



Addendum

Project: West Toronto Community Health Services
Community Health Centre

Contract No.: 10355669

Bid Number: N/A

Addendum No.: 02

Date Issued: Tuesday, October 08, 2024

No. of Pages: 122 pages (Including Cover)

The following Addendum shall be read in conjunction with and become part and parcel of the tendering documents and shall supersede the drawings and or specifications where applicable. Upon receipt to same, staple this Addendum directly to the inside front cover of the specifications. The Contractor shall bring this Addendum to the attention of all subcontractors, trades and suppliers.

1. The following documentation is issued under this Addendum.

- | | | |
|-----|---|----------|
| 1.1 | HDR Architectural Addendum A02, issued 2024.10.08 | 13 Pages |
| 1.2 | WSP Mechanical Addendum M01, issued 2024.10.07 | 44 Pages |
| 1.3 | WSP Electrical Addendum E01, issued 2024.10.07 | 64 Pages |

End of Addendum

The following Addendum shall be read in conjunction with and become part and parcel of the tendering documents and shall supersede the drawings and or specifications where applicable. Upon receipt to same, staple this Addendum directly to the inside front cover of the specifications. The Contractor shall bring this Addendum to the attention of all subcontractors, trades and suppliers.

Architectural Addendum No. A02

1. General Clarifications

1.1. Question:

Please indicate which areas are considered in Separate Price 1.1.1.

Answer:

Refer to Addendum 01, answer to question 1.10. The Separate Price is specific to Exam Room 8.

1.2. Question:

The existing hedges at the front of the building will more than likely be in the way and damaged during the curtain wall/civil work. Please advise how you'd like us to treat this for tender purposes.

Answer:

Refer to attached drawings AD-101 and A-101, reissued herewith dated 2024.10.08.

1.3. Question:

When will the successful GC have access to the site to start work? Have permits been submitted?

Answer:

It is anticipated the selected GC will have access to the site within 90 days of the bid submission. The owner has applied for the Building Permit. The current file status from the Building Department is pending issuance.

1.4. Question:

We would like to ask for a 2-week closing extension due to subcontractors' requests and current bid commitments. Moreover, can you please extend the question deadline correspondingly for upcoming RFIs?

Answer:

Revise Section 00 21 13 Instructions to Bidders – 1.2 Invitation – Item A.2 as follows:

Offers signed under seal, executed and dated will be received by the Consultant located at 70 University Avenue, Unit #800 before 2:00:00 p.m. local time on **Thursday October 24th, 2024** in sealed envelopes clearly marked West Toronto Community HC. Offers shall be submitted to the attention of HDR Architecture Associates, Inc.

Refer to Section 00 21 13 Instructions to Bidders – 1.7 Queries/Addenda – Item D for question and addenda timelines.

1.5. Question:

In the spec and drawing sets, Room Finish Schedule is unable to be located. Please advise.

Answer:

On Interior Finishes Plans A-700, A-701 and A-702, delete "REFER TO INTERIOR FINISH LEGEND SHEET I-001 FOR FINISH CODES AND DESCRIPTION OF MATERIALS." Replace with "REFER TO SPECIFICATION SECTIONS." Drawings not reissued herewith.

1.6. Question:

We are actively working on the tender, and our subtrades replied saying they need time to submit their bids, and are requesting extension to bid closing date. We therefore, kindly request for two weeks extension to tender closing date.

Answer:

Refer to the Answer to Question 1.4 above.

2. Drawings

- 2.1.** Drawings AS-002, AD-101, A-010, A-101, A-310, A-311, A-320, A-321, A-330, A-331, A-332, reissued herewith, dated 2024.10.08.

3. Specifications

- 3.1.** There are no specification changes with this addendum.

End of Architectural Addendum No. A02

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SITE STATISTICS

TOTAL SITE AREA: 2615.1 m²

GROSS FLOOR AREA BY FLOOR

Level 0: 322.67 m²

Level 1: 839 m²

Level 2: 414.56 m²

PARKING SPACES

TOTAL: 22 SPACES

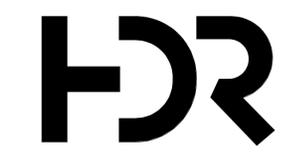
ACCESSIBLE PARKING: 2 SPACES

SITE PLAN LEGEND

SITE PLAN GENERAL NOTES

1. ARCHITECTURAL SITE PLAN TO BE READ IN CONJUNCTION WITH CIVIL, STRUCTURAL, MECHANICAL, ELECTRICAL DRAWINGS.
2. CONTRACTOR SHALL PROTECT ALL BENCHMARKS AND CONTROL POINTS AND REFERENCE THEM TO OTHER LOCATIONS FOR THE DURATION OF CONSTRUCTION.
3. ALL CONTROL AND SURVEY BEARINGS, DISTANCES, ANGLES, ELEVATIONS AND COORDINATES USED BY THE CONTRACTOR FOR LAYOUT OF WORK SHALL BE VERIFIED BY A LAND SURVEYOR LICENSED IN THE PROVINCE. IF DISCREPANCIES ARE FOUND, PREPARE A SURVEY DRAWING CERTIFIED BY A LAND SURVEYOR LICENSED IN THE PROVINCE WHICH SHOWS THE MEASUREMENTS TAKEN AND THE MAGNITUDE OF THE DISCREPANCIES. SUBMIT THE CERTIFIED DRAWING AT LEAST TWO WEEKS PRIOR TO STARTING SITE WORK.
4. CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING UNDERGROUND INFORMATION PRIOR TO ANY REMOVAL WORK. ALL DAMAGES AND REPAIR COST WILL BE AT CONTRACTOR'S EXPENSE.
5. CONTRACTOR TO PROVIDE SITE HOARDING ALONG PROPERTY LINE. EXACT LOCATION AND SITE ACCESS POINTS TO BE CONFIRMED WITH OWNER PRIOR TO INSTALLATION. PROVIDE SITE HOARDING IN ACCORDANCE WITH CITY OF TORONTO REQUIREMENTS.
6. SEPARATE PRICE - REMOVE EXISTING PARKING SURFACE WITHIN PROPERTY LINE AND REPLACE WITH NEW ASPHALT SURFACE, IN ACCORDANCE WITH CITY OF TORONTO SURFACE REQUIREMENTS. REFER TO EXISTING SITE SURVEY FOR EXISTING ASPHALT LOCATION PROVIDE PARKING LINE PAINTING AS INDICATED ON SITE PLAN.
 - GRIND EXISTING ASPHALT PAVEMENT 40MM AND DISPOSE OFFSITE.
 - REPAVE EXISTING ASPHALT PAVEMENT WITH SP 12.5 FC2 ASPHALT, 40MM THICK COMPACTED TO 95% MAXIMUM RELATIVE DENSITY CONFORMING TO TS 501
 - ASPHALTIC CONCRETE SHALL BE AS PER TS 310 AND T 1150
 - TACK COAT SHOULD BE APPLIED TO ALL MILLED SURFACE AND TOP OF BINDER COURSE, AS PER OPSS PROV 308 AND CITY OF TORONTO SPECIFICATION TS 3.2
 - ASPHALT PAVEMENT MATERIALS AND THEIR PLACEMENT SHOULD CONFORM TO OPSS FORMS 310, 501, 1010 AND 1150, AND CITY OF TORONTO SPECIFICATIONS.
 - PROVIDE PAVEMENT MARKING AS INDICATED ON SITE PLAN

SHEET KEYNOTES



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West Toronto Community
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Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
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MARK	DATE	DESCRIPTION
1	23-07-05	ISSUED FOR MOH STAGE 3.2
2	23-11-24	ISSUED FOR STAGE 3.3 COSTING
3	24-02-12	ISSUED FOR MOH STAGE 3.3
4	24-03-22	ISSUED FOR BUILDING PERMIT
5	24-09-18	ISSUED FOR TENDER
6	24-09-30	ISSUED FOR ADDENDUM #001
7	24-10-08	ISSUED FOR ADDENDUM #002

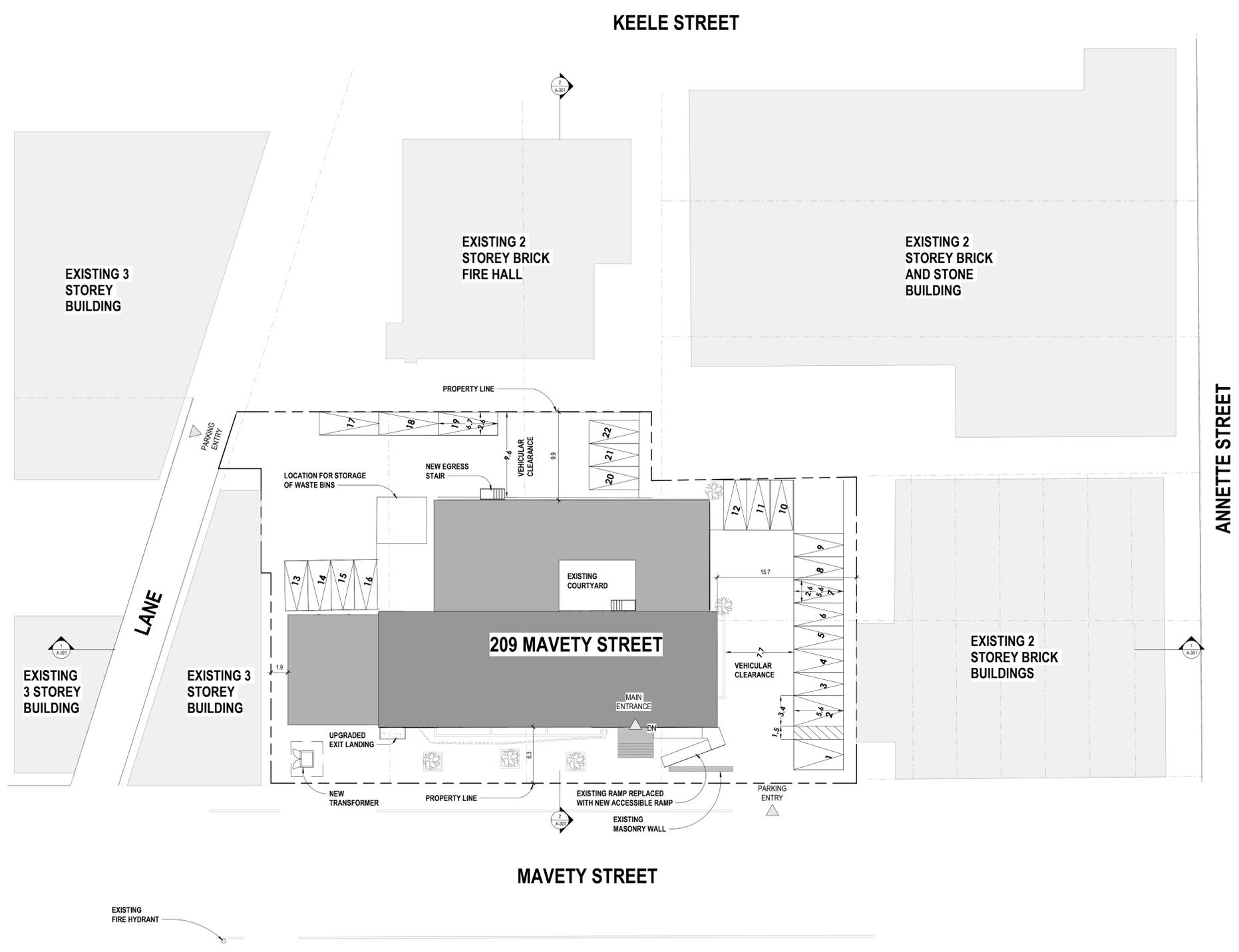
Project Number	10355669
Original Issue	12/06/22



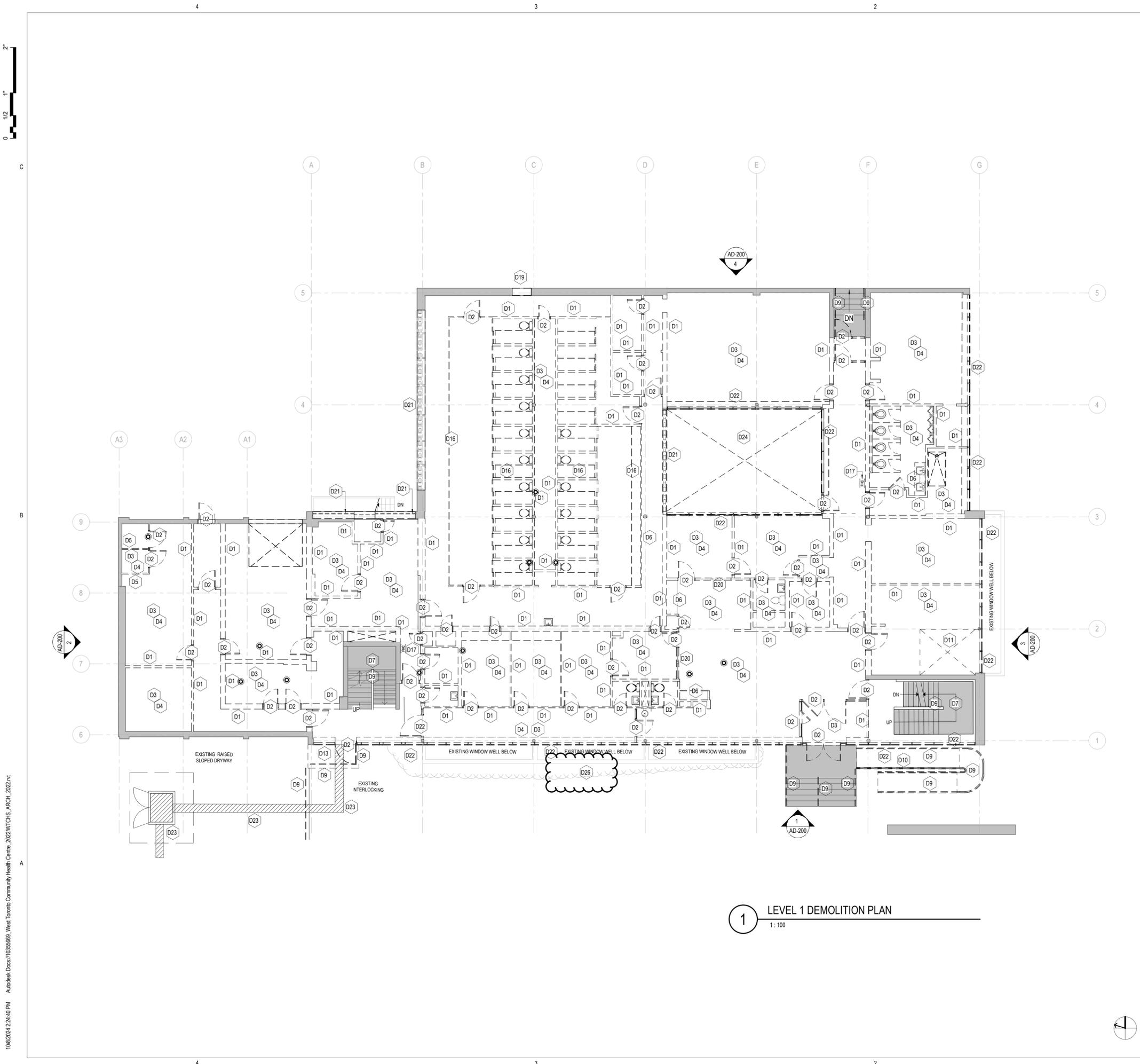
Sheet Name
SITE PLAN

Sheet Number
AS-002

Project Status
ISSUED FOR TENDER



1 SITE PLAN
1:250



1 LEVEL 1 DEMOLITION PLAN
1:100

DEMOLITION LEGEND

- EXISTING WALL TO REMAIN
- DEMOLISHED WALL
- DEMOLISHED WINDOW
- EXISTING DOOR TO REMAIN
- DEMOLISHED DOOR
- VISION GLASS
- METAL PANEL
- SLAB DEMOLISH. REFER TO MEP AND STRUCTURAL DOCUMENTATION
- SLAB PENETRATIONS FOR NEW FLOOR DRAINS. REFER TO MECHANICAL DOCUMENTATION

DEMOLITION GENERAL NOTES

1. THE CONTRACTOR IS REQUIRED TO VISIT THE SITE TO ESTABLISH THE FULL EXTENT OF THE WORK AND DEMOLITION REQUIRED. VISITS TO THE SITE MUST BE SCHEDULED WITH THE OWNER.
2. ITEMS INDICATED WITH KEY NOTES ARE INTENDED TO ASSIST THE CONTRACTOR IN IDENTIFYING SPECIFIC CONDITIONS. DEMOLITION WORK IS NOT LIMITED TO THE ITEMS INDICATED WITH KEY NOTES.
3. REFER TO CIVIL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR ADDITIONAL DEMOLITION NOT NECESSARILY SHOWN ON THE ARCHITECTURAL DRAWINGS.
4. CONTRACTOR TO REPORT ALL DISCREPANCIES IN THE DEMOLITION DRAWINGS TO THE ARCHITECT PRIOR TO PROCEEDING WITH THE DEMOLITION WORK IN AREAS IN QUESTION.
5. ALL HAZARDOUS ABATEMENT TO BE PERFORMED IN ACCORDANCE WITH WORK PROCEDURES AS DEFINED BY THE APPLICABLE WORKERS COMPENSATION BOARD AND THE APPLICABLE OCCUPATIONAL HEALTH AND SAFETY REGULATION HAVING JURISDICTION.
6. THE CONSULTANT DOES NOT WARRANT THE ACCURACY OF EXISTING DRAWINGS, DIMENSIONS OR MATERIALS REPRESENTED ON THE DRAWINGS. DRAWINGS SHOWING EXISTING CONDITIONS ARE PROVIDED FOR THE CONTRACTORS' CONVENIENCE.
7. DEMOLITION WORK SHALL NOT BEGIN UNTIL SUCH TIME AS ALL TEMPORARY HOARDINGS, BARRICADES, SECURITY DEVICES, WAYFINDING AND SAFETY SIGNAGE IS IN PLACE. EXACT LOCATION AND TYPE OF CONSTRUCTION HOARDING OR CURB LOCATIONS TO BE COORDINATED ON SITE WITH CONSULTANTS AND OWNER PRIOR TO INSTALLATION.
8. THE CONTRACTOR SHALL COORDINATE AND EXECUTE ALL DEMOLITION WORK AS REQUIRED TO ACCOMMODATE THE NEW WORK SHOWN ON ALL CONSULTANT DRAWINGS. MAKE GOOD ALL SUBSTRATES AND FINISHES TO MATCH EXISTING.
9. THE CONTRACTOR SHALL DETERMINE THE DIVISION OF DEMOLITION WORK BETWEEN THE VARIOUS TRADES. NOTWITHSTANDING, THE AGGREGATE OF ALL DEMOLITION WORK REQUIRED TO SATISFACTORILY COMPLETE THE EXECUTION OF ALL NEW WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
10. REMOVE / DEMOLISH EXISTING SLAB AS REQUIRED TO ACCOMMODATE BELOW SLAB SERVICES AND SLAB PENETRATIONS. REFER TO MECHANICAL AND ELECTRICAL DOCUMENTATION.
11. REMOVE AND REPLACE FLOOR SLAB AS REQUIRED FOR M&E SERVICES.

DEMOLITION NOTES

- D1 REMOVE / DEMOLISH EXISTING INTERIOR PARTITION.
- D2 REMOVE EXISTING DOOR AND FRAME, INCLUDING SIDELIGHTS, HARDWARE, TRIMS AND ACCESSORIES.
- D3 REMOVE / DEMOLISH EXISTING CEILING.
- D4 REMOVE EXISTING FINISH FLOOR BACK TO STABLE SUBSTRATE AND PREPARE TO RECEIVE NEW FINISHES.
- D5 REMOVE / DEMOLISH EXISTING METAL CAGE
- D6 REMOVE / DEMOLISH EXISTING MILLWORK IN ITS ENTIRETY: INCLUDING UPPER AND LOWER CABINETS, COUNTERS, CAULKING ETC. COORDINATE MILLWORK CONTAINING PLUMBING FIXTURE REMOVALS W/ MECHANICAL DRAWINGS.
- D7 STAIR COMPONENTS INCLUDING TERRAZO FLOORING, BRICK WALLS TO BE MAINTAINED AND PROTECTED
- D8 REMOVE EXISTING ROOFING SYSTEM TO ACCEPT NEW ROOF.
- D9 REMOVE EXISTING RAILINGS
- D10 REMOVE / DEMOLISH EXISTING RAMP
- D11 EXISTING SLAB TO BE CUT FOR NEW ELEVATOR INSTALLATION, REFER TO NEW FLOOR PLANS FOR EXTENT
- D12 REMOVE EXISTING CHIMNEY
- D13 REMOVE EXISTING SLAB
- D14 REMOVE / DEMOLISH EXISTING WALL TILE FINISH
- D15 REMOVE EXISTING WALL MOUNTED MIRRORS
- D16 REMOVE / DEMOLISH EXISTING METAL JAIL CELLS, BEDS AND PLUMBING FIXTURES.
- D17 REMOVE EXISTING FIRE HOSE CABINET IN COORDINATION W/ MECHANICAL DRAWINGS
- D18 REMOVE / DEMOLISH EXISTING +/- 100mm HIGH CONCRETE LOCKER BASES TO MAKE LEVEL WITH EXISTING FLOOR.
- D19 CREATE A NEW DOOR OPENING. REFER TO NEW FLOOR PLANS AND DOOR SCHEDULE
- D20 REMOVE / DEMOLISH EXISTING INTERIOR GLAZING AND FRAME. REMOVE EXISTING INTERIOR GLAZING TREATMENT
- D21 REMOVE EXISTING EXTERIOR WINDOW AND FRAME INCLUDING INTERIOR SILLS, HEADERS, JAMBS, BLOCKING, TRIMS, ACCESSORIES, FLASHING, CAULKING ETC. AND REMOVE EXISTING WINDOW TREATMENT
- D22 REMOVE THE EXISTING CURTAIN WALL SYSTEM INCLUDING TILE INFILL AND BACKUP WITHIN THE CURTAIN WALL, SURFACED APPLIED METAL SIDING, BLOCKING, TRIMS, ACCESSORIES, FLASHING, CAULKING ETC. AND REMOVE THE EXISTING CURTAIN WALL...
- D23 EXCAVATE THE AREA AS REQUIRED TO INSTALL NEW ELECTRICAL SERVICES REFER TO ELECTRICAL DOCUMENTATION
- D24 REMOVE AND DISPOSE OF EQUIPMENT, FURNITURE AND OVERGROWN LANDSCAPE IN COORDINATION WITH THE OWNER
- D25 REMOVE AND DISPOSE ROOF MECHANICAL UNITS. REFER TO M&E REQUIREMENTS
- D26 REMOVE EXISTING HEDGES AS REQUIRED FOR CONSTRUCTION AND REPLACE AS REQUIRED



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Sheet Reviewer	Author
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MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-08	ISSUED FOR ADDENDUM #002

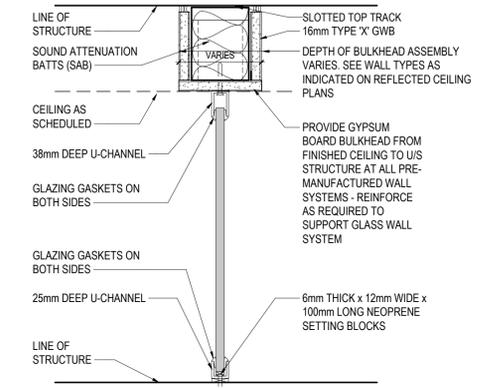
Project Number	10355669
Original Issue	03/24/23



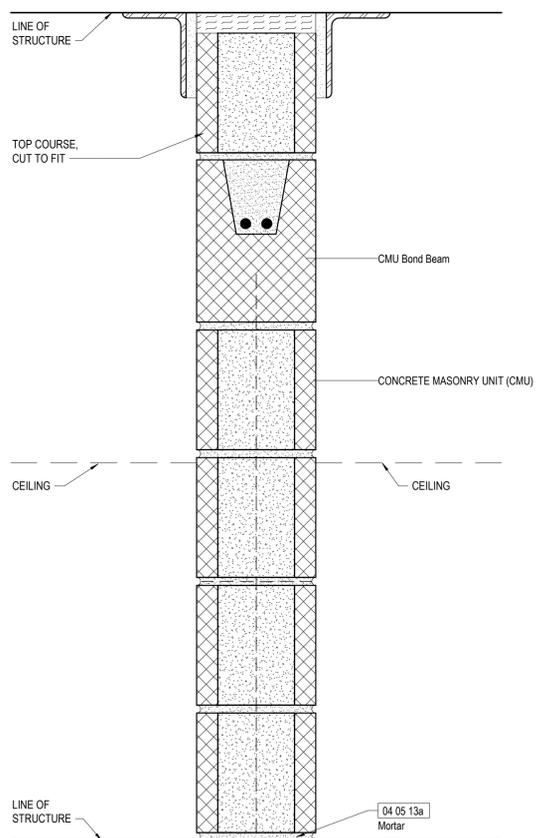
Sheet Name
LEVEL 1 DEMOLITION PLAN

Sheet Number
AD-101

Project Status
ISSUED FOR TENDER



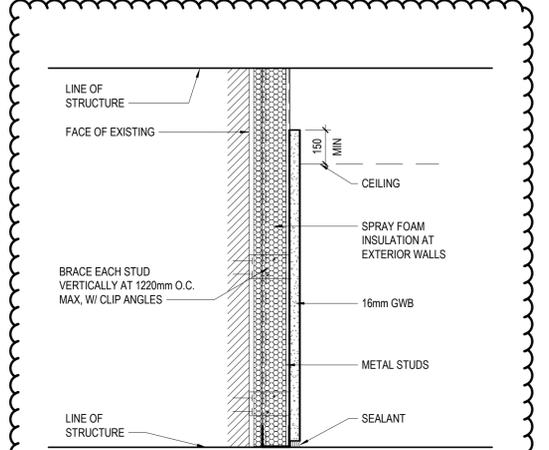
NON-RATED GLAZING PARTITION



(TYPE P) CMU PARTITION

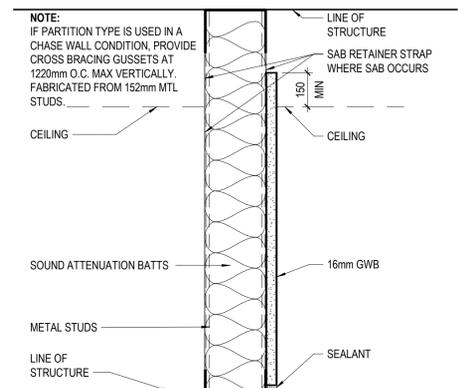
*NOTE: FIRE RESISTANCE TEST FOR ONE AND TWO HOUR RATED CMU WALLS: BXVC.U905

MARK	STUD WIDTH	PRTN WIDTH	DESIGN STC
P6	190	190	50 min.



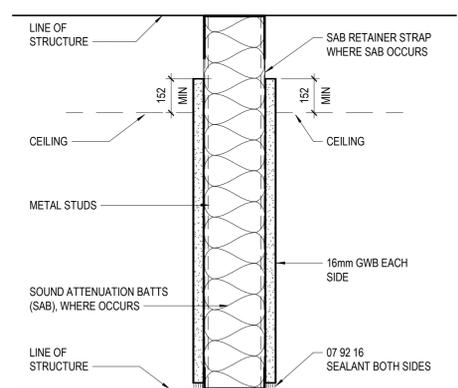
(TYPE K) FURRING PARTITION

MARK	STUD WIDTH	PRTN WIDTH	DESIGN STC
K1	42	83	-



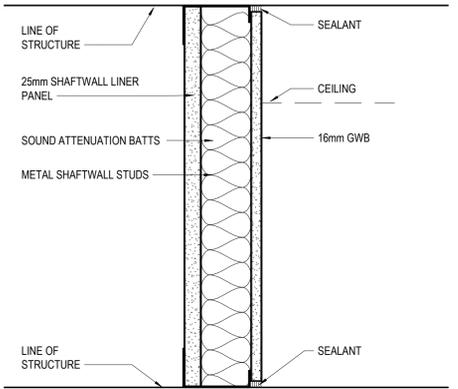
(TYPE J) NON-RATED PARTITION

MARK	STUD WIDTH	PRTN WIDTH	DESIGN STC
J2	64	80	-
J4	92	108	-



(TYPE H) NON-RATED PARTITION

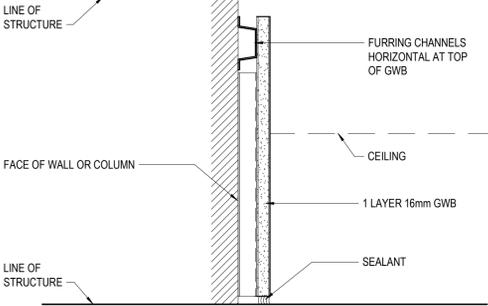
MARK	STUD WIDTH	PRTN WIDTH	DESIGN STC
H	92	124	-



(TYPE C) 1 HOUR SHAFTWALL

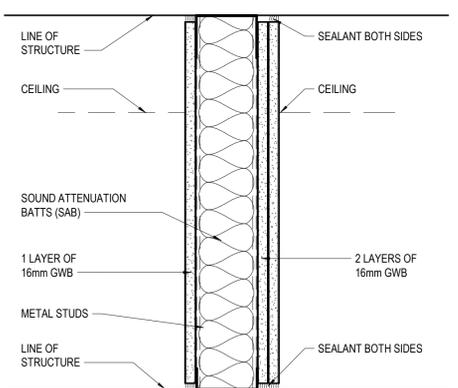
NOTE: FIRE RESISTANCE TEST FOR ONE HOUR RATED SHAFTWALLS: ULC V473

MARK	STUD WIDTH	PRTN WIDTH	DESIGN STC
C4-0	92	133	51 min.
C4-1	92	133	51 min.



(TYPE M) FURRING PARTITION

MARK	STUD WIDTH	PRTN WIDTH	DESIGN STC
M1	38	58	-
M3	64	80	-
M4	92	108	-



(TYPE A) TYPICAL PARTITION

* DESIGN NO. U419 BXUV7 - FIRE RESISTANCE RATINGS - CANULC-S101 CERTIFIED FOR CANADA

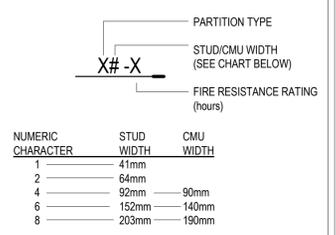
MARK	STUD WIDTH	PRTN WIDTH	DESIGN STC
A4-0	92	140	50 min.
A4-1	92	140	50 min.
A6-0	152	200	50 min.
A6-1	152	184	50 min.

GENERAL PARTITION NOTES

- PARTITIONS ARE DISTINGUISHED ON FLOOR PLANS BY SYMBOL DESIGNATION, GRAPHIC DESIGNATION OR A COMBINATION OF BOTH DESIGNATIONS. SOME PARTITION TYPES SHOWN ON THIS SHEET MAY NOT BE USED ON THIS PROJECT.
- ALL WALLS NOT DESIGNATED WITH A GRAPHIC OR TAG TO BE TYPE A.
- "METAL STUDS" INDICATED ON THIS SHEET FOR INTERIOR PARTITIONS REFER TO THOSE SPECIFIED IN SECTION 09 22 16 - NON STRUCTURAL METAL FRAMING. REFER TO SPECIFICATIONS FOR ADDITIONAL CRITERIA SUCH AS MINIMUM STUD SPACING, MINIMUM GAUGE AND PERMISSIBLE DEFLECTION LIMITS. SEE SECTION 05 41 04 LOAD BEARING METAL STUD SYSTEM FOR FRAMING THAT IS OUTSIDE THE SCOPE OF 09 22 16 AND ASTM C754. SUCH AS LONG HEADERS, CANTILEVERED WALLS, TALL WALLS, WALKABLE CEILINGS AND THEIR SUPPORTS, WALLS EXCEEDING SPAN TABLES AND OTHER UNUSUAL FRAMING CONDITIONS.
- SOUND TRANSMISSION CLASS (STC) IS A RATING SYSTEM THAT DESCRIBES THE ABILITY OF AN ASSEMBLY TO REDUCE THE TRANSMISSION OF SOUND. CONFIGURE SOUND-RATED WALL ASSEMBLIES TO ACHIEVE THE MINIMUM REQUIREMENTS STIPULATED IN THE DESIGN STC LISTED. STC RATINGS LISTED ARE BASED ON LABORATORY TESTING AND ARE NOT INDICATIVE OF RESULTS IN FIELD.
- SOUND ATTENUATION BATTS (SAB) ARE SPECIFIED IN SECTION 09 29 00. WHERE SAB ARE INDICATED, THEY SHALL EXTEND CONTINUOUSLY FROM FLOOR TO STRUCTURE ABOVE.
- PARTITIONS ARE INDICATED WITH CONVENTIONAL GYPSUM WALLBOARD U.N.O.; UPGRADE TO PREMIUM TYPES OF WALLBOARD (I.E. MOISTURE-RESISTANT, TILE-BACKER BOARD, ACOUSTICALLY ENHANCED, ETC.) BASED ON THEIR LOCATION AND ACCORDING TO REQUIREMENTS OF SECTION 09 29 00.
- AT FIRE RATED AND ACOUSTIC PARTITIONS, RECESSED ELECTRICAL AND DATA OUTLET BOXES THAT PENETRATE OPPOSITE SIDES OF A PARTITION TO BE SEPARATED BY A MINIMUM OF ONE STUD CAVITY.
- SEALANTS INDICATED MAY BE FOR FIRE RATING, SMOKE RATING, AIR PRESSURE CONTAINMENT, ACOUSTIC RATING, VERMIN CONTROL, MOVEMENT (CRACK) CONTROL AND/OR BIOLOGICAL CONTAINMENT. SEALANT JOINTS ARE TO BE SIZED FOR EXPECTED MOVEMENT OF JOINT WITH EXPANSION/CONTRACTION CAPACITY OF SEALANT MATERIAL TO MAINTAIN THE INTEGRITY OF THE SEAL FOR THESE APPLICABLE PARAMETERS. SEE SPECIFICATION SECTION 07 92 16 FOR INTERIOR JOINT SEALANTS.
- REFER TYPICAL PARTITION HEAD DETAILS ON A-721 AND TO SECTION 07 84 00 FOR HEAD-OF-WALL FIRESTOPPING AND SEALING OF THRU-WALL PENETRATIONS. ...
- "LINE OF STRUCTURE" INDICATED FOR EACH PARTITION IS DIAGRAMMATIC ONLY AND DOES NOT INDICATE EXACT CONSTRUCTION CONDITIONS OR GEOMETRY.
- FIRE RESISTANT AND FIRE RESISTANT SMOKE BARRIER RATINGS ARE TO CONTINUE THROUGH ALL OPENINGS IN RATED PARTITIONS.
- SMOKE RESISTANT, FIRE RESISTANT, AND FIRE RESISTANT SMOKE BARRIER PARTITIONS SHALL EXTEND AND SEAL TO INSIDE FACE OF EXTERIOR SHEATHING, INCLUDING EXTENSIONS THROUGH SOFFITS.
- REFER TO THE TOILET ACCESSORIES SHEET AND CASEWORK SHEET FOR MOUNTING DETAIL INFORMATION.
- REFER TO SHEET A-721 AND A-722 FOR ADDITIONAL PARTITION DETAILS AND FRAMING INFORMATION.

PARTITION TAGGING LEGEND

THE TYPICAL PARTITION TAG SYMBOL DESIGNATION HAS TWO CHARACTERS. THE FIRST CHARACTER IS A LETTER INDICATING THE PARTITION TYPE. THE SECOND CHARACTER IS A NUMERIC INDICATION OF THE STUD OR CMU WIDTH. IN SOME INSTANCES, AN ADDITIONAL NUMBER MAY BE ADDED TO INDICATE THE FIRE RESISTANCE RATING OF THE PARTITION, AND/OR AN ADDITIONAL CHARACTER OR "MODIFIER" MAY BE ADDED TO THE END AND/OR THE LINE BELOW TO INDICATE ADDITIONAL CHARACTERISTICS WITHIN THE WALL. REFER TO CHART BELOW FOR MODIFIER DEFINITIONS. IF NO PARTITION TAG OR NUMERIC SECOND CHARACTER EXISTS, THE STUD SIZE WILL BE 92mm TYPICAL, U.N.O.



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Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-06-20	ISSUED FOR RESPONSE TO CITY
5	24-09-18	ISSUED FOR TENDER
6	24-10-08	ISSUED FOR ADDENDUM #002

Project Number: 10355669
Original Issue: 09/11/19

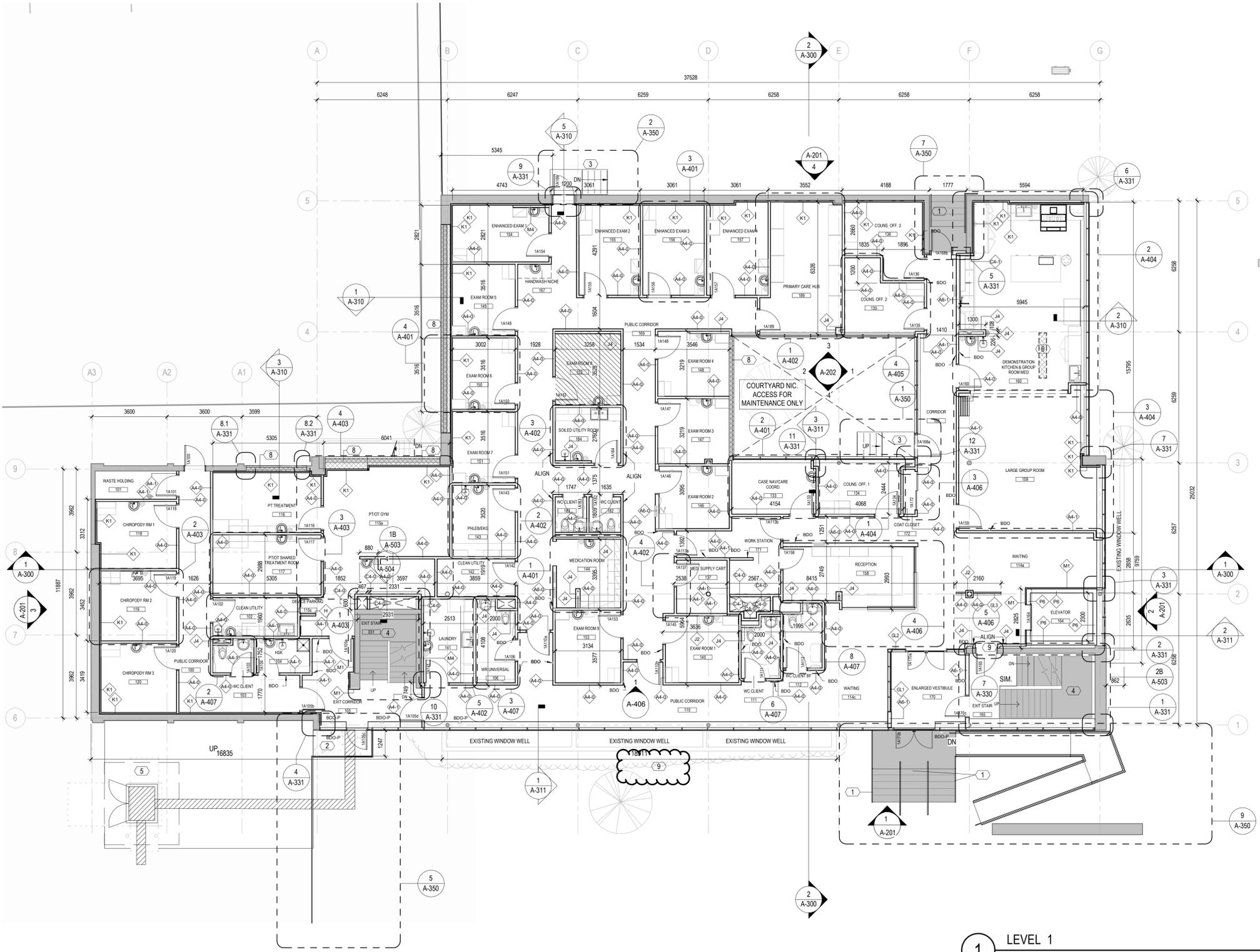


Sheet Name: **STANDARD TYPICAL PARTITIONS**

Sheet Number: **A-010**

Project Status: ISSUED FOR TENDER

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1 LEVEL 1
1:100

FLOOR PLAN LEGEND

- EXISTING TO REMAIN
- NEW CONSTRUCTION
- NEW WINDOW
- NEW DOOR
- SEPARATE PRICE FOR PROVISIONALLY ACCEPTED AREA
- CONCRETE FLOOR INFILL REFER TO CORRESPONDING SECTION DETAIL WHERE INDICATED

FLOOR PLAN GENERAL NOTES

1. PROVIDE FOR 1 COAT HOOK AND 1 HAND SANITIZER PER ROOM UNLESS OTHERWISE NOTED
2. REFER TO 400'S SERIES FOR ACCESSORIES
3. PLACE DOORS AT 100mm FROM THE HINGE SIDE TO THE ADJACENT WALL U.N.O
4. REMOVE AND REPLACE FLOOR SLAB AS REQUIRED FOR M&E SERVICES

SHEET KEYNOTES #

- 1 - NEW RAILING ON EXISTING STAIR
- 2 - NEW CONCRETE SLAB
- 3 - NEW METAL STAIR AND RAILING
- 4 - NEW RAILING AND HANDRAIL REQUIRED FOR INTERIOR STAIR
- 5 - NEW CONCRETE PAD REQUIRED FOR TRANSFORMER
- 6 - (HATCH AREA) BUILT-UP CONCRETE FLOORING TO BE LEVELED WITH ADJACENT AREA
- 7 - NEW CONCRETE SLAB INFILL
- 8 - EXTERIOR ASSEMBLY INFILL FOR EXISTING OPENING TO MATCH EXISTING EXTERIOR BRICK
- 9 - REMOVE EXISTING HEDGES AS REQUIRED FOR CONSTRUCTION AND REPLACE AS REQUIRED



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Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	22-12-16	ISSUED FOR MOH STAGE 3.1
2	23-11-24	ISSUED FOR STAGE 3.3 COSTING
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4	24-03-22	ISSUED FOR BUILDING PERMIT
5	24-09-04	RE-ISSUED FOR BUILDING PERMIT
6	24-09-18	ISSUED FOR TENDER
7	24-10-08	ISSUED FOR ADDENDUM #002

Project Number: 10355669
Original Issue: 12/1/22



Sheet Name
LEVEL 1 FLOOR PLAN

Sheet Number
A-101

Project Status
ISSUED FOR TENDER

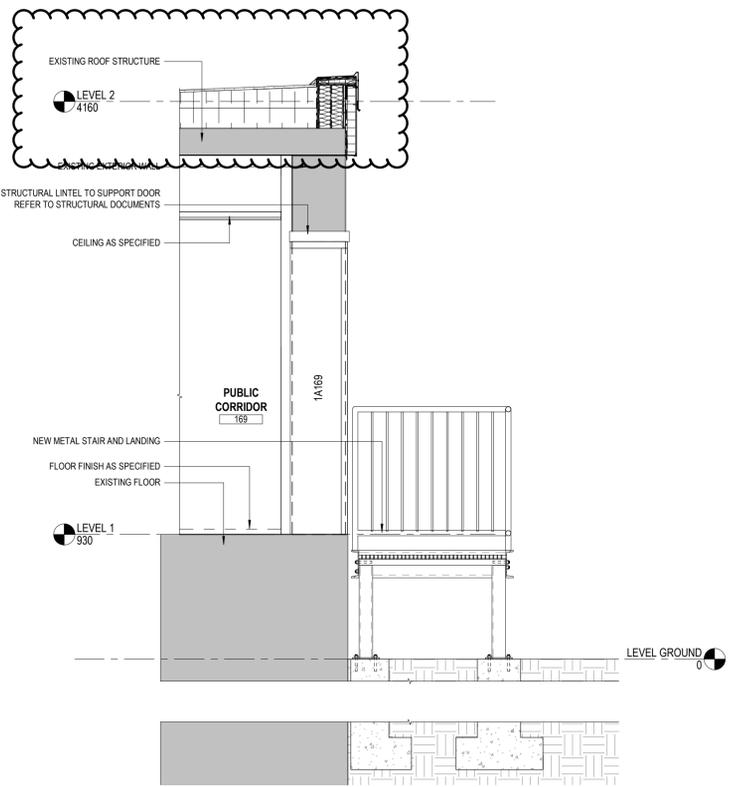
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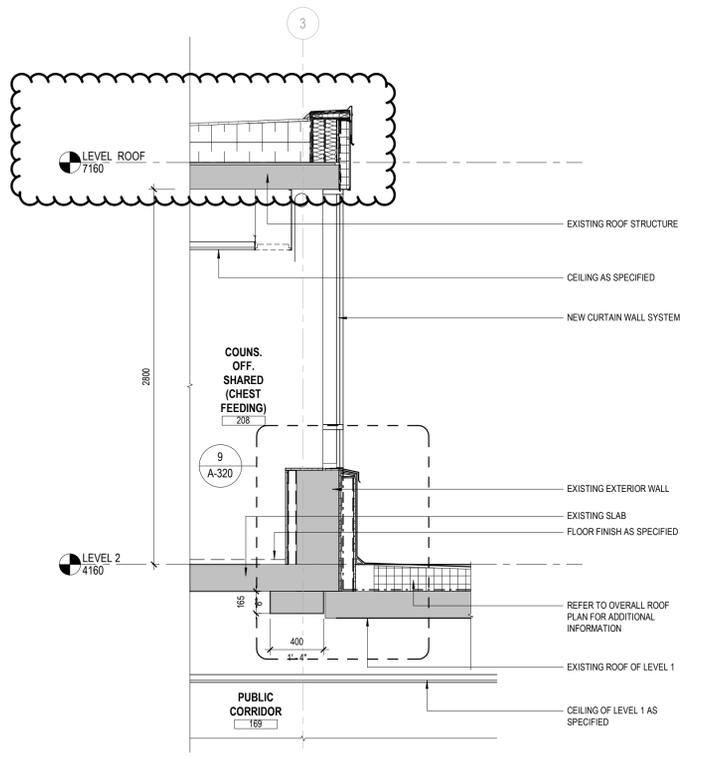
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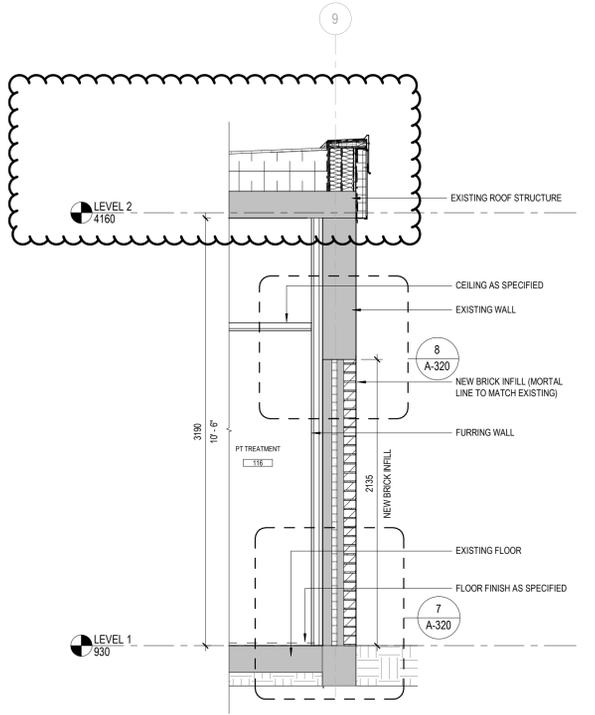
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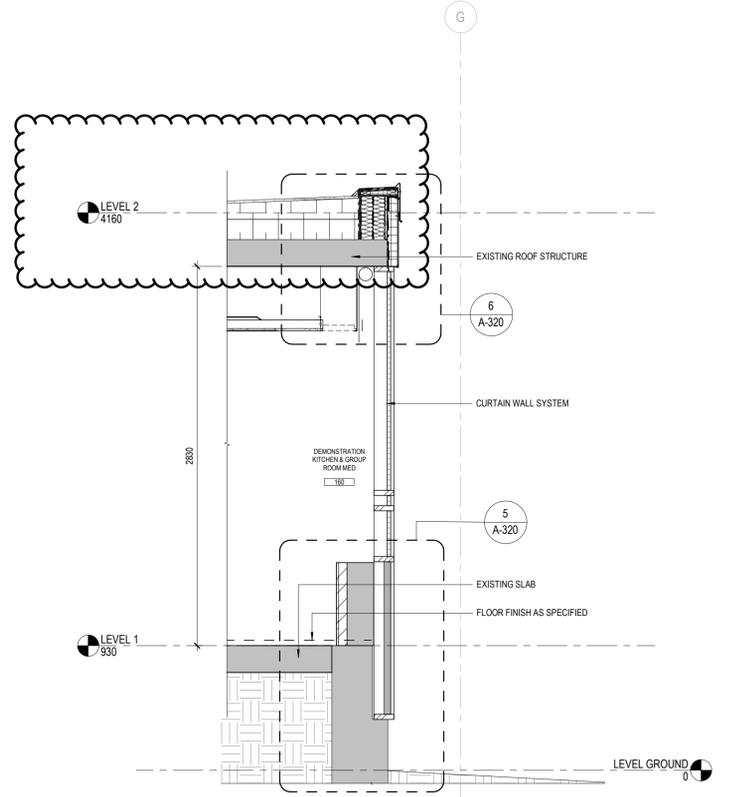
5 WALL SECTION THROUGH EXIT DOOR
1:25



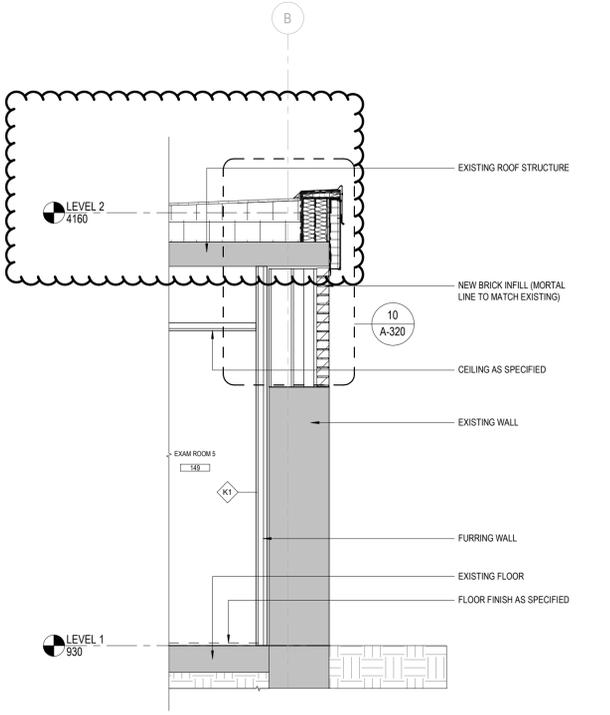
4 WALL SECTION THROUGH SECOND LEVEL CURTAIN SYSTEM AND ROOF
1:25



3 WALL SECTION THROUGH NEW BRICK INFILL 2
1:25



2 WALL SECTION THROUGH GLAZING
1:25



1 WALL SECTION THROUGH NEW BRICK INFILL
1:25



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Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	23-11-24	ISSUED FOR STAGE 3.3 COSTING
2	24-02-12	ISSUED FOR MOH STAGE 3.3
3	24-03-22	ISSUED FOR BUILDING PERMIT
4	24-09-18	ISSUED FOR TENDER
5	24-10-08	ISSUED FOR ADDENDUM #002

Project Number: 10355669
Original Issue: 10/3/2018



Sheet Name
WALL SECTIONS - EXTERIOR

Sheet Number
A-310

Project Status
ISSUED FOR TENDER

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Health Center

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M6P 2M1

Project Manager	FP
Project Designer	KC
Project Architect	JC
Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

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4	24-09-18	ISSUED FOR TENDER
5	24-10-08	ISSUED FOR ADDENDUM #002

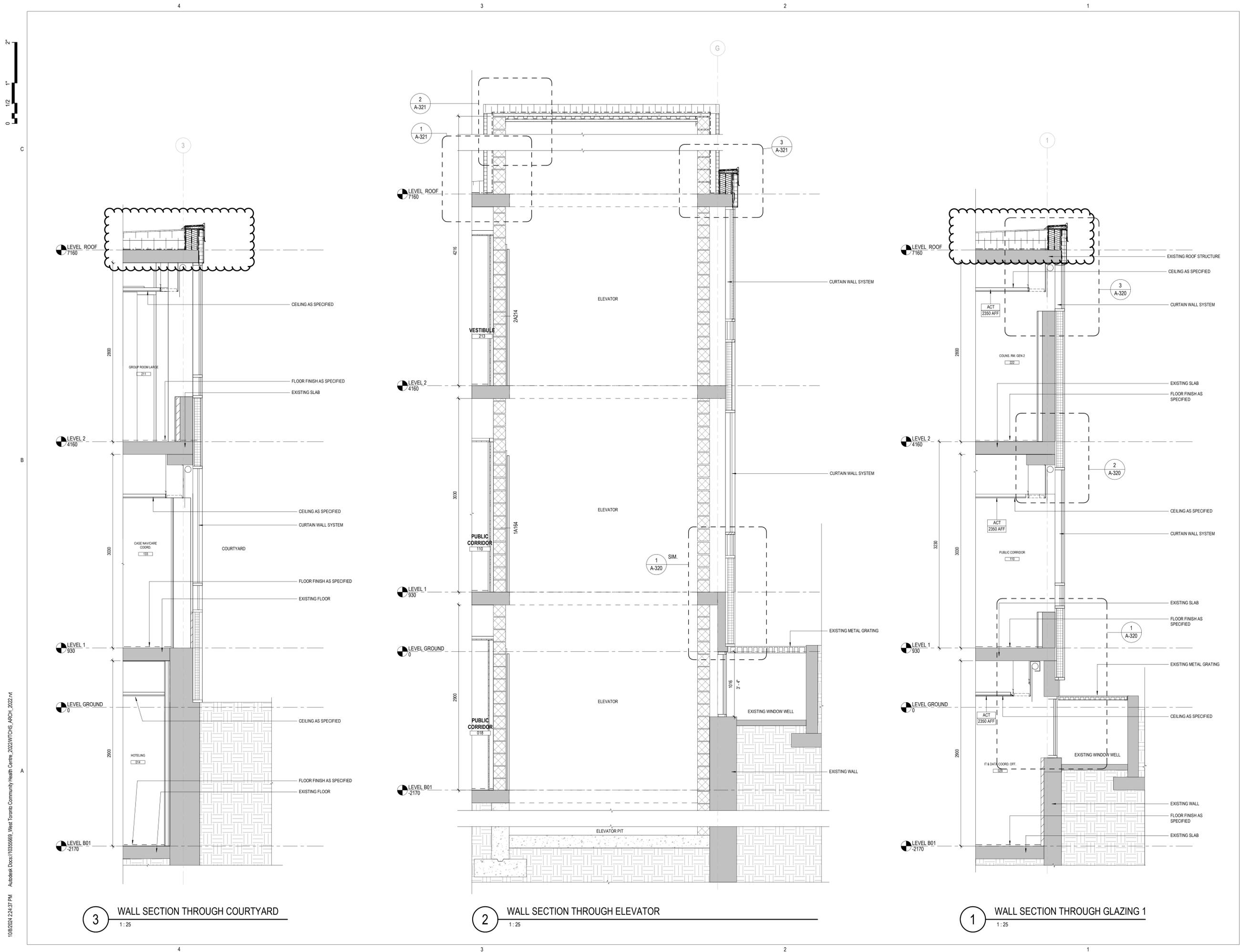
Project Number: 10355669
Original Issue: 08/30/23

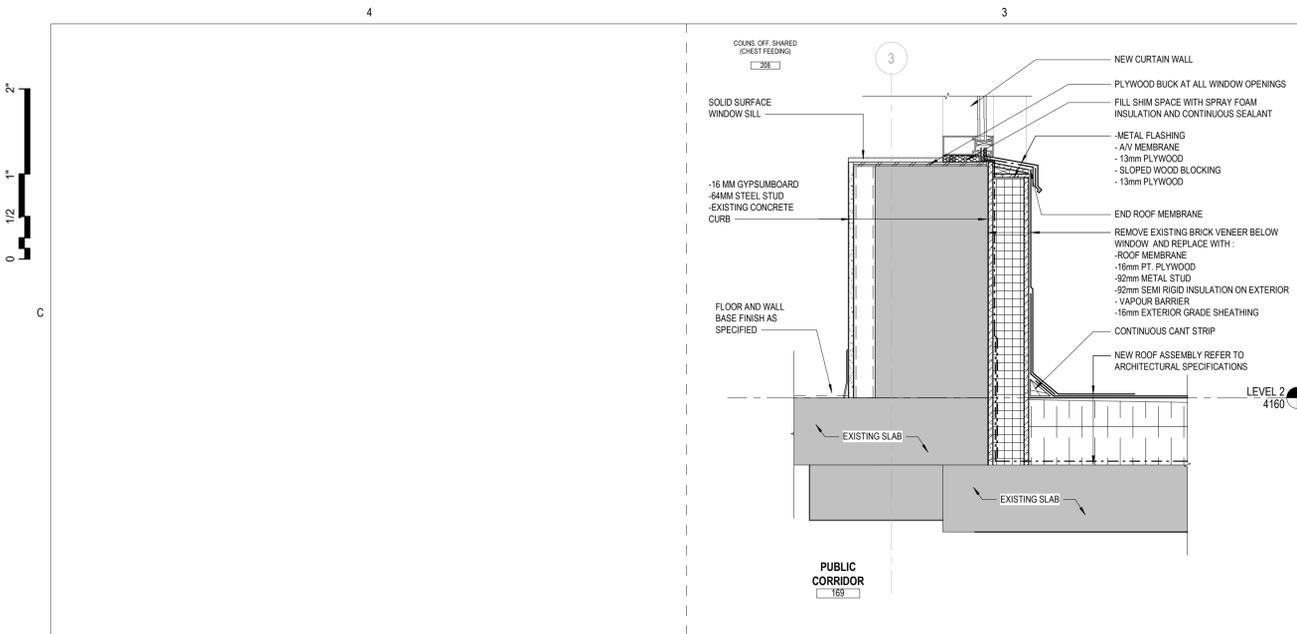


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**WALL SECTIONS -
EXTERIOR**

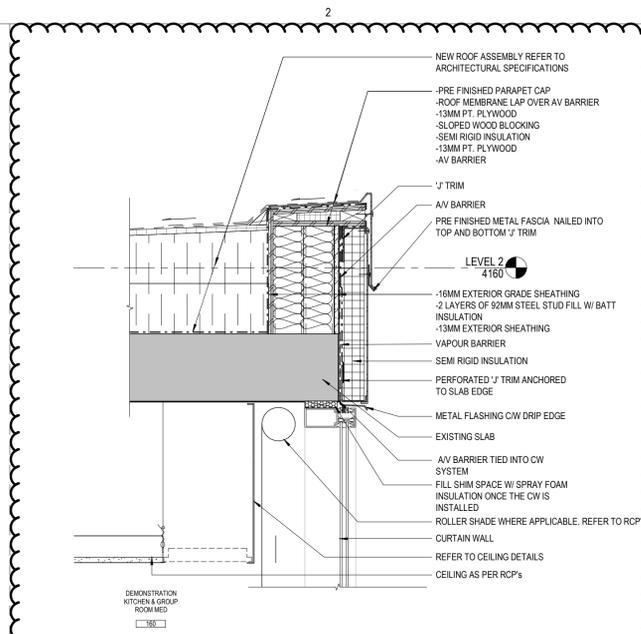
Sheet Number
A-311

Project Status
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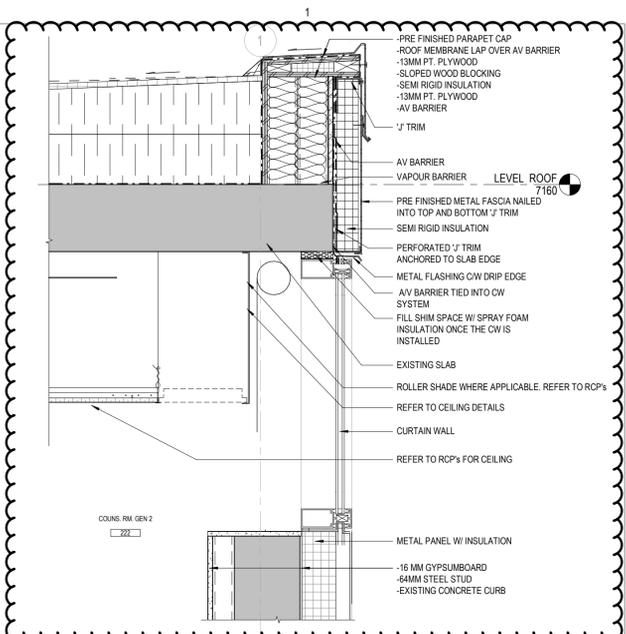




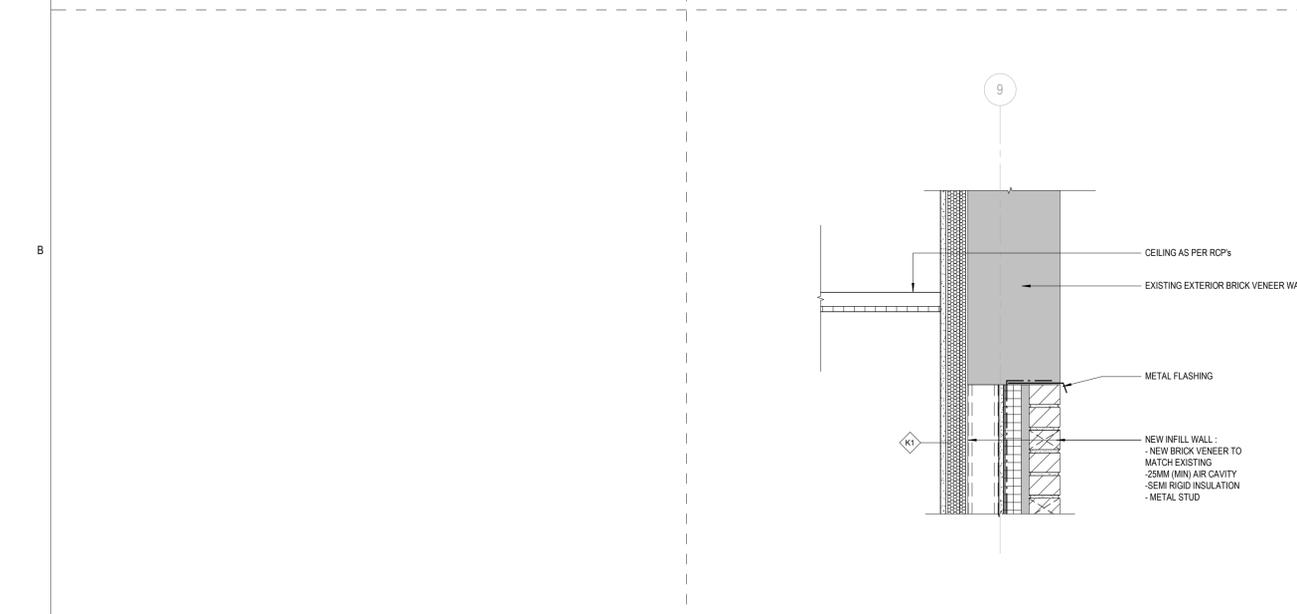
9 DETAIL THROUGH ROOF AND CURTAIN WALL
1:10



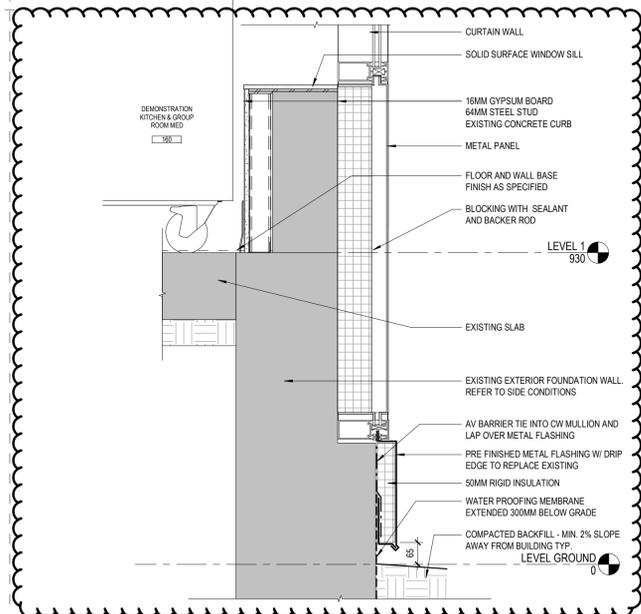
6 SECTION DETAIL - PARAPET @ LOW ROOF
1:10



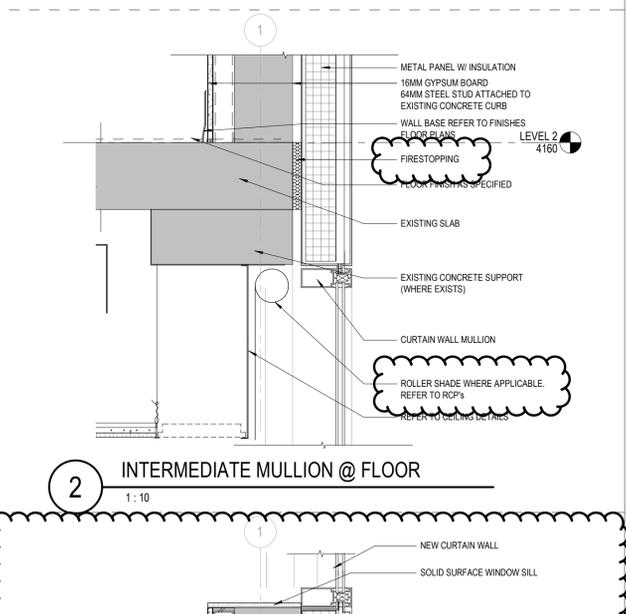
3 CURTAIN WALL TOP @ ROOF
1:10



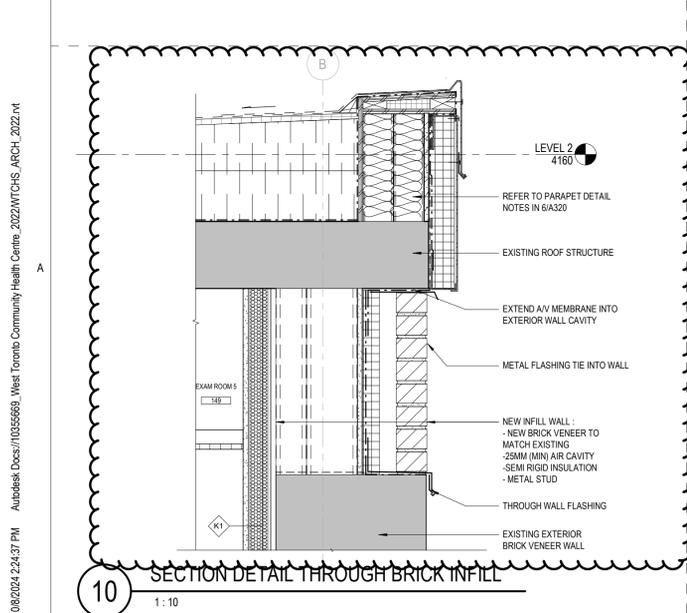
8 SECTION DETAIL THROUGH NEW BRICK INFILL (HEAD)
1:10



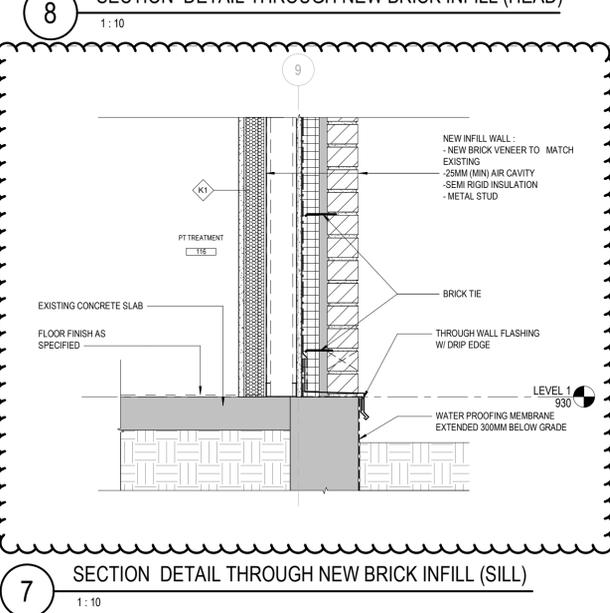
5 SILL DETAIL @ FOUNDATION WALL
1:10



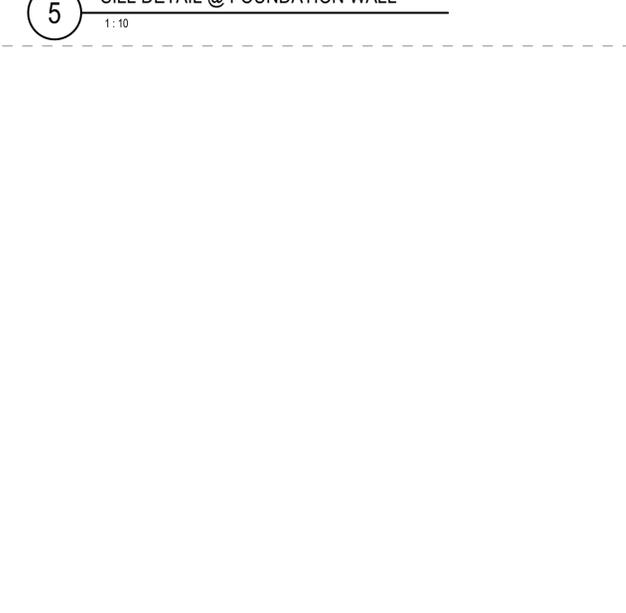
2 INTERMEDIATE MULLION @ FLOOR
1:10



10 SECTION DETAIL THROUGH BRICK INFILL
1:10



7 SECTION DETAIL THROUGH NEW BRICK INFILL (SILL)
1:10



1 SILL DETAIL @ EXISTING WINDOW WELL
1:10



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Project Designer	KC
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Landscape Architect	
Civil Engineer	
Structural Engineer	WSP
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Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

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4	24-09-18	ISSUED FOR TENDER
5	24-10-08	ISSUED FOR ADDENDUM #002

Project Number: 10355669
Original Issue: 08/30/23



Sheet Name: SECTION DETAILS- EXTERIOR

Sheet Number: A-320

Project Status: ISSUED FOR TENDER

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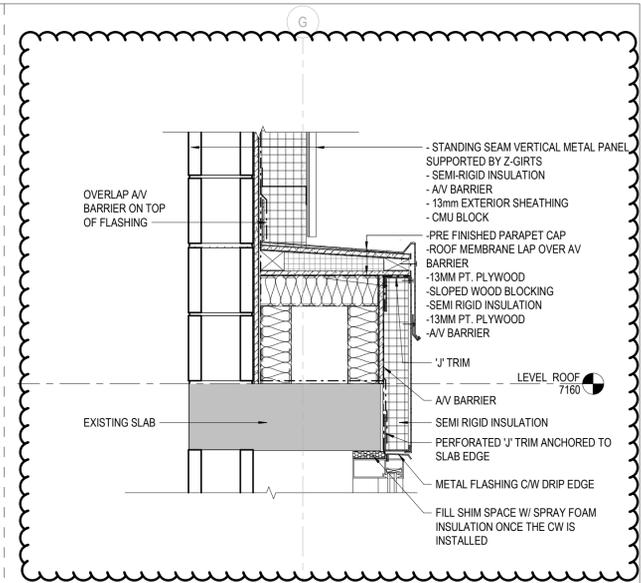
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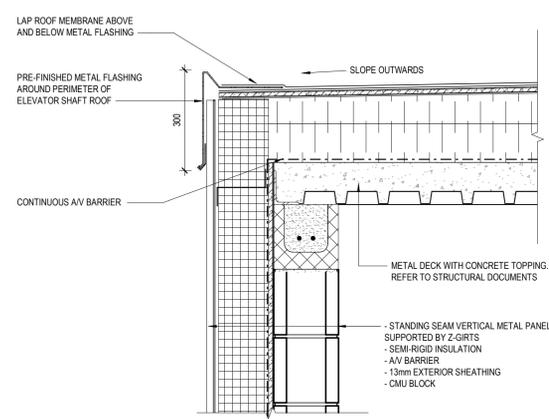
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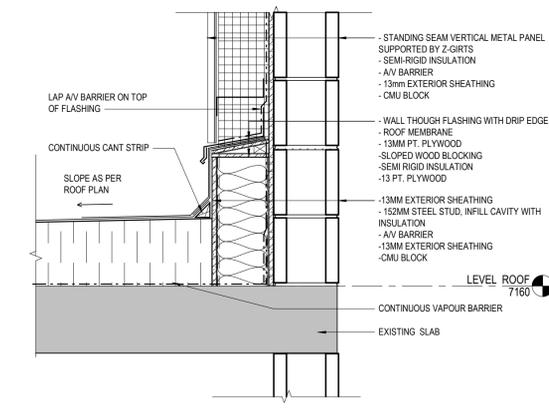
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3 SECTION DETAIL- PARAPET @ ELEVATOR SHAFT
1:10



2 SECTION DETAIL - ELEVATOR SHAFT ROOF
1:10



1 SECTION DETAIL - ELEVATOR SHAFT ROOF TRANSITION
1:10



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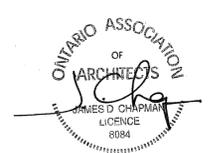
209 Mavety St, Toronto, Ontario,
M6P 2M1

Project Manager	FP
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Landscape Architect	
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Structural Engineer	WSP
Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer	Author
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5	24-10-08	ISSUED FOR ADDENDUM #002

Project Number	10355669
Original Issue	08/30/23



Sheet Name
**SECTION DETAILS-
EXTERIOR**

Sheet Number
A-321

Project Status
ISSUED FOR TENDER

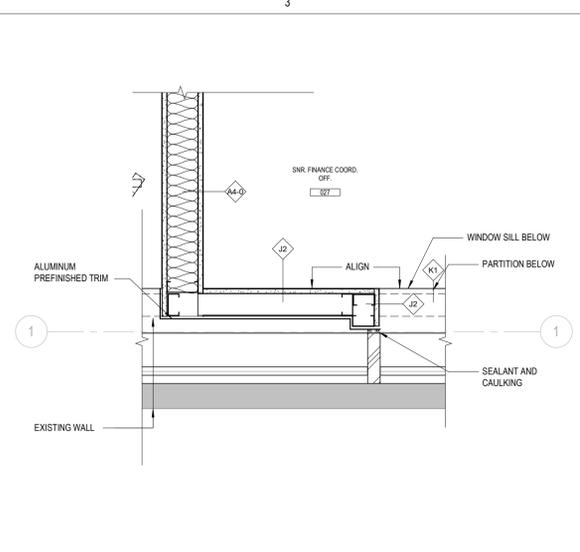
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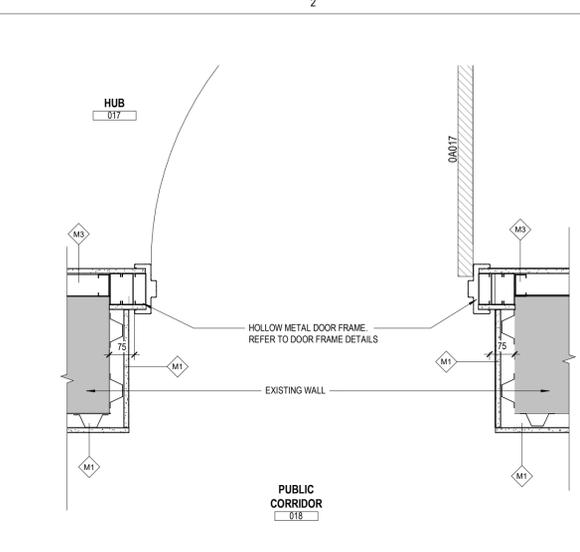
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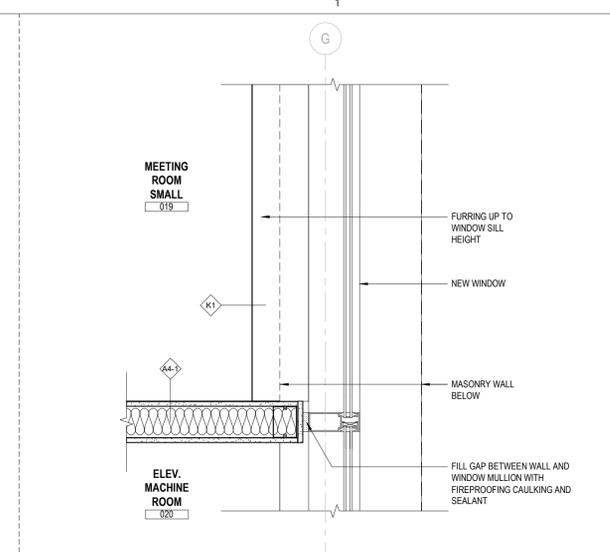
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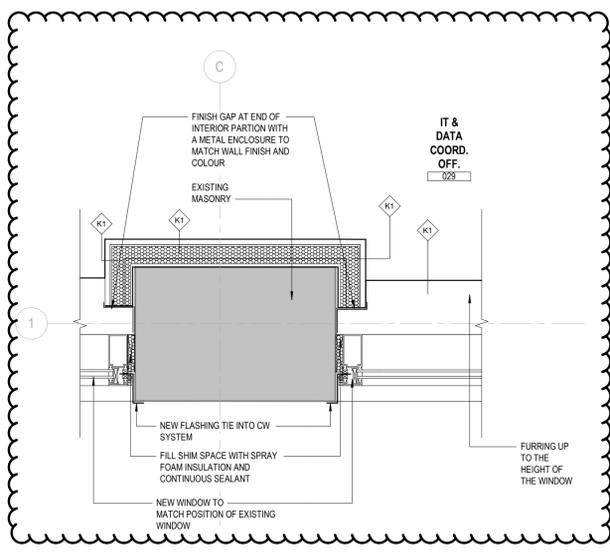
9 PARTITION ELBOW TO WINDOW MULLION - PLAN DETAIL
1:10



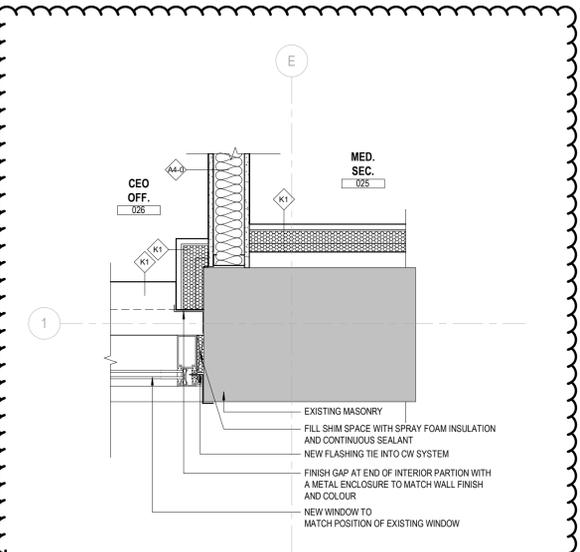
6 PLAN DETAIL 8
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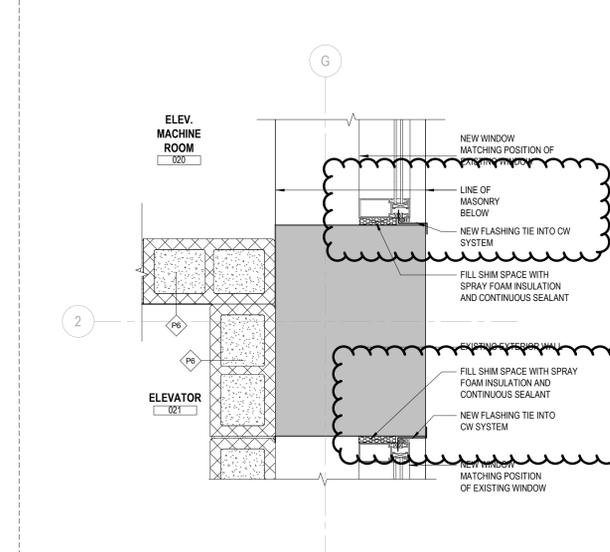
3 PLAN DETAIL 2
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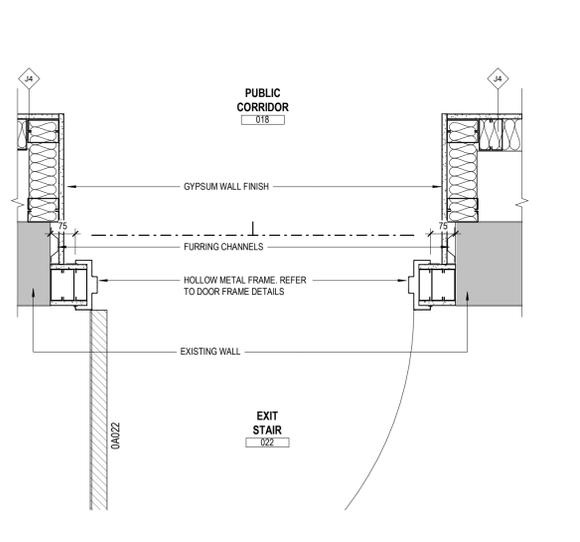
8 PLAN DETAIL 6
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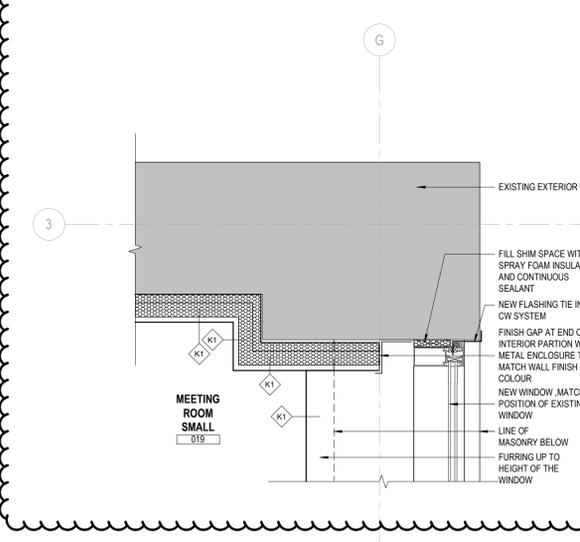
5 PLAN DETAIL 5
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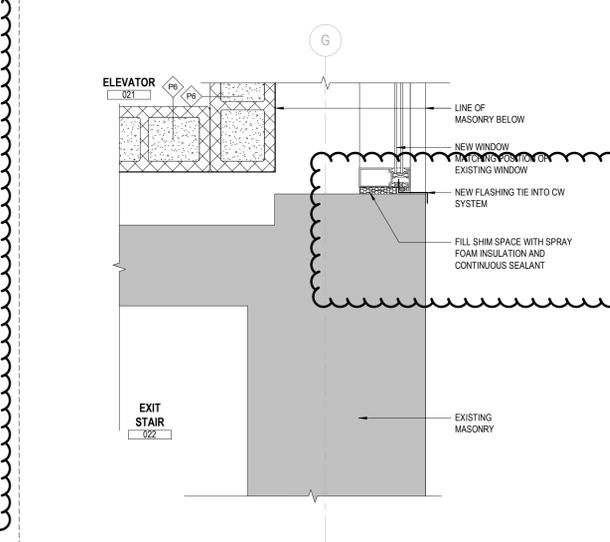
2 PLAN DETAIL 3
1:10



7 PLAN DETAIL 7
1:10



4 PLAN DETAIL 1
1:10



1 PLAN DETAIL 4
1:10



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Sheet Reviewer: Author

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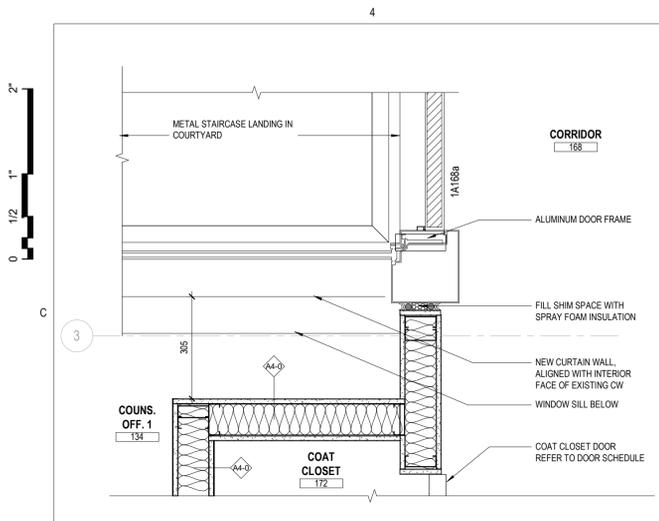
Project Number: 10355669
Original Issue: 08/30/23



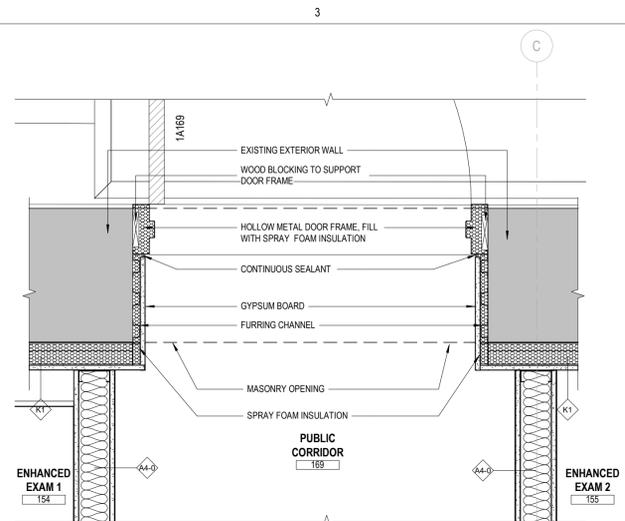
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**PLAN DETAILS-
EXTERIOR-LEVEL 0**

Sheet Number
A-330

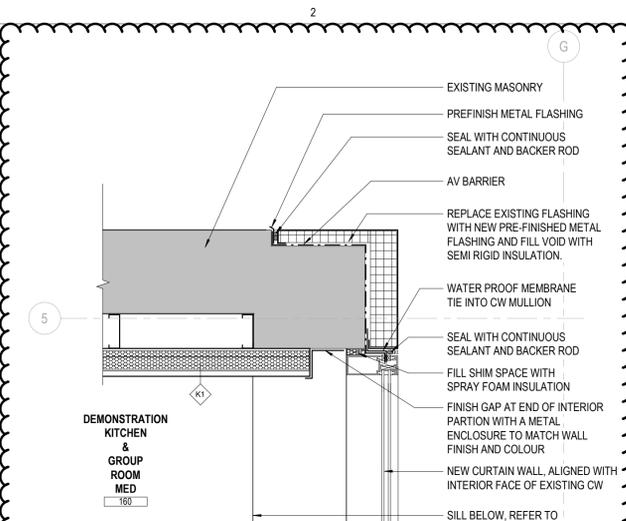
Project Status
ISSUED FOR TENDER



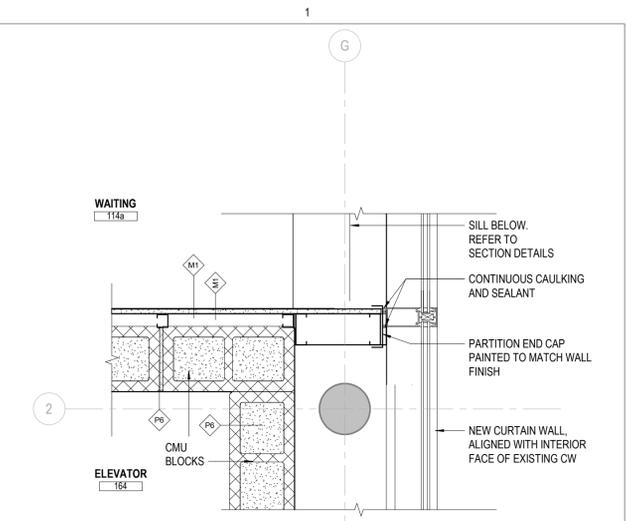
12 PLAN DETAIL L
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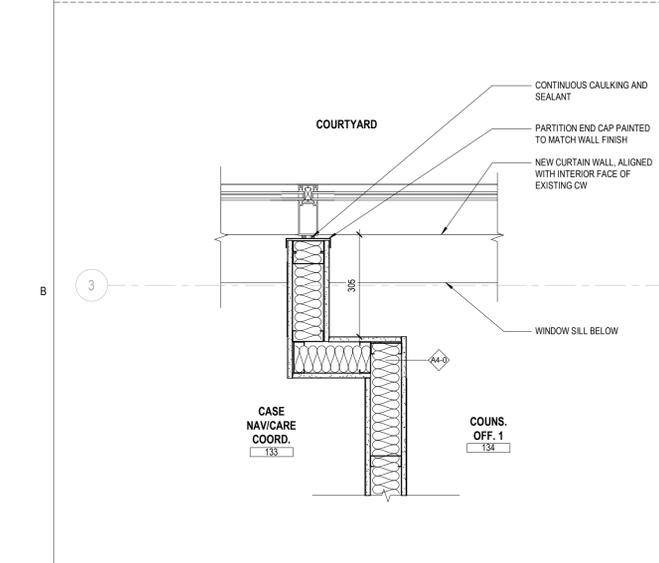
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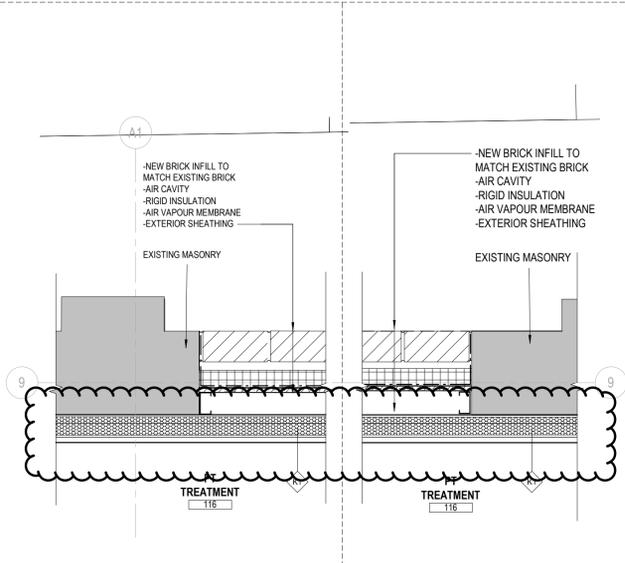
6 PLAN DETAIL E
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3 PLAN DETAIL C
1:10

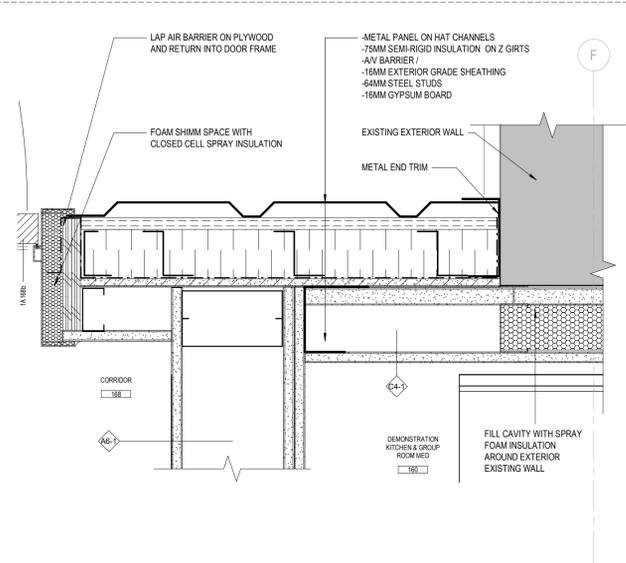


11 PLAN DETAIL K
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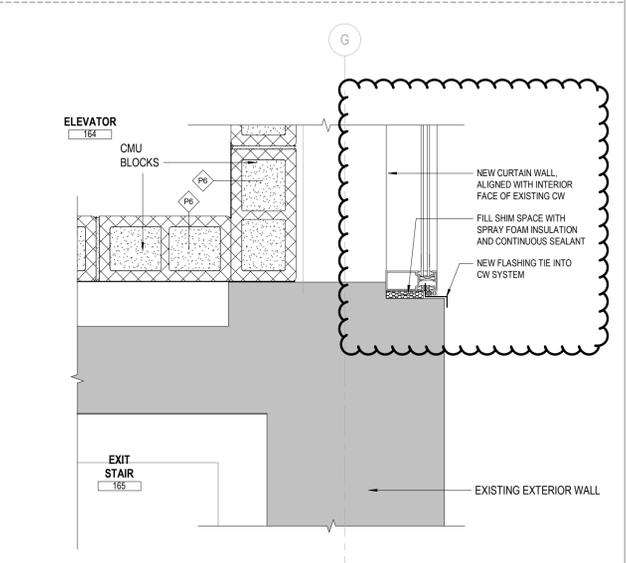


8.1 PLAN DETAIL G
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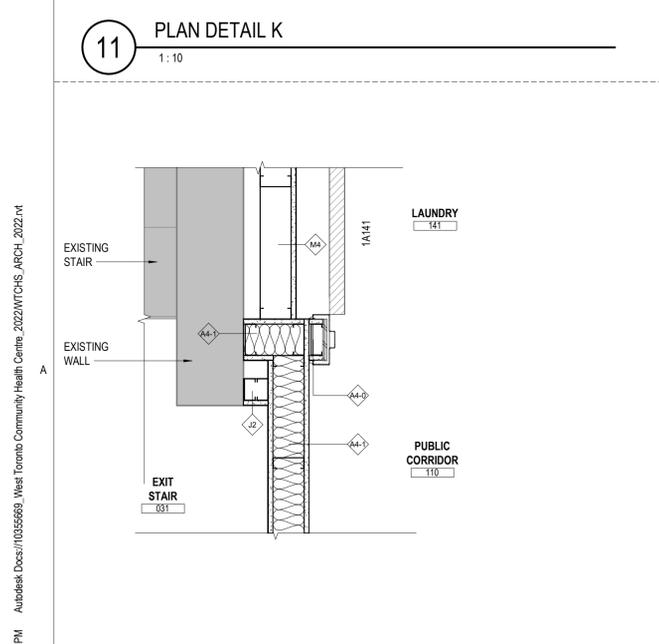
8.2 PLAN DETAIL H
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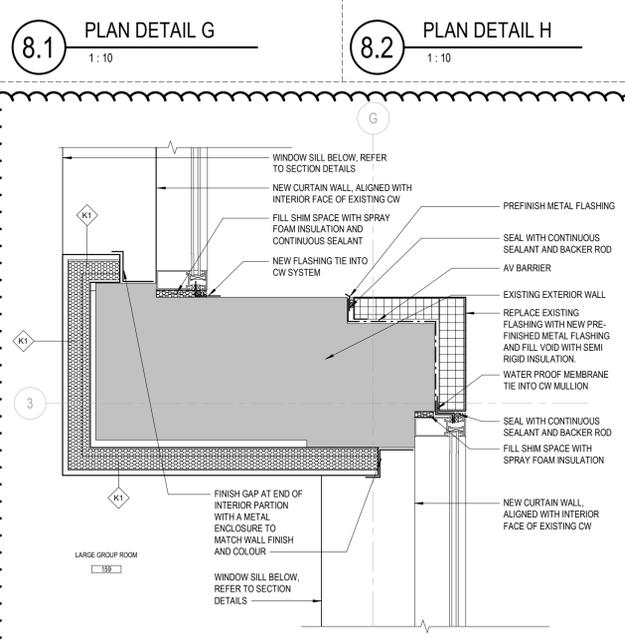
5 PLAN DETAIL @ METAL PANEL EXTERIOR WALL
1:5



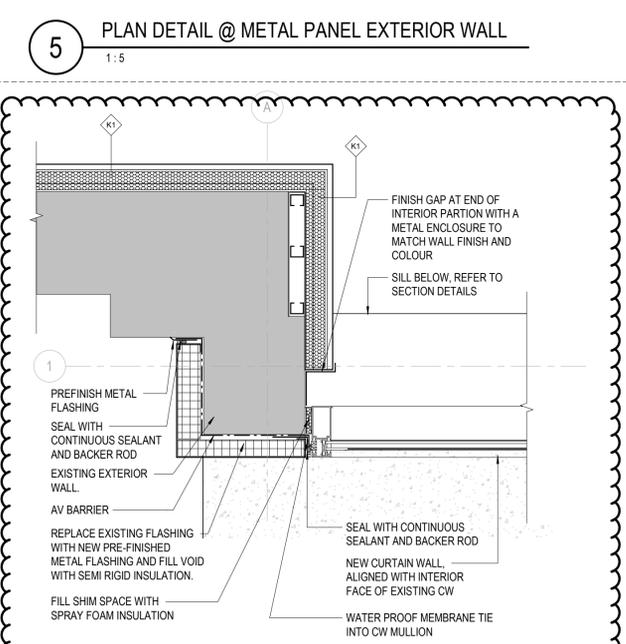
2 PLAN DETAIL B
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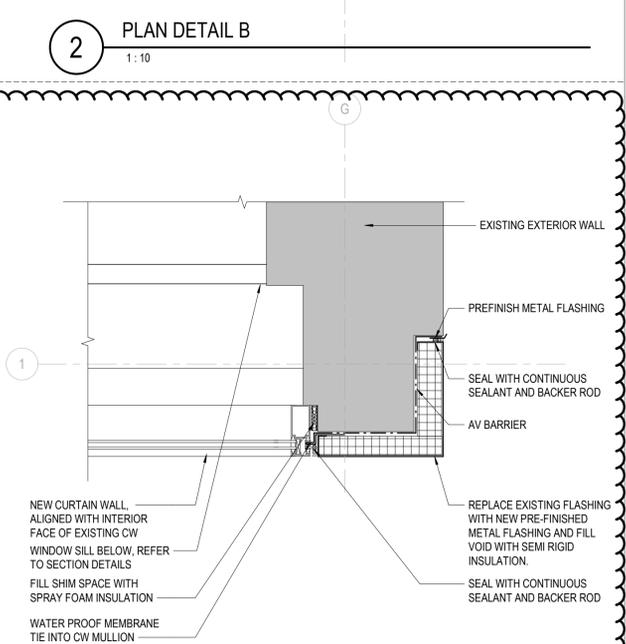
10 PLAN DETAIL J
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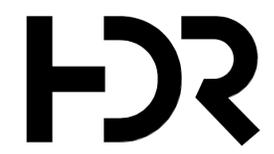
7 PLAN DETAIL D
1:10



4 PLAN DETAIL I
1:10



1 PLAN DETAIL A
1:10



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Project Designer	KC
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Landscape Architect	
Civil Engineer	
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Mechanical Engineer	WSP
Electrical Engineer	WSP
Plumbing Engineer	WSP
Interior Designer	JB
Equipment Planner	
Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
1	24-02-12	ISSUED FOR MOH STAGE 3.3
2	24-03-22	ISSUED FOR BUILDING PERMIT
3	24-09-18	ISSUED FOR TENDER
4	24-10-08	ISSUED FOR ADDENDUM #002

Project Number: 10355669
Original Issue: 08/30/23



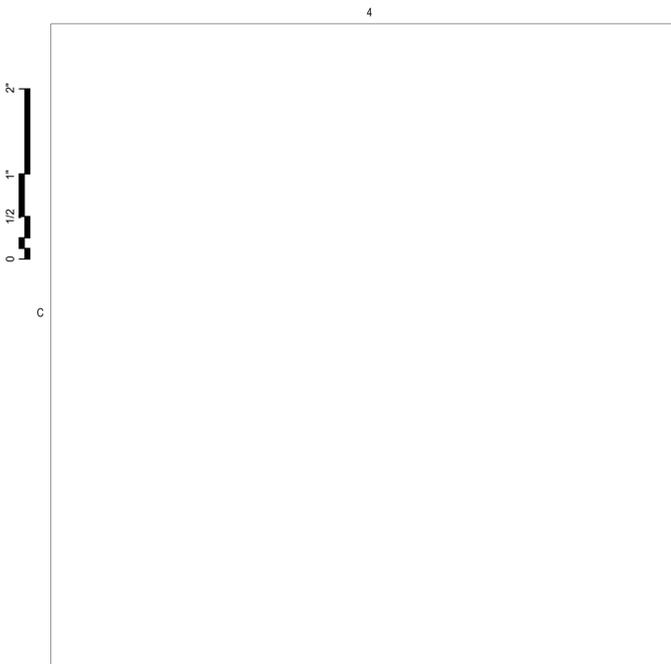
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**PLAN DETAILS-
EXTERIOR-LEVEL 1**

Sheet Number
A-331

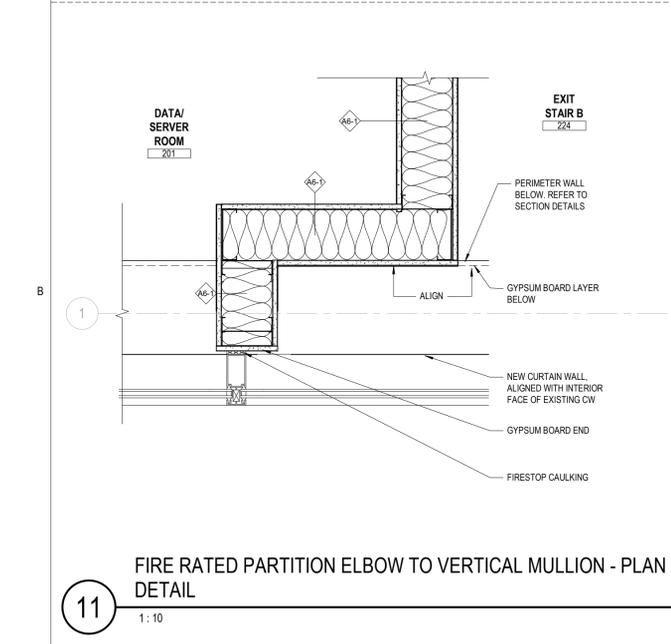
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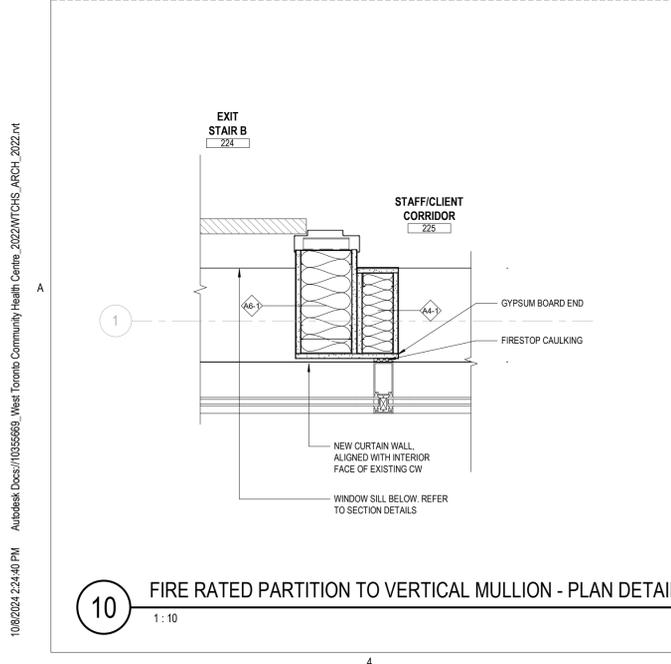
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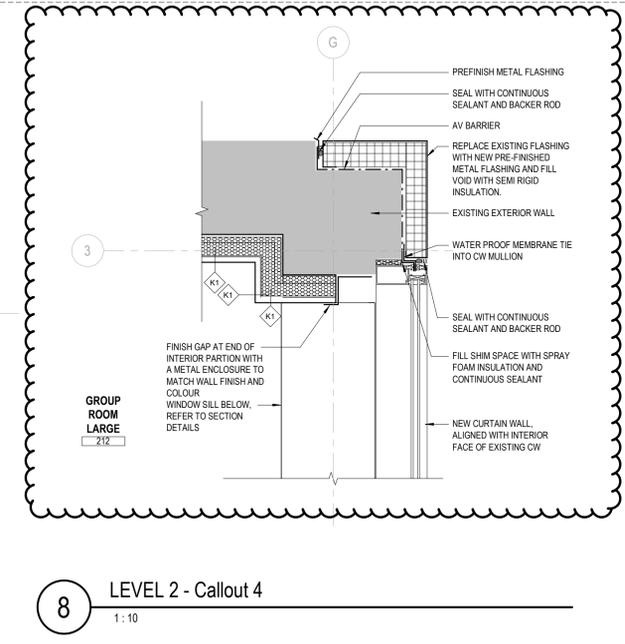
9 PLAN DETAIL Q
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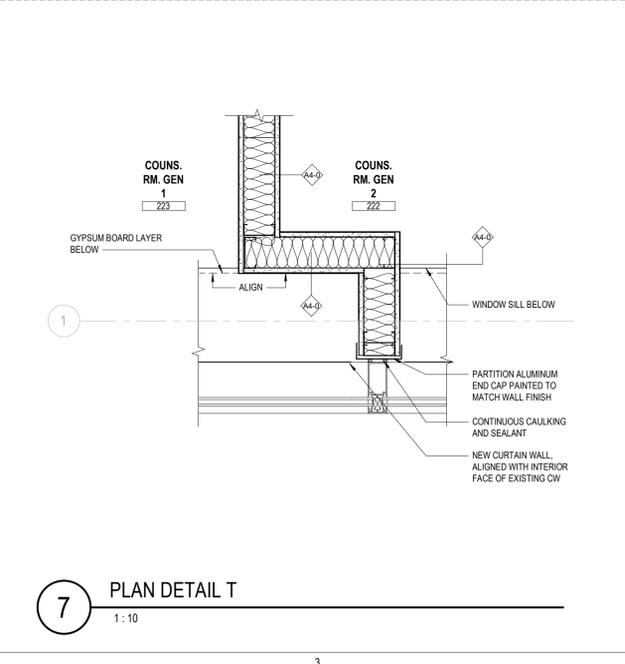
6 PLAN DETAIL P
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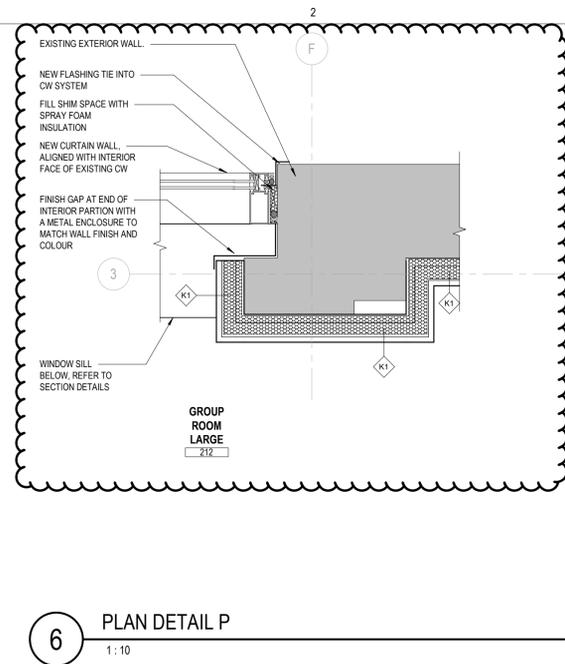
11 FIRE RATED PARTITION ELBOW TO VERTICAL MULLION - PLAN DETAIL
1:10



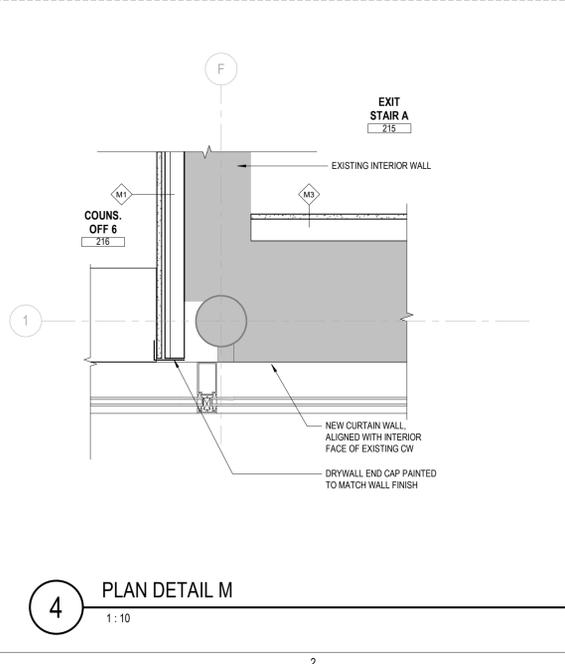
8 LEVEL 2 - Callout 4
1:10



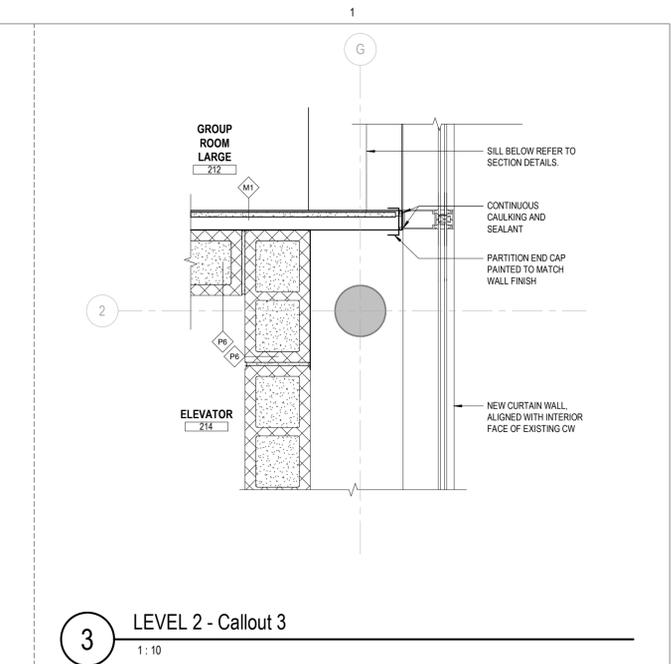
10 FIRE RATED PARTITION TO VERTICAL MULLION - PLAN DETAIL
1:10



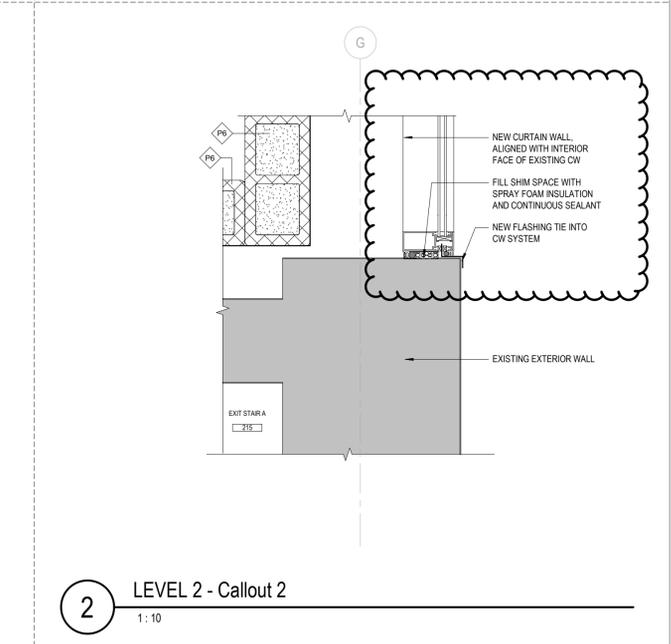
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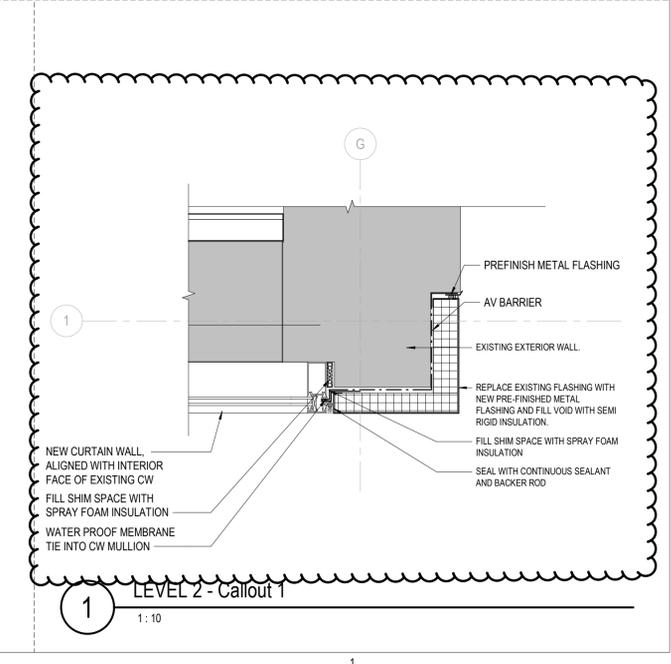
4 PLAN DETAIL M
1:10



3 LEVEL 2 - Callout 3
1:10



2 LEVEL 2 - Callout 2
1:10



1 LEVEL 2 - Callout 1
1:10



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Wayfinding	HDR

Sheet Reviewer: Author

MARK	DATE	DESCRIPTION
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4	24-10-08	ISSUED FOR ADDENDUM #002

Project Number: 10355669
Original Issue: 08/30/23



Sheet Name
**PLAN DETAILS-
EXTERIOR-LEVEL 2**

Sheet Number
A-332

Project Status
ISSUED FOR TENDER