

21504.F05
ISSUED FOR RETENDER
2024-06-06

CUMMER LODGE - FLOORING REPLACEMENT
SENIOR SERVICES AND LONG-TERM CARE
205 CUMMER AVE.
NORTH YORK, ONTARIO

	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		KEYNOTE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE
	REF		REF		INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING		GRID LINE

1. THE WORK OF THIS CONTRACT SHALL BE PERFORMED IN PHASES. ALL PHASING WILL BE SUBJECT TO APPROVAL FROM THE MANAGER OF BUILDING SERVICES AND AS IDENTIFIED IN THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE WORK

2. ALL WORK WITHIN THIS PROJECT WILL BE COMPREHENSIVELY SCHEDULED WITH THE HOME PRIOR TO START-UP ON SITE. CONTRACTORS WILL BE REQUIRED TO ADHERE TO THIS SCHEDULE FOR THE DURATION OF THE WORK. NO WORK SHALL BE LEFT IN AN UNFINISHED STATE AT ANY DAYS END. ALL AREAS OF WORK SHOULD BE COMPLETED AND CLEANED UP WITHIN EACH DAY'S WORK. ALL REPLACEMENT WORK WITHIN RESIDENT ROOMS IS EXPECTED TO TAKE PLACE OVER THE COURSE OF A SINGLE DAY. RESIDENT ROOMS ARE TO BE COMPLETE AND FULLY OCCUPANT AT THE COMPLETION OF EACH DAY'S WORK. OMITTING THE NEED TO RELOCATE RESIDENTS. RESIDENT ROOMS SHOULD BE RETURNED TO THE RESIDENT EXACTLY AS THEY WERE HANDED OVER TO THE CONTRACTOR. ANY DAMAGE TO THE HOME OR TO THE RESIDENTS BELONGINGS MUST BE REPAIRED OR REPLACED PRIOR TO HANDING OVER TO THE RESIDENT.

3. THE REQUIRED MOVING AND REINSTALLATION OF ALL FURNITURE IS TO BE INCLUDED IN THE BASE BID PRICE. IT IS EXPECTED THAT ALL AREAS WILL BE HANDED BACK TO THE HOME IN A RESTORED AND FULLY FUNCTIONAL ORDER BY THE CONTRACTOR. TEMPORARY STORAGE FOR ALL REMOVED FURNITURE AND EQUIPMENT WILL BE PROVIDED BY AND COORDINATED WITH THE HOME.

4. THE CONTRACTOR SHALL PROVIDE THE FOLLOWING MOCK-UPS:

CONTRACT ONE (1) / RESIDENT ROOM, INCLUDING BUT NOT LIMITED TO NEW FLOORING, NEW BASE, PATCH / REPAIR WORK AND ALL OTHER WORK AS PER THE CONTRACT DOCUMENTS.

1. REPAIR, PATCH & MAKE GOOD ALL EXISTING STRUCTURE & FINISHES AFFECTED BY CONSTRUCTION.
2. ALL REQUIRED CUTTING & FITTING INCLUDING ELECTRICAL & MECHANICAL, TO CONNECT THE EXISTING WORK WITH THE NEW WORK SHALL BE PERFORMED AS PART OF THIS CONTRACT AS AN ENTIRE OR COMPLETE WORK IN A PROFESSIONAL AND WHOLE MANNER.
3. ALL NEW WORK TO MAKE GOOD EXISTING, SHALL MATCH EXISTING IN MATERIAL, CONSTRUCTION AND FINISH UNLESS OTHERWISE SPECIFIED.
4. CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB, INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS.
5. ANY OPENINGS IN FIRE RATED WALLS, CEILINGS AND FLOORS TO BE RETURNED TO EQUIVALENT CONDITION PRIOR TO THE OPENING. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL, AS PER SPECIFICATION. ALL ELECTRICAL & MECHANICAL PENETRATIONS TO BE SEALED WITH FIRE STOP MATERIAL AS REQUIRED BY O.B.C.
6. ALL ITEMS INDICATED IN THE CONTRACT DOCUMENTS AS COORDINATION ITEMS OR ITEMS IDENTIFIED AS N/C, INCLUDING BUT NOT LIMITED TO EQUIPMENT AND OTHER SPECIALTY ITEMS IDENTIFIED AS TO BE SUPPLIED AND INSTALLED BY OTHER PARTIES OR ALLOWANCES WILL REQUIRE THE COMMON ACTION OR EFFORT OF THE GENERAL CONTRACTOR IN RELATION TO THE OVERALL PROJECT, WITH RESPECT TO ALL COORDINATION ITEMS IDENTIFIED. THE GENERAL CONTRACTOR IS EXPECTED TO:
 - a. REVIEW ALL ITEMS IDENTIFIED AS 'COORDINATION ITEMS' IN THE DRAWINGS AND COMMUNICATE WITH THE REQUIRED RESPONSIBLE PARTIES OF THE DEVICES THE DETAILED REQUIREMENTS OF EACH ITEM AS IT IMPACTS THE WORK OF GENERAL CONTRACTOR AND AS IT RELATES TO THE OVERALL COMPLETION OF THE PROJECT.
 - b. VERIFY THE EXISTING CONDITION AND ANY LIMITATIONS OF THE DEVICE AS INSTALLED IN THE PROPOSED LOCATION.
 - c. PROVIDE ALL REQUIRED ROUGH-INS, RELATED CONSTRUCTIONS AND CONNECTIONS REQUIRED BY THE DEVICES OF OTHERS TO SUIT THE COORDINATION ITEM AND AS INDICATED IN THE CONTRACT DOCUMENTS.
 - d. SCHEDULE AND COORDINATE THE WORK OF OTHERS INTO THE OVERALL CONSTRUCTION SEQUENCE TO AVOID UNNECESSARY DELAY TO THE COMPLETION OF THE OVERALL PROJECT.
 - e. ENSURE THAT THE PROPOSED ITEM IS INSTALLED AS INTENDED AND IS MADE FULLY OPERATIONAL AT THE COMPLETION OF THE WORK.
7. THE EXISTING PORTIONS OF THESE PLANS ARE TAKEN FROM ARCHIVE DRAWINGS AND LIMITED SITE SURVEY INFORMATION. CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS AND LEVELS ON SITE PRIOR TO FABRICATIONS/ INSTALLATIONS. ALL DIMENSIONS ARE PER SITE REVIEW AND EXIST. ARCH. DWGS. ALL DIMENSIONS BETWEEN CONDITIONS SHOWN ON SITE. SITE CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT. PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE FOLLOWING:
 - i. VERIFY EXISTING AREAS WITHIN THE SCOPE OF WORK WITH RESPECT TO THE PROPOSED FOR PROBLEMS AND ANY LIMITATIONS.
 - ii. VERIFY EXISTING ARCHITECTURE, STRUCTURE AND ALL ADJACENT FINISHES IMPACTED BY THE WORK.UPON EXAMINING ALL OF THE ABOVE AGAINST THE DRAWINGS AND SPECIFICATIONS AND TERMS OF THE CONTRACT, THE CONTRACTOR MUST SATISFY HIMSELF THAT THE PROPOSED WORK CAN BE CARRIED OUT AS INTENDED, TO THE SATISFACTION OF THE OWNER. AT NO ADDITIONAL COST TO THE CONTRACT.
8. PROTECT ALL FINISHES TO REMAIN PART OF THE FINAL PRODUCT. ALL FINISHES DAMAGED AS A RESULT OF CONSTRUCTION SHALL BE MADE GOOD BY THE GC.
9. COORDINATE ALL WORK WITH THE HOME AND FOLLOW ALL HOME PROTOCOLS.
10. RESERVED.
11. COORDINATE ALL WORK WITH ARCHITECTURAL DRAWINGS AND SPECIFICATIONS. WHERE A DISCREPANCY IS DISCOVERED BETWEEN THE DOCUMENTS NOTIFY THE ARCHITECT.
12. ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE CO-ORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.

REFERENCE	PRODUCT	MANUFACTURER	TYPE	COLOR	COMMENTS
CC-1	COVE CAP	TARKETT	SCS COLOR CHIPS	#80 FAUN	FOR RSF-2
CC-2	COVE CAP	TARKETT	SCS COLOR CHIPS	#21 PLATINUM	FOR RSFF-1
RSF-4	SHEET FLOORING	FORBO	LINOLEUM	STRIATO: BLEACHED GOLD 5253	
RSF-2	SHEET FLOORING	FORBO	LINOLEUM	LIQIDU CLAY - 3702	
RSFF-1	RESILIENT SHEET FLOORING	ALTRIO	RELIANCE 25	TEMPLE	
EPK-1	EPOXY	SIKA/FLOOR	MORITEST	BROADCAST BLEND 310	COLOR TO BE VERIFIED BY ARCHITECT

CUMMER AVENUE

CUMMER LODGE

- 1 ACCESS TO SITE AND LOADING DOCKS
- 2 DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES (RESERVED)
- 2a ACCESS TO DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES (RESERVED)
- 3 MAIN ENTRANCE
- 3a SERVICE ENTRANCE
- 4 LOADING DOCKS
- 5 EQUIPMENT AND MATERIAL DROP-OFF
- 6 CONTRACTORS DISPOSAL BIN
- 7 ACCESS FOR EMERGENCY VEHICLES
- 8 MEETING AREA FOR SITE VISITS
- 9 VISITOR PARKING

CL-SITE PLAN

1 : 500

001	TEMPORARILY REMOVE ALL FURNITURE AND EQUIPMENT IN FLOOR REPLACEMENT AREAS. STORAGE LOCATION TO BE COORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
002	DEMOLISH ALL EXISTING FLOORING AND BASE TO EXISTING SUBSTRATE AS INDICATED ON DRAWINGS. REPAIR ANY CRACKS AND/OR SKIN COATS FOR NEW LEVEL FLOOR FINISH. REMOVE EXISTING FLOOR LONG WALL SEEM WHERE POSSIBLE.
003	CLEAN AND PREPARE SURFACES FOR NEW FLOORING AS REQUIRED.
004	EXISTING DRAINS TO REMAIN. PROTECT DURING DEMOLITION IF EXISTING FLOOR DRAIN IS NOT CLAMPING - FOLLOW MANUFACTURER FLOORING INSTRUCTION FOR MODIFICATION OF EXISTING FLOOR DRAINS.
005	ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE COORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
006	ALL BASEBOARD HEATER COVERS INTERFERING WITH INSTALLATION OF NEW BASE TO BE TEMPORARILY REMOVED AND RE-INSTATED AFTER COMPLETION OF THAT SECTION OF WORK. CONTRACTOR TO COORDINATE WITH OWNER.
007	ALL EXISTING CORNER GUARDS IMPACTED BY REPLACEMENT OF FLOOR BASE TO BE REMOVED IF REQUIRED, MODIFIED AS REQUIRED AND RE-INSTATED.
008	EXISTING MILLWORK TO REMAIN. DEMOLITION AND NEW FLOOR REPLACEMENT AREA OF WORK TO BE COMPLETED UP TO BASE OF EXISTING MILLWORK. PROTECT MILLWORK AND MAKE GOOD OF ANY DAMAGES.
01	CONTRACTOR SHALL REPAIR SUBFLOOR AS REQUIRED BY MANUFACTURE SPECIFICATION OF FINISHED FLOOR MATERIAL. REPAIR PITS & CRACKS. LEVEL AS REQUIRED. APPLY SELECTIVE SORTED COATS & SELF LEVELER TO ENSURE NO TELEGRAPHING OF SUBFLOOR. ASSUME TOLERANCE OF +/-2" FOR SELF LEVELING.
02	REPAIR ANY CONSTRUCTION DAMAGE. TOUCH UP PAINT TO MATCH EXISTING COLOURS WHERE REQUIRED THROUGHOUT DUE TO DEMOLITION WORK.
03	IN CASE OF PENETRATION IN WALLS/FLOORS MAKE GOOD AND REPAIR AS REQUIRED.
04	PROTECT/HOARD ALL AREAS OF WORK AS REQUIRED DURING RENOVATION WORK. PROVIDE DUST TIGHT FLOOR TO CEILING HOARDING ASSEMBLY TO FULLY SEPARATE ALL AREAS OF WORK FROM OCCUPIED AREAS OF THE HOME TO THE SATISFACTION OF THE BUILDING SERVICES MANAGER AND THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE WORK.
05	PROTECT FINISHED INSTALLATION AFTER INSTALLATION IS COMPLETE.
06	BUILDING EXPANSION JOINTS TO BE MAINTAINED DURING DEMOLITION AND INSTALLATION. ANY VOIDS IN STRUCTURAL CONCRETE ADJACENT TO EXPANSION JOINTS TO BE MADE GOOD CREATING A LEVEL SURFACE ON EITHER SIDE OF JOINT.
07	ALL JOINTS BETWEEN EXISTING SHEET FLOORING AND NEW SHEET FLOORING TO BE WELDED CREATING A SEAMLESS TRANSITION.
08	NEW FLOORING TO BE DRESSED AROUND AND SEALED AGAINST EXISTING FLOOR DRAINS, POP UPS AND PROTRUDING PIPE WORK.
09	MAKE GOOD ALL WALL DAMAGED BY THE REMOVAL OF EXISTING WALL BASE. NEW WALL TO MATCH EXISTING ABOVE. TAPE ALL JOINTS NO FINISH REQUIRED BELOW LINE OF NEW WALL BASE.
10	RE-INSTATE EXISTING FURNITURE AND EQUIPMENT AS PER ORIGINAL LAYOUT.
11	RE-INSTATE EXISTING CORNER GUARDS AS PER ORIGINAL LOCATION.
12	NEW FLOORING NEED NOT GO ALL THE WAY UNDER BASEBOARD DIFFUSERS. REFER DEMO NOTE 006.

A0.00	COVER PAGE
A0.01	GENERAL INFORMATION
A0.01	AREA OF WORK PLAN - LEVEL 2
A0.21	EXISTING CONDITION PHOTOS - LEVEL 2 - NORTH WING
A0.22	EXISTING CONDITION PHOTOS - LEVEL 2 - NORTH WING
A2.01	LEVEL 2 - NW WING DEMO/PROPOSED PLAN
A2.02	LEVEL 2 - NW WING DEMO/PROPOSED PLAN
A5.4.188.19	1A/1A/B/2D/C1/Cx/1C/1C/2 UNITS DETAIL ARCHIVED PLANS
A5.4.208.21	1D/1D/1D/1D/2E/1E/1E/1F/1F UNITS DETAIL ARCHIVED PLANS
A5.4.228.23	1G/2E/2E/2E/2A/2A/2A/2B UNITS DETAIL ARCHIVED PLANS
A5.4.245.25	2F/2F/2G/2G/1H/1H/2H/2H UNITS DETAIL ARCHIVED PLANS
A5.4.26	NW SUPPORT CORE/TV LOUNGE ARCHIVED PLANS
A5.4.27	NW SUPPORT CORE/ACTIVATION RM ARCHIVED PLANS
A5.4.30	NW SUPPORT CORE/TUB RM ARCHIVED PLANS
A5.4.31	DETAILS, SEAMING DIAGRAMS FROM FINISH SCHEDULE
A5.4.32	DETAILS - TYP. TUB/ SHOWER ROOM

ACT	ACOUSTIC CEILING TILE	GL	GLASS	RCP	REFLECTED CEILING
AF	AFTER FINISHED FLOOR	GWB	GYPSSUM WALL BOARD	R.O.	ROUGH OPENING
ADJ	ADJUSTABLE	HC	HOLLOW CORE	R	RASILENT SHEET FLOORING
BSM	BUILDING SERVICE MANAGER	HS	HOSE BIB	RSSF	RESILIENT SHEET SAFETY FLOORING
CG	CONCRETE GUARD	HD	HAND DRIVER	RSI	SOIL SPENDER
CD	CONTROL UNIT	HL	HOLLOW METAL	S	SAFETY FLOORING
CM	CONCRETE MASONRY UNIT	HIM	HOLLOW INSULATED METAL	S	SHOWER
CNC	CONCRETE	HT	HEIGHT	SCR	SHOWER CURTAIN ROD
CO	CLEAN OUT	INT	INTERIOR	SNLJL	SHOWER
CT	CERAMIC TILE	L	LOOSE LINTEL	SO	EMERGENCY SHUT OFF
CR	CLOSE ROAST	LIT	LIGHTING VINYL TILE	S	SPEAKER
COVE	COVE	LVT	LAMINATE	SSTL	STAINLESS STEEL
CW	COMPLETED WITH	MAX	MAXIMUM	STL	STEEL
DO	DOOR OPERATOR	MN	MINIMUM	STN	STONE
DU	DUPLEX RECEPTACLE PLATE	MR	MIRROR	SV	SHEET VINYL
DA	DIAMETER	MGBS	MOISTURE RESISTANT GWB	TEMP	TEMPORARY
ELEV	ELEVATION	MG	MOLD GAGES	TEMP	TEMPERATURE
(E)	EXISTING	MTL	METAL	TEMP	TERRAZZO
EL	EMERGENCY LIGHT	N/A	NOT APPLICABLE	T.O.	TOP OF
EXP	EXISTING CONDITION PHOTO	NC	NOT IN CONTRACT	TYP	TYPICAL
EPK	EXPLODY FLOORING	NIC	NOT IN CONTRACT	UNO	UNDERSIDE OF
EGB	EXISTING WALL BOARD	NTS	NOT TO SCALE	UNO.	UNLESS NOTED OTHERWISE
E	EXISTING	ON	ON CENTRE	V	VAPOUR BARRIER
EWC	FIRE EXTINGUISHER CABINET	OH	OVER HEAD	V.I.F.	VERIFY IN FIELD
FHC	FIRE HOSE CABINET	PLAM	PLASTIC LAMINATE	VR	VAPOUR RETARDER
FD	FIRE DAMPER	PLUM	PLUMBING	W	WOOD
FX	FIXED	PLY	PLYWOOD	WF	WINDOW FILM
FN	FINISH	PS	PULL STATION	WP	WALL PROTECTION
FLR	FLOOR	PTW	PRESSURE TREATED WOOD	WS	WINDOW SHADE
FRR	FIRE RESISTANT RATING	PT	PAINT	W	WITH
GA	GAUGE	PTD	PAPER TOWEL DISPENSER	ZV	ZONE VALVE
GALLV	GALVANIZED	QU	QUAD RECEPTACLE PLATE		
GB	GRAB BAR	RB	RESILIENT BASE		

5	2024-06-06	ISSUED FOR RETENDER
4	2024-03-14	ADDENDUM #5
3	2023-11-15	ISSUED FOR TENDER
2	2023-02-20	ISSUED FOR CONSTRU
1	2022-07-08	ISSUED FOR TENDER
#	date:	revision:
revision		

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

205 CUMMER AVE.
NORTH YORK, ONTARIO

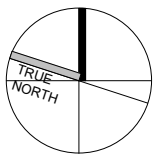
205 CUMMER AVE.
NORTH YORK, ONTARIO

scale As indicated

scale:	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing
number

A0.01



3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	by:
8			

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
NORTH YORK, ONTARIO

AREA OF WORK PLAN - LEVEL 2

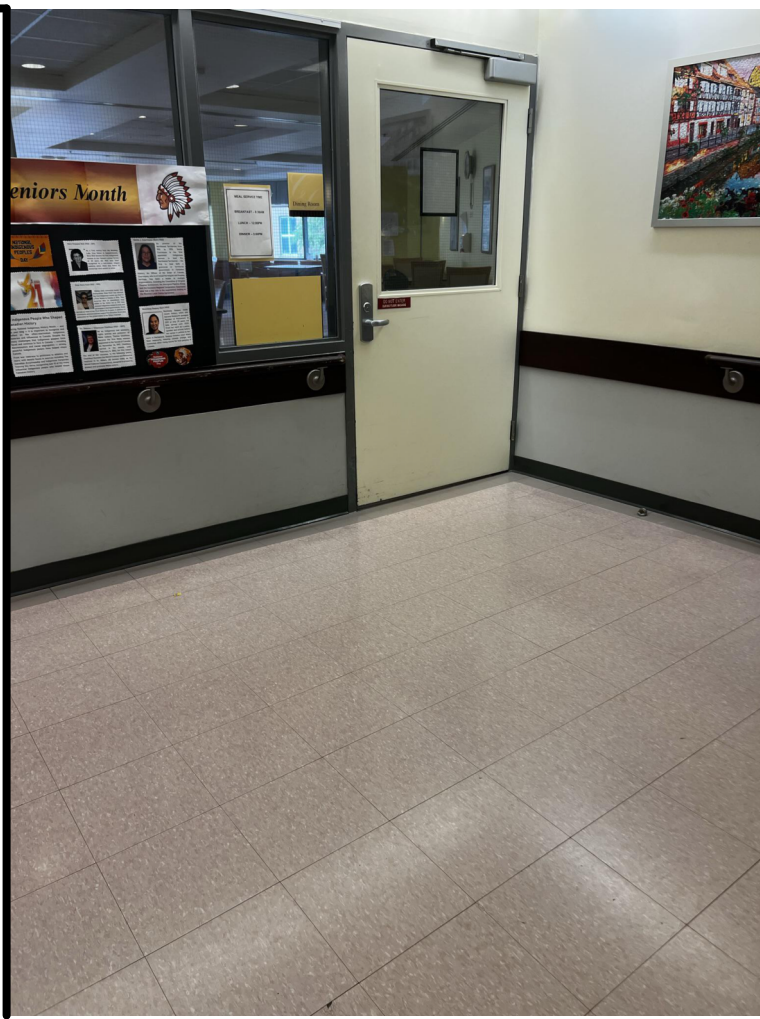
scale	1 : 200
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number:

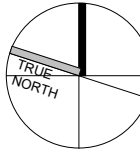
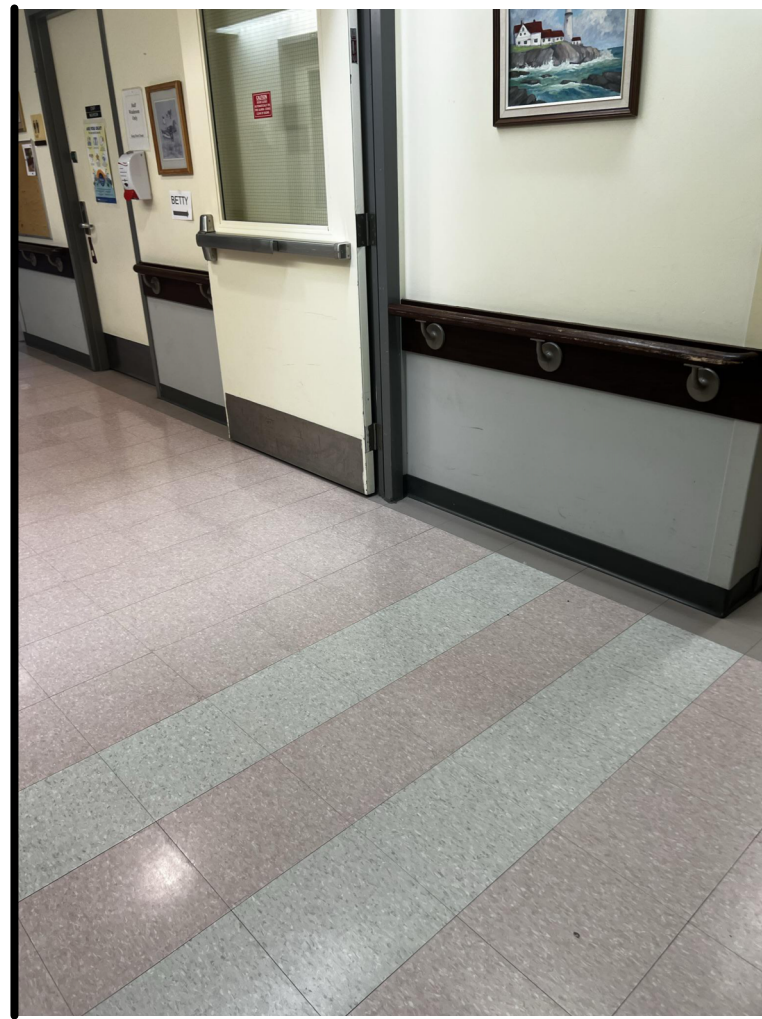
A0.11



TYP. SINGLE BEDROOM



TYP. SINGLE BEDROOM



4	2024-06-06	ISSUED FOR RETENDER	MSA
3	2023-11-15	ISSUED FOR TENDER	MSA
2	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
1	2022-07-08	ISSUED FOR TENDER	MSA
#	date:	revision:	by:

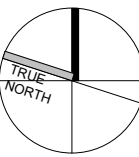
All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT
205 CUMMER AVE.
NORTH YORK, ONTARIO

EXISTING CONDITION PHOTOS - LEVEL 2 - NORTH WING

scale	
drawn by:	SK
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number:



AREA OF WORK LEGEND	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS
	CORNER GUARDS - ALTERNATE PRICE #1
	FLOORING - ALTERNATE PRICE #2

4	2024-06-06	ISSUED FOR RETENDER	MSA
3	2024-03-14	ADDENDUM #6	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	by:

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT

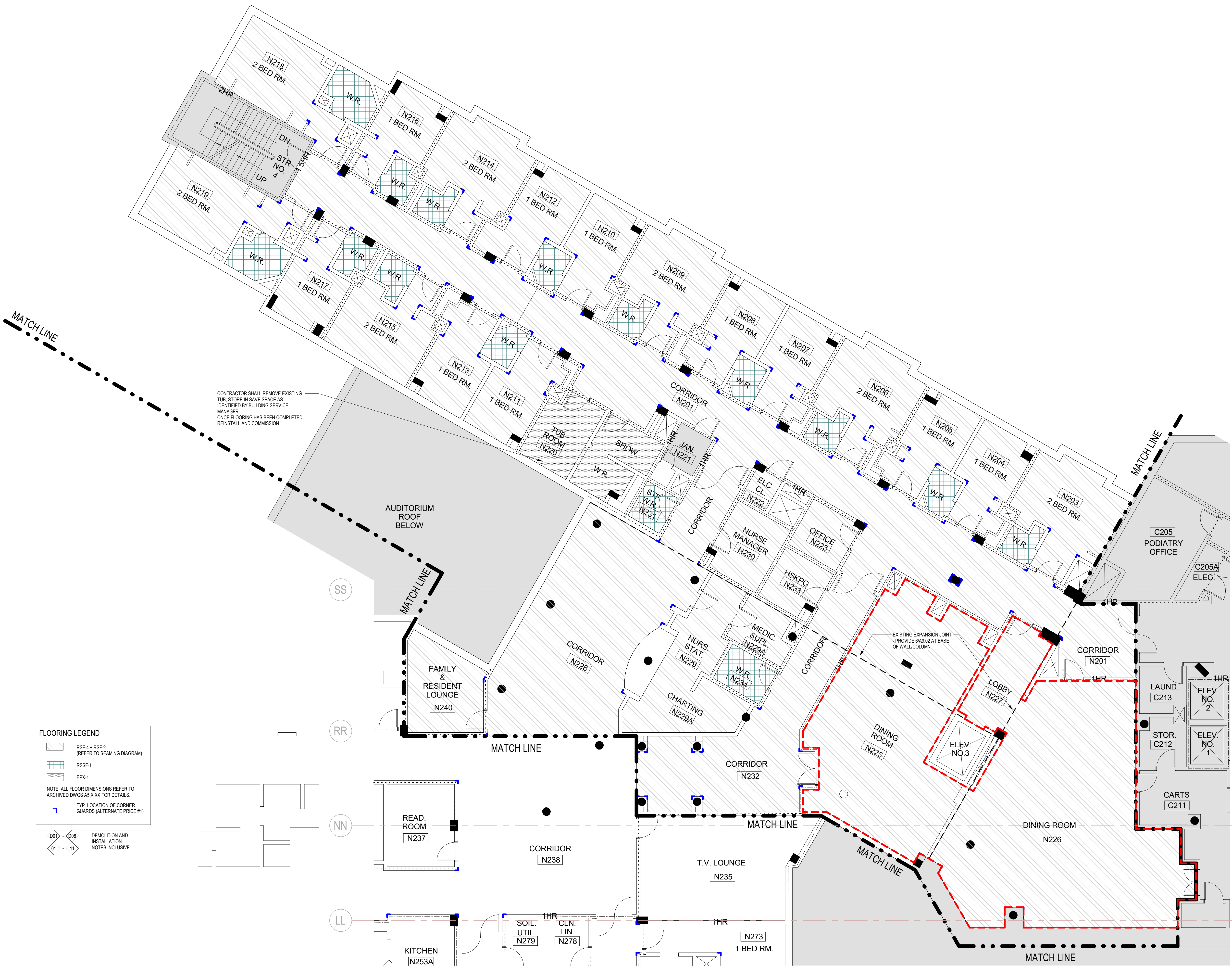
205 CUMMER AVE.
NORTH YORK, ONTARIO

LEVEL 2 - N/E WING DEMO/PROPOSED PLAN

scale	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number:

A2.01

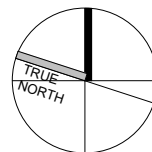


FLOORING LEGEND	
	RSF-4 + RSF-2 (REFER TO SEAMING DIAGRAM)
	RSF-1
	EPX-1
NOTE: ALL FLOOR DIMENSIONS REFER TO ARCHIVED DWGS AS X.XX FOR DETAILS.	
	TYP. LOCATION OF CORNER GUARDS (ALTERNATE PRICE #1)

	DEMOLITION AND INSTALLATION NOTES INCLUSIVE
--	---

1 LEVEL 2 - N/E WING DEMO/ PROPOSED PLAN

1: 100



AREA OF WORK LEGEND	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS
	CORNER GUARDS - ALTERNATE PRICE #1
	FLOORING - ALTERNATE PRICE #2

4	2024-06-06	ISSUED FOR RETENDER	MSA
3	2024-03-14	ADDENDUM #5	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	by:

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
NORTH YORK, ONTARIO

LEVEL 2 - N/W WING DEMO/PROPOSED PLAN

scale	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number:

A2.02

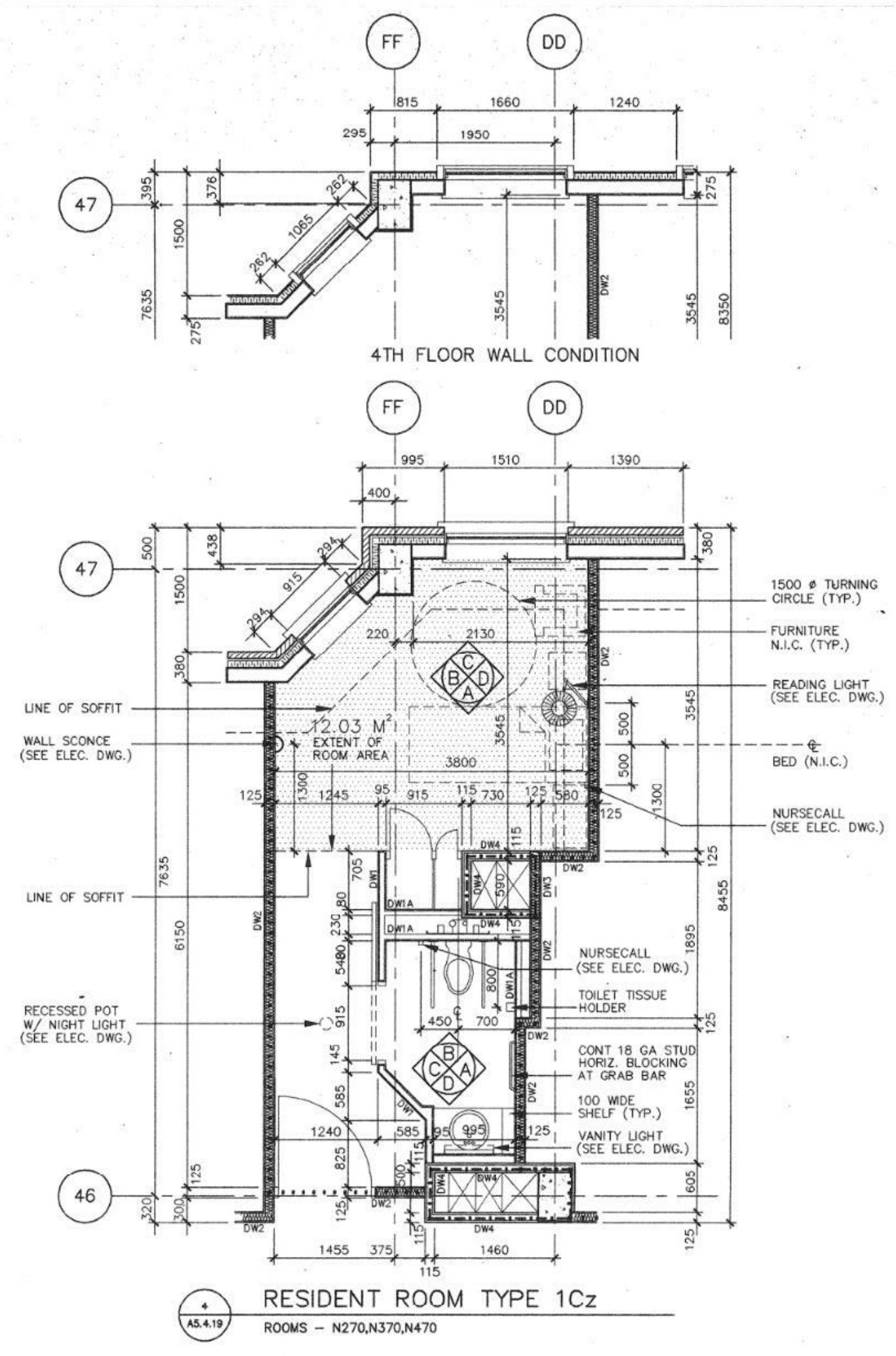
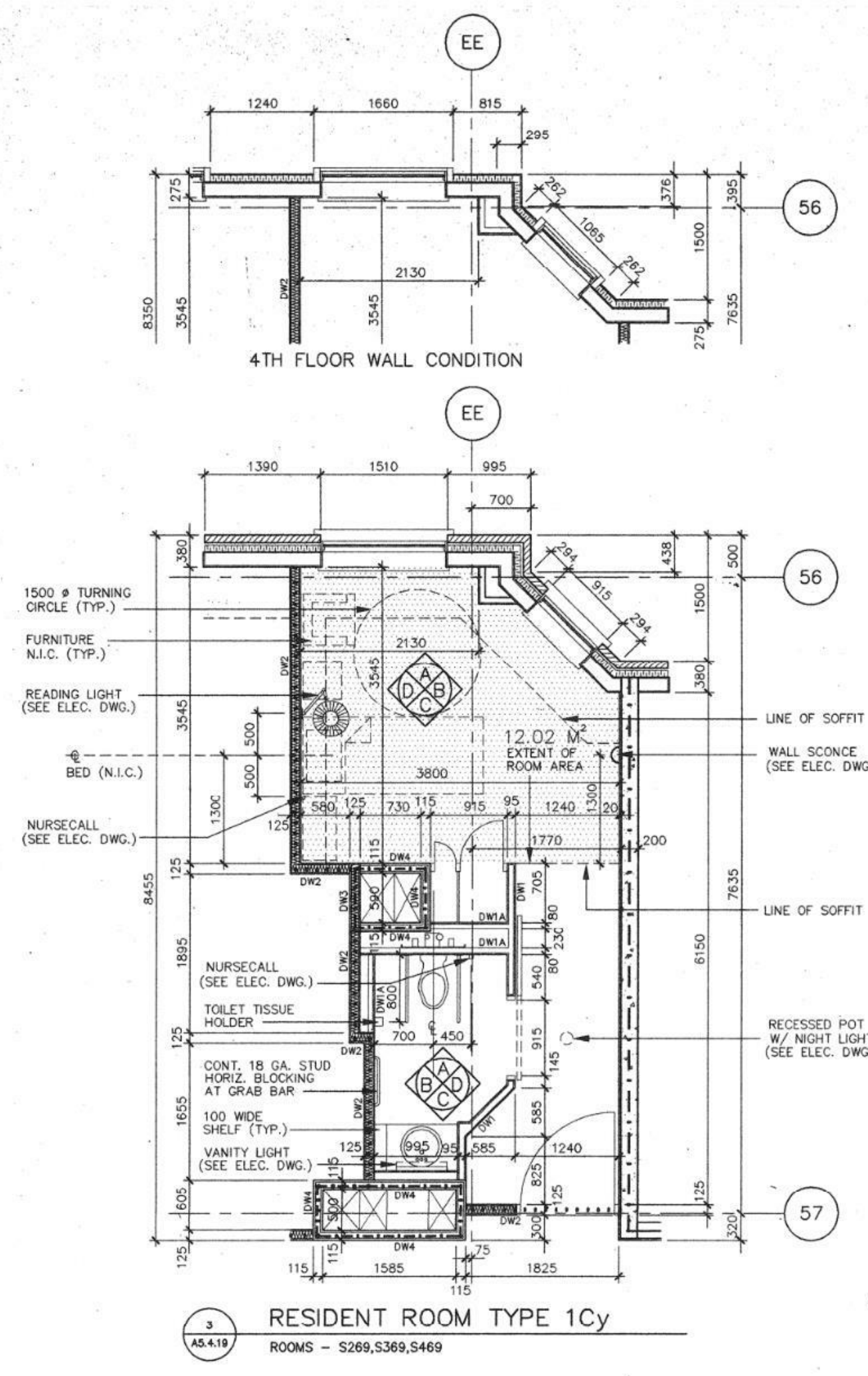
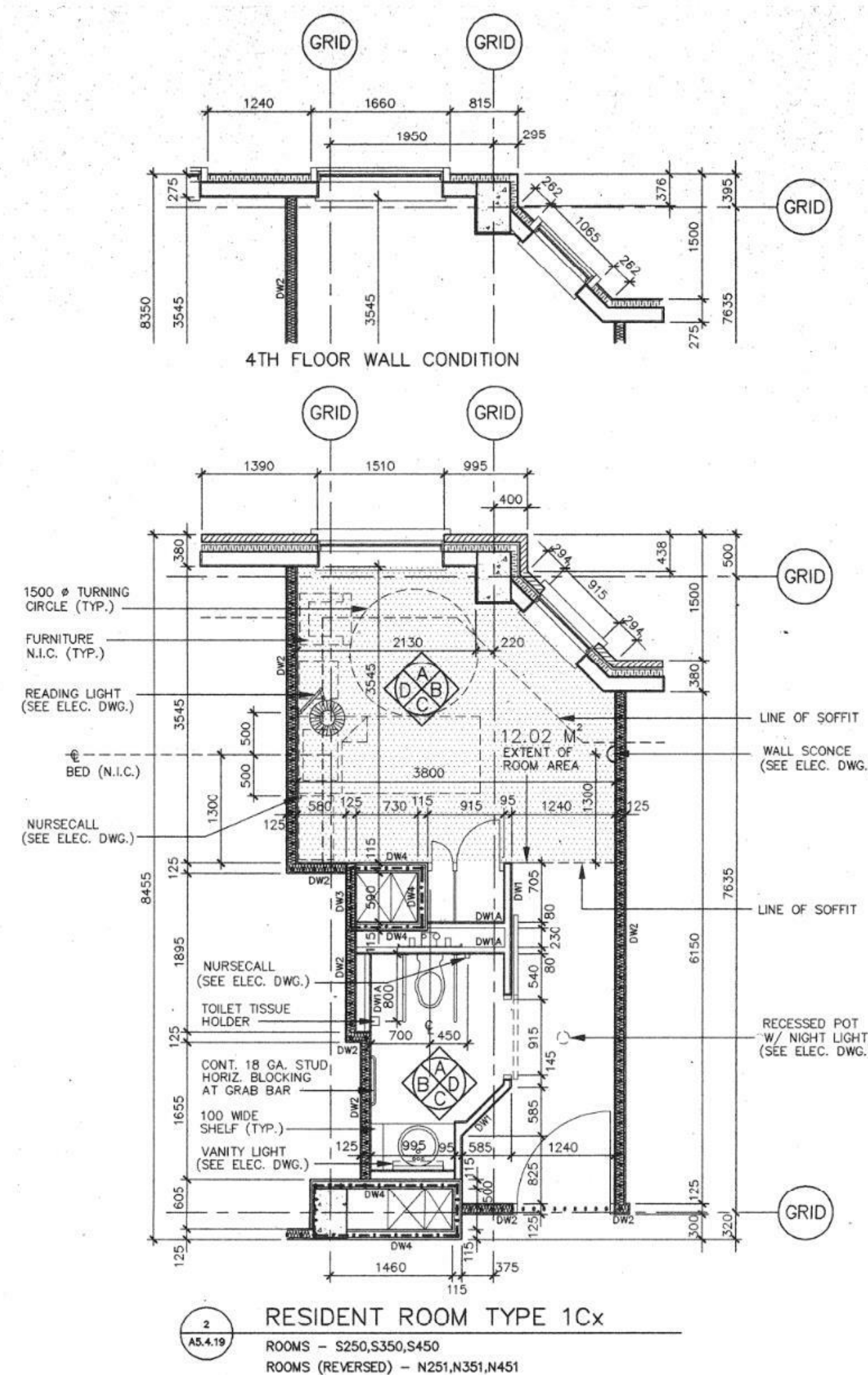
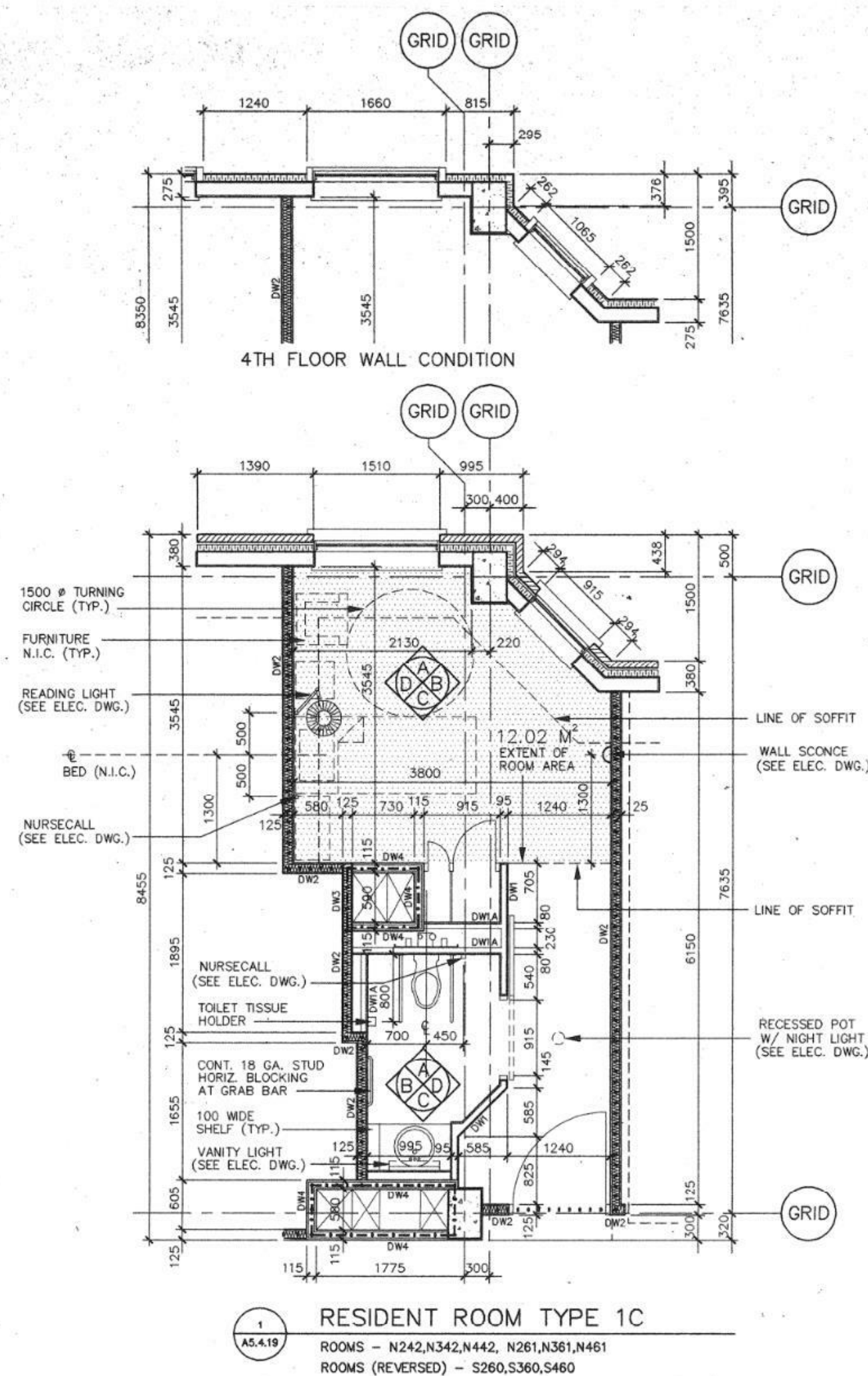
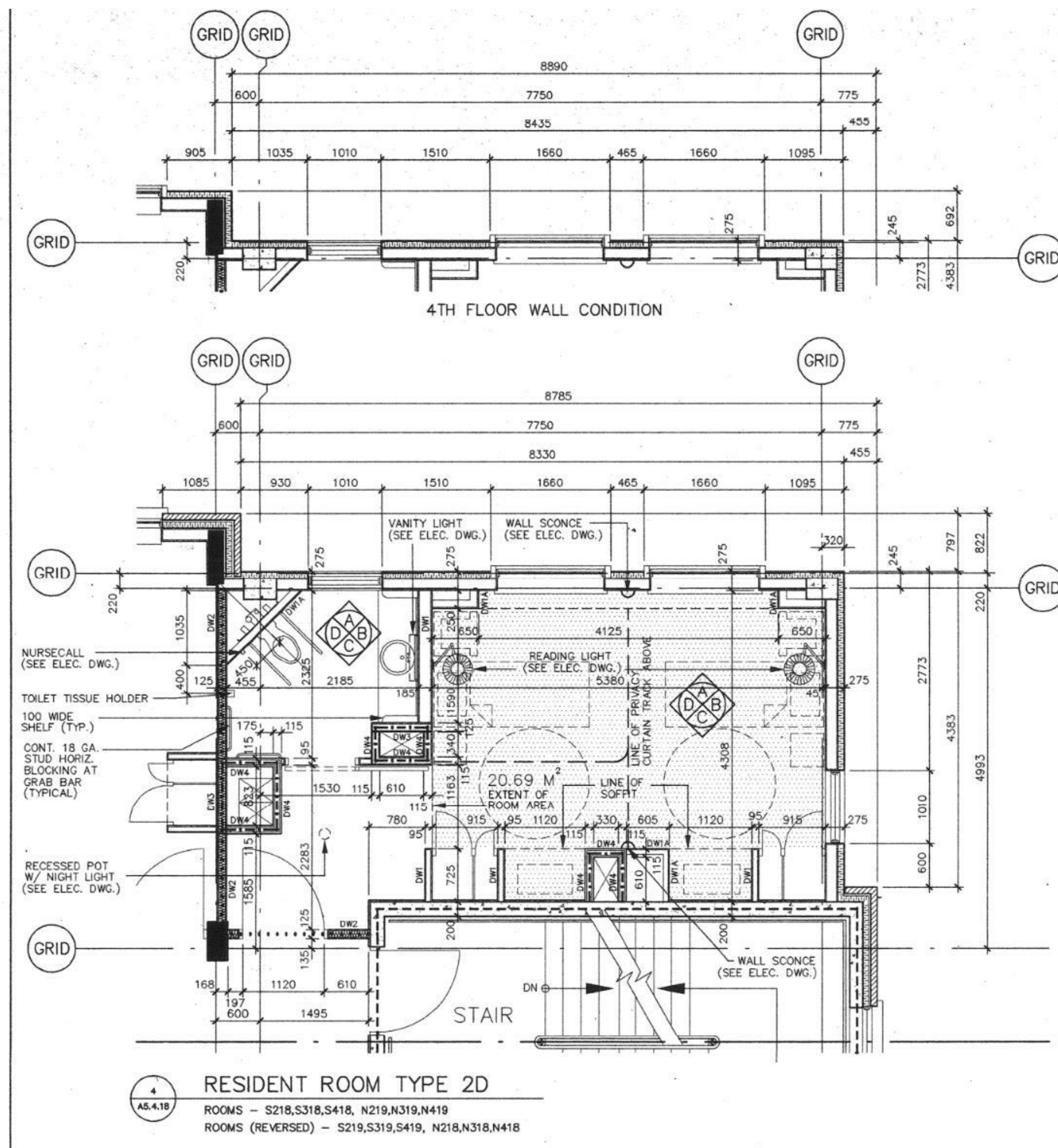
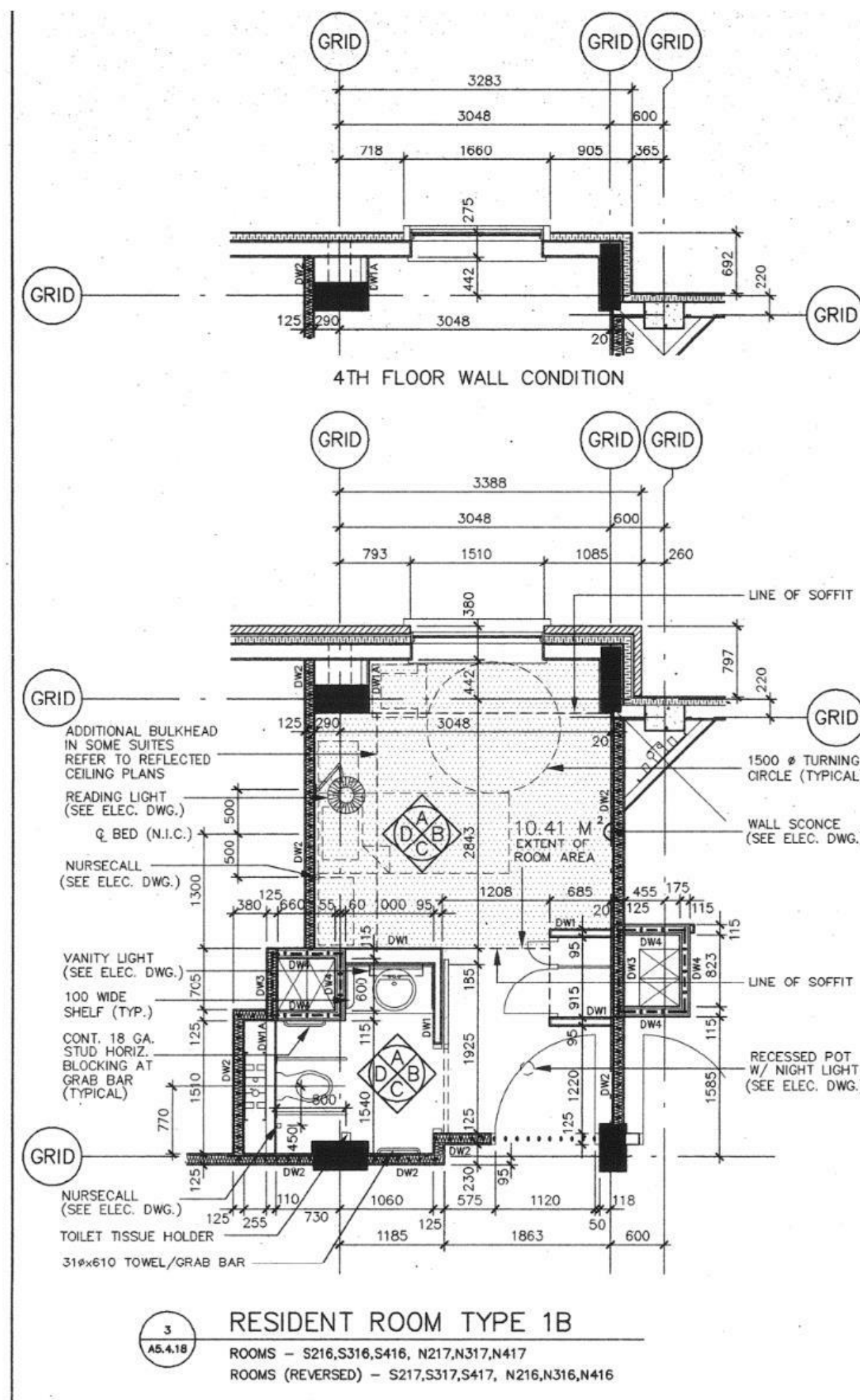
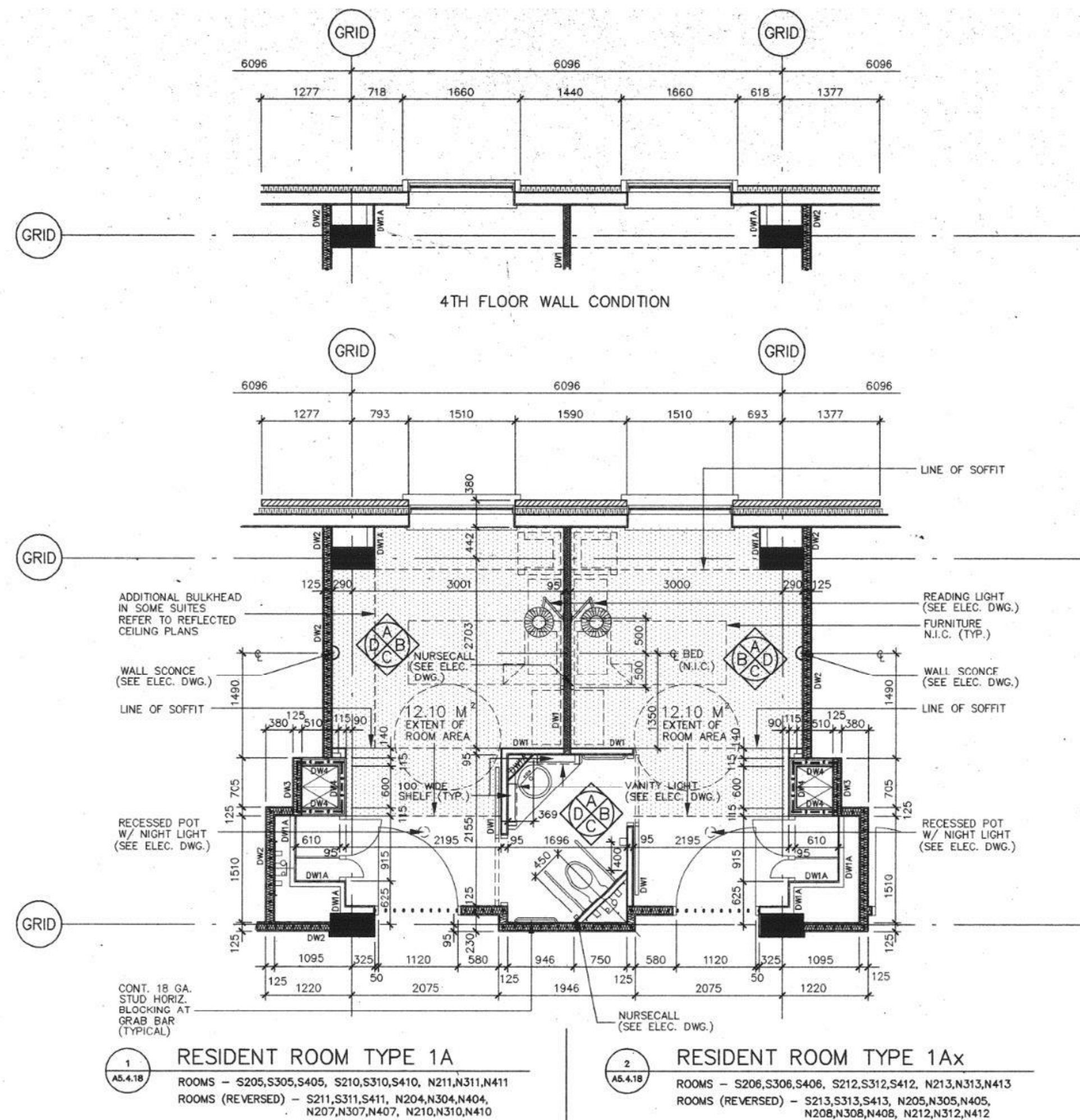
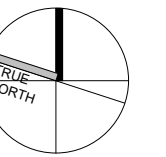


FLOORING LEGEND	
	RSF-4 + RSF-2 (REFER TO SEAMING DIAGRAM)
	RSF-1
	EPX-1
NOTE: ALL FLOOR DIMENSIONS REFER TO ARCHIVED DWGS AS X.XX FOR DETAILS.	
TYP. LOCATION OF CORNER GUARDS (ALTERNATE PRICE #1)	

	DEMOLITION AND INSTALLATION NOTES INCLUSIVE
--	---

LEVEL 2 - N/W WING DEMO/ PROPOSED PLAN

1 : 100



4 2024-06-06 ISSUED FOR RETENDER MSA
3 2023-11-15 ISSUED FOR TENDER MSA
2 2023-02-20 ISSUED FOR CONSTRUCTION MSA
1 2022-07-08 ISSUED FOR TENDER MSA
date: revision: by:
revision

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

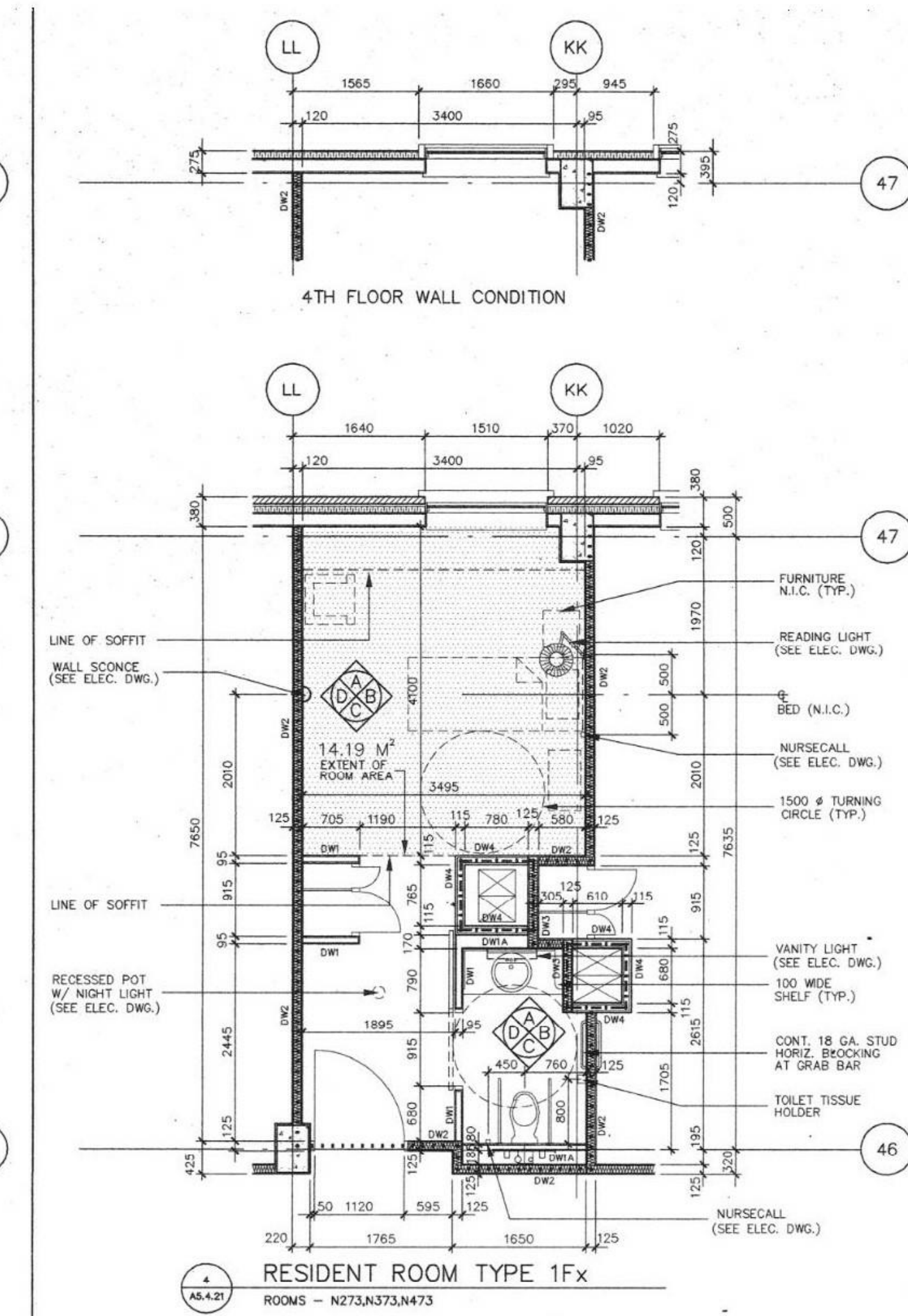
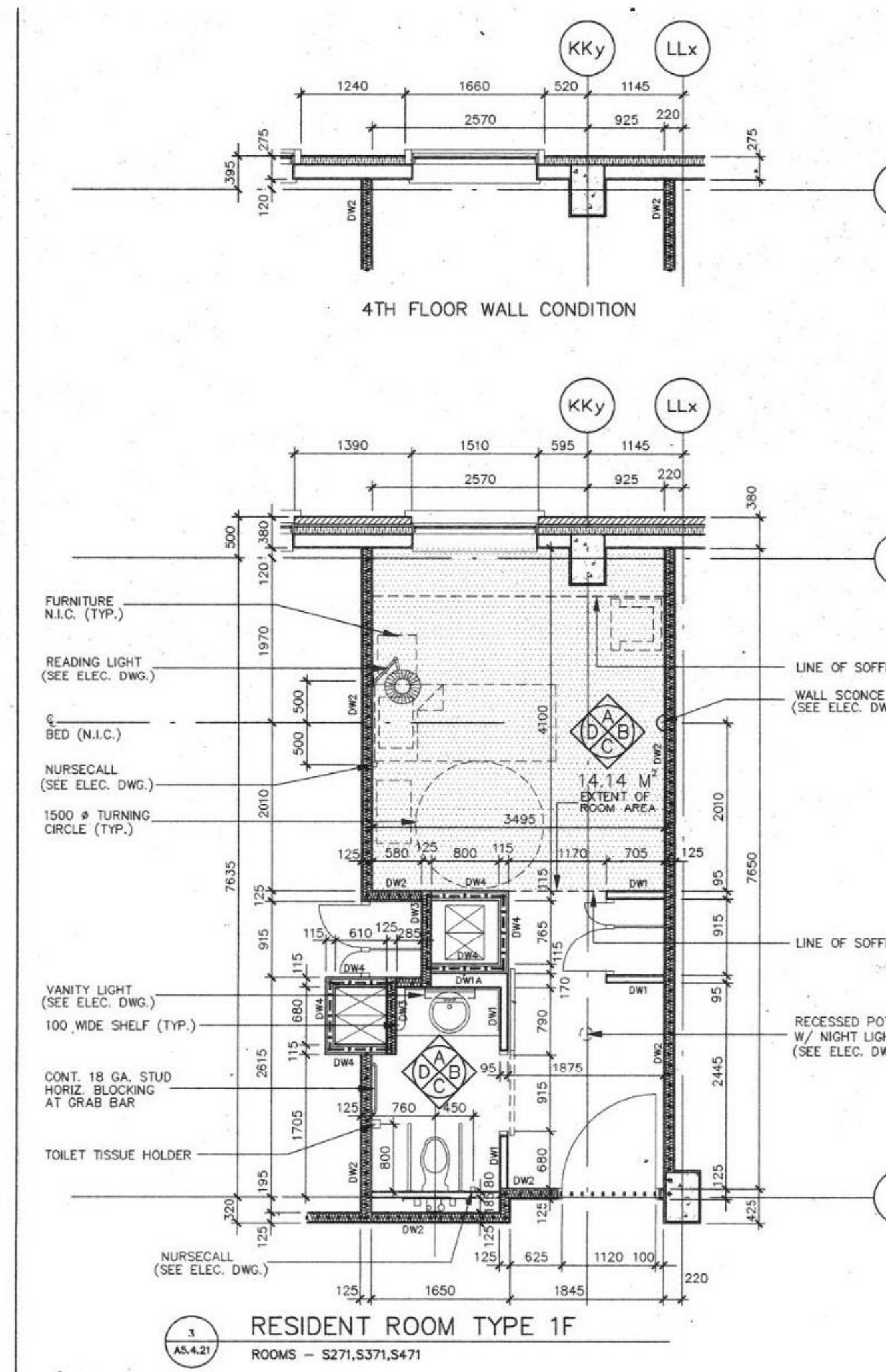
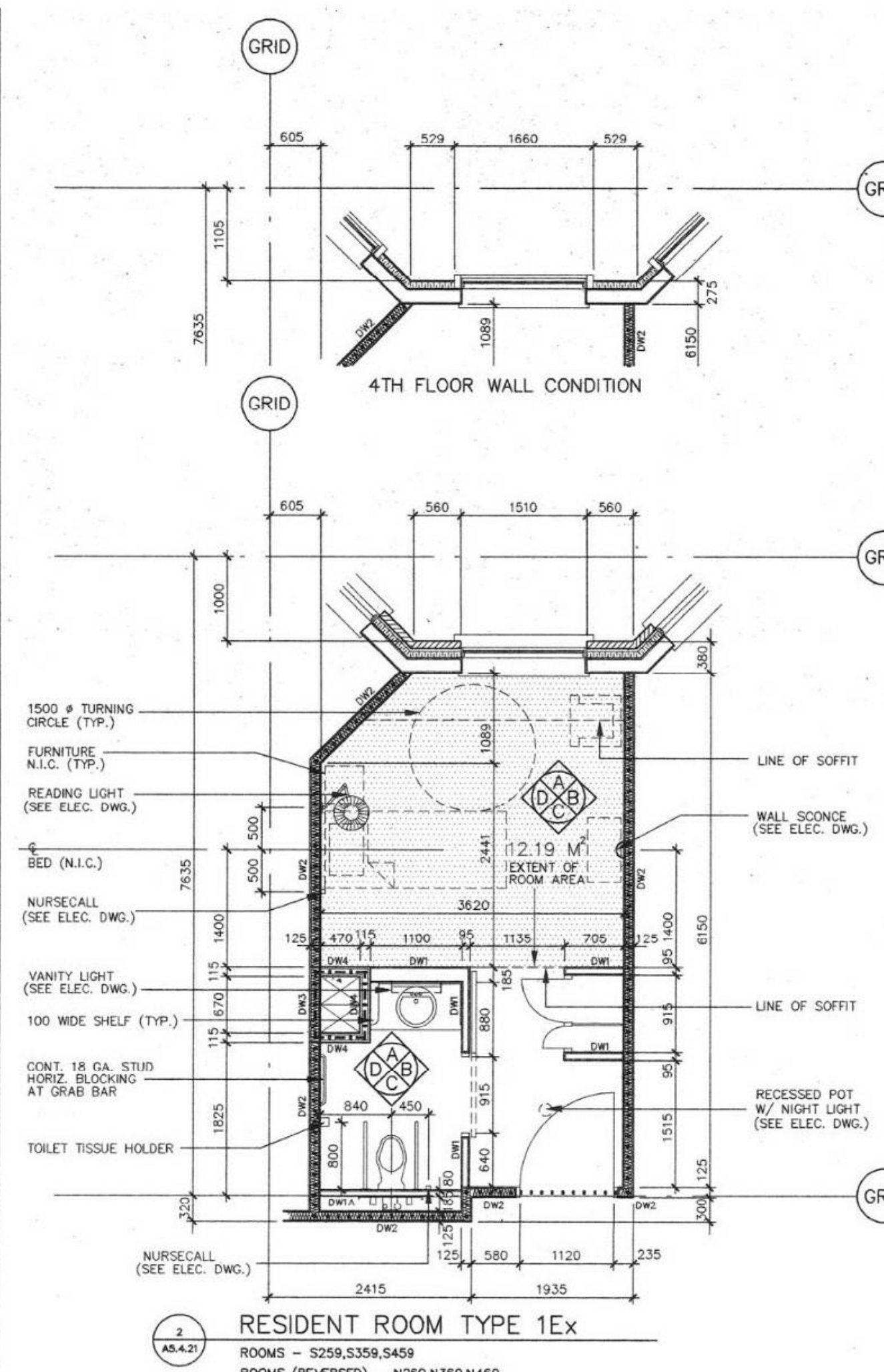
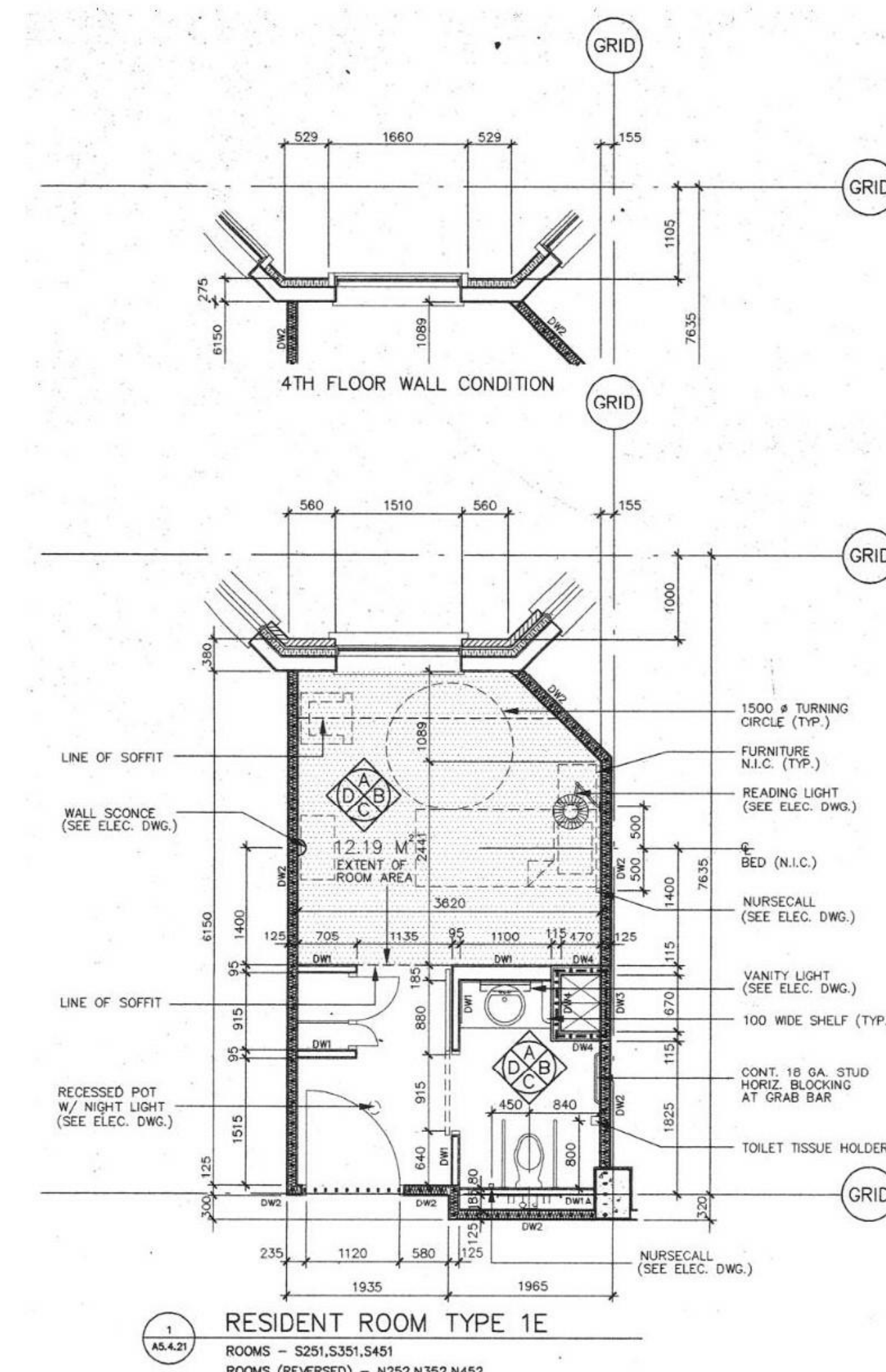
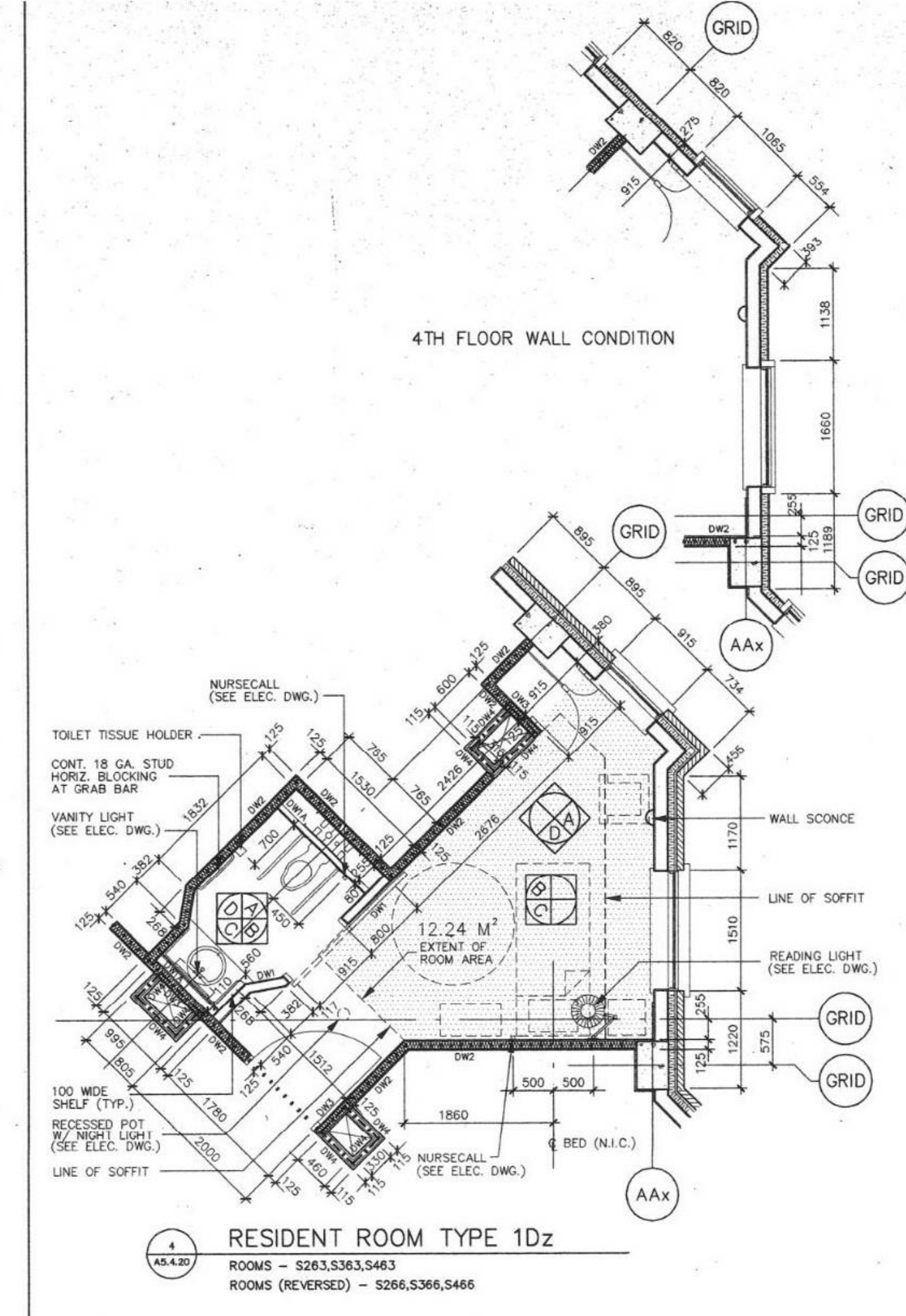
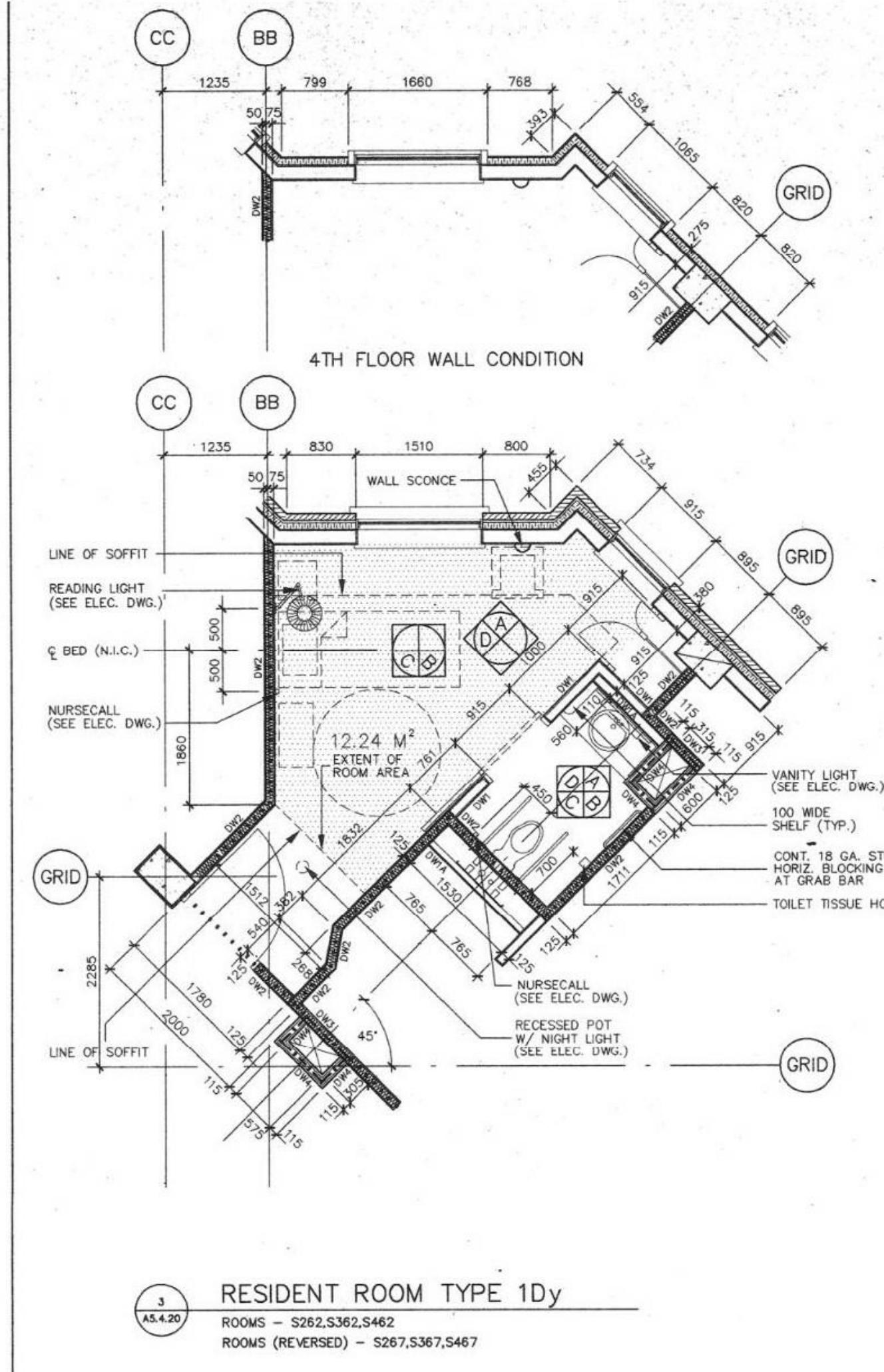
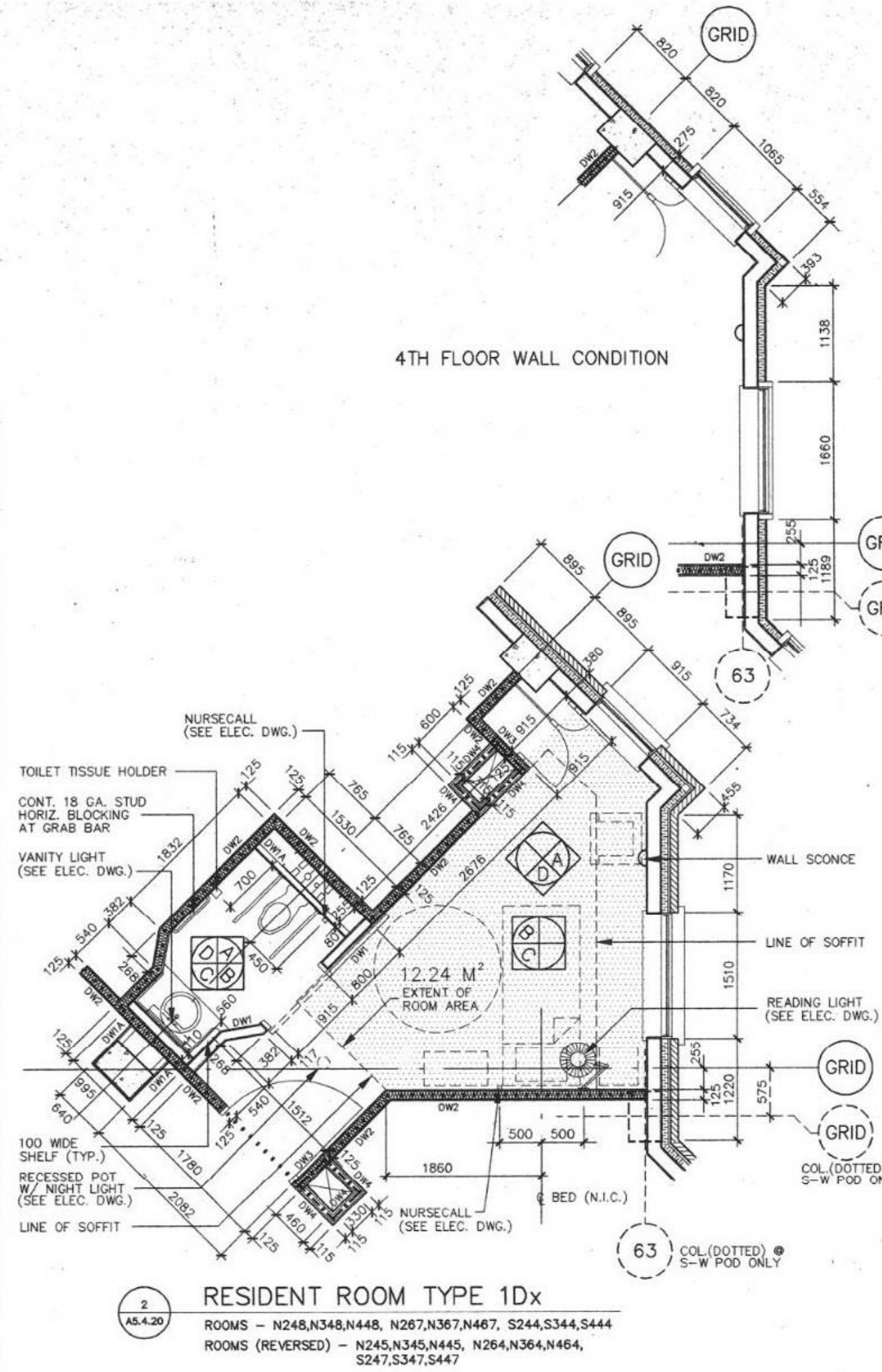
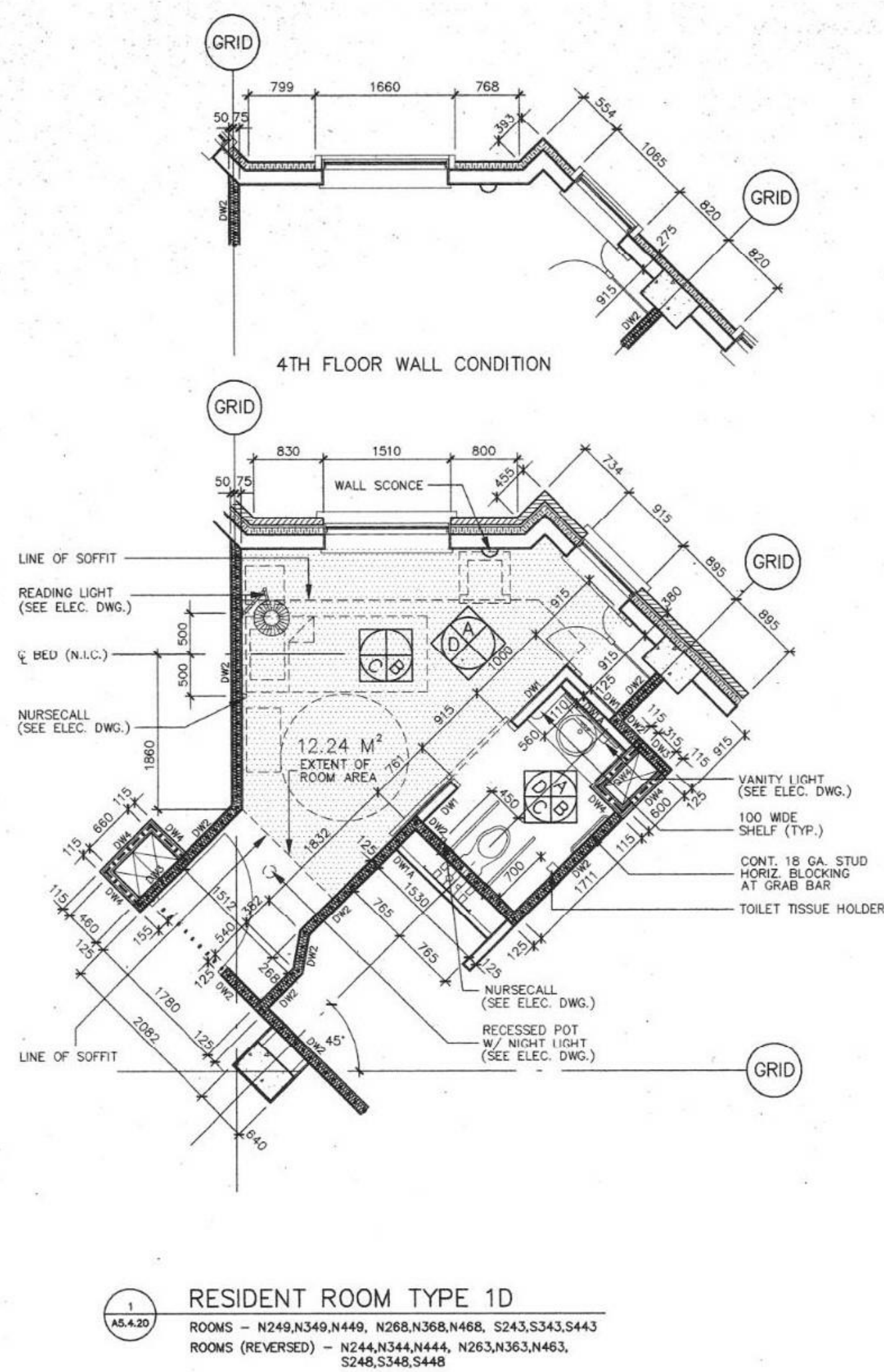
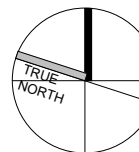
CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
NORTH YORK, ONTARIO

1A/1Ax/1B/2D/1C/1Cx/1Cy/1Cz UNITS DETAIL ARCHIVED PLANS

scale As indicated
drawn by MO
reviewed by AR
job number: 21504.F05
plot date: 2024-03-13

drawing number: A5.4.18&19



4 2024-06-06 ISSUED FOR RETENDER MSA
3 2023-11-15 ISSUED FOR TENDER MSA
2 2023-02-20 ISSUED FOR CONSTRUCTION MSA
1 2022-07-08 ISSUED FOR TENDER MSA
date: revision: by:
revision

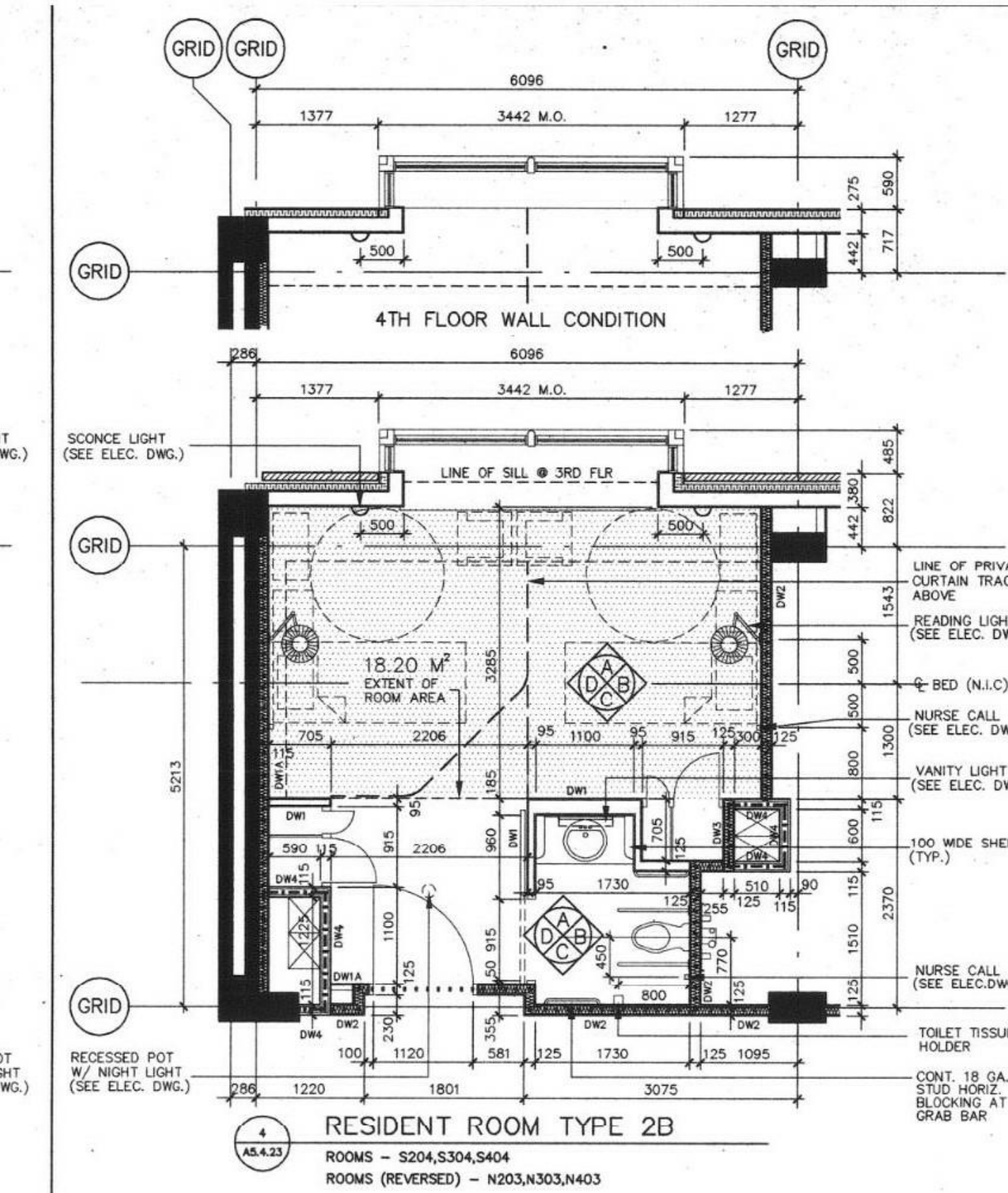
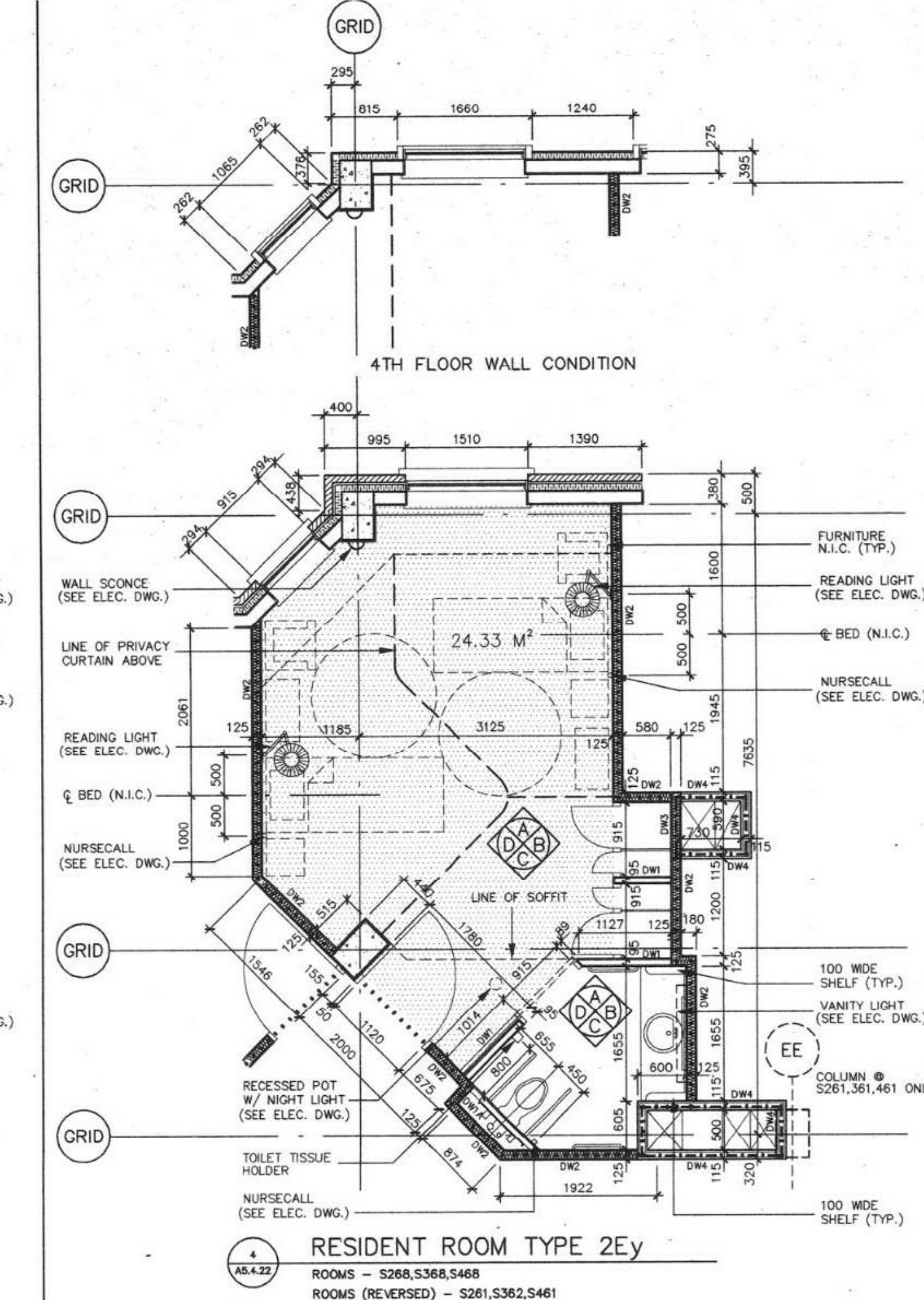
All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT
205 CUMMER AVE.
NORTH YORK, ONTARIO

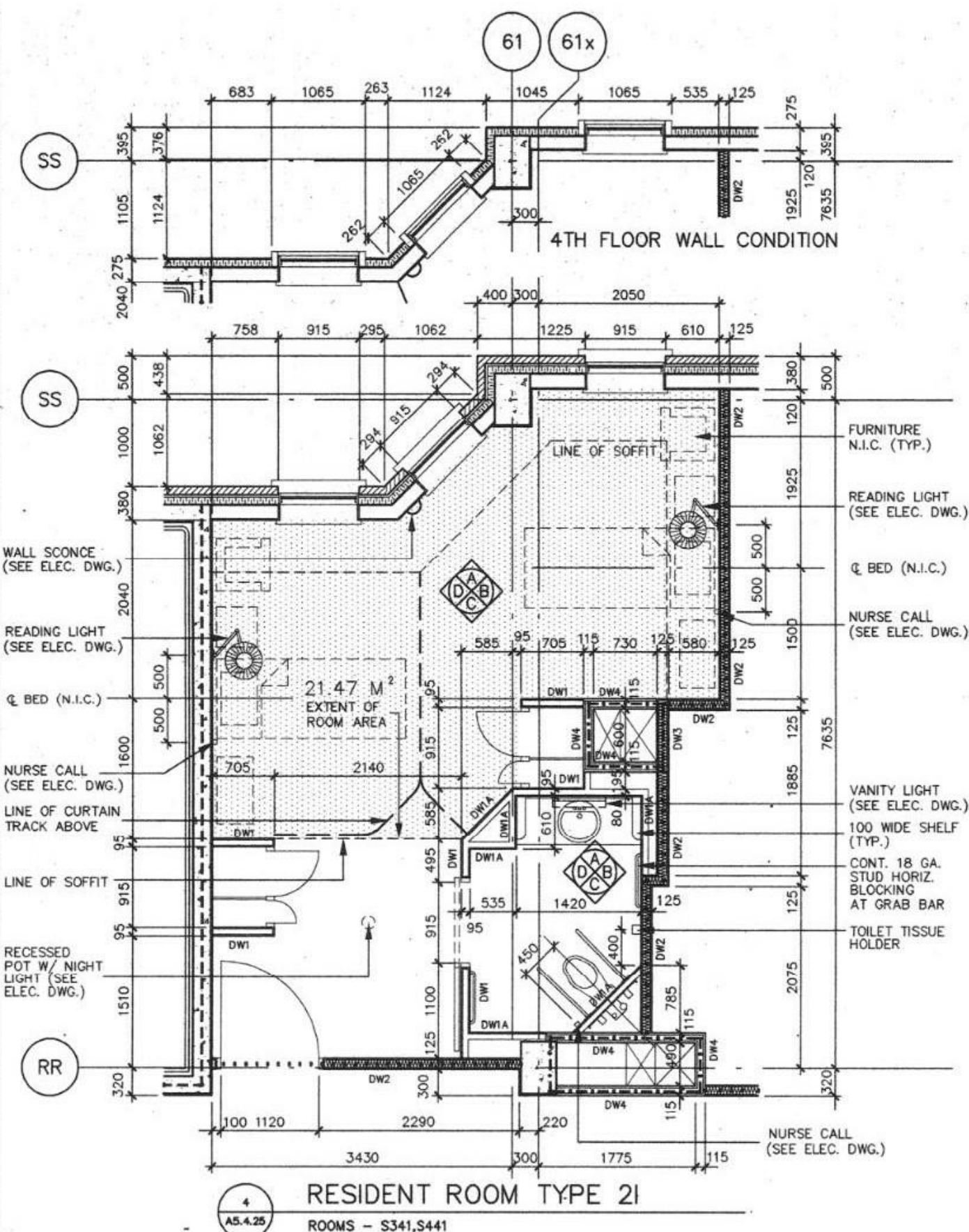
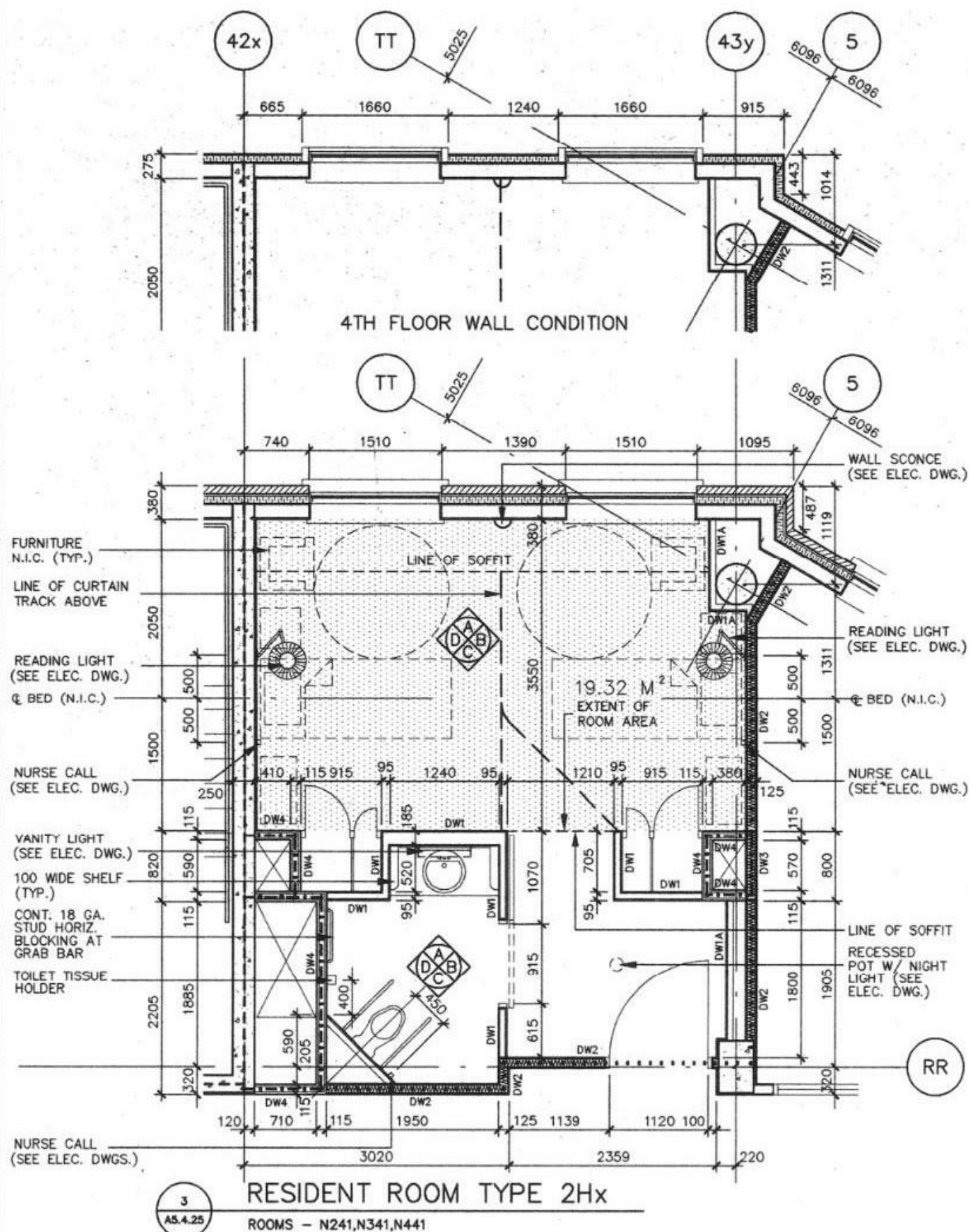
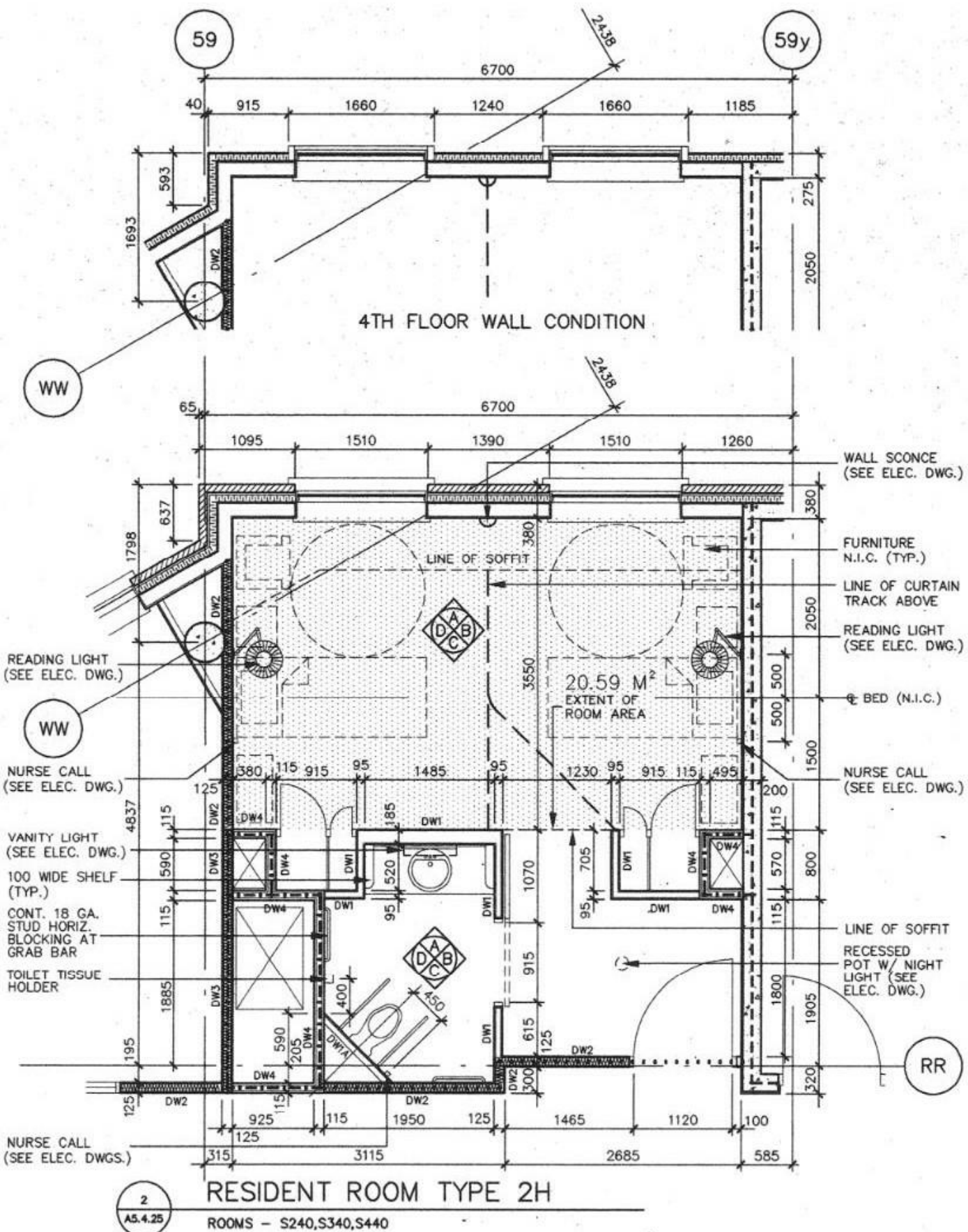
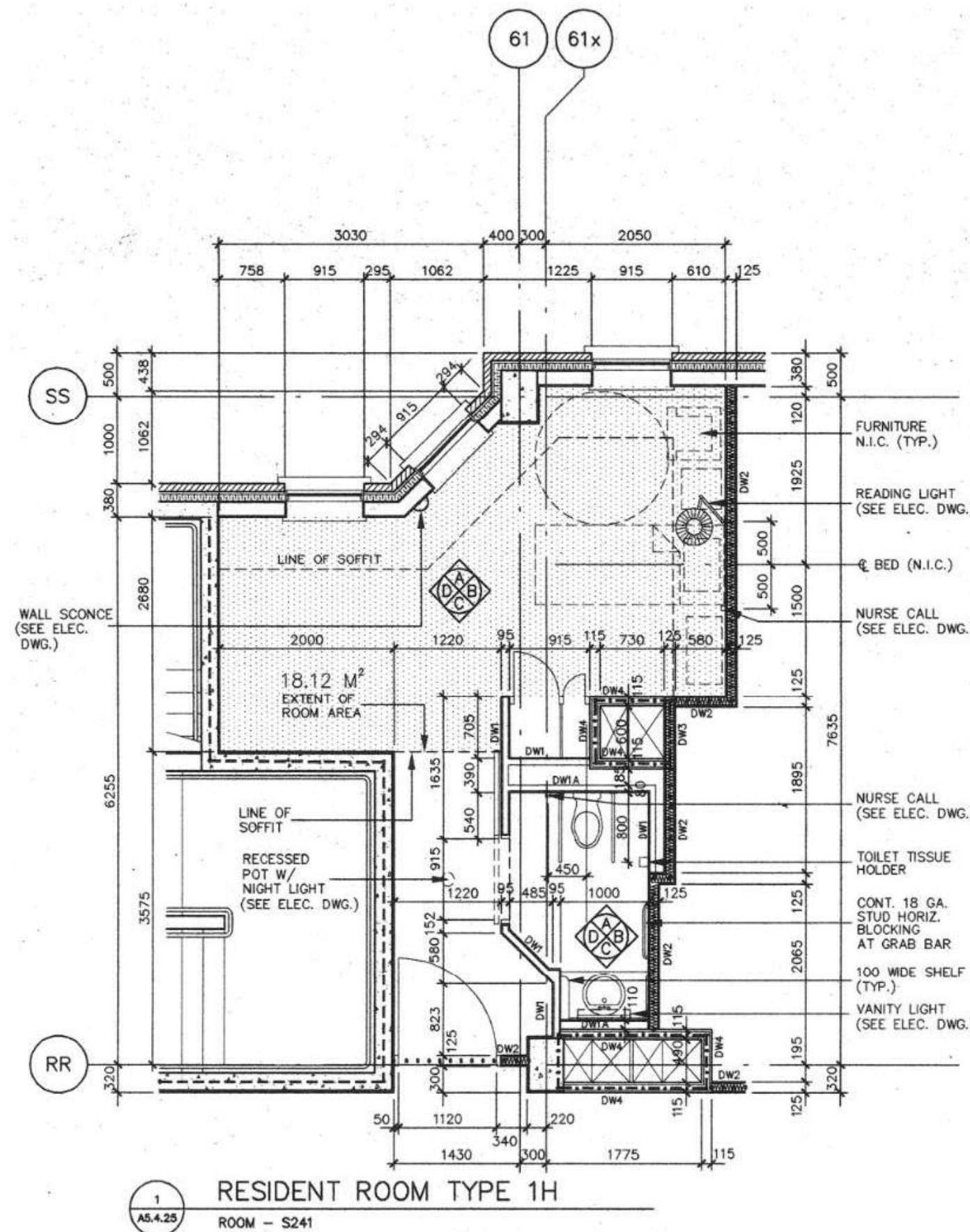
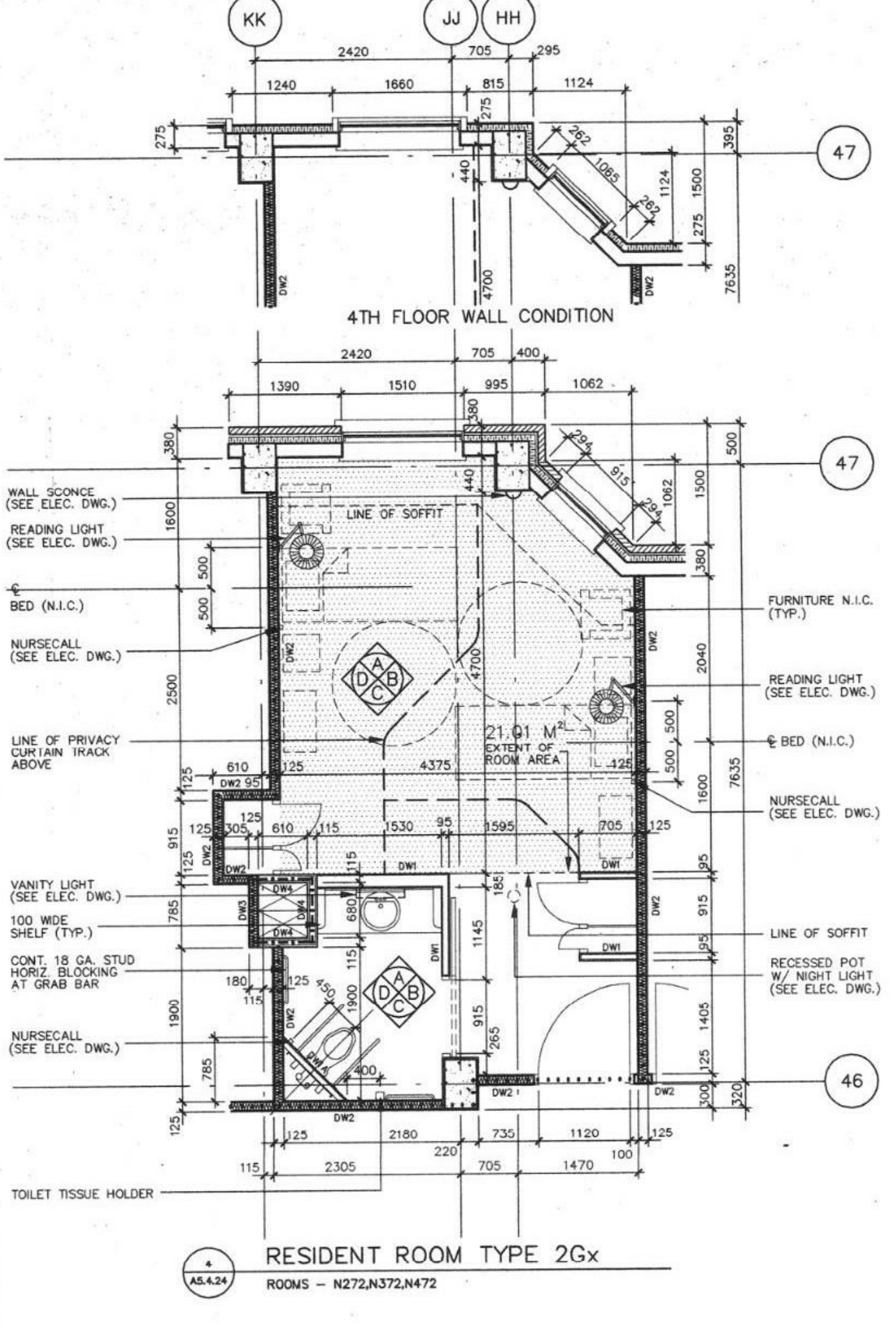
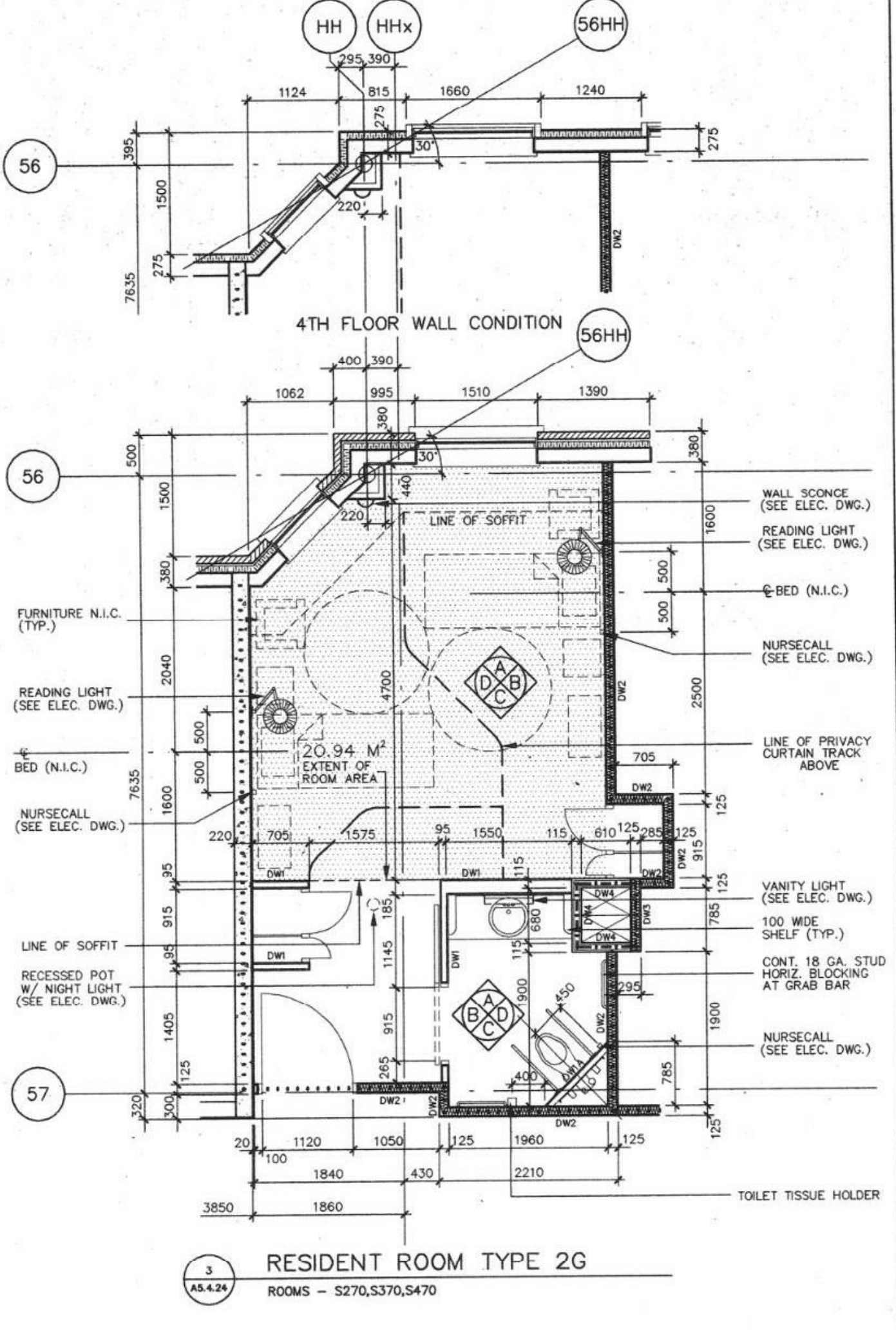
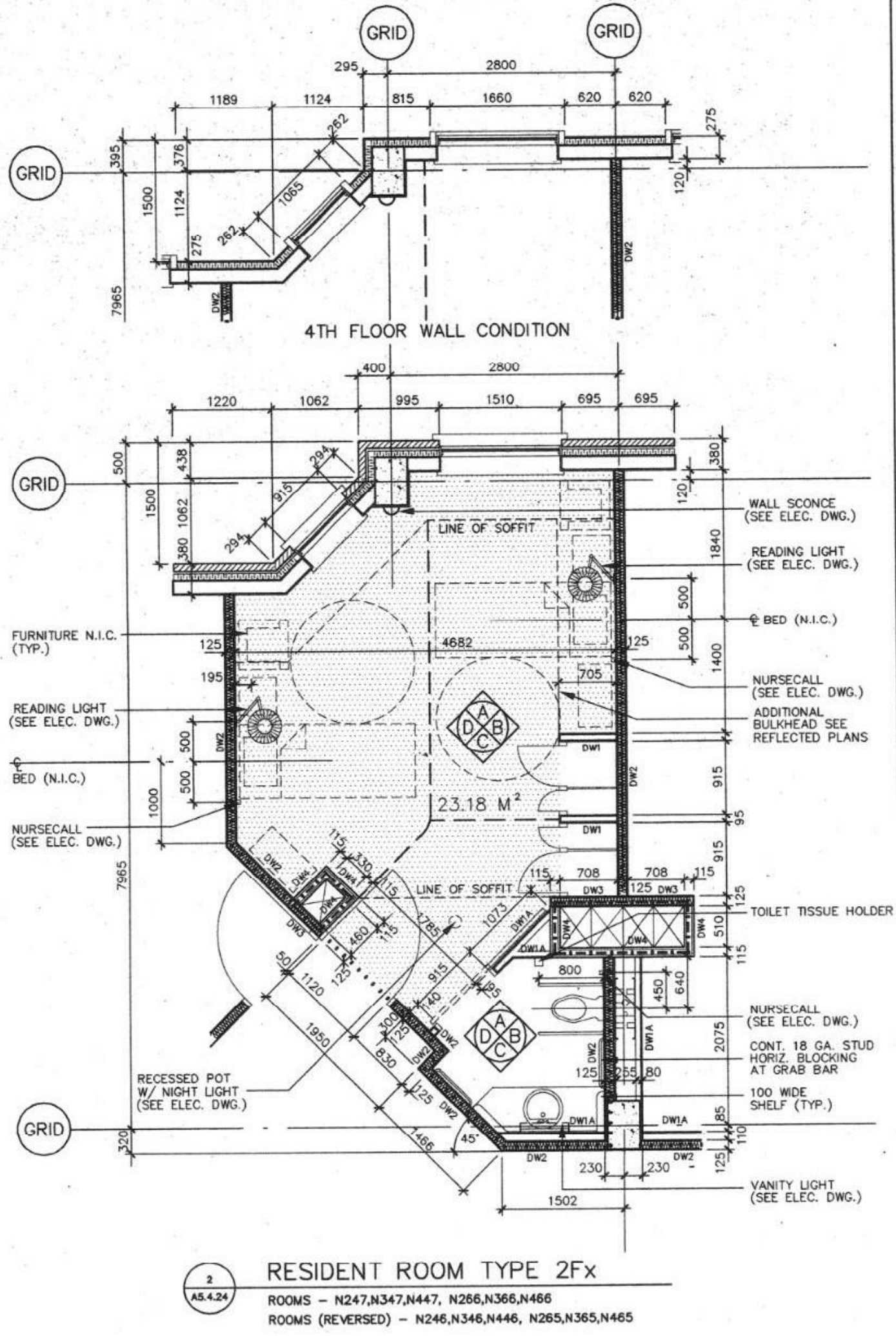
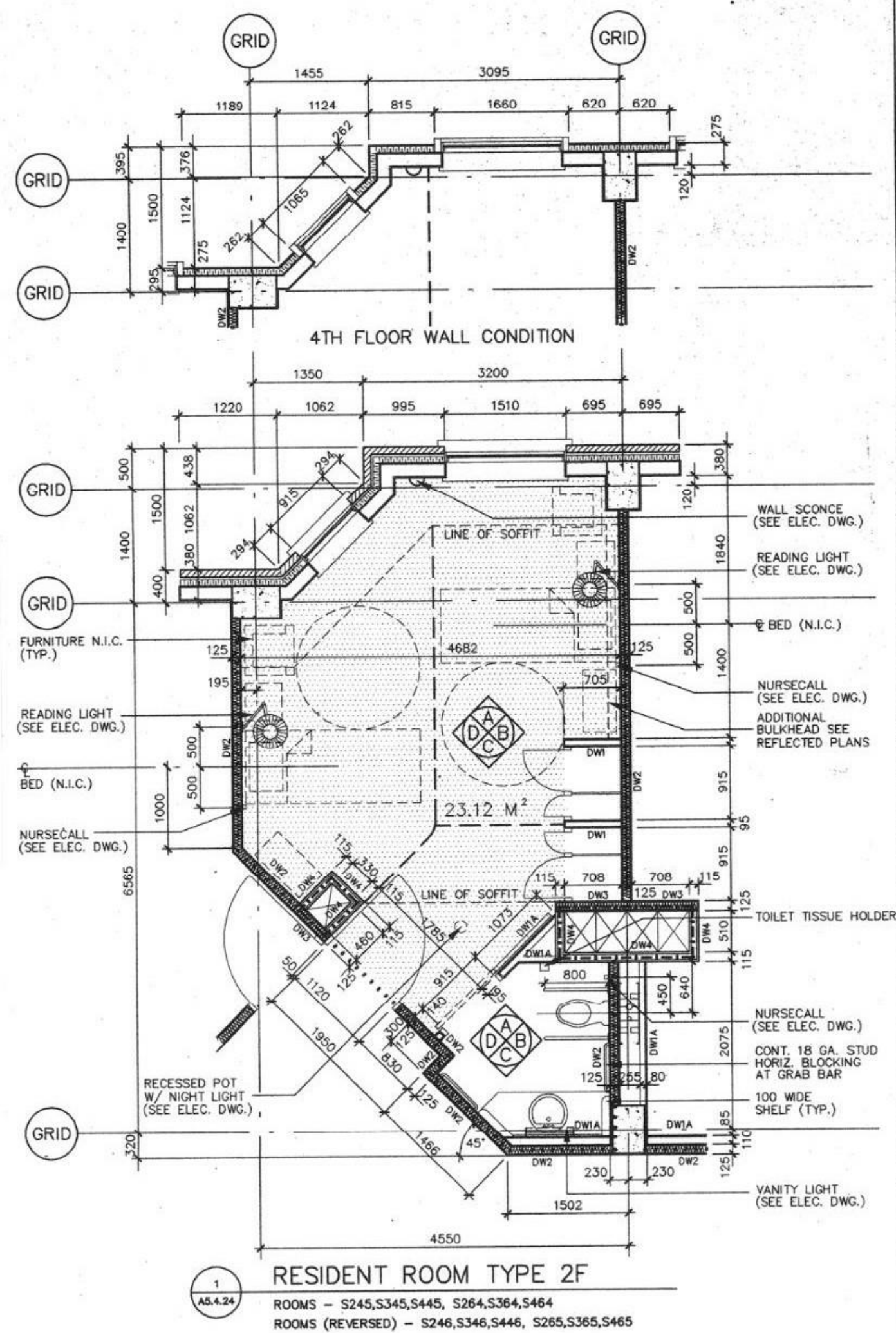
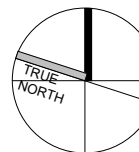
1D/1Dx/1Dy/1Dz/1E/1Ex/1F/1Fx
UNITS DETAIL ARCHIVED PLANS

scale As indicated
drawn by: MO
reviewed by: AR
job number: 21504.F05
plot date: 2024-03-13

drawing number: A5.4.20&21

MSA
MSA
MSA
MSA
by:

A5.4.22&23



4 2024-06-06 ISSUED FOR RETENDER MSA
2023-11-15 ISSUED FOR TENDER MSA
2 2023-02-20 ISSUED FOR CONSTRUCTION MSA
1 2022-07-08 ISSUED FOR TENDER MSA
date: revision: by:
revision

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT

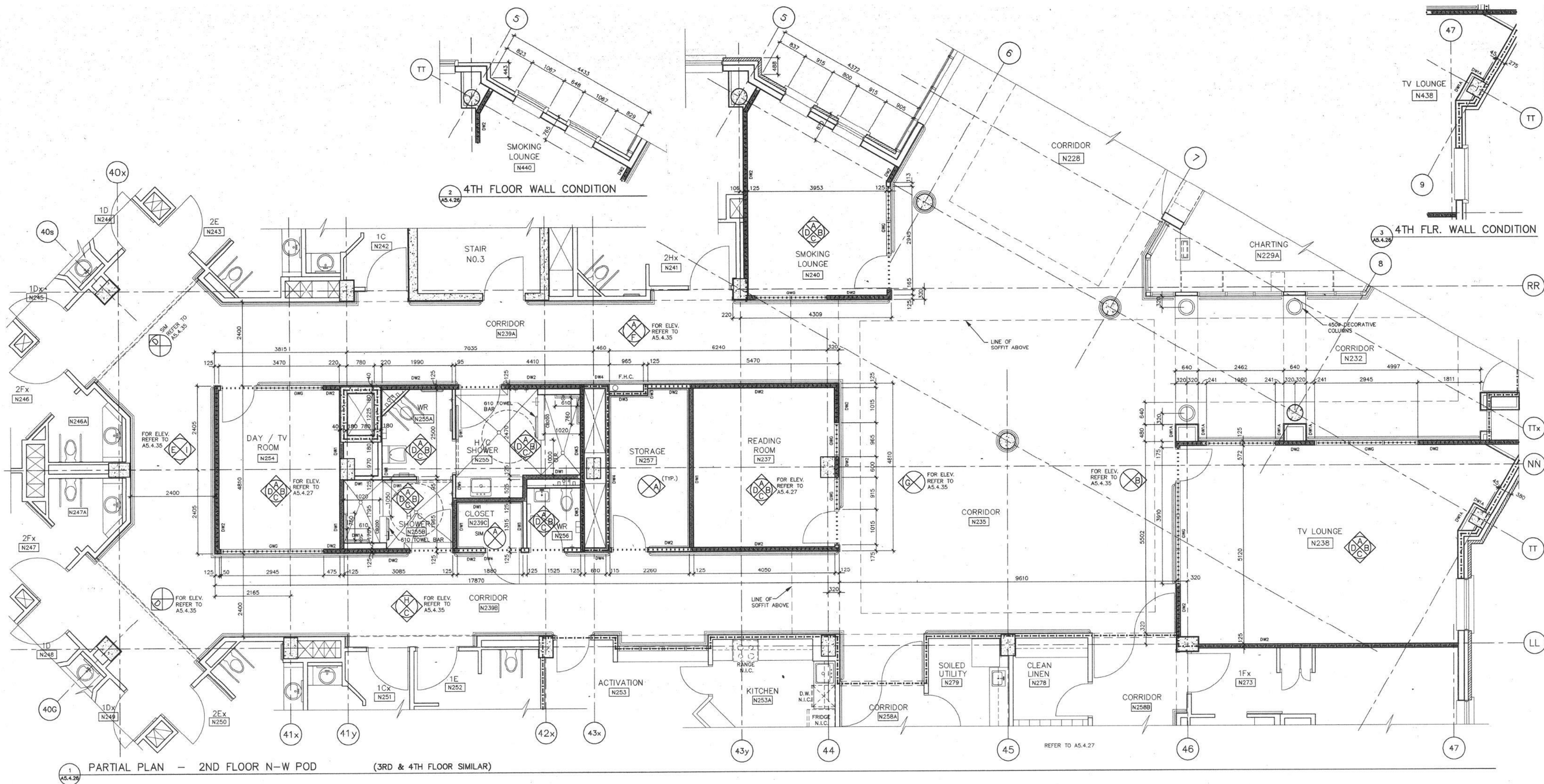
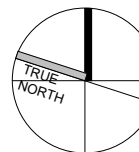
205 CUMMER AVE.
NORTH YORK, ONTARIO

2F/2Fx/2G/2Gx/1H/2H/2Hx/2I UNITS DETAIL ARCHIVED PLANS

scale As indicated
drawn MO
by: AR
reviewed by: AR
job number: 21504.F05
plot date: 2024-03-13

drawing number:

A5.4.24&25



5	2024-06-06	ISSUED FOR RETENDER	MSA
4	2023-11-15	ISSUED FOR TENDER	MSA
3	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
2	2022-07-08	ISSUED FOR TENDER	MSA
1	2021-08-04	ISSUED FOR CONSTRUCTION	MSA
#	date:	revision:	by:
8			

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT

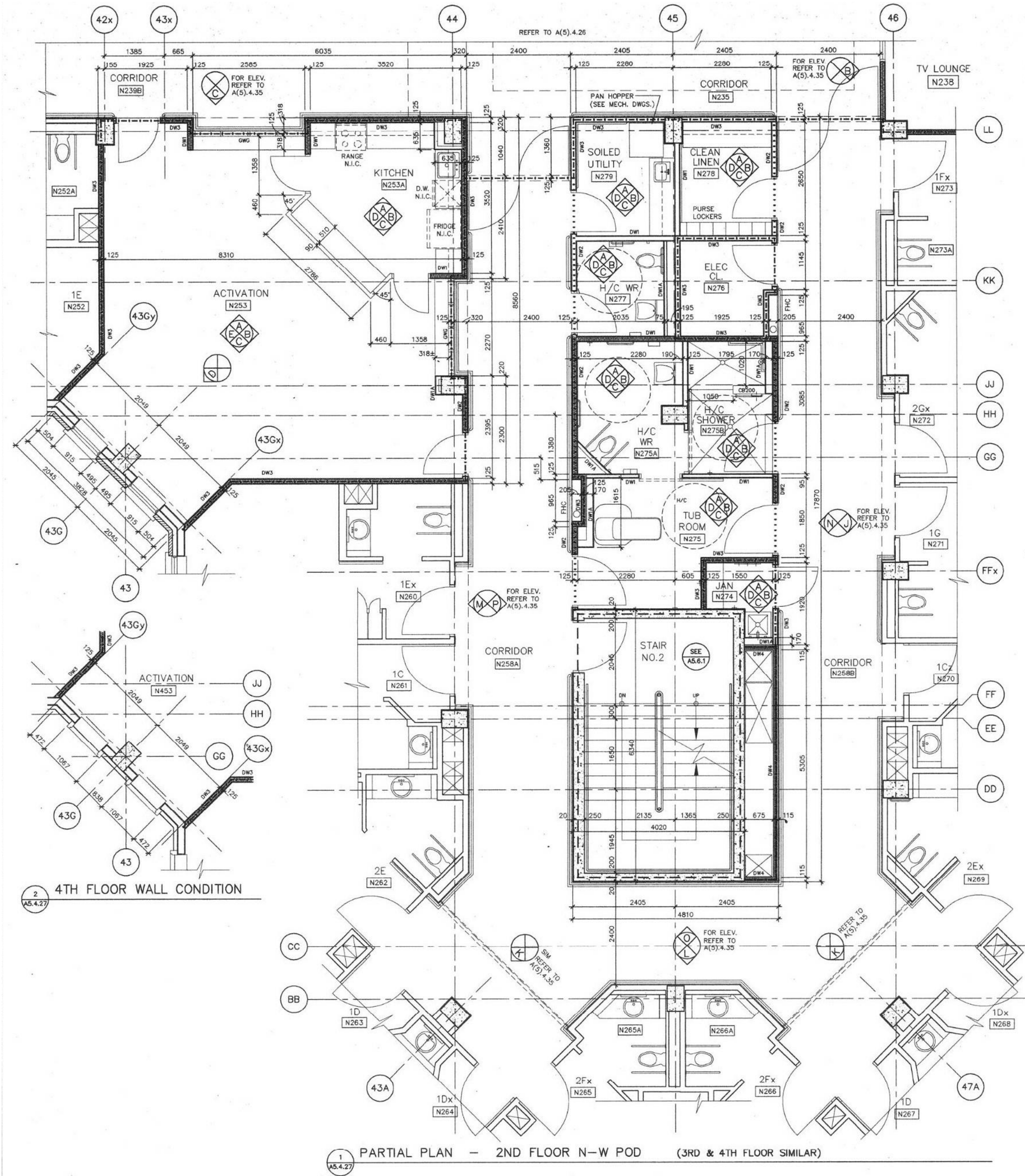
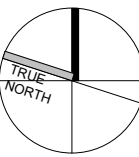
205 CUMMER AVE.
NORTH YORK, ONTARIO

NW SUPPORT CORE/TV LOUNGE ARCHIVED PLANS

scale	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number:

A5.4.26



5	2024-06-06	ISSUED FOR RETENDER	MSA
4	2023-11-15	ISSUED FOR TENDER	MSA
3	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
2	2022-07-08	ISSUED FOR TENDER	MSA
1	2021-08-04	ISSUED FOR CONSTRUCTION	MSA
#	date:	revision:	by:

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT

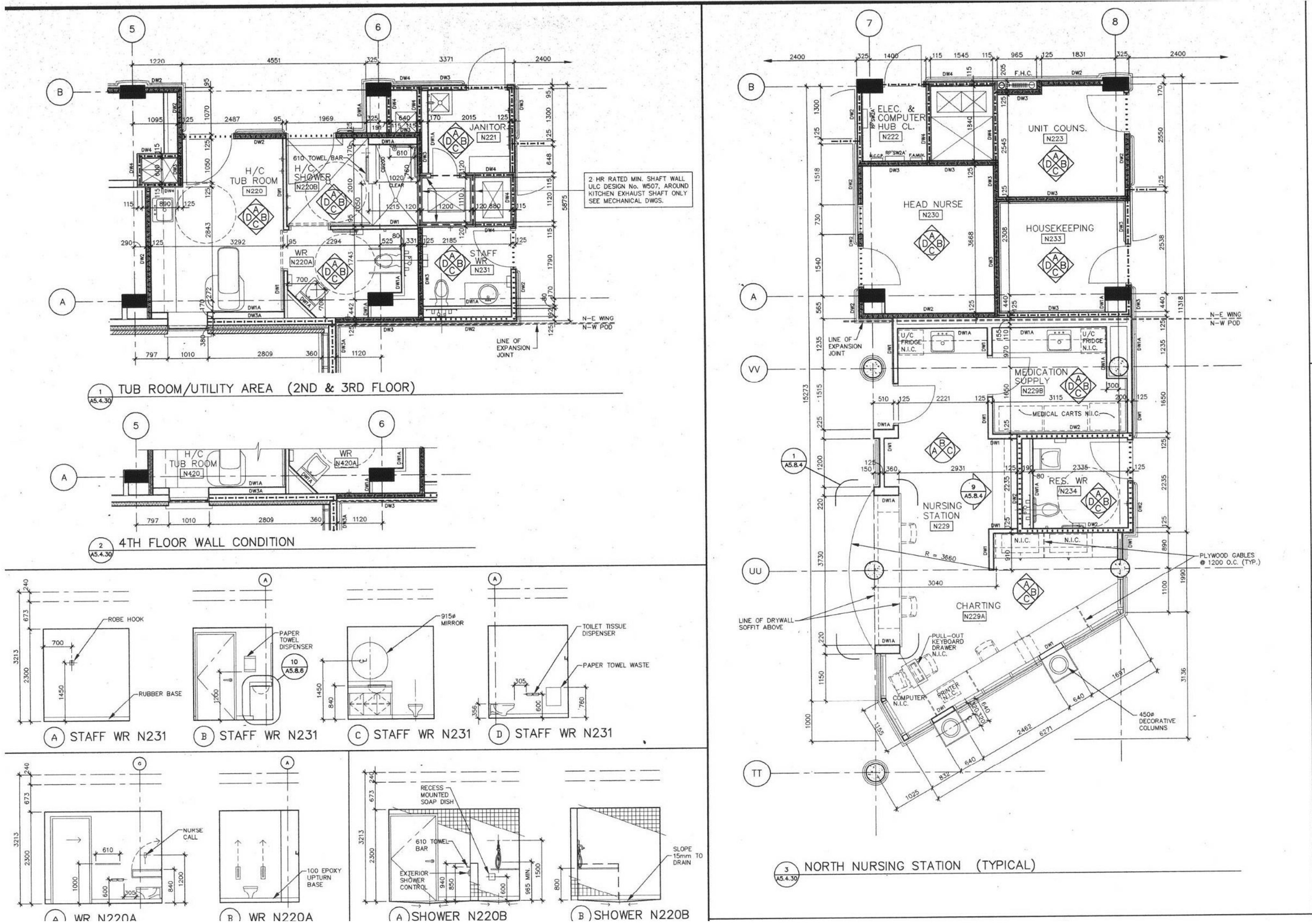
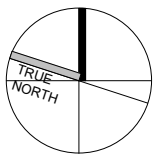
205 CUMMER AVE.
NORTH YORK, ONTARIO

NW SUPPORT CORE/ACTIVATION RM ARCHIVED PLANS

scale	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number:

A5.4.27



5 2024-06-06 ISSUED FOR RETENDER MSA
4 2023-11-15 ISSUED FOR TENDER MSA
3 2023-02-20 ISSUED FOR CONSTRUCTION MSA
2 2022-07-08 ISSUED FOR TENDER MSA
1 2021-08-04 ISSUED FOR CONSTRUCTION MSA
date: revision: by:
s

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT

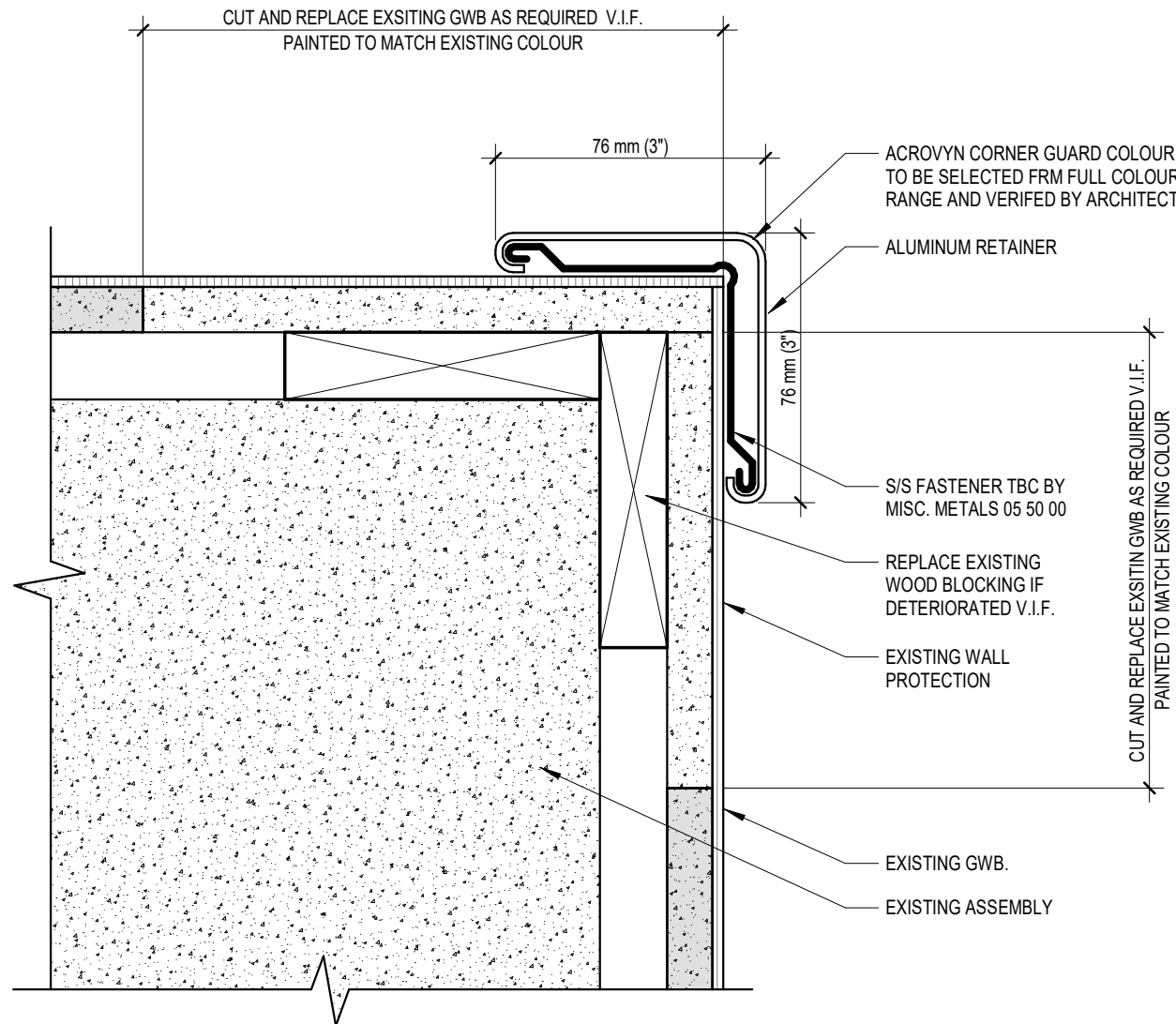
205 CUMMER AVE.
NORTH YORK, ONTARIO

NE SUPPORT CORE/TUB RM ARCHIVED PLANS

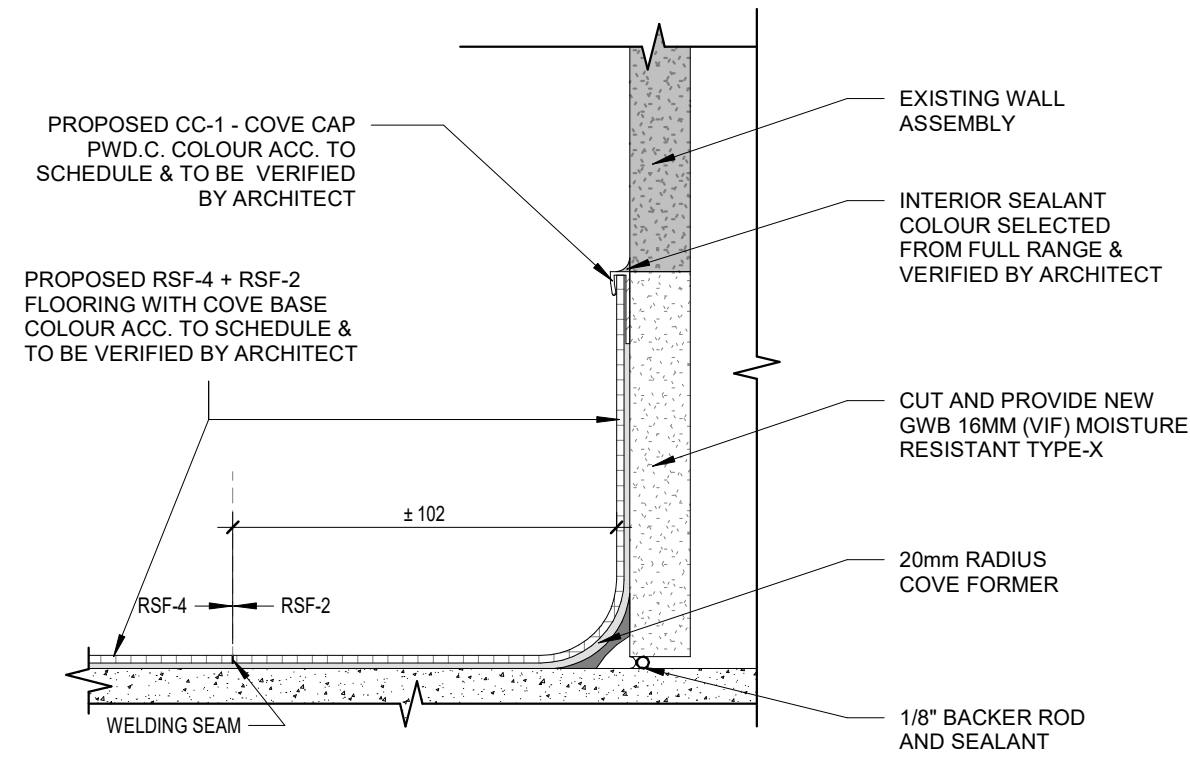
scale As indicated
drawn MO
by: AR
reviewed AR
job number: 21504.F05
plot date: 2024-03-13

drawing number:

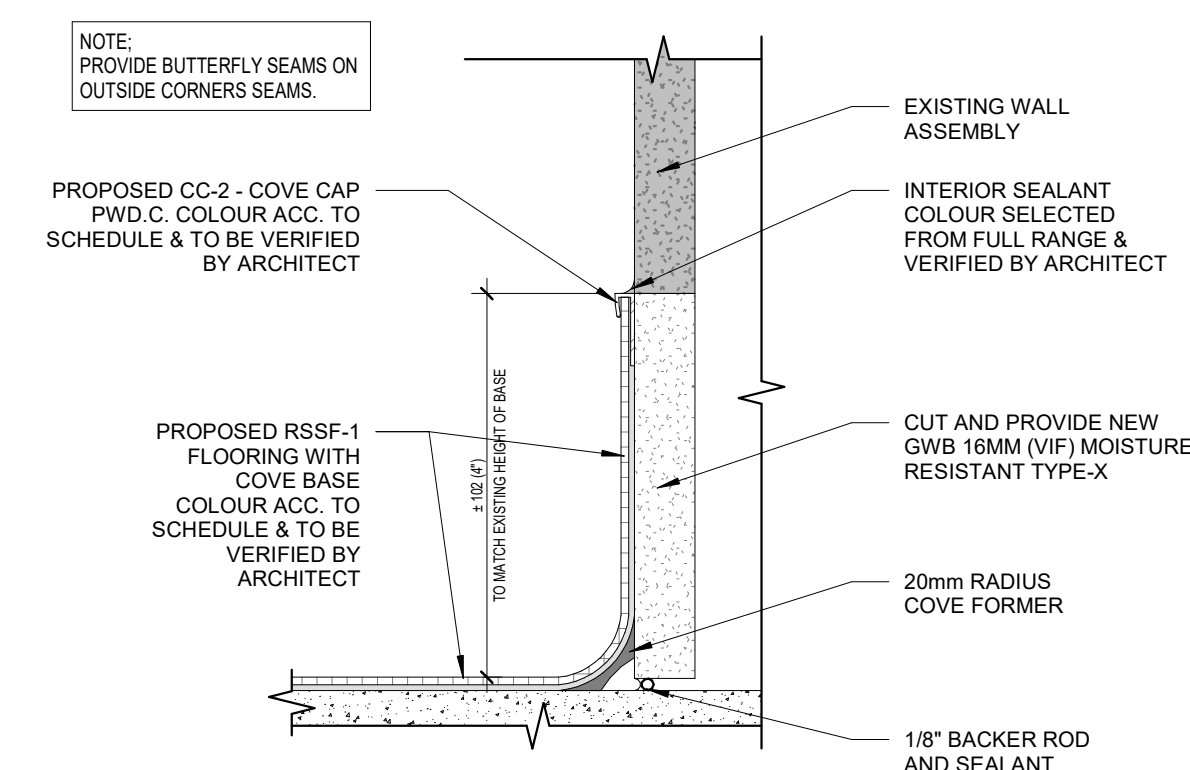
A5.4.30



3
A9.01
TYP. ACROVYN CORNER GUARD DETAIL
1 : 2



1
A9.01
TYP. NEW COVE BASE FOR FLOORING 'RSF-4 + RSF-2'
1 : 2

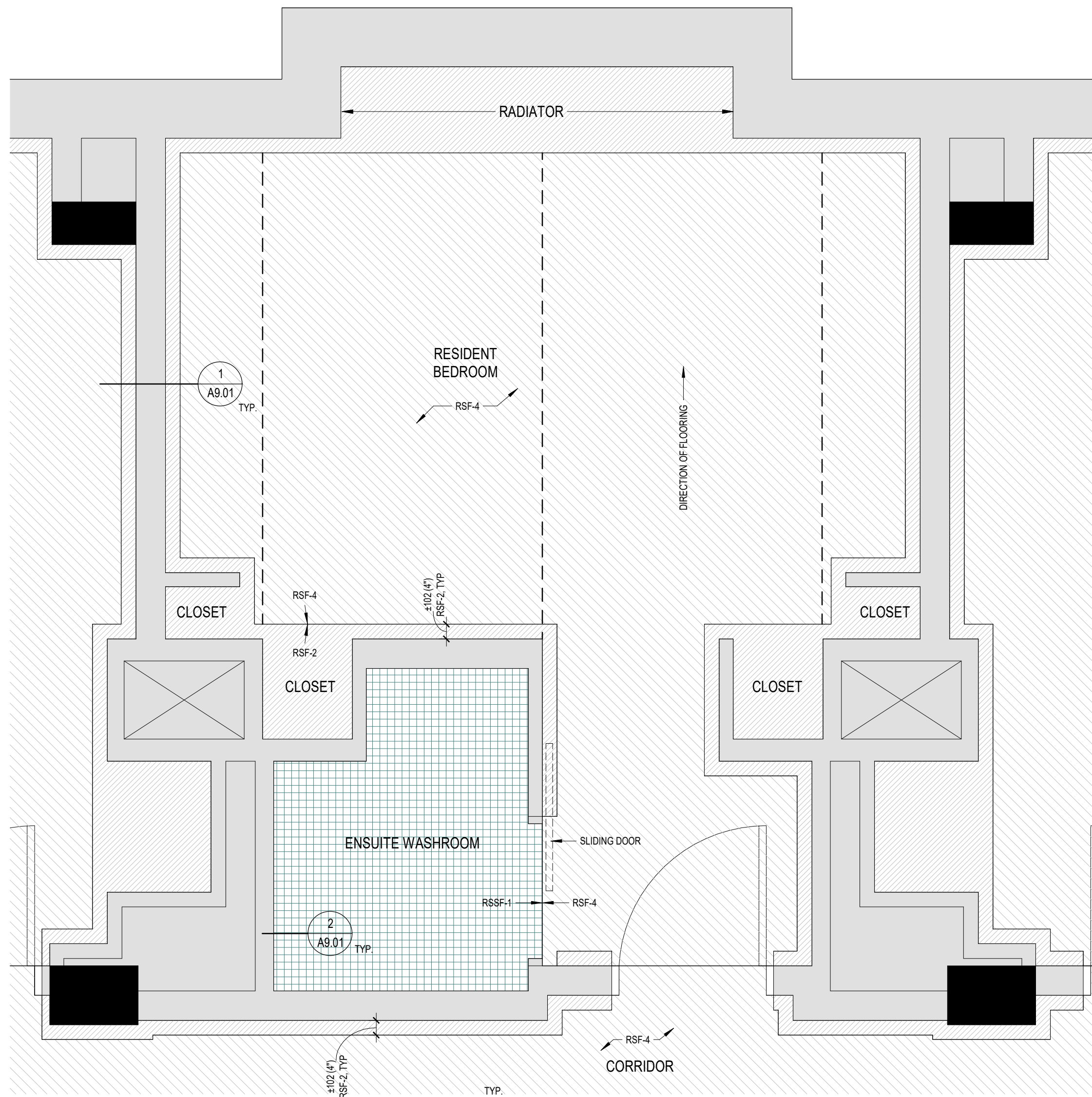


2
A9.01
TYP. NEW COVE BASE FOR FLOORING - RSSF-1
1 : 2

FLOORING LEGEND (SEAMING DIAGRAM)	
	RSF-4
	RSF-2
	RSSF-1
	EPX-1

ROOM FINISH SCHEDULE					
LEVEL	ROOM NUMBER	ROOM NAME - UNIT TYPE	FLOORING	BASE	COMMENTS
2	N201, N228, N238, N239A, N239B, 258A, N258B	CORRIDOR	RSF-4 + RSF-2	COVE BASE	
2	-	RESIDENT UNIT - TYPICAL	RSF-4 + RSF-2	COVE BASE	
2	-	RESIDENT WASHROOM - TYPICAL	RSSF-1	COVE BASE	
2	-	TUB ROOM	EPX-1		
2	-	SHOWER	EPX-1		
2	-	COMMON AREAS - WASHROOM	EPX-1		
2	-	DINING ROOM, LOBBY	RSF-4 + RSF-2	COVE BASE	
2	-	NURSING STATION	RSF-4 + RSF-2	COVE BASE	
2	-	CHARTING	RSF-4 + RSF-2	COVE BASE	
2	-	MEDICAL SUPPLIES	RSF-4 + RSF-2	COVE BASE	
2	-	NURSE MANAGER OFFICE	RSF-4 + RSF-2	COVE BASE	
2	-	READING ROOM	RSF-4 + RSF-2	COVE BASE	
2	-	T.V. LOUNGE	RSF-4 + RSF-2	COVE BASE	
2	N253, N253A	ACTIVITY ROOM	RSF-4 + RSF-2	COVE BASE	
2	N257	STORAGE/ CLOSET	RSF-4 + RSF-2	COVE BASE	
2	N254	DAY T.V. ROOM	RSF-4 + RSF-2	COVE BASE	
2	N278	CLEAN UTILITY	RSF-4 + RSF-2	COVE BASE	
2	N279	SOILED UTILITY	RSF-4 + RSF-2	COVE BASE	

NOTE:
LINOLEUM FLOORING WILL BE UTILIZING TRADITIONAL HOT WELD TECHNIQUE, W/ FLASH COVE DETAIL.
VINYL FLOORING WILL BE INSTALLED IN THE WASHROOMS AND WILL ALSO UTILIZE HOT WELD, AS WILL VINYL AND LINOLEUM SEAM LOCATIONS.



4
A9.01
TYP. RESIDENT UNIT FLOORING SEAMING DIAGRAM
1 : 25

5	2024-06-06	ISSUED FOR RETENDER	MSA
4	2024-03-14	ADDENDUM #5	MSA
3	2023-11-15	ISSUED FOR TENDER	MSA
2	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
1	2022-07-08	ISSUED FOR TENDER	MSA
#	date:	revision:	by:

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CUMMER LODGE - FLOORING REPLACEMENT

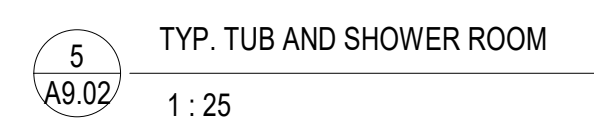
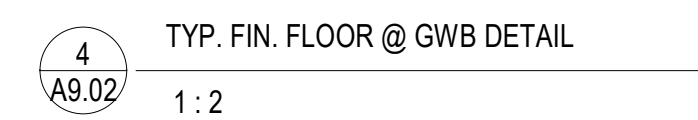
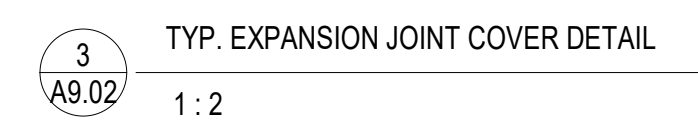
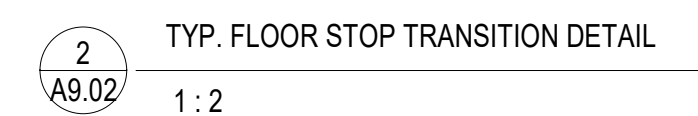
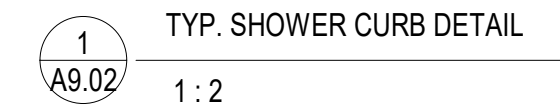
205 CUMMER AVE.
NORTH YORK, ONTARIO

DETAILS, SEAMING DIAGRAM & ROOM FINISH SCHEDULE

scale	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number:

A9.01



All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

205 CUMMER AVE.
NORTH YORK, ONTARIO

scale:

drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number:

A9.02