

University of Toronto Mississauga Pre-Engineered Building

UofT RFT No: UTM200239 / BSN Project No 2301

Architectural Addendum 1

December 17, 2024

The following information supplements and/or supersedes the bid documents issued with *University of Toronto Tender Documents* for tender number *UTM200239* and/or previous addenda. This Addendum forms part of the Tender / Bid Documents and is to be read, interpreted, and coordinated with all other parts. The cost of all contained herein is to be included in the bid price. The following revisions supersede, add to and/or amend the information contained in the original drawings and specifications issued for the above-named project to the extent referenced and shall become part thereof. *Acknowledge receipt of this Addendum by inserting its number and date on the bid form. Failure to do so may subject bidder to disqualification*

TABLE OF CONTENTS (4 pages + 7 drawing sheet attachments)

1. Project Manual Revisions

a. *as described below*

2. Architectural Drawing Sheet Revisions

a. *(as described below with 7 drawing sheet attachments)*

1.0 Project Manual. Volume 1

1.1 Section 07 21 00 Thermal Insulation

- 1.1.1 Section 2 Products, ADD: 2.03 *Foamed-in-Place Insulation (gap filler)*
 - .1 CAN/ULC-S710.1, Single component, moisture-cure low expansion rate spray-in-place polyurethane liquid foam insulation
 - .2 Compressive strength: 34kPa
 - .3 CAN/ULC -S102 and ASTM E84 flame spread requirements
 - .4 Basis of Design
 - .1 Tremco EXOAir LEF
 - .2 or approved alternate
- 1.1.2. Section 3.03 Installation Schedule, ADD:
 - .5 *Foamed-in-Place Insulation*
 - .1 *Install foamed in place insulation materials to OBC requirements in accordance with manufacturer's instructions and acceptable to authorities having jurisdiction to provide required air seal.*
 - .2 *Apply sealants within recommended application temperature ranges. Consult manufacturer when sealants cannot be applied within specified ranges.*
 - .3 *Apply foam in place insulation materials to fill gaps where indicated.*
 - .4 *Use low expansion products for locations where expansion may result in distortion, buckling or other deformations of adjacent products that may be sensitive to movement.*

1.2 Section 08 81 00 Glass and Glazing

- 1.2.1 Section 2.03 Materials,
 - .5 Fire rated glass, ADD:
 - .4 Fire Rated Impact Safety Rated Glazing: 5mm thick clear polished impact safety-rated glass composed of glazing and fire-rated safety film with appropriate labelling stating fire rating and approval. Basis of Design: Firelite NT by Technical Glass Products, Pyran Platinum F by Schott, or approved equal*

1.3 Section 08 71 00 Door Hardware

- 1.3.1 Section 1.2 Summary,
 - .C. Related Sections: DELETE:
 - 1. Division 01 Section "Cash Allowances"
 - 2. Division 02 Section "Product Allowances"

1.4 Section 09 67 16 Epoxy Flooring

- 1.4.1 Section 2.01 Materials,
 - .2 Epoxy Flooring REVISE:
 - .3 Stonchem 877 by Stonhard' to read*
 - .3 Stonshield HRI by Stonhard'*
- 1.4.2 Section 2.01 Materials, ADD:
 - .3 Chemical resistant epoxy flooring*
 - .1 Mortar based epoxy flooring system with engineered fabric and mineral composite topcoat*
 - .2 Basis of Design:*
 - .1 Stonchem 877 by Stonhard*
 - .2 or approved equal*

1.5 Section 09 54 33 Acoustic Baffles

- 1.5.1 Section 2.02 Acoustic Baffles,
 - .7 Basis of Design, ADD:
 - .4 Frasch! Acoustics BAFL'*

1.6 Section 12 24 13 Roller Shades

- 1.6.1 Section 1.01.2 ADD:
 - .2 Motorized roller shade'*
- 1.6.2 Section 2 Products, REVISE:
 - .2.05 Fabrication' to read '2.06 Fabrication.*
- 1.6.3 Section 2 Products, ADD:
 - .2.05 Motorized Roller Shade*

.1 Standard 4-wire motor with quick-connect for connection to building electrical system. Provide factory-assembled, shade-operator system, complete with electric motor and factory-prewired motor controls with a connector that disconnects motor from power, enclosures protecting controls and operating parts, and accessories necessary for a complete installation. Include wiring from motor controls to motors. Coordinate operator wiring requirements and electrical characteristics with building electrical system.

.2 Activation Controls: Motors shall be operated from remote mounted key controlled switches. Switch location shall be as directed by Consultant.

.3 Brake: Motor shall have solenoid activated disc brake to stop and hold in any position. Brake shall automatically disengage when motor is operating.

.4 Motorized bracket system, banded with hanger enclosure. Motors to be asynchronous capacitor start and run single phase type operating on 120V – 60Hz; planetary type gears, solenoid activated, built in limit switches; thermally protected switches.

.5 Mounting: mounted as shown on Drawings

.6 Acceptable products:

.1 MechoShade UrbanShade Motorized Shade System

.2 Or approved equal

2 Architectural Drawing Revisions

2.1 Sheet A004 Schedules

- 2.1.1 Revise Floor Finish FF2 from 'Porcelain Tile' to 'Broadcast System Epoxy Flooring'
- 2.1.2 Revise Floor Finish FF5 to read 'Chemical Resistant Epoxy Flooring'
- 2.1.3 Revise Room Finish Schedule to read:
 - 2.1.3.1 Room Number 122 AV Garage Floor Finish FF-2
 - 2.1.3.2 Room Number 124 Flex Garage Floor Finish FF-2

2.2 Sheet A101 Site Plan

- 2.2.1 Refer to revised drawing sheet attached to this addendum identifying extent of light-duty vs. heavy-duty paving.

2.3 Sheet A212 Enlarged Plans – Central Wing

- 2.3.1.1 Room Number 122 AV Garage revise Floor Finish to FF-2
- 2.3.1.2 Room Number 124 Flex Garage revise Floor Finish to FF-2

2.4 Sheet A402 Elevation

- 2.4.1 Refer to revised drawing sheet attached to this addendum identifying revisions to glazing at south elevation [drawing 2/A402]

2.5 Sheet A602 Section Details – Interior

- 2.5.1 Refer to revised drawing sheet attached to this addendum identifying revisions to framing at floating office [drawing 5/A602]

2.6 Sheet A703 Interior Elevations

- 2.6.1 Drawing 2/A703 ADD: '*BLACKOUT BLINDS*' at sidelight and transom of Door 110

2.7 Sheet A707 Interior Elevations

- 2.7.1 Refer to revised drawing sheet attached to this addendum identifying revisions to interior glazing [drawing 5/A707]

2.8 Sheet A708 Interior Elevations

- 2.8.1 Refer to revised drawing sheet attached to this addendum identifying revisions to interior glazing [drawing 5/A708]

2.9 Sheet A709 Interior Elevations

- 2.9.1 Refer to revised drawing sheet attached to this addendum identifying revisions to interior glazing [drawing 6/A709]

2.10 Sheet A801 Millwork Schedule Key Plan

- 2.10.1 Refer to revised drawing sheet attached to this addendum identifying millwork units.

2.11 Sheet A802 Millwork Drawings – Forensic Garage

- 2.11.1 Revise all references from 'MW105.1' to 'MW110.1'

2.12 Sheet A803 Millwork Drawings - Lounge

- 2.12.1 Revise all references from 'MW103.1' to 'MW115.1'
- 2.12.2 Revise all references from 'MW103.2' to 'MW115.2'
- 2.12.3 Revise all references from 'MW103.3' to 'MW115.3'

2.13 Sheet A804 Millwork Drawings - CROBE

- 2.13.1 Revise all references from 'MW120.1' to 'MW126.1'

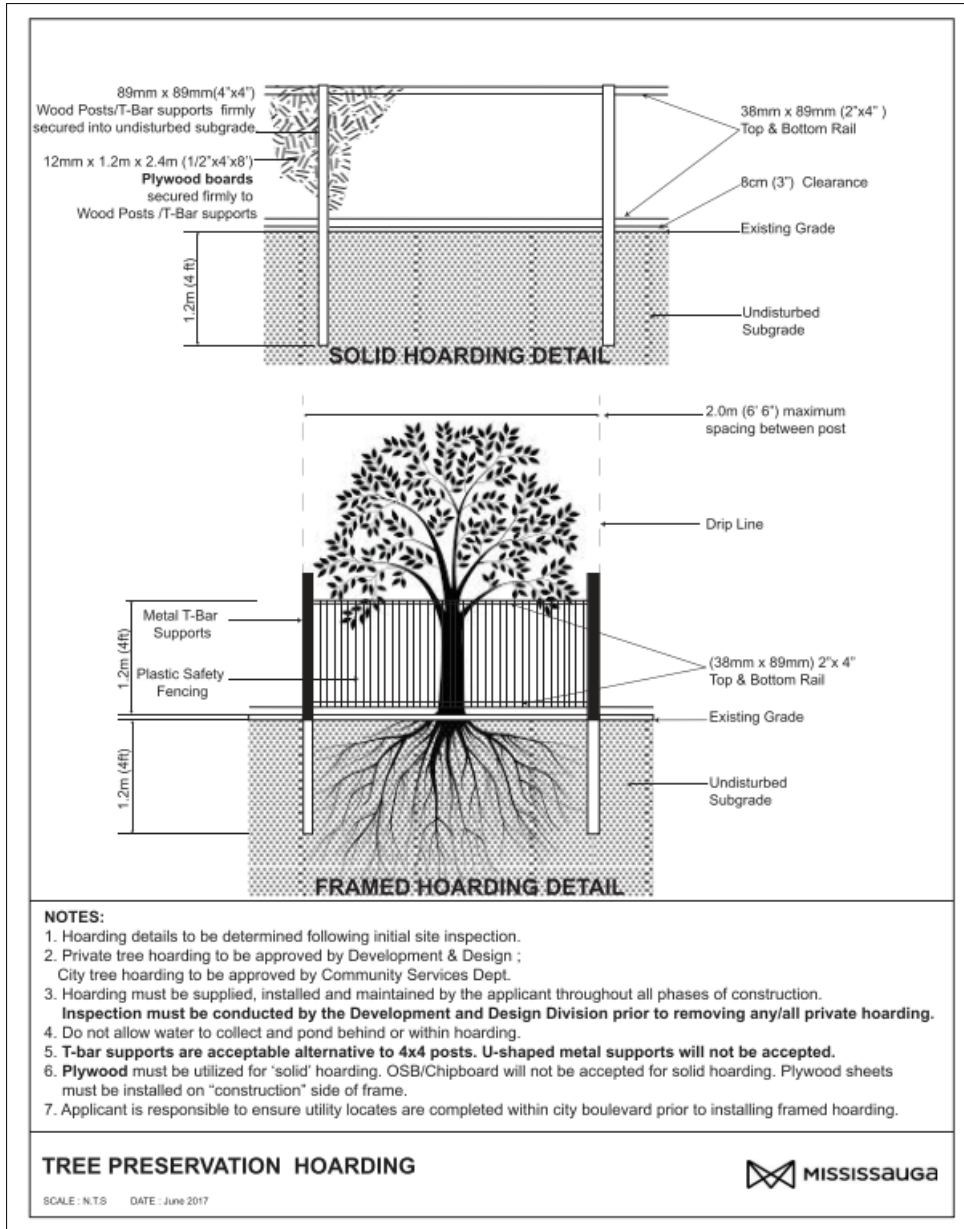
2.14 Sheet A806 Millwork Drawings - CROBE

- 2.14.1 Revise all references from 'MW118.1' to 'MW125.1'
- 2.14.2 Revise all references from 'MW120.2' to 'MW126.2'

END OF ADDENDUM

PROJECT INFORMATION AND ZONING ANALYSIS

PROJECT NAME:	UTM PRE-ENGINEERED BUILDING
PROJECT ADDRESS:	3265 PRINCIPAL'S ROAD
CITY IDENTIFIER:	11680600 (Z-24)
LEGAL DESCRIPTION:	PT LTS 3, 5 RANGE 1NDS, LT 4, PT LTS 3,5 RANGE 2 NDS, PT LTS 3, 4 RANGE 3 NDS, PT BLK M-PL-550, PT RDAL B7N RANGE 2 & RANGE 3 NDS - 43R31817 PTS 4-6, 43R-18296 PT 1 SP 21-4 W8 (PREVIOUSLY PAM 20-138 W8)
SPA PROJECT NUMBER:	
ZONING ANALYSIS - CITY OF MISSISSAUGA BYLAW 0225-2007	
ZONE:	I-5 (ZONING MAP 24)
PROPOSED USE:	INSTITUTIONAL (UNIVERSITY/COLLEGE), AS PERMITTED
CAMPUS LOT AREA:	897,543.66 m2
DEVELOPMENT AREA OF PROPOSED PROJECT:	approx. 2260 m2
COVERAGE OF PROPOSED PROJECT:	863 m2
PROPOSED GROSS FLOOR AREA:	Total: 779m2 Basement: N/A Ground floor: 859m2 - 38m2 - 42m2 = 779m2 (ground floor - washrooms - Mechanical & Electrical) Mechanical mezzanine: 95m2 (Not included in GFA)
FLOOR SPACE INDEX:	779m2 proposed + 274,884m2 existing / 897,543.66m2 lot area = 0.307:1
PERMITTED GROSS FLOOR AREA:	N/A
PROPOSED BUILDING HEIGHT:	6.20m TOP OF ROOF 7.80m TOP OF MECHANICAL EQUIPMENT ENCLOSURE
FRONT YARD SETBACK:	MEASURED FROM BUILDING TO EDGE OF PRIVATE ROAD MIN REQUIRED: 7.50m (N/A - INTERNAL ROADS WITHIN SINGLE CONSOLIDATED PROPERTY) PROPOSED: 4.10m
ROOF EAVES ENCROACHMENT:	PERMITTED: 0.45m PROPOSED: 0.00m (PROPOSED ROOF EDGE 4.10m FROM LOT BOUNDARY AT ROAD)
LANDSCAPED BUFFER:	MIN REQUIRED: 4.50m (N/A - INTERNAL LOT BOUNDARY AT ROAD WITHIN SINGLE CONSOLIDATED PROPERTY) PROPOSED: 4.10m
PARKING:	REQUIRED SPACES: 1:1 SPACE FOR 100m2 GFA. 779m2/100m2 x 1.1 = 8.57 = 9 SPACES REQUIRED PROVIDED: 2 + 1 ACCESSIBLE EXISTING 104 SURPLUS SPACES ON CAMPUS - LESS 5 SPACES ON EXISTING SITE = 99 SURPLUS SPACES 99 SPACES - 6 (PROJECT DEFICIT) = 93 SURPLUS REMAINING
BICYCLE PARKING:	EXISTING 359 TOTAL BICYCLE PARKING SLOTS PROPOSED: 6 ADDITIONAL BICYCLE PARKING SLOTS (NOT REQUIRED NON-RESIDENTIAL USES LESS THAN 1000M2 GFA)



TREE PROTECTION NOTE:

The applicant is responsible for ensuring that tree protection hoarding is maintained throughout all phases of demolition and construction in the location and condition as approved by the Planning and Building Department. No materials (building materials, soil, etc.) may be stockpiled within the area of hoarding. Failure to maintain the hoarding as originally approved or the storage of materials within the hoarding will be cause for the Letter of Credit to be held for two years following completion of all site works. Hoarding must be inspected prior to the removal of any tree hoarding from the site.

Owner's Signature: _____
Date: _____

CURB CUTS AND RAMPS:

If the final course of asphalt paving is delayed, install a temporary lift of asphalt at ramps or curb cuts to provide barrier-free access.

SITE GRADING:

Refer to Site Grading Plan prepared by MTE Consultants, Drawing C2.1, Revision 4, for the purposes of obtaining site grading information.

Prior to commencing construction, all required hoarding, in accordance with the Ontario Occupational Health & Safety Act and Regulations for construction projects, must be erected and then maintained throughout all phases of the project.

SITE PLAN LEGEND

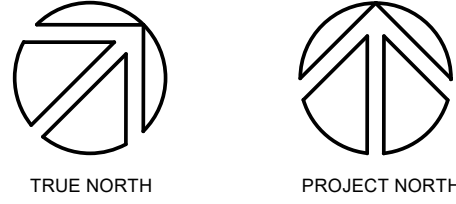
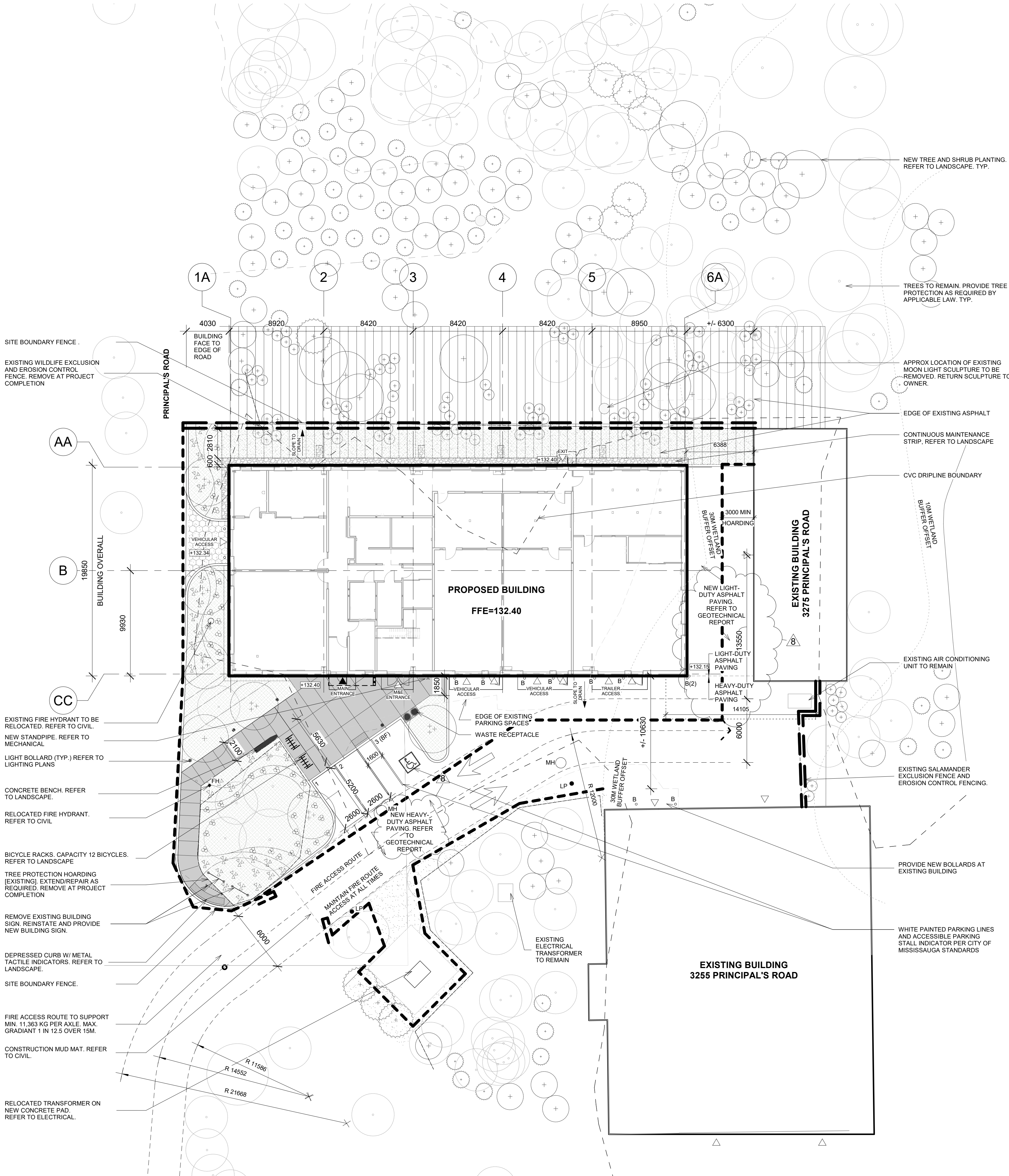
- AREA OF WORK BOUNDARY LINE AND SITE BOUNDARY FENCE
- - - - - TREE PROTECTION HOARDING. REFER TO CIVIL
- - - - - CVC DRIPLINE BOUNDARY
- WETLAND BUFFER ZONE
- ===== SALAMANDER EXCLUSION AND EROSION CONTROL FENCING (EXISTING).
- AREA OF PLANTING. REFER TO LANDSCAPE
- WOODLAND BUFFER ZONE
- TURFSTONE PAVING. REFER TO LANDSCAPE
- CONCRETE PAVING. REFER TO LANDSCAPE
- STONE MAINTENANCE STRIP. REFER TO LANDSCAPE
- B CONC. FILLED STEEL BOLLARD
- MH MANHOLE. REFER TO CIVIL
- FH FIRE HYDRANT. REFER TO CIVIL
- LP POLE MOUNTED LIGHT FIXTURE.

SITE PLAN NOTES

- GC TO PROVIDE CONTINUOUS CCTV MONITORING OF SITE THROUGHOUT CONSTRUCTION. REFER TO SECURITY.
- SAFE ACCESS TO EXISTING ADJACENT BUILDINGS TO BE MAINTAINED THROUGHOUT CONSTRUCTION.

1 SITE PLAN

A101 Scale: 1 : 200



No.	ISSUANCE	DATE
1	Issued for Class C Costing	2023-12-06
2	Issued for PEB Scope RFP	2023-12-15
3	Issued for 100% SD	2023-12-21
4	Issued for SPA	2024-02-09
5	Issued for Design Development Costing	2024-03-28
6	Issued for Permit	2024-11-08
7	Issued for Tender	2024-11-25
8	Issued for Architectural Addendum #1	2024-12-17

CLIENT

University of Toronto Mississauga

PROJECT

Pre-Engineered Building

3265 Principal's Road, Mississauga, Ontario

TITLE

SITE PLAN

architects
Baird Sampson Neuert

416.363.8877 bsnarchitects.com

SEAL	
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DATE:	05/07/20		
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A101

1. LAYOUT AND DIMENSIONS OF WALL SEGMENTS AND OPENING WIDTHS ARE BASED ON A NOMINAL 1067 (42") INSULATED METAL PANEL MODULE. OWNER'S PRE-ENGINEERED BUILDING CONTRACTOR TO CONFIRM PANEL SIZE. POSITIONING AND WIDTH OF OPENINGS MAY NEED TO BE ADJUSTED IF AN ALTERNATIVE INSULATED METAL PANEL IS USED. BASIS OF CONTRACT TO ASSUME 1067mm NOMINAL INSULATED METAL PANEL WIDTH.

2. REFER TO PLANS FOR HORIZONTAL POSITION OF WINDOW OPENINGS AND INSULATED METAL PANEL MODULES



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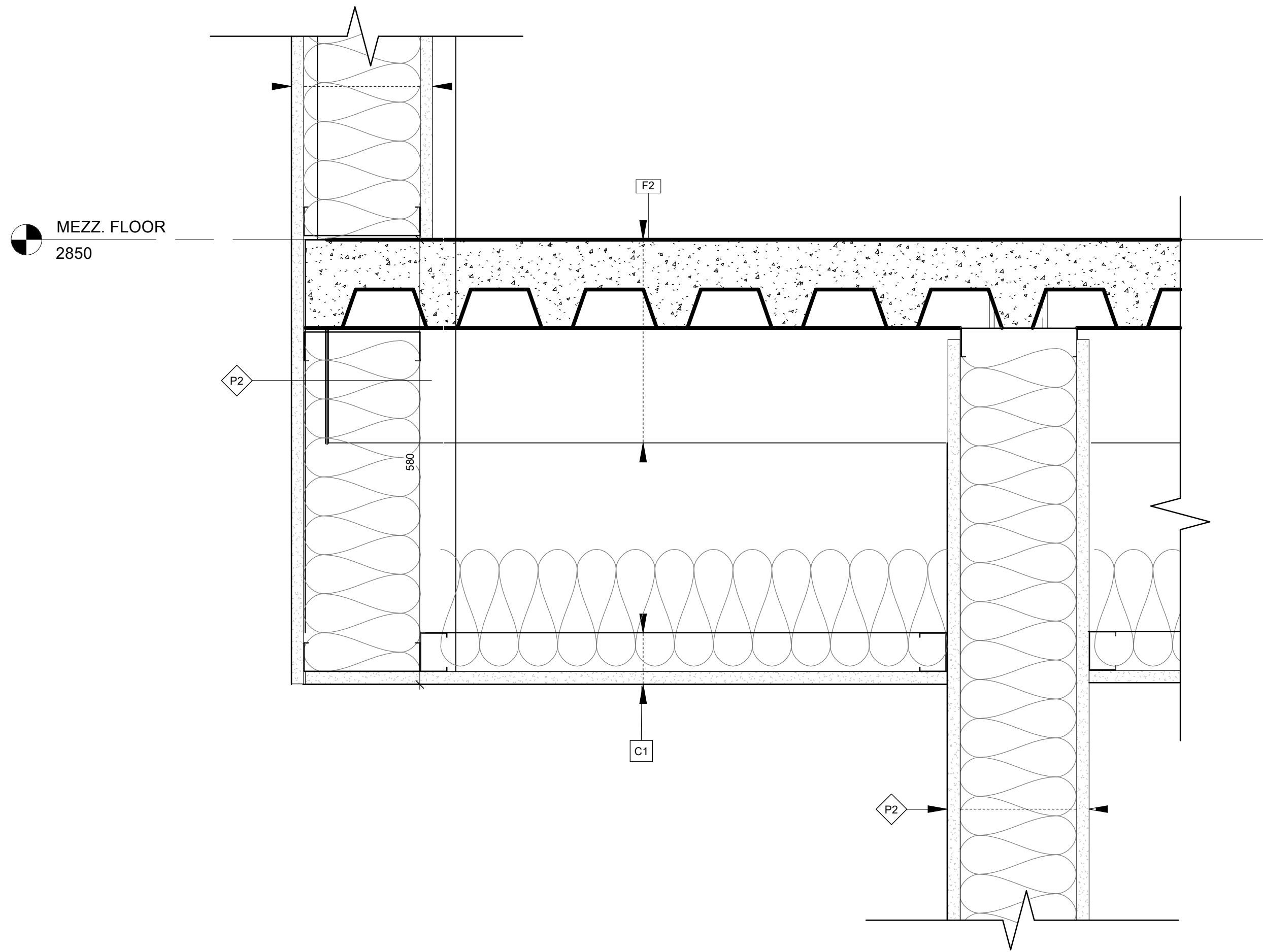
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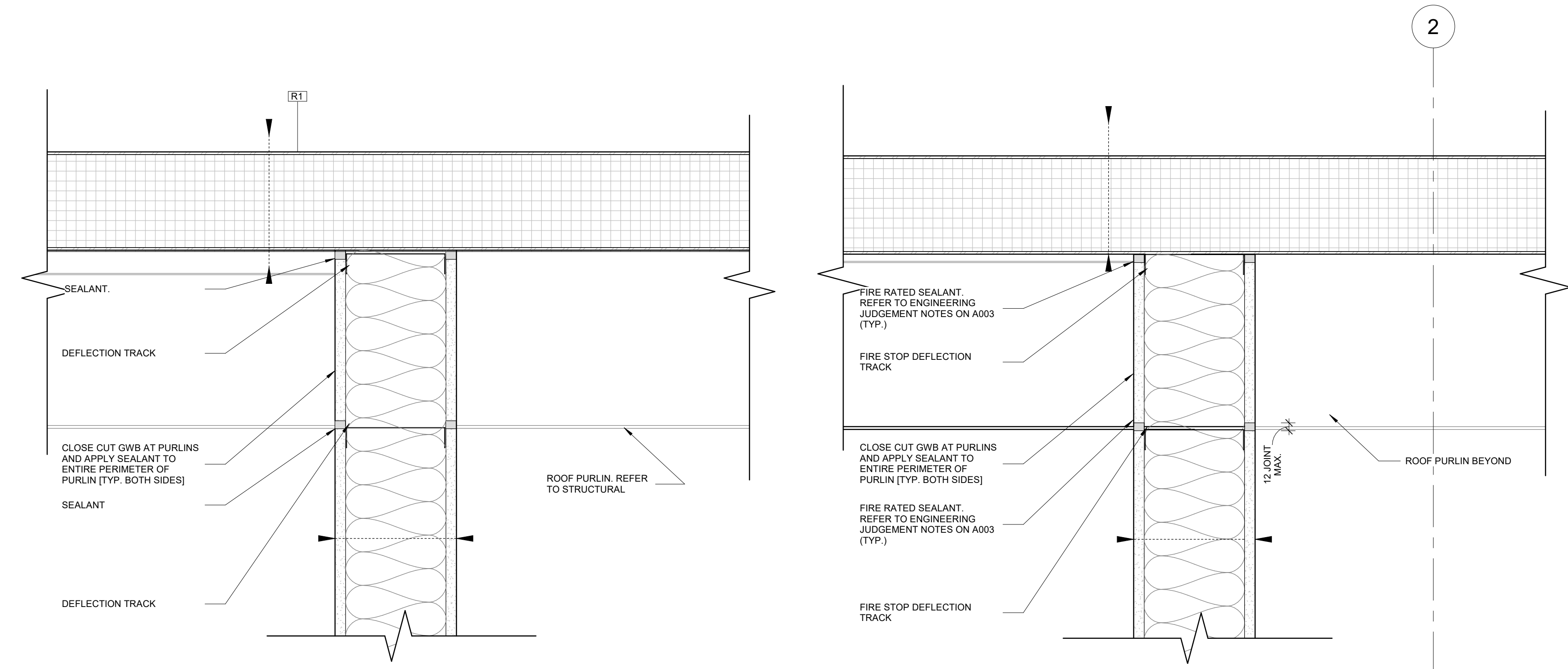
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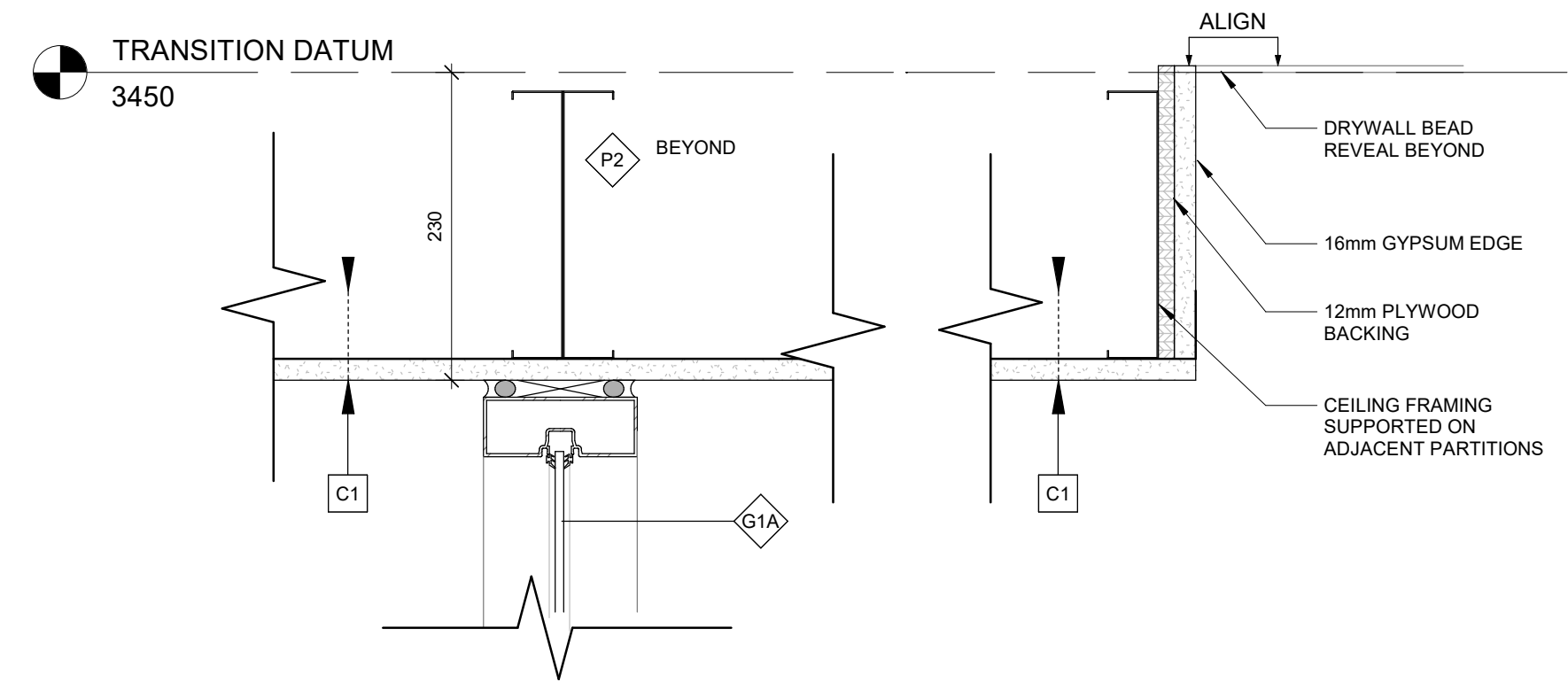


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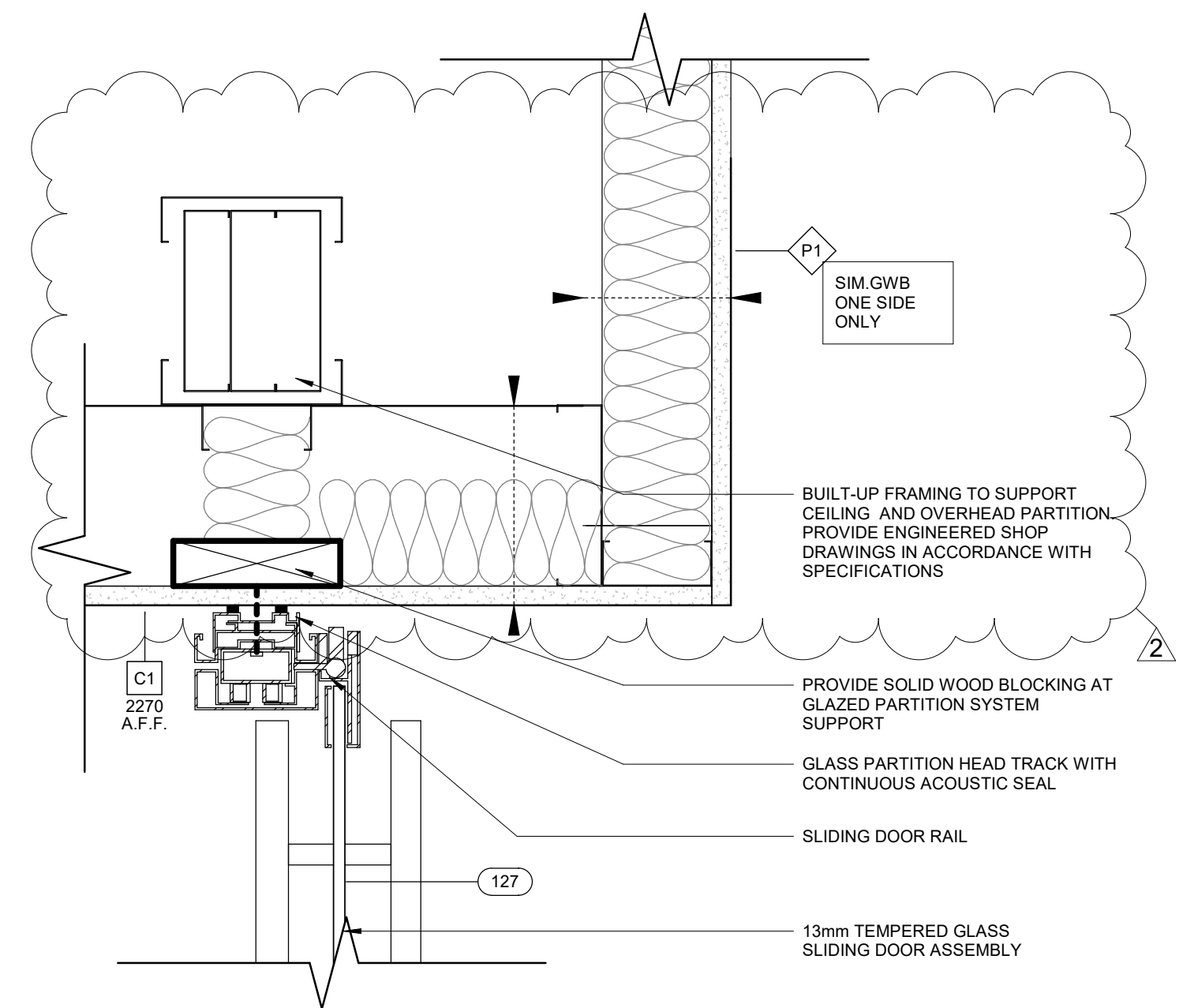


3 SECTION DETAIL - TYPICAL PARTITION AT ROOF
A602 Scale: 1 : 5

4 SECTION DETAIL - TYPICAL FIRE-RATED PARTITION AT ROOF
A602 Scale: 1 : 5



2 SECTION DETAIL - VESTIBULE CEILING
A602 Scale: 1 : 5



5 SECTION DETAIL - BULKHEAD @ FLOATING OFFICE
A602 Scale: 1 : 5

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TITLE

SECTION DETAILS - INTERIOR

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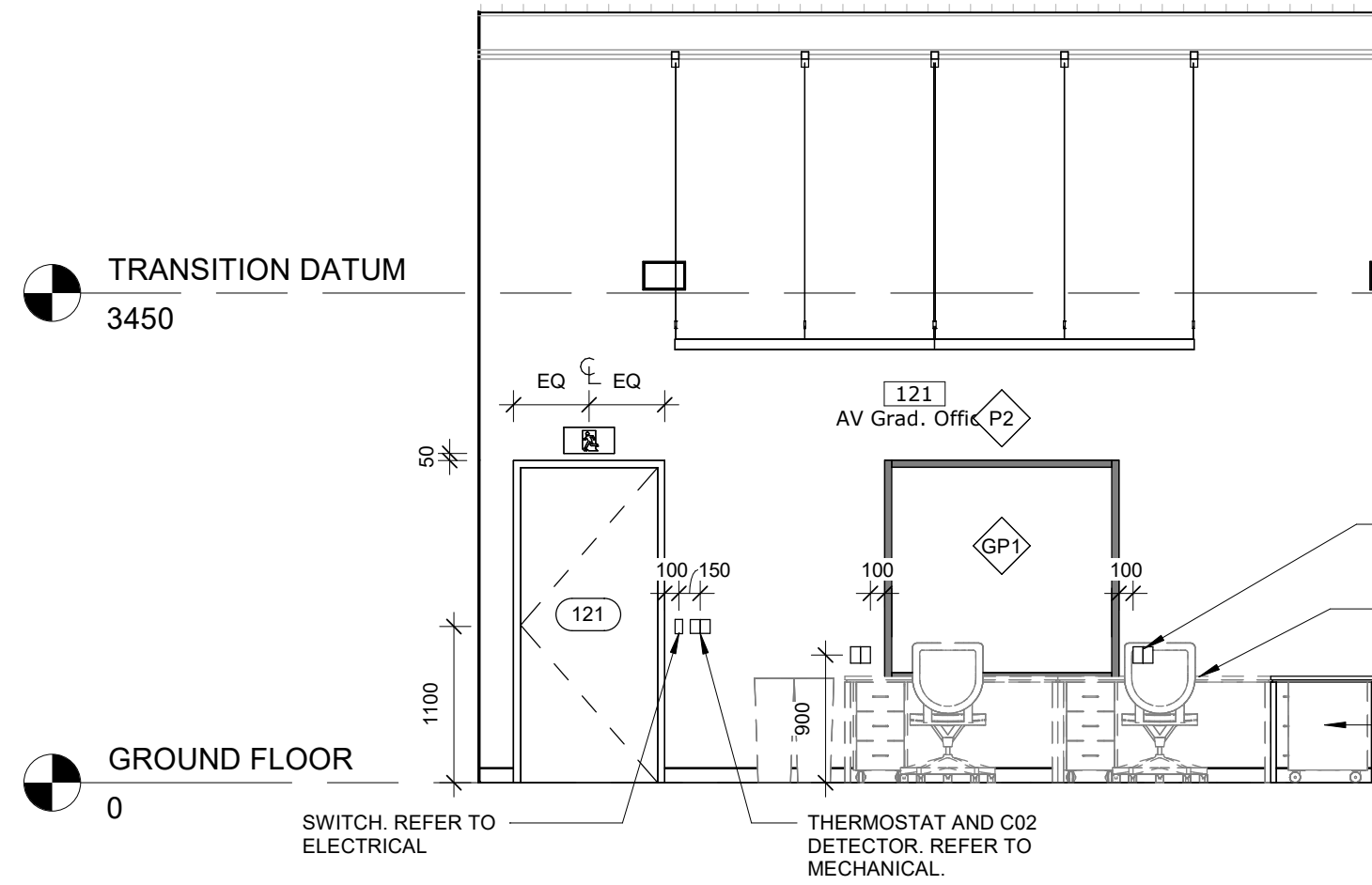
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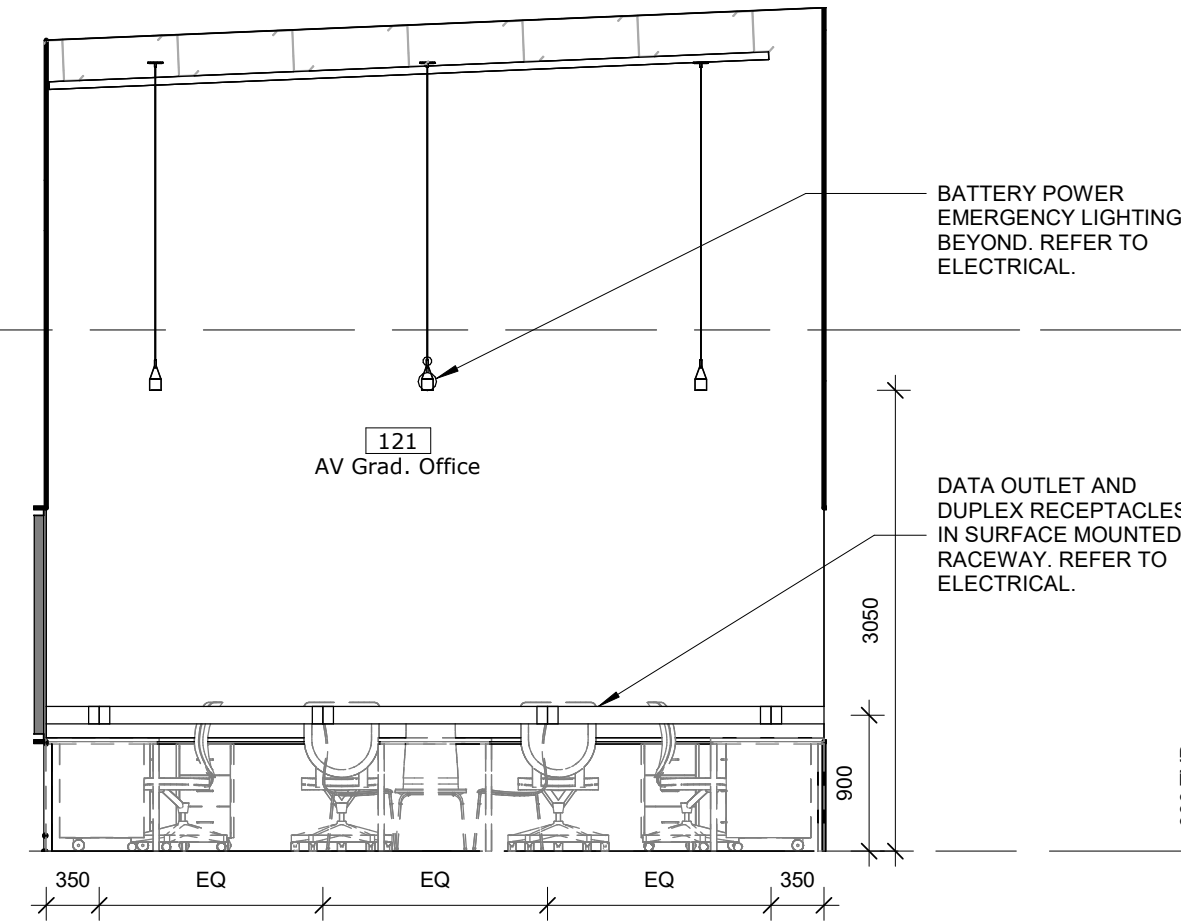
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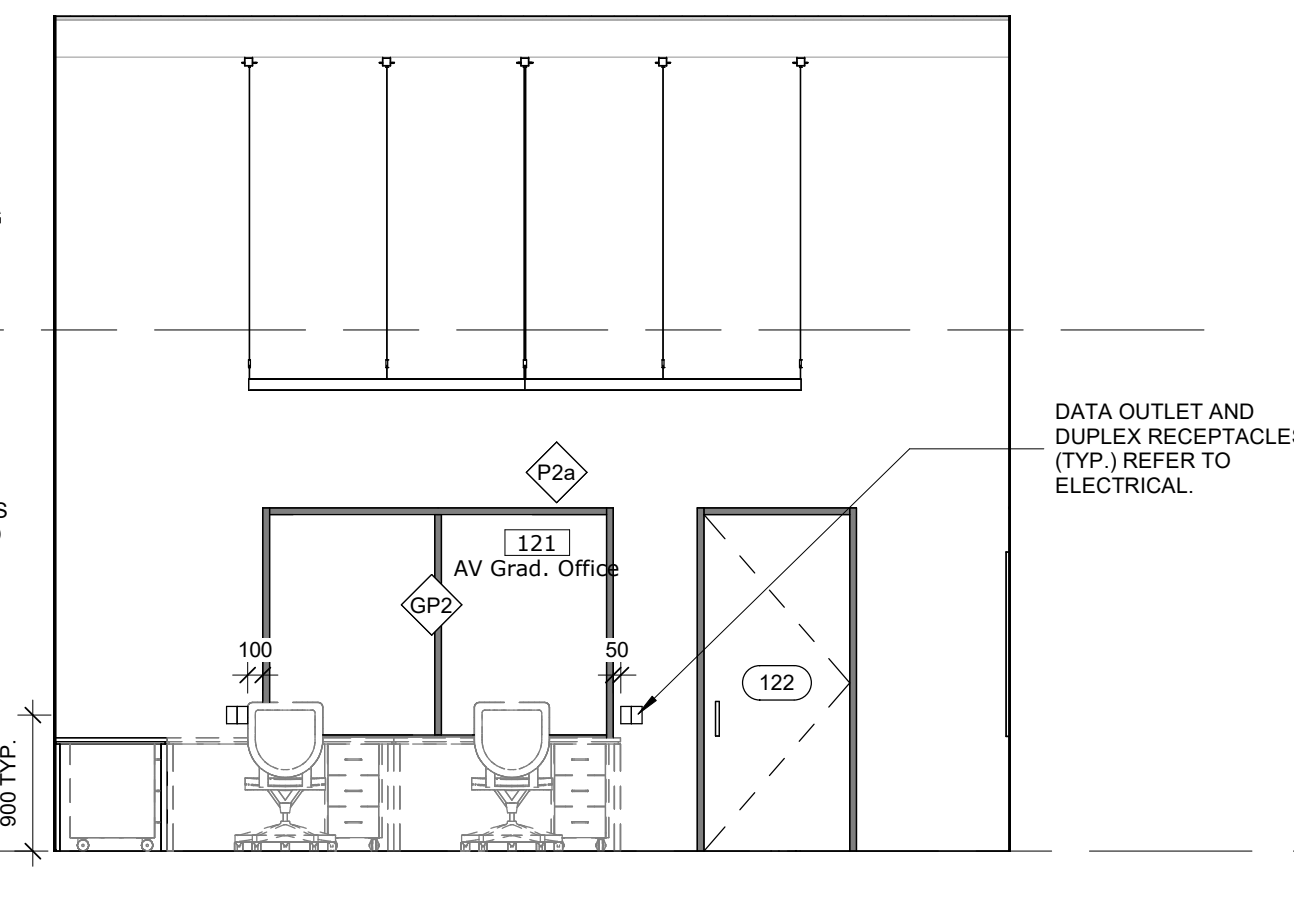
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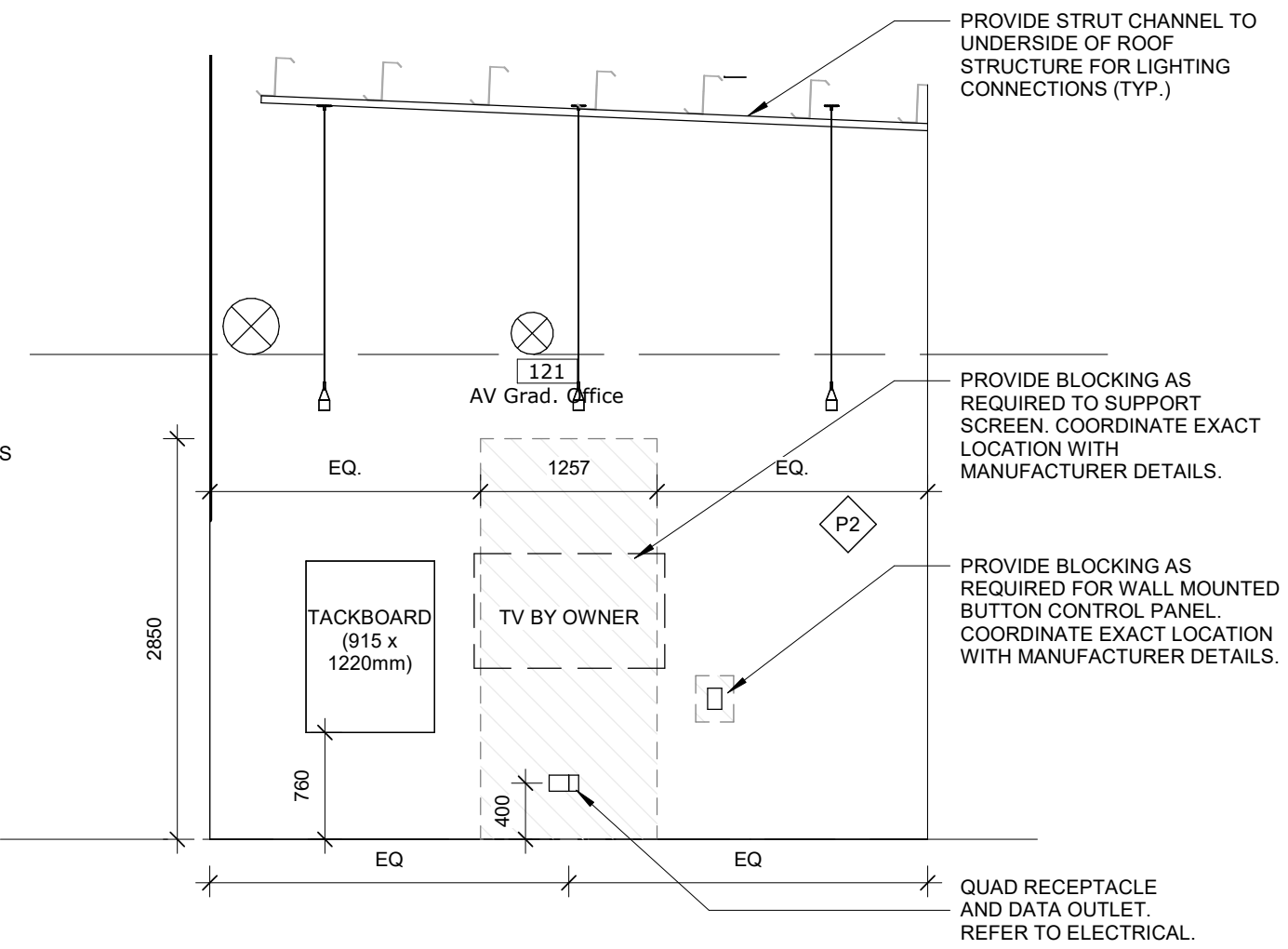
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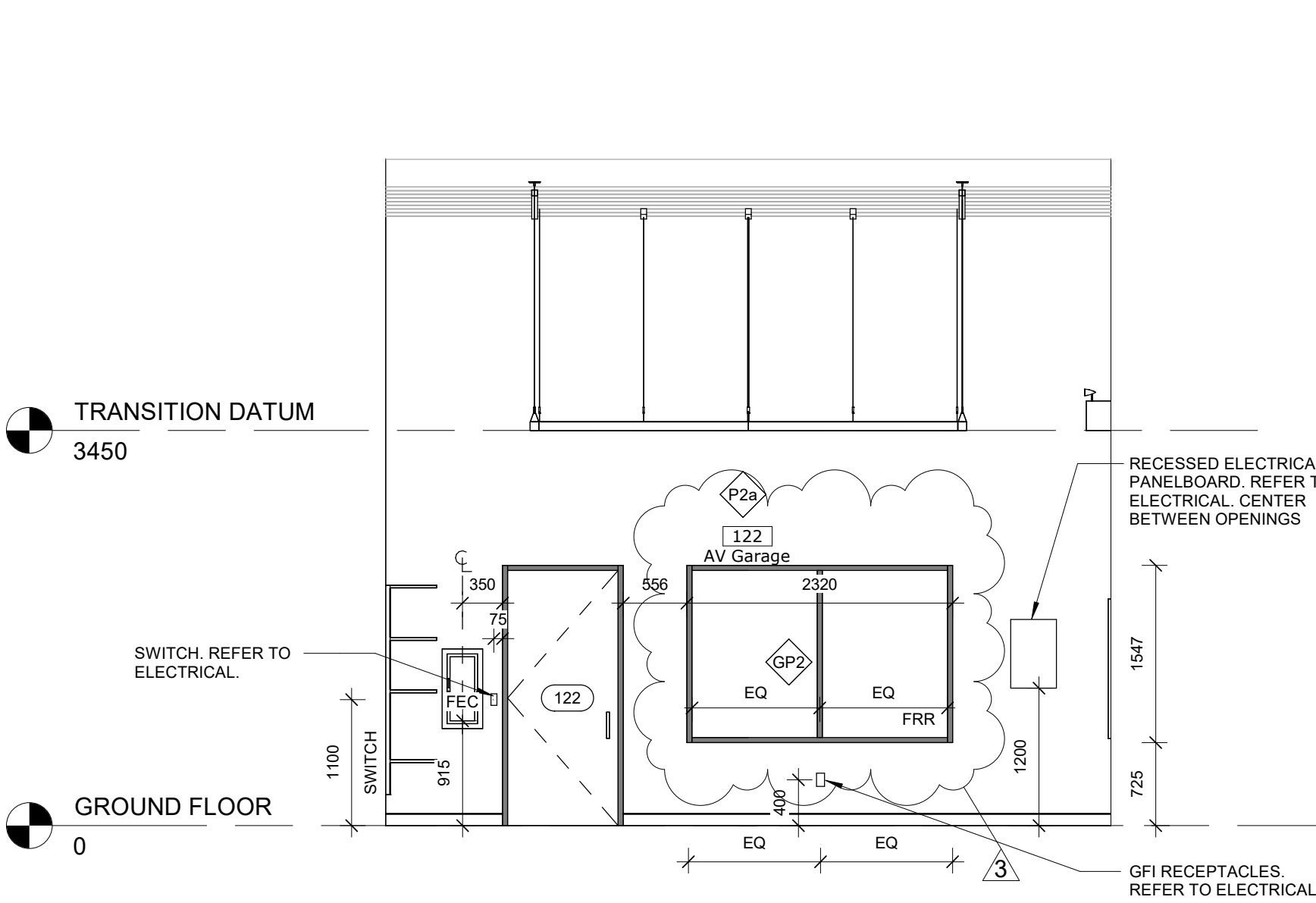
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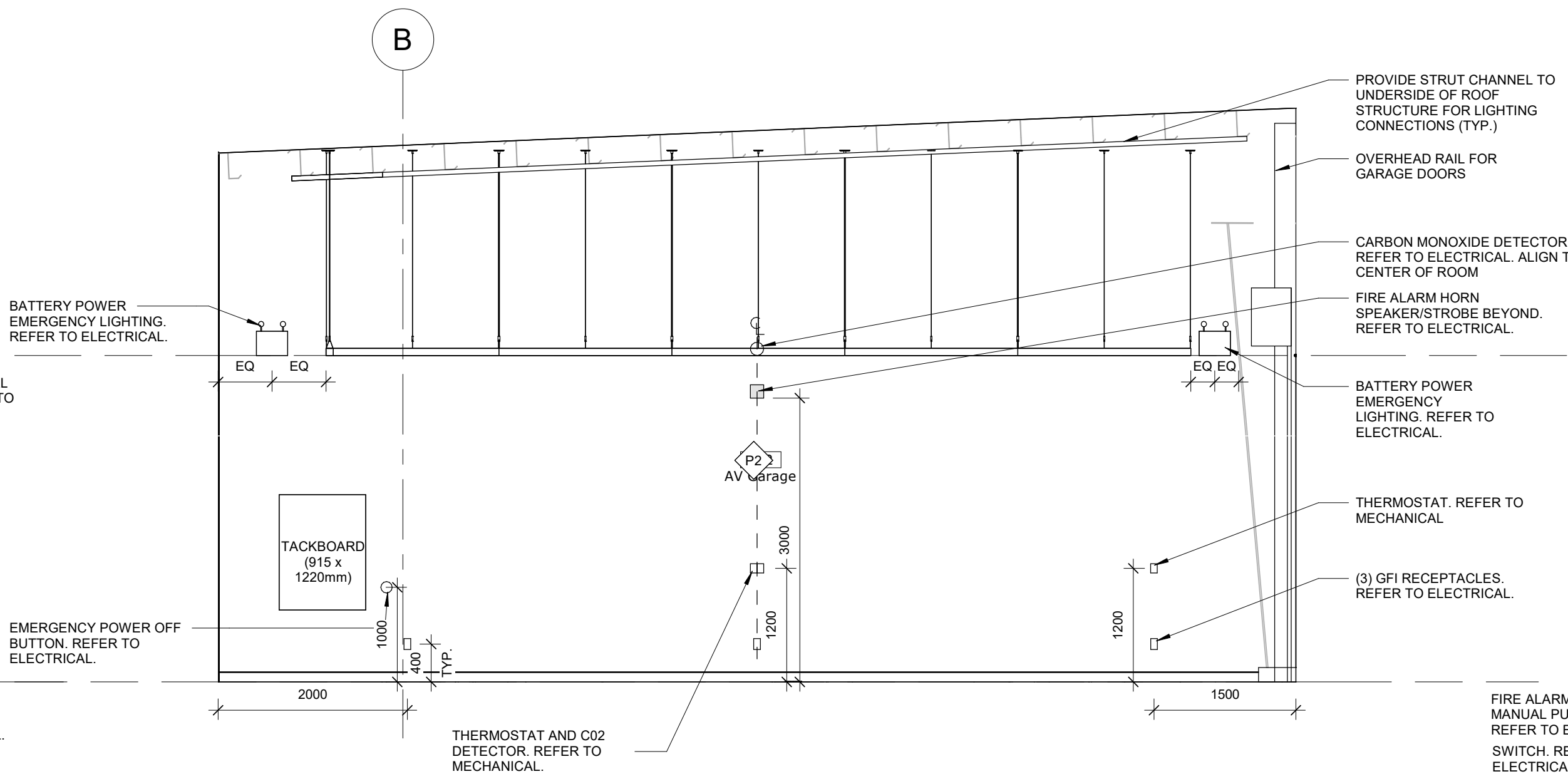
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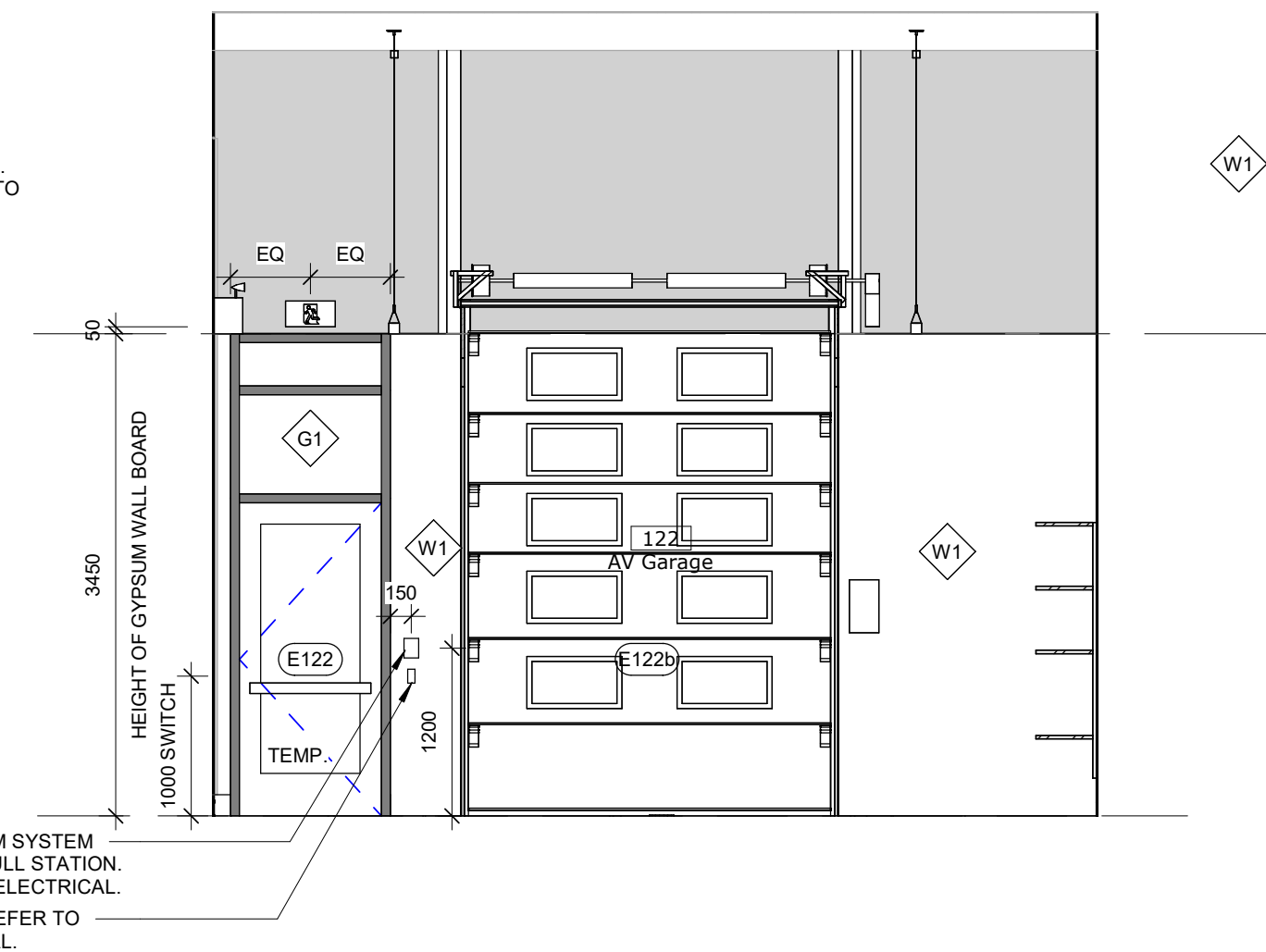
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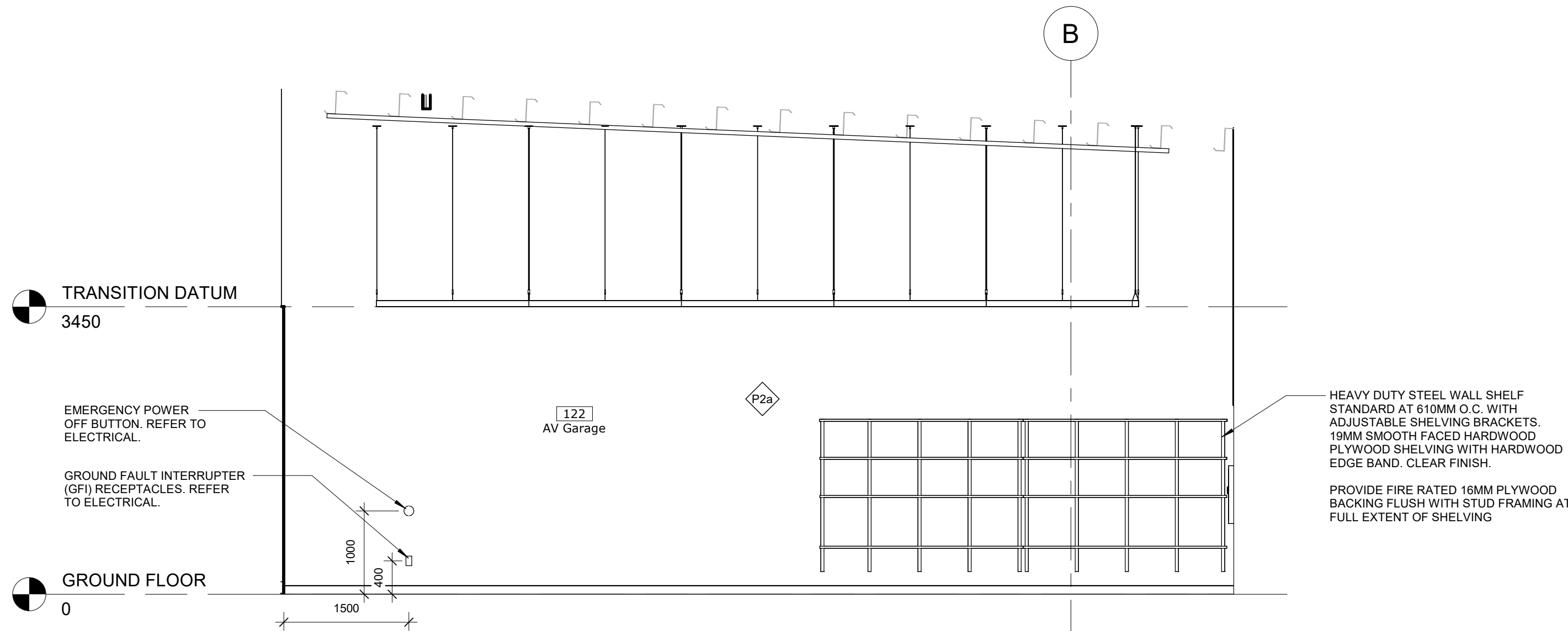
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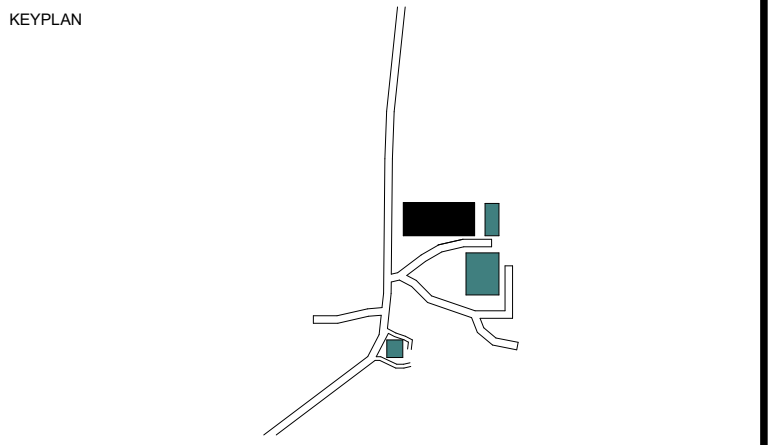
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8 INT ELEV - AV GARAGE WEST
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University of Toronto Mississauga

PROJECT
Pre-Engineered Building
3265 Principal's Road, Mississauga, Ontario

TITLE
INTERIOR ELEVATIONS

architects
Baird Sampson Neuert

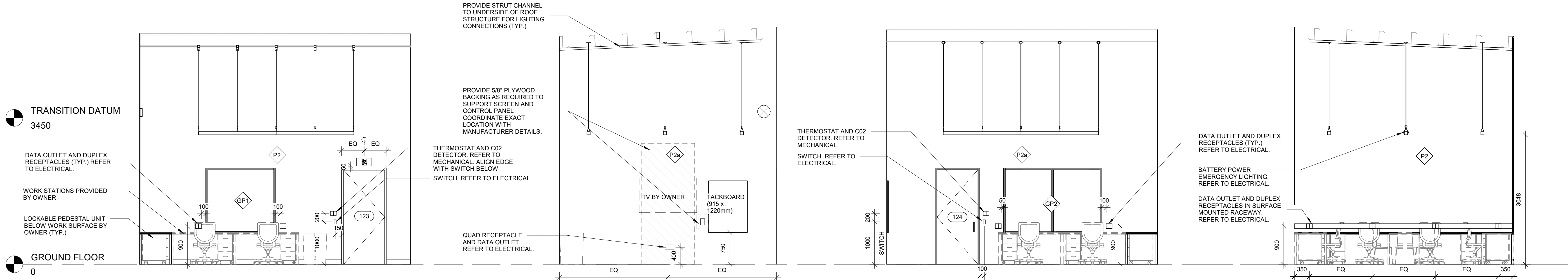
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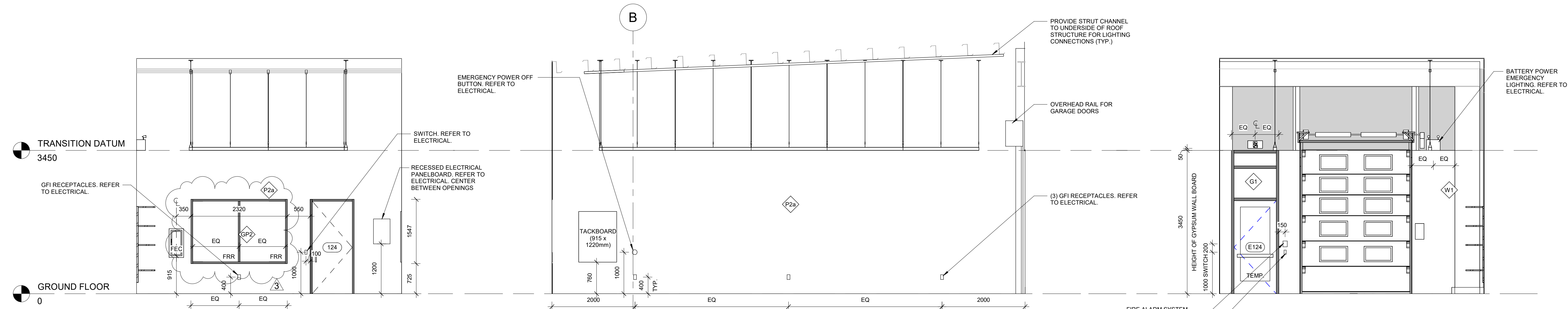


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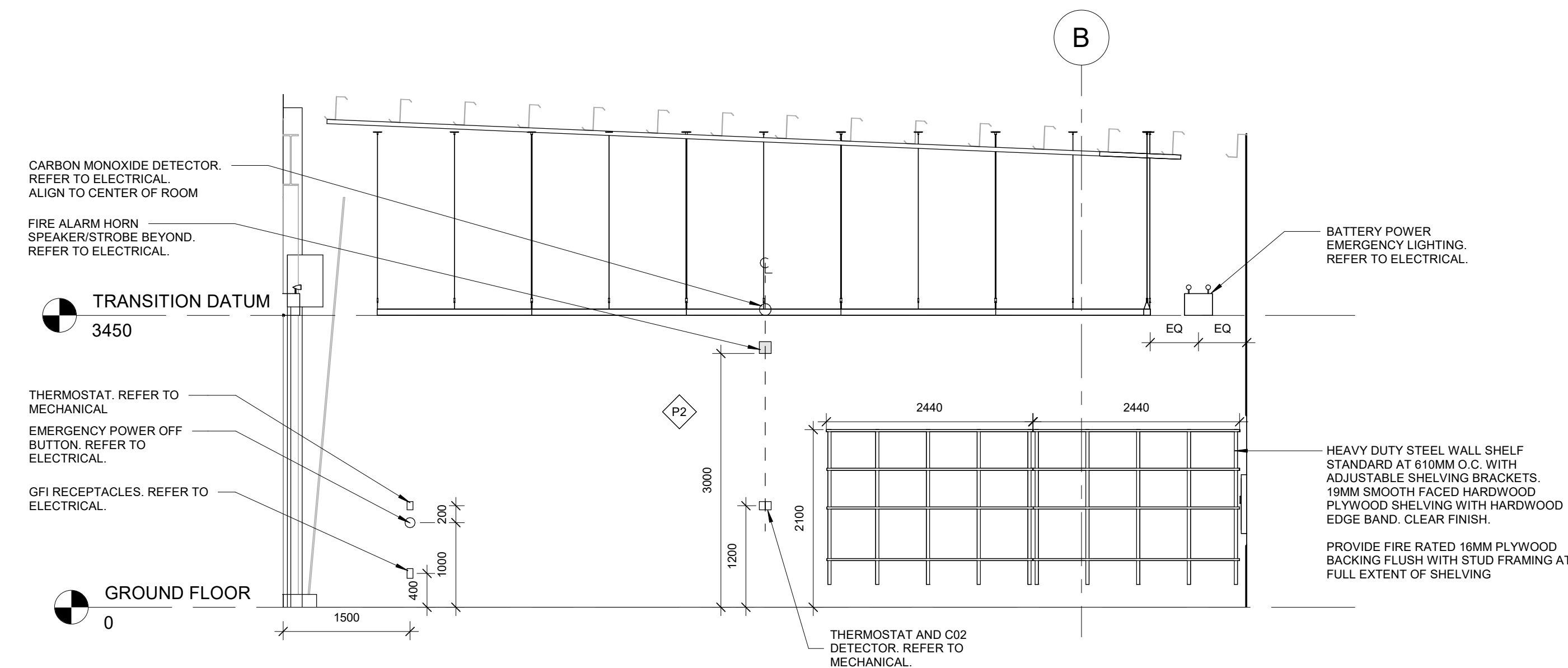
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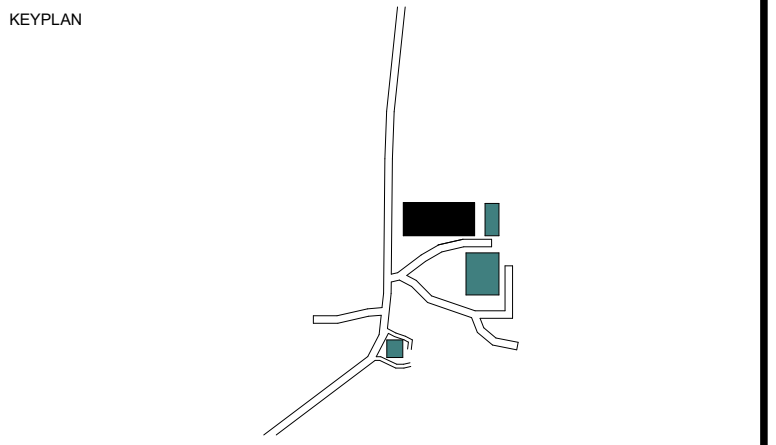
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A708 Scale: 1 : 50



8 INT ELEV - FLEX GARAGE WEST
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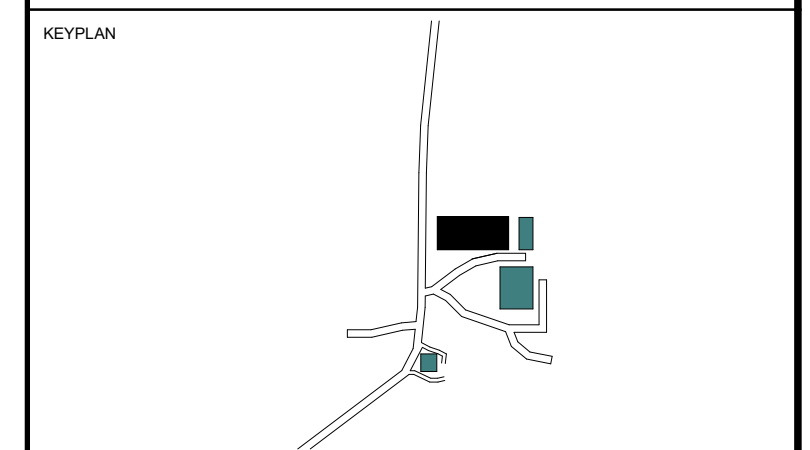
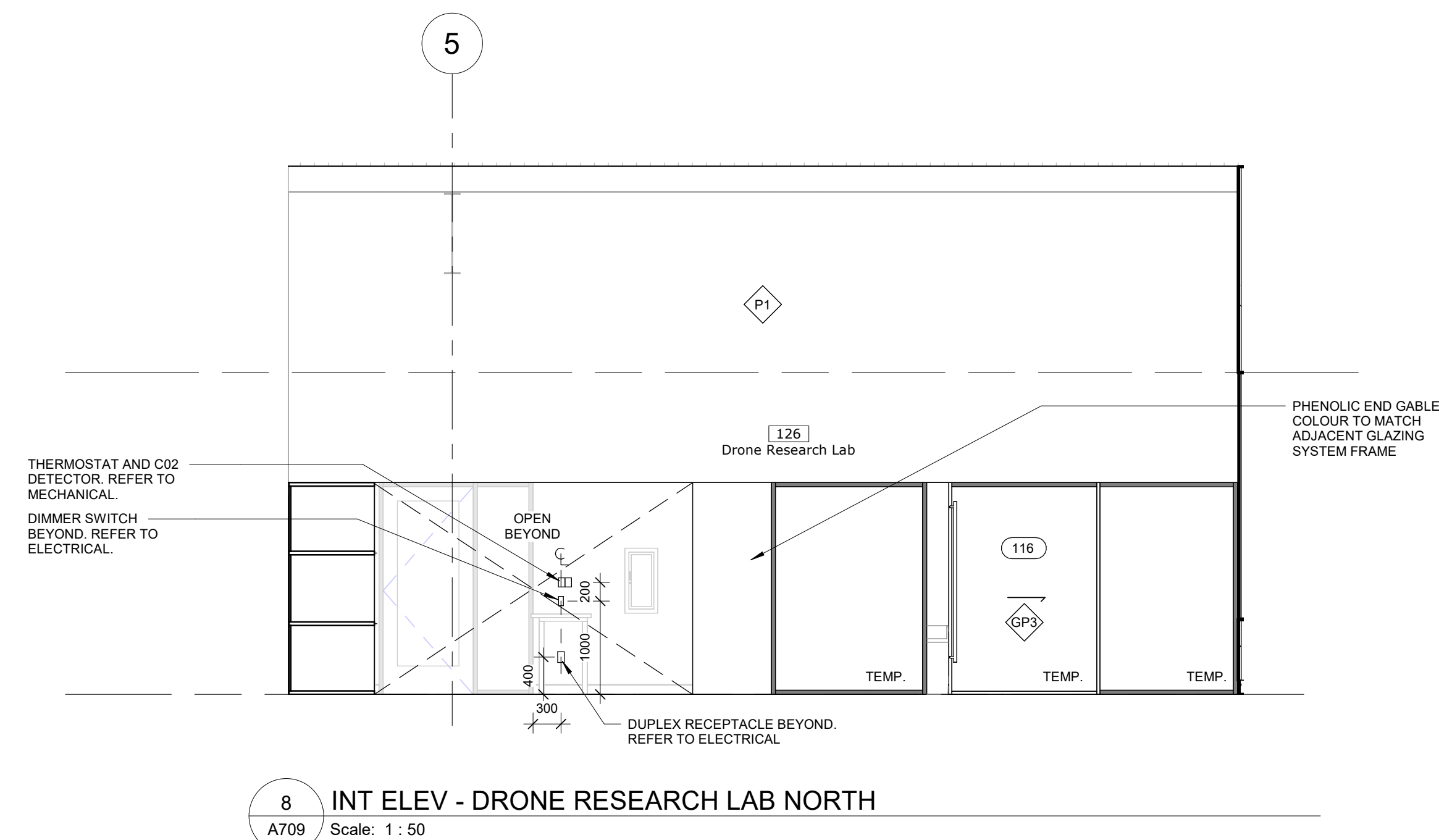
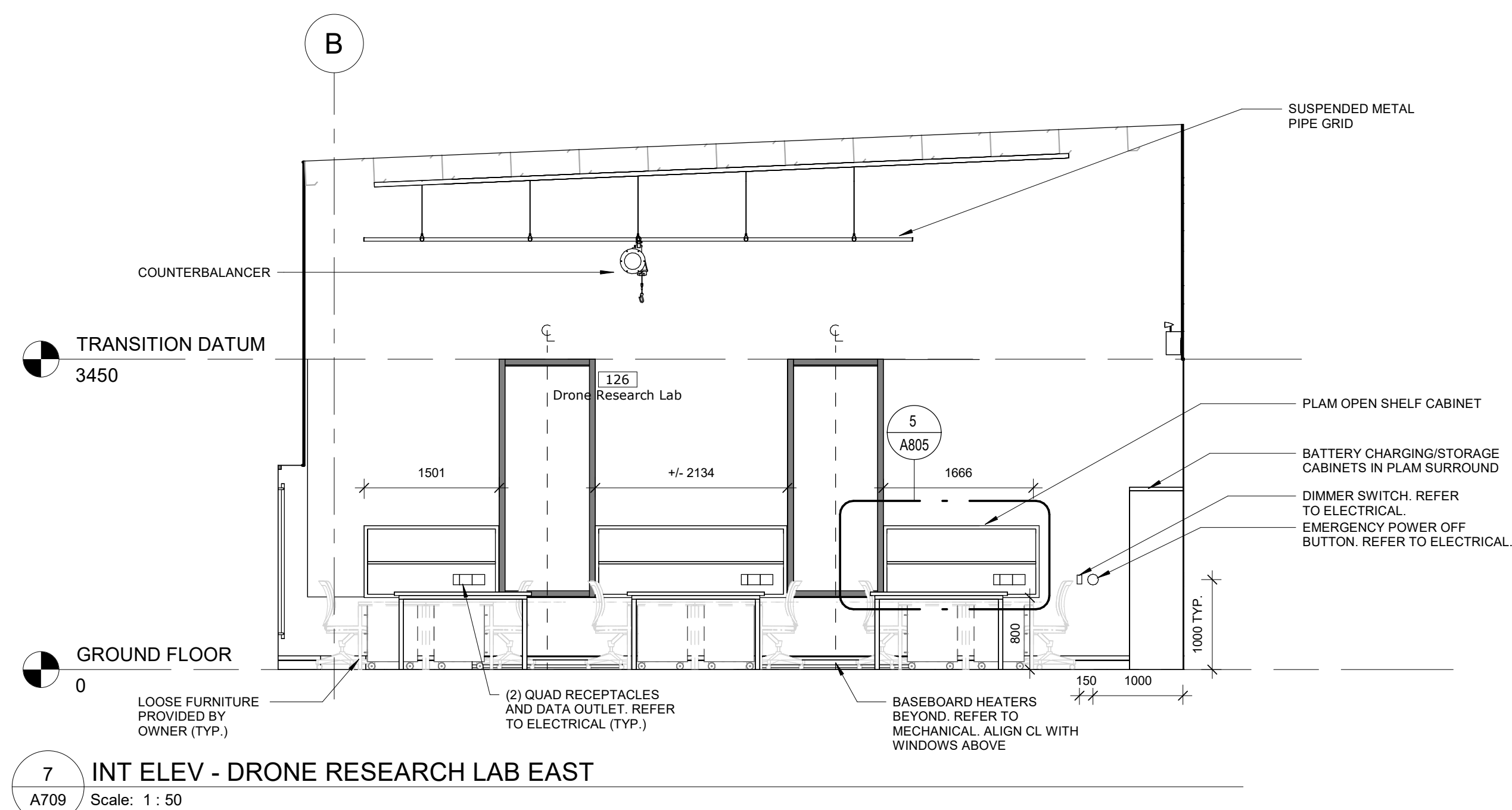
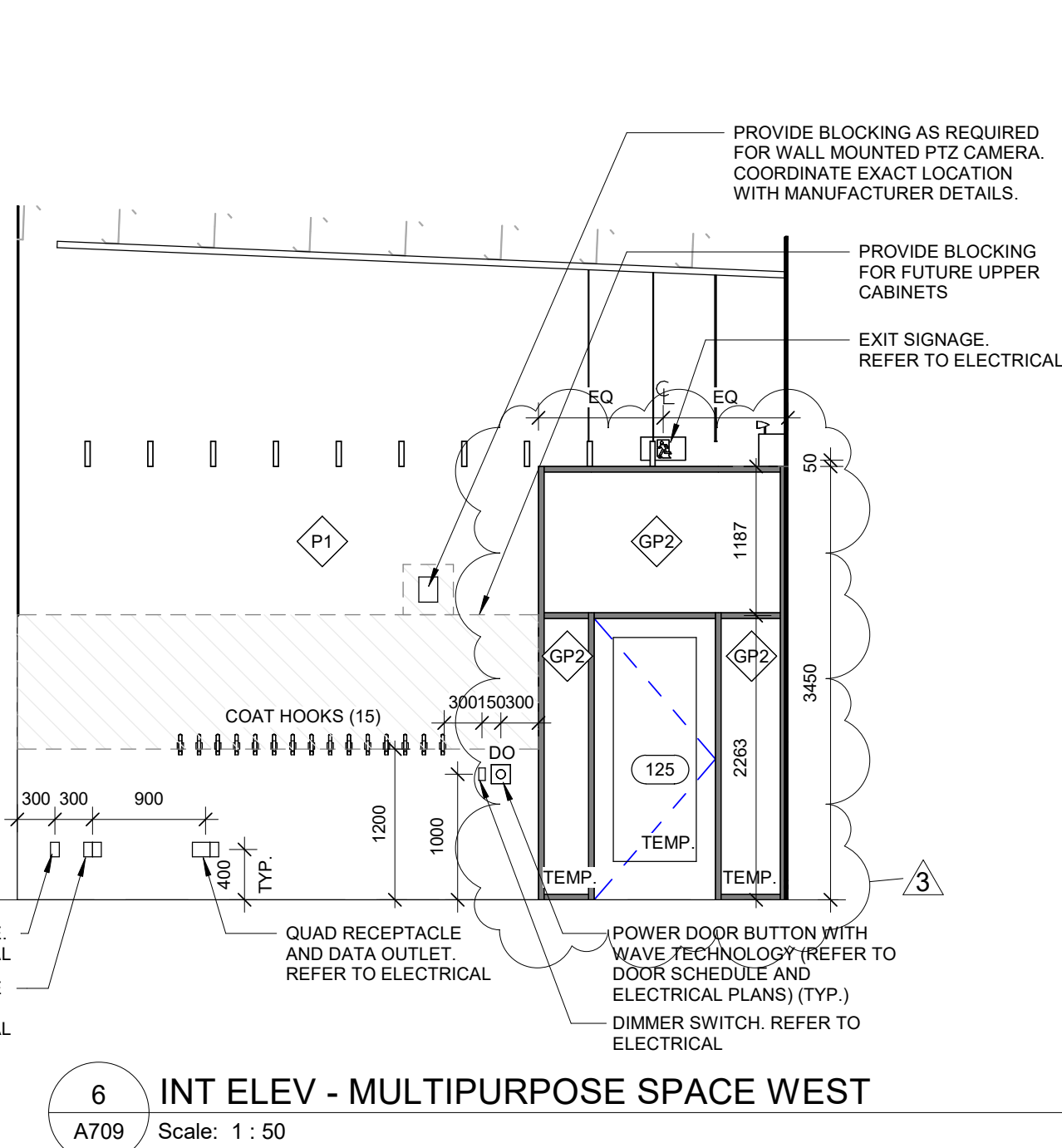
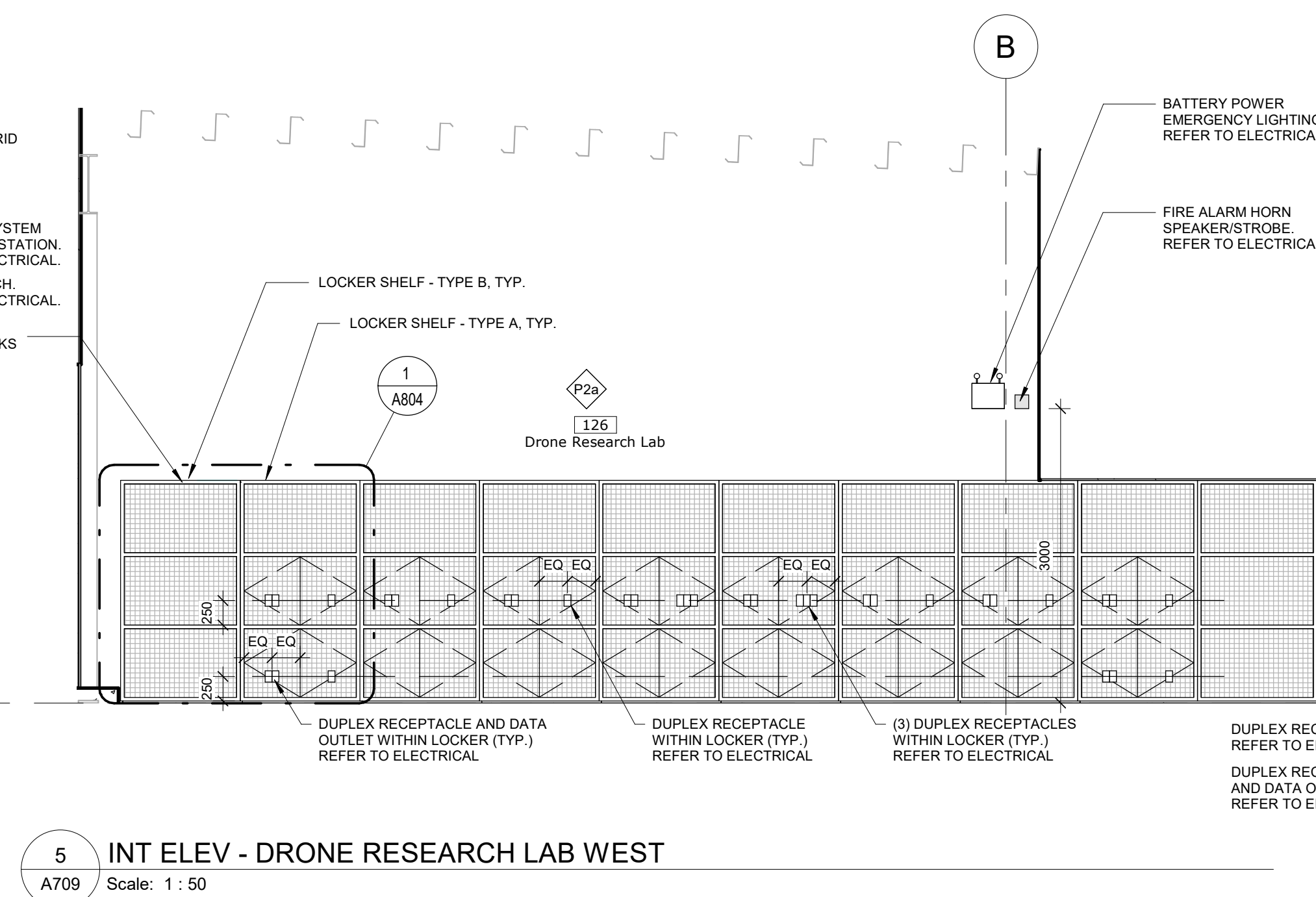
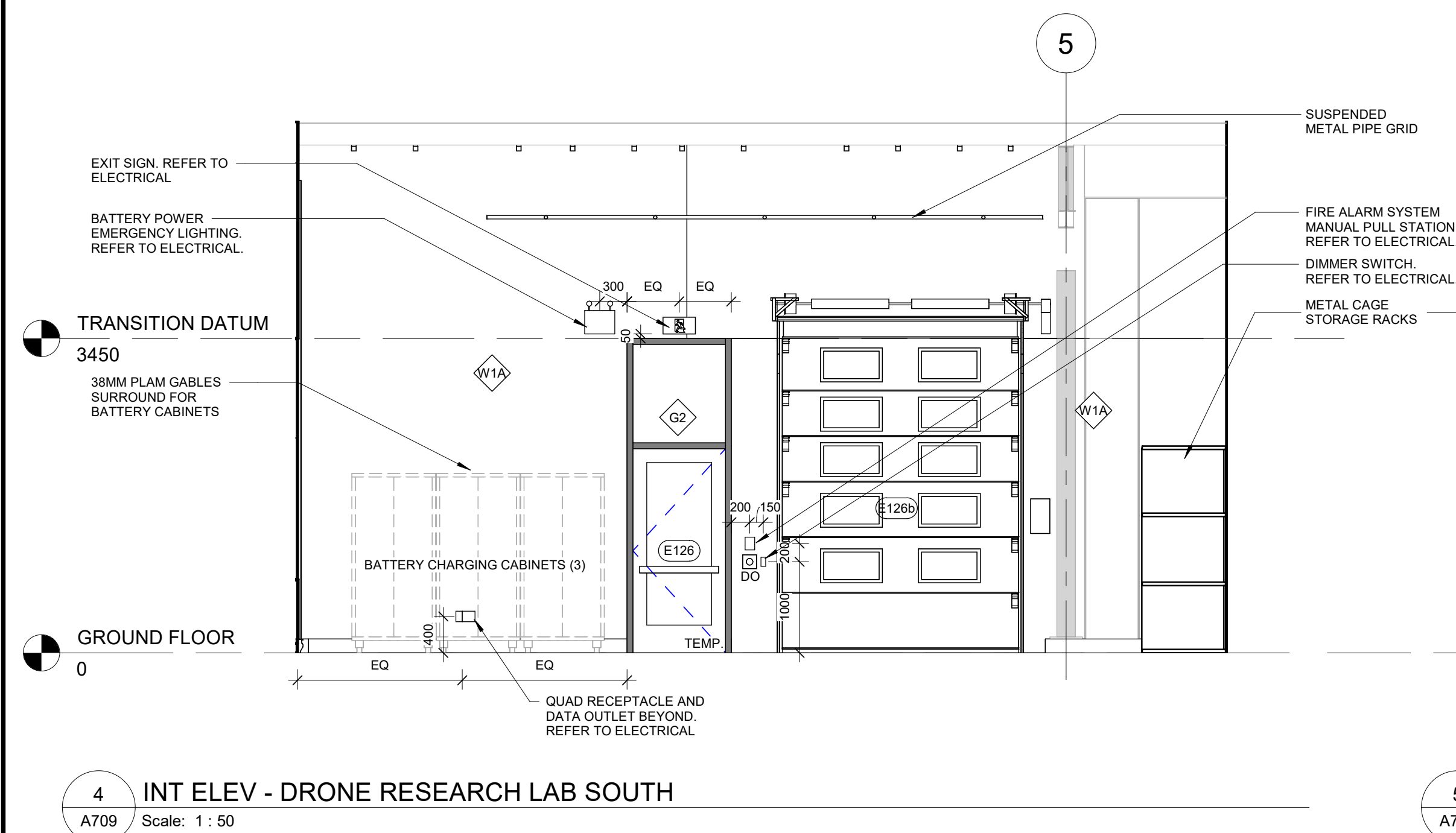
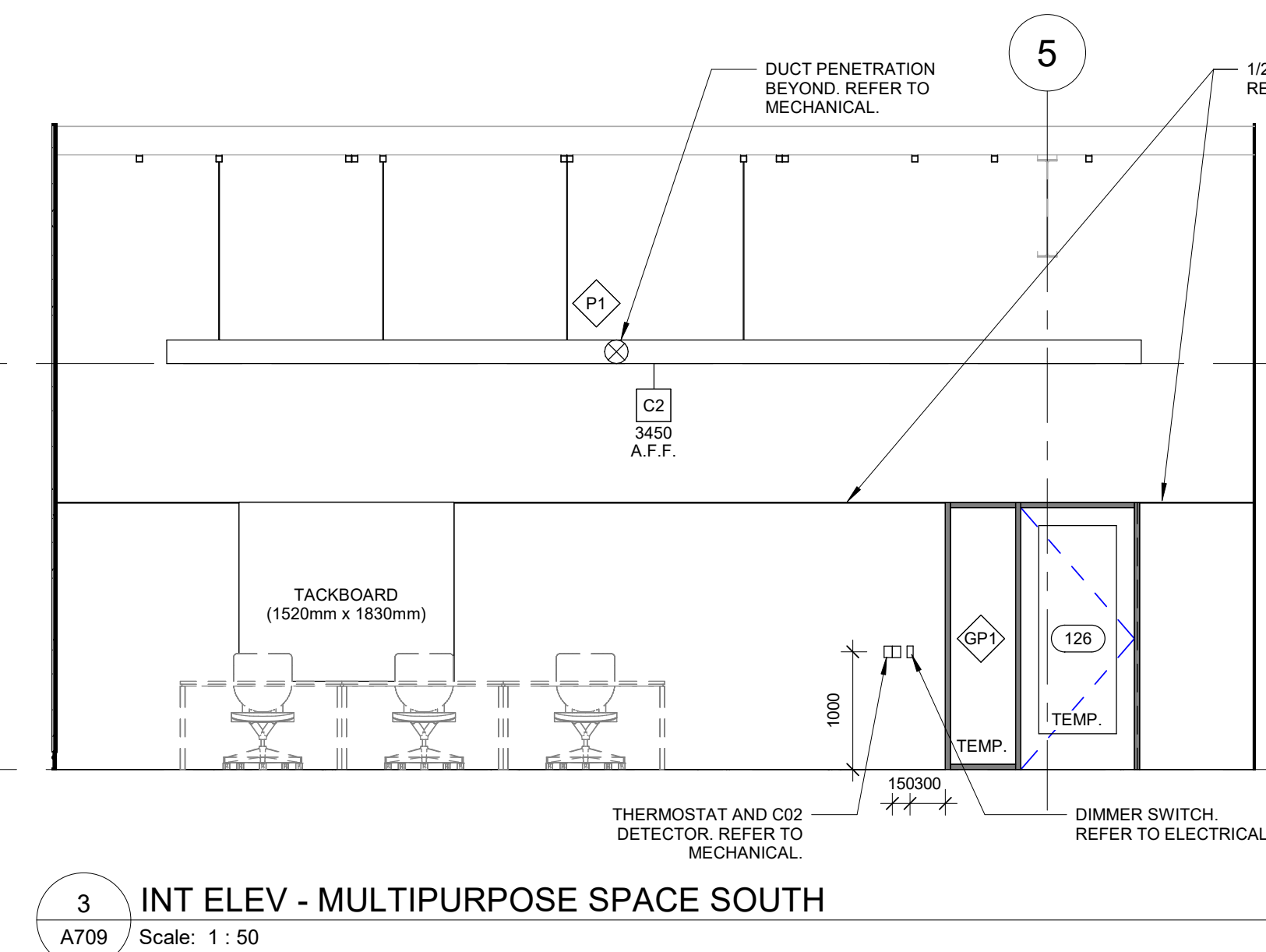
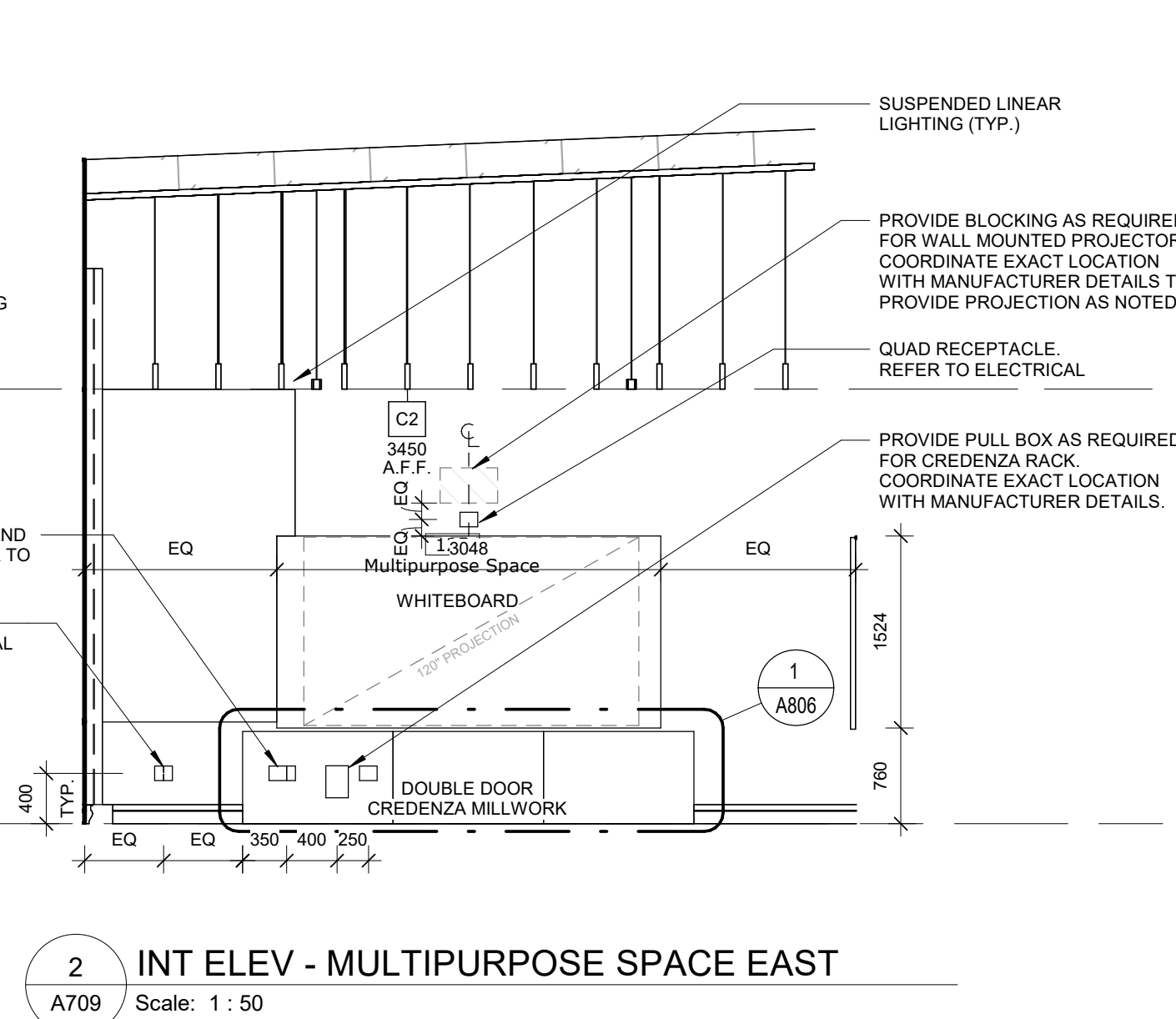
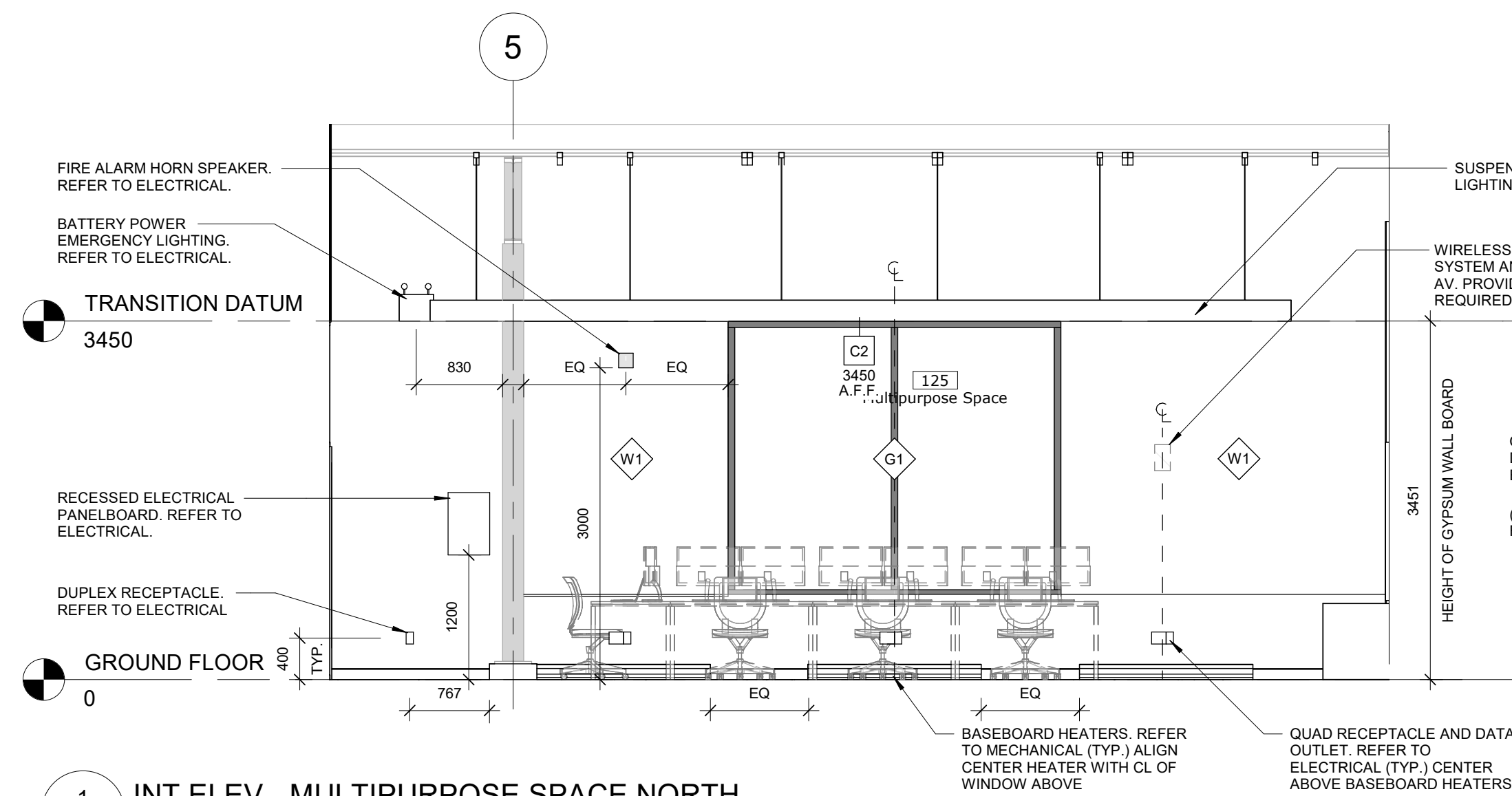
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No.	ISSUANCE	DATE
1	Issued for Design Development Costing	2024-03-28
2	Issued for Tender	2024-11-25
3	Issued for Architectural Addendum #1	2024-12-17

CLIENT

University of Toronto Mississauga

PROJECT
Pre-Engineered Building

3265 Principal's Road, Mississauga, Ontario

TITLE

INTERIOR ELEVATIONS

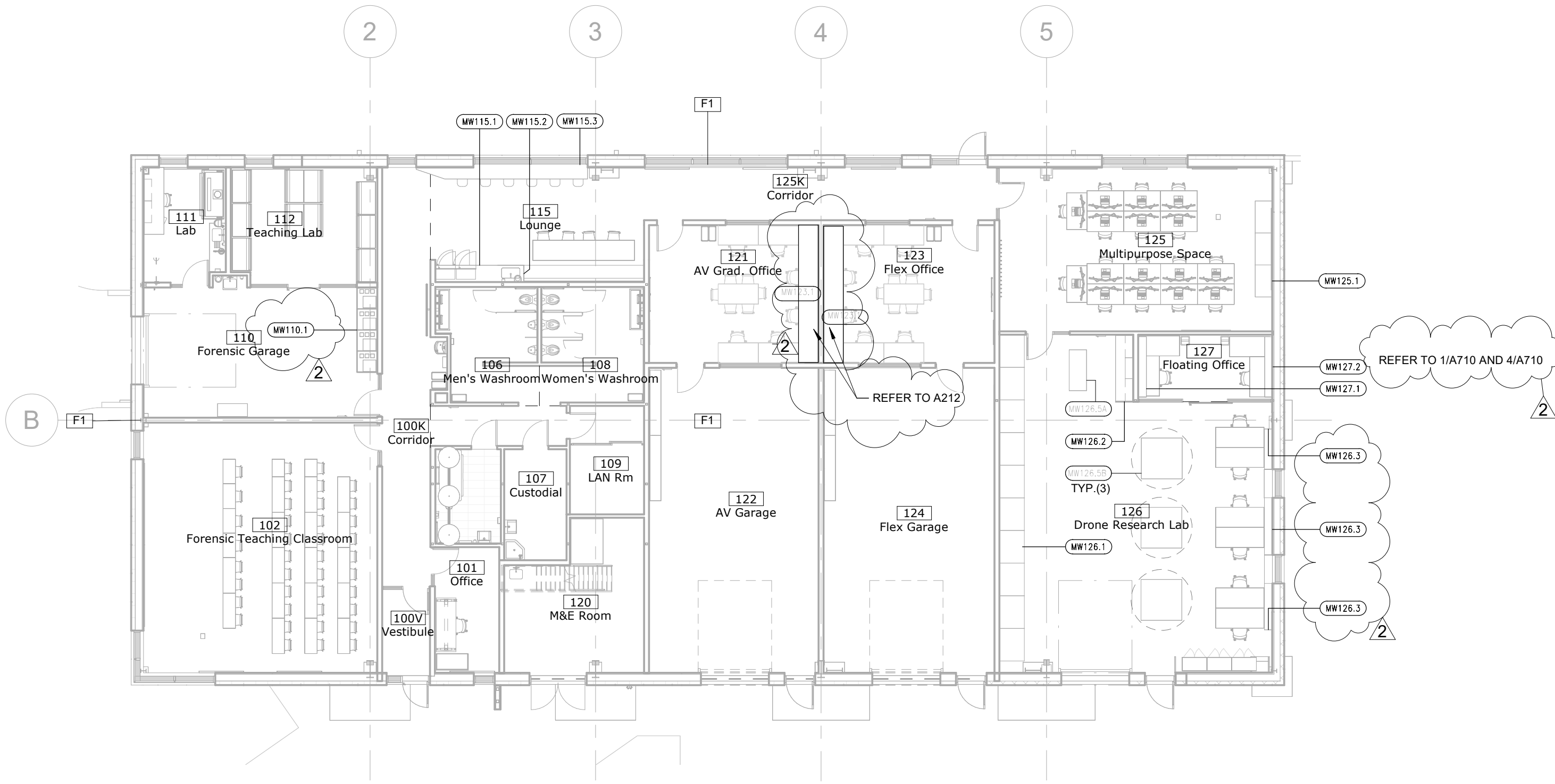
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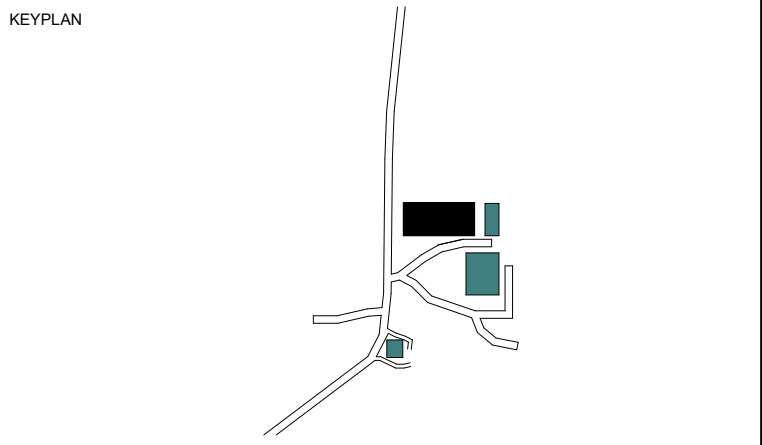
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1 MILLWORK KEY PLAN
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No.	ISSUANCE	DATE
1	Issued for Tender	2024-11-25
2	Issued for Architectural Addendum #1	2024-12-17

CLIENT

University of Toronto Mississauga

PROJECT

Pre-Engineered Building

3265 Principal's Road, Mississauga, Ontario

TITLE

MILLWORK SCHEDULE KEY
PLAN

 architects
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