

BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY STREET (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ONTARIO



LAKERIDGE HEALTH CORPORATION

DRAWING LIST:

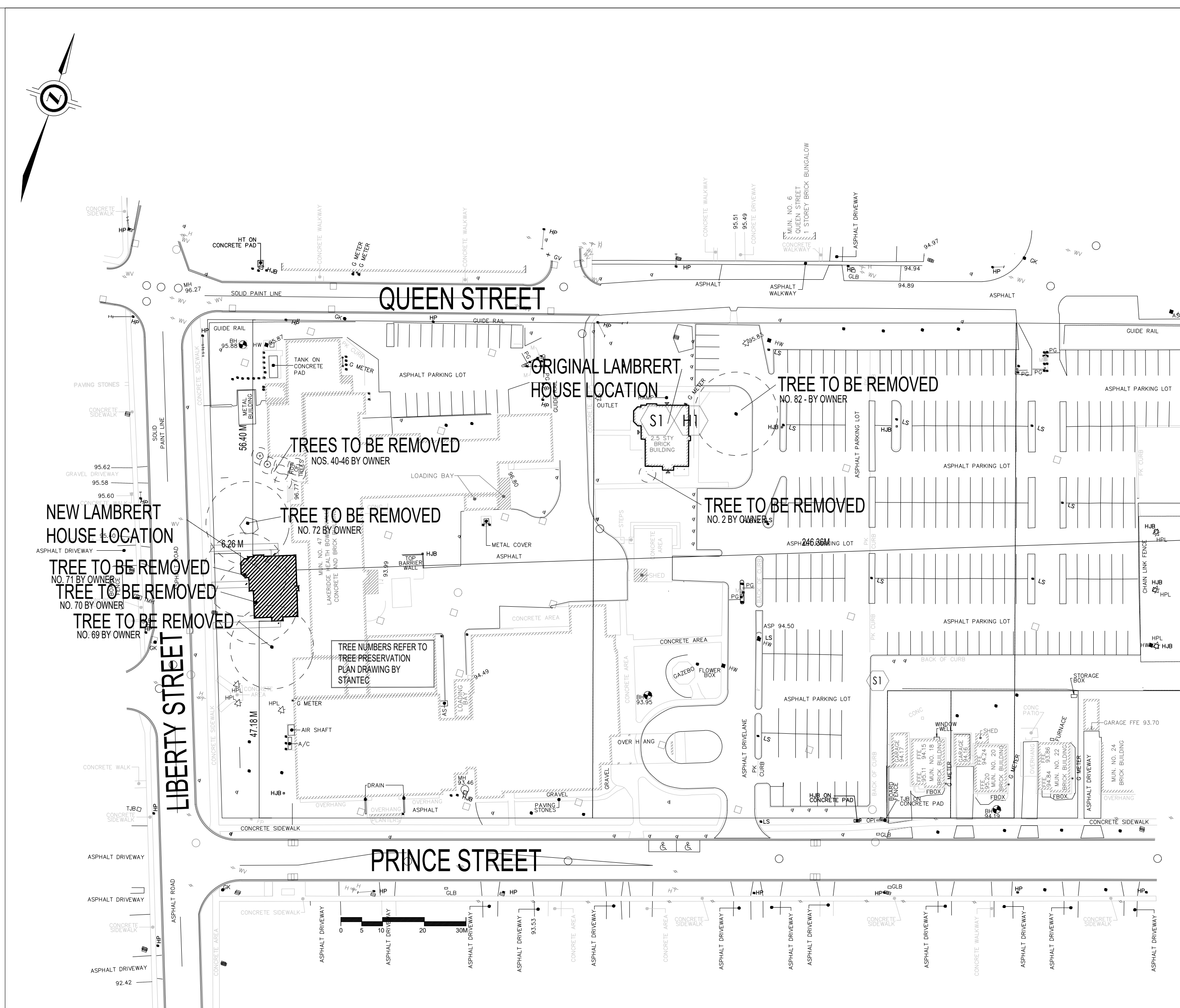
ARCHITECTURAL	
SP-100	SITE PLAN/GRADING PLAN
A1	OBC DATA MATRIX/DRAWING LIST
A2	CONSTRUCTION NOTES -1
A3	CONSTRUCTION NOTES -2
EX-1	EXISTING BASEMENT PLAN
EX-2	EXISTING GROUND FLOOR PLAN
EX-3	EXISTING SECOND FLOOR PLAN
EX-4	EXISTING ATTIC PLAN
EX-5	EXISTING FRONT (WEST) ELEVATION
EX-6	EXISTING RIGHT (SOUTH) ELEVATION
EX-7	EXISTING REAR (EAST) ELEVATION
EX-8	EXISTING LEFT (NORTH) ELEVATION
D1	DEMOLITION PLAN
A4	NEW BASEMENT PLAN
A5	EXISTING GROUND FLOOR PLAN - INTERIOR ALTERATIONS
A6	EXISTING SECOND FLOOR PLAN - INTERIOR ALTERATIONS
A7	NORTH-SOUTH BUILDING SECTION - EXTERIOR RESTORATION
A8	EXISTING FRONT (WEST) ELEVATION - EXTERIOR RESTORATION
A9	EXISTING RIGHT (SOUTH) ELEVATION - EXTERIOR RESTORATION
A10	EXISTING REAR (EAST) ELEVATION - EXTERIOR RESTORATION
A11	EXISTING LEFT (NORTH) ELEVATION - EXTERIOR RESTORATION
MECHANICAL: STANTEC	
M-LAMB-000	MECHANICAL LEGEND, SCHEDULES & DRAWING LIST
M-LAMB-001	HVAC
M-LAMB-002	PLUMBING AND DRAINAGE
M-LAMB-003	PHOTOS
M-LAMB-004	MECHANICAL DETAILS
CIVIL: STANTEC	
C101	GRADING AND SERVICING PLAN
C102	NOTES AND DETAILS



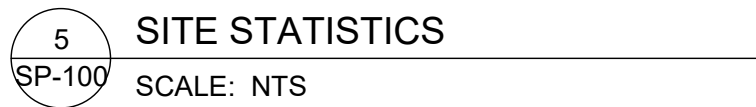
VINCENT J. SANTAMAURA,  
ARCHITECT INC.

ISSUED: FOR BID 14 NOVEMBER 2024





SITE STATS (PRELIMINARY):			
ZONING BY-LAW	= 84-63		
ZONE	= P1		
LOT AREA (GROSS)	= 2000M2	29736 M2	NO CHANGE
LOT FRONTAGE	= 20M	119.50M	NO CHANGE
HOSPITAL GFA	= 336.05	336.05 5M2	NO CHANGE
FSI	=	0.011	NO CHANGE
BUILDING COVERAGE	=	171.70 M2 (0.57%)	NO CHANGE
FRONT YARD SETBACK	= 6.00M	6.26M	
EXTERIOR SIDE YARD	= 6.00M	56.40M/47.18M	
INTERIOR SIDE YARD	= 5.00M	N/A	
REAR YARD	= 5.00M	246.36M	
LOS	=		NO CHANGE
BUILDING HEIGHT	= 6 STOREYS	2 STOREYS	NO CHANGE
PARKING:	= HOSPITAL		
1 PER 100M2	= 4 SPACES	4 SPACES	NO CHANGE



THESE DRAWINGS ARE NOT TO BE SCALED:  
ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR  
TO COMMENCEMENT OF ANY WORK. ANY DISCREPANCIES  
MUST BE REPORTED DIRECTLY TO VINCENT J. SANTAMAURA,  
ARCHITECT INC. INC.

NO:	DATE:	ISSUED FOR:
1	16OCT2024	CO-ORDINATION
2	23OCT2024	CO-ORDINATION
3	05NOV2024	BUILDING PERMIT
4	14NOV2024	BID

ADDITIONAL NOTES:

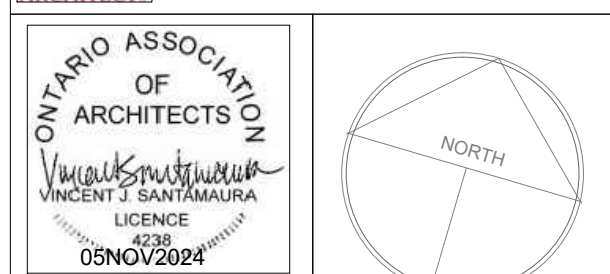


<div>3</div> <div>SP-100</div>	<div>KEY MAP</div> <div>SCALE: NTS</div>
	<div>PLAN SHOWING TOPOGRAPHY OF ALL OF BLOCK E PART OF LAMBERT STREET, AND PART OF PRINCE STREET ALL OF LOTS 40, 44, AND 53 PART OF LOTS 41, 45, 54, 59 AND 60, COOK C AND PART OF ST. GEORGE STREET C.G. HANNING'S PLAN ALL OF LOTS 39 AND 40, AND ALL OF BLOCKS A, B, AND C REGISTERED PLAN 629 MUNICIPALITY OF CLARINGTON REGIONAL MUNICIPALITY OF DURHAM</div>
<div>4</div> <div>SP-100</div>	<div>LEGAL DESCRIPTION</div> <div>SCALE: NTS</div>

[illegible]

**VJ S**  
ARCHITECTS

**VINCENT J. SANTAMAURA**  
**ARCHITECT**  
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WHITBY, ONTARIO. L1R 2L4  
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email: info@vjsarch.ca



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CLIENT:  
LAKERIDGE HEALTH CORP.  
920 CHAMPLAIN AVENUE  
OSHAWA, ON L1J 8R2  
TEL.: (905) 576-8711

PROJECT:  
BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
BOWMANVILLE, ON L1C 2L4

DRAWING TITLE:

SITE/GRADING PLAN

DATE: 14NOV2024	SCALE: 1:200
DRAWN BY: VJS	CHECKED BY: VJS
PROJECT NUMBER:	DRAWING NUMBER:

2023-21 SP-100



FIRM NAME: VINCENT J. SANTAMAURA, ARCHITECT INC. 23 PARNELL CRESCENT WHITBY, ONTARIO L1R 2L4 PHONE (905) 668-9207 FAX (905) 668-9207 EMAIL: info@vjsarch.ca		NAME OF PROJECT: BUILDING RE-LOCATION - LAMBERT HOUSE PROJECT LOCATION: 47 LIBERTY STREET /11 MABEL BRUCE WAY BOWMANVILLE, ON											
ITEM	ONTARIO BUILDING CODE 2012 (NOV 2022 UPDATE) DATA MATRIX PART 9									OBC REFERENCE			
1	PROJECT DESCRIPTION: <div><input type="checkbox"/> NEW <input type="checkbox"/> ADDITION <input checked="" type="checkbox"/> ALTERATION <input type="checkbox"/> CHANGE OF USE</div>									REFERENCES ARE TO DIVISION B UNLESS NOTED (A) FOR DIVISION A OR (C) FOR DIVISION C. <div><input type="checkbox"/> PART 9 - 1.1.2. [A]  <input checked="" type="checkbox"/> PART 11 - 11.1 TO 11.4</div>			
2	MAJOR OCCUPANCY(S)		GROUP D, BUSINESS AND PERSONAL SERVICES							9.10.2.			
3	BUILDING AREA (SQ.M.)		EX. 171.70 SQ.M.		NEW 00.00 SQ.M.		TOTAL 171.70 SQ.M.		1.4.1.2. [A]				
4	GROSS AREA (SQ.M.)		EX. 336.05 SQ.M.		NEW 00.00 SQ.M.		TOTAL 336.05 SQ.M.		1.4.1.2. [A]				
5	NUMBER OF STOREYS		ABOVE GRADE		EX. 2		BELOW GRADE 1		1.4.1.2. [A] & 9.10.4.				
6	NUMBER OF STREETS/FIRE FIGHTER ACCESS		1							9.10.20.			
7	BUILDING CLASSIFICATION		N/A - SEE PART 11							9.10.2.			
8	SPRINKLER SYSTEM PROPOSED		<div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED</div>							9.10.8.2.  INDEX			
9	STANDPIPE REQUIRED		<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>							N/A			
10	FIRE ALARM REQUIRED		<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>							9.10.18.			
11	WATER SERVICE/SUPPLY IS ADEQUATE		<div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</div>							N/A			
12	HIGH BUILDING		<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>							N/A			
13	CONSTRUCTION RESTRICTIONS		<div><input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input checked="" type="checkbox"/> BOTH</div>							9.10.6.			
	ACTUAL CONSTRUCTION		<div><input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH</div>										
14	MEZZANINE(S) AREA SQ.M.									9.10.4.1.			
15	OCCUPANT LOAD BASED ON		<div><input type="checkbox"/> SQ.M./PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING OCCUPANCY EX = 36 (D @ 9.30M2/P) NEW = 36 PERSONS = 36 NO CHANGE OCCUPANCY FOR D WC = 1P/14M2 = 24 PERSONS NO CHANGE</div>							9.9.1.3.  3.7.4.2.(1) & TABLE 3.7.4.7.(1)			
16	BARRIER FREE DESIGN		<div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)</div>							11.3.3.2.(2)			
17	HAZARDOUS SUBSTANCES		<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>							9.10.1.3.(4)			
18	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)			LISTED DESIGN NO. OR DESCRIPTION (SG-2)							9.10.8.	
		FLOORS	NOT LESS THAN 30 MIN. SEE 11.6 - C.A. DE124			SB-2-2.3.4 (2) : TBL 2.3.4.A 12.7MM TYPE X GB = 25MIN. +							9.10.8.1
		ROOF	NOT LESS THAN 0 MIN.			N/A	TBL 2.3.4.C EX JOISTS @ 406MM O.C. = 10 MIN.						
		MEZZANINE	NOT LESS THAN 0 MIN.			N/A	= 35 MIN.						
		FRR OF SUPPORTING MEMBERS			LISTED DESIGN NO. OR DESCRIPTION (SG-2)								
		FLOORS	NOT LESS THAN 30 MIN. SEE 11.6 - C.A. DE124			N/A							
		ROOF	NOT LESS THAN 0 MIN.			N/A							
		MEZZANINE	NOT LESS THAN 0 MIN.			N/A							
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS									9.10.14.4			
	WALL	AREA OF EBF (SQ.M.)	L.D. (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HRS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. / NONC. CLADDING	NON-COMB. CONST.		
BUILDING FACADE	NORTH	81.23M2	3.00 M	N/A	13.00%	4.20% (7.34M2)	1.0	N/A	N/A	N/A	PROVIDED EXISTING		
	SOUTH	82.22 M2	9.90M	N/A	80.00%	8.09% (6.65M2)	0.75	N/A	N/A	N/A	PROVIDED EXISTING		
	EAST	101.74 M2	1.50M	N/A	8.00%	8.00% (2.57M2)	1.0	N/A	N/A	N/A	PROVIDED EXISTING		
	WEST	97.63 M2	16.90M	N/A	92.00	20.61% (20.13M2)	0.75	N/A	N/A	N/A	PROVIDED-EXISTING		

ITEM	ONTARIO'S 2006 BUILDING CODE DATA MATRIX PART 11		OBC REFERENCE
			REFERENCES ARE TO DIVISION B UNLESS NOTED (A) FOR DIVISION A OR (C) FOR DIVISION C.
11.1	EXISTING BUILDING CLASSIFICATION	EX. BLDG = GROUP D , UP TO 2 STOREYS C.I. = 2	11.2.1/ T 11.2.1.1A/T 11.2.1.1B
11.2	CHANGE OF MAJOR OCCUPANCY	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	
11.3	ALTERNATION TO EXISTING BUILDING:	<input checked="" type="checkbox"/> BASIC <input type="checkbox"/> EXTENSIVE	11.3.3.1 TO 11.3.3.2
11.4	REDUCTION IN PREFORMATICE LEVEL	STRUCTURAL <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BY INCREASE IN OCCUPANT LOAD <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO BY CHANGE OF MAJOR OCCUPANCY <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO PLUMBING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO SEWAGE - SYSTEM <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	11.4.2 11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5
11.5	COMPENSATING CONSTRUCTION	EX H.I.2 INCREASED TO MATCH TO A2 H.I. = 3  STRUCTURAL <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO BY INCREASE IN OCCUPANT LOAD <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO BY CHANGE OF MAJOR OCCUPANCY <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO PLUMBING <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO SEWAGE - SYSTEM <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.6	COMPLIANCE ALTERNATIVE PROPOSED	<input type="checkbox"/> NO <input checked="" type="checkbox"/> YES ( DE124 - 30 MIN ACCEPTABLE)	11.5.1
11.6	ALTERNATIVE MESURE PROPOSED	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES ( GIVE NUMBER (S))	11.5.1

## DRAWING LIST:

### ARCHITECTURAL

SP-100 SITE PLAN/GRADING PLAN

A1 OBC DATA MATRIX/DRAWING LIST

A2 CONSTRUCTION NOTES -1

A3 CONSTRUCTION NOTES -2

EX-1 EXISTING BASEMENT PLAN

EX-2 EXISTING GROUND FLOOR PLAN

EX-3 EXISTING SECOND FLOOR PLAN

EX-4 EXISTING ATTIC PLAN

EX-5 EXISTING FRONT (WEST) ELEVATION

EX-6 EXISTING RIGHT (SOUTH) ELEVATION

EX-7 EXISTING REAR (EAST) ELEVATION

EX-8 EXISTING LEFT (NORTH) ELEVATION

D1 DEMOLITION PLAN

A4 NEW BASEMENT PLAN

A5 EXISTING GROUND FLOOR PLAN -

INTERIOR ALTERATIONS

A6 EXISTING SECOND FLOOR PLAN -

INTERIOR ALTERATIONS

A7 NORTH-SOUTH BUILDING SECTION -

EXTERIOR RESTORATION

A8 EXISTING FRONT (WEST) ELEVATION -

EXTERIOR RESTORATION

A9 EXISTING RIGHT (SOUTH) ELEVATION -

EXTERIOR RESTORATION

A10 EXISTING REAR (EAST) ELEVATION -

EXTERIOR RESTORATION

A11 EXISTING LEFT (NORTH) ELEVATION -

EXTERIOR RESTORATION

DO NOT SCALE DRAWINGS.  
VERIFY ALL DIMENSIONS BY CONTRACTOR  
ON SITE PRIOR TO COMMENCEMENT OF  
ANY WORK. REPORT ANY DISCREPANCIES  
TO THE ARCHITECT.

4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT



VINCENT J. SANTAMAURA,  
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CLIENT:

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OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:

BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:

OBC DATA MATRIX  
DRAWING LIST

DATE: 14NOV2024

SCALE: 1:50

DRAWN BY: VJS

CHECKED BY: VJS

PROJECT NUMBER:

DRAWING NUMBER:

2024-01

A1

CONSTRUCTION NOTES:

COMPLIANCE - OBC 2012 - JAN 2022 ENACTMENT

ALL CONSTRUCTION SHALL CONFORM TO THE ONTARIO BUILDING CODE 2012, AS AMENDED (O.B.C.) AND ALL OTHER CODES AND LOCAL AUTHORITIES HAVING JURISDICTION.

PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL REVIEW ALL PRODUCT LITERATURE, INSTALLATION GUIDES AND WARRANTEE SHEETS FOR THE PROPOSED DETAILS AND DISCLOSE ANY NOTED DISCREPENCIES TO THE ARCHITECT.

THE STRUCTURE HAS BEEN DESIGNED IN ACCORDANCE WITH THE ONTARIO BUILDING CODE PART 9 OR BY A PROFESSIONAL ENGINEER, AS REQUIRED. CONSTRUCTION PRACTICE SHALL BE ACCORDING TO THE SAME.

THE CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIMSELF WITH ALL CHARACTERISTICS AFFECTING NEW CONSTRUCTION.

ALL DIMENSIONS ARE TO BE LISTED IN METRIC. THEY SHALL BE SITE CHECKED AND CO-ORDINATED. DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT / ENGINEER PRIOR TO CONSTRUCTION.

NO ALLOWANCE WILL BE MADE FOR DIFFICULTIES ENCOUNTERED OR EXPENSES INCURRED FROM CONDITIONS CONSIDERED KNOWN AT THE TIME OF TENDER.

THE CONTRACTOR IS TO COMPLY WITH THE ONTARIO BUILDING CODE (AS AMENDED), THE CANADIAN CONSTRUCTION SAFETY CODE AND ALL REGULATIONS AS SET OUT BY LOCAL AUTHORITIES HAVING JURISDICTION.

THE CONTRACTOR IS TO READ THE ARCHITECTURAL DRAWINGS IN CONJUNCTION WITH THE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS, AS WELL AS ALL OTHER CONSULTANT DOCUMENTATION. REPORT ANY DISCREPANCIES TO THE ARCHITECT / ENGINEER PRIOR TO PROCEEDING WITH ANY WORK.

SUBSTITUTIONS FROM SPECIFIED PRODUCTS AND MATERIALS MUST BE APPROVED BY THE ARCHITECT / ENGINEER PRIOR TO ORDERING OF MATERIALS. DEVIATIONS FROM THE DRAWINGS SHALL MAKE THE ARCHITECT NON-LIABLE FOR THE CONSTRUCTION.

THE CONTRACTOR SHALL REIMBURSE ALL CONSULTANTS FOR ADDITIONAL COSTS INCURRED AS A RESULT OF REVIEWING ANY CHANGES MADE TO THE CONTRACT DOCUMENTS.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT / ENGINEER IN ORDER TO ARRANGE INSPECTIONS TO ASCERTAIN GENERAL CONFORMANCE WITH THE DESIGN CONCEPT.

ALL METAL FASTENERS, STUDS, FURRING AND Z GIRTS ETC. SHALL BE GALVANIZED IN THE EXTERIOR WALL CONSTRUCTION UNLESS SPECIFICALLY REFERENCED.

WHERE REQUIRED, THE CONTRACTOR TO COORDINATE THE EXTENT AND LOCATIONS OF ALL FIRE SEPARATIONS PRIOR TO COMMENCING ANY WORK.

ALL FIRE RATING SHALL BE CONTINUOUS AND MAINTAINED AT ALL PENETRATIONS.

SEAL ALL FIRE RATED PARTITIONS TO FLOOR SLAB AND UNDERSIDE OF STRUCTURE ABOVE WITH FIRE STOP AND FIRE PROOF SEALANT.

STORE ALL MATERIALS IN A SAFE AND SECURE MANOR SO AS TO NOT DETERIORATE FROM THEIR ORIGINAL CONDITION.

THERMAL RESISTANCE VALUES BASED ON SB-10, ZONE 5, FOR PART 3 BUILDINGS AND PART 9 NON-RESIDENTIAL BUILDINGS; SB-12 ZONE 1 FOR PART 9 RESIDENTIAL BUILDINGS, COMPLIANCE PACKAGE A1.

MAKE GOOD ALL WORK WITH EXISTING.

METRIC UNITS GOVERN OVER IMPERIAL.

WOOD FRAME CONSTRUCTION:

- CONFORM TO O.B.C. 9.23
- ALL FRAMING LUMBER TO BE No.1 AND No. 2 SPF UNLESS NOTED OTHERWISE.
- ROOF LOADING IS BASED ON 1.5kPa SPECIFIED COMPOSITE SNOW AND RAIN LOADS.
- JOISTS TO HAVE MIN. 38mm (1-1/2") END BEARING
- BEAMS TO HAVE MIN. 89mm (3-1/2") END BEARING
- DOUBLE STUDS @ OPENINGS
- DOUBLE HEADER JOISTS AROUND FLOOR OPENINGS WHEN THEY ARE BETWEEN 1200mm (3'-11") AND 3200mm (10'-6")
- DOUBLE TRIMMER JOISTS WHEN HEADER JOIST LENGTH IS BETWEEN 2'-7" (800mm) AND 2000mm (6'-7")
- DOUBLE JOISTS OR SOLID BLOCKING UNDER NON-LOAD BEARING PARALLEL PARTITIONS
- BEAMS TO BE PLACED UNDER LOADBEARING WALLS WHEN WALLS ARE PARALLEL TO FLOOR JOISTS
- BEAMS MAY BE A MAX. 600mm (2'-0") FROM LOADBEARING WALLS WHEN WALLS ARE PERPENDICULAR TO FLOOR JOISTS
- APPROVED METAL HANGERS TO BE USED FOR JOISTS AND BEAMS WHEN THEY FRAME INTO SIDES OF BEAMS, TRIMMERS AND HEADERS
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 400mm (15 3⁄4") BEYOND SUPPORTS FOR 38mm x 184mm (2"x8")
- FLOOR JOISTS SUPPORTING ROOF LOADS SHALL NOT BE CANTILEVERED MORE THAN 600mm (23 5⁄8") BEYOND SUPPORTS FOR 38mm x 235mm(2"x10") OR LARGER.

WINDOWS:

- CONFORM TO O.B.C. 9.7 & SB-12.
- WINDOWS TO BE SEALED TO THE AIR & VAPOR BARRIER
- WINDOWS THAT SEPARATE HEATED SPACE FROM UNHEATED SPACE SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 1.6 W/(m2.K) OR U = 0.28
- AN ENERGY RATING OF NOT LESS THAN 25 FOR WINDOWS
- BASEMENT WINDOWS WITH LOAD BEARING STRUCTURAL FRAME SHALL BE DOUBLE GLAZED WITH LOW-E COATING
- SKYLIGHTS SHALL HAVE AN OVERALL COEFFICIENT OF HEAT TRANSFER OF 2.8 W/(m2.K)
- FOR GROSS GLAZED AREAS LESS THAN AND EQUAL TO 17%

FOOTINGS / SLABS:

TYPICAL STRIP FOOTING:

- CONFORM TO O.B.C. 9.15.3.
- BASED ON 4.90m(4.9m) MAX. SUPPORTED JOIST LENGTH
- MIN. 15MPa (2200psi) CONCRETE AFTER 28 DAYS AS PER CSA A23.1; RE-BAR AS PER CSA G30.18 WHERE REQUIRED;
- CEMENT AS PER CAN/CSA-A3001
- SHALL REST ON UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL W/ MIN. 75kPa (10.9psi) BEARING CAPACITY
- FTG. TO HAVE CONTINUOUS KEY
- FTG. SIZES MAY BE REDUCED FOR SOILS W/ GREATER BEARING CAPACITY (AS PER SOILS' ENGINEERING REPORT OR AS DETERMINED ON SITE BY GEOTECHNICAL ENGINEER.) (WHERE SIZES ARE NOTED ON DRAWINGS, THOSE SIZES SHALL GOVERN OR AS DETERMINED ON SITE BY GEOTECHNICAL ENGINEER.)

TYPICAL STRIP FOOTING: (EXTERIOR WALLS)

- CONFORM TO O.B.C. 9.15.3.5.
- FTG. TO EXTEND MIN. 1220mm (4'-0") BELOW GRADE
- BRICK VENEER -2 STOREY - 485mm X 155mm (19" X 6")
- REFER TO SIZING ON DRAWINGS
- POUR FOOTINGS PRIOR TO BUILDING MOVE AND ALLOW TO CURE FOR 28 DAYS.

TYPICAL STRIP FOOTING: (INTERIOR BEARING WALLS)

- CONFORM TO O.B.C. 9.15.3.6.
- 2 STOREY MASONRY - 650mmX 230mm (26" X 9") (WHERE SIZES ARE NOTED ON DRAWINGS, THOSE SIZES SHALL GOVERN OR AS DETERMINED ON SITE BY GEOTECHNICAL ENGINEER.)

DRAINAGE TILE OR PIPE:

- CONFORM TO O.B.C. 9.14.3.
- MATERIALS AS PER ASTM C4, ASTM C412M, ASTM C444M, ASTM C700, CAN/CSA-B182.1, CAN/CSA-G401 OR BNQ 3624-115.
- 100mm (4") MIN. DIA. LAID ON UNDISTURBED OR WELL COMPACTED SOIL W/ TOP OF TILE OR PIPE TO BE BELOW BOTTOM OF FLR. SLAB.
- COVER TOP & SIDES OF TILE OR PIPE W/ 150mm (5 7/8") OF CRUSHED STONE OR OTHER COURSE CLEAN GRANULAR MATERIAL.
- TILE SHALL DRAIN TO A SEWER, DRAINAGE DITCH, OR DRY WELL.

(WHERE REQUIRED, REFER TO MECHANICAL DRAWINGS AND/OR GEOTECHNICAL REPORT FOR SUB-SURFACE DRAINAGE)

BASEMENT SLAB:

- CONFORM TO O.B.C. 9.3, 9.13. & 9.16.
- 100mm (4") CONCRETE SLAB
- 15MPa (2200psi) AFTER 28 DAYS - O.B.C. 9.16.4.5. 5% TO 8% AIR ENTRAINMENT
- DAMPMPROOF BELOW SLAB W/ MIN. 0.15mm (6MIL) POLYETHYLENE OR TYPE 'S' ROLL ROOFING W/ 100mm (4") LAPPED JOINTS.
- DAMPMPROOFING MAY BE OMITTED IF CONCRETE HAS MIN. 25MPa (3600psi) COMPRESSIVE STRENGTH AFTER 28 DAYS
- 150mm (6") OF COURSE GRANULAR MATERIAL
- PROVIDE BOND BREAKING MATERIAL BETWEEN SLAB & FTG.
- WHERE SLAB IS REQUIRED TO BE WATERPROOFED IT SHALL CONFORM TO O.B.C. 9.13.3.
- FLOOR DRAIN PER O.B.C.9.31.4.4.
- RSI 1.76 (R10) INSULATION AT PERIMETER OF SLAB WHERE GRADE IS WITHIN 600mm (23-1/2") OF BASEMENT SLAB EDGE. INSULATION TO EXTEND TO NOT LESS THAN 600mm (23-1/2") BELOW EXTERIOR GRADE LEVEL AS PER O.B.C. SB-12 - 3.1.1.7 (5)
- UNLESS IT CAN BE DEMONSTRATED THAT SOIL GAS DOES NOT CONSTITUTE A PROBLEM, SOIL GAS CONTROL SHALL CONFORM TO SUPPLEMENTARY STANDARD AS PER O.B.C. SB-9.

EXTERIOR SLAB:

- CONFORM TO O.B.C. 9.3, 9.13 & 9.16
- 100mm (4") CONCRETE SLAB
- 32MPa (4650psi) COMPRESSIVE STRENGTH AFTER 28 DAYS FOR UNREINFORCED CONC. & W/ 5-8% AIR ENTRAINMENT - O.B.C. 9.3.1.6.
- W2.9 X W 2.9 (6" X 6") WIRE MESH LOCATED NEAR MID-DEPTH OF SLAB
- 150mm (6") OF COURSE GRANULAR MATERIAL
- ANY FILL PLACED UNDER SLAB , OTHER THAN COURSE CLEAN GRANULAR MATERIAL, SHALL BE COMPACTED.

9

PILASTERS:

- CONFORM TO O.B.C. 9.15.5.3.
- PILASTER
- CONCRETE NIB - 100mm X 300mm (4" X 12")
- BLOCK NIB - 100mm X 300mm (4" X 12" ) BONDED & TIED TO WALL AS PER O.B.C. 9.20.11.2.
- TOP200mm (7 7/8") SOLID.
- OR
- BEAM POCKET
- 100mm (4") INTO FDN. WALL W/ WIDTH TO MATCH BEAM SIZE.
- 13mm (1/2") SPACE AROUND WOOD BEAMS (O.B.C. 9.23.2.2.)
- STRUCTURAL COLUMNS

-SIZES BASED ON COLUMN SUPPORTING BEAMS CARRYING LOADS FROM NOT MORE THAN 2 WOOD FRAME FLOORS, WHERE THE LENGTHS OF JOISTS CARRIED BY SUCH BEAMS DO NOT EXCEED 4900mm (16'-1") AND THE LIVE LOAD ON ANY FLOOR DOES NOT EXCEED 2.4kPa (50psf ).

10

STEEL PIPE COLUMN:

- CONFORM TO O.B.C. 9.15.3.4., 9.15.3.7. & 9.17.3.
- FIXED COLUMN
- MIN. 90mm (3 1/2") DIA. W/ 4.76mm (3/16") WALL THICKNESS
- FOR STEEL BEAMS, CLIPS @ TOP & MIN. 152mmX 100mmx 6.35mm (6" X 4" X 1/4") STEEL BTM. PLATE
- FOR WOOD BEAMS, MIN. 100mmX 100mm X 6.35mm (4"X4"X1/4") STEEL TOP & BTM. PLATES, OR TOP PLATE TO EXTEND MIN. WIDTH OF BEAM
- ADJUSTABLE COLUMNS TO CONFORM TO CAN/CGSB-7.2-M WHERE IMPOSED LOAD DOES NOT EXCEED 36 KN (O.B.C. 9.17.3.4.)
- COL. SPACING: FTG SIZE:
- 2 STOREY
- MAX. 2997mm (9'-10" ) - 860mmX 860mmX 400mm
- (34" X 34" X 16")
- MAX. 16'-0" (4880mm) - 1120mmX 1120mmX 530mm
- (44" X 44" X 21")

-WHERE COL. SITS ON FDN. WALL, USE 100mmX 200mmX 16mm (4" X 8" X 5/8") STEEL PLATE WITH 16mm (2-5/8") ANCHOR BOLTS. (WHERE SIZES ARE NOTED ON DRAWINGS, THOSE SIZES SHALL GOVERN OR AS DETERMINED ON SITE BY GEOTECHNICAL ENGINEER.)

WALL ASSEMBLIES:

FOUNDATION WALL:

- CONFROM TO O.B.C. 9.3. & 9.15.4.2.
- FOR WALLS NOT EXCEEDING 2500mm (8'-2" ) IN Laterally SUPPORTED HEIGHT:
- 305mm (12") CONCRETE BLOCK W/BLOK-LOC
- TOP COURSE FILLED SOLID WITH MORTAR AS PER O.B.C.9.15.5
- MAX. UNSUPPORTED HEIGHT OF 1200mm (3'-11" ) & MAX. SUPPORTED HEIGHT OF 2150mm(7'-0") MEASURED FROM GRADE TO FINISHED BASEMENT FLOOR
- PARGE EXTERIOR WALL
- FOR CONDITIONS EXCEEDING THESE MAXIMUMS AN ALTERNATIVE IN CONFORMANCE TO O.B.C.- T.9.15.4.2.A SHALL BE USED OR IT SHALL BE DESIGNED UNDER O.B.C.- PART 4
- INSULATE W/ RSI 3.52 (R20) CONTINUOUS INSULATION FROM UNDERSIDE OF SUBFLOOR TO NOT MORE THAN 200mm (8") ABOVE FINISHED FLOOR OF BASEMENT (ZONE 1 OBC SB-12 T.3.1.1.2.A.)
- ALTERNATE INSULATION METHOD: 51mm (2") RSI 1.76 (R10) RIGID INSULATION W/ 38mm X 89mm (2"x4") WOOD STUD W/ RSI 2.11 (R12) BATT INSULATION
- BACK FILL W/ NON-FROST SUSCEPTIBLE SOIL

BREAK IN FOUNDATION WALL POUR:

- WHERE A BREAK IN POURING OF FOUNDATION WALL IS EXPECTED, FORM EDGE OF WALL WITH KEY AND INSERT 610mm (2'-0" ) #10 REBARS 305mm (1'-0") DEEP INTO WALL @ 610mm (2'-0") O.C.VERTICAL.
- PRIOR TO SECOND POUR, INSERT 1 1⁄2" (13mm) X 1 1⁄2" (38mm) VERTICAL RUBBER GASKET WATERSTOP INTO KEY.
- FOLLOWING POUR, APPLY BITUMINOUS CAULK ON OUTER JOINT PRIOR TO DAMPPROOFING.

DAMPMPROOFING & WATERPROOFING:

- DAMPMPROOF THE EXTERIOR FACE OF WALL BELOW GRADE AS PER O.B.C. 9.13.2.
- WHERE INSULATION EXTENDS TO MORE THAN 900mm (2'-11") BELOW GRADE, A FDN. WALL DRAINAGE LAYER SHALL BE PROVIDED IN CONFORMANCE TO O.B.C. 9.14.2.1.(2) (3) (4)
- FINISHED BASEMENTS SHALL HAVE INTERIOR DAMPPROOFING EXTENDING FROM SLAB TO GRADE LEVEL & SHALL CONFORM TO O.B.C. 9.13.3.3.(3)
- WHERE HYDROSTATIC PRESSURE OCCURS, FDN. WALLS SHALL BE WATERPROOFED AS PER O.B.C. 9.13.3.
- WALLS THAT ARE WATERPROOFED DO NOT REQUIRE DAMPPROOFING.

17

INTERIOR STUD WALL- LOADBEARING-1 HOUR F.R.R. SB-3 WALL TYPE Wtd:

- CONFORM TO O.B.C. 9.3 & T.9.23.10.1.
- 1 COAT PRIMER & 2 COATS PAINT
- 15.9mm (5/8") GYPSUM BOARD TYPE 'X' ONE SIDE, JOINTS TAPED, SANDED & SEALED AS PER OBC 9.29.5.
- 38mmX 140mm (2" X 6") WOOD STUDS @ 400mm (16") O.C. W/
- 2-38mmX 140mm (2" X 6") TOP PLATES
- 38mmX 140mm (2" X 6") SINGLE BOTTOM PLATE ON DAMPROOFING MATERIAL AS PER OBC; WOOD FRAMING MEMBERS SUPPORTED ON CONCRETE IN CONTACT WITH GROUND OR FILL SHALL BE PRESSURE TREATED OR SEPARATED FROM CONCRETE W/ 6 mil POLYETHYLENE.
- 15.9mm (5/8") GYPSUM BOARD TYPE 'X', JOINTS TAPED, SANDED & SEALED AS PER OBC 9.29.5.
- 1 COAT PRIMER & 2 COATS OF PAINT.

17.1

INSULATE EXISTING EXTERIOR WALL:

- CONFORM TO O.B.C. 9.3 & T.9.23.10.1.
- REMOVE EXISTING BASEBOORD AND AND WINDOW TRIM AND SAVE FOR RE-INSTALLATION
- 38mmX 38mm (2" X 2") WOOD STRAPPING @ 400mm (16") O.C. W/
- 1-38mmX 33mm (2" X 3") TOP PLATE
- 1-38mmX 38mm (2" X 2") SINGLE BOTTOM PLATE AT FLOOR LEVEL F
- 50mm (2") RSI 1.76 (R10) RIGID INSULATION
- 12.7mm (1/2") GYPSUM BOARD TYPE 'X', JOINTS TAPED, SANDED & SEALED AS PER OBC 9.29.5.
- CAULK PERIMETER TOP, SIDES AND BOTTOM OF GYPSUM BOARD TO FLOOR WALLS AND CEILINGS
- 1 COAT PRIMER & 2 COATS OF PAINT
- TRIM AND RE-INSTALL BASEBOARDS & WINDOW TRIM; SAND, 1 COAT OF PRIMER AND 2 COATS OF PAINT.

43

PUBLIC STAIRS (SERVING MORE THAN ONE RESIDENTIAL UNIT & NON-RESIDENTIAL USES:

- CONFORM TO O.B.C. 9.8.4.
- MAX. RISE = 180mm (7-3/32")
- MIN. RUN =
- MIN. TREAD = 280mm (11")
- MAX. NOSING = 25mm (1")
- MIN. HEADROOM = 2050mm (6'-9")
- MIN. WIDTH = 900mm (2'-11") (EXIT STAIRS, BETWEEN GUARDS)
- FINISHED RAILING ON WOOD PICKETS MAX. 100mm (4" ) BETWEEN PICKETS
- FOUND. WALL REQUIRED WHEN NUMBER OF RISERS EXCEEDS 2
- FTG. FOR FOUND. WALL TO BE MIN. 1220mm (4'-0") BELOW GRADE
- HANDRAILS:

- CONFORM TO O.B.C. 9.8.7
- ONE HANDRAIL REQUIRED WHERE STAIR WIDTH IS LESS THAN 1100mm (3'-7")
- TWO HANDRAILS REQUIRED WHERE STAIR WIDTH EXCEEDS 1100mm (3'-7")
- TWO HANDRAILS ARE REQUIRED ON CURVED STAIRS OF ANY WIDTH
- HANDRAILS ARE TO BE CONTINUOUS INCLUDING AT LANDINGS EXCEPT WHERE INTERRUPTED BY DOOR WAYS OR NEWEL POSTS AT CHANGES IN DIRECTION
- HEIGHT:
- CONFORM TO O.B.C. 9.8.7.4
- 865mm (2'-10") MIN. TO 965mm (3'-2") MAX.
- 1070mm (3'-6") WHERE GUARDS ARE REQUIRED ON LANDINGS)
- MEASURED VERTICALLY FROM THE TOP OF THE HANDRAIL TO A STRAIGHT LINE DRAWN FROM THE TANGENT TO THE TREAD NOSING
- PROJECTIONS:
- CONFORM TO O.B.C. 9.8.7.6
- HANDRAILS AND PROJECTIONS BELOW HANDRAILS INCLUDING STEP STRINGERS TO PROJECT A MAXIMUM OF 100mm (4") INTO THE REQUIRED WIDTH OF THE STAIR
- TERMINATION:
- CONFORM TO O.B.C. 9.8.7.3
- ONE HAND RAIL SHALL EXTEND HORIZONTALLY NOT LESS THAN 300mm (11 3/4") BEYOND THE TOP TREAD AND 550 mm (1'-10") BEYOND THE BOTTOM TREAD OF EACH STAIR
- FINISH:
- CONFROM TO O.B.C. 9.8.9.6
- TREADS ARE TO BE WEAR AND SLIP RESISTANT, SMOOTH, EVEN AND FREE FROM DEFECTS PER OBC 9.8.9.6.(4)
- STAIRS AND RAMPS SHALL HAVE A COLOUR CONTRAST OR INSTINCTIVE VISUAL PATTERN TO DEMARCAT E THE LEADIN EDGE OF THE TREADS, LANDING AND THE BEGINNING AND END OF A RAMP.

48

SMOKE ALARM:

- CONFORM TO O.B.C.- 9.10.19.
- PROVIDE 1 IN BASEMENTS
- INSTALL AT OR NEAR CEILING
- CONNECT NEW ALARMS IN CIRCUIT WITH EXISTING ALARMS AND INTERCONNECT SO ALL
- ALARMS WILL BE ACTIVATED IF ANY ONE OF THEM SOUNDS
- HAVE A VISUAL SIGNALING COMPONENT
- HARDWIRE ALARMS AND INCLUDE AN ALTERNATE POWER SOURCE THAT CAN POWER ALARM FOR 7 DAYS, FOLLOWED BY 4 MINUTES OF ALARM
- SEE NOTE E1

DO NOT SCALE DRAWINGS. VERIFY ALL DIMENSIONS BY CONTRACTOR ON SITE PRIOR TO COMMENCEMENT OF ANY WORK. REPORT ANY DISCREPANCIES TO THE ARCHITECT.

4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT

YS

ARCHITECTS

Vincent J. Santamaura

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05NOV2024

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NORTH ARROW

CLIENT:

LAKERIDGE HEALTH CORP.

920 CHAMPLAIN AVENUE

OSHAWA, ON. L1J 8R2

TEL: (905) 576-8711

PROJECT:

BUILDING RE-LOCATION LAMBERT HOUSE

47 LIBERTY ST (11 MABEL BRUCE WAY)

CLARINGTON (BOWMANVILLE), ON

DRAWING TITTLE:

CONSTRCUCTION NOTES -1

DATE: 14NOV2024

SCALE: 1:50

DRAWN BY: VJS

CHECKED BY: VJS

PROJECT NUMBER:

DRAWING NUMBER:

2024-01

A2

File: C:\Users\vjs\AppData\Local\Temp\AcPublish\_13168\2023-21-LHC-11 MABEL WAY-BMNVL-CMP.dwg Plotted: Nov 13, 2024 By:vjs



GENERAL:

S1

DEMOLITION AND SALVAGE

- DISCONNECT AND CAP ALL INCOMING BUILDING SERVICES
- REMOVE TREES AROUND BUILDING AND AT NEW LOCATION
- SALVAGE WINDOWS IN BASEMENT ROOMS
- ONCE BUILDING IS REMOVED FROM FOUNDATION; DEMOLISH AND REMOVE FOUNDATION;
- BACKFILL WITH CLEAN SOIL AND COMPACT; LAY SOD
- REFER TO OTHER ENGINEERING DISCIPLINES' NOTES FOR FURTHER DIRECTION.
- HVAC:
- DEMOLISH TWO (2X) EXISTING GAS FIRED FURNACES, TWO (2X) COOLING COILS AND TWO (2X) HUMIDIFIER;
- DEMOLISH TWO (2X) EXTERIOR CONDENSING UNITS AND ASSOCIATED REFRIGERANT PIPING TO FURNACES
- DISCONNECT EXISTING HEAT RECOVERY VENTILATOR IN BASEMENT AND STORE FOR RE-USE
- DISCONNECT ALL DUCTWORK IN BASEMENT FROM FURNACE, FLOOR GRILLS SERVING GROUND FLOOR ANI EXTERIOR LOUVRES
- REMOVE DUCTWORK AS REQUIRED TO ACCOMMODATE HOUSE RELOCATION. SAVE AS MUCH AS POSSIBLE FOR RE-USE
- DEMOLISH ALL EXISTING NATURAL GAS PIPING INCLUDING METER AND PRV STATION
- DEMOLISH ALL EXISTING FLUE AND INTAKE VENTS FOR EXISTING FURNACES
- DEMOLISH ALL EXISTING CONTROL WIRING AND THERMOSTATS FOR EXISTING FURNACES.
- PLUMBING AND DRAINAGE:
- DRAIN DOWN ALL PLUMBING LINES
- DEMOLISH EXISTING GAS FIRED DOMESTIC HOT WATER TANK AND CAP HOT AND COLD WATER CONNECTIC NEAR TANK
- DEMOLISH EXISTING CONDENSATE DRAINAGE LINES FROM EXISTING FURNACES TO POINT OF CONNECTIOI TO SANITARY MAIN
- CUT AND CAP EXISTING DOMESTIC COLD WATER FEED AT PERIMETER OF BUILDING AND ISOLATE LINE AT EXISTING NORTH WING CONNECTION
- CAP AND CUT TWO EXISTING VERTICAL DRAINAGE PIPES 305MM (12") BELOW GROUND FLOOR FRAMING.
- DEMOLISH ALL FLOOR DRAINS IN BASEMENT AND ALL BURIED DRAINAGE LINES BELOW BASEMENT LEVEL.
- DEMOLISH ALL VENT PIPING SERVING FLOOR DRAINS IN BASEMENT AND CAP VENT(S) 305MM (12") BELOW THE GROUND FLOOR STRUCTURE.
- DEMOLISH ALL WATER FEED TO EXISTING HUMIDIFIERS.

S2

SITE SERVICES - WATER SERVICE:

- CONFORM TO O.B.C.- 7.1.5.3. & 7.2.
- INSTALL 25MM DIA PVC WATER LINE MIN 1200MM BELOW FINISHED GRADE FROM HOSPITAL NORTH WING WATER METER ROOM TO LAMBERT HOUSE
- INSTALL SHUT OFF VALVES AT HOSPITAL METER ROOM AND IN LAMBERT HOUSE
- INSTALL CHECK WATER METER IN LAMBERT HOUSE
- REFER TO CIVIL DRAWINGS.

S3

SITE SERVICES - STORM SEWER SERVICE:

- CONFORM TO O.B.C.- 7.1.5.2. & 7.2.
- INSTALL 150MM DIA STORM SEWER LINE MIN 1200MM BELOW FINISHED GRADE FROM LAMBERT HOUSE TO EXISTING SEWER LINE FROM HOSPITAL SOUTH WING
- MAKE TIE IN CONNECTION WITH Y FITTING AND MANHOLES
- CONNECT STORM LINE TO FOUNDATION DRAINS OF LAMBERT HOUSE
- REFER TO CIVIL DRAWINGS.

S4

SITE SERVICES - STORM SANITARY SERVICE:

- CONFORM TO O.B.C.- 7.1.5.1. & 7.2.
- INSTALL 150MM DIA SANITARY SEWER LINE MIN 1200MM BELOW FINISHED GRADE FROM LAMBERT HOUSE TO EXISTING SEWER LINE FROM HOSPITAL SOUTH WING
- MAKE TIE IN CONNECTION WITH Y FITTING
- CONNECT SANITARY LINE TO EXISTING SANITARY DRAIN OUTFALL IN LAMBERT HOUSE
- REFER TO CIVIL DRAWINGS.

M1

BUILDING SYSTEMS - MECHANICAL:

- HVAC:
- RE-INSTALL EXISTING DUCTWORK AS MUCH AS POSSIBLE. WHEN SALVAGE IS NOT POSSIBLE, NEW SHALL BE PROVIDED.
- RE-CONNECT DUCTWORK TO EXTERIOR LOUVRES, GRILLES SERVING GROUND FLOOR, AND NEW HEAT PUMPS.
- PROVIDE AND INSTALL TWO (2X) NEW ELECTRIC HEAT PUMP/AIR CONDITIONING UNITS COMPLETE WITH ELECTRIC RESISTANCE COIL BACK UP AND HUMIDIFICATION UNITS.
  - HEATING CAPACITY OF BOTH UNITS SHALL BE MINIMUM 86 MBH
  - ELECTRIC RESISTANCE COIL SHALL BE SIZED TO MEET HEATING CAPACITY ALONE WHEN OUTDOOR TEMPERATURES ARE TOO COLD FOR HEAT PUMP
  - COOLING CAPACITY OF BOTH UNITS SHALL BE 3 TONS NOMINAL COOLING
  - HUMIDIFIER CAPACITY SHALL BE CAPABLE TO MEET 30% RELATIVE HUMIDITY AT ALL TIMES
  - UNITS SHALL BE INSTALLED IN SAME LOCATION AS PREVIOUS
  - CONDENSING UNITS SHALL BE FLOOR MOUNTED (ON A FRAME SUFFICIENT TO RAISE ABOVE SNOW LINE) EXTERIOR TO BUILDING ON THE EAST SIDE OF THE BUILDING
  - INSTALL NE THERMOSTATS AND CONTROL WIRING FOR BOTH HEAT PUMPS. THERMOSTATS SHELL BE LOCATED ON GROUND FLOOR AND SECOND FLOOR AND CONNECTED TO THEIR ASSOCIATED HEAT PUMPS
  - RE-INSTALL EXISTING HEAT RECOVERY VENTILATOR IN BASEMENT AND CONNECT TO EXISTING OR NEW DUCTWORK AS REQUIRED.

- PLUMBING AND DRAINAGE:
- INSTALL NEW ELECTRIC 30 GALLON, 12 KW DOMESTIC HOT WATER HEATER IN SAME LOCATION AS PREVIOUS WATER HEATER
- CONNECT TO EXISTING COLD AND GOT WATER PLUMBING LINES C/W NEW ISOLATION VALVES
- CONNECT 25MM DOMESTIC COLD WATER LINE TO NORTH WING DOMESTIC WATER SYSTEM IN EXISTING NORTH WING DOWNSTREAM OF METER WITH SHUT OFF IN NORTH WING AND IN BUILDING
- SUPPLY AND INSTALL CHECK WATER METER
- RUN NEW DOMESTIC COLD WATER FEED TO EXISTING POINT OF DOMESTIC COLD WATER ENTRY IN BASEMENT AND CONNECT TO EXISTING DISTRIBUTION
- INSTALL NEW CONDENSATE DRAINAGE LINES FOR HEAT PUMPS
- INSTALL NEW FLOOR DRAINS IN CORRIDOR OF BASEMENT AND FURNACE ROOM IN BASEMENT AS REQUIRED FOR HEAT PUMP AND HOT WATER TANK
- INSTALL NEW BURIED SANITARY AND VENT IN BASEMENT AS REQUIRED TO CONNECT FLOOR DRAINS AND SANITARY AND VENT LINES SERVING SYSTEMS ABOVE
- INSTALL NEW WATER FEED TO HUMIDIFIERS AS REQUIRED.

E1

BUILDING SERVICES - ELECTRICAL:

- SCOPE OF WORK FOR THE RELOCATING CONTRACTOR FOR THE NEW BASEMENT AREA:
- ASSIST LAKERIDGE HEALTH BOWMANVILLE REDEVELOPMENT (LHBR) TO CLOSE ACTIVE HYDRO, TELEPHONE AND INTERNET BILLINGS
- ASSIST LAKERIDGE HEALTH BOWMANVILLE REDEVELOPMENT (LHBR) TO CLOSE ACTIVE HYDRO, TELEPHONE AND INTERNET BILLINGS
- THE RELOCATING CONTRACTOR TO MAKE ARRANGEMENT WITH THE HYDRO, TELEPHONE AND INTERNET SERVICE UTILITY TO REMOVE AND MAKE SAFE THE INCOMING SERVICES TO ITS RESPECTIVE SUPPLY POINT PRIOR TO COMMENCING THE RELOCATION WORK.
- THE RELOCATING CONTRACTOR TO COORDINATE WITH LHBR OPERATIONS:
  - TO COORDINATE, MAKE SAFE, LOCK OUT, AND TAG THE SUPPLY SOURCE IN THE NORTH WING FOR THE SECOND UNDERGROUND FEED.
  - REMOVE SECTION OF WIRING IN THE NORTH WING TO ITS SOURCE ASSOCIATED WITH THE SECOND UNDERGROUND FEED.
  - MARK ON THE LOCATE DRAWING THE ABANDONED SECTION OF BURIED CABLING ASSOCIATED WITH THE SECOND FEED.
- ASSIST AND COORDINATE WITH LHBR ICAT DEPARTMENT IN THE SALVAGING OF SERVER AND SERVER RACK IN THE BASEMENT.
- WIRING:
  - ALL WIRING SHELL BE IN CONDUIT WITH APPROPRIATE METAL JUNCTION AND OUTLET BOXES COMPLETE WITH COVER.
  - WIRING SIZES SHALL BE SIZED FOR APPROPRIATE VOLTAGE DROP.
  - NMD-90 AND AC-90 WIRING ARE NOT ACCEPTABLE.
- LIGHTING FIXTURE AND LIGHTING CONTROL:
  - LIGHTING FIXTURE SHELL BE PORCELAIN KEYLESS SOCKETS COMPLETE WITH LED LAMP WITH A COLOUR TEMPERATURE OF 3000K.
  - PROVIDE APPROPRIATE NUMBER OF LIGHTING FIXTURES IN EACH ROOM CONTROLLED BY WALL MOUNTED TOGGLE SWITCH.
  - PROVIDE 3-WAY SWITCHING AS REQUIRED.
- EMERGENCY EGRESS LIGHTING:
  - PROVIDE APPROPRIATE NUMBER OF UNITIZED EMERGENCY BATTERY UNITS COMPLETE WITH UNIT MOUNTED DOUBLE LIGHTING FIXTURE HEADS ON THE UNIT AND AT APPROPRIATE REMOTE LOCATIONS TO ILLUMINATE THE EMERGENCY EXIT ROUTE.
  - BATTERY CAPACITY LOADING WITH 20% SPARE. BATTERY RUN TIME SHALL BE 60 MINUTES.

- EXIT SIGNS:
  - EXIST SIGN SHALL BE INTERNALLY ILLUMINATED, LED WITH RUNNING MAN GRAPHIC AND APPROPRIATE DIRECTIONAL ARROW.
  - EXIST SIGN SHALL BE COMBO UNIT WITH BATTERY OF 60 MINUTE RUN TIME AN DON SITE INTERCHANGEABLE OPTICAL LENSES FOR ILLUMINATION OF EGRESS PATHWAY.
  - PROVIDE SEPARATE CIRCUIT AND BREAKER IN PANEL WITH BREAKER CLIP.
- SMOKE ALARM:
  - PROVIDE HARDWIRED SMOKE DETECTOR IN BASEMENT AREA. SUPPLY SMOKE DETECTOR COMPLETE WITH LITHIUM ION BATTERY BACKUP WITH LOW BATTERY NOTIFICATION, DEVICE END OF LIFE NOTIFICATION AND PROVISION TO CONNECT TO OTHER SMOKE ALARMS FOR AUDIBLE NOTIFICATION IN THE EVENT ANY ONE SMOKE DETECTOR IN THE STRING IS ACTIVATED.
  - PROVIDE SEPARATE CIRCUIT BREAKER IN PANEL WITH BREAKER CLIP.
- NEW ELECTRICAL SERVICE:
  - EXISTING ELECTRICAL SERVICE IN BASEMENT.
  - LOCATE NEW SERVICE IN SOUTHEAST QUADRANT OF THE NEW BASEMENT.
  - SERVICED FROM SOUTH WING, GROUND FLOOR - ELECTRICAL ROOM SG-37.
  - PROVIDE 200A/200AF SWITCH IN SWITCHBOARD SW.BD AA.
  - PATHWAY OF 4#3/0+G-63mmC, CORE DRILL THROUGH FLOOR OF ELECTRICAL ROOM TO CRAWL SPACE BELOW AND THEN THROUGH NORTH WALL OF SOUTH WING CRAWL SPACE. INDOOR PATHWAY SHALL BE METAL CONDUIT. OUTDOOR PATHWAY BURIED SHALL BE PVC.
  - PROVIDE 120/208V SPLITTER OF MINIMUM AMPACITY OF 225A OF SUFFICIENT LENGTH TO ACCOMMODATE 200A/200AF SWITCH FOR NEW 42 CIRCUIT BREAKER PANEL, FUSED SWITCH SIZED APPROPRIATELY TO SERVICE THE TWO OUTDOOR HEAT PUMP AND FUSED SWITCHED TO ACCOMMODATE THE HEATING COMPONENT OF THE TWO FURNACES.
  - WIRING IN CONDUIT AND PROTECTION FOR THE TWO OUTDOOR HEAT PUMPS AND TWO FURNACE HEATING COMPONENTS TO MECHANICAL SPECIFICATIONS.
  - PROVIDE LOCAL ISOLATING SWITCHES AT ALL INDOOR AND OUTDOOR MECHANICAL EQUIPMENT.
  - PROVIDE LIMACOID TAGS FOR ALL ELECTRICAL DEVICES.
  - PROVIDE TYPED PANEL SCHEDULE OF ALL LOADS SERVICES.

- ESA INSPECTION:
  - ARRANGE AND PAY FOR THE SERVICES OF THE ELECTRICAL SAFETY AUTHOURITY (ESA) INSPECTION OF THE WORK. PROVIDE AN UNCONDITIONAL CERTIFICATION FOR THE PROJECT.

E2

BUILDING SERVICES - TELECOMMUNICATIONS & COMPUTER

- PROVISION FOR FUTURE ICAT SERVICE:
- PROVIDE 2-50mmC DIRECT BURIED DUCT COMPLETE WITH TRACER WIRE, CAUTION TAPE, PULLING ROPES, BELL ENDS FROM NEW BASEMENT OF LAMBERT HOUSE, EAST WALL, TO THE WEST WALL OF THE DEMARCATION ROOM IN THE NORTH WING.
- PROVIDE 4-40mmC DIRECT BURIED DUCT COMPLETE WITH TRACER WIRE, CAUTION TAPE, PULLING ROPES, BELL ENDS FROM RELOCATED BELL/ROGERS PEDESTAL ON LIBERTY STREET INTO THE DEMARCATION ROOM IN THE NORTH WING. THIS IS FOR THE SOUTH PATHWAY.
- WATER TIGHT SEAL AT BOTH ENDS OF ALL DUCTS IN THE INTERIM AND ANNULAR SPACE AFTER PULLING CABLE TO PREVENT THE INGRESS OF WATER.
- EXACT ROUTING OF THE DUCTS TO BE DETERMINED ON SITE AND IN NO INSTANCES TO BE WITHIN THE FOOTPRINT OF THE RELOCATED LAMBERT HOUSE.
- RACEWAY INSIDE THE NORTH WING SHALL BE METAL CONDUIT.
- ASSIST AND COORDINATE WITH LAKERIDGE HEALTH ICAT DEPARTMENT AND THE RESPECTIVE SERVICE PROVIDERS TO SCHEDULE THE WORK FOR LHBR TO ALWAYS MAINTAIN SERVICES TO THE HOSPITAL.

CONSTRUCTION NOTES:  
HERITAGE RESTORATION:

H1

BUILDING RE-LOCATION:

- REMOVE SHRUBBERY, TREES AND LANDSCAPING AROUND EXISTING HOUSE LOCATION
- DISCONNECT AND CAP SERVICE CONNECTIONS TO HOUSE
- APPLY FOR ROAD OCCUPANCY PERMITS WITH TOWN OF CLARINGTON AND DURHAM REGION
- SUPPLY TRAFFIC MANAGEMENT PLAN WITH ROAD OCCUPANCY PERMITS
- APPLY FOR OVER SIZED LOAD PERMIT, AS REQUIRED.
- APPLY FOR ENDANGERED SPECIES (CHIMNEY SWIFTS PERMITS MECP AND MNRF AS REQUIRED
- MOVE BUILDING OUTSIDE OF ENDANGERED SPECIES ROOSTING PERIODS (APRIL 1ST TO AUGUST 31ST)
- COORDINATE TEMPORARY DISCONNECT OF ANY SERVICES OR STREET INFRASTRUCTURE AFFECTED BY ROUTE OF MOVE AND RESTORE FOLLOWING MOVE
- EXCAVATE AROUND HOUSE TO PREPARE FOR MOVING CRADLE
- CONSTRUCT TEMPORARY DRIVE AISLES THROUGHOUT ROUTE AND RESTORE FOLLOWING MOVE
- RELOCATION PLAN AND MOVING OF HOUSE TO BE PERFORMED BY EXPERIENCE BUILDING MOVER
- DESIGN OF MOVING CRADLE BY CERTIFIED STRUCTURAL ENGINEER
- COORDINATE WITH LAKERIDGE HEALTH HOSPITAL FOR MOVING SCHEDULE (WEEKEND OR OVERNIGHT PREFERRED, AS PERMITTED BY MUNICIPALITY)
- MAINTAIN A DAILY PHOTOGRAPHIC AND TIME-LAPSE VIDEO RECORD OF WORK
- REMOVE TREES AND SHRUBBERY AROUND NEW LOCATION
- SALVAGE EXISTING MASONRY UNITS FROM INTERNAL BASEMENT WALLS FOR RE-USE IN BUILDING PATCHING AND REPAIRS.

H2

MASONRY REPOINTING:

- PERFORM VISUAL INSPECTION OF MASONRY FOLLOWING BUILDING MOVE
- CLEAN OUT JOINTS, RE-POINT CRACKS AND CHIPS IN MORTAR JOINTS
- USING LIME BASED MORTAR TO MATCH EXISTING AS CLOSELY AS POSSIBLE
- FILL IN EXISTING WINDOW OPENINGS IN FOUNDATION ABOVE GRADE WITH SALVAGED BRICKS AND LIME BASE MORTAR TO MATCH EXISTING AS NOTED ON ELEVATIONS
- FILL IN EXISTING WINDOW OPENINGS BELOW GRADE WITH BLOCK AND PARGE & DAMPPROOF AS PER NEW FOUNDATION AS NOTED ON ELEVATIONS

H3

BUILDING REPAIR - EXTERIOR PAINTING

- SAND EXTERIOR WOOD TRIM AND COVE MOULDINGS
- PAINT WITH 2 COATS OF EXTERIOR PAINT

H4

BUILDING REPAIR:

- TEMPORARY FIRE PROTECT UNPROTECTED OPENING ASSEMBLIES: 13MM CEMENTITIOUS FIBREBOARD TIGHTLY FITTING INTO MASONRY OPENING; SCREWED INTO WINDOW SURROUND.

H5

BUILDING REPAIR:

- INSPECT EXTERIOR AND INTERIOR OF BUILDING FOLLOWING MOVE; REPAIR/REPLACE BROKEN WINDOWS; PATCH SAND AND PAINT ANY CRACKS IN WALLS WITHIN THE BUILDING; ENSURE FLOORS ARE LEVEL; REPAIR FLOORS AS REQUIRED. MAKE GOOD WITH EXISTING WORK.

DO NOT SCALE DRAWINGS.  
VERIFY ALL DIMENSIONS BY CONTRACTOR  
ON SITE PRIOR TO COMMENCEMENT OF  
ANY WORK. REPORT ANY DISCREPANCIES  
TO THE ARCHITECT.

4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT


YS

ARCHITECTS

VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
WHITBY, ONTARIO. L1R 2L4  
PHONE/FAX: (905) 668-9207  
email: info@vjsarch.ca

ONTARIO ASSOCIATION  
OF  
ARCHITECTS

*Vincent J. Santamaura*  
VINCENT J. SANTAMAURA  
LICENCE  
05NOV2024



CLIENT:  
**LAKERIDGE HEALTH CORP.**  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

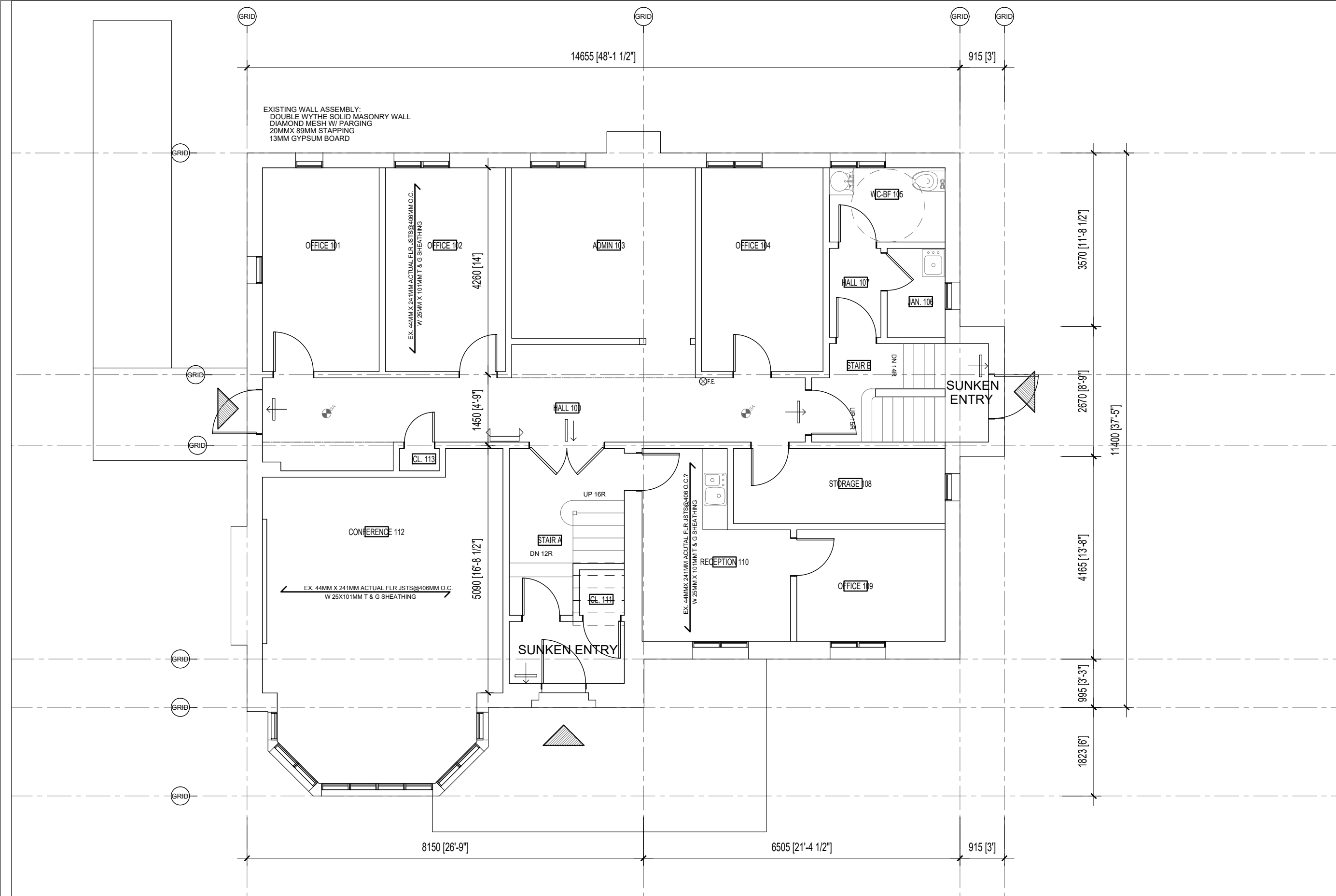
PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITTLE:  
**CONSTRCUCTION NOTES -2**

DATE: 14NOV2024	SCALE: 1:50
DRAWN BY: VJS	CHECKED BY: VJS
PROJECT NUMBER:	DRAWING NUMBER:

2024-01A3





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3-ISSD: 05NOV2024 - BUILDING PERMIT



VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
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ONTARIO ASSOCIATION  
OF  
ARCHITECTS

  
VINCENT J. SANTAMAURA  
LICENCE  
4726  
05NOV2024



CLIENT:  
**LAKERIDGE HEALTH CORP.**  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
**EXISTING GROUND PLAN**

DATE: 14NOV2024

SCALE: 1:75

DRAWN BY: VJS

CHECKED BY: VJS

PROJECT NUMBER:

DRAWING NUMBER:

2024-01

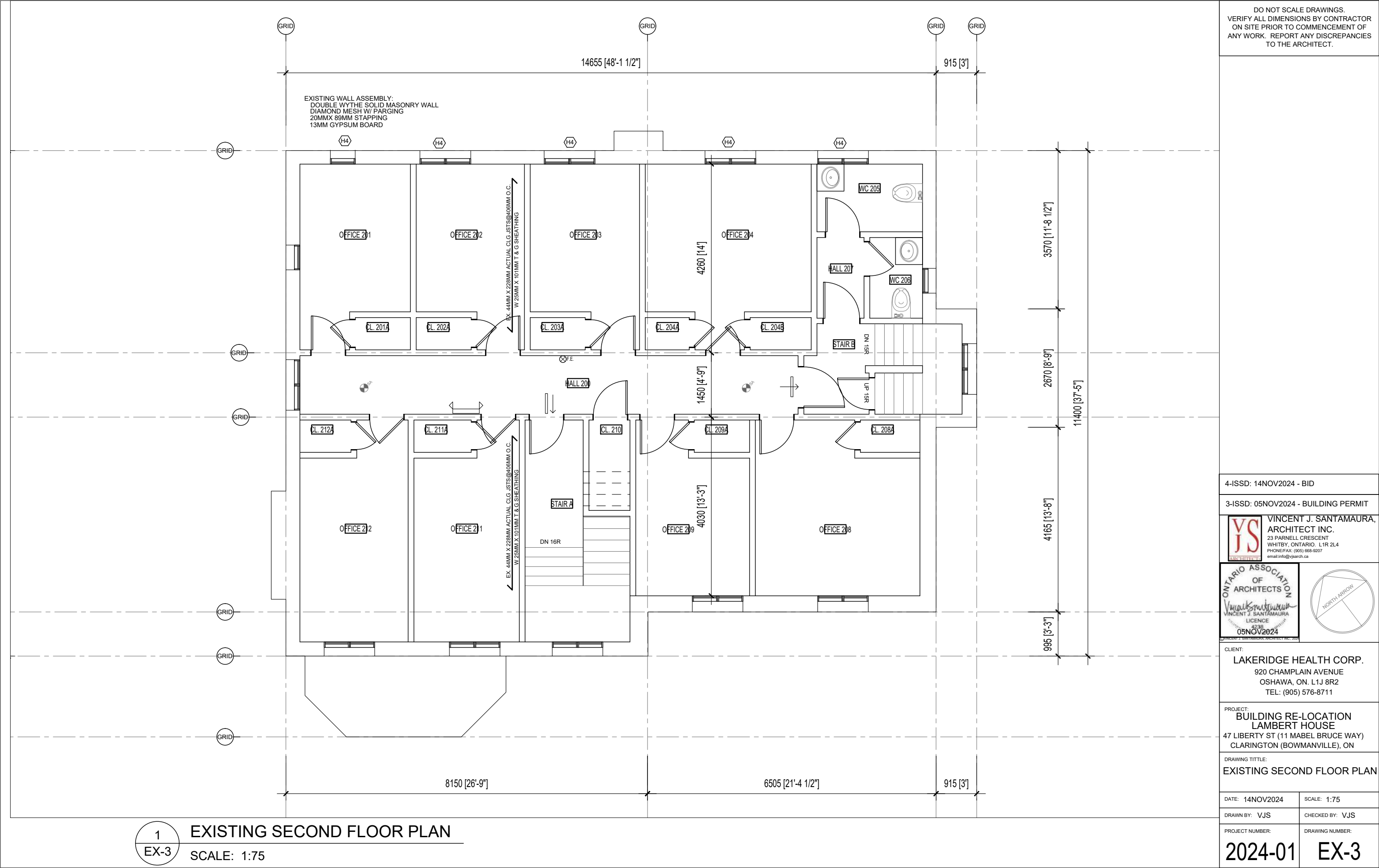
EX-2

1

EX-2

EXISTING GROUND FLOOR PLAN

SCALE: 1:75



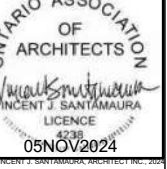
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4-ISSD: 14NOV2024 - BID


3-ISSD: 05NOV2024 - BUILDING PERMIT



VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
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email: info@vjsarch.ca



VINCENT J. SANTAMAURA  
L1R2B  
05NOV2024



NORTH ARROW

CLIENT:  
**LAKERIDGE HEALTH CORP.**  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
**EXISTING SECOND FLOOR PLAN**

DATE: 14NOV2024 SCALE: 1:75

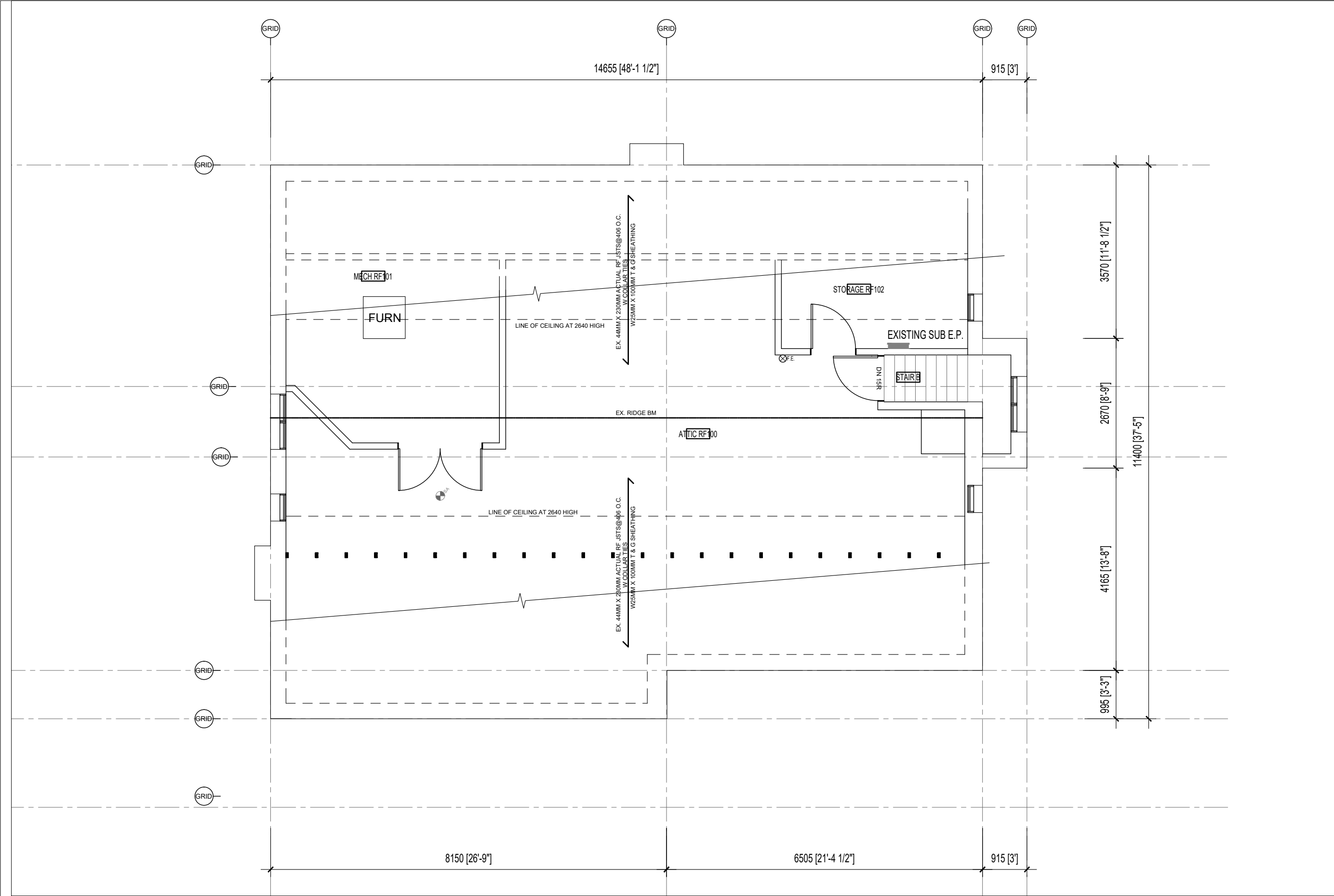
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PROJECT NUMBER: DRAWING NUMBER:

**2024-01 EX-3**

**1**  
**EX-3**  
**EXISTING SECOND FLOOR PLAN**  
SCALE: 1:75





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VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
WHITBY, ONTARIO, L1R 2L4  
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VINCENT J. SANTAMAURA  
ARCHITECT INC.  
L1R 2L4  
05NOV2024

CLIENT:  
**LAKERIDGE HEALTH CORP.**  
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OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
**EXISTING ATTIC FLOOR PLAN**

DATE: 14NOV2024	SCALE: 1:75
DRAWN BY: VJS	CHECKED BY: VJS
PROJECT NUMBER: <b>2024-01</b>	DRAWING NUMBER: <b>EX-4</b>

**1**  
**EX-4** **EXISTING ATTIC FLOOR PLAN**  
SCALE: 1:75

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4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT



**VINCENT J. SANTAMAURA**  
**ARCHITECT INC.**  
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email: info@vjsarch.ca



CLIENT:

LAKERIDGE HEALTH CORP.

920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
EXISTING FRONT ELEVATION

DATE: 14NOV2024

SCALE: 1:75

DRAWN BY: VJS

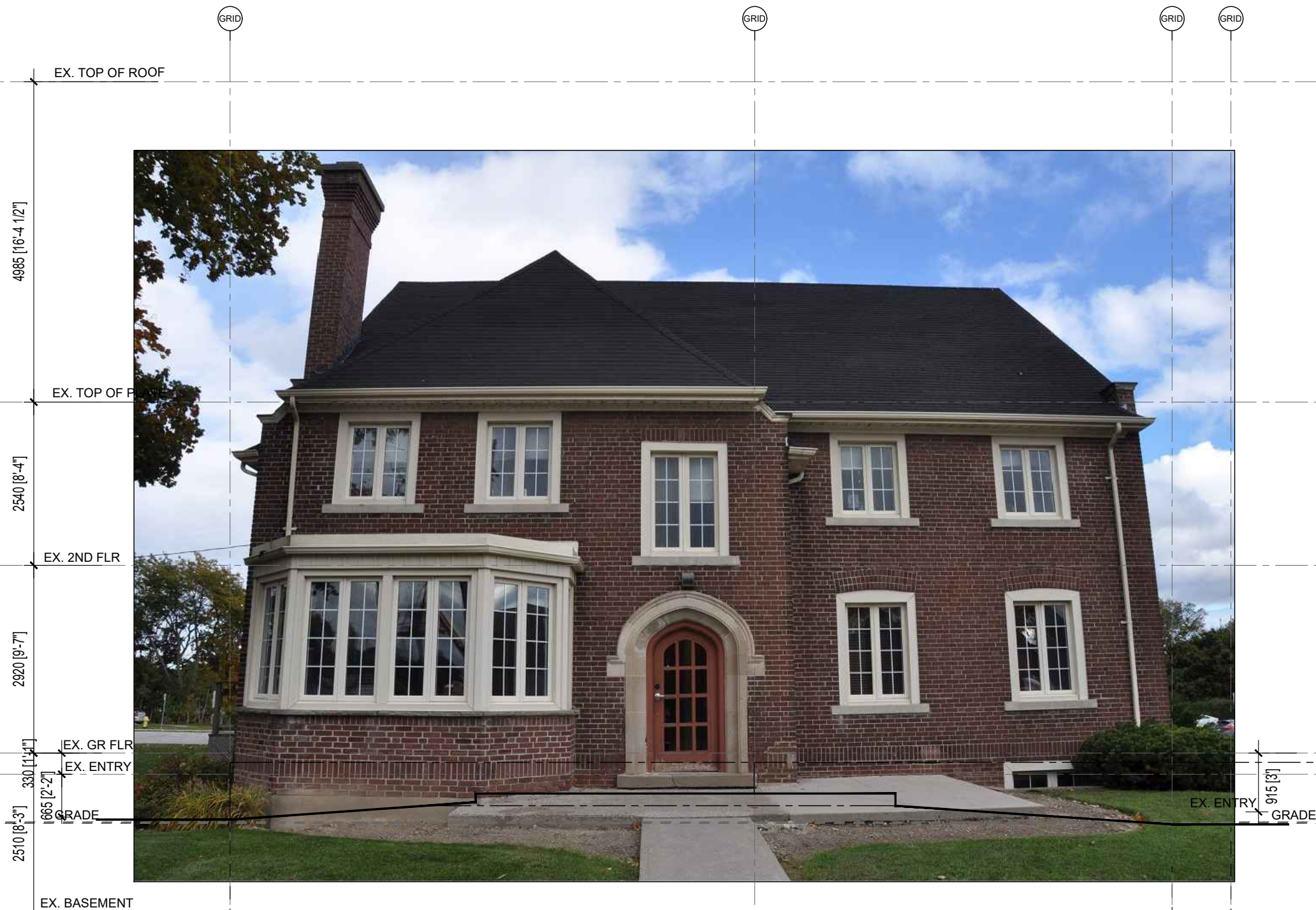
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PROJECT NUMBER

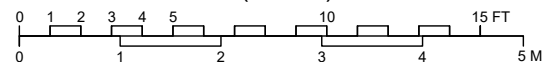
DRAWING NUMBER:

2024-01

# EX-5



### EXISTING FRONT (WEST) ELEVATION



EX. EBF = 97.63 M2  
UPO = 20.13M2 (20.61%)

1

### EXISTING FRONT (WEST) ELEVATION

EX-5

SCALE: 1:50



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3-ISSD: 05NOV2024 - BUILDING PERMIT

**VINCENT J. SANTAMAURA,**  
ARCHITECT INC.  
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CLIENT:  
**LAKERIDGE HEALTH CORP.**  
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TEL: (905) 576-8711

PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
**EXISTING RIGHT ELEVATION**

DATE: 14NOV2024

SCALE: 1:75

DRAWN BY: VJS

CHECKED BY: VJS

PROJECT NUMBER:

DRAWING NUMBER:

**2024-01**

**EX-6**

1  
EX-6

**EXISTING RIGHT (SOUTH) ELEVATION**

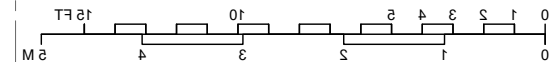
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EXISTING REAR (EAST) ELEVATION



EX. EBF = 101.74 M2  
UPO = 32.22M2 ( 31.66%)

4-SSD: 14NOV2024 - BID

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CLIENT:  
LAKERIDGE HEALTH CORP.  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
EXISTING REAR ELEVATION

DATE: 14NOV2024	SCALE: 1:75
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DRAWN BY: VJS	CHECKED BY: VJS
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PROJECT NUMBER

DRAWING NUMBER:

2024-01

EX-7

1 EXISTING REAR (EAST) ELEVATION  
EX-7 SCALE: 1:75



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4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT

YS

ARCHITECTS

VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
WHITEBY, ONTARIO. L1R 2L4  
PHONE/FAX: (905) 668-9207  
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ONTARIO ASSOCIATION  
OF  
ARCHITECTS

*Vincent J. Santamaura*  
VINCENT J. SANTAMAURA  
LICENCE  
05NOV2024

NORTH ARROW

CLIENT:

LAKERIDGE HEALTH CORP.  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:

BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:

EXISTING LEFT ELEVATION

DATE: 14NOV2024

SCALE: 1:75

DRAWN BY: VJS

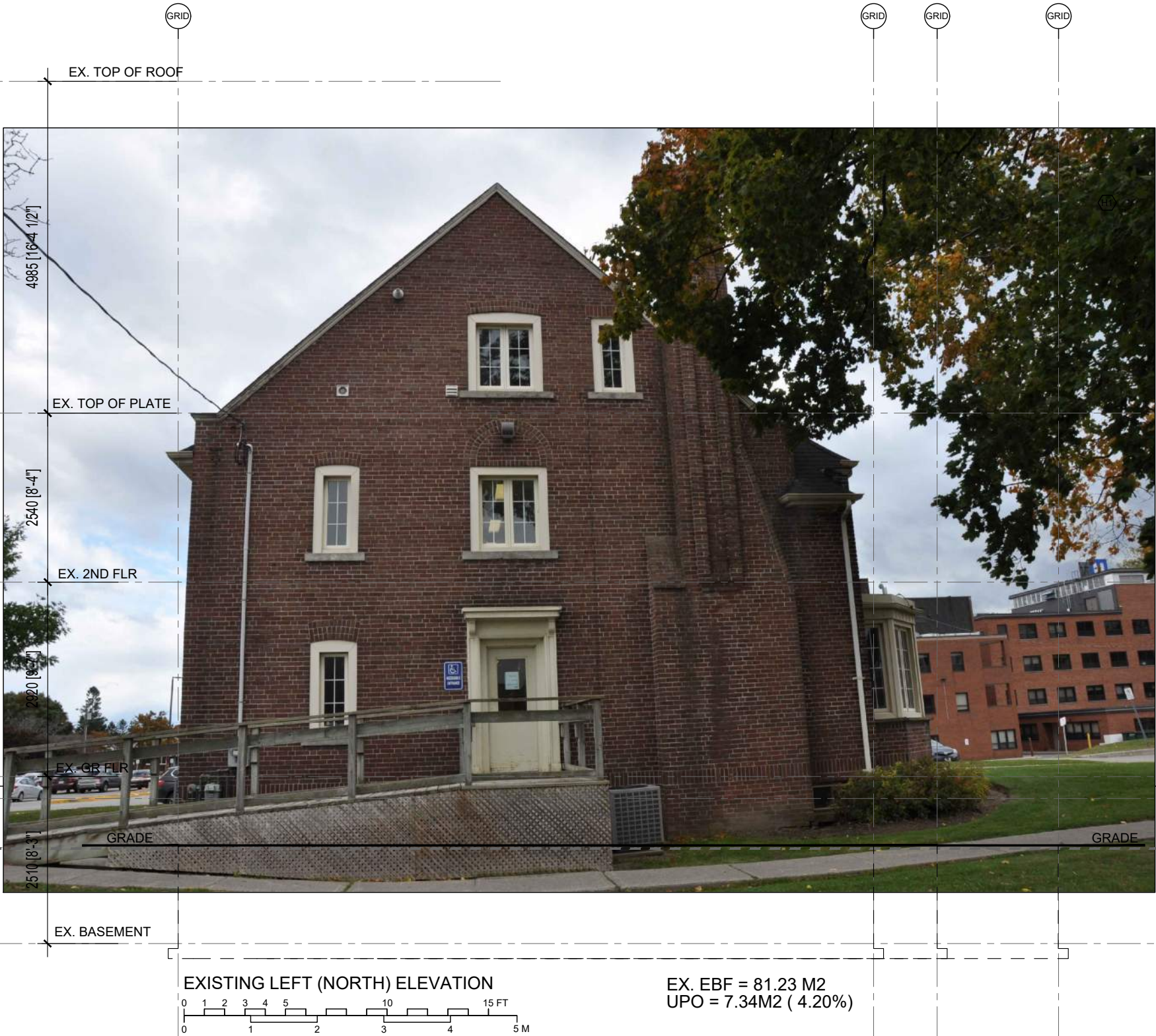
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PROJECT NUMBER:

DRAWING NUMBER:

2024-01

EX-8

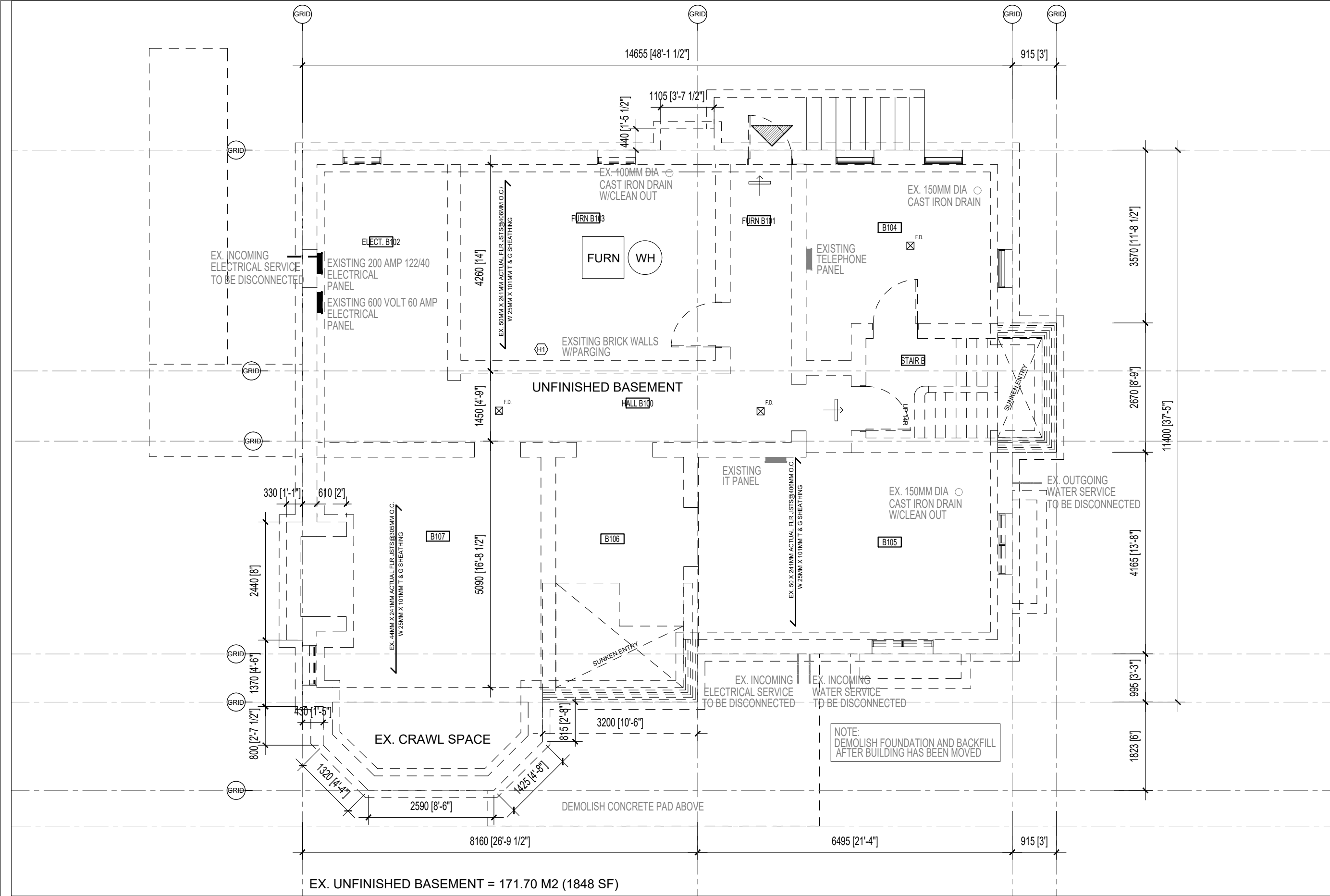


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EX-8

EXISTING LEFT (NORTH) ELEVATION

SCALE: 1:75



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4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT

VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
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VINCENT J. SANTAMAURA  
L1R 2L4  
05NOV2024

CLIENT:  
LAKERIDGE HEALTH CORP.  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
DEMOLITION PLAN

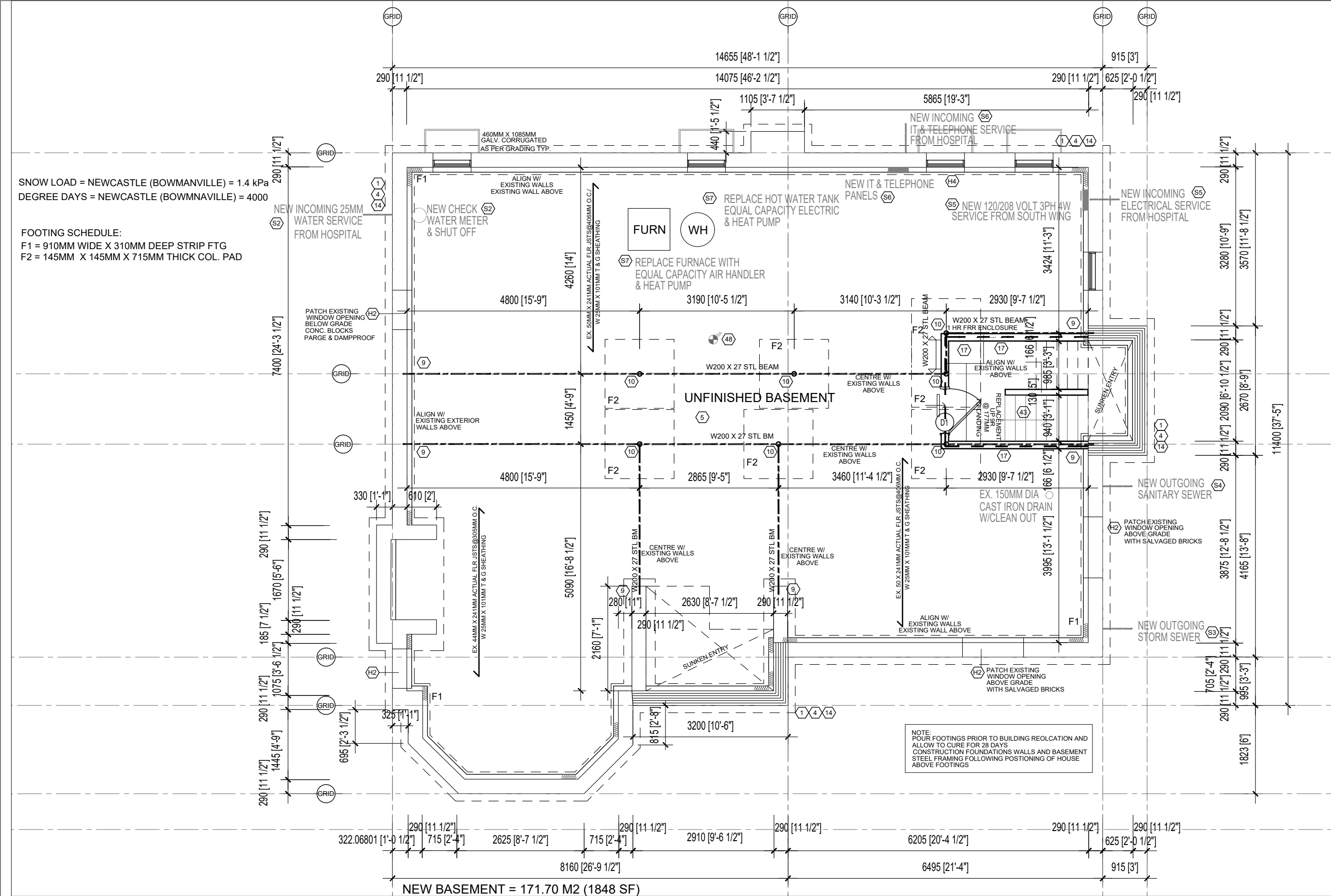
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PROJECT NUMBER:

SCALE: 1:75  
CHECKED BY: VJS  
DRAWING NUMBER:

2024-01  
D1

1  
EX-1  
EXISTING BASEMENT PLAN  
SCALE: 1:75





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4-ISSD: 14NOV2024 - BID

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VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
WHITBY, ONTARIO, L1R 2L4  
PHONE/FAX: (905) 668-9207  
email: info@vjsarch.ca

VINCENT J. SANTAMAURA  
ARCHITECT  
LICENCE  
05NOV2024

CLIENT:

LAKERIDGE HEALTH CORP.

920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:

BUILDING RE-LOCATION  
LAMBERT HOUSE

47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:

NEW BASMENT PLAN

DATE: 14NOV2024	SCALE: 1:75
DRAWN BY: VJS	CHECKED BY: VJS
PROJECT NUMBER:	DRAWING NUMBER:
2024-01	A4

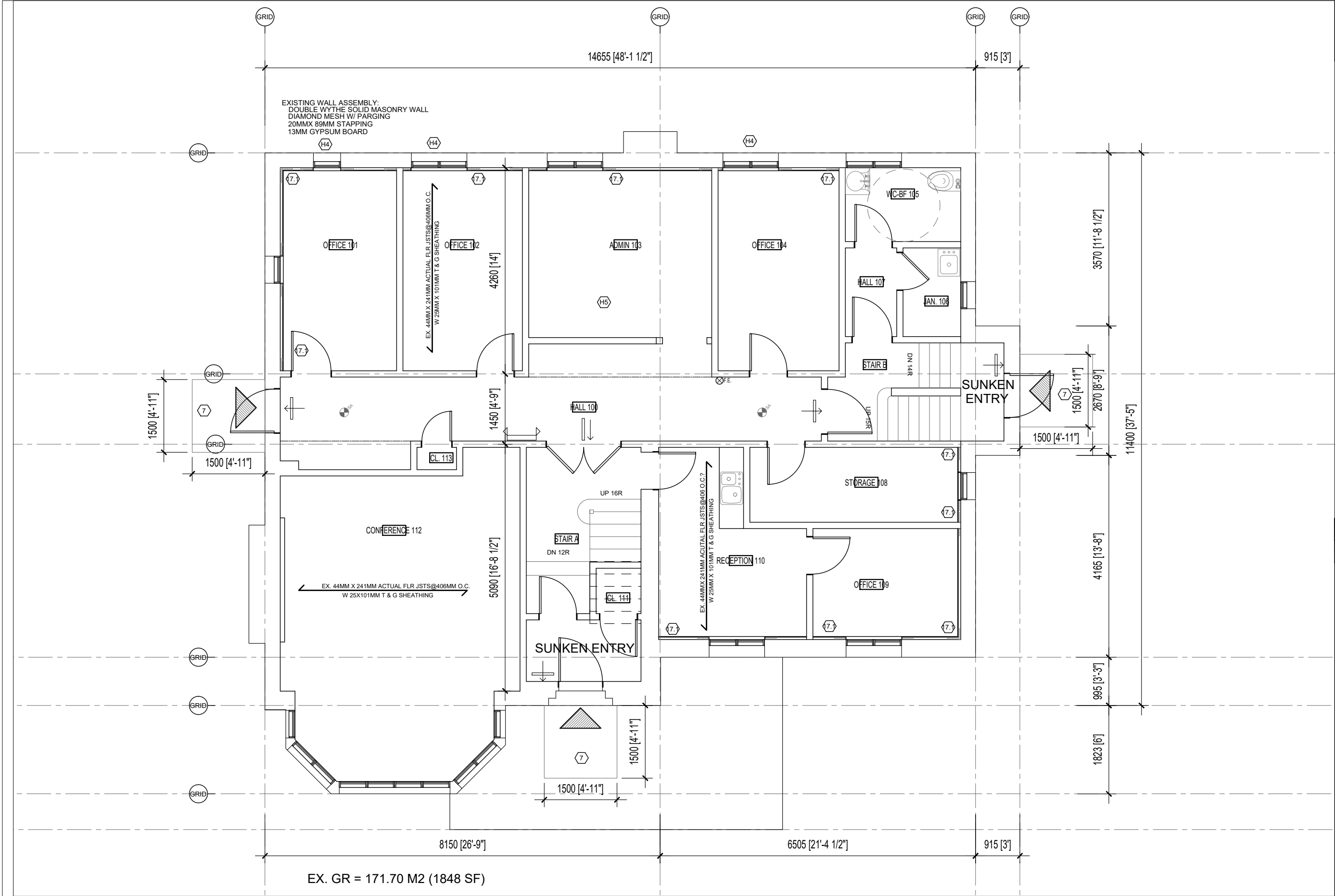
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A1

BASMENT PLAN (NEW)

SCALE: 1:75

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4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT

**YS** ARCHITECT  
VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
WHITBY, ONTARIO, L1R 2L4  
PHONE/FAX: (905) 668-9207  
email: info@vjsarch.ca

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
VINCENT J. SANTAMAURA  
LICENCE  
05NOV2024  
NORTH ARROW

CLIENT:  
**LAKERIDGE HEALTH CORP.**  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
**EXISTING GROUND FLOOR  
INTERIOR ALTERATIONS**

DATE: 14NOV2024 SCALE: 1:75

DRAWN BY: VJS CHECKED BY: VJS

PROJECT NUMBER: DRAWING NUMBER:

**2024-01 A5**

**1**  
**A1** **EXISTING GROUND FLOOR - INTERIOR ALTERATIONS**  
SCALE: 1:75





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VINCENT J. SANTAMAURA  
ARCHITECT  
LICENCE  
05NOV2024

CLIENT:  
LAKERIDGE HEALTH CORP.  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
EXISTING SECOND FLOOR  
INTERIOR ALTERATIONS

DATE: 14NOV2024SCALE: 1:75

DRAWN BY: VJS  
CHECKED BY: VJS

PROJECT NUMBER:  
2024-01

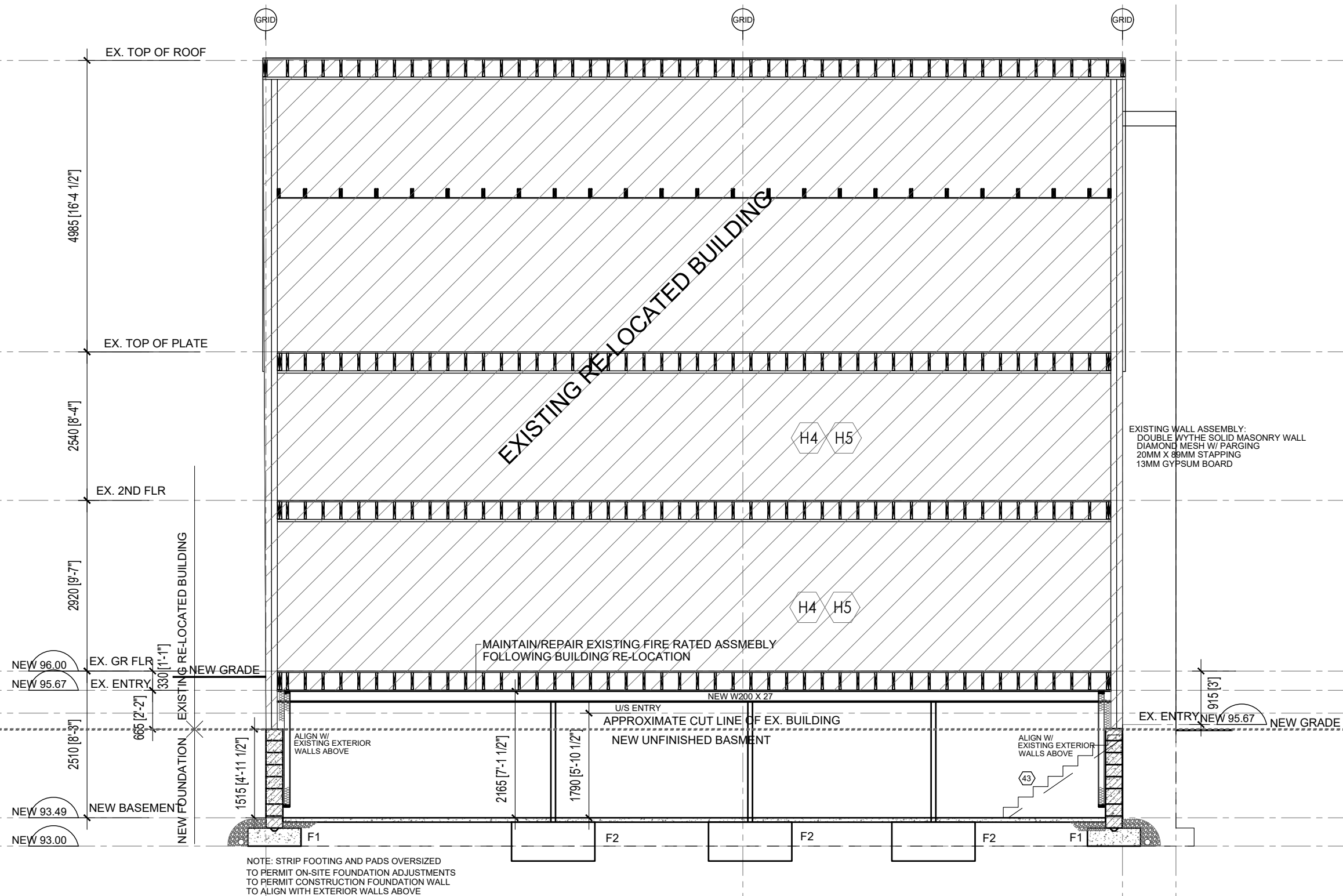
DRAWING NUMBER:  
A6

1  
A1

EXISTING SECOND FLOOR - INTERIOR ALTERATIONS

SCALE: 1:75

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3-ISSD: 05NOV2024 - BUILDING PERMIT



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PROJECT:  
BUILDING RE-LOCATION  
LAMBERT HOUSE  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:

**BUILDING SECTION**

DATE: 14NOV2024

SCALE: 1:75

DRAWN BY: VJS

CHECKED BY: VJS

PROJECT NUMBER

DRAWING NUMBER

2024-01

A7

1

A6

### NORTH-SOUTH BUILDING SECTION

SCALE: 1:75





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YS

ARCHITECT

VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
WHITBY, ONTARIO, L1R 2L4  
PHONE/FAX: (905) 668-9207  
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ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
VINCENT J. SANTAMAURA  
LICENCE  
05NOV2024

CLIENT:  
**LAKERIDGE HEALTH CORP.**  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
**EXISTING FRONT ELEVATION  
EXTERIOR RESTORATION**

DATE: 14NOV2024

SCALE: 1:75

DRAWN BY: VJS

CHECKED BY: VJS

PROJECT NUMBER:

DRAWING NUMBER:

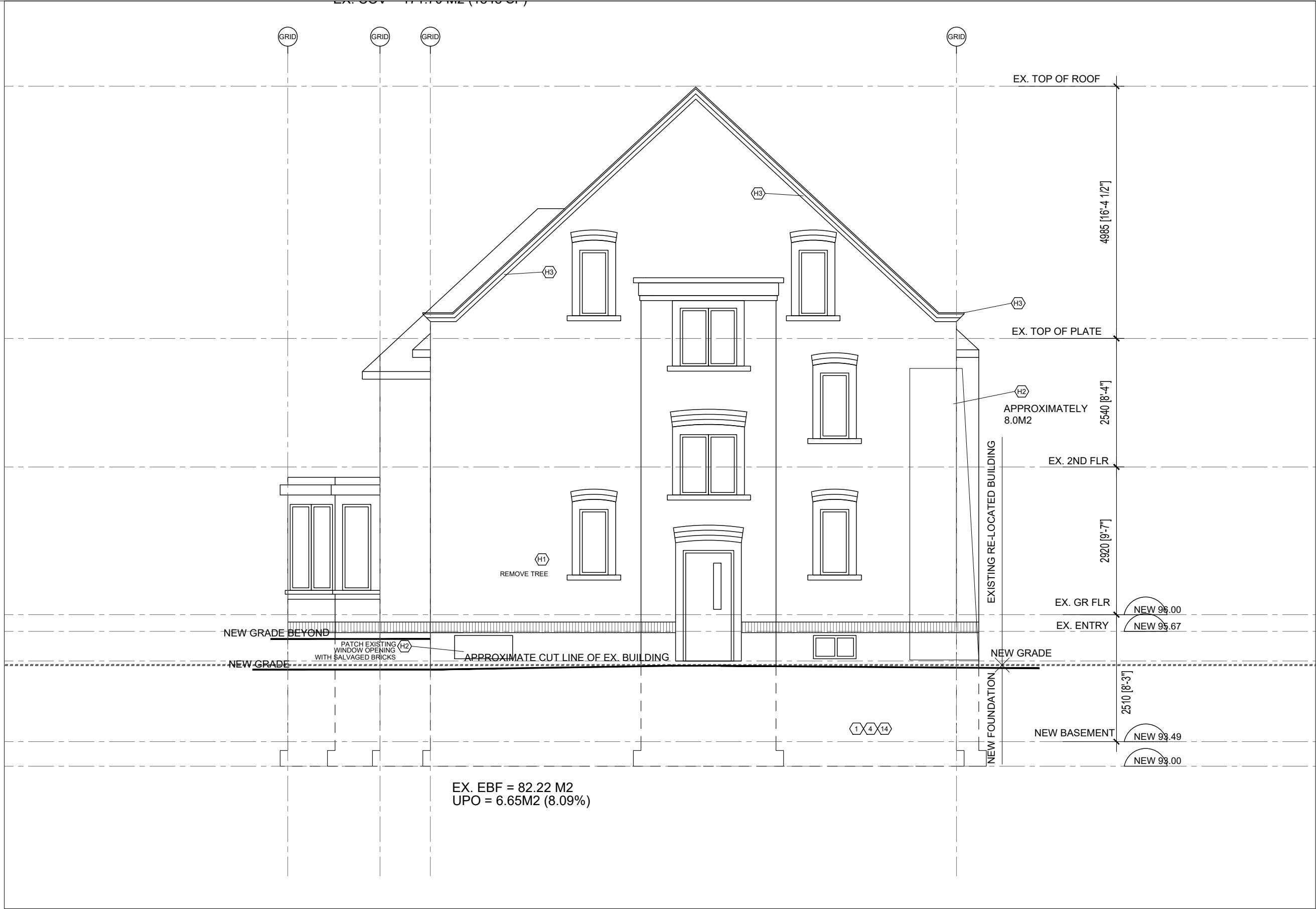
2024-01

A8




1  
EX-5

EXISTING FRONT (WEST) ELEVATION

SCALE: 1:50



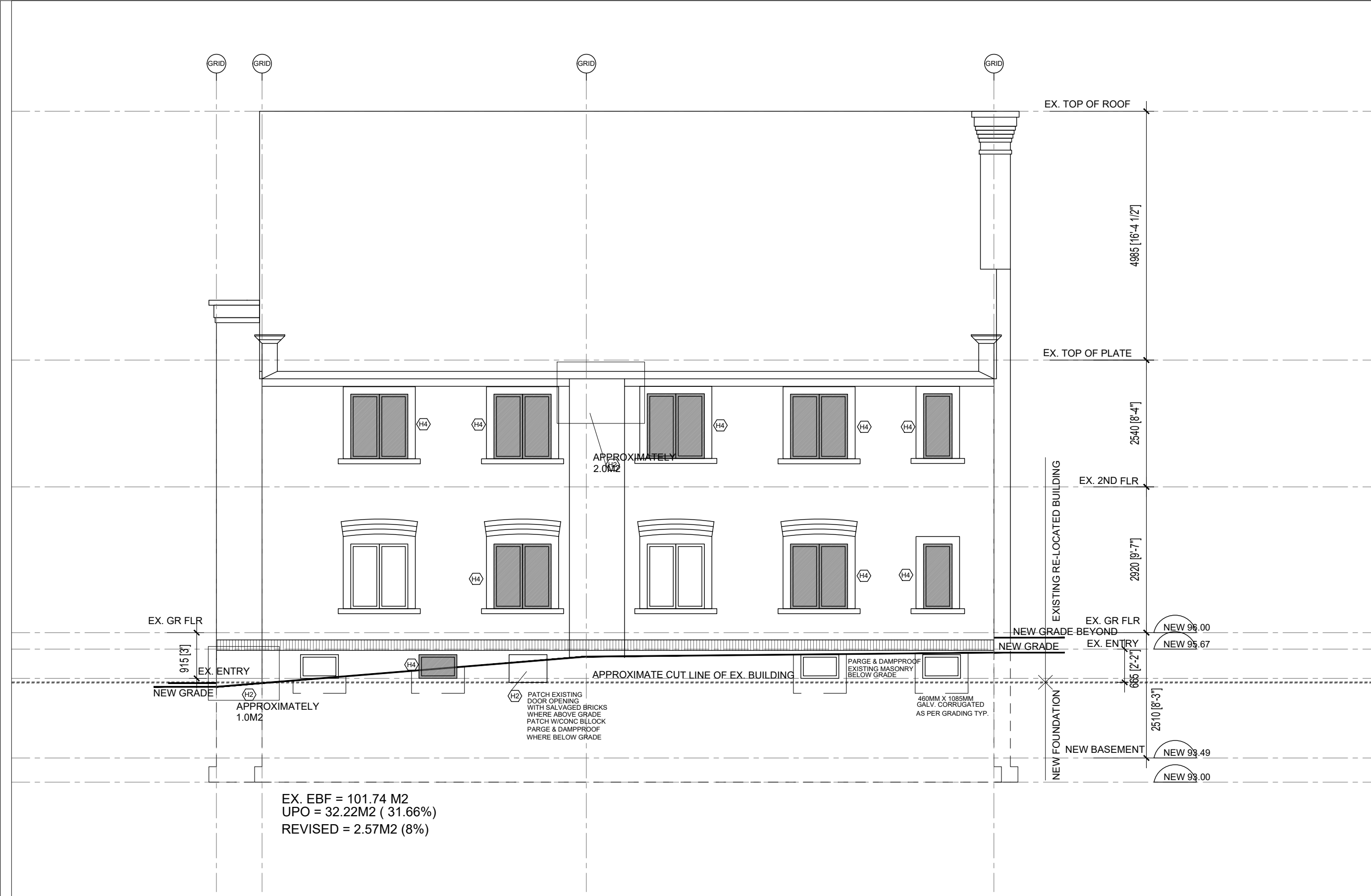
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4-ISSD: 14NOV2024 - BID	
3-ISSD: 05NOV2024 - BUILDING PERMIT	
	VINCENT J. SANTAMAURA, ARCHITECT INC. 23 PARNELL CRESCENT WHITBY, ONTARIO, L1R 2L4 PHONE/FAX: (905) 668-9207 email: info@vjsarch.ca
	
CLIENT: LAKERIDGE HEALTH CORP. 920 CHAMPLAIN AVENUE OSHAWA, ON. L1J 8R2 TEL: (905) 576-8711	
PROJECT: BUILDING RE-LOCATION LAMBERT HOUSE 47 LIBERTY ST (11 MABEL BRUCE WAY) CLARINGTON (BOWMANVILLE), ON	
DRAWING TITLE: EXISTING RIGHT ELEVATION EXTERIOR RSTORATION	
DATE: 14NOV2024	SCALE: 1:75
DRAWN BY: VJS	CHECKED BY: VJS
PROJECT NUMBER:	DRAWING NUMBER:
2024-01	A9

1  
EX-6

EXISTING RIGHT (SOUTH) ELEVATION  
SCALE: 1:50



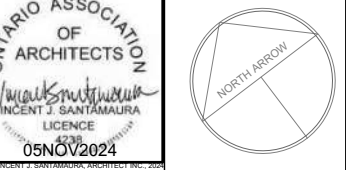


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4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT

**VINCENT J. SANTAMAURA,**  
ARCHITECT INC.  
23 PARNELL CRESCENT  
WHITEBY, ONTARIO, L1R 2L4  
PHONE/FAX: (905) 668-9207  
email: info@vjsarch.ca



CLIENT:  
**LAKERIDGE HEALTH CORP.**  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
**EXISTING REAR ELEVATION  
EXTERIOR RESTORATION**

DATE: 14NOV2024	SCALE: 1:75
DRAWN BY: VJS	CHECKED BY: VJS
PROJECT NUMBER:	DRAWING NUMBER:
<b>2024-01</b>	<b>A10</b>

**1**  
**EX-7**  
**EXISTING REAR (EAST) ELEVATION**  
**SCALE: 1:75**

DO NOT SCALE DRAWINGS.  
VERIFY ALL DIMENSIONS BY CONTRACTOR  
ON SITE PRIOR TO COMMENCEMENT OF  
ANY WORK. REPORT ANY DISCREPANCIES  
TO THE ARCHITECT.

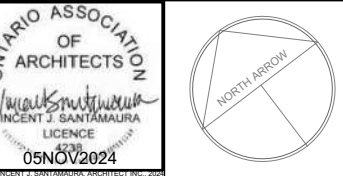


EX. EBF = 81.23 M2  
UPO = 7.34M2 ( 4.20%)

4-ISSD: 14NOV2024 - BID

3-ISSD: 05NOV2024 - BUILDING PERMIT

**YS** ARCHITECTS  
VINCENT J. SANTAMAURA,  
ARCHITECT INC.  
23 PARNELL CRESCENT  
WHITBY, ONTARIO, L1R 2L4  
PHONE/FAX: (905) 668-9207  
email: info@vjsarch.ca



CLIENT:  
**LAKERIDGE HEALTH CORP.**  
920 CHAMPLAIN AVENUE  
OSHAWA, ON. L1J 8R2  
TEL: (905) 576-8711

PROJECT:  
**BUILDING RE-LOCATION  
LAMBERT HOUSE**  
47 LIBERTY ST (11 MABEL BRUCE WAY)  
CLARINGTON (BOWMANVILLE), ON

DRAWING TITLE:  
**EXISTING LEFT ELEVATION  
EXTERIOR RESTORATION**

DATE: 14NOV2024 SCALE: 1:75  
DRAWN BY: VJS CHECKED BY: VJS

PROJECT NUMBER: 2024-01  
DRAWING NUMBER: A11

1  
EX-8  
**EXISTING LEFT (NORTH) ELEVATION**  
SCALE: 1:75







**HVAC NOTES:**

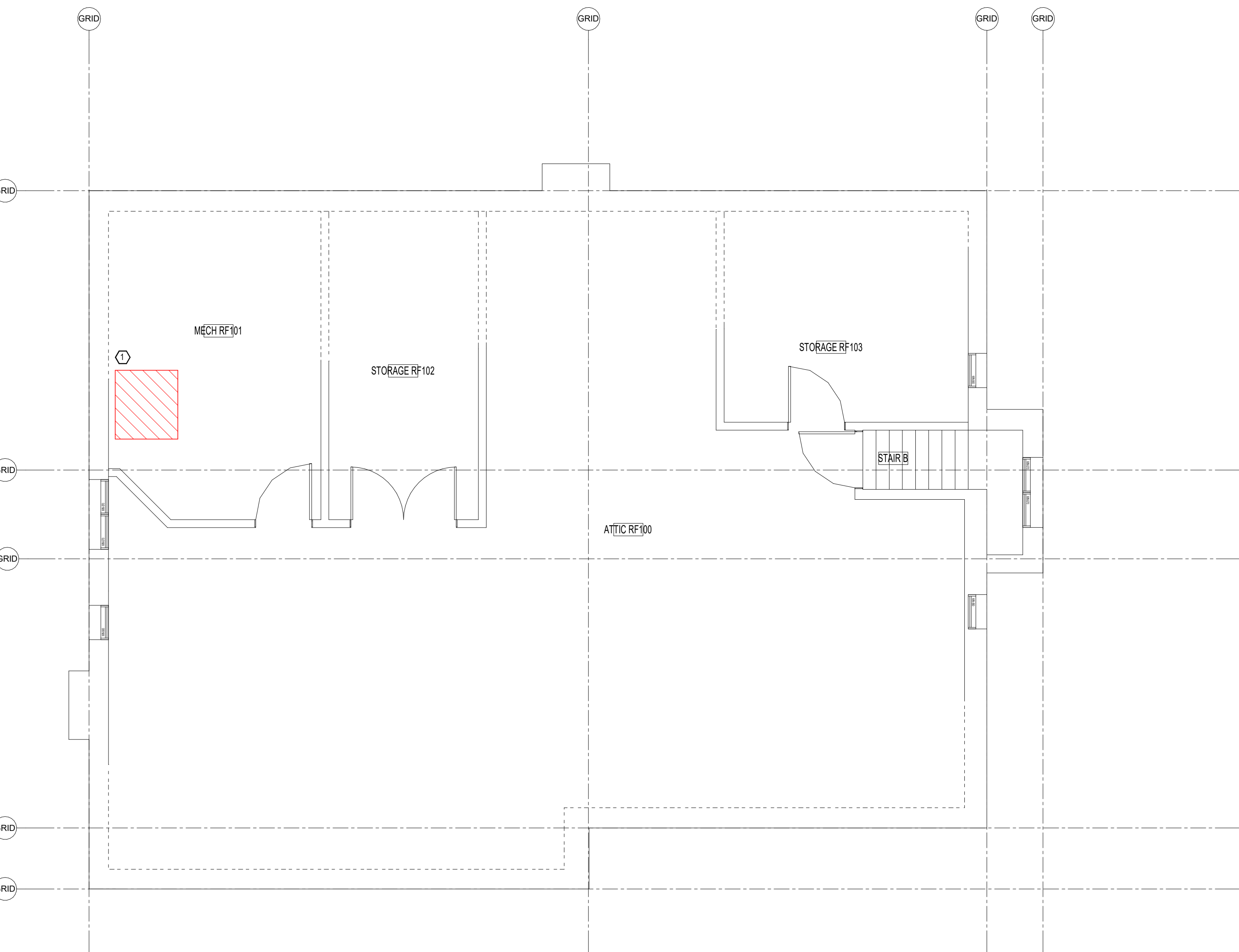
1. ALL EXISTING HVAC DUCTWORK SHOWN ARE APPROXIMATE AND BASED ON VISUAL SITE SURVEY. CONTRACTOR SHALL VERIFY ALL DUCT SIZES AND CONNECTIONS ON SITE AND REPORT ANY DISCREPANCY TO THE CONSULTANT FOR RESOLUTION.
2. ALL EXISTING HVAC DUCTWORK THAT MAY NOT BE SHOWN ON THE DRAWINGS AND ARE EXPOSED DURING DEMOLITION CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR AS TO THE SOURCE AND ROUTING, AND SHALL BE REPORTED TO THE CONSULTANT WITH PROPOSED RESOLUTIONS REQUIRED FOR THE SERVICE THAT HAVE BEEN EXPOSED.
3. REFER TO ARCHITECTURAL DRAWINGS AND DOCUMENTS FOR DETAILS ON PHASING AND SUMMARY OF WORK. MECHANICAL CONTRACTOR MUST REVIEW DRAWINGS OF ALL TRADES TO INCLUDE FOR TEMPORARY REMOVAL AND RENOVATION OF ALL HVAC SERVICES TO ACCOMMODATE ALL TRADES WORK.
4. ALL EXISTING DUCTWORK, GRILLES, BALANCING DAMPERS, ETC. ON THE GROUND FLOOR, SECOND FLOOR, AND ATTIC ARE TO REMAIN.

**HVAC KEYNOTES:**

- ① DEMOLISH EXISTING NATURAL GAS FURNACE ALONG WITH IN DUCT COOLING COIL AND HUMIDIFIER. SEE PHOTOS 1 AND 2 ON M003. REMOVE ALL ASSOCIATED AIR INTAKE AND COMBUSTION FUE PIPING, NATURAL GAS PIPING, CONTROL WIRING, CONDENSATE DRAIN LINES, AND THERMOSTAT.
- ② DEMOLISH EXISTING EXTERIOR CONDENSING UNIT ON GROUND LEVEL AND ASSOCIATED REFRIGERANT PIPING TO INDOOR COOLING COIL.
- ③ DISCONNECT EXISTING HEAT RECOVERY VENTILATOR IN BASEMENT FROM POWER AND DUCTWORK AND STORE FOR RE-USE. ASSOCIATED DUCTWORK TO BE DEMOLISHED. EXISTING LOUVRES AT PERIMETER TO REMAIN.
- ④ REMOVE ALL DUCTWORK IN BASEMENT TO ACCOMMODATE HOUSE RELOCATION.
- ⑤ EXISTING NATURAL GAS METER AND PRV STATION TO BE DECOMMISSIONED AND DEMOLISHED. DEMOLISH ALL EXISTING NATURAL GAS PIPING SERVING FURNACES INSIDE BUILDING. INCLUDE FOR 30 METRES OF NATURAL GAS PIPING DEMOLITION.
- ⑥ EXISTING 350x250 RA DUCT SERVING GROUND FLOOR. REMOVE DUCTWORK UP TO VERTICAL TRANSITION AND CAP IMMEDIATELY BELOW GROUND FLOOR SLAB.
- ⑦ EXISTING 150x SA DUCT UP TO FLOOR GRILLE SERVING GROUND FLOOR. REMOVE DUCTWORK UP TO VERTICAL TRANSITION AND CAP IMMEDIATELY BELOW GROUND FLOOR SLAB.
- ⑧ PROVIDE AND INSTALL NEW ELECTRIC HEAT PUMP / AIR CONDITIONING UNITS IN SAME LOCATIONS AS PREVIOUS UNITS. RE-WORK EXISTING SUPPLY AND RETURN DUCTWORK IN ATTIC AS REQUIRED. RUN CONDENSATE DRAINAGE TO EXISTING DRAINAGE LINE IN ATTIC AND NEW FUNNEL FLOOR DRAIN IN BASEMENT.
- ⑨ RE-INSTALL EXISTING HEAT RECOVERY VENTILATOR IN BASEMENT. RUN NEW CONDENSATE DRAIN LINE TO NEW FUNNEL FLOOR DRAIN. EXISTING CONTROLS (IF APPLICABLE) TO BE RE-USED.
- ⑩ PROVIDE AND INSTALL NEW EXTERIOR CONDENSING UNIT FOR HEAT PUMP AT GRADE. CONDENSING UNITS SHALL BE MOUNTED ON A FRAME EXTERIOR TO THE BUILDING ON A NEW CONCRETE PAD. USE EXISTING REFRIGERANT LINE PENETRATIONS TO RUN NEW REFRIGERANT LINES TO NEW INDOOR UNITS.
- ⑪ CONNECT NEW 150x SA DUCT TO EXISTING FLOOR GRILLE SERVING GROUND FLOOR. BALANCE TO BE CFM.
- ⑫ CONNECT NEW 300x250 RA DUCT TO EXISTING VERTICAL DUCT SERVING GROUND FLOOR.
- ⑬ NEW 150x DUCT TO CONNECT TO EXISTING LOUVER.
- ⑭ NEW WALL MOUNTED RESIDENTIAL HUMIDIFIER, YORK MODEL S1-STEAM800070 (COMPLETE WITH AUTOMATIC HUMIDIFIER CONTROL OR APPROVED ALTERNATE). MOUNT DISPERSION TUBE IN RETURN AIR DUCT.

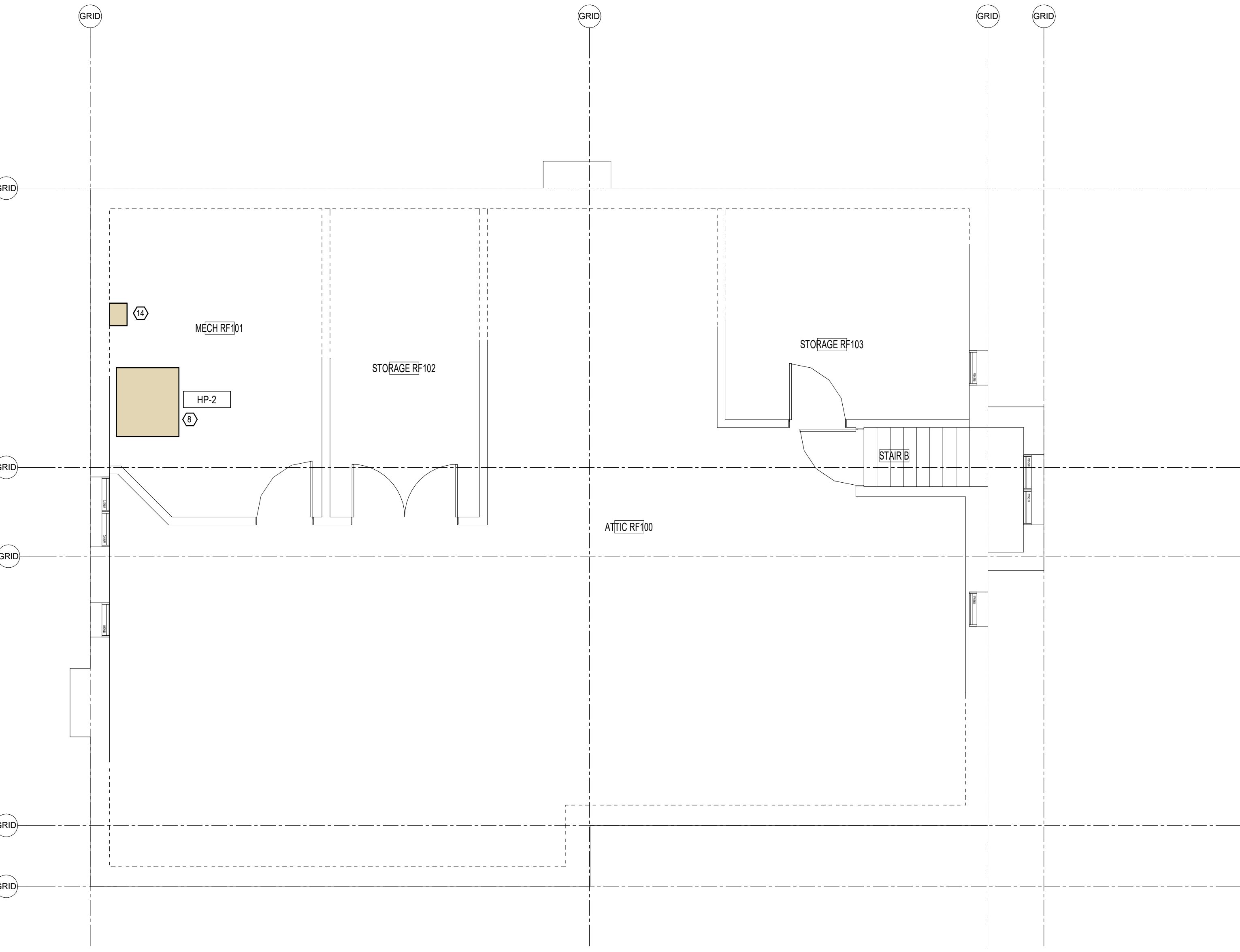
**1 ATTIC - HVAC DEMOLITION**

M-LAMB-001 1:50



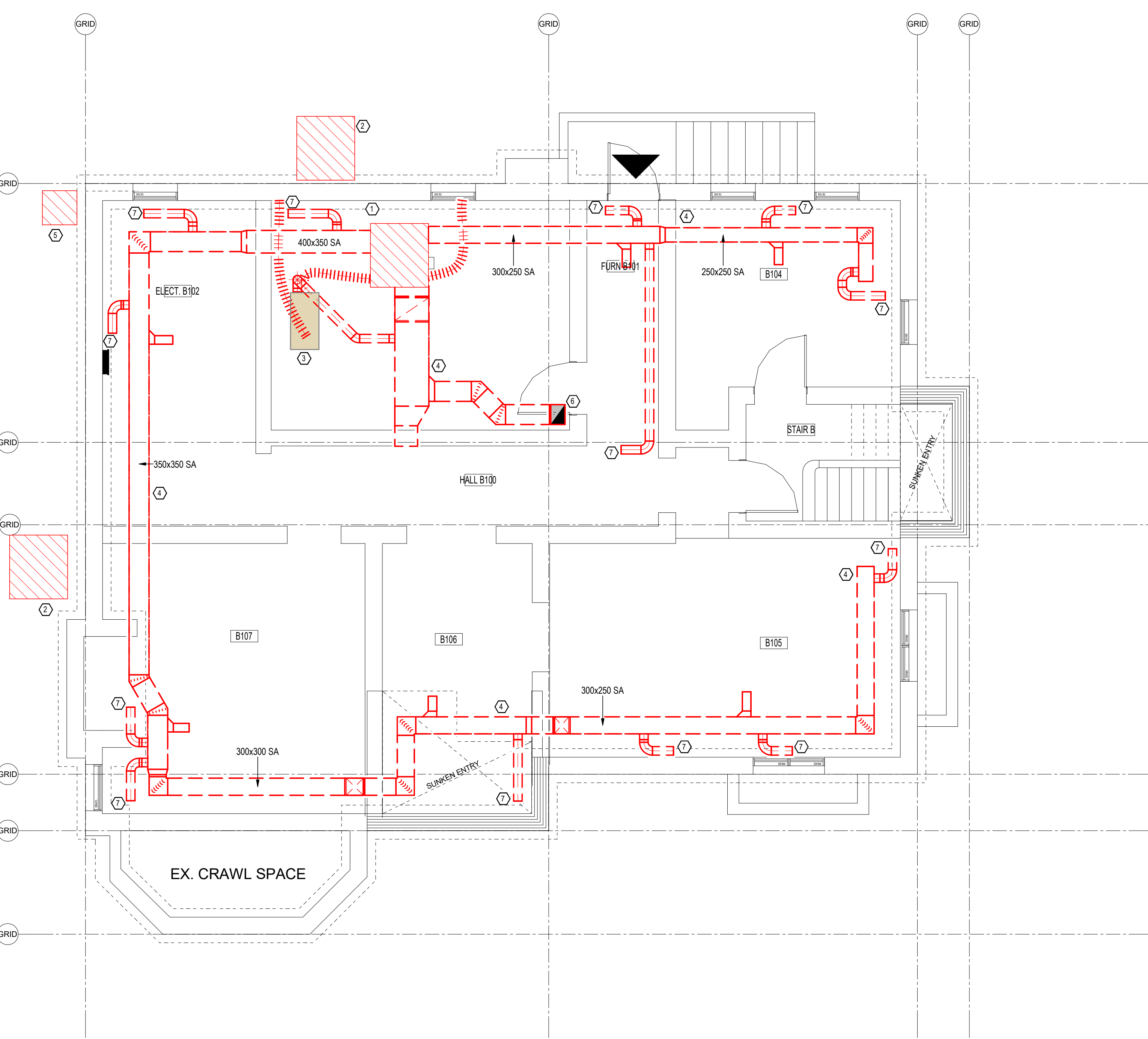
**2 ATTIC - HVAC NEW WORK**

M-LAMB-001 1:50



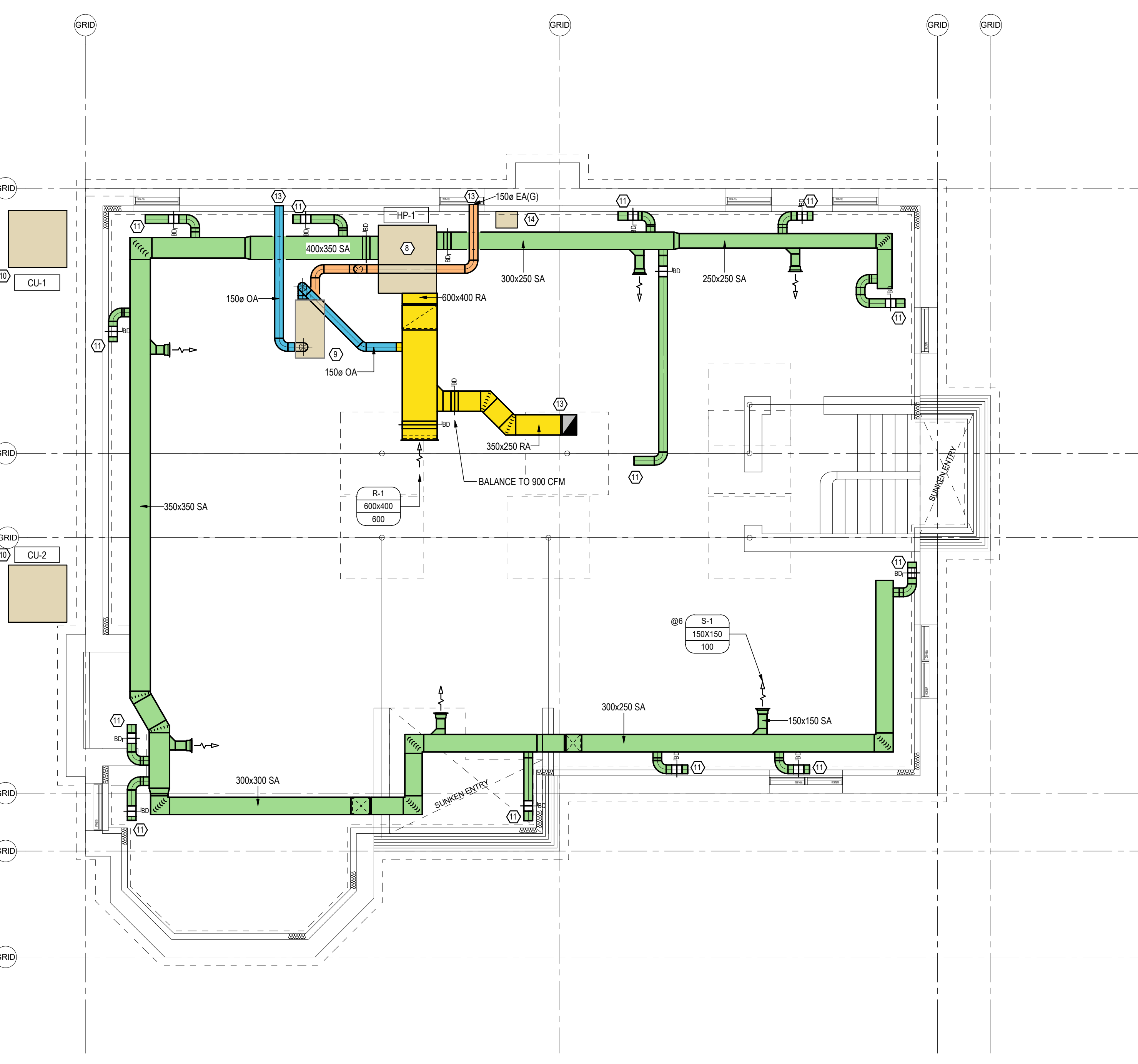
**3 BASEMENT - HVAC DEMOLITION**

M-LAMB-001 1:50



**4 BASEMENT - HVAC NEW WORK**

M-LAMB-001 1:50



Revision By Appd YYYY-MM-DD

ISSUED FOR TENDER MM- TD 2024.11.09  
Issued By Appd YYYY-MM-DD

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

Not for permits, pricing or other official purposes.  
This document has not been completed or  
checked and is for general information or

Bowmanville Hospital  
Redevelopment - Lambert  
House Relocation  
47 Liberty St. 3., Bowmanville, ON L1C  
2N4  
Title  
HVAC

Project No. 140024004 Scale As indicated  
Revision Drawing No. M-LAMB-001



- ALL EXISTING PLUMBING SERVICES SHOWN ARE APPROXIMATE AND BASED ON VISUAL SITE SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTHS, CONNECTIONS, PIPE SIZES AND LOCATIONS ON SITE AND REPORT ANY DISCREPANCY TO THE CONSULTANT FOR REVIEW.
- ALL EXISTING PLUMBING SERVICES THAT MAY NOT BE SHOWN ON THE DRAWINGS AND ARE EXPOSED DURING DEMOLITION CONSTRUCTION SHALL BE VERIFIED BY THE CONTRACTOR AND REPORTED TO THE CONSULTANT FOR REVIEW AND ROUTING, AND SHALL BE REPORTED TO THE CONSULTANT WITH PROPOSED RESOLUTIONS REQUIRED FOR THE PROJECT TO BE FULLY COMPLETED.
- NEW WORK SHALL BE CO-ORDINATED WITH ARCHITECTURAL PLANNING DRAWINGS.
- REFER TO ARCHITECTURAL DRAWINGS AND DOCUMENTS FOR DETAILS OF PHASING AND SUMMARY OF WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL TRADES TO INCLUDE FOR TEMPORARY REMOVAL AND REINSTALLATION OF ALL PLUMBING SERVICES TO ACCOMMODATE ALL TRADE WORK.
- PROVIDE NEW PLUMBING VENTS AS PER OBC.
- ALL SANITARY DRAINAGE AND PLUMBING SHOWN IS APPROXIMATE AND BASED-OF SITE OBSERVATIONS.
- EXISTING VENT PIPING IS NOT SHOWN DUE TO LACK OF AS-BUILTS.

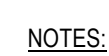
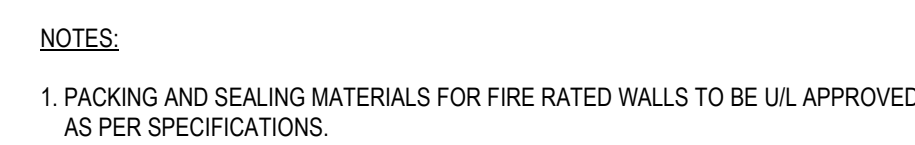
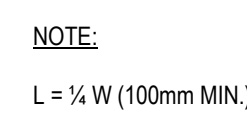
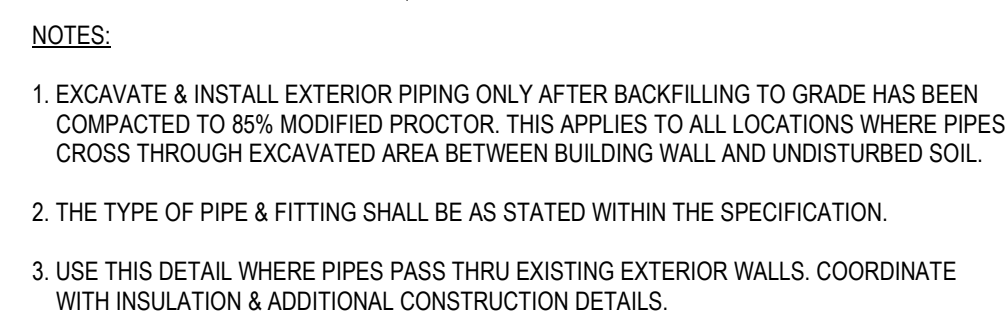
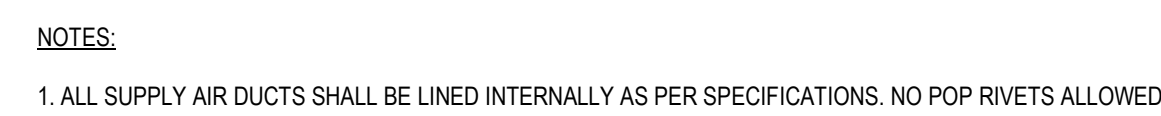
- ① DRAIN DOWN ALL PLUMBING LINES AND DEMOLISH EXISTING GAS-FIRED DOMESTIC HOT WATER TANK IN ATTIC. REMOVE EXISTING HOT AND COLD WATER PLUMBING CONNECTIONS NEAR TANK.
- ② DEMOLISH EXISTING CONDENSATE DRAINAGE LINES TERMINATING IN FLOOR DRAIN FROM EXISTING FLOOR MOUNTED WATER HEATER IN BOTH THE BASEMENT AND ATTIC. REMOVE CONDENSATE DRAINAGE LINES AND PIPING FROM BOTH THE BASEMENT AND ATTIC AND STORE FOR RE-USE. REFER TO PHOTO 5 ON M403.
- ③ ISOLATE DOMESTIC COLD WATER FEED FROM EXISTING MOUNTED WATER HEATER IN ATTIC. PROVIDE ACCESS FACILITIES FOR ACCESS. DEMOLISH EXISTING DOMESTIC COLD WATER FEED AS SHOWN.
- ④ CUT AND CAP EXISTING PLUMBING, DRAINAGE AND VENT LINES IN ATTIC. PROVIDE ACCESS TO UNDERLIE OF GROUND FLOOR SLAB TO ACCOMMODATE NEW PLUMBING AND DRAINAGE LINES.
- ⑤ DEMOLISH WATER FEED TO EXISTING HUMIDIFIERS IN BASEMENT AND ATTIC.
- ⑥ FLOOR DRAIN AND ASSOCIATED BURNED SANITARY AND VENT PIPING TO BE DEMOLISHED.
- ⑦ EXISTING DOMESTIC COLD WATER FEED TO GARAGE, DEMOLISH AND CAP OUTSIDE PERIMETER OF BUILDING AND ATTIC.
- ⑧ EXISTING 100' SANITARY DRAIN OUTDOORS SERVICE CONNECTION TO BE DEMOLISHED.
- ⑨ INSTALL NEW ELECTRIC DOMESTIC HOT WATER HEATER IN SAME LOCATION AS PREVIOUS WATER HEATER IN BASEMENT.
- ⑩ CONNECT 25 MM DOMESTIC COLD WATER LINE TO NORTH WING DOMESTIC WATER SYSTEM IN EXISTING NORTH WING WATER ROOM. CONVEYANCE OF WATER TO BE MADE IN 1/2" M-ANAL. RUN NEW DOMESTIC COLD WATER FEED TO NEW BUILDING LOCATION AND CONNECT TO WATER SHUT OFF.
- ⑪ INSTALL NEW CONDENSATE DRAINAGE LINES FOR HEAT PUMP UNITS IN BOTH BASEMENT AND ATTIC.
- ⑫ INSTALL NEW PLUMBING AND DRAINAGE LINES AS SHOWN IN BASEMENT AND CONNECT TO EXISTING SEWERAGE SYSTEMS. PROVIDE ACCESS TO UNDERLIE OF GROUND FLOOR SLAB.
- ⑬ INSTALL NEW WATER FEED AND DRAINAGE LINE FOR HUMIDIFIERS IN BOTH BASEMENT AND ATTIC AS REQUIRED PER MANUFACTURERS INSTALLATION









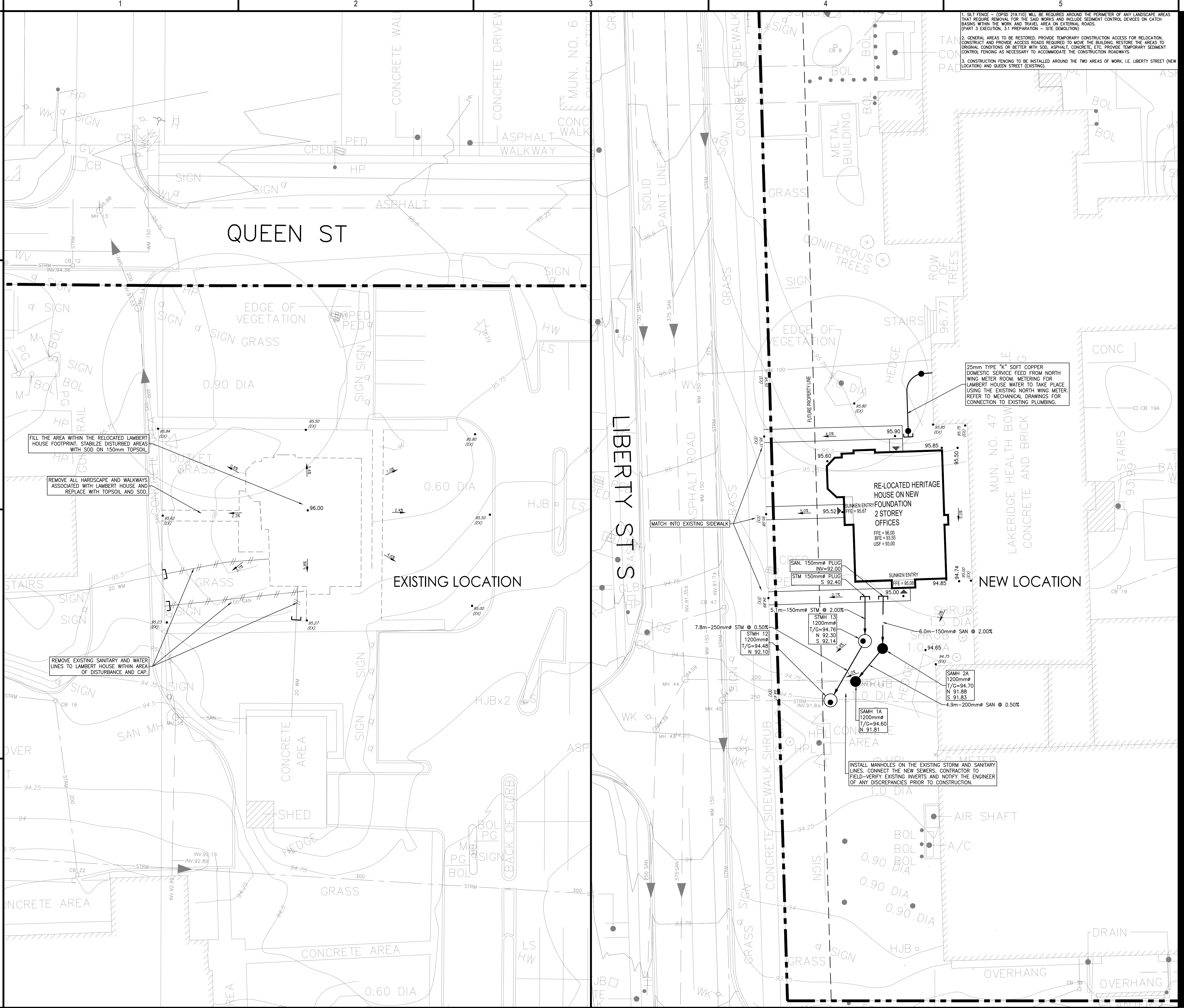


1. THRUST BLOCKS SHALL BE PLACED AT ALL BENDS.
2. THRUST BLOCKS SHALL BE PLACED AT ALL TAPPING SLEEVE AND VALVE CONNECTIONS AS SHOWN ABOVE FOR TEE.
3. BLOCK HEIGHT SHOULD BE 1/2 THE BLOCK WIDTH BUT NOT LESS THAN THE PIPE DIAMETER.
4. THE CONTRACTOR SHOULD ALWAYS CONDUCT TEST PROCEDURES WHEN CALCULATING BEARING AREA.
5. CONCRETE TO BE CLASS B AND SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI IN 28 DAYS.
6. AREAS BASED ON AN INTERNAL PRESSURE OF 150 PSI (200 PSIG) (250 PSIG) AND A SOIL BEARING PRESSURE OF 2000 PSI.  
IF ACTUAL SOIL BEARING PRESSURE INTERNAL PRESSURE VARIES FROM THOSE LISTED ABOVE, A NEW AREA OF BEARING FACE SHOULD BE CALCULATED.





\\C02156ps01\work\group0160\Active\140024004 - Lakeridge Health - Bowmanville\Drawing\CSB\Sheet Files\Lambert House\140024004\_C101.GPJ-UG-HIC.dwg  
2024/11/07 2:22 PM By: tchah, Payman



1. SILT FENCE - (OPS 219.110) WILL BE REQUIRED AROUND THE PERIMETER OF ANY LANDSCAPE AREAS THAT REQUIRE REMOVAL FOR THE SAID WORKS AND INCLUDE SEDIMENT CONTROL DEVICES ON CATCH BASINS WITHIN THE WORK AND TRAVEL AREA ON EXTERNAL ROADS.  
(PART 3 EXECUTION, 3.1 PREPARATION - SITE DEMOLITION)
2. GENERAL AREAS TO BE RESTORED. PROVIDE TEMPORARY CONSTRUCTION ACCESS FOR RELOCATION. CONSTRUCT AND PROVIDE ACCESS ROADS REQUIRED TO MOVE THE BUILDING. RESTORE THE AREAS TO ORIGINAL CONDITIONS OR BETTER WITH SOD, ASPHALT, CONCRETE, ETC. PROVIDE TEMPORARY SEDIMENT CONTROL FENCING AS NECESSARY TO ACCOMMODATE THE CONSTRUCTION ROADWAYS.
3. CONSTRUCTION FENCING TO BE INSTALLED AROUND THE TWO AREAS OF WORK, I.E. LIBERTY STREET (NEW LOCATION) AND QUEEN STREET (EXISTING).



Stantec Consulting Ltd.  
100-401 Wellington Street West  
Toronto, ON M5V 1E7  
Tel: (416) 596-6686 • www.stantec.com

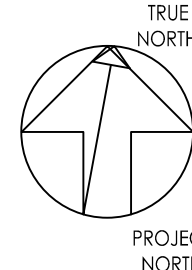
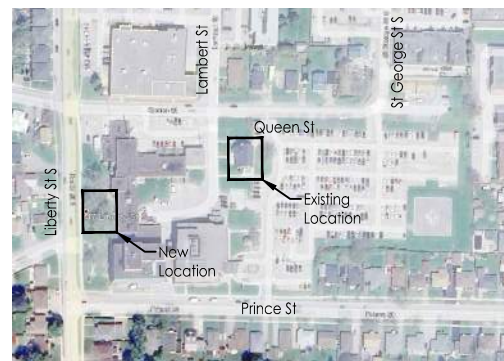
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#### Keyplan



#### Legend

- PROPERTY BOUNDARY
- PROPOSED ELEVATION
- EXISTING ELEVATION
- SANITARY MANHOLE
- STORM MANHOLE
- CATCH BASIN/AREA DRAIN
- DOUBLE CATCH BASIN
- CATCH BASIN MANHOLE
- HYDRANT
- 25mm CURB STOP
- STORM SEWER
- SANITARY SEWER
- WATERMAIN
- PIPE TO BE REMOVED/ABANDONED

NOTE: REFER TO DRAWING C102 FOR CONSTRUCTION NOTES AND DETAILS.

Num.	Description	YYYY.MM.DD
1	ISSUED FOR LAMBERT HOUSE RELOCATION TENDER	2024.11.08
2	ISSUED FOR LAMBERT HOUSE RELOCATION PERMIT	2024.11.01

Permit- Seal

#### PRELIMINARY NOT FOR CONSTRUCTION

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Client/Project Logo



Client/Project  
Lakeridge Health

Lambert House Relocation

47 Liberty St S, Bowmanville, ON L1C 2N4

Title  
Grading and Servicing Plan

Project No.  
140024004

Scale  
1 : 200

Revision

Drawing No.  
C101



GENERAL NOTES:

- ALL WORK SHALL BE CARRIED OUT IN COMPLIANCE WITH THE APPLICABLE HEALTH AND SAFETY ACT AND REGULATIONS FOR CONSTRUCTION PROJECTS.
  - ALL WORK AND MATERIALS TO CONFORM WITH THE CURRENT PROVINCIAL BUILDING CODE, MINISTRY OF THE ENVIRONMENT OF ONTARIO, REGIONAL, MUNICIPALITY OF DURHAM, MUNICIPALITY OF CLARINGTON, ONTARIO PROVINCIAL STANDARDS AND SPECIFICATIONS, LOCAL UTILITY STANDARDS AND MINISTRY OF TRANSPORTATION STANDARDS WILL APPLY.
  - THE CONTRACTOR IS ADVISED THAT WORKS BY OTHERS MAY BE ONGOING DURING THE PERIOD OF THIS PROJECT. THE CONTRACTOR SHALL COORDINATE CONSTRUCTION ACTIVITIES WITH ALL OTHER CONTRACTORS AND PREVENT CONSTRUCTION CONFLICTS.
  - THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL UTILITIES DURING CONSTRUCTION. ALL EXISTING UTILITIES MUST BE LOCATED PRIOR TO COMMENCEMENT OF WORK. ANY VARIANCE IN LOCATION (VERTICAL OR HORIZONTAL) IS TO BE REPORTED TO THE SITWORK ENGINEER OF RECORD 48 HRS PRIOR TO CONSTRUCTION. LOST TIME AND/OR ANY ADDITIONAL WORKS DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM UTILITY LOCATIONS AND ELEVATIONS AND NOTIFY THE SITWORK ENGINEER OF RECORD OF ANY CONFLICTS 48 HRS PRIOR TO CONSTRUCTION WILL BE AT THE CONTRACTOR'S EXPENSE.
  - THE CONTRACTOR SHALL INSTALL ALL SEDIMENT CONTROL DEVICES PRIOR TO THE COMMENCEMENT OF SITE GRADING WORK. SILT LADEN WATER MUST NOT BE PERMITTED TO ENTER INTO ANY EXISTING CATCH BASINS, INLETTING STRUCTURES, OR WATERCOURSES. ADDITIONAL CONTROLS AS DEEMED REQUIRED BY THE AUTHORITIES AND/OR THE SITWORK ENGINEER OF RECORD DURING CONSTRUCTION ACTIVITIES SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR MUST INSPECT SEDIMENT CONTROLS ON A REGULAR BASIS AND AFTER EVERY RAINFALL EVENT. REPAIRS MUST BE COMPLETED IN A TIMELY MANNER TO PREVENT SEDIMENT FROM ENTERING ANY WATER SYSTEMS. ADDITIONAL SILT FENCING MUST BE AVAILABLE IN CASE IMMEDIATE REPAIR IS REQUIRED.
  - CONTRACTOR TO OBTAIN A ROAD OCCUPANCY PERMIT PRIOR TO COMMENCING ANY WORK WITHIN THE ROAD ALLOWANCE IF REQUIRED BY THE MUNICIPALITY OR AUTHORITY. ALL UNDERGROUND SERVICING WORK ON THE RIGHT OF WAY AND EASEMENTS TO BE INSPECTED BY THE AUTHORITY PRIOR TO BACKFILLING.
  - CONTRACTOR WILL BE RESPONSIBLE FOR ALL REMOVALS REQUIRED TO FACILITATE NEW CONSTRUCTION. ALL EXISTING SERVICE STRUCTURES, VALVES AND HYDRANTS ARE TO BE ADJUSTED TO PROPOSED ELEVATIONS.
  - THE CONTRACTOR SHALL PROVIDE TEMPORARY 1.8M HIGH CONSTRUCTION FENCING (FAST FENCE) AROUND THE ENTIRE PERIMETER OF THE WORK AREAS. GATED ACCESS LOCATIONS SHALL BE LOOKED DURING NON WORKING HOURS.
- GRADING:**
- ALL GRANULAR BASE AND SUB BASE COURSE MATERIALS SHALL BE COMPACTED TO 100% STANDARD PROCTOR MAXIMUM DRY DENSITY.
  - ALL DISTURBED GRASSED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION OR BETTER, WITH SOD ON MINIMUM 150mm TOPSOIL. THE REMOVAL/REPLACEMENT OF TREES AND SHRUBS SHALL BE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT OF RECORD OR SITWORK ENGINEER OF RECORD.
  - ANY ASPHALT OR CONCRETE PAVEMENT AREAS AND CONCRETE CURBS DAMAGED DURING THE WORK WHICH ARE NOT DESIGNATED ON THE DRAWINGS FOR REMOVAL SHALL BE RESTORED TO ORIGINAL CONDITIONS UPON COMPLETION OF THE WORK.
  - CURB REPLACEMENTS WITHIN THE SITE TO BE BARRIER CURB AS PER C-302. CURB ON MUNICIPAL STREET TO BE STANDARD CURB AND GUTTER AS PER CLARINGTON STD C-302. SAME STANDARD TO BE USED FOR CURB DEPRESSIONS.
  - REFER TO SITE PLAN FOR ALL DIMENSIONS AND CONSTRUCTION LAYOUT REQUIREMENTS FOR CURBS, BUILDING ENVELOPES, AND SITE DETAILS.
  - JOINTS ARE TO BE USED WHERE RESTORED ASPHALT MEETS EXISTING ASPHALT PER CLARINGTON STD C-311.
  - ALL UNDEVELOPED AREAS TO BE GRADED TO GRADES SHOWN AND ARE TO BE FINISHED AS PER LANDSCAPE SPECIFICATIONS AND DRAWINGS. VOIDS DUE TO DEMOLITION OF FOUNDATIONS AND BASEMENTS SHALL BE FILLED WITH APPROVED EARTH FILL MATERIAL COMPACTED TO 98% SMD.
  - ALL PAVEMENT MARKING, LINE PAINTING, DIRECTIONAL LINES/ARROWS SHALL BE REINSTITATED WHERE DAMAGED BY THE WORK.
  - EXISTING ELEVATIONS AT MATCH POINTS AS SHOWN ON THE DRAWING ARE TO BE CONFIRMED BY THE CONTRACTOR 72 HOURS PRIOR TO MOBILIZATION OF FORCES. LOST TIME AND/OR ANY ADDITIONAL WORKS DUE TO FAILURE OF THE CONTRACTOR TO CONFIRM EXISTING ELEVATIONS AND NOTIFY THE SITWORK ENGINEER OF RECORD OF POSSIBLE CONFLICTS 72 HOURS PRIOR TO MOBILIZATION WILL BE AT THE EXPENSE OF THE CONTRACTOR.

TOPOGRAPHIC SURVEYOR:

SURVEY PREPARED BY: J.D. BARNES LIMITED  
DATED AUGUST 31, 2023

**BENCHMARK:**  
ELEVATIONS SHOWN ON THE PLANS ARE RELATED TO GEODETIC DATUM CVD28 1978 BENCH MARK No. 00820188052 HAVING A PUBLISHED ELEVATION OF 79.548 METRES.

WATERMANS:

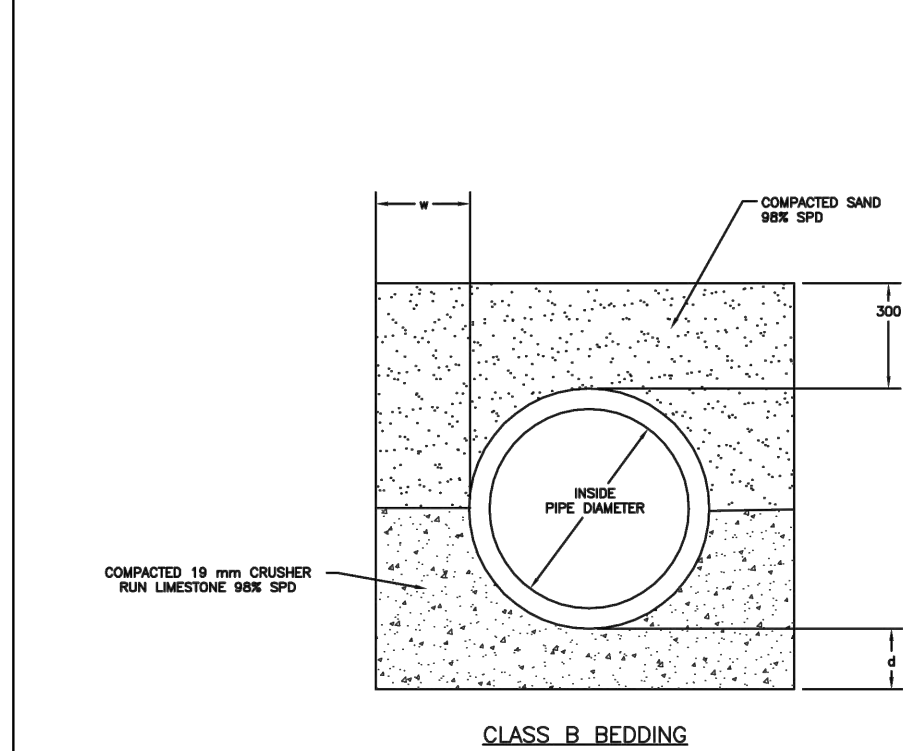
- WATER SERVICES SHALL BE 25mm COPPER (TYPE K) AND SHALL BE CONNECTED TO THE EXISTING INTERIOR PLUMBING IN ACCORDANCE WITH THE MECHANICAL DRAWINGS AND SPECIFICATIONS.
- ALL WATER SERVICE BEDDING COVER AND TRENCH DETAIL SHALL BE AS PER DURHAM STD S-200.010.
- ALL WATER SERVICE SHALL HAVE MINIMUM COVER OF 1.80m FROM PROPOSED GRADES, SHOWN ON THE GRADING PLAN, UNLESS OTHERWISE NOTED ON THE SERVICING DRAWING. MINIMUM COVER MUST BE MAINTAINED AT ALL TIMES.
- BUILDING SERVICE CURB STOPS TO BE LOCATED 1.5m OF THE FACE OF THE BUILDING. CONTRACTOR SHALL COORDINATE EXACT LOCATION WITH BUILDING MECHANICAL DRAWINGS PRIOR TO CONSTRUCTION OF SERVICES. ALL DISCREPANCIES TO BE CLARIFIED BY SITWORK ENGINEER OF RECORD PRIOR TO INSTALLATION.
- ALL WATER SERVICES SHALL BE HYDROSTATICALLY TESTED IN ACCORDANCE WITH LOCAL MUNICIPAL AND PROVINCIAL GUIDELINES. PROVISIONS FOR FLUSHING WATER LINE PRIOR TO TESTING, MUST BE PROVIDED.
- ALL WATER SERVICES SHALL BE BACTERIOLOGICALLY TESTED IN ACCORDANCE WITH LOCAL MUNICIPAL AND PROVINCIAL GUIDELINES. ALL DISCHARGED WATER TO BE DISCHARGED AND PRETREATED TO ACCEPTABLE LEVELS PRIOR TO DISCHARGE. ALL DISCHARGED WATER MUST BE CONTROLLED AND TREATED SO AS NOT TO ADVERSELY EFFECT THE ENVIRONMENT. THE LOCAL MUNICIPALITY MAY HAVE SPECIFIC REQUIREMENTS TO BE COMPLIED WITH. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT ALL MUNICIPAL AND/OR PROVINCIAL REQUIREMENTS ARE FOLLOWED.

STORM AND SANITARY SEWERS:

- ALL MANHOLES TO BE PRECAST AS PER OPSD 701.010 TO 701.015 WITH FRAME AND GRATE AS PER OPSD 401.010, OR EQUIVALENT APPROVED BY THE SITWORK ENGINEER OF RECORD. SAFETY PLATFORM TO BE INSTALLED IN ALL MANHOLES WHERE DEPTH EXCEEDS 5.0m.
- STORM SEWER BEDDING AS PER CLARINGTON STD C-108. SANITARY SEWER BEDDING AS PER DURHAM STD S-200.010.
- ALL STORM SEWER PIPES UP TO 450mm DIA. SHALL BE PVC SDR-35 ; ALL STORM SEWER PIPES 525mm DIA. AND LARGER SHALL BE CONCRETE UNLESS OTHERWISE SHOWN ON THIS DRAWING. CONCRETE SEWER SHALL BE EQUAL TO C.S.A. SPECIFICATIONS A257.2 OR LATEST AMENDMENT; REINFORCED CLASSES AS REQUIRED BY THE MANUFACTURER SPECIFICATIONS (65-D, 100-D, 140-D); RIBBED PIPE SHALL NOT BE USED.
- ALL SANITARY PVC SEWER PIPES SHALL BE SDR-35 EQUAL CSA SPECIFICATIONS B182.2 OR LATEST AMENDMENT. RIBBED PIPE SHALL NOT BE USED.
- ALL MANHOLE EXCAVATIONS TO BE BACKFILLED WITH GRANULAR MATERIAL WITHIN 300mm OF THE STRUCTURE COMPACTED TO 98% STANDARD PROCTOR DENSITY.
- STORM MANHOLES SHALL BE BENCHMARKED TO SPRING LINE. SANITARY MANHOLES SHALL BE BENCHMARKED TO OBVERT. MINIMUM WIDTH OF ALL BENCHING TO BE 230mm.
- MAXIMUM ALLOWABLE HEIGHT OF PRE-CAST MANHOLE AND CATCH BASIN ADJUSTMENT UNITS SHALL BE 450mm; MINIMUM REQUIRED HEIGHT IS TO BE 150mm. PARGE ADJUSTING UNITS ON THE OUTSIDE ONLY.
- FOR CONSTRUCTION DETAILS NOT SHOWN ON PLANS, REFERENCE SHALL BE MADE TO THE LOCAL PROVINCIAL STANDARDS DRAWINGS AND MUNICIPAL STANDARDS.
- SERVICES TO BUILDINGS TO BE TERMINATED 1.5m FROM THE FACE OF BUILDING UNLESS OTHERWISE SHOWN ON DRAWINGS. CONTRACTOR SHALL COORDINATE EXACT LOCATION WITH BUILDING MECHANICAL DRAWINGS PRIOR TO CONSTRUCTION OF SERVICES. ALL DISCREPANCIES ARE TO BE CLARIFIED BY SITWORK ENGINEER OF RECORD PRIOR TO INSTALLATION.
- THE CONTRACTOR IS TO COMPLETE AND PROVIDE CCTV CAMERA INSPECTIONS IN ACCORDANCE WITH OPSD 409 (OR DIVISION 2 SPECIFICATIONS OR MUNICIPAL/REGIONAL SPECIFICATIONS) OF ALL STORM AND SANITARY SEWERS PRIOR TO SUBSTANTIAL PERFORMANCE AND AGAIN PRIOR TO EXPIRATION OF THE WARRANTY PERIOD, INCLUDING WRITTEN PICTORIAL REPORT AND TWO (2) DVD COPIES IN A FORMAT SATISFACTORY TO THE SITWORK ENGINEER OF RECORD. ALL SEWERS ARE TO BE FLUSHED PRIOR TO CAMERA INSPECTION. ALL CATCH BASIN LEADS ARE TO RECEIVE CCTV CAMERA INSPECTIONS.
- LASER ALIGNMENT CONTROL TO BE UTILIZED ON ALL SEWER INSTALLATIONS.

EROSION CONTROL AND ENVIRONMENTAL PROTECTION:

- THE CONTRACTOR SHALL INSTALL ALL REQUIRED SILTATION CONTROL MEASURES PRIOR TO THE START OF SITE WORKS AND MAINTAIN ALL SEDIMENT CONTROL DEVICES THROUGHOUT ALL CONSTRUCTION ACTIVITY TO ENSURE THAT SILT-LADEN WATER DOES NOT AT ANY TIME ENTER THE DOWNSTREAM SEWER SYSTEM, EXISTING WATER COURSE, OR ADJACENT LANDS.
- THE CONTRACTOR SHALL INSTALL CONSTRUCTION ACCESS MATS IN ACCORDANCE WITH THE DETAIL ON THIS DRAWING PRIOR TO ACCESSING THE WORK AREAS.
- SEDIMENT CONTROL FENCE SHALL BE IN ACCORDANCE WITH AASHTO M288-99 AND SHALL BE INSTALLED BY THE CONTRACTOR AT THE LIMITS OF ALL LANDSCAPED AREAS DISTURBED/REMOVED TO ACCOMMODATE THE WORK.
- TYPE B SEDIMENT CONTROL DEVICES SHALL BE INSTALLED ON ALL EXISTING CATCHBASINS ON MUNICIPAL ROADWAYS WITHIN THE CONSTRUCTION ACCESS ROUTE.
- TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS SHALL BE INSPECTED BY THE CONTRACTOR ON A REGULAR BASIS AND IMMEDIATELY AFTER EACH RAINFALL AND REPAIRED IF REQUIRED.
- TEMPORARY EROSION AND SEDIMENT CONTROL SYSTEMS SHALL BE MAINTAINED, BY THE CONTRACTOR, AS DIRECTED BY THE GOVERNMENTAL AUTHORITY AND LOCAL MUNICIPALITY, TO CONTROL SILTATION AT ALL TIMES DURING THE LIFE OF THE PROJECT.
- THE CONTRACTOR WILL BE REQUIRED TO MAINTAIN EXISTING ROADS IN A CLEAN CONDITION AT ALL TIMES.
- NO CONSTRUCTION EQUIPMENT SHALL ENTER INTO OR DISTURB AN EXISTING WATERCOURSE.
- NO CONSTRUCTION EQUIPMENT REFUELLING OR SERVICING SHALL BE UNDERTAKEN WITHIN THIRTY METRES OF ANY DITCH OR WATERCOURSE.
- THE CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION EQUIPMENT AND MACHINERY IS MAINTAINED IN GOOD OPERATING CONDITION, FREE OF LEAKS OR EXCESS OIL OR GREASE.
- THE CONTRACTOR SHALL HAVE ALL DUE REGARD FOR THE PROTECTION OF THE ENVIRONMENT IN THE PERFORMANCE OF THE WORK AND SHALL NOT PLACE ANY MATERIALS, OR DISPOSE OF ANY MATERIALS, OR PERFORM ANY WORK IN A MANNER CONTRARY TO APPLICABLE FEDERAL, PROVINCIAL OR MUNICIPAL ENVIRONMENTAL LAWS AND REGULATIONS.
- ADDITIONAL CONTROLS AS DEEMED REQUIRED BY THE AUTHORITIES AND/OR THE SITESWORKS ENGINEER OF RECORD DURING CONSTRUCTION ACTIVITIES SHALL BE PROVIDED BY THE CONTRACTOR. ADDITIONAL SILT FENCING MUST BE AVAILABLE IN CASE IMMEDIATE REPAIR IS REQUIRED.

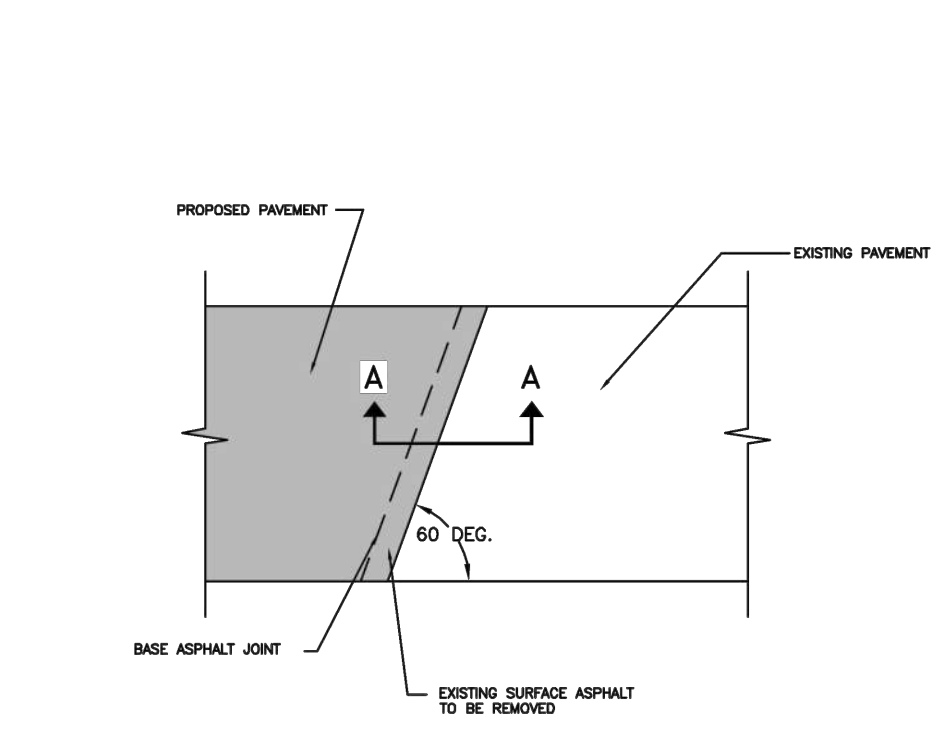


BEDDING AND CLEARANCE

INSIDE PIPE DIAMETER	(MM)	(IN)
UP TO 300	100	300
1050 AND LARGER	150	500

All dimensions are in millimetres unless otherwise noted.

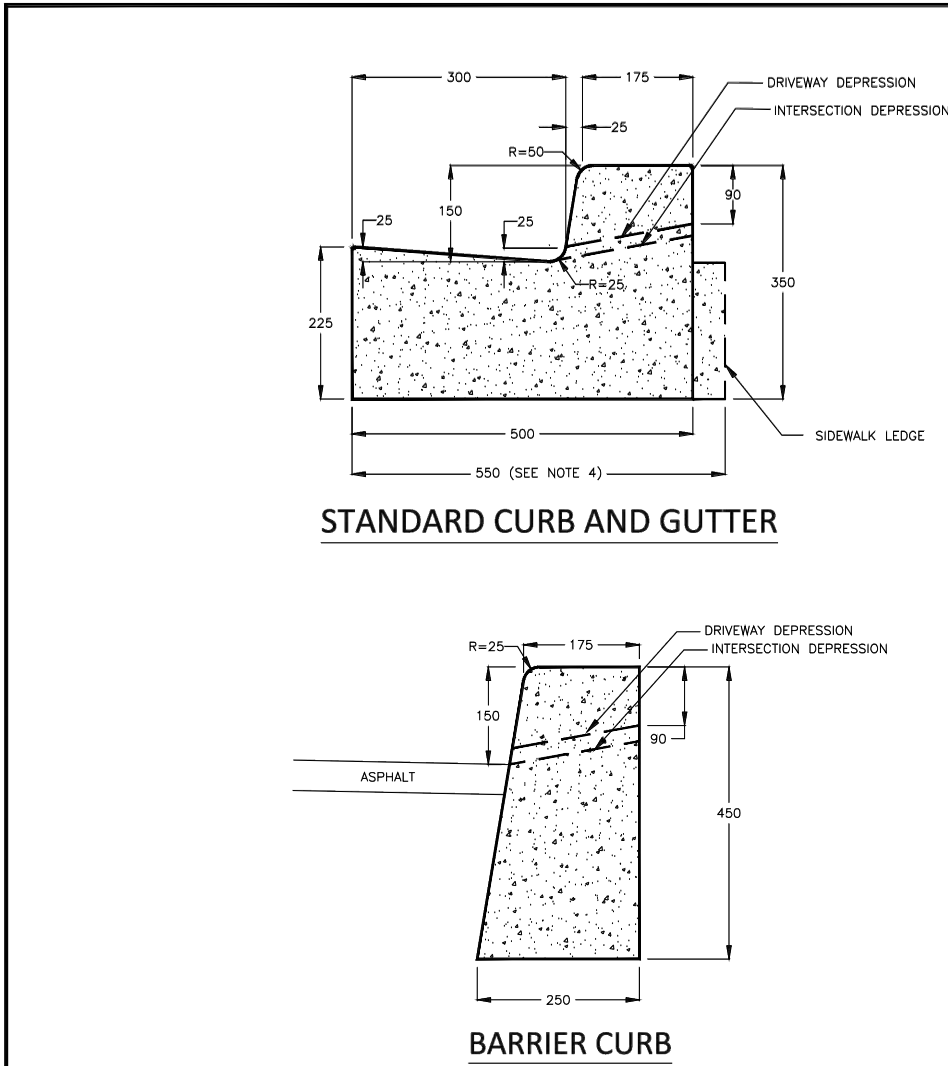
Municipality of Clarington		Engineering Services Department
DESIGNED BY: <i>[Signature]</i>	REVISION NO. 1	
APPROVED BY: <i>[Signature]</i>	REVISION DATE: APRIL 2024	
STORM SEWER TRENCH BEDDING		C-108



SECTION A-A

All dimensions are in millimetres unless otherwise noted.

Municipality of Clarington		Engineering Services Department
DESIGNED BY: <i>[Signature]</i>	REVISION NO. 1	
APPROVED BY: <i>[Signature]</i>	REVISION DATE: APRIL 2024	
SURFACE PAVEMENT JOINT TREATMENT		C-311

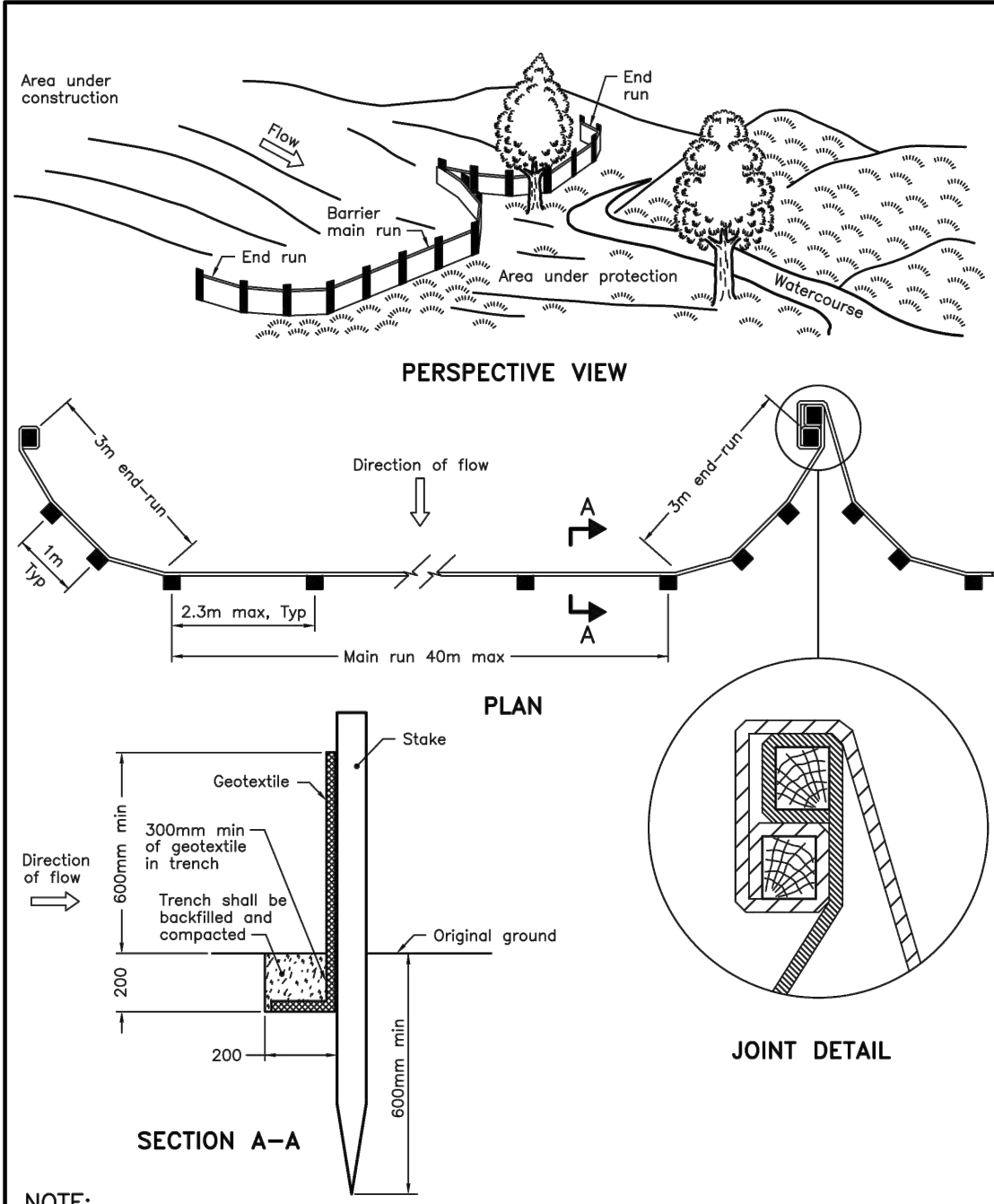


NOTES

- Concrete shall conform to OPSD specifications (32MPa, 5.0% to 8.0% air).
- Contraction joints every 3.0m (maximum). Saw-cuts to be 25% of total depth.
- Curing compound to be applied within one hour of finishing.
- Additional width required where curb is adjacent to sidewalk.

All dimensions are in millimetres unless otherwise noted.

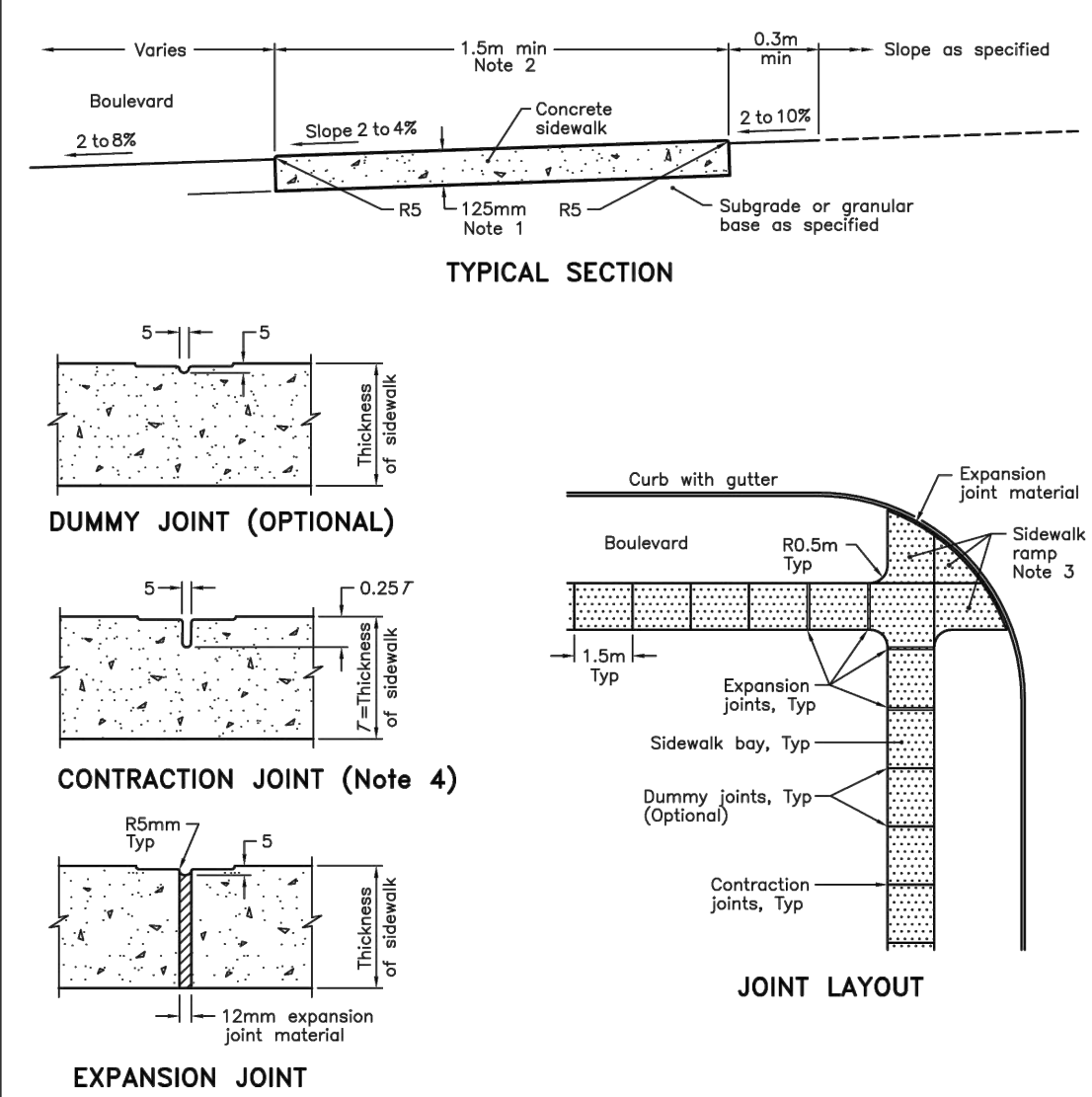
Municipality of Clarington		Engineering Services Department
DESIGNED BY: <i>[Signature]</i>	REVISION NO. 2	
APPROVED BY: <i>[Signature]</i>	REVISION DATE: JULY 2016	
STANDARD CURB AND GUTTER		C-302



NOTE:  
A All dimensions are in millimetres unless otherwise shown.

ONTARIO PROVINCIAL STANDARD DRAWING

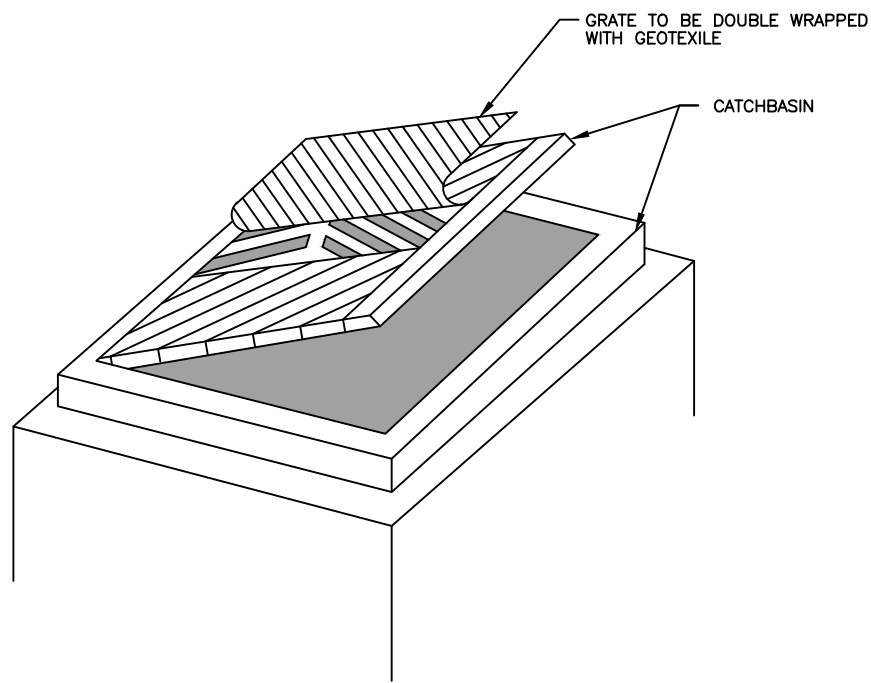
Nov 2021	Rev 3
LIGHT-DUTY SILT FENCE BARRIER	
OPSD 219.110	



- NOTES:
- Sidewalk thickness at residential driveways and adjacent to curb shall be 150mm. At commercial and industrial driveways, the thickness shall be 200mm.
  - Sidewalk width shall be wider when specified.
  - This OPSD shall be read in conjunction with OPSD 310.030, 310.031, 310.033, and 310.039.
  - Contraction Joint may be tooled or sawcut.
  - All dimensions are in millimetres unless otherwise shown.

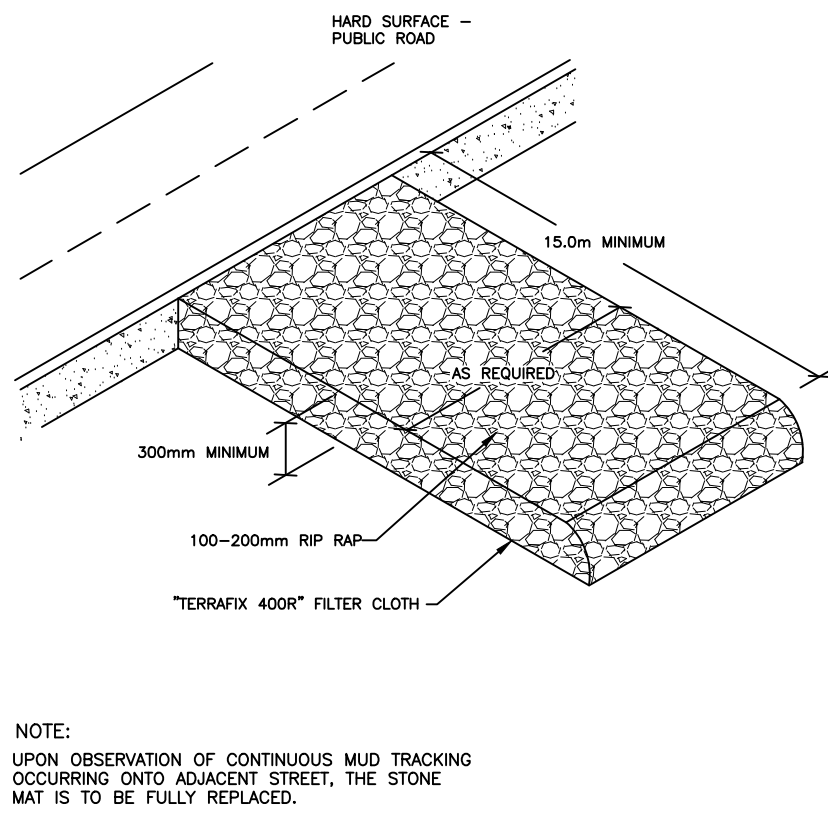
ONTARIO PROVINCIAL STANDARD DRAWING

Nov 2019	Rev 3
CONCRETE SIDEWALK	
OPSD 310.010	



- NOTES:
- WOVEN GEOTEXTILE TO HAVE A MINIMUM EQUIVALENT OPENING SIZE OF 0.15mm AND A MAXIMUM EQUIVALENT OPENING SIZE OF 0.25mm OR A NON WOVEN GEOTEXTILE TO BE CONSIDERED BASED ON SOIL PARAMETERS AND SITE CONDITIONS.
  - GEOTEXTILE TO BE REPLACED PERIODICALLY WHEN ACCUMULATED SEDIMENTS INTERFERES WITH DRAINAGE, OR AS DIRECTED BY THE TRANSPORTATION AND WORKS DEPARTMENT.

TYPE B - ROADWAY CB SEDIMENT CONTROL DEVICE  
SCALE: N.T.S.



TEMPORARY GRAVEL ACCESS PAD  
SCALE: N.T.S.



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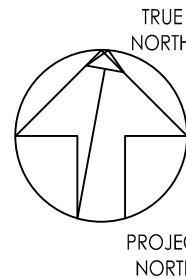
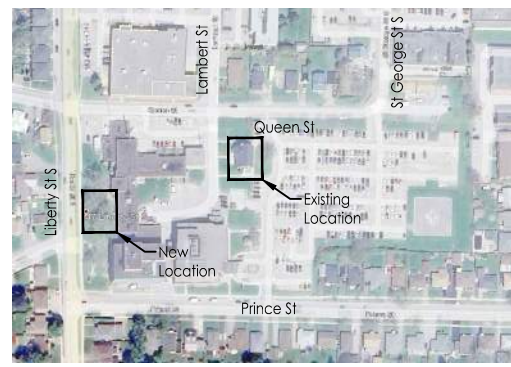
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Colour Disclaimer

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Keyplan



Legend

Num.	Description	YYYY.MM.DD
1	ISSUED FOR LAMBERT HOUSE RELOCATION TENDER	2024.11.08
2	ISSUED FOR LAMBERT HOUSE RELOCATION PERMIT	2024.11.01

Permit- Seal

PRELIMINARY  
NOT FOR CONSTRUCTION

This document is suitable only for the purpose noted above. Use of this document for any other purpose is not permitted.

Client/Project Logo



Client/Project  
Lakeridge Health

Lambert House Relocation

47 Liberty St S, Bowmanville, ON L1C 2N4

Title  
Notes and Details

Project No. 140024004	Scale AS SPECIFIED
Revision	Drawing No. C102