

UofT Robarts 5th Floor MDL

INTERIOR RENOVATION

UT PROJECT NO. P006-22-176



DRAWING NUMBER	DRAWING TITLE	23997 - 50 COSTING	231122 - DD COSTING	24025 - 80% CD COSTING	24806 - 100% CD	24836 - BUILDING PERMIT	24927 - ISSUED FOR TENDER	241021 - ISSUED FOR ADDENDUM A-02	241023 - ISSUED FOR CONSTRUCTION	25027 - ISSUED FOR S-001	25027 - RE-ISSUED FOR CONSTRUCTION
A.000	Cover Sheet & Drawing List	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.005	OBC Matrix & Code Compliance Data	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.010	General Notes, Abbreviations, Symbols & Legends	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.020	Assembly Types, Material Legend, Interior Screens & Door Schedule	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.060	LO5 Demolition Floor Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.061	LO5 Demolition Reflected Ceiling Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.062	LO5 Temporary Hoarding Reflected Ceiling Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.063	LO5 Temporary Hoarding Reflected Ceiling Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.101	LO5 Floor Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.102	LO5 Finish Floor Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.103	LO5 Furniture Floor Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.104	LO5 Power Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.601	LO5 Reflected Ceiling Plan	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.700	Enlarged Drawings	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.800	Interior Elevations	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.850	Section Details	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.860	Plan Details	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.901	Millwork Drawings - M001A+B, M002A+B, M010	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.902	Millwork Drawings - M003, M004, M007A-D	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.903	Millwork Drawings - M005, M006, M008, M009, M011	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓
A.910	Typical Millwork Details	✓	✓	✓	✓	✓	✓	✓	✓	✓	✓

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CLIENT PROJECT ADDRESS

UNIVERSITY OF TORONTO

ROBARTS LIBRARY

255 MCCAUL STREET, 5TH FLOOR
TORONTO, ONTARIO
M5T 1W7

130 ST GEORGE STREET,
TORONTO, ONTARIO
M5S 1A5

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COST CONSULTANT
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120 Carlton St, Suite 413, Toronto
ON M5A 4K2, Canada
(416) 928-1993

ISSUED FOR CONSTRUCTION - JANUARY 27, 2025

8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

No. Date Issue/Revision

Robarts 5th Floor
Renovation

Title:
Cover Sheet & Drawing
List

Project No. 2322 Scale
Drawing No.

A 000

OAA - BUILDING CODE DATA MATRIX
PART 11 - RENOVATION

Issued: 2023.12.08
OBC REFERENCE (1)

Name of Practice	Superkul Inc.
Address 1	101-35 Golden Avenue
Address 2	Toronto, ON, M6R 2J5
Contact	William Elsworth
Name of Project	Robarts MDL - Fifth Floor Renovation
Location/Address	130 St. George St., Toronto, ON, M5S 1A5
Date	Seal & Signature



11.00 BUILDING CODE VERSION	O.Reg. 332/12	LAST CODE AMENDMENT	O.Reg. 89/23
11.01 PROJECT TYPE	Renovation	[A] 1.1.2.6	
11.02 MAJOR OCCUPANCY CLASSIFICATION	OCCUPANCY	USE	3.1.2.1.(1), 11.2.1
	A2	Other assembly occupancies	Study Space and Classrooms
11.03 SUPERIMPOSED MAJOR OCCUPANCIES	NO	11.2 and 3.2.2.5 to 3.2.2.8	
11.04 BUILDING AREA (m²)	DESCRIPTION	EXISTING	NEW
	5th Floor Renovated Area	2362.90	0.00
	TOTAL	2,362.9	2,362.9
11.05 BUILDING HEIGHT	14 STOREYS ABOVE GRADE	54.8 (m) ABOVE GRADE	[A] 1.4.1.2. & 3.2.1.1., 11.3
11.06 NUMBER OF STREETS/ FIRE FIGHTER ACCESS	3 STREETS(S)		3.2.2.10. & 3.2.5, 11.3
11.07 BUILDING SIZE	LARGE		T.11.2.1.1.B.-N.
11.08 EXISTING BUILDING CLASSIFICATION	CHANGE IN MAJOR OCCUPANCY	NO	11.2.1.1.
	CONSTRUCTION INDEX	NOT APPLICABLE	T.11.2.1.1.A.
	HAZARD INDEX	NOT APPLICABLE	T.11.2.1.1.B.-N.
	IMPORTANCE CATEGORY		4.2.1 (3), and 5.2.2.1.(2)
11.09 RENOVATION TYPE	BASIC RENOVATION		11.3.3.1, and 11.3.3.2.
11.10 OCCUPANT LOAD	FLOOR LEVEL/AREA	OCCUPANCY TYPE	BASED ON
	5th Floor	A2	Design of space
	TOTAL		427

11.11 PLUMBING FIXTURE REQUIREMENTS	RATIO:	MALE:FEMALE = 50:50 EXCEPT AS NOTED OTHERWISE	3.7.4, 11.3.4, 11.3.5, 11.4.2.4 and 11.4.2.5
	FLOOR LEVEL/AREA	OCCUPANT LOAD	OBC REFERENCE
	5th Floor (F)	213.50	3.7.4.3.(15)
	5th Floor (M)	213.50	3.7.4.3.(15)
			WCs REQUIRED
			WCs PROVIDED

11.11 PLUMBING FIXTURE REQUIREMENTS continued	FLOOR LEVEL/AREA (repeated)	BARRIER-FREE REQUIRED	BARRIER-FREE WCs PROVIDED	UNIVERSAL WASHROOMS REQUIRED	UNIVERSAL WASHROOMS PROVIDED
	5th Floor (F)	1.00	1		
	5th Floor (M)	1.00	1		

11.12 BARRIER-FREE DESIGN	Yes	11.3.3.2.(2)
BARRIER-FREE ENTRANCES	1 Existing Barrier-Free Entrance located off of St George Street	

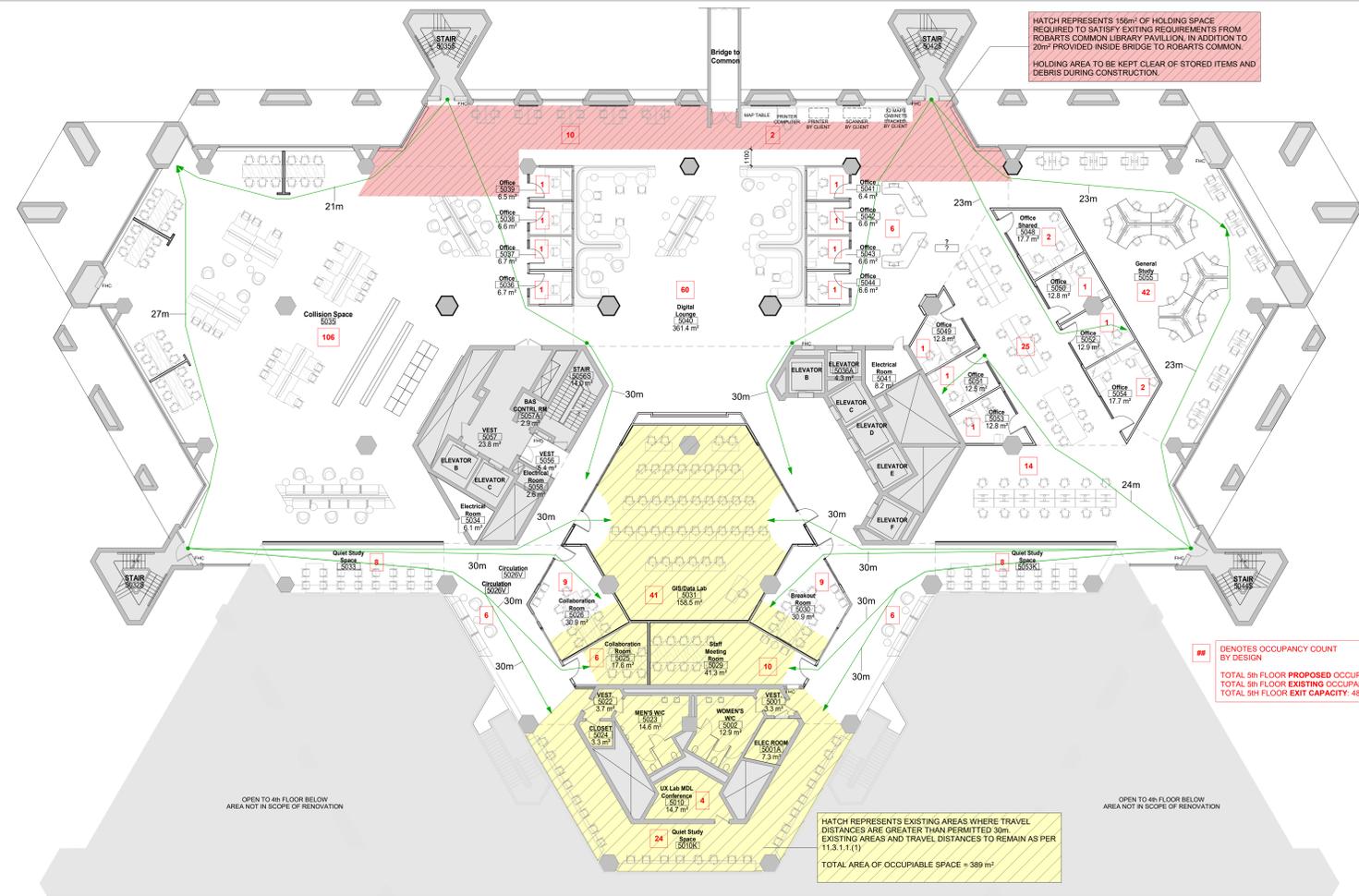
11.13 REDUCTION IN PERFORMANCE LEVEL	STRUCTURAL	NO	11.4.2.1.
	[Provide a brief description here or hide this row if not needed.]		
	INCREASE IN OCCUPANT LOAD	NO	11.4.2.2.
	[Provide a brief description here or hide this row if not needed.]		
	CHANGE OF MAJOR OCCUPANCY	NO	11.4.2.3.
	[Provide a brief description here or hide this row if not needed.]		
	PLUMBING	NO	11.4.2.4.
	[Provide a brief description here or hide this row if not needed.]		
	SEWAGE SYSTEM	NO	11.4.2.5.
	[Provide a brief description here or hide this row if not needed.]		
	EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION	NO	11.4.2.6.
	[Provide a brief description here or hide this row if not needed.]		

11.14 COMPENSATING CONSTRUCTION	STRUCTURAL	N/A	11.4.3.2.
	[Provide a brief description here or hide this row if not needed.]		
	INCREASE IN OCCUPANT LOAD	N/A	11.4.3.3.
	[Provide a brief description here or hide this row if not needed.]		
	CHANGE OF MAJOR OCCUPANCY	N/A	11.4.3.4.
	[Provide a brief description here or hide this row if not needed.]		
	PLUMBING	N/A	11.4.3.5.
	[Provide a brief description here or hide this row if not needed.]		
	SEWAGE SYSTEM	N/A	11.4.3.6.
	[Provide a brief description here or hide this row if not needed.]		
	EXTENSION OF BUILDINGS OF COMBUSTIBLE CONSTRUCTION	N/A	11.4.3.7.
	[Provide a brief description here or hide this row if not needed.]		

11.15 COMPLIANCE ALTERNATIVES PROPOSED	N/A	11.5.1.1.
	[List Compliance Alternative numbers here and provide a brief description or hide this row if not needed.]	
	[List Compliance Alternative numbers here and provide a brief description or hide this row if not needed.]	
	[List Compliance Alternative numbers here and provide a brief description or hide this row if not needed.]	

11.16 NOTES	IS AN ALTERNATIVE SOLUTION USED?	NO
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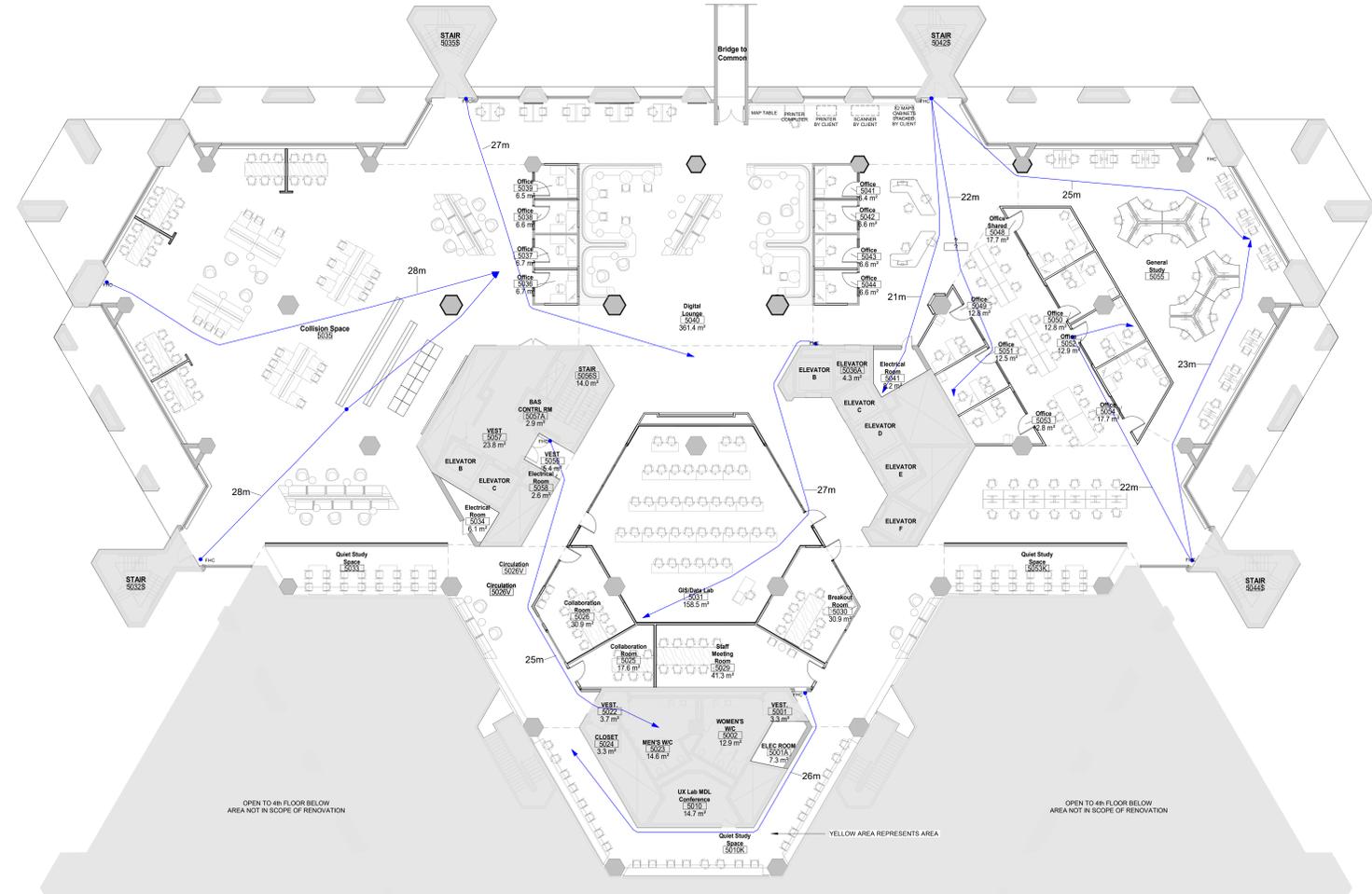
1 ALL REFERENCES ARE TO DIVISION B OF THE OBC UNLESS PRECEDED BY (A) FOR DIVISION A AND (C) FOR DIVISION C



HATCH REPRESENTS 156m² OF HOLDING SPACE REQUIRED TO SATISFY EXITING REQUIREMENTS FROM ROBARTS COMMON LIBRARY PAVILION. IN ADDITION TO 20m² PROVIDED INSIDE BRIDGE TO ROBARTS COMMON. HOLDING AREA TO BE KEPT CLEAR OF STORED ITEMS AND DEBRIS DURING CONSTRUCTION.

DENOTES OCCUPANCY COUNT BY DESIGN
TOTAL 5th FLOOR PROPOSED OCCUPANCY: 427 PERSONS
TOTAL 5th FLOOR EXISTING CAPACITY: 427 PERSONS
TOTAL 5th FLOOR EXIT CAPACITY: 484 PERSONS

1 Level 05 Life Safety Floor Plan - Travel Distance
1:150



2 Level 05 Life Safety Floor Plan - Hose Coverage
1:150

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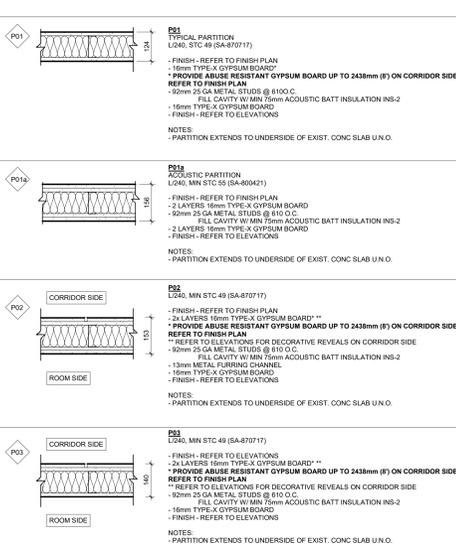
Robarts 5th Floor Renovation

Title:
OBC Matrix & Code Compliance Data

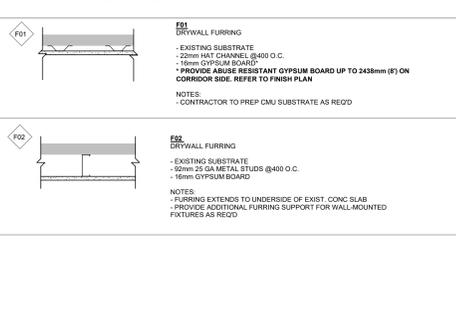
Project No. 2322 Scale 1:150
Drawing No.

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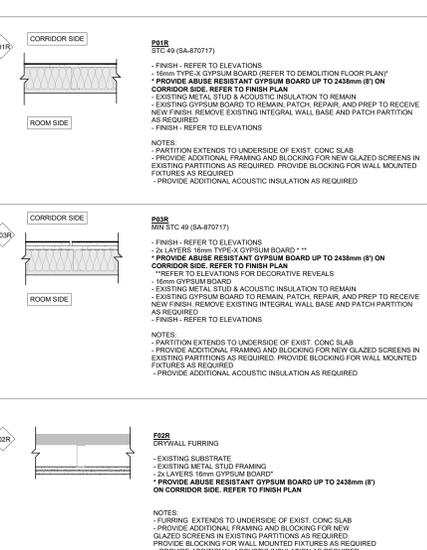
PARTITION ASSEMBLY TYPES



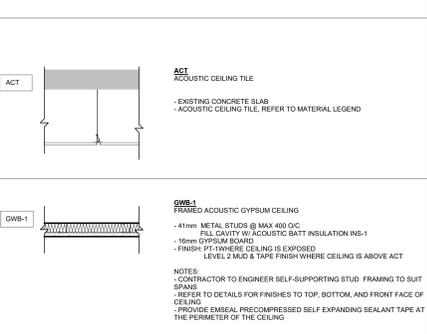
FURRING ASSEMBLY TYPES



REFURBISHED PARTITION AND FURRING ASSEMBLY TYPES



CEILING ASSEMBLY TYPES



GENERAL NOTES

STEEL STUD WALLS, SPACING AND HEIGHT

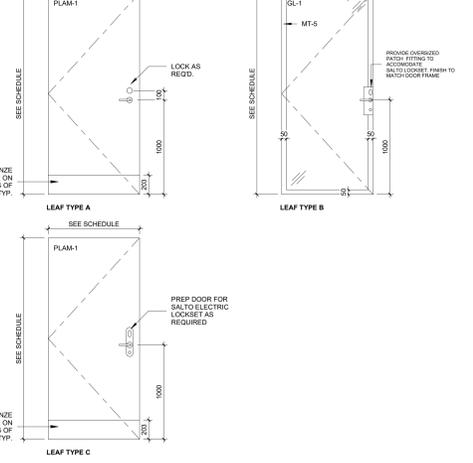
- 1) THE SIZE, SPACING, AND HEIGHT OF STEEL STUDS FOR NON-LOADBEARING INTERIOR WALLS SHALL CONFORM TO MANUFACTURER'S SPAN TABLES.
- 2) REFER TO ASSEMBLIES FOR SPECIFIC GAUGE AND SPACING REQUIREMENTS FOR PARTITIONS. IF DISCREPANCY OCCURS BETWEEN ASSEMBLIES, AND MANUFACTURER'S SPAN TABLES, USE THE MORE STRINGENT OF THE TWO.
- 3) ALL PARTITIONS ARE TO EXTEND FROM TOP OF SLAB TO TOP OF STRUCTURAL SLAB ABOVE U.F.
- 4) PROVIDE CONTINUOUS ACOUSTIC SEALANT AT HEAD, SILL, AND ALL PENETRATIONS OF ALL PARTITIONS AND FURRING ASSEMBLIES.
- 5) PROVIDE LEVEL 1 FINISH FOR ALL EXPOSED GWS SURFACES. PROVIDE LEVEL 2 FINISH FOR ALL NON-EXPOSED GWS SURFACES.
- 6) PROVIDE 19mm PLYWOOD BLOCKING AT ALL WALL-MOUNTED FURNISHINGS, MILLWORK, ACCESSORIES, EQUIPMENT, ETC. OR AS INDICATED ON PLANS AND/OR INTERIOR ELEVATIONS.
- 7) PROVIDE ENGINEERED BLOCKING FOR AV SCREEN MOUNTING AS INDICATED ON ELEVATIONS. REFER TO FURNITURE PLANS, MILLWORK DRAWINGS, AND AV DRAWINGS.

Division	Tag	Product Type	Specification
05	MT-1	Steel Fabrications (Prefinished Decorative Steel Plates)	Black powder paint finish. Refer to details for thicknesses.
05	MT-2	Bronze Fabrications	Interior architectural bronze alloy 36000 and 26000 brushed light bronze patina finish. Refer to details for dimensions and thicknesses.
05	MT-3	Aluminum Fabrications (Ceiling Strouds for Light Fixtures)	Primer coat finish. Refer to details for thicknesses.
05	MT-3a	Aluminum Fabrications (Ceiling Strouds for Light Fixtures white finish)	White powder paint finish. Refer to details for thicknesses.
05	WB-2	White Oak Wood Veneer (Black/Grey)	Black powder coat finish. Refer to details for thicknesses.
05	MT-4	Steel Fabrications (Paintable Corner Guards)	Paintable steel corner guards, refer to plan details for thicknesses.
06	PLAM-1	High Pressure Laminate (White Oak)	Wilsonart Hamilton Oak 1123-38. Acceptable Alternate Wilsonart Natural Recon 799K-12.
06	MT-5	Aluminum Fabrications (Glass Screen Profiles)	Wilsonart Frodo White 1573-60.
06	WB-3	White Oak Wood Veneer (Black/Grey)	Black powder coat finish. Refer to details for thicknesses.
06	WB-4	White Oak Solid Wood (Firm/Soft)	Rib cut. Clear low-sheen lacquer finish to match PLAM-1.
07	INS-1	Black Acoustic Blanket (Acoustic plenum & Digital Lounge feature wall)	Mineral Fibre Insulation Blanket, 50mm thickness.
07	INS-2	Acoustic Bulk Insulation	SoundShield Mineral Fibre Insulation, refer to drawings for insulation thickness.
08	GF-2	3M Scotchlok Clear View Film w/ Custom Print	Convenience Group, Product code: QHSBMS Illumina Silky S. Refer to screen schedule for layout.
08	MT-6	Aluminum Fabrications (Glass Screen Profiles)	Black powder coat finish.
08	MT-6	Aluminum Fabrications (Perimeter Trims at Glazed Screens)	Black powder coat finish to match MT-6.
09	ACT-1	Acoustic Ceiling Tile (24"x48")	Armostrong Ceilac, 9100 Tagular, Smooth Texture, Mineral Fibre Tile. Product Code: 2625. Size: 24"x48"x1" (NRC 0.85). Colour: White. Complete with Armstrong SupraSonic 9100 suspension system. Finish: White.
09	ACT-2	Reserved	Reserved
09	B-1	Rubber Base - Black	Tanbark Basecoats TigrisBlack Rubber 4.297 for Carpet. Colour: 40 Black.
09	B-2	Rubber Base - White	Tanbark Basecoats TigrisWhite Rubber 4.297 for Carpet. Colour: 50 White.
09	CG-1	Corner Guard (Wall Covering)	Walkovering Termination profile as supplied by Fry Reglet. Number WCTBT125.217. Finish: Black Powdercoat. Provide 2 back to back profiles per corner.
09	CPT-1	Carpet Tile	Walkovering Open Air 401, Style 16336. Colour: 107886. Size: 25cm x 1m tile. Allow for patch and repair with cementitious underlay as req after removal of existing carpet. c/w TH-1 transition strip as shown on plans.
09	FB-1	Fabric - Banquette Upholstery	Wolf Gordon, Plaw / Cognac, CCH 3700002.
09	FB-2	Fabric - Banquette Upholstery	Movment Textile, Silca Leather, Colour: Ecotylus.
09	FR-1	London Feltos Desktop (Reference Desk)	Feltos Desktop, Colour: Olive 4584.
09	FR-2	Part - Corner (White)	All units J.L.C. Benjamin Moore, Charilly Lac OC-65, G3 Eggshell finish (refer to specs).
09	FR-3	Part - Corner (Black)	Benjamin Moore, Twilight Zone 2127-10, G3 Eggshell finish (refer to specs).
09	FR-4	Part - Corner (Grey)	Benjamin Moore, Rocky Coast 1595, G3 Eggshell finish (refer to specs).
09	FR-5	Part - Corner (White)	Benjamin Moore, Chantilly Lac OC-65, G3 Eggshell finish (refer to specs).
09	FR-6	Part - Corner (Black)	Benjamin Moore, Twilight Zone 2127-10, G3 Eggshell finish (refer to specs).
09	FR-7	Part - Corner (Grey)	Benjamin Moore, Rocky Coast 1595, G3 Eggshell finish (refer to specs).
09	TR-1	Transfer Co. Carpet Edge Trim	All existing dropped ceiling + 1mm metal 1x1.0. Benjamin Moore, Chantilly Lac OC-65 (refer to specs).
09	TR-2	Transfer Co. Carpet Edge Trim	Benjamin Moore, Rocky Coast 1595, G3 Eggshell finish (refer to specs).
09	W-1	Wall Covering	Deluxe Wall Covering, Pattern: Capiz Lumen, Colour: Earthquake, Product Code: DND-CPL-15, as distributed by Lenoxy.
09	WR-1a	White Oak Wood Laminate Panel (micro-perf)	Micro-Perforated Wood Wall Panel - min NRC 0.85, as distributed by Akur Finish to match PLAM-1. Thickness: 25mm. Substrate: FR MDF.
09	WR-1b	White Oak Wood Laminate Panel (micro-perf)	Micro-Perforated Wood Wall Panel - min NRC 0.85, as distributed by Akur Finish to match PLAM-1. Thickness: 25mm. Substrate: FR MDF.
09	WR-2	Acoustic Wall Panel (25mm G-9PT) (Direct Apply, G9 Lab)	Ursa Vene, Ecovest Panel_25mm (G-9PT), Colour: Forest, Core colour: black, Black mask trim edge. Provide blocking as required.
09	WR-3	Reserved	Reserved
09	WR-4	White Oak Acoustic Star Wall Panel - Digital Lounge	Acoustic Wood Star (Akur Au-856), Design: refer to drawings. Finish: White Oak Veneer to match PLAM-1. Rib Cut on fire-rated substrate. Galford of Marine fabric. Finish: Silver Paper 536.
09	WR-5	White Oak Wood Tambour Panels (Reference Desk)	Algebra Wood Products WT-15 White Oak Wood Tambour Panels as supplied by Print International. Finish to match PLAM-1.
09	WR-6	White Oak Wood Tambour Panels (T-shaped Millwork Walls)	Algebra Wood Products WT-21 White Oak Wood Tambour Panels as supplied by Print International. Finish to match PLAM-1.
10	WB-1	White Board (Provide blocking only. White Boards provided as part of FF&E)	4x8' Porcelain enamel whiteboard c/w Elite Reveal trim by ASI
10	WB-2	White Board (Provide blocking only. White Boards provided as part of FF&E)	4x8' Porcelain enamel whiteboard c/w Elite Reveal trim by ASI
10	WB-3	White Board (Provide blocking only. White Boards provided as part of FF&E)	4x8' Porcelain enamel whiteboard c/w Elite Reveal trim by ASI

DOOR SCHEDULE

DOOR NO.	From Room Name	To Room Name	LEAF WIDTH	LEAF HEIGHT	LEAF TYPE	LEAF THICKNESS	LEAF MATERIAL	LEAF FINISH	GLASS TYPE	SCREEN TYPE	GLASS TYPE	SCREEN TYPE	FRAME MATERIAL	FRAME FINISH	POO	HARDWARE	STC GROUP
5025	Circulation	Collaboration Room	1016	2000	B	12	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5	Yes	C	B	
5026	Circulation	Collaboration Room	1016	2000	A	45	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5	Yes	C	A	
5029	Self Meeting Room	Circulation	1016	2000	B	12	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5	Yes	D	B	
5030	Breakout Room	Circulation	1016	2000	C	45	ALUM	GL-1	GL-1	FT-1	GL-1	AL	MT-5	Yes	D	A	
5031A	Chatroom Lab	Circulation	1016	2000	A	45	ALUM	GL-1	GL-1	FT-2	GL-2	AL	MT-5	Yes	D	A	
5031B	GIS/Data Lab	Circulation	1016	2000	A	45	ALUM	GL-1	GL-1	FT-2	GL-2	AL	MT-5	Yes	D	A	
5038	Office	Collaboration Space	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5037	Collaboration Space	Office	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5038	Collaboration Space	Office	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5039	Collaboration Space	Office	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5041	Office	Reference Desk	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5042	Reference Desk	Office	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5043	Office	Reference Desk	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5044	Office	Reference Desk	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
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5049	Data Consultation Center	Office	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5050	Office	Data Consultation Center	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5051	Data Consultation Center	Office	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
5052	Data Consultation Center	Office	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		
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5054	Data Consultation Center	Office	1016	2000	A	45	SCWD	PLAM-1	FT-1	GL-1	AL	MT-5	Yes	A	A		

HARDWARE GROUPS:



ABBREVIATED LEGEND:

- AL ALUMINUM
- HOLLOW METAL
- SCWD SOLID CORE WOOD DOOR
- HW WOOD
- PT PAINT
- WH WHITE
- BL BLACK

STC GROUPS:

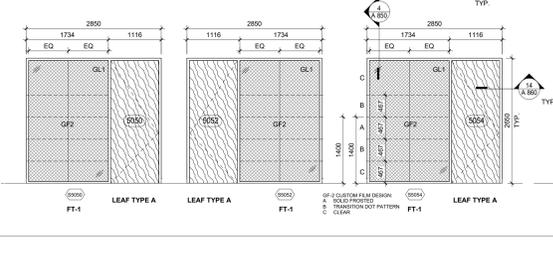
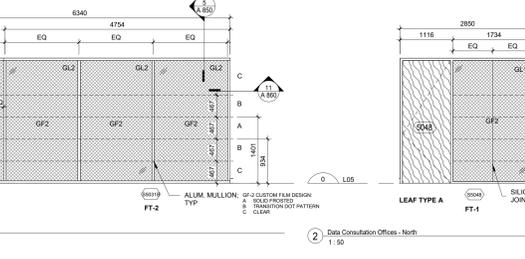
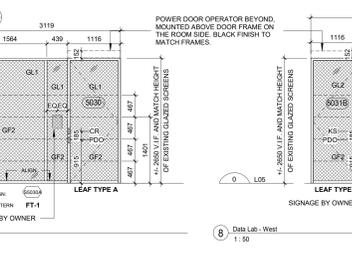
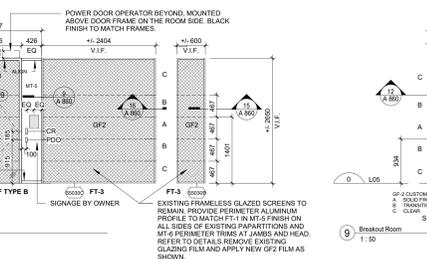
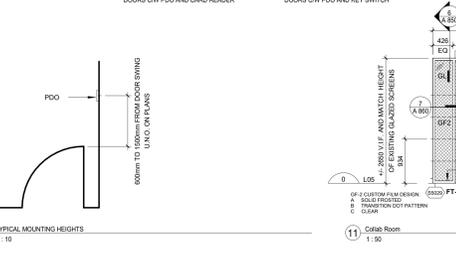
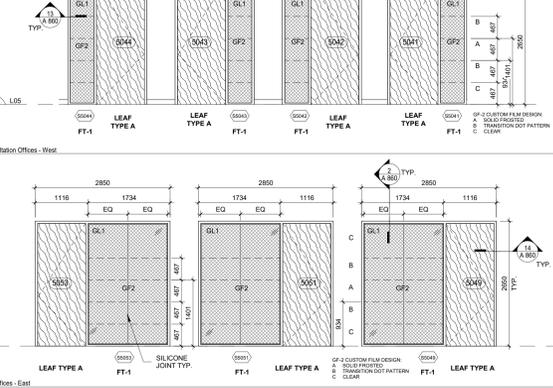
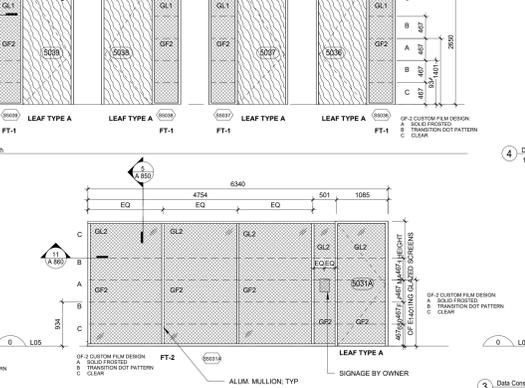
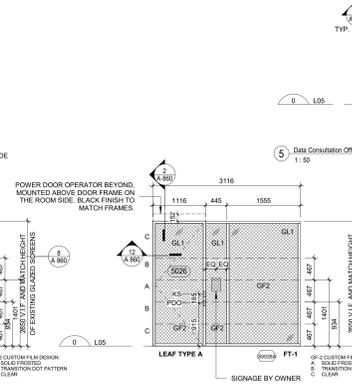
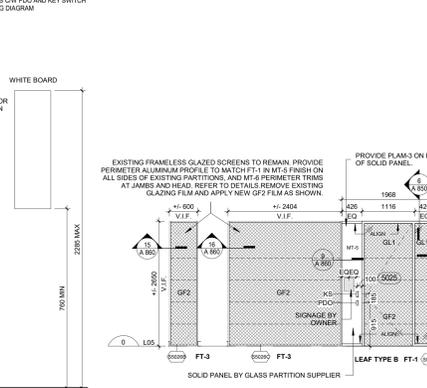
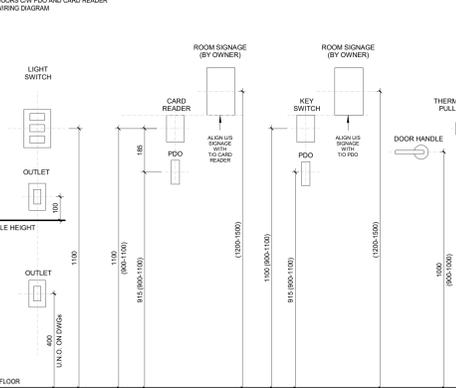
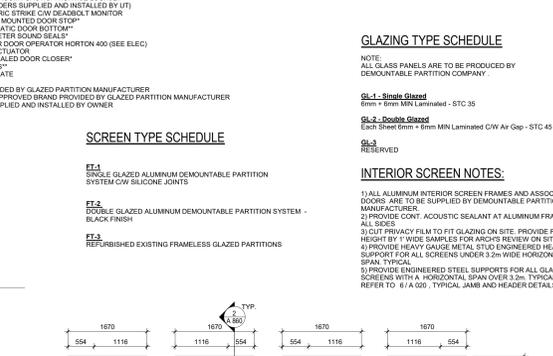
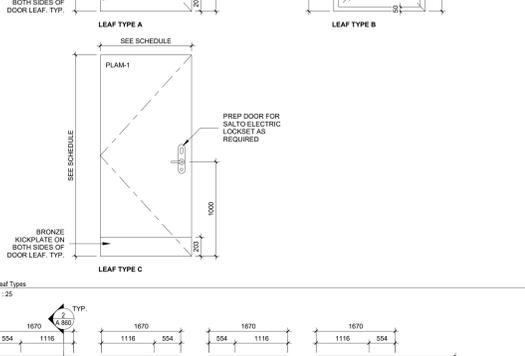
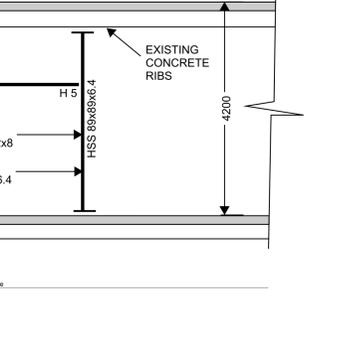
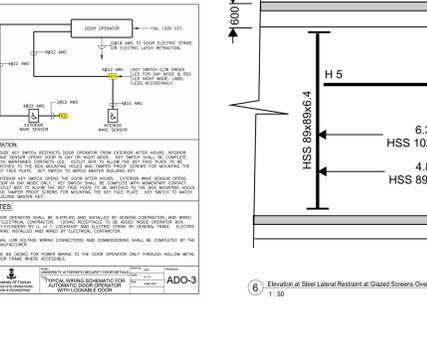
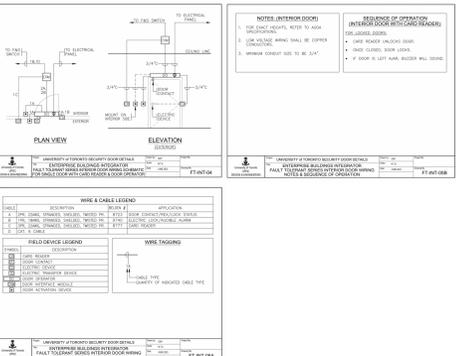
- GROUP A: SOLID CORE WOOD DOOR w/ MIN 2000MM W/ MIN FRAMES FILLED w/ INSULATION AND AUTOMATIC DOOR BOTTOM
- GROUP B: SINGLE GLAZED SWING DOOR w/ AUTOMATIC DOOR BOTTOM

GLAZING TYPE SCHEDULE

- GL-1: Single Glazed
- GL-2: Double Glazed
- GL-3: Reserved

INTERIOR SCREEN NOTES:

- 1) ALL ALUMINUM INTERIOR SCREEN FRAMES AND ASSOCIATED DOORS ARE TO BE SUPPLIED BY DEMOUNTABLE PARTITION MANUFACTURER.
- 2) PROVIDE CONT. ACOUSTIC SEALANT AT ALUMINUM FRAME ON ALL SIDES.
- 3) CUT FRAMES TO FIT BY GLAZING ON SITE. PROVIDE FULL HEIGHT BY 1" WIDE SAMPLES FOR ARCHES REVIEW ON SITE.
- 4) PROVIDE PERIMETER GALVE MET. GLAZING ENGINEERED HEADER SUPPORT FOR ALL SCREENS UNDER 3.2m WIDE HORIZONTAL SPAN. TYPICAL.
- 5) PROVIDE ENGINEERED STEEL SUPPORTS FOR ALL GLAZED SCREENS WITH A HORIZONTAL SPAN OVER 3.2m TYPICAL. REFER TO 6/A GD0, TYPICAL JAMB AND HEADER DETAILS.



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Prior to commencement of the Works, the Contractor shall verify all drawing dimensions, datum, and levels with the Contract Documents and with the conditions on site, ascertain any discrepancies between the site and the Contract Documents, and bring these items to the attention of the Architect for clarification.

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No.	Date	Issue/Revision
9	20250127	RE-ISSUED FOR CONSTRUCTION
8	20241203	ISSUED FOR CONSTRUCTION
7	20241021	ISSUED FOR ADDENDUM A-02
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DO COSTING & REVIEW

No. Date Issue/Revision

Robarts 5th Floor Renovation
Title: Assembly Types, Material Legend, Interior Screen & Door Schedule
Project No. 2322 Scale As Indicated
Drawing No.

A 020

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2. THE DEMOLITION/RELOCATION/ADDITION DRAWINGS INDICATE THE GENERAL SCOPE OF WORK. IT SHALL BE THE CONTRACTOR OR CONSTRUCTION MANAGERS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND MANNER OF DEMOLITION WORK REQUIRED.
3. ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION/ADDITION. ANY DAMAGES INCURRED SHALL BE REPAIRED AND REPAIRED AT ANY COST TO THE OWNER BY THE CONTRACTOR.
4. EXISTING PERIMETER BULKHEADS TO REMAIN EXPOSED AND WILL BE UNCOVERED WHEN THE TEMPORARY HOARDING IS REMOVED. DO NOT MARK OR DAMAGE CONCRETE. ANY MARKS SHALL BE REMOVED BY THE CONTRACTOR AT THEIR EXPENSE.
5. EXISTING PARTITIONS MAY CONTAIN STEEL NISS MEMBERS SUPPORTING THE EXISTING GLAZED SCREENS. ALLOW FOR STEEL DEMOLITION AS REQUIRED FOR THE SCOPE OF DEMOLITION WORK. REFER TO DRAWING FOR EXISTING FLOOR BOKES TO BE CAPPED AND MADE SAFE.
6. REMOVE ALL EXPOSED ELECTRICAL WIRING, ASSOCIATED JUNCTION BOXES AND OTHER ELECTRICAL INFRASTRUCTURE REQUIRED TO BE DEMOLISHED. REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL DEVICES REQUIRED TO BE DEMOLISHED. REFER TO ELECTRICAL DRAWINGS FOR ALL ELECTRICAL DEVICES REQUIRED TO BE DEMOLISHED AND RETURN TO OWNER (OCT'S). REMOVE ALL ASSOCIATED EXPOSED WIRING TO SOURCE.

SYMBOLS AND ABBREVIATIONS

- INDICATES EXISTING PARTITIONS THAT REQUIRE CONCRETE AND WOOD VENEER PLYWOOD TO BE REMOVED. REFER TO DEMOLITION NOTES. REMOVE ALL INTEGRAL WALL BASE.
- SEE ADD FOR REFURBISHED ASSEMBLIES SCHEDULE**
- PROVIDE ADDITIONAL FRAMING AND BLOCKING AS REQUIRED TO SUPPORT NEW CHANGES IN EXISTING PARTITIONS.
- RE EXISTING LIGHTS AND DEVICES TO BE REMOVED. MAKE SURFACE GOOD FOR NEW LIGHTING.
- EX EXISTING LIGHTS TO REMAIN.
- GREY FILL ON PLANS REPRESENTS AREAS NOT IN SCOPE OF THE RENOVATION. TYPICAL.

DEMOLITION RCP NOTES

1. RELOCATE AND REWIRE EXISTING JUNCTION BOXES TO CLEAR TRIANGULAR Baffles FOR NEW LIGHT FIXTURE INSTALLATION. RELOCATE ELECTRICAL CONDUIT AS REQUIRED. REMOVE AND REFEED WIRE AS REQUIRED. RUN CONDUIT TIGHT TO CONCRETE WAFFLES AS SHOWN ON 4.1.65.
2. DEMOLISH PROTRUDING METAL DUCT EXTENSION TO CLEAR TRIANGULAR Baffle FOR NEW LIGHT FIXTURE INSTALLATION. PATCH AND REPAIR CONCRETE WALL.
3. REMOVE EXISTING METAL STUD TRACK. MAKE GOOD AND PATCH EXPOSED CONCRETE SLAB.
4. RELOCATE EXISTING BELL ANTENNAS AND ALL ASSOCIATED CONDUIT, WIRING, METAL FRAMES AND SCREENS. MAKE GOOD AND PATCH EXPOSED CONCRETE SLAB. COORDINATE WITH BELL AND OWNER AS REQUIRED.
5. KEEP ALL EXISTING HEAT DETECTORS TO BE RE-INSTALLED IN NEW ACT CEILING.

8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

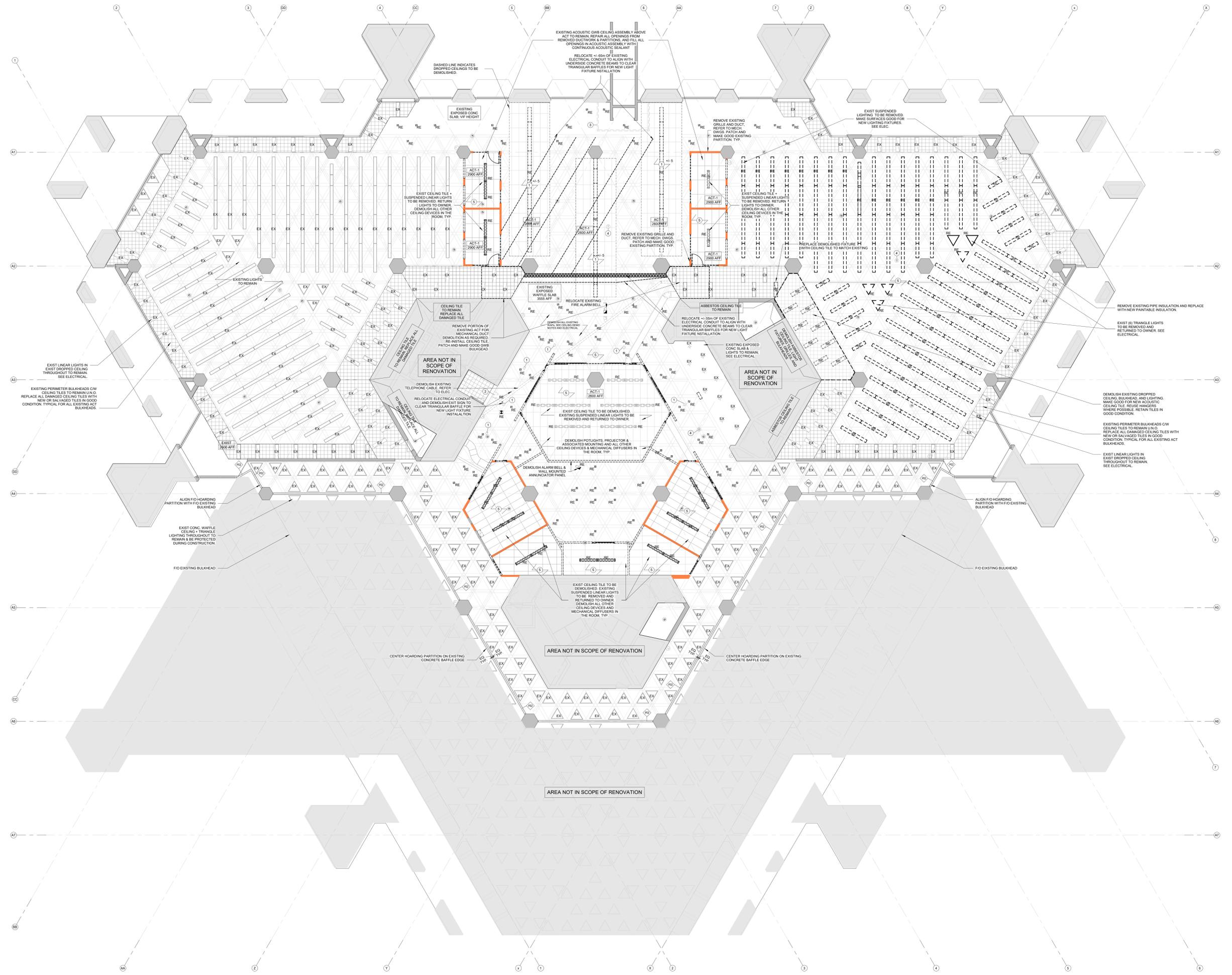
No.	Date	Issue/Revision

Robarts 5th Floor Renovation

Title: **L05 Demolition Reflected Ceiling Plan**

Project No. 2322 Scale As Indicated Drawing No.

A 061



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GENERAL NOTES

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2. THE DEMOLITION/RELOCATION/ADDITION DRAWINGS INDICATE THE GENERAL SCOPE OF WORK. IT SHALL BE THE CONTRACTOR OR CONSTRUCTION MANAGER'S RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXTENT, NATURE AND NUMBER OF DEMOLITION/RELOCATION/ADDITION WORK.
3. ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION/ADDITION. ANY DAMAGES INCURRED SHALL BE REPAIRED AND REPLACED AT NO COST TO THE OWNER BY THE CONTRACTOR.
4. FOR CLARITY, ALL EXISTING EXPOSED CONCRETE IS TO REMAIN EXPOSED AND WILL BE UNCOVERED WHEN THE TEMPORARY HOARDING IS REMOVED. DO NOT MARK OR DAMAGE CONCRETE. ANY MARKS SHALL BE REMOVED BY THE CONTRACTOR AT THEIR EXPENSE.
5. ALL WORK TO BE DONE DURING THE HOURS DESIGNATED BY OWNER.
6. THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS, ORDINANCES, SAFETY ORDERS, LOCAL LAWS AND REGULATIONS INCLUDING OWNER POLICIES AND DIRECTIVES.
7. THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL COORDINATE, NOTIFY AND SCHEDULE ALL REMOVALS AND RELOCATIONS WITH THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK.

SYMBOLS AND ABBREVIATIONS

- FB E APPROXIMATE LOCATION OF EXISTING FLOOR BOX OR CONDUIT STUB FOR HARDWARE POWER CONNECTION
- ◇ PE WALL TAG
- CENTRE LINE
- - - - - EXISTING
- DEMOLITION
- NEW CONSTRUCTION
- CONCRETE
- ▨ GYPSUM BOARD
- EXISTING
- ▨ INSULATION (BATT)

7	20250127	RE-ISSUED FOR CONSTRUCTION
6	20241203	ISSUED FOR CONSTRUCTION
5	20240927	ISSUED FOR TENDER
4	20240816	ISSUED FOR BUILDING PERMIT
3	20240806	ISSUED FOR 100% CD COSTING
2	20240429	ISSUED FOR 80% CD COSTING
1	20240229	ISSUED FOR TEMPORARY HOARDING CONSTRUCTION

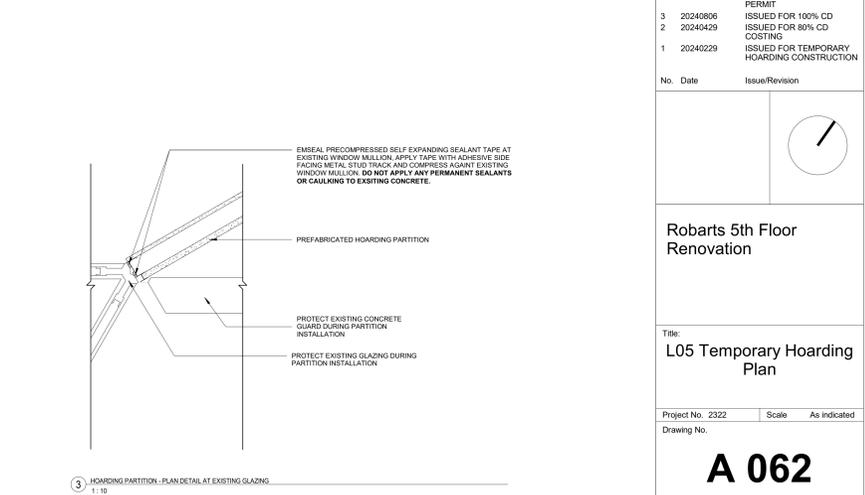
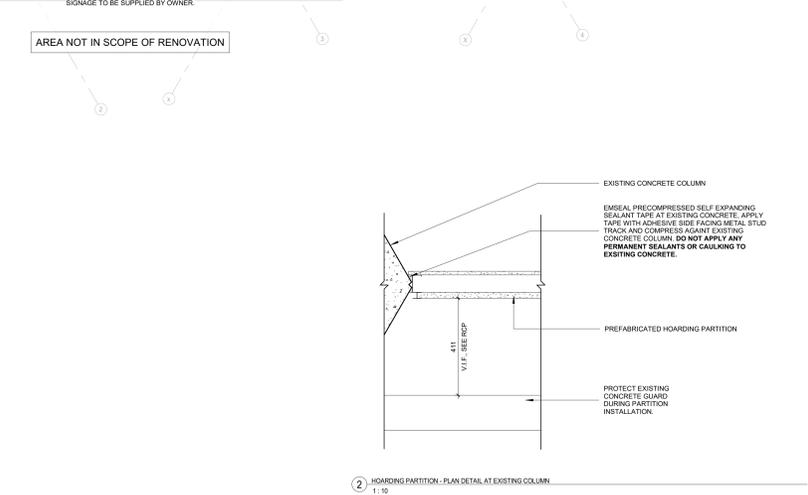
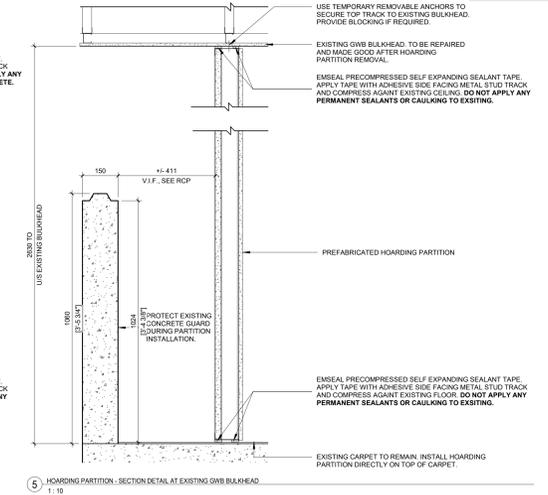
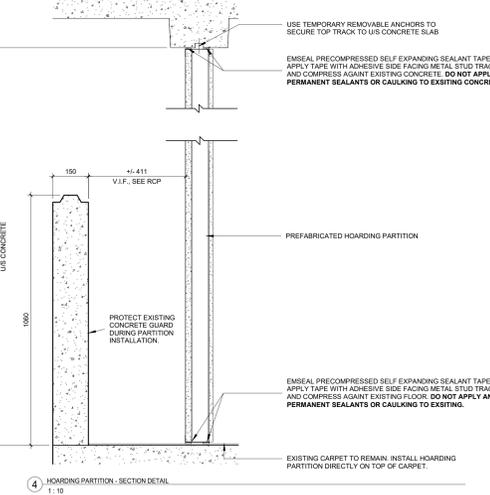
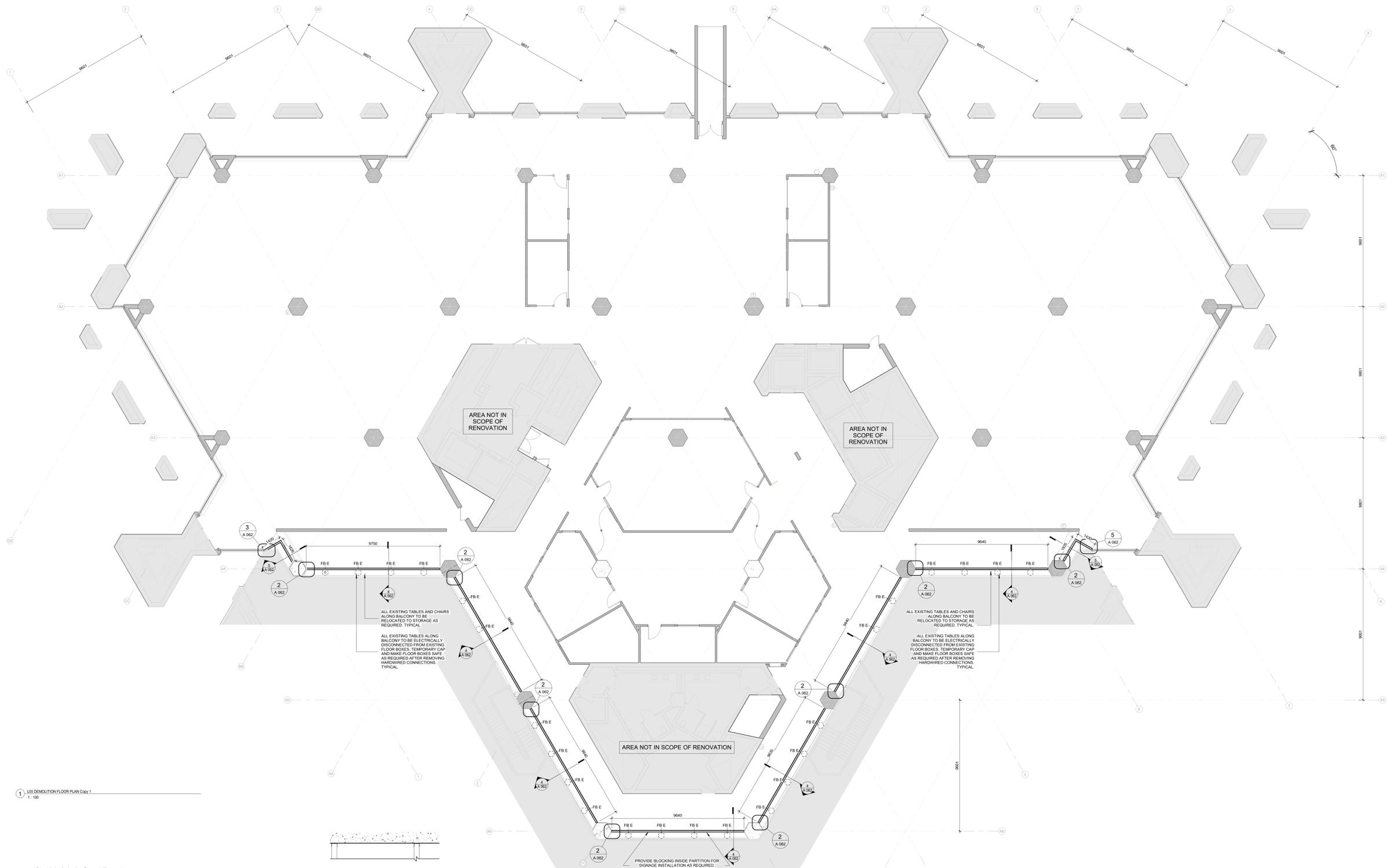
No.	Date	Issue/Revision

Robarts 5th Floor Renovation

Title: L05 Temporary Hoarding Plan

Project No. 2322 Scale As Indicated
Drawing No.

A 062



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2. THE DEMOLITION/RELOCATION/ADDITION DRAWINGS INDICATE THE GENERAL SCOPE OF WORK. IT SHALL BE THE CONTRACTOR OR CONSTRUCTION MANAGERS RESPONSIBILITY TO DETERMINE THE FULL SCOPE, EXISTING MATERIALS AND MATERIALS TO BE DEMOLITION/ADDITION REQUIRED.
3. ALL EXISTING WORK TO REMAIN SHALL BE PROTECTED FROM DAMAGE DURING DEMOLITION/RELOCATION. ANY DAMAGES INCURRED SHALL BE REPAIRED AND REPLACED AT NO COST TO THE OWNER BY THE CONTRACTOR.
4. FOR CLARITY, ALL EXISTING EXPOSED CONCRETE IS TO REMAIN EXPOSED AND WILL BE UNPROTECTED WHEN THE TEMPORARY HOARDING IS REMOVED. DO NOT MARK OR DAMAGE CONCRETE. ANY MARKS SHALL BE REMOVED BY THE CONTRACTOR AT THEIR EXPENSE.
5. ALL WORK TO BE DONE DURING THE HOURS DESIGNATED BY OWNER.
6. THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL APPLICABLE CODES, STANDARDS AND ORDINANCES, SAFETY ORDERS, LOCAL LAWS AND REGULATIONS INCLUDING OWNER POLICIES AND DIRECTIVES.
7. THE CONTRACTOR OR CONSTRUCTION MANAGER SHALL COORDINATE, NOTIFY AND SCHEDULE ALL REMOVALS AND RELOCATIONS WITH THE OWNER'S REPRESENTATIVE PRIOR TO PROCEEDING WITH WORK.

SYMBOLS AND ABBREVIATIONS

- FB E APPROXIMATE LOCATION OF EXISTING FLOOR BOX OR CONDUIT STUB FOR HARDWARE POWER CONNECTION
- W WALL TAG
- CL CENTRE LINE
- EXISTING
- DEMOLITION
- NEW CONSTRUCTION
- CONCRETE
- GYPSUM BOARD
- EXISTING
- INSULATION (BATT)

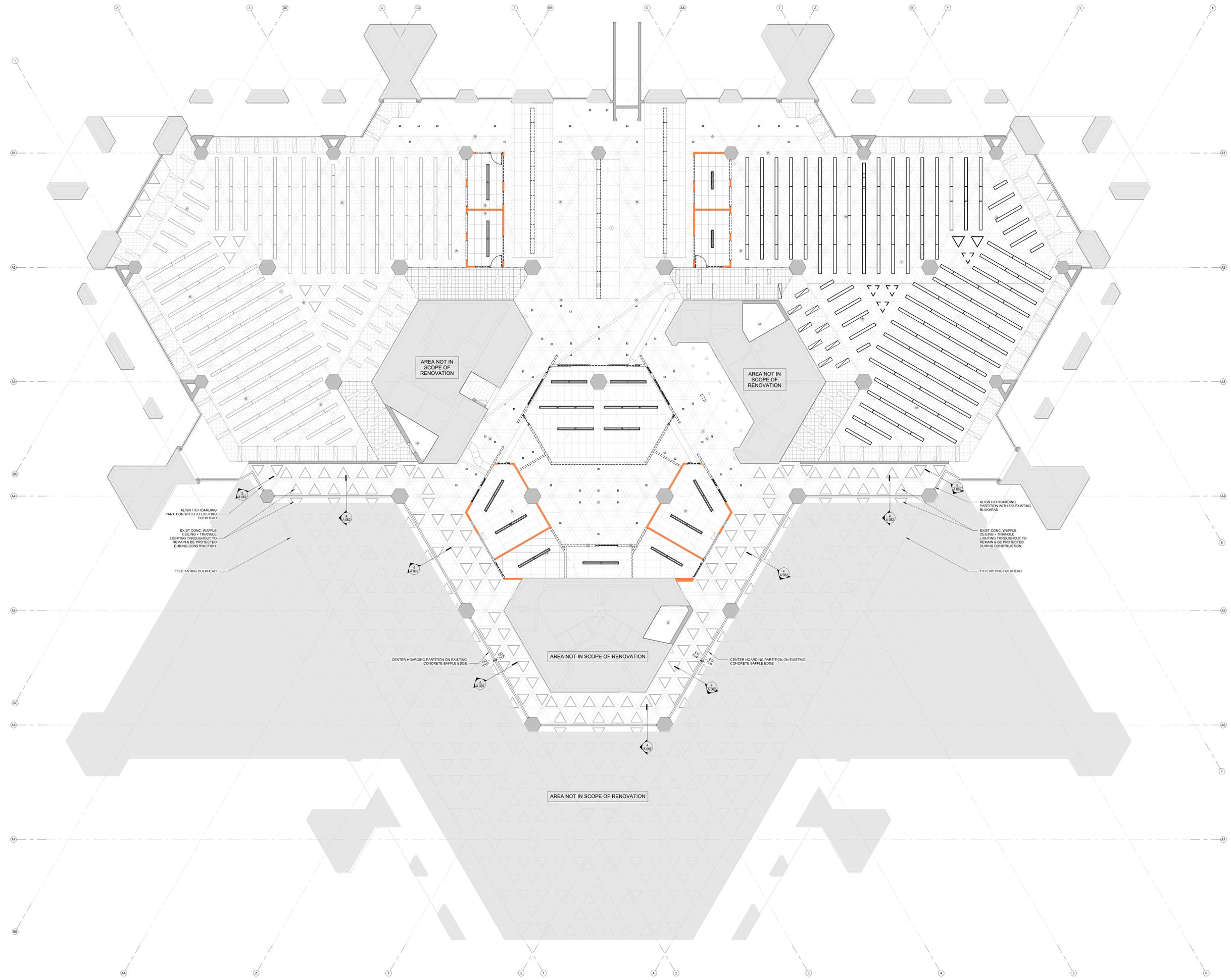
7	20250127	RE-ISSUED FOR CONSTRUCTION
6	20241203	ISSUED FOR CONSTRUCTION
5	20240927	ISSUED FOR TENDER
4	20240816	ISSUED FOR BUILDING PERMIT
3	20240806	ISSUED FOR 100% CD
2	20240429	ISSUED FOR 80% CD
1	20240229	ISSUED FOR TEMPORARY HOARDING CONSTRUCTION

No.	Date	Issue/Revision
		

Robarts 5th Floor Renovation

L05 Temporary Hoarding Reflected Ceiling Plan

Project No. 2322 Scale As Indicated
Drawing No.



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GENERAL PLAN NOTES

1. PAINT ALL NEW & EXISTING DRYWALL TO REMAIN THROUGHOUT. SEE FINISH PLAN.
2. ALL EXISTING CONCRETE SURFACES TO REMAIN PROTECT. CLEAN & REPAIR AS REQUIRED.
3. DIMENSIONS PROVIDED FOR NEW PARTITIONS ARE TO THE CENTRELINE OF THE EXISTING STUD. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING.
4. DIMENSIONS PROVIDED FOR EXISTING AND REBUSHED PARTITIONS ARE TO THE GYPSUM BOARD FINISH OF THE PARTITION.

SYMBOLS AND ABBREVIATIONS

- C.O.B. CENTER PARTITION ON EXISTING CONCRETE BEAM REFER TO RCP VERIFY PROVIDED DIMENSION IN FIELD.
- PXXR PARTITION TAG FOR REBUSHED EXISTING PARTITIONS REFER TO ASSEMBLY TYPES & DEMOLITION DRAWINGS.
- PXX PARTITION TAG FOR NEW PARTITIONS. REFER TO ASSEMBLY TYPES.
- SCREEN WALL MOUNTED SCREEN. SEE AV AND ELECTRICAL. PROVIDE BLOCKING AS REQUIRED. COORDINATE POWER AND AV PROVISIONS WITH MOUNTING BRACKET LOCATION AS REQUIRED.
- WB-# WALL MOUNTED WHITE BOARD. PROVIDED BY OWNER. REFER TO MATERIAL LEGEND FOR SIZE. PROVIDE BLOCKING AS REQUIRED.
- T WALL MOUNTED THERMOSTAT REFER TO MECHANICAL.
- L LIGHT SWITCH. SEE ELECTRICAL.
- PDO POWER DOOR OPERATOR ACTUATOR. SEE HARDWARE SCHEDULE & ELECTRICAL.
- GREY FILL ON PLANS REPRESENTS AREAS NOT IN SCOPE OF THE RENOVATION. TYPICAL.

NOTES

1. CONTINUOUS BLOCKING FOR FUTURE DISPLAY/WORK MOUNTING. PROVIDE 1500mm TALL PLYWOOD BLOCKING AT 750mm AFF.

No.	Date	Issue/Revision
10	20250127	RE-ISSUED FOR CONSTRUCTION
9	20250127	ISSUED FOR SH-001
8	20241203	ISSUED FOR CONSTRUCTION
7	20240927	ISSUED FOR TENDER
6	20240816	ISSUED FOR BUILDING PERMIT
5	20240806	ISSUED FOR 100% CD
4	20240429	ISSUED FOR 80% CD
3	20231213	ISSUED FOR DD CLIENT REVIEW
2	20231128	ISSUED FOR DD COSTING & REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

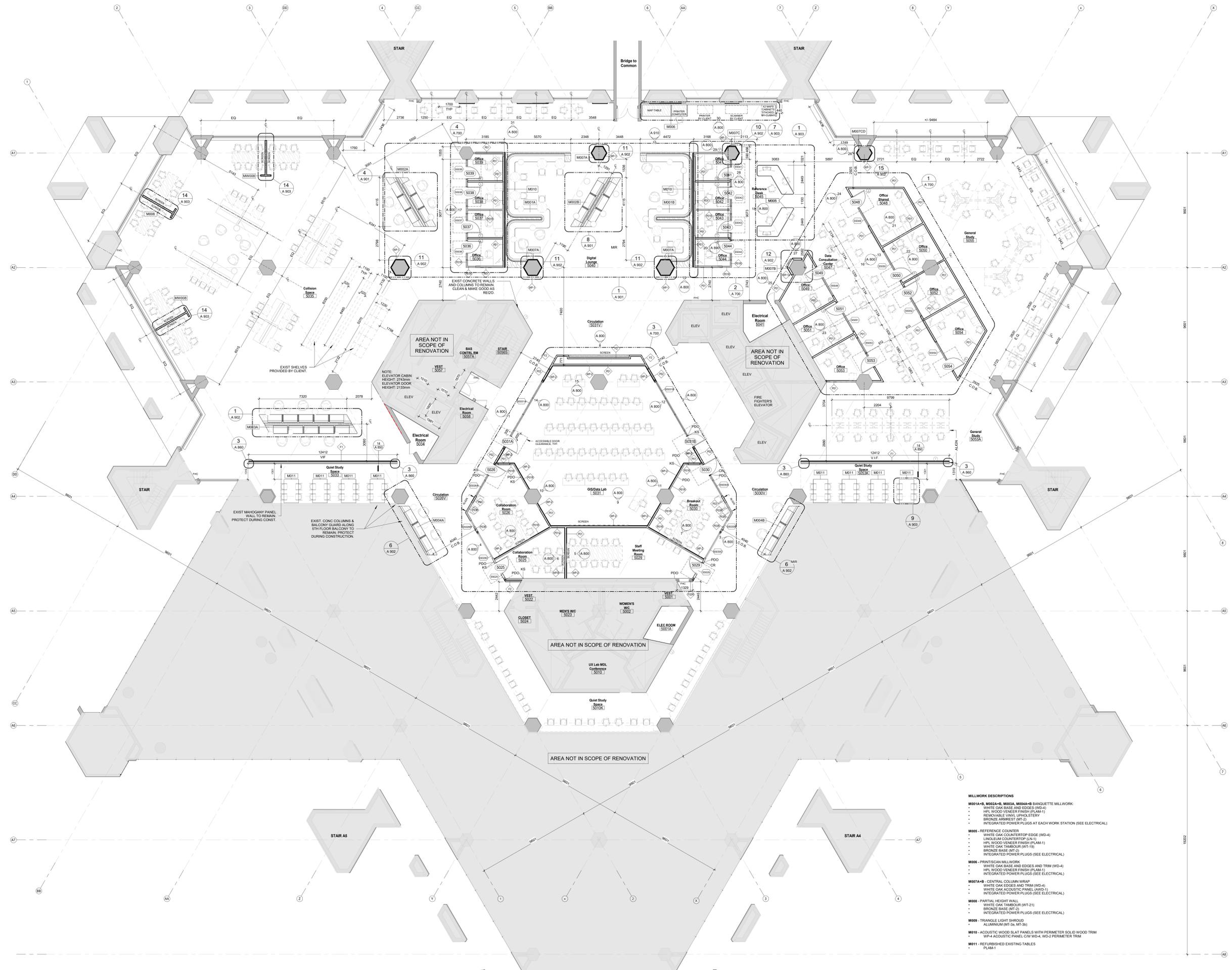
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Robarts 5th Floor Renovation

Title: **L05 Floor Plan**

Project No. 2322 Scale As Indicated
Drawing No.

A 101



- MILLWORK DESCRIPTIONS**
- M001A-B, M002A-W, M003A, M004A-B, M005A-B** BANDIETTE MILLWORK:
 - WHITE OAK BASE AND EDGES (WD-4)
 - HPL WOOD VENEER FINISH (PLAM-1)
 - REMOVABLE VINYL LIPHOLSTERY
 - BRONZE AMBLET (MT-2)
 - INTEGRATED POWER PLUGS AT EACH WORK STATION (SEE ELECTRICAL)
 - M005** - REFERENCE COUNTER
 - WHITE OAK COUNTERTOP EDGE (WD-4)
 - LINOLEUM COUNTERTOP (LN-1)
 - HPL WOOD VENEER FINISH (PLAM-1)
 - WHITE OAK TAMBOUR (WT-19)
 - BRONZE BASE (MT-2)
 - INTEGRATED POWER PLUGS (SEE ELECTRICAL)
 - M006** - PRINCIPAL MILLWORK
 - WHITE OAK BASE AND EDGES AND TRIM (WD-4)
 - HPL WOOD VENEER FINISH (PLAM-1)
 - INTEGRATED POWER PLUGS (SEE ELECTRICAL)
 - M007A-B** - CENTRAL COLUMN WRAP
 - WHITE OAK EDGES AND TRIM (WD-4)
 - WHITE OAK ACOUSTIC PANEL (AWA-1)
 - INTEGRATED POWER PLUGS (SEE ELECTRICAL)
 - M008** - PARTIAL HEIGHT WALL
 - WHITE OAK TAMBOUR (WT-21)
 - BRONZE BASE (MT-2)
 - INTEGRATED POWER PLUGS (SEE ELECTRICAL)
 - M009** - TRIANGLE LIGHT SHROUD
 - ALUMINUM (MT-SL-MT-30)
 - M010** - ACOUSTIC WOOD SLAT PANELS WITH PERIMETER SOLID WOOD TRIM
 - WP-4 ACOUSTIC PANEL CW WD-4, WD-2 PERIMETER TRIM
 - M011** - REFURISHED EXISTING TABLES
 - PLAM-1

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GENERAL FINISH NOTES

1. ALL NEW AND EXISTING PARTITIONS AND BULKHEADS TO BE PAINTED PT-1 U.O.
2. B-1 (BLACK) WALL BASE TO BE PROVIDED ON THE CORRIDOR SIDE OF NEW AND EXISTING PARTITIONS U.O. ON FINISH PLAN. B-2 (WHITE) WALL BASE TO BE PROVIDED ON THE ROOM SIDE OF NEW AND EXISTING PARTITIONS U.O. ON FINISH PLAN.
3. ALL EXISTING AND NEW EXPOSED DUCTWORK AND MECHANICAL PIPES TO BE PAINTED PT-4 U.O.
4. ALL EXISTING DOORS AND FRAMES TO REMAIN TO BE PAINTED U.O. REMOVE HARDWARE, AND SIGNAGE. CLEAN AND REINSTALL.
5. APPLIED WALL BASE NOT REQUIRED AT EXISTING CONCRETE COLUMNS AND CONCRETE WALLS.

SYMBOLS AND ABBREVIATIONS

- ALLOW FOR APPROXIMATELY 25mm OF CELESTITIOUS UNDERLAYMENT IN INDICATED AREAS IN ADDITION TO THE MINIMUM REQUIRED TO PREP FLOOR SUBSTRATE TO RECEIVE NEW CARPET. REFER TO SPECIFICATIONS.
- PROVIDE MOUSE RESISTANT CYPRUM BOARD UP TO 2435mm (81) ON CORRIDOR SIDE OF ALL NEW AND REFINISHED PARTITIONS.
- CPT-1 HALF-LAP PATTERN INSTALLATION. SEE FINISH PLAN FOR PATTERN ORIENTATION.
- GREY FILL ON PLANS REPRESENTS AREAS NOT IN SCOPE OF THE RENOVATION. TYPICAL.

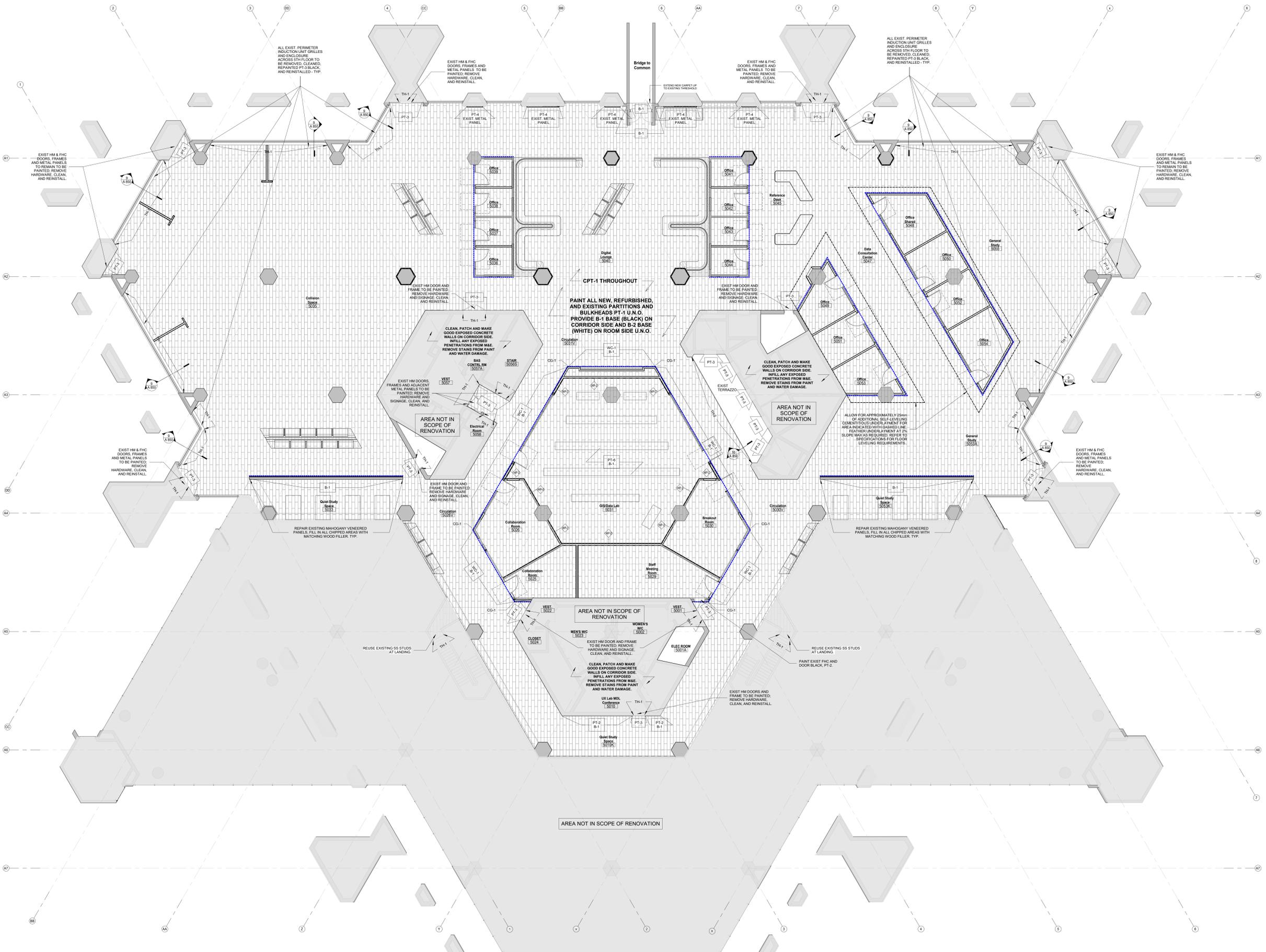
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7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

No.	Date	Issue/Revision

Robarts 5th Floor Renovation

Title:
L05 Finish Floor Plan

Project No. 2322 Scale As indicated
 Drawing No.



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POWER PLAN LEGEND:

- FURNITURE/MILLWORK MOUNTED POWER RECEPTACLE. REFER TO ELEC.
- WITTEASTING RACEWAY SYSTEM & MILLWORK. **NOTE:** ALL RECEPTABLES TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- ELECTRICAL BOX WITH POWER COMBO RECEPTACLE FOR PLUG IN POWER. REFER TO ELEC. **NOTE:** ALL RECEPTABLES TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- RECESSED FLOOR BOX FOR HARDWARE POWER CONNECTION & DATA CABLING. REFER TO ELEC. **NOTE:** ALL RECEPTABLES TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- EXISTING RECESSED FLOOR BOX FOR HARDWARE POWER CONNECTION & DATA CABLING. REFER TO ELEC. **NOTE:** ALL RECEPTABLES TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- CONDUIT STUBS FOR HARDWARE POWER CONNECTIONS. **NOTE:** ALL TO BE COORDINATED WITH EXISTING RACEWAY SYSTEM & MILLWORK.
- WALL MOUNTED RECEPTACLE. REFER TO ELECTRICAL FOR RECEPTACLE TYPE.
- EXISTING WALL MOUNTED RECEPTACLE. REFER TO ELECTRICAL.
- WALL MOUNTED VOICEDATA RECEPTACLE. REFER TO ELECTRICAL.
- EXISTING WALL MOUNTED VOICEDATA RECEPTACLE. REFER TO ELECTRICAL.
- LIGHT SWITCH. SEE ELECTRICAL.
- POWER DOOR OPERATOR ACTUATOR. SEE HARDWARE SCHEDULE & ELECTRICAL.
- FURNITURE RECEPTABLES/ELECTRICAL BOXES PROVIDED AS PART OF FURNITURE PACKAGE. CONNECT FURNITURE RECEPTABLES AS REQUIRED. SEE ELEC.
- APPROXIMATE LOCATION OF EXISTING IN-SLAB RACEWAY SYSTEM. SEE ELEC.
- APPROX EXTENT OF TRENCHING WITHIN EXISTING CONC TOPPING.
- APPROX EXTENT OF ELEC AND/OR WIRING UNDER SLAB AS WELL AS EXISTING PERIMETER GRILLES. SEE ELEC.
- APPROX EXTENT OF CEILING MOUNTED WIRING. SEE ELEC.
- APPROX EXTENT OF SURFACE RACEWAY. SEE ELEC.

POWER PLAN GENERAL NOTES

- 1) ALL POWER AND DATA REQUIREMENTS ARE TO BE COORDINATED WITH ELECTRICAL AND AV CONSULTANTS.
- 2) GO TO REVIEW EXACT LOCATION OF FLOOR BOXES AND RACEWAY OUTLETS BY CONSULTANT TEAM PRIOR TO TRENCHING CONCRETE OR CUTTING WIRING.
- 3) REFER TO ENLARGED PLANS AND INTERIOR ELEVATIONS FOR SWITCHES, PDD, AND THERMOSTAT LOCATION AND SIZING.

POWER PLAN NOTES

- 1) DEMOLISH EXISTING DECOMMISSIONED ELECTRICAL FLOOR BOXES. ALL ASSOCIATED WIRING AND EXPOSED CONDUIT. FILL FLOOR BOX OPENING WITH SELF-LEVELLING GEMENTRIUM UNDERLAYMENT. REFER TO TYPICAL DETAIL.
- 2) HARDWARE NEW FURNITURE INTO EXISTING ELECTRICAL FLOOR BOXES.
- 3) HARDWARE MILLWORK INTO EXISTING ELECTRICAL FLOOR BOXES. MODIFY FLOOR BOXES AS REQUIRED TO RECEIVE AV/DATA CONNECTIONS FROM ADJACENT PERIMETER FLOOR GRILLES. ALLOW FOR TRENCHING TO CONNECT FLOOR BOXES TO ADJACENT PERIMETER GRILLES AS REQUIRED.
- 4) DEMOLISH EXISTING FLOOR BOXES. REUSE EXISTING POWER CONDUIT WIRING THROUGH PERIMETER FLOOR GRILLES. PROVIDE TRENCHING FROM PERIMETER FLOOR GRILLES AS REQUIRED FOR NEW COMMUNICATIONS CONDUIT. PROVIDE POWER AND COMMUNICATIONS STUB UPS TERMINATING INSIDE MILLWORK AS REQUIRED. SEE ELECTRICAL & AV.
- 5) MODIFY EXISTING FLOOR BOXES FOR HARDWARE POWER AS REQUIRED TO EXTEND OUTLETS TO THE FACE OF MILLWORK. SEE ELECTRICAL.
- 6) SEE INTERIOR ELEVATIONS FOR WALL POWER & COMMUNICATIONS RECEPTABLES LOCATING DIMENSIONS. REFER TO ELECTRICAL, AV, AND TYPICAL MOUNTING HEIGHTS.
- 7) REPLACE EXISTING FLOOR BOX FOR HARDWARE POWER WITH ELECTRICAL FLOOR BOX FOR PLUG IN POWER. PROVIDE ADDITIONAL TRENCHING AS REQUIRED. REFER TO 2/1-A-104 AND SEE ELEC.

No.	Date	Issue/Revision
10	20250127	RE-ISSUED FOR CONSTRUCTION
9	20250127	ISSUED FOR SI-001
8	20241203	ISSUED FOR CONSTRUCTION
7	20241021	ISSUED FOR ADDENDUM A-02
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231128	ISSUED FOR DD COSTING & REVIEW

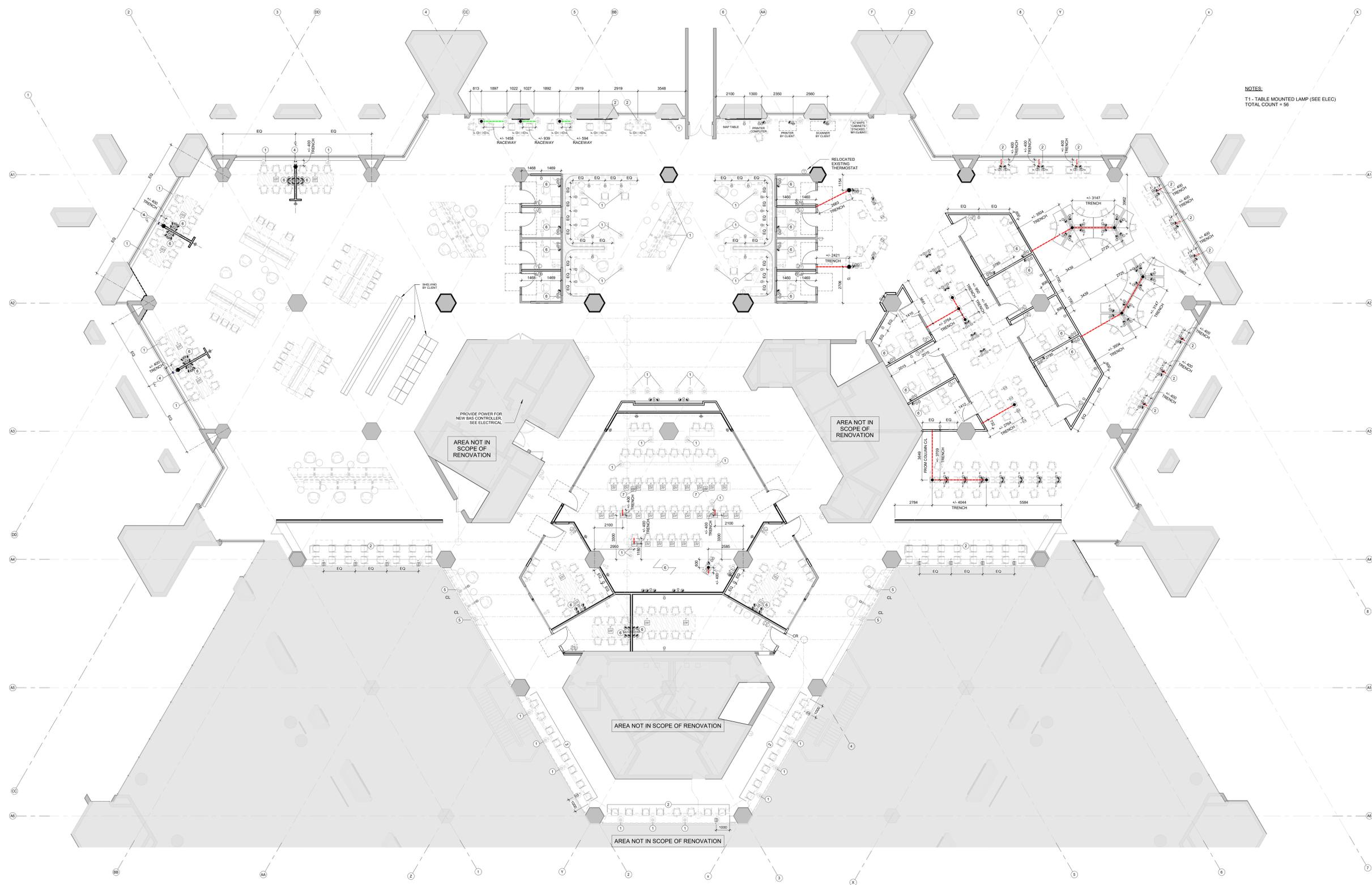
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Robarts 5th Floor Renovation

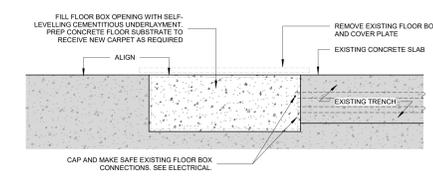
L05 Power Plan

Project No. 2322 Scale As Indicated Drawing No.

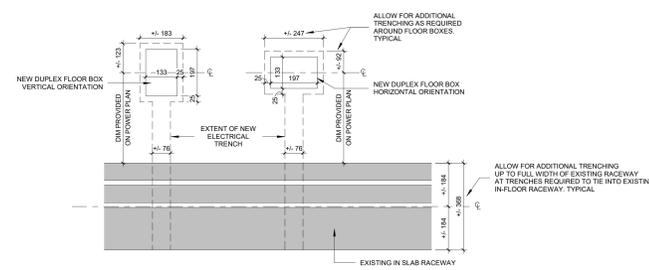
A 104



NOTES:
T1 - TABLE MOUNTED LAMP (SEE ELEC)
TOTAL COUNT = 52



1 Plan Detail - Typical Decommissioned Electrical Floor Box
1:10



2 Plan Detail - Typical Electrical Trench
1:10

1 L05 Power Plan
1:100

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GENERAL RCP NOTES

1. ALL NEW AND EXISTING EXPOSED DUCTWORK, PIPES, AND CONDUITS TO BE PAINTED PT-4 U.N.O.
2. ALL ELECTRICAL AND AV PENETRATIONS TO AND FROM ELECTRICAL ROOMS TO BE FIRE STOPPED AS REQUIRED TO MAINTAIN 1HR RATING.
3. SEE ELECTRICAL FOR CEILING DEVICES. REFER TO ARCHITECTURE FOR DEVICE LOCATING DIMENSIONS.

SYMBOLS AND ABBREVIATIONS

- RB ROLLER BLINDS
- EX EXISTING FIXTURES TO REMAIN. RELAMP ALL EXISTING LIGHT FIXTURES TO FUNCTION (APPROXIMATELY 2% FIXTURES)
- FF FILL IN EXISTING CONCRETE BATTLE WITH GWS CEILING ASSEMBLY TO ENSURE ACOUSTIC SEAL FOR VERTICAL PARTITIONS. REFER TO ELECTRICAL.
- EXIST CT EXISTING CEILING TILE TO REMAIN. REPLACE DAMAGED TILES AS REQUIRED.
- OS OCCUPANCY SENSOR. SEE ELEC. CENTER ON ACT TILE OR CONCRETE BEAM U.N.O.
- 133mm (4") FIRE ALARM BELL. SEE ELEC.
- EXIT SIGN. SEE ELEC.
- HEAT SENSOR. SEE ELEC.
- CEILING MOUNTED SPEAKER. SEE ELEC. & AV.
- CEILING MOUNTED MICROPHONE. SEE ELEC. & AV.
- WIRELESS ACCESS POINT (WAP). SEE ELECTRICAL FOR INFRASTRUCTURE AND WIRING. WAP PROVIDED BY OWNER. INSTALLED BY CONTRACTOR.

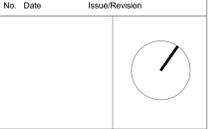
RCP NOTES

1. EXISTING ACT CEILING AND LIGHT FIXTURES TO BE REMOVED AND RE-INSTALLED AS REQUIRED TO ALLOW FOR NEW ELECTRICAL CONDUIT TO AND FROM ELECTRICAL ROOM.
2. ALL ELECTRICAL AND AV PENETRATIONS TO AND FROM ELECTRICAL ROOMS TO BE FIRE STOPPED TO MAINTAIN 1HR RATING OF THE ROOM.
3. RELOCATED BELL ANTENNAS ABOVE ACT CEILING. COORDINATE WITH BELL AND OWNER AS REQUIRED.

SEPARATE PRICE ITEMS

1. PROVIDE SEPARATE PRICE FOR THE REMOVAL OF EXISTING ACOUSTIC CEILING TILES IN ROOMS A, B, AND C AS SHOWN ON (SK-3) RCP SEPARATE PRICE DIAGRAM FOR REMOVAL OF EXISTING 1"x1" CEILING TILE AND T-BAR GRID AND INSTALLATION OF NEW 2"x2" ACT. RETAIN EXISTING CEILING TILES FOR REUSE AND RETURN TO OWNER.

8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
6	20240927	ISSUED FOR TENDER
5	20240816	ISSUED FOR BUILDING PERMIT
4	20240806	ISSUED FOR 100% CD
3	20240429	ISSUED FOR 80% CD COSTING
2	20231213	ISSUED FOR DD CLIENT REVIEW
1	20231122	ISSUED FOR DD COSTING & REVIEW

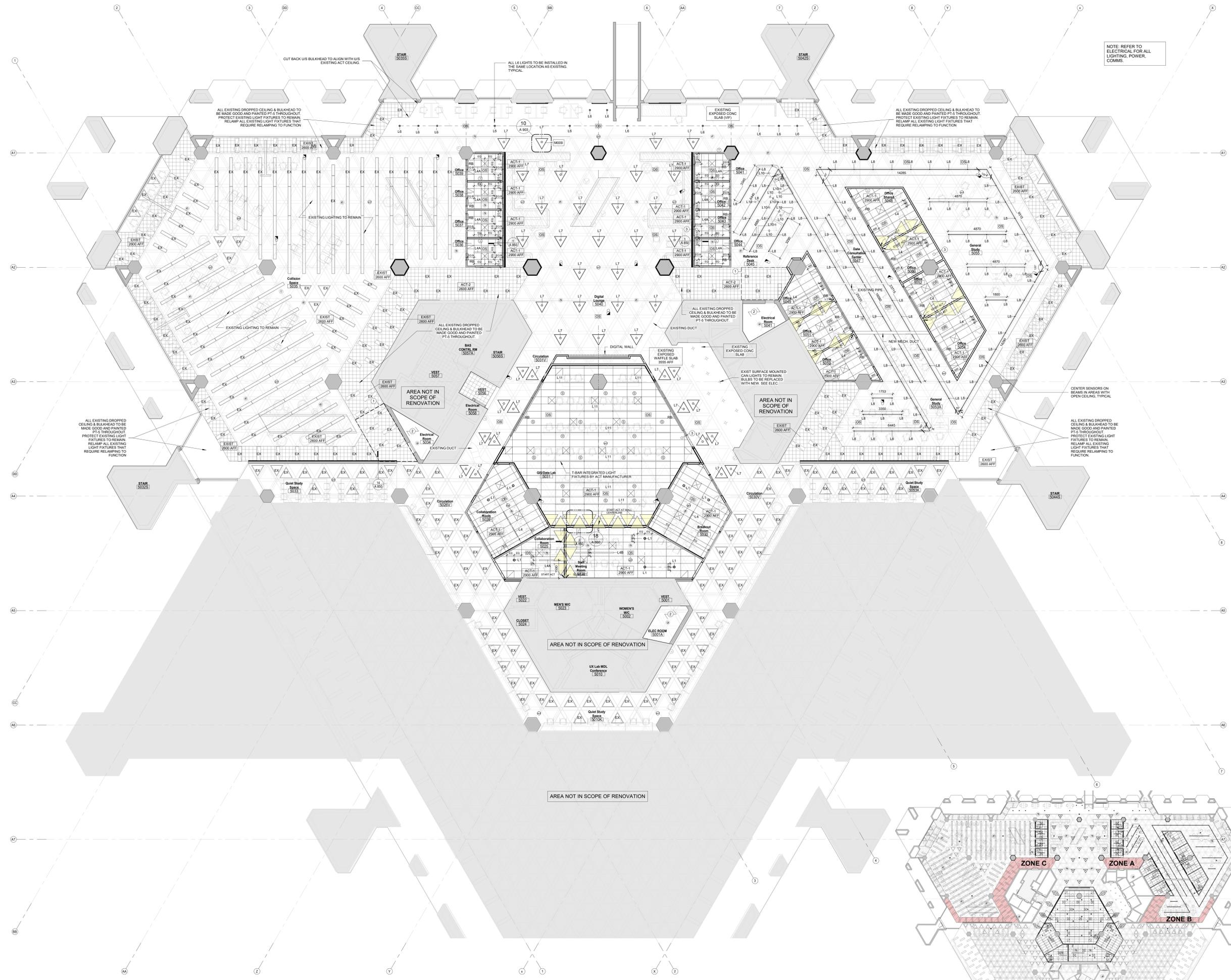


Robarts 5th Floor Renovation

Title:
L05 Reflected Ceiling Plan

Project No. 2322 Scale As Indicated
 Drawing No.

A 601



1 L05 RCP 1:100

2 (SK-3) RCP Separate Price Diagram 1:300

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GENERAL PLAN NOTES

1. PAINT ALL NEW & EXISTING DRYWALL TO REMAIN THROUGHOUT. SEE FINISH PLAN.
2. ALL EXISTING CONCRETE SURFACES TO REMAIN. PROTECT, CLEAN & REPAIR AS REQUIRED.
3. DIMENSIONS PROVIDED FOR NEW PARTITIONS ARE TO THE CENTERLINE OF THE METAL STUD. VERIFY ALL DIMENSIONS IN FIELD BEFORE PROCEEDING.
4. DIMENSIONS PROVIDED FOR EXISTING AND REFINISHED PARTITIONS ARE TO THE DRYWALL BOARD FINISH OF THE PARTITION.

SYMBOLS AND ABBREVIATIONS

- C.O.B. CENTER PARTITION ON EXISTING CONCRETE BEAM. REFER TO ROOF. VERIFY PROVIDED DIMENSION IN FIELD.
- PXXR PARTITION TAG FOR REFINISHED EXISTING PARTITIONS. REFER TO ASSEMBLY TYPES & DEMOLITION DRAWINGS.
- PXX PARTITION TAG FOR NEW PARTITIONS. REFER TO ASSEMBLY TYPES.
- SCREEN WALL MOUNTED SCREEN. SEE AV AND ELECTRICAL. PROVIDE BLOCKING AS REQUIRED. COORDINATE POWER AND AV PROVISIONS WITH MOUNTING BRACKER LOCATION AS REQUIRED.
- WB-# WALL MOUNTED WHITE BOARD. PROVIDED BY OWNER. REFER TO MATERIAL LEGEND FOR SIZES. PROVIDE BLOCKING AS REQUIRED.
- T WALL MOUNTED THERMOSTAT. REFER TO MECHANICAL.
- L LIGHT SWITCH. SEE ELECTRICAL.
- PDO POWER DOOR OPERATOR ACTUATOR. SEE HARDWARE SCHEDULE & ELECTRICAL.
- GREY FILL ON PLANS REPRESENTS AREA NOT IN SCOPE OF THE RENOVATION. TYPICAL.

NOTES

1. CONTINUOUS BLOCKING FOR FUTURE DESK MOUNTING. PROVIDE 150mm TALL PLYWOOD BLOCKING AT 750mm AFF.

- 8 20250127 RE-ISSUED FOR CONSTRUCTION
- 7 20241203 ISSUED FOR CONSTRUCTION
- 6 20240927 ISSUED FOR TENDER
- 5 20240816 ISSUED FOR BUILDING PERMIT
- 4 20240806 ISSUED FOR 100% CD
- 3 20240429 ISSUED FOR 80% CD COSTING
- 2 20231213 ISSUED FOR DD CLIENT REVIEW
- 1 20231122 ISSUED FOR DD COSTING & REVIEW

No.	Date	Issue/Revision
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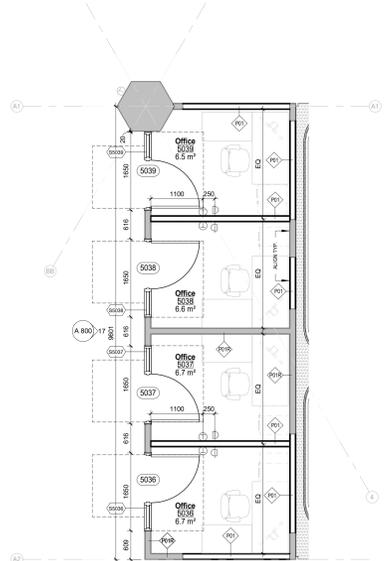


Robarts 5th Floor Renovation

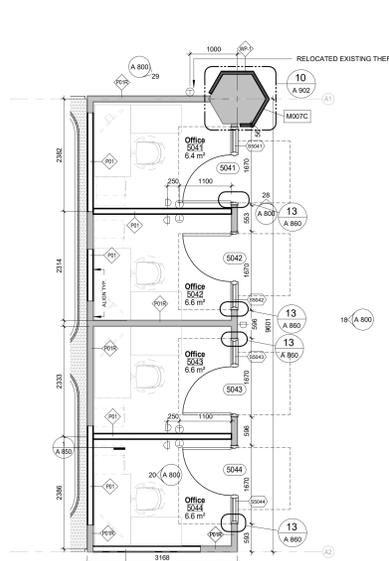
Enlarged Drawings

Project No. 2322 Scale As indicated Drawing No.

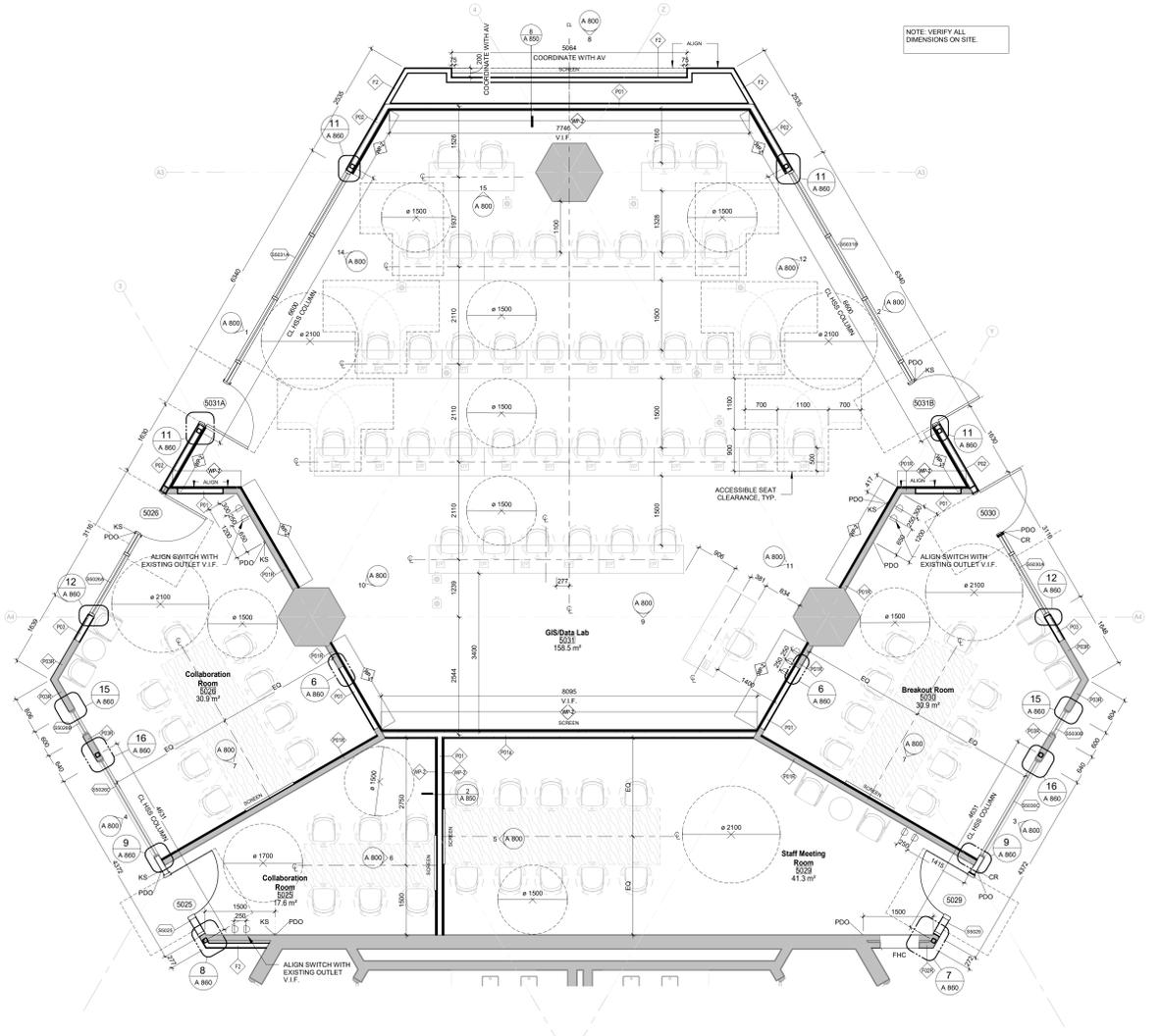
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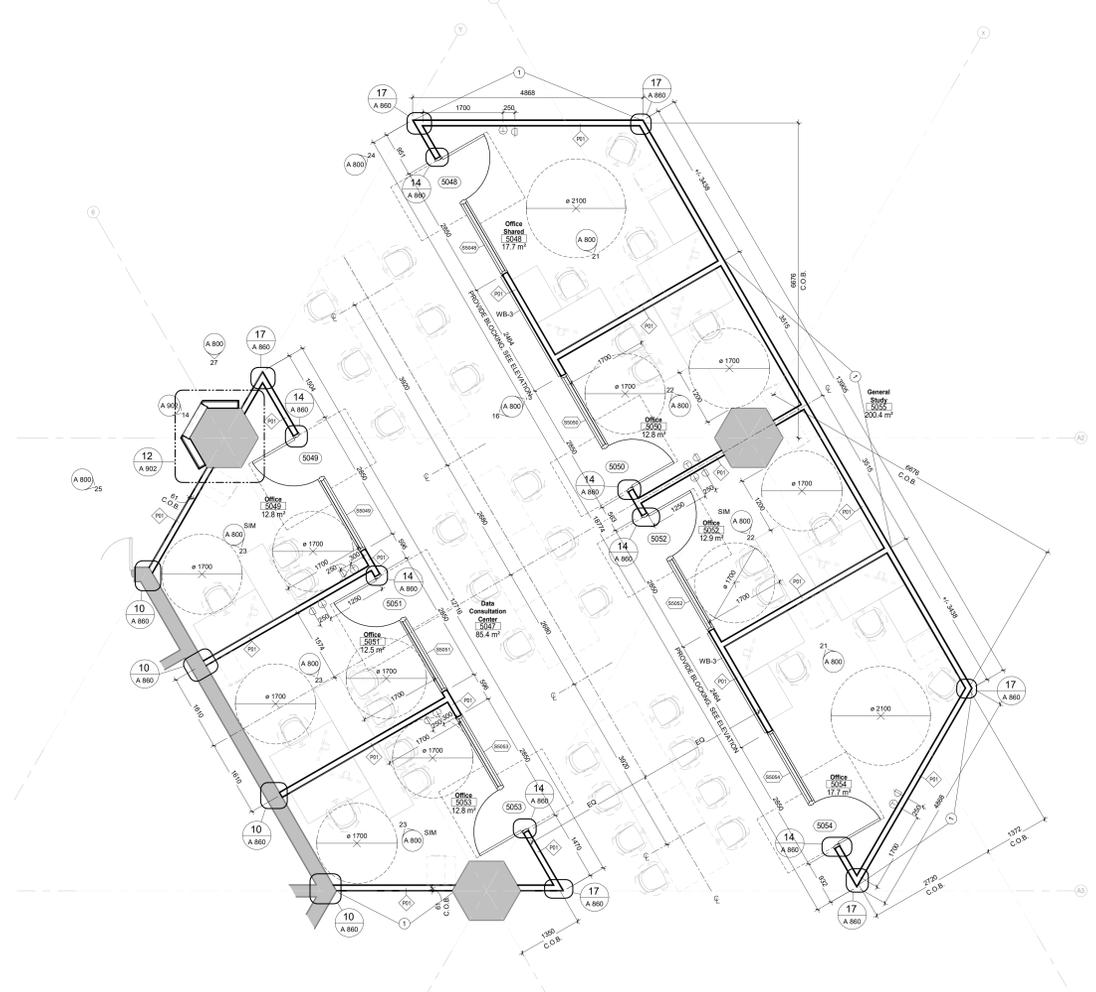
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2 Enlarged Plan - Data Consultation Small Offices
1:50



3 Enlarged Floor Plan - GIS Lab
1:50

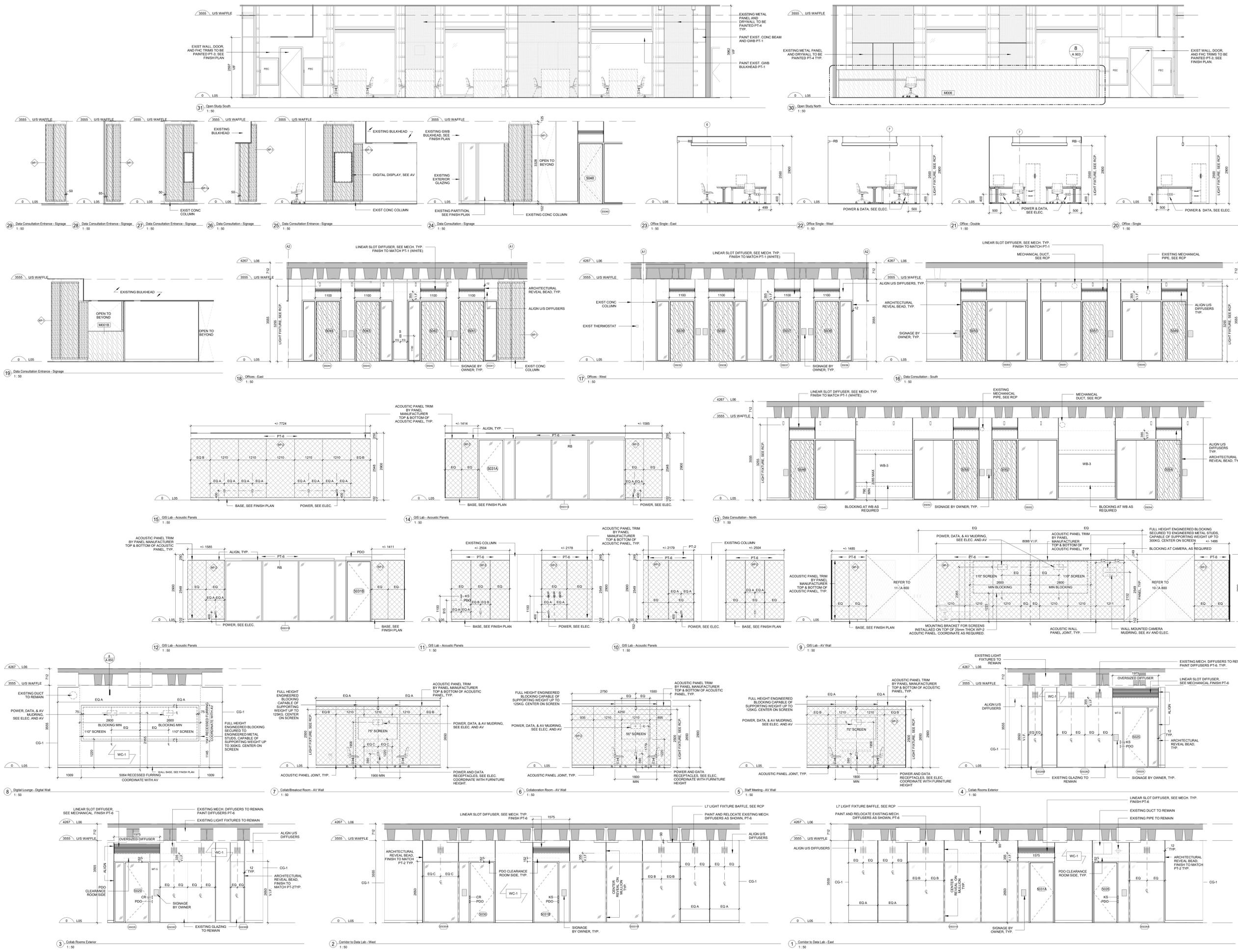


1 Enlarged Plan - Data Consultation
1:50

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GENERAL ELEVATION NOTES.

1. MATCH FINISH OF ALL WALL DIFFUSERS/GRILES TO THE FINISH OF PARTITION DIFFUSERS/GRILES ARE INSTALLED IN.
2. IN WALLS PAINTED PT-1 PROVIDE PT-1 FINISH. IN WALLS PAINTED PT-2 PROVIDE PT-2 FINISH. IN WALLS CW WP-1 PANEL PROVIDE PT-6 FINISH.
3. REFER TO THE FINISH PLAN AND TYPICAL FINISH NOTES FOR WALL PAINT AND BASE TYPES. ALL NEW REFINISHES ARE TO BE RECEIVED AND RECEIVE NEW PAINT FINISH AND APPLIED WALL BASE U.N.O.



No.	Date	Issue/Revision
8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
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5	20240816	ISSUED FOR BUILDING PERMIT
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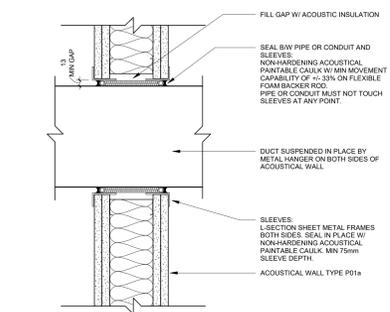
Robarts 5th Floor Renovation

Interior Elevations

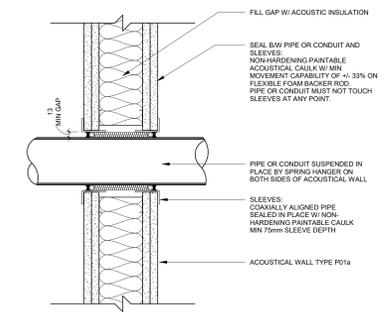
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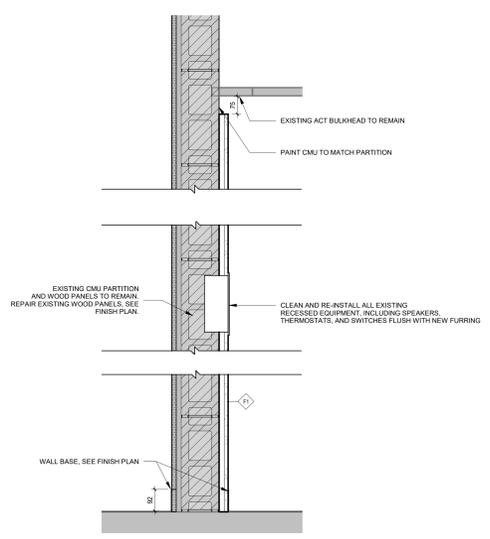
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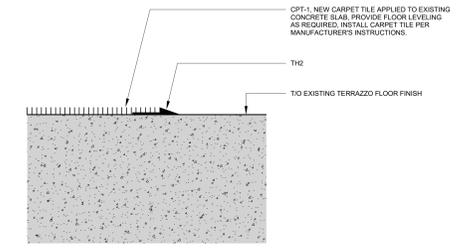
12 Section Detail - Duct Penetration
1:5



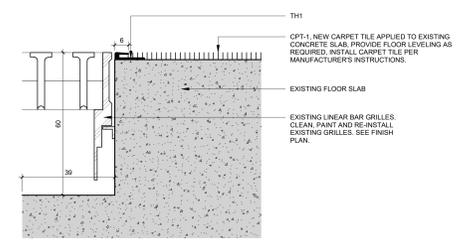
11 Section Detail - Pipe Penetration
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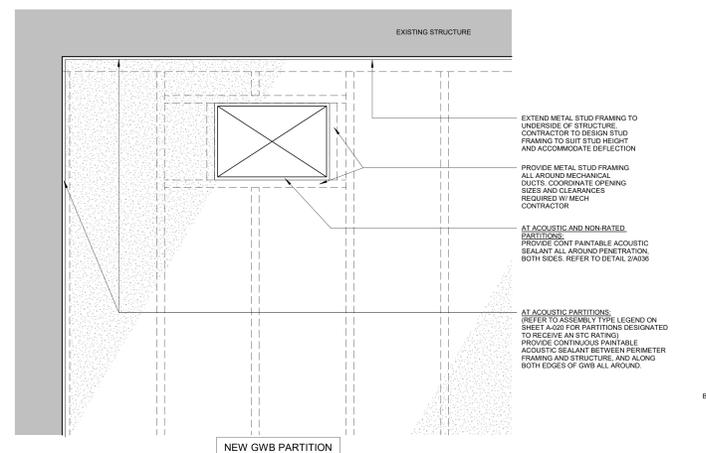
14 Typical Section Detail at Existing CMU Walls
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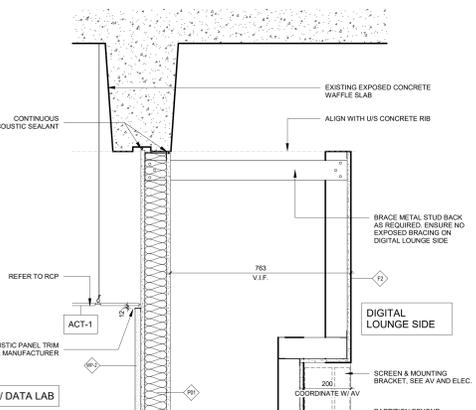
10 Floor Transition TH2
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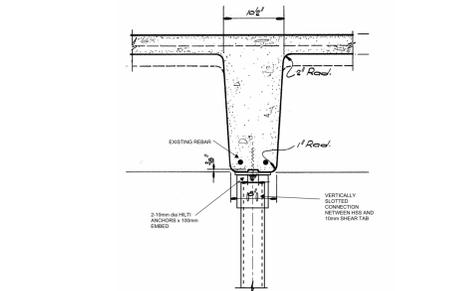
9 Floor Transition TH1
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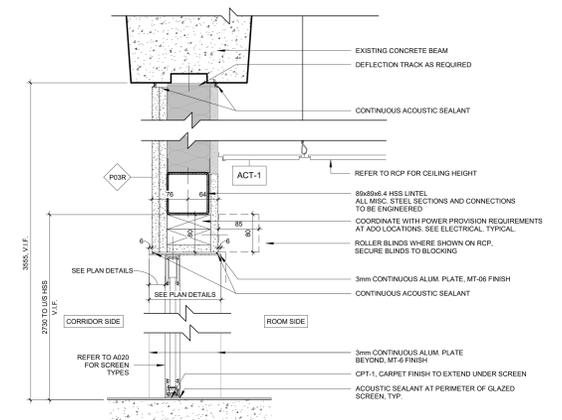
13 Elevation - Duct Penetration in GWB
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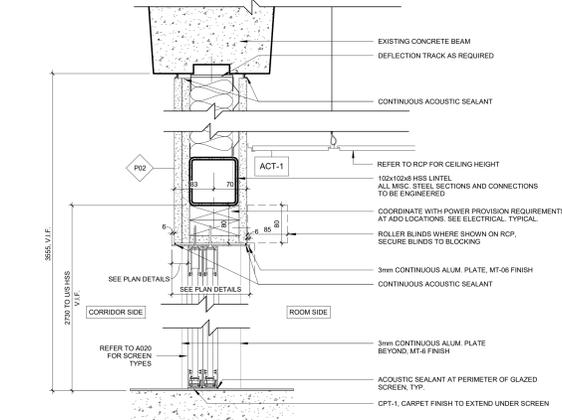
8 Section Detail - GIS Lab Partition Header
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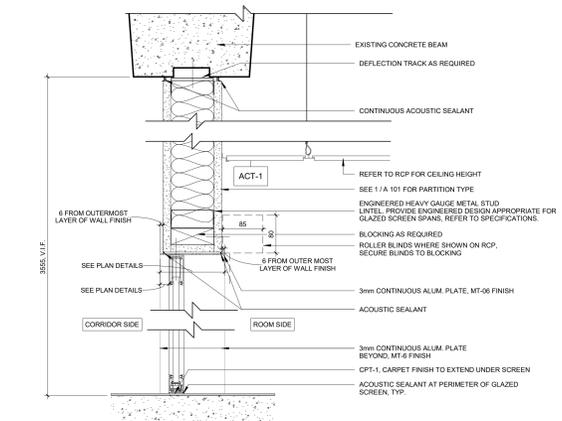
7 Typical Section at Top of HSS Column
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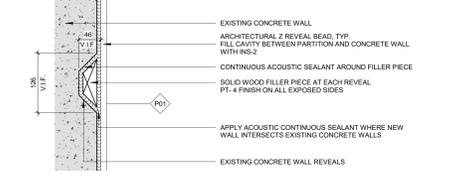
6 Typical Interior Sit & Header Steel Support
1:5



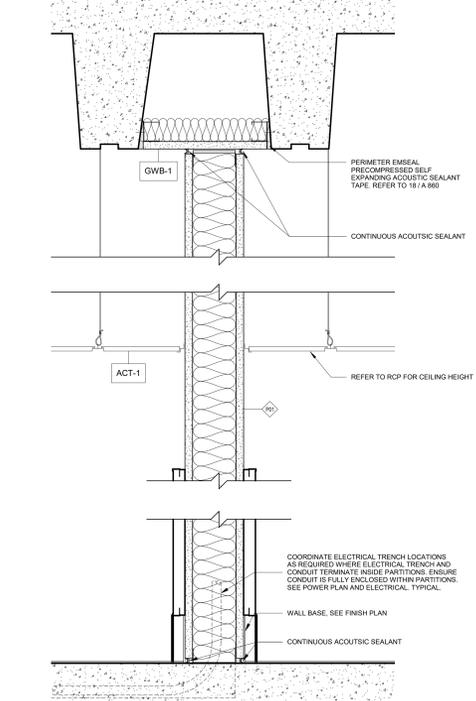
5 Typical Interior Sit & Header Steel Support
1:5



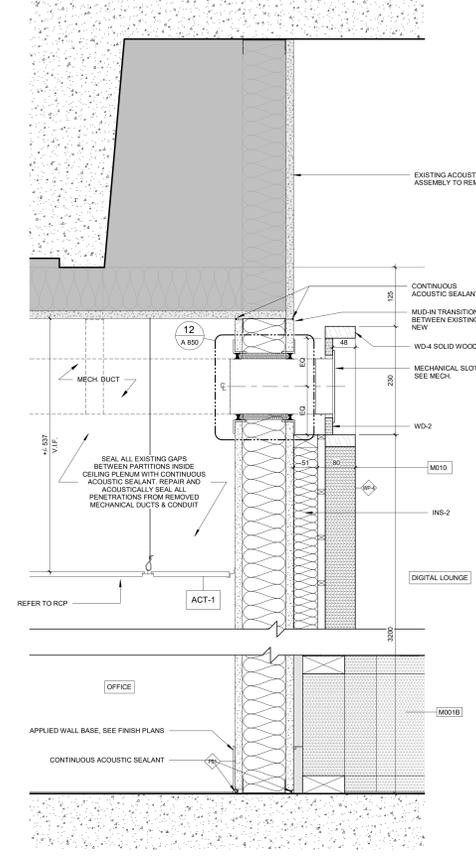
4 Typical Interior Screen Sit and Header
1:5



3 New Partition Meets Existing Concrete Wall Section Detail
1:5



2 Typical Section Detail: Interior Acoustic Panel
1:5

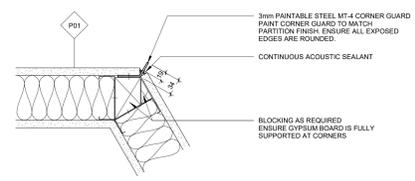


1 Section Detail - Acoustic Partition at Existing Office
1:5

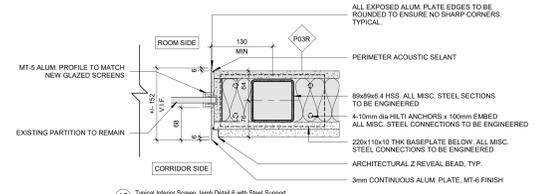
No.	Date	Issue/Revision
8	20250127	RE-ISSUED FOR CONSTRUCTION
7	20241203	ISSUED FOR CONSTRUCTION
6	20241112	ISSUED FOR ADDENDUM A-04
5	20241021	ISSUED FOR ADDENDUM A-02
4	20240927	ISSUED FOR TENDER
3	20240816	ISSUED FOR BUILDING PERMIT
2	20240806	ISSUED FOR 100% CD
1	20240429	ISSUED FOR 80% CD COSTING

Robarts 5th Floor Renovation

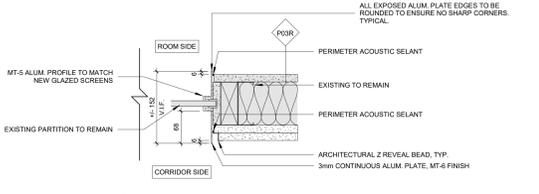
Section Details



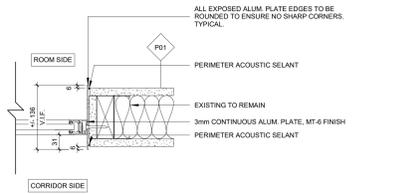
17 Corner Guards Typical Detail
1:5



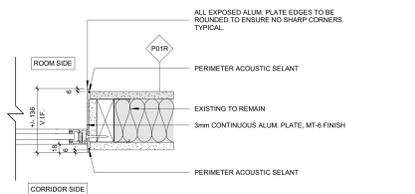
16 Typical Interior Screen Jamb Detail 6 with Steel Support
1:5



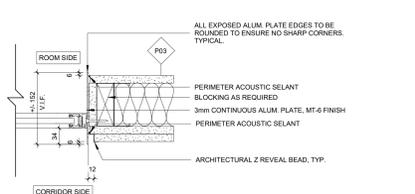
15 Typical Interior Screen Jamb Detail 5
1:5



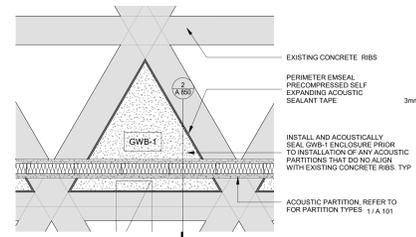
14 Typical Interior Screen Jamb Detail 4
1:5



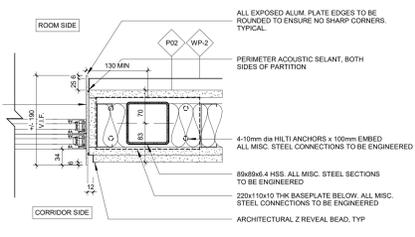
13 Typical Interior Screen Jamb Detail 3
1:5



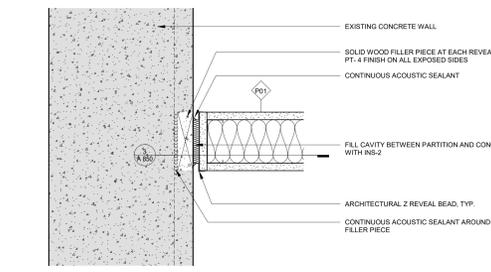
12 Typical Interior Screen Jamb Detail 2
1:5



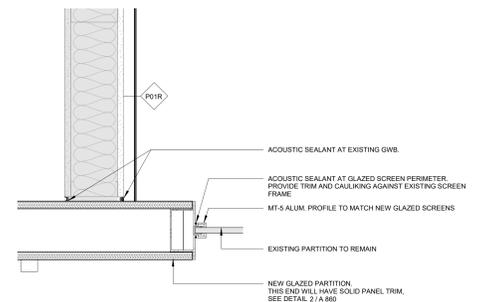
18 Plan Detail - GWB-1 Acoustic Ceiling Enclosure
1:20



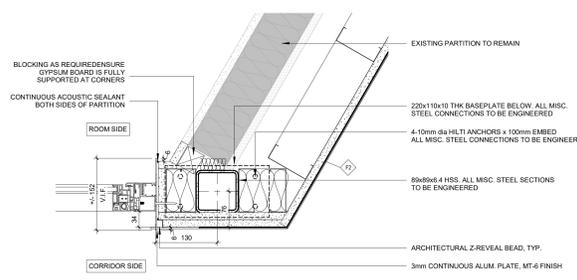
11 Typical Interior Screen Jamb Detail 1 with Steel Support
1:5



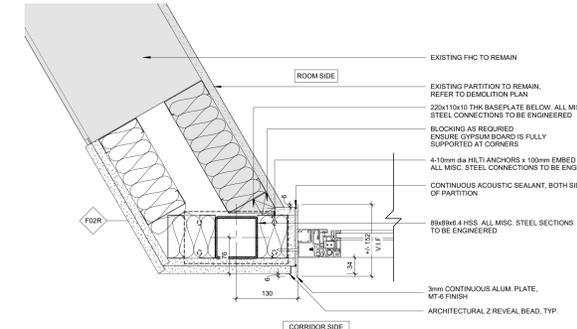
10 New Partition at Existing Walls
1:5



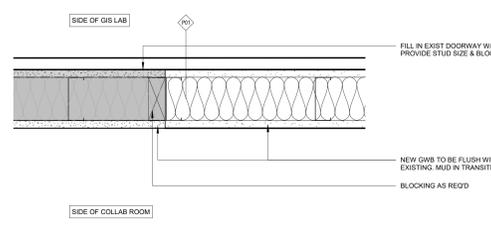
9 New Glazed Screen at Existing Wall Panel
1:5



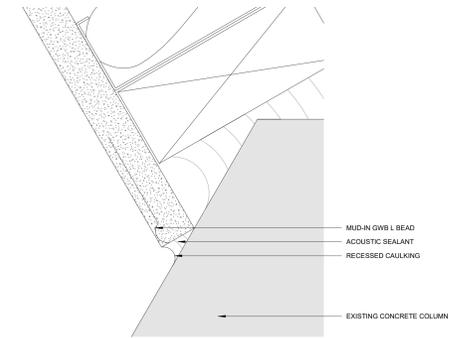
8 New Glazed Screen at Existing Glazed Screen and Furring
1:5



7 New Glazed Screen at Existing Glazed Screen
1:5



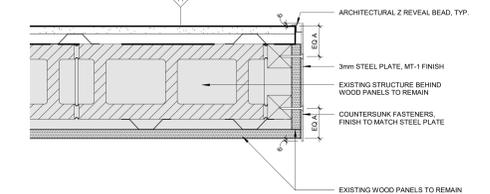
6 Existing Door with Typical Detail
1:5



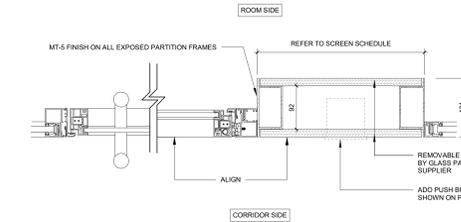
5 Typical GWR Partition at Existing Columns
1:1



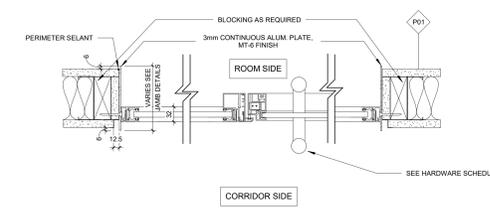
4 Typical GWR Partition at Existing Columns
1:10



3 Typical Trim at Existing GWR Partition
1:5



2 Typical Solid Panel at Glazed Screen
1:5



1 Typical Interior Screen Jamb
1:5

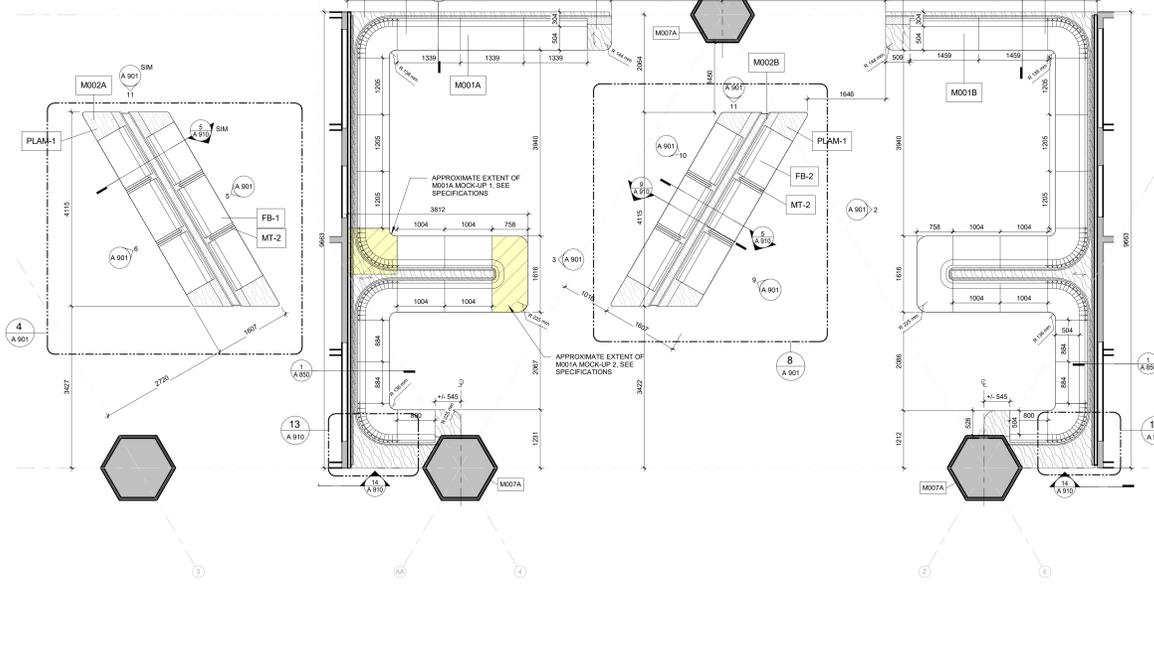
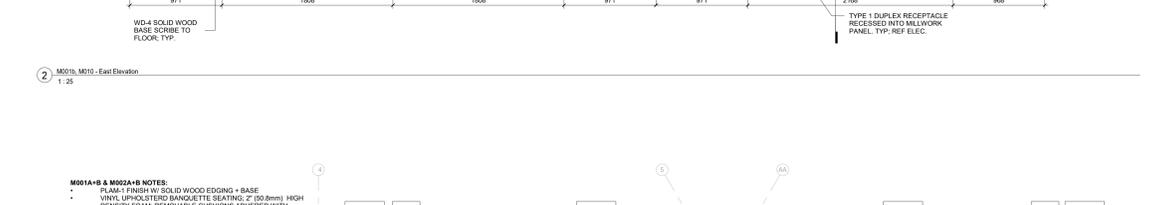
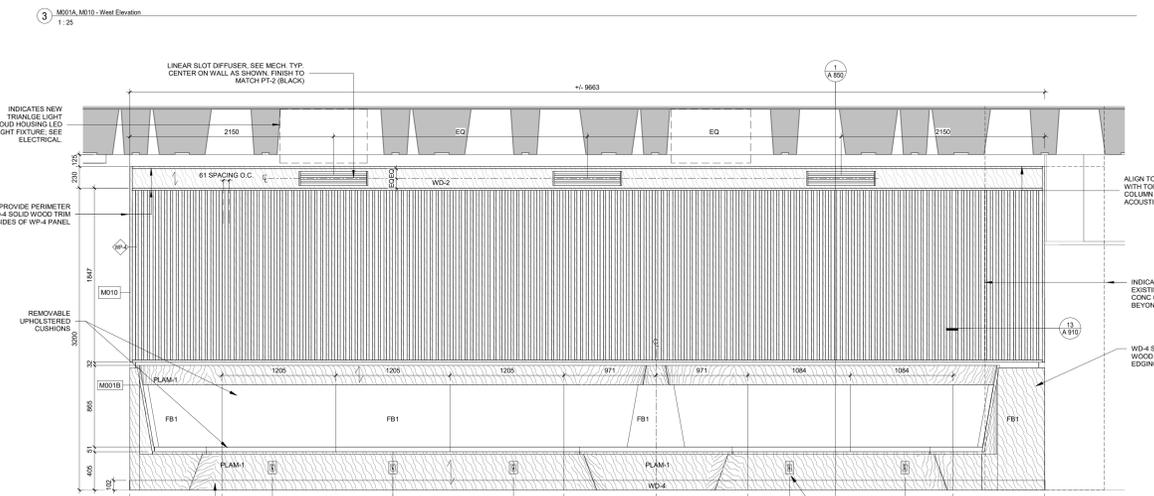
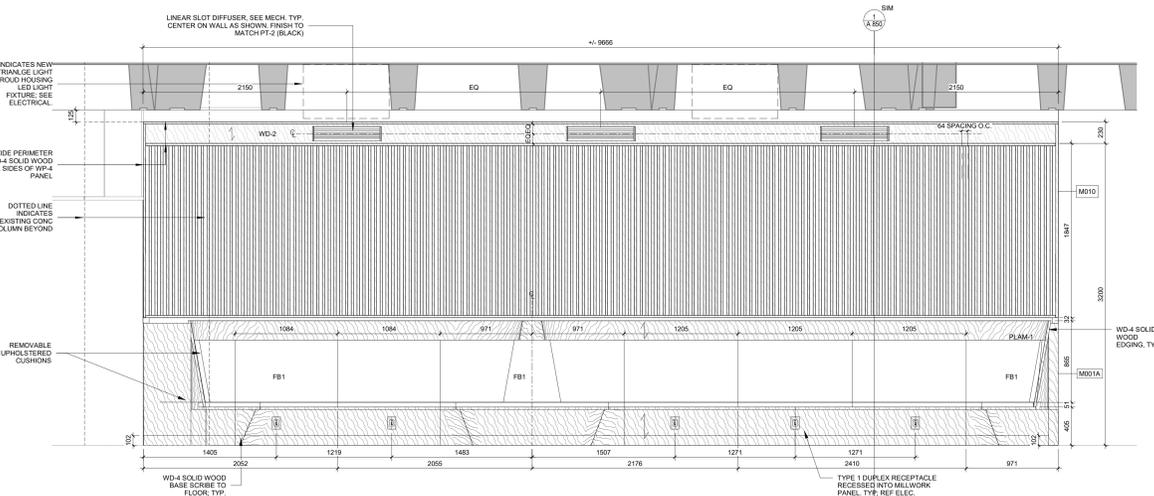
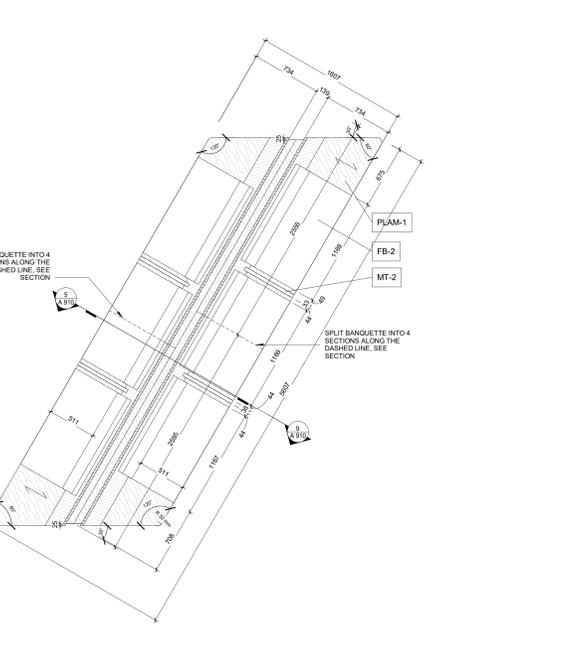
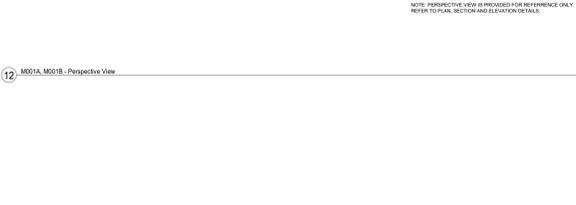
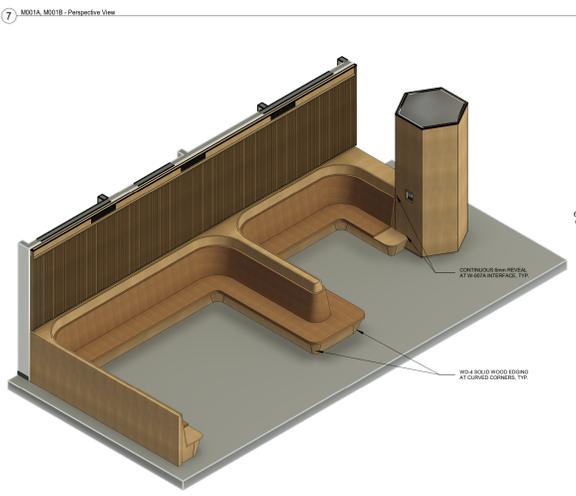
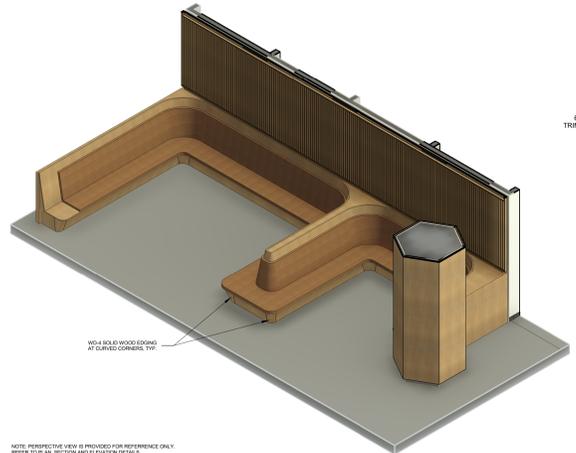
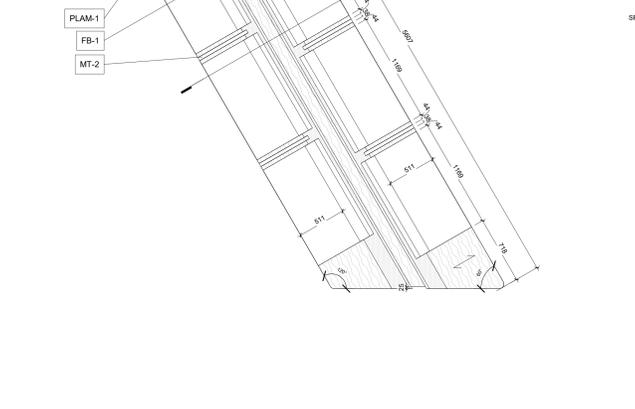
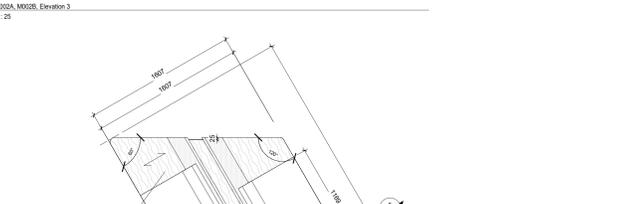
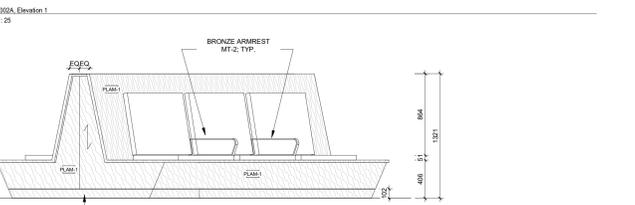
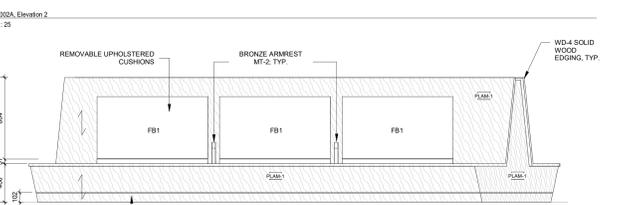
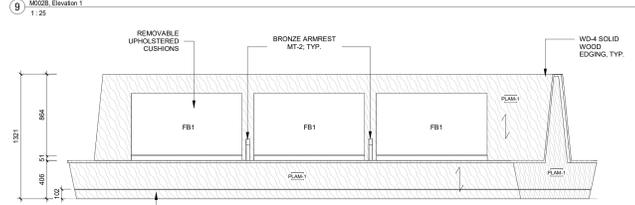
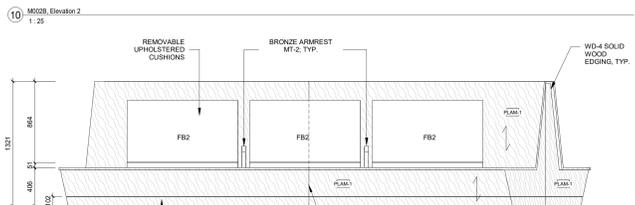
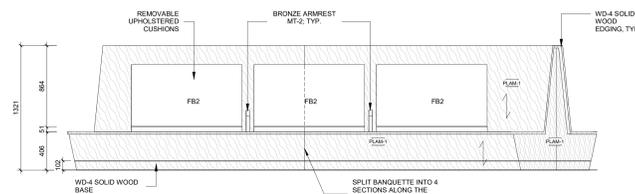
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3	20240816	ISSUED FOR BUILDING PERMIT
2	20240806	ISSUED FOR 100% CD
1	20240429	ISSUED FOR 80% CD COSTING

Robarts 5th Floor Renovation

Plan Details

Project No. 2322 Scale As Indicated
Drawing No.

A 860



RE-ISSUED FOR CONSTRUCTION

ISSUED FOR CONSTRUCTION

ISSUED FOR ADDENDUM A-02

ISSUED FOR TENDER

ISSUED FOR BUILDING PERMIT

ISSUED FOR 100% CD

ISSUED FOR 80% CD COSTING

ISSUED FOR DD CLIENT REVIEW

ISSUED FOR DD COSTING & REVIEW

RE-ISSUED FOR CONSTRUCTION

ISSUED FOR CONSTRUCTION

ISSUED FOR ADDENDUM A-02

ISSUED FOR TENDER

ISSUED FOR BUILDING PERMIT

ISSUED FOR 100% CD

ISSUED FOR 80% CD COSTING

ISSUED FOR DD CLIENT REVIEW

ISSUED FOR DD COSTING & REVIEW

RE-ISSUED FOR CONSTRUCTION

ISSUED FOR CONSTRUCTION

ISSUED FOR ADDENDUM A-02

ISSUED FOR TENDER

ISSUED FOR BUILDING PERMIT

ISSUED FOR 100% CD

ISSUED FOR 80% CD COSTING

ISSUED FOR DD CLIENT REVIEW

ISSUED FOR DD COSTING & REVIEW

RE-ISSUED FOR CONSTRUCTION

ISSUED FOR CONSTRUCTION

ISSUED FOR ADDENDUM A-02

ISSUED FOR TENDER

ISSUED FOR BUILDING PERMIT

ISSUED FOR 100% CD

ISSUED FOR 80% CD COSTING

ISSUED FOR DD CLIENT REVIEW

ISSUED FOR DD COSTING & REVIEW

Robarts 5th Floor Renovation

Title: Millwork Drawings - M001A+B, M002A+B, M010

Project No. 2322 Scale As indicated Drawing No.

A 901

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14 M007B Elevation 1:25
12 M007B Plan 1:25
13 M007A Elevation - Central Column Wrap 1:25
15 M007D Plan - Corner Column Wrap 1:25
10 M007C Plan - Corner Column Wrap 1:25
11 M007A Plan - Central Column Wrap 1:25

M007A-B NOTES:
- WP-1 FINISH W/ SOLID WOOD EDGING + BASE
- COORDINATE BLOCKING SIZE WITH AV SCREEN MOUNTING BRACKET

M007A-C-D NOTES:
- WP-1 FINISH W/ SOLID WOOD EDGING
- PROVIDE WD-4 TRIM AT ALL EXISTING THERMOSTAT LOCATIONS. REFER TO ELEVATION.

M004-A-B NOTES:
- PLAM-1 FINISH W/ SOLID WOOD EDGING + BASE
- VINYL UPHOLSTERED BANQUETTE SEATING, 2" (50mm) HIGH DENSITY FOAM, REMOVABLE CUSHIONS ADHERED WITH INDUSTRY STRENGTH VELCRO
- INTEGRATED POWER PLUGS AT EACH WORK STATION
- MILLWORK POWER REFER TO ELECTRICAL.

M003A NOTES:
- PLAM-1 FINISH W/ SOLID WOOD EDGING + BASE
- VINYL UPHOLSTERED BANQUETTE SEATING, 2" (50mm) HIGH DENSITY FOAM, REMOVABLE CUSHIONS ADHERED WITH INDUSTRY STRENGTH VELCRO

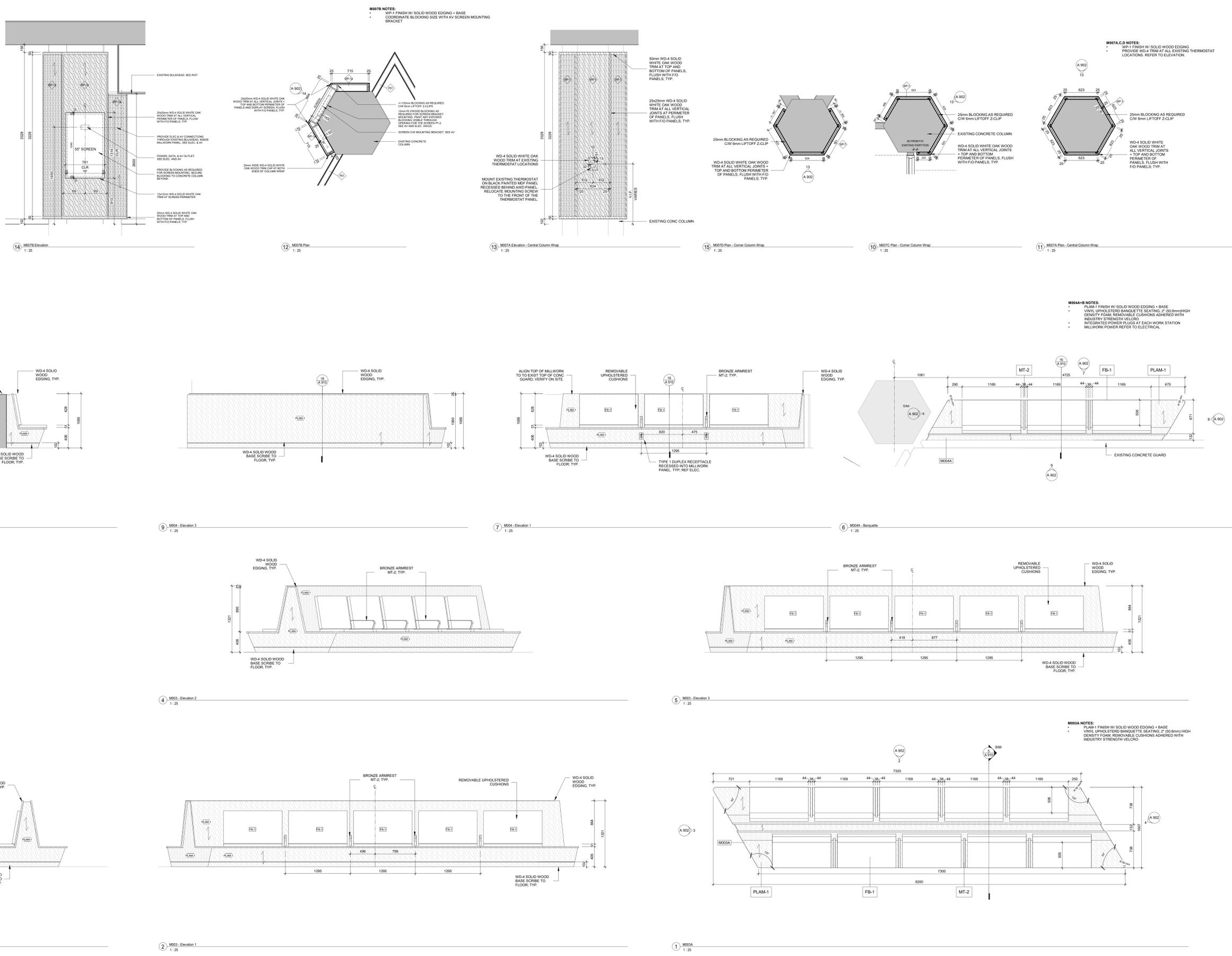
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1	20231122	ISSUED FOR DD COSTING & REVIEW

Robarts 5th Floor Renovation

Title:
Millwork Drawings - M003, M004, M007A-D

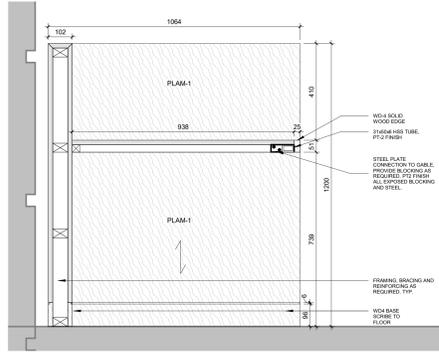
Project No. 2322 Scale 1:25
Drawing No.

A 902

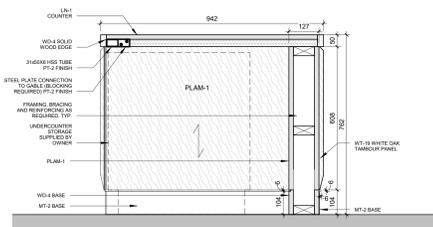


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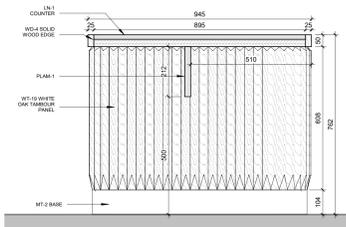
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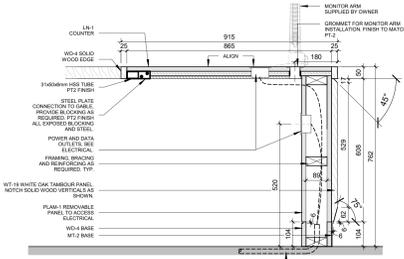
12 M006 - Section Detail
1:10



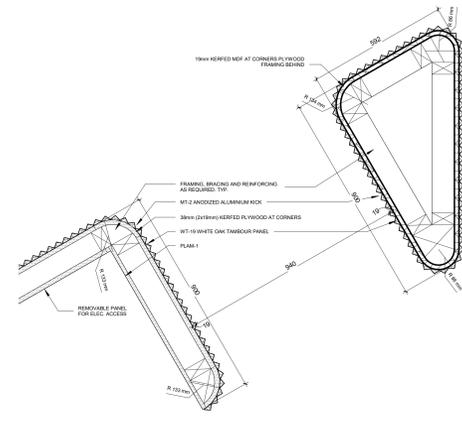
6 M007 - Section Detail
1:10



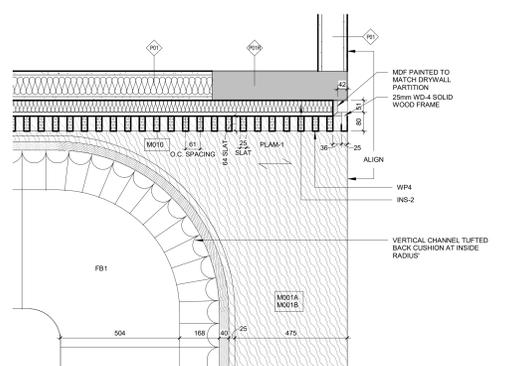
7 M008 - Section Detail at accessible opening
1:10



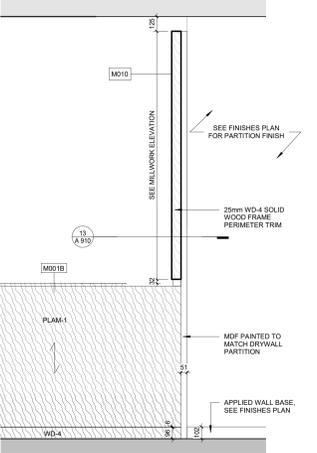
8 M009 - Section Detail at grommet
1:10



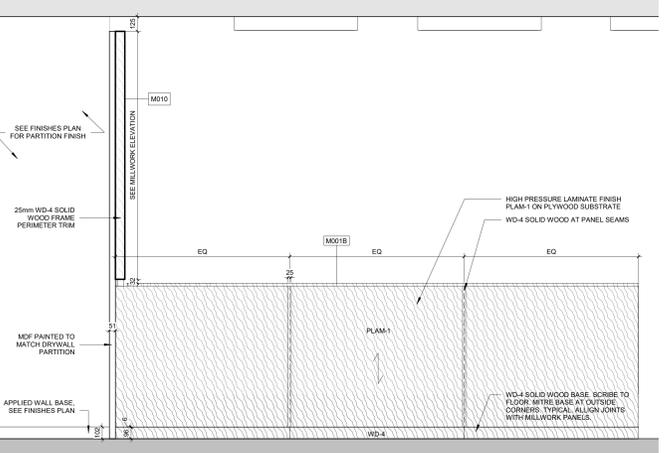
10 M010 - Desk Support Plan Detail
1:10



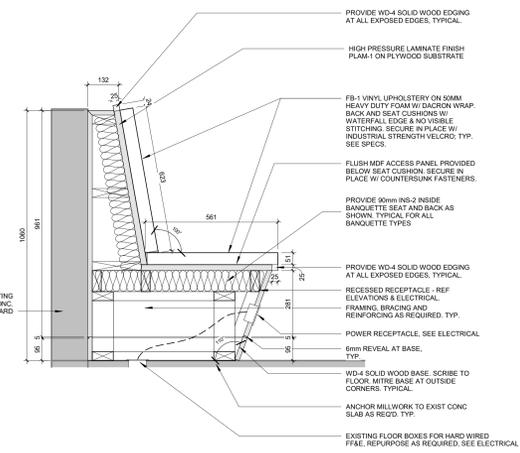
13 M001A - Typical Inside Corner Plan Detail
1:10



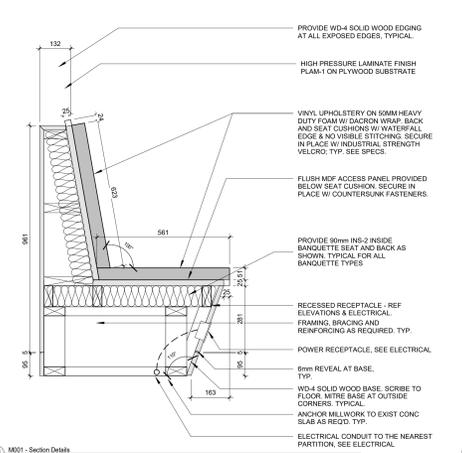
14 M001AAB - M010 - Elevation
1:20



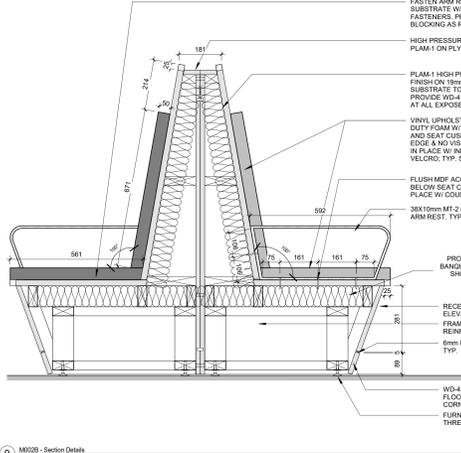
15 M001AAB - M010 - Elevation
1:20



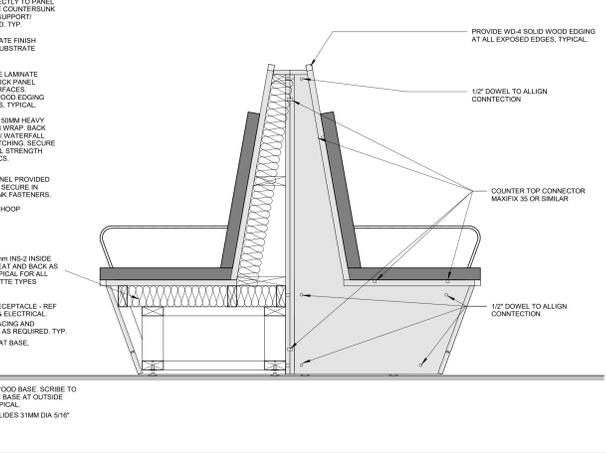
16 M004 - Section Detail
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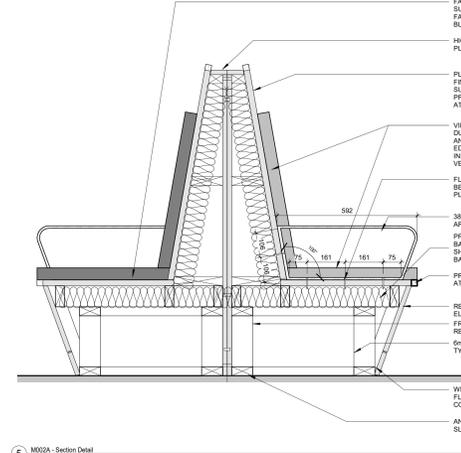
11 M001B - Section Details
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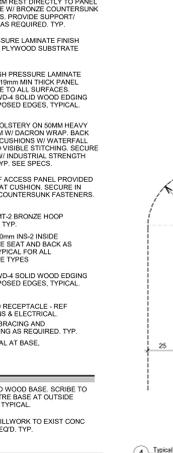
9 M002B - Section Details
1:10



17 M002B - Section Details
1:10

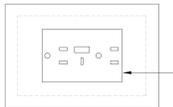


5 M002A - Section Detail
1:10



4 Typical Banquette Edge Detail
1:2

NOTE: ALL EXPOSED MILLWORK RECEPTACLES TO BE TYPE 1, U.N.O. REFER TO ELECTRICAL.



LEGEND: 1-GANG ADD-ON WALL PLATE - 1A 1-SLOT DUPLEX RECEPTACLE FOR USB-A & USB-C. SEE ALSO ELECTRICAL.

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Robarts 5th Floor Renovation

Typical Millwork Details

Project No. 2322 Scale As indicated
 Drawing No. 1-2

A 910