

MONTGOMERY SISAM ARCHITECTS INC.
ARCHITECTURAL

21509.F05
ISSUED FOR RETENDER
2024-06-06

*CSU RESIDENT ROOMS
FLOORING REPLACEMENT*

SEVEN OAKS
LONG-TERM CARE HOMES AND SERVICES
9 NELSON ROAD, SCARBOROUGH



Long-Term Care Homes and Services Division

2024-06-06 12:52:18 PM

GENERAL NOTES	
1.	CONTRACTOR SHALL COORDINATE WITH EACH INDIVIDUAL BUILDING SERVICE MANAGER OUTLINING: TIMELINES, SCHEDULE, INTERRUPTIONS, AREA OF WORK, POTENTIAL HAZARDS MIN. 1 WEEK PRIOR TO THE COMMENCEMENT OF WORK.
2.	LOCATION OF WORK AREAS ARE DEFINED ON THE ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING SERVICE MANAGER THE PROPOSED PATH OF TRAVEL AND IN NO CASE SHALL THE CONTRACTOR BLOCK OR STORE MATERIALS / EQUIPMENT IN A FIRE EXIT, CORRIDOR, OR IN FRONT OF ANY FIRE ALARM PULL STATIONS, HOSE CABINETS, OR FIRE EXTINGUISHERS. ALL AREAS OF WORK SHALL BE LEFT IN A GOOD STATE AFTER THE COMPLETION OF WORK.
3.	CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS, AND LEVELS PRIOR TO FABRICATION / INSTALLATION. ALL DIMENSIONS ARE PER SITE REVIEW AND EXISTING ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL NOTIFY ALL DISCREPANCIES TO THE ARCHITECT.
4.	THE CONTRACTOR SHALL PROTECT ALL FINISHED MATERIALS TO REMAIN AS-IS.
5.	CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB, INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS.
6.	PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE FOLLOWING: <div>A. VERIFY EXISTING AREAS WITHIN THE SCOPE OF WORK WITH RESPECT TO THE PROPOSED FOR PROBLEMS AND ANY LIMITATIONS.</div> <div>B. VERIFY EXISTING ARCHITECTURE, STRUCTURE, AND ALL ADJACENT FINISHES THAT WILL BE IMPACTED BY THE WORK.</div> UPON EXAMINING ALL OF THE ABOVE AGAINST THE DRAWINGS AND SPECIFICATIONS AND TERMS OF THE CONTRACT, THE CONTRACTOR MUST SATISFY HIMSELF THAT THE PROPOSED WORK CAN BE CARRIED OUT AS INTENDED, TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE CONTRACT.
DEMOLITION AND INSTALLATION NOTES	
1.	ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE COORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
2.	CONTRACTOR TO PATCH AND REPAIR ALL DAMAGE TO THE SITE, BUILDING, OR EXISTING FINISHES AS A RESULT OF DEMOLITION / CONSTRUCTION AT THE END OF WORK. THE CONTRACTOR IS TO BE AWARE THAT THERE MAY BE SEVERAL DIFFERENT PAINT COLOURS THAT MAY BE AFFECTED AND IS TO COORDINATE ANY REPAIRED WORK TO MATCH ADJACENT FINISHES OF SIMILAR MATERIALS.
3.	FOR ALL WALL REPAINTING, REPAINT ENTIRE WALL TO THE NEAREST 90° CORNER. ALLOW FOR MULTIPLE COLOURS TO MATCH EXISTING.
4.	CRACKS, HOLES OR LEVELING TO BE PATCHED/REPAIRED IN FLOORS OR WALLS, AS REQUIRED.
5.	IN CASE OF NEW PENETRATION IN WALLS/FLOORS MAKE GOOD AND REPAIR AS REQUIRED.
6.	PROTECT/HOARD ALL AREAS OF WORK AS REQUIRED DURING RENOVATION WORK. PROVIDE DUST TIGHT FLOOR TO CEILING HOARDING ASSEMBLY TO FULLY SEPARATE ALL AREAS OF WORK FROM OCCUPIED AREAS OF THE HOME TO THE SATISFACTION OF THE BUILDING SERVICES MANAGER AND THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE WORK.
7.	TEMPORARILY REMOVE ALL FURNITURE IN AREAS AFFECTED BY THE WORK. LOCATION FOR TEMPORARY STORAGE OF FURNITURE TO BE COORDINATED WITH BUILDING SERVICE MANAGER. RE-INSTALL EXISTING FURNITURE AND EQUIPMENT AS PER ORIGINAL LAYOUT.
8.	CAREFULLY REMOVE AND STORE ALL EXISTING DOOR HANDLE HARDWARE. HAND OVER TO BUILDING MAINTENANCE TO BE USED AS EXTRA STOCK.

SYMBOL LEGEND	
	INDICATES SECTION / DETAIL NUMBER
	INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING
	INDICATES DRAWING SHEET NUMBER
	INTERIOR ELEVATION REFERENCE
	EXISTING AREA TO REMAIN AS-IS
	ROOM NAME
	ROOM NAME & ROOM NUMBER TAG
	MATERIAL TAG
	REVISION NUMBER
	KEYNOTE
	INDICATES DOOR NUMBER
	CENTRELINE MARK
	DIMENSION

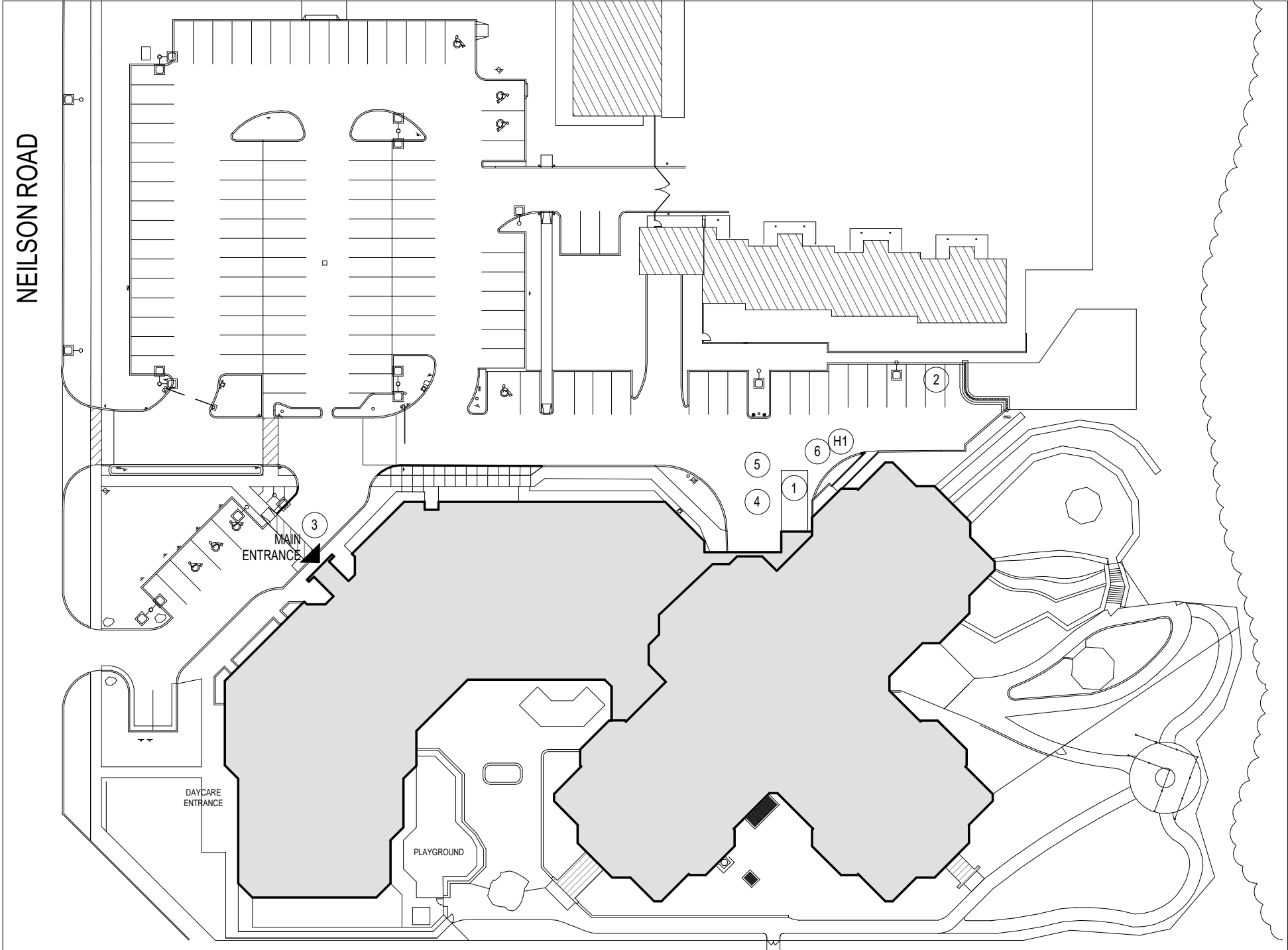
PHASING & CONSTRUCTION NOTES	
1.	ALL WORK WITHIN THIS PROJECT WILL BE COMPREHENSIVELY SCHEDULED WITH THE HOME PRIOR TO START-UP ON SITE. CONTRACTORS WILL BE REQUIRED TO ADHERE TO THIS SCHEDULE FOR THE DURATION OF THE WORK.
2.	NO WORK SHALL BE LEFT IN AN UNFINISHED STATE AT DAYS END. ALL AREAS OF WORK SHOULD BE MADE SAFE AND COMPLETELY OPERATIONAL AT THE END OF EACH DAYS WORK.
3.	ALL REPLACEMENT OF DOORS WITHIN RESIDENT ROOMS IS EXPECTED TO TAKE PLACE OVER THE COURSE OF A SINGLE DAY. RESIDENT ROOMS ARE TO BE COMPLETE AND FULLY OCCUPIABLE AT THE COMPLETION OF EACH DAYS WORK OMITTING THE NEED TO RELOCATE RESIDENTS. RESIDENT ROOMS SHOULD BE RETURNED TO THE RESIDENT EXACTLY AS THEY WERE HANDED OVER TO THE CONTRACTOR THAT MORNING.
4.	THE CONTRACTOR SHALL PROVIDE THE FOLLOWING MOCK-UPS: <div>CONSTRUCT ONE (1) RESIDENT SUITE WASHROOM SLIDING DOORS OF EACH ROOM TYPE, FOUR (4) TOTAL. INCLUDING BUT NOT LIMITED TO ALL HARDWARE, REMOVABLE VALANCE, FRAME PROTECTION, PATCH / REPAIR WORK AND ALL OTHER WORK AS PER THE CONTRACT DOCUMENTS.</div> <div>ARRANGE FOR THE CONSULTANTS REVIEW AND ACCEPTANCE, ALLOW 48HRS AFTER ACCEPTANCE BEFORE PROCEEDING WITH WORK. MOCK-UP MAY REMAIN AS PART OF THE WORK IF ACCEPTED BY THE CONSULTANT. REMOVE AND DISPOSE OF MOCK-UPS THAT DO NOT CONFORM TO THE WORK. UPON ACCEPTANCE, MOCK-UP SHALL SERVE AS A MINIMUM STANDARD OF QUALITY FOR THE BALANCE OF THE RELATED WORK.THE LOCATION OF THE MOCK-UPS SHALL BE DETERMINED BY THE HOME.</div>

FINISH / MATERIAL / PRODUCT SCHEDULE					
REFERENCE	PRODUCT	MANUFACTURER	TYPE	COLOUR	COMMENTS
CC-1	COVE CAP	TARKETT	SCS COLOR CHIPS	FULL COLOUR RANGE	FOR RSF-2. COLOUR TO BE VERIFIED BY ARCHITECT.
CC-2	COVE CAP	TARKETT	SCS COLOR CHIPS	#21 PLATINUM	FOR RSSF-1
RSF-1	SHEET FLOORING	FORBO	LINOLEUM	STRIATO: ROCKY ICE 5232	
RSF-2	SHEET FLOORING	FORBO	LINOLEUM	FULL COLOUR RANGE	COLOUR TO BE VERIFIED BY ARCHITECT.
RSSF-1	RESILIENT SHEET FLOORING	ALTRO	RELIANCE 25	TEMPLE	

ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
AVN	ACROVYN
CG	CORNER GUARD
EX	EXISTING
E.GWB	EXISTING WALL BOARD
FIN	FINISH
FLR	FLOOR
GWB	GYPSTUM WALL BOARD
HM	HOLLOW METAL
MAT'L	MATERIAL
MAX	MAXIMUM
MIN	MINIMUM
MTL	METAL
NTS	NOT TO SCALE
O.C.	ON CENTRE
O/H	OVER HEAD
PLAM	PLASTIC LAMINATE
PLY	PLYWOOD
PT	PAINT
SIM	SIMILAR
SSTL	STAINLESS STEEL
STL	STEEL
TYP	TYPICAL
U/S	UNDERSIDE OF
VIF	VERIFY IN FIELD
W/	WITH
WD	WOOD

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CONTEXT PLAN			
4	2024-06-06	ISSUED FOR RETENDER	MSA
3	2024-03-14	ADDENDUM #5	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	To By
revisions			
All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.			
CSU RESIDENT ROOMS - FLOORING REPLACEMENT			
9 NEILSON ROAD, SCARBOROUGH			
GENERAL INFORMATION			
scale:	As indicated		
drawn by:	MO		
reviewed by:	AR		
job number:	21509.F05		
plot date:	24-03-14		
drawing number:	F_A0.01		

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1 SEVEN OAKS - SITE PLAN
F_A0.03 1:700

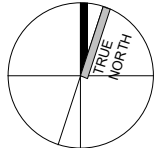
LEGEND

- | | |
|--|--|
| 1 ACCESS TO SITE AND LOADING DOCKS | 5 EQUIPMENT AND MATERIAL DROP-OFF |
| 2 DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED) | 6 CONTRACTORS DISPOSAL BIN |
| 2a ACCESS TO DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED) | 7 ACCESS FOR EMERGENCY VEHICLES |
| 3 MAIN ENTRANCE | 8 MEETING AREA FOR SITE VISITS |
| 3a SERVICE ENTRANCE | 9 VISITOR PARKING |
| 4 LOADING DOCKS | H1 SITE HOARDING (TO BE CONFIRMED BY HOME) |

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- FLOORING
REPLACEMENT
9 NEILSON ROAD,
SCARBOROUGH

SITE PLAN

scale: 1 : 700

drawn by: MO

reviewed by: AR

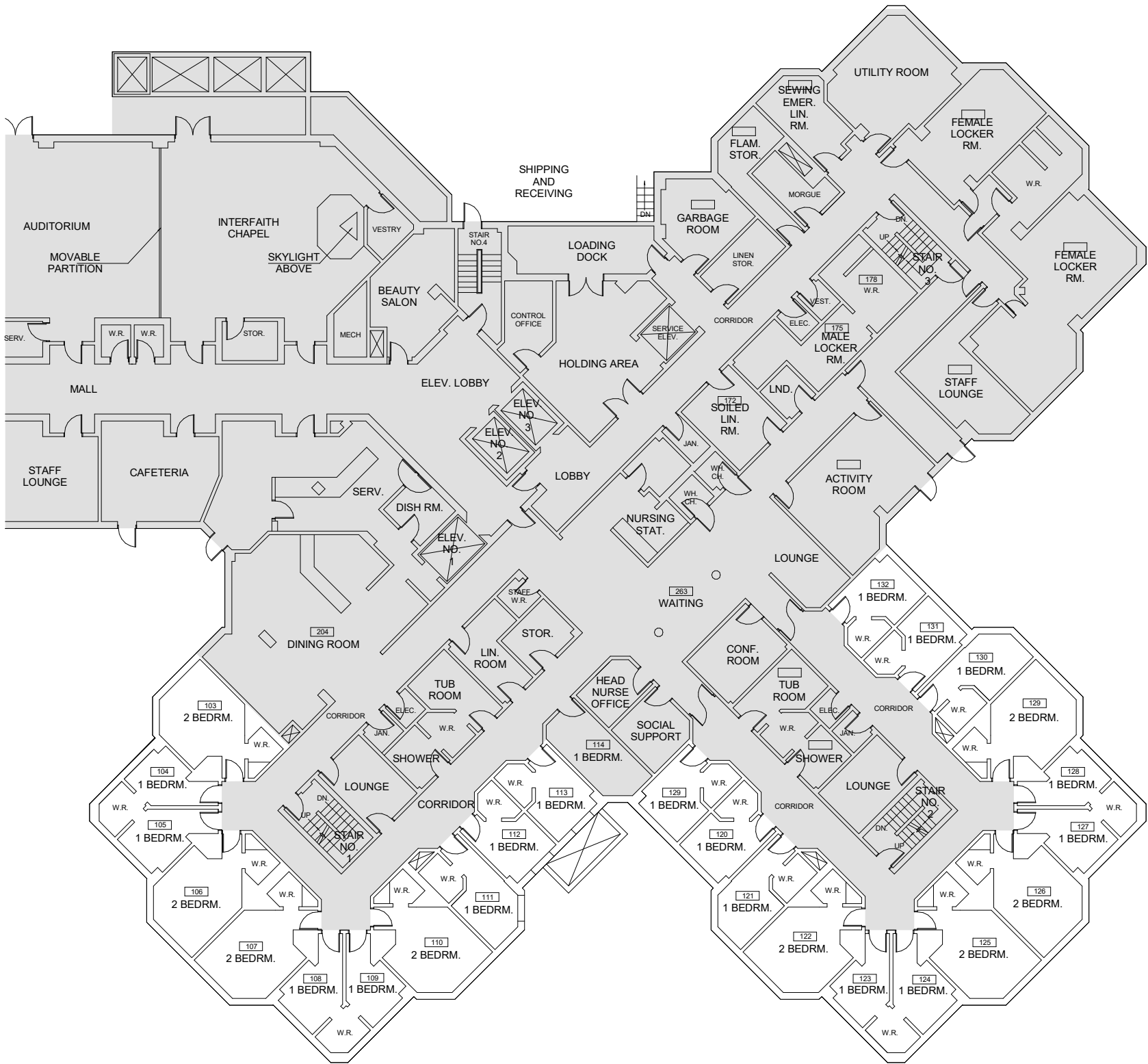
job number: 21509.F05

plot date: 24-03-14

drawing number:

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AREA OF WORK

AREA OF WORK

EXISTING AREA TO REMAIN AS-IS

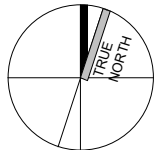
AREA CALCULATIONS

TYP. LOCATION OF CORNER GUARDS
(REPLACE EXISTING)

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1	2023-05-31	ISSUED FOR REVIEW	MSA
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CSU RESIDENT ROOMS
- FLOORING
REPLACEMENT
9 NELSON ROAD,
SCARBOROUGH

AREA OF WORK PLAN
- LEVEL 1

scale: As indicated

drawn by: MO

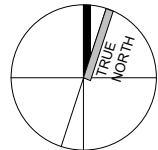
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job number: 21509.F05

plot date: 24-03-14

drawing number:

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CSU RESIDENT ROOMS - FLOORING REPLACEMENT
9 NELSON ROAD,
SCARBOROUGH

AREA OF WORK PLAN - LEVEL 1

scale: 1 : 200

drawn by: MO

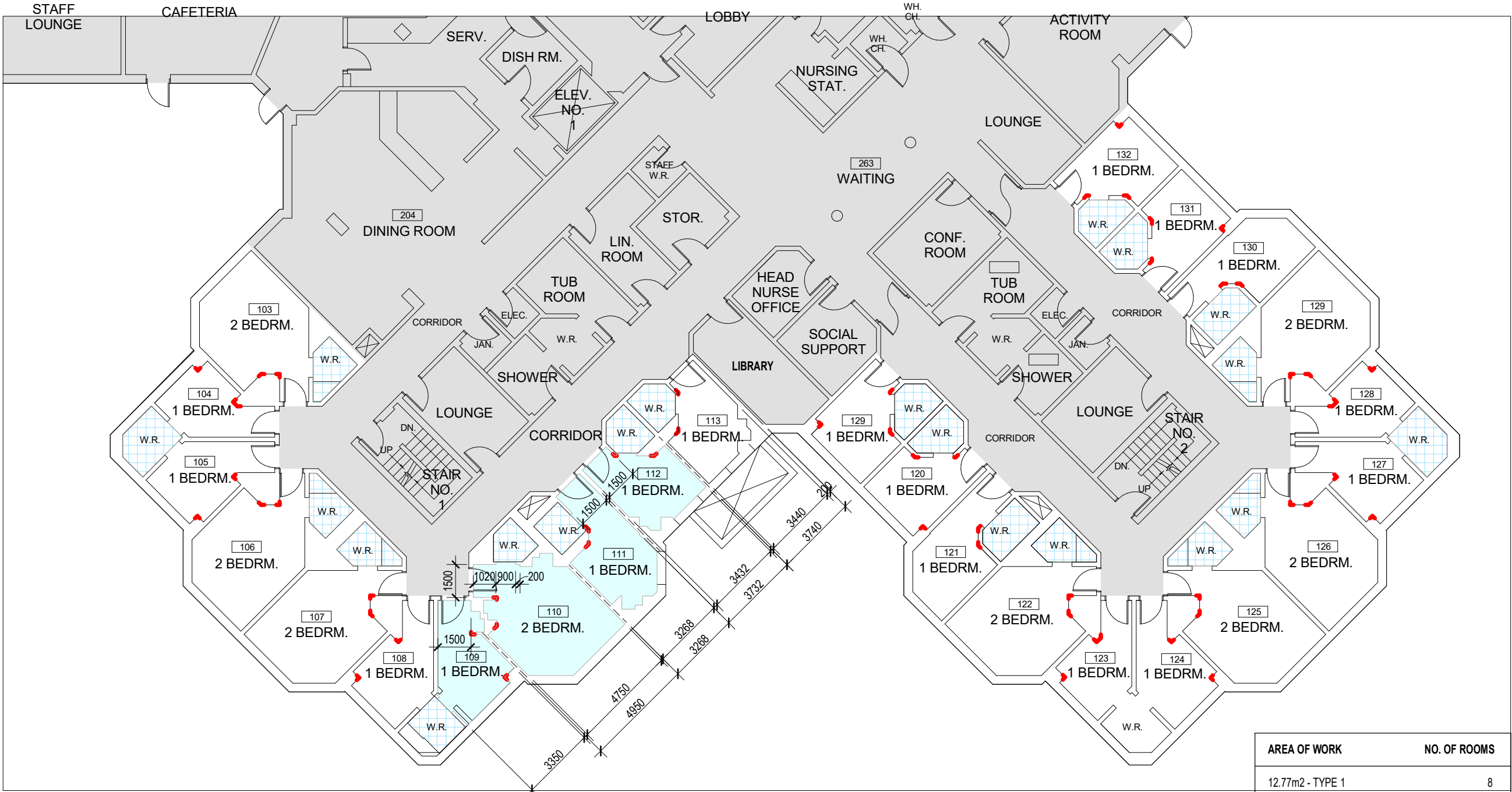
reviewed by: AR

job number: 21509.F05

plot date: 24-03-14

drawing number:

F_A0.05



1 LEVEL 01 - DEMO/ PROPOSED PLAN
F_A0.05 1 : 200

AREA OF WORK	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS
	AREA CALCULATIONS
	TYP. LOCATION OF CORNER GUARDS (REPLACE EXISTING)

AREA OF WORK	NO. OF ROOMS
12.77m2 - TYPE 1	8
24.55m2 - TYPE 2	8
14.34m2 - TYPE 3	3
12.91m2 - TYPE 4	6

AREA TOTALS	
AREA OF ROOMS - TYPE 1 = 102.16m2	
AREA OF ROOM - TYPE 2 = 196.4m2	
AREA OF ROOM - TYPE 3 = 43.02m2	
AREA OF ROOM - TYPE 4 = 119.82	
TOTAL AREA = 461.4m2	
AREA OF WR - TYPE 5 = 12.56 + 21.76 + 8.46 + 18.96	
TOTAL AREA = 61.74m2	



Site photo - 01 - Room number



Site photo - 02 - Single Room Type 1 Flooring (typ.)



Site photo - 03 - Single Room Type 1 Flooring (typ.)



Site photo - 04 - Single Room Type 1 Flooring (typ.)



Site photo - 05 - Single Room Type 1 Flooring (typ.)



Site photo - 06 - Single Room Type 1 Flooring (typ.)



Site photo - 07 - Single Room Type 1 Flooring (typ.)



Site photo - 09 - Washroom Type 1 Flooring (typ.)



Site photo - 10 - Washroom Type 1 Flooring (typ.)



Site photo - 11 - Room number



Site photo - 12 - Single Room Type 2 Flooring (typ.)



Site photo - 13 - Single Room Type 2 Flooring (typ.)



Site photo - 14 - Single Room Type 2 Flooring (typ.)

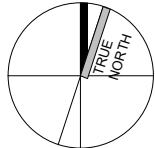


Site photo - 15 - Washroom Type 2 Flooring (typ.)

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CSU RESIDENT ROOMS
- FLOORING
REPLACEMENT
9 NELSON ROAD,
SCARBOROUGH

EXISTING
CONDITIONS

scale:

drawn by: MO

reviewed by: AR

job number: 21509.F05

plot date: 24-03-14

drawing number:

F_A0.06



Site photo - 16 - Washroom Type 2 Flooring (typ.)



Site photo - 17 - Single Room Type 2 Flooring (typ.)



Site photo - 18 - Single Room Type 2 Flooring (typ.)



Site photo - 19 - Single Room Type 2 Flooring (typ.)



Site photo - 20 - Single Room Type 2 Flooring (typ.)



Site photo - 21 - Room Number



Site photo - 22 - Washroom Type 3 Flooring (typ.)



Site photo - 23 - Washroom Type 3 Flooring (typ.)



Site photo - 24 - Washroom Type 3 Flooring (typ.)



Site photo - 25 - Washroom Type 3 Flooring (typ.)



Site photo - 26 - Washroom Type 3 Flooring (typ.)



Site photo - 27 - Double Room Type 1 Flooring (typ.)



Site photo - 28 - Double Room Type 1 Flooring (typ.)



Site photo - 29 - Double Room Type 1 Flooring (typ.)

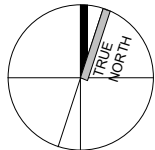


Site photo - 30 - Double Room Type 1 Flooring (typ.)

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CONTEXT PLAN

2	2024-06-06	ISSUED FOR RETENDER	MSA
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CSU RESIDENT ROOMS
- FLOORING
REPLACEMENT
9 NEILSON ROAD,
SCARBOROUGH

EXISTING
CONDITIONS

scale:

drawn by: MO

reviewed by: AR

job number: 21509.F05


plot date: 24-03-14


drawing number:


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FLOORING LEGEND

- 

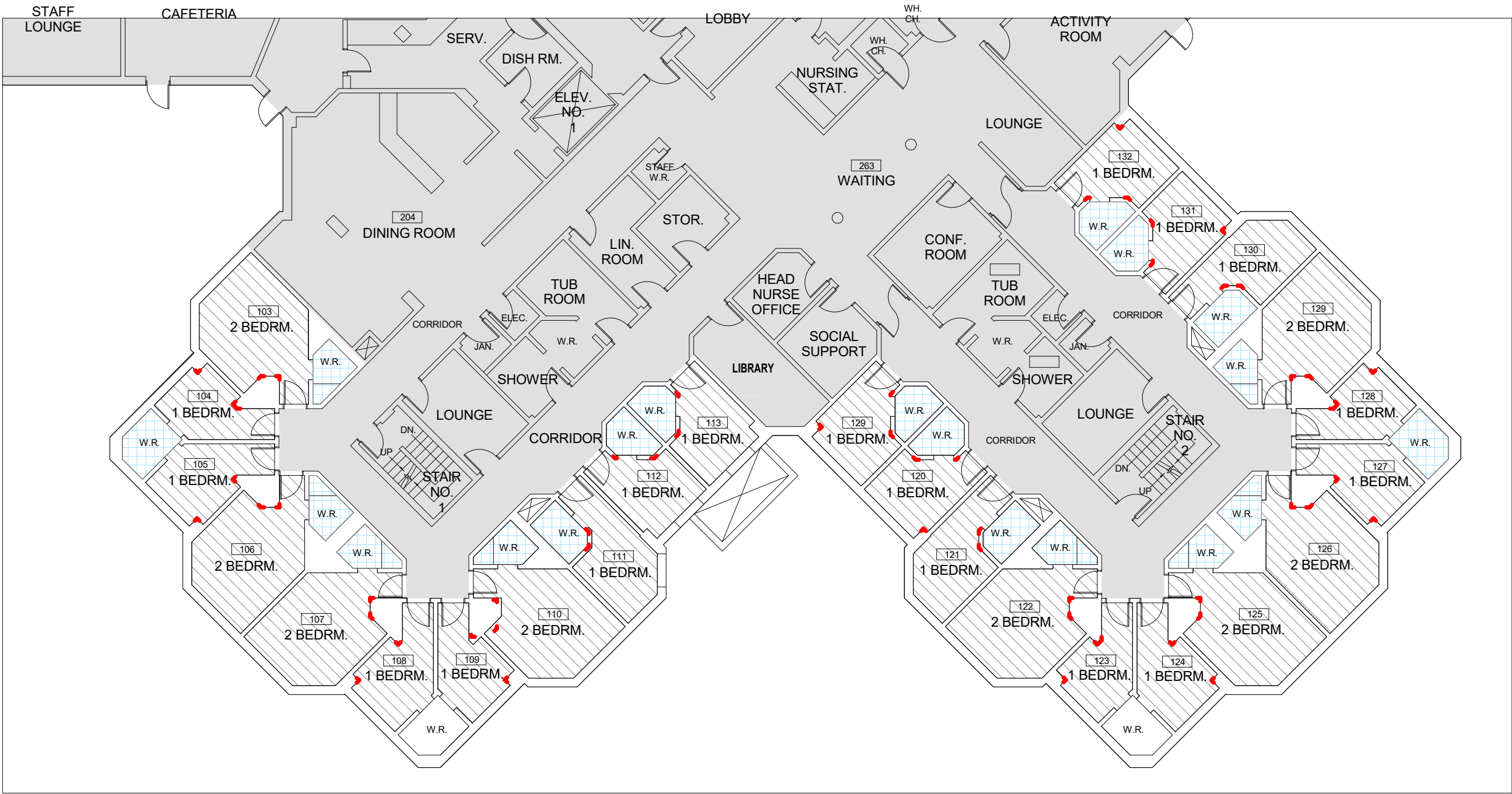
RSF-1 + RSF-2 (REFER TO SEAMING DIAGRAM)
- 

RSSF-1
- 

EXISTING AREA TO REMAIN AS-IS
- 

TYP. LOCATION OF CORNER GUARDS (REPLACE EXISTING)

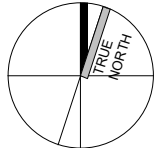
NOTE: ALL FLOOR DIMENSIONS REFER TO ARCHIVED DWGS A5.01 FOR DETAILS.



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CSU RESIDENT ROOMS
- FLOORING
REPLACEMENT
9 NELSON ROAD,
SCARBOROUGH

DEMO/ PROPOSED
PLAN - LEVEL 1

scale: 1 : 200

drawn by: MO

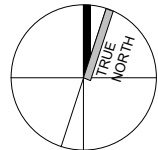
reviewed by: AR

job number: 21509.F05

plot date: 24-03-14

drawing number:

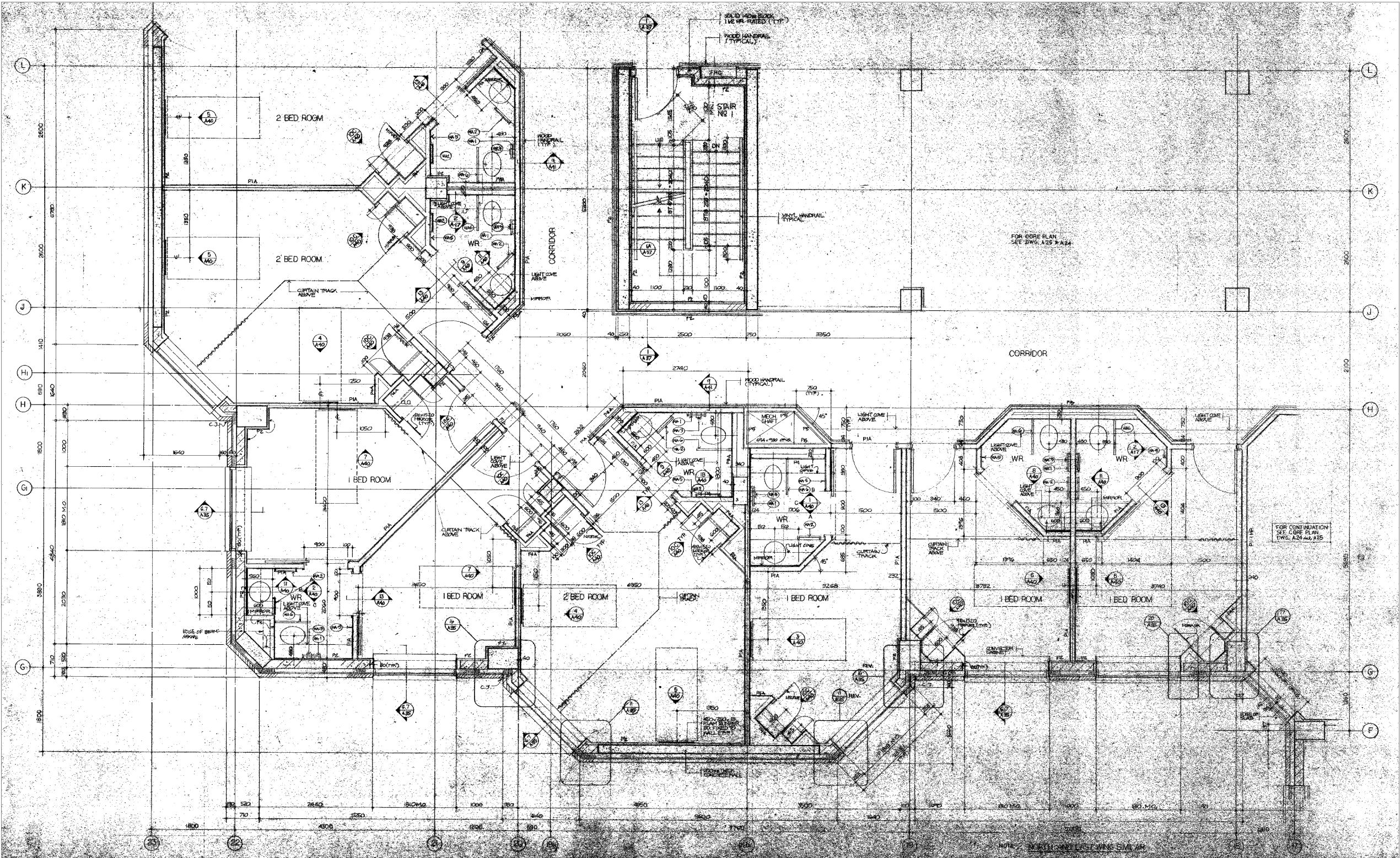
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CONTEXT PLAN

NOTE:

PLANS ARE FOR REFERENCE ONLY.
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS



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**CSU RESIDENT ROOMS
- FLOORING
REPLACEMENT**
9 NELSON ROAD,
SCARBOROUGH

**TYPICAL UNITS
DETAIL - ARCHIVAL
PLANS**

scale: As indicated

drawn by: MO

reviewed by: AR

job number: 21509.F05

plot date: 24-03-14

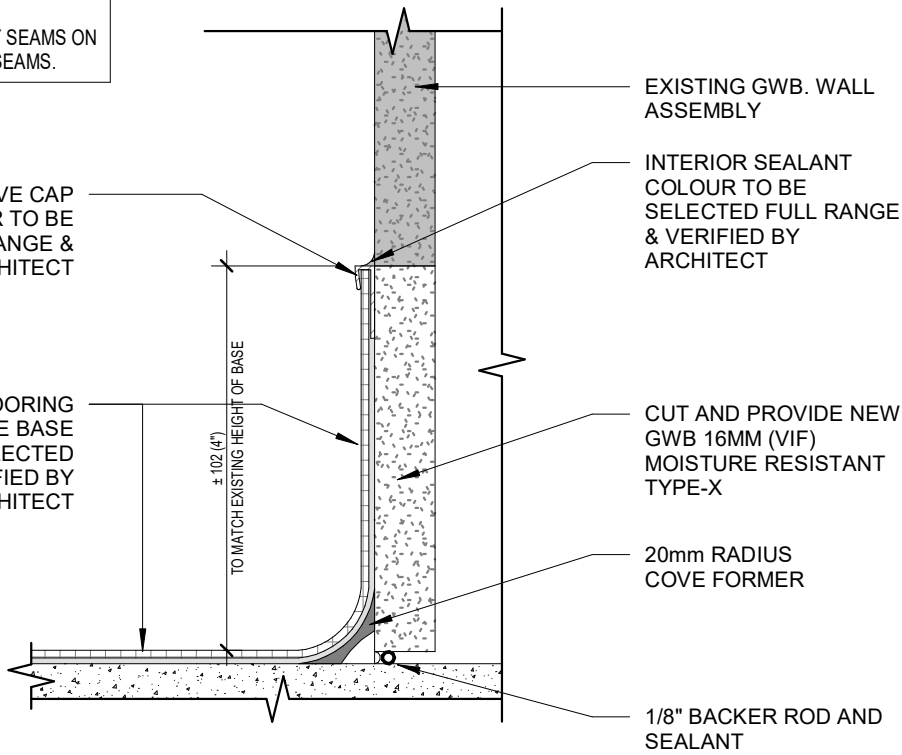
drawing number:

F_A5.01

NOTE;
PROVIDE BUTTERFLY SEAMS ON
OUTSIDE CORNERS SEAMS.

PROPOSED CC2 - COVE CAP
PWD.C. COLOUR TO BE
SELECTED FULL RANGE &
VERIFIED BY ARCHITECT

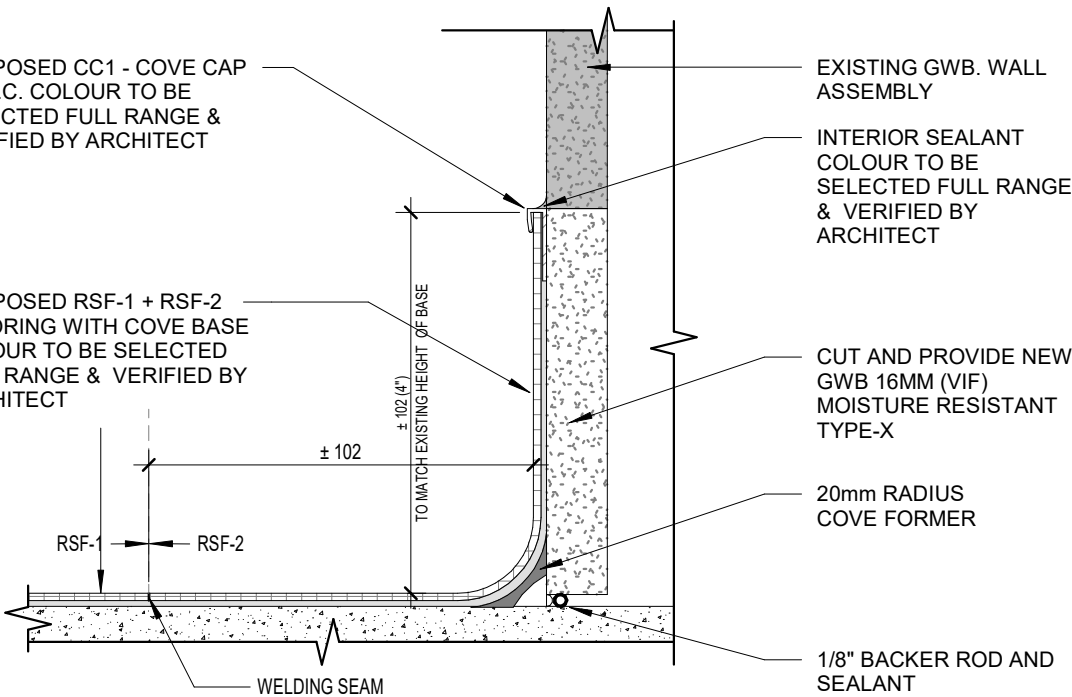
PROPOSED RSSF-1 FLOORING
WITH COVE BASE
COLOUR TO BE SELECTED
FULL RANGE & VERIFIED BY
ARCHITECT



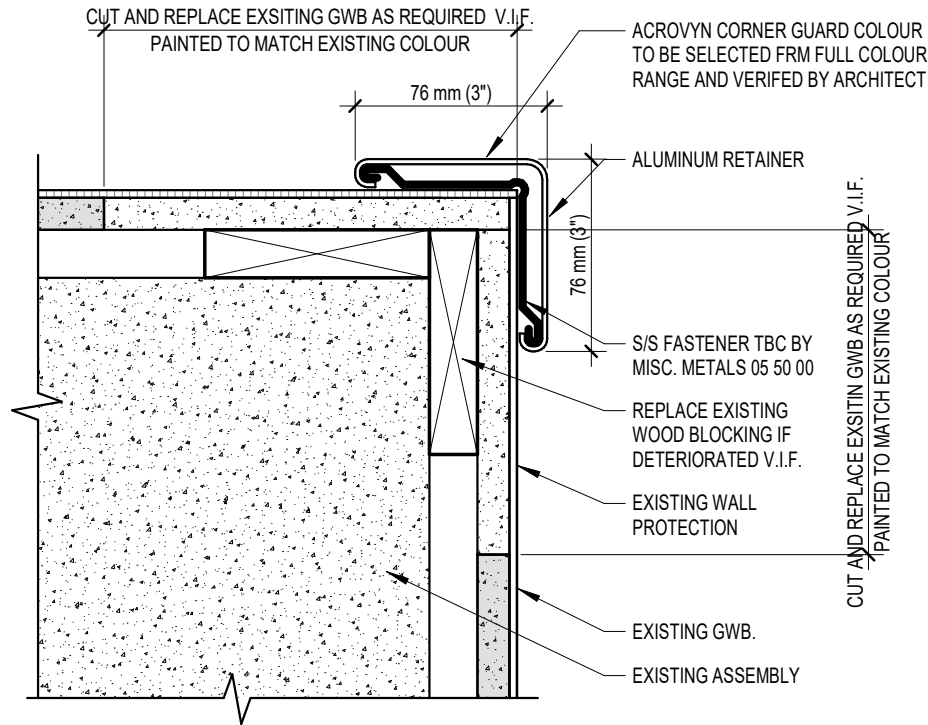
2 TYP. NEW COVE BASE FOR FLOORING - RSSF-1
F_A9.01 1:2

PROPOSED CC1 - COVE CAP
PWD.C. COLOUR TO BE
SELECTED FULL RANGE &
VERIFIED BY ARCHITECT

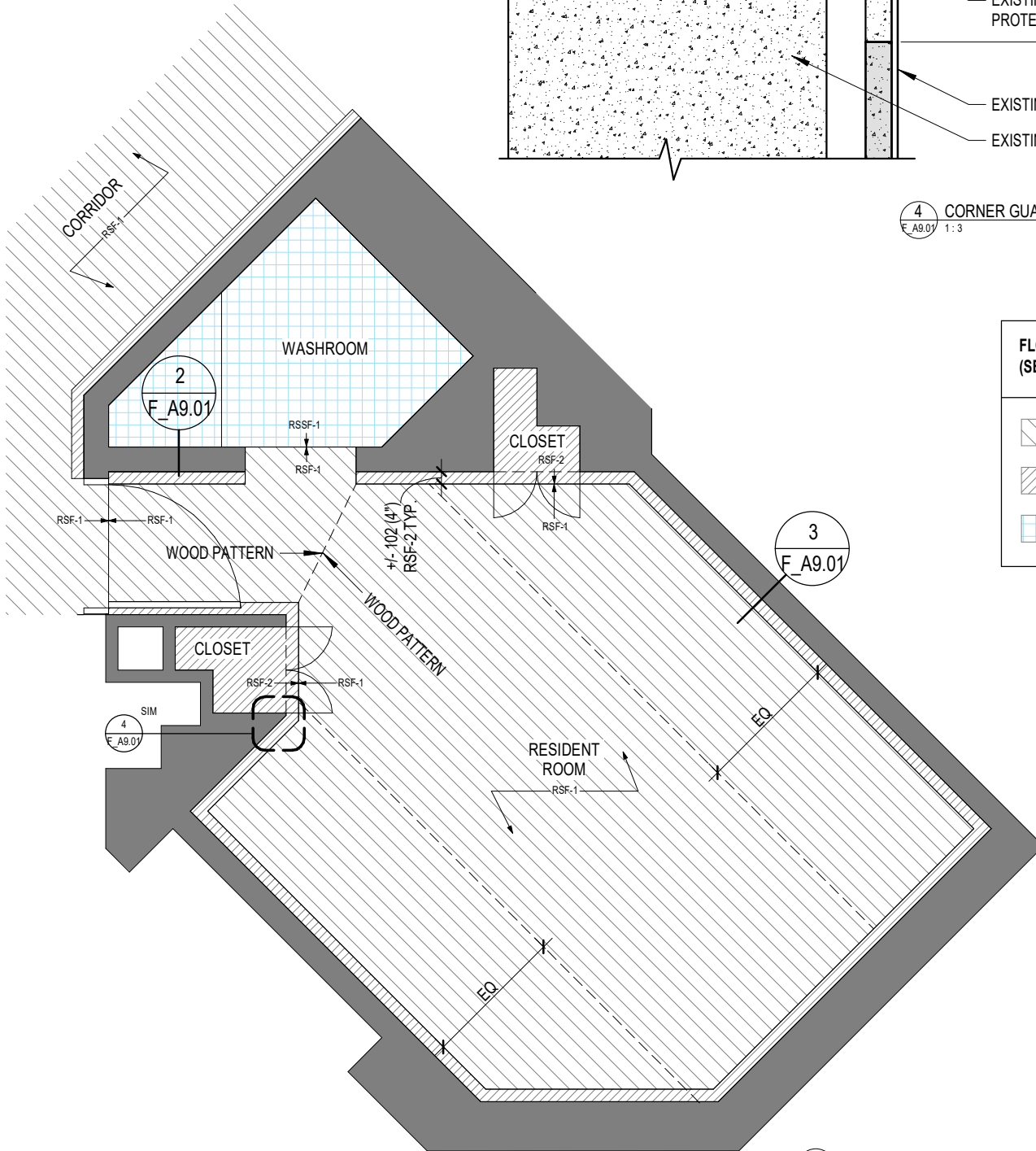
PROPOSED RSF-1 + RSF-2
FLOORING WITH COVE BASE
COLOUR TO BE SELECTED
FULL RANGE & VERIFIED BY
ARCHITECT



3 TYP. NEW COVE BASE FOR FLOORING 'RSF-1 + RSF-2'
F_A9.01 1:2



4 CORNER GUARD DETAIL
F_A9.01 1:3

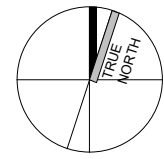


1 TYPICAL RESIDENT ROOM - SEAMING DIAGRAM
F_A9.01 1:50

FLOORING LEGEND (SEAMING DIAGRAM)	
	RSF-1
	RSF-2
	RSSF-1

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TYPICAL RESIDENT
ROOM - SEAMING
DIAGRAM, DETAILS

scale: As indicated
drawn by: MO
reviewed by: AR
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