



**RFT25-06-1 - City Hall 2nd Floor Renovation and Washrooms Plumbing
Replacement**

Addendum# 1

May 2, 2025

This Addendum is issued for the purpose of clarifying, amending or revising information contained in the Contract Documents.

Please note the following changes to the above noted tender:

NEW: CLOSING DATE AND TIME: Tuesday May 13, 2025 - 2:00 PM Local Time

Clarifications:

Project A:

- On Sheet A211: Millwork for Coffee Stations noted as M01, M02 and M03, including all cabinetry and countertop, is to be removed from the work.
- On Sheet A711: Millwork Details are to be deleted in their entirety. The millwork is not included in the Contract.
- Specification Section 066100 Solid Surface Fabrications is no longer applicable, as the removal of millwork means solid surface fabrications are no longer required for this project.
- We note that floor and wall finishes in the area of the deleted millwork shall match adjacent finishes.
- We note that electrical requirements shown on Sheet E2 at the coffee station locations remain as a requirement to the work.

Additional General Notes:

- City hall parking lot will be closed for below periods. Please see the **attached Uptown Parking Map** for additional available parking near city hall during the closure.
 - July 17th to July 20th
 - August 20th to August 25th
 - November 11
- From time to time, the city may request that the General Contractor refrain from scheduling deliveries on the day of scheduled events.

Question 1:

What are the timelines for each Project and each Phase?

Answer 1:

Refer to Description of Bid, Table 1: Key Project Milestones – Project A (pg. 27 of 44). See also Division 1 Specification Section 013020 item 1.3.

Question 2:

Is there a possibility for a bid extension? (1 week preferably)

Answer 2:

Yes. New closing date is May 13, 2025.

Question 3:

Questions from our drywall subtrade

Project A

Q.: Please advise on schedule, start date and substantial completion.

A.: Refer to Description of Bid, Table 1: Key Project Milestones – Project A (pg. 27 of 44). See also Division 1 Specification Section 013020 item 1.3

Q.: Ceiling tile noted as CX1 has a weird dimension, is this correct? New tile are proper sizes as 2x4, but the existing ones aren't. If we are to reinstall this material, we would need to know the existing system that was used.

A.: The existing ceiling tiles are metric-sized tiles, measuring 500 mm X 1500 mm. In the Phase 1 Planning area, the existing ceiling tiles will remain with select replacements as taken from the Phase 2 area. In the rest of area, new 2'x4' ceiling tiles will be installed. This work is as described in the ceiling types, sheet A001.

Q.: Detail 1/A2.3 is the top of the glazing partitions for the office. They show the glazing assembly being fastened to the ACT as the top support and having the act continue over top. You would typically have a box beam and a wall above the glazing/door to the U/S of structure for this to have proper support. Please have the architect confirm this detail.

A.: Detail 1 on Sheet A213 shows the demountable partition screen that is to be provided by a separate Contractor after completion of the ceiling work of this contract. The demountable partition is self supporting and uses the grid for lateral resistance only.

Q.: Please have the architect confirm if we can fasten the dropped ceiling hanging wires directly to the deck above.

A.: Bidders may assume that the suspension may be fastened to the steel deck and concrete assembly above, using appropriate fasteners into the concrete and spacing to suit the weight of the ceiling.

Q.: Please advise where the ceiling type C2 is, it is not shown on drawings.

A.: Ceiling type C2 was removed during the final design phase and does not apply to this project.

Q.: Spec item 092000 item 1.1.4 notes that not all work is shown on drawings but should be included in our contract. Please confirm this with the architect, as we will only be including for items that are noted on the drawings and as per the assembly schedule. Anything else is not quantifiable and wont result in comparable quotes.

A.: Thank you for your clarification. We note that the drawings typically do not show all required metal framing, accessories, and other elements required to complete the wallboard work. Nonetheless they are required in the Work and Contract

Q.: The assembly schedule notes 2 types of wall board, 1/2" and 5/8" type x. The below note on drawing A001 lists different types of wall board that are to be used on the drawing, and references the spec. The spec only notes the different types and data for them. The architect needs to specific where they want each type of wall board, as we wont pick and choose.

A.: The assembly schedule clearly indicates the use of 16mm fire-resistant type X gypsum wallboard for rated assemblies. Otherwise, 13mm normal weight wallboard is acceptable as per the partition type notations. The other types of wallboard listed in 092000 (2.2.2 to 2.2.5 inclusive) are not required for this project.

Q.: Please have them confirm where they want the items listed in the spec section:
Abuse, Water resistant, Tile backer, Cement board

A.: Please see answer to previous question

Q.: Please have the architect confirm the finish is level 4.

A.: Yes, Wall finish level 4 is acceptable, provided the workmanship produces finished surfaces without significant telegraphing of joints.

Q.: Please have the architect confirm if they will accept Owens corning quiet zone insulation in lieu of rockwool acoustic insulation.

A.: For bidding purposes provide the Rockwool as per specifications

Q.: Will parking be available on site?

A.: Site parking will be provided and coordinated with City upon award.

Q.: **Project B**

- Proper extents of new construction, assembly schedules, RCPs. Nothing is provided.

Phase 1

- Height from slab to U/S of structure

- Please provide RCP with proper notations.

- Please have architect confirm type of drywall and extents.

- Will need a new ceiling, cannot reinstall. Please have architect advise type of ceiling and materials.

- Potential of reinstalling an existing wall is slim, please have architect provide wall assembly for new install.

Phase 2

All the same other notes as phase 1

Please advise what the ceiling is and what these "pockets" are

Phase 3

All the same notes as the other phases. Little to no information.

A.: Please see the attached reissued drawings.

Question 4:

Phase #2 drawing M201, there is a note about replacing all sanitary piping serving 3RD floor fixtures in ceiling of 2ND to flood level rim of fixtures. This would require walls on 3RD floor washroom to be opened up. I was unable to find drawings regarding 3RD floor washroom.

Answer 4:

Revise general renovation note 2 to say: "replace all 1st floor above-ceiling sanitary vent piping. Replace all sanitary piping serving 2nd floor fixtures to flood rim level of individual fixtures.

Question 5:

Please provide a schedule for all the work to be performed during regular hours and after hours.

Answer 5:

Refer to the drawings and specs for the work to be completed after regular hours and to price accordingly. Planned after hour work need to be coordinate with and approved by the city staff before scheduling.

Question 6:

Please provide a list of holidays that the building will be considered unoccupied.

Answer 6:

See below Schedule for list of holidays that will be less occupied. Please note that no work should be scheduled on November 11.

Tuesday, July 1, 2025

Monday, August 4, 2025

Monday, September 1, 2025

Monday, October 13, 2025

Tuesday, November 11, 2025 (No work to happen)

Thursday, December 25, 2025

Friday, December 26, 2025

Question 7:

Please confirm if Criminal Background Checks are required.

Answer 7:

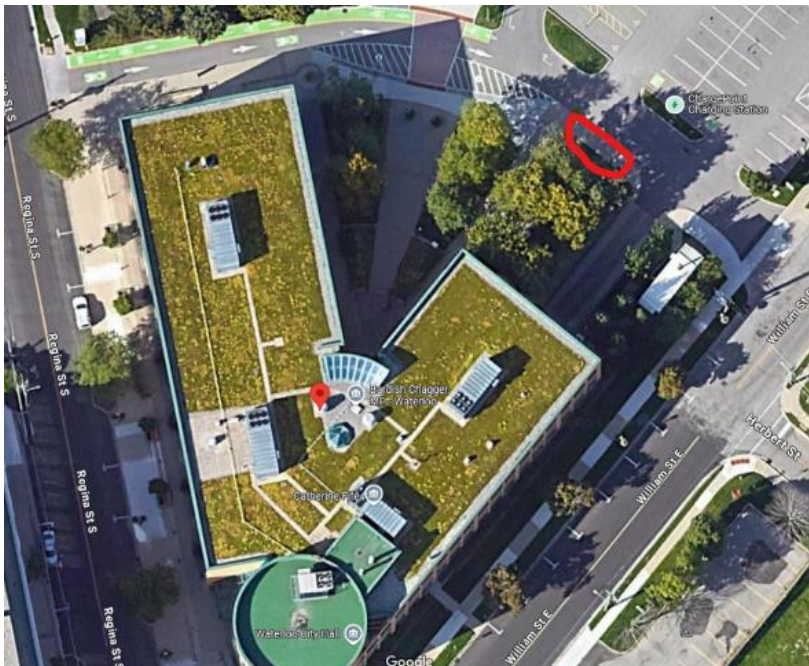
Not required.

Question 8:

Please confirm where waste and recycling containers can be located on site.

Answer 8:

See below picture with marked location:



Uptown Parking Map



Addendum 1 Continued

Clarifications for Project B

GENERAL

Item 1

- 1.0 Scheduling
 - .1 Hours of work in Raymond James space:
 - .1 Refer to front end specification and confirm with owner.
 - .2 Permitted shutdown for tie in:
 - .1 Refer to front end specification and confirm with owner.
 - .3 Permitted hours of Level 2 shutdown in Phase 1:
 - .1 Refer to front end specification and confirm with owner.
 - .4 Permitted hours of Level 1 shutdown in Phase 2:
 - .1 Refer to front end specification and confirm with owner.

ARCHITECTURAL

Item 1

- 1.0 Reference Attached Reissued Phase 1 Drawing A101 and Attached Reissued Phase 2 Drawing A101
 - .1 Revise drawings to include wall assembly schedules.

Item 2

- 2.0 Reference Attached Reissued Phase 2 Drawing A101
 - .1 Revise drawing to show ground floor reflected ceiling plan.

Item 3

- 3.0 Reference Attached Reissued Phase 2 Drawing A101 and Attached Reissued Phase 3 Drawing A101
 - .1 Prepare non-static enclosure for data equipment located in space. Enclosure to be constructed of ductwork and sealed airtight. Take enclosure to wall of adjoining space and open 6"Ø hole through wall to let enclosure breathe. Ensure data rack remains dust free for duration of project.

Item 4

- 4.0 Reference Attached Reissued Phase 3 Drawing A101
 - .1 Remove, store, and reinstall millwork in Raymond James tenant space in scope of work area. Contractor is to take photos of millwork prior to demolition and send photos to consultant and owner for signoff. Identify any existing defects on photos and in accompanying list. Await consultant/owner signoff of defects list prior to demolition.

Item 5

- 5.0 Ceiling Heights
 - .1 Heights given here are approximate and for reference only and must be site confirmed by contractor prior to start of work.
 - .1 Ground floor (ceiling height): 95" (2413 mm).
 - .2 Underside of ceiling to underside of deck: 67" (1702 mm).
 - .3 Underside of ceiling to underside of structure: 53" (1346 mm).
 - .4 Floor to floor height (ground to second floor): 167" (4242 mm).
 - .5 Ceiling in second floor washroom: 96" (2438 mm).
 - .6 Floor to floor height (second to third floor): 153" (3886 mm).
 - .7 Ceiling in third floor washroom: 96" (2438 mm).
 - .8 Floor to underside of structure: 144" (3658 mm).

MECHANICAL

Item 1

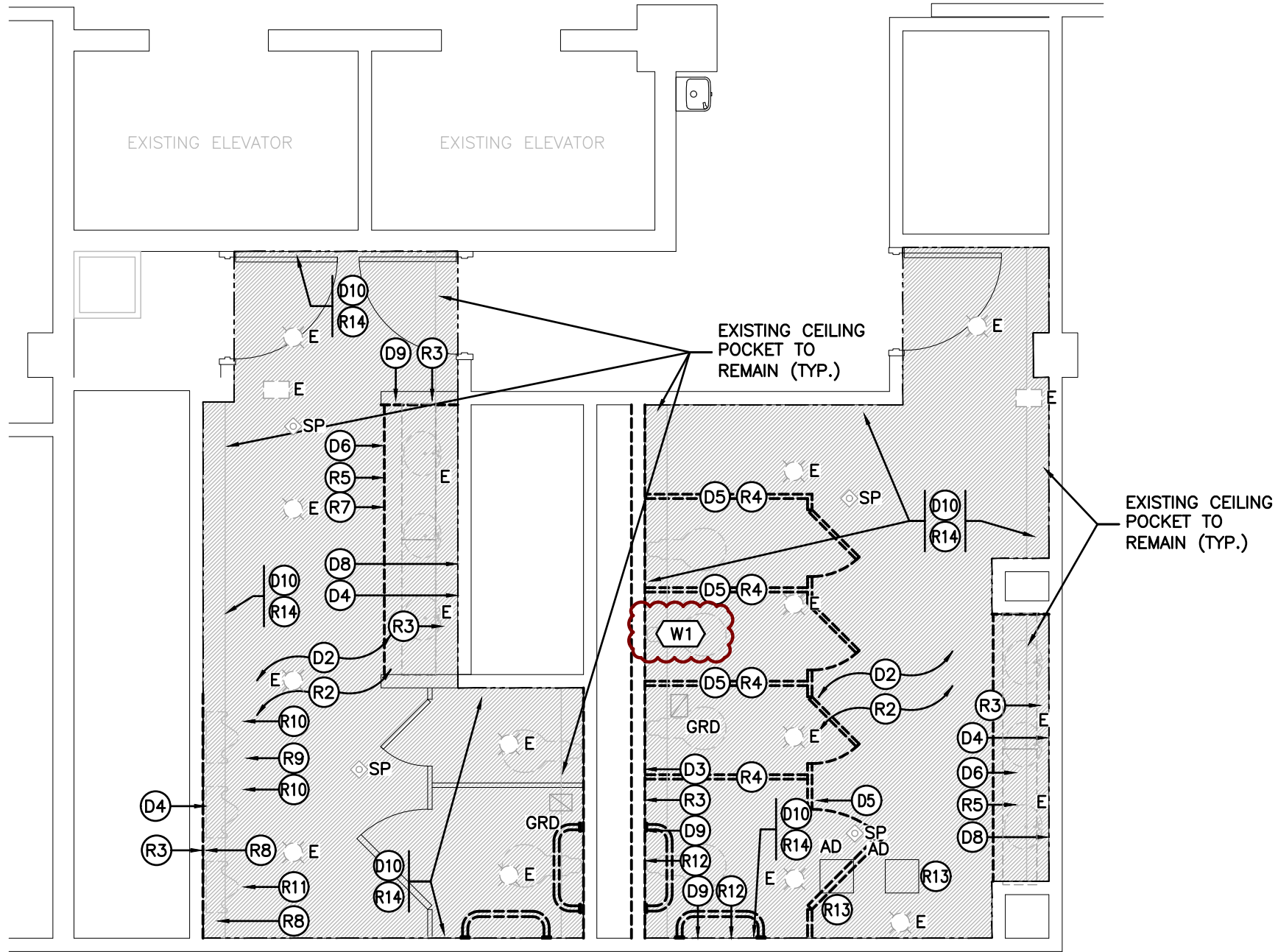
1.0 No mechanical content.

ELECTRICAL

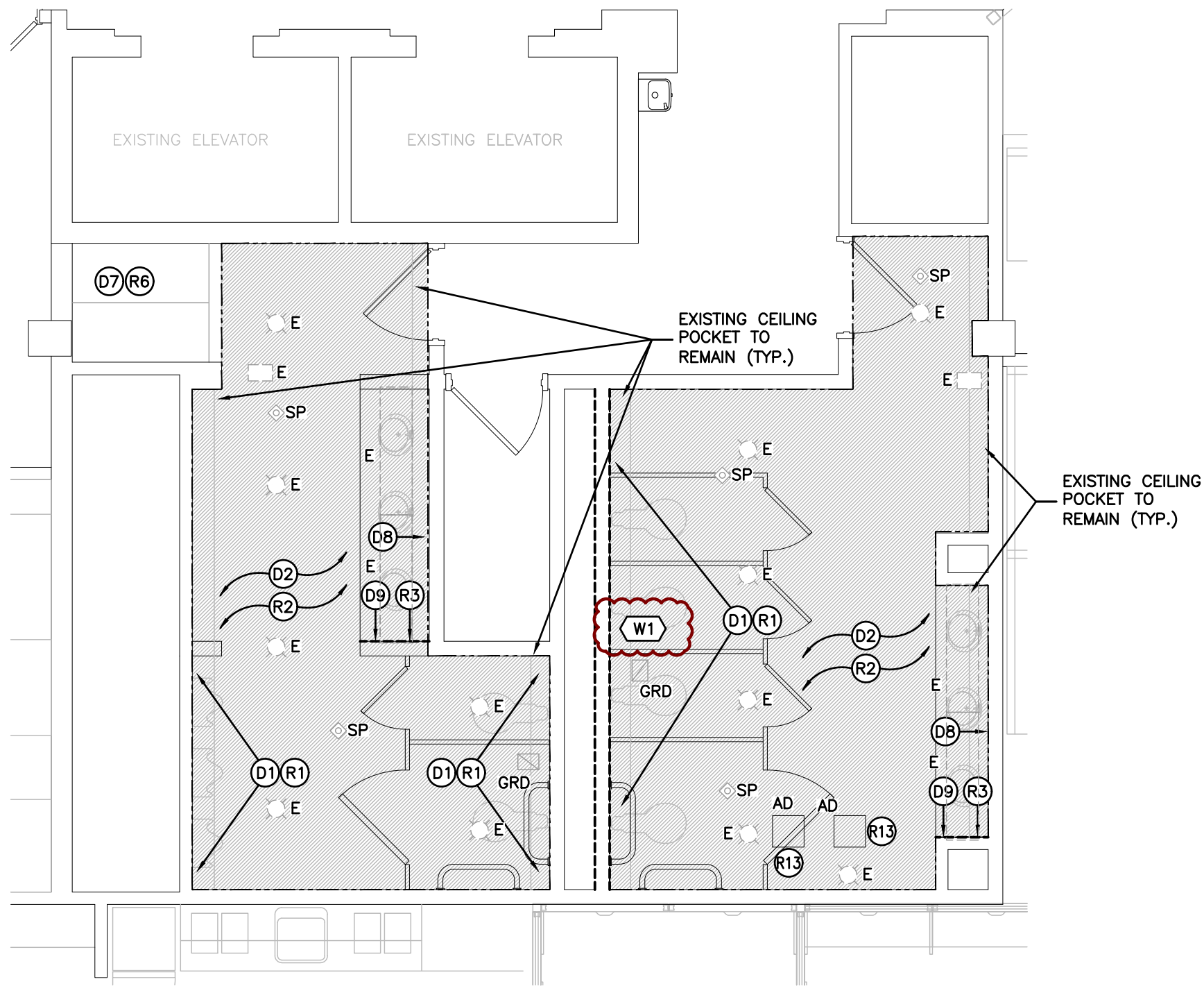
Item 1

1.0 No electrical content.

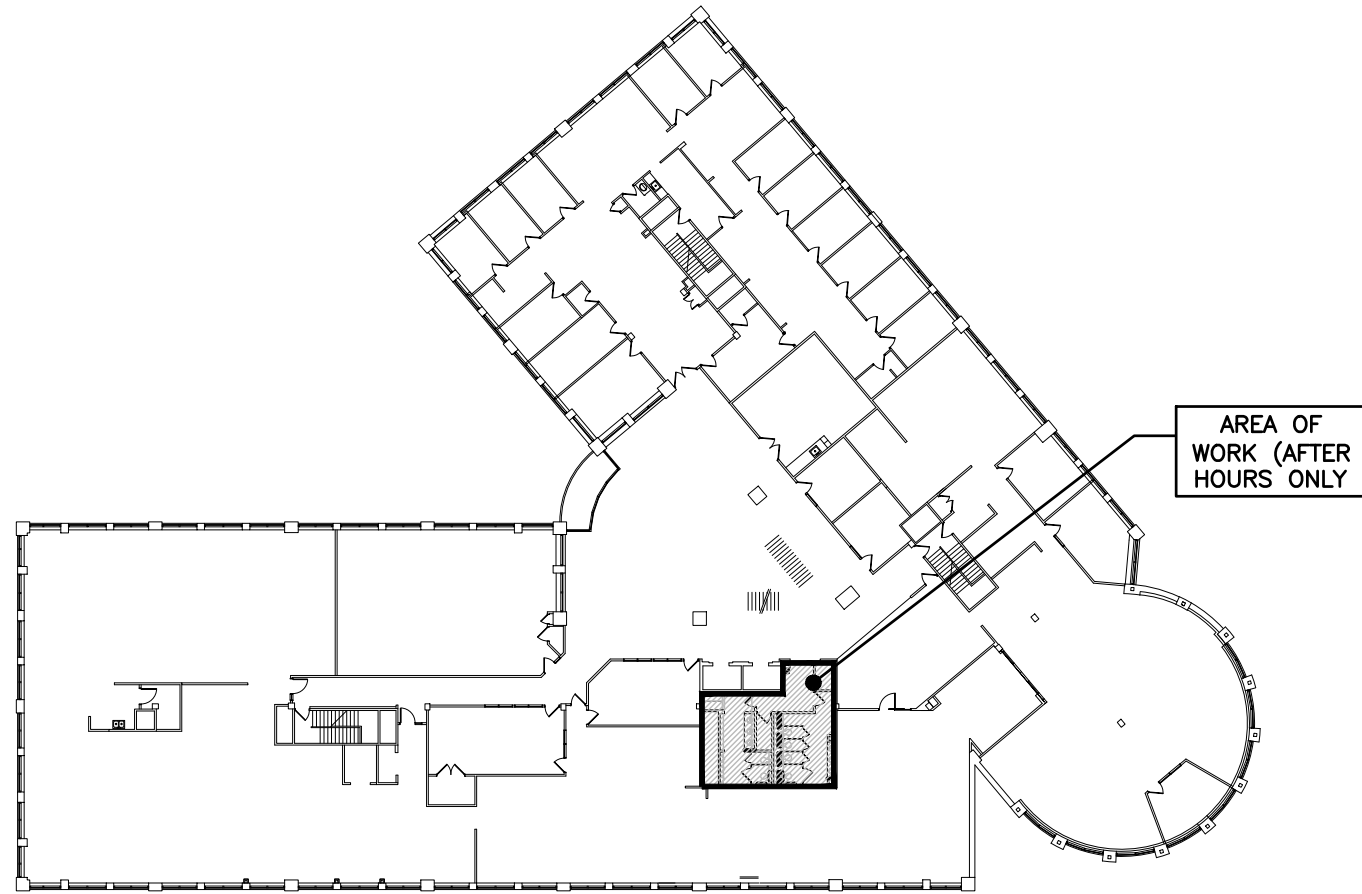
ARCHITECTURAL LEGEND	
Item	Description
GB	GYPSUM BOARD
ACT	ACOUSTIC CEILING TILE
E	ELECTRICAL DEVICE OR LIGHTING FIXTURE. SEE ELEC.
SP	EXISTING SPRINKLER HEAD
AD	ACCESS DOOR
GRD	GRILLE/REGISTER/DIFFUSER. SEE HVAC DRAWINGS.



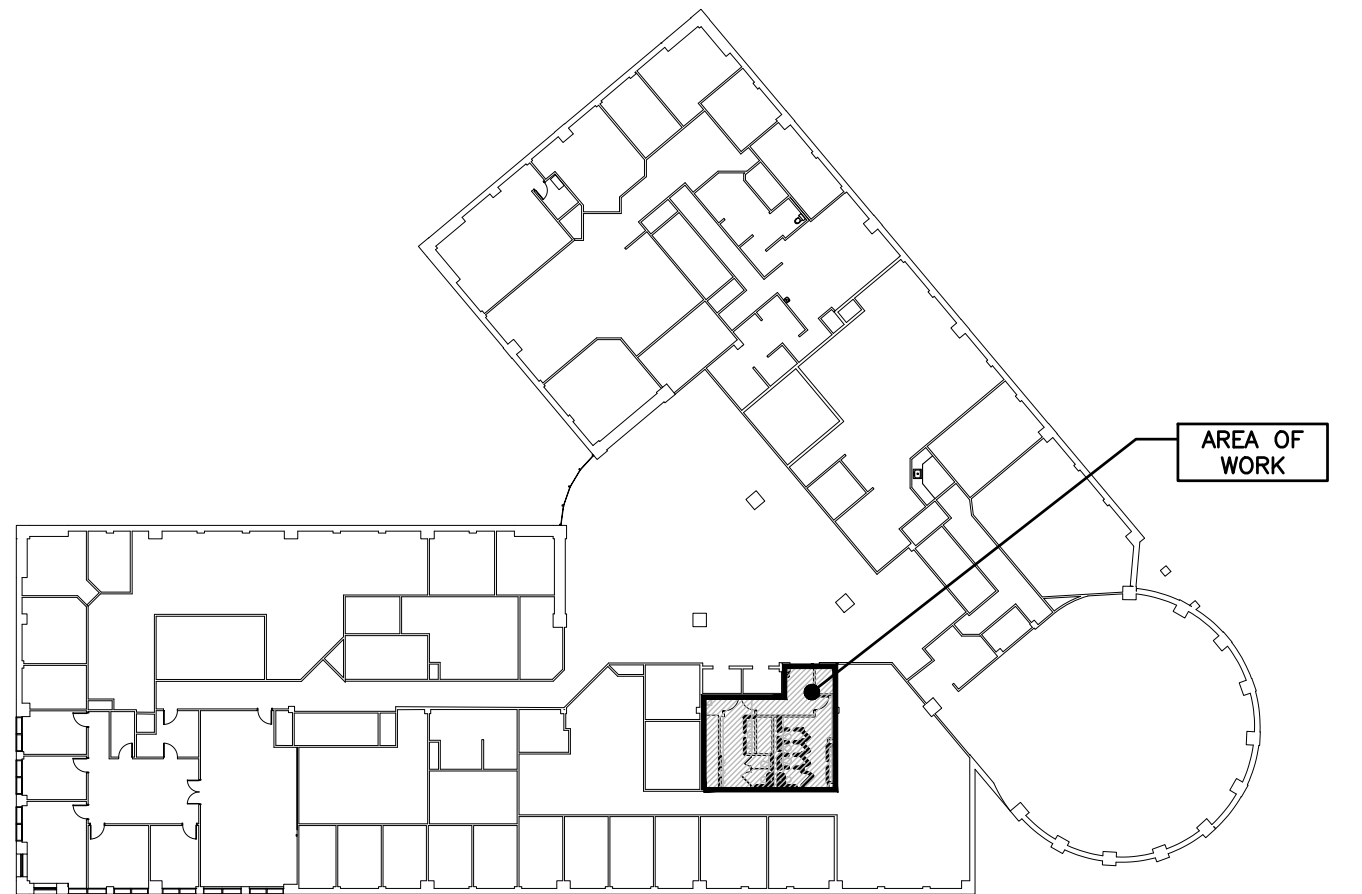
THIRD FLOOR WASHROOM – FLOOR PLAN & RCP DEMO & RENO
SCALE: 1:50



SECOND FLOOR WASHROOM – FLOOR PLAN & RCP DEMO & RENO
SCALE: 1:50



KEY PLAN – SECOND FLOOR
SCALE: 1:500



KEY PLAN – THIRD FLOOR
SCALE: 1:500

SCHEDULE OF ASSEMBLIES		
Assembly Type	Detail	Description
W1		INTERIOR WALL ASSEMBLY W1 <ul style="list-style-type: none">105 'CH' STEEL STUDS (25 ga) @ 600 O.C.13mm GYPSUM BOARD LINER PANEL
W2		INTERIOR WALL ASSEMBLY W1 <ul style="list-style-type: none">105mm 'CH' STEEL STUDS (25 ga) @ 600 O.C.105mm BATT INSULATION13mm GYPSUM BOARD LINER PANEL

GENERAL ARCHITECTURAL NOTES

- VERIFY SITE DIMENSIONS AND DIMENSIONS OF NEW WORK BEFORE PROCEEDING WITH DEMOLITION OR REMOVAL OF EXISTING BUILDING MATERIALS.
- THE REPLACEMENT OF ANY DAMAGED CEILING TILES IS THE RESPONSIBILITY OF THE CONTRACTOR. MATCH EXISTING TILES TO THE SATISFACTION OF THE OWNER AND CONSULTANT.
- REPAIR ANY DAMAGE TO EXISTING SUSPENDED ACOUSTIC CEILING TILE AND GRID AND ALL OTHER CEILING ELEMENTS WHERE AFFECTED BY NEW STRUCTURAL, MECHANICAL AND ELECTRICAL WORK ABOVE. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL EXTENT OF WORK. MATCH EXISTING MATERIALS AND FINISHES.
- EXISTING CEILINGS TO REMAIN UNLESS OTHERWISE NOTED. ACCESS AND REPLACEMENT TO EXISTING CEILINGS TO FACILITATE MECHANICAL/ELECTRICAL WORK IS THE RESPONSIBILITY OF THIS CONTRACTOR.
- CEILINGS BEING REMOVED AND RE-INSTALLED ARE TO BE RE-INSTALLED AT SAME HEIGHT UNLESS OTHERWISE NOTED.
- REFER TO ELECTRICAL PLANS FOR ALL LIGHTING THAT IS TO BE REMOVED/REPLACED. SHOWN ON THIS DRAWING FOR REFERENCE ONLY.
- SCHEDULING (2ND FLOOR): ALL WORK IN 2ND FLOOR SPACES IS FOR ACCESS TO CEILING AND PLUMBING SHAFT FOR PLUMBING WORK. ALL WORK IN THESE SPACES IS TO BE COMPLETED AFTER HOURS. SPACE IS TO BE RETURNED TO OCCUPIABLE CONDITION PRIOR BEFORE WORK HOURS EACH BUSINESS DAY. SEE SPECIFICATIONS FOR AFTER-HOURS WORK REQUIREMENTS. PROVIDE SIGNAGE AND BARRIERS TO RESTRICT ACCESS WHENEVER WORK IS IN PROGRESS.
- SCHEDULING (3RD FLOOR): 3RD FLOOR SPACES IN THIS SCOPE WILL BE CLOSED TO PUBLIC USE FOR THE DURATION OF THE PROJECT. PROVIDE SIGNAGE AND BARRIERS TO RESTRICT ACCESS.

SPECIFIC ARCHITECTURAL DEMOLITION NOTES

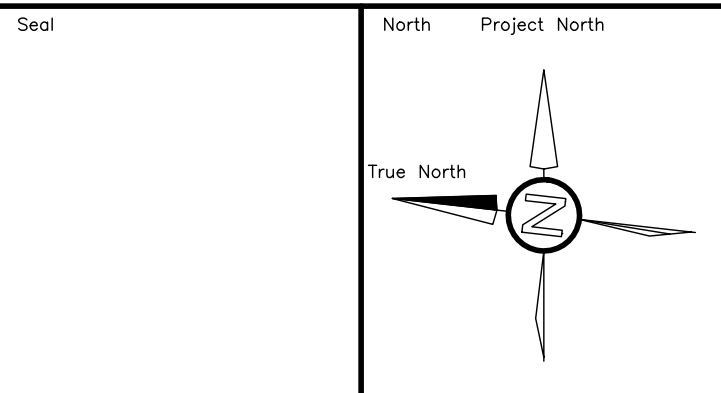
- REMOVE TOP 600mm OF GB FOR FULL LENGTH OF CHASE WALL FOR ACCESS TO PLUMBING CHASE. REMOVE ADDITIONAL GB WHERE REQUIRED TO FACILITATE PLUMBING REPLACEMENT WORK. STALL DIVIDERS TO REMAIN IN PLACE UNLESS PLUMBING PIPE LOCATION NECESSITATES REMOVAL.
- REMOVE EXISTING GB CEILING AS REQUIRED TO FACILITATE SANITARY AND PLUMBING REWORK. EXISTING CEILING HAS POCKET FEATURES. DECONSTRUCT TEMPORARILY AS REQUIRED & REINSTALL TO MATCH EXISTING. LIGHTS AND ELEC DEVICES: SEE ELEC DRAWINGS. DIFFUSERS: SEE MECH DRAWINGS. FIRE SPRINKLERS: REMOVE ESCUTCHEON AND PROTECT HEADS DURING DEMOLITION.
- REMOVE GB AND SHAFT WALL ON WOMEN'S WASHROOM SIDE TO GAIN ACCESS TO PLUMBING CHASE. REMOVE ADDITIONAL GB WHERE REQUIRED TO FACILITATE PLUMBING REPLACEMENT WORK. STEEL STUD STRUCTURE TO REMAIN IN EXCEPT WHERE SINGLE STUD REMOVAL AND REPLACEMENT IS REQUIRED FOR PLUMBING REVISIONS. REMOVE EXISTING WALL COVERING WHERE APPLICABLE.
- REMOVE GB AS REQUIRED TO ACCESS AND REPLACE SANITARY SEWER BRANCHES & PLUMBING IN WALL BEHIND FIXTURES. REMOVE EXISTING WALL COVERING WHERE APPLICABLE.
- REMOVE PARTITIONS AND RETAIN IN GOOD CONDITION FOR REINSTALLATION.
- REMOVE LAVATORY COUNTER, IN GOOD CONDITION. TURN OVER TO OWNER FOR RE-USE, OR DISPOSE OF IN APPROPRIATE MANNER, AS DIRECTED BY OWNER.
- REMOVE T-BAR CEILING TILES AND TEES AS REQUIRED FOR ACCESS TO PLUMBING DRAINS ABOVE.
- EXISTING MIRROR FULL HEIGHT ABOVE COUNTER TOP TO REMAIN IN PLACE AND BE PROTECTED TO PREVENT BREAKING.
- REMOVE EXISTING GRAB BARS FOR BARRIER FREE WATER CLOSET. RETAIN FOR REINSTALLATION.
- REMOVE EXISTING BASEBOARD FULL PERIMETER OF ROOM.

SPECIFIC ARCHITECTURAL RENOVATION NOTES

- INSTALL NEW GB TO MATCH EXISTING WALL CONSTRUCTION. FINISH AND PAINT. INSTALL NEW WALL COVERING ON LOWER HALF OF WALL TO MATCH EXISTING.
- REINSTALL AND PAINT EXISTING DRYWALL CEILING. PAINT COLOUR TO BE SELECTED BY OWNER. REINSTALL CEILING POCKETS WHERE THEY EXIST CURRENTLY. SEE ELEC/MECH DRAWINGS FOR ELEC/MECH ITEMS. REINSTALL ESCUTCHEONS AROUND SPRINKLER HEADS. ENSURE NO PAINT ON SPRINKLER HEADS. THIS CONTRACTOR TO PAY FOR SPRINKLER HEAD REPLACEMENT FOR ANY PAINTED/DAMAGED HEADS. INSTALL NEW WALL COVERING ON LOWER HALF OF WALL TO MATCH EXISTING.
- INSTALL NEW WALLS TO MATCH EXISTING.
- REINSTALL EXISTING PARTITIONS. TOUCH UP PAINT WITH MATCHING PRODUCT TO ELIMINATE SCUFFS.
- REINSTALL COUNTER-TOP. PROVIDE NEW COUNTER-TOP UNDER ALLOWANCE IF DIRECTED TO PROCEED THROUGH SUPPLEMENTAL INSTRUCTION.
- REINSTALL T-BAR GRID AND TEES.
- INSTALL NEW COUNTERTOP WITH TOP OF COUNTERTOP AT 865mm AFF. ENSURE HEIGHT OF COUNTERTOP BACKSPLASH REACHES UNDERSIDE OF WALL MIRROR TO MAINTAIN CURRENT VISUAL APPEARANCE.
- PROVIDE NEW GRAB RAILS FOR BARRIER FREE URINAL. PROVIDE APPROPRIATE BLOCKING FOR SUPPORT OF NEW GRAB RAILS.
- PROVIDE NEW PRIVACY SCREEN. SUPPLY OF SCREEN UNDER ALLOWANCE. INSTALLATION COST TO BE INCLUDED IN CONTRACT.
- MINIMUM 600mm CLEARANCE FOR NON-BARRIER FREE URINAL INSTALLATION.
- MINIMUM 800mm CLEARANCE FOR BARRIER FREE URINAL INSTALLATION. BARRIER FREE RIM SHALL BE NO MORE THAN 430mm A.F.F.
- REINSTALL EXISTING GRAB BARS FOR BARRIER FREE WATER CLOSET.
- PROVIDE NEW POWDER-COATED ALUMINUM ACCESS DOORS. COORDINATED LOCATION & SIZE WITH MECH. PAINT TO MATCH EXISTING CEILING. COORDINATE SUPPLY OF ACCESS DOORS WITH MECH TRADE. SEE MECH SPECS FOR DETAILS.
- CAULK BETWEEN GWB AND FLOOR TO IMPROVE WATER RESISTANCE OF PERIMETER OF ROOM. INSTALL NEW BASEBOARD MATCHING EXISTING THAT WAS REMOVED.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project. These documents are not to be duplicated or copied without the consent of the Consultant.
Do not scale this drawing.
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ISSUANCES			
No	DATE YY.MM.DD	DESCRIPTION	BY
1	23.06.14	ISSUED FOR REVIEW	JA
2	23.08.23	ISSUED FOR TENDER REVIEW	JA
3	23.09.12	ISSUED FOR PERMIT	JA
4	23.09.28	ISSUED FOR PERMIT & TENDER	JA
5	23.10.20	ISSUED FOR PERMIT & TENDER	JA
6	23.11.22	REISSUED FOR PERMIT	JA
7	24.01.08	REISSUED FOR TENDER	JA
8	24.01.18	REISSUED FOR BUILDING PERMIT	JA
9	24.05.17	REISSUED FOR 100% REVIEW	JA
10	25.02.24	ISSUED FOR PERMIT & TENDER	JA
11	25.04.29	ISSUED FOR ADDENDUM 01	JA



Project
**WATERLOO CITY CENTRE
CENTRAL WASHROOM
RENOVATIONS PHASE 1**
100 REGINA ST S, WATERLOO, ON N2J 4P9

Sheet Title
**ARCHITECTURAL PLANS
DEMO & RENO**

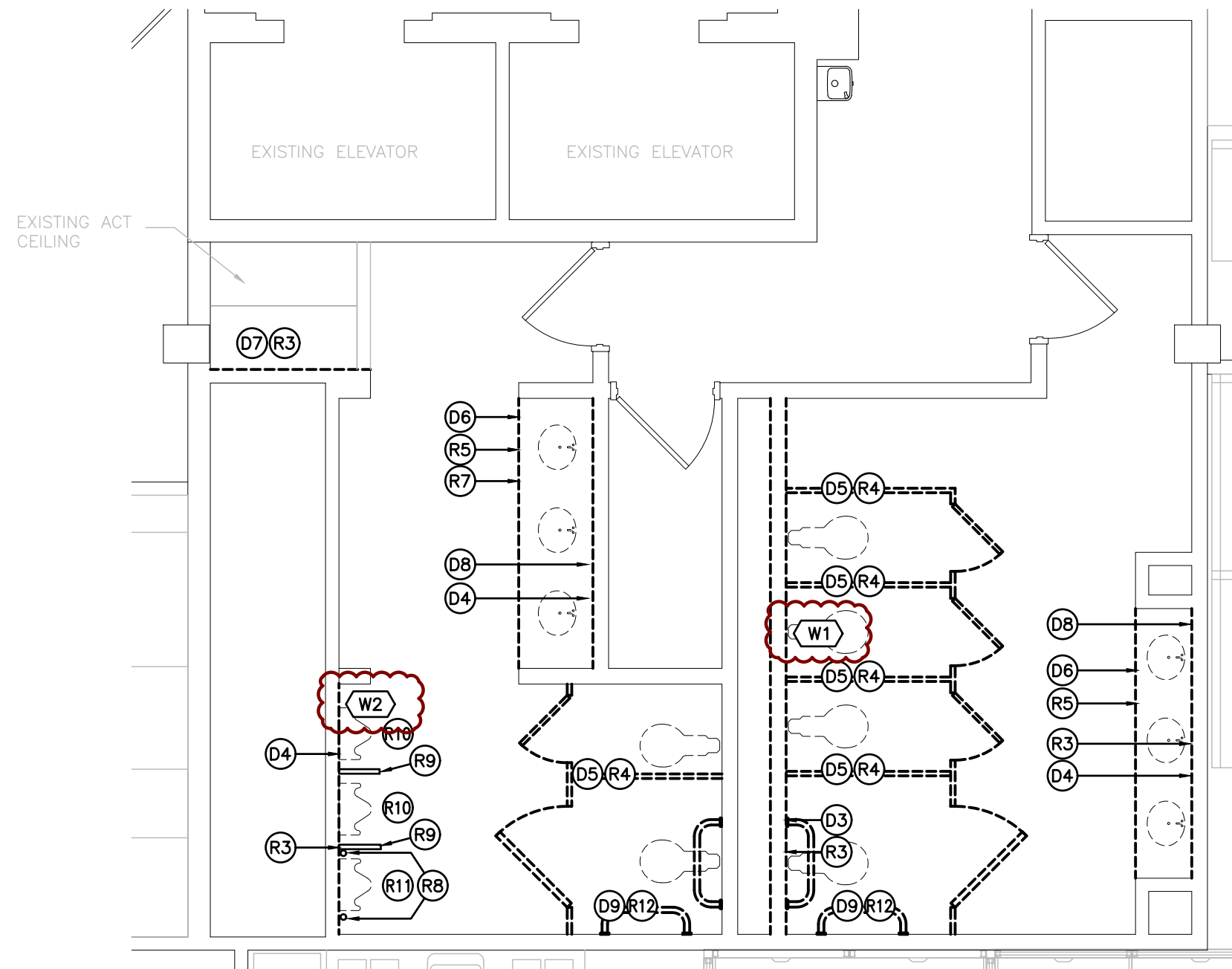
DEI
Consulting Engineers
MECHANICAL | ELECTRICAL | AQUATIC
55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-725-3555
Website: deiassociates.ca

Drawn by SVA	Checked by JA	Approved by JA
Scale AS NOTED	Project Date SEP 2023	Print Date FEB 2025

Project No. 23115	Drawing No. A101
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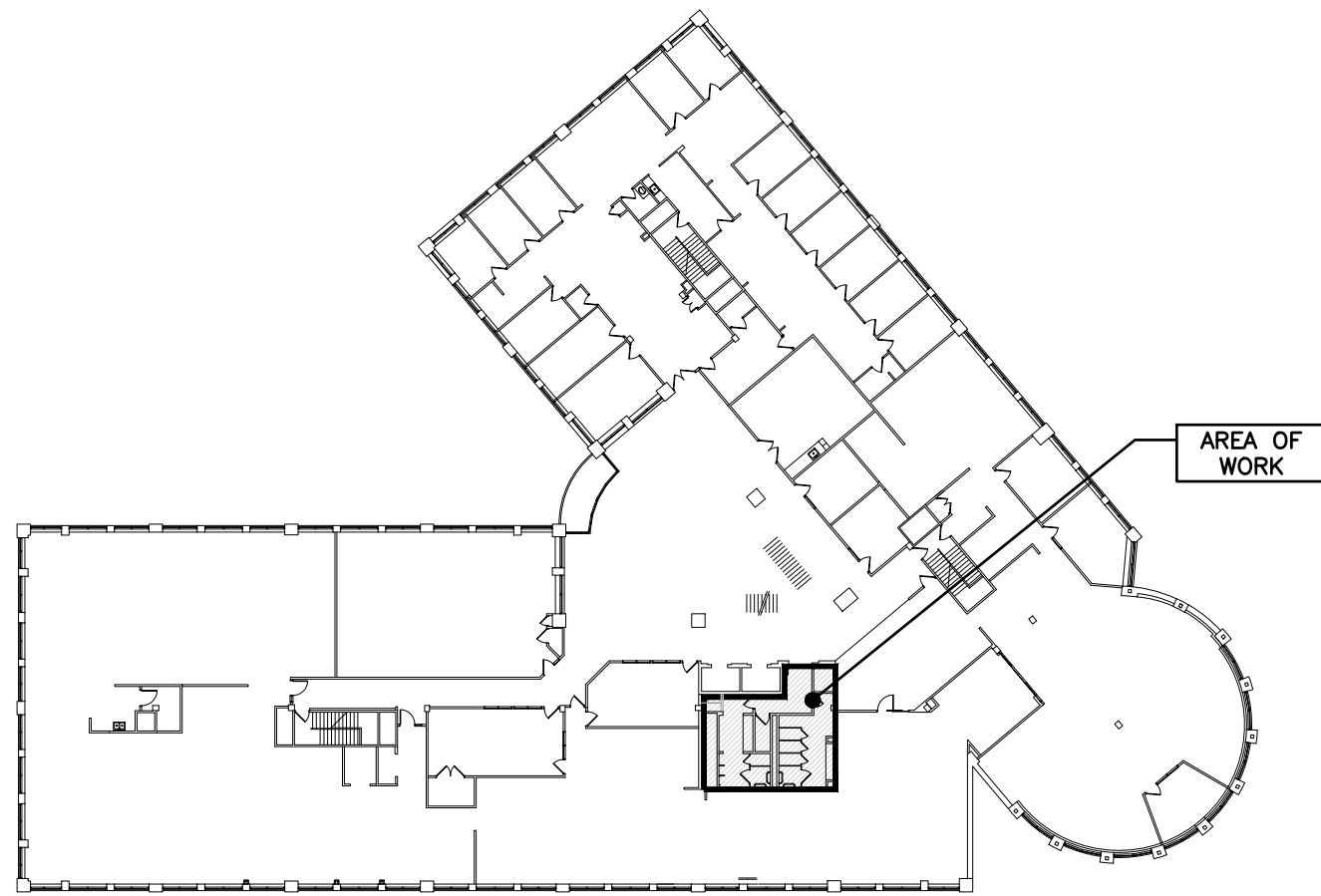
SCHEDULE OF ASSEMBLIES

Assembly Type	Detail	Description
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(W2)		INTERIOR WALL ASSEMBLY W1 <ul style="list-style-type: none">105mm 'CH' STEEL STUDS (25 ga) @ 600 O.C.105mm BATT INSULATION13mm GYPSUM BOARD LINER PANEL



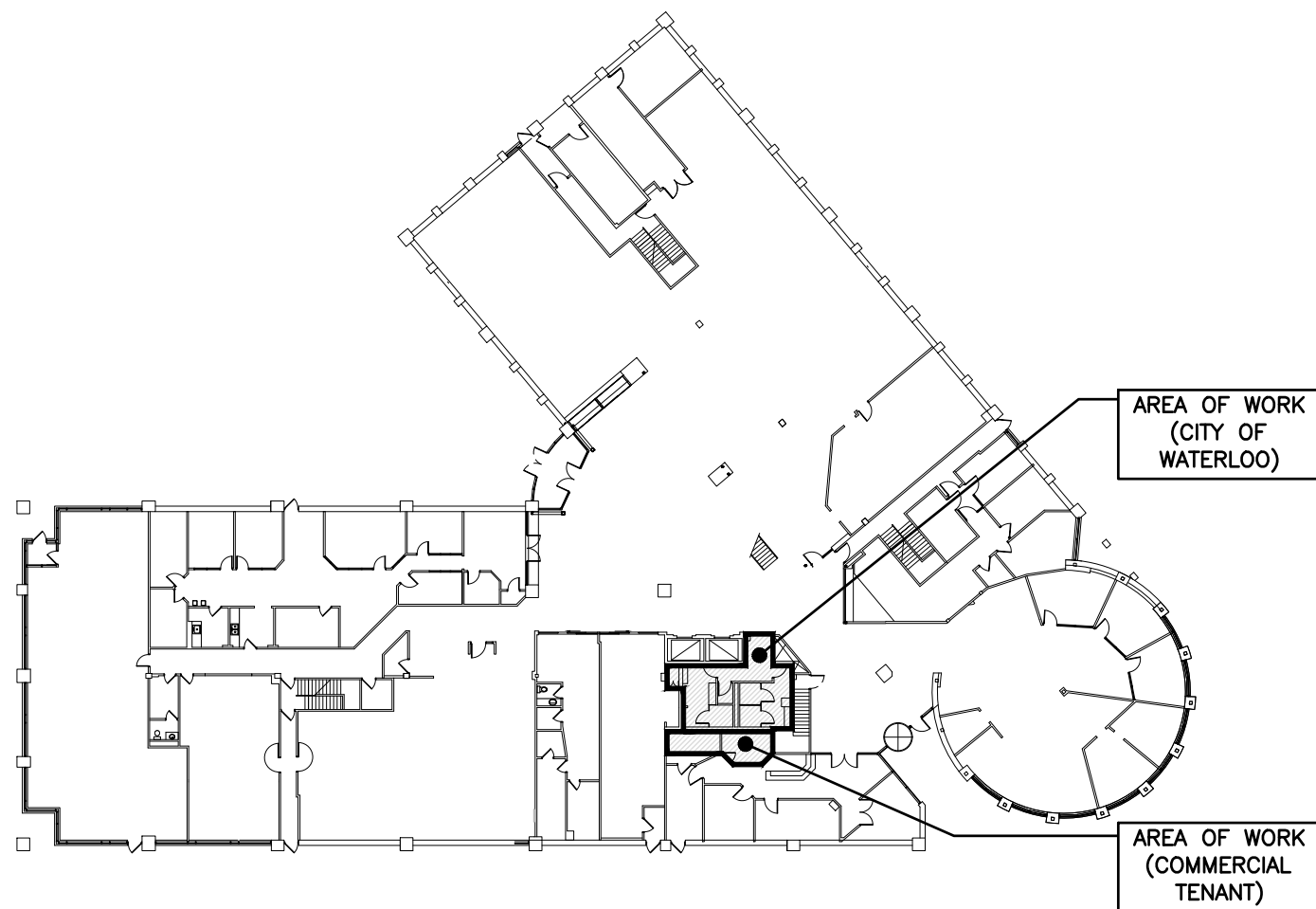
SECOND FLOOR WASHROOM – FLOOR PLAN DEMO & RENO

SCALE: 1:50



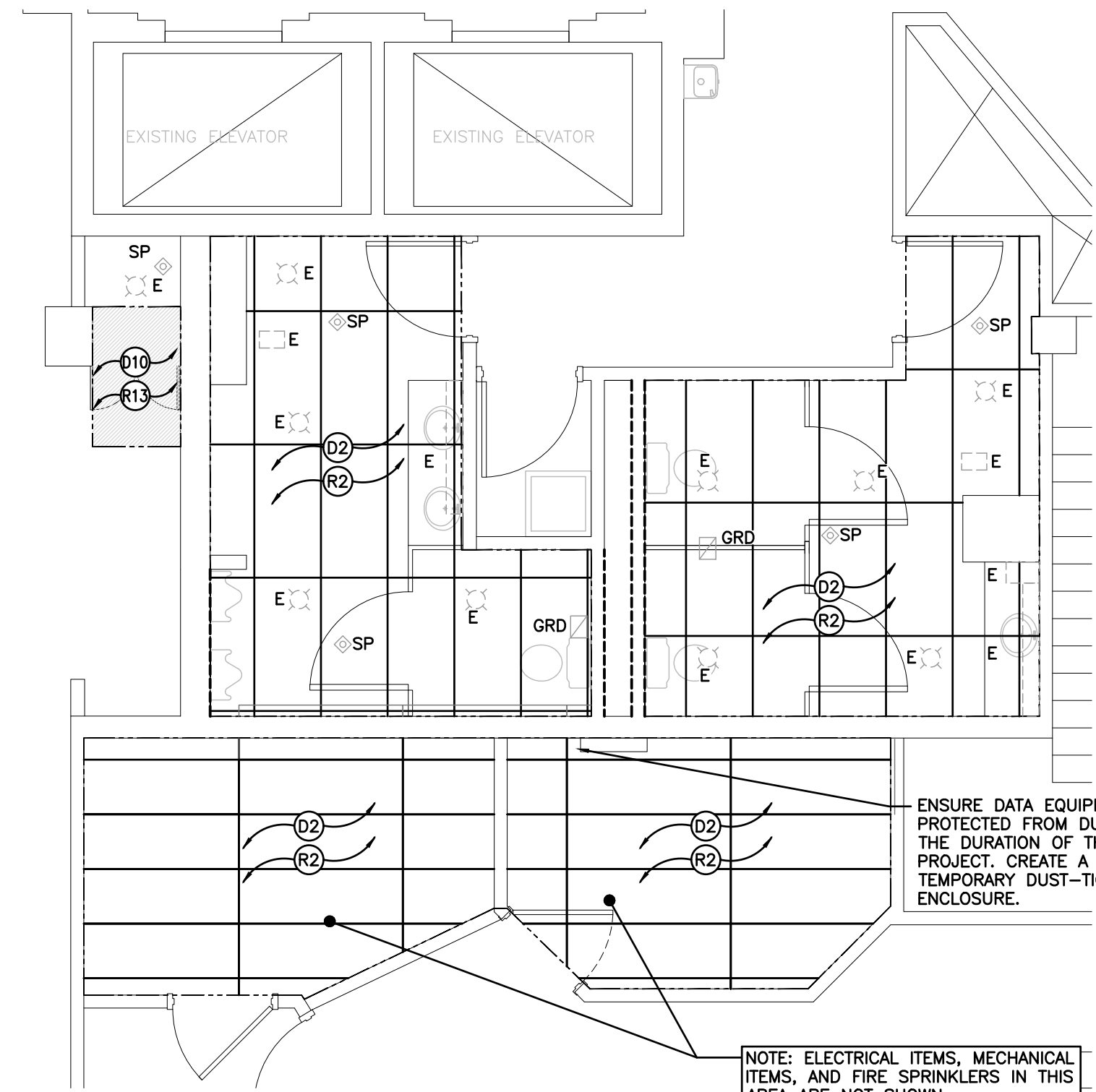
KEY PLAN – SECOND FLOOR

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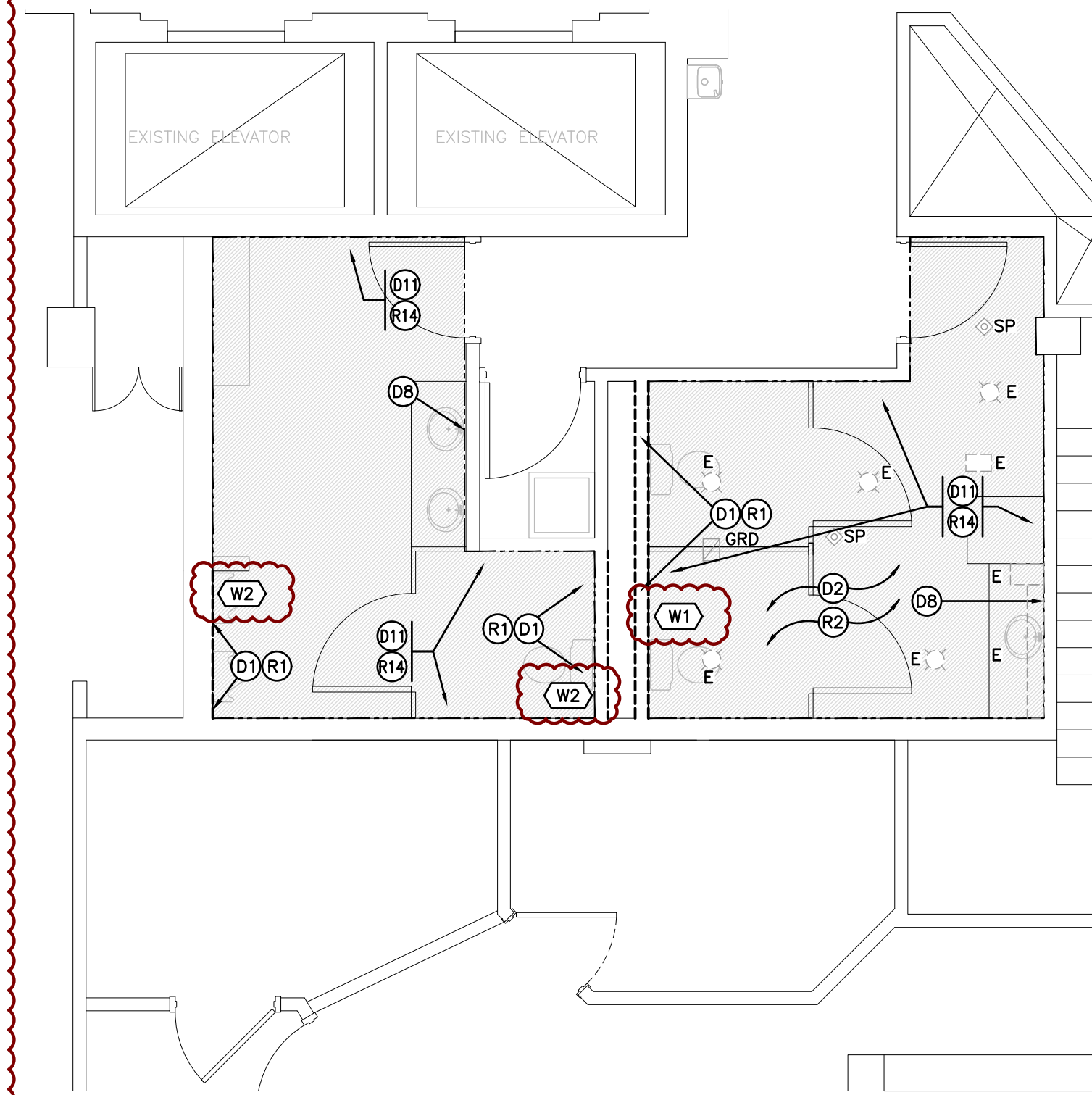
KEY PLAN – FIRST FLOOR

SCALE: 1:NTS



FIRST FLOOR WASHROOM – RCP DEMO & RENO

SCALE: 1:50



FIRST FLOOR WASHROOM – FLOOR PLAN DEMO & RENO

SCALE: 1:50

ARCHITECTURAL LEGEND

Item	Description
GB	GYPSUM BOARD
ACT	ACOUSTIC CEILING TILE
E	ELECTRICAL DEVICE OR LIGHTING FIXTURE. SEE ELEC.
SP	EXISTING SPRINKLER HEAD
AD	ACCESS DOOR
GRD	GRILLE/REGISTER/DIFFUSER. SEE HVAC DRAWINGS.

CEILING SCHEDULE

Tag	Description	Colour	Manufacturer & Product Number	Application	Remarks
C1	600mm x 1200mm ACOUSTICAL CEILING TILE	WHITE	ARMSTRONG CALLA	GENERAL CEILING	PRE-DECORATED GYPSUM LAY IN CEILING PANELS.

GENERAL ARCHITECTURAL NOTES

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- EXISTING CEILINGS TO REMAIN UNLESS OTHERWISE NOTED. ACCESS AND REPLACEMENT TO EXISTING CEILINGS TO FACILITATE MECHANICAL/ELECTRICAL WORK IS THE RESPONSIBILITY OF THIS CONTRACTOR.
- CEILINGS BEING REMOVED AND RE-INSTALLED ARE TO BE RE-INSTALLED AT SAME HEIGHT UNLESS OTHERWISE NOTED.
- REFER TO ELECTRICAL PLANS FOR ALL LIGHTING THAT IS TO BE REMOVED/REPLACED. SHOWN ON THIS DRAWING FOR REFERENCE ONLY.
- SCHEDULING (1ST FLOOR): ALL WORK IN 1ST FLOOR SPACES IS FOR ACCESS TO CEILING AND PLUMBING SHAFT FOR PLUMBING WORK. ALL WORK IN THESE SPACES IS TO BE COMPLETED AFTER HOURS. SPACE IS TO BE RETURNED TO OCCUPABLE CONDITION PRIOR BEFORE WORK HOURS EACH BUSINESS DAY. SEE SPECIFICATIONS FOR AFTER-HOURS WORK REQUIREMENTS. PROVIDE SIGNAGE AND BARRIERS TO RESTRICT ACCESS WHENEVER WORK IS IN PROGRESS.
- SCHEDULING (2ND FLOOR): 2ND FLOOR SPACES IN THIS SCOPE WILL BE CLOSED TO PUBLIC USE FOR THE DURATION OF THE PROJECT. PROVIDE SIGNAGE AND BARRIERS TO RESTRICT ACCESS.
- SCHEDULING (3RD FLOOR): ALL WORK IN 3RD FLOOR UTILITY CLOSET TO BE CONDUCTED AFTER-HOURS ONLY.
- SCHEDULING & ACCESS (COMMERCIAL TENANT RAYMOND JAMES): SPECIAL COORDINATION AND ACCESS PERMISSIONS REQUIRED FOR ACCESS TO COMMERCIAL TENANT SPACE. ACCESS WILL BE SIMILAR TO, BUT SOMEWHAT MORE RESTRICTIVE THAN ACCESS TO CITY OF WATERLOO SPACES.

SPECIFIC ARCHITECTURAL DEMOLITION NOTES

- (D1) REMOVE TOP 600mm OF GB FOR FULL LENGTH OF CHASE WALL FOR ACCESS TO PLUMBING CHASE. REMOVE ADDITIONAL GB WHERE REQUIRED TO FACILITATE PLUMBING REPLACEMENT WORK. STALL DIVIDERS TO REMAIN IN PLACE UNLESS PLUMBING PIPE LOCATION NECESSITATES REMOVAL.
- (D2) REMOVE EXISTING ACT AND T-BAR GRID COMPLETE TO FACILITATE SANITARY AND PLUMBING REWORK. EXISTING CEILING HAS POCKET FEATURES: DECONSTRUCT TEMPORARILY AS REQUIRED & REINSTALL TO MATCH EXISTING. LIGHTS AND ELEC DEVICES: SEE ELEC DRAWINGS. DIFFUSERS: SEE MECH DRAWINGS. FIRE SPRINKLERS: REMOVE ESCUTCHEON AND PROTECT HEADS DURING DEMOLITION.
- (D3) REMOVE GB AND SHAFT WALL ON WOMEN'S WASHROOM SIDE TO GAIN ACCESS TO PLUMBING SHAFT FOR SANITARY & PLUMBING WORK. STEEL STUD STRUCTURE TO REMAIN IN EXCEPT WHERE SINGLE STUD REMOVAL AND REPLACEMENT IS REQUIRED FOR PLUMBING REVISIONS. REMOVE EXISTING WALL COVERING WHERE APPLICABLE.
- (D4) REMOVE GB AS REQUIRED TO ACCESS AND REPLACE SANITARY SEWER BRANCHES & PLUMBING IN WALL BEHIND FIXTURES. REMOVE EXISTING WALL COVERING WHERE APPLICABLE.
- (D5) REMOVE PARTITIONS AND RETAIN IN GOOD CONDITION FOR REINSTALLATION.
- (D6) REMOVE LAVATORY COUNTER, IN GOOD CONDITION. TURN OVER TO OWNER FOR RE-USE, OR DISPOSE OF IN APPROPRIATE MANNER, AS DIRECTED BY OWNER.
- (D7) REMOVE GB WALL TO FACILITATE CONNECTION OF EXISTING PLUMBING TO NEW RISERS FROM BELOW.
- (D8) EXISTING MIRROR FULL HEIGHT ABOVE COUNTER TOP TO REMAIN IN PLACE AND BE PROTECTED TO PREVENT BREAKING.
- (D9) REMOVE EXISTING GRAB BARS FOR BARRIER FREE WATER CLOSET. RETAIN FOR REINSTALLATION.
- (D10) REMOVE EXISTING GB CEILING AS REQUIRED TO FACILITATE NEW PLUMBING WORK. EXISTING CEILING HAS POCKET FEATURES: DECONSTRUCT TEMPORARILY AS REQUIRED & REINSTALL TO MATCH EXISTING. LIGHTS AND ELEC DEVICES: SEE ELEC DRAWINGS. DIFFUSERS: SEE MECH DRAWINGS. FIRE SPRINKLERS: REMOVE ESCUTCHEON AND PROTECT HEADS DURING DEMOLITION.
- (D11) REMOVE EXISTING BASEBOARD FULL PERIMETER OF ROOM.

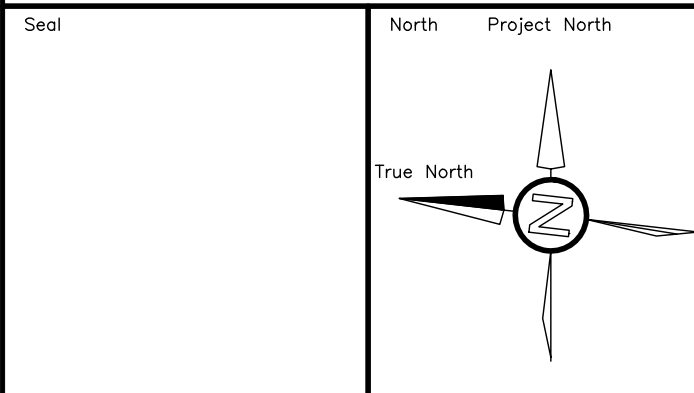
SPECIFIC ARCHITECTURAL RENOVATION NOTES

- (R1) INSTALL NEW GB TO MATCH EXISTING WALL CONSTRUCTION. FINISH AND PAINT. INSTALL NEW WALL COVERING ON LOWER HALF OF WALL TO MATCH EXISTING.
- (R2) INSTALL NEW T-BAR GRID IN SAME LOCATION AS REMOVED GRID. INSTALL ALL NEW ACT TILES. PAINT COLOUR TO BE SELECTED BY OWNER. REINSTALL CEILING POCKETS WHERE THEY EXIST CURRENTLY. SEE ELEC/MECH DRAWINGS FOR ELEC/MECH ITEMS. REINSTALL ESCUTCHEONS AROUND SPRINKLER HEADS. ENSURE NO PAINT ON SPRINKLER HEADS. THIS CONTRACTOR TO PAY FOR SPRINKLER HEAD REPLACEMENT FOR ANY PAINTED/DAMAGED HEADS. INSTALL NEW WALL COVERING ON LOWER HALF OF WALL TO MATCH EXISTING.
- (R3) INSTALL NEW WALLS TO MATCH EXISTING.
- (R4) REINSTALL EXISTING PARTITIONS. TOUCH UP PAINT WITH MATCHING PRODUCT TO ELIMINATE SCUFFS.
- (R5) REINSTALL COUNTER-TOP. PROVIDE NEW COUNTER-TOP UNDER ALLOWANCE IF DIRECTED TO PROCEED THROUGH SUPPLEMENTAL INSTRUCTION.
- (R6) REINSTALL T-BAR GRID AND TEES.
- (R7) INSTALL NEW COUNTERTOP WITH TOP OF COUNTERTOP AT 865mm AFF. ENSURE HEIGHT OF COUNTERTOP BACKSPLASH REACHES UNDERSIDE OF WALL MIRROR TO MAINTAIN CURRENT VISUAL APPEARANCE.
- (R8) PROVIDE NEW GRAB RAILS FOR BARRIER FREE URINAL. PROVIDE APPROPRIATE BLOCKING FOR SUPPORT OF NEW GRAB RAILS.
- (R9) PROVIDE NEW PRIVACY SCREEN. SUPPLY OF SCREEN UNDER ALLOWANCE. INSTALLATION COST TO BE INCLUDED IN CONTRACT.
- (R10) MINIMUM 600mm CLEARANCE FOR NON-BARRIER FREE URINAL INSTALLATION.
- (R11) MINIMUM 800mm CLEARANCE FOR BARRIER FREE URINAL INSTALLATION. BARRIER FREE RIM SHALL BE NO MORE THAN 430mm A.F.F.
- (R12) REINSTALL EXISTING GRAB BARS FOR BARRIER FREE WATER CLOSET.
- (R13) REINSTALL AND PAINT EXISTING DRYWALL CEILING. PAINT COLOUR TO BE SELECTED BY OWNER. REINSTALL CEILING POCKETS WHERE THEY EXIST CURRENTLY. SEE ELEC/MECH DRAWINGS FOR ELEC/MECH ITEMS. REINSTALL ESCUTCHEONS AROUND SPRINKLER HEADS. ENSURE NO PAINT ON SPRINKLER HEADS. THIS CONTRACTOR TO PAY FOR SPRINKLER HEAD REPLACEMENT FOR ANY PAINTED/DAMAGED HEADS. INSTALL NEW WALL COVERING ON LOWER HALF OF WALL TO MATCH EXISTING.
- (R14) CAULK BETWEEN GWB AND FLOOR TO IMPROVE WATER RESISTANCE OF PERIMETER OF ROOM. INSTALL NEW BASEBOARD MATCHING EXISTING THAT WAS REMOVED.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
The drawings do not indicate all offsets fitting and accessories which may be required. Provide the same to meet the required conditions.
Drawings and specifications, etc., prepared and issued by the Consultant are the property of the Consultant and must be returned at the completion of the project.
These documents are not to be duplicated or copied without the consent of the Consultant.
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ISSUANCES

No	DATE YY.MM.DD	DESCRIPTION	BY
1	24.05.17	ISSUED FOR 100% REVIEW	JA
2	25.02.24	ISSUED FOR PERMIT & TENDER	JA
2	25.04.29	ISSUED FOR ADDENDUM 01	JA



WATERLOO CITY CENTRE CENTRAL WASHROOM RENOVATIONS PHASE 2

100 REGINA ST S, WATERLOO, ON N2J 4P9

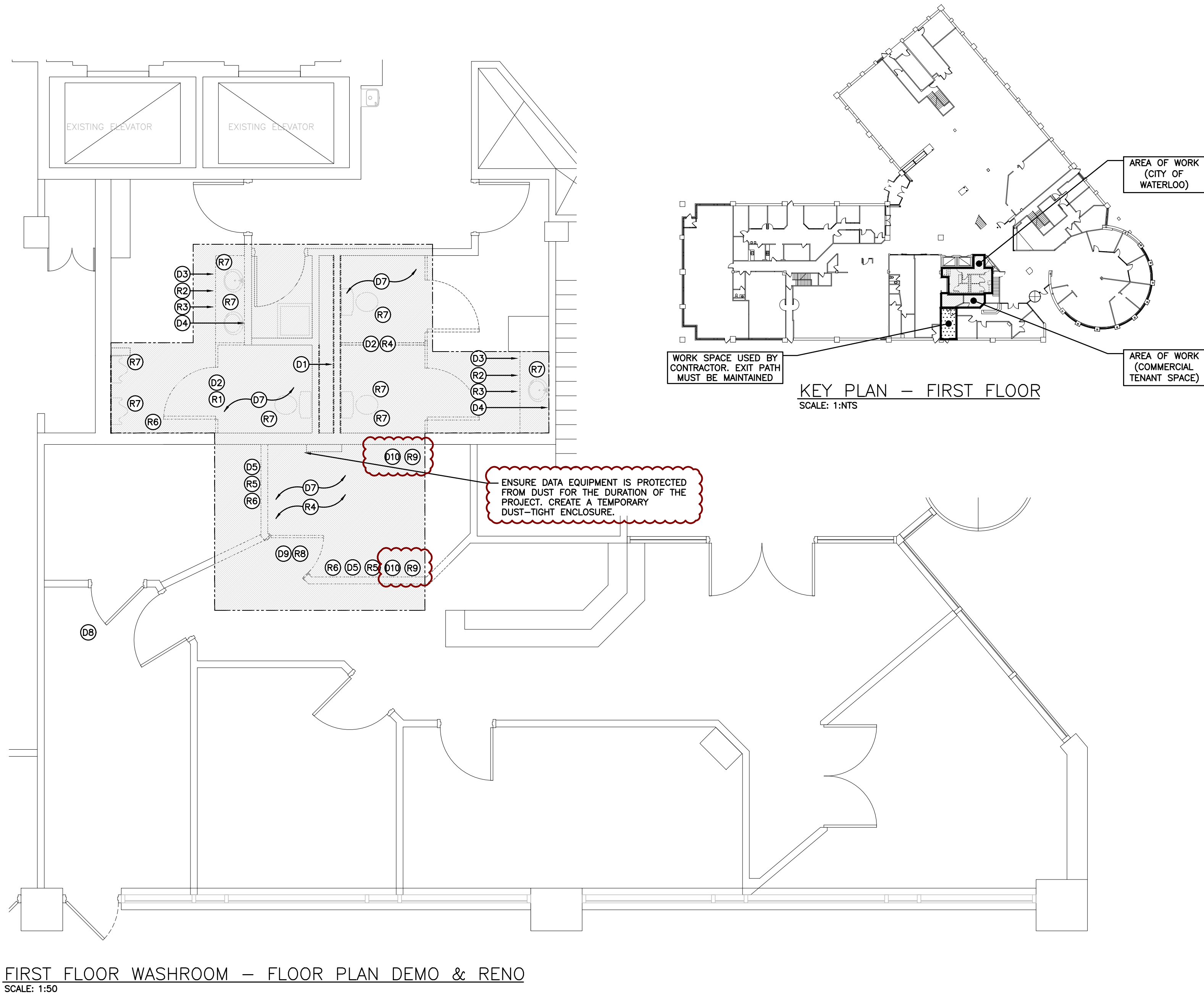
Sheet Title

ARCHITECTURAL PLANS DEMO & RENO

DEI
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55 Northland Road, Waterloo, ON N2V 1Y8
Phone: 519-725-3555
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Drawn by SVA	Checked by JA	Approved by JA
Scale AS NOTED	Project Date MAY 2024	Print Date FEB 2025

Project No. 23115 Drawing No. A101



GENERAL ARCHITECTURAL NOTES

- VERIFY SITE DIMENSIONS AND DIMENSIONS OF NEW WORK BEFORE PROCEEDING WITH DEMOLITION OR REMOVAL OF EXISTING BUILDING MATERIALS.
- EXISTING CEILINGS TO REMAIN UNLESS OTHERWISE NOTED. ACCESS AND REPLACEMENT TO EXISTING CEILINGS TO FACILITATE MECHANICAL/ELECTRICAL WORK IS THE RESPONSIBILITY OF THIS CONTRACTOR.
- SCHEDULING (1ST FLOOR WASHROOM AREA): 1ST FLOOR SPACES IN THIS SCOPE WILL BE CLOSED TO PUBLIC USE FOR THE DURATION OF THE PROJECT. PROVIDE SIGNAGE AND BARRIERS TO RESTRICT ACCESS.
- SCHEDULING (1ST FLOOR, COMMERCIAL TENANT): COMMERCIAL TENANT (RAYMOND JAMES) WILL RETAIN USE OF THE FRONT PORTION OF THE OFFICE FOR THE DURATION OF THIS PROJECT. RAYMOND JAMES TO TEMPORARILY CLOSE BACK OFFICES DURING BELOW GRADE WORK. THIS CONTRACTOR TO COORDINATE SHUTDOWN SCHEDULE WITH CITY & RAYMOND JAMES.
- WORK IN COMMERCIAL TENANT (RAYMOND JAMES) SPACE IS PERMITTED ONLY AFTER HOURS AND ON WEEKENDS. AFTER HOURS IS FROM 7:00 P.M. TO 5:00 A.M. UNLESS OTHERWISE DEFINED IN TENDER DOCUMENTS PROVIDED BY CITY. CLEAN SPACE AND RETURN TO OCCUPIABLE STATE PRIOR TO LEAVING SITE EACH DAY.
- CENTRAL WASHROOM STACK ONLY PERMITTED TO BE OUT OF SERVICE AFTER HOURS AND ON WEEKENDS. AFTER HOURS IS FROM 7:00 P.M. TO 5:00 A.M. UNLESS OTHERWISE DEFINED IN TENDER DOCUMENTS PROVIDED BY CITY. RETURN STACK TO SERVICE BEFORE 5:00 A.M. EACH DAY.

SPECIFIC ARCHITECTURAL DEMOLITION NOTES

- Ⓓ1 REMOVE GB AS REQUIRED TO ACCESS AND REPLACE SANITARY SEWER BRANCHES & PLUMBING IN WALL BEHIND FIXTURES. REMOVE EXISTING WALL COVERING WHERE APPLICABLE.
- Ⓓ2 REMOVE PARTITIONS AND RETAIN IN GOOD CONDITION FOR REINSTALLATION.
- Ⓓ3 REMOVE LAVATORY COUNTER, IN GOOD CONDITION. TURN OVER TO OWNER FOR RE-USE, OR DISPOSE OF IN APPROPRIATE MANNER, AS DIRECTED BY OWNER.
- Ⓓ4 EXISTING MIRROR FULL HEIGHT ABOVE COUNTER TOP TO REMAIN IN PLACE AND BE PROTECTED TO PREVENT BREAKING.
- Ⓓ5 DEMOLISH EXISTING WALLS AS REQUIRED TO FACILITATE EXCAVATION FOR REPLACEMENT OF BELOW GRADE PIPING.
- Ⓓ6 PROVIDE TEMPORARY HOARDING TO LIMIT DUST AND MAINTAIN TENANT OCCUPANT SAFETY DURING CONSTRUCTION.
- Ⓓ7 REMOVE CARPET. EXCAVATE AS REQUIRED TO REPLACE BELOW GRADE PIPING. COORDINATE WITH PLUMBING TRADE FOR EXTENT OF DEMOLITION WORK.
- Ⓓ8 MAINTAIN EXIT PATH TO REAR EXIT DURING CONSTRUCTION. CONTRACTOR WILL TEMPORARILY TAKE OVER SECONDARY ENTRANCE FOR MOVEMENT OF MATERIALS. ROUTE MUST BE KEPT CLEAR FRO EXITING. PROTECT CARPET. PROTECT ALL FINISHED.
- Ⓓ9 REMOVE AND RETAIN EXISTING DOOR FOR REINSTALLATION.
- Ⓓ10 REMOVE MILLWORK FOR INSTALLATION.

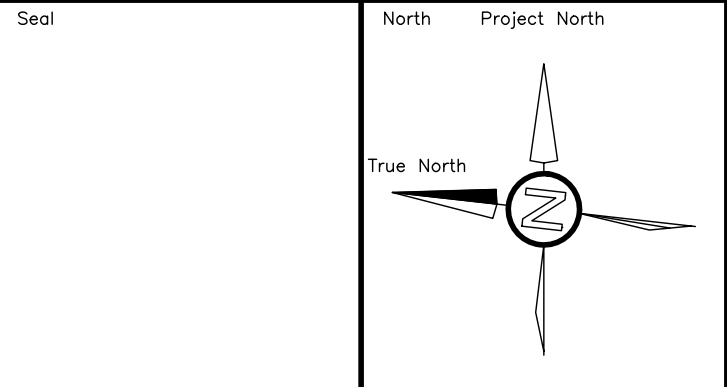
SPECIFIC ARCHITECTURAL RENOVATION NOTES

- ⒲1 REINSTALL EXISTING PARTITIONS. TOUCH UP PAINT WITH MATCHING PRODUCT TO ELIMINATE SCUFFS.
- ⒲2 REINSTALL COUNTER-TOP. PROVIDE NEW COUNTER-TOP UNDER ALLOWANCE IF DIRECTED TO PROCEED THROUGH SUPPLEMENTAL INSTRUCTION.
- ⒲3 INSTALL NEW COUNTERTOP WITH TOP OF COUNTERTOP AT 865mm AFF. ENSURE HEIGHT OF COUNTERTOP BACKSPLASH REACHES UNDERSIDE OF WALL MIRROR TO MAINTAIN CURRENT VISUAL APPEARANCE.
- ⒲4 REPLACE CARPET TO MATCH EXISTING.
- ⒲5 REBUILD WALL. FINISH AND PAINT TO MATCH EXISTING.
- ⒲6 REINSTALL BASEBOARDS.
- ⒲7 REINSTALL ALL FIXTURES AND DEVICES.
- ⒲8 REINSTALL DOOR.
- ⒲9 REINSTALL MILLWORK.

The contractor shall verify all dimensions and report all errors and discrepancies to the Consultant before commencement of the work.
The drawings show general arrangement of services. Follow as closely as actual building construction will permit. Obtain approval for relocation of service from Consultant before commencement of the work.
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1	25.02.24	ISSUED FOR PERMIT & TENDER	JA
2	25.04.29	ISSUED FOR ADDENDUM 01	JA



Project
**WATERLOO CITY CENTRE
CENTRAL WASHROOM
RENOVATIONS PHASE 3**
100 REGINA ST S, WATERLOO, ON N2J 4P9

Sheet Title
**ARCHITECTURAL PLANS
DEMO & RENO**

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Phone: 519-725-3555
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Drawn by SVA	Checked by JA	Approved by JA
Scale AS NOTED	Project Date FEB 2025	Print Date FEB 2025

Project No. 23115	Drawing No. A101
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End of Addendum #1

Bidders shall acknowledge receipt of all addenda through the City's bidding system prior to submitting their Bid.