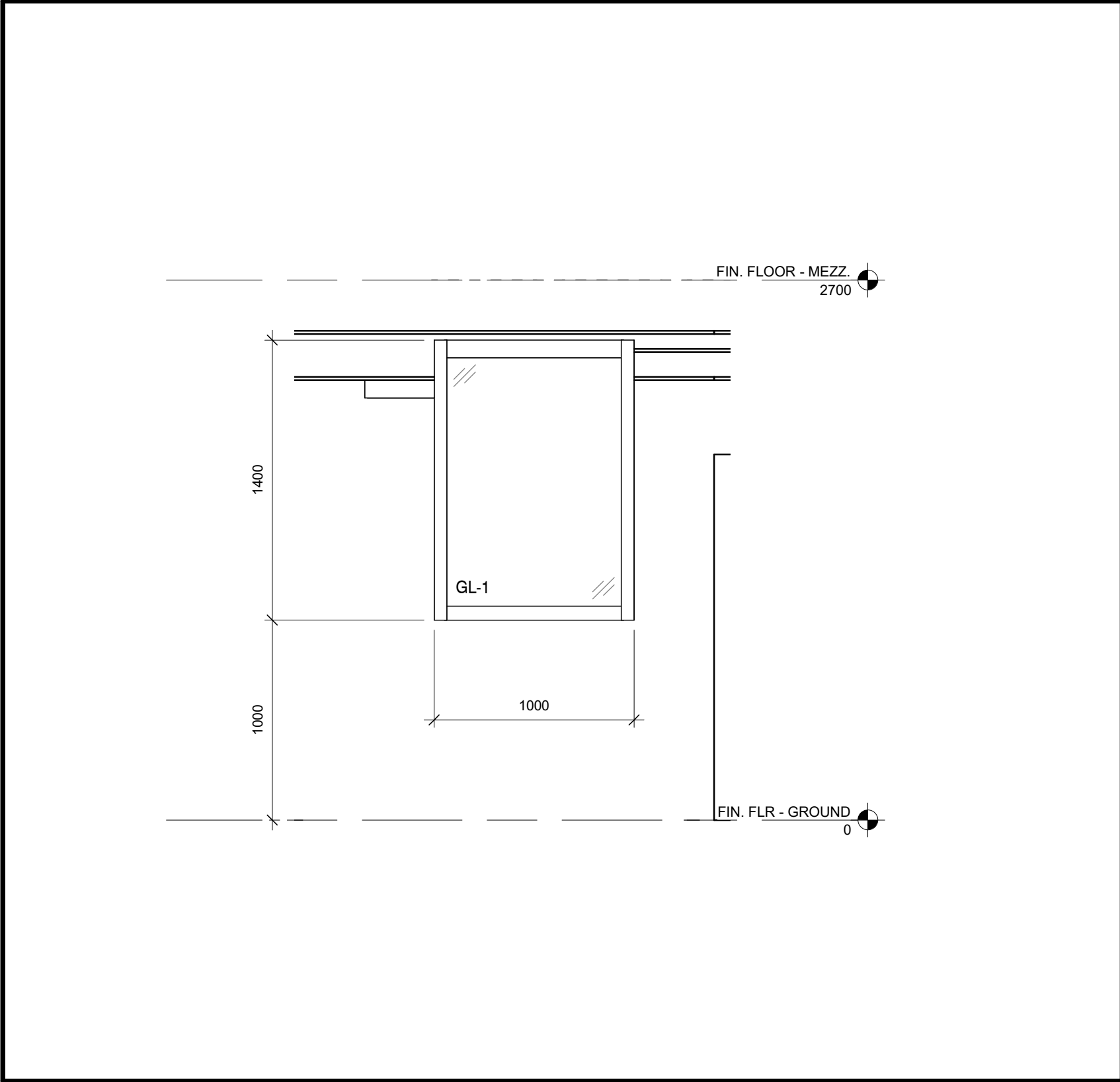
6 GLAZING ELEVATION - CW2b
A602 1 : 25



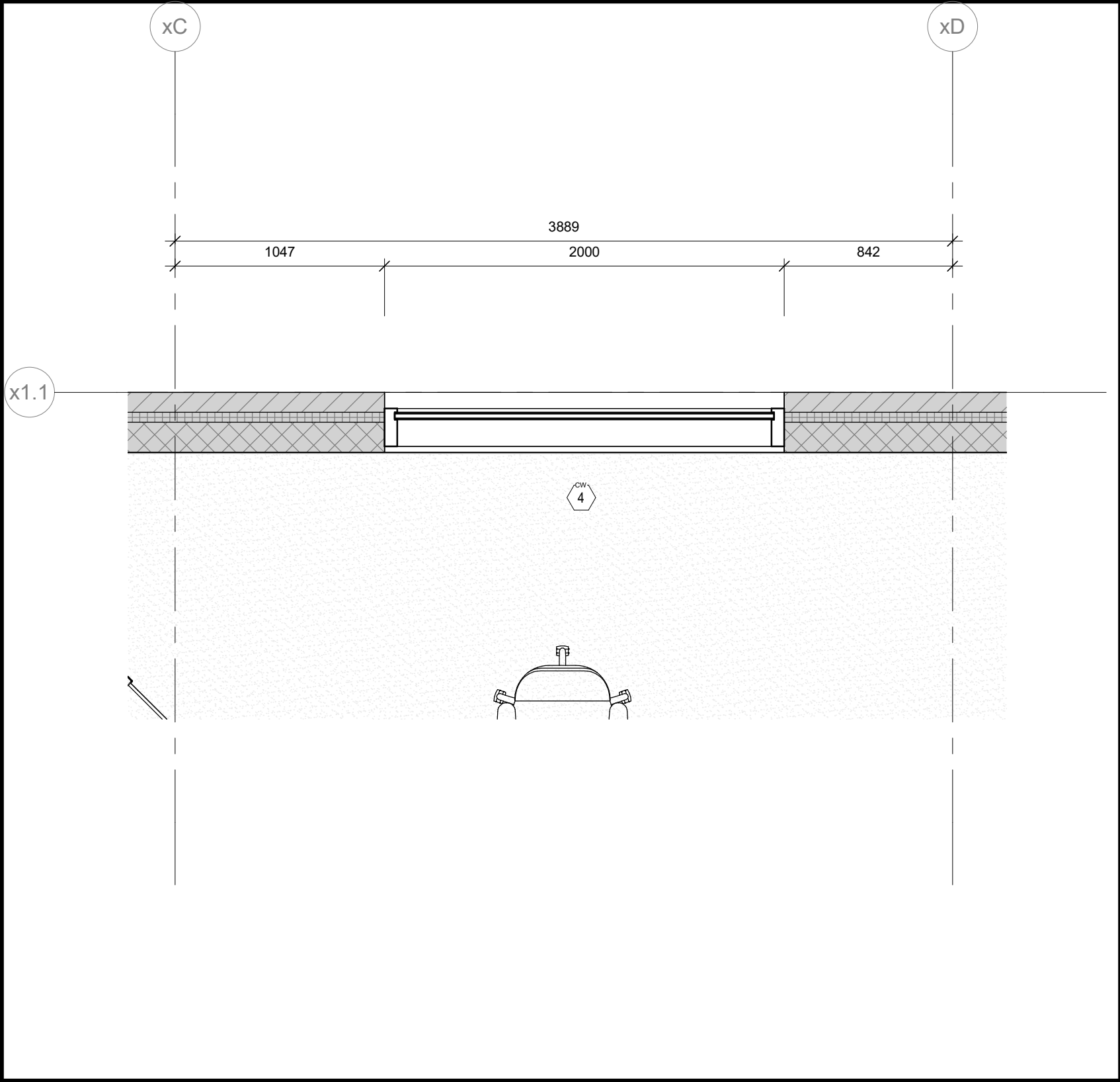
7 GLAZING ELEVATION - CW2a
A602 1 : 25



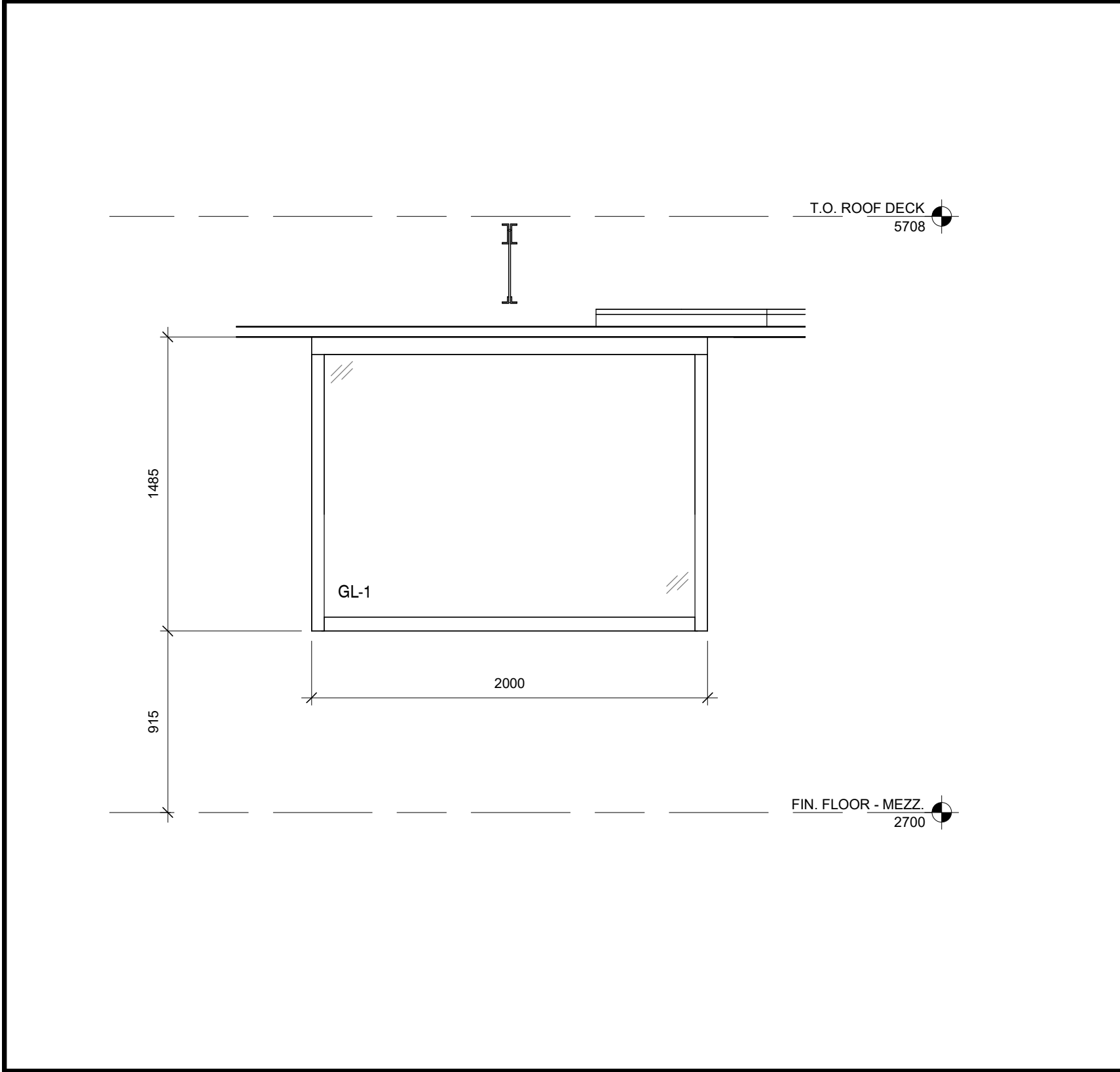
9 ENLARGED GLAZING PLAN - CW3
A602 1 : 25



10 GLAZING ELEVATION - CW3
A602 1 : 25



11 ENLARGED GLAZING PLAN - CW4
A602 1 : 25

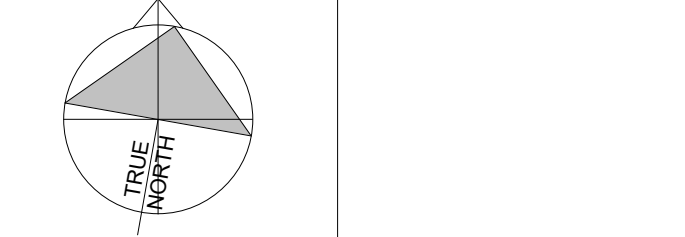


12 GLAZING ELEVATION - CW4
A602 1 : 25

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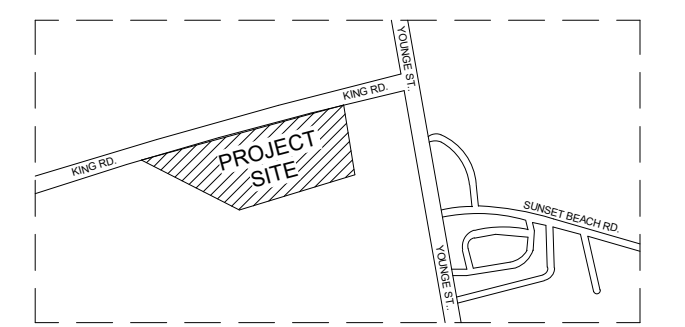
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NORTH ARROW: DIGITAL REFERENCE.



PROJECT NO.: CANN11757-0343 CONTRACT NO.
DRAWN BY: Author CHECKED BY: Checker APPROVED BY: Approver

KEYPLAN:



5	2025-04-15	ISSUED FOR TENDER
4	2025-03-17	RE-ISSUED FOR SITE PLAN APPROVAL -
3	2025-02-24	REVISIONS
2	2025-01-10	ISSUED FOR CLIENT REVIEW - TENDER
1	2024-12-16	STAGE
0		ISSUED FOR BUILDING PERMIT
		RE-ISSUED FOR SITE PLAN APPROVAL
		ISSUED

PROJECT

CONNOR BUILDING
RENOVATIONS

DRAWING TITLE

GLAZING SCHEDULE

DRAWING NO.

A602

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