

MONTGOMERY SISAM ARCHITECTS INC.
ARCHITECTURAL

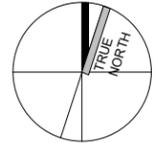
21509.F05
ISSUED FOR RETENDER
2024-06-06

*CSU RESIDENT ROOMS
FLOORING REPLACEMENT*

SEVEN OAKS
LONG-TERM CARE HOMES AND SERVICES
9 NEILSON ROAD, SCARBOROUGH

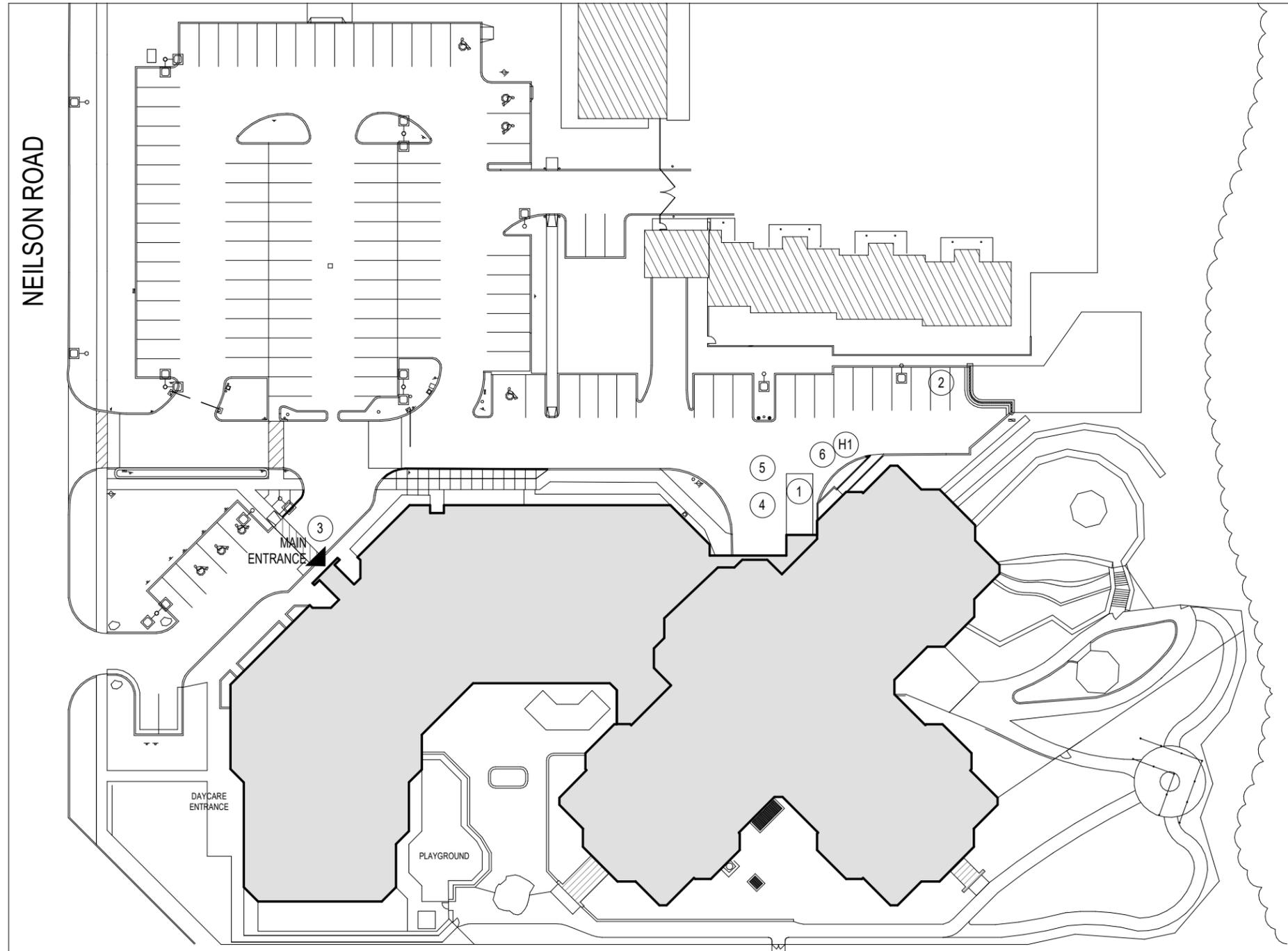


Long-Term Care Homes and Services Division



CONTEXT PLAN

LEGEND			
①	ACCESS TO SITE AND LOADING DOCKS	⑤	EQUIPMENT AND MATERIAL DROP-OFF
②	DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED)	⑥	CONTRACTORS DISPOSAL BIN
②a	ACCESS TO DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED)	⑦	ACCESS FOR EMERGENCY VEHICLES
③	MAIN ENTRANCE	⑧	MEETING AREA FOR SITE VISITS
③a	SERVICE ENTRANCE	⑨	VISITOR PARKING
④	LOADING DOCKS	Ⓜ	SITE HOARDING (TO BE CONFIRMED BY HOME)



3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CSU RESIDENT ROOMS - FLOORING REPLACEMENT
9 NEILSON ROAD,
SCARBOROUGH

SITE PLAN

scale: 1 : 700

drawn by: MO

reviewed by: AR

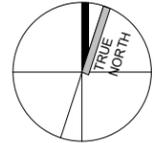
job number: 21509.F05

plot date: 24-03-14

drawing number:

F_A0.03

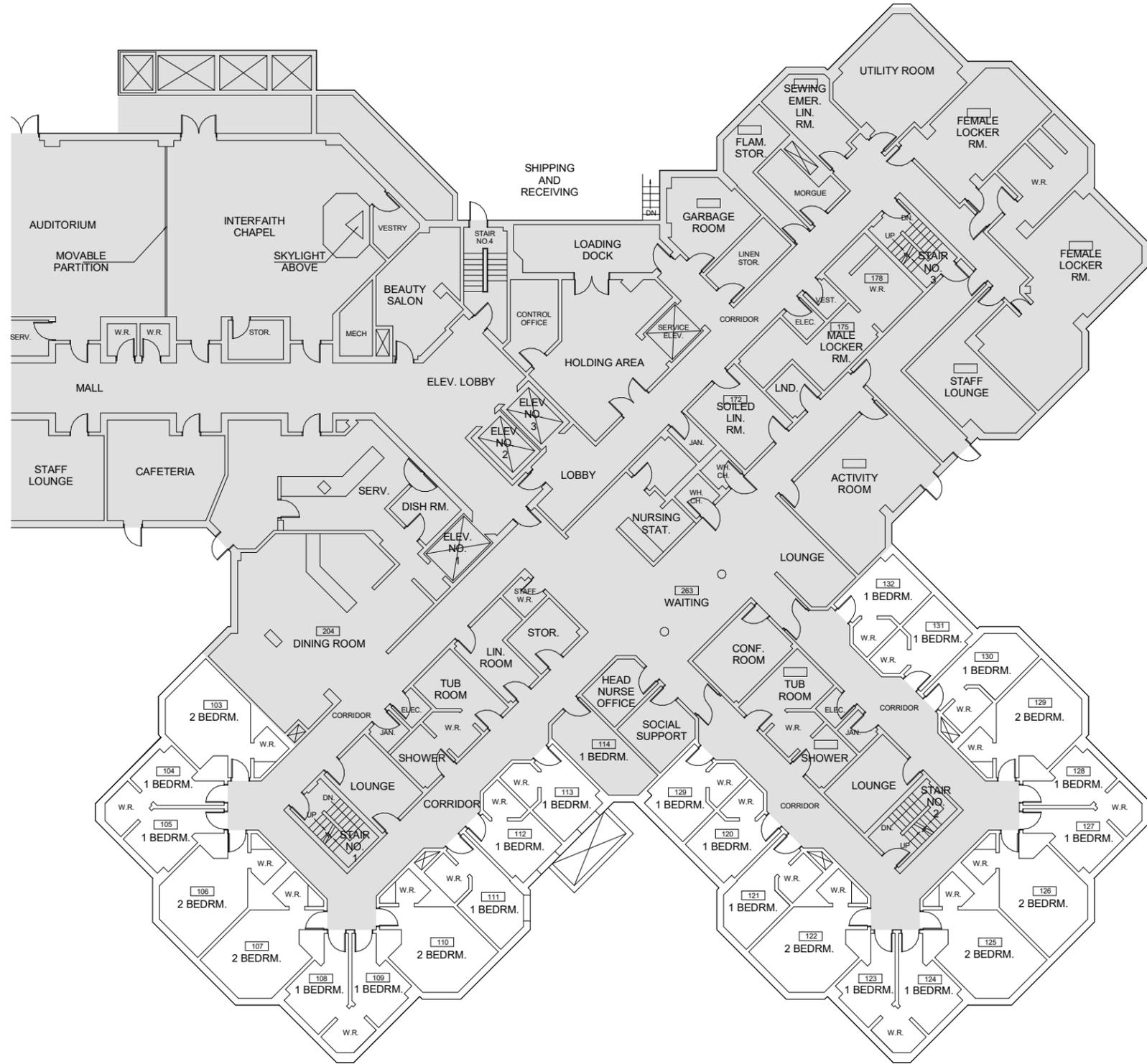
MontgomerySisam



CONTEXT PLAN

AREA OF WORK

- AREA OF WORK
- EXISTING AREA TO REMAIN AS-IS
- AREA CALCULATIONS
- TYP. LOCATION OF CORNER GUARDS (REPLACE EXISTING)



3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CSU RESIDENT ROOMS - FLOORING REPLACEMENT

9 NELSON ROAD, SCARBOROUGH

AREA OF WORK PLAN - LEVEL 1

scale: As indicated

drawn by: MO

reviewed by: AR

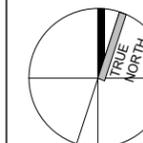
job number: 21509.F05

plot date: 24-03-14

drawing number:

F_A0.04

MontgomerySisam



CONTEXT PLAN

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CSU RESIDENT ROOMS - FLOORING REPLACEMENT

9 NELSON ROAD, SCARBOROUGH

AREA OF WORK PLAN - LEVEL 1

scale: 1 : 200

drawn by: MO

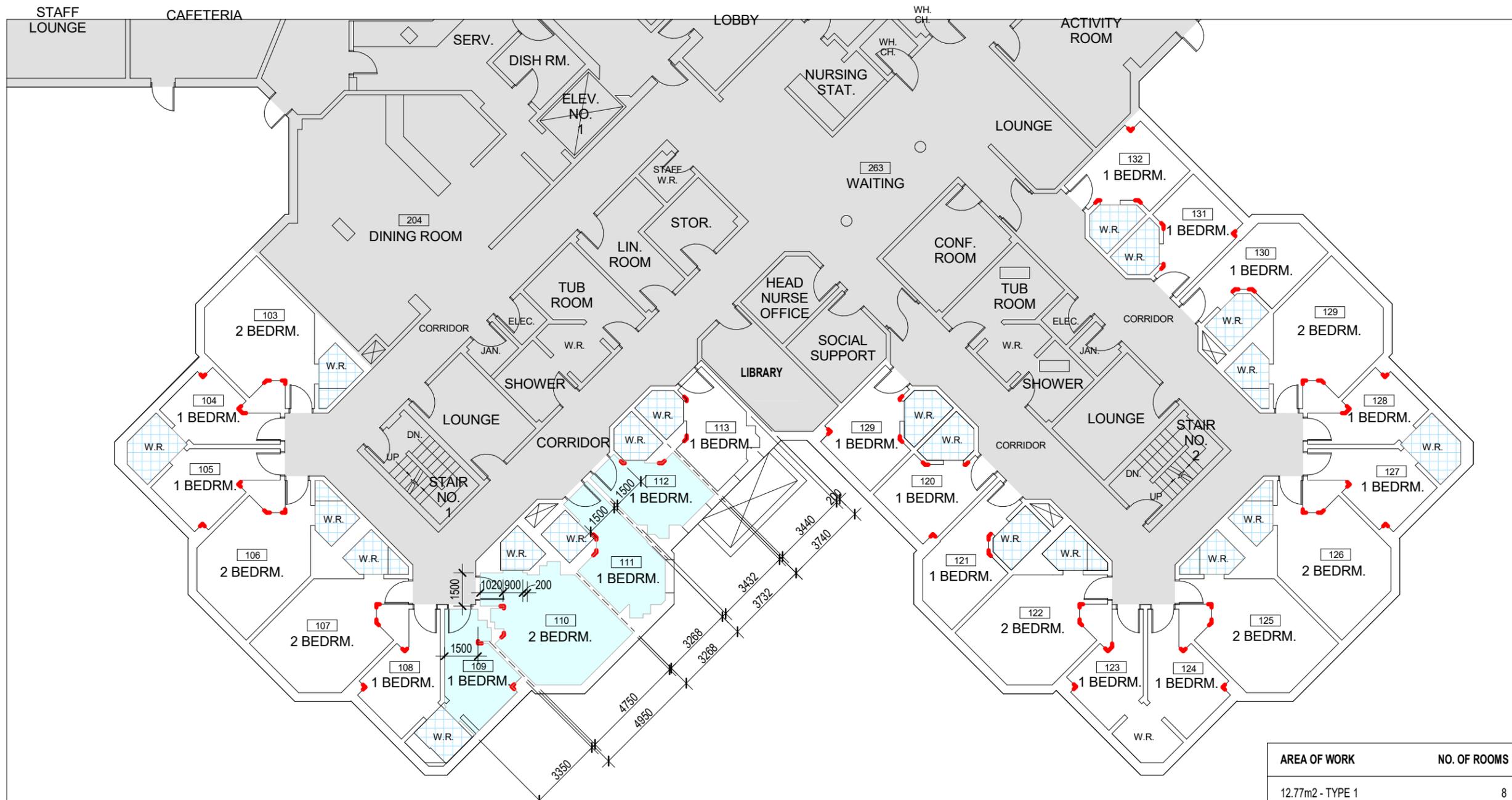
reviewed by: AR

job number: 21509.F05

plot date: 24-03-14

drawing number:

F_A0.05



1 LEVEL 01 - DEMO/ PROPOSED PLAN
 F_A0.05 1:200

AREA OF WORK	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS
	AREA CALCULATIONS
	TYP. LOCATION OF CORNER GUARDS (REPLACE EXISTING)

AREA OF WORK	NO. OF ROOMS
12.77m ² - TYPE 1	8
24.55m ² - TYPE 2	8
14.34m ² - TYPE 3	3
12.91m ² - TYPE 4	6

AREA TOTALS	
AREA OF ROOMS - TYPE 1 = 102.16m ²	
AREA OF ROOM - TYPE 2 = 196.4m ²	
AREA OF ROOM - TYPE 3 = 43.02m ²	
AREA OF ROOM - TYPE 4 = 119.82	
TOTAL AREA = 461.4m ²	
AREA OF WR - TYPE 5 = 12.56 + 21.76 + 8.46 + 18.96	
TOTAL AREA = 61.74m ²	



Site photo - 01 - Room number



Site photo - 02 - Single Room Type 1 Flooring (typ.)



Site photo - 03 - Single Room Type 1 Flooring (typ.)



Site photo - 04 - Single Room Type 1 Flooring (typ.)



Site photo - 05 - Single Room Type 1 Flooring (typ.)



Site photo - 06 - Single Room Type 1 Flooring (typ.)



Site photo - 07 - Single Room Type 1 Flooring (typ.)



Site photo - 09 - Washroom Type 1 Flooring (typ.)



Site photo - 10 - Washroom Type 1 Flooring (typ.)



Site photo - 11 - Room number



Site photo - 12 - Single Room Type 2 Flooring (typ.)



Site photo - 13 - Single Room Type 2 Flooring (typ.)



Site photo - 14 - Single Room Type 2 Flooring (typ.)

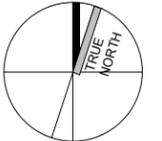


Site photo - 15 - Washroom Type 2 Flooring (typ.)

Montgomery Sisam Architects Inc.

197 Spadina Avenue, Toronto, Ontario
M5T 2C8 montgomerysisam.com
Tel 416.364.8079 Fax 416.364.7723

MontgomerySisam



CONTEXT PLAN

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CSU RESIDENT ROOMS - FLOORING REPLACEMENT
9 NEILSON ROAD,
SCARBOROUGH

EXISTING CONDITIONS

scale:

drawn by: MO

reviewed by: AR

job number: 21509.F05

plot date: 24-03-14

drawing number:

F_A0.06



Site photo - 16 - Washroom Type 2 Flooring (typ.)



Site photo - 17 - Single Room Type 2 Flooring (typ.)



Site photo - 18 - Single Room Type 2 Flooring (typ.)



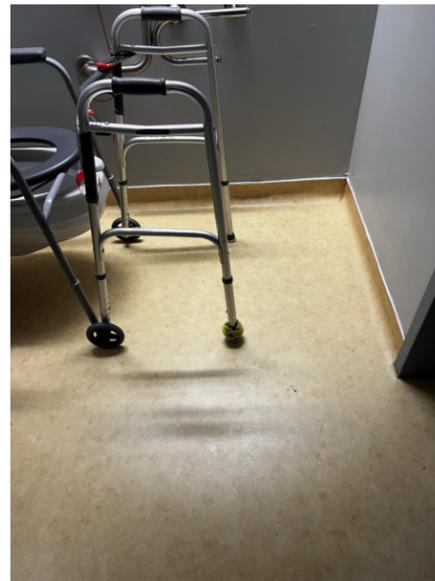
Site photo - 19 - Single Room Type 2 Flooring (typ.)



Site photo - 20 - Single Room Type 2 Flooring (typ.)



Site photo - 21 - Room Number



Site photo - 22 - Washroom Type 3 Flooring (typ.)



Site photo - 23 - Washroom Type 3 Flooring (typ.)



Site photo - 24 - Washroom Type 3 Flooring (typ.)



Site photo - 25 - Washroom Type 3 Flooring (typ.)



Site photo - 26 - Washroom Type 3 Flooring (typ.)



Site photo - 27 - Double Room Type 1 Flooring (typ.)



Site photo - 28 - Double Room Type 1 Flooring (typ.)



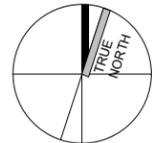
Site photo - 29 - Double Room Type 1 Flooring (typ.)



Site photo - 30 - Double Room Type 1 Flooring (typ.)

Montgomery Sisam Architects Inc.
197 Spadina Avenue, Toronto, Ontario
M5T 2C8 montgomerysisam.com
Tel 416.364.8079 Fax 416.364.7723

MontgomerySisam



CONTEXT PLAN

2	2024-06-06	ISSUED FOR RETENDER	MSA
1	2023-11-15	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CSU RESIDENT ROOMS - FLOORING REPLACEMENT

9 NELSON ROAD, SCARBOROUGH

EXISTING CONDITIONS

scale:

drawn by: MO

reviewed by: AR

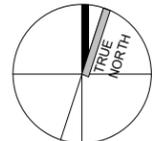
job number: 21509.F05

plot date: 24-03-14

drawing number:

F_A0.07

MontgomerySisam

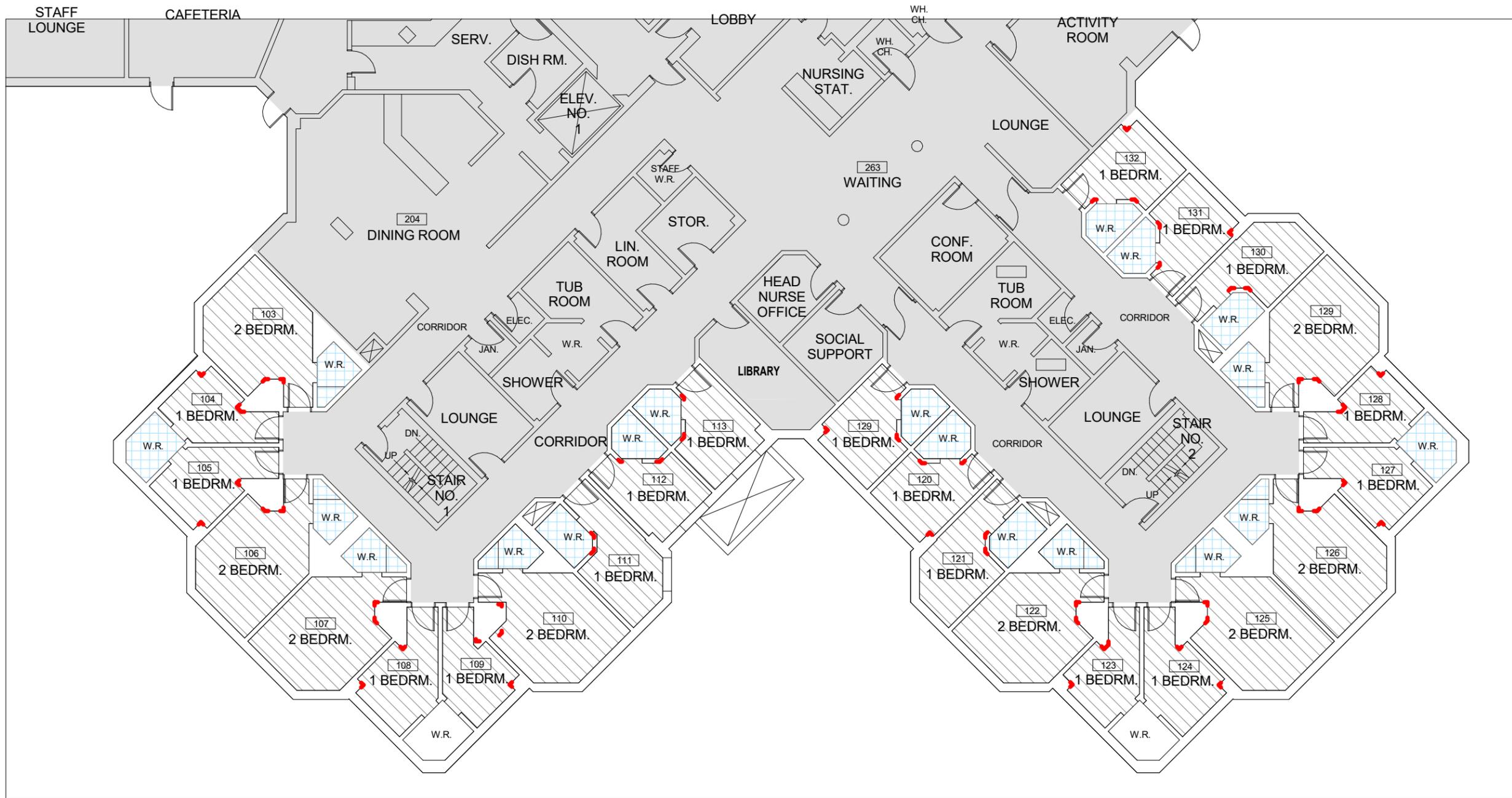


CONTEXT PLAN

FLOORING LEGEND

-  RSF-1 + RSF-2 (REFER TO SEAMING DIAGRAM)
-  RSSF-1
-  EXISTING AREA TO REMAIN AS-IS
-  TYP. LOCATION OF CORNER GUARDS (REPLACE EXISTING)

NOTE: ALL FLOOR DIMENSIONS REFER TO ARCHIVED DWGS A5.01 FOR DETAILS.



3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CSU RESIDENT ROOMS - FLOORING REPLACEMENT

9 NELSON ROAD, SCARBOROUGH

DEMO/ PROPOSED PLAN - LEVEL 1

scale: 1 : 200

drawn by: MO

reviewed by: AR

job number: 21509.F05

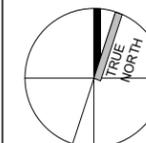
plot date: 24-03-14

drawing number:

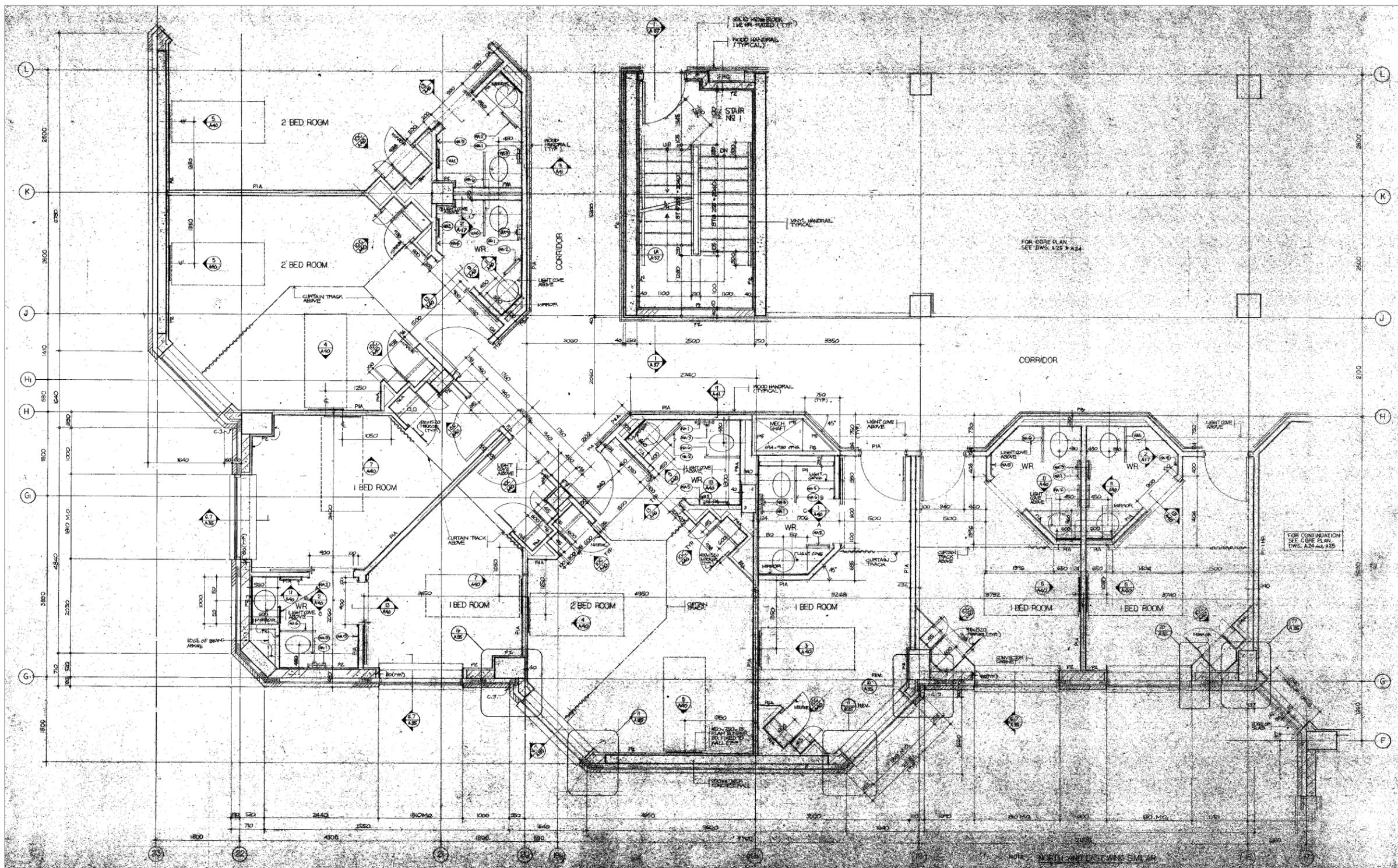
F_A1.01

2024-06-06 12:52:22 PM

NOTE:
PLANS ARE FOR REFERENCE ONLY.
CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS



CONTEXT PLAN



- 3 2024-06-06 ISSUED FOR RETENDER MSA
 - 2 2023-11-15 ISSUED FOR TENDER MSA
 - 1 2023-05-31 ISSUED FOR REVIEW MSA
- # date: revision: To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CSU RESIDENT ROOMS - FLOORING REPLACEMENT 9 NELSON ROAD, SCARBOROUGH

TYPICAL UNITS DETAIL - ARCHIVAL PLANS

scale: As indicated

drawn by: MO

reviewed by: AR

job number: 21509.F05

plot date: 24-03-14

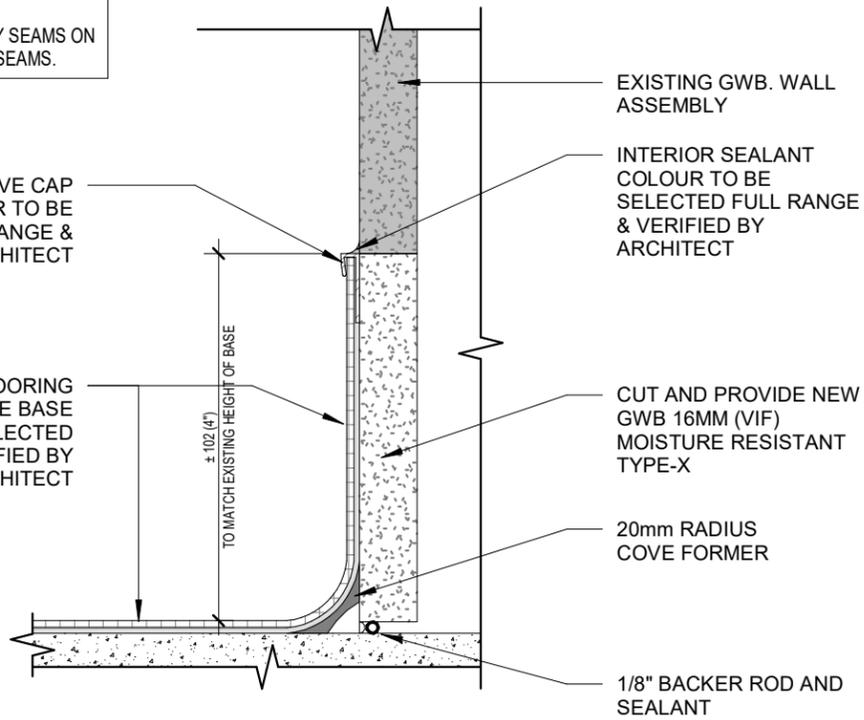
drawing number:

F_A5.01

NOTE:
PROVIDE BUTTERFLY SEAMS ON
OUTSIDE CORNERS SEAMS.

PROPOSED CC2 - COVE CAP
P.W.D.C. COLOUR TO BE
SELECTED FULL RANGE &
VERIFIED BY ARCHITECT

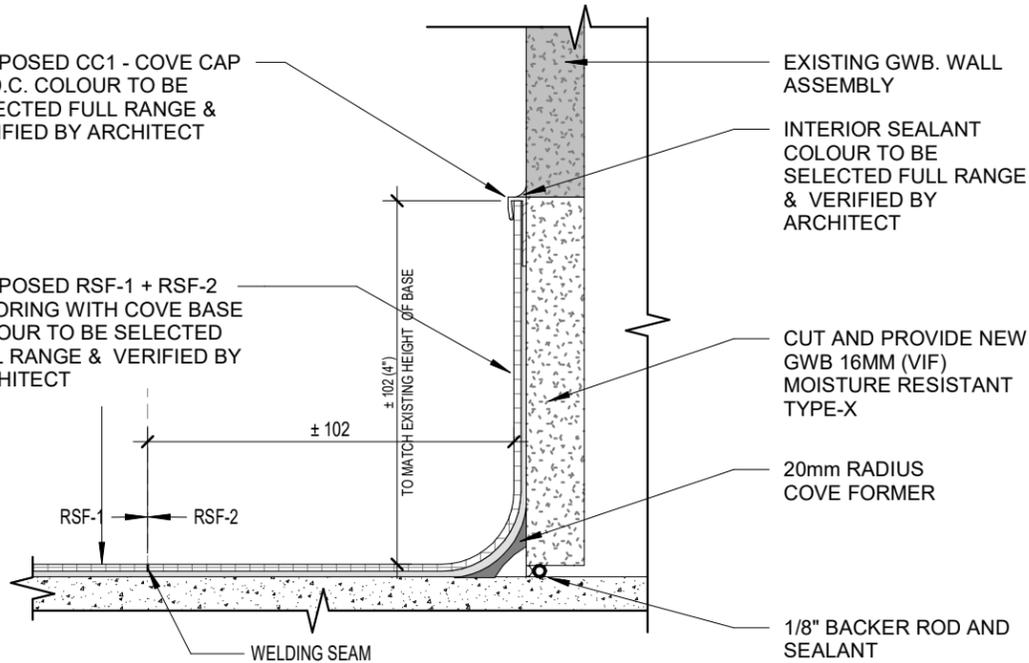
PROPOSED RSSF-1 FLOORING
WITH COVE BASE
COLOUR TO BE SELECTED
FULL RANGE & VERIFIED BY
ARCHITECT



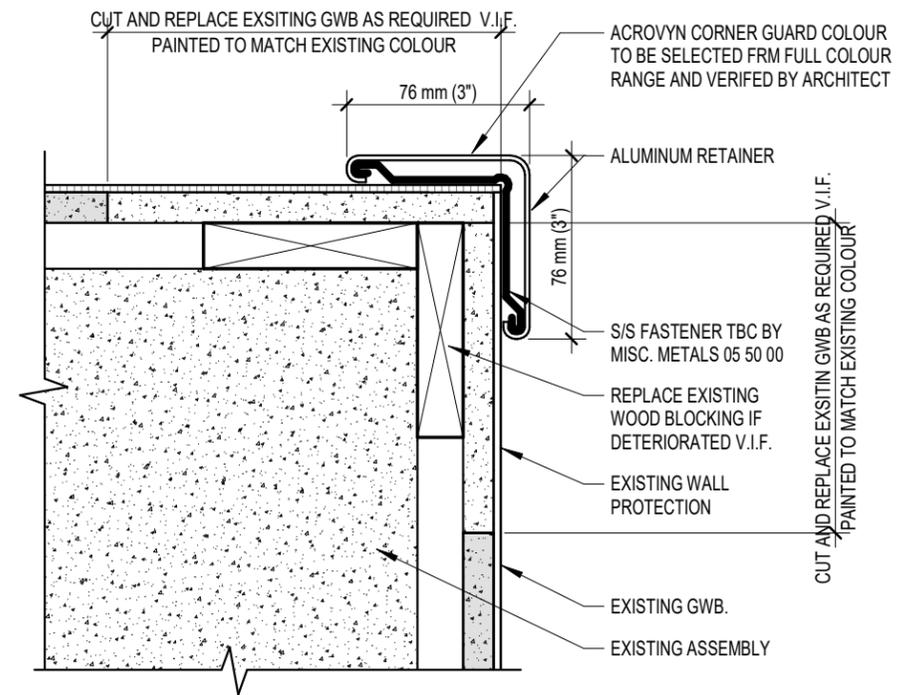
2 TYP. NEW COVE BASE FOR FLOORING - RSSF-1
F_A9.01 1:2

PROPOSED CC1 - COVE CAP
P.W.D.C. COLOUR TO BE
SELECTED FULL RANGE &
VERIFIED BY ARCHITECT

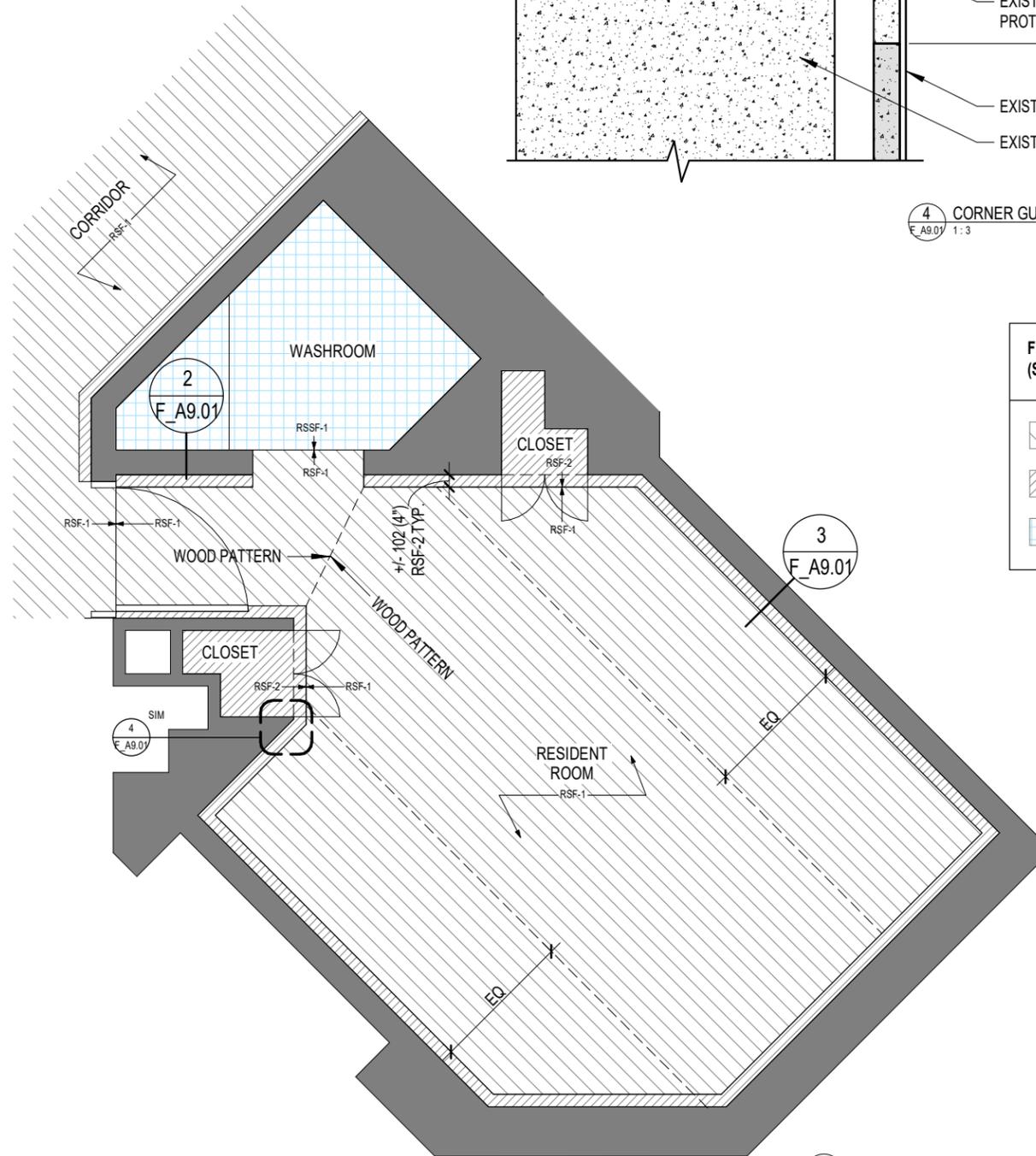
PROPOSED RSF-1 + RSF-2
FLOORING WITH COVE BASE
COLOUR TO BE SELECTED
FULL RANGE & VERIFIED BY
ARCHITECT



3 TYP. NEW COVE BASE FOR FLOORING 'RSF-1 + RSF-2'
F_A9.01 1:2



4 CORNER GUARD DETAIL
F_A9.01 1:3

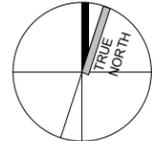


1 TYPICAL RESIDENT ROOM - SEAMING DIAGRAM
F_A9.01 1:50

FLOORING LEGEND (SEAMING DIAGRAM)	
	RSF-1
	RSF-2
	RSSF-1

Montgomery Sisam Architects Inc.
197 Spadina Avenue, Toronto, Ontario
M5T 2C8 montgomerysisam.com
Tel 416.364.8079 Fax 416.364.7723

MontgomerySisam



CONTEXT PLAN

#	date:	revision:	To	By
3	2024-06-06	ISSUED FOR RETENDER		MSA
2	2023-11-15	ISSUED FOR TENDER		MSA
1	2023-05-31	ISSUED FOR REVIEW		MSA

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

CSU RESIDENT ROOMS - FLOORING REPLACEMENT
9 NELSON ROAD,
SCARBOROUGH

TYPICAL RESIDENT ROOM - SEAMING DIAGRAM, DETAILS

scale: As indicated

drawn by: MO

reviewed by: AR

job number: 21509.F05

plot date: 24-03-14

drawing number:

F_A9.01

2024-06-06 12:52:23 PM