



<b>To:</b>	ATA Architects Inc. 211 Lakeshore Road East Oakville, Ontario L6J 1H7	<b>No.:</b>	<b>ADD-M03</b>
<b>Fax/Email:</b>	mark@ataarchitectsinc.com	<b>Date:</b>	November 4, 2024
<b>Attention:</b>	Mark Driedger	<b>Project:</b>	Fire Hall 7-1 835 Clark Ave. W., Vaughan, ON
<b>From:</b>	Cassandra Kani-Sanchez	<b>Project No.:</b>	<b>2021-0158</b>

This Addendum shall be attached to the drawings and specifications and shall form an integral part of the Contract Documents. The contents of this Addendum shall be brought to the attention of all concerned.

1. **Specifications**

1.1. **Specification – Tender Form – Division 23 – HVAC (specification re-issued)**

- 1.1.1. AAON added as acceptable alternate manufacturer for packaged outdoor HVAC units.
- 1.1.2. AAON and Captivaire added as acceptable alternate manufacturers for packaged outdoor HVAC units (heating only).

2. **Drawings**

2.1. **Drawing MD101 – Ground Floor Plumbing & Drainage Demo (drawing re-issued)**

- 2.1.1. Drawing Note 4 revised, in its entirety, to read “Existing storm drain to remain. Remove and replace existing roof drains; connect to existing maintained storm drain piping below roof. Note that this Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”
- 2.1.2. Drawing Note 13, deleted, in their entirety, the final three sentences of this Note and substitute with “Additional costs incurred from Gas Utility for upgrades wall be covered by Cash Allowance under Section 01 21 00.”
- 2.1.3. Drawing Note 14, revised, in its entirety, to read “remove and replace existing block storm main below slab. Prior to cutting Contractor to scan / X-ray to determine exact location and any potential other below slab services. Base Bid Price to include for this Scope of Work.”

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2.2. Drawing MD102 – Ground Floor Plumbing & Drainage Demo (drawing re-issued)

2.2.1. Drawing Note 4, revised, in its entirety, to read “Existing storm drain to remain. Remove and replace existing roof drains; connect to existing maintained storm drain piping below roof. Note that this Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”

2.3. Drawing MD103 – Ground Floor Plumbing & Drainage Demo (drawing re-issued)

2.3.1. Drawing Note 2, revised, in its entirety, to read “Existing storm drain to remain. Remove and replace existing roof drains; connect to existing maintained storm drain piping below roof. Note that this Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”

2.4. Drawing M100 – Ground Floor Plumbing & Drainage (drawing re-issued)

2.4.1. Drawing Note 9, revised, in its entirety, to read “Replace existing blocked storm main below slab. Base Bid Price to include for this Scope of Work.”

2.5. Drawing M101 – Ground Floor Plumbing & Drainage (drawing re-issued)

2.5.1. Drawing Note 3, revised, in its entirety, to read “Existing storm drain to remain. Remove and replace existing roof drains; connect to existing maintained storm drain piping below roof. Note that this Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”

2.5.2. Drawing Note 13, deleted, in their entirety, the final three sentences of this Note and substitute with “Additional costs incurred from Gas Utility for upgrades will be covered by Cash Allowance under Section 01 21 00.”.

2.6. Drawing M102 – Second Floor Plumbing & Drainage (drawing re-issued)

2.6.1. Drawing Note 11, revised, in its entirety, to read “Existing storm drain to remain. Remove and replace existing roof drains; connect to existing maintained storm drain piping below roof. Note that this Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”

2.6.2. Drawing Note 12, revised, in its entirety, to read “Remove and replace existing roof drains as required to facilitate roof waterproofing scope by others. Connect to existing storm drain piping below roof. Note that this

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Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”

2.7. Drawing M103 – Roof Plumbing & Drainage (drawing re-issued)

2.7.1. Drawing Note 2, revised, in its entirety, to read “Remove and replace existing roof drains as required to facilitate roof waterproofing scope by others. Connect to existing storm drain piping below roof. Note that this Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”

2.8. Drawing M301 – Ground Floor HVAC (drawing re-issued)

2.8.1. Drawing Note 9, deleted, in their entirety, the final three sentences of this Note and substitute with “Note that this Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”

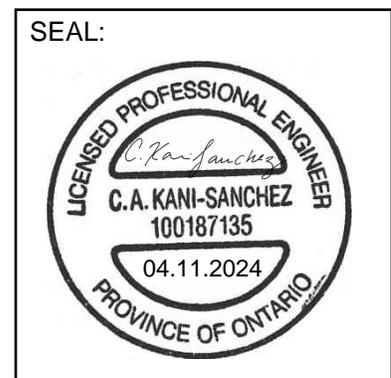
2.9. Drawing M303 – Roof HVAC (drawing re-issued)

2.9.1. Drawing Note 16, deleted, in their entirety, the final three sentences of this Note and substitute with “Note that this Scope of Work is excluded from the Base Bid Price, to be paid by Cash Allowance under Section 01 21 00 Allowances.”

2.10. Drawing M602 – Schematics II (drawing re-issued)

2.10.1. Revised drawing note within Detail I/M602 regarding removal and replacement of existing gas meter and PRV. The final three sentences of the note have been deleted and substituted with “Additional costs incurred from Gas Utility for upgrades will be covered by Cash Allowance under Section 01 21 00.”

End of Addendum

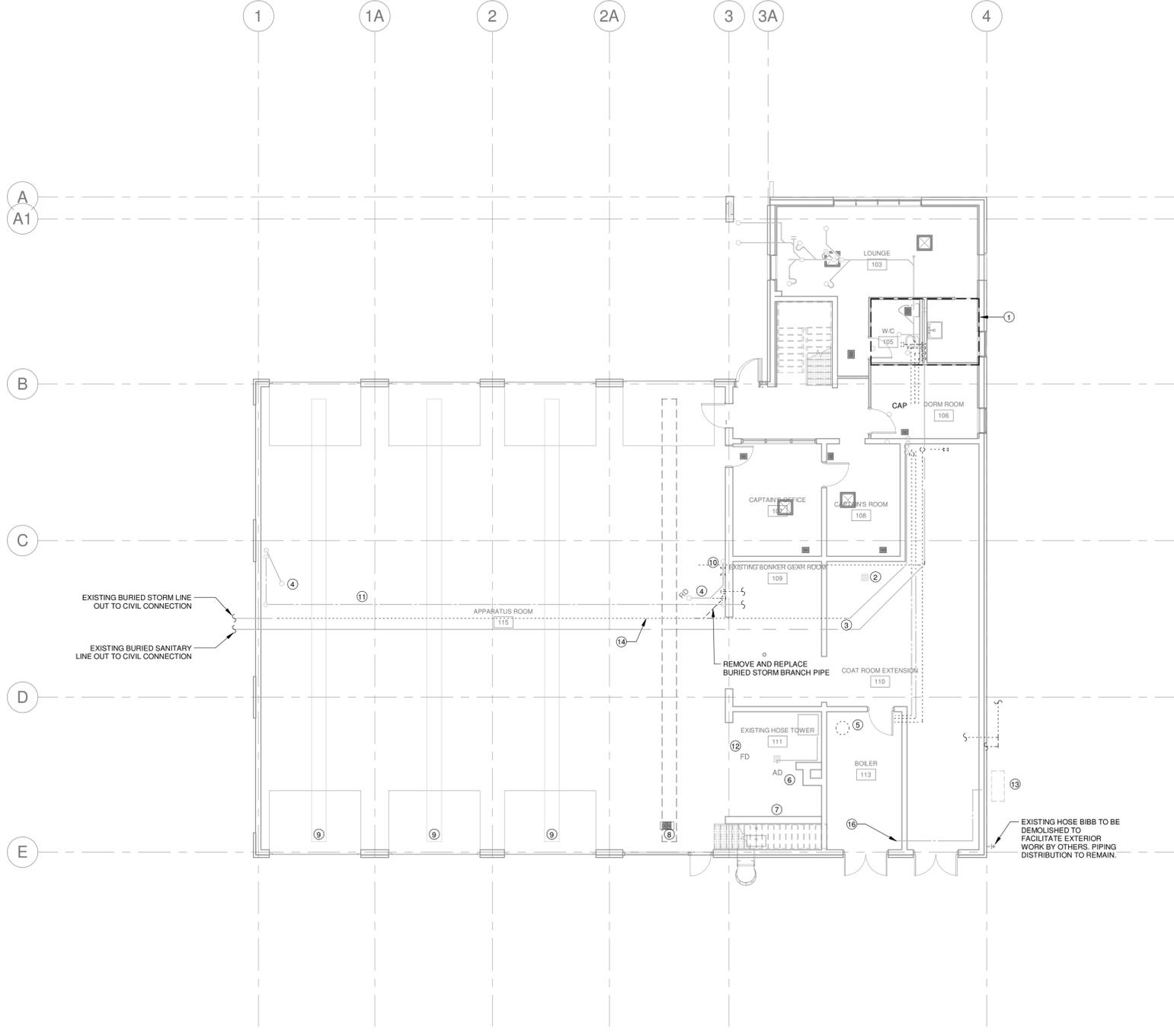


Project Name: FIRE STATION 7-1 RENOVATIONS  
 Project No.: 2021-0158  
 Section Name: Tender Form  
 Section No.: Division 23 - HVAC  
 Date: ~~November 4, 2024~~ August 21, 2024

Equipment	Manufacturer on which the Contract Documents are based	Acceptable Alternate Manufacturers	Further Alternative Manufacturers	Net Cost Difference
Cabinet Unit Heaters	<ul style="list-style-type: none"> <li>• Sigma</li> </ul>	<ul style="list-style-type: none"> <li>• Engineered Air</li> <li>• Trane</li> <li>• Rosemex</li> <li>• Dunham-Bush</li> <li>• Modine</li> <li>• Rittling</li> </ul>	_____	- \$ _____
Unit Heaters (Hot water)	<ul style="list-style-type: none"> <li>• Sigma</li> </ul>	<ul style="list-style-type: none"> <li>• Engineered Air</li> <li>• Trane</li> <li>• Rosemex</li> <li>• Dunham-Bush</li> <li>• Modine</li> <li>• Rittling</li> </ul>	_____	- \$ _____
Radiant Panel Heaters	<ul style="list-style-type: none"> <li>• Runtal</li> </ul>	<ul style="list-style-type: none"> <li>• Hudevad</li> </ul>	_____	- \$ _____
Gas-Fired Humidifiers	<ul style="list-style-type: none"> <li>• Dri-Steem</li> </ul>	<ul style="list-style-type: none"> <li>• Condair</li> <li>• Engineered Air</li> <li>• Armstrong International</li> </ul>	_____	- \$ _____
Packaged Outdoor HVAC Units	<ul style="list-style-type: none"> <li>• Daikin</li> </ul>	<ul style="list-style-type: none"> <li>• Lennox</li> <li>• Carrier</li> <li>• York</li> <li>• Trane</li> <li>• Rheem</li> <li>• <b>AAON</b></li> </ul>	_____	- \$ _____
Packaged Outdoor HVAC Units (Heating Only)	<ul style="list-style-type: none"> <li>• Modine</li> </ul>	<ul style="list-style-type: none"> <li>• Daikin</li> <li>• Lennox</li> <li>• Carrier</li> <li>• York</li> <li>• Trane</li> <li>• Rheem</li> <li>• Engineered Air</li> <li>• <b>AAON</b></li> <li>• <b>Captivaire</b></li> </ul>	_____	- \$ _____
Centrifugal Fans	<ul style="list-style-type: none"> <li>• Cook</li> </ul>	<ul style="list-style-type: none"> <li>• Greenheck</li> <li>• Twin City</li> </ul>	_____	- \$ _____
Air Circulator Fans	<ul style="list-style-type: none"> <li>• Cook</li> </ul>	<ul style="list-style-type: none"> <li>• Greenheck</li> <li>• Twin City</li> </ul>	_____	- \$ _____
Air Filters	<ul style="list-style-type: none"> <li>• American Air Filter</li> </ul>	<ul style="list-style-type: none"> <li>• Camfil</li> </ul>	_____	- \$ _____
Fire Dampers	<ul style="list-style-type: none"> <li>• Ruskin</li> </ul>	<ul style="list-style-type: none"> <li>• Nailor Ind</li> <li>• Price</li> <li>• Greenheck</li> <li>• Alumavent</li> </ul>	_____	- \$ _____

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. LOCATIONS OF ITEMS ARE APPROXIMATE AND ARE INTENDED TO BE USED FOR COORDINATION. EXACT LOCATIONS ARE DEPENDANT UPON SITE CONDITIONS. REVIEW ANY REVISIONS WITH CONSULTANT.
  - ALL PLUMBING WORK SHALL CONFORM TO THE LATEST EDITION OF ONTARIO BUILDING CODE AND TO THE REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND SIZING THE SANITARY VENT SERVICE FOR ALL FIXTURES IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. DRAWING ONLY SHOWS THE INTENT OF PIPE ROUTING.
  - PROVIDE WATER HAMMER ARRESTORS IN ACCORDANCE WITH PLUMBING AND DRAINAGE INSTITUTE STANDARD PDI-WH201 AND MANUFACTURER'S INSTRUCTIONS. WATER HAMMER ARRESTORS SHALL BE STAINLESS STEEL CONSTRUCTION WITH NESTING BELLOWS PRECHARGED WITH AIR - WADE SHOCKSTOP OR EQUAL.
  - PRIME AND VENT ALL FLOOR DRAINS AND HUB DRAINS.
  - CONTRACTOR TO CONFIRM LOCATION AND CLEARANCE OF BELOW GRADE PIPING AND PIPING IN CEILING SPACE OF FLOOR BELOW. CONTRACTOR SHALL INFORM CONSULTANT OF POSSIBLE INTERFERENCE.
  - CORING OR CUTTING OF MECHANICAL OPENINGS AND HOLES SHALL NOT CUT ANY REINFORCING BARS. THE CONTRACTOR SHALL LOCATE THE POSITION OF EXISTING REINFORCING BARS IN THE VICINITY OF THE HOLES AND SLEEVES SHALL BE LOCATED TO AVOID CUTTING OF REINFORCING BARS. WHERE THIS IS NOT POSSIBLE, IT SHALL BE REPORTED TO STRUCTURAL FOR REVIEW, PRIOR TO CORING.
  - REMOVAL AND REPLACEMENT OF THE CEILING TILES NOT BY DIVISION 22.
  - ITEMS NOT SHOWN TO BE REMOVED SHALL REMAIN

- DRAWING NOTES:**
- REMOVE EXISTING COUNTER SINK, WATERCLOSET, AND LAVATORY COMPLETE WITH ASSOCIATED DOMESTIC COLD AND HOT WATER PIPING. ALL PIPING SHALL BE REMOVED BACK TO MAIN AND CAPPED. ASSOCIATED SANITARY DRAIN AND SANITARY VENT PIPING SHALL BE REMOVED AS FAR BACK AS POSSIBLE TO THE MAIN BUILDING RISER AND CAPPED. INSULATION, HANGERS AND SUPPORT NOT BEING REUSED AS PART OF THIS CONTRACT SHALL BE REMOVED FROM SITE. ALLOW FOR TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB.
  - REMOVE EXISTING FLOOR DRAIN AND CAP PIPE. ALLOW FOR TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB.
  - REMOVE EXISTING WASHING MACHINE COMPLETE WITH ASSOCIATED DOMESTIC COLD AND HOT WATER PIPING. ALL PIPING SHALL BE REMOVED BACK TO MAIN AND CAPPED. ASSOCIATED SANITARY AND SANITARY VENT PIPING SHALL BE REMOVED AS FAR BACK AS POSSIBLE TO THE MAIN BUILDING RISER AND CAPPED. INSULATION, HANGERS AND SUPPORT NOT BEING REUSED AS PART OF THIS CONTRACT SHALL BE REMOVED FROM SITE. ALLOW FOR TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB.
  - EXISTING STORM DRAIN TO REMAIN. REMOVE AND REPLACE EXISTING ROOF DRAINS; CONNECT TO EXISTING MAINTAINED STORM DRAIN PIPING BELOW ROOF. NOTE THAT THIS SCOPE OF WORK IS EXCLUDED FROM THE BASE BID PRICE, TO BE PAID BY CASH ALLOWANCE UNDER SECTION 01 21 00 ALLOWANCES. (TYPICAL)
  - REMOVE EXISTING GAS PIPING TO DOMESTIC HOT WATER TANK AND BEHIND PUMP. REMOVE ANY HOT AND COLD WATER PIPING, INSULATION, HANGERS AND SUPPORTS NOT BEING REUSED AS PART OF THIS CONTRACT TO BE REMOVED FROM SITE.
  - REMOVE EXISTING MOP SINK COMPLETE WITH ASSOCIATED DOMESTIC COLD AND HOT WATER PIPING. ALL PIPING SHALL BE REMOVED BACK TO MAIN AND CAPPED. ASSOCIATED SANITARY DRAIN AND SANITARY VENT PIPING SHALL BE REMOVED AS FAR BACK AS POSSIBLE TO THE MAIN BUILDING RISER AND CAPPED. INSULATION, HANGERS AND SUPPORT NOT BEING REUSED AS PART OF THIS CONTRACT SHALL BE REMOVED FROM SITE. ALLOW FOR TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB.
  - EXISTING EMERGENCY EYE WASH AND SHOWER TO BE RELOCATED.
  - REMOVE EXISTING TRENCH DRAIN AND CAP SANITARY PIPE. ALLOW FOR TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB.
  - EXISTING STORM DRAIN TO REMAIN. (TYPICAL FOR 3) DRAINS TO BE CLEANED.
  - EXISTING FIRE TRUCK FILL LINE TO BE REMOVED.
  - EXISTING DCW LINE C/W BFP AND HOSE BIBBS TO REMAIN.
  - EXISTING FLOOR DRAIN TO REMAIN.
  - EXISTING GAS METER AND PRV. REMOVE ALL EXISTING GAS LINES FROM EQUIPMENT (RTU, BOILER, GENERATOR) BACK TO METER. EXISTING GAS METER AND PRV TO BE REMOVED AND NEW TO BE INSTALLED FOR NEW GAS LOAD. CONTRACTOR TO COORDINATE WITH ENBRIDGE. ADDITIONAL COSTS INCURRED FROM GAS UTILITY FOR UPGRADES WILL BE COVERED BY CASH ALLOWANCE UNDER SECTION 01 21 00.
  - REMOVE AND REPLACE EXISTING BLOCKED STORM MAIN BELOW SLAB. PRIOR TO CUTTING CONTRACTOR TO SCAN / X-RAY TO DETERMINE EXACT LOCATION AND ANY POTENTIAL OTHER BELOW SLAB SERVICES. BASE BID PRICE TO INCLUDE FOR THIS SCOPE OF WORK.
  - RESERVED.
  - EXISTING DCW TO CONNECT TO NEW DCW DISTRIBUTION.



**1 MAIN FLOOR**  
 MD101 1:100

No.	DATE	REMARK
12	2024/11/04	ISSUED FOR ADD-M03
11	2024/08/21	ISSUED FOR TENDER
10	2024/06/19	RE-ISSUED FOR CLASS A COSTING
9	2024/05/31	ISSUED FOR CLASS A COSTING
8	2024/04/22	RE-ISSUED FOR CLASS B COSTING
7	2024/03/15	ISSUED FOR CLASS B COSTING
6	2024/03/01	ISSUED FOR TENDER DRAFT
5	2023/11/28	ISSUED FOR TENDER PACKAGE 100% REVIEW SET
4	2023/09/01	ISSUED FOR PROGRESS
3	2023/04/17	ISSUED FOR CLASS A COSTING
2	2022/09/09	ISSUED FOR 60% CD
1	2022/07/12	ISSUED FOR 30% CD

**REVISION TABLE**

CONTRACTOR IS TO CHECK AND VERIFY ALL DIMENSIONS AND CONDITIONS ON THE PROJECT AND REPORT ANY DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. DRAWINGS ARE NOT TO BE SCALED.

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 E admin@ataarchitectsinc.com  
 www.ataarchitectsinc.ca



**PROJECT**  
 FIRE STATION 7-1  
 FACILITY RENEWAL  
 835 CLARK AVENUE WEST  
 THORNHILL, ONTARIO

**DRAWING**  
 GROUND FLOOR PLUMBING &  
 DRAINAGE DEMO

**DRAWN**  
 CAD

**SCALE**  
 1 : 100

**DATE**  
 JULY 2022

**CHECKED**  
 CKS

**PROJECT**  
 2021-01-58

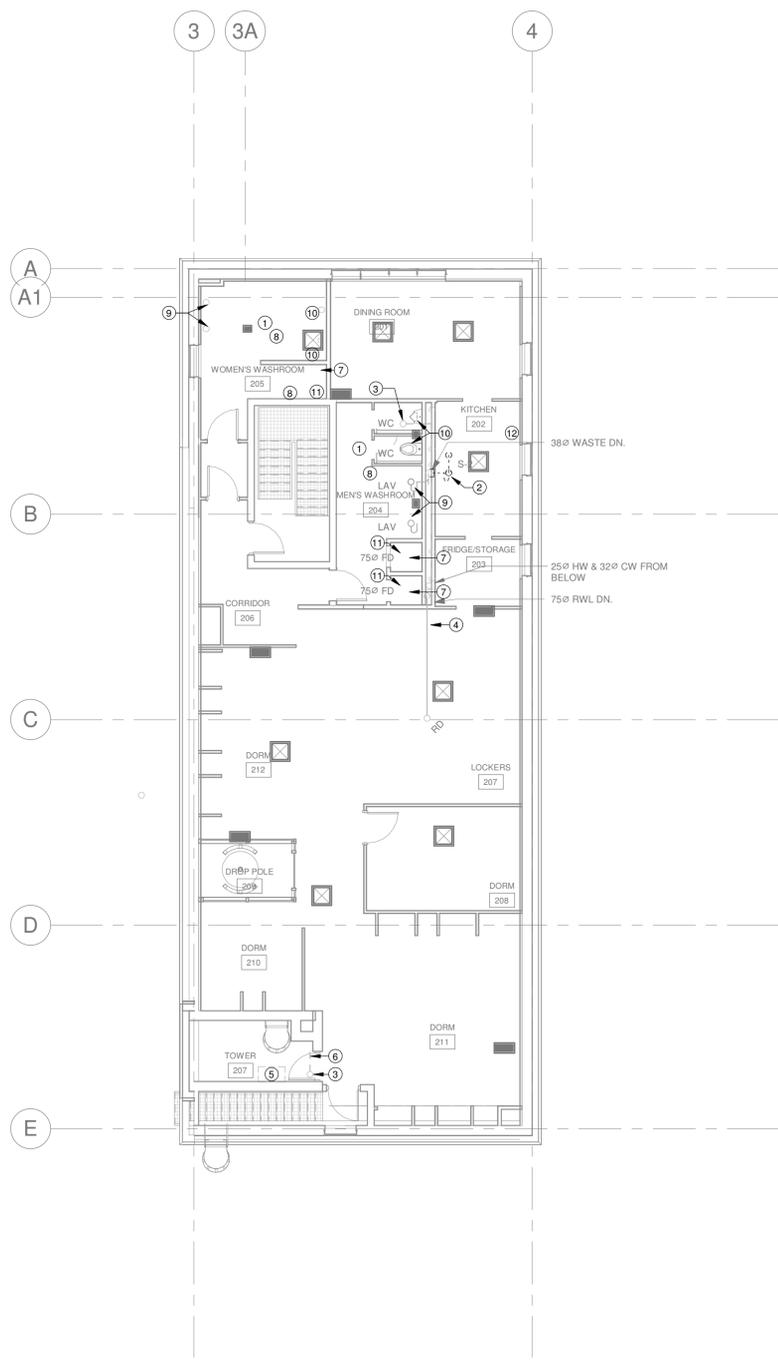
**DRAWING**

**MD101**



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  - PROVIDE WATER HAMMER ARRESTORS IN ACCORDANCE WITH PLUMBING AND DRAINAGE INSTITUTE STANDARD PDI-WH201 AND MANUFACTURER'S INSTRUCTIONS. WATER HAMMER ARRESTORS SHALL BE STAINLESS STEEL CONSTRUCTION WITH NESTING BELLOWS PRECHARGED WITH AIR - WADE SHOCKSTOP OR EQUAL.
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  - REMOVAL AND REPLACEMENT OF THE CEILING TILES NOT BY DIVISION 22.
  - ITEMS NOT SHOWN TO BE REMOVED SHALL REMAIN

- DRAWING NOTES:**
- EXISTING PLUMBING AND DRAINAGE LINES TO REMAIN.
  - REMOVE EXISTING COUNTER SINK COMPLETE WITH ASSOCIATED DOMESTIC COLD AND HOT WATER PIPING. ALL PIPING SHALL BE REMOVED BACK TO MAIN AND CAPPED. ASSOCIATED SANITARY AND SANITARY VENT PIPING SHALL BE REMOVED AS FAR BACK AS POSSIBLE TO THE MAIN BUILDING RISER AND CAPPED. INSULATION, HANGERS AND SUPPORT NOT BEING REUSED AS PART OF THIS CONTRACT SHALL BE REMOVED FROM SITE.
  - EXISTING 75Ø SANITARY VENT LINE UP THROUGH ROOF TO REMAIN. (TYPICAL EOP R 2)
  - EXISTING STORM DRAIN TO REMAIN. REMOVE AND REPLACE EXISTING ROOF DRAINS. CONNECT TO EXISTING MAINTAINED STORM DRAIN PIPING BELOW ROOF. NOTE THAT THIS SCOPE OF WORK IS EXCLUDED FROM THE BASE BID PRICE, TO BE PAID BY CASH ALLOWANCE UNDER SECTION 01 21 00 ALLOWANCES. (TYPICAL)
  - REMOVE EXISTING COUNTER SINK
  - 38Ø VENT FROM BELOW TO REMAIN.
  - EXISTING SHOWER DRAIN TO REMAIN. (TYPICAL)
  - EXISTING FLOOR DRAIN TO REMAIN. (TYPICAL)
  - REMOVE EXISTING LAVATORY. (TYPICAL)
  - REMOVE EXISTING WATER CLOSET. (TYPICAL)
  - REMOVE EXISTING SHOWER HEAD AND VALVE.
  - REMOVE EXISTING GAS PIPE SERVING THE KITCHEN STOVE FROM THE BUILDING.



**1 SECOND FLOOR**  
 MD102 1:100

No.	DATE	REMARK
12	2024/11/04	ISSUED FOR ADD-M03
11	2024/08/21	ISSUED FOR TENDER
10	2024/06/19	RE-ISSUED FOR CLASS A COSTING
9	2024/05/31	ISSUED FOR CLASS A COSTING
8	2024/04/22	RE-ISSUED FOR CLASS B COSTING
7	2024/03/15	ISSUED FOR CLASS B COSTING
6	2024/03/01	ISSUED FOR TENDER DRAFT
5	2023/11/28	ISSUED FOR TENDER PACKAGE 100% REVIEW SET
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3	2023/04/17	ISSUED FOR CLASS A COSTING
2	2022/09/09	ISSUED FOR 60% CD
1	2022/07/12	ISSUED FOR 30% CD

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**PROJECT**

**FIRE STATION 7-1 FACILITY RENEWAL**

**835 CLARK AVENUE WEST THORNHILL, ONTARIO**

**DRAWING**

**SECOND FLOOR PLUMBING & DRAINAGE DEMO**

**DRAWN**

CAD

**SCALE**

1 : 100

**DATE**

JULY 2022

**CHECKED**

CKS

**PROJECT**

2021-01-58

**DRAWING**

**MD102**

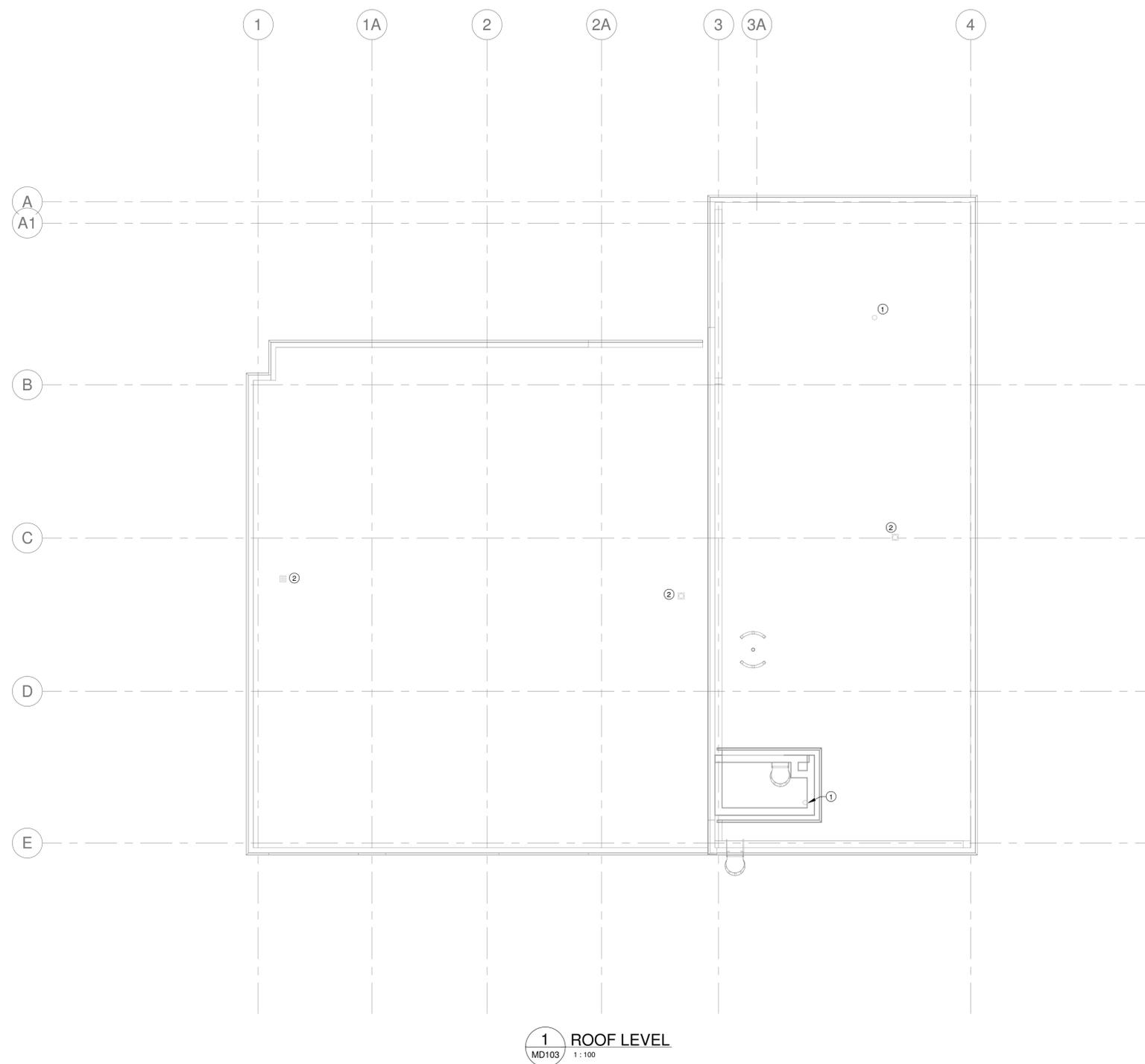


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**DRAWING NOTES:**

- EXISTING 50 SANITARY VENT LINE UP THROUGH ROOF TO REMAIN. (TYPICAL FOR 2)
- EXISTING MAINTAINED STORM DRAIN TO REMAIN. REMOVE AND REPLACE EXISTING ROOF DRAINS; CONNECT TO EXISTING MAINTAINED STORM DRAIN PIPING BELOW ROOF. NOTE THAT THIS SCOPE OF WORK IS EXCLUDED FROM THE BASE BID PRICE, TO BE PAID BY CASH ALLOWANCE UNDER SECTION 01 21 00 ALLOWANCES. (TYPICAL)



12	2024/11/04	ISSUED FOR ADD-MG3
11	2024/08/21	ISSUED FOR TENDER
10	2024/06/19	RE-ISSUED FOR CLASS A COSTING
9	2024/05/31	ISSUED FOR CLASS A COSTING
8	2024/04/22	RE-ISSUED FOR CLASS B COSTING
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No.	DATE	REMARK

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**PROJECT**  
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 THORNHILL, ONTARIO

**DRAWING**  
 ROOF PLUMBING & DRAINAGE  
 DEMO

**DRAWN**  
 CAD

**SCALE**  
 1 : 100

**DATE**  
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**CHECKED**  
 CKS

**PROJECT**  
 2021-01-58

**DRAWING**

**MD103**



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  - PROVIDE WATER HAMMER ARRESTORS IN ACCORDANCE WITH PLUMBING AND DRAINAGE INSTITUTE STANDARD PDI-WH201 AND MANUFACTURER'S INSTRUCTIONS. WATER HAMMER ARRESTORS SHALL BE STAINLESS STEEL CONSTRUCTION WITH NESTING BELLOWS PRECHARGED WITH AIR - WADE "SHOCKSTOP" OR EQUAL.
  - PRIME AND VENT ALL EXISTING AND NEW FLOOR DRAINS AND HUB DRAINS.
  - FLOOR DRAINS, HUB DRAINS AND FUNNEL FLOOR DRAINS IN MECHANICAL ROOMS SHALL BE 100°. ALL OTHER FLOOR DRAINS, HUB DRAINS, AND FUNNEL FLOOR DRAINS SHALL BE 75°.
  - CONTRACTOR TO CONFIRM LOCATION AND CLEARANCE OF BELOW GRADE PIPING. CONTRACTOR SHALL INFORM CONSULTANT OF POSSIBLE INTERFERENCE.
  - CORING OR CUTTING OF MECHANICAL OPENINGS AND HOLES SHALL NOT CUT ANY REINFORCING BARS. THE CONTRACTOR SHALL LOCATE THE POSITION OF EXISTING REINFORCING BARS IN THE VICINITY OF THE HOLES AND SLEEVES SHALL BE LOCATED TO AVOID CUTTING OF REINFORCING BARS. WHERE THIS IS NOT POSSIBLE, IT SHALL BE REPORTED TO STRUCTURAL FOR REVIEW, PRIOR TO CORING.
  - REMOVE AND REPLACE EXISTING SHUTOFF VALVES.

- DRAWING NOTES:**
- PROVIDE NEW DRAINS IN EXISTING FLOOR SLAB. ALLOW FOR X-RAY/SCANNING, TRENCHING, AND BACKFILL OF EXISTING FLOOR SLAB. (TYPICAL)
  - EXTEND SANITARY DRAIN TO CONNECT TO EXISTING SANITARY DRAINS IN FLOOR SLAB. ALLOW FOR X-RAY /SCANNING, TRENCHING, AND BACKFILL OF EXISTING FLOOR SLAB. (TYPICAL)
  - CAP EXISTING SANITARY LINES FROM REMOVED FIXTURES.
  - EXISTING FLOOR DRAIN TO REMAIN.
  - DCW, DHW AND DHWR LINES TRENCHED IN FLOOR SLAB UP TO KITCHEN ISLAND SINK.
  - PROVIDE 200 TEMPORARY DCW SERVICE ROUTED BELOW SLAB FROM DOWNSTREAM OF EXISTING METER TO MOBILE HOME TRAILER CONNECTION FOR THE COURSE OF CONSTRUCTION TO BE REMOVED AND CAPPED WITHIN MECHANICAL ROOM AFTER CONSTRUCTION COMPLETION. APPROXIMATE LOCATION SHOWN FOR REFERENCE. EXACT ROUTING TO BE DETERMINED ON SITE BY CONTRACTOR. COORDINATE ROUTING WITH ELECTRICAL TRADE TO AVOID CROSSOVER WITH TEMPORARY POWER SERVICE ROUTING.
  - PROVIDE 1000 TEMPORARY SANITARY DRAIN PIPE ROUTED BELOW SLAB FROM MOBILE HOME TRAILER CONNECTION TO MANHOLE FOR THE COURSE OF CONSTRUCTION. TO BE TERMINATED WITH CLEANOUT AFTER CONSTRUCTION COMPLETION AND TO REMAIN BELOW SLAB FOR FUTURE. APPROXIMATE LOCATION SHOWN FOR REFERENCE. EXACT ROUTING TO BE DETERMINED ON SITE BY CONTRACTOR.
  - APPROXIMATE LOCATION OF EXISTING MANHOLE SHOWN FOR REFERENCE.
  - REPLACE EXISTING BLOCKED STORM MAIN BELOW SLAB. BASE BID PRICE TO INCLUDE FOR THIS SCOPE OF WORK.

No.	DATE	REMARK
13	2024/11/04	ISSUED FOR ADD-M03
12	2024/08/21	ISSUED FOR TENDER
11	2024/06/19	RE-ISSUED FOR CLASS A COSTING
10	2024/06/05	ISSUED FOR PERMIT COMMENTS V
9	2024/05/31	ISSUED FOR CLASS A COSTING
8	2024/05/22	ISSUED FOR PERMIT COMMENTS IV
7	2024/04/22	RE-ISSUED FOR CLASS B COSTING
6	2024/03/15	ISSUED FOR CLASS B COSTING
5	2023/11/28	ISSUED FOR TENDER PACKAGE 100% REVIEW SET
4	2023/09/18	ISSUED FOR PERMIT
3	2023/09/01	ISSUED FOR PROGRESS
2	2023/04/17	ISSUED FOR CLASS A COSTING
1	2022/09/09	ISSUED FOR 60% CD

**REVISION TABLE**

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**SEALS**



**PROJECT**

**FIRE STATION 7-1  
 FACILITY RENEWAL**

**835 CLARK AVENUE WEST  
 THORNHILL, ONTARIO**

**DRAWING  
 BELOW GRADE PLUMBING &  
 DRAINAGE**

**DRAWN**

**SCALE**

**DATE**

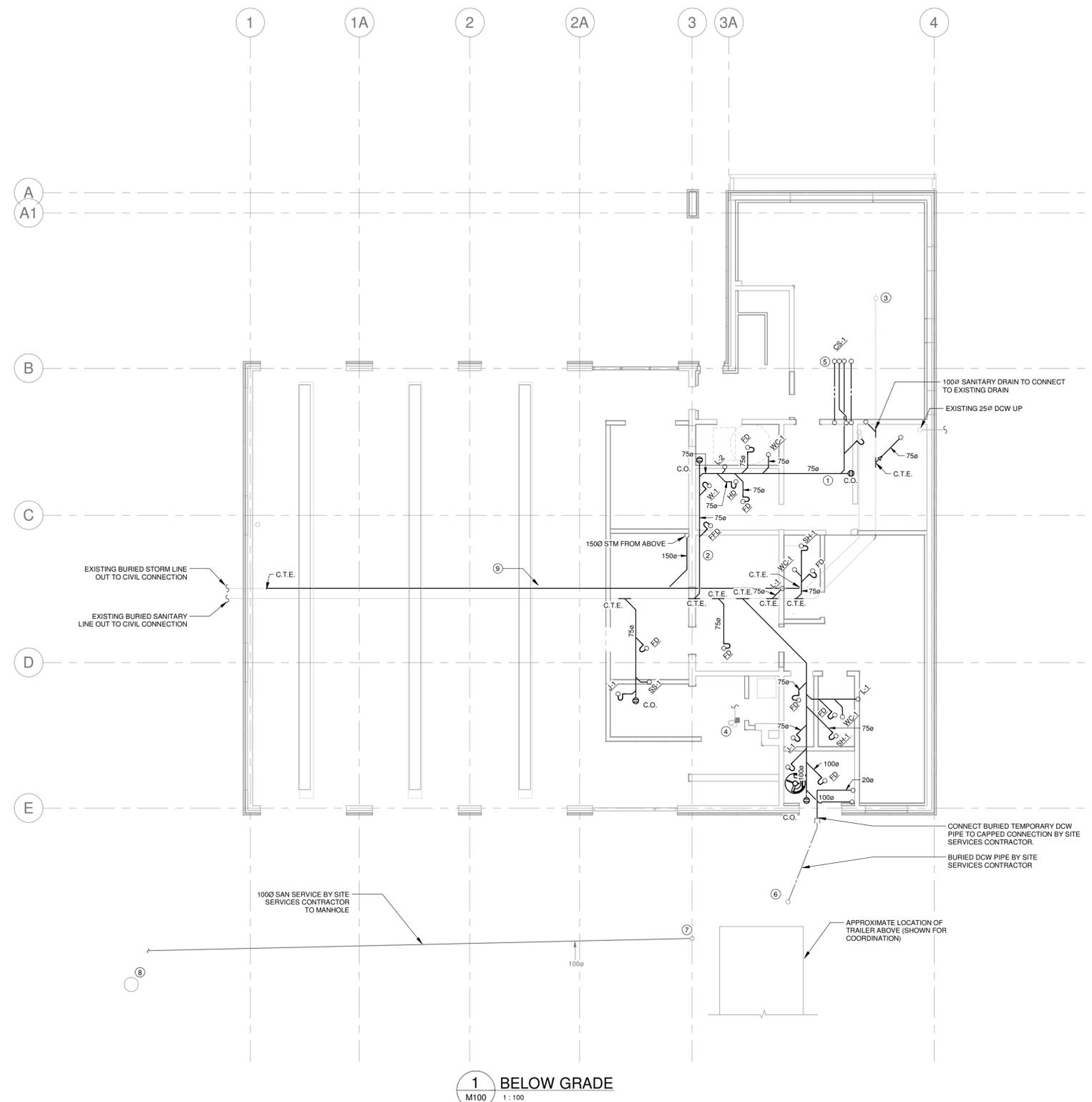
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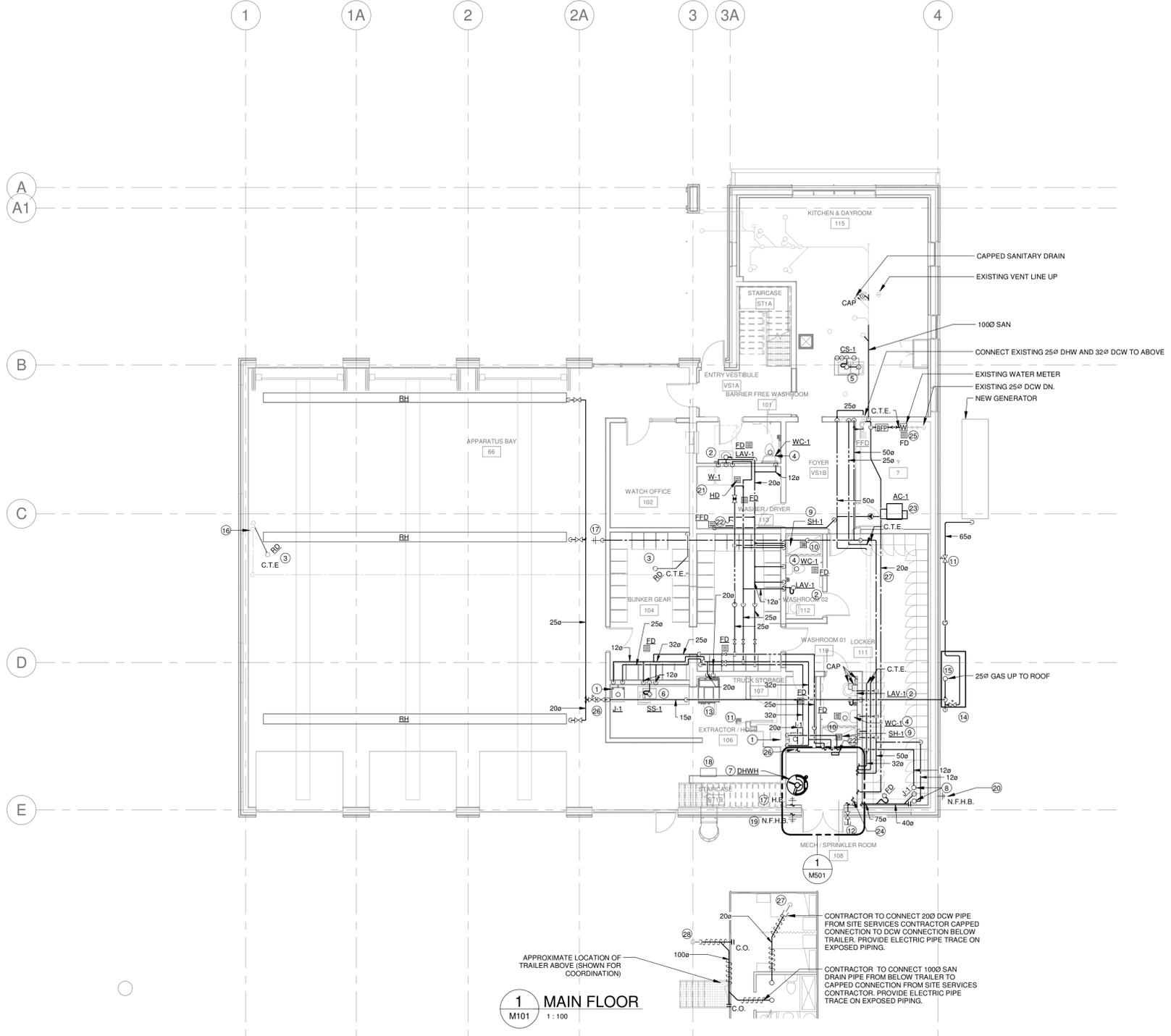
**PROJECT**

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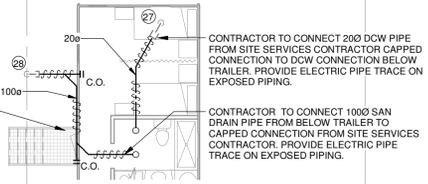
2021-01-58

**M100**





**1 MAIN FLOOR**  
 1:100



- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. LOCATIONS OF ITEMS ARE APPROXIMATE AND ARE INTENDED TO BE USED FOR COORDINATION. EXACT LOCATIONS ARE DEPENDANT UPON SITE CONDITIONS. REVIEW ANY REVISIONS WITH CONSULTANT.
  - ALL PLUMBING WORK SHALL CONFORM TO THE LATEST EDITION OF ONTARIO BUILDING CODE AND TO THE REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND SIZING THE SANITARY VENT SERVICE FOR ALL FIXTURES IN ACCORDANCE WITH THE ONTARIO BUILDING CODE.
  - PROVIDE WATER HAMMER ARRESTORS IN ACCORDANCE WITH PLUMBING AND DRAINAGE INSTITUTE STANDARD PDI-WH201 AND MANUFACTURER'S INSTRUCTIONS. WATER HAMMER ARRESTORS SHALL BE STAINLESS STEEL CONSTRUCTION WITH NESTING BELLOW'S PRECHARGED WITH AIR - WADE 'SHOCKSTOP' OR EQUAL.
  - PRIME AND VENT ALL EXISTING AND NEW FLOOR DRAINS AND HUB DRAINS C/W TRAP PRIMERS.
  - FLOOR DRAINS, HUB DRAINS AND FUNNEL FLOOR DRAINS IN MECHANICAL ROOMS SHALL BE 100Ø. ALL OTHER FLOOR DRAINS, HUB DRAINS, AND FUNNEL FLOOR DRAINS SHALL BE 75Ø.
  - CONTRACTOR TO CONFIRM LOCATION AND CLEARANCE OF BELOW GRADE PIPING AND PIPING IN CEILING SPACE OF FLOOR BELOW. CONTRACTOR SHALL INFORM CONSULTANT OF POSSIBLE INTERFERENCE.
  - PROVIDE CEILING ISOLATION VALVES FOR DOMESTIC WATER PIPE DROPS TO EACH FIXTURES.
  - PROVIDE VALVED AND CAPPED DRAINS AT ALL LOW POINTS IN ALL PIPING SYSTEM.
  - CORING OR CUTTING OF MECHANICAL OPENINGS AND HOLES SHALL NOT CUT ANY REINFORCING BARS. THE CONTRACTOR SHALL LOCATE THE POSITION OF EXISTING REINFORCING BARS IN THE VICINITY OF THE HOLES AND SLEEVES SHALL BE LOCATED TO AVOID CUTTING OF REINFORCING BARS. WHERE THIS IS NOT POSSIBLE, IT SHALL BE REPORTED TO STRUCTURAL FOR REVIEW, PRIOR TO CORING.
  - REMOVAL AND REPLACEMENT OF THE CEILING TILES NOT BY DIVISION 22.
  - PROVIDE BACKFLOW PREVENTERS IN ACCORDANCE WITH CAN/CSA-B64.10-11.
  - ALLOW FOR MODIFICATION OF EXISTING PIPES TO ACCOMMODATE NEW WALLS.
  - REMOVE AND REPLACE ALL EXISTING TO REMAIN ISOLATION VALVES.
  - ANY EXISTING TO REMAIN PIPING WITH INSULATION TO HAVE INSULATION REMOVED AND REPLACED WITH NEW INSULATION COMPLETE WITH PVC JACKETING.
  - CONTRACTOR SHALL FLUSH AND CLEAN ALL EXISTING STORM WATER PIPING TO BE RE-USED.

- DRAWING NOTES:**
- EXTEND 12Ø HOT AND COLD WATER LINE DOWN TO NEW 'J-1'. 32Ø VENT LINE UP FROM 'J-1' AND 40Ø SANITARY LINE DOWN FROM 'J-1'. ALLOW FOR X-RAY / SCANNING. (TYPICAL)
  - EXTEND 12Ø HOT AND COLD WATER LINE DOWN TO NEW 'LAV-1'. 32Ø VENT LINE UP FROM 'LAV-1' AND 40Ø SANITARY LINE DOWN FROM 'LAV-1'. ALLOW FOR X-RAY / SCANNING. TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB. (TYPICAL)
  - EXISTING STORM DRAIN TO REMAIN. REMOVE AND REPLACE EXISTING ROOF DRAINS; CONNECT TO EXISTING MAINTAINED STORM DRAIN PIPING BELOW ROOF. NOTE THAT THIS SCOPE OF WORK IS EXCLUDED FROM THE BASE BID PRICE. TO BE PAID BY CASH ALLOWANCE UNDER SECTION 01 21 00 ALLOWANCES. (TYPICAL)
  - EXTEND 12Ø COLD WATER LINE DOWN TO NEW 'WC-1'. 50Ø VENT LINE UP FROM 'WC-1' AND 75Ø SANITARY LINE DOWN FROM 'WC-1'. ALLOW FOR X-RAY / SCANNING. TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB. (TYPICAL)
  - EXTEND 12Ø HOT AND COLD WATER LINE UP TO NEW 'CS-1'. 32Ø VENT LINE DOWN FROM 'CS-1' AND 40Ø SANITARY LINE DOWN FROM 'CS-1'. PROVIDE NEW CHILLER / FILTER / FAUCET. NEW CHILLER TO BE INSTALLED WITHIN MILLWORK. PROVIDE DRIP PAN AND LEAK DETECTION SENSOR FOR NEW CHILLER. EXTEND 12Ø VALVED COLD WATER LINE TO FRIDGE. EXTEND 12Ø VALVED HOT WATER LINE FOR DISHWASHER CONNECTION. ALLOW FOR X-RAY / SCANNING. TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB.
  - EXTEND 12Ø HOT AND COLD WATER LINE DOWN TO 'SS-1' (SUPPLIED BY OWNER). 32Ø VENT LINE UP FROM 'SS-1' AND 40Ø SANITARY LINE DOWN FROM 'SS-1'. ALLOW FOR X-RAY / SCANNING. TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB.
  - PROVIDE NEW GAS-FIRED DOMESTIC HOT WATER HEATER AND DOMESTIC HOT WATER RECIRC. PUMP. EXTEND EXISTING COLD WATER MAIN TO NEW DHWH. RESERVE ADDITIONAL SPACE FOR FUTURE HOT WATER TANK.
  - EXTEND DCW AND DHW UP TO 'J-1' ABOVE.
  - EXTEND 12Ø COLD WATER LINE DOWN TO NEW 'SH-1'. VENT LINE UP FROM 'SH-1' AND 40Ø SANITARY LINE DOWN FROM 'SH-1'. ALLOW FOR X-RAY / SCANNING. TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB. (TYPICAL)
  - EXISTING FLOOR DRAIN TO REMAIN.
  - PROVIDE 65Ø GAS PIPE TO SERVE GENERATOR. ENSURE MINIMUM 3M PIPE LENGTH BETWEEN PRV AND GENERATOR. MINIMIZE ELBOWS BETWEEN PRV AND GENERATOR.
  - 20Ø VALVED AND CAPPED NATURAL GAS PIPE THROUGH WALL FOR BARBEQUE.
  - EXISTING UNIFORM WASHING MACHINE TO BE RELOCATED. PROVIDE 20Ø DCW AND 20Ø DHW AND 75Ø DRAIN TO MATCH EXISTING. WASHER SHALL BE IN OPERATION THROUGHOUT CONSTRUCTION. CONTRACTOR TO PROVIDE TEMPORARY SERVICES AS REQUIRED.
  - REMOVE AND REPLACE EXISTING GAS METER AND PRV. CONTRACTOR TO COORDINATE WITH GAS UTILITY. ADDITIONAL COSTS INCURRED FROM GAS UTILITY FOR UPGRADES WILL BE COVERED BY CASH ALLOWANCE UNDER SECTION 01 21 00. NEW 120Ø 2250 CONCRETE PAD TO BE POURED PRIOR TO INSTALLATION OF NEW GAS SERVICE STATION. (EXACT DIMENSIONS TO BE CONFIRMED WITH ENBRIDGE)
  - CONNECT NEW GAS LINE AT TRAILER AND EXTEND TO NEW GENERATOR. TO NEW INTERIOR HEATING EQUIPMENT, DHW HEATER, AND UP TO RTU-1 AND RTU-2 ON ROOF.
  - EXISTING HOSE BIB TO REMAIN. CONTRACTOR TO PROVIDE TEMPORARY DCW SERVICE TO EXISTING HOSE BIB. TO BE IN OPERATION THROUGHOUT CONSTRUCTION.
  - NEW HOSE BIB. (TYPICAL)
  - EXISTING EMERGENCY EYE WASH AND SHOWER STATION TO BE RELOCATED. EXTEND EXISTING CONNECTED SERVICES TO FACILITATE RELOCATION. TO BE IN OPERATION THROUGHOUT CONSTRUCTION. CONTRACTOR TO PROVIDE TEMPORARY MEASURES AS REQUIRED.
  - PROVIDE NON-FREEZE HOSE BIB.
  - PROVIDE NON-FREEZE HOSE BIB IN PLACE OF EXISTING. RE-CONNECT IRRIGATION SYSTEM TO HOSE BIB AT END OF CONSTRUCTION.
  - EXTEND 12Ø HOT AND COLD WATER LINES DOWN TO WASHING MACHINE, W-1. 50Ø VENT LINE UP FROM W-1 AND 50Ø SANITARY LINE DOWN FROM W-1. ALLOW FOR XRAY/SCANNING TRENCHING AND BACKFILL OF EXISTING FLOOR SLAB.
  - PROVIDE TRAP SEAL PRIMER C/W DCW LINES AS PER SPECIFICATIONS. COORDINATE FINAL LOCATION ON SITE. (TYPICAL)
  - PROVIDE FCU CONDENSATE LINE AND PUMP. ROUTE CONDENSATE LINE BACK TO CLOSEST JANITOR SINK OR LAVATORY STANDING WASTE. CONTRACTOR TO COORDINATE ELECTRICAL ROUTING TO ENSURE PUMP AND DRAIN ARE NOT LOCATED ABOVE ELECTRICAL EQUIPMENT (TYPICAL).
  - EXISTING DCW TO CONNECT TO NEW DCW DISTRIBUTION.
  - EXISTING 50Ø WATER METER TO REMAIN. CONNECT NEW PIPING DOWNSTREAM OF WATER METER.
  - NATURAL GAS MANUAL SHUT-OFF VALVE AND PRV IN READILY ACCESSIBLE LOCATION TO SERVE GAS-FIRED APPLIANCES.
  - PROVIDE 20Ø TEMPORARY DCW SERVICE FROM DOWNSTREAM OF EXISTING WATER METER ROUTED INSIDE BUILDING THEN OUTSIDE BELOW SLAB TO MOBILE HOME TRAILER CONNECTION FOR THE COURSE OF CONSTRUCTION. APPROXIMATE LOCATION SHOWN FOR REFERENCE. EXACT ROUTING TO BE DETERMINED ON SITE BY CONTRACTOR. THE TRAILER IS PROVIDED WITH ANTI-FREEZE WITHIN THE PLUMBING PIPING INTERNAL TO THE TRAILER. AFTER CONNECTING TEMPORARY PLUMBING SERVICE TO THE TRAILER, RUN DOMESTIC WATER THROUGH ALL FIXTURES FOR 20 MINUTES TO FLUSH-OUT SYSTEM TO BE READY FOR USE. PROVIDE WATER QUALITY TEST REPORT AFTER FLUSHING SYSTEM TO CONFIRM POTABLE WATER IS SUITABLE FOR HUMAN CONSUMPTION. AT THE TIME OF CONSTRUCTION FINISH WHEN THE TRAILER IS TO BE REMOVED, ALL PLUMBING LINES AND TANKS TO BE DRAINED, AND PLUMBING LINES BLOWN OUT. ANTI-FREEZE SOLUTION TO BE REINSTATED WITHIN TRAILER PRIOR TO REMOVAL FROM SITE. REFER TO TRAILER MANUFACTURER FOR ANTI-FREEZE REQUIREMENTS. AFTER REMOVAL OF TRAILER, ALL TEMPORARY SERVICES TO BE REMOVED AND CAPPED WITHIN MECHANICAL ROOM.
  - CONNECT 75Ø DRAIN CONNECTION AT TRAILER SPACE. PROVIDE 100Ø SANITARY DRAIN PIPE ROUTED BELOW SLAB FROM MOBILE HOME TRAILER CONNECTION TO MANHOLE FOR THE COURSE OF CONSTRUCTION. CONNECTION TO TRAILER TO BE REMOVED AND TERMINATED WITH CLEANOUT FLUSH WITH SLAB AFTER CONSTRUCTION COMPLETION. BURIED DRAINAGE PIPING TO REMAIN FOR FUTURE. APPROXIMATE LOCATION SHOWN FOR REFERENCE. EXACT ROUTING TO BE DETERMINED ON SITE BY CONTRACTOR.

No.	DATE	REVISION
17	2024/11/04	ISSUED FOR ADD-M03
16	2024/09/12	ISSUED FOR ADD-M01
15	2024/08/21	ISSUED FOR TENDER
14	2024/06/19	RE-ISSUED FOR CLASS A COSTING
13	2024/05/31	ISSUED FOR CLASS A COSTING
12	2024/05/22	ISSUED FOR PERMIT COMMENTS IV
11	2024/04/22	RE-ISSUED FOR CLASS B COSTING
10	2024/04/16	ISSUED FOR PERMIT COMMENTS III
9	2024/03/15	ISSUED FOR CLASS B COSTING
8	2024/03/05	ISSUED FOR PERMIT COMMENTS
7	2024/03/01	ISSUED FOR TENDER DRAFT
6	2023/11/28	ISSUED FOR TENDER PACKAGE 100% REVIEW SET
5	2023/09/18	ISSUED FOR PERMIT
4	2023/09/01	ISSUED FOR PROGRESS
3	2023/04/17	ISSUED FOR CLASS A COSTING
2	2022/09/09	ISSUED FOR 60% CD
1	2022/07/12	ISSUED FOR 30% CD
No.	DATE	REMARK

**REVISION TABLE**

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**PROJECT**  
 FIRE STATION 7-1  
 FACILITY RENEWAL

835 CLARK AVENUE WEST  
 THORNHILL, ONTARIO

**DRAWING**  
 GROUND FLOOR PLUMBING &  
 DRAINAGE

**DRAWN**  
 CAD

**SCALE**  
 1:100

**DATE**  
 JULY 2022

**CHECKED**  
 CKS

**PROJECT**  
 2021-01-58

**DRAWING**

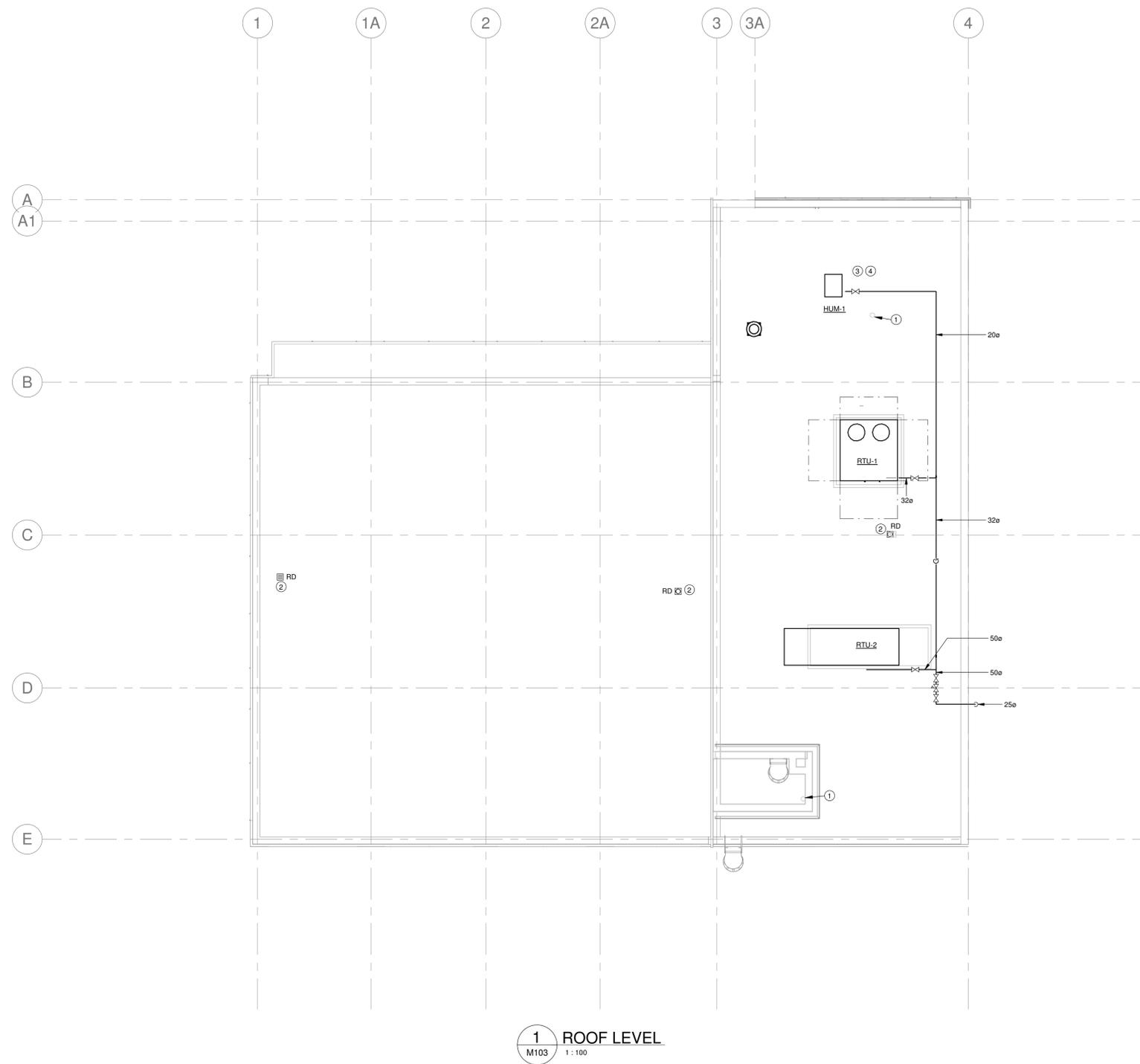
**M101**





- GENERAL NOTES:
- DO NOT SCALE DRAWINGS. LOCATIONS OF ITEMS ARE APPROXIMATE AND ARE INTENDED TO BE USED FOR COORDINATION. EXACT LOCATIONS ARE DEPENDANT UPON SITE CONDITIONS. REVIEW ANY REVISIONS WITH CONSULTANT.
  - ALL PLUMBING WORK SHALL CONFORM TO THE LATEST EDITION OF ONTARIO BUILDING CODE AND TO THE REQUIREMENTS OF LOCAL AUTHORITIES HAVING JURISDICTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND SIZING THE SANITARY VENT SERVICE FOR ALL FIXTURES IN ACCORDANCE WITH THE ONTARIO BUILDING CODE. DRAWING ONLY SHOWS THE INTENT OF PIPE ROUTING.
  - CONTRACTOR TO CONFIRM LOCATION AND CLEARANCE OF BELOW GRADE PIPING AND PIPING IN CEILING SPACE OF FLOOR BELOW. CONTRACTOR SHALL INFORM CONSULTANT OF POSSIBLE INTERFERENCE.
  - CORING OR CUTTING OF MECHANICAL OPENINGS AND HOLES SHALL NOT CUT ANY REINFORCING BARS. THE CONTRACTOR SHALL LOCATE THE POSITION OF EXISTING REINFORCING BARS IN THE VICINITY OF THE HOLES AND SLEEVES SHALL BE LOCATED TO AVOID CUTTING OF REINFORCING BARS. WHERE THIS IS NOT POSSIBLE, IT SHALL BE REPORTED TO STRUCTURAL FOR REVIEW, PRIOR TO CORING.
  - REMOVE AND REPLACE ALL EXISTING TO REMAIN ISOLATION VALVES.
  - CONTRACTOR SHALL FLUSH AND CLEAN ALL EXISTING STORM WATER PIPING TO BE RE-USED.

- DRAWING NOTES:
- EXISTING VENT PIPE FROM BELOW TO REMAIN (TYPICAL)
  - REMOVE AND REPLACE EXISTING ROOF DRAINS AS REQUIRED TO FACILITATE ROOF WATERPROOFING SCOPE BY OTHERS. CONNECT TO EXISTING STORM DRAIN PIPE BELOW ROOF. NOTE THAT THIS SCOPE OF WORK IS EXCLUDED FROM THE BASE BID PRICE, TO BE PAID BY CASH ALLOWANCE UNDER SECTION 01 21 00 ALLOWANCES. (TYPICAL)
  - PROVIDE 150 DOW TO HUMIDIFIER FROM BELOW WITHIN HUMIDIFIER CABINET
  - PROVIDE 200 CONDENSATE AND 250 HUMIDIFIER DRAIN FROM HUMIDIFIER TO BELOW WITHIN HUMIDIFIER CABINET. TO BE ROUTED TO HUB-DRAIN SUSPENDED ABOVE CEILING BELOW.



**1 ROOF LEVEL**  
 M103 1:100

No.	DATE	REMARK
14	2024/11/04	ISSUED FOR ADD-M03
13	2024/09/12	ISSUED FOR ADD-M01
12	2024/08/21	ISSUED FOR TENDER
11	2024/06/19	RE-ISSUED FOR CLASS A COSTING
10	2024/05/31	ISSUED FOR CLASS A COSTING
9	2024/04/22	RE-ISSUED FOR CLASS B COSTING
8	2024/03/15	ISSUED FOR CLASS B COSTING
7	2024/03/01	ISSUED FOR TENDER DRAFT
6	2023/11/28	ISSUED FOR TENDER PACKAGE 100% REVIEW SET
5	2023/09/18	ISSUED FOR PERMIT
4	2023/09/01	ISSUED FOR PROGRESS
3	2023/04/17	ISSUED FOR CLASS A COSTING
2	2022/09/09	ISSUED FOR 60% CD
1	2022/07/12	ISSUED FOR 30% CD

**REVISION TABLE**

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**PROJECT**

**FIRE STATION 7-1 FACILITY RENEWAL**  
 835 CLARK AVENUE WEST  
 THORNHILL, ONTARIO

**DRAWING**

ROOF PLUMBING & DRAINAGE

**DRAWN**

CAD

**SCALE**

1 : 100

**DATE**

JULY 2022

**CHECKED**

CKS

**PROJECT**

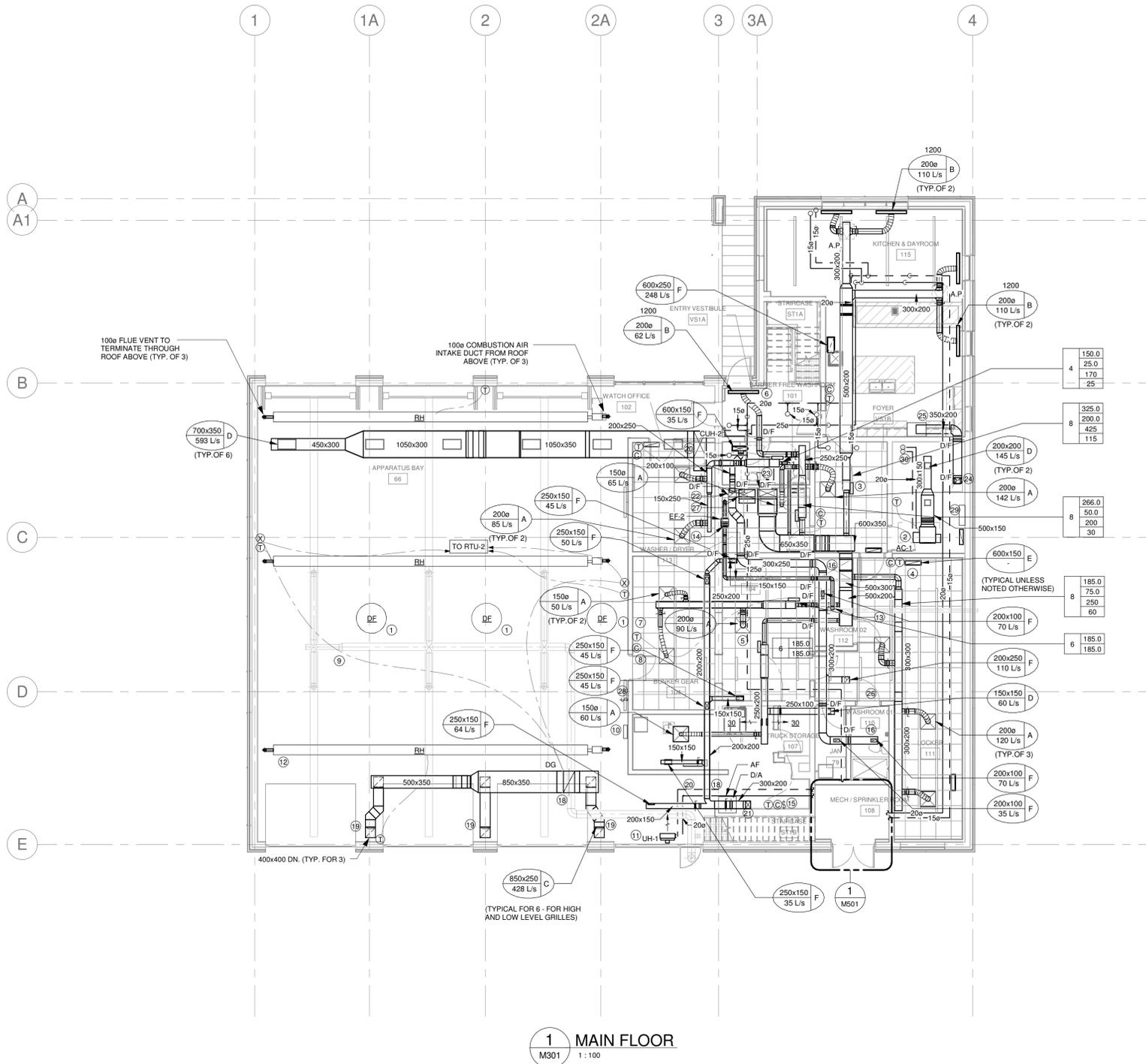
2021-01-58

**DRAWING**

M103

- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. LOCATIONS OF ITEMS ARE APPROXIMATE AND ARE INTENDED TO BE USED FOR COORDINATION. EXACT LOCATIONS ARE DEPENDANT UPON SITE CONDITIONS. REVIEW ANY REVISIONS WITH CONSULTANT.
  - ALL EXISTING EQUIPMENT TO REMAIN SHALL BE INSPECTED AND TESTED FOR PROPER OPERATION.
  - ANY OPEN ENDED DUCTWORK FOUND IN CEILING SPACE SHALL BE CAPPED UNLESS NOTED OTHERWISE.
  - REMOVAL AND REPLACEMENT OF THE CEILING TILES NOT BY DIVISION 23.
  - REMOVE AND REPLACE ALL EXISTING TO REMAIN ISOLATION VALVES.
  - ANY EXISTING TO REMAIN PIPING WITH INSULATION TO HAVE THE INSULATION REMOVED AND REPLACED WITH PVC JACKETING.
  - GENERAL KITCHEN NOTES:
    - SQUARE ELBOWS AND FITTINGS SHALL NOT BE ACCEPTED UNLESS CONFIRMED BY CONSULTANT.
    - CONTROLS CONTRACTOR TO PROVIDE CONDUIT TO CARRY ALL LOW VOLTAGE WIRING NECESSARY FOR A FUNCTIONAL SYSTEM.

- DRAWING NOTES:**
- PROVIDE NEW DE-STRATIFICATION FAN COMPLETE WITH GAGE. (TYPICAL FOR 3)
  - PROVIDE NEW SPLIT AC UNIT COMPLETE WITH WATER TIGHT DRIP PAN, ASSOCIATED CONTROLS, SUPPLY AND RETURN REFRIGERANT LINES AND ACCESSORIES, DUCTWORK, HANGERS, SUPPORTS AND CONDENSATE PUMP. CONTRACTOR TO INSTALL NECESSARY FILTERS AT COMPLETION OF MECHANICAL WORK.
  - PROVIDE NEW VAV BOX COMPLETE WITH ALL HANGERS, SUPPORT DUCTWORK AND CONTROLS REQUIRED FOR A COMPLETE AND FUNCTIONAL SYSTEM. PROVIDE TRANSITION DUCTS AS REQUIRED. (TYPICAL)
  - PROVIDE 600x150 TYPE 'E' RETURN AIR GRILLES TYPICAL UNLESS NOTED OTHERWISE. (TYPICAL)
  - PROVIDE SQUARE PLAQUE DIFFUSER. (TYPICAL)
  - PROVIDE LINEAR DIFFUSER. (TYPICAL)
  - CONTROLS CONTRACTOR TO PROVIDE NEW TEMPERATURE SENSOR FOR NEW VAV BOXES. ALLOW FOR INTEGRATION OF NEW CONTROLS TO NEW BUILDING AUTOMATION SYSTEM. TEMPERATURE SENSORS ARE LOCATED TO AID IN PRICING ONLY AND ALL REQUIRED SENSORS MAY NOT BE SHOWN. COORDINATED FINAL LOCATION WITH INTERIOR DESIGNER WITHIN 1000mm OF LOCATION SHOWN. ALL RELOCATIONS OUTSIDE OF THE RANGE SHALL BE REVIEWED WITH THE CONSULTANT. TEMPERATURE SENSORS SHALL BE NOMINALLY 1200mm ABOVE THE FINISHED FLOOR UNLESS INDICATED OTHERWISE. (TYPICAL)
  - CONTROLS CONTRACTOR TO PROVIDE CARBON DIOXIDE SENSORS FOR NEW RTU-1. ALLOW FOR INTEGRATION OF NEW CONTROLS TO NEW BUILDING AUTOMATION SYSTEM. CARBON DIOXIDE SENSORS ARE LOCATED TO AID IN PRICING ONLY AND ALL REQUIRED SENSORS MAY NOT BE SHOWN. COORDINATED FINAL LOCATION WITH INTERIOR DESIGNER WITHIN 1000mm OF LOCATION SHOWN. ALL RELOCATIONS OUTSIDE OF THE RANGE SHALL BE REVIEWED WITH THE CONSULTANT. CARBON DIOXIDE SENSORS SHALL BE NOMINALLY 1200mm ABOVE THE FINISHED FLOOR UNLESS INDICATED OTHERWISE. (TYPICAL)
  - EXISTING APPARATUS BAY EXHAUST SYSTEM TO REMAIN. REPLACE EXISTING FLEXIBLE DUCTS CONNECTION FROM MAIN DISTRIBUTION TO FIRE TRUCK EXHAUST. MATCH EXISTING. NOTE THAT THIS SCOPE OF WORK IS EXCLUDED FROM THE BASE BID PRICE. TO BE PAID BY CASH ALLOWANCE UNDER SECTION 01 21 00 ALLOWANCES.
  - DELETE NEEDLEMAN EF CONTROL PANEL AND WED TO NEW WALL REVERSE FLOW BALANCE TO NEW LE.
  - PROVIDE HYDRONIC UNIT HEATER. (TYPICAL)
  - PROVIDE GAS-FIRED RADIANT HEATER. (TYPICAL FOR 3)
  - EXISTING DRYER EXHAUST DUCT TO REMAIN. DISCONNECT FROM EXISTING DRYER. CONNECT NEW DUCTWORK TO EXISTING DUCTWORK AND EXTEND TO NEW DRYER LOCATION.
  - PROVIDE DRYER EXHAUST FAN EE-2 COMPLETE WITH LINT TRAP..
  - HOSE TOWER SWITCH FOR HIGH/LOW FAN SPEED..
  - NEW SHOWER EXHAUST AIR GRILLE AND DUCTWORK BRANCH SHALL BE ALUMINUM.
  - PROVIDE AND INSTALL NEW ACOUSTICALLY LINED TRANSFER AIR DUCT. FINAL LOCATION AND QUANTITY OF TRANSFER AIR DUCTS TO SUIT CONDITIONS. (TYPICAL)
  - 300x200 APPARATUS BAY EXHAUST AIR DUCT UP TO EE-4 ON ROOF.
  - LOW AND HIGH LEVEL APPARATUS BAY EXHAUST AIR GRILLES. REFER TO DETAIL 7 ON DRAWING M-902. (TYPICAL)
  - 700x400 SUPPLY AIR DUCT FROM RTU-2 ON ROOF.
  - 300x200 EXHAUST DUCT UP TO TOP OF HOSE TOWER.
  - 350x350 SANITARY EXHAUST DUCT UP TO FLOOR ABOVE.
  - 750x300 SUPPLY AIR DUCT FROM FLOOR ABOVE.
  - 250x250 KITCHEN EXHAUST UP TO EE-3 ON ROOF.
  - CONNECT 250x250 KITCHEN EXHAUST DUCT TO RESIDENTIAL STYLE KITCHEN EXHAUST HOOD (BY OTHERS) ABOVE ELECTRIC STOVE.
  - UNDERCUT DOOR BY 12mm FOR TRANSFER AIR. NOT BY DIVISION 23. (TYPICAL)
  - 650x300 RETURN AIR DUCT UP TO FLOOR ABOVE. BALANCE RETURN AIR DAMPER TO 1035 L/S.
  - SWITCH FOR DESTRATIFICATION FANS DE ON WALL.
  - PROVIDE BAS PANEL(S) AS PER SPECIFICATIONS. ALL PANELS TO BE LOCATED IN ELECTRICAL ROOM. LOCATIONS TO BE COORDINATED WITH ELECTRICAL CONTRACTOR.
  - REFRIGERANT LINES UP.



No.	DATE	REMARK
14	2024/11/04	ISSUED FOR ADD-M03
13	2024/08/21	ISSUED FOR TENDER
12	2024/06/19	RE-ISSUED FOR CLASS A COSTING
11	2024/05/31	ISSUED FOR CLASS A COSTING
10	2024/04/22	RE-ISSUED FOR CLASS B COSTING
9	2024/03/15	ISSUED FOR CLASS B COSTING
8	2024/03/01	ISSUED FOR TENDER DRAFT
7	2024/01/23	ISSUED FOR PERMIT COMMENTS
6	2023/11/28	ISSUED FOR TENDER PACKAGE 100% REVIEW SET
5	2023/09/18	ISSUED FOR PERMIT
4	2023/09/01	ISSUED FOR PROGRESS
3	2023/04/17	ISSUED FOR CLASS A COSTING
2	2022/09/09	ISSUED FOR 60% CD
1	2022/07/12	ISSUED FOR 30% CD

**REVISION TABLE**

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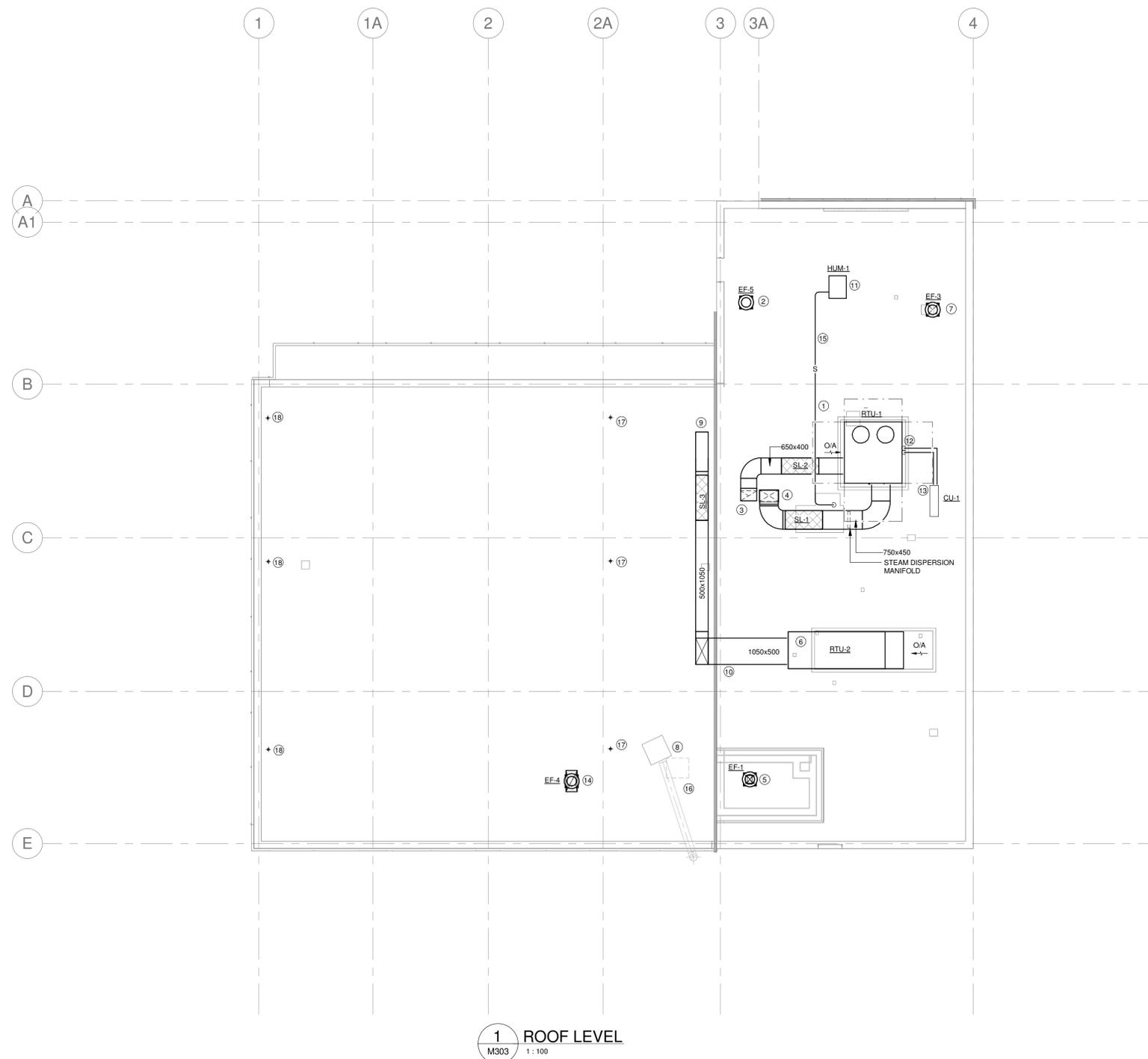


PROJECT	
FIRE STATION 7-1 FACILITY RENEWAL	
835 CLARK AVENUE WEST THORNHILL, ONTARIO	
DRAWING	
GROUND FLOOR HVAC	
DRAWN	
CAD	
SCALE	
1 : 100	
DATE	
JULY 2022	
CHECKED	
CKS	
PROJECT	
2021-01-58	
DRAWING	
M301	



- GENERAL NOTES:**
- DO NOT SCALE DRAWINGS. LOCATIONS OF ITEMS ARE APPROXIMATE AND ARE INTENDED TO BE USED FOR COORDINATION. EXACT LOCATIONS ARE DEPENDANT UPON SITE CONDITIONS. REVIEW ANY REVISIONS WITH CONSULTANT.
  - ALL EXISTING EQUIPMENT TO REMAIN SHALL BE INSPECTED AND TESTED FOR PROPER OPERATION.
  - REMOVE AND REPLACE ALL EXISTING TO REMAIN ISOLATION VALVES.

- DRAWING NOTES:**
- PROVIDE ROOFTOP UNIT RTU-1, COMPLETE WITH ALL DUCTWORK, HANGERS, ISOLATORS, ROOF CURB AND CONTROLS.
  - PROVIDE SANITARY EXHAUST FAN EF-5, COMPLETE WITH ALL DUCTWORK, HANGERS, ISOLATORS, ROOF CURB, AND CONTROLS TO SERVE WASHROOM AND JANITOR ROOMS ON FLOORS BELOW.
  - EXTEND RETURN AIR DUCTWORK FROM RTU-1 DOWN TO FLOOR BELOW.
  - EXTEND SUPPLY AIR DUCTWORK FROM RTU-1 TO VAVS ON FLOORS BELOW.
  - PROVIDE HOSE TOWER EXHAUST FAN EF-1, COMPLETE WITH ALL DUCTWORK, HANGERS, ISOLATORS, ISOLATORS, ROOF CURB, AND CONTROLS.
  - PROVIDE APPARATUS BAY ROOFTOP UNIT, RTU-2, COMPLETE WITH ALL DUCTWORK, HANGERS, ISOLATORS, ROOF CURB, AND CONTROLS.
  - PROVIDE KITCHEN EXHAUST FAN, EF-3, COMPLETE WITH ALL DUCTWORK, HANGERS, ISOLATORS, ROOF CURB, AND CONTROLS.
  - EXISTING APPARATUS BAY NEDERMAN EXHAUST FAN AND SYSTEM TO REMAIN. RE-CALIBRATE AT END OF CONSTRUCTION.
  - EXTEND OUTDOOR AIR DUCTWORK FROM RTU-2 DOWN TO APPARATUS BAY.
  - OFFSET SUPPLY AIR DUCT FROM RTU-2 DOWN TO LOWER ROOF.
  - INSTALL NEW HUMIDIFIER SUCH THAT FLUE EXHAUST IS MINIMUM 5M AWAY FROM OUTDOOR AIR INTAKES AT RTU-1 AND RTU-2.
  - REFRIGERANT LINES DOWN THROUGH ROOF.
  - PROVIDE NEW CONDENSING UNIT, CU-1, COMPLETE WITH SNOW STAND. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
  - NEW EXHAUST FAN EF-4 ON ROOF SERVING APPARATUS BAY.
  - ROUTE STEAM PIPING FROM HUMIDIFIER STEAM GENERATOR TO HUMIDIFIER DISPERSION MANIFOLD. INSTALL WITH SLOPE AS PER MANUFACTURER'S INSTALLATION INSTRUCTIONS. PROVIDE ALL NECESSARY SUPPORTS ON ROOF.
  - RE-SEAL EXISTING EXHAUST DUCTWORK THAT IS DAMAGED. NOTE THAT THIS SCOPE OF WORK IS EXCLUDED FROM THE BASE BID PRICE. TO BE PAID BY CASH ALLOWANCE UNDER SECTION 01 21 00 ALLOWANCES.
  - 1000 COMBUSTION AIR INLETS DUCT FOR GAS-FIRED INFRARED HEATERS IN APPARATUS BAY. IN-ROOF DUCT SHALL TERMINATE WITH GOOSENECK.
  - 1000 FLUE VENT FROM GAS-FIRED INFRARED HEATERS IN APPARATUS BAY. EXHAUST DUCT SHALL TERMINATE WITH GOOSENECK.



**1 ROOF LEVEL**  
 M303 1:100

No.	DATE	REMARK
14	2024/11/04	ISSUED FOR ADD-M03
13	2024/09/12	ISSUED FOR ADD-M01
12	2024/08/21	ISSUED FOR TENDER
11	2024/06/19	RE-ISSUED FOR CLASS A COSTING
10	2024/05/31	ISSUED FOR CLASS A COSTING
9	2024/04/22	RE-ISSUED FOR CLASS B COSTING
8	2024/03/15	ISSUED FOR CLASS B COSTING
7	2024/03/01	ISSUED FOR TENDER DRAFT
6	2023/11/28	ISSUED FOR TENDER PACKAGE 100% REVIEW SET
5	2023/09/18	ISSUED FOR PERMIT
4	2023/09/01	ISSUED FOR PROGRESS
3	2023/04/17	ISSUED FOR CLASS A COSTING
2	2022/09/09	ISSUED FOR 60% CD
1	2022/07/12	ISSUED FOR 30% CD

**REVISION TABLE**

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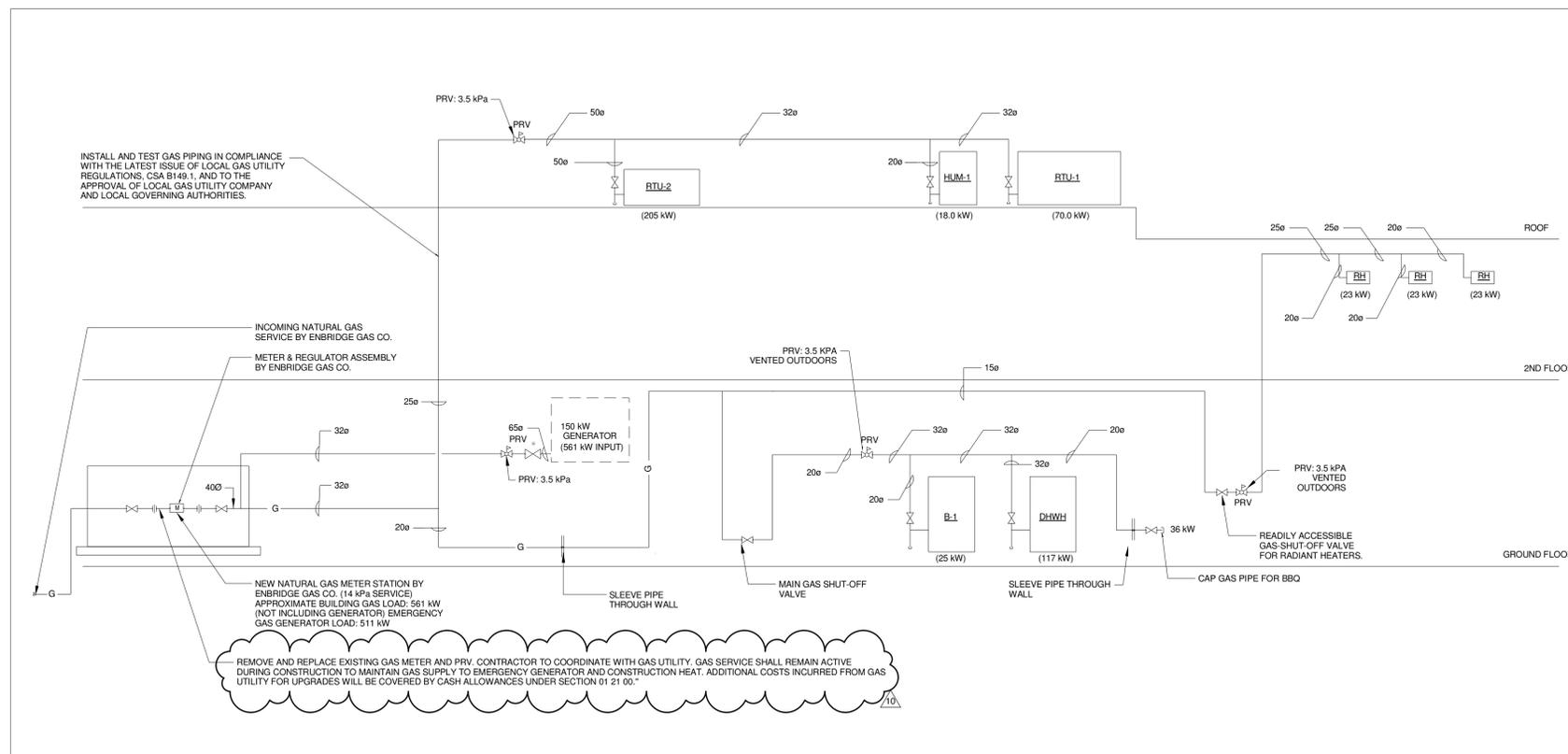
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PROJECT	ROOF HVAC
<b>FIRE STATION 7-1 FACILITY RENEWAL</b>	
<b>835 CLARK AVENUE WEST THORNHILL, ONTARIO</b>	
<b>DRAWING</b>	
<b>DRAWN</b>	CAD
<b>SCALE</b>	1 : 100
<b>DATE</b>	JULY 2022
<b>CHECKED</b>	CKS
<b>PROJECT</b>	2021-01-58
<b>DRAWING</b>	

**M303**



1 GAS SCHEMATIC  
 M602 N.T.S.

No.	DATE	REMARK
10	2024/11/04	ISSUED FOR ADD-M3
9	2024/08/21	ISSUED FOR TENDER
8	2024/06/19	RE-ISSUED FOR CLASS A COSTING
7	2024/05/31	ISSUED FOR CLASS A COSTING
6	2024/04/22	RE-ISSUED FOR CLASS B COSTING
5	2024/03/15	ISSUED FOR CLASS B COSTING
4	2024/03/01	ISSUED FOR TENDER DRAFT
3	2023/11/28	ISSUED FOR TENDER PACKAGE 100% REVIEW SET
2	2023/09/18	ISSUED FOR PERMIT
1	2023/09/01	ISSUED FOR PROGRESS

**REVISION TABLE**

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**PROJECT**  
 FIRE STATION 7-1  
 FACILITY RENEWAL  
 835 CLARK AVENUE WEST  
 THORNHILL, ONTARIO

**DRAWING**  
 SCHEMATICS II

**DRAWN**  
 CAD

**SCALE**  
 1 : 100

**DATE**  
 JULY 2022

**CHECKED**  
 CKS

**PROJECT**  
 2021-01-58

**DRAWING**

**M602**