

MONTGOMERY SISAM ARCHITECTS INC.
ARCHITECTURAL

21509.F04
ISSUED FOR RETENDER
2024-06-06

WASHROOM SLIDING DOOR REPLACEMENT

SEVEN OAKS
LONG-TERM CARE HOMES AND SERVICES
9 NEILSON ROAD, SCARBOROUGH



Long-Term Care Homes and Services Division

LEVEL 3 DOOR SCHEDULE																
LEVEL	DOOR NUMBER	FROM ROOM	TO ROOM	DOOR							FRAME			HARDWARE GROUP	NOTES	
				WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	GLAZING	TYPE	MATERIAL	FINISH			
3	303b	RESIDENT ROOM 303	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A TYPICAL WASHROOM DOOR NOTE: PROVIDE AND INSTALL NEW WASHROOM SLIDING DOOR. PREPARE EXISTING HOLLOW METAL FRAME FOR PT. PROVIDE NEW FRAME DOOR PROTECTION. PT AND FRAME PROTECTION SELECTED BY ARCHITECT. PROVIDE AND INSTALL NEW DOOR HARDWARE, REFER TO HARDWARE SCHEDULE.	
3	304b	RESIDENT ROOM 304	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	305b	RESIDENT ROOM 305	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	306b	RESIDENT ROOM 306	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	307b	RESIDENT ROOM 307	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	308b	RESIDENT ROOM 308	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	309b	RESIDENT ROOM 309	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	310b	RESIDENT ROOM 310	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	311b	RESIDENT ROOM 311	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	312b	RESIDENT ROOM 312	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	313b	RESIDENT ROOM 313	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	314b	RESIDENT ROOM 314	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	315b	RESIDENT ROOM 315	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	316b	RESIDENT ROOM 316	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	319b	RESIDENT ROOM 319	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	320b	RESIDENT ROOM 320	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	321b	RESIDENT ROOM 321	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	322b	RESIDENT ROOM 322	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	323b	RESIDENT ROOM 323	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	324b	RESIDENT ROOM 324	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	325b	RESIDENT ROOM 325	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	326b	RESIDENT ROOM 326	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	327b	RESIDENT ROOM 327	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	328b	RESIDENT ROOM 328	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	329b	RESIDENT ROOM 329	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	330b	RESIDENT ROOM 330	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	331b	RESIDENT ROOM 331	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	332b	RESIDENT ROOM 332	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	337b	RESIDENT ROOM 337	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	338b	RESIDENT ROOM 338	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	339b	RESIDENT ROOM 339	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	340b	RESIDENT ROOM 340	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	341b	RESIDENT ROOM 341	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	342b	RESIDENT ROOM 342	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	343b	RESIDENT ROOM 343	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	344b	RESIDENT ROOM 344	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	345b	RESIDENT ROOM 345	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	346b	RESIDENT ROOM 346	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	347b	RESIDENT ROOM 347	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	348b	RESIDENT ROOM 348	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	349b	RESIDENT ROOM 349	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
3	350b	RESIDENT ROOM 350	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.	
LVL 3 TOTAL :				42												

CONTEXT PLAN

3 2024-06-06 ISSUED FOR RETENDER MSA
2 2023-11-15 ISSUED FOR TENDER MSA
1 2023-05-08 ISSUED FOR TENDER MSA
date: revision: To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
SCARBOROUGH

DOOR SCHEDULE

scale: 1 : 1

drawn by: DB

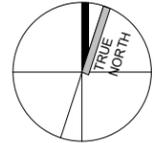
reviewed by: TR

job number: 21509.F04

plot date: 24-03-14

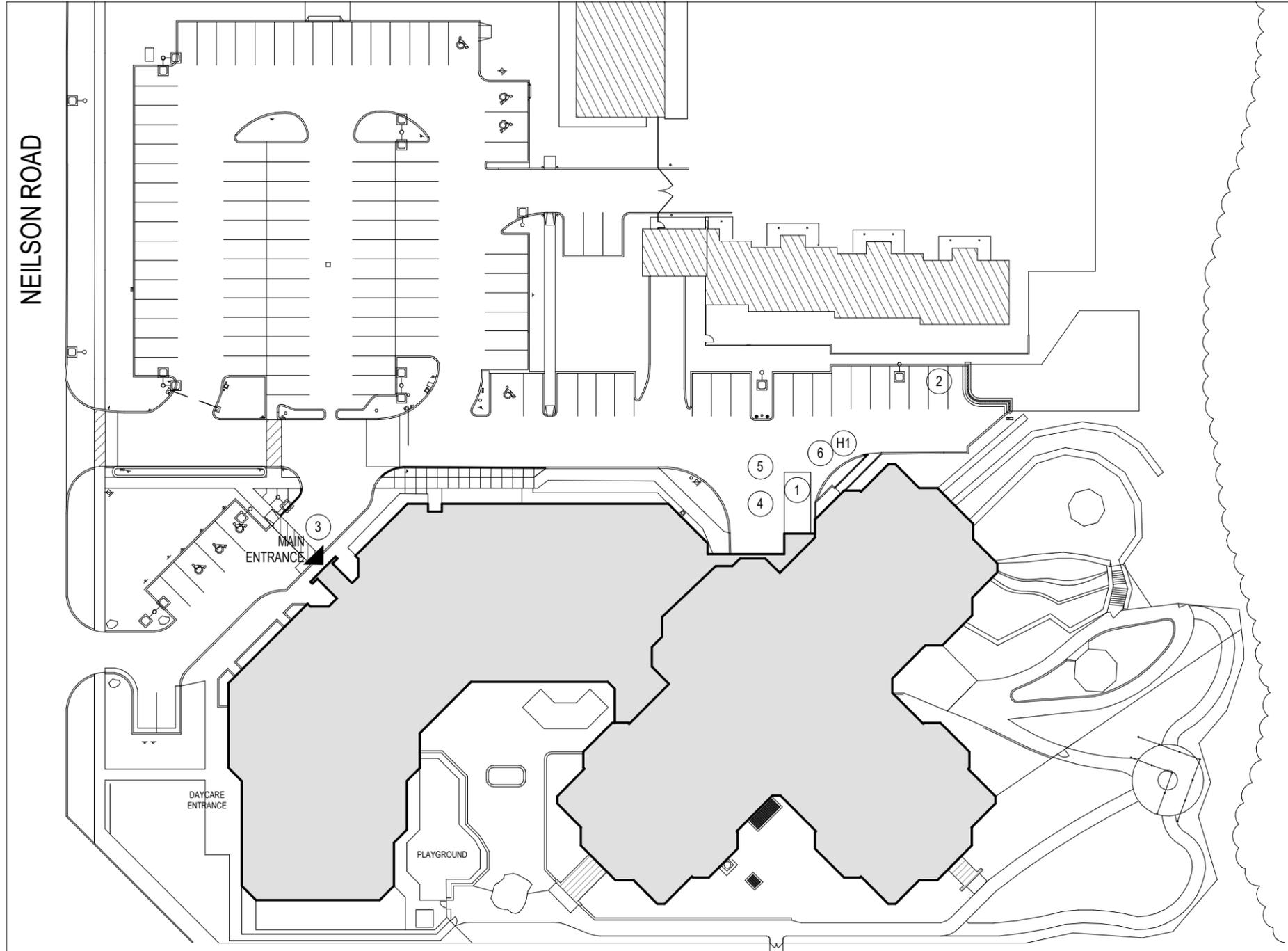
drawing number:

A0.02



CONTEXT PLAN

LEGEND			
①	ACCESS TO SITE AND LOADING DOCKS	⑤	EQUIPMENT AND MATERIAL DROP-OFF
②	DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED)	⑥	CONTRACTORS DISPOSAL BIN
②a	ACCESS TO DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED)	⑦	ACCESS FOR EMERGENCY VEHICLES
③	MAIN ENTRANCE	⑧	MEETING AREA FOR SITE VISITS
③a	SERVICE ENTRANCE	⑨	VISITOR PARKING
④	LOADING DOCKS	Ⓜ	SITE HOARDING (TO BE CONFIRMED BY HOME)



3	2024-06-06	ISSUED FOR RETENDER	MSA
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1	2023-05-08	ISSUED FOR TENDER	MSA
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WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
SCARBOROUGH

SITE PLAN

scale: 1 : 700

drawn by: DB

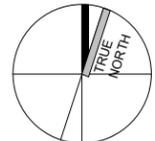
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job number: 21509.F04

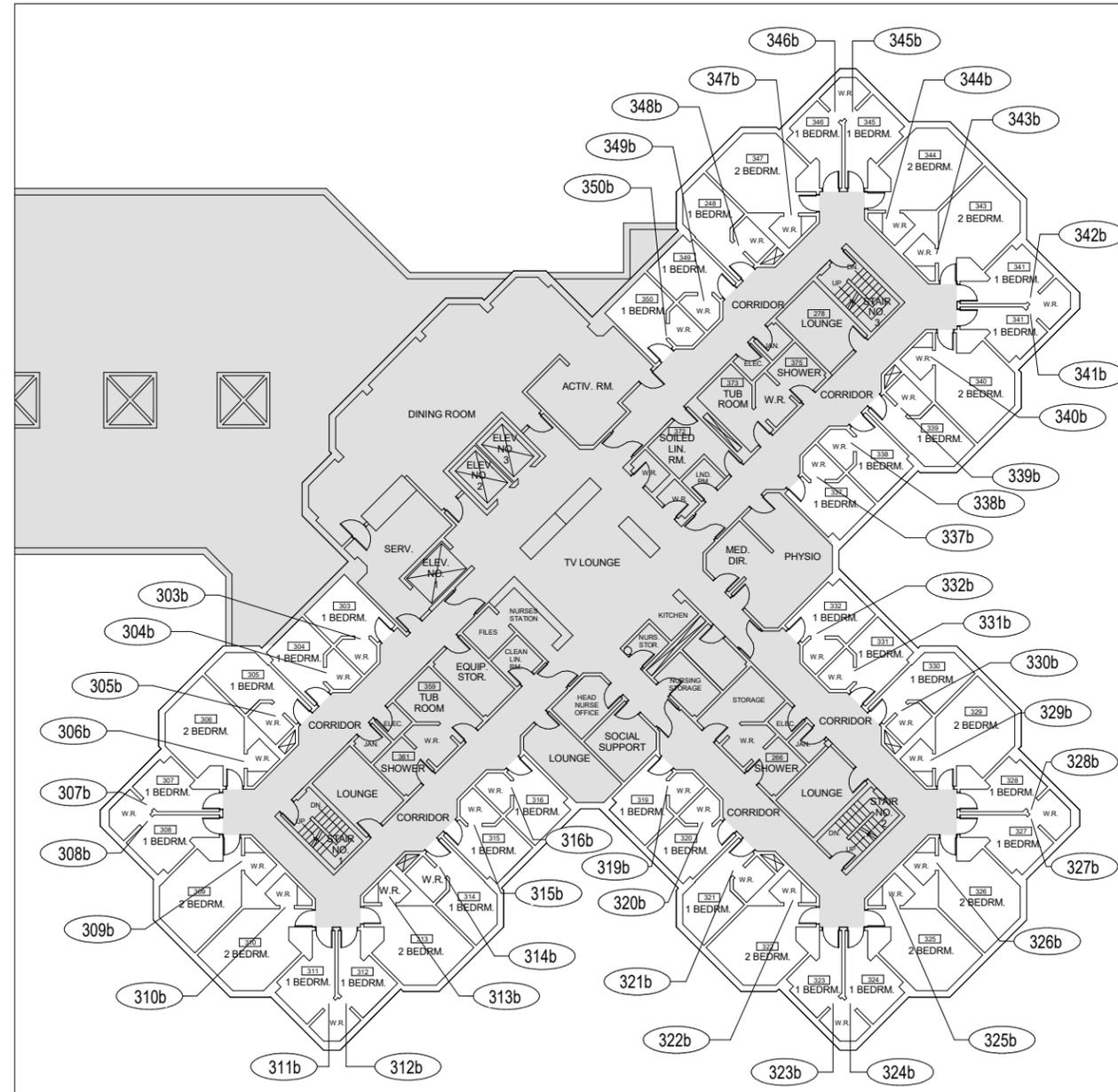
plot date: 24-03-14

drawing number:

A0.03



CONTEXT PLAN



1 LEVEL 3 - AREA OF WORK
 A0.04 1 : 400

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

revisions

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WASHROOM SLIDING DOOR REPLACEMENT

9 NELSON ROAD,
 SCARBOROUGH

**AREA OF WORK PLAN
 - LEVEL 3**

scale: 1 : 400

drawn by: DB

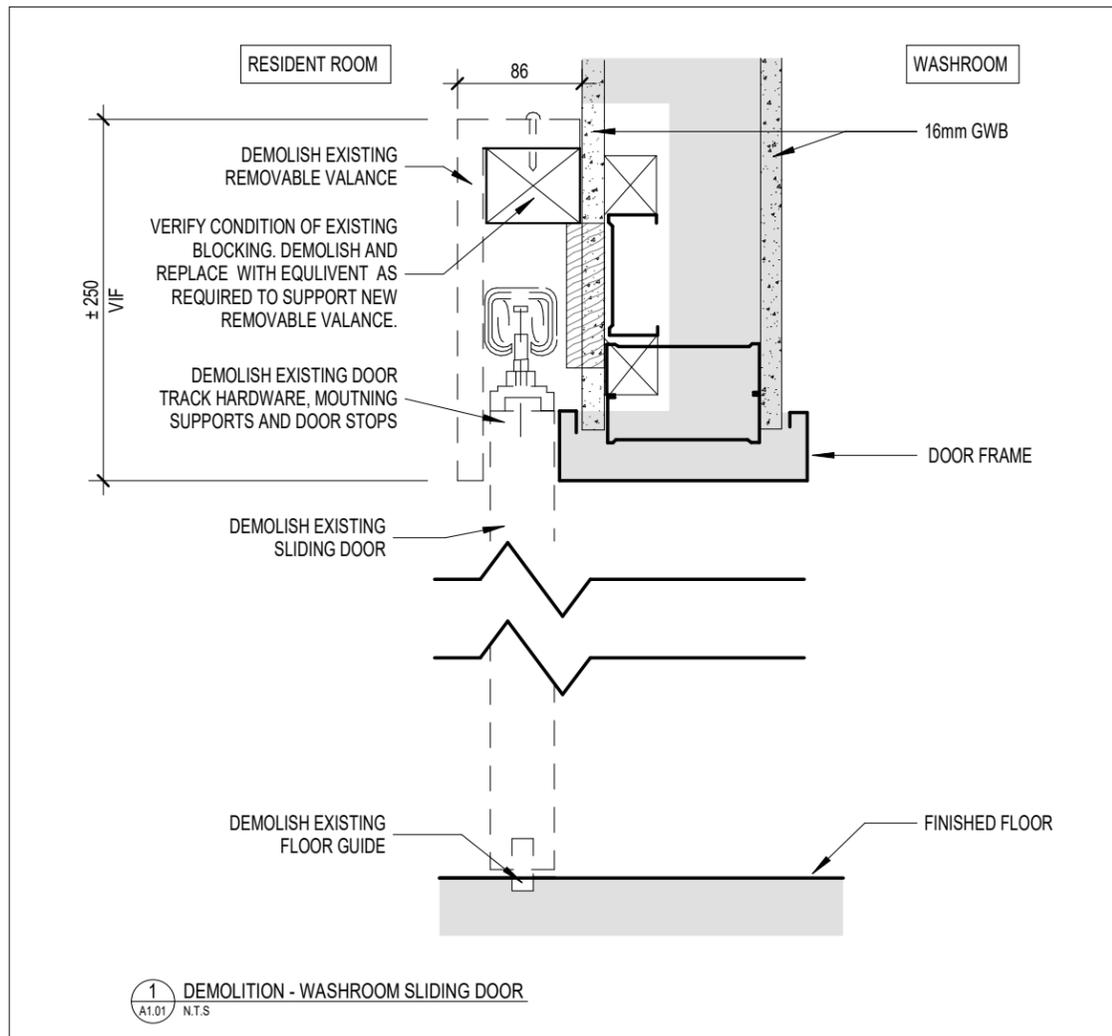
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job number: 21509.F04

plot date: 24-03-14

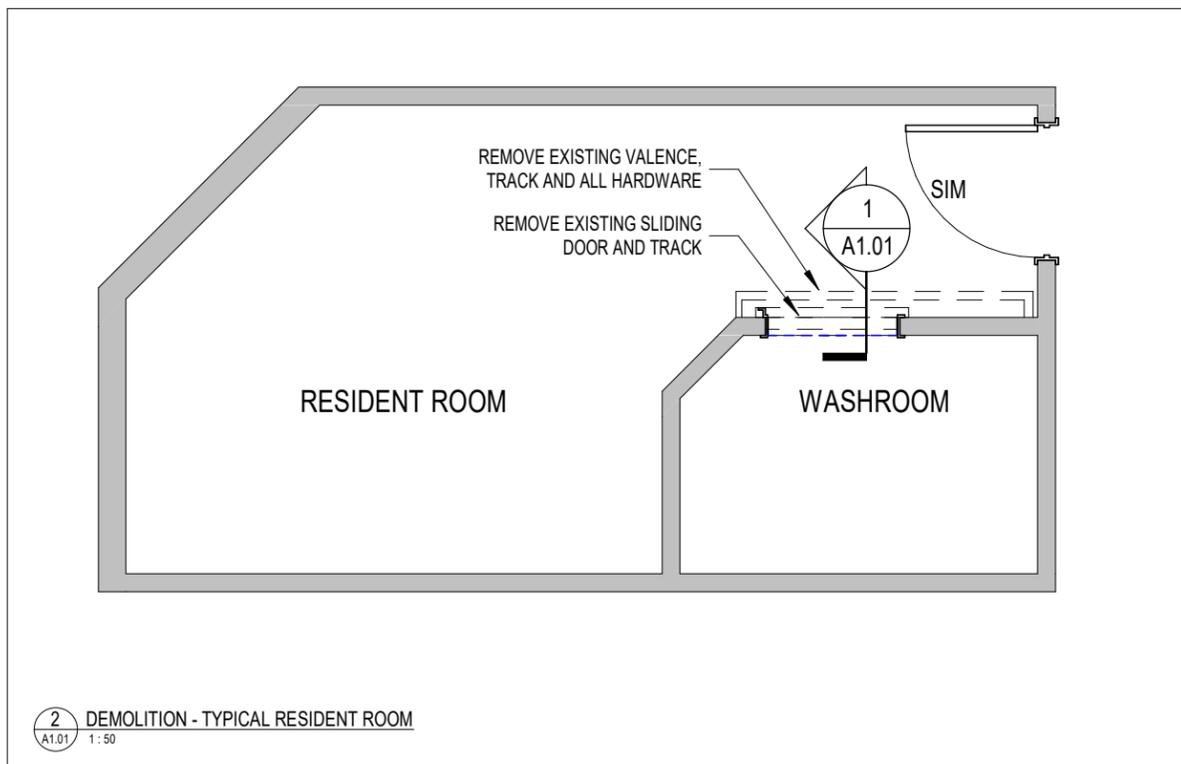
drawing number:

A0.04



DEMOLITION NOTES:

1. REMOVE AND REPLACE EXISTING GYPSUM WALL BOARD WITH EQUIVALENT AS REQUIRED TO FACILITATE DEMOLITION OF EXISTING VALANCE, DOOR TRACK, AND ASSOCIATED HARDWARE. PREPARE SURFACES FOR PAINT AND INSTALLATION OF NEW SLIDING DOOR SYSTEM.
2. PREPARE WALL TO RECEIVE NEW PAINT FINISH.
3. PATCH AND REPAIR ANY DAMAGE TO EXISTING FLOORING CAUSED BY DEMOLITION. FINISH TO MATCH EXISTING - ARCHITECT TO CONFIRM FLOOR SELECTION PRIOR TO INSTALLATION.



CONTEXT PLAN

#	date:	revision:	To	By
3	2024-06-06	ISSUED FOR RETENDER		MSA
2	2023-11-15	ISSUED FOR TENDER		MSA
1	2023-05-08	ISSUED FOR TENDER		MSA

revisions

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WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
 SCARBOROUGH

DEMOLITION PLANS & DETAILS

scale: As indicated

drawn by: DB

reviewed by: TR

job number: 21509.F04

plot date: 24-03-14

drawing number:

A1.01

MontgomerySisam

CONTEXT PLAN

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

revisions

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WASHROOM SLIDING DOOR REPLACEMENT

9 NELSON ROAD,
SCARBOROUGH

PROPOSED PLANS

scale: 1 : 25

drawn by: DB

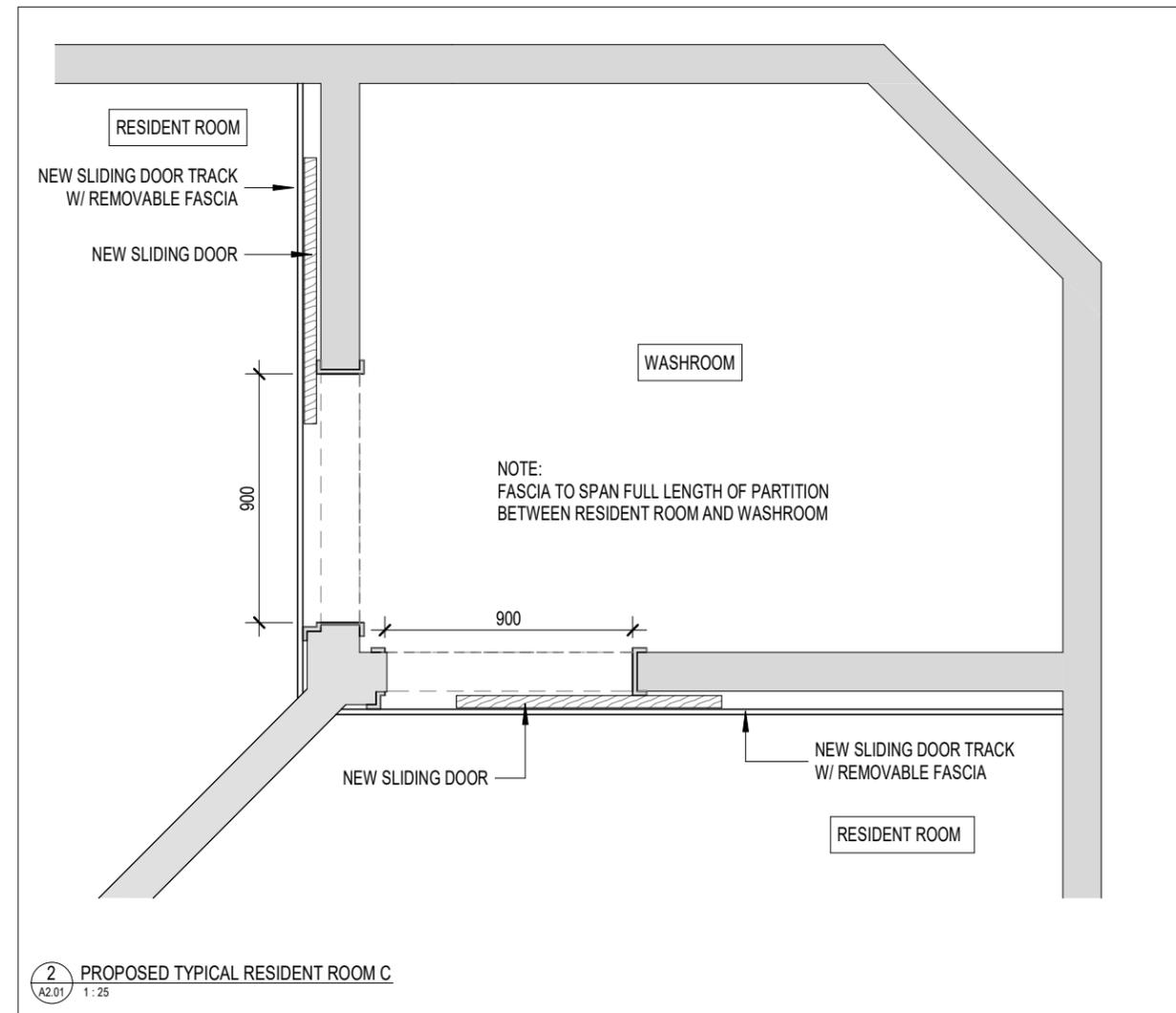
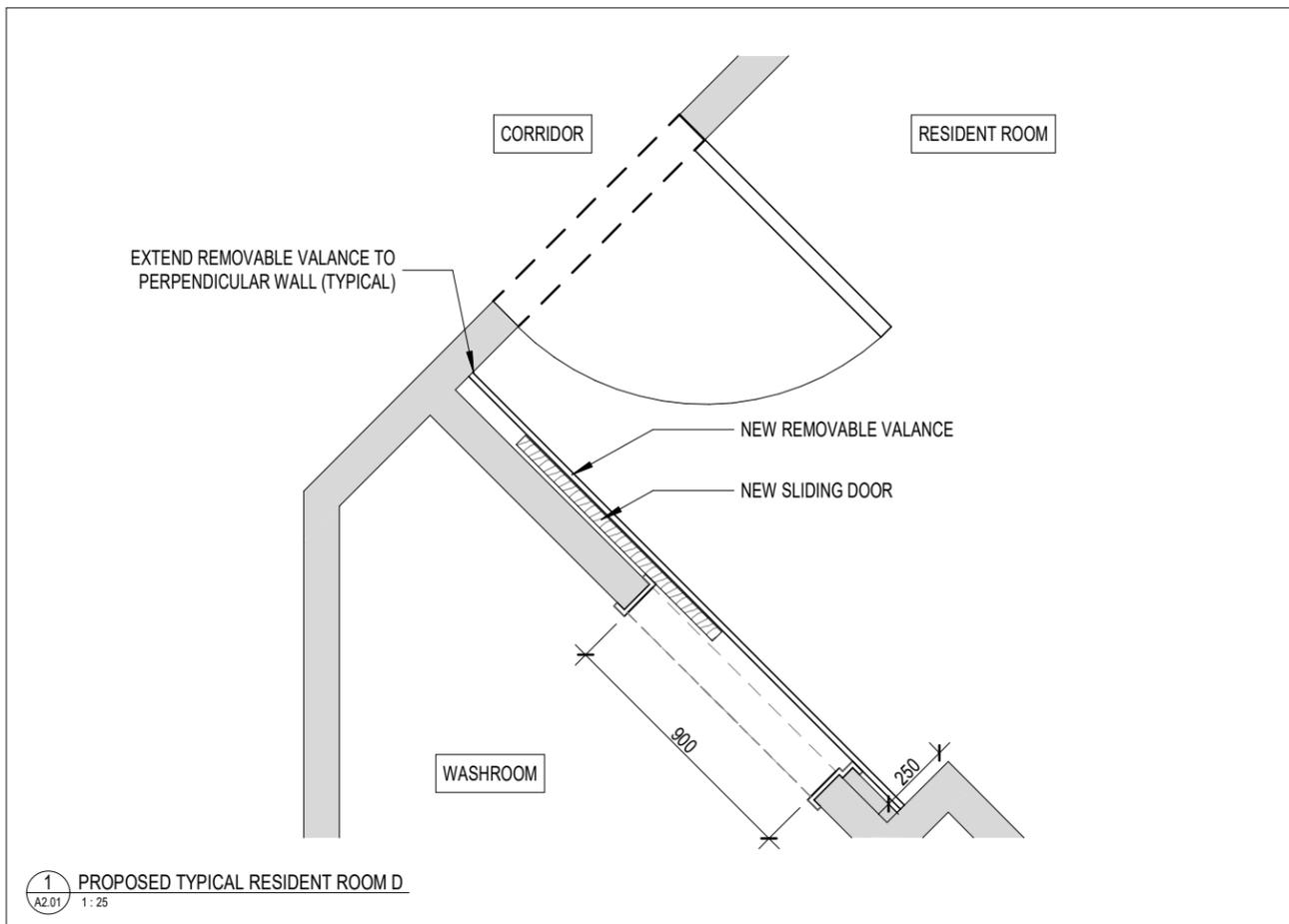
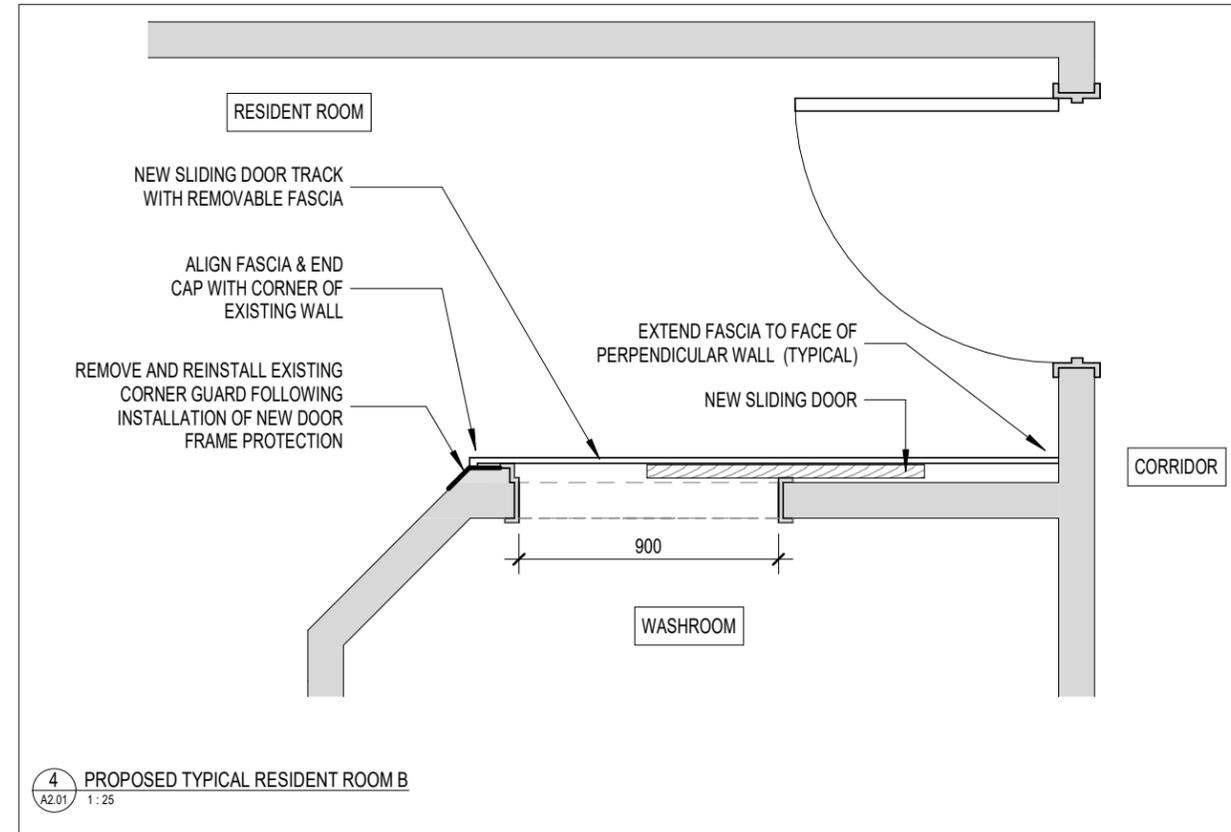
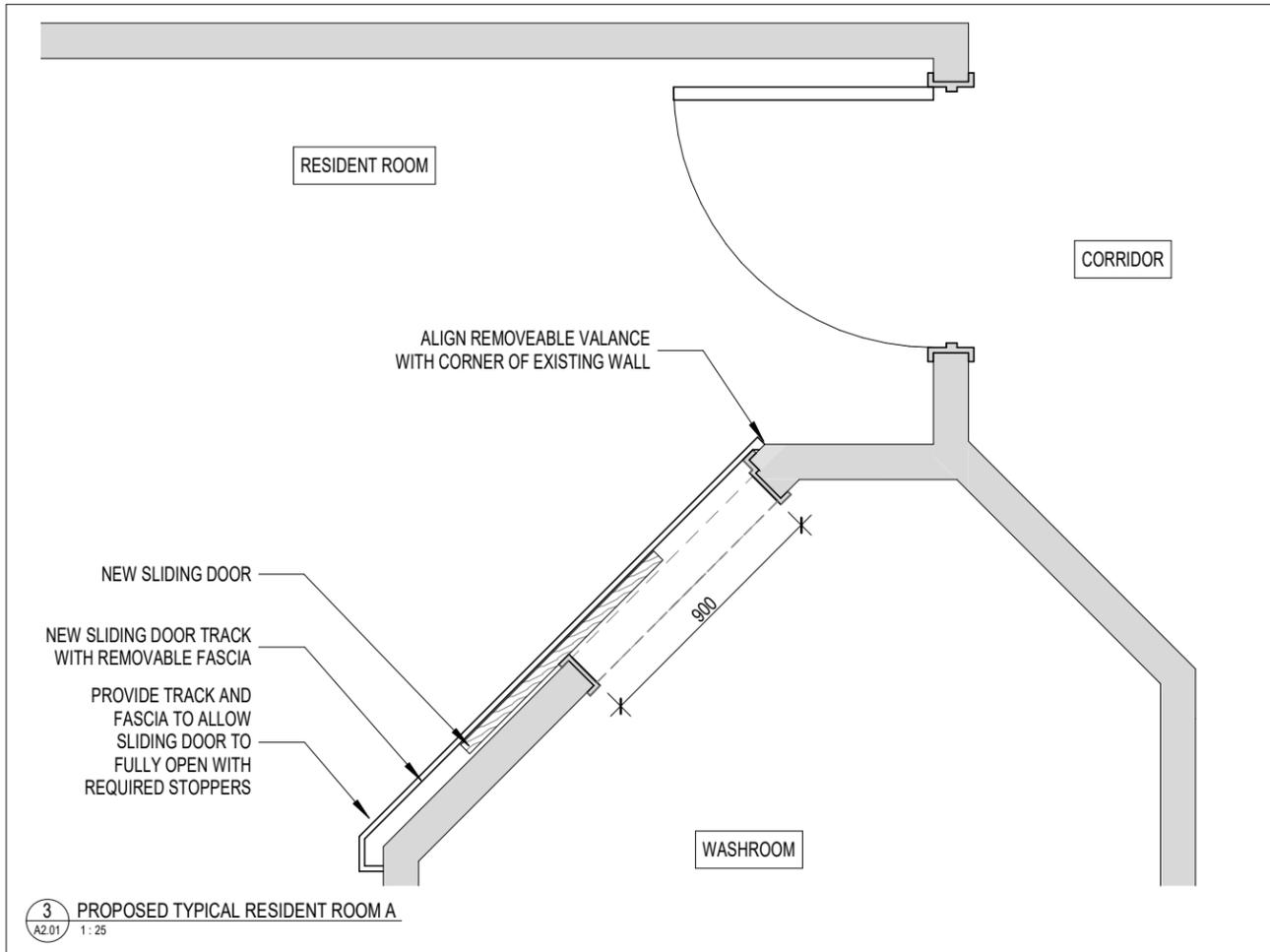
reviewed by: TR

job number: 21509.F04

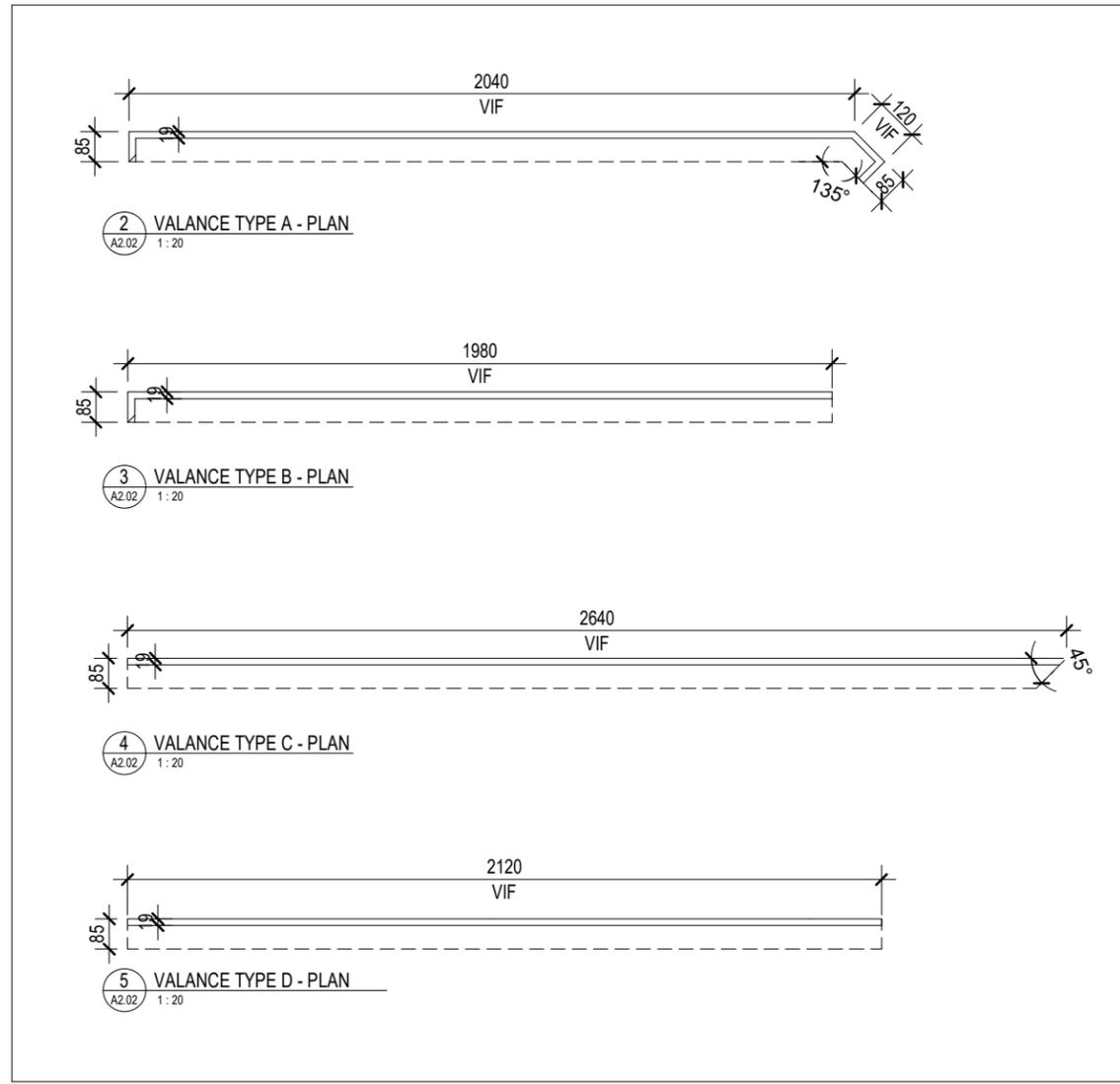
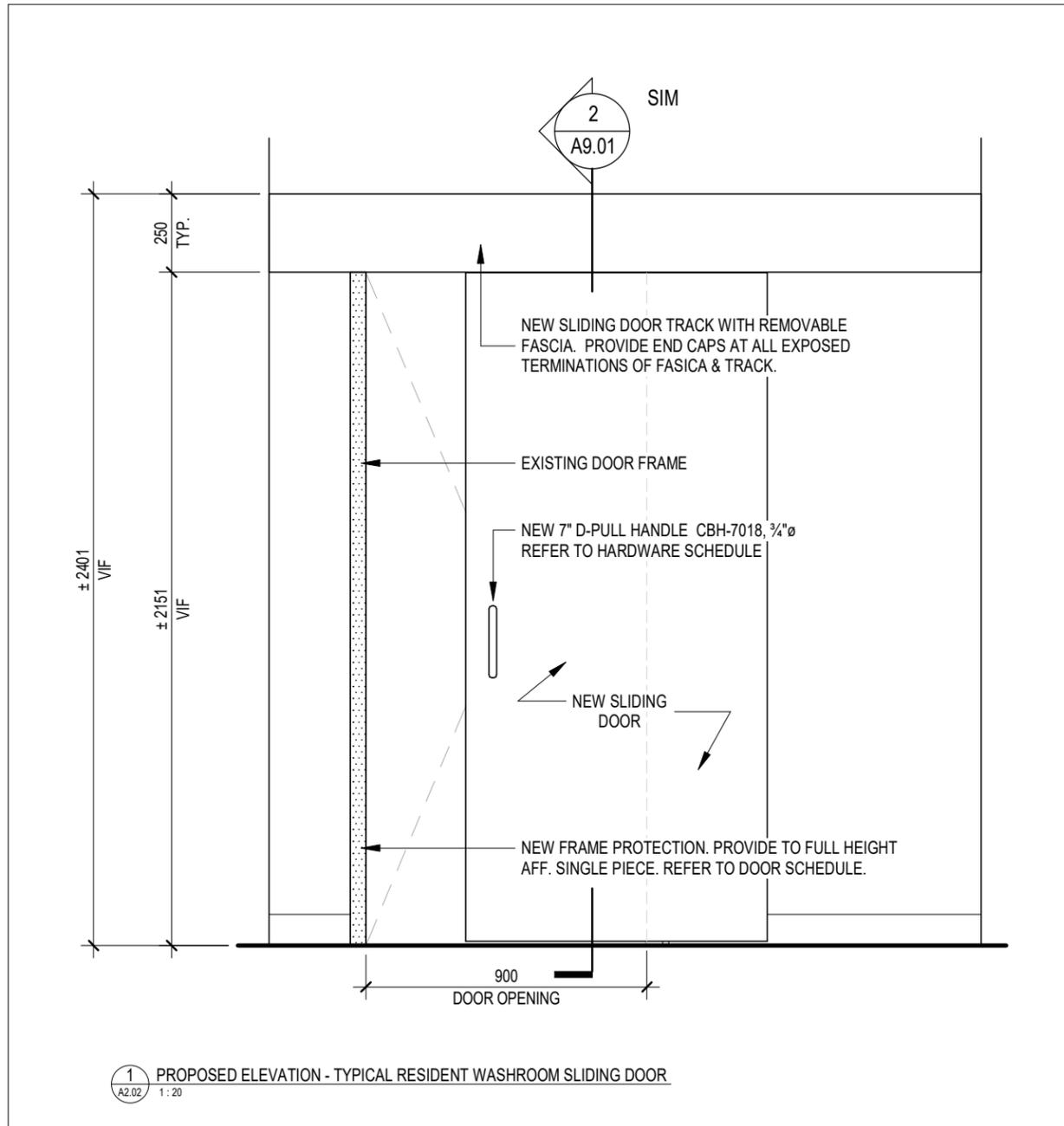
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drawing number:

A2.01



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REMOVABLE VALANCE NOTES:
 1. PLAM TO WRAP ALL CUT EDGES OF VALANCE, INCLUDING EDGES ABUTTING WALL.
 2. PROVIDE MIRRIORED OPTION OF VALANCE TO SUIT ROOM CONFIGURATION.
 3. PROVIDE CONCEALED MOUNTING HARDWARE ON TOP OF VALANCE.
 4. COORDINATE WIDTH OF VALANCE TO HOUSE NEW SLIDING DOOR TRACK.

CONTEXT PLAN

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

revisions

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WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
 SCARBOROUGH

TYPICAL ELEVATION & VALANCE DETAILS

scale: 1 : 20

drawn by: DB

reviewed by: TR

job number: 21509.F04

plot date: 24-03-14

drawing number:

A2.02

CONTEXT PLAN

3	2024-06-06	ISSUED FOR RETENDER	MSA
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1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

revisions

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WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
 SCARBOROUGH

DETAILS

scale: N.T.S

drawn by: DB

reviewed by: TR

job number: 21509.F04

plot date: 24-03-14

drawing number:

A9.01

