

2 KEY MAP  
H-01 NTS



1 DETAIL PHOTO OF AREA FOR HERITAGE REHABILITATION  
H-01 NTS

## UNIVERSITY OF TORONTO HEALTH & WELLNESS CENTRE AT KOFFLER

214 COLLEGE STREET  
TORONTO, ON M5T 3A1  
UNIVERSITY PROJECT NO.: P143-19-100  
EVOQ PROJECT NO.: 9385-20-00

ISSUED FOR CONSTRUCTION  
ISSUED 2025-04-30

### ABBREVIATIONS

ELE	ELEVATOR
GAU	GAUGE
c/c	CENTER TO CENTER
CL	CENTER LINE
FW	PLYWOOD
FD	FLOOR DRAIN
FRR	FIRE RESISTANCE RATING
DN	DOWN
EQ	EQUAL
UP	UP
ELEC	ELECTRICAL
THK	THICKNESS
STR	STAIR
EXT	EXTERIOR
RL	RAILING
h	HOUR
H	HEIGHT
OC	OFF CONTRACT
INT	INTERIOR
INV	INVERTED
STC	SOUND TRANSMISSION CLASS RATING
m	METERS
m <sup>2</sup>	SQUARE METERS
MAX	MAXIMUM
HR	HANDRAIL
MEC	MECHANICAL
MIN	MINIMUM
min	MINUTES
MIR	MIRROR
mm	MILLIMETERS
RO	ROUGH OPENING
FS	FIRE SEPARATION
UOI	UNLESS OTHERWISE INDICATED
SIM	SIMILAR
STR	STRUCTURE
TYP	TYPICAL
VAR	VARIABLE

### TAGS LEGEND

NOM DE LA PIÈCE	ROOM DESCRIPTION
000	ROOM NUMBER
00m <sup>2</sup>	ROOM AREA

00	WINDOW TYPE
0000	DOOR NUMBER

ASSEMBLY TYPE:	
W0	WALL (EXTERIOR SHELL) TYPE
C0	CEILING TYPE
F0	FLOOR TYPE
FND	FOUNDATION TYPE
R0	ROOF TYPE

PARTITION TYPE (INTERIOR WALL)	
PARTITION TYPE NUMBER	
ADDITIONAL INFORMATION (IF REQUIRED)*	
m = REPLACE GYPSUM BY A MOLD AND MILDEW RESISTANT GYPSUM	
mm = MINIMUM ROOM SIZE	
c = 150mm ABOVE FINISH CEILING	
u = UNDER THE FINISH CEILING	
d = DWARF WALL	
*UNLESS OTHERWISE STATED, THE PARTITION IS FULL HEIGHT (SLAB TO SLAB)	
XX# X#	MATERIAL AND FINISH
XX# X#	MATERIAL AND ITS PROPERTIES IDENTIFIER
XX# X#	FLOOR MATERIAL AND FINISH
XX# X#	BASEBOARD MATERIAL AND FINISH

AC#	ACCESSORY TYPE
EQ#	EQUIPMENT OR FURNITURE TYPE
0	REVISION NUMBER

### SHEET LIST

#	SHEET NAME	REV. #	DATE
H-01	COVER	6	2025-04-30
H-02	HERITAGE PLANS	6	2025-04-30
H-03	HERITAGE ELEVATIONS AND DETAILS	6	2025-04-30

### HERITAGE SCOPE SUMMARY

REFER TO COMPLETE SET OF CONTRACT DOCUMENTS FOR TOTAL SCOPE OF WORK IN CONTRACT

1. REMOVAL AND SALVAGE
  - REMOVAL OF DETERIORATED STONE CLADDING FOR DUTCHMAN REPAIRS.
  - REMOVAL OF EXISTING WOOD ENTRANCE DOOR FOR REPAIRS AND REINSTALLATION.
2. MASONRY
  - CLEANING AND REPAIRS TO STONE FACADE.
  - REPOINTING OF MORTAR JOINTS.
  - RECREATION AND INSTALLATION OF MISSING PROFILES AND CARVED STONES.
3. WINDOWS & DOORS
  - MISCELLANEOUS REPAIRS TO EXISTING WOOD WINDOWS AND DOORS.
  - REFINISHING WOOD WINDOWS AND DOORS.
  - RESETTING OR REPLACEMENT OF GLASS LITES.
  - EXISTING HARDWARE RESTORATION.

### SYMBOLS LEGEND

X	GRID IDENTIFICATION BUBBLE
X	EXISTING GRID IDENTIFICATION BUBBLE, GRID XA, XB, XC, X1, X2, X3
1 A-000	GENERAL ELEVATION REFERENCE
1 A-000	GENERAL SECTION REFERENCE
1 A-000	WALL SECTION REFERENCE
1 A000	INTERIOR ELEVATION REFERENCE
1 A-101	DETAIL REFERENCE
1/A101	REFERENCE TO A VIEW

LEVEL BUBBLE IN SECTION OR ELEVATION	
NIVEAU 00 000	TOP OF ...
NIVEAU 00 000	BOTTOM OF ...
NIVEAU ±00 010	APPROXIMATE LEVEL, TOP OF ...
NIVEAU ±00 010	APPROXIMATE LEVEL, BOTTOM OF ...
NIVEAU 00 000	LESS IMPORTANT LEVEL OR SPECIFIC ELEMENT LEVEL, TOP OF ...
NIVEAU 00 000	LESS IMPORTANT LEVEL OR SPECIFIC ELEMENT LEVEL, BOTTOM OF ...
H. 0000	SPOT ELEVATION HEIGHT DIFFERENCE BETWEEN FLOOR AND CEILING, IN PLAN
CL	CENTRE LINE

ARCHITECTS:

# EVOQ

75, SHERBOURNE STREET, SUITE 503  
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T. 647-723-2030

PRIME ARCHITECTS / PROJECT MANAGER:

## ENFORM architects

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OWNER:



N°	DESCRIPTION:	BY	DATE
6	ISSUED FOR CONSTRUCTION	MM	2025-04-30
5	ISSUED FOR BID	MM	2025-01-31
4	ISSUED FOR HERITAGE PERMIT	MM	2024-11-15
3	ISSUED FOR BUILDING PERMIT	MM	2024-11-15
2	ISSUED FOR BID PACKAGE #01	MM	2024-02-16
1	ISSUED FOR BUILDING PERMIT	MM	2024-02-16
0	ISSUED FOR COORDINATION	MM	2023-10-26

REVISION:

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1. SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS ON SITE TO ENSURE COMPLIANCE WITH THE DIMENSIONS GIVEN ON THE DRAWINGS.
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3. SHALL NOT TAKE SCALED MEASUREMENTS OFF THE DRAWINGS.
4. ANY INDIVIDUAL OR FIRM THAT HAVE RECEIVED ELECTRONIC DOCUMENT SHALL USE THEM AT THEIR OWN RISK. ONLY ORIGINAL DRAWINGS, STAMPED BY THE ARCHITECT, CAN BE USED FOR CONSTRUCTION.

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PROJECT:

## UNIVERSITY OF TORONTO HEALTH & WELLNESS CENTRE AT KOFFLER

DRAWING TITLE:

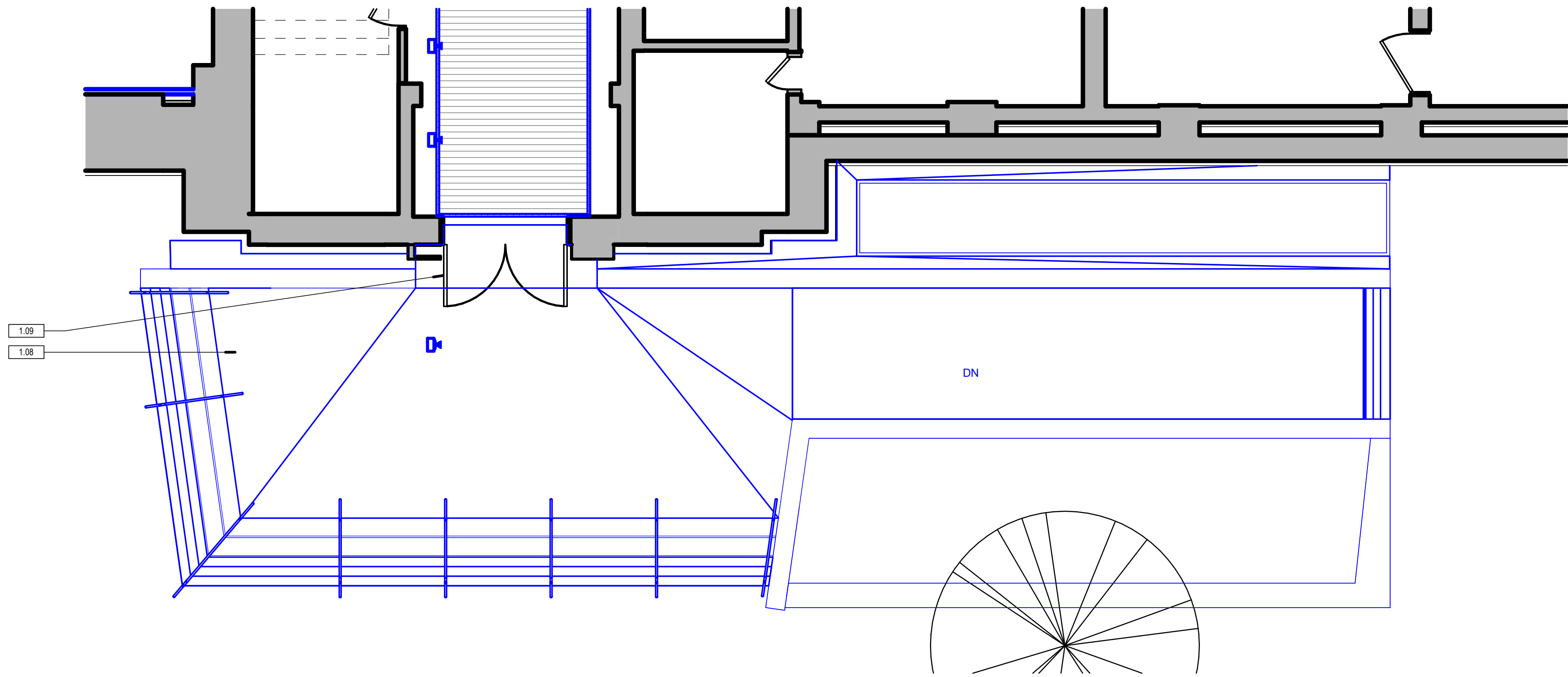
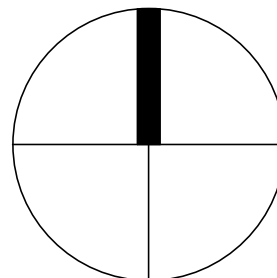
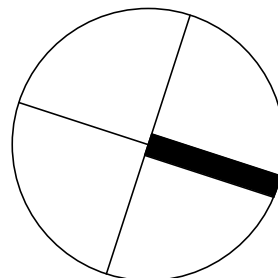
### COVER

DESIGNED:	DC	PROJECT N°:	9385-20-00
DRAWN:	ECMM	DATE:	2023-10-01
VERIFIED:	DC	SCALE:	As indicated

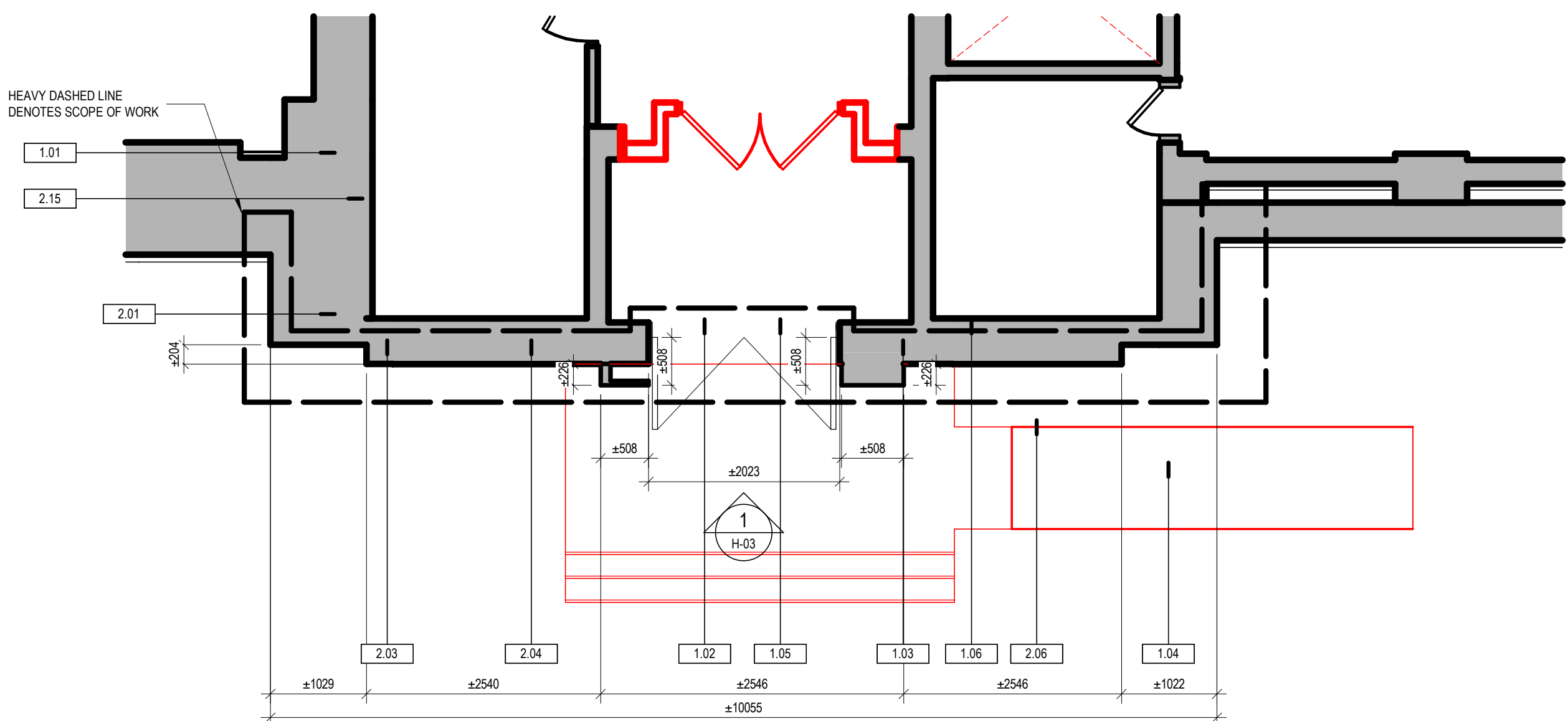
DRAWING N°:

## H-01





FLOOR PLAN - CONSTRUCTION  
**3**  
H-02  
1:50  
GROUND FLOOR PLAN HERITAGE NEW CONSTRUCTION PLAN



FLOOR PLAN - CONSTRUCTION  
**2**  
H-02  
1:50  
GROUND FLOOR PLAN HERITAGE REHABILITATION PLAN

GENERAL PROTECTION NOTES

1. PRIOR TO CONSTRUCTION, ALL EXISTING CONDITIONS ARE TO BE THOROUGHLY PHOTOGRAPHED AND DOCUMENTED IN ORDER TO ESTABLISH A RECORD OF THE BUILDING PRIOR TO CONSTRUCTION. THE HERITAGE MATERIALS ARE TO BE TAGGED, CATALOGUED, PHOTOGRAPHED, AND DOCUMENTED PRIOR TO THEIR DISMANTLING.
2. PROTECT ALL HERITAGE MATERIALS REMAINING IN SITU FOR THE DURATION OF CONSTRUCTION.
3. PROTECTION MEASURES INCLUDE:
  - a. PROVIDE PROTECTION AT ALL INTERIOR PATHS OF TRAVEL DURING CONSTRUCTION.
  - b. PROVIDE LIVE VIBRATION MONITORING SYSTEM TO TRACK CONSTRUCTION-RELATED VIBRATIONS.
  - c. ENSURE STRUCTURAL WORK DOES NOT CAUSE INADVERTENT DAMAGE TO DECORATIVE PLASTER.
  - d. MAINTAIN TEMPERATURE AND HUMIDITY LEVELS.
4. CAREFUL OVERSIGHT IS REQUIRED DURING THE CONSTRUCTION PROCESS TO PREVENT DAMAGE TO HERITAGE MATERIALS. THIS WILL INCLUDE HERITAGE ELEMENTS LOCATED WITHIN THE PROPOSED AREA OF SCOPE AS WELL AS AREAS OF CONSTRUCTION ACCESS OUTSIDE OF THE PROPOSED SCOPE OF WORK, WHERE THERE ARE EXISTING HERITAGE ELEMENTS.
5. SHOULD ANY CONCEALED MATERIALS OR SYSTEMS THAT MAY POTENTIALLY BE HERITAGE IN NATURE BE DISCOVERED WITHIN THE SITE DURING WORK, ACTIVITIES SHOULD BE HALTED AT THAT LOCATION IMMEDIATELY AND THE CONSULTANT SHOULD BE NOTIFIED TO REVIEW.

GENERAL DISMANTLING NOTES

1. COORDINATE ALL WORK WITH THE DEMOLITION WORK OF THE EXTERIOR RAMP. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR EXTERIOR STAIR SCOPE.
2. DISMANTLE HERITAGE MATERIALS TO BE REMOVED DURING CONSTRUCTION. DO NOT DEMOLISH OR DAMAGE. DISMANTLING MEASURES INCLUDE:
  - a. PROPER HANDLING AND STORAGE OF ALL SALVAGED HERITAGE MATERIALS TO BE REINSTALLED ON THE BUILDING SO AS TO NOT INADVERTENTLY DAMAGE THESE MATERIALS DURING THE CONSTRUCTION PROCESS.
  - b. CAREFUL DISMANTLING OF THE EXISTING EAST EXIT RAMP AND STAIRS TO MINIMIZE DAMAGE TO THE BUILDING'S STONE WALL.

GENERAL, PROTECTION, & DISMANTLING KEYNOTES

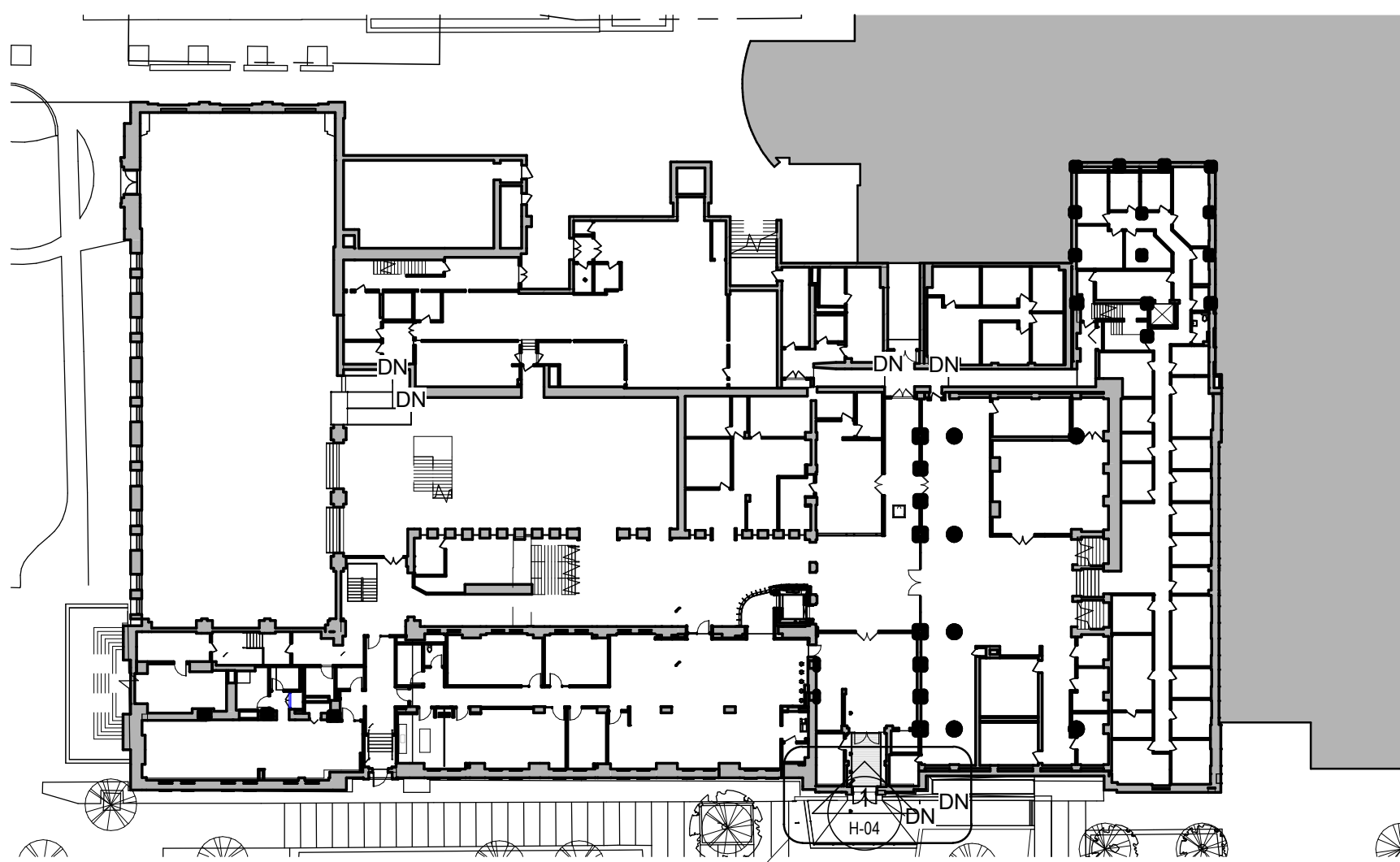
#	Keynote
1.01	PRIOR TO CONSTRUCTION, REVIEW AND IMPLEMENT GENERAL PROTECTION AND DISMANTLING REQUIREMENTS.
1.02	ENSURE PROTECTION MEASURES NOTED IN GENERAL PROTECTION NOTES ARE IMPLEMENTED PRIOR TO PROCEEDING WITH DISMANTLING WORK.
1.03	DISMANTLE MATERIALS TO BE REMOVED DURING CONSTRUCTION WHEN IN RELATION TO HERITAGE SCOPE OF WORK. DO NOT DEMOLISH OR DAMAGE.
1.04	CAREFULLY DISMANTLE EXISTING ENTRANCE RAMP AND STAIRS TO MINIMIZE DAMAGE TO BUILDING'S MASONRY. COORDINATE ALL WORK WITH THE DEMOLITION WORK OF THE EXTERIOR RAMP. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS FOR RAMP AND EXTERIOR STAIR SCOPE.
1.05	EXISTING DOOR AND TRANSOM TO BE REMOVED FOR REHABILITATION IN CONTRACTORS SHOP.
1.06	REMOVE EXISTING DOOR CONTROLS, LIGHT FIXTURES, SIGNAGE, AND OTHER MOUNTED FIXTURES. COORDINATE STORAGE OR DISPOSAL WITH UNIVERSITY.
1.07	INSTALL PAVING, MEMBRANE, AND DRAINAGE BOARD TO SEPARATE PROPOSED NEW RAMP AND STAIR FROM THE EXISTING FOUNDATION WALL BEHIND. REFER TO ARCHITECTURAL AND LANDSCAPE DRAWINGS.
1.08	NEW STAIRS, LANDING, RAMP, HANDRAILS. REFER TO ARCHITECTURAL.
1.09	REINSTALL REHABILITATED HERITAGE DOOR AND TRANSOM.

MASONRY KEYNOTES

#	Keynote
2.01	CLEAN 100% OF SCOPE AREA TO REMOVE ALL ATMOSPHERIC SOILING. MULTIPLE PASSES MAY BE REQUIRED WHERE HEAVY SOILING PRESENT. ASSUME ENTIRE UPPER PLINTH TO REQUIRE REMOVAL OF HEAVY ATMOSPHERIC SOILING.
2.02	CLEAN ALL GRAFFITI AND FERRIC STAINING FROM MASONRY WITHIN SCOPE OF WORK AREA.
2.03	REPOINT 100% OF MASONRY JOINTS IN SCOPE AREA.
2.04	SCALE AND RUB BACK TO SOUND SURFACE 100% OF SCOPE AREA TO REMOVE LOOSE STONE FROM SURFACE.
2.05	STAR HATCH DENOTES AREA TO POULTICE FOR SALT REMOVAL. WIDTH AS INDICATE IN PLANS AND TO APPROXIMATELY 1 m IN HEIGHT.
2.06	CONSOLIDATE EXISTING MASONRY FOUNDATION WHERE THE CONCRETE LANDING IS BEING REMOVED.
2.07	REPAIR SMALL HOLES FROM EXISTING FIXTURES BEING DISMANTLED OR OTHERWISE. INCLUDES LIGHTING, SIGNAGE, SECURITY HARDWARE, ACCESS HARDWARE, AND MISCELLANEOUS HOLES, TYP.
2.08	REPAIR EXTERIOR MASONRY WALL BEHIND AND WHERE THE EXISTING ENTRANCE DOOR FRAME IS BEING REMOVED.
2.09	REMOVE CAULKING FROM STONE LEFT BY DOOR JAMBS AND FIXTURES.
2.10	REMOVE PATCH AND COMPLETE DUTCHMAN REPAIR TO REINSTATE PLINTH PROFILE.
2.11	PERFORM DUTCHMAN REPAIR APPROXIMATELY 125 mm x 200 mm x 900 mm IN SIZE, MATCH EXISTING STONE DETAILING.
2.12	PERFORM LOCALIZED SCULPTURAL MORTAR REPAIRS TO DECORATIVE STONEMWORK.
2.13	CUT BACK STONE PLINTH 100 mm, REMOVE PATCH THEN COMPLETE DUTCHMAN REPAIR TO REINSTATE PLINTH PROFILE.
2.14	PERFORM CRACK INJECTION REPAIR TO MINOR CRACKS IN STONE.
2.15	REMOVE FRAGMENTED CORNER PLINTH PIECE AND PERFORM DUTCHMAN REPAIR.

DOOR REHABILITATION KEYNOTES

#	Keynote
3.01	REPAIR AND REFINISH EXISTING DOORS, TRANSOM, JAMBS, CASING, FRAMES, AND HARDWARE.
3.02	STRIP DOORS, TRANSOM, JAMBS, CASING, & FRAMES OF ALL FINISHES BACK TO BARE WOOD, CLEAN, REPAIR, AND REPAINT OR STAIN TO MATCH ORIGINAL FINISH.
3.03	REPAIR HOLES FROM OLD HARDWARE, TYP.
3.04	REMOVE, CLEAN, AND REINSTALL ALL HARDWARE, TYP.
3.05	REPLACE GLASS AND BUILDING IDENTIFICATION ON DOORS.
3.06	REMOVE, CLEAN, AND REINSTALL GLASS ON NEW PUTTY BED FROM TRANSOM.
3.07	REINSTALL FRAMES, DOORS, AND TRANSOM TO EXISTING LOCATION.
3.08	REPLACE ALL CAULKING AND SEALANTS.
3.09	REPLACE ALL WEATHERSTRIPPING.



FLOOR PLAN - CONSTRUCTION  
**1**  
H-02  
1:50  
KEY PLAN - GROUND FLOOR

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7 CORNER OF PLINTH - DETAIL PHOTO  
H-03 1:1



3 EAST ELEVATION - DETAIL PHOTO  
H-03 NTS



5 EAST ELEVATION - DETAIL PHOTO  
H-03 NTS



2 EAST ELEVATION - DETAIL PHOTO  
H-03 1:20



4 EAST ELEVATION - DETAIL PHOTO  
H-03 NTS

MASONRY CEANING & REPAIR SCHEDULE		
REPAIR TYPE	SIZE	QUANTITY
CRACK INJECTION, PER 04 03 42.13, ARTICLE 3.5	SMALL (<5 cm)	1
CRACK INJECTION, PER 04 03 42.13, ARTICLE 3.5	MEDIUM (5 - 25 cm)	3
REPAIR MORTAR FILL, PER 04 03 42.13, ARTICLE 3.6	SMALL (<4 mm DIA.)	34
SURFACE REPAIR, PER 04 03 42.13, ARTICLE 3.6	SMALL (<10 cm²)	5
FERRIC STAIN REMOVAL, PER 04 03 01.13, ARTICLE 3.9	SMALL (<10 cm²)	4

\*REFER TO KEY NOTES FOR ADDITIONAL REPAIRS NOT NOTED IN SCHEDULE

HEAVY DASHED LINE  
DENOTES SCOPE OF  
WORK AREA

- 1.01  
1.02  
1.03  
1.05  
2.01  
2.08  
2.03  
2.04  
2.12  
2.13  
2.06  
1.07



1 EAST ELEVATION HERITAGE SCOPE OF WORK AREA  
H-03 1:50

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#### DOOR REHABILITATION KEYNOTES

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3.04	REMOVE, CLEAN, AND REINSTALL ALL HARDWARE. TYP.
3.05	REPLACE GLASS AND BUILDING IDENTIFICATION ON DOORS.
3.06	REMOVE, CLEAN, AND REINSTALL GLASS ON NEW PUTTY BED FROM TRANSOM.
3.07	REINSTALL FRAMES, DOORS, AND TRANSOM TO EXISTING LOCATION.
3.08	REPLACE ALL CAULKING AND SEALANTS.
3.09	REPLACE ALL WEATHERSTRIPPING.

ARCHITECTS:

**EVOQ**

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PRIME ARCHITECTS / PROJECT MANAGER:

**ENFORM**  
architects

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T. 647-945-7523

OWNER:

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**TORONTO**

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PROJECT:

**UNIVERSITY OF TORONTO HEALTH & WELLNESS CENTRE AT KOFFLER**

DRAWING TITLE:

**HERITAGE ELEVATIONS AND DETAILS**

DESIGNED: DC PROJECT Nº: 9385-20-00

DRAWN: ECMM DATE: 2023-10-01

VERIFIED: DC SCALE: N.T.S. icated

DRAWING Nº:

**H-03**