



Addendum

Project: West Toronto Community Health Services
Community Health Centre

Contract No.: 10355669

Bid Number: N/A

Addendum No.: 03

Date Issued: Thursday, October 17, 2024

No. of Pages: 122 pages (Including Cover)

The following Addendum shall be read in conjunction with and become part and parcel of the tendering documents and shall supersede the drawings and or specifications where applicable. Upon receipt to same, staple this Addendum directly to the inside front cover of the specifications. The Contractor shall bring this Addendum to the attention of all subcontractors, trades and suppliers.

1. The following documentation is issued under this Addendum.

- | | | |
|-----|---|----------|
| 1.1 | HDR Architectural Addendum A03, issued 2024.10.17 | 38 Pages |
| 1.2 | WSP Mechanical Addendum M02, issued 2024.10.17 | 55 Pages |
| 1.3 | WSP Electrical Addendum E02, issued 2024.10.17 | 28 Pages |

End of Addendum

The following Addendum shall be read in conjunction with and become part and parcel of the tendering documents and shall supersede the drawings and or specifications where applicable. Upon receipt to same, staple this Addendum directly to the inside front cover of the specifications. The Contractor shall bring this Addendum to the attention of all subcontractors, trades and suppliers.

Architectural Addendum No. A03

1. General Clarifications

1.1. Question:

Is the interior glazing elevations on 1 and 2 A-500 supposed to be HM or aluminum fire rated framing. Huge difference in price and the spec. does not have in it. Although the door schedule calls it aluminum.

Answer:

Drawing A-500 – Details 1 and 2 - INTERIOR 1HR RATED GLAZING ELEVATION are hollow metal assemblies. Refer to Drawings A-500 INTERIOR GLAZING PARTITIONS and A-600 DOOR SCHEDULE reissued herewith, dated 2024.10.17.

1.2. Question:

The specification indicates the wall base as an integral cove base Aluminum or not corrosive metals suitable. Does the wall base have to be a metal backer or can we price the site-fabricated cove base which doesn't have an aluminum backer?

Answer:

REVISE Specification SECTION 09 65 15 SHEET VINYL FLOORING (SV) – 2.2 MATERIALS as follows:

E. Integrally Covered Base – Item 3. Include Cove fillet, All integral Cove base at sheet flooring to have rubber fillet backer.

1.3. Question:

The specification shows wet areas require a 9" high wall base. Please advise if it applies in all the washrooms only or at any additional areas as well where we need to consider a 9" high wall base.

Answer:

The high wall base is to be included in all Washrooms, Soiled Utility, Laundry, Housekeeping and Waste Holding areas.

1.4. Question:

For static dissipative flooring, specification states Tarkett as optional but no specific product name available. Please advise if any specific Tarkett product can be priced as an approved alternative for this part of the spec.

Answer:

Products to meet specification and performance requirements as indicated in SECTION 09 65 36 STATIC DISSIPATIVE RESILIENT FLOORING (SDF).

1.5. Question:

For Section 09 72 16 Vinyl Wallcovering, only Koroseal is specified. Please advise if Altro Whiterock is acceptable.

Answer:

Koroseal and Altro Whiterock are two different finish materials with different project applications. Koroseal is a vinyl wall covering whereas Altro Whiterock is a rigid sheet wall protection. Refer to the Contract Documents for locations of each product.

1.6. Question:

Regarding Painting:

- *Do any GB ceilings need to get epoxy painted? If so, please confirm which ones should be applied to. Refer to the RCP and corresponding legend for ceilings requiring epoxy paint as indicated by ceiling tag "GWB2".*
- *Do any exposed ceilings/mech/elec etc need to be painted? If so, please confirm which ones should be applied to. Exposed ceilings are limited to building service spaces and do not require a paint finish.*
- *Do any doors/frames need to be epoxy painted? If so, please confirm which ones should be applied to. Refer to specification for door and frame paint.*
- *In stairwells, are there any wall/ceiling or stairs/railing finishes required? If so, what and would it be paint or epoxy? All metal in stairwells such as handrail, guardrail, balusters, etc. to be painted epoxy paint colour Sherwin Williams Black Fox.*
- *There are some rooms that do not show ceiling heights. Please indicate on drawings. Is there a standard height where it is not shown? As per note #1 on RCP, all ceilings are 2350 mm above finished floor unless otherwise indicated.*
- *Do exterior stair and ramp guardrails get painted or epoxy? Exterior guardrails and handrails to receive epoxy finish.*

Answer:

Refer to responses above.

1.7. Question:

The exterior aluminum entrances on the door schedule are called for to be 1 hr fire rated. The specified Alumicor is not fire rated. Please advise.

Answer:

Refer to the Answer to Question 1.1 above.

1.8. Question:

Please advise what finish EXP1 is.

Answer:

Refer to the Answer to Question 1.14 below.

1.9. Question:

The toilet accessories schedule shows (2) different types of waste receptacle with the "WR1" tag. Which should we follow?

Answer:

Use Specification SECTION 10 28 13 - 2.3 TOILET ACCESSORIES - Item Q Waste Receptacle (Semi Recessed). DELETE reference to Item I Waste Receptacle (Recessed). Not reissued herewith.

1.10. Question:

It's specified that we have to provide (1) of each accessory in addition to quantities on the drawings. Does this include the adult size change table?

Answer:

One adult sized change table is required.

1.11. Question:

As per the FF&E list contractors are to supply and install the TV's. There doesn't seem to be a spec for TV01 & TV02. Please advise.

Answer:

Televisions to be provided by client and installed by contractor.

1.12. Question:

With the acceptance period at 90 days is it possible to give bidders a start date? If not, can a duration in weeks to scheduled takeover and total completion be provided rather than the actual dates that are mentioned in the instructions to bidders 1.3 Intent-A for these milestones?

Answer:

The Takeover and Total Completion Dates referenced in the Contract Documents are based on the Ministry of Health review and bid acceptance period of 90 days. The exact start date will be determined by the Ministry of Health's approval to proceed.

1.13. Question:

Is there a finishes legend? The Interior Finishes Plans have a note mentioning Interior Finishes Legend Sheet I-001, is this in the documents?

Answer:

Refer to Addendum 02, Answer to Question 1.5.

1.14. Question:

What is EXP1 on the finishes plans? What is CFS on the finishes plans?

Answer:

Refer to Drawings A-001 PROJECT INFORMATION & ABBREVIATIONS and Drawings A-700, A-701 and A-702 INTERIOR FINISHES PLANS reissued herewith, dated 2024.10.17.

1.15. Question:

The Provisionally priced areas on the reflected ceiling plan, finishes plan and the floor plans don't match. Can you please clarify what rooms are part of the Provisional/Separate Price and what the scope that is to be included in it? Additionally, in some instances on the reflected ceiling plans, the hatching that shows what is a separate price only covers half a room so if the separate price is not included in the successful bidders contract, how do we construct only half a room?

Answer:

Refer to Addendum 02, Answer to Question 1.1. The Separate Price is specific to Exam Room 8.

1.16. Question:

Reflected ceiling plans show two Gypsum Board Ceilings in the RCP Legend. What is the difference between GWB1 and GWB2?

Answer:

The difference is the finish as indicated in the RCP Legend. GWB1 is to receive latex paint. GWB2 is to receive epoxy paint.

1.17. Question:

What is PTE1 shown on the reflected ceiling plan and finish plans and where can the product be found in the specification?

Answer:

Refer to Specification SECTION 09 91 23 INTERIOR PAINTING as revised below:

REVISE Specification SECTION 09 91 23 INTERIOR PAINTING - 3.12 SCHEDULE - INTERIOR PAINT SYSTEMS as follows:

A.Gypsum wallboard and plaster surfaces, walls:

2. Epoxy (PTE), Gloss Level 5 Semi-gloss

B.Gypsum wallboard and plaster surfaces, ceilings:

2. Epoxy (PTE), Gloss Level 5 Semi-gloss:

Also refer to 3.13 SCHEDULE – PAINT COLOURS

1.18. Question:

Where is the standing seam roofing applicable to 07 61 13? The elevator shaft is clad with it, but is the roof of the elevator shaft also to receive standing seam metal?

Answer:

REVISE Specification SECTION 07 61 13 from STANDING SEAM METAL ROOFING AND SIDING to STANDING SEAM METAL SIDING. Delete references to Metal Roofing. Not reissued herewith.

The roof of the elevator shaft is SBS MODIFIED BITUMEN ROOFING in accordance with Specification SECTION 07 52 15. Not reissued herewith.

1.19. Question:

Elevation General Notes on A201 and A202 mentions Bird Friendly Frit is required on all exterior glass. There is no mention of this in the specifications so is it actually required?

Answer:

Bird Friendly Frit is required by the City of Toronto for City Owned Buildings as indicated on Drawings A-201 and A-202.

1.20. Question:

Where is the decorative film required?

Answer:

Refer to Drawings A-600 DOOR SCHEDULE and A-700, A-701 and A-702 FINISHES PLANS reissued herewith, dated 2024.10.17.

1.21. Question:

Room finishes plans indicate paint for the walls in the washrooms. The washroom elevations show what appears to be tile on the walls and paint above. What are we supposed to follow? If tile is to be used, please indicate what tile?

Answer:

Washroom walls are to be finished with a combination of sheet wall protection (grooved product with a tile-look) and epoxy paint. Elevations illustrate the extent of the sheet wall protection. Refer to Drawing A-407 ENLARGED PLANS and ELEVATIONS – WASHROOM reissued herewith, dated 2024.10.17.

1.22. Question:

We can't seem to locate where the roller shades are required to determine sizes and quantity. Normally we see them on the reflected ceiling plans, but they are not noted there. Where are they required?

Answer:

Refer to Architectural Addendum No. 1, Answer to Question 1.3

1.23. Question:

How many roof anchors are required?

Answer:

Add the following Note to Drawing A-103 OVERALL ROOF PLAN: PROVIDE 30 ROOF ANCHORS. EXACT QUANTITY AND LOCATIONS TO BE CONFIRMED WITH MANUFACTURER'S ENGINEERED REQUIREMENTS. Drawing not reissued herewith.

1.24. Question:

What is the extent of the Self Levelling Underlayment?

Answer:

Account for 1 1/2" of underlayment in all Primary Care Spaces (Encompassing Gridlines B5, E5, E2, B2) and at all areas with floor drains in the building.

Account for 1/2" of underlayment throughout the building.

1.25. Question:

The submission requirement noted "Hard copy" and hand delivered. Given we always get M & E pricing in the last couple of minutes, a digital submission is pertinent to timely submission. We can provide digital bonds (which are verifiable digitally) and submit the original bid package within 24 hours. Many consultants use platform like Bonfire or Merx to accept bids electronically. Once the set time is passed, the platform will not accept any bids and this avoid any potential disputes.

Answer:

SECTION 00 41 00 STIPULATED PRICE BID FORM to be submitted in accordance with SECTION 00 21 13 INSTRUCTIONS TO BIDDERS.

1.26. Question:

Section 004110 required us to submit trade names with itemized prices and separate prices. At time of closing, it is important that we focus on getting the best numbers possible for this project. To fill out trade information and separate prices is recipe for errors. Please consider this section be submitted in 24 hours.

Answer:

SECTION 00 41 10 APPENDICES TO BID may be submitted up to 24 hours after the SECTION 00 41 00 STIPULATED PRICE BID FORM. Email form to: Frank Battiston fbattiston@prismpartners.com

1.27. Question:

Regarding Washroom Accessories:

- *According to the spec, the items SD3 and BSC2 are not identified on the drawings. **Refer to response below.***
- *There are two types of WR1s (recessed & semi-recessed) in spec. But it is marked same on the drawings. Please clarify. **Refer to the Answer to Question 1.9 above.***
- *Please clarify on Hand Sanitizer Dispenser. See below:*
 - ✓ *It is listed as HS1 under Section 10 28 13 for contractor to supply and install. **Delete reference to HS1 in Specification SECTION 10 28 13.***
 - ✓ *It is listed as HS01 on the FFE list under Section 11 70 00 Healthcare Facility Equipment for contractor to install only. **Confirmed, Contractor to install only.***
 - ✓ *On the elevation drawings, it shows as HSD1 and is marked at Detail 3 on A-405 only. However, in other details, the legends are indicated. Please see the following example details for your reference. **Delete reference to HSD1 on Detail 3/A-405.***

Answer:

Refer to Drawing A-407 ENLARGED PLANS AND ELEVATIONS – WASHROOM for SD3 locations. Reissued herewith, dated 2024.10.17.

**Revise Specification SECTION 10 28 13 - 2.3 TOILET ACCESSORIES as follows:
DELETE Item L. Toddler Safety Seat (BSC2). Not reissued herewith.**

1.28. Question:

On the drawing A-510, Detail 2 mentions to refer to D6/A-603. However, A-603 is not available in the drawings set.

Answer:

Refer to Drawing A-510 MILLWORK DETAILS reissued herewith, dated 2024.10.17.

1.29. Question:

Dwgs AD-100, AD 101 & AD102 indicate elevations 1,2,3 & 4/ A200. Dwg A200 is not issued and not in the drawings list. We assume the elevation reference should be AD 201. Please confirm.

Answer:

Refer to Drawings AD-100, AD-101 and AD-102 DEMOLITION PLANS reissued herewith, dated 2024.10.17.

1.30. Question:

Dwg AD- 202 show demolition elevations (Courtyard). None of the demolition dwgs show court yard. The elevation 1,2,3 & 4/ AD-202 are not indicated on the demolition plans. Please issue the drawing and indicate the elevation 1,2,3 &4/A202

Answer:

Refer to Drawings AD-100, AD-101 and AD-102 DEMOLITION PLANS reissued herewith, dated 2024.10.17.

1.31. Question:

Appendix to bid - Separate Prices 1.1.1 - Complete fit-out of MOH provisionally accepted space, excluding perimeter wall construction. We could not find any thing indicated on the drawings related to this pricing. What to include? Please indicate the separate price scope on the drawings.

Answer:

Refer to Addendum 02, Answer to Question 1.1. The Separate Price is specific to Exam Room 8.

1.32. Question:

A symbol with right sloped line shown on Floor Plans Legend on dwg A-100, dwg A-102 and roof plan legend A-103 say separate price for provisionally accepted area. But, no sloped lines shown on the plan. What is to be priced seperately? It is not clear. Please clarify.

Answer:

Refer to Addendum 02, Answer to Question 1.1. The Separate Price is specific to Exam Room 8.

1.33. Question:

A symbol with right sloped line shown on Floor Plan Legend on dwg A-101 says separate price for provisionally accepted area. Is it for note 5, concrete pad for transformer and electrical trenching as per note 23 on AD-101? Please clarify.

Answer:

Refer to Addendum 02, Answer to Question 1.1. The Separate Price is specific to Exam Room 8.

1.34. Question:

A symbol with right sloped line shown on Ceiling Plans Legend on dwg A-150, dwg A-151 and A-152 says separate price for provisionally accepted area. But. no sloped lines are shown on the plan. What is to be price separately. It is not clear. Please clarify.

Answer:

Refer to Addendum 02, Answer to Question 1.1. The Separate Price is specific to Exam Room 8.

1.35. Question:

There is no room finish schedule in the tender document. Please provide room finish schedule for us to price.

Answer:

Refer to Addendum 02, Answer to Question 1.5.

1.36. Question:

Spec section for Epoxy flooring is provided. But it is not clear where does this apply. Please clarify.

Answer:

Refer to Drawings A-001 PROJECT INFORMATION & ABBREVIATIONS and A-700, A-701 and A-702 FINISHES PLANS reissued herewith, dated 2024.10.17.

1.37. Question:

Please provide Owner's representative name and email address for filling out the new bond form.

Answer:

Refer to Specification SECTION 00 01 25 LIST OF REPRESENTATIVES for Owner. The bonding is generally for the organization and not necessarily a named individual.

1.38. Question:

Section 10 51 26 : PLASTIC LOCKERS, but all material states phenolic. I am not sure if this quote is for HDPE OR PHENOLIC?

Answer:

DELETE Specification SECTION 10 51 26 PLASTIC LOCKERS and REPLACE with SECTION 10 51 13 METAL LOCKERS issued herewith.

1.39. Question:

Per detail 7/A502 the custom prefinished metal fascia is specified as 24ga. Please advise if the perimeter radiant panels can be supported by this.

Answer:

Refer to Drawing A-502 INTERIOR DETAILS CEILINGS reissued herewith, dated 2024.10.17.

1.40. Question:

Please advise what construction the roof enclosures are for C1 & C2 on A-340.

Answer:

The building roof is SBS MODIFIED BITUMEN ROOFING in accordance with Specification SECTION 07 52 15. The additional enclosures are as indicated on Drawing A-340 TYPICAL ROOF DETAILS. Not reissued herewith.

1.41. Question:

Drawing AD-100-AD-103 note D11 – Please provide SOG thickness / reinforcing details of slab to be cut.

Answer:

Refer to the Answer to Question 1.69 below.

1.42. Question:

K-1 is an exterior furr out wall, please indicate the thickness of insulation and if vapor barrier needed or not?

Answer:

Provide 75mm of Spray Foam Insulation at Exterior Walls. Vapor Barrier is not required.

1.43. Question:

Spec section 09 22 16 lists most studs as 20ga. Please advise if these can be revised to standard 25ga.

Answer:

Provide metal studs in accordance with Specification SECTION 09 22 16 NON-STRUCTURAL METAL FRAMING.

1.44. Question:

Note-D4 of Dwg. AD-100 mentions about the surface preparation. Please provide details as the extent might be not be known or consider it under cash allowance.

Answer:

Refer to the Answer to Question 1.24 above.

1.45. Question:

Please provide the thickness of existing concrete slab.

Answer:

Refer to the Answer to Question 1.69 below.

1.46. Question:

Please provide the existing As-Built Drawings

Answer:

There are no As-Built Drawings available.

1.47. Question:

Please provide the details of existing roofing composition.

Answer:

There are no As-Built Drawings available.

1.48. Question:

Drawing E300 – Note 8 is missing from Detail New Work Notes.

Answer:

Detail Note 8 callout removed in ADD-E01.

1.49. Question:

Existing Distribution Panel manufacturer on site.

Answer:

All existing distribution equipment is being demolished as noted in the E-900 electrical demolition drawing series.

1.50. Question:

Our communication vendor has following questions. Please confirm.

- a) *The cable route between the demarcation point on basement level B1 and server room on level 02. **Provide backbone optical fiber and multipair copper cabling as mentioned in Division 27 10 00 Structured Cabling System Specification.***
- b) *All data cables on basement level B1 will terminate in the demarcation room. **No. All data cables in Basement will terminate in Server Room on Level 02 as shown in IT Comms Riser diagram on Drawing E-604 Detail 4.***
- c) *Where all data cables on level 01 will terminate? **All data cables on Level 01 will terminate in Server Room on Level 02 as shown in IT Comms Riser diagram on Drawing E-604 Detail 4.***
- d) *Where all data cables on level 02 will terminate? In the server room? **All data cables on Level 02 will terminate in Server Room on Level 02 as shown in IT Comms Riser diagram on Drawing E-604 Detail 4.***
- e) *Pls. Clarify, do we have to use plenum or non plenum rated data cables? With plenum rated cables for horizontal run can we use J Type hooks or cable tray? Or we can provide non plenum rated data cables with EMT conduit? **Refer to Division 27 10 00 Structured Cabling System Specification document for cable and jacket types of horizontal and backbone cabling. J-Hooks are acceptable on floor levels, and Cable tray is mandatory in Server Room as mentioned in Division 27 10 00 Structured Cabling System Specification document.***
- f) *Please confirm, we have to supply & install 3 x 45RU 800mm x 800mm cabinets in the server room. **Refer to Section 2.15 and 2.16 in Division 27 10 00 Structured Cabling System Specification document for details.***
- g) *Please list the server room cabinet accessories that will be required. **Refer to Section 2.15 and 2.16 in Division 27 10 00 Structured Cabling System Specification document for details.***

Answer:

Refer to responses above.

1.51. Question:

The lighting controls riser diagram is missing.

Answer:

Riser diagram is not required. Lighting fixtures to be controlled via local lighting control devices.

1.52. Question:

Who will supply & install data cable for elevator travelling cable? Any elevator contractor is involved?

Answer:

Refer to Drawing E400 Note 3 "PROVIDE DATA DROPS FOR ELEVATOR TRAVELLING CABLE BUNDLE. UTILIZE ONE DATA DROP FOR CCTV CAMERA CONNECTION."

1.53. Question:

We need Security Systems (Access Control & CCTV) Riser diagram along with location of panels.

Answer:

Security systems riser diagram issued as part of electrical addendum ADD-E02.

1.54. Question:

Drawing E-401, Level 01 Communication Floor Plan shows with symbol "AS" which is as per legend represents Amplified Speaker Communication System. These speakers are not shown on Data / IT Communications Riser Diagram. Pls. include same. Need to know these speakers falls under which system eg. Communication, Public Address or Paging etc. From whom we have to seek quote?

Answer:

Refer to Section 2.27 and 2.28 in Division 27 10 00 Structured Cabling System Specification Document for details.

1.55. Question:

Kindly confirm location of the intrusion alarm control panel and please provide a riser diagram for the same.

Answer:

The location of Intrusion panel shall be mounted next to the ACP in the level 2 Server room.

1.56. Question:

Section 27 40 10 Distributed Antenna System is included in Div. 27. Is any DAS to be installed on site? We do not see any on floor & roof plans of drawings. If any such system required on site, we need who will be provider of DAS System. Pls. confirm.

Answer:

DAS system is not required. Specification section "27 40 10 Distributed Antenna System (DAS)" removed in ADD-E02.

1.57. Question:

Section 27 51 23 Intercommunication System is included in Div. 27. Is this system to be installed on site? We do not see any relevant devices on floor & roof plans of drawings. If any such system required on site, please confirm.

Answer:

Intercom system is not required. Specification section "27 51 23 Intercom Systems" removed in ADD-E02.

1.58. Question:

Please confirm location of panel for the CATV coaxial cable termination.

Answer:

Coaxial Cable is not required. Specification section "27 53 20 Cable Television Systems" removed in ADD-E02.

1.59. Question:

Please confirm if an alternate can be used instead of HIKVISION video management since we're unable to find Security CCTV System provider that carry this product. Kindly either provide a list of acceptable alternates or please share suppliers list for HIKVISION.

Answer:

Hikvision is the client's current Video Surveillance platform and this site is an extension of that system.

1.60. Question:

Pls. confirm

a) we will be providing direct buried PVC conduits with cables from secondary side of utility transformer to underground entry point of utility service of building.

b) No concrete encased duct bank required in this project for secondary power cables. Pls. confirm.

Answer:

Confirmed. Secondary feeders to be direct buried PVC conduits. Concrete encased duct bank is only required for primary feeders to pad-mounted transformer.

1.61. Question:

Mesh Basket Type Cable Tray – Is alternative cable tray manufacturer acceptable such as Legrand Cablofil & Canadian make “CER- Canadian Electrical Raceways Inc.”?

Answer:

Refer to Specification SECTION 00 21 13 - 1.5 CONTRACT/BID DOCUMENTS – C. Product Options.

1.62. Question:

We do not find Security access control & CCTV riser diagram in tender drawings. Pls. issue same along with location of panels.

Answer:

Security systems riser diagram issued as part of electrical addendum ADD-E02.

1.63. Question:

Please confirm any starters and VFD will be supplied and installed by mechanical contractor as they've been specified under Division 20.

Answer:

Starters & VFDs can be provided by mechanical contractor.

1.64. Question:

Please provide more details on the clock system and kindly confirm which panel shall be used to carry the power cables for the clocks. The specifications under Section 27 53 13 do not match the clock system indicated on the drawing. Kindly confirm which clock system needs to be used.

Answer:

Master Clock system shall be wired PoE system. Specification section 27 53 13 updated in ADD-E02.

1.65. Question:

Under Electrical Studies (Section 26 05 70), please confirm if it is mandatory to include EMI Testing as per specifications and kindly confirm the extent/location for testing.

Answer:

EMI testing is not required. Specification section 26 05 70 updated in ADD-E02.

1.66. Question:

Please clarify what are the changes (if any) on the lighting fixture schedule dimensions. As per ADD-E01, we noticed that the dimensions for lighting fixtures are bubbled on E-1101 but when compared to the original tender drawings, there were no changes. Kindly advise on what changes have been made.

Answer:

Correct, no dimensional changes were to be made to lighting fixture schedule. Units have been updated to indicate millimeters for consistency and issued in ADD-E02 to correct plotting issue not showing changes in ADD-E01.

1.67. Question:

Please provide more details and requirements for the NG-1A Remote alarm panel shown on E-801 as this is not shown on the panel schedule as well.

Answer:

Refer to Specification Section 26 32 00, sub-section 2.11 Remote Annunciator Panel.

1.68. Question:

Spec Section 26 32 05, mentions requirement of Lightning Protection System as per Clause L. Under tender documents, we do not find any details of requirement of Lightning Protection System for this project. Pls. let us know, is Lightning Protection System require for Skin-tight enclosure of Natural Gas Generator which is mounted on roof. Pls. confirm the requirement. a) If yes, please include vendor details who can provide this system.

Answer:

Lightning Protection is not required under base contract.

1.69. Question:

Drawing S105 Detail TC SOG-51 Please clarify details of existing SOG reinforcing details. We realize drawing S200 between grid line B-C / 7-8 SOG details provided with reinforcing.

Answer:

The thickness and reinforcement of existing SOG is unknown. Assume 6" thick and 10@350. Exact configuration to be verified during construction.

1.70. Question:

Drawing S201 between Grid Line B-D / 5 stair noted 50 DP treads by others. Please clarify "50 DP".

Answer:

Provide 50mm Deep Treads.

1.71. Question:

Refer to detail 3/A-504 Grid line A-B / 7-8, Please provide structural details of SOD, Stair and masonry wall. The only details of this shown are on architectural drawing A504.

Answer:

Refer to Drawing A-504 INTERIOR DETAILS – DETAIL 3 incorporating structural requirements, reissued herewith, dated 2024.10.17.

1.72. Question:

Spec. section 14 20 00 Part 4 says - Separate Prices (not included in base bid). But, the Appendix B - Item 1.1 separate prices issued with Architectural Addendum 1 does not show any separate price related to Hydraulic Elevators. Please clarify.

Answer:

REVISE SECTION 14 20 00 HYDRAULIC ELEVATORS by DELETING PART 4 Separate Prices. Not reissued herewith.

2. Drawings

2.1. Drawings A-001, A-101, A-151, A-201, A-400, A-401, A-407, A-500, A-501, A-502, A-504, A-510, A-600, A-700, A-701, A-702, AD-100, AD-101, AD-102 reissued herewith, dated 2024.10.17.

3. Specifications

3.1. DELETE Specification SECTION 10 51 26 PLASTIC LOCKERS and REPLACE with SECTION 10 51 13 METAL LOCKERS issued herewith, dated 2024.10.17.

End of Architectural Addendum No. A03



C

B

A

FINISHES ABBREVIATIONS

RS#	SHEET FLOORING
RS#B	SHEET FLOORING WALL BASE
RB#	RUBBER WALL BASE
RT#	RUBBER TILE
EPX-#	EPOXY FLOORING
EPX-#B	EPOXY WALL BASE
PT#	PAINT
PTE#	EPOXY PAINT
MIR#	MIRROR
AWP#	ARCHITECTURAL WALL PANEL
MB#	MARKERBOARDS
EG#	ENTRANCE GRID
VWC#	VINYL WALL COVERING
CFS	CONCRETE FLOOR SEALER
SDF	STATIC DISSIPATIVE FLOORING
PL#	PLASTIC LAMINATE
MC#	METAL LABORATORY CASEWORK
SSF#	SOLID SURFACE FABRICATIONS
HR	HANDRAIL
CR	CRASHRAIL
CG#	CORNER GUARD
EG#	END GUARD
SWP#	SHEET WALL PROTECTION

DOOR SCHEDULE ABBREVIATIONS

ADO	AUTOMATIC DOOR OPERATOR
AF-OW	ACCORDIAN FIRE - OPERABLE WALL
ALF	ALUMINUM FRAME
ALUM	ALUMINUM
ANOD	ANODIZED
AO	AUTO DOOR OPERATOR
CLR	CLEAR
CR	CARD READER
DC	DOOR CONTACT
F	FLUSH
FG	FULL GLASS
G	HALF GLASS
GL	GLAZING
GS	GALVANIZED STEEL
H	HEIGHT
HM	HOLLOW METAL
HMF	HOLLOW METAL FRAME
HW	HARDWARE
INSUL	INSULATED
L	FLUSH w/ LOWER LOUVER
MATL	MATERIAL
MH	MAGNETIC HOLD OPEN
MTL	METAL
N	NARROW VISION
NO	NUMBER
OCB-IS	OVERHEAD COILING DOOR - INSULATED
OH	OVERHEAD
OW	OPERABLE WALL
PLAM	PLASTIC LAMINATE
PNT	PAINT
RX	REQUEST TO EXIT
SFG	SIDE FOLDING GRILLE
SSTL	STAINLESS STEEL
STL	STEEL
STN	STAIN
T	TYPICAL
W	WIDTH
WD	WOOD

ABBREVIATIONS

@	AT	MIN	MINIMUM
AB	ANCHOR BOLTS	MISC	MISCELLANEOUS
ADDL	ADDITIONAL	MO	MASONRY OPENING
AFF	ABOVE FINISH FLOOR	MTL	METAL
AFG	ABOVE FINISH GRADE	NOM	NOMINAL
ARCH	ARCHITECTURAL	NS	NEAR SIDE
BDO	BUTTON DOOR OPERATOR, REFER TO ELECTRICAL DOCUMENTATION. "P" REFERS TO PEDESTAL INSTALLATION. ALL OTHERS TO BE WALL MOUNTED	NTS	NOT TO SCALE
		NWT	NORMALWEIGHT
		OC	ON CENTER
		OD	OUTSIDE DIAMETER
		OF	OUTSIDE FACE
		OPNG	OPENING
		OPP	OPPOSITE
		OSL	OUTSTANDING LEG
		PAF	POWER ACTUATED FASTENER
		PJP	PARTIAL JOINT PENETRATION PLATE
		PL	PLATE
		PLBG	PLUMBING
		PLF	POUNDS PER LINEAR FOOT
		PR	PAIR
		PREFAB	PREFABRICATED
		PRL	PARALLEL
		PSF	POUNDS PER SQUARE FOOT
		PSI	POUNDS PER SQUARE INCH
		PVMT	PAVEMENT
		R	RADIUS
		RD	ROOF DRAIN
		RE	RIGHT END
		REF	REFER TO
		REV	REVISION
		REINF	REINFORCEMENT
		REQD	REQUIRED
		RO	ROUGH OPENING
		SCH	SCHEDULE
		SECT	SECTION
		SEOR	STRUCTURAL ENGINEER OF RECORD
		SEPN	SEPARATION
		SF	SQUARE FEET
		SIM	SIMILAR
		SMS	SHEET METAL SCREW
		SOG	SLAB ON GRADE
		SOMD	SLAB ON METAL DECK
		SPA	SPACING, SPACES
		SPEC	SPECIFICATION
		SQ	SQUARE
		SSL	SHORT SLOTTED HOLES
		STD	STANDARD
		STIFF	STIFFENER
		STRUCT	STRUCTURAL
		SYM	SYMMETRICAL
		T & B	TOP AND BOTTOM
		TEMP	TEMPERATURE
		TO	TOP OF
		TOC	TOP OF CONCRETE
		TOF	TOP OF FOOTING
		TOS	TOP OF STEEL
		TOW	TOP OF WALL
		TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
		VERT	VERTICAL
		W/	WITH
		W	WIND LOAD
		WLD	WELDED
		W/O	WITHOUT
		WT	WEIGHT
		WWF	WELDED WIRE FABRIC

SYMBOLS LEGEND

Sheet Number
A-100
Sheet Number Discipline Code

View Title
A1 View Name
Drawing Scale Drawing Number

View Title with Reference
A1 View Name
Drawing Scale Sheet Number Reference Sheet Number

Exterior Elevations
Position on Sheet Sheet Number

Interior Elevations
Position on Sheet Sheet Number

Window/Curtain Wall Elevations - Interior / Exterior
Glazing Number

Match Lines
MATCHLI SEE 1/ A101
Sheet Number Position on Sheet

Area Reference
A Adjacent Area
SEE: (XX-XXX) Sheet Number Position on Sheet

Building Section
Position on Sheet Sheet Number

Wall Section
Position on Sheet Sheet Number

Detail - Section
Position on Sheet Sheet Number

Detail - Plan/RCP
Position on Sheet Sheet Number

Drawing Revisions
Revision Number

North Arrow
Plan North True North

Graphic Scale
0 125 25 625

Column Grid Lines
1 2 Column Grid Line (New) Column Grid Line (Existing)

Level Datum
Level Name Level Elevation

Spot Elevation
Spot Elevation

Spot Coordinates
North/East Coordinates
N 10'-11" E 12'-10" EL 10'-0"

Room Tag
NAME Room Name Room Number

Centerline
Denotes Centerline of an Object

Keynote
04 22 00b Master Format Number (Ignore letter at the end of number)
CMU BULLNOSE Item Name

Wall Tag
W1 Wall Tag

Demolition Tag
D00 Demolition Tag



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS West Toronto Community Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	22-12-16	ISSUED FOR MOH STAGE 3.1
2	23-07-05	ISSUED FOR MOH STAGE 3.2
3	23-11-24	ISSUED FOR STAGE 3.3 COSTING
4	24-02-12	ISSUED FOR MOH STAGE 3.3
5	24-03-22	ISSUED FOR BUILDING PERMIT
6	24-09-18	ISSUED FOR TENDER
7	24-10-17	ISSUED FOR ADDENDUM #003

Project Number	10355669
Original Issue	09/11/19



FOR REFERENCE ONLY

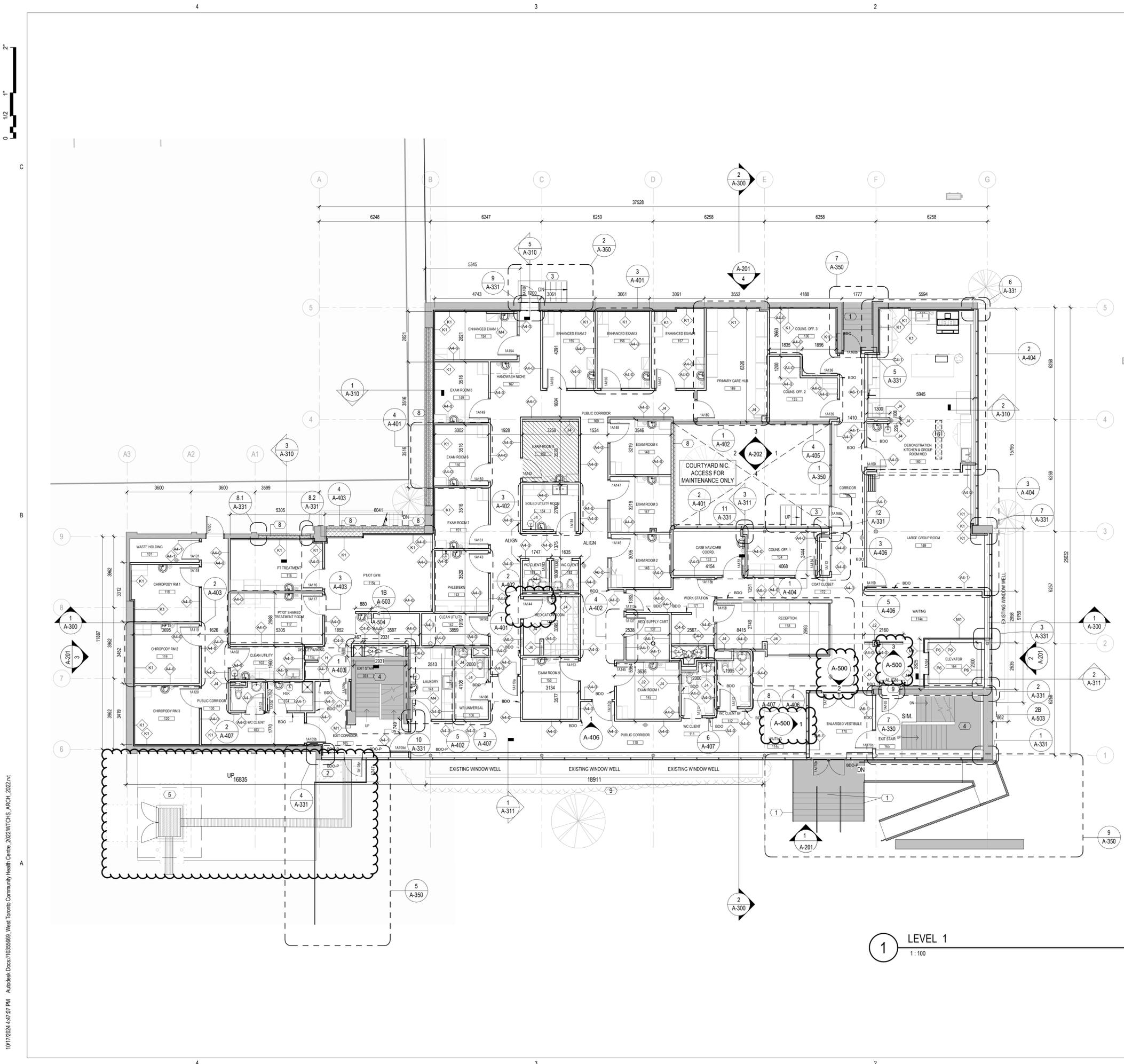
PROJECT INFORMATION & ABBREVIATIONS & TYPICALS

Sheet Number

A-001

Project Status

ISSUED FOR TENDER



FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- NEW WINDOW
- NEW DOOR
- SEPARATE PRICE FOR PROVISIONALLY ACCEPTED AREA
- CONCRETE FLOOR INFILL REFER TO CORRESPONDING SECTION DETAIL WHERE INDICATED

FLOOR PLAN GENERAL NOTES

1. PROVIDE FOR 1 COAT HOOK AND 1 HAND SANITIZER PER ROOM UNLESS OTHERWISE NOTED
2. REFER TO 400'S SERIES FOR ACCESSORIES
3. PLACE DOORS AT 100mm FROM THE HINGE SIDE TO THE ADJACENT WALL U.N.O
4. REMOVE AND REPLACE FLOOR SLAB AS REQUIRED FOR M&E SERVICES
5. PAINT EXPOSED COLUMNS AND ALL COMPONENTS (E.G. FLANGE)
6. ROOF PLAN : PROVIDE 30 ROOF ANCHORS. EXACT QUANTITY AND LOCATIONS TO BE CONFIRMED WITH MANUFACTURER'S PERFORMANCE REQUIREMENTS.

SHEET KEYNOTES #

- 1 - NEW RAILING ON EXISTING STAIR
- 2 - NEW CONCRETE SLAB
- 3 - NEW METAL STAIR AND RAILING
- 4 - NEW RAILING AND HANDRAIL REQUIRED FOR INTERIOR STAIR
- 5 - NEW CONCRETE PAD REQUIRED FOR TRANSFORMER
- 6 - (HATCH AREA) BUILT-UP CONCRETE FLOORING TO BE LEVELED WITH ADJACENT AREA
- 7 - NEW CONCRETE SLAB INFILL
- 8 - EXTERIOR ASSEMBLY INFILL FOR EXISTING OPENING. TO MATCH EXISTING EXTERIOR BRICK
- 9 - REMOVE EXISTING HEDGES AS REQUIRED FOR CONSTRUCTION AND REPLACE AS REQUIRED

1 LEVEL 1
1:100



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

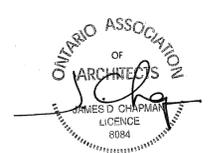
WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

MARK	DATE	DESCRIPTION
1	22-12-16	ISSUED FOR MOH STAGE 3.1
2	23-11-24	ISSUED FOR STAGE 3.3 COSTING
3	24-02-12	ISSUED FOR MOH STAGE 3.3
4	24-03-22	ISSUED FOR BUILDING PERMIT
5	24-09-04	RE-ISSUED FOR BUILDING PERMIT
6	24-09-18	ISSUED FOR TENDER
7	24-10-08	ISSUED FOR ADDENDUM #002
8	24-10-17	ISSUED FOR ADDENDUM #003

Project Number 10355669
Original Issue 12/1/22



Sheet Name
LEVEL 1 FLOOR PLAN

Sheet Number
A-101

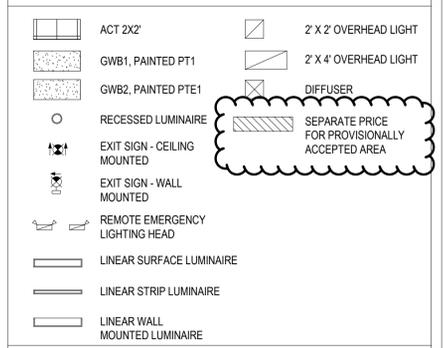
Project Status
ISSUED FOR TENDER

10/17/2024 4:46:16 PM Autodesk Docs://10355669_West Toronto Community Health Centre_2022/WTCHS_ARCH_2022.rvt



1 LEVEL 1 - REFLECTED CEILING PLAN
1:100

RCP LEGEND



RCP GENERAL NOTES

1. ALL CEILING HEIGHTS TO BE AT 2350mm ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
2. REFLECTED CEILING PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULES, SPECIFICATIONS, ARCHITECTURAL CEILING DETAILS, STRUCTURAL, MECHANICAL, ELECTRICAL, FIRE PROTECTION AND FIRE & LIFE SAFETY DRAWINGS.
3. THE MECHANICAL AND ELECTRICAL DRAWINGS SHALL GOVERN OVER THE ARCHITECTURAL DRAWINGS FOR DEVICE TYPE AND QUANTITY. THE ARCHITECTURAL DRAWINGS SHALL GOVERN OVER THE MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATION.
4. CONTRACTOR TO REPORT ANY DISCREPANCIES AND/OR INCONSISTENCIES BETWEEN THE ARCHITECTURAL DRAWINGS AND THAT OF ANY OTHER CONSULTANT'S DRAWINGS TO THE ARCHITECT.
5. CONTRACTOR TO REVIEW AND COORDINATE THE LOCATION OF ACCESS PANELS WITH MECHANICAL AND ELECTRICAL DRAWINGS. FINAL LOCATIONS OF ACCESS PANELS TO BE REVIEWED BY MEP CONSULTANT AND ARCHITECT PRIOR TO INSTALLATION. ACCESS PANELS TO MATCH CEILING FINISH COLOUR.
6. IN ACOUSTIC TILE CEILINGS, FIXTURES GRAPHICALLY SHOWN IN THE DRAWINGS AS INTERSECTING T-BAR SUSPENSION SYSTEMS AND/OR OTHER ELEMENTS ARE TO BE LOCATED WITHIN THE NEAREST AVAILABLE CEILING TILE.
7. MOUNT ALL FIXTURES IN EXPOSED CEILINGS AT 2350mm ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.

SHEET KEYNOTES

- 1 NEW ROLLER SHADES 'WS1'. REFER TO TYP. DETAIL 71A-502



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community Health Center

209 Mavety St, Toronto, Ontario, M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Designer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-09-30	ISSUED FOR ADDENDUM #001
6	24-10-17	ISSUED FOR ADDENDUM #003

Project Number	10355669
Original Issue	03/24/23

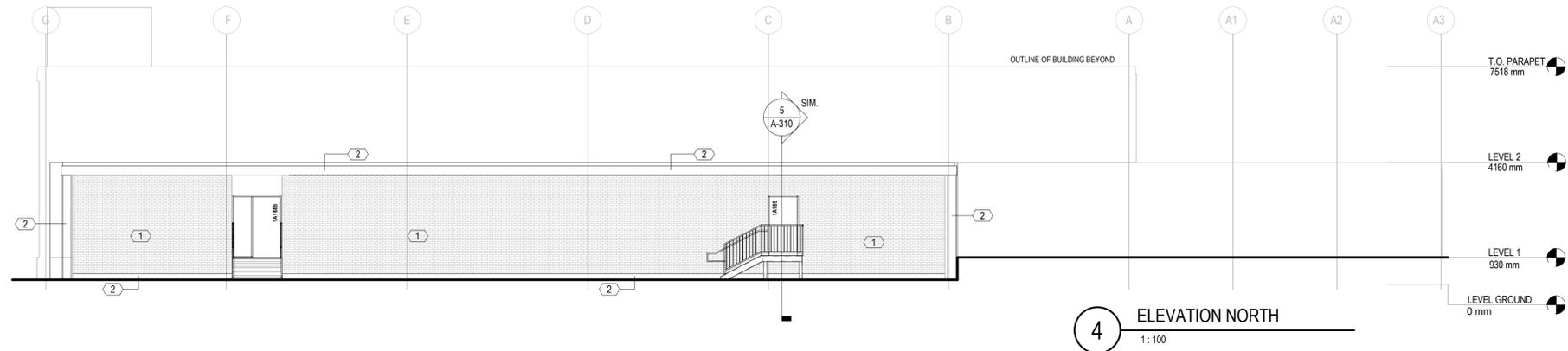


Sheet Name
LEVEL 1 REFLECTED CEILING PLAN

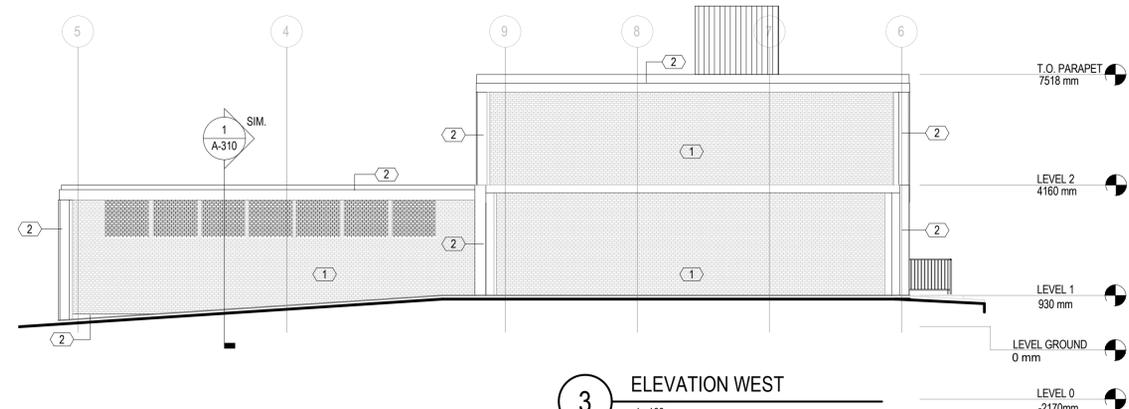
Sheet Number
A-151

Project Status
ISSUED FOR TENDER

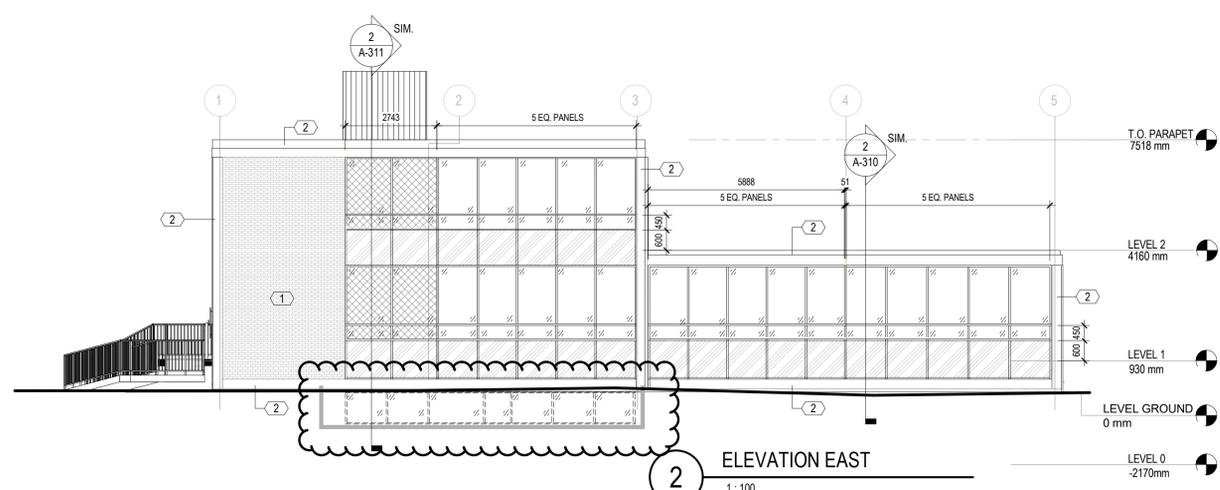
10/17/2024 2:14:45 PM Autodesk Docs://10355669_West Toronto Community Health Centre_2022/WTCHS_ARCH_2022.rvt



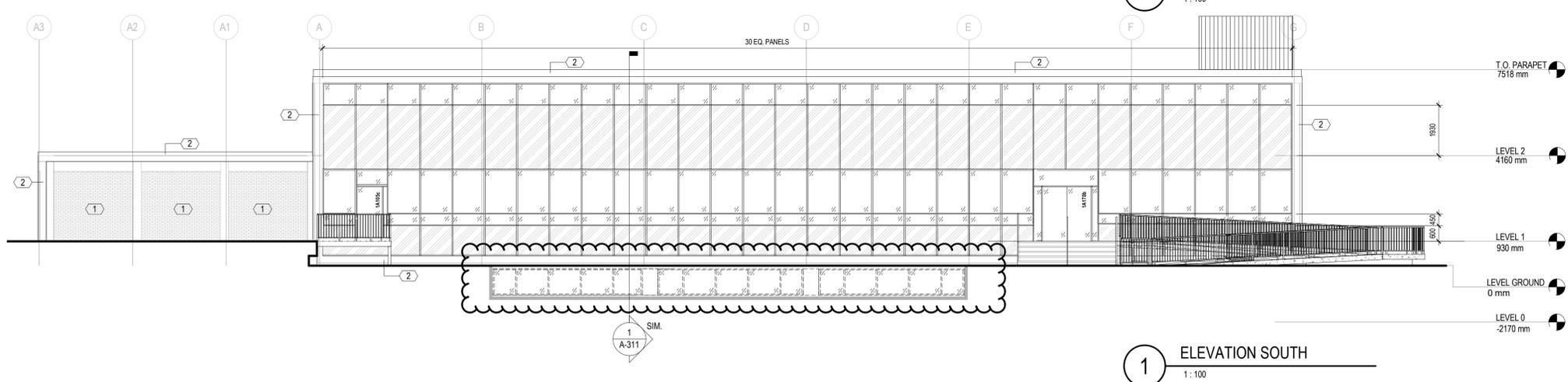
4 ELEVATION NORTH
1:100



3 ELEVATION WEST
1:100



2 ELEVATION EAST
1:100



1 ELEVATION SOUTH
1:100

ELEVATION LEGEND

	EXISTING BUILDING		NEW STANDING SEAM METAL CLADDING
	NEW CONSTRUCTION		EXISTING BRICK
	EXISTING BRICK		INFILL BRICK
	VISION GLASS		METAL PANEL
	METAL PANEL		TINTED GLASS

ELEVATION GENERAL NOTES

1. ALL EXTERIOR GLASS TO RECEIVE BIRD FRIENDLY FRIT IN ACCORDANCE WITH TORONTO GREEN STANDARDS FOR CITY OWNED PROPERTIES



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

MARK	DATE	DESCRIPTION
1	22-12-16	ISSUED FOR MOH STAGE 3.1
2	23-07-05	ISSUED FOR MOH STAGE 3.2
3	23-11-24	ISSUED FOR STAGE 3.3 COSTING
4	24-02-12	ISSUED FOR MOH STAGE 3.3
5	24-03-22	ISSUED FOR BUILDING PERMIT
6	24-09-18	ISSUED FOR TENDER
7	24-10-17	ISSUED FOR ADDENDUM #003

Project Number: 10355669
Original Issue: 09/11/19



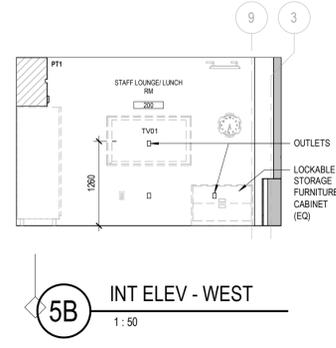
SHEET KEYNOTES

- 1 EXISTING BRICK CLEANING REQUIRED
- 2 NEW FLASHING REQUIRED

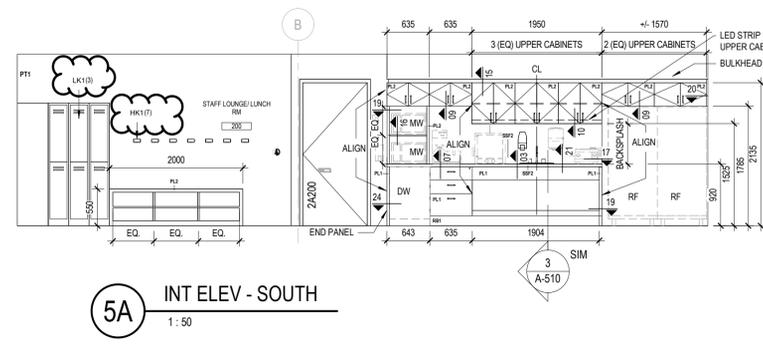
Sheet Name
EXTERIOR ELEVATIONS

Sheet Number
A-201

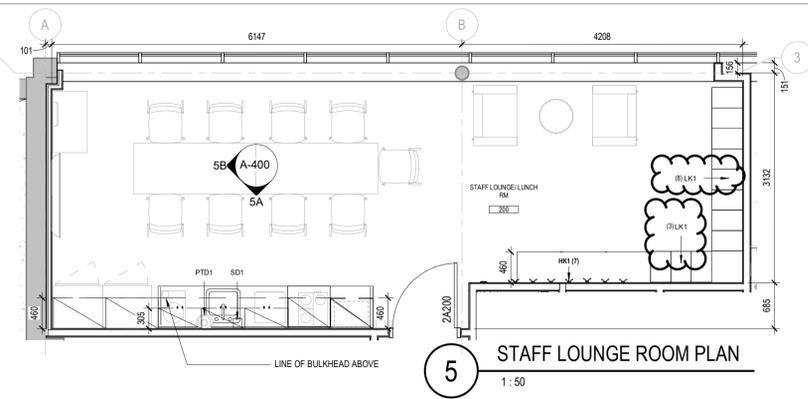
Project Status
ISSUED FOR TENDER



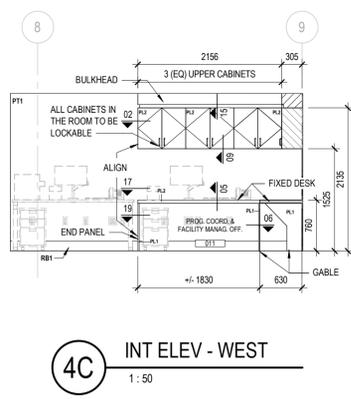
5B INT ELEV - WEST
1: 50



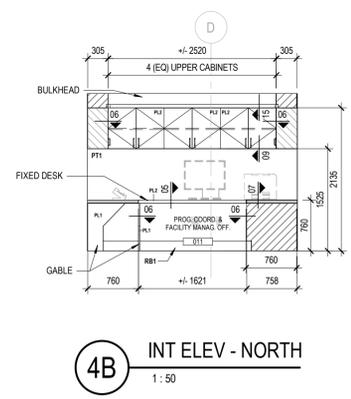
5A INT ELEV - SOUTH
1: 50



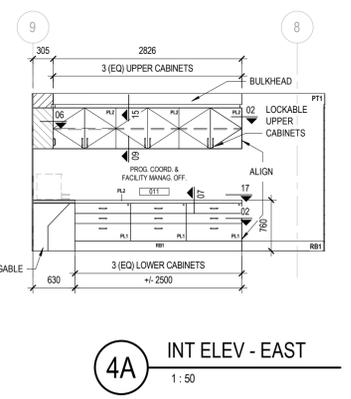
5 STAFF LOUNGE ROOM PLAN
1: 50



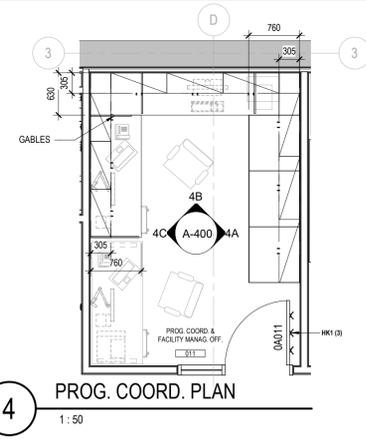
4C INT ELEV - WEST
1: 50



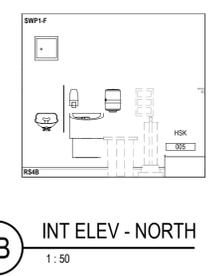
4B INT ELEV - NORTH
1: 50



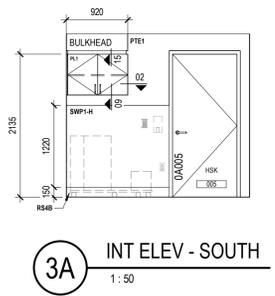
4A INT ELEV - EAST
1: 50



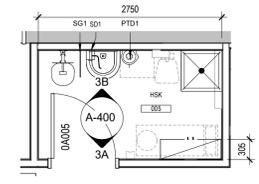
4 PROG. COORD. PLAN
1: 50



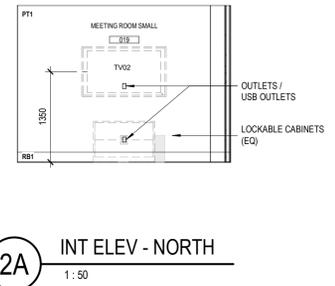
3B INT ELEV - NORTH
1: 50



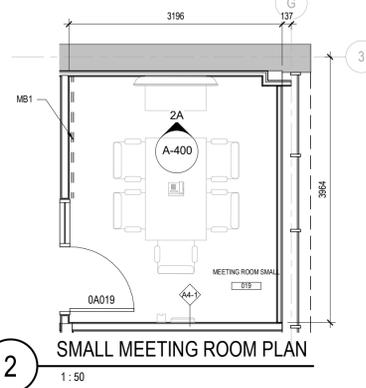
3A INT ELEV - SOUTH
1: 50



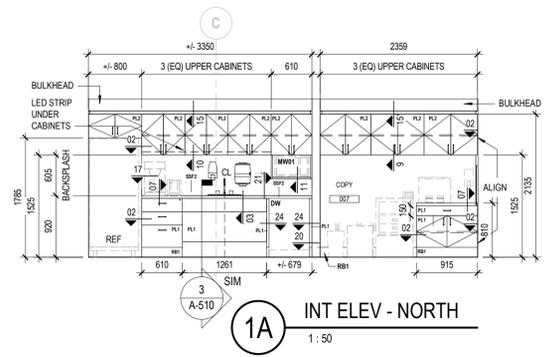
3 HOUSEKEEPING PLAN
1: 50



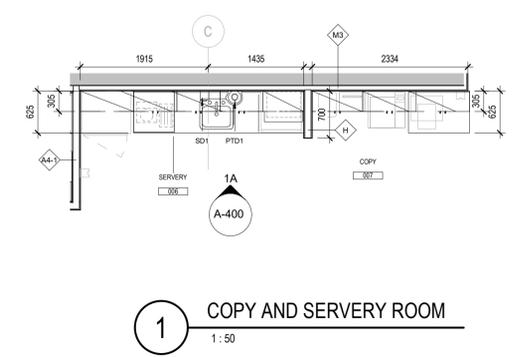
2A INT ELEV - NORTH
1: 50



2 SMALL MEETING ROOM PLAN
1: 50



1A INT ELEV - NORTH
1: 50



1 COPY AND SERVERY ROOM
1: 50



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

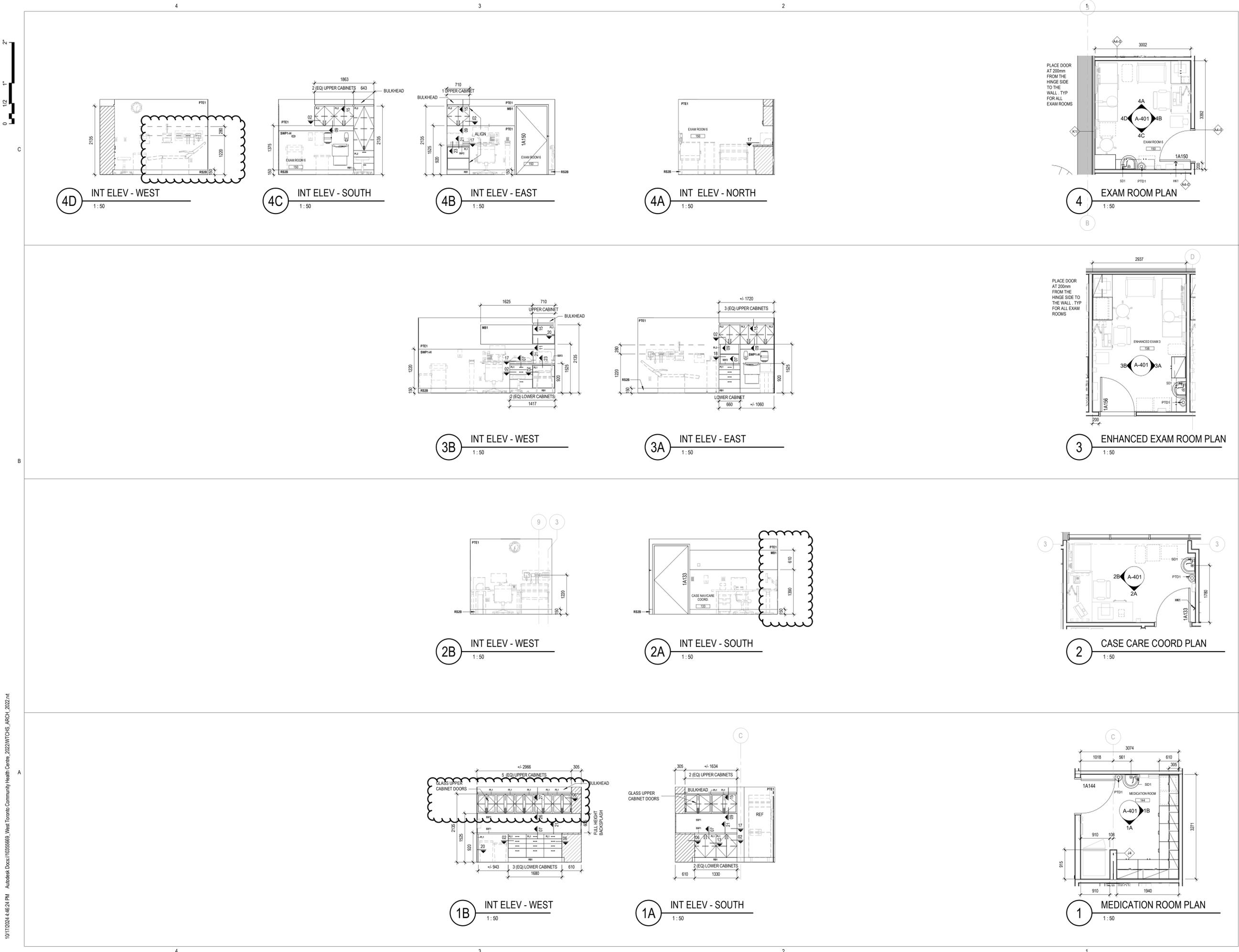
Project Number	10355669
Original Issue	09/11/19



Sheet Name
**ENLARGED PLANS
AND ELEVATIONS -
STAFF AREAS**

Sheet Number
A-400

Project Status
ISSUED FOR TENDER



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

Project Number: 10355669
Original Issue: 09/11/19



Sheet Name
**ENLARGED PLANS
AND ELEVATIONS
-PRIMARY CARE**

Sheet Number
A-401

Project Status
ISSUED FOR TENDER

10/17/2024 4:46:24 PM Autodesk Docs://10355669_West Toronto Community Health Centre_2022/WTCHS_ARCH_2022.rvt



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

Project Number: 10355669
Original Issue: 09/11/19

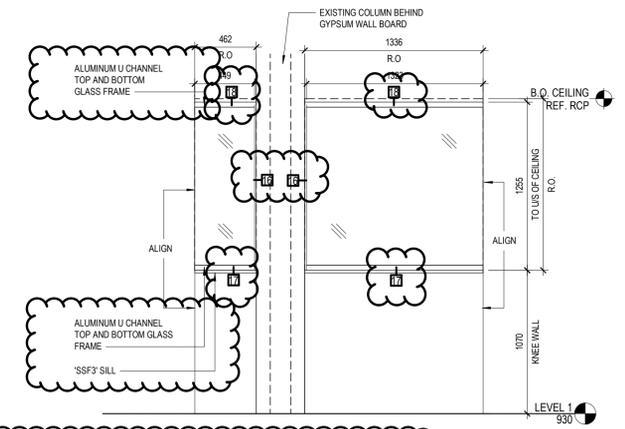
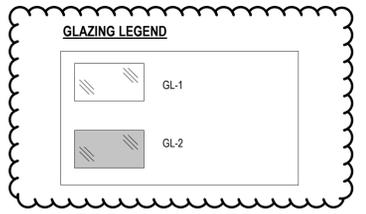


Sheet Name
**ENLARGED PLANS
AND ELEVATIONS -
WASHROOM**

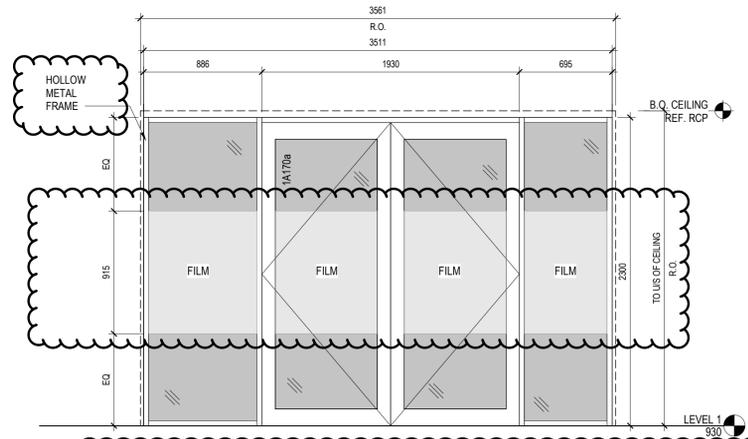
Sheet Number
A-407

Project Status
ISSUED FOR TENDER

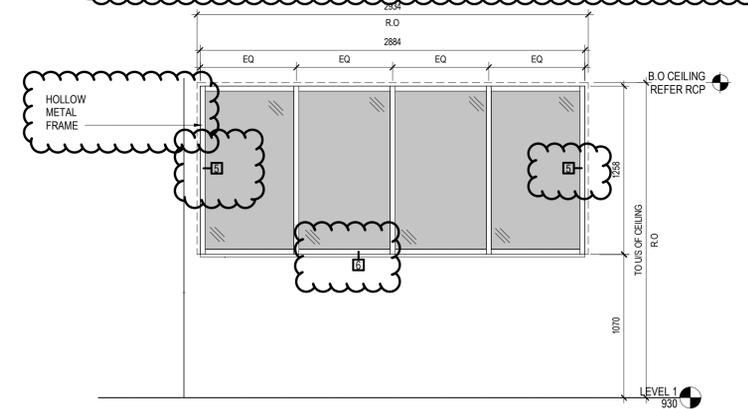
10/17/2024 2:14:58 PM Autodesk Docs://10355669_West Toronto Community Health Centre_2022/WTCHS_ARCH_2022.rvt



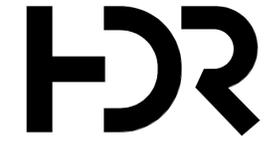
3 INTERIOR GLAZING ELEVATION
1:25



2 INTERIOR 1HR RATED GLAZING ELEVATION - VESTIBULE DOOR
1:25



1 INTERIOR 1HR RATED GLAZING ELEVATION - VESTIBULE
1:25



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

Project Number: 10355669
Original Issue: 11/20/23



Sheet Name
INTERIOR GLAZING PARTITIONS

Sheet Number
A-500

Project Status
ISSUED FOR TENDER

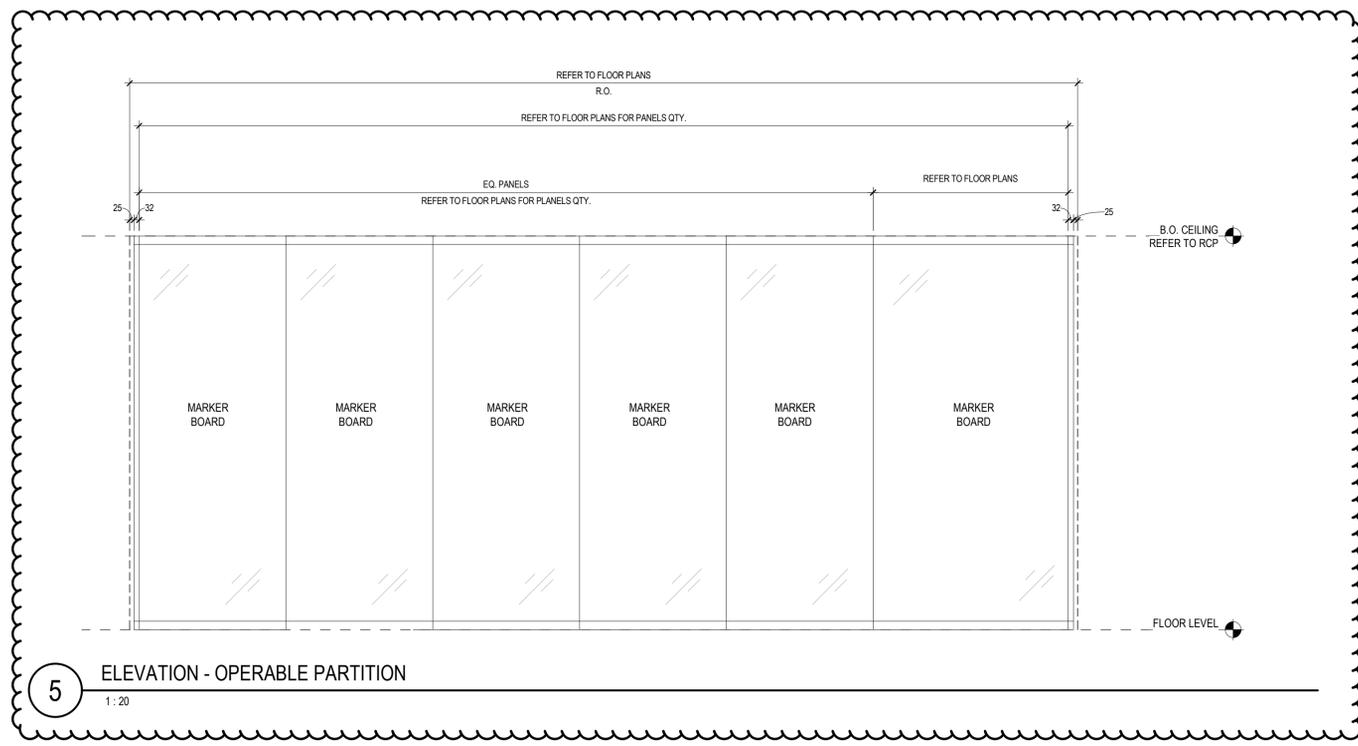
10/17/2024 2:14:58 PM Autodesk Docs://10355669_West Toronto Community Health Centre_2022/WTCHS_ARCH_2022.rvt



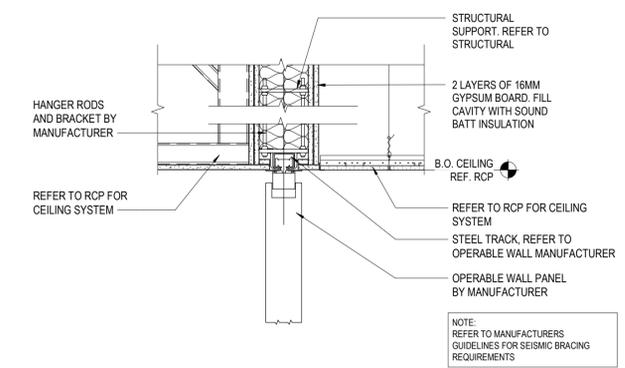
C

B

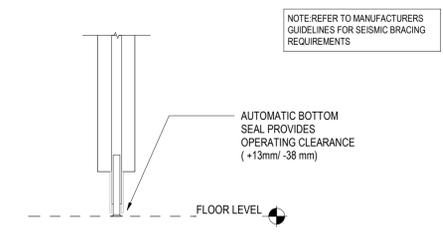
A



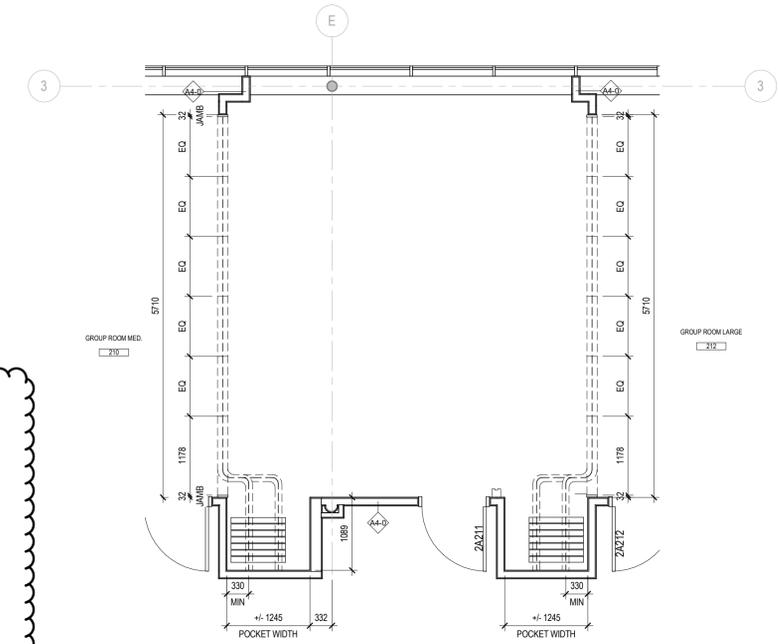
5 ELEVATION - OPERABLE PARTITION
1:20



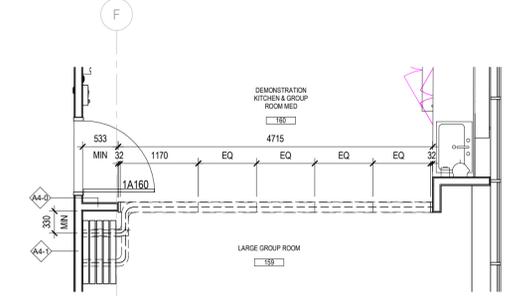
4 SECTION DETAIL- OPERABLE PARTITION TOP
1:10



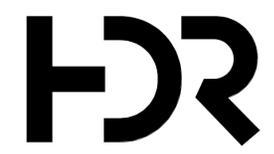
3 SECTION DETAIL - OPERABLE PARTITION BOTTOM
1:10



2 LEVEL 2 OPERABLE PARTITION
1:50



1 LEVEL 1 OPERABLE PARTITION
1:50



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-03-22	ISSUED FOR BUILDING PERMIT
3	24-09-18	ISSUED FOR TENDER
4	24-10-17	ISSUED FOR ADDENDUM #003

Project Number	10355669
Original Issue	08/30/23



Sheet Name
INTERIOR OPERABLE PARTITIONS

Sheet Number
A-501

Project Status
ISSUED FOR TENDER

10/17/2024 2:14:59 PM Autodesk Docs://10355669_West Toronto Community Health Centre_2022/WTCHS_ARCH_2022.rvt



C

B

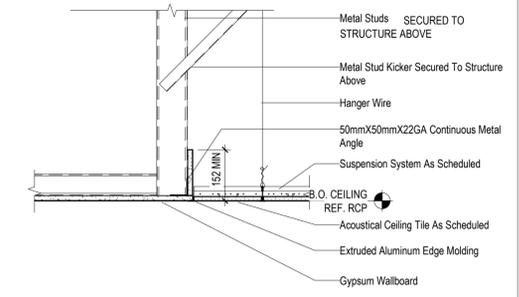
A

4

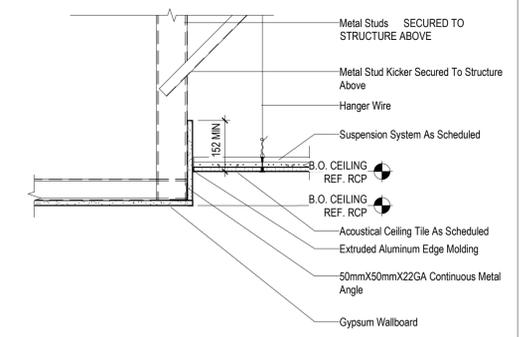
3

2

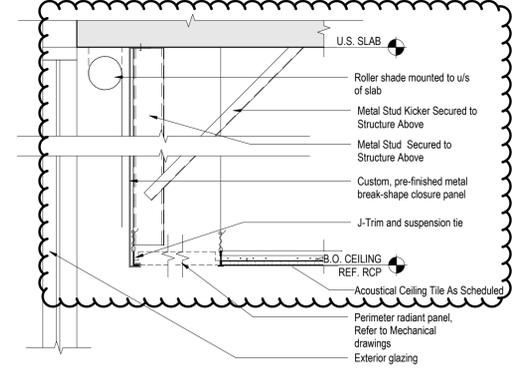
1



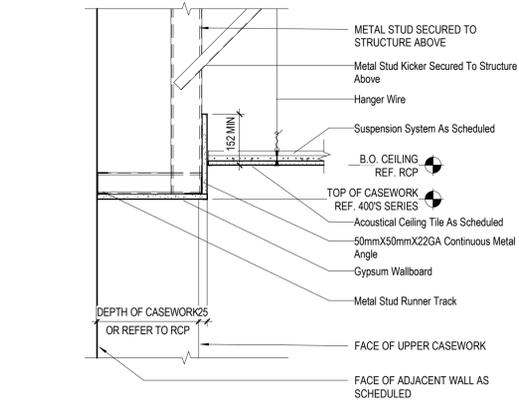
4 ACT TO GWB FLUSHED TRANSITION
1:10



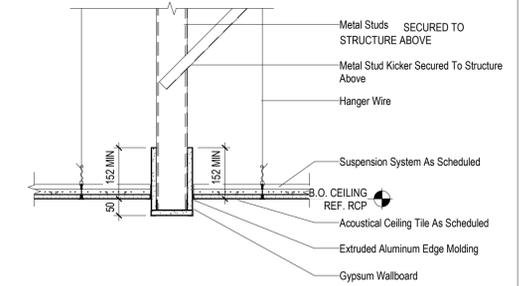
3 ACT TO GWB OFFSET TRANSITION
1:10



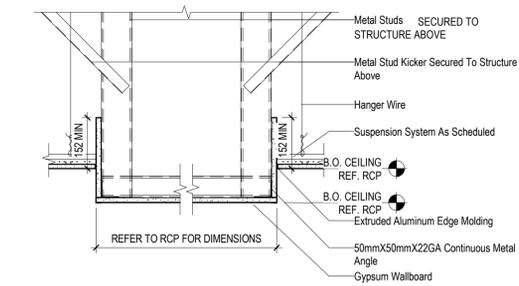
7 PERIMETER DETAIL @ WINDOWS
1:10



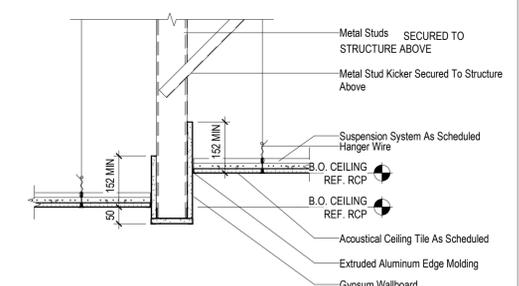
6 GWB SOFFIT @ MILLWORK
1:10



2 ACT TO ACT FLUSHED TRANSITION
1:10



5 HEADER DETAIL
1:10



1 ACT TO ACT OFFSET TRANSITION
1:10



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

Project Number	10355669
Original Issue	3/4/2019



Sheet Name
**INTERIOR DETAILS
CEILINGS**

Sheet Number
A-502

Project Status
ISSUED FOR TENDER

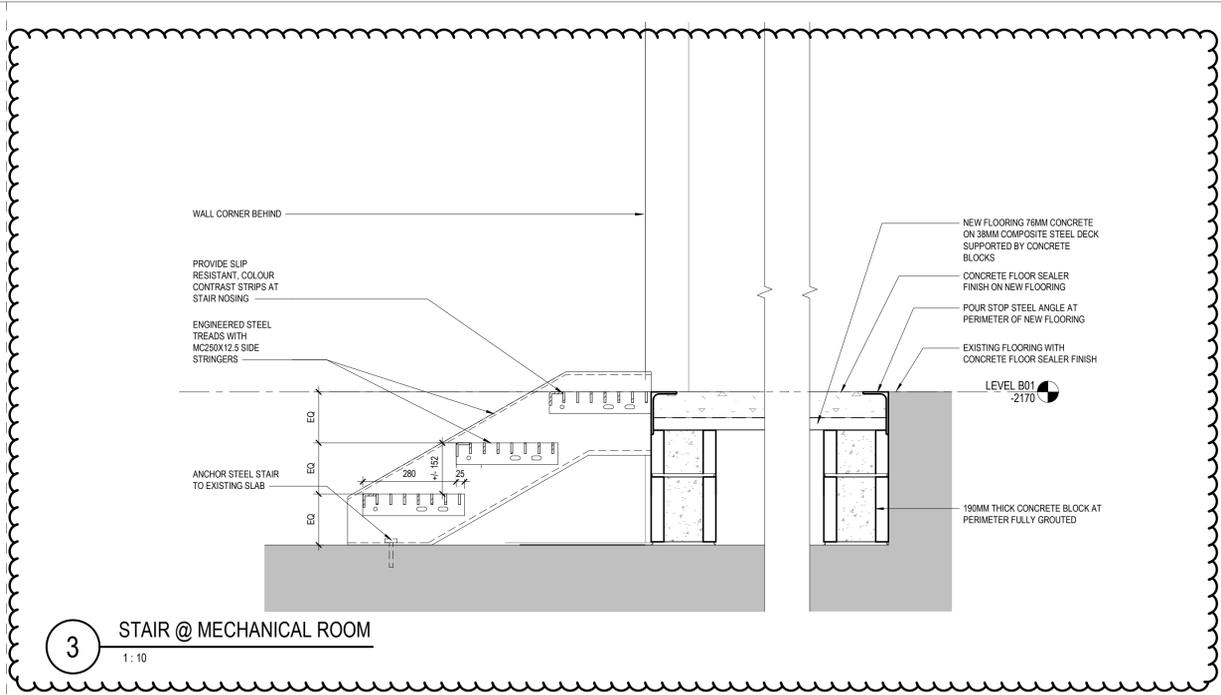
0 1/2 1 2

C

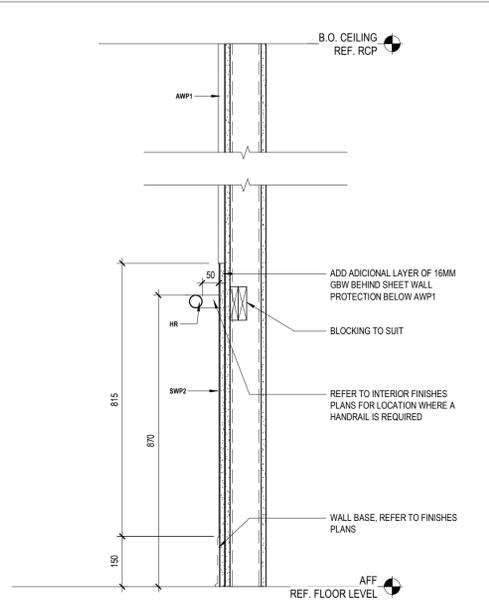
B

A

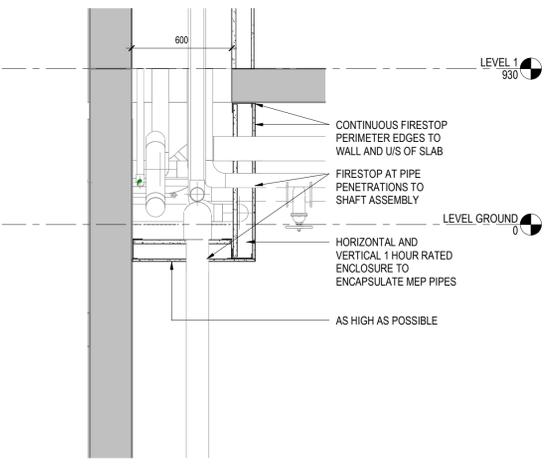
10/17/2024 4:33:14 PM Autodesk Docs://10355669_West Toronto Community Health Centre_2022/WTCHS_ARCH_2022.rvt



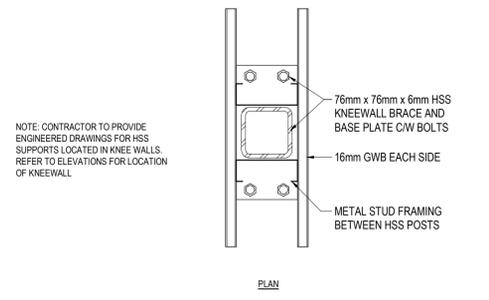
3 STAIR @ MECHANICAL ROOM
1:10



2 SECTION DETAIL - 3D WALL TILE
1:10

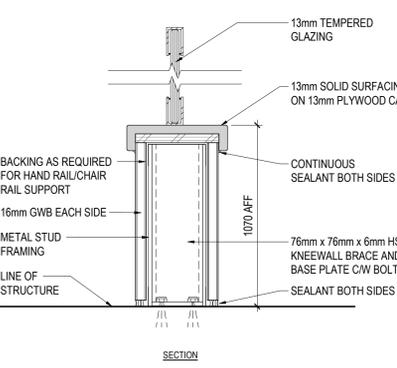


4 MECHANICAL ROOM - SHAFT ENCLOSURE
1:20



NOTE: CONTRACTOR TO PROVIDE ENGINEERED DRAWINGS FOR HSS SUPPORTS LOCATED IN KNEE WALLS. REFER TO ELEVATIONS FOR LOCATION OF KNEEWALL

1 KNEE WALL
1:5



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

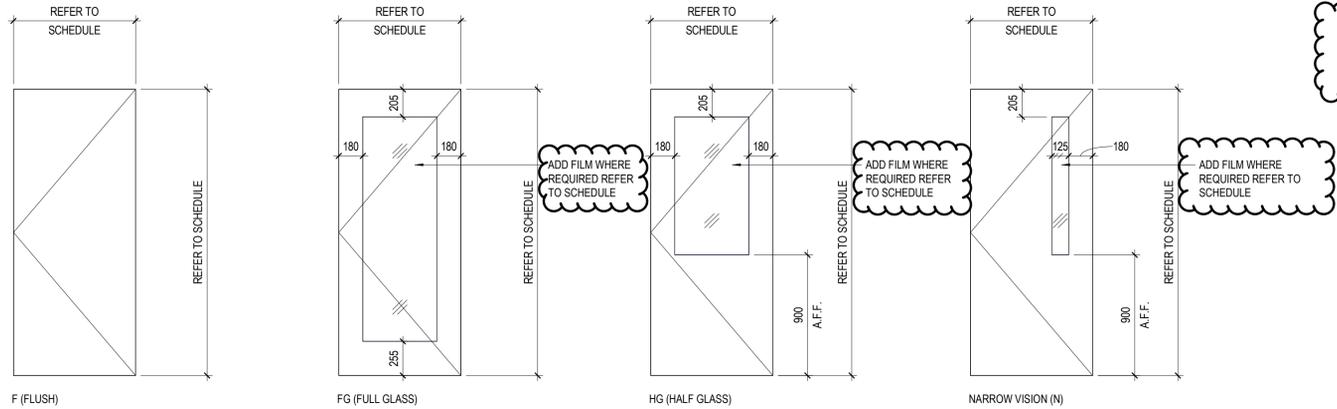
Project Number: 10355669
Original Issue: 08/30/23



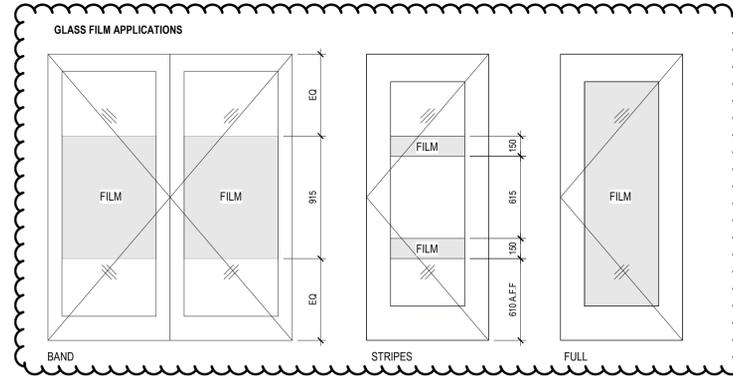
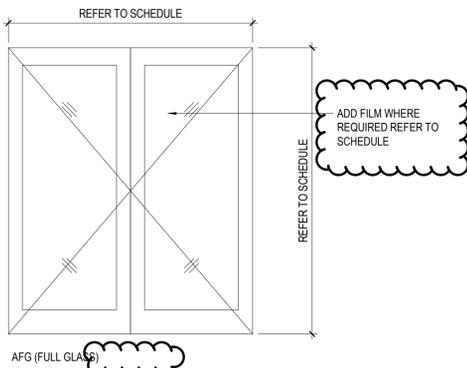
Sheet Name: INTERIOR DETAILS

Sheet Number: A-504

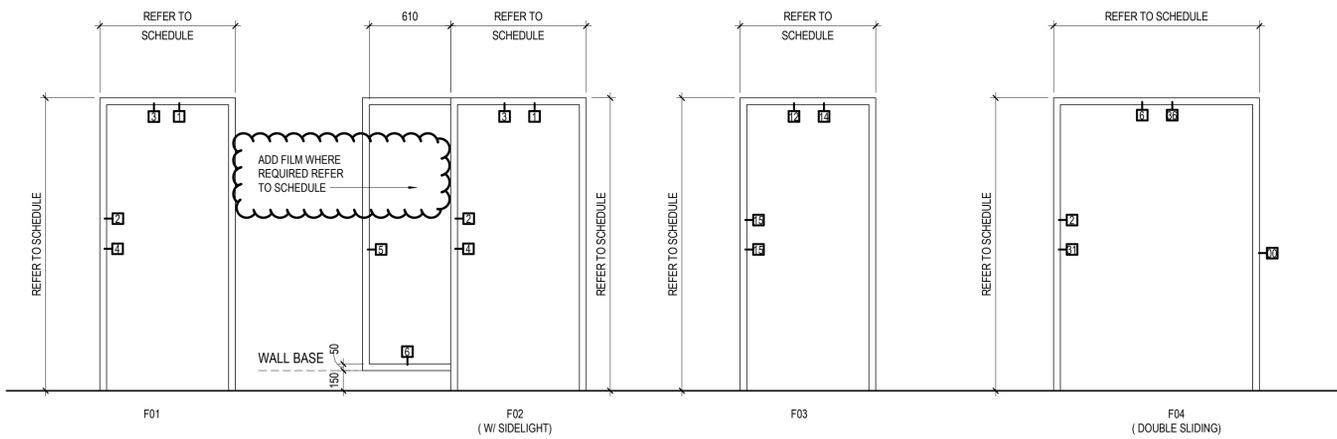
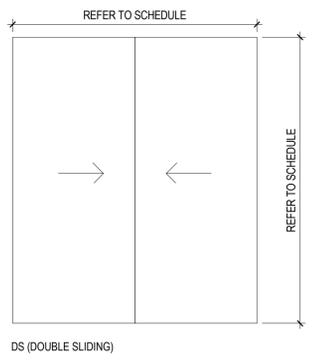
Project Status: ISSUED FOR TENDER



NOTE: FOLLOW SCHEDULE FOR REQUIRED RATED DOOR AND GLASS LOCATIONS



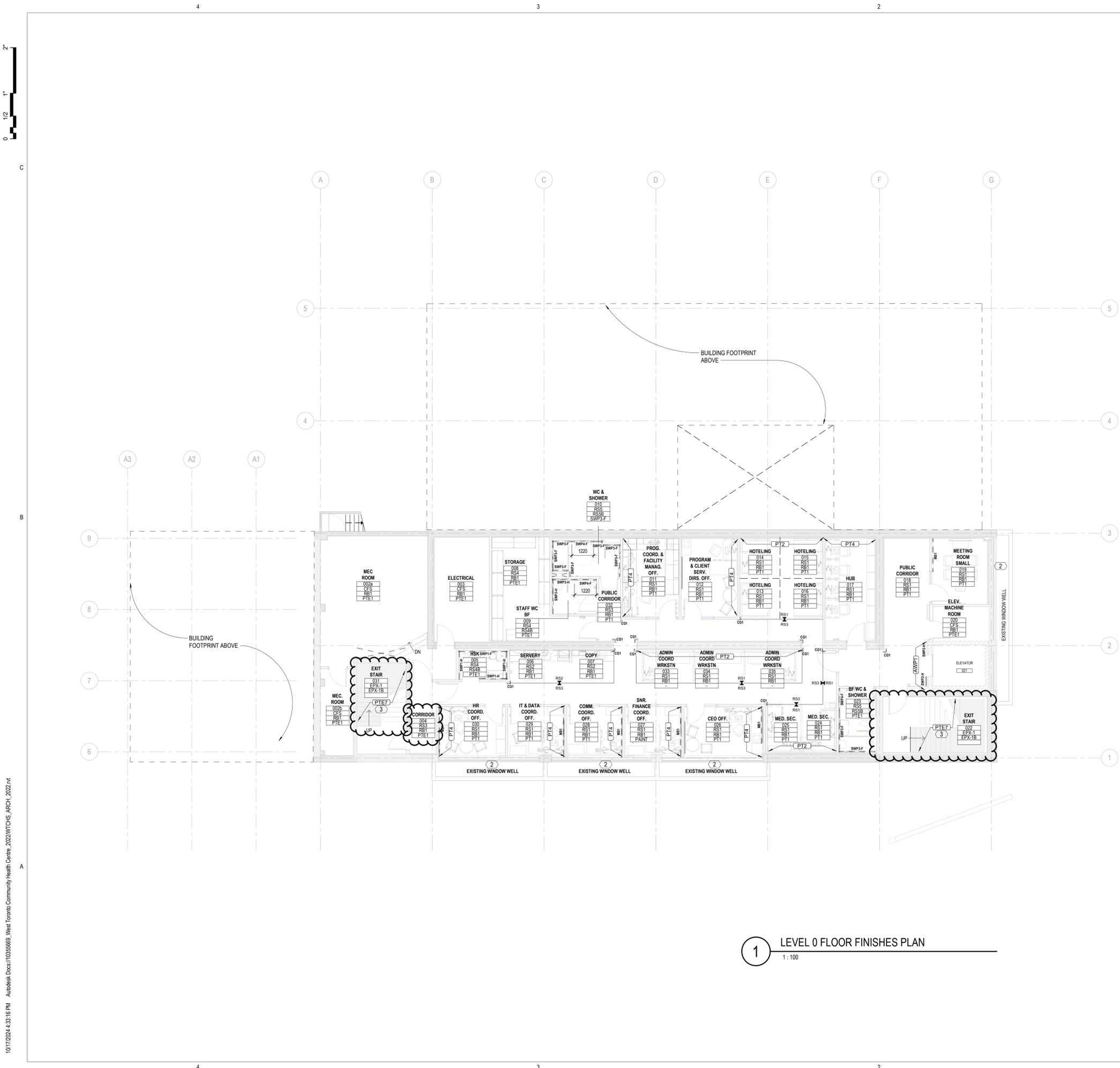
DOOR PANEL TYPES (HINGED)
1:25



FRAME LEGEND
1:25

DOOR SCHEDULE

DOOR NUMBER	ROOM NO.	ROOM NAME	TY	THK	PE	DOOR PANEL				DOOR FRAME			GLASS FILM	FIRE RATING	
						AL	W	H	FIN.	TYPE	MAT.	FIN.			
LEVEL 801															
0A001	002a	EXTERIOR	F	45	965	965		2135	HM	PTM	F01	HM	PTM		
0A002a	002a	MEC. ROOM	F	45	1065	1065		2135	HM	PTM3	F01	HM	PTM3		45 MIN
0A002b	002b	MEC. ROOM	F	45	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
0A003	003	ELECTRICAL	F	45	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
0A004	004	CORRIDOR	N	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
0A005	005	HSK	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
0A008	008	STORAGE	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
0A009	009	STAFF WC BF	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
0A010	010	WC & SHOWER	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
0A011	011	PROG. COORD. & FACILITY MANAG. OFF.	F	45	965	965		2135	WOOD	PL2	F02	HM	PTM1	FULL	45 MIN
0A012	012	PROGRAM & CLIENT SERV. DIRS. OFF.	F	45	965	965		2135	WOOD	PL2	F02	HM	PTM1	FULL	45 MIN
0A017	017	HUB	FG	45	965	965		2135	WOOD	PL2	F01	HM	PTM1	FULL	45 MIN
0A019	019	MEETING ROOM SMALL	FG	45	965	965		2135	WOOD	PL2	F02	HM	PTM1	STRIPES	45 MIN
0A020	020	ELEV. MACHINE ROOM	F	45	965	965		2135	HM	PTM3	F01	HM	PTM3		45 MIN
0A022	022	EXIT STAIR	N	45	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
0A023	023	BF WC & SHOWER	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
0A026	026	CEO OFF.	F	45	965	965		2135	WOOD	PL2	F02	HM	PTM1	FULL	45 MIN
0A027	027	SNR. FINANCE COORD. OFF.	F	45	965	965		2135	WOOD	PL2	F02	HM	PTM1	FULL	45 MIN
0A028	028	COMM. COORD. OFF.	F	45	965	965		2135	WOOD	PL2	F02	HM	PTM1	FULL	45 MIN
0A029	029	IT & DATA COORD. OFF.	F	45	965	965		2135	WOOD	PL2	F02	HM	PTM1	FULL	45 MIN
0A030	030	HR COORD. OFF.	F	45	965	965		2135	WOOD	PL2	F02	HM	PTM1	FULL	45 MIN
0A031	031		N	45	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
0A032	032	PUBLIC CORRIDOR	N	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
LEVEL 1															
1A100a		EXTERIOR	HG	45	965	965		2135	AL	AND	F03	AL	AND		
1A105a	031	EXIT STAIR	N	45	1065	1065		2135	HM	PTM2	F01	HM	PTM1		45 MIN
1A100	100	EXTERIOR	F	45	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
1A101	101	WASTE HOLDING	F	45	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
1A102	102	CLEAN UTILITY	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A103	103	WC CLIENT	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A104	104	HSK	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A105a	105	EXIT CORRIDOR	N	45	1065	1065		2135	HM	PTM2	F01	HM	PTM1		45 MIN
1A105b	105	EXIT CORRIDOR	N	45	1065	1065		2135	HM	PTM2	F01	HM	PTM1		45 MIN
1A105c	105	EXTERIOR	HG	45	965	965		2089	AL	AND	F03	AL	AND		
1A106	106	W/ UNIVERSAL	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A109a	110	PUBLIC CORRIDOR	N	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A109b	110	PUBLIC CORRIDOR	N	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A111	111	WC CLIENT	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A112	112	WC CLIENT BF	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A113a	113	STAFF CORRIDOR	N	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A113b	113	STAFF CORRIDOR	N	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A116	116	PT TREATMENT	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A117	117	PT/OT SHARED TREATMENT ROOM	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A118	118	CHIROPODY RM 1	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A119	119	CHIROPODY RM 2	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A120	120	CHIROPODY RM 3	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A133	133	CASE NAV/CARE COORD.	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A134	134	COUNS. OFF. 1	N	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1	FULL	45 MIN
1A135	135	COUNS. OFF. 2	N	45	965	965		2135	WOOD	PL2	F01	HM	PTM1	FULL	45 MIN
1A136	136	COUNS. OFF. 3	N	45	965	965		2135	WOOD	PL2	F01	HM	PTM1	FULL	45 MIN
1A137	137	MED. SUPPLY CART	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1	FULL	45 MIN
1A141	141	LAUNDRY	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A142	142	CLEAN UTILITY	N	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1	FULL	45 MIN
1A143	143	PHLEBEKG	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A144	144	MEDICATION ROOM	N	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A145	145	EXAM ROOM 1	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A146	146	EXAM ROOM 2	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A147	147	EXAM ROOM 3	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A148	148	EXAM ROOM 4	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A149	149	EXAM ROOM 5	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A150	150	EXAM ROOM 6	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A151	151	EXAM ROOM 7	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A152	152	EXAM ROOM 8	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A153	153	EXAM ROOM 9	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A154	154	ENHANCED EXAM 1	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A155	155	ENHANCED EXAM 2	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A156	156	ENHANCED EXAM 3	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A157	157	ENHANCED EXAM 4	F	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A158	158	RECEPTION	N	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A159	159	LARGE GROUP ROOM	N	45	1065	1065		2135	HM	PTM2	F01	HM	PTM1	FULL	45 MIN
1A165	165		N	45	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
1A160	160	DEMONSTRATION KITCHEN	N	45	1065	1065		2135	HM	PTM2	F01	HM	PTM1	FULL	45 MIN
1A168a	168	CONSIGNS	F	45	1065	1065		2135	AL	AND	F03	AL	AND		
1A169	169	EXTERIOR	F	45	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
1A170a	170	ENLARGED VESTIBULE	AFG	1530	965	965		2135	HM	PTM2	F01	HM	PTM1	BAND	45 MIN
1A170b	170	ENLARGED VESTIBULE	AFG	1530	965	965		2135	HM	PTM2	F01	HM	PTM1	BAND	45 MIN
1A170c	170	ENLARGED VESTIBULE	AFG	1530	965	965		2135	HM	PTM2	F01	HM	PTM1		45 MIN
1A172	172	COAT CLOSET	DS	50	1520			2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A182	182	WC CLIENT	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A183	183	WC CLIENT	F	45	965	965		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A184	184	SOILED UTILITY ROOM	N	45	1065	1065		2135	WOOD	PL2	F01	HM	PTM1		45 MIN
1A189	189	PRIMARY CARE HUB	N	45	965	965		2135	WOOD	PL2	F01	HM	PTM1	FULL	45 MIN
LEVEL 2															
2A200	200	STAFF LOUNGE/LUNCH RM	N	45	965	965		2135	WOOD	PL2	F01	HM	PTM1	FULL	45 MIN
2A201	201														



1 LEVEL 0 FLOOR FINISHES PLAN
1:100

GENERAL NOTES

- UNLESS OTHERWISE INDICATED, DO NOT PAINT FACTORY-FINISHED OR INSTALLER-FINISHED ITEMS.
- GRILLES, DIFFUSERS, ELECTRICAL PANELS, ACCESS PANELS, ETC., WHICH ARE EXPOSED IN FINISHED SPACES SHALL BE PAINTED TO MATCH THE SURFACE ON WHICH THEY OCCUR.
- PAINT INTERIOR SURFACES OF DUCTS LOW VOC BLACK WHERE SURFACES ARE VISIBLE THROUGH GRILLES AND DIFFUSERS.
- ALL WINDOW SILLS SHALL BE SSF1 UNLESS DETAILED OTHERWISE.
- ROLLER SHADES & BLINDS: REFER TO RCP FOR PERIMETER WINDOW...
- ALL FLOORING TYPE TRANSITIONS AT DOORS SHALL OCCUR ON THE CENTERLINE OF THE DOOR LEAF. TRANSITION TO BE SMOOTH AND EVEN. MAXIMUM VERTICAL CHANGE IN ELEVATION SHALL BE 6.35mm. REFER TO SPECIFICATIONS FOR REQUIRED FLOOR TRANSITION TRIMS.
- EXTEND FLOORING UNDER LAV/SINK BASE CABINETS AND OPEN KNEE...
- CASEWORK TOE-KICK HEIGHT TO MATCH BASE HEIGHT IN ROOM.
- WALL BASE DOES NOT EXTEND OVER STOREFRONT OR OTHER SPECIALTY WALL FINISH UNLESS SHOWN OTHERWISE.
- ALL WOOD-LOOK PLASTIC LAMINATE ON DOORS AND CASEWORK SHALL RUN VERTICALLY.

FINISHES LEGEND



INTERIOR FINISHES PLAN LEGEND

- NOTE:
REFER TO SPECIFICATIONS FOR FINISH CODES AND DESCRIPTION OF MATERIALS.
- ROOM NAME
 - ROOM NUMBER
 - FLOOR FINISH
 - BASE FINISH
 - WALL FINISH
 - FLOOR FINISH TRANSITION
 - WALL FINISH ACCENT
 - WALL PROTECTION
 - SWP# - H SHEET WALL PROTECTION HALF HEIGHT.
 - SWP# - F SHEET WALL PROTECTION FULL HEIGHT. TO UNDER SIDE OF CEILING
 - HR (HAND RAIL)
 - CR (CRASH RAIL)
 - CG# (CORNER GUARD)
 - EG# (END GUARD)
 - FIELD FLOOR FINISH - REFER TO ROOM FINISH TAG
 - EG - ENTRANCE GRID

SHEET KEYNOTES

- 1 MAINTAIN EXISTING FLOORING
- 2 'AF1'- ARCHITECTURAL FILM TO ALL WINDOW WELLS WINDOWS
- 3 PAINT ALL EXPOSED METAL AT STAIRS / STAIRWELLS (EX. HANDRAIL, GUARD RAIL, BALUSTERS, ETC.) WITH EPOXY PAINT IN COLOUR INDICATED.



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

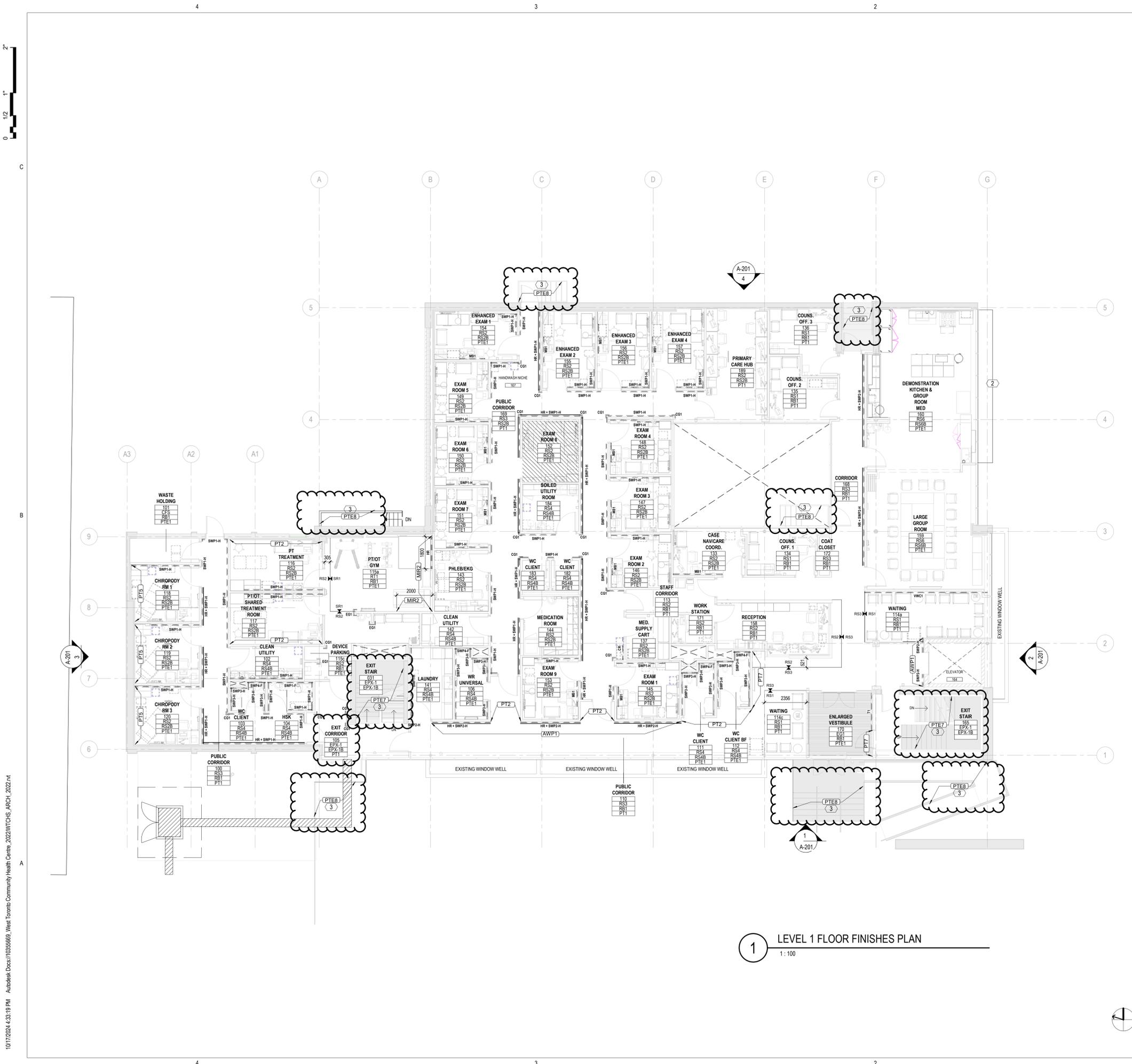
Project Number	10355669
Original Issue	08/30/23



Sheet Name
LEVEL 0 INTERIOR FINISHES PLAN

Sheet Number
A-700

Project Status
ISSUED FOR TENDER

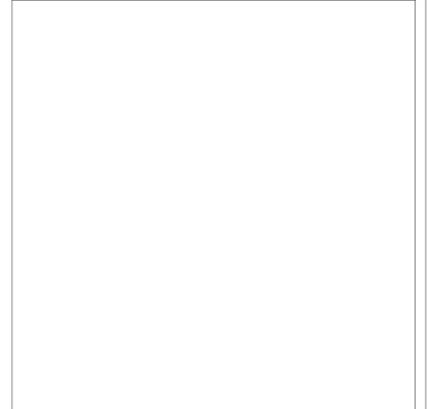


1 LEVEL 1 FLOOR FINISHES PLAN
1:100

GENERAL NOTES

- UNLESS OTHERWISE INDICATED, DO NOT PAINT FACTORY-FINISHED OR INSTALLER-FINISHED ITEMS.
- GRILLES, DIFFUSERS, ELECTRICAL PANELS, ACCESS PANELS, ETC., WHICH ARE EXPOSED IN FINISHED SPACES SHALL BE PAINTED TO MATCH THE SURFACE ON WHICH THEY OCCUR.
- PAINT INTERIOR SURFACES OF DUCTS LOW VOC BLACK WHERE SURFACES ARE VISIBLE THROUGH GRILLES AND DIFFUSERS.
- ALL WINDOW SILLS SHALL BE SSF1 UNLESS DETAILED OTHERWISE.
- ROLLER SHADES & BLINDS: REFER TO RCP FOR PERIMETER WINDOW...
- ALL FLOORING TYPE TRANSITIONS AT DOORS SHALL OCCUR ON THE CENTERLINE OF THE DOOR LEAF. TRANSITION TO BE SMOOTH AND EVEN. MAXIMUM VERTICAL CHANGE IN ELEVATION SHALL BE 6.35mm. REFER TO SPECIFICATIONS FOR REQUIRED FLOOR TRANSITION TRIMS.
- EXTEND FLOORING UNDER LAV/SINK BASE CABINETS AND OPEN KNEE...
- CASEWORK TOE-KICK: HEIGHT TO MATCH BASE HEIGHT IN ROOM.
- WALL BASE DOES NOT EXTEND OVER STOREFRONT OR OTHER SPECIALTY WALL FINISH UNLESS SHOWN OTHERWISE.
- ALL WOOD-LOOK PLASTIC LAMINATE ON DOORS AND CASEWORK SHALL RUN VERTICALLY.

FINISHES LEGEND



INTERIOR FINISHES PLAN LEGEND

- NOTE: REFER TO SPECIFICATIONS FOR FINISH CODES AND DESCRIPTION OF MATERIALS.
- ROOM NAME
 - ROOM NUMBER
 - FLOOR FINISH
 - BASE FINISH
 - WALL FINISH
 - FLOOR FINISH TRANSITION
 - WALL FINISH ACCENT
 - WALL PROTECTION
 - SWP-H SHEET WALL PROTECTION HALF HEIGHT.
 - SWP-F SHEET WALL PROTECTION FULL HEIGHT. TO UNDER SIDE OF CEILING
 - HR (HAND RAIL)
 - CR (CRASH RAIL)
 - CG# (CORNER GUARD)
 - EG# (END GUARD)
 - FIELD FLOOR FINISH - REFER TO ROOM FINISH TAG
 - EG - ENTRANCE GRID

SHEET KEYNOTES

- 1 MAINTAIN EXISTING FLOORING
- 2 "BF" ARCHITECTURAL FILM AT STAIRS / STAIRWELLS (EX. HANDRAIL, GUARD RAIL, BALUSTERS... ETC.) WITH EPOXY PAINT IN COLOUR INDICATED.
- 3 PAINT ALL EXPOSED METAL AT STAIRS / STAIRWELLS (EX. HANDRAIL, GUARD RAIL, BALUSTERS... ETC.) WITH EPOXY PAINT IN COLOUR INDICATED.



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

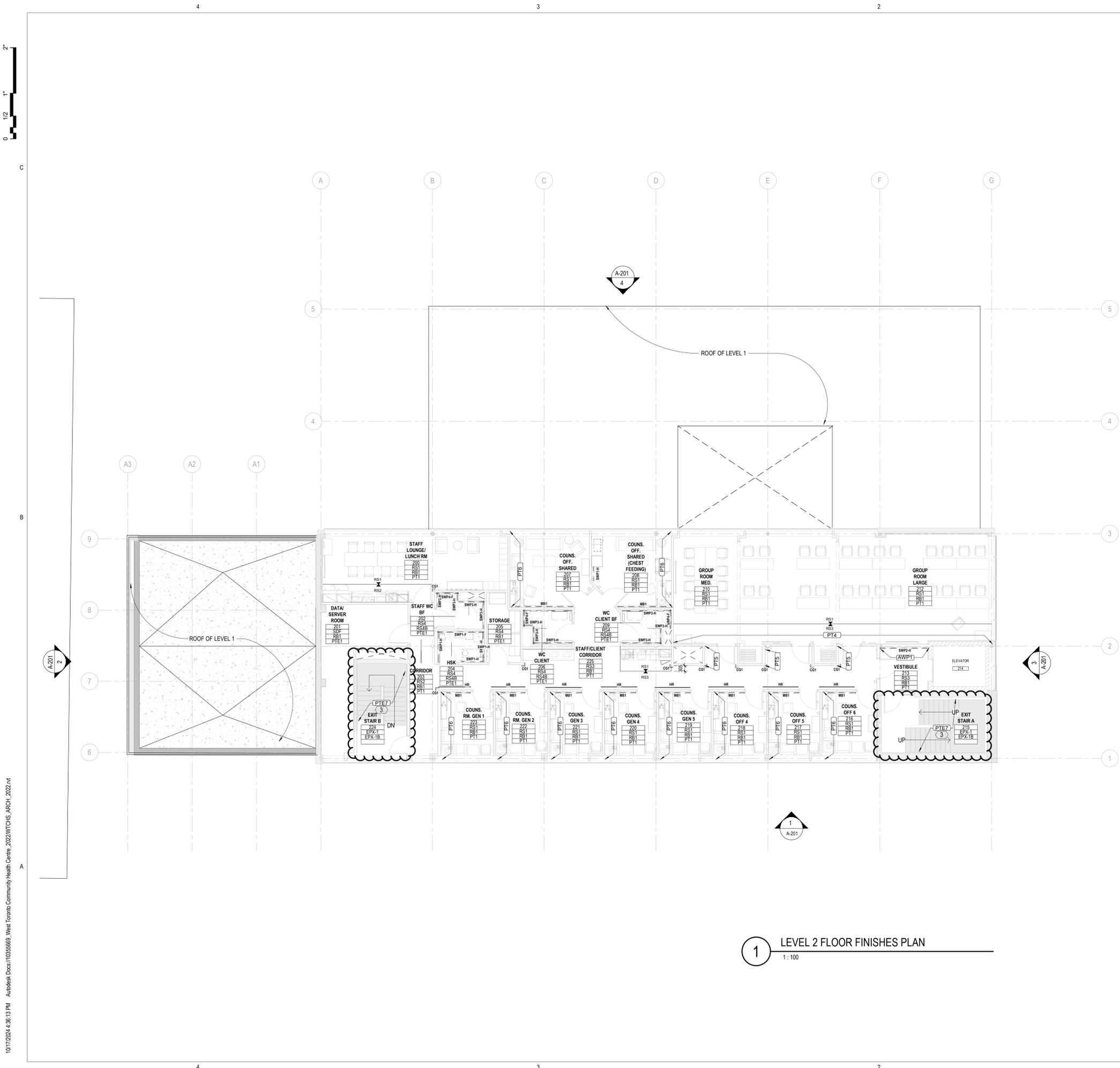
Project Number	10355669
Original Issue	08/30/23



Sheet Name
LEVEL 1 INTERIOR FINISHES PLAN

Sheet Number
A-701

Project Status
ISSUED FOR TENDER



1 LEVEL 2 FLOOR FINISHES PLAN
1:100

GENERAL NOTES

- UNLESS OTHERWISE INDICATED, DO NOT PAINT FACTORY-FINISHED OR INSTALLER-FINISHED ITEMS.
- GRILLES, DIFFUSERS, ELECTRICAL PANELS, ACCESS PANELS, ETC., WHICH ARE EXPOSED IN FINISHED SPACES SHALL BE PAINTED TO MATCH THE SURFACE ON WHICH THEY OCCUR.
- PAINT INTERIOR SURFACES OF DUCTS LOW VOC BLACK WHERE SURFACES ARE VISIBLE THROUGH GRILLES AND DIFFUSERS.
- ALL WINDOW SILLS SHALL BE SSF1 UNLESS DETAILED OTHERWISE.
- ROLLER SHADES & BLINDS: REFER TO RCP FOR PERIMETER WINDOW...
- ALL FLOORING TYPE TRANSITIONS AT DOORS SHALL OCCUR ON THE CENTERLINE OF THE DOOR LEAF. TRANSITION TO BE SMOOTH AND EVEN. MAXIMUM VERTICAL CHANGE IN ELEVATION SHALL BE 6.35mm. REFER TO SPECIFICATIONS FOR REQUIRED FLOOR TRANSITION TRIMS.
- EXTEND FLOORING UNDER LAV/SINK BASE CABINETS AND OPEN KNEE...
- CASEWORK TOE-KICK HEIGHT TO MATCH BASE HEIGHT IN ROOM.
- WALL BASE DOES NOT EXTEND OVER STOREFRONT OR OTHER SPECIALTY WALL FINISH UNLESS SHOWN OTHERWISE.
- ALL WOOD-LOOK PLASTIC LAMINATE ON DOORS AND CASEWORK SHALL RUN VERTICALLY.

FINISHES LEGEND



INTERIOR FINISHES PLAN LEGEND

- NOTE:
REFER TO SPECIFICATIONS FOR FINISH CODES AND DESCRIPTION OF MATERIALS.
- ROOM NAME: ROOM NUMBER
 - FLOOR FINISH
 - BASE FINISH
 - WALL FINISH
 - FLOOR FINISH TRANSITION
 - WALL FINISH ACCENT
 - WALL PROTECTION
 - SWP# - H: SHEET WALL PROTECTION HALF HEIGHT.
 - SWP# - F: SHEET WALL PROTECTION FULL HEIGHT. TO UNDER SIDE OF CEILING
 - HR (HAND RAIL)
 - CR (CRASH RAIL)
 - CG# (CORNER GUARD)
 - EG# (END GUARD)
 - FIELD FLOOR FINISH - REFER TO ROOM FINISH TAG
 - EG - ENTRANCE GRID

SHEET KEYNOTES

- (1) MAINTAIN EXISTING FLOORING
- (2) 'AF1' - ARCHITECTURAL FILM TO ALL WINDOW WELLS WINDOWS
- (3) PAINT ALL EXPOSED METAL AT STAIRS / STAIRWELLS (EX. HANDRAIL, GUARD RAIL, BALUSTERS, ETC.) WITH EPOXY PAINT IN COLOUR INDICATED.



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

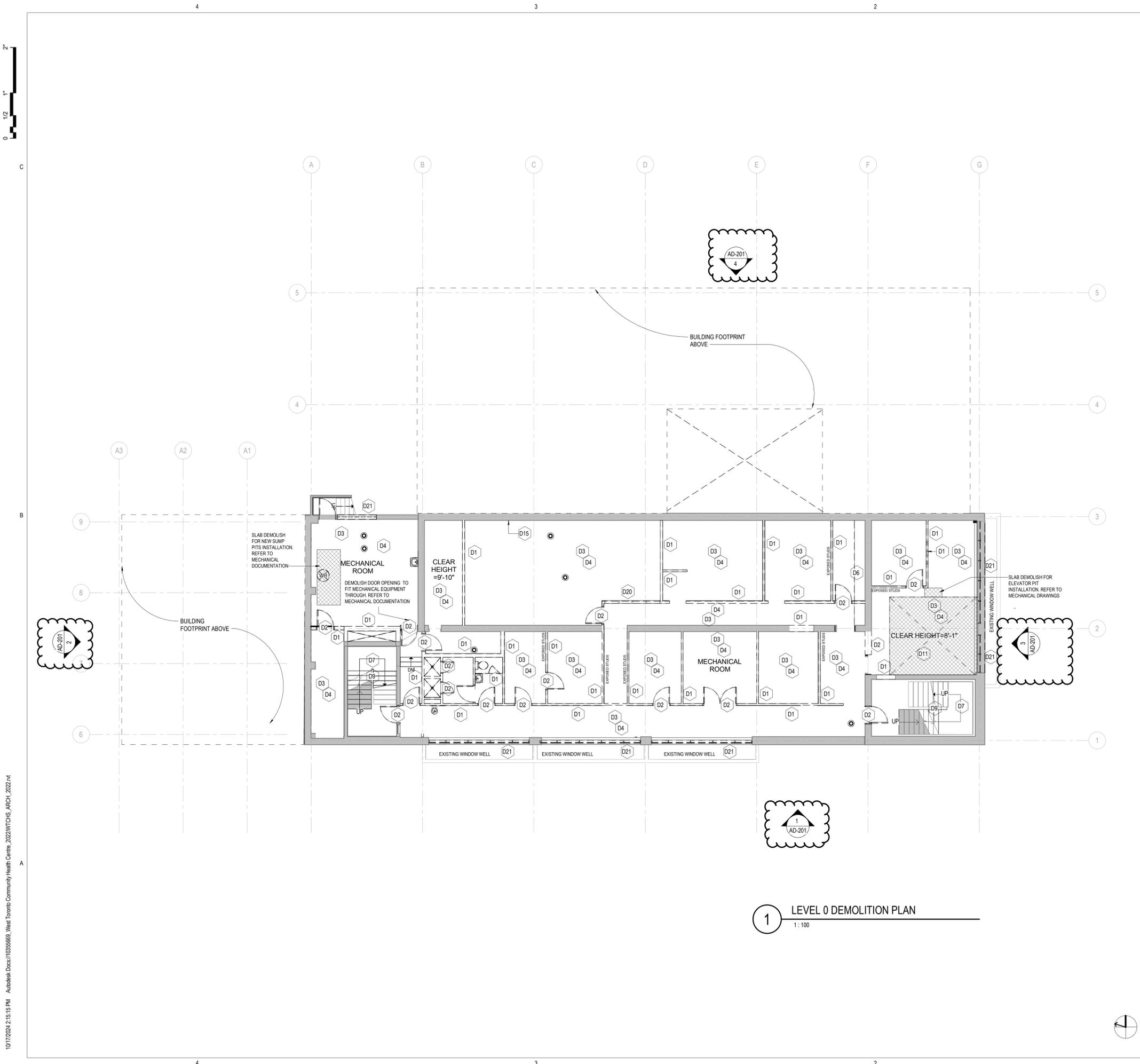
Project Number: 10355669
Original Issue: 08/30/23



Sheet Name
**LEVEL 2 INTERIOR
FINISHES PLAN**

Sheet Number
A-702

Project Status
ISSUED FOR TENDER



1 LEVEL 0 DEMOLITION PLAN
1:100

DEMOLITION LEGEND

	EXISTING WALL TO REMAIN		SLAB DEMOLISH. REFER TO MEP AND STRUCTURAL DOCUMENTATION
	DEMOLISHED WALL		SLAB PENETRATIONS FOR NEW FLOOR DRAINS. REFER TO MECHANICAL DOCUMENTATION
	DEMOLISHED WINDOW		METAL PANEL
	EXISTING DOOR TO REMAIN		
	DEMOLISHED DOOR		
	VISION GLASS		

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE TO ESTABLISH THE FULL EXTENT OF THE WORK AND DEMOLITION REQUIRED. VISITS TO THE SITE MUST BE SCHEDULED WITH THE OWNER.
2. ITEMS INDICATED WITH KEY NOTES ARE INTENDED TO ASSIST THE CONTRACTOR IN IDENTIFYING SPECIFIC CONDITIONS. DEMOLITION WORK IS NOT LIMITED TO THE ITEMS INDICATED WITH KEY NOTES.
3. REFER TO CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOT NECESSARILY SHOWN ON THE ARCHITECTURAL DRAWINGS.
4. CONTRACTOR TO REPORT ALL DISCREPANCIES IN THE DEMOLITION DRAWINGS TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE DEMOLITION WORK IN AREAS IN QUESTION.
5. ALL HAZARDOUS ABATEMENT TO BE PERFORMED IN ACCORDANCE WITH WORK PROCEDURES AS DEFINED BY THE APPLICABLE WORKERS COMPENSATION BOARD AND THE APPLICABLE OCCUPATIONAL HEALTH AND SAFETY REGULATION HAVING JURISDICTION.
6. THE CONSULTANT DOES NOT WARRANT THE ACCURACY OF EXISTING DRAWINGS, DIMENSIONS OR MATERIALS REPRESENTED ON THE DRAWINGS. DRAWINGS SHOWING EXISTING CONDITIONS ARE PROVIDED FOR THE CONTRACTORS' CONVENIENCE.
7. DEMOLITION WORK SHALL NOT BEGIN UNTIL SUCH TIME AS ALL TEMPORARY HOARDINGS, BARRICADES, SECURITY DEVICES, WAYFINDING AND SAFETY SIGNAGE IS IN PLACE. EXACT LOCATION AND TYPE OF CONSTRUCTION HOARDING C/W DOOR LOCATIONS TO BE COORDINATED ON SITE WITH CONSULTANTS AND OWNER PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL COORDINATE AND EXECUTE ALL DEMOLITION WORK AS REQUIRED TO ACCOMMODATE THE NEW WORK SHOWN ON ALL CONSULTANT DRAWINGS. MAKE GOOD ALL SUBSTRATES AND FINISHES TO MATCH EXISTING.
9. THE CONTRACTOR SHALL DETERMINE THE DIVISION OF DEMOLITION WORK BETWEEN THE VARIOUS TRADES. NOTWITHSTANDING, THE AGGREGATE OF ALL DEMOLITION WORK REQUIRED TO SATISFACTORILY COMPLETE THE EXECUTION OF ALL NEW WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. REMOVE / DEMOLISH EXISTING SLAB AS REQUIRED TO ACCOMMODATE BELOW SLAB SERVICES AND SLAB PENETRATIONS. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTATION.
11. REMOVE AND REPLACE FLOOR SLAB AS REQUIRED FOR M&E SERVICES.

DEMOLITION NOTES

- D1 REMOVE / DEMOLISH EXISTING INTERIOR PARTITION.
- D2 REMOVE EXISTING DOOR AND FRAME, INCLUDING SIDELIGHTS, HARDWARE, TRIMS AND ACCESSORIES.
- D3 REMOVE / DEMOLISH EXISTING CEILING.
- D4 REMOVE EXISTING FINISH FLOOR BACK TO STABLE SUBSTRATE AND PREPARE TO RECEIVE NEW FINISHES.
- D5 REMOVE / DEMOLISH EXISTING METAL CAGE
- D6 REMOVE / DEMOLISH EXISTING MILLWORK IN ITS ENTIRETY: INCLUDING UPPER AND LOWER CABINETS, COUNTERS, CAULKING ETC. COORDINATE MILLWORK CONTAINING PLUMBING FIXTURE REMOVALS W/ MECHANICAL DRAWINGS.
- D7 STAIR COMPONENTS INCLUDING TERRAZZO FLOORING, BRICK WALLS TO BE MAINTAINED AND PROTECTED
- D8 REMOVE EXISTING ROOFING SYSTEM TO ACCEPT NEW ROOF.
- D9 REMOVE EXISTING RAILINGS
- D10 REMOVE / DEMOLISH EXISTING RAMP
- D11 EXISTING SLAB TO BE CUT FOR NEW ELEVATOR INSTALLATION, REFER TO NEW FLOOR PLANS FOR EXTENT
- D12 REMOVE EXISTING CHIMNEY
- D13 REMOVE EXISTING SLAB
- D14 REMOVE / DEMOLISH EXISTING WALL TILE FINISH
- D15 REMOVE EXISTING WALL MOUNTED MIRRORS
- D16 REMOVE / DEMOLISH EXISTING METAL JAIL CELLS, BEDS AND PLUMBING FIXTURES.
- D17 REMOVE EXISTING FIRE HOSE CABINET IN COORDINATION W/ MECHANICAL DRAWINGS
- D18 REMOVE / DEMOLISH EXISTING +/- 100mm HIGH CONCRETE LOCKER BASES TO MAKE LEVEL WITH EXISTING FLOOR.
- D19 CREATE A NEW DOOR OPENING. REFER TO NEW FLOOR PLANS AND DOOR SCHEDULE
- D20 REMOVE / DEMOLISH EXISTING INTERIOR GLAZING AND FRAME. REMOVE EXISTING INTERIOR GLAZING TREATMENT
- D21 REMOVE EXISTING EXTERIOR WINDOW AND FRAME INCLUDING INTERIOR SILLS, HEADERS, JAMBS, BLOCKING, TRIMS, ACCESSORIES, FLASHING, CAULKING ETC. AND REMOVE EXISTING WINDOW TREATMENT
- D22 REMOVE THE EXISTING CURTAIN WALL SYSTEM INCLUDING TILE INFILL AND BACKUP WITHIN THE CURTAIN WALL, SURFACED APPLIED METAL SIDING, BLOCKING, TRIMS, ACCESSORIES, FLASHING, CAULKING ETC. AND REMOVE THE EXISTING CURTAIN WALL...
- D23 EXCAVATE THE AREA AS REQUIRED TO INSTALL NEW ELECTRICAL UTILITIES. REFER TO ELECTRICAL DOCUMENTATION
- D24 REMOVE AND DISPOSE OF EQUIPMENT, FURNITURE AND OVERGROWN LANDSCAPE IN COORDINATION WITH THE OWNER
- D25 REMOVE AND DISPOSE ROOF MECHANICAL UNITS. REFER TO M&E REQUIREMENTS
- D26 REMOVE EXISTING HEDGES AS REQUIRED FOR CONSTRUCTION AND REPLACE AS REQUIRED



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

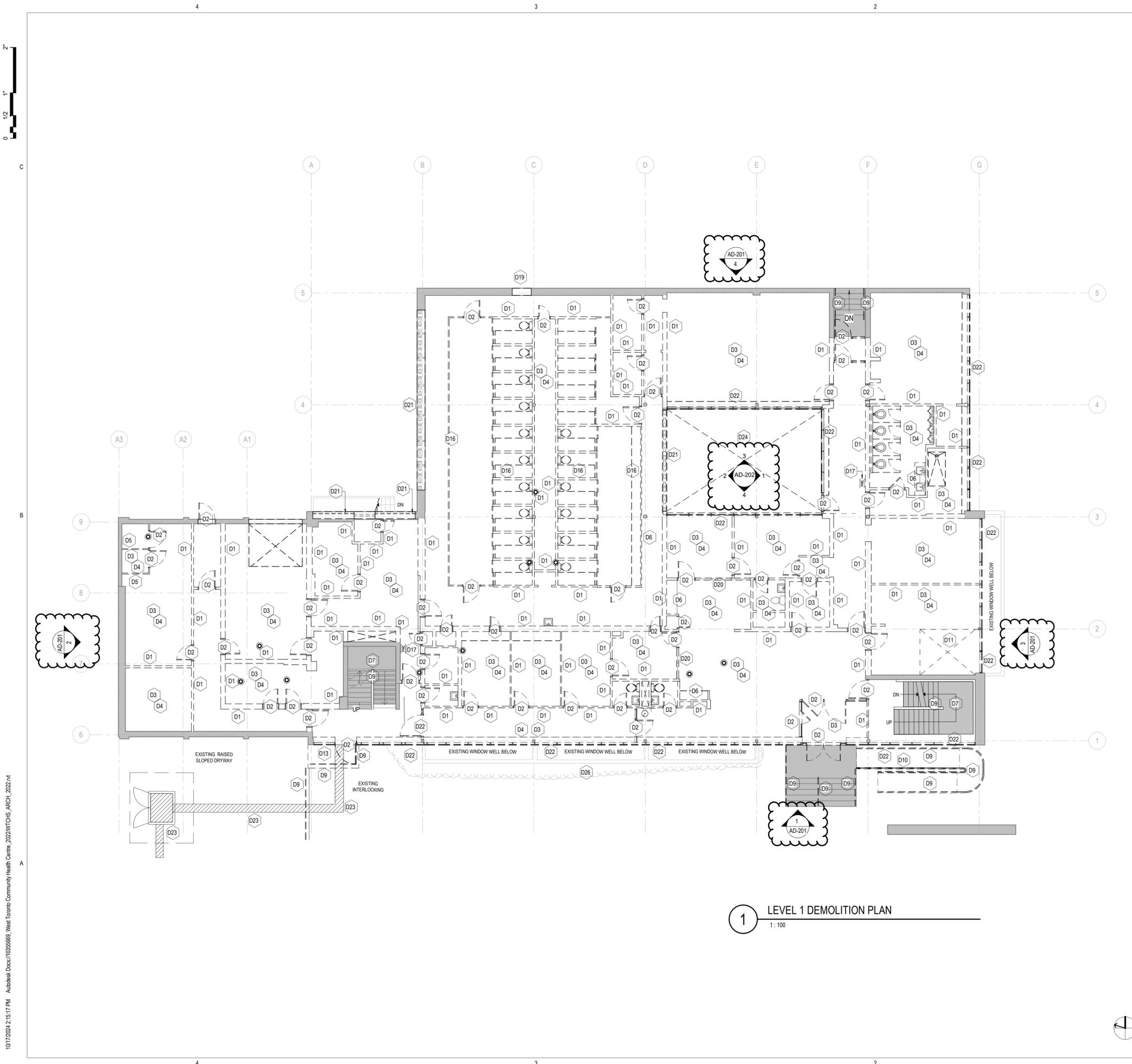
Project Number	10355669
Original Issue	03/24/23



Sheet Name
LEVEL 0 DEMOLITION PLAN

Sheet Number
AD-100

Project Status
ISSUED FOR TENDER



1 LEVEL 1 DEMOLITION PLAN
1:100

DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- DEMOLISHED WALL
- DEMOLISHED WINDOW
- EXISTING DOOR TO REMAIN
- DEMOLISHED DOOR
- VISION GLASS
- METAL PANEL
- SLAB DEMOLISH. REFER TO MEP AND STRUCTURAL DOCUMENTATION
- SLAB PENETRATIONS FOR NEW FLOOR DRAINS. REFER TO MECHANICAL DOCUMENTATION

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE TO ESTABLISH THE FULL EXTENT OF THE WORK AND DEMOLITION REQUIRED. VISITS TO THE SITE MUST BE SCHEDULED WITH THE OWNER.
2. ITEMS INDICATED WITH KEY NOTES ARE INTENDED TO ASSIST THE CONTRACTOR IN IDENTIFYING SPECIFIC CONDITIONS. DEMOLITION WORK IS NOT LIMITED TO THE ITEMS INDICATED WITH KEY NOTES.
3. REFER TO CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOT NECESSARILY SHOWN ON THE ARCHITECTURAL DRAWINGS.
4. CONTRACTOR TO REPORT ALL DISCREPANCIES IN THE DEMOLITION DRAWINGS TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE DEMOLITION WORK IN AREAS IN QUESTION
5. ALL HAZARDOUS ABATEMENT TO BE PERFORMED IN ACCORDANCE WITH WORK PROCEDURES AS DEFINED BY THE APPLICABLE WORKERS COMPENSATION BOARD AND THE APPLICABLE OCCUPATIONAL HEALTH AND SAFETY REGULATION HAVING JURISDICTION.
6. THE CONSULTANT DOES NOT WARRANT THE ACCURACY OF EXISTING DRAWINGS, DIMENSIONS OR MATERIALS REPRESENTED ON THE DRAWINGS. DRAWINGS SHOWING EXISTING CONDITIONS ARE PROVIDED FOR THE CONTRACTORS' CONVENIENCE.
7. DEMOLITION WORK SHALL NOT BEGIN UNTIL SUCH TIME AS ALL TEMPORARY HOARDINGS, BARRICADES, SECURITY DEVICES, WAYFINDING AND SAFETY SIGNAGE IS IN PLACE. EXACT LOCATION AND TYPE OF CONSTRUCTION HOARDING OR CURB LOCATIONS TO BE COORDINATED ON SITE WITH CONSULTANTS AND OWNER PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL COORDINATE AND EXECUTE ALL DEMOLITION WORK AS REQUIRED TO ACCOMMODATE THE NEW WORK SHOWN ON ALL CONSULTANT DRAWINGS. MAKE GOOD ALL SUBSTRATES AND FINISHES TO MATCH EXISTING.
9. THE CONTRACTOR SHALL DETERMINE THE DIVISION OF DEMOLITION WORK BETWEEN THE VARIOUS TRADES. NOTWITHSTANDING, THE AGGREGATE OF ALL DEMOLITION WORK REQUIRED TO SATISFACTORILY COMPLETE THE EXECUTION OF ALL NEW WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. REMOVE / DEMOLISH EXISTING SLAB AS REQUIRED TO ACCOMMODATE BELOW SLAB SERVICES AND SLAB PENETRATIONS. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTATION
11. REMOVE AND REPLACE FLOOR SLAB AS REQUIRED FOR M&E SERVICES

DEMOLITION NOTES

- D1 REMOVE / DEMOLISH EXISTING INTERIOR PARTITION.
- D2 REMOVE EXISTING DOOR AND FRAME, INCLUDING SIDELIGHTS, HARDWARE, TRIMS AND ACCESSORIES.
- D3 REMOVE / DEMOLISH EXISTING CEILING.
- D4 REMOVE EXISTING FINISH FLOOR BACK TO STABLE SUBSTRATE AND PREPARE TO RECEIVE NEW FINISHES.
- D5 REMOVE / DEMOLISH EXISTING METAL CAGE
- D6 REMOVE / DEMOLISH EXISTING MILLWORK IN ITS ENTIRETY: INCLUDING UPPER AND LOWER CABINETS, COUNTERS, CAULKING ETC. COORDINATE MILWORK CONTAINING PLUMBING FIXTURE REMOVALS W/ MECHANICAL DRAWINGS.
- D7 STAIR COMPONENTS INCLUDING TERRAZO FLOORING, BRICK WALLS TO BE MAINTAINED AND PROTECTED
- D8 REMOVE EXISTING ROOFING SYSTEM TO ACCEPT NEW ROOF.
- D9 REMOVE EXISTING RAILINGS
- D10 REMOVE / DEMOLISH EXISTING RAMP
- D11 EXISTING SLAB TO BE CUT FOR NEW ELEVATOR INSTALLATION, REFER TO NEW FLOOR PLANS FOR EXTENT
- D12 REMOVE EXISTING CHIMNEY
- D13 REMOVE EXISTING SLAB
- D14 REMOVE / DEMOLISH EXISTING WALL TILE FINISH
- D15 REMOVE EXISTING WALL MOUNTED MIRRORS
- D16 REMOVE / DEMOLISH EXISTING METAL JAIL CELLS, BEDS AND PLUMBING FIXTURES.
- D17 REMOVE EXISTING FIRE HOSE CABINET IN COORDINATION W/ MECHANICAL DRAWINGS
- D18 REMOVE / DEMOLISH EXISTING +/- 100mm HIGH CONCRETE LOCKER BASES TO MAKE LEVEL WITH EXISTING FLOOR.
- D19 CREATE A NEW DOOR OPENING. REFER TO NEW FLOOR PLANS AND DOOR SCHEDULE
- D20 REMOVE / DEMOLISH EXISTING INTERIOR GLAZING AND FRAME. REMOVE EXISTING INTERIOR GLAZING TREATMENT
- D21 REMOVE EXISTING EXTERIOR WINDOW AND FRAME INCLUDING INTERIOR SILLS, HEADERS, JAMBS, BLOCKING, TRIMS, ACCESSORIES, FLASHING, CAULKING ETC. AND REMOVE EXISTING WINDOW TREATMENT
- D22 REMOVE THE EXISTING CURTAIN WALL SYSTEM INCLUDING TILE INFILL AND BACKUP WITHIN THE CURTAIN WALL, SURFACED APPLIED METAL SIDING, BLOCKING, TRIMS, ACCESSORIES, FLASHING, CAULKING ETC. AND REMOVE THE EXISTING CURTAIN WALL...
- D23 EXCAVATE THE AREA AS REQUIRED TO INSTALL NEW ELECTRICAL UTILITIES. REFER TO ELECTRICAL DOCUMENTATION
- D24 REMOVE AND DISPOSE OF EQUIPMENT, FURNITURE AND OVERGROWN LANDSCAPE IN COORDINATION WITH THE OWNER
- D25 REMOVE AND DISPOSE ROOF MECHANICAL UNITS. REFER TO M&E REQUIREMENTS
- D26 REMOVE EXISTING HEDGES AS REQUIRED FOR CONSTRUCTION AND REPLACE AS REQUIRED



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Wayfinding Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-08	ISSUED FOR ADDENDUM #002
6	24-10-17	ISSUED FOR ADDENDUM #003

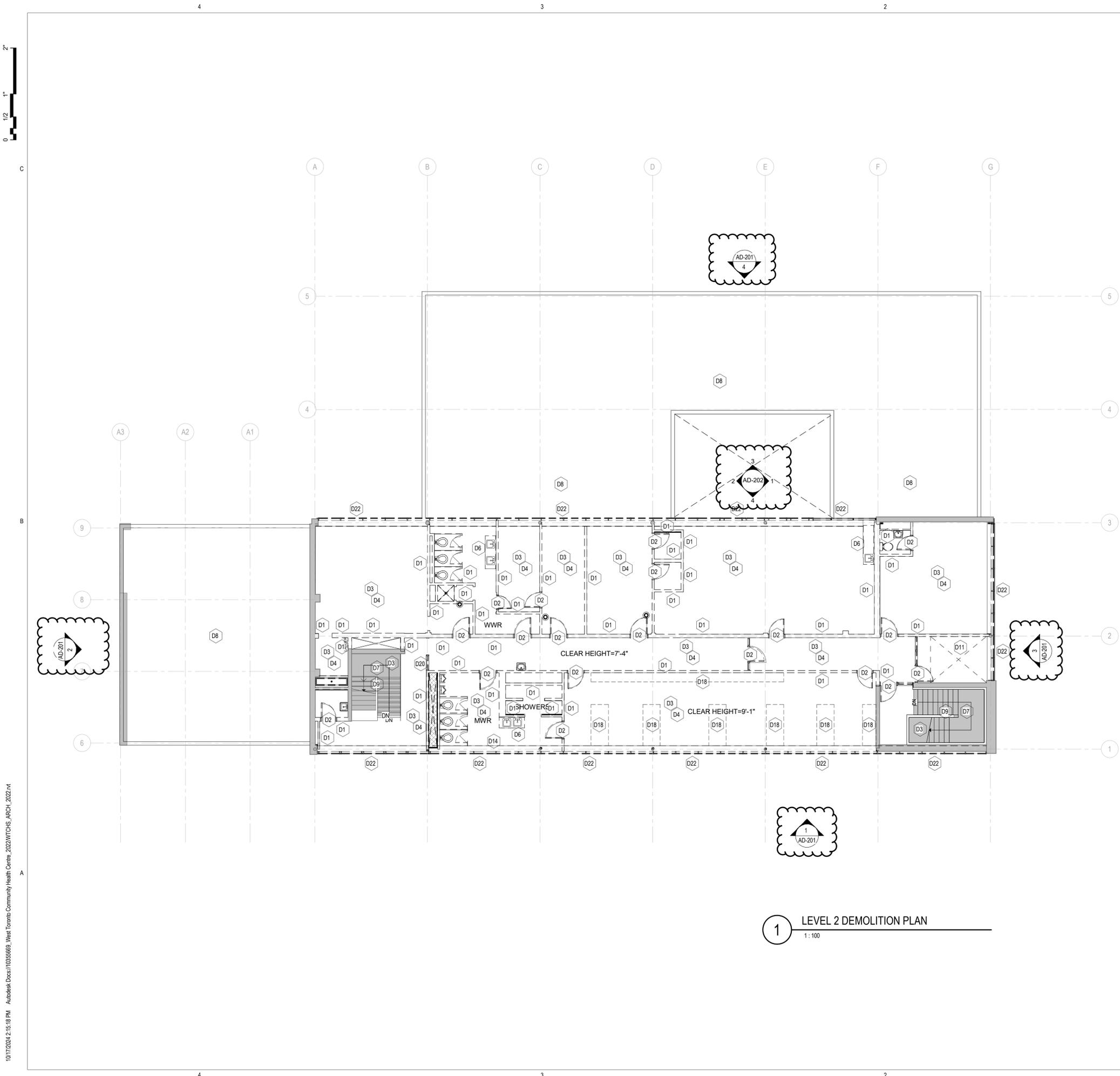
Project Number	10355669
Original Issue	03/24/23



Sheet Name
LEVEL 1 DEMOLITION PLAN

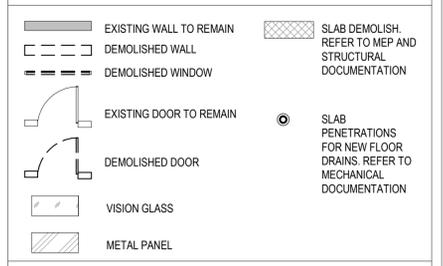
Sheet Number
AD-101

Project Status
ISSUED FOR TENDER



1 LEVEL 2 DEMOLITION PLAN
1:100

DEMOLITION LEGEND



DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE TO ESTABLISH THE FULL EXTENT OF THE WORK AND DEMOLITION REQUIRED. VISITS TO THE SITE MUST BE SCHEDULE WITH THE OWNER.
2. ITEMS INDICATED WITH KEY NOTES ARE INTENDED TO ASSIST THE CONTRACTOR IN IDENTIFYING SPECIFIC CONDITIONS. DEMOLITION WORK IS NOT LIMITED TO THE ITEMS INDICATED WITH KEY NOTES.
3. REFER TO CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOT NECESSARILY SHOWN ON THE ARCHITECTURAL DRAWINGS.
4. CONTRACTOR TO REPORT ALL DISCREPANCIES IN THE DEMOLITION DRAWINGS TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE DEMOLITION WORK IN AREAS IN QUESTION
5. ALL HAZARDOUS ABATEMENT TO BE PERFORMED IN ACCORDANCE WITH WORK PROCEDURES AS DEFINED BY THE APPLICABLE WORKERS COMPENSATION BOARD AND THE APPLICABLE OCCUPATIONAL HEALTH AND SAFETY REGULATION HAVING JURISDICTION.
6. THE CONSULTANT DOES NOT WARRANT THE ACCURACY OF EXISTING DRAWINGS, DIMENSIONS OR MATERIALS REPRESENTED ON THE DRAWINGS. DRAWINGS SHOWING EXISTING CONDITIONS ARE PROVIDED FOR THE CONTRACTORS' CONVENIENCE.
7. DEMOLITION WORK SHALL NOT BEGIN UNTIL SUCH TIME AS ALL TEMPORARY HOARDINGS, BARRICADES, SECURITY DEVICES, WAYFINDING AND SAFETY SIGNAGE IS IN PLACE. EXACT LOCATION AND TYPE OF CONSTRUCTION HOARDING OR DOOR LOCATIONS TO BE COORDINATED ON SITE WITH CONSULTANTS AND OWNER PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL COORDINATE AND EXECUTE ALL DEMOLITION WORK AS REQUIRED TO ACCOMMODATE THE NEW WORK SHOWN ON ALL CONSULTANT DRAWINGS. MAKE GOOD ALL SUBSTRATES AND FINISHES TO MATCH EXISTING.
9. THE CONTRACTOR SHALL DETERMINE THE DIVISION OF DEMOLITION WORK BETWEEN THE VARIOUS TRADES. NOTWITHSTANDING, THE AGGREGATE OF ALL DEMOLITION WORK REQUIRED TO SATISFACTORILY COMPLETE THE EXECUTION OF ALL NEW WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. REMOVE / DEMOLISH EXISTING SLAB AS REQUIRED TO ACCOMMODATE BELOW SLAB SERVICES AND SLAB PENETRATIONS. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTATION
11. REMOVE AND REPLACE FLOOR SLAB AS REQUIRED FOR M&E SERVICES

DEMOLITION NOTES

- D1 REMOVE / DEMOLISH EXISTING INTERIOR PARTITION.
- D2 REMOVE EXISTING DOOR AND FRAME, INCLUDING SIDELIGHTS, HARDWARE, TRIMS AND ACCESSORIES.
- D3 REMOVE / DEMOLISH EXISTING CEILING.
- D4 REMOVE EXISTING FINISH FLOOR BACK TO STABLE SUBSTRATE AND PREPARE TO RECEIVE NEW FINISHES.
- D5 REMOVE / DEMOLISH EXISTING METAL CAGE
- D6 REMOVE / DEMOLISH EXISTING MILLWORK IN ITS ENTIRETY: INCLUDING UPPER AND LOWER CABINETS, COUNTERS, CAULKING ETC. COORDINATE MILWORK CONTAINING PLUMBING FIXTURE REMOVALS W/ MECHANICAL DRAWINGS.
- D7 STAIR COMPONENTS INCLUDING TERRAZO FLOORING, BRICK WALLS TO BE MAINTAINED AND PROTECTED
- D8 REMOVE EXISTING ROOFING SYSTEM TO ACCEPT NEW ROOF.
- D9 REMOVE EXISTING RAILINGS
- D10 REMOVE / DEMOLISH EXISTING RAMP
- D11 EXISTING SLAB TO BE CUT FOR NEW ELEVATOR INSTALLATION, REFER TO NEW FLOOR PLANS FOR EXTENT
- D12 REMOVE EXISTING CHIMNEY
- D13 REMOVE EXISTING SLAB
- D14 REMOVE / DEMOLISH EXISTING WALL TILE FINISH
- D15 REMOVE EXISTING WALL MOUNTED MIRRORS
- D16 REMOVE / DEMOLISH EXISTING METAL JAIL CELLS, BEDS AND PLUMBING FIXTURES.
- D17 REMOVE EXISTING FIRE HOSE CABINET IN COORDINATION W/ MECHANICAL DRAWINGS
- D18 REMOVE / DEMOLISH EXISTING +/- 100mm HIGH CONCRETE LOCKER BASES TO MAKE LEVEL WITH EXISTING FLOOR.
- D19 CREATE A NEW DOOR OPENING. REFER TO NEW FLOOR PLANS AND DOOR SCHEDULE
- D20 REMOVE / DEMOLISH EXISTING INTERIOR GLAZING AND FRAME. REMOVE EXISTING INTERIOR GLAZING TREATMENT
- D21 REMOVE EXISTING EXTERIOR WINDOW AND FRAME INCLUDING INTERIOR SILLS, HEADERS, JAMBS, BLOCKING, TRIMS, ACCESSORIES, FLASHING, CAULKING ETC. AND REMOVE EXISTING WINDOW TREATMENT
- D22 REMOVE THE EXISTING CURTAIN WALL SYSTEM INCLUDING TILE INFILL AND BACKUP WITHIN THE CURTAIN WALL, SURFACED APPLIED METAL SIDING, BLOCKING, TRIMS, ACCESSORIES, FLASHING, CAULKING ETC. AND REMOVE THE EXISTING CURTAIN WALL...
- D23 EXCAVATE THE AREA AS REQUIRED TO INSTALL NEW ELECTRICAL UTILITIES. REFER TO ELECTRICAL DOCUMENTATION
- D24 REMOVE AND DISPOSE OF EQUIPMENT, FURNITURE AND OVERGROWN LANDSCAPE IN COORDINATION WITH THE OWNER
- D25 REMOVE AND DISPOSE ROOF MECHANICAL UNITS. REFER TO M&E REQUIREMENTS
- D26 REMOVE EXISTING HEDGES AS REQUIRED FOR CONSTRUCTION AND REPLACE AS REQUIRED



HDR Architecture Associates Inc.
70 University Avenue
Toronto, Ontario M5J 2M4

WTCHS
West Toronto Community
Health Center

209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
----------------	--------

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-17	ISSUED FOR ADDENDUM #003

Project Number	10355669
Original Issue	03/24/23



Sheet Name
LEVEL 2 DEMOLITION PLAN

Sheet Number
AD-102

Project Status
ISSUED FOR TENDER

SECTION 10 51 13 METAL LOCKERS

PART 1 - GENERAL

1.1 SUMMARY

- A. Furnish all labor, materials, tools, equipment, and services for Metal Lockers, as indicated, in accordance with provisions of Contract Documents.
- B. Completely coordinate with work of other trades.

1.2 QUALITY ASSURANCE

- A. Metal wall backing: Specified in Section 09 22 16.
- B. Coordinate and direct installation of backing where required for lockers and accessories.

1.3 SUBMITTALS

- A. Shop Drawings:
 - 1. Indicate elevations, layouts, base conditions and trim.
- B. Samples:
 - 1. Full range of colors for selection.

PART 2 - PRODUCTS

2.1 ACCEPTABLE MANUFACTURERS

- A. Standard Metal Lockers:
 - 1. Base:
 - a. Penco Products.
 - 2. Optional:
 - a. Republic Storage Systems.
 - b. Lyon Metal Products.
 - c. List Industries.
- B. Other manufacturers desiring approval comply with Section 01 25 00.

2.2 WARRANTY

- A. Lifetime Product Warranty against defects in material and workmanship for life of product when used in accordance with manufacturers specifications and operating instructions.

2.3 MATERIALS

- A. Sheet steel:
 - 1. Cold rolled for doors and door frames.
 - 2. Cold rolled or annealed for other parts.
 - 3. All free from surface imperfections.
- B. Fasteners:
 - 1. Cadmium plated steel, including washers.
 - 2. Exposed bolt heads, slot-less type.
 - 3. Provide lock washers for nuts on moving parts.

4. Do not expose bolts or rivet heads on fronts of lockers or frames.
- C. Frames:
1. Minimum 1.5mm 0.060 IN (16 GA) channels or 2.3mm 0.093 IN (12 GA) angles, with corners electrically welded to form solid one piece structure.
 2. Door stops at door openings.
 3. Provide minimum 1.5mm 0.060 IN (16 GA) horizontal members between doors of multiple-tier lockers, or other method, to ensure rigidity.
 4. Provide cushioning bumpers at top and bottom of door frame.
 5. Extend vertical members to floor to form 150mm 6 IN legs.
 6. Provide adjusting devices at legs to permit leveling.
- D. Backs and sides:
1. Minimum 0.6mm 0.024 IN (24 GA) steel.
 2. Flange backs on vertical edges and sides where they inter-member with backs, making double flanged rear corners.
- E. Exposed ends of lockers: Minimum 1.5mm 0.060 IN (16 GA).
- F. Tops, bottoms and shelves: Minimum 0.6mm 0.024 IN (24 GA) steel, flanged on all sides.
- G. Continuous Sloping Tops:
1. Continuous sloped, minimum 0.9mm 0.036 IN (19 GA) steel.
 2. Provide end closure pieces, corner and other fillers.
- H. Doors:
1. One piece, 1.9mm 0.074 IN (14 GA) steel, flanged at all edges.
 2. Reinforce inside of doors with minimum 0.9mm 0.036 IN (20 GA) vertical or horizontal steel channel as required by configuration.
 3. Construct to prevent springing.
 4. Door swing: 180 DEG.
 5. Stamped louvered vents in door faces.
 6. Double tier lockers: Minimum 6 louver openings top and bottom of each door.
- I. Door Hinges:
1. Heavy duty, steel, full loop, 5-knuckle, tight pin.
 2. Minimum 1.3mm 0.050 IN thick, 50mm 2 IN high.
 3. Minimum 3 hinges per door 1065mm 42 IN high and over.
 4. Minimum 2 hinges for other doors.
- J. Base Closure:
1. Fill spaces between legs with minimum 0.8mm 0.032 IN (20 GA) steel.
 2. Cover entire front and exposed ends of lockers.
 3. Flange bottoms inward for stiffening.
 4. Factory finish base to match lockers.
- K. Trim for Lockers shown to be recessed into surrounding wall:
1. Minimum 1.0mm 0.042 IN (18 GA) steel.
 2. Provide at jambs and head of recessed lockers.
 3. 50mm 2 IN or 75mm 3 IN wide as necessary.
 4. Factory finish to match lockers.
 5. Secure to lockers with concealed fastening clips.
- L. Latching:
1. Automatic, pry resistant latch and pull.
 2. Rubber silencers.
 3. Chromium plated or stainless steel, heavy duty, vandal-proof lift-up handle, containing strike and hole for padlock.
 4. Enclose latch on 4 sides in a boxed receptacle in lock bar channel, and engaging latch hooks with polyethylene guides.

5. 2 point latching for double tier lockers.
- M. Accessible Lockers:
1. Provide fully ADA/ANSI-compliant units.
 2. Requirements of Accessible Lockers:
 - a. Recessed handles or of type that meets criteria of ADA/ANSI standards.
 - b. Apply appropriate symbol sign on exterior face of door.
 - c. Locker bottoms: Not less than 230mm 15 IN AFF or include an additional shelf located at 230mm 15 IN AFF.
 - d. Double Tier lockers:
 - 1) Accessible compartment may not be in the upper tier.
- N. Description of Locking Type(s):
1. General:
 - a. Refer to schedule for indication of where the following Type(s) are required.
 2. Padlock Tabs (padlock by others):
 - a. Latch pull with hole to accept padlock.
 - b. Padlock provided by Owner/others.
 - c. Provide where scheduled.
- O. Accessories: Furnish each locker with following:
1. Full-height, 2-tier and 3-tier lockers:
 - a. Provide (1) double-prong wall hook at back.
 - b. Provide (1) single-prong wall hook at each side wall (2 total).
 2. For Full-height lockers only:
 - a. Provide Hat shelf.
 3. For Full-height lockers which are 460mm 18 IN and deeper:
 - a. Provide hanger rod, in lieu of back hook.
- P. Number plates:
1. Manufacturer's etched or stamped, non-ferrous metal number plates.
 2. Three digit numerals minimum 13mm 1/2 IN high.
 3. Sequence numbers as directed by Architect.
 4. Attach plates centered, near top of each locker door, with 2 fasteners of same finish as number plate.
 5. No manufacturer's name allowed.
- Q. Sealant: Specified in Section 07 92 16.

2.4 FABRICATION

- A. General:
1. Fabricate metal lockers square, rigid, and without warp and with metal faces flat and free of dents or distortion.
 2. Make exposed metal edges safe to touch and free of sharp edges and burrs.
 3. Form body panels, doors, shelves, and accessories from one-piece steel sheet.
 4. Provide fasteners, filler plates, supports, clips, and closures as required for complete installation.
 5. Factory-weld frame members of each metal locker together to form a rigid, one-piece assembly. Weld, bolt, or rivet other joints and connections.
 6. Grind exposed welds flush.
- B. Continuous Base:
1. Form into channel profile for stiffness.
 2. Fabricate in lengths as long as practical.
 3. Finish: Match lockers.
- C. Continuous Sloping Tops:
1. Fabricate in lengths as long as practical, without visible fasteners at splice locations.
 2. Finish: Match lockers.
 3. Miter corner filler pieces.

- D. Finish: Apply baked on enamel finish to all surfaces, exposed and concealed, except plated and non-ferrous metal.
- E. Colors: As selected by Architect from manufacturer's standard color line.

2.5 LOCKER SCHEDULE

Locker Schedule – Metal Lockers							
Room#	Room Name	Frame QTY	Frame Dimensions (Overall)	Frame Config	Total Units	Lock Type	REMARKS
200	Staff Lounge / Lunch Room	11	Ref. 5A/A-400	2-Tier	22	Padlock Hasp	

General Notes:
"Frame QTY" refers to the number of locker frames. (a "frame" may be subdivided in to multiple locker compartments)
"Frame Dimension" refers to overall dimension. To determine approximate height of individual compartments: Divide overall frame height by the number of tiers.
"Total Units" refers to the total number of individual locker compartments.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Examine walls, floors, and support bases, with installer present, for compliance with requirements for installation tolerances and other conditions affecting performance of the work.
- B. Insure that adequate wall backing has been installed.
- C. Correct unsatisfactory conditions.
- D. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 INSTALLATION

- A. Install lockers plumb, level, rigid, and flush, in accordance with the manufacturer's instructions.
- B. Conceal all fasteners wherever possible.
- C. Install trim, filler, closure and metal base pieces with concealed fasteners to provide flush, hairline joint against adjacent surfaces.
- D. Install fixed benches by anchoring to floor construction or to lockers where indicated.
- E. Benches with Floor Pedestals:
 - 1. Locate at least two pedestals for each bench section, uniformly spaced not more than 1830mm 6 FT apart.
 - 2. Securely fasten tops of pedestals to undersides of bench tops, and anchor bases to floor.
 - 3. Seal flange to floor with sealant specified in Section 07 92 16.
- F. Freestanding Benches: Place benches in locations indicated on drawings.

3.3 ADJUSTING, CLEANING, AND PROTECTION

- A. Clean, lubricate, and adjust hardware.
 - 1. Adjust doors and latches to operate easily without binding.
 - 2. Verify that integral locking devices operate properly.

- B. Protect metal lockers from damage, abuse, dust, dirt, stain, or paint.
 - 1. Do not permit use during construction.
- C. Touch up marred finishes, or replace metal lockers that cannot be restored to factory-finished appearance.
 - 1. Use only materials and procedures recommended or furnished by locker manufacturer.

END OF SECTION