

GENERAL NOTES & CONDITIONS THAT APPLY TO THE ENTIRE WORK:

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1. THESE PLANS ARE TAKEN FROM ARCHIVE DRAWINGS AND LIMITED SITE SURVEY INFORMATION. THE CONTRACTOR IS RESPONSIBLE FOR VISITING THE SITE TO CONFIRM THE SITE CONDITIONS PRIOR TO SUBMITTING BID.
2. ALL DIMENSIONS ARE PER SITE REVIEW AND EXISTING ARCHITECTURAL PLANS. ALL DISCREPANCIES BETWEEN CONDITIONS SHOWN AND SITE CONDITIONS ARE TO BE REPORTED TO ARCHITECT.
3. CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ALL ERRORS AND OMISSIONS TO THE DESIGN PROFESSIONAL WHOSE SEAL IS AFFIXED TO THIS DRAWING.
4. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE PRIOR TO FABRICATIONS/INSTALLATIONS.
5. DRAWINGS ARE NOT TO SCALE.
6. LOCATE AND PROTECT ALL UTILITIES.
7. CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION.
8. PROVIDE SECURE CONTROL OF SURFACE INSTALLATION AND FINISH APPLICATIONS TO PREVENT PERMANENT EFFECTS OF VANDALISM DURING CONSTRUCTION.
9. OBTAIN APPROVAL OF LAYOUT PRIOR TO STARTING WORK.
10. PROVIDE TEMPORARY CONSTRUCTION FENCE 1.8M HIGH MODULAR METAL FENCE WITH LOCKABLE GATE AS REQUIRED TO SECURE THE WORK ZONE.
11. CONTRACTOR IS RESPONSIBLE TO INCLUDE IN HIS SCOPE OF WORK DUST CONTROL FOR POTENTIAL SILICA IN CONCRETE / MORTAR.
12. FORMING CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR CONSULTANT'S REVIEW PRIOR TO CONCRETE FOOTING WALL INSTALLATION.
13. CONTRACTOR TO COORDINATE WITH FOOTING WALL DIMENSIONS PRIOR TO FABRICATION.
14. ALL COLOURS AND MATERIALS TO BE REVIEW BY ARCHITECT.
15. READ THIS DRAWING IN CONJUNCTION WITH THE COMPLETE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND SPRINKLER DOCUMENTATION.
16. REPAIR, PATCH & MAKE GOOD ALL EXISTING STRUCTURE AND FINISHES AFFECTED BY CONSTRUCTION.
17. ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED.
18. PROTECT EXISTING FINISHES TO REMAIN AS IDENTIFIED IN DOCUMENTATION, WHERE DEMOLITION WORK IMPACTS ON THESE FINISHES, PATCH AND MAKE GOOD TO MATCH EXISTING.
19. CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB INCLUDING, BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND DEMOLITIONS.
20. ANY OPENINGS IN FIRE RATED WALLS, CEILING AND FLOORS TO BE RETURNED TO EQUIVALENT CONDITION PRIOR TO THE OPENING. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS PER SPECIFICATION AND OGC.
21. ALL REQUIRED CUTTING & FITTING INCLUDING ELECTRICAL & MECHANICAL TO CONNECT EXISTING WITH THE NEW WORK TO BE PERFORMED AS PART OF THIS CONTRACT TO FINISH THE ENTIRE WORK IN A WORKMANLIKE AND WHOLE CONDITION.
22. ALL NEW WORK TO MAKE GOOD EXISTING; SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED.
23. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTATION FOR SPECIFIC EQUIPMENT TO BE REMOVED. PATCH AND MAKE GOOD ANY DAMAGE CAUSED BY REMOVAL OF MECHANICAL AND ELECTRICAL EQUIPMENT OR BY RELATED DEMOLITION WORK.
24. CONDUCT X-RAYS AND PERFORM INSPECTIONS AT AREAS WHERE CUTTING, PATCHING OR DEMOLITION THROUGH EXISTING STRUCTURE IS REQUIRED TO ENSURE EXISTING SERVICES WILL NOT BE DAMAGED. REPAIR AND REINSTATE EXISTING SERVICES IMMEDIATELY IF DAMAGED.
25. CONTACT CONSULTANT IMMEDIATELY IF ANY UNKNOWN SERVICES ARE UNCOVERED AND INTERFERE WITH NEW WORK.
26. REMOVE ALL FURNISHINGS WITHIN THE EXTENT OF NEW WORK CO-ORDINATE RELOCATION OR DISPOSAL WITH OWNER. ITEMS TO BE RELOCATED ARE TO BE STORED IN A PROTECTED AREA DURING CONSTRUCTION.
27. ALL ITEMS IDENTIFIED IN THE CONTRACT DOCUMENTS AS 'COORDINATION ITEMS' OR ITEMS IDENTIFIED AS N/C, INCLUDING BUT NOT LIMITED TO THE EQUIPMENT, SECURITY, DATA CONNECTION, SERVER, AUDIO & VISUAL AND OTHER SPECIALTY ITEMS IDENTIFIED, ARE TO BE SUPPLIED AND INSTALLED BY OTHER PARTIES. ALLOWANCES WILL BE REQUIRED FOR THE COMMON ACTION OR OMISSION OF THE GENERAL CONTRACTOR RELATION TO THE OVERALL PROJECT WITH RESPECT TO ALL COORDINATION ITEMS IDENTIFIED. THE GENERAL CONTRACTOR IS EXPECTED TO:
 - BUILDING ENVELOPE INSPECTIONS
 - STRUCTURAL INSPECTIONS
 - WATERPROOFING MEMBRANE INSPECTIONS
 - CITY'S SECURITY VENDOR
 - CITY'S CORPORATE SECURITY
 - BELL CANADA VOICE AND DATA CONNECTION
 - FIRE DEPARTMENT
 - CITY'S IT DEPARTMENT
28. REVIEW ALL ITEMS IDENTIFIED AS 'COORDINATION ITEMS' IN THE DRAWINGS AND COMMUNICATE WITH THE REQUIRED RESPONSIBLE PARTIES OF THE DEVICES THE DETAILED REQUIREMENTS OF EACH ITEM AS IT IMPACTS THE WORK OF GENERAL CONTRACTOR AND AS IT RELATES TO THE OVERALL COMPLETION OF THE PROJECT.
29. VERIFY THE EXISTING CONDITION AND ANY LIMITATIONS OF THE DEVICE AS INSTALLED IN THE PROPOSED LOCATION.
 - A. COORDINATE WORK OF OWNER'S OWN FORCE INTO THE OVERALL CONSTRUCTION SEQUENCE.
 - B. VERIFY ALL REQUIRED ROUGH-INS, RELATED CONSTRUCTIONS AND CONNECTIONS REQUIRED FOR THE DEVICES TO BE INSTALLED.
 - C. COORDINATE AND COORDINATE THE WORK OF OTHERS INTO THE OVERALL CONSTRUCTION SEQUENCE TO AVOID UNNECESSARY DELAY TO THE COMPLETION OF THE OVERALL PROJECT.
 - D. ENSURE THAT THE PROPOSED ITEM IS INSTALLED AS INTENDED AND IS MADE FULLY OPERATIONAL AT THE COMPLETION OF THE WORK.
30. GENERAL CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS AS REQ'D TO PERFORM THE WORK INCLUDING AND NOT LIMITED TO THE FOLLOWING STREET OCCUPATION PERMIT, EIA PERMIT, STREET WORK PERMIT AND ETC.
31. THE BUILDING WILL REMAIN IN OPERATION DURING THE COURSE OF CONSTRUCTION. INTERIOR AND EXTERIOR WORK IS TO OCCUR IN PHASES TO ENSURE THAT ALL BUILDING AND ACCESS FOR THE PROTECTION AND SAFETY OF PEDESTRIANS AND VEHICLES TO MINIMIZE DISRUPTION TO STAFF AND THE FACILITY OPERATIONS.
32. COMPLY WITH THE MOST CURRENT REQUIREMENTS OF THE OCCUPATIONAL HEALTH AND SAFETY ACT, REGULATION FOR CONSTRUCTION PROJECT.
33. BE RESPONSIBLE FOR THE PROTECTION AND SAFETY OF ALL PEDESTRIANS AND VEHICLES IN THE WORK AREA. PROVIDE AND INSTALL BARRICADES, SIGNS GUARDRAILS, ETC AS REQUIRED. AT THE CONCLUSION OF EACH DAY'S WORK, ENSURE THAT ALL BUILDING AND ACCESS FOR THE PROTECTION AND SAFETY OF PEDESTRIANS AND VEHICLES HAVE BEEN TAKEN.
34. PROVIDE AND MAINTAIN OVERHEAD PROTECTION AT ALL BUILDING ENTRANCES, EXITS, DOORS AND PATIOS.
35. DO NOT BLOCK ANY FIRE EXITS.
36. PROVIDE ADEQUATE PROTECTION OF MATERIALS AND WORK FROM DAMAGE AND STAINING BY WEATHER AND OTHER CAUSES. CONTRACTOR SHALL MAKE GOOD ANY DAMAGE.
37. CONTRACTOR TO ENSURE ALL WALKWAYS / PATHS TO AND FROM ALL ENTRANCE DOORS ARE FREE OF DEBRIS AND OBSTRUCTIONS AT ALL TIMES DURING THE WORK.
38. MAINTAIN AT ALL TIMES CLEAR ACCESS ON DRIVE AISLES ADJACENT TO BUILDING TO THE SITE.
39. MOBILIZATION, STORAGE OR ACCESS NOT PERMITTED AT ADJACENT PROPERTY.
40. NO PARKING IS AVAILABLE ON SITE.

45. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF HOARDING, DUST PROTECTION, SITE PROTECTION, AND CONSULTATION SIGNAGE AROUND EACH PHASE OF THE WORK. THE CONTRACTOR SHALL REPAIR ALL AREAS DAMAGED BY CONSTRUCTION ACTIVITY. SPECIFICALLY, ALL DAMAGE RESULTING FROM THE CONSTRUCTION SHALL BE REPAIRED TO THE SATISFACTION OF THE CONSULTANT, INCLUDING REPAINTING OF SURFACES IN ACCORDANCE WITH THE SPECIFICATIONS PROVIDED IN THESE DOCUMENTS.

46. THE CONTRACTOR SHALL PERFORM FINAL CLEANING OF THE STRUCTURE, FIXTURES, PIPING, ETC., AND ENSURE THE DISPOSAL OF ALL WASTE PRODUCTS AND DEBRIS GENERATED BY THE CONSTRUCTION ACTIVITY, AS WELL AS ANY MATERIALS PRESENT IN THE WORK AREA PRIOR TO THE COMMENCEMENT OF THE WORK. THE AREAS REQUIRING CLEANING SHALL INCLUDE ALL THOSE AFFECTED BY THE WORK.

47. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE ALL LABOR, MATERIAL, EQUIPMENT, AND SUPERVISION TO COMPLETE THE REPAIRS OUTLINED IN THESE DOCUMENTS, TAKING INTO ACCOUNT ALL SITE CONDITIONS, NOISE RESTRICTIONS, BY-LAWS, WORK AREA RESTRICTIONS, PROTECTION REQUIREMENTS, ETC. NO EXTRAS FOR INCONVENIENCES WILL BE ENTERTAINED AFTER THE AWARD OF THE CONTRACT.

48. HOARDING, DUST PROTECTION, AND OVERHEAD PROTECTION ARE REQUIRED AS SPECIFIED TO PROTECT THE PUBLIC FROM FALLING DEBRIS. OVERHEAD PROTECTION/COVERED WALKWAYS MUST BE PROVIDED AS REQUIRED IN ACCORDANCE WITH ALL BY-LAWS, STANDARDS, THE OCCUPATIONAL HEALTH AND SAFETY ACT, AND AS MANDATED BY AUTHORITIES AND THESE SPECIFICATIONS. THIS INCLUDES COVERED WALKWAYS AT ALL ENTRANCES AND EXITS TO THE BUILDING, EXTENDING OUT FROM THE BUILDING A MINIMUM OF 9 METERS WHERE ANY OVERHEAD LIFTING OR WORK TAKES PLACE.

49. THE CONTRACTOR IS TO PROTECT WINDOWS, DOORS, AND ALL BUILDING SURFACES AGAINST DAMAGE DURING PROCEDURES. ANY DAMAGE AND CLEANING OF THE SITE WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR/RESTORE.

50. THE CONTRACTOR WILL BE PERMITTED TO UNDERTAKE ALL WORK IN MULTIPLE PHASES.

51. THE CONTRACTOR IS REQUIRED TO PROVIDE A DETAILED CONSTRUCTION SCHEDULE THAT IDENTIFIES THE LOCATION OF EACH STAGE OF THE WORK, COMPLETE WITH THE START AND COMPLETION DATES OF EACH PHASE OF THE WORK, IN A FORM ACCEPTABLE TO BOTH THE OWNER AND THE CONSULTANT. THE CONTRACTOR MUST UPDATE THE CONSTRUCTION SCHEDULE AS THE WORK PROGRESSES TO ENSURE THE CURRENT SCHEDULE ACCURATELY REFLECTS THE ACTUAL PROGRESS OF WORK. COPIES OF THE UPDATED CONSTRUCTION SCHEDULE MUST BE SUBMITTED TO THE OWNER AND THE CONSULTANT FOR REVIEW A MINIMUM OF 72 HOURS IN ADVANCE OF THE SCHEDULED CONSTRUCTION PROGRESS MEETING.

52. THE CONTRACTOR IS TO ENSURE THAT ALL CONCEALED SERVICES ARE NOT DAMAGED DURING DEMOLITION OR OTHER CONSTRUCTION ACTIVITIES. IN THE EXECUTION OF THE TEMPORARY WORK AND FOR THE DURATION OF THE CONTRACT, THE CONTRACTOR SHALL MAKE ADEQUATE PROVISION FOR ALL LIKELY CONSTRUCTION LOADING AND PROVIDE SUFFICIENT BRACING AND PROPS TO KEEP THE WORK PLUMB, ALIGNED, AND FREE FROM EXCESSIVE DEFLECTION. COSTS OF ALL TEMPORARY WORK ARE TO BE INCLUDED IN THE BASE CONTRACT PRICE.

53. SUBMIT SHOP DRAWINGS FOR ALL TEMPORARY WORK FOR REVIEW BEFORE FABRICATION COMMENCES. SHOP DRAWINGS SHALL BE SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.

54. THE CONTRACTOR IS TO PROVIDE SAFE ACCESS TO EXECUTE THE WORK SPECIFIED IN THE CONTRACT DOCUMENTS. ACCESS MAY CONSIST OF SCAFFOLDING, STAGING, FALSE WORK, A COMBINATION OF THESE METHODS, OR OTHER APPROVED METHODS IN ACCORDANCE WITH WSIB REQUIREMENTS.

55. ALL ACCESS SHALL BE SUITABLE FOR THE SAFE AND EFFICIENT PERFORMANCE OF THE WORK. THE CONTRACTOR IS TO SUBMIT A BUILDING PLAN INDICATING THE TYPE OF ACCESS TO BE EMPLOYED FOR EACH PORTION OF THE BUILDING.

56. ALL ACCESS SHALL BE CAPABLE OF SUPPORTING ITS DEAD LOAD AND THE LIVE LOAD OF WORKERS AND STORED MATERIALS. LIVE LOADING SHALL CONFORM TO CAN/CSA S269.2-M87, ACCESS SCAFFOLD FOR CONSTRUCTION PURPOSES, CLAUSE 5.2.1.(B).

57. PHASING OF ACCESS IS ACCEPTABLE.
THE CONTRACTOR IS TO PROVIDE ALL REQUIRED CONSTRUCTION SIGNAGE
NECESSARY TO PROTECT THE PUBLIC FROM THE CONSTRUCTION.

2 ORIANNA DR, TORONTO, ON M8W 4Y1

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ARCHITECTURAL	
A0.1	DRAWING LIST / GENERAL NOTES
A0.2	PHOTOS – LOBBY
A0.3	PHOTOS – MEETING ROOM
A0.4	PHOTOS – CORRIDOR
A0.5	PHOTOS – MULTI-PURPOSE ROOM
A0.6	PHOTOS – CHANGEROOM
A0.7	PHOTOS – POOL
A0.8	PHOTOS – CHANGEROOM
A0.9	PHOTOS – RECEPTION
A2.1	FLOOR PLAN / SCHEDULES



general notes :

3. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the misinterpretations of these documents by the Contractor. If the Contractor requires the Architect to provide written / graphic clarification or supplemental information regarding the intent of the Contract Documents, the Architect will review Shop Drawings submitted by the Contractor for design conformance only.
4. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required in the application. The Contractor will report any discrepancies with the Contract Documents to the Architect before commencing work.
5. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the Architect.

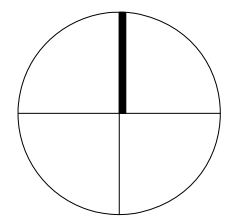


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ISSUED FOR TENDER 01 NOVEMBER 2024
ISSUED FOR TENDER 29 JULY 2024
revision _____ date _____



**ALDERWOOD CENTRE
PAINTING ENHANCEMENT**
Address: 2 ORIANNA DR, TORONTO
PHOTOS - LOBBY

project no. : 2419
scale : NTS
date : JULY 2024

drawing no. :

A0.2



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29 JULY 2024

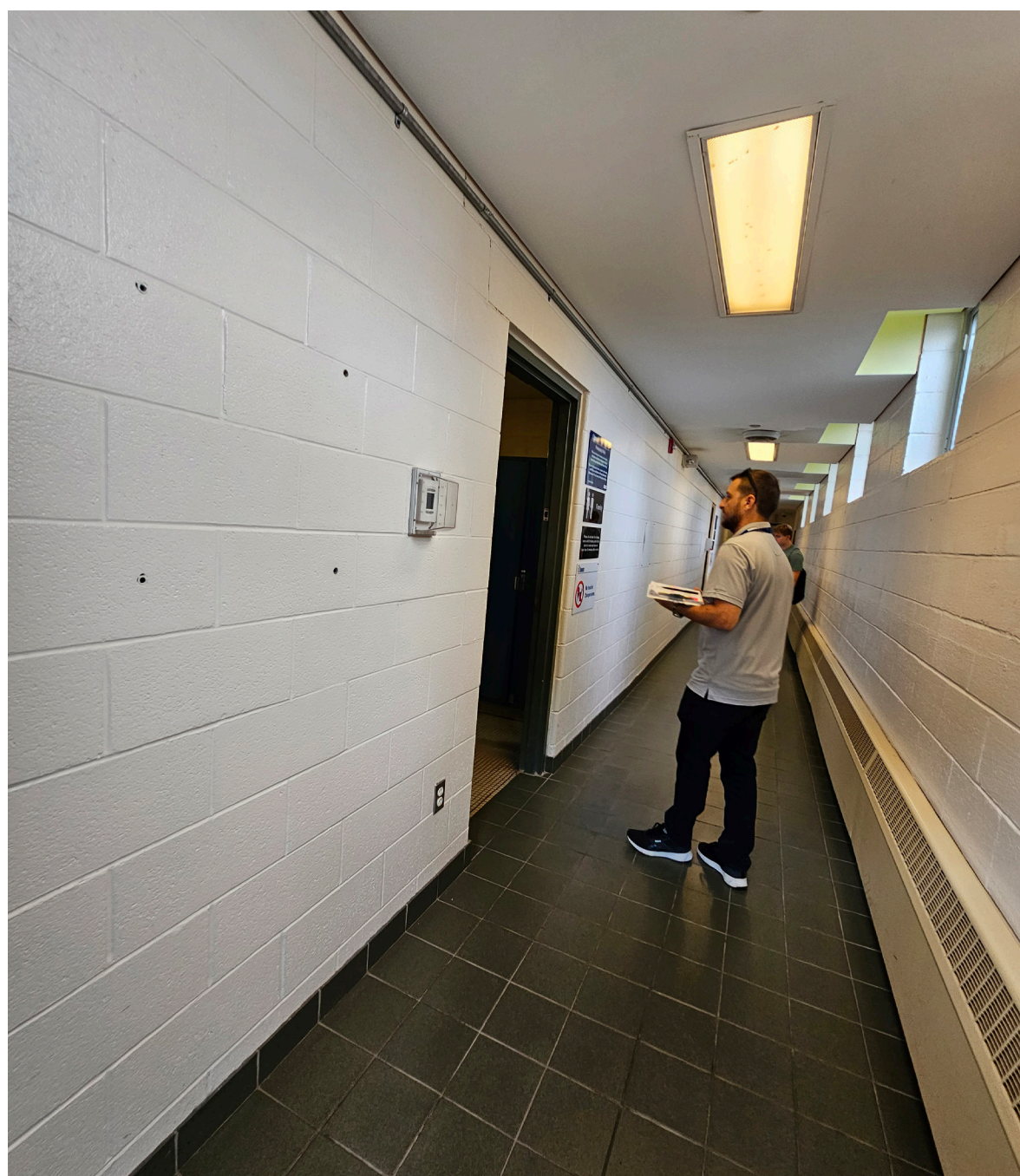
division date

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PAINTING ENHANCEMENT**
Address: 2 ORIANNA DR, TORONTO

**PHOTOS - MEETING
ROOM**

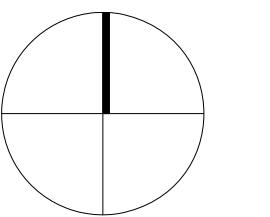
project no.: 2419
scale: NTS
date: JULY 2024

drawing no.:



general notes :

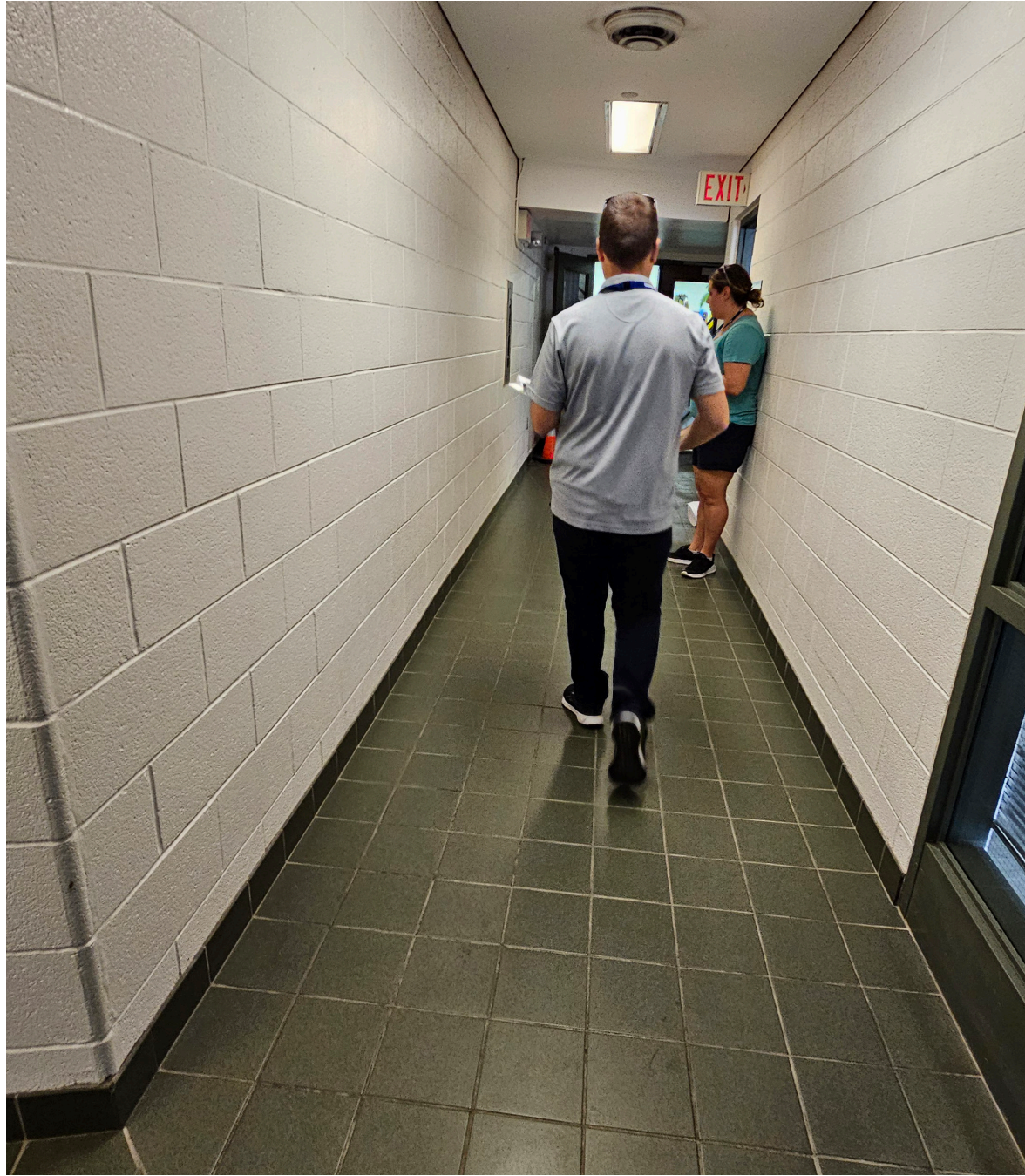
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[illegible]

project no. : 2419
scale : NTS
date : JULY 2024

drawing no. :

A0.4



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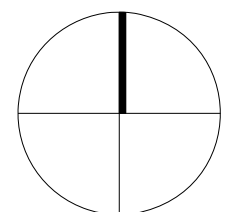
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29 JULY 2024
division

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29 JULY 2024
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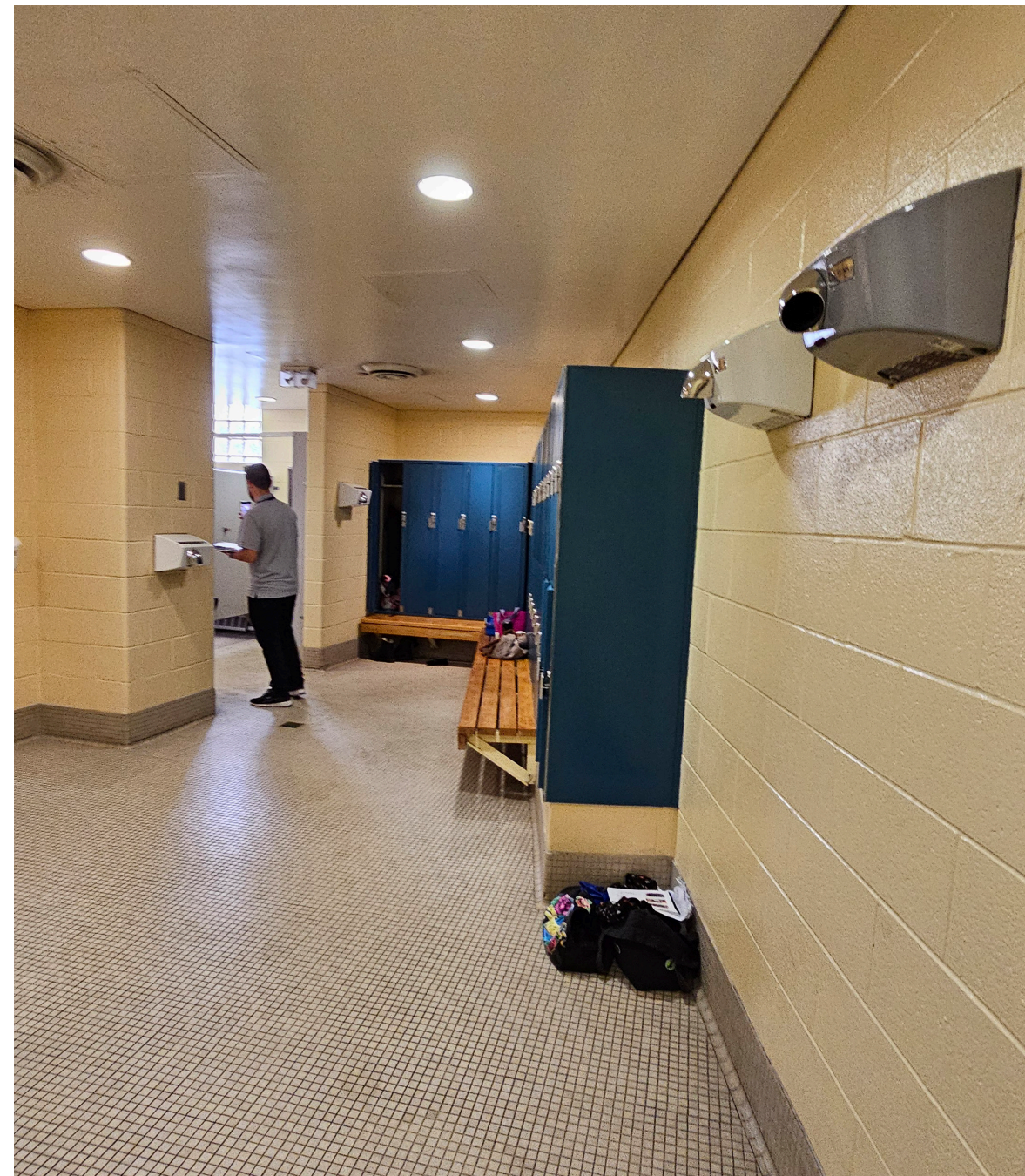
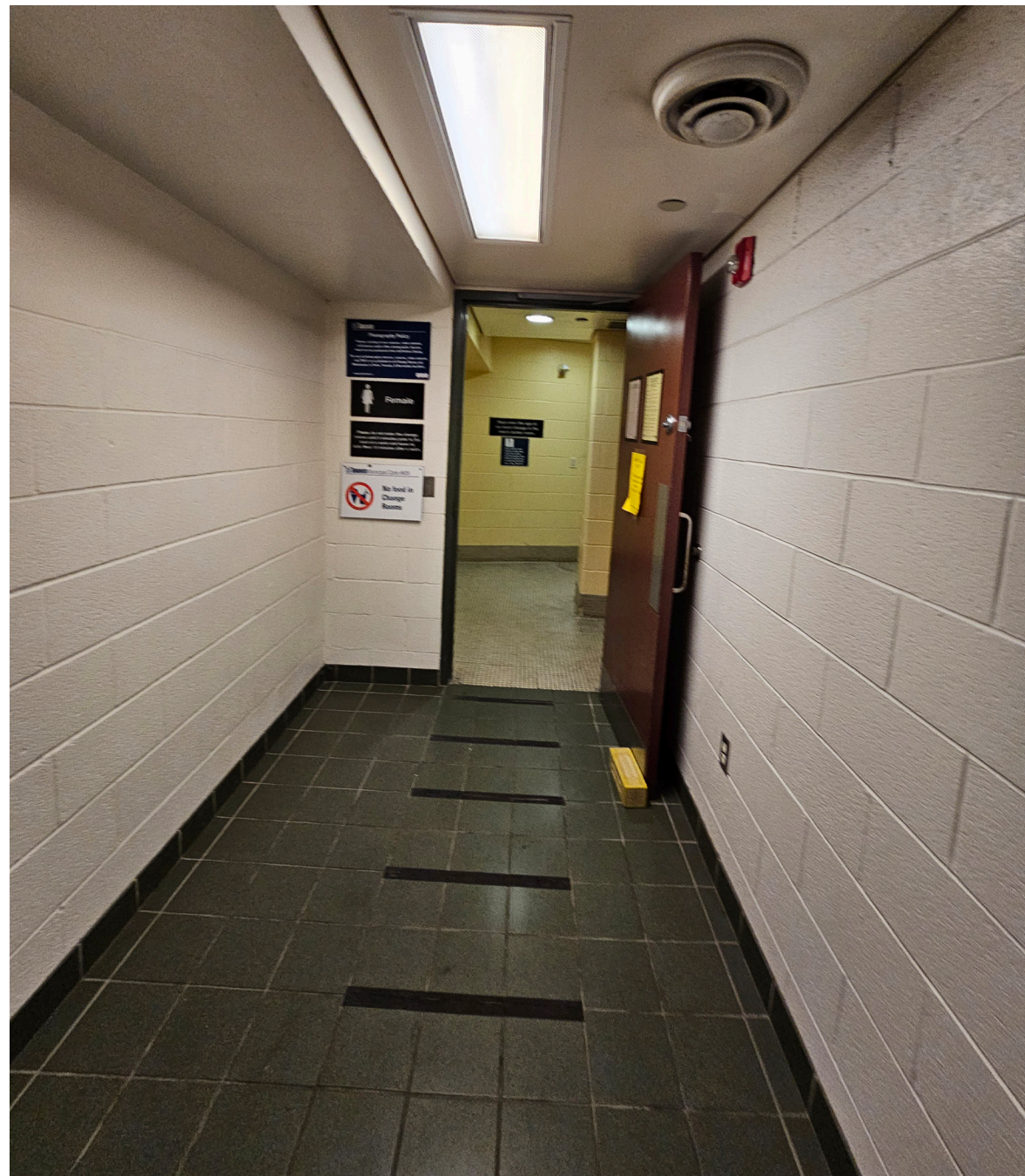


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Address: 2 ORIANNA DR, TORONTO
PHOTOS -
MULTI-PURPOSE ROOM

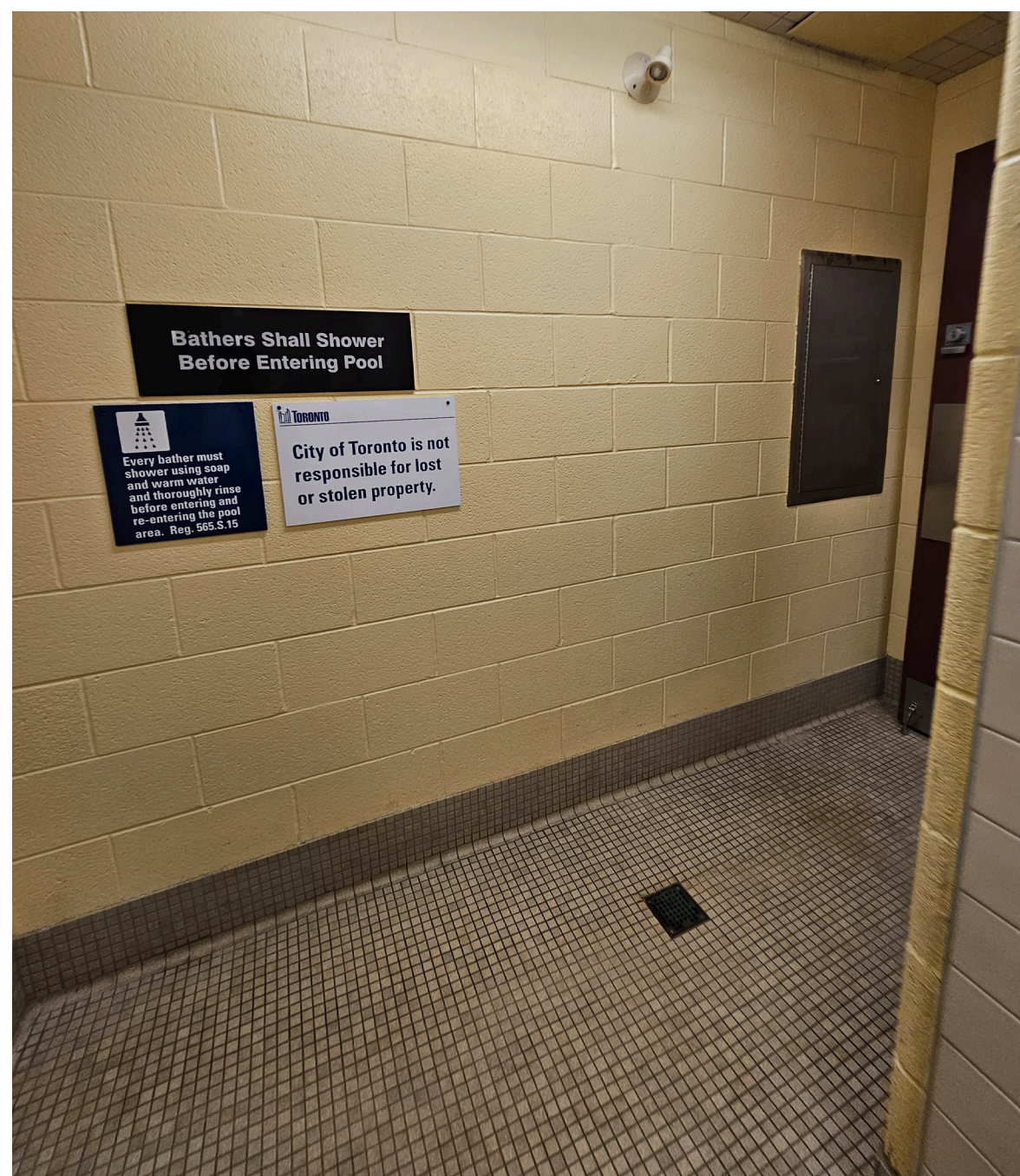
project no. : 2419
scale : NTS
date : JULY 2024

drawing no. :

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3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the Architect.



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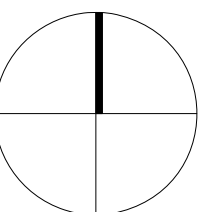
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28 JULY 2024

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revision date



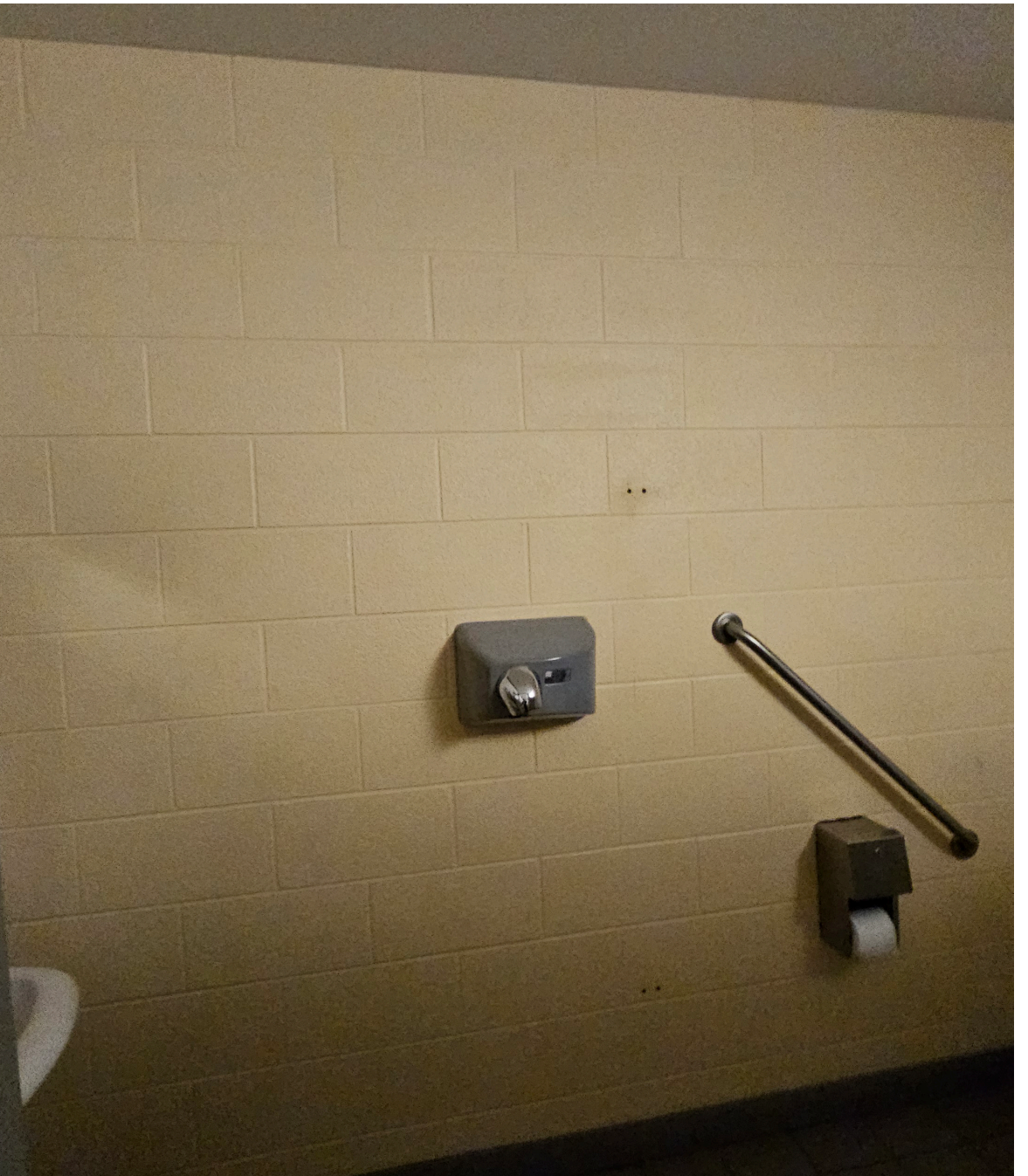
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PHOTOS - POOL

project no. : 2419
scale : NTS
date : JULY 2024
drawing no. :

A0.7



3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the Architect.



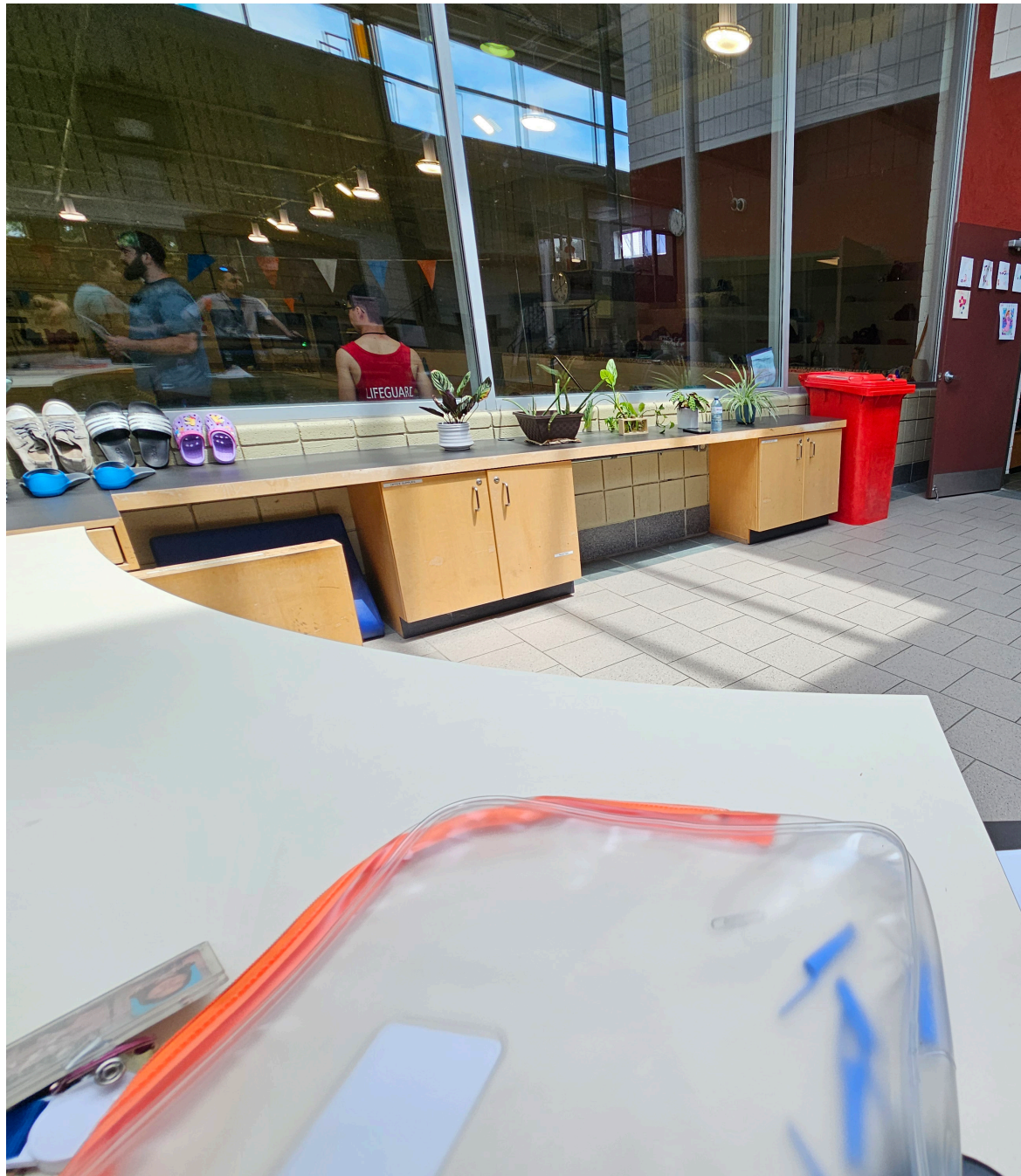
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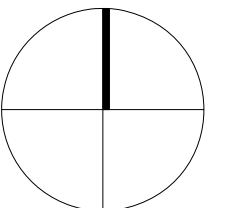
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revision
01 NOVEMBER 2024
29 JULY 2024
date



**ALDERWOOD CENTRE
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Address: 2 ORIANNA DR, TORONTO
PHOTOS - RECEPTION

project no. : 2419
scale : NTS
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drawing no. :

A0.9

ROOM FINISH SCHEDULE							
ROOM NAME	CEILING HEIGHT	FLOOR	WALLS				CEILING
			NORTH	EAST	SOUTH	WEST	
Lobby	7.5						
Reception	7.5		PT6	PT6			
Meeting Room	3.6		PT1 / PT2	PT1	PT1	PT6	PT7
Men's Washroom	3.3		PT1	PT1	PT1	PT1	
Women's Washroom	3.3		PT1	PT1	PT1	PT1	PT7
Family Changeroom	3.3		PT1	PT1	PT1	PT1	PT7
Men's Changeroom	3.3		PT1 / PT5	PT1 / PT5	PT1	PT1	PT7
Women's Changeroom	3.3		PT1	PT1 / PT5	PT1 / PT5	PT1	PT7
Corridor 2	3.3		PT1 / PT2	PT1 / PT3	PT1	PT1	PT7
Multi-purpose Room	3.3		PT1	PT1 / PT3	PT1 / PT2	PT1	
Pool	6.9	PT4 / PT8	PT1 / PT2	PT1	PT1	PT1 / PT2	PT7
Do not paint over wood doors, only door frames.							
The lockers are a Separate Price Item.							
The lockers are a Separate Price Item.							
Paint all doors and door frames and window frames. Do not paint tiled area of low wall in front of stands. PT1 walls for north, south and west are a Separate Price Item.							

ROOM FINISH SCHEDULE GENERAL NOTES (TYPICAL):

1. VERIFY THE CONDITION OF ALL SURFACES PRIOR TO PAINTING.
2. PATCH AND MAKE GOOD ALL EXISTING SURFACES AS REQUIRED TO ACHIEVE A UNIFORM AND CONTINUOUS APPEARANCE.
3. PATCH AND MAKE GOOD ALL EXISTING CEILINGS TO ACHIEVE A UNIFORM AND CONTINUOUS APPEARANCE.
4. ENSURE ALL PAINTED SURFACES ARE FREE OF DUST AND DEBRIS BEFORE PAINTING.
5. MASK AND COVER ALL FIXTURES, SWITCHES, AND OUTLETS BEFORE PAINTING.
6. USE DROP CLOTHS AND PROTECTIVE SHEETING TO COVER FLOORS, FURNITURE, EQUIPMENT AND ETC.
7. PROTECT ALL ADJACENT SURFACES FROM PAINT SPLATTERS AND DRIPS.
8. USE ONLY APPROVED PAINT MATERIALS AND COLORS AS SPECIFIED.
9. PAINT ALL WALL AND FRAME SURFACES.
10. PAINT BOTH SIDES OF ALL DOOR AND WINDOW FRAME SURFACES.
11. PAINT ALL PAINTABLE AND PREVIOUSLY PAINTED DOORS AND FRAMES.
12. PAINT ALL BULKHEADS, HORIZONTAL, AND VERTICAL SURFACES.
13. PAINT ALL PREVIOUSLY PAINTED SURFACES TO MAINTAIN CONSISTENCY AND COVERAGE.
14. ENSURE ALL PAINT LAYERS ARE EVEN AND CONSISTENT IN COLOR.
15. ALLOW SUFFICIENT DRYING TIME BETWEEN COATS AS PER MANUFACTURER'S INSTRUCTIONS.
16. DO NOT PAINT ANY FIRE ALARMS OR LIFE SAFETY DEVICES.
17. DO NOT PAINT ON NATURAL WOOD TEXTURE AREAS.
18. DO NOT PAINT ANY SCREWED-ON DEVICES.
19. DO NOT PAINT ANY WALL TILES UNLESS OTHERWISE NOTED.
20. DO NOT PAINT MILLWORK UNLESS OTHERWISE NOTED.
21. DO NOT PAINT ON OUTLETS AND COVER AD BUTTONS.
22. DO NOT PAINT ON WATER FOUNTAINS.
23. DO NOT PAINT ON WOOD TEXTURE RAILINGS, LIGHTING COVERS, ETC.
24. REMOVE, SALVAGE, STORE, AND REINSTALL ALL SIGNS AFTER PAINTING.
25. REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED BULLETIN BOARDS AFTER PAINTING.
26. REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED ACCESSORIES IN WASHROOMS AND OTHER ROOMS AFTER PAINTING.
27. REMOVE, SALVAGE, STORE, AND REINSTALL ALL WALL-MOUNTED ITEMS SUCH AS SIGNAGE THAT ARE LESS THAN 12 FT X 12 FT AFTER PAINTING.
28. PROVIDE PROPER VENTILATION IN AREAS BEING PAINTED TO ENSURE SAFETY.
29. ALL PAINTING WORK MUST COMPLY WITH LOCAL BUILDING CODES AND STANDARDS.
30. MAINTAIN A CLEAN AND ORGANIZED WORK AREA THROUGHOUT THE PAINTING PROCESS.
31. CLEAN AND DISPOSE OF ALL PAINTING MATERIALS AND WASTE ACCORDING TO ENVIRONMENTAL REGULATIONS.
32. PROVIDE TOUCH-UP PAINT FOR FUTURE USE BY THE OWNER.
33. DOCUMENT ANY CHANGES OR DEVIATIONS FROM THE ORIGINAL PAINTING PLAN.
34. REMOVE ALL PAINTING EQUIPMENT AND MATERIALS FROM THE SITE UPON COMPLETION.
35. CONDUCT A FINAL INSPECTION WITH THE PROJECT MANAGER TO ENSURE ALL PAINTING WORK MEETS QUALITY STANDARDS AS PER THE SPECIFICATIONS.
36. ENSURE ALL PAINTING WORK IS PERFORMED BY QUALIFIED AND EXPERIENCED PERSONNEL.
37. REMOVE ANY LOOSE OR PEELING PAINT FROM WALLS, FLOORS, CEILINGS, AND STEPS. PATCH AND REPAIR ANY DENTS, CRACKS, OR IMPERFECTIONS IN WALLS, PRIME AND PAINT WALLS, CEILINGS, AND SURFACES.
38. KEEP CORRIDORS AND COMMON AREAS CLEAN. THIS BUILDING WILL REMAIN OCCUPIED AND FULLY OPERATIONAL FOR THE DURATION OF THIS PROJECT.
39. THE CONTRACTOR IS TO INCLUDE THE REMOVAL AND REINSTALLATION OF WALL-MOUNTED ITEMS AS REQUIRED TO COMPLETE THIS FULL SCOPE OF WORK. THE CONTRACTOR MUST CONFIRM REQUIREMENTS DURING SITE VISITS.
40. REMOVE EXISTING ADHESIVE, CAULKING, AND PAINT LINES FROM THE BASE OF EXISTING WALLS FOR INSTALLATION OF NEW OR REINSTALLED RUBBER BASE MATERIALS. SKIN COAT AS REQUIRED.
41. MECHANICAL AND ELECTRICAL DEVICES SUCH AS LIGHTING ARE NOT INDICATED ON THE DRAWINGS. CONTRACTOR SHALL CUT-IN AROUND ALL EXISTING LIGHT FIXTURES IN A MANNER SO THAT PAINT LINES ARE NOT VISIBLE.
42. ALL WORK SHALL BE PERFORMED DURING THE DAY TIME WITH TIME TO ALLOW SURFACES TO DRY PRIOR TO DAILY OCCUPANCY.
43. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND MANAGING THE MOVING OF FURNITURE AND EQUIPMENT, INCLUDING GYM EXERCISE EQUIPMENT, FOLLOWING THE COMPLETION OF PAINTING. THIS INCLUDES SAFELY REMOVING, STORING AND REINSTATING THE EQUIPMENT TO ITS ORIGINAL CONDITION. THE CONTRACTOR MUST ENSURE THAT ALL EQUIPMENT IS PROPERLY RESTORED AND SECURELY REASSEMBLED TO ENSURE THE SAFETY OF USERS. ADDITIONALLY, A THIRD-PARTY SAFETY INSPECTION IS REQUIRED.
44. PAINT ALL EXPOSED STEEL BRACKETS.
45. REMOVE, DISCONNECT, STORE, AND REINSTALL ALL ELECTRICAL DEVICES SUCH AS TVs, POS SYSTEM, COMPUTERS, PHOTOCOPIERS, ETC.
46. CONTRACTOR TO REMOVE EXISTING SEALANTS AND PROVIDE NEW SEALANTS AT ALL MATERIAL JUNCTIONS. ENSURE THAT ALL JUNCTIONS ARE PROPERLY CLEANED AND PREPARED BEFORE APPLYING NEW SEALANTS.
47. CONTRACTOR SHALL PAINT ALL EXPOSED MECHANICAL DUCTWORK SURFACES, UNLESS OTHERWISE NOTED ON THE DRAWING OR ROOM FINISHING SCHEDULE.
48. CONTRACTOR SHALL PAINT ALL PREVIOUSLY PAINTED RADIATORS TO MATCH THE ADJACENT SURFACES, UNLESS OTHERWISE NOTED ON THE DRAWING OR ROOM FINISHING SCHEDULE.

COLOUR FINISH SCHEDULE

	Colour	Sheen	Location	Sample
PT1	Benjamin Moore CSP-250 "Dulce de Leche"	Eggshell	Interior Walls	PT1
PT2	Sherwin Williams SW-7017 "Dorian Grey"	Semi-gloss	Metal Hollow Frames All Door (Both Sides)	PT2
PT3	Benjamin Moore CSP-250 "Dulce de Leche"	Semi-gloss	Radiators	PT3
PT4	Traffic Yellow	Semi-gloss	All Stair Nosing	PT4
PT5	Sherwin Williams SW-9185 "Marea Baja"	Semi-gloss	Lockers	PT5
PT6	Benjamin Moore AC - 28 "Heirloom Quilt"	Eggshell	Interior Walls	PT6
PT7	Dulux Ultra 949000 "Flat White"	Eggshell / Semi-gloss	Interior Ceiling Eggshell in Common Areas Semi-gloss in Wet Areas	PT7
PT8	Sherwin Williams SW-7017 "Dorian Grey"	Semi-gloss	Stands in Pool Area	PT8

CHERIE NG ARCHITECT INC.
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general notes :

1. These Contract Documents are the property of the Architect. The Architect bears no responsibility for the misinterpretations of these documents by the Contractor. Upon written application the Architect will provide written / graphic clarification or supplemental information regarding the intent of the Contract Documents. The Architect will review Shop Drawings submitted by the Contractor for design conformance only.

2. Drawings are not to be scaled for construction. Contractor to verify all existing conditions and dimensions required to perform the Work and report any discrepancies with the Contract Documents to the Architect before commencing work.

3. Positions of exposed or finished mechanical or electrical devices, fittings, and fixtures are indicated on the Architectural drawings. The locations shown on the Architectural drawings govern over the Mechanical and Electrical drawings. Those items not clearly located will be located as per directed by the Architect.

LEGEND:

OUTSIDE OF SCOPE

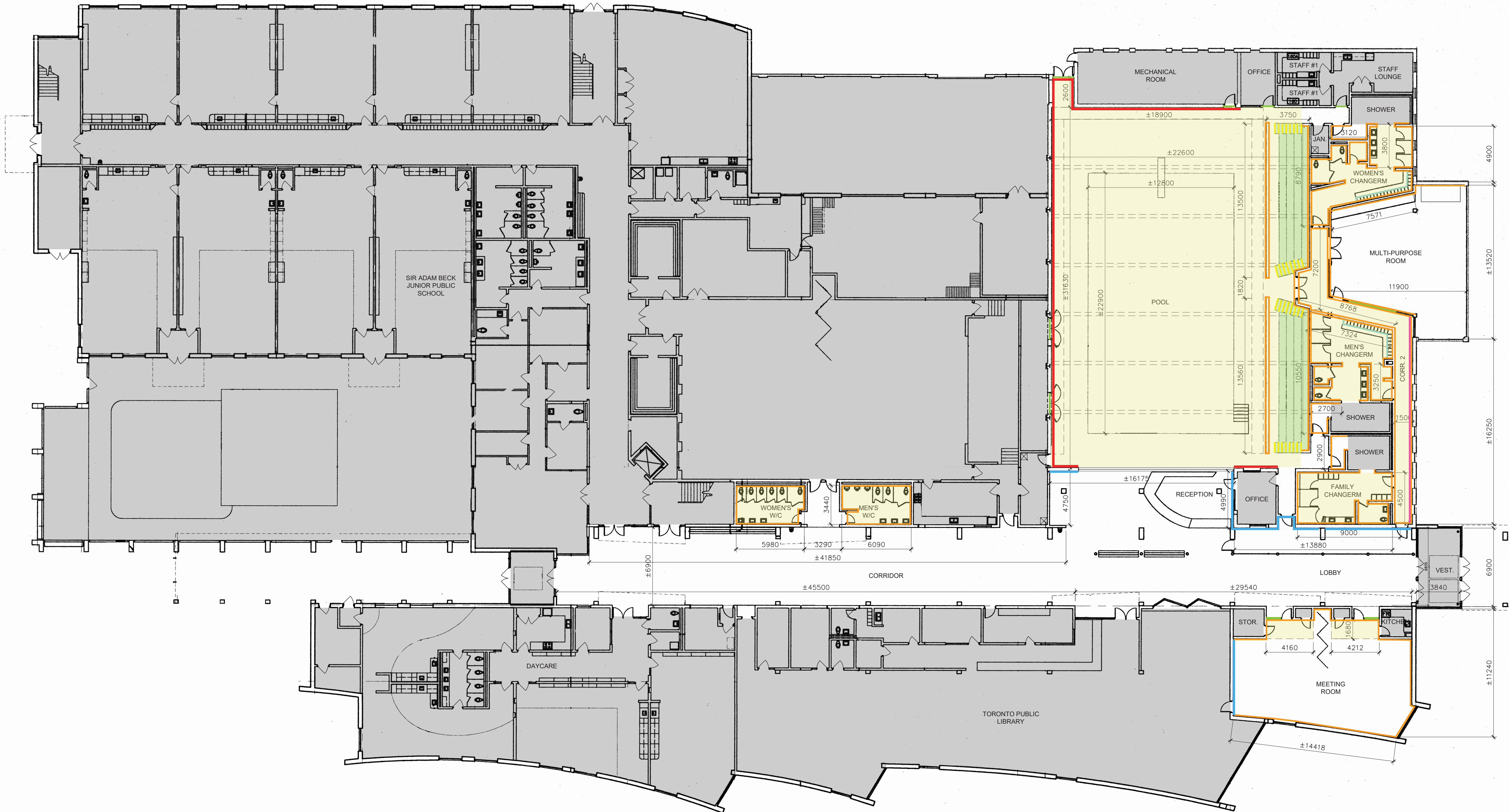
DOOR: DO NOT PAINT

PAINT DOOR & FRAMES BOTH SIDES

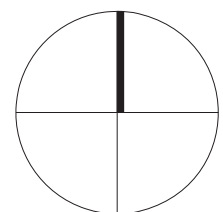
- PT1 Colour #1
- PT2 Colour #2
- PT3 Colour #3
- PT4 Colour #4
- PT6 Colour #6
- PT7 Colour #7
- PT8 Colour #8

SEPARATE PRICE:

- PT1 Colour #1
- PT5 Colour #5



ISSUED FOR TENDER	01 NOVEMBER 2024
ISSUED FOR TENDER	29 JULY 2024
revision	date



**ALDERWOOD CENTRE
PAINTING ENHANCEMENT**
Address: 2 ORIANNA DR, TORONTO
**FLOOR PLAN /
SCHEDULES**

project no.: 2419
scale: 1/200
date: JULY 2024

drawing no.:

A2.1