

21504.F05

ISSUED FOR RETENDER

2024-06-06

**CUMMER LODGE - FLOORING REPLACEMENT
SENIOR SERVICES AND LONG-TERM CARE**

**205 CUMMER AVE.
NORTH YORK, ONTARIO**



1
A2.01

1
A2.02

3	2024-06-08	ISSUED FOR RETENDER	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
#	date:	revision:	by:
revision			

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CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
NORTH YORK, ONTARIO

AREA OF WORK PLAN - LEVEL 2

scale: 1 : 200
 drawn by: MO
 reviewed by: AR
 job number: 21504.F05
 plot date: 2024-03-13

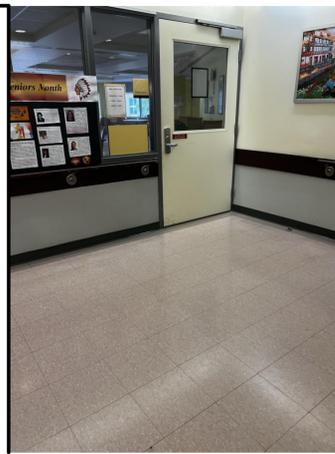
drawing number:

A0.11

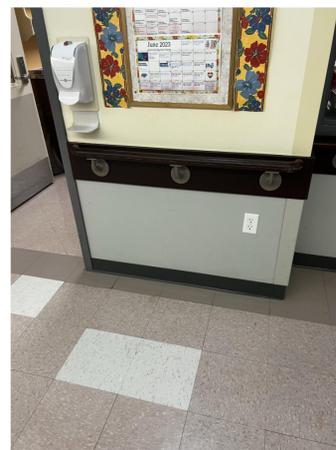
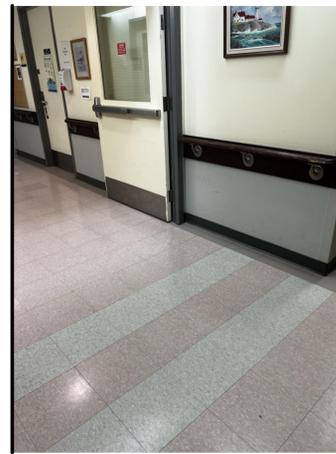
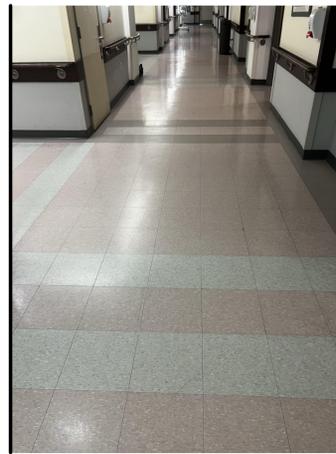
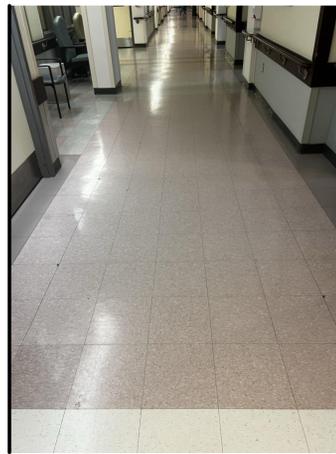
2024-06-08 10:10:26 AM



TYP. SINGLE BEDROOM



TYP. SINGLE BEDROOM



4	2024-06-08	ISSUED FOR RETENDER	MSA
3	2023-11-15	ISSUED FOR TENDER	MSA
2	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
1	2022-07-08	ISSUED FOR TENDER	MSA
#	date:	revision:	by:

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CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
NORTH YORK, ONTARIO

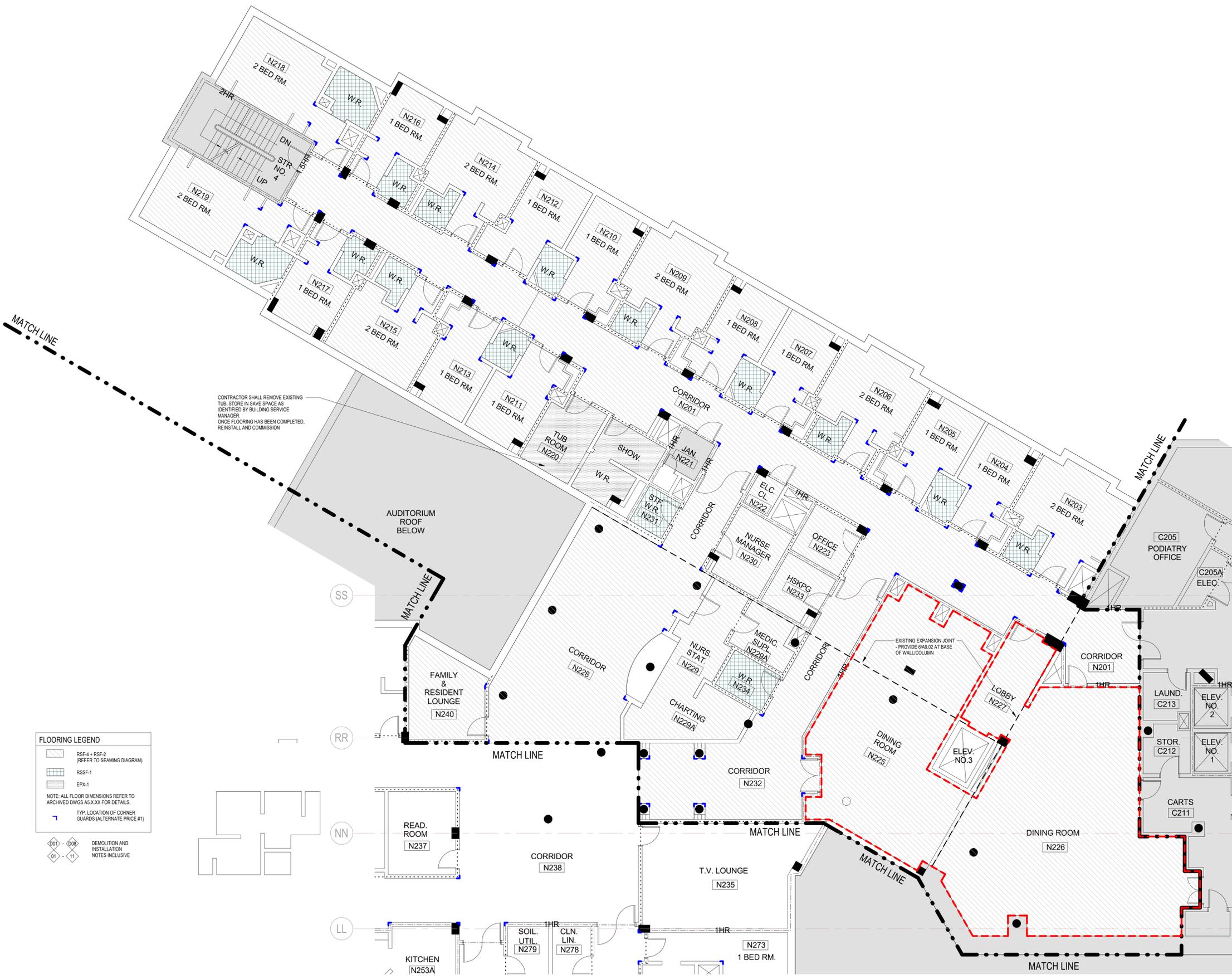
EXISTING CONDITION PHOTOS - LEVEL 2 - NORTH WING

scale	
drawn by:	SK
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number: **A0.21**



AREA OF WORK LEGEND	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS
	CORNER GUARDS - ALTERNATE PRICE #1
	FLOORING - ALTERNATE PRICE #2



CONTRACTOR SHALL REMOVE EXISTING TUB, STORE IN SAFE SPACE AS IDENTIFIED BY BUILDING SERVICE MANAGER. ONCE FLOORING HAS BEEN COMPLETED, REINSTALL AND COMMISSION.

FLOORING LEGEND	
	RSF-4 + RSF-2 (REFER TO SEAMING DIAGRAM)
	RSF-1
	EPX-1
NOTE: ALL FLOOR DIMENSIONS REFER TO ARCHIVED DWGS AS X.XX FOR DETAILS.	
	TYP. LOCATION OF CORNER GUARDS (ALTERNATE PRICE #1)

	DEMOLITION AND INSTALLATION NOTES INCLUSIVE
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4	2024-06-06	ISSUED FOR RETENDER	MSA
3	2024-03-14	ADDENDUM #5	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
1	2023-05-31	ISSUED FOR REVIEW	MSA
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CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
 NORTH YORK, ONTARIO

LEVEL 2 - N/E WING DEMO/PROPOSED PLAN

scale:	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number: **A2.01**

1 LEVEL 2 - N/E WING DEMO/ PROPOSED PLAN
 A2.01 1:100



AREA OF WORK LEGEND	
	AREA OF WORK
	EXISTING AREA TO REMAIN AS-IS
	CORNER GUARDS - ALTERNATE PRICE #1
	FLOORING - ALTERNATE PRICE #2



FLOORING LEGEND	
	RSF-4 + RSF-3 (REFER TO SEAMING DIAGRAM)
	RSF-1
	EPX-1
NOTE: ALL FLOOR DIMENSIONS REFER TO ARCHIVED DWGS AS X.XX FOR DETAILS.	
	TYP. LOCATION OF CORNER GUARDS (ALTERNATE PRICE #1)
	DEMOLITION AND INSTALLATION NOTES INCLUSIVE

4	2024-06-06	ISSUED FOR RETENDER	MSA
3	2024-03-14	ADDENDUM #5	MSA
2	2023-11-15	ISSUED FOR TENDER	MSA
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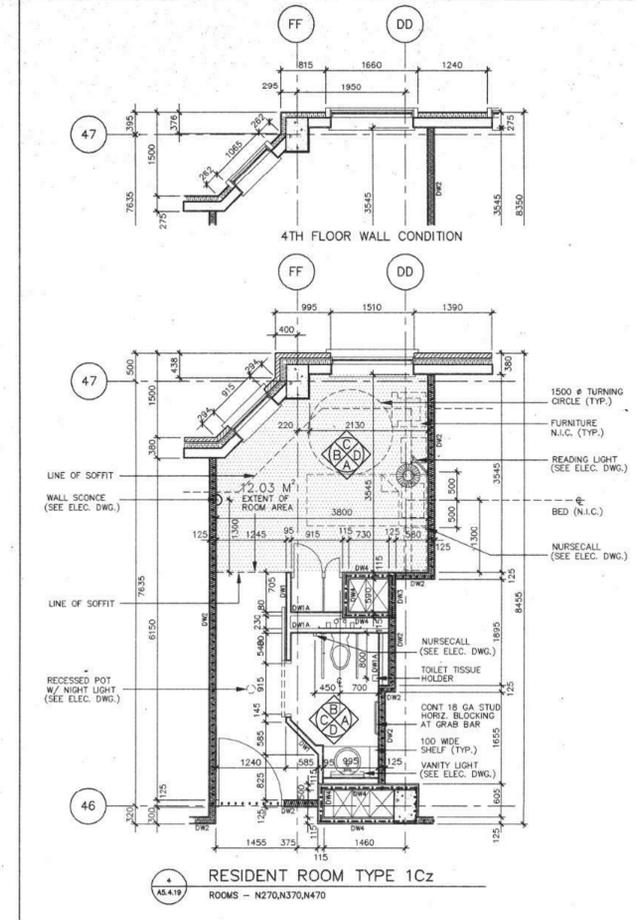
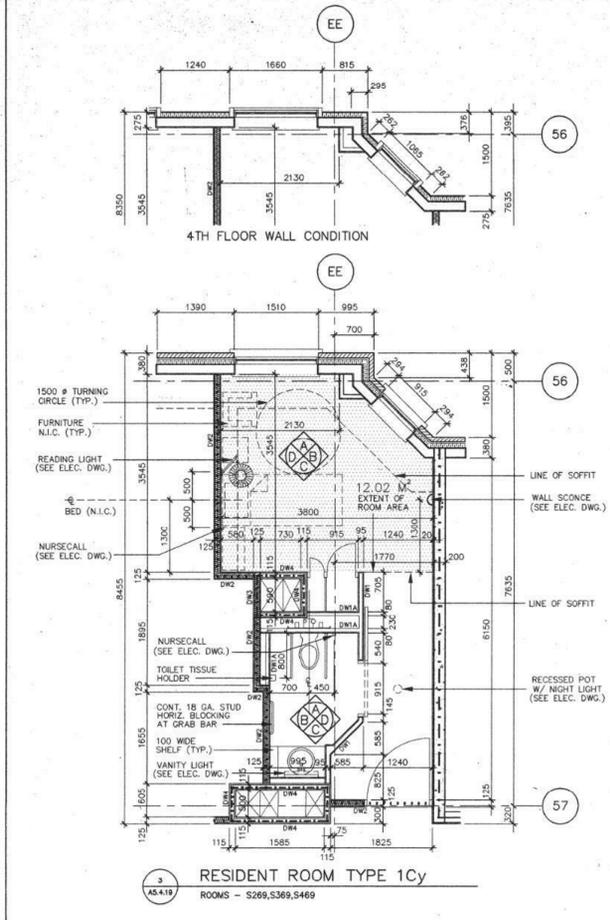
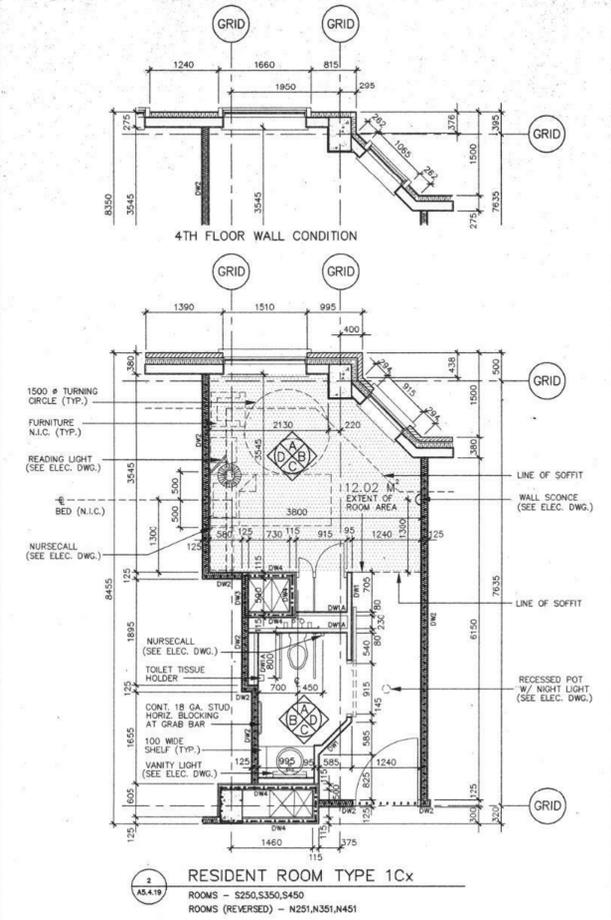
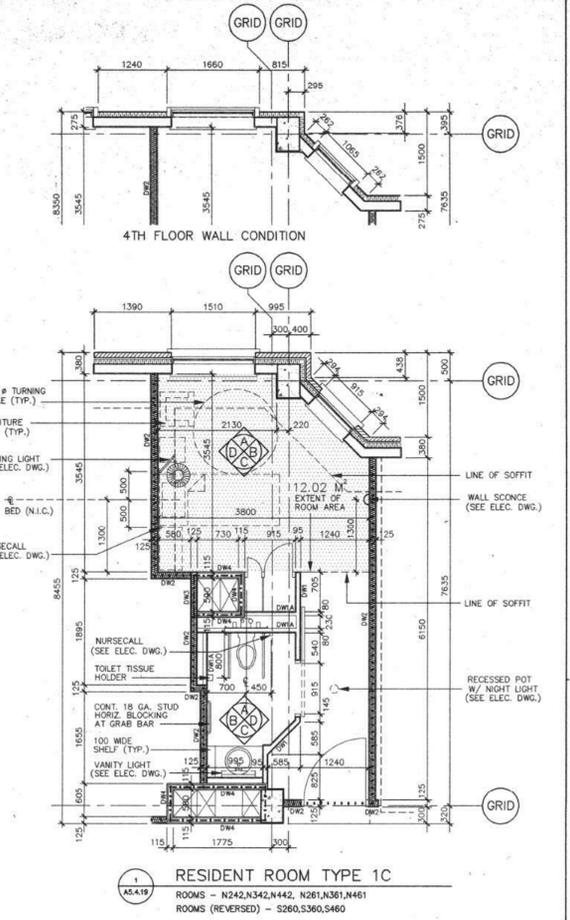
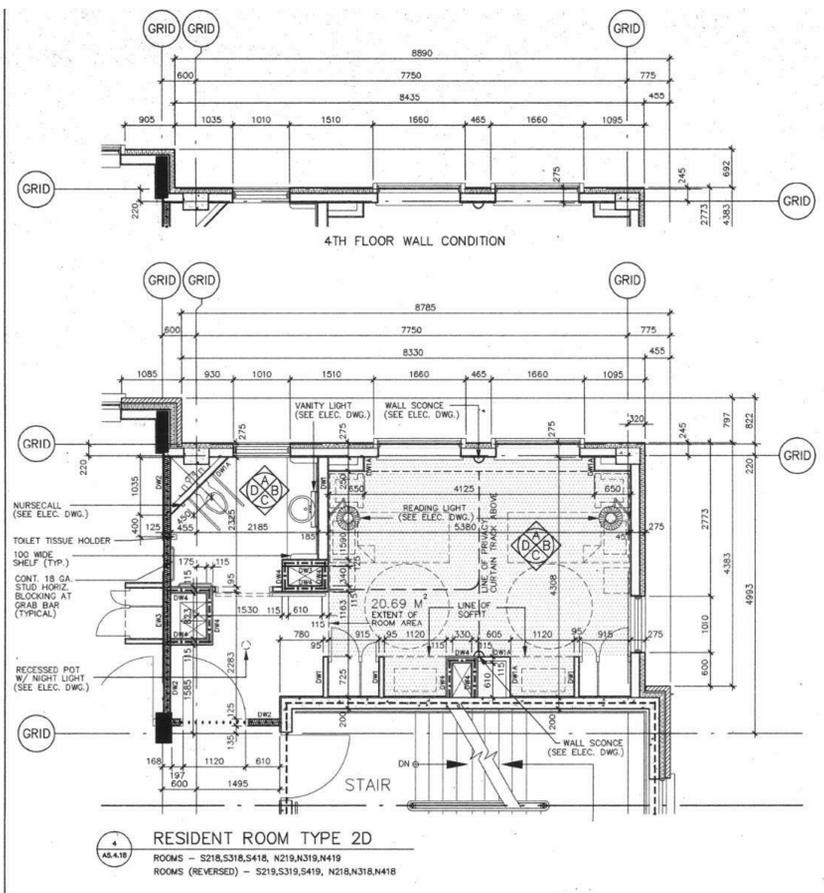
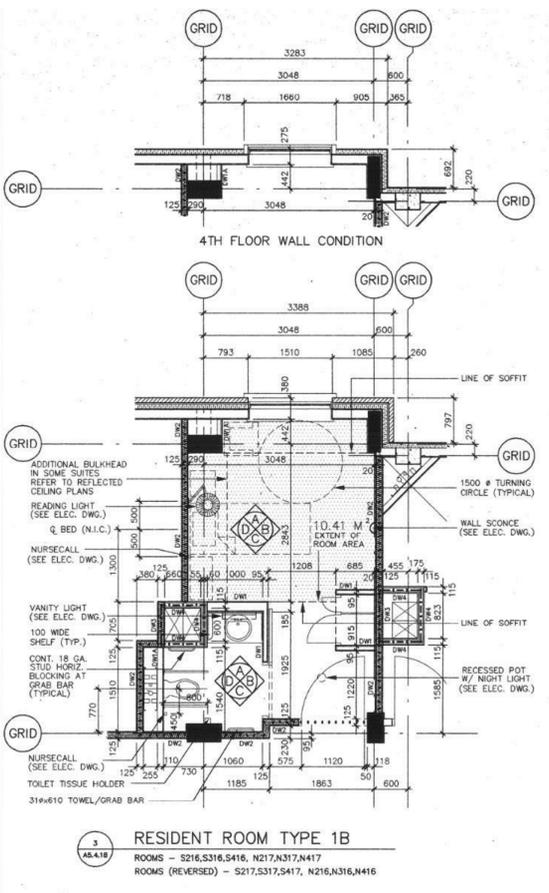
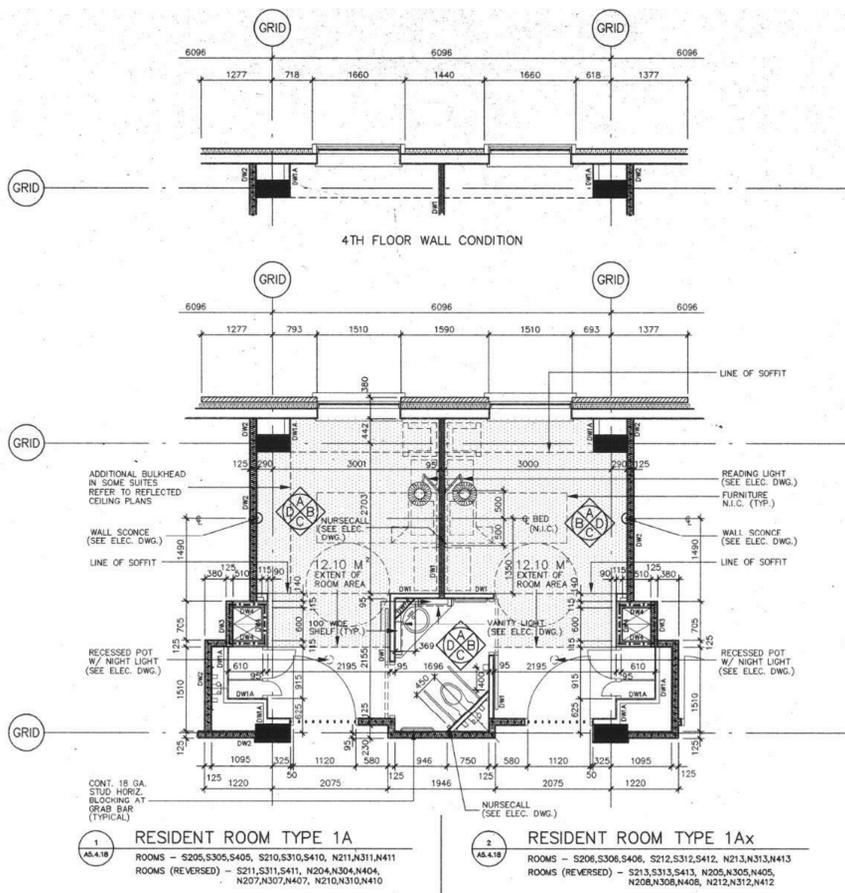
CUMMER LODGE - FLOORING REPLACEMENT
 205 CUMMER AVE.
 NORTH YORK, ONTARIO

LEVEL 2 - N/W WING DEMO/PROPOSED PLAN

scale:	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number: **A2.02**

1 LEVEL 2 - N/W WING DEMO/ PROPOSED PLAN
 A2.02 1 : 100



4	2024-06-06	ISSUED FOR RETENDER	MSA
3	2023-11-15	ISSUED FOR TENDER	MSA
2	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
1	2022-07-08	ISSUED FOR TENDER	MSA
#	date:	revision:	by:
revision			

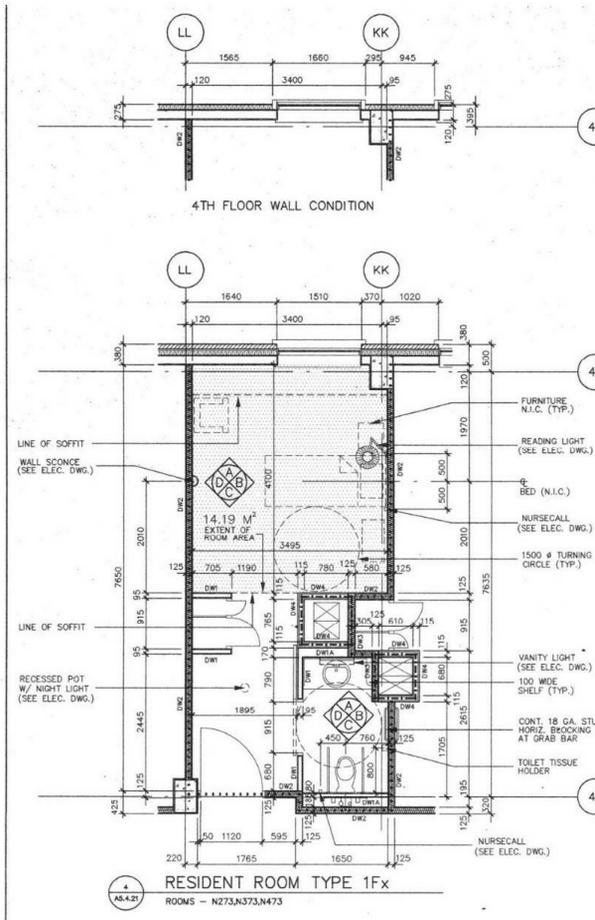
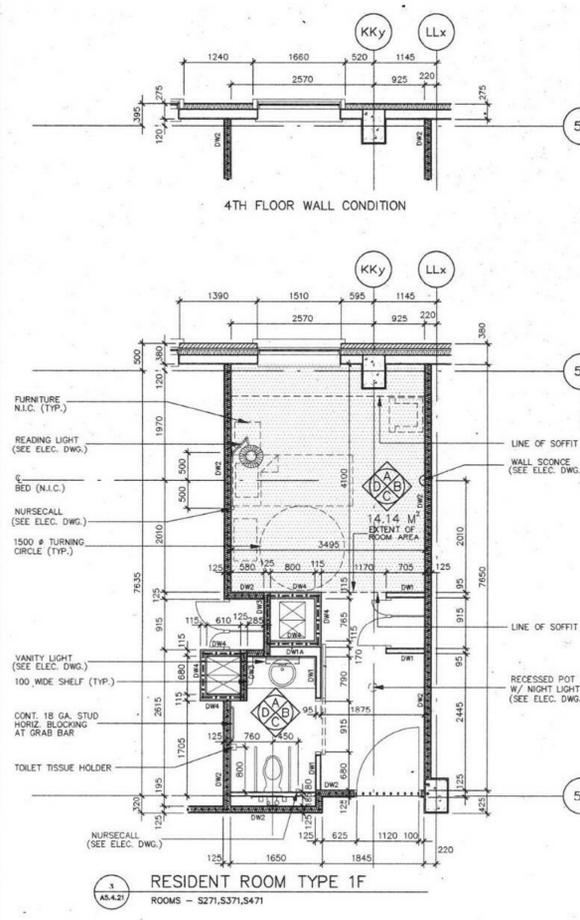
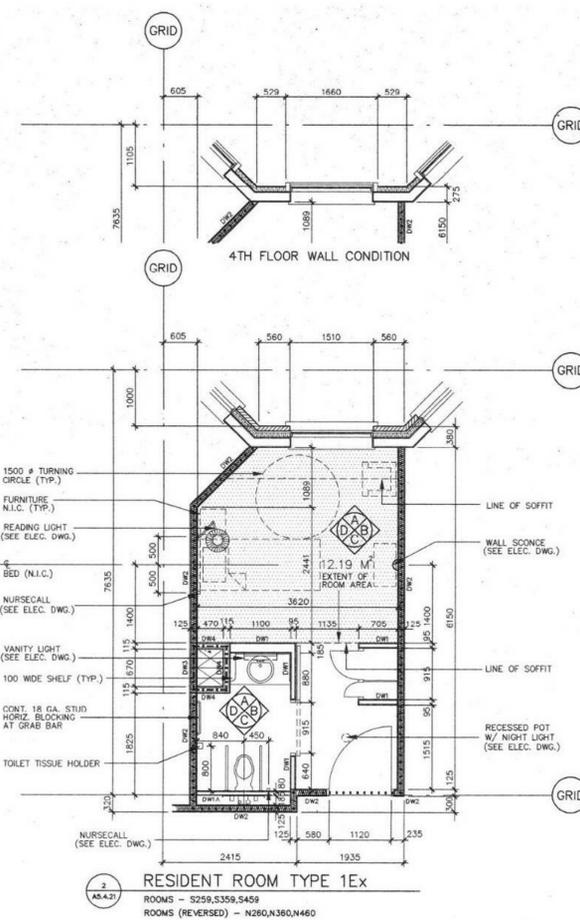
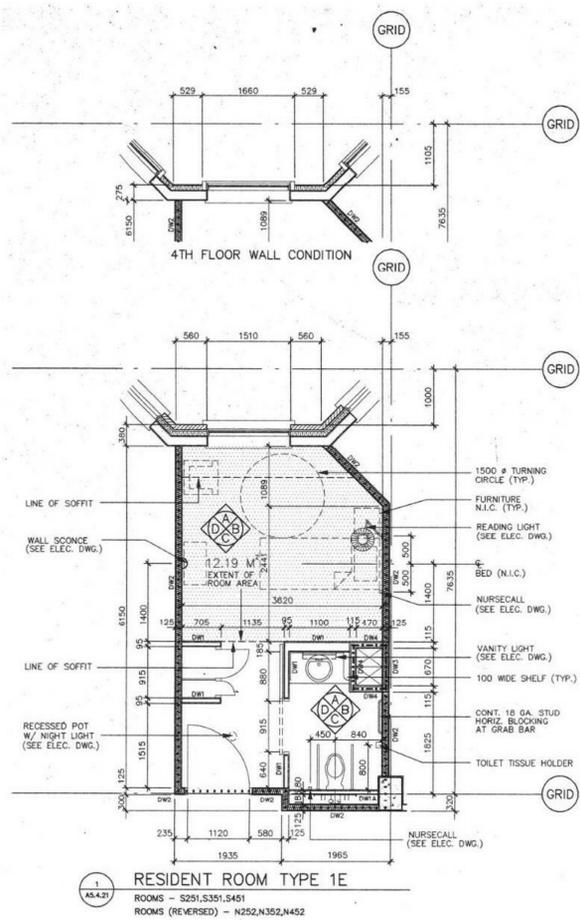
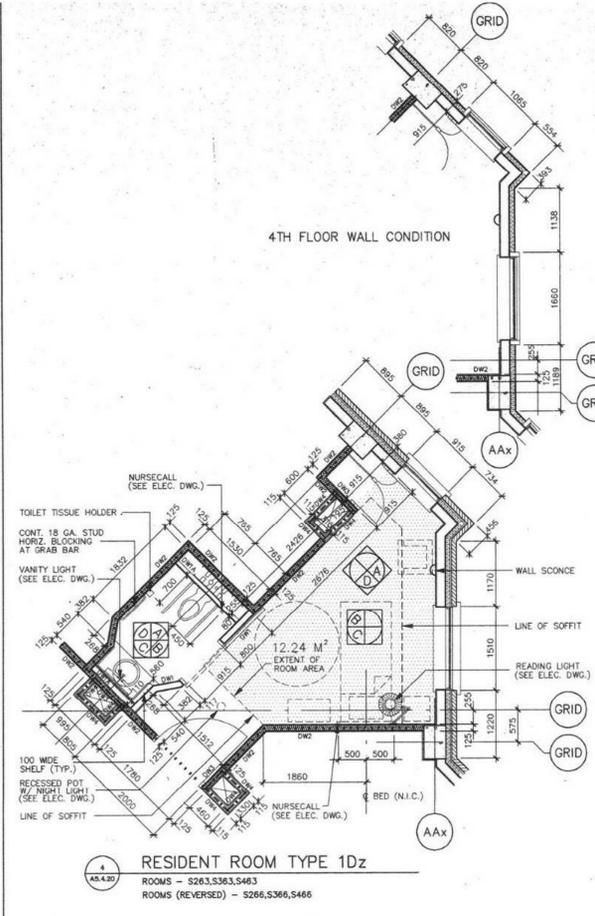
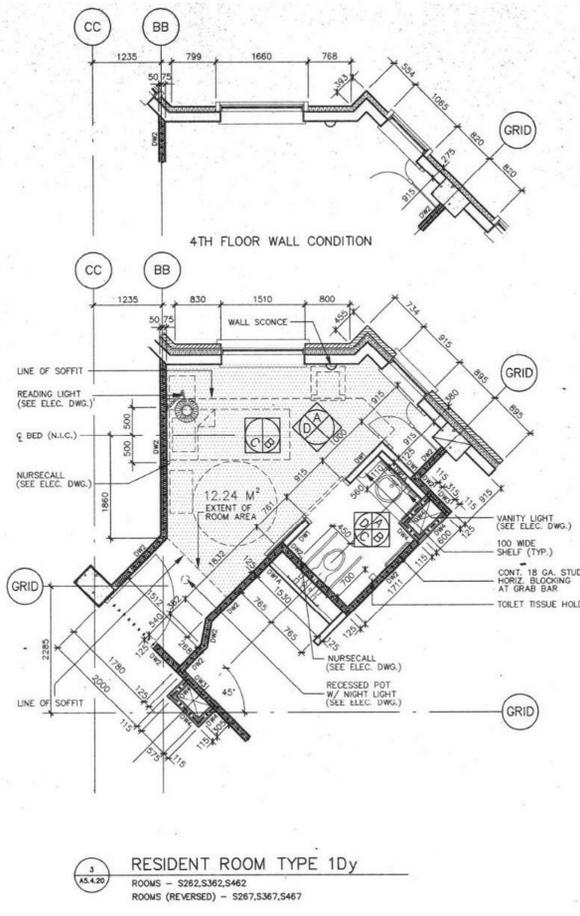
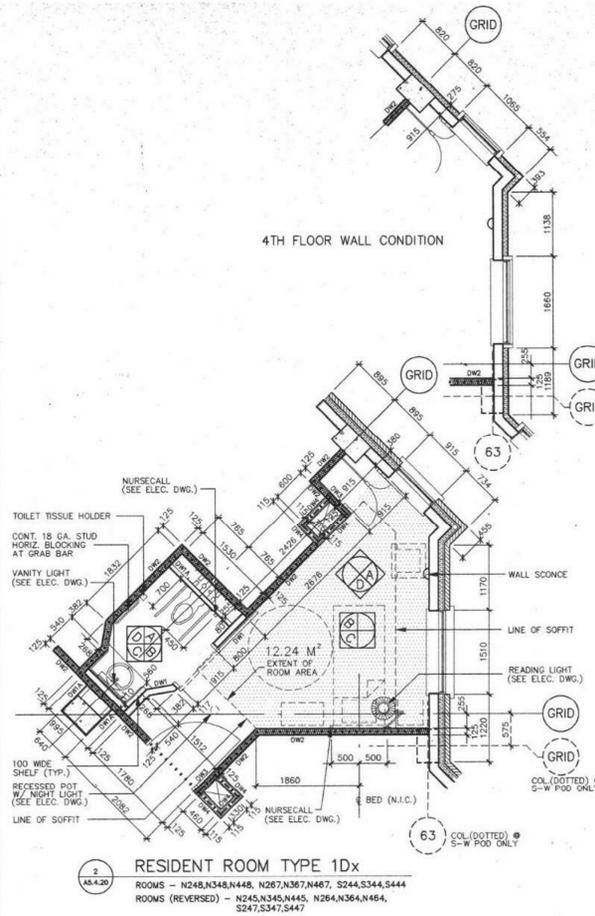
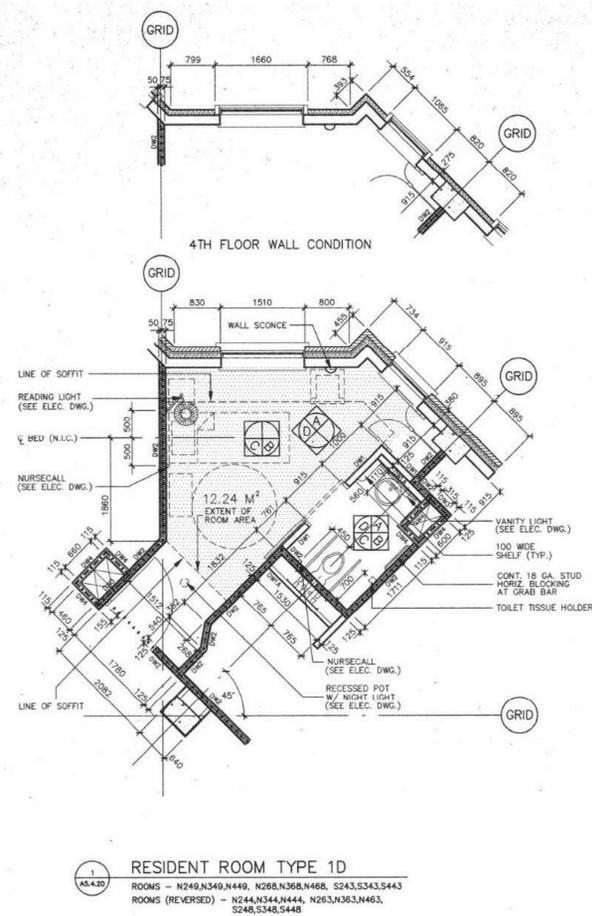
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CUMMER LODGE - FLOORING REPLACEMENT
 205 CUMMER AVE.
 NORTH YORK, ONTARIO

1A/1Ax/1B/2D/1C/1Cx/1Cy/1Cz UNITS DETAIL ARCHIVED PLANS

scale	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number: **A5.4.18&19**



4	2024-06-08	ISSUED FOR RETENDER	MSA
3	2023-11-15	ISSUED FOR TENDER	MSA
2	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
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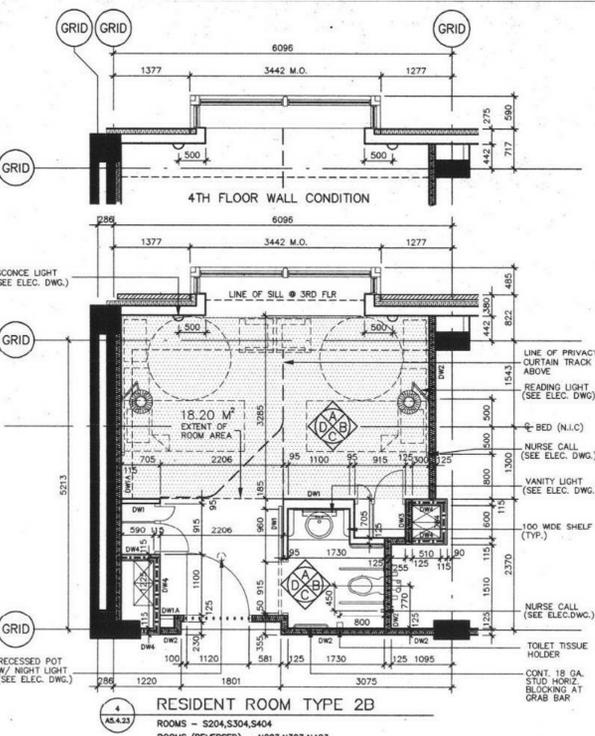
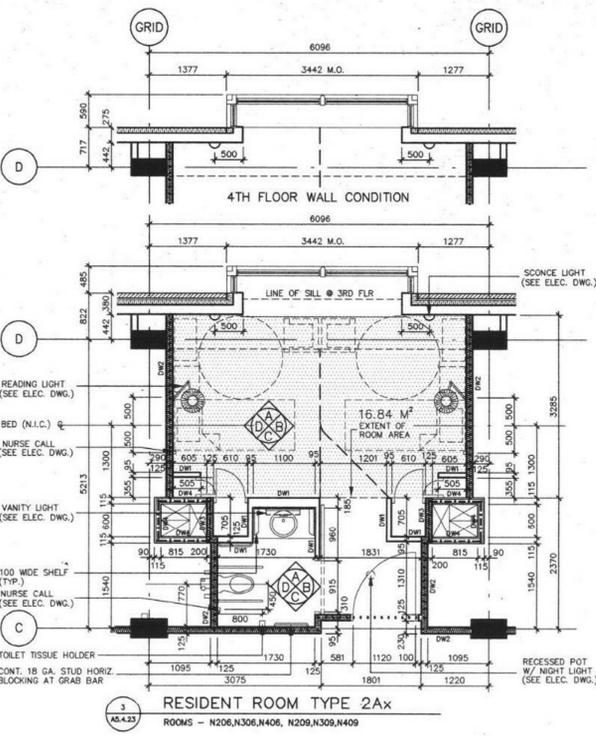
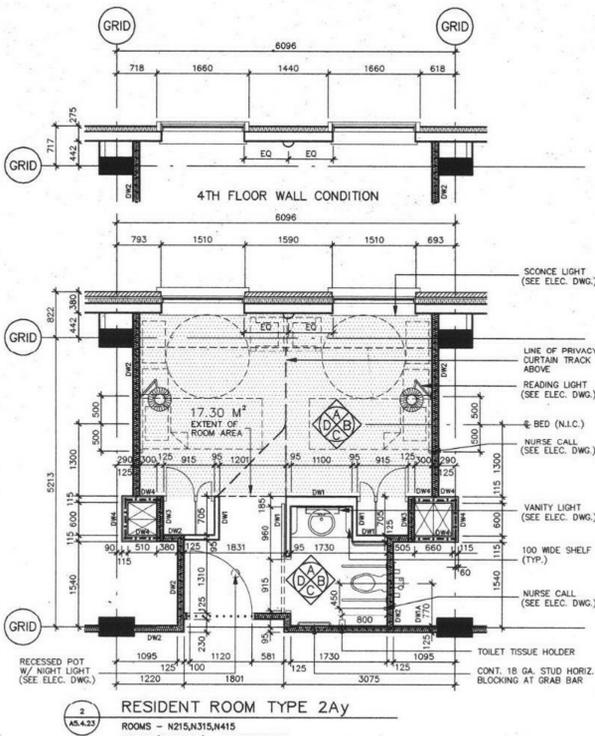
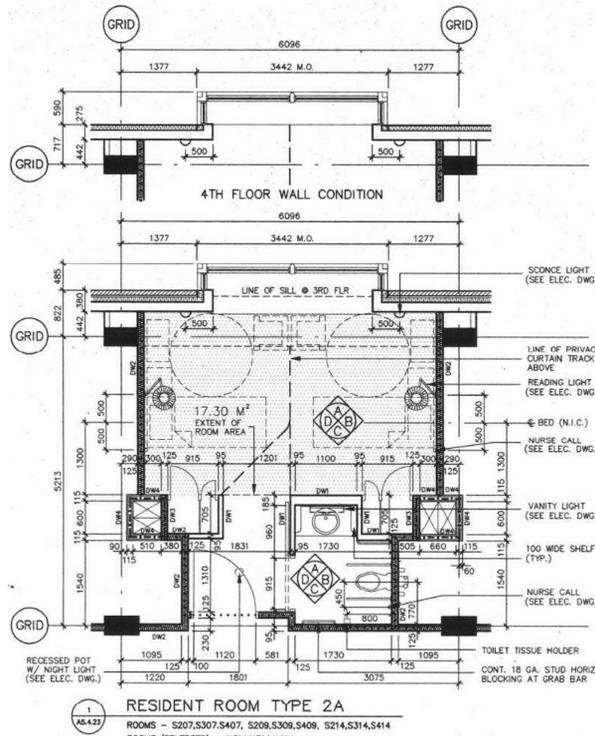
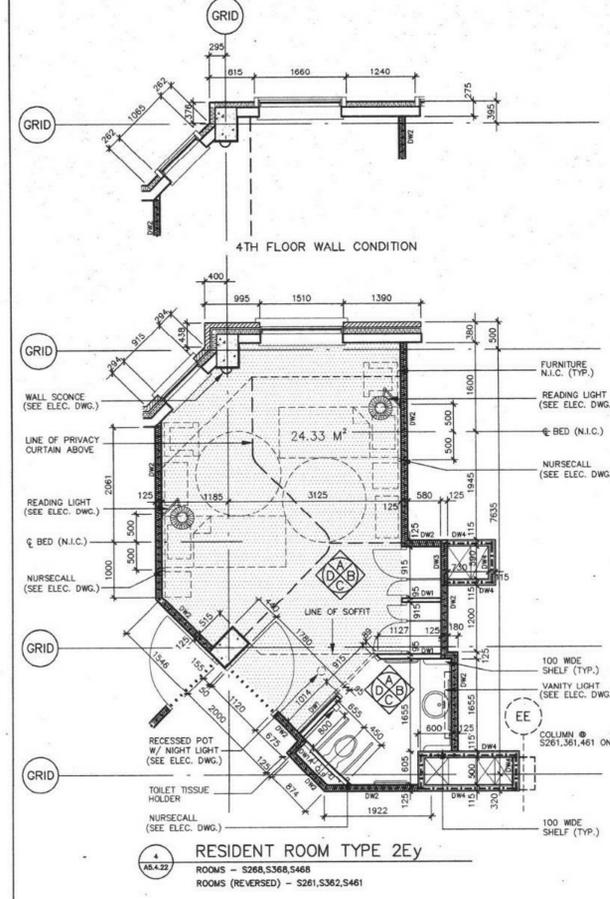
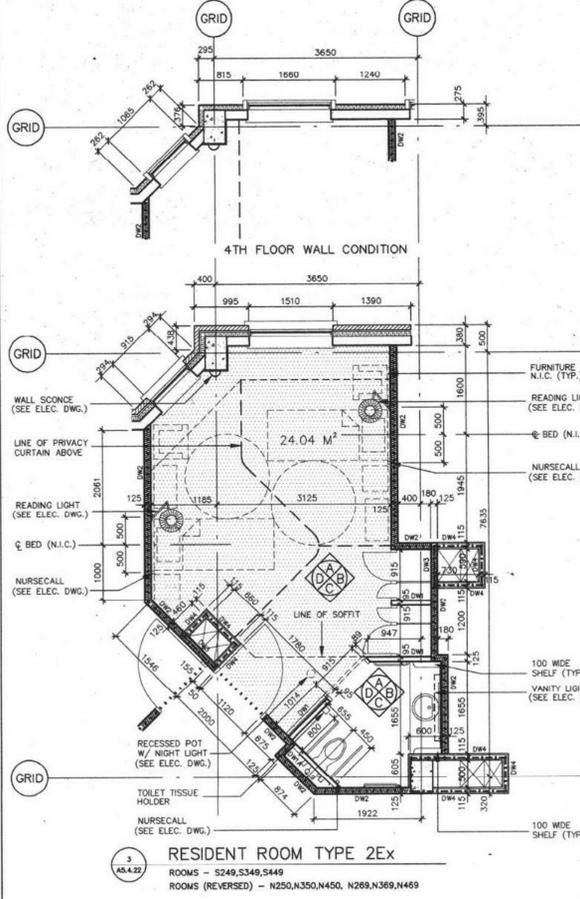
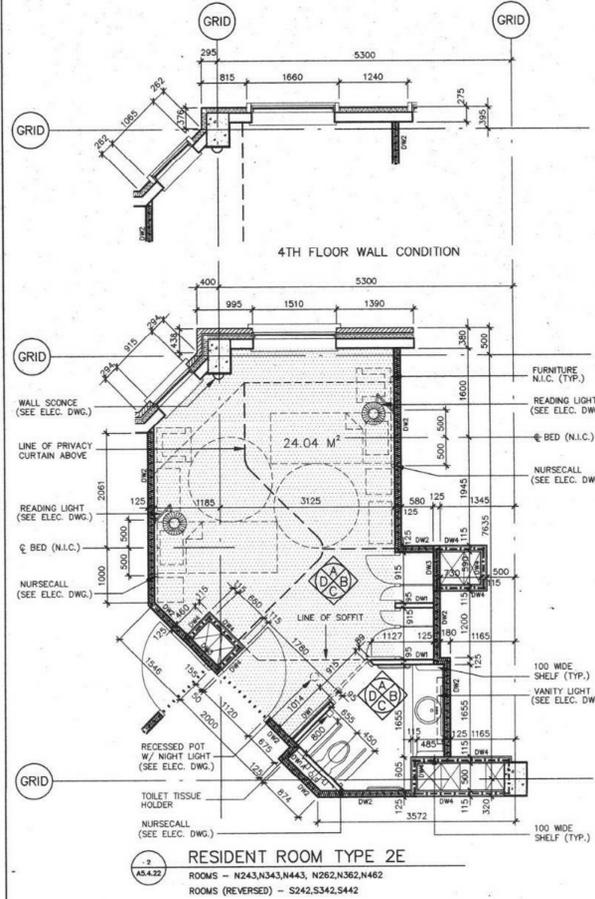
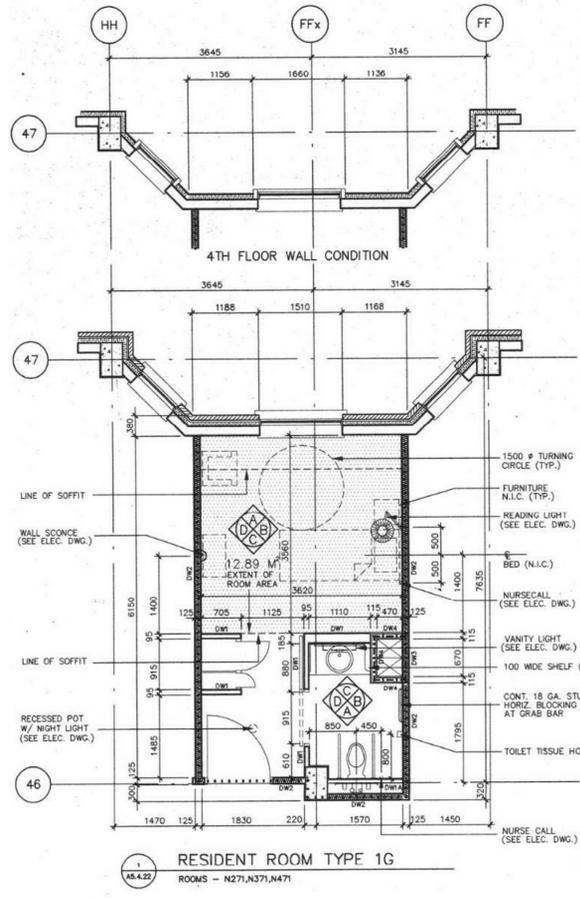
CUMMER LODGE - FLOORING REPLACEMENT
 205 CUMMER AVE.
 NORTH YORK, ONTARIO

1D/1Dx/1Dy/1Dz/1E/1Ex/1F/1Fx UNITS DETAIL ARCHIVED PLANS

scale	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number: **A5.4.20&21**

2024-06-08 10:18:31 AM



4 2024-06-06 ISSUED FOR RETENDER MSA
 3 2023-11-15 ISSUED FOR TENDER MSA
 2 2023-02-20 ISSUED FOR CONSTRUCTION MSA
 1 2022-07-08 ISSUED FOR TENDER MSA
 # date: revision: by:

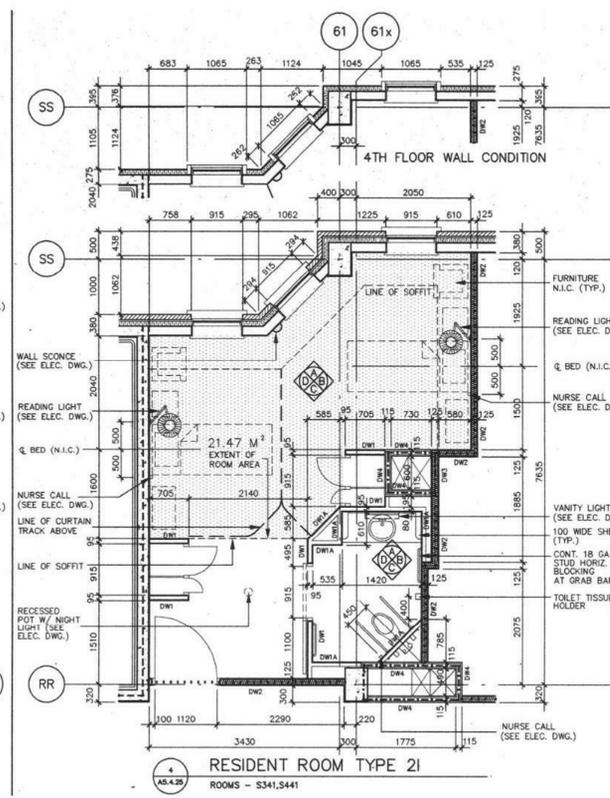
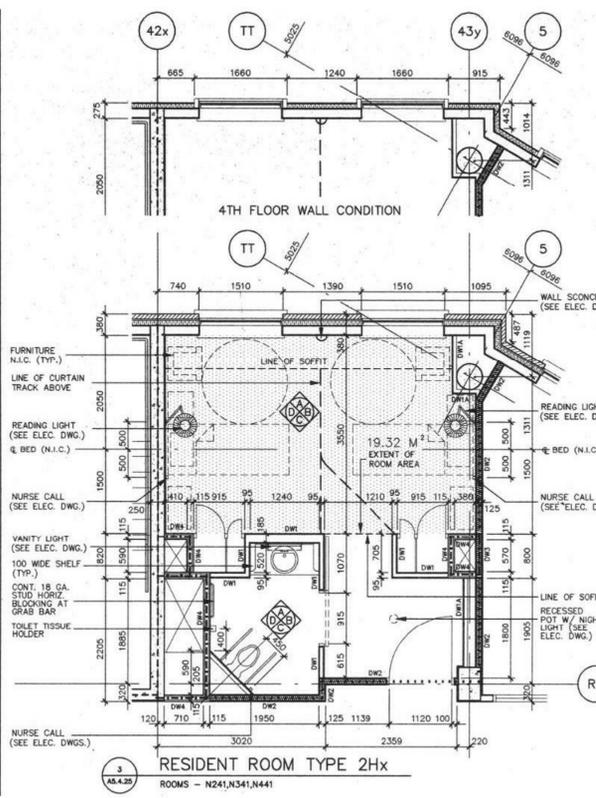
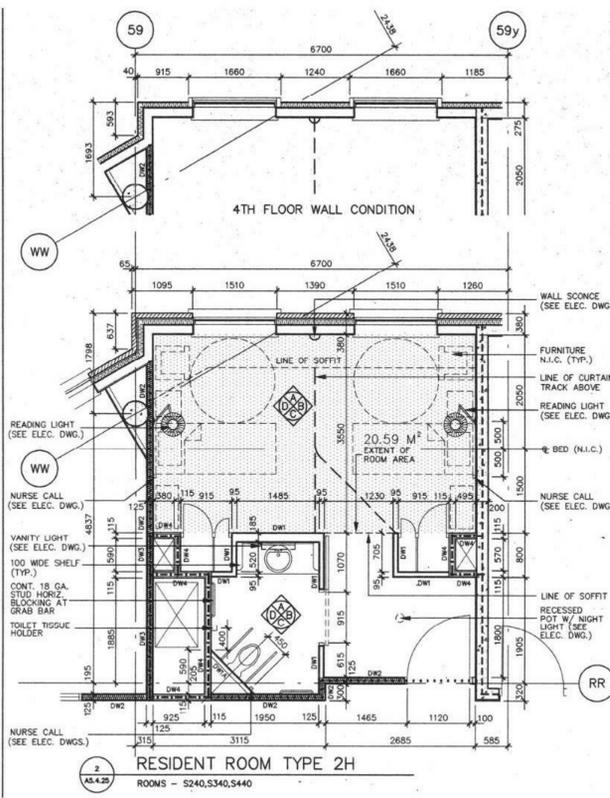
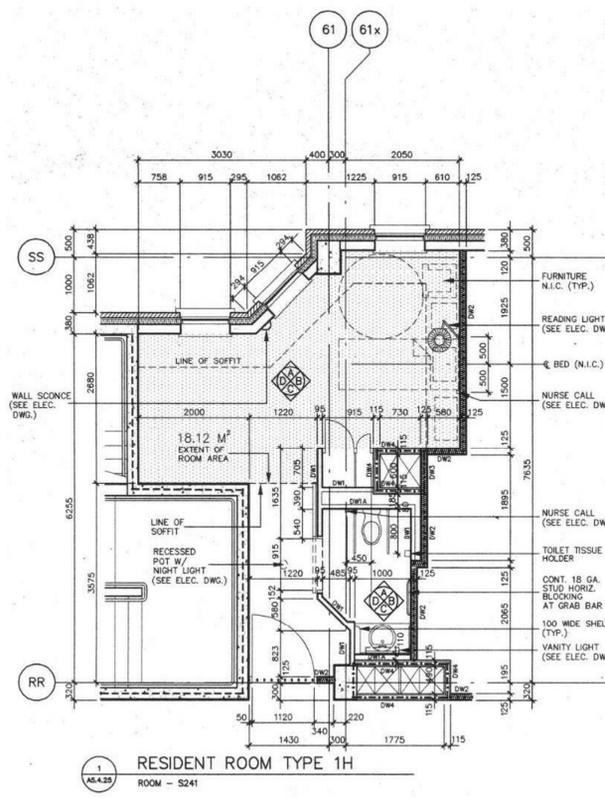
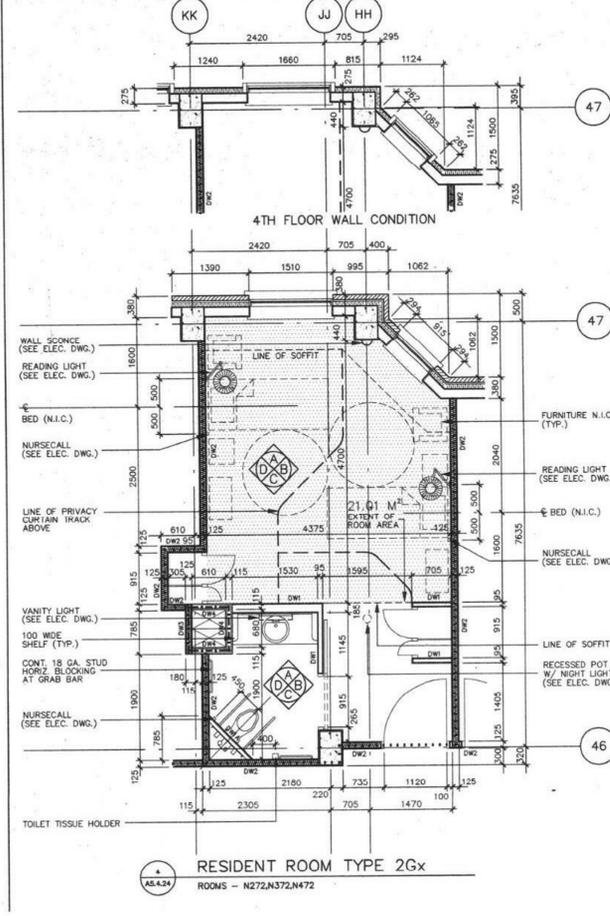
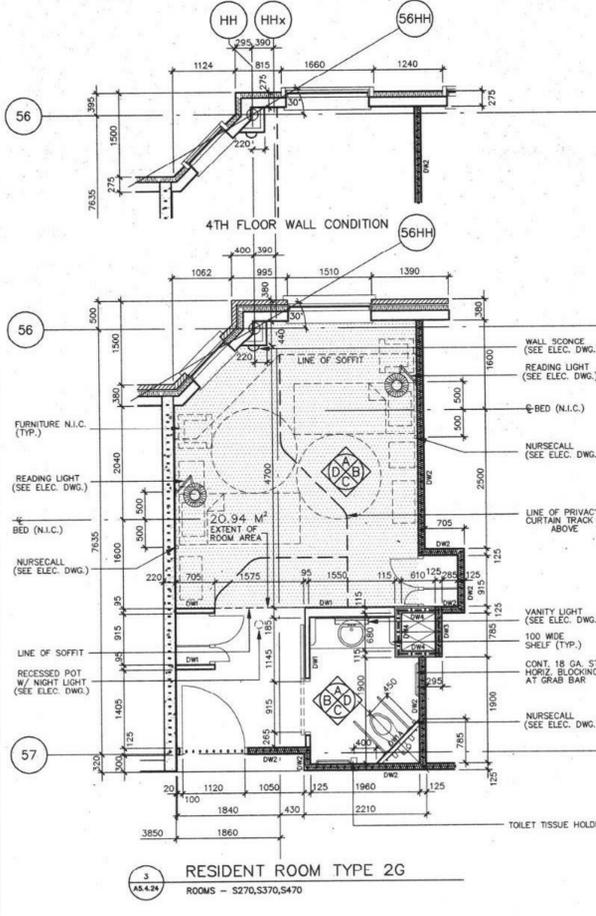
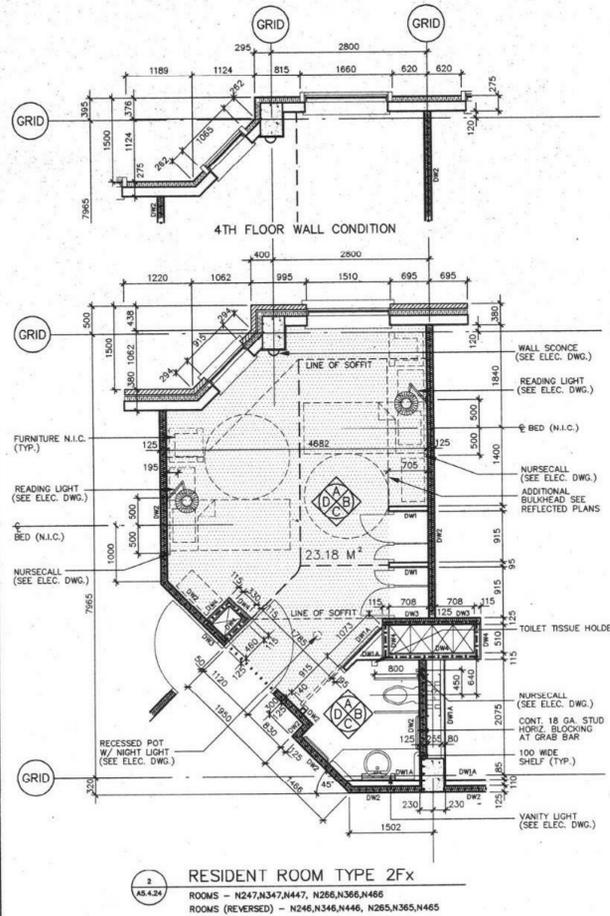
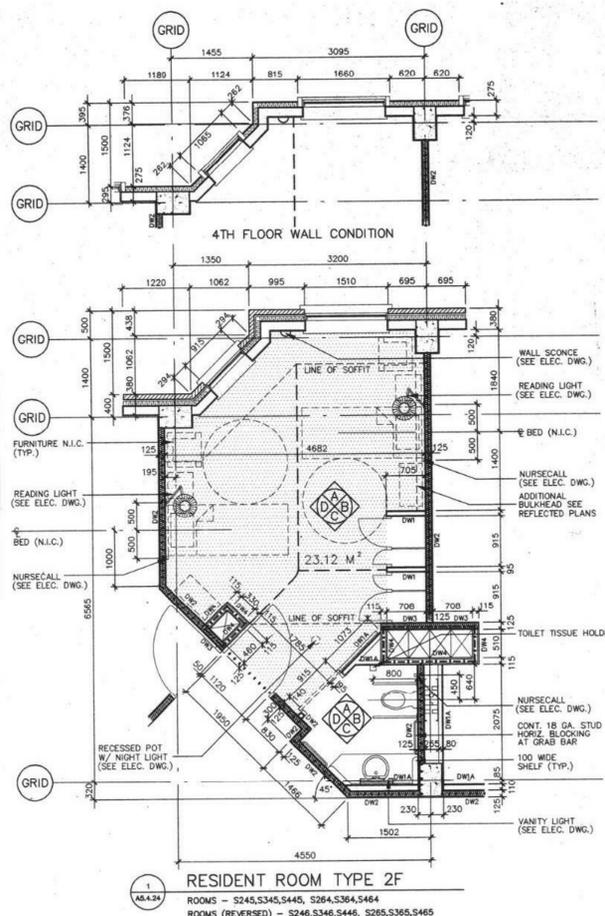
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 205 CUMMER AVE.
 NORTH YORK, ONTARIO

1G/2E/2Ex/2Ey/2A/2Ax/2Ay/2B UNITS DETAIL ARCHIVED PLANS

scale: As indicated
 drawn by: MY
 reviewed by: AR
 job number: 21504.F05
 post date: 2024-03-13

drawing number: **A5.4.22&23**



4 2024-06-06 ISSUED FOR RETENDER MSA
 3 2023-11-15 ISSUED FOR TENDER MSA
 2 2023-02-20 ISSUED FOR CONSTRUCTION MSA
 1 2022-07-08 ISSUED FOR TENDER MSA
 # date: revision: by:

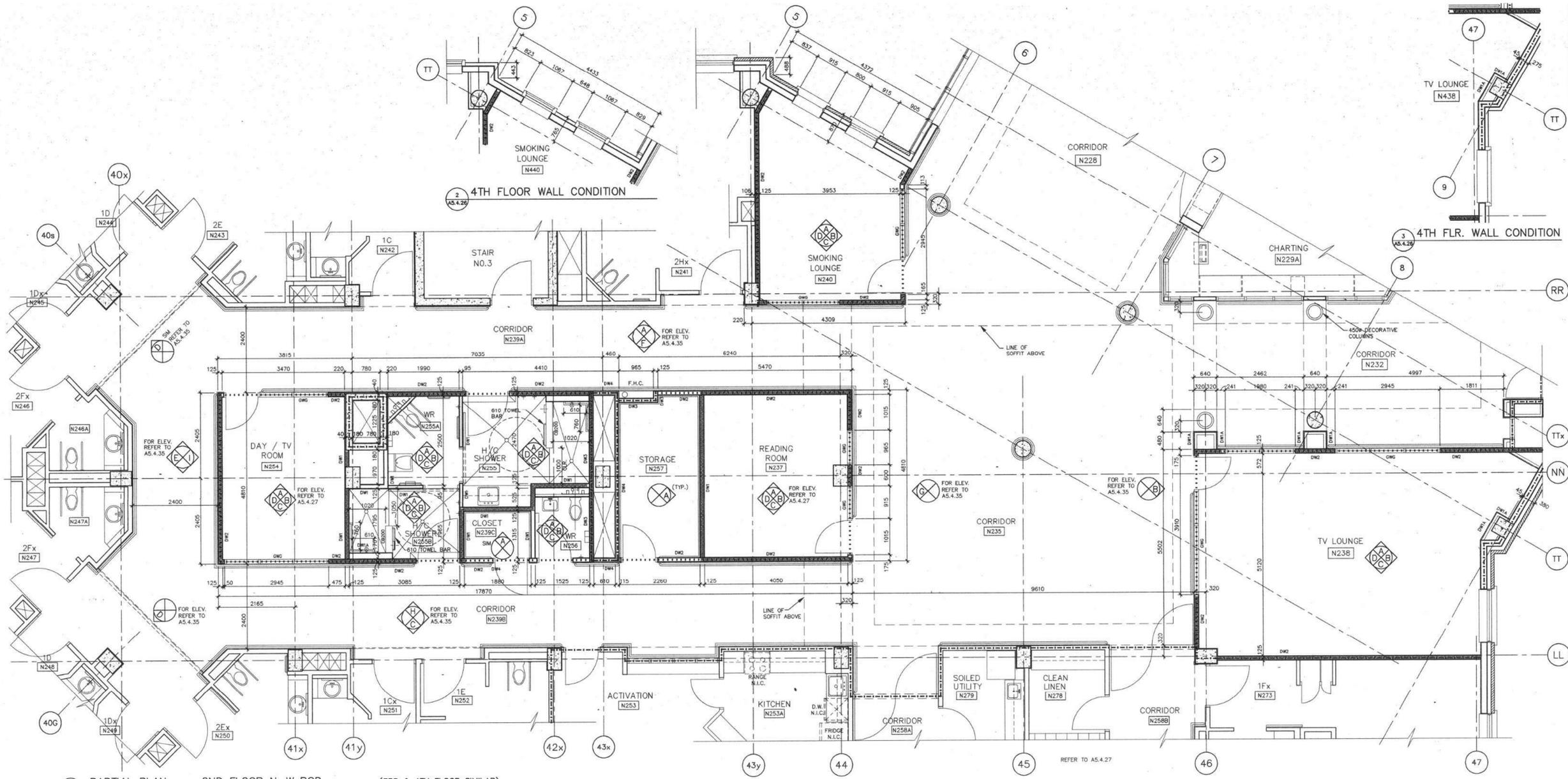
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 205 CUMMER AVE.
 NORTH YORK, ONTARIO

2F/2Fx/2G/2Gx/1H/2H/2Hx/2I UNITS DETAIL ARCHIVED PLANS

scale As indicated
 drawn MO
 by: AR
 reviewed: AR
 job number: 21504.F05
 plot date: 2024-03-13

drawing number: **A5.4.24&25**



1 PARTIAL PLAN - 2ND FLOOR N-W POD (3RD & 4TH FLOOR SIMILAR)

5	2024-06-06	ISSUED FOR RETENDER	MSA
4	2023-11-15	ISSUED FOR TENDER	MSA
3	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
2	2022-07-08	ISSUED FOR TENDER	MSA
1	2021-08-04	ISSUED FOR CONSTRUCTION	MSA
#	date:	revision:	by:

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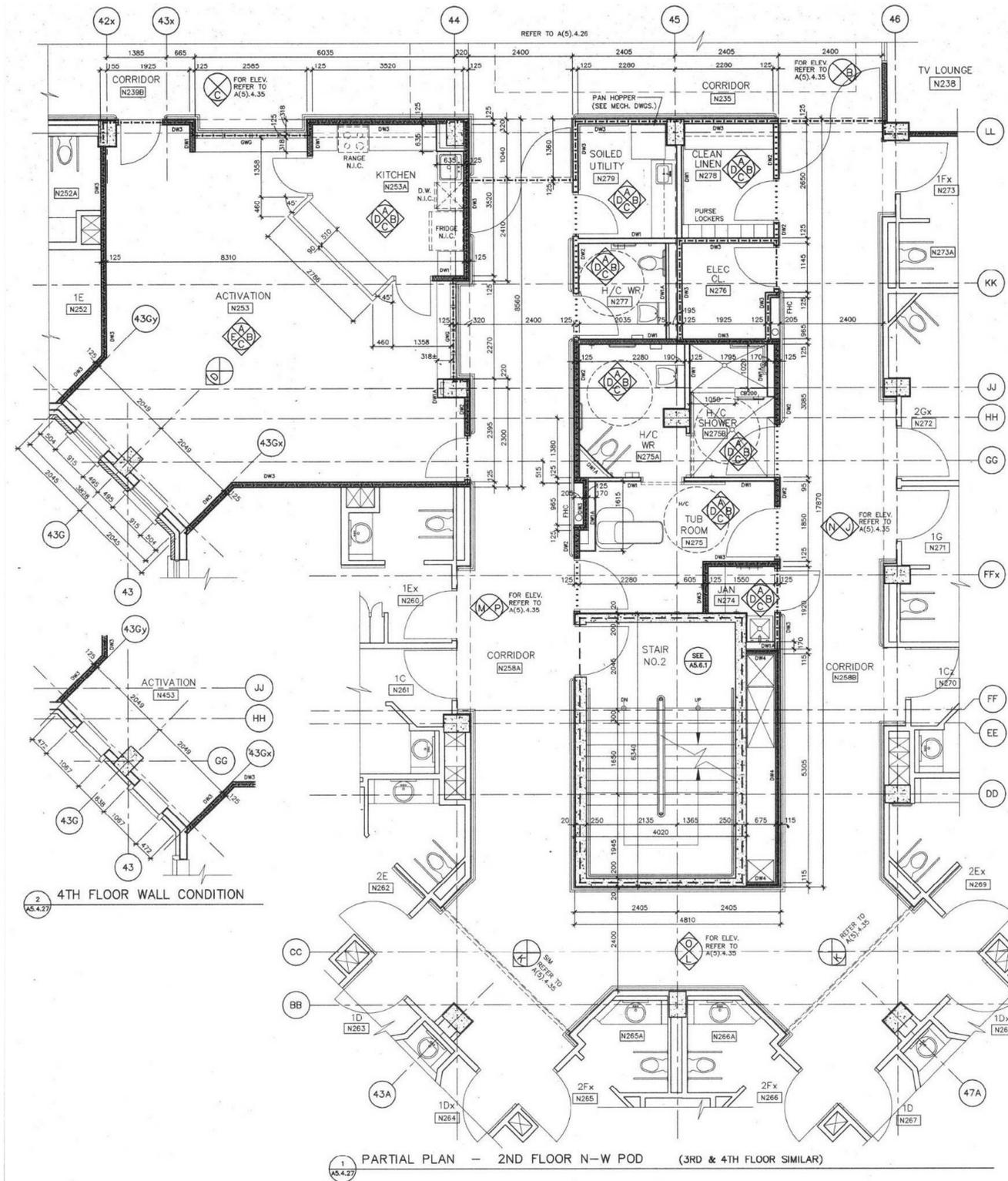
CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
NORTH YORK, ONTARIO

NW SUPPORT CORE/TV LOUNGE ARCHIVED PLANS

scale:	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number: **A5.4.26**



5	2024-06-06	ISSUED FOR RETENDER	MSA
4	2023-11-15	ISSUED FOR TENDER	MSA
3	2023-02-20	ISSUED FOR CONSTRUCTION	MSA
2	2022-07-08	ISSUED FOR TENDER	MSA
1	2021-08-04	ISSUED FOR CONSTRUCTION	MSA
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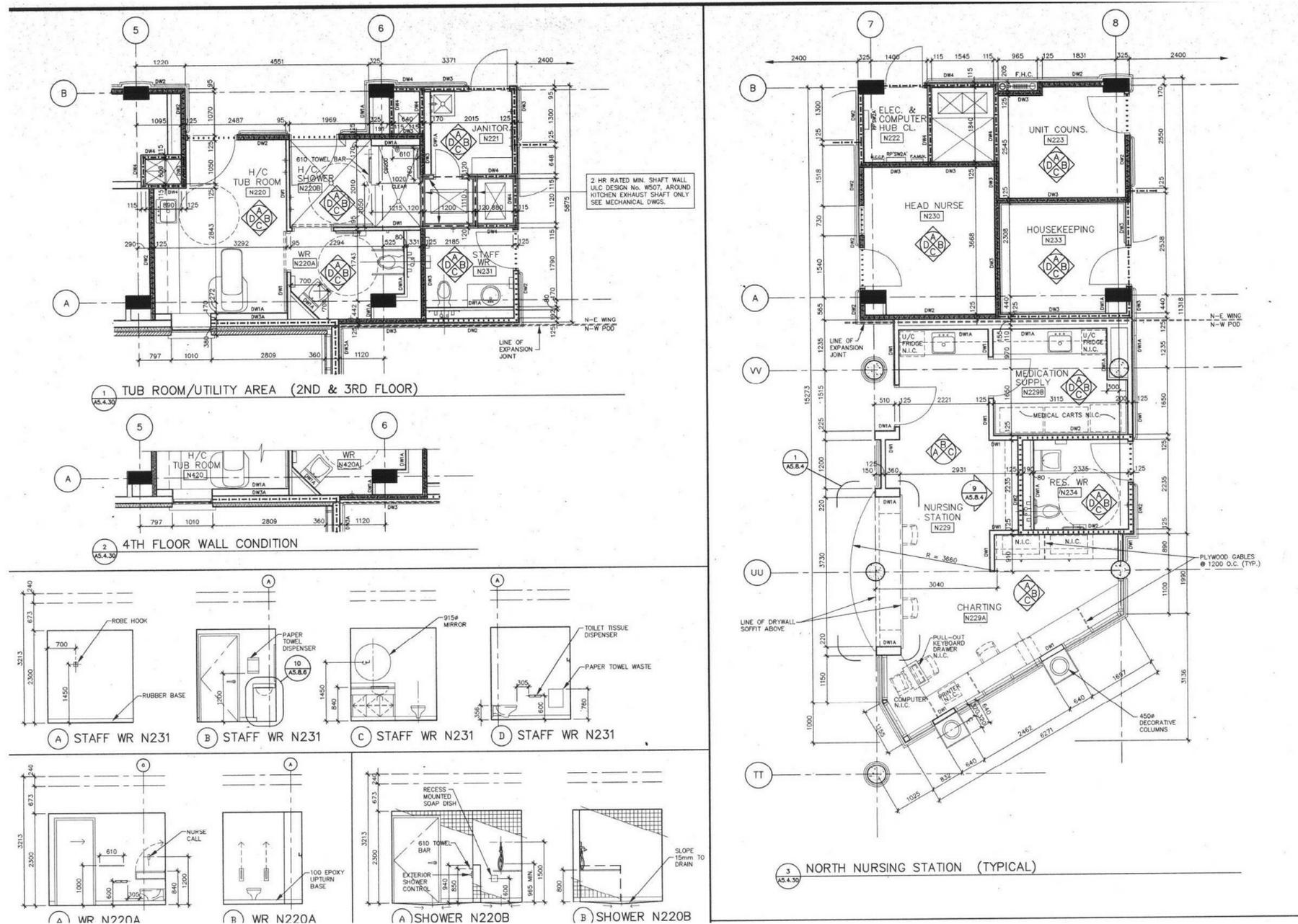
CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
 NORTH YORK, ONTARIO

NW SUPPORT CORE/ACTIVATION RM ARCHIVED PLANS

scale:	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

drawing number: **A5.4.27**



1 TUB ROOM/UTILITY AREA (2ND & 3RD FLOOR)

2 4TH FLOOR WALL CONDITION

A STAFF WR N231

B STAFF WR N231

C STAFF WR N231

D STAFF WR N231

A WR N220A

B WR N220A

A SHOWER N220B

B SHOWER N220B

3 NORTH NURSING STATION (TYPICAL)

5	2024-06-06	ISSUED FOR RETENDER	MSA
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2	2022-07-08	ISSUED FOR TENDER	MSA
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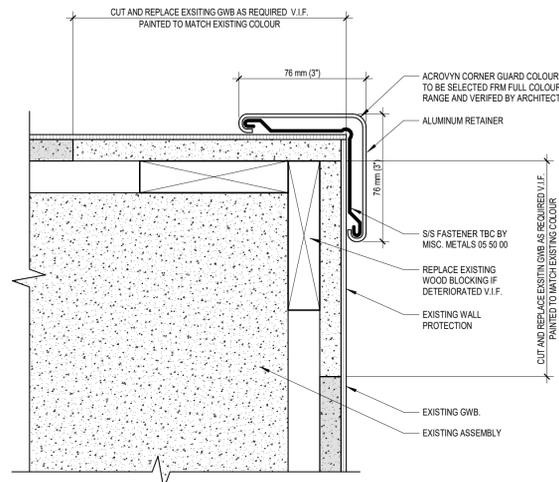
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 NORTH YORK, ONTARIO

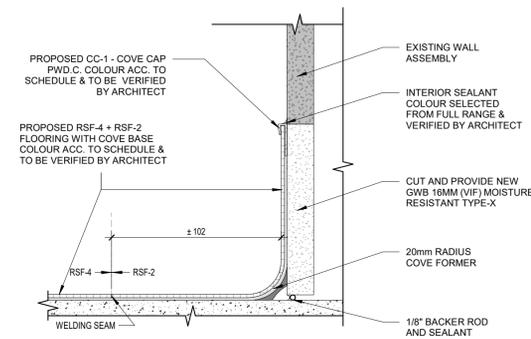
NE SUPPORT CORE/TUB RM ARCHIVED PLANS

scale:	As indicated
drawn by:	MO
reviewed by:	AR
job number:	21504.F05
plot date:	2024-03-13

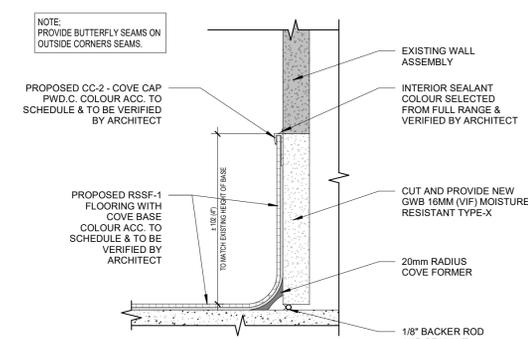
drawing number: **A5.4.30**



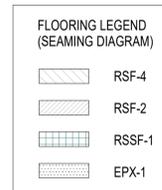
3
A9.01
TYP. ACROVYN CORNER GUARD DETAIL
1:2



1
A9.01
TYP. NEW COVE BASE FOR FLOORING 'RSF-4 + RSF-2'
1:2

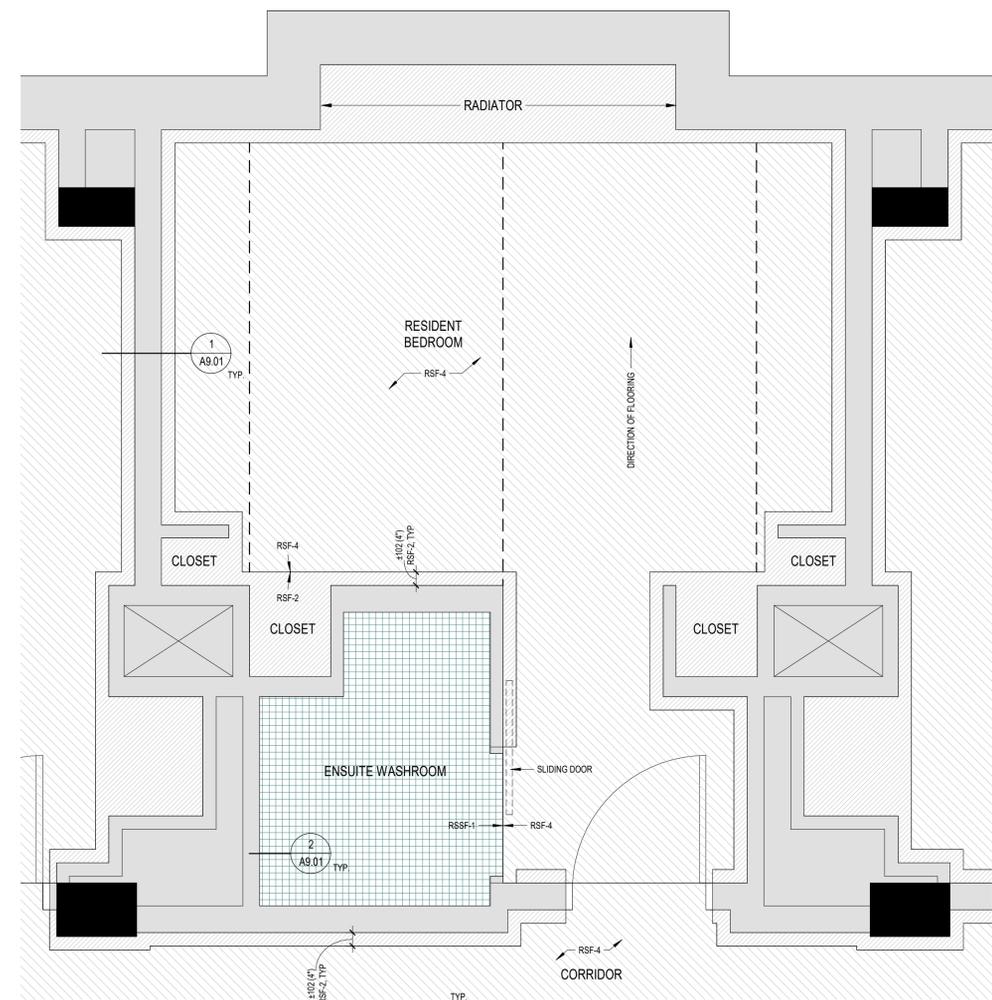


2
A9.01
TYP. NEW COVE BASE FOR FLOORING - RSSF-1
1:2



ROOM FINISH SCHEDULE					
LEVEL	ROOM NUMBER	ROOM NAME - UNIT TYPE	FLOORING	BASE	COMMENTS
	N201, N220, N238, N239A, N238B, 258A, N258B	CORRIDOR	RSF-4 + RSF-2	COVE BASE	
2	-	RESIDENT UNIT - TYPICAL	RSF-4 + RSF-2	COVE BASE	
2	-	RESIDENT WASHROOM - TYPICAL	RSSF-1	COVE BASE	
2	-	TUB ROOM	EPX-1		
2	-	SHOWER	EPX-1		
2	-	COMMON AREAS - WASHROOM	EPX-1		
2	-	DINING ROOM, LOBBY	RSF-4 + RSF-2	COVE BASE	
2	-	NURSING STATION	RSF-4 + RSF-2	COVE BASE	
2	-	CHARTING	RSF-4 + RSF-2	COVE BASE	
2	-	MEDICAL SUPPLIES	RSF-4 + RSF-2	COVE BASE	
2	-	NURSE MANAGER OFFICE	RSF-4 + RSF-2	COVE BASE	
2	-	READING ROOM	RSF-4 + RSF-2	COVE BASE	
2	-	T.V. LOUNGE	RSF-4 + RSF-2	COVE BASE	
2	N253, N253A	ACTIVITY ROOM	RSF-4 + RSF-2	COVE BASE	
2	N257	STORAGE/ CLOSET	RSF-4 + RSF-2	COVE BASE	
2	N254	DAY T.V. ROOM	RSF-4 + RSF-2	COVE BASE	
2	N278	CLEAN UTILITY	RSF-4 + RSF-2	COVE BASE	
2	N279	SOILED UTILITY	RSF-4 + RSF-2	COVE BASE	

NOTE:
 LINOLEUM FLOORING WILL BE UTILIZING TRADITIONAL HOT WELD TECHNIQUE, W/ FLASH COVE DETAIL.
 VINYL FLOORING WILL BE INSTALLED IN THE WASHROOMS AND WILL ALSO UTILIZE HOT WELD, AS WILL VINYL AND LINOLEUM SEAM LOCATIONS.



4
A9.01
TYP. RESIDENT UNIT FLOORING SEAMING DIAGRAM
1:25

#	date:	revision:	by:
5	2024-06-06	ISSUED FOR RETENDER	MSA
4	2024-03-14	ADDENDUM #2	MSA
3	2023-11-15	ISSUED FOR TENDER	MSA
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1	2022-07-08	ISSUED FOR TENDER	MSA

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CUMMER LODGE - FLOORING REPLACEMENT

205 CUMMER AVE.
 NORTH YORK, ONTARIO

DETAILS, SEAMING DIAGRAM & ROOM FINISH SCHEDULE

scale: As indicated
 drawn by: MO
 reviewed by: AR
 job number: 21504.F05
 plot date: 2024-03-13

drawing number: **A9.01**

