

MONTGOMERY SISAM ARCHITECTS INC.
ARCHITECTURAL

21509.F04
ISSUED FOR RETENDER
2024-06-06

WASHROOM SLIDING DOOR REPLACEMENT

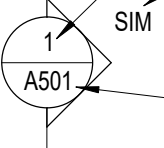

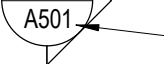
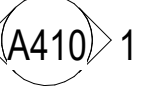







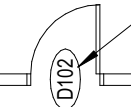
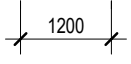
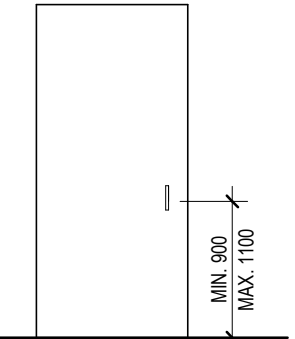
SEVEN OAKS
LONG-TERM CARE HOMES AND SERVICES
9 NELSON ROAD, SCARBOROUGH



Long-Term Care Homes and Services Division

2024-06-06 1:07:28 PM

GENERAL NOTES	
1.	CONTRACTOR SHALL COORDINATE WITH EACH INDIVIDUAL BUILDING SERVICE MANAGER OUTLINING: TIMELINES, SCHEDULE, INTERRUPTIONS, AREA OF WORK, POTENTIAL HAZARDS MIN. 1 WEEK PRIOR TO THE COMMENCEMENT OF WORK.
2.	LOCATION OF WORK AREAS ARE DEFINED ON THE ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL COORDINATE WITH THE BUILDING SERVICE MANAGER THE PROPOSED PATH OF TRAVEL AND IN NO CASE SHALL THE CONTRACTOR BLOCK OR STORE MATERIALS / EQUIPMENT IN A FIRE EXIT, CORRIDOR, OR IN FRONT OF ANY FIRE ALARM PULL STATIONS, HOSE CABINETS, OR FIRE EXTINGUISHERS. ALL AREAS OF WORK SHALL BE LEFT IN A GOOD STATE AFTER THE COMPLETION OF WORK.
3.	CONTRACTOR TO SITE VERIFY ALL DIMENSIONS, CONDITIONS, AND LEVELS PRIOR TO FABRICATION / INSTALLATION. ALL DIMENSIONS ARE PER SITE REVIEW AND EXISTING ARCHITECTURAL DRAWINGS. THE CONTRACTOR SHALL NOTIFY ALL DISCREPANCIES TO THE ARCHITECT.
4.	THE CONTRACTOR SHALL PROTECT ALL FINISHED MATERIALS TO REMAIN AS-IS.
5.	CONTRACTOR SHALL PERFORM ALL NECESSARY DEMOLITION, ALTERATIONS AND NEW CONSTRUCTIONS AS REQUIRED TO MAKE THE WORK A COMPLETE JOB, INCLUDING BUT NOT LIMITED TO WORK SHOWN ON DRAWINGS AND SPECIFICATIONS.
6.	PRIOR TO SUBMITTING A BID, THE CONTRACTOR SHALL VISIT THE SITE AND EXAMINE THE FOLLOWING: A. VERIFY EXISTING AREAS WITHIN THE SCOPE OF WORK WITH RESPECT TO THE PROPOSED FOR PROBLEMS AND ANY LIMITATIONS. B. VERIFY EXISTING ARCHITECTURE, STRUCTURE, AND ALL ADJACENT FINISHES THAT WILL BE IMPACTED BY THE WORK. UPON EXAMINING ALL OF THE ABOVE AGAINST THE DRAWINGS AND SPECIFICATIONS AND TERMS OF THE CONTRACT, THE CONTRACTOR MUST SATISFY HIMSELF THAT THE PROPOSED WORK CAN BE CARRIED OUT AS INTENDED, TO THE SATISFACTION OF THE OWNER, AT NO ADDITIONAL COST TO THE CONTRACT.
DEMOLITION AND INSTALLATION NOTES	
1.	ALL REMOVED AND DEMOLISHED MATERIAL TO BE REMOVED FROM THE SITE. LOCATION OF REMOVAL RECEPTACLE TO BE COORDINATED WITH BUILDING MAINTENANCE DEPARTMENT.
2.	CONTRACTOR TO PATCH AND REPAIR ALL DAMAGE TO THE SITE, BUILDING, OR EXISTING FINISHES AS A RESULT OF DEMOLITION / CONSTRUCTION AT THE END OF WORK. THE CONTRACTOR IS TO BE AWARE THAT THERE MAY BE SEVERAL DIFFERENT PAINT COLOURS THAT MAY BE AFFECTED AND IS TO COORDINATE ANY REPAIRED WORK TO MATCH ADJACENT FINISHES OF SIMILAR MATERIALS.
3.	FOR ALL WALL REPAINTING, REPAINT ENTIRE WALL TO THE NEAREST 90° CORNER. ALLOW FOR MULTIPLE COLOURS TO MATCH EXISTING.
4.	CRACKS, HOLES OR LEVELING TO BE PATCHED/REPAIRED IN FLOORS OR WALLS, AS REQUIRED.
5.	IN CASE OF NEW PENETRATION IN WALLS/FLOORS MAKE GOOD AND REPAIR AS REQUIRED.
6.	PROTECT/HOARD ALL AREAS OF WORK AS REQUIRED DURING RENOVATION WORK. PROVIDE DUST TIGHT FLOOR TO CEILING HOARDING ASSEMBLY TO FULLY SEPARATE ALL AREAS OF WORK FROM OCCUPIED AREAS OF THE HOME TO THE SATISFACTION OF THE BUILDING SERVICES MANAGER AND THE MINISTRY OF HEALTH OPERATIONAL PLAN FOR THE WORK.
7.	TEMPORARILY REMOVE ALL FURNITURE IN AREAS AFFECTED BY THE WORK. LOCATION FOR TEMPORARY STORAGE OF FURNITURE TO BE COORDINATED WITH BUILDING SERVICE MANAGER. RE-INSTALL EXISTING FURNITURE AND EQUIPMENT AS PER ORIGINAL LAYOUT.
8.	CAREFULLY REMOVE AND STORE ALL EXISTING DOOR HANDLE HARDWARE. HAND OVER TO BUILDING MAINTENANCE TO BE USED AS EXTRA STOCK.

SYMBOL LEGEND	
    	INDICATES SECTION / DETAIL NUMBER INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING INDICATES DRAWING SHEET NUMBER INTERIOR ELEVATION REFERENCE EXISTING AREA TO REMAIN AS-IS
    	INDICATES REFERENCE TO A SIMILAR DETAIL DRAWING INDICATES REFERENCE TO DETAIL DRAWING ROOM NAME ROOM NAME & ROOM NUMBER TAG MATERIAL TAG REVISION NUMBER
  	KEYNOTE INDICATES DOOR NUMBER CENTRELINE MARK DIMENSION
PHASING & CONSTRUCTION NOTES	
1.	ALL WORK WITHIN THIS PROJECT WILL BE COMPREHENSIVELY SCHEDULED WITH THE HOME PRIOR TO START-UP ON SITE. CONTRACTORS WILL BE REQUIRED TO ADHERE TO THIS SCHEDULE FOR THE DURATION OF THE WORK.
2.	NO WORK SHALL BE LEFT IN AN UNFINISHED STATE AT DAYS END. ALL AREAS OF WORK SHOULD BE MADE SAFE AND COMPLETELY OPERATIONAL AT THE END OF EACH DAYS WORK.
3.	ALL REPLACEMENT OF DOORS WITHIN RESIDENT ROOMS IS EXPECTED TO TAKE PLACE OVER THE COURSE OF A SINGLE DAY. RESIDENT ROOMS ARE TO BE COMPLETE AND FULLY OCCUPIABLE AT THE COMPLETION OF EACH DAYS WORK OMITTING THE NEED TO RELOCATE RESIDENTS. RESIDENT ROOMS SHOULD BE RETURNED TO THE RESIDENT EXACTLY AS THEY WERE HANDED OVER TO THE CONTRACTOR THAT MORNING.
4.	THE CONTRACTOR SHALL PROVIDE THE FOLLOWING MOCK-UPS: CONSTRUCT ONE (1) RESIDENT SUITE WASHROOM SLIDING DOORS OF EACH ROOM TYPE, FOUR (4) TOTAL. INCLUDING BUT NOT LIMITED TO ALL HARDWARE, REMOVABLE VALANCE, FRAME PROTECTION, PATCH / REPAIR WORK AND ALL OTHER WORK AS PER THE CONTRACT DOCUMENTS. ARRANGE FOR THE CONSULTANTS REVIEW AND ACCEPTANCE, ALLOW 48HRS AFTER ACCEPTANCE BEFORE PROCEEDING WITH WORK. MOCK-UP MAY REMAIN AS PART OF THE WORK IF ACCEPTED BY THE CONSULTANT. REMOVE AND DISPOSE OF MOCK-UPS THAT DO NOT CONFORM TO THE WORK. UPON ACCEPTANCE, MOCK-UP SHALL SERVE AS A MINIMUM STANDARD OF QUALITY FOR THE BALANCE OF THE RELATED WORK.THE LOCATION OF THE MOCK-UPS SHALL BE DETERMINED BY THE HOME.
DRAWING LIST	
A0.00	COVER PAGE
A0.01	GENERAL INFORMATION
A0.02	DOOR SCHEDULE
A0.03	SITE PLAN
A0.04	AREA OF WORK PLAN - LEVEL 3
A1.01	DEMOLITION PLANS & DETAILS
A2.01	PROPOSED PLANS
A2.02	TYPICAL ELEVATION & VALANCE DETAILS
A9.01	DETAILS
DOOR TYPES	
	

ABBREVIATIONS	
AFF	ABOVE FINISHED FLOOR
AVN	ACROVYN
CG	CORNER GUARD
EX	EXISTING
E.GWB	EXISTING WALL BOARD
FIN	FINISH
FLR	FLOOR
GWB	GYPSTUM WALL BOARD
HM	HOLLOW METAL
MAT'L	MATERIAL
MAX	MAXIMUM
MIN	MINIMUM
MTL	METAL
NTS	NOT TO SCALE
O.C.	ON CENTRE
O/H	OVER HEAD
PLAM	PLASTIC LAMINATE
PLY	PLYWOOD
PT	PAINT
SIM	SIMILAR
SSTL	STAINLESS STEEL
STL	STEEL
TYP	TYPICAL
U/S	UNDERSIDE OF
VIF	VERIFY IN FIELD
W/	WITH
WD	WOOD

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MontgomerySisam	
CONTEXT PLAN	
3	2024-06-06 ISSUED FOR RETENDER MSA
2	2023-11-15 ISSUED FOR TENDER MSA
1	2023-05-08 ISSUED FOR TENDER MSA
#	date: revision: To By
revisions	
All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.	
WASHROOM SLIDING DOOR REPLACEMENT	
9 NEILSON ROAD, SCARBOROUGH	
GENERAL INFORMATION	
scale:	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21509.F04
plot date:	24-03-14
drawing number:	A0.01

LEVEL 3 DOOR SCHEDULE															
LEVEL	DOOR NUMBER	FROM ROOM	TO ROOM	DOOR							FRAME			HARDWARE GROUP	NOTES
				WIDTH	HEIGHT	THICKNESS	TYPE	MATERIAL	FINISH	GLAZING	TYPE	MATERIAL	FINISH		
3	303b	RESIDENT ROOM 303	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A TYPICAL WASHROOM DOOR NOTE: PROVIDE AND INSTALL NEW WASHROOM SLIDING DOOR. PREPARE EXISTING HOLLOW METAL FRAME FOR PT. PROVIDE NEW FRAME DOOR PROTECTION. PT AND FRAME PROTECTION SELECTED BY ARCHITECT. PROVIDE AND INSTALL NEW DOOR HARDWARE, REFER TO HARDWARE SCHEDULE.
3	304b	RESIDENT ROOM 304	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	305b	RESIDENT ROOM 305	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	306b	RESIDENT ROOM 306	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	307b	RESIDENT ROOM 307	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	308b	RESIDENT ROOM 308	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	309b	RESIDENT ROOM 309	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	310b	RESIDENT ROOM 310	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	311b	RESIDENT ROOM 311	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	312b	RESIDENT ROOM 312	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	313b	RESIDENT ROOM 313	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	314b	RESIDENT ROOM 314	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	315b	RESIDENT ROOM 315	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	316b	RESIDENT ROOM 316	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	319b	RESIDENT ROOM 319	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	320b	RESIDENT ROOM 320	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	321b	RESIDENT ROOM 321	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	322b	RESIDENT ROOM 322	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	323b	RESIDENT ROOM 323	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	324b	RESIDENT ROOM 324	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	325b	RESIDENT ROOM 325	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	326b	RESIDENT ROOM 326	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	327b	RESIDENT ROOM 327	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	328b	RESIDENT ROOM 328	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	329b	RESIDENT ROOM 329	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	330b	RESIDENT ROOM 330	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	331b	RESIDENT ROOM 331	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	332b	RESIDENT ROOM 332	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	337b	RESIDENT ROOM 337	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	338b	RESIDENT ROOM 338	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	339b	RESIDENT ROOM 339	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	340b	RESIDENT ROOM 340	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	341b	RESIDENT ROOM 341	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	342b	RESIDENT ROOM 342	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	343b	RESIDENT ROOM 343	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	344b	RESIDENT ROOM 344	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	345b	RESIDENT ROOM 345	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	346b	RESIDENT ROOM 346	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: C. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	347b	RESIDENT ROOM 347	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: D. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	348b	RESIDENT ROOM 348	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: B. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	349b	RESIDENT ROOM 349	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
3	350b	RESIDENT ROOM 350	WASHROOM	960 V.I.F	2140 V.I.F	44mm	A	AVN	AVN	-	EX	EX-HM	PT	SO-01	ROOM TYPE: A. REFER TO TYPICAL RESIDENT WASHROOM SLIDING DOOR NOTE.
LVL 3 TOTAL : 42															

CONTEXT PLAN

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

revisions

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
SCARBOROUGH

DOOR SCHEDULE

scale: 1 : 1

drawn by: DB

reviewed by: TR

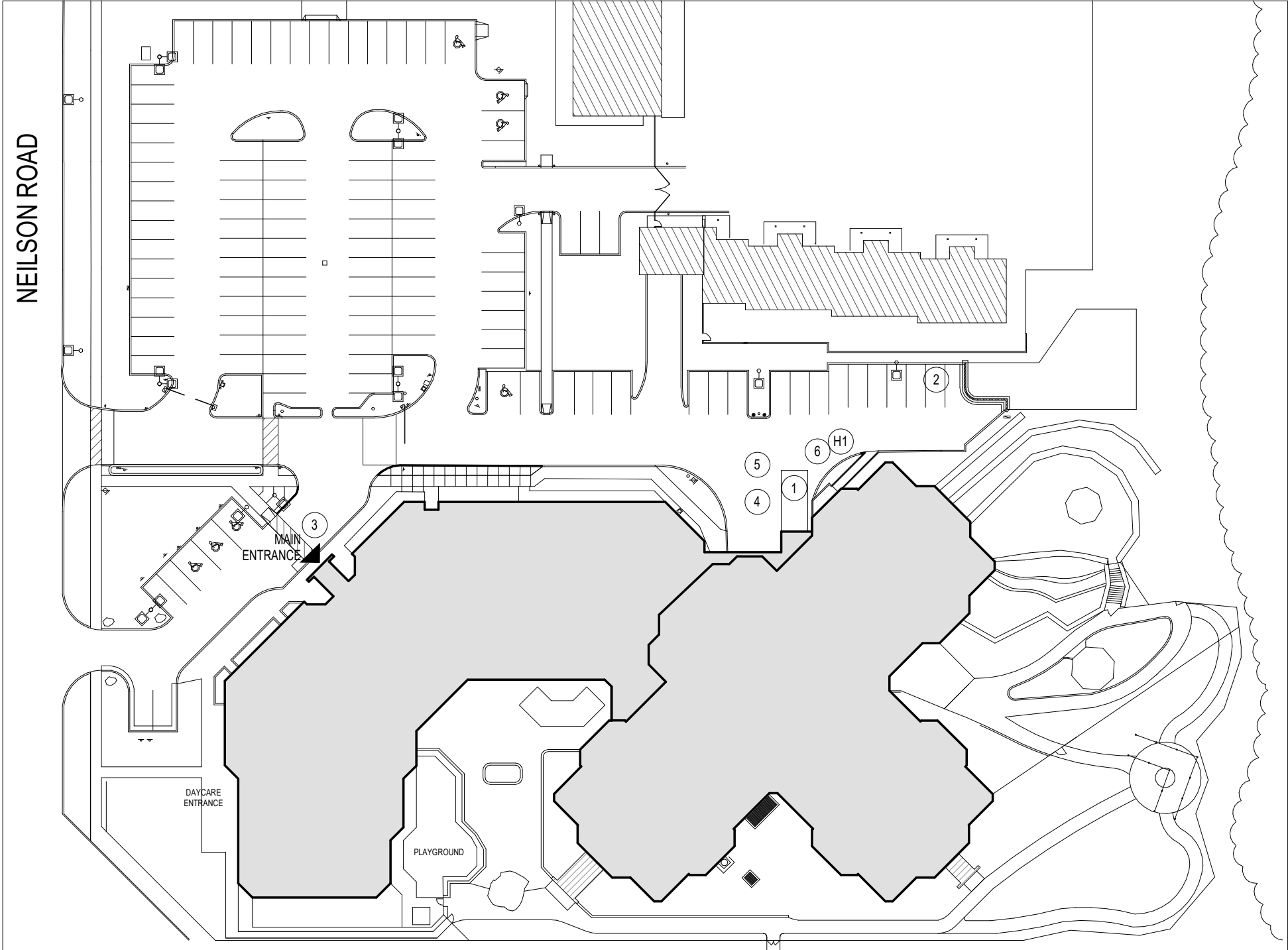
job number: 21509.F04

plot date: 24-03-14

drawing number:

A0.02

2024-06-06 1:07:28 PM



1 SEVEN OAKS - SITE PLAN
A0.03 1:700

LEGEND

1

ACCESS TO SITE AND LOADING DOCKS

2

DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED)

2a

ACCESS TO DESIGNATED PARKING AREA FOR CONSTRUCTION VEHICLES(RESERVED)

3

MAIN ENTRANCE

3a

SERVICE ENTRANCE

4

5

EQUIPMENT AND MATERIAL DROP-OFF

6

7

8

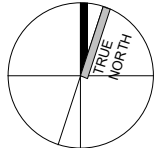
9

H1

SITE HOARDING (TO BE CONFIRMED BY HOME)

Montgomery Sisam Architects Inc.
197 Spadina Avenue, Toronto, Ontario
M5T 2C8 montgomerysisam.com
Tel 416.364.8079 Fax 416.364.7723

MontgomerySisam



CONTEXT PLAN

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

revisions

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WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
SCARBOROUGH

SITE PLAN

scale: 1 : 700

drawn by: DB

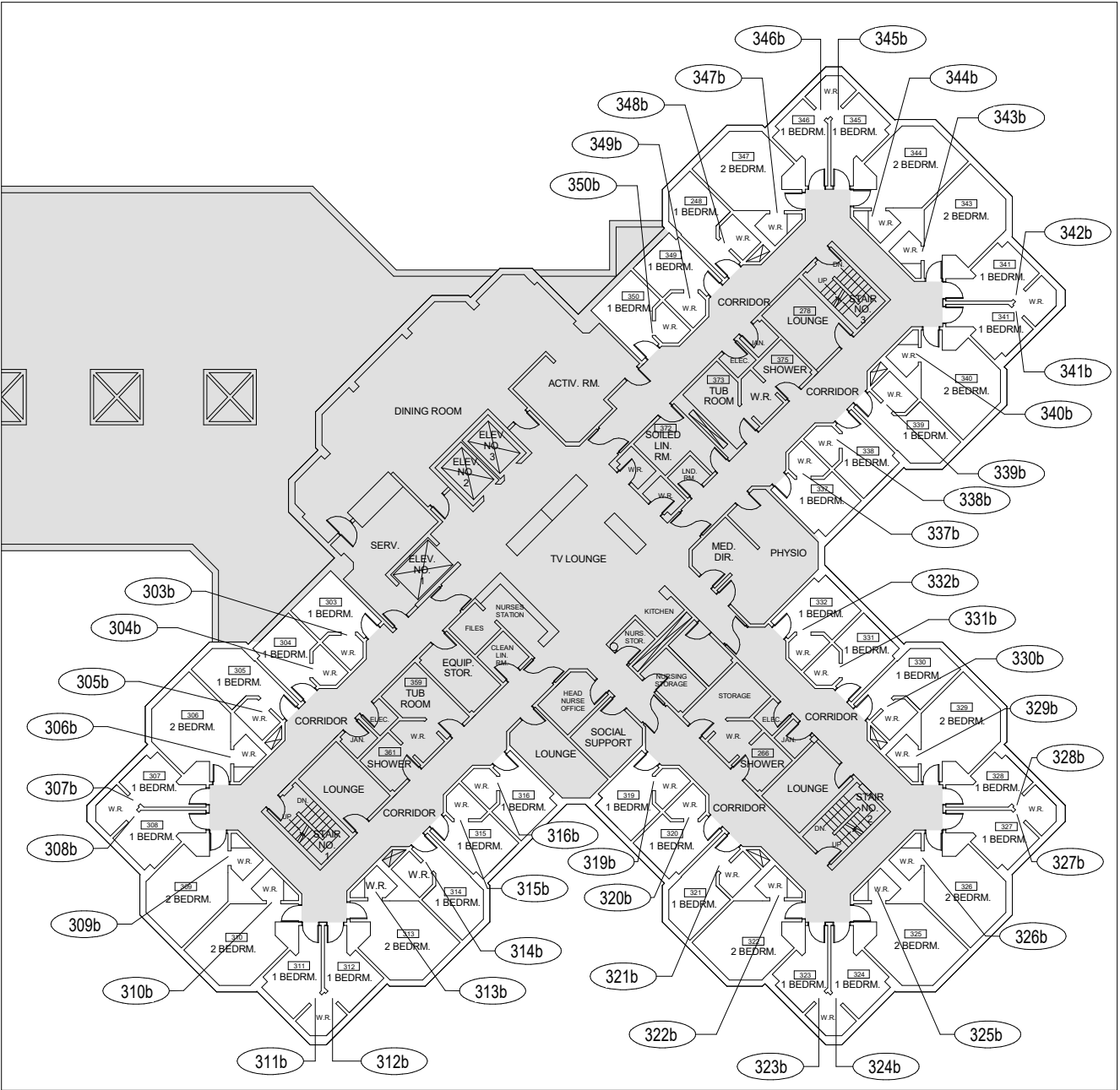
reviewed by: TR

job number: 21509.F04

plot date: 24-03-14

drawing number:

A0.03



1 LEVEL 3 - AREA OF WORK
A0.04 1 : 400

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
SCARBOROUGH

DEMOLITION PLANS & DETAILS

scale: As indicated

drawn by: DB

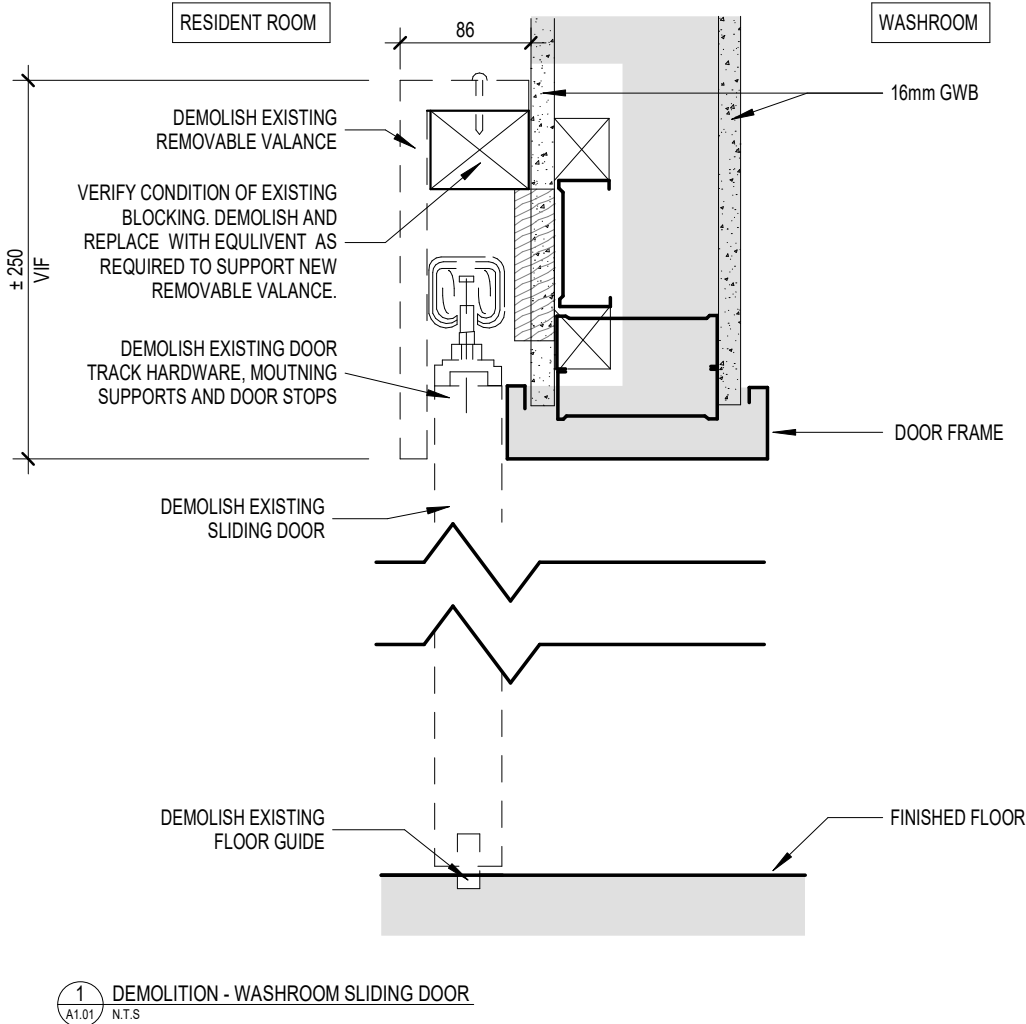
reviewed by: TR

job number: 21509.F04

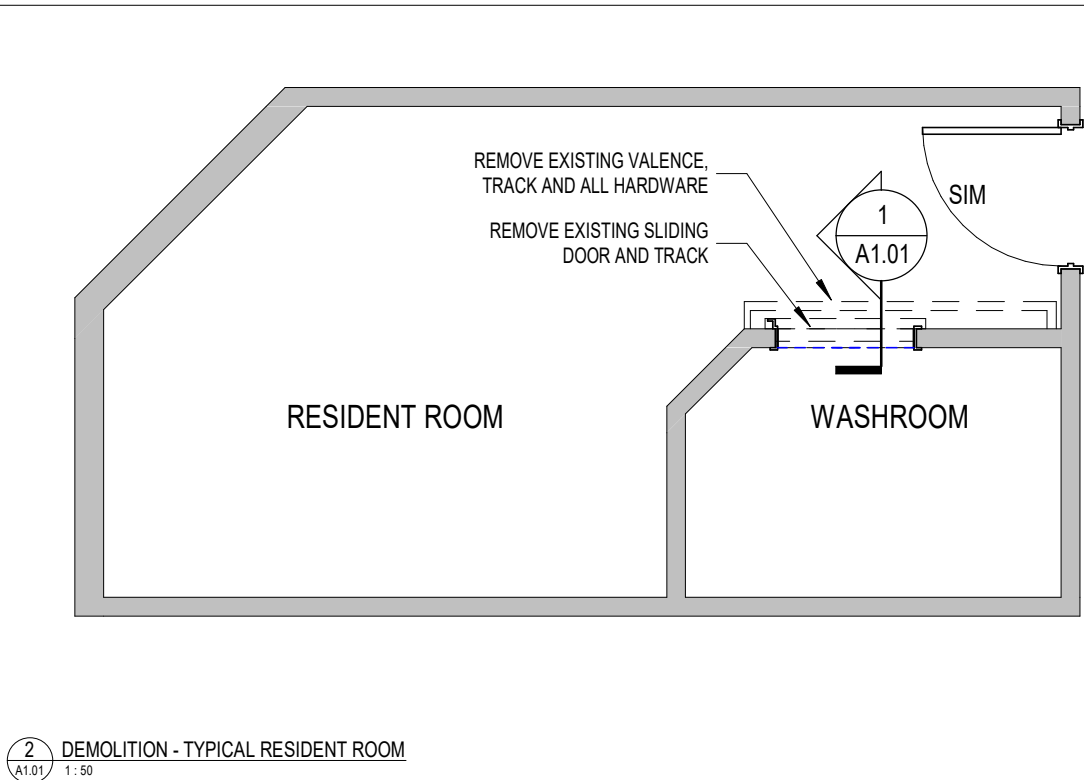
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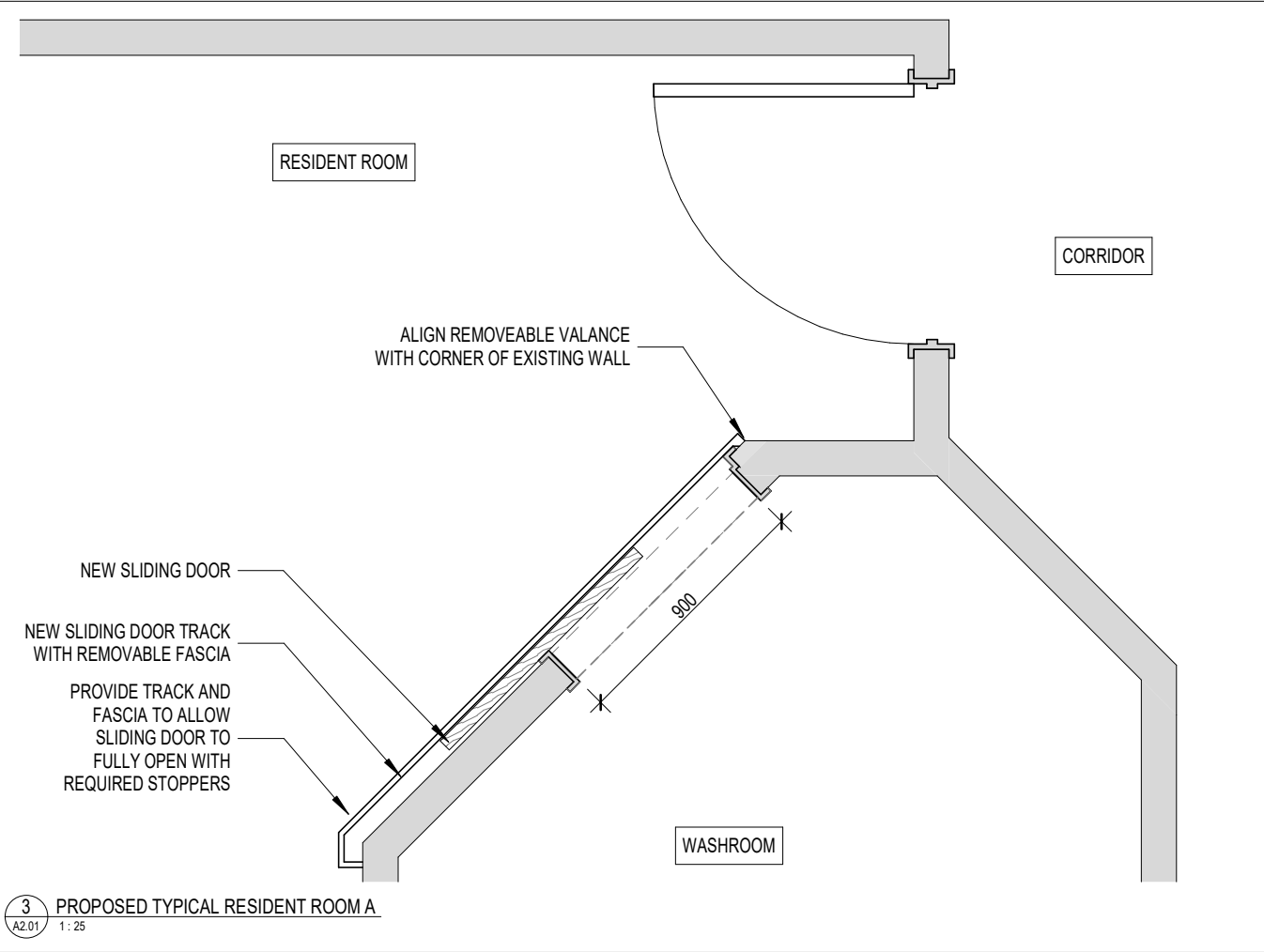


- DEMOLITION NOTES:
1. REMOVE AND REPLACE EXISTING GYPSUM WALL BOARD WITH EQUIVARIANT AS REQUIRED TO FACILITATE DEMOLITION OF EXISTING VALANCE, DOOR TRACK, AND ASSOCIATED HARDWARE. PREPARE SURFACES FOR PAINT AND INSTALLATION OF NEW SLIDING DOOR SYSTEM.
 2. PREPARE WALL TO RECEIVE NEW PAINT FINISH.
 3. PATCH AND REPAIR ANY DAMAGE TO EXISTING FLOORING CAUSED BY DEMOLITION. FINISH TO MATCH EXISTING - ARCHITECT TO CONFIRM FLOOR SELECTION PRIOR TO INSTALLATION.

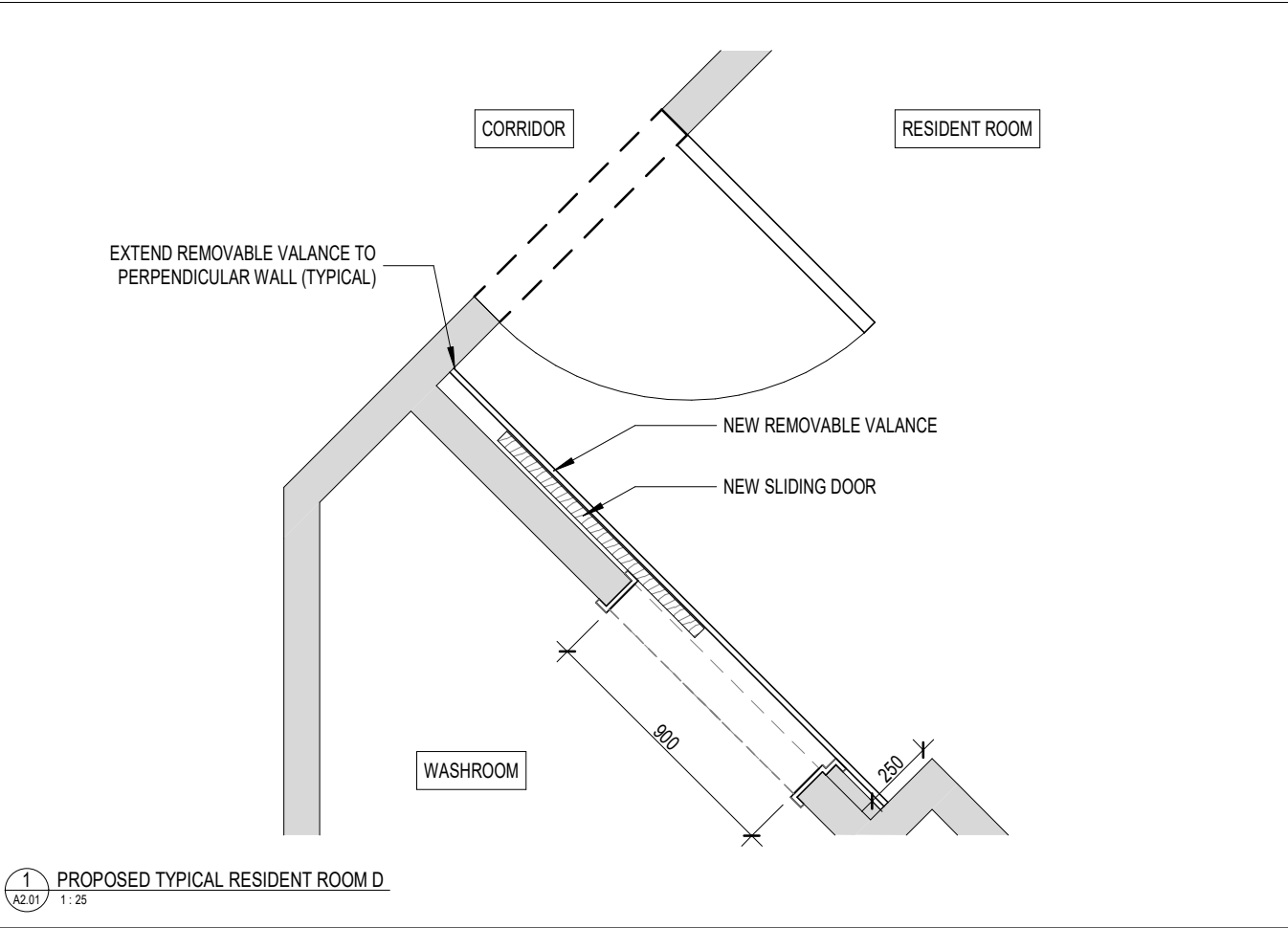


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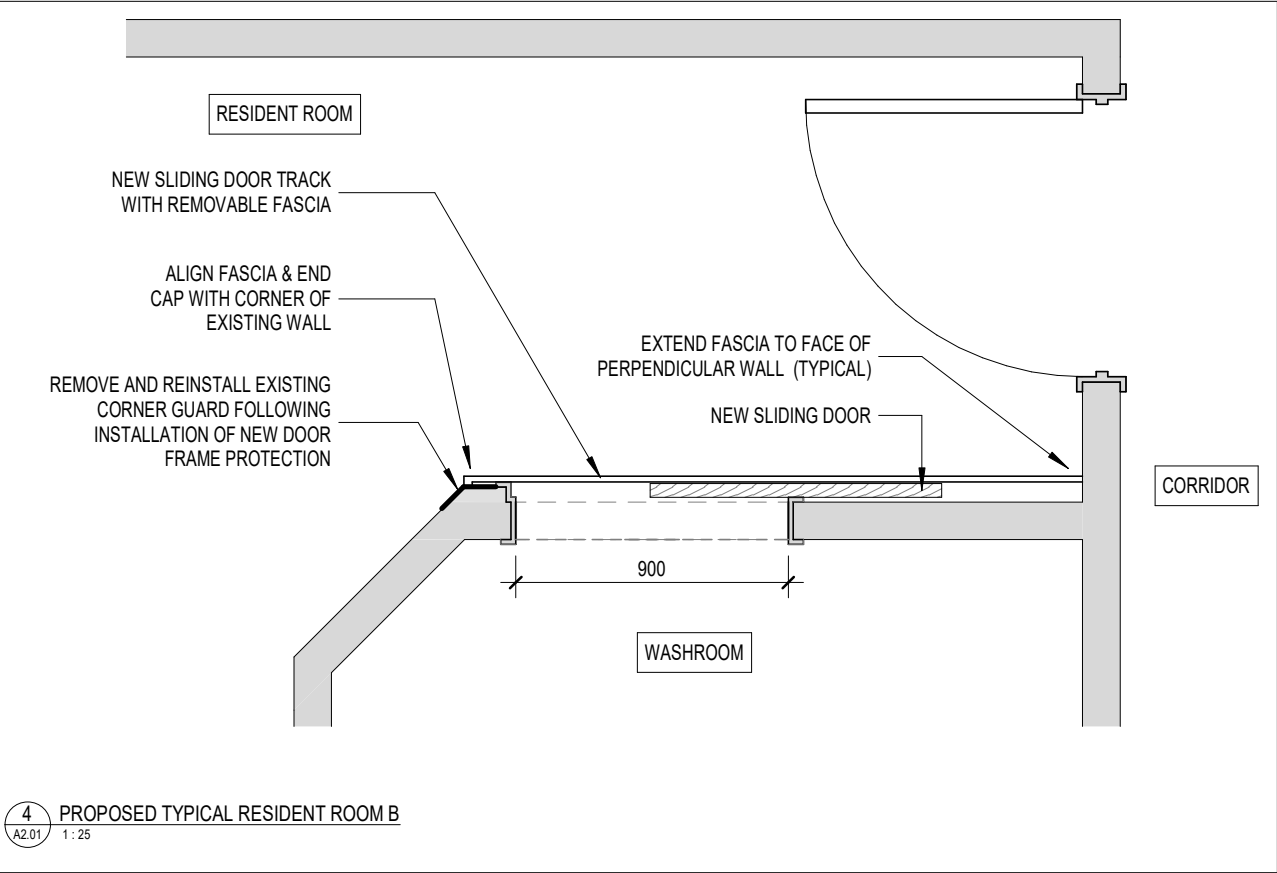
3 PROPOSED TYPICAL RESIDENT ROOM A
A2.01 1:25



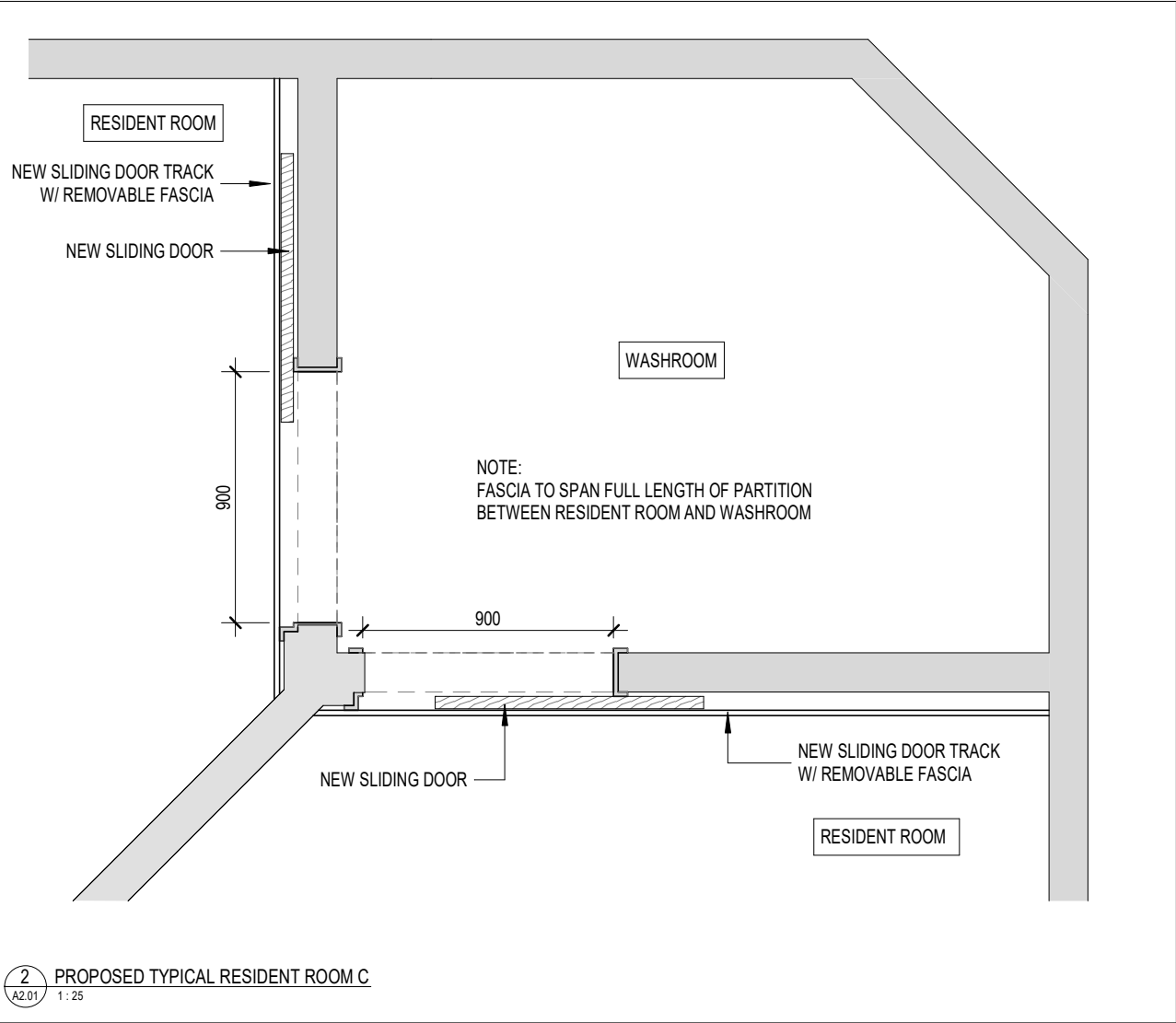
1 PROPOSED TYPICAL RESIDENT ROOM D
A2.01 1:25



4 PROPOSED TYPICAL RESIDENT ROOM B
A2.01 1:25



2 PROPOSED TYPICAL RESIDENT ROOM C
A2.01 1:25



3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
SCARBOROUGH

PROPOSED PLANS

scale: 1 : 25

drawn by: DB

reviewed by: TR

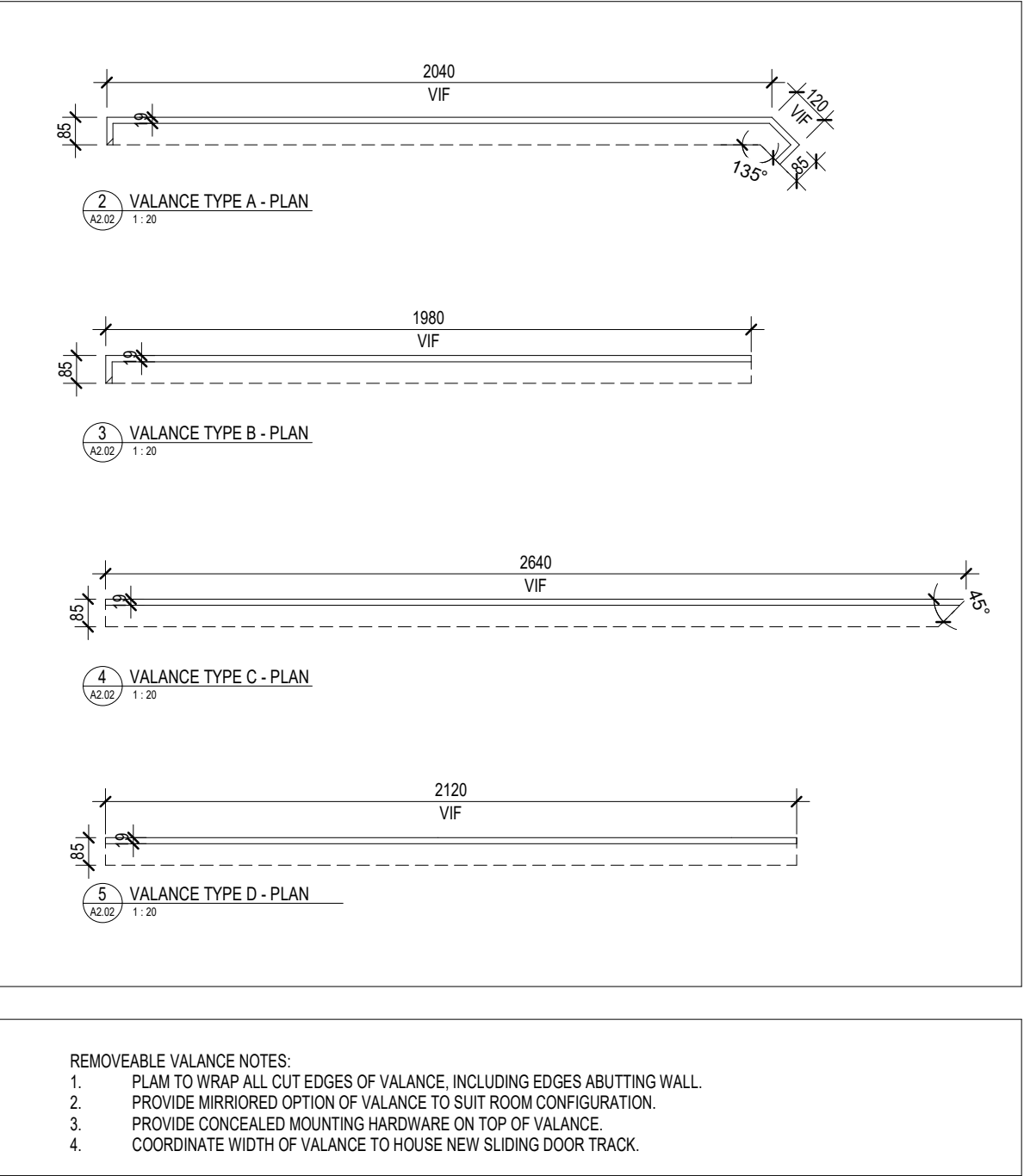
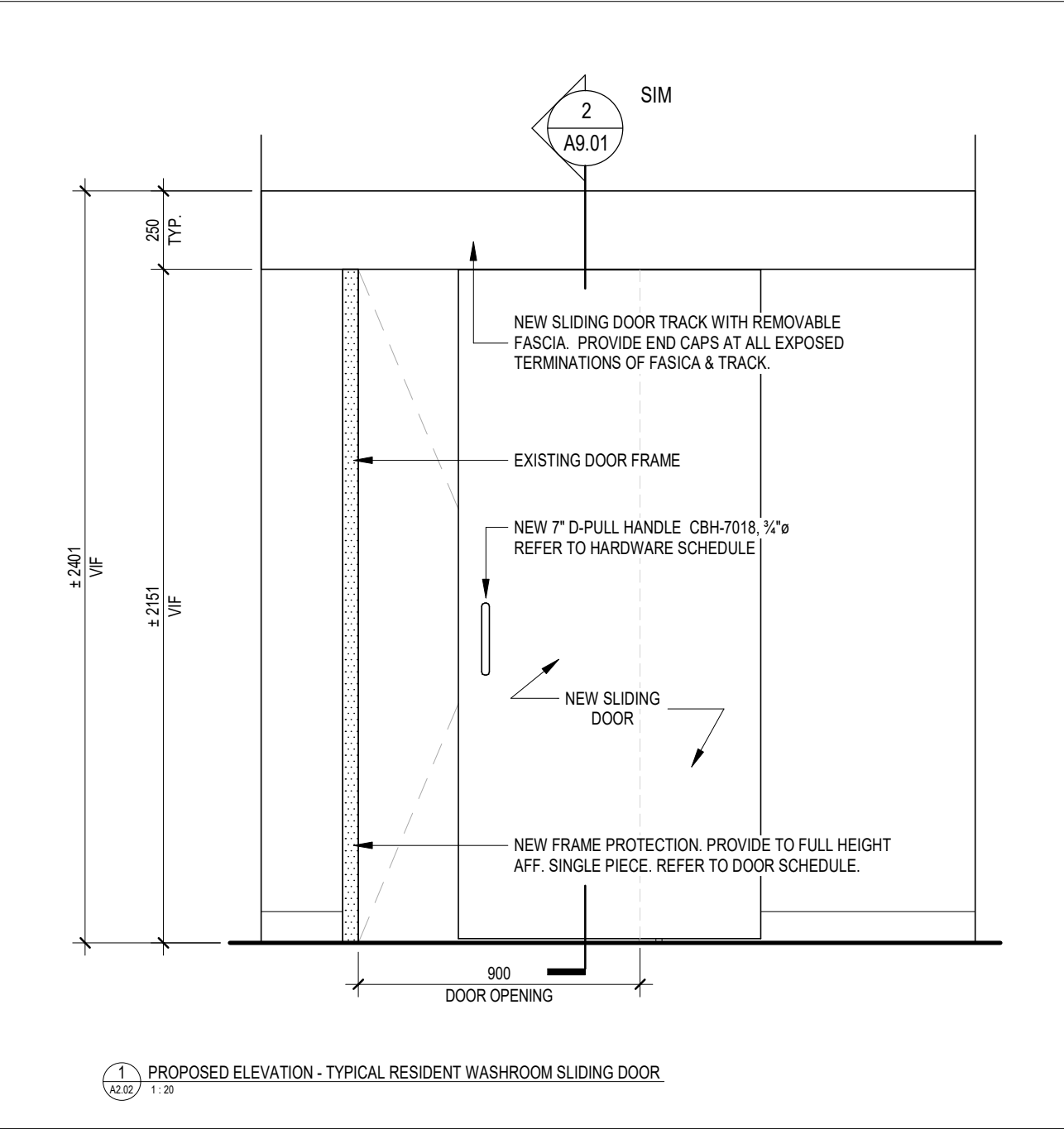
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plot date: 24-03-14

drawing number:

A2.01

2024-06-06 1:07:29 PM



CONTEXT PLAN

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

revisions

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WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
SCARBOROUGH

TYPICAL ELEVATION & VALANCE DETAILS

scale: 1 : 20

drawn by: DB

reviewed by: TR

job number: 21509.F04

plot date: 24-03-14

drawing number:

A2.02

3	2024-06-06	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-08	ISSUED FOR TENDER	MSA
#	date:	revision:	To By

All drawing and specifications are the property of the architect. The contractor shall verify all dimensions and information on site and report any discrepancy to architect before proceeding.

WASHROOM SLIDING DOOR REPLACEMENT

9 NEILSON ROAD,
SCARBOROUGH

DETAILS

scale: N.T.S

drawn by: DB

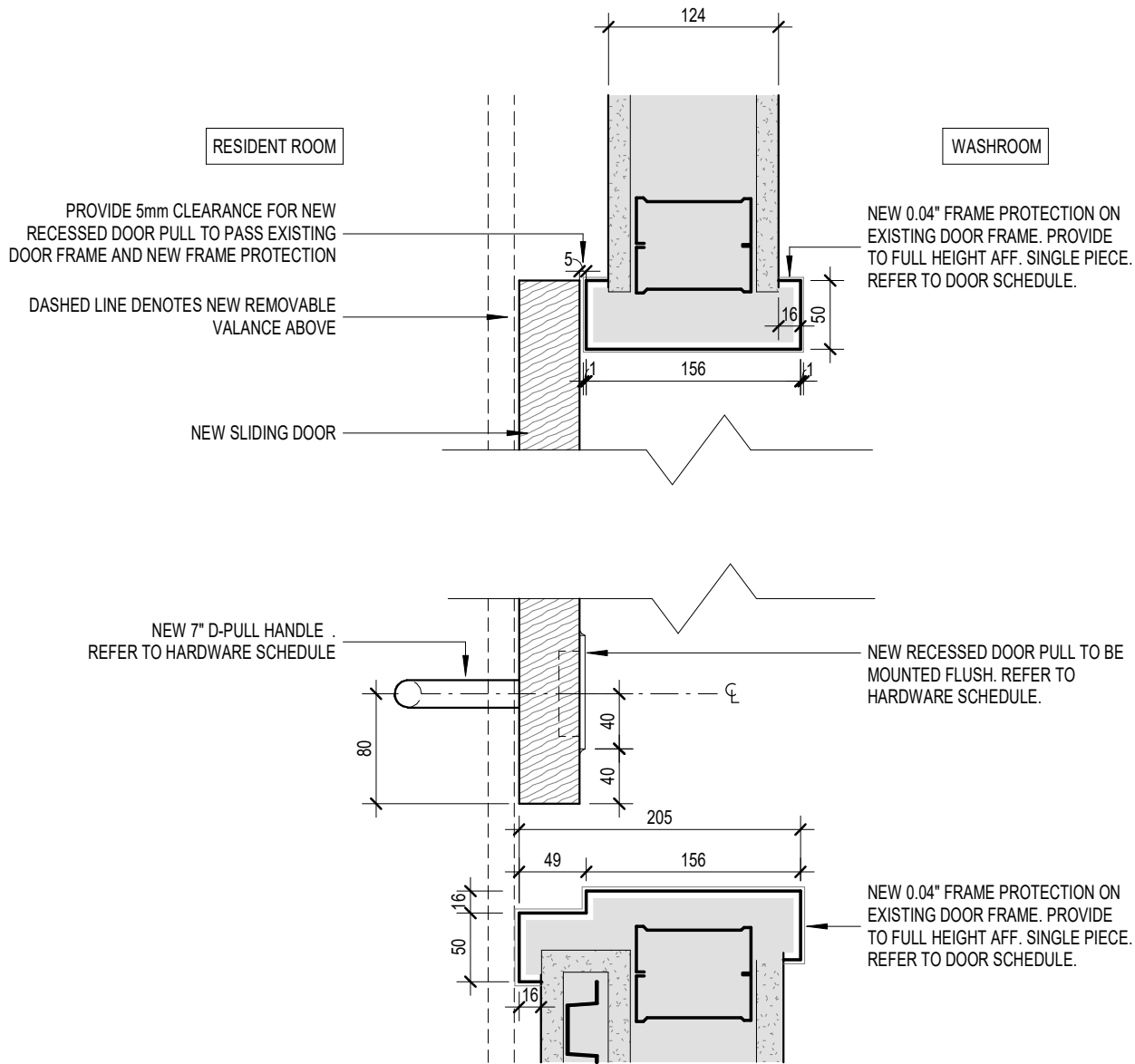
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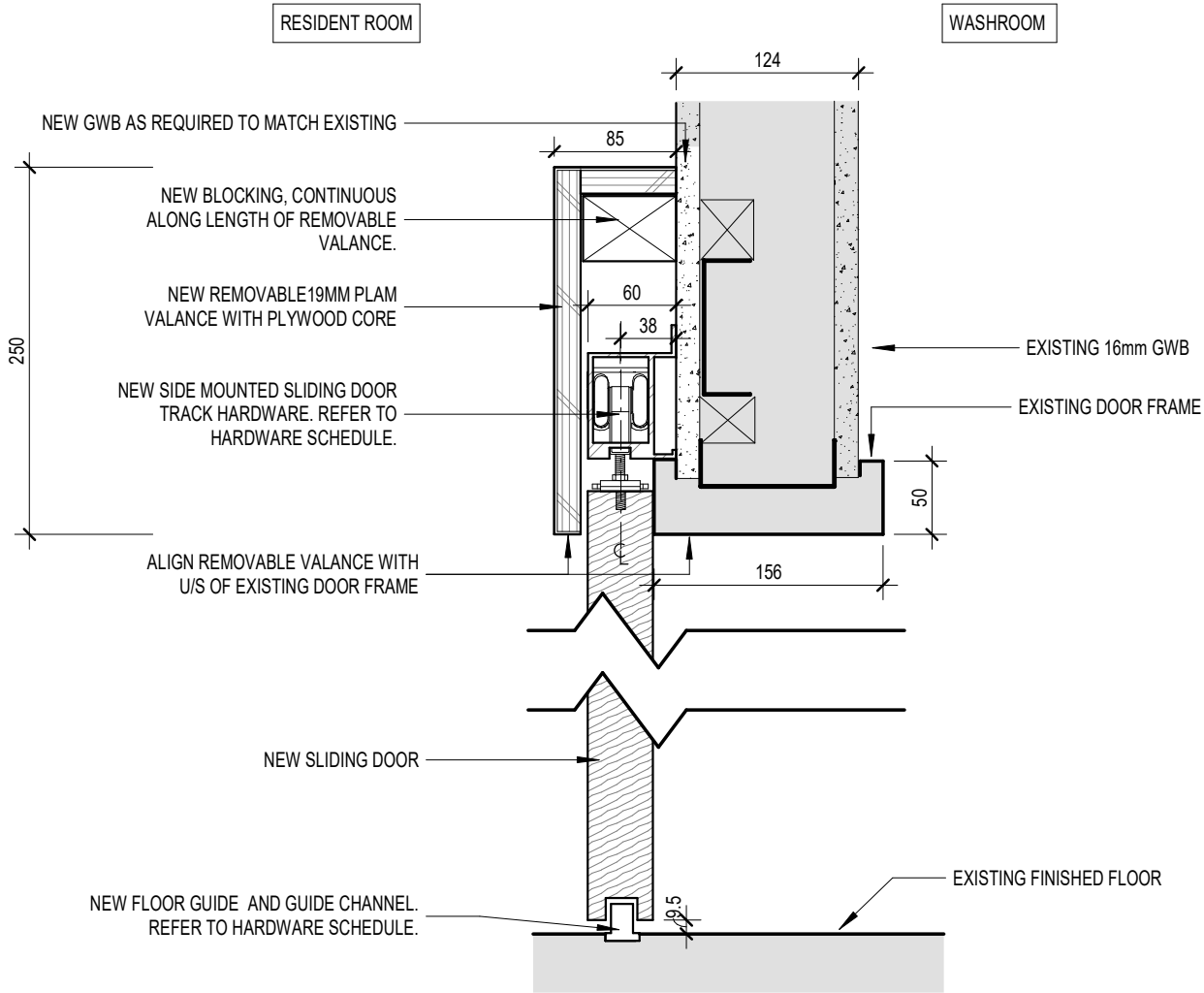
plot date: 24-03-14

drawing number:

A9.01



1 PROPOSED TYPICAL SLIDING DOOR PLAN DETAIL
A9.01 1:5



2 PROPOSED TYPICAL SLIDING DOOR & VALANCE SECTION
A9.01 N.T.S