

1. GENERAL
 - 1.1. THESE PLANS ARE NOT FOR CONSTRUCTION UNTIL SIGNED AND SEALED BY ENGINEER AND APPROVED BY THE LOCAL MUNICIPALITY.
 - 1.2. THESE PLANS ARE TO BE USED FOR SERVICING AND GRADING ONLY; ANY OTHER INFORMATION SHOWN IS FOR ILLUSTRATION PURPOSES ONLY. THESE PLANS MUST NOT BE USED TO SITE THE PROPOSED BUILDING.
 - 1.3. NO CHANGES ARE TO BE MADE WITHOUT THE APPROVAL OF THE DESIGN ENGINEER.
 - 1.4. THESE PLANS ARE NOT TO BE REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF MTE CONSULTANTS INC.
 - 1.5. PRIOR TO CONSTRUCTION, THE CONTRACTOR MUST:
 - 1.5.1. CHECK AND VERIFY ALL EXISTING CONDITIONS, LOCATIONS AND ELEVATIONS WHICH INCLUDES BUT IS NOT LIMITED TO THE BENCHMARK ELEVATIONS, EXISTING SERVICE CONNECTIONS AND EXISTING INVERTS. REPORT ALL DISCREPANCIES TO THE ENGINEER PRIOR TO PROCEEDING.
 - 1.5.2. OBTAIN ALL UTILITY LOCATES AND REQUIRED PERMITS AND LICENSES.
 - 1.5.3. VERIFY THAT THE FINISHED FLOOR ELEVATIONS AND BASEMENT FLOOR ELEVATIONS (WHICH MAY APPEAR ON THIS PLAN) COMPLY WITH THE FINAL ARCHITECTURAL DRAWINGS.
 - 1.5.4. CONFIRM ALL DRAWINGS USED FOR CONSTRUCTION ARE OF THE MOST RECENT REVISION.
 - 1.6. THE CONTRACTOR SHALL ASSUME ALL LIABILITY FOR ANY DAMAGE TO EXISTING WORKS. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL DAMAGED AND/OR DISTURBED PROPERTY WITHIN THE MUNICIPAL RIGHT-OF-WAY TO LOCAL MUNICIPALITY STANDARDS

- 1.7. ALL WORKS ON A MUNICIPAL RIGHT-OF-WAY WITH THE EXCEPTION OF WATERMAIN TAPPING, TO BE INSTALLED BY THE OWNER'S CONTRACTOR AT OWNER'S EXPENSE IN ACCORDANCE WITH THE LOCAL MUNICIPALITY'S "PROCEDURE FOR OFF-SITE WORKS BY PRIVATE CONTRACTOR". THE OWNER AND CONTRACTOR ARE TO ENSURE OFF-SITE WORKS PERMIT IS IN PLACE PRIOR TO CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR RESTORATION OF ALL AFFECTED PROPERTY TO ORIGINAL CONDITION. ALL BOULEVARD AREAS SHALL BE RESTORED WITH 150mm TOPSOIL AND SOD.
- 1.8. CONTRACTOR IS RESPONSIBLE FOR CONTACTING ENGINEER 48 HRS PRIOR TO COMMENCING WORK TO ARRANGE FOR INSPECTION. ENGINEER TO DETERMINE DEGREE OF INSPECTION AND TESTING REQUIRED FOR CERTIFICATION OF UNDERGROUND SERVICE INSTALLATION AS MANDATED BY ONTARIO BUILDING CODE, DIVISION C, PART 1, SECTION 1.2.2, GENERAL REVIEW. FAILURE TO NOTIFY ENGINEER WILL RESULT IN EXTENSIVE POST CONSTRUCTION INSPECTION AT CONTRACTORS EXPENSE.
- 1.9. PLAN TO BE READ IN CONJUNCTION WITH FSSWM REPORT PREPARED BY MTE CONSULTANTS INC.
- 1.10. SITE PLAN INFORMATION TAKEN FROM PLAN PREPARED BY UNIVERSITY OF TORONTO DATED 16-JULY-2021.
- 1.11. EXISTING TOPOGRAPHIC AND LEGAL INFORMATION TAKEN FROM PLAN PREPARED BY SPEIGHT, VAN NOSTRAND & GIBSON LIMITED, DATED 4-NOV-2021. MTE ASSUMES THAT ALL TOPOGRAPHICAL INFORMATION IS AN ACCURATE REPRESENTATION OF CURRENT CONDITIONS.

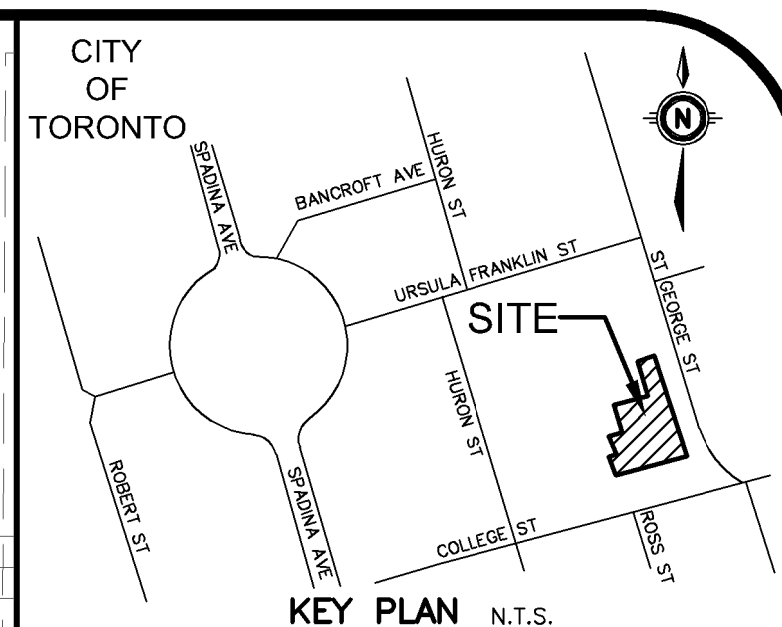
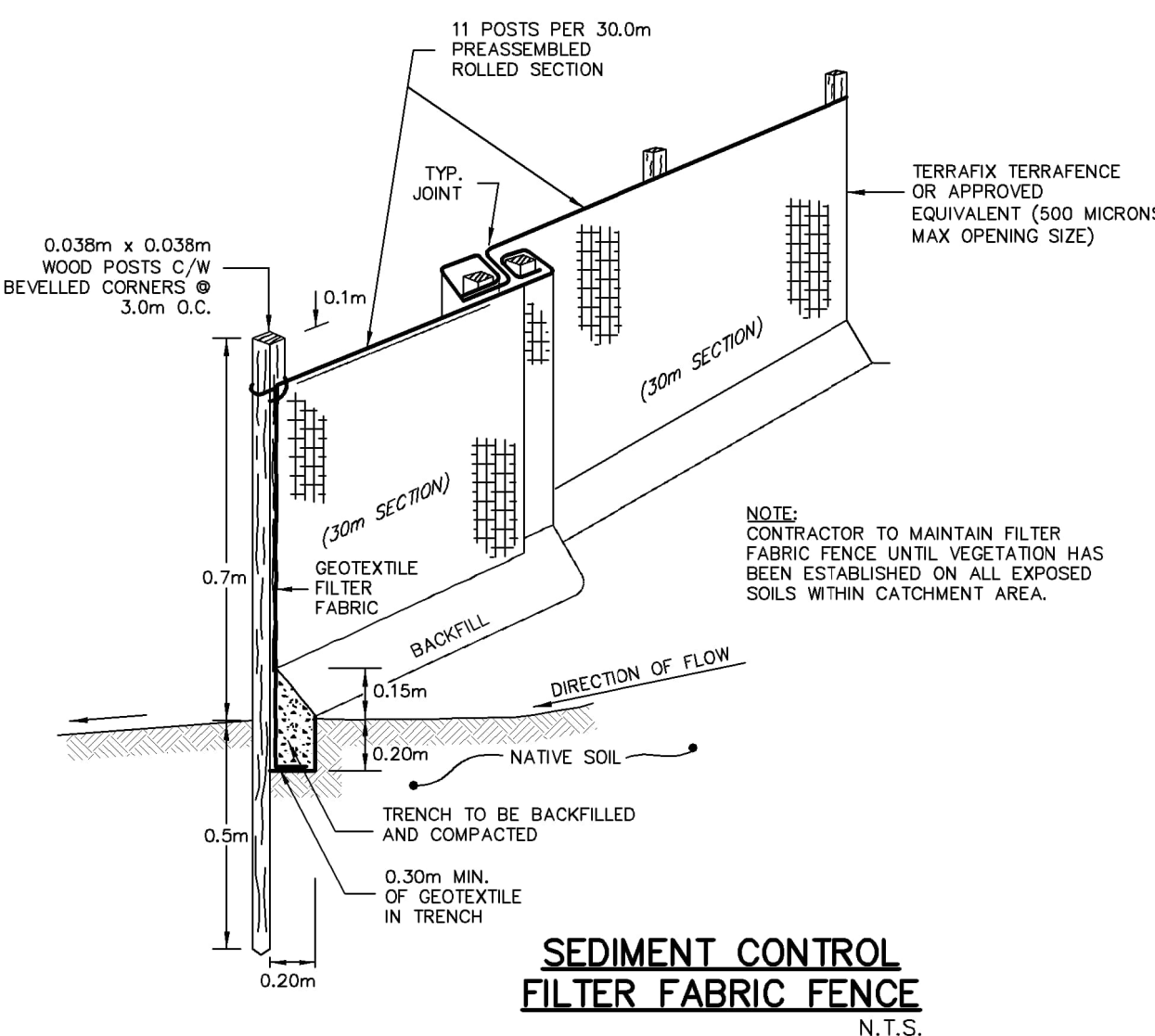
- 1.12. CONTRACTOR TO OBTAIN WRITTEN PERMISSION FROM ADJACENT PROPERTY OWNER PRIOR TO ENTERING UPON NEIGHBOURING LANDS TO UNDERTAKE ANY WORK. COPIES OF THESE LETTERS OF CONSENT SHALL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC WORKS FOR APPROVAL PRIOR TO ANY WORK BEING PERFORMED. FAILURE TO COMPLY WITH THE ABOVE IS AT CONTRACTOR'S OWN RISK.
- 1.13. RETAINING WALLS TO BE DESIGNED BY OTHERS. FOR WALLS EXCEEDING 1.0m IN HEIGHT, SHOP DRAWINGS MUST BE SUBMITTED FOR REVIEW AND APPROVAL AND BUILDING PERMIT MUST BE OBTAINED. WALLS OVER 0.6m IN HEIGHT REQUIRE HIGH SIDE OF RETAINING WALLS TO BE BACKFILLED WITH FREE DRAINING MATERIAL.
- 1.14. ALL RETAINING WALLS 1.0m IN HEIGHT AND OVER MUST BE APPROVED BY THE CBO. ALL RETAINING WALLS LESS THAN 1.0m IN HEIGHT MUST BE APPROVED BY PLANNING.
- 1.15. FILTER FABRIC TO BE TERRAFIX 200R OR APPROVED EQUAL.
- 1.16. MAXIMUM GRASSED SLOPE TO BE 3:1. SLOPES GREATER THAN 3:1 TO BE LANDSCAPED WITH LOW MAINTENANCE GROUND COVER.
- 1.17. SIDE SLOPES OF ALL STOCKPILES OR EXTRACTION FACES TO BE MAINTAINED AT 70 DEGREES OR LESS BETWEEN EARLY APRIL AND LATE AUGUST TO DETER BANK SWALLOWS FROM NESTING.
- 1.18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC AND SAFETY MEASURES DURING THE CONSTRUCTION PERIOD INCLUDING THE SUPPLY, INSTALLATION AND REMOVAL OF ALL NECESSARY SIGNALS, DELINEATORS, MARKERS, AND BARRIERS. ALL SIGNS, ETC. SHALL CONFORM TO THE STANDARDS OF THE LOCAL MUNICIPALITY AND THE MTO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

- 1.19. THE POSITION OF POLE LINES, CONDUITS, WATERMAINS, SEWERS AND OTHER UNDERGROUND AND OVERGROUND UTILITIES AND STRUCTURES IS NOT NECESSARILY SHOWN ON THE CONTRACT DRAWINGS, AND, WHERE SHOWN, THE ACCURACY OF THE POSITION OF SUCH UTILITIES AND STRUCTURES IS NOT GUARANTEED BEFORE STARTING WORK. THE CONTRACTOR SHALL INFORM HIMSELF OF THE EXACT LOCATION OF ALL SUCH UTILITIES AND STRUCTURES AND SHALL ASSUME ALL LIABILITY FOR DAMAGE TO THEM.
- 1.20. FOLLOWING COMPLETION OF PROPOSED WORKS AND PRIOR TO OCCUPANCY INSPECTION, ALL STORM AND SANITARY SEWERS ARE TO BE FLUSHED, AND ALL CATCHBASIN AND CATCHBASIN MANHOLE SUMPS ARE TO BE CLEANED OF DEBRIS AND SILT.
2. **EROSION AND SEDIMENT CONTROL**
 - 2.1. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED AS SITE DEVELOPMENT PROGRESSES. CONTRACTOR TO PROVIDE ALL ADDITIONAL EROSION CONTROL STRUCTURES.
 - 2.2. EROSION CONTROL STRUCTURES TO REMAIN IN PLACE UNTIL ALL DISTURBED GROUND SURFACES HAVE BEEN RESTABILIZED.
 - 2.3. NO ALTERNATE METHODS OF EROSION PROTECTION SHALL BE PERMITTED UNLESS APPROVED BY THE ENGINEER AND THE LOCAL MUNICIPALITY'S DEPARTMENT OF PUBLIC WORKS.
 - 2.4. CONTRACTOR TO CLEAN ROADWAY AND SIDEWALKS OF SEDIMENTS RESULTING FROM CONSTRUCTION TRAFFIC FROM THE SITE EACH DAY.

	EXISTING BOUNDARY
	EXISTING SPOT ELEVATIONS
	EXISTING CURB
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING RETAINING WALL
	EXISTING BOLLARD
	EXISTING MAN DOOR

	PROPOSED SPOT ELEVATIONS
EX	= MAINTAIN EXISTING
±	= TOP OF CASTING / GRATE
INV	= INVERT ELEVATION
FIN	= FINISHED FLOOR ELEVATION

+ (326.00)
 T/G = 326.00
 FFE = 326.00
 1.0% →
 DIRECTION OF DRAINAGE
 LIMIT OF CONSTRUCTION
 TREE PROTECTION BARRIER
 (SEE LANDSCAPE DWG's)
 TREE PROTECTION ZONE
 (SEE LANDSCAPE DWG's)
 SEDIMENT CONTROL FENCE
 (SEE DETAIL)



GEODETIC BM	ELEV. = 109.146m
ELEVATIONS ARE GEODETIC AND ARE DERIVED FROM THE CITY OF TORONTO BM NO. 12219740586, ALSO KNOWN AS CT-586. SW CORNER OF WILCOCKS ST AND ST. GEORGE ST BM ON 1 STOREY CONCRETE ENTRANCE WAY, 0.21m WEST FROM NORTHEAST CORNER AND 0.55m ABOVE GRADE	
SITE BENCHMARK	ELEV. = m

DO NOT SCALE DRAWINGS.

CONTRACTORS MUST CHECK AND VERIFY ALL DIMENSIONS
AND REPORT ANY DISCREPANCIES TO THE ENGINEER BEFORE
PROCEEDING WITH THE WORK.

ALL DRAWINGS REMAIN THE PROPERTY OF THE ENGINEER
AND SHALL NOT BE REPRODUCED OR REUSED WITHOUT THE
ENGINEER'S WRITTEN PERMISSION.

THE OWNER/ARCHITECT/CONTRACTOR IS ADVISED THAT
M.T.E. CONSULTANTS INC. CANNOT CERTIFY ANY COMPONENT
OF THE SITE WORKS NOT INSPECTED DURING CONSTRUCTION.
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO
NOTIFY M.T.E. CONSULTANTS INC. PRIOR TO COMMENCEMENT
OF CONSTRUCTION TO ARRANGE FOR INSPECTION.

1. PROPERTY-LINE IS APPROXIMATE ONLY.
2. EXISTING TOPOGRAPHICAL INFORMATION PROVIDED BY SPEER, VAN NOSTRAND & GIBSON LIMITED DATED NOVEMBER 04, 2020.
3. INVERTS DENOTED WITH "±" ARE TAKEN FROM AS-RECORDED PLAN AND PROFILE DRAWINGS COMPLETED BY CITY OF TORONTO AND ARE CONSIDERED APPROXIMATE ONLY. CONTRACTOR TO FIELD VERIFY AND REPORT ANY DISCREPANCIES TO ENGINEER.
4. THIS PLAN IS PART OF A SET OF PLANS WHICH COMPRISE OF THE FOLLOWING: C2.1, AND THE SWM REPORT.

8.			
7.			
6.			
5.	ISSUED FOR BID	RDZ	2025-01-31
4.	BUILDING PERMIT	GPB	2024-11-15
3.	PROGRESS ISSUANCE	GPB	2024-11-01
2.	ISSUED FOR BID PACKAGE #01	GPB	2024-02-16
1.	ISSUED FOR BUILDING PERMIT	GPB	2024-02-16
No.	REVISION	EY	YYYY-MM-DD



Engineers, Scientists, Surveyors

905-639-2552

CLIENT

ENFORM ARCHITECTS INC.

302B-128A STERLING ROAD TORONTO, ON M6R 2B7

PROJECT
KOFFLER STUDENT SERVICES
HEALTH & WELLNESS CENTRE

214 COLLEGE ST	TORONTO, ON
DRAWING	

GRADING & EROSION AND SEDIMENT CONTROL PLAN

Project Manager	G.BERENYI	Project No.	49599-100
Design By	LFG	Checked By	GPB
Drawn By	DXC	Checked By	AXG
Surveyed By	OTHERS	Drawing No.	C2.1
Date	Jul.23/21		
Scale	1:75	Sheet 1 of 1	