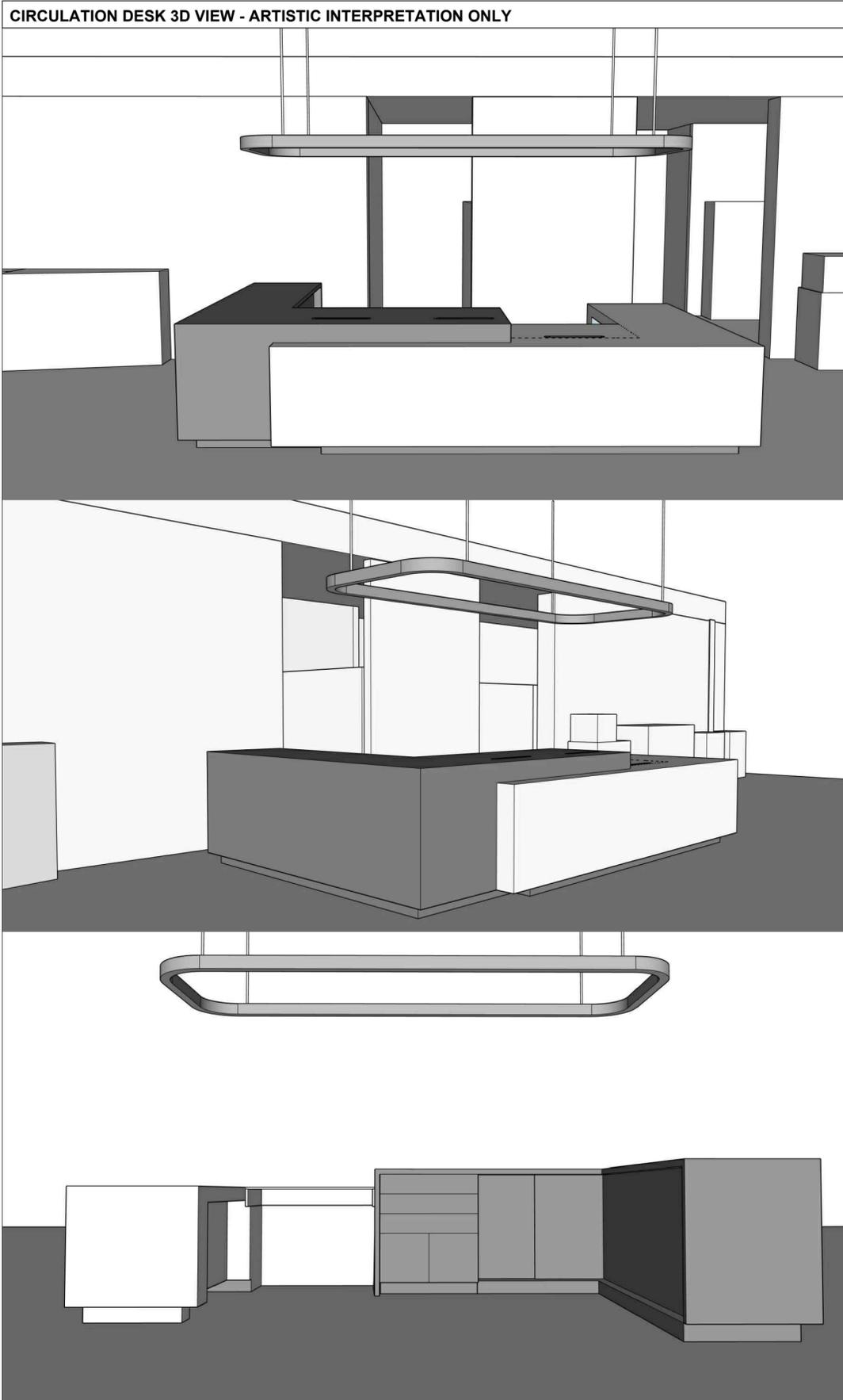


THORNCLIFFE LIBRARY CIRCULATION DESK + ENTRY RENOVATION - ISSUED FOR TENDER

48 THORNCLIFFE PARK DR. EAST YORK, ON.



DRAWING LIST	
A-00	COVER SHEET
A-01	PROJECT NOTES AND SPECIFICATION
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ARCHITECTURAL ABBREVIATIONS LEGEND			
ABBREVIATIONS MAY OR MAY NOT INCLUDE PERIOD PUNCTUATION. ABBREVIATIONS APPLY TO ARCHITECTURAL DOCUMENTS ONLY.			
ARCH	ARCHITECTURAL	NTS	NOT TO SCALE
BF	BARRIER FREE	OBC	ONTARIO BUILDING CODE
C/C	CENTRE TO CENTRE	O.C.	ON CENTRE
CF	CEILING FINISH	OWSJ	OPENWEB STEEL JOIST
CL	CENTER LINE	PNT	PAINT
CIV	CIVIL	RCP	REFLECTED CEILING PLAN
DIA	DIAMETER	RD	ROOF DRAIN
DIM	DIMENSION	RM	ROOM
DWG	DRAWING	RO	ROUGH OPENING
ELEC	ELECTRICAL	RTU	ROOF TOP UNIT
ELEV	ELEVATION	RWL	RAIN WATER LEADER
EQ	EQUAL	SCH	SCHEDULE
GEOTECH	GEOTECHNICAL	SF	SQUARE FEET
FAAP	FIRE ANNUNCIATOR AND ALARM PANEL	SIM	SIMILAR
FCL	FINISH CEILING ELEVATION	SM	SQUARE METER
FFE	FINISH FLOOR ELEVATION	SPEC	SPECIFICATION
FRR	FIRE RESISTANCE RATING	STC	SOUND TRANSMISSION CLASS
FD	FLOOR DRAIN	STRUC	STRUCTURAL
HR	HOUR	TBD	TO BE DETERMINED
MAX	MAXIMUM	T/O	TOP OF
MECH	MECHANICAL	TYP	TYPICAL
MIN	MINIMUM	U/S	UNDERSIDE
N/A	NOT APPLICABLE	V/F	VERIFY IN FIELD
NIC	NOT IN CONTRACT	W/C	WASHROOM
NO.	NUMBER		

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ISSUE DATE:

NO.	DATE	DESCRIPTION
6	2024.07.30	ISSUED FOR TENDER
5	2024.07.03	90% TENDER
4	2024.01.10	PROGRESS UPDATE
3	2023.10.13	DESIGN MEETING 03

PROJECT:
THORNCLIFFE LIBRARY
CIRCULATION DESK + ENTRY
INTERIOR RENOVATION

DRAWING TITLE:
COVER SHEET

PROJECT NO: 231018
SCALE: NTS
DRAWN BY: IW
REVIEWED BY: KB

DRAWING NO:

A-00

PROJECT NOTES

- ELECTRICAL DESIGN IS DELEGATED TO THE CONTRACTOR FOR THIS CONTRACT. SEE ARCHITECTURAL DWGS ELEC. INTENT. CONTRACTOR TO COORDINATE ALL EXISTING AND NEW ELEC WITH NEW WORK.
- CONTRACTOR TO ENSURE ALL PERMIT APPLICATIONS FOR ELEC/LIFE SAFETY ARE PART OF THE CONTRACTOR'S DELEGATED DESIGN SCOPE OF WORK.
- CONTRACTOR TO COORDINATE WALK-THRU WITH OWNER, ARCHITECT, AND BUILDING INSPECTOR TO REVIEW ALL PROPOSED FIXTURE, SMOKE DETECTOR, EXIT AND SWITCHING LOCATIONS PRIOR TO COMMENCING ANY WORK (PROPOSED LOCATIONS TO BE MARKED OUT)
- OUTLETS SHOWN ARE FOR CONVENIENCE ONLY, PROVIDE ADDITIONAL OUTLETS AS REQUIRED IN COMPLIANCE WITH OBC CODE.
- COORDINATE PULLING ALL DATA AND TELEPHONE WITH OWNER'S REP. AV AND IT WORK TO BE COMPLETED BY OWNER, CONTRACTOR TO COORDINATE.
- PROVIDE ALL CONNECTIONS TO EXISTING ELECTRICAL/FIRE AND LIFE SAFETY AND UPGRADE TO MEET OBC
- ALL ELECTRICAL WORK IN MILLWORK TO BE COORDINATED WITH ARCHITECTURAL MILLWORK DRAWINGS. REFER TO ARCHITECTURAL DWGS FOR LOCATIONS AND QUANTITY. COORDINATE NUMBER OF POWER/DATA OUTLETS WITH EQUIPMENT SPECIFICATIONS - INFORM ARCHITECT IF THERE ARE ANY INCONSISTENCIES PRIOR TO COMMENCING WORK.
- THE DRAWINGS ARE IN METRIC. DIMENSIONS ARE GIVEN IN MILLIMETERS UNLESS OTHERWISE NOTED
- ALL WORK CALLED FOR ON THESE DRAWINGS SHALL BE IN COMPLIANCE WITH CODES, RULES AND REGULATIONS OF ALL GOVERNMENT AGENCIES HAVING JURISDICTION. THIS INCLUDES BUT IS NOT LIMITED TO THE ONTARIO BUILDING CODE, THE ONTARIO ELECTRICAL LIFE SAFETY CODE, FIRE PROTECTION CODES AND THE ACCESSIBILITY GUIDELINES.
- CONTRACTOR SHALL PROVIDE AN INITIAL CONSTRUCTION SCHEDULE AND UPDATE IT MONTHLY. PRIORITY SHALL BE GIVEN TO LONG-LEAD ITEMS. THE SCHEDULE SHALL INCLUDE BUT NOT BE LIMITED TO, ALL HOARDING EXTENT CHANGE DATES, SUBMITTAL DATES, SHUT DOWN/DISRUPTION DATES, SUBSTANTIAL PERFORMANCE, TOTAL COMPLETION.

PROJECT SPECIFICATION - 1/3

01 01 00 SUMMARY OF WORK

1. GENERAL

- 1.1 GENERALLY, THE WORK ENTAILS INTERIOR RENOVATIONS TO THE EXISTING TORONTO PUBLIC LIBRARY - THORNCLIFFE BRANCH. THE LIBRARY WILL NOT BE OCCUPIED DURING CONSTRUCTION. THE SITE REST OF THE FACILITY OUTSIDE OF THE LIBRARY WILL BE OCCUPIED DURING CONSTRUCTION. THE CONTRACTOR HAS TO ENSURE, WORKING COOPERATIVELY WITH THE OWNER, THAT THE SITE REMAINS SAFE AND OPERATIONAL DURING CONSTRUCTION. THE CONTRACTOR HAS DELEGATED DESIGN RESPONSIBILITIES IN THIS CONTRACT.
 - 1.2 IT IS INTENDED THAT WORK SUPPLIED UNDER THESE CONTRACT DOCUMENTS SHALL BE COMPLETE AND FULLY OPERATIONAL IN EVERY DETAIL FOR THE PURPOSE REQUIRED, INCLUDING MATERIALS NOT HEREIN MENTIONED, BUT WHICH MAY BE FOUND NECESSARY TO COMPLETE OR PERFECT ANY PORTION OF WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
 - 1.3 SPECIFICATIONS, SCHEDULES AND DRAWINGS ARE COMPLEMENTARY AND ITEMS MENTIONED OR INDICATED ON ONE MAY NOT BE MENTIONED OR INDICATED ON THE OTHERS.
 - 1.4 THE TERMS "EXPOSED" OR "EXPOSED TO VIEW" REFERS TO SURFACES THAT ARE WITHIN THE LINE OF VISIONS OF PERSONS FROM ANY ACCESSIBLE VIEWPOINT, BOTH WITHIN AND WITHOUT THE BUILDING, WHERE ANY PART OF A SURFACE IS EXPOSED TO VIEW, ALL OTHER PORTIONS OF THAT SURFACE SHALL ALSO BE CONSIDERED AS EXPOSED TO VIEW.
 - 1.5 THE CONTRACTOR IS RESPONSIBLE TO COORDINATE, ASSIGN TO SUB-CONTRACTORS & DIRECT THE WORK REGARDLESS OF THE FORMAT OF THE CONTRACT DOCUMENTS.
 - 1.6 'PROVIDE' MEANS SUPPLY AND INSTALL.
 - 1.7 CONTRACTOR IS TO WARRANT ALL WORK, MATERIALS AND EQUIPMENT FOR A PERIOD OF ONE YEAR STARTING AT THE DATE OF SUBSTANTIAL COMPLETION
- #### 2. EXISTING SITE CONDITIONS
- 2.1 CONTRACTOR TO MAKE A CAREFUL EXAMINATION OF THE SITE, AND INVESTIGATE AND BE SATISFIED AS TO ALL MATTERS RELATING TO THE NATURE OF THE WORK TO BE UNDERTAKEN, AS TO THE MEANS OF ACCESS AND EGRESS THERETO AND THEREFROM, AS TO THE OBSTACLES TO BE MET WITH, AS TO THE EXTENT OF THE WORK TO BE PERFORMED AND ANY AND ALL MATTERS WHICH ARE REFERRED TO IN THE CONTRACT DOCUMENTS.
 - 2.2 CONTRACTOR TO INVESTIGATE ALL EXISTING CONDITIONS PERTAINING TO THE WORK PRIOR TO COMMENCING THE NEW WORK. X-RAY EXISTING CONCRETE SLABS PRIOR TO DRILL/CORING. REPORT ANY INCONSISTENCIES, AMBIGUITIES, DISCREPANCIES, OMISSIONS, AND ERRORS BETWEEN SITE CONDITIONS AND CONTRACT DOCUMENTS TO THE CONSULTANT PRIOR TO THE COMMENCEMENT OF WORK. IF INCONSISTENCIES, AMBIGUITIES, DISCREPANCIES, OMISSIONS, AND ERRORS ARE NOT REPORTED AND CLARIFIED, THE MOST STRINGENT REQUIREMENT SHALL GOVERN, AS DETERMINED BY THE CONSULTANT.
 - 2.3 BEFORE COMMENCING THE WORK OF ANY SECTION OR TRADE, CONTRACTOR TO CAREFULLY EXAMINE THE WORK OF OTHER SECTIONS AND TRADES UPON WHICH IT MAY DEPEND, EXAMINE SUBSTRATE SURFACES AND REPORT IN WRITING TO THE CONSULTANT DEFECTS WHICH MIGHT AFFECT NEW WORK. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS AND WORK OF OTHER SECTIONS, TRADES, AND OTHER CONTRACTORS UPON WHICH THE NEW WORK DEPENDS. IF REPAIR OF SURFACES IS REQUIRED AFTER COMMENCEMENT OF SPECIFIC WORK IT SHALL BE INCLUDED IN THE WORK OF THE TRADE PROVIDING THE SPECIFIC SYSTEM OR FINISH.
 - 2.4 PRIOR TO COMMENCING THE WORK, THE CONTRACTOR SHALL PHOTOGRAPHY/DOCUMENT AND SUBMIT TO THE CONSULTANT, ALL EXISTING CONDITIONS THAT THE CONTRACTOR WILL ENGAGE WITH. THE CONTRACTOR SHALL REPAIR, TO PREVIOUS CONDITION, ANY PART OF THE SITE DAMAGED BY THE CONTRACTOR.
 - 2.5 EXISTING FURNITURE IN THE FACILITY WILL REMAIN. OWNER WILL MOVE FURNITURE, STACKS AND OTHER FREE-STANDING ITEMS TO AREAS OF THE LIBRARY THAT ARE NOT WITHIN THE WORK AREA. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT ABOVE MENTIONED ITEMS FROM DAMAGE, DUST AND DEBRIS THROUGHOUT THE ENTIRETY OF CONSTRUCTION.

3. USE OF SITE

- 3.1 CONTRACTOR TO ACCEPT FULL RESPONSIBILITY FOR ASSIGNED WORK AREAS FROM THE TIME OF CONTRACT AWARD UNTIL SUBSTANTIAL PERFORMANCE OF THE WORK.
- 3.2 CONTRACTOR TO CHECK MEANS OF ACCESS AND EGRESS, RIGHTS AND INTERESTS WHICH MAY BE INTERFERED WITH. DO NOT BLOCK LANES, ROADWAYS, ENTRANCES OR EXITS. DIRECT CONSTRUCTION TRAFFIC AND LOCATE ACCESS TO SITE AS DIRECTED BY MUNICIPALITY.
- 3.3 WHERE ENCROACHMENT BEYOND PROPERTY LIMITS IS NECESSARY MAKE ARRANGEMENTS WITH RESPECTIVE PROPERTY OWNERS.

4. ACCESS AND PROPERTY CONSTRAINTS

- 4.1 JENNER JEAN-MARIE COMMUNITY CENTRE TO REMAIN FUNCTIONAL AT ALL TIMES. CONTRACTOR TO CONFINED AREA OF WORK SO THAT OPERATIONS ARE NOT AFFECTED. ENSURE ENTRY AND ALL OTHER SHARED AREAS ARE CLEAN, SAFE AND MEET ALL FIRE AND LIFE SAFETY REQUIREMENTS, FOR ALL COMMUNITY CENTRE CUSTOMERS. AGREED BY OWNER.
- 4.2 ORGANIZE DELIVERY OF MATERIALS & EQUIPMENT TO AND REMOVAL OF DEBRIS AND EQUIPMENT FROM PLACE OF WORK, SUITABLE FOR RESTRICTED SITE CONDITIONS, TO NOT DISRUPT THE FUNCTIONING OF THE FACILITY AND TO PERMIT CONTINUOUS PROGRESS OF WORK. WORKERS AND DELIVERY OF MATERIALS AND EQUIPMENT TO BE THROUGH STAFF ENTRANCE. USE OF OTHER ENTRANCES ONLY TO BE USED WHEN COORDINATED WITH OWNER
- 4.3 DETERMINE AND MAKE ARRANGEMENT AS REQUIRED FOR LOADING AND UNLOADING OF EQUIPMENT AND PRODUCTS AT TIMES THAT WILL NOT AFFECT PUBLIC TRAFFIC FLOW AND THAT WILL BE PERMITTED BY THE MUNICIPALITY. CONFORM TO CITY BY LAWS WITH REGARD TO PARKING RESTRICTIONS AND OTHER CONDITIONS. THERE IS NO RESERVED PARKING AT FACILITY, IT IS FIRST COME, FIRST SERVE. PARKING TO BE AGREED UPON WITH OWNER.
- 4.4 CONTRACTOR IS RESPONSIBLE FOR PROVIDING NECESSARY ARRANGEMENTS TO ACCESS, STORE AND MOVE ALL PRODUCTS, MATERIALS AND EQUIPMENT ON SITE WITH OUT CAUSING DAMAGE TO EXISTING BUILDING AND SITE.
- 4.5 CONTRACTOR IS RESPONSIBLE FOR REQUIRED ARRANGEMENTS DUE TO ROAD CLOSURES AND CITY PERMITS REQUIRED FOR UNLOADING & LOADING BY CRANE OR HOIST.
- 4.6 CONTRACTOR TO PROVIDE TEMPORARY DUST/DEBRIS SEPARATION HOARDING TO PROTECT THE EXISTING FACILITY, FURNISHING, FITMENTS, EQUIPMENT AND OCCUPANTS. PROVIDE LOCKED DOORS IN BARRIERS SEPARATING WORK AREAS FROM REMAINDER OF EXISTING BUILDING AND SITE. CONTRACTOR TO PROVIDE SIGNAGE RELATED TO CLOSURE OF LIBRARY TO BE COORDINATED WITH OWNER.
- 4.7 MAJOR DELIVERIES MUST BE SCHEDULED AND APPROVED BY THE OWNER
- 4.8 DUMPSTER LOCATION TO BE AGREED UPON WITH THE OWNER
- 4.9 GC TO CONDUCT ALL LOUD, SMELLY AND OTHERWISE DISRUPTIVE WORK DURING HOURS THAT HAVE APPROVED BY THE OWNER. GC TO CONSULT WITH CLIENT FOR APPROPRIATE TIME FRAME IN WHICH TO CONDUCT SUCH WORK.

- 4.10 COORDINATE ANY UTILITY SHUT-OFFS WITH THE OWNER ALLOWING 48 HOURS ADVANCE NOTICE. CONTRACTOR SHOULD BE PREPARED TO PERFORM ANY WORK RELATED TO THE SAME DURING NON-BUSINESS HOURS
- 4.11 MAKE PROVISIONS AND ARRANGEMENTS AND INCLUDE IN PRICE AND SCHEDULE, IF TIMES FOR LOADING AND UNLOADING ALLOWED BY OWNER ARE OTHER THAN REGULAR WORKING HOURS.
- 4.12 EXISTING FLOOR STRUCTURE SHALL BE SCANNED PRIOR TO ANY WORK, ALL PROPOSED OPENINGS THROUGH THE STRUCTURE ALL ELEMENTS OF THE BUILDING MUST BE SUBMITTED FOR APPROVABLY THE LANDLORD/BUILDING'S STRUCTURAL ENGINEER.
- 4.13 GENERAL CONTRACTOR TO ALLOW FOR TOTAL SITE SUPERVISION OF ALL FORCES WHEN ON SITE AS REQUIRED BY THE MINISTRY OF LABOUR.
- 4.14 POWER AND WATER USE BY CONTRACTOR OF FACILITY IS ALLOWED.
- 4.15 ANY WORK THAT NEEDS TO BE CONDUCTED OUTSIDE OF FACILITY HOURS MUST BE AGREED UPON WITH THE OWNER.

01 04 00 COORDINATION

1. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL THE WORK REQUIRED TO COMPLETE THE PROJECT INCLUDING, THE COORDINATION OF THE WORK INCLUDING BUT NOT LIMITED TO AUDIO VISUAL, IT, TELEPHONE, COMMUNICATIONS & SECURITY CONTRACTORS. THE PARTS OF THESE DISCIPLINES PROVIDED BY THE CONTRACTOR AND PART PROVIDED BY THE OWNER ARE DEFINED HEREIN.
2. PLACING, INSTALLATION, APPLICATION AND CONNECTION TO THE CONTRACTOR'S WORK, OF WORK BY THE OWNER'S OWN FORCES OR BY OTHER CONTRACTORS SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PROVIDE AND MAINTAIN THE SPECIFIED WARRANTIES.
3. CONTRACTOR TO INCORPORATE INTO CONTRACT SCHEDULE ANY EVACUATION OF BUILDING OCCUPANTS REQUIRED DUE TO UNLOADING AND HOISTING INTO PLACE PARTS OF WORK.
4. IN CASE OF DAMAGE TO ACTIVE SERVICES OR UTILITIES NOTIFY OWNER, CONSULTANT AND RESPECTIVE AUTHORITIES IMMEDIATELY AND MAKE ALL REQUIRED REPAIRS CONTINUOUSLY TO COMPLETION INCLUDING WORKING BEYOND REGULAR WORKING HOURS.
5. WHERE SUPPORTS OR OPENINGS ARE TO BE LEFT FOR THE INSTALLATION OF VARIOUS PARTS OF THE WORK, FURNISH THE NECESSARY INFORMATION TO THOSE CONCERNED IN AMPLE TIME SO THAT PROPER PROVISION CAN BE MADE FOR SUCH ITEMS. HAVE CUTTING, DRILLING AND OTHER REMEDIAL WORK, AND THE SUBSEQUENT PATCHING OR OTHER WORK REQUIRED FOR FAILING TO COMPLY WITH THIS REQUIREMENT PERFORMED AT A LATER DATE AT NO ADDITIONAL COST TO OWNER.

01 04 50 CUTTING AND PATCHING

1. PROVIDE LABOUR, PRODUCTS, EQUIPMENT, SERVICES, TOOLS AND SUPERVISION NECESSARY FOR CUTTING AND PATCHING WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
2. REVIEW W/ CONSULTANT, PRIOR TO COMMENCING, SUCH WORK AS CUTTING, BORING OR SLEEVING LOAD-BEARING MEMBERS. INCLUDE ALL ENGINEERING & INVESTIGATIVE COSTS ASSOCIATED W/ THIS WORK.
3. PROVIDE SUPPORTS TO ASSURE STRUCTURAL INTEGRITY OF SURROUNDINGS AND PROTECT OTHER PORTIONS OF THE PROJECT FROM DAMAGE.
4. WHERE NEW WORK CONNECTS WITH EXISTING STRUCTURES OR WHERE EXISTING TO REMAIN PORTIONS ARE DISBURSED: CUT, PATCH, AND MAKE GOOD EXISTING WORK FOR ENTIRE PLANE OF DISTURBED ELEMENT, TO MATCH ORIGINAL MATERIAL/TEXTURE/COLOUR. CONTRACTOR IS RESPONSIBLE FOR MAKING GOOD ANY DAMAGE TO SITE.
5. PATCH & REPAIR ALL DAMAGED ELEMENTS, INCLUDING EXPOSED EXISTING TO REMAIN.
6. FILL EMPTY HOLES AND AT ALL HOLES AT SCREWS REMOVED W/ MORTAR OR GYPSUM COMPOUND
7. FINISH ALL EXPOSED AND REPAIRED ELEMENTS TO MATCH ADJACENT
8. WHERE WORK DISRUPTS EXISTING FIRE SEPARATIONS, PROVIDE ALL WORK TO REINSTATE FIRE SEPARATION, INCLUDING BUT LIMITED TO, FIRE STOPPING.

01 06 00 REGULATORY REQUIREMENTS AND STANDARDS

1. CONTRACTOR IS RESPONSIBLE FOR MEETING ALL ELECTRICAL BUILDING CODE REQUIREMENTS FOR NEW WORK AND ANY WORK AFFECTING THE EXISTING BUILDING DUE TO THE NEW WORK.
2. COMPLY WITH ALL BY-LAWS AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION; THESE CODES AND REGULATIONS CONSTITUTE AN INTEGRAL PART OF THE CONTRACT DOCUMENTS.
3. APPLY FOR ALL REQ'D ELECTRICAL PERMITS. ARRANGE FOR INSPECTION, TESTING OF WORK AND ACCEPTANCE REQUIRED BY THE AUTHORITIES HAVING JURISDICTION. BE RESPONSIBLE FOR NECESSARY PREPARATIONS, PROVISIONS AND PAY ALL COSTS ASSOCIATED W/ THIS SECTION.
4. REFERENCE IS MADE TO STANDARDS IN THE SPECIFICATIONS TO ESTABLISH MINIMUM ACCEPTABLE STANDARDS OF MATERIALS, PRODUCTS AND WORKMANSHIP. ENSURE THAT MATERIALS, PRODUCTS AND WORKMANSHIP MEET OR EXCEED REQUIREMENTS OF THE REFERENCE STANDARDS SPECIFIED.
5. IN THE EVENT OF CONFLICT BETWEEN DOCUMENTS SPECIFIED HEREIN, EXECUTE THE WORK IN ACCORDANCE WITH THE MOST STRINGENT REQUIREMENTS.
6. ALL STANDARDS REFERRED TO SHALL BE THE CURRENT EDITIONS AS AMENDED AT THE DATE OF THE ISSUED OF CONTRACT DOCUMENTS.
7. WHERE A MATERIAL OR PRODUCT IS SPECIFIED IN CONJUNCTION WITH A REFERENCED STANDARD, DO NOT SUPPLY THE MATERIAL OR PRODUCT IF IT DOES NOT MEET THE REQUIREMENTS OF THE STANDARD. SUPPLY ANOTHER SPECIFIED MATERIAL OR PRODUCT, OR AN ACCEPTABLE MATERIAL OR PRODUCT OF OTHER APPROVED MANUFACTURE WHICH DOES MEET THE REQUIREMENTS OF THE STANDARD, AT NO ADDITIONAL COST TO THE OWNER.
8. WHERE NO STANDARD IS REFERRED TO, PROVIDE MATERIALS, PRODUCTS AND WORKMANSHIP WHICH MEET REQUIREMENTS OF THE APPLICABLE STANDARDS OF THE CANADIAN STANDARDS ASSOCIATION, CANADIAN GENERAL STANDARDS BOARD, STANDARDS COUNCIL OF CANADA, ONTARIO PROVINCIAL STANDARD SPECIFICATION (OPSS), ONTARIO PROVINCIAL STANDARD DRAWINGS (OPSD) AND THE APPLICABLE BUILDING CODE. REFERENCE TO "MEASUREMENT FOR PAYMENT" AND "BASIS OF PAYMENT" IN OPSS STANDARD DOCUMENTS ARE NOT APPLICABLE TO THIS CONTRACT.
9. IF THERE IS QUESTION AS TO WHETHER A MATERIAL, PRODUCT OR SYSTEM IS IN CONFORMANCE WITH APPLICABLE STANDARDS, THE CONSULTANT RESERVES THE RIGHT TO HAVE SUCH MATERIALS, PRODUCTS OR SYSTEMS TESTED TO PROVE OR DISPROVE CONFORMANCE. THE COST FOR SUCH TESTING WILL BE PAID BY THE OWNER IN THE EVENT OF CONFORMANCE WITH CONTRACT DOCUMENTS OR BY THE CONTRACTOR IN THE EVENT OF NON-CONFORMANCE.
10. WHERE APPLICATION, INSTALLATION AND WORKMANSHIP STANDARDS ARE CITED, IT IS INTENDED THAT REFERENCED STANDARDS FORM THE BASIS FOR MINIMUM REQUIREMENTS OF THE SPECIFIED ITEM AND SPECIFICATIONS SUPPLEMENT THE STANDARDS UNLESS SPECIFIED OTHERWISE.

11. MANUFACTURER'S DIRECTIONS, INSTRUCTIONS AND SPECIFICATIONS FORM THE MINIMUM REQUIREMENTS OF THE WORK. OTHER REQUIREMENTS AND/OR INFORMATION IN THE CONTRACT DOCUMENTS ARE IN ADDITION. MANUFACTURER'S DIRECTIONS SHALL INCLUDE FULL INFORMATION ON STORING, HANDLING, PREPARING, MIXING, INSTALLING, ERECTING, APPLYING, OR OTHER MATTERS CONCERNING THE MATERIALS PERTINENT TO THEIR USE AND THEIR RELATIONSHIP TO MATERIALS WITH WHICH THEY ARE INCORPORATED.

01 20 00 PROJECT MEETINGS

1. PRE-CONSTRUCTION MEETING

- 1.1 CONTRACTOR TO ARRANGE A PRE-CONSTRUCTION MEETING, CO-ORDINATE ATTENDANCE OF MAJOR SUBCONTRACTORS. CONSULTANT TO SET AGENDA AND RECORD MINUTES OF MEETING AND DISTRIBUTE COPIES TO ALL PARTICIPANTS WITH IN ONE WEEK OF MEETING DATE.

2. PROGRESS MEETINGS

- 2.1 CONTRACTOR TO SET REGULARLY SCHEDULED PROGRESS MEETINGS TO BE HELD ON SITE AT TIMES AND DATES THAT ARE MUTUALLY AGREED TO BY THE OWNER, CONSULTANT, AND CONTRACTOR.
- 2.2 WHEN REQ'D, CO-ORDINATE AND ORGANIZE ATTENDANCE OF INDIVIDUAL SUBCONTRACTORS AND MATERIAL SUPPLIERS AT SET PROGRESS MEETINGS RATHER THAN REQUESTING EXTRA MEETINGS. RELATIONSHIPS AND DISCUSSIONS BETWEEN SUBCONTRACTOR AND CONTRACTOR PARTICIPANTS ARE NOT THE RESPONSIBILITY OF THE OWNER/CONSULTANT AND DO NOT FORM PART OF THE MEETINGS CONTENT.
- 2.3 ENSURE THAT CONTRACTOR REPRESENTATIVES IN ATTENDANCE AT MEETINGS HAVE REQUIRED AUTHORITY TO COMMIT CONTRACTOR TO ACTIONS AGREED UPON. ASSIGN SAME PERSONS TO ATTEND SUCH MEETINGS THROUGHOUT THE CONTRACT PERIOD.
- 2.4 MEETING AGENDAS WILL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING TOPICS AS ARE PERTINENT TO THE CONTRACT:
 - 2.4.1 REVIEW AND AGREEMENT OF PREVIOUS MINUTES.
 - 2.4.2 CONSTRUCTION SAFETY.
 - 2.4.3 STATUS OF SUBMITTALS.
 - 2.4.4 QUALITY CONTROL.
 - 2.4.5 CO-ORDINATION.
 - 2.4.6 REVIEW OF UPDATED CONTRACT SCHEDULE.
 - 2.4.7 LOOK AHEAD PROGRESS WORK PLAN TO NEXT SCHEDULED MEETING. INCLUDING ESTIMATED PERCENTAGE PROGRESS.
 - 2.4.8 REQUESTS FOR INFORMATION/ CLARIFICATION.
 - 2.4.9 CONTEMPLATED CHANGES.
- 2.5 RECORD MINUTES OF MEETING AND DISTRIBUTE TYPE WRITTEN COPIES TO ALL PARTICIPANTS AND OTHER INTERESTED PARTIES, WITHIN FOUR BUSINESS DAYS OF MEETING DATE. UPDATE MINUTES BASED ON MINUTE COMMENTS RECEIVED, PRIOR TO NEXT MEETING

01 30 00 SHOP DRAWINGS, MOCKUPS AND SAMPLES

1. THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS, SAMPLES AND/OR MANUFACTURERS DESCRIPTIONS FOR ALL ITEMS PRE-MANUFACTURED OFF SITE OR SPECIALTY ITEMS, INCLUDING BUT NOT LIMITED TO: MILLWORK, MISC. METALS AND LIGHT FIXTURES.
2. PRIOR TO SUBMISSION TO THE CONSULTANT, THE CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS TO: CONFIRM THEIR COMPLIANCE W/ THE CONTRACT DOCUMENTS, DETERMINE AND VERIFY ALL FIELD DIMENSIONS AND FIELD CONSTRUCTION CONDITIONS; AND TO CHECK AND CO-ORDINATE ON EACH SHOP DRAWING PRODUCT REQUIREMENTS, CATALOGUE NUMBERS, AND SIMILAR DATA WITH THE REQUIREMENTS OF THE WORK. CONFIRM THE REVIEW OF EACH DRAWING BY STAMP, DATE AND SIGNATURE. NOTIFY THE CONSULTANT OF ANY DEVIATION IN THE SHOP DRAWING FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
3. THE CONSULTANT SHALL REVIEW SHOP DRAWINGS FOR GENERAL CONFORMITY TO THE DESIGN CONCEPT AND FOR GENERAL ARRANGEMENT ONLY. THIS REVIEW SHALL NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ERRORS OR OMISSIONS IN THE SHOP DRAWING FROM THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
4. THE CONTRACTOR SHALL PROVIDE FULL AND COMPLETE MOCKUPS FOR ALL ITEMS NOTED IN DRAWINGS. ARRANGE FOR CONSULTANT'S REVIEW TO HAPPEN AT REGULAR CONSTRUCTION MEETINGS. ALLOW 48 HOURS AFTER REVIEW BEFORE PROCEEDING WITH WORK SO CONSULTANT CAN PROVIDE COMMENTS. ALLOW TIME IN SCHEDULE FOR CONTRACTOR TO ADJUST MOCK-UPS BASED ON CONSULTANT'S COMMENTS.
5. MOCKUP MAY REMAIN AS PART OF WORK IF ACCEPTED BY CONSULTANT. REMOVE AND DISPOSE OF MOCK-UPS WHICH DO NOT FORM PART OF WORK.
6. BEFORE CONTRACTOR ORDERS PRODUCTS OR MATERIALS, SUBMIT SAMPLES OF PRODUCTS AS SPECIFIED OR AS REQUESTED BY THE CONSULTANT. LABEL SAMPLES AS TO ORIGIN AND INTENDED USE IN THE WORK AND IN ACCORDANCE WITH THE REQUIREMENTS OF THE SPECIFICATION SECTIONS. SAMPLES MUST REPRESENT PHYSICAL EXAMPLES TO ILLUSTRATE MATERIALS, EQUIPMENT OR WORK QUALITY AND TO ESTABLISH STANDARDS BY WHICH COMPLETED WORK IS JUDGED.
7. ENSURE SAMPLES ARE OF SUFFICIENT SIZE AND QUANTITY, IF NOT ALREADY SPECIFIED TO ILLUSTRATE:
 - 7.1 THE QUALITY AND FUNCTIONAL CHARACTERISTICS OF PRODUCTS, WITH INTEGRALLY RELATED PARTS AND ATTACHMENT DEVICES.
 - 7.2 FULL RANGE OF COLOURS AVAILABLE.
8. PROVIDE MILLWORK SHOP DRAWINGS EARLY IN CONSTRUCTION FOR REVIEW PRIOR TO FABRICATION. SHOP DRAWINGS CAN BE PROVIDED DIGITALLY TO ARCHITECT (IF SUBMITTING PAPER, PROVIDE 4 COPIES)
9. PROVIDE 3 SAMPLES OF ALL ITEMS ON FINISH SCHEDULE FOR REVIEW PRIOR TO CONSTRUCTION
10. PROVIDE CUT SHEETS FOR ALL LIGHTING INSTALLED, HARDWARE, AND ALL WARRANTY INFORMATION

01 70 00 CONTRACT CLOSEOUT

1. PRIOR TO APPLYING FOR SUBSTANTIAL PERFORMANCE, THE CONTRACTOR SHALL FOLLOW THE PROCEDURES OUTLINED IN THE LATEST VERSION OF OAA/OGCA TAKE-OVER PROCEDURES, OAA/OGCA DOCUMENT NO. 100.
2. UPON THE ISSUANCE OF A CERTIFICATE OF SUBSTANTIAL PERFORMANCE BY THE ARCHITECT, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING PUBLISHED IN THE DAILY COMMERCIAL NEWS A NOTICE OF SUBSTANTIAL PERFORMANCE AND SHALL BEAR ALL COSTS RELATING TO SUCH PUBLICATION. THE PERIOD FOR REGISTRATION OF CONSTRUCTION LIENS SHALL COMMENCE ONE DAY AFTER THE DATE OF PUBLICATION. IF NO LIENS ARE REGISTERED BEFORE THE END OF THE PERIOD, HOLDBACK MONIES, LESS ANY AMOUNTS REQUIRED TO BE HELD BACK TO ENSURE COMPLETION OF THE WORK, SHALL BE PAYABLE ONE DAY AFTER THE END OF THIS PERIOD.
3. FINAL PAYMENT SHALL BE APPLIED FOR BY THE CONTRACTOR TO THE CONSULTANT. UPON REVIEW AND ACCEPTANCE OF THE WORK THE CONSULTANT SHALL ISSUE A FINAL CERTIFICATE FOR PAYMENT.
4. THE CONTRACTOR SHALL PROVIDE A PROJECT CLOSEOUT MANUAL INCLUDING AS-BUILT DRAWINGS FOR ARCHITECT/ELECTRICAL DRAWINGS, AND OPERATION, MAINTENANCE AND INSTRUCTION MANUALS FOR ALL THE PRODUCTS/SYSTEMS SUPPLIED AND INSTALLED UNDER THE CONTRACT, SUCH AS BUT NOT LIMITED TO: LIGHTS, CARE AND MAINTENANCE OF WOOD DOORS AND WINDOWS, FLOORS, MECHANICAL SYSTEMS, STONE, CORIAN, CONCRETE FLOOR FINISH, GLASS SCREENS.



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ISSUE DATE:

NO.	DATE	DESCRIPTION
1	2024.07.30	ISSUED FOR TENDER

PROJECT: THORNCLIFFE LIBRARY CIRCULATION DESK + ENTRY INTERIOR RENOVATION

DRAWING TITLE: PROJECT NOTES AND SPECIFICATION

PROJECT NO: 231018
SCALE: NTS
DRAWN BY: IW
REVIEWED BY: KB

DRAWING NO:

A-01

PROJECT SPECIFICATION - 3/3

<p>10. <u>MILLWORK HARDWARE</u></p> <p>10.1 PROVIDE ALL HARDWARE FOR MILLWORK AND ELSEWHERE AS CALLED FOR ON THE DRAWINGS OR OTHERWISE REQUIRED FOR THE FOR THE PROPER INSTALLATION AND OPERATION OF THE WORK OF THE CONTRACT. INSTALL HARDWARE AS PER MANUFACTURER'S INSTRUCTIONS.</p> <p>10.2 ALL DRAWER SLIDES TO BE BLUM, FULL EXTENTION WITH SOFT CLOSE.</p> <p>10.3 ALL HINGES TO BE BLUM WITH SOFT CLOSE.</p> <p>10.4 ALL DOORS AND DRAWERS TO HAVE CLEAR BUMPERS FOR QUIET CLOSE.</p> <p>09 25 00 GYPSUM WALLBOARD</p> <p><u>GENERAL</u></p> <p>1. INCLUDE ALL GYPSUM WALLBOARD WORK AS CALLED FOR ON THE DRAWINGS AND AS OTHERWISE REQUIRED TO PROPERLY COMPLETE THE WORK.</p> <p>2. ALL WORK IS TO BE DONE BY SKILLED TRADES PERSONS, IN ACCORDANCE WITH CSA STANDARD A82.31, APPROVED MANUFACTURE'S TRADE SPECIFICATIONS AND TO THE MANUAL OF GYPSUM WALLBOARD CONSTRUCTION BY GYPSUM DRYWALL CONTRACTORS INTERNATIONAL.</p> <p>3. EXAMINE SITE CONDITIONS AND OTHER UNDERLYING WORK. ENSURE THAT ALL BUCKS, ANCHORS, BLOCKING, ELECTRICAL AND MECHANICAL WORK WHICH ARE TO BE INSTALLED IN OR BEHIND GYPSUM WALLBOARD HAVE BEEN INSTALLED AND APPROVED.</p> <p>4. START NO WORK UNTIL CONDITIONS ARE SATISFACTORY; COMMENCEMENT OF WORK SHALL IMPLY ACCEPTANCE OF CONDITIONS.</p> <p>5. <u>INSTALLATION</u></p> <p>5.1 FOR GYPSUM WALLBOARD APPLICATIONS, THE WALLBOARD TYPE SHALL BE AS SPECIFIED, APPLY WALLBOARD USING VERTICAL METHOD, WITH THE BOARD PARALLEL TO BEARING. FIXING IS TO BE USED. SCREW FIXING AT 25MM O.C. FOR CEILINGS AND 400MM O.C. FOR WALLS.</p> <p>5.2 INSTALL METAL ACCESSORIES AS FOLLOWS: CORNER BEADS TO BE INSTALLED AT ALL EXTERNAL CORNERS, USING LONGEST PRACTICAL LENGTHS AND FIXED AT MAX. 150MM O.C.. METAL EDGE TRIM SHALL BE INSTALLED TO ALL CASED OPENINGS AND WHEREVER GYPSUM WALLBOARD ABUTS A DISSIMILAR MATERIAL, USING LONGEST PRACTICAL LENGTHS, FIXED AT MAX. 25MM O.C.. ALL TRIM TO BE MUDDABLE.</p> <p>5.3 TO FINISH GYPSUM WALLBOARD, TAPE, FILL AND SAND ALL EXPOSED JOINTS, EDGES AND CORNERS, OPENINGS AND FIXINGS TO PRODUCE AN ACCEPTABLE SURFACE READY FOR DECORATION. METAL CORNER BEADS, CASING BEADS AND TRIM SHALL BE USED WHEREVER DETAILED OR SPECIFIED OR OTHERWISE REQUIRED TO CARRY OUT THE WORK IN ACCORDANCE WITH GOOD CONSTRUCTION PRACTICE. ALL SUCH ITEMS SHALL BE FILLED AND FINISHED UNLESS SPECIFICALLY NOTED OTHERWISE. TAPING AND FILLING OF ALL JOINTS AND OTHER ITEMS SHALL BE WITH A MIN. OF THREE COATS.</p> <p>5.4. GYPSUM BOARD UNLESS OTHERWISE NOTED: ASTM C36; 13MM THICK OF MAXIMUM PRACTICAL LENGTHS TO MINIMIZED END JOINTS UNLESS INDICATED OTHERWISE. FURNISH BOARD BY DOMTAR CONSTRUCTION MATERIALS, CGC INC., OR WESTROC INDUSTRIES LIMITED. AT ALL PARTITIONS, GYPSUM BOARD BELOW 100MM AFF SHALL BE IMPACT RESISTANT TYPE. ALL GYPSUM BOARD IN FIRE SEPARATION SHALL MEET THE REQUIREMENTS OF THE FIRE SEPARATION.</p> <p>09 65 00 RESILIENT BASE</p> <p>1. SUBMITTALS</p> <p>1.1 SUBMIT COPIES OF MANUFACTURER'S PRODUCT DATA INDICATING: PERFORMANCE CRITERIA, COMPLIANCE WITH APPROPRIATE REFERENCE STANDARD, CHARACTERISTICS, LIMITATIONS, PRODUCT TRANSPORTATION, STORAGE, HANDLING AND INSTALLATION REQUIREMENTS.</p> <p>1.2 <u>SAMPLES</u></p> <p>1.2.1 SUBMIT TWO 250MM LONG SAMPLES OF RESILIENT BASE</p> <p>1.2.2 CLOSEOUT SUBMITTALS: SUBMIT MAINTENANCE AND CLEANING DATA FOR INCORPORATION INTO OPERATIONS AND MAINTENANCE MANUALS</p> <p>2. MAINTENANCE</p> <p>2.1 SUBMIT EXTRA 5% OR TO NEAREST FULL ROLL OF EACH COLOUR, PATTERN AND TYPE OF BASE REQUIRED FOR MAINTENANCE USE. IDENTIFY EACH CARTON. STORE WHERE DIRECTED.</p> <p>3. MATERIALS</p> <p>3.1 ALL MATERIALS UNDER THIS SECTION INCLUDED BUT NOT LIMITED TO PRIMERS AND ADHESIVES ARE TO HAVE LOW VOC CONTENT LIMITS, PRIMERS AND ADHESIVES TO BE WATERPROOF AND RECOMMENDED BY BASE MANUFACTURER FOR SPECIFIC MATERIAL ON APPLICABLE SUBSTRATE, ABOVE, AT OR BELOW GRADE.</p> <p>3.1 RUBBER BASE: ASTM F1861, TYPE TP, GROUP 1, RUBBER WALL BASE, APPROXIMATELY 100MM HIGH, 3MM THICK, COVED PROFILE, IN LENGTHS AS LONG AS POSSIBLE INCLUDING PRE-MOULDED END STOPS AND INNER AND OUTER CORNERS. COLOURS AS SELECTED BY CONSULTANT. ALLOW FOR 2 COLOURS, FULL RANGE, SEE DRAWINGS FOR PRODUCT AND COLOUR</p> <p>4. INSTALLATION</p> <p>4.1 INSTALL RESILIENT BASE IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS. LAYOUT BASE TO KEEP NUMBER OF JOINTS AT MINIMUM. SET BASE IN ADHESIVE USING A 3 KG HAND ROLLER, AGAINST WALL AND FLOOR SURFACES. INSTALL STRAIGHT AND LEVEL AT VARIATION OF 1:1000. SCRIBE AND FIT TO DOOR FRAMES AND OTHER OBSTRUCTIONS. COPE INTERNAL CORNERS.</p> <p>5. CLEANING</p> <p>5.1 48 HOURS AFTER INSTALLATION, CLEAN RESILIENT BASE SURFACES WITH A MILD SOAP SOLUTION APPROVED BY FINISH MANUFACTURER.</p> <p>09 65 10 LUXURY VINYL TILE</p> <p>1. REFERENCES</p> <p>1.1 ASTM F710, STANDARD PRACTICE FOR PREPARING CONCRETE FLOORS TO RECEIVE RESILIENT FLOORING.</p> <p>1.2 ASTM F1344, STANDARD SPECIFICATION FOR RUBBER FLOOR TILE.</p>	<p>1.3 ASTM F1869, STANDARD TEST METHOD FOR MEASURING MOISTURE VAPOR EMISSION RATE OF CONCRETE SUBFLOOR USING ANHYDROUS CALCIUM CHLORIDE.</p> <p>1.4 ASTM F2170, STANDARD TEST METHOD FOR DETERMINING RELATIVE HUMIDITY IN CONCRETE SLABS USING IN-SITU PROBES.</p> <p>2. SUBMITTALS</p> <p>2.1 SUBMIT COPIES OF MANUFACTURER'S PRODUCT DATA IN ACCORDANCE WITH SECTION 01 30 00</p> <p>2.2 SUBMIT COPIES OF MANUFACTURER'S PRODUCT DATA INDICATING: PERFORMANCE CRITERIA, COMPLIANCE WITH APPROPRIATE REFERENCE STANDARD, CHARACTERISTICS, LIMITATIONS, PRODUCT TRANSPORTATION, STORAGE, HANDLING AND INSTALLATION REQUIREMENTS.</p> <p>2.3 SAMPLES: SUBMIT FOLLOWING SAMPLES IN ACCORDANCE WITH SECTION 01 30 00:</p> <p>2.4.1 TWO FULL SIZE TILE SAMPLES OF EACH TYPE OF TILE MATERIAL AND COLOUR.</p> <p>2.4.2 TWO 250 MM LONG SAMPLES OF EACH ACCESSORY AND COLOUR.</p> <p>2.4 EXTENDED WARRANTY: SUBMIT EXTENDED WARRANTY SIGNED AND REGISTERED BY THE MANUFACTURER PROVIDING THE WARRANTY IN THE NAME OF THE OWNER FOR THE TIMEFRAME AND COVERAGE SPECIFIED IN THIS SECTION 2 YEARS FROM SUBSTANTIAL.</p> <p>2.5 CLOSEOUT SUBMITTALS: SUBMIT MAINTENANCE AND CLEANING DATA FOR INCORPORATION INTO OPERATIONS AND MAINTENANCE MANUALS</p> <p>3. SITE CONDITIONS</p> <p>3.1 MAINTAIN AIR TEMPERATURE AND STRUCTURAL BASE TEMPERATURE AT FLOORING INSTALLATION AREA ABOVE 20 DEGREESC FOR 48 HR BEFORE, DURING AND 48 HR AFTER INSTALLATION.</p> <p>3.2 STORE MATERIALS FOR 2 DAYS PRIOR TO INSTALLATION IN AREA OF WORK TO ACHIEVE TEMPERATURE STABILITY.</p> <p>3.3 DO NOT LAY FLOORING IN CONDITIONS OF HIGH HUMIDITY OR WHERE EXPOSED TO COLD DRAFTS. IN HOT WEATHER, PROTECT FROM DIRECT SUNLIGHT.</p> <p>3.4 PROVIDE ADEQUATE VENTILATION DURING INSTALLATION.</p> <p>4. MAINTENANCE</p> <p>4.1 SUBMIT EXTRA 5% OR TO NEAREST FULL CARTON OF EACH COLOUR, PATTERN AND TYPE OF FLOORING MATERIAL AND BASE REQUIRED FOR MAINTENANCE USE. IDENTIFY EACH CARTON. STORE WHERE DIRECTED.</p> <p>5. PRODUCTS</p> <p>5.1 <u>MATERIALS</u></p> <p>5.1.1 ALL MATERIALS UNDER WORK OF THIS SECTION, INCLUDING BUT NOT LIMITED TO, PRIMERS, ADHESIVES, SEALERS, AND WAXES ARE TO HAVE LOW VOC CONTENT LIMITS.</p> <p>5.1.2 VINYL TILE FLOORING (LVT): ASTM F1700, CLASS 3, HIGH PERFORMANCE LUXURY VINYL TILE, COMMERCIAL GRADE OR APPROVED ALTERNATIVE. REFER TO DRAWINGS FOR MANUFACTURER AND COLOUR</p> <p>5.1.3 "FINISHING ACCESSORIES" JOHNSONITE OR APPROVED ALTERNATIVE, INCLUDING BUT NOT LIMITED TO TRANSITION STRIPS, STAIR NOSING, ETC.</p> <p>5.1.4 PRIMERS AND ADHESIVES: LOW VOC, WATERPROOF, RECOMMENDED BY FLOORING MANUFACTURER FOR SPECIFIC MATERIAL ON APPLICABLE SUBSTRATE, ABOVE, AT OR BELOW GRADE.</p> <p>5.1.5 CONCRETE SKIM COAT COMPOUND: HIGH-PERFORMANCE, RAPID-SETTING CEMENT BASED SKIM COATING COMPOUND. "ULTRA SKIMCOAT" BY MAPEI OR APPROVED ALTERNATIVE FOR FILLING MINOR VOIDS AND LEVELING EXISTING SUBSTRATE.</p> <p>5.1.6 SEALER AND WAX: TYPE RECOMMENDED BY FLOORING MANUFACTURER.</p> <p>6. EXECUTION</p> <p>6.1 <u>EXAMINATION</u></p> <p>6.1.1 VERIFY CONDITION AND DIMENSIONS OF PREVIOUSLY INSTALLED WORK UPON WHICH THIS SECTION DEPENDS. REPORT DEFECTS TO CONSULTANT. COMMENCEMENT OF WORK OF THIS SECTION MEANS ACCEPTANCE OF EXISTING CONDITIONS. OF THE FLOORING MANUFACTURER. IF THERE IS A CONFLICT BETWEEN REQUIREMENTS IN THIS SPEC AND THOSE OF THE FLOORING MANUFACTURER, THE MORE STRINGENT SHALL APPLY.</p> <p>6.1.2 INTERNAL RELATIVE HUMIDITY TEST: PERFORM INTERNAL RELATIVE HUMIDITY TESTING IN ACCORDANCE WITH ASTM F2170. RESULTS SHALL NOT EXCEED 80% RH.</p> <p>6.1.3 MOISTURE TEST: MOISTURE EMISSIONS FROM CONCRETE SUBFLOORS (CURED FOR A MINIMUM OF 28 DAYS) MUST NOT EXCEED 3 LBS PER 1000SF PER 24 HOURS (1.4 KG H2O/24 HR/93 M2) FOR ACRYLIC ADHESIVE AND 5LBS FOR POLYURETHANE ADHESIVE VIA THE CALCIUM CHLORIDE TEST METHOD (ASTM F1869).</p> <p>6.1.4 THE PH LEVEL OF THE SUBFLOOR SURFACE SHALL NOT BE HIGHER THAN 9.9. IF HIGHER, SUBFLOOR MUST BE NEUTRALIZED.</p> <p>6.1.5 ENSURE THAT SUB-FLOORS HAVE BEEN PROVIDED AS SPECIFIED WITHOUT HOLES, PROTRUSIONS, CRACKS, DEPRESSIONS OR OTHER MAJOR DEFECTS.</p> <p>6.1.6 ENSURE THAT CONTROL JOINTS HAVE BEEN FILLED AND LEVELLED.</p> <p>6.1.7 DEFECTIVE WORK RESULTING FROM APPLICATION TO UNSATISFACTORY SURFACES WILL BE CONSIDERED THE RESPONSIBILITY OF THOSE PERFORMING THE WORK OF THIS SECTION.</p> <p>6.2 <u>SUBFLOOR TREATMENT</u></p> <p>6.2.1 FLOORING SHALL BE INSTALLED OVER SUBFLOORS CONFORMING TO ASTM F710 FOR CONCRETE.</p> <p>6.2.2 REMOVE SUB-FLOOR RIDGES AND BUMPS. FILL LOW SPOTS, CRACKS, JOINTS, HOLES AND OTHER DEFECTS WITH SUB-FLOOR FILLER.</p> <p>6.2.3 APPLY SUB-FLOOR FILLER TO LOW SPOTS AND CRACKS TO ACHIEVE FLOOR LEVEL TO A TOLERANCE OF 1:1000, ALLOW TO CURE.</p> <p>6.2.4 MEET ASTM F710 STANDARD FOR CONCRETE OR OTHER MONOLITHIC FLOORS.</p> <p>6.2.5 CLEAN AND REMOVE ALL DELETERIOUS MATERIALS FROM SURFACES TO RECEIVE THIS WORK IN ACCORDANCE WITH THE ADHESIVE MANUFACTURER'S RECOMMENDATIONS.</p> <p>6.2.6 PRIME CONCRETE TO FLOORING MANUFACTURER'S PRINTED INSTRUCTIONS.</p> <p>6.3 <u>RESILIENT TILE FLOORING APPLICATION</u></p> <p>6.3.1 INSTALL RESILIENT TILE FLOORING IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.</p> <p>6.3.2 APPLY ADHESIVE UNIFORMLY USING RECOMMENDED TROWEL IN ACCORDANCE WITH FLOORING MANUFACTURER'S INSTRUCTIONS. DO NOT SPREAD MORE ADHESIVE THAT CAN BE COVERED BY FLOORING BEFORE INITIAL SET TAKES PLACE.</p> <p>6.3.3 LAY FLOORING WITH JOINTS STRAIGHT AND PARALLEL TO BUILDING LINES TO PRODUCE SYMMETRICAL TILE PATTERN. INSTALL EQUAL SIZE PERIMETER TILE ON EACH SIDE.</p> <p>6.3.4 INSTALL FLOORING TO SQUARE GRID PATTERN WITH ALL JOINTS ALIGNED.</p> <p>6.3.5 AS INSTALLATION PROGRESSES, AND AFTER INSTALLATION, ROLL FLOORING IN 2 DIRECTIONS WITH MINIMUM 45 KG MINIMUM ROLLER TO ENSURE FULL ADHESION.</p>	<p>6.3.6 REMOVE ADHESIVE SEEPAGE AT SEAMS OR SURFACE WHILE ADHESIVE IS STILL WET, IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATION.</p> <p>6.3.7 CUT TILE AND FIT NEATLY AROUND FIXED OBJECTS.</p> <p>6.3.8 INSTALL FEATURE STRIPS AND FLOOR MARKINGS WHERE INDICATED. FIT JOINTS TIGHTLY.</p> <p>6.3.9 TERMINATE FLOORING AT CENTERLINE OF DOOR IN OPENINGS WHERE ADJACENT FLOOR FINISH OR COLOUR IS DISSIMILAR.</p> <p>6.3.10 INSTALL REDUCING EDGE STRIPS AT UNPROTECTED OR EXPOSED EDGES WHERE FLOORING TERMINATES AND AT EDGES WHERE THERE ARE TWO FINISHES OF DIFFERENT THICKNESSES.</p> <p>6.4 <u>ACCESSORIES AND WHEELED TRANSITION APPLICATION</u></p> <p>6.4.1 INSTALL ACCEPTED ADAPTORS BETWEEN DIFFERENT FLOORING MATERIALS IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.</p> <p>6.4.2 ENSURE THAT ADAPTORS HAVE BEEN CLIPPED INTO PLACE PROPERLY TO PROVIDE A SMOOTH, GRADUAL TRANSITION BETWEEN FLOORS OF DIFFERENT HEIGHT.</p> <p>6.4.3 INSTALL ACCESSORIES IN ACCORDANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.</p> <p>6.5 <u>CLEANING AND WAXING</u></p> <p>6.5.1 FORTY-EIGHT HOURS AFTER INSTALLATION, CLEAN VINYL TILE SURFACES WITH A MILD SOAP SOLUTION APPROVED BY FINISH MANUFACTURER. RINSE CLEAN, DRY AND APPLY 2 COATS OF WAX. POLISH THOROUGHLY.</p> <p>6.6 <u>PROTECTION OF FINISHED WORK</u></p> <p>6.6.1 PROTECT FLOORS FROM TIME OF FINAL SET OF ADHESIVE UNTIL FINAL WAXING.</p> <p>6.6.2 PROHIBIT TRAFFIC ON FLOOR FOR 48 HOURS AFTER INSTALLATION.</p> <p>6.6.3 COVER WAXED AND POLISHED SURFACES WITH FIBRE REINFORCED, CLEAN, NON-STAINING KRAFT PAPER, SECURE IN POSITION WITH GUMMED TAPE TO PREVENT DRIFTING. REMOVE COVERING WHEN DIRECTED BY CONSULTANT.</p> <p>09 90 00 PAINTING</p> <p><u>GENERAL</u></p> <p>1. PROVIDE PAINT FINISH ON GYPSUM WALL BOARD AND EXPOSED PRIMED METAL (ALL NON-STAINLESS STEEL METAL TO BE PRIMED), AND IN RELATION TO PATCH AND REPAIR, AND NEW EXPOSED ELECMECH ELEMENTS, AND AS WELL AS WHERE CALLED FOR ELSEWHERE IN THE CONTRACT DOCUMENTS.</p> <p>2. PROVIDE SMALL AREA 610MM X 610MM WITH REQUIRED NUMBER OF COATS WITH EACH COLOR FOR OWNERS APPROVAL PRIOR TO COMPLETE APPLICATION.</p> <p>3. SEAL ALL KNOTS AND SAPWOOD WITH SHELLAC VARNISH PRIOR TO PAINTING. APPLY 2 COATS MINIMUM OF VARNISH AND SAND BETWEEN COATS.</p> <p>4. GENERAL - NUMBER OF COATS TO BE AS REQ'D FOR EVEN + FULL COLOUR COVERAGE AS DETERMINED BY THE CONSULTANT</p> <p><u>LIST OF PAINT TYPES AND LOCATIONS.(COLORS TO BE SELECTED BY CONSULTANT)</u></p> <p>INTERIOR</p> <p>1. GENERAL - USE LOW VOC OR ZERO VOC PAINTS.</p> <p>2. GYPSUM WALL BOARD WALLS AND GYPSUM WALL BOARD CEILINGS: PAINT REQUIREMENTS: PRIMER + LATEX PAINT, EGGSHELL FINISH.</p> <p>3. EXPOSED METAL CONDUIT: PRIMER + OIL-BASED PAINT, FINISH TO MATCH ADJACENT SURFACE</p> <p>4. EXISTING EXPOSED METAL ROOF DECK: PAINT REQUIREMENTS: OIL-BASED PAINT, FINISH TO MATCH EXISTING</p> <p>10 80 00 MISCELLANEOUS SPECIALTIES</p> <p>BUMPER RAIL OR OTHER ELEMENTS: SEE DRAWINGS</p> <p>12 50 00 FURNITURE</p> <p>STUDY NICHE TABLES OR OTHER ELEMENTS: SEE A-11 PROPOSED FLOOR PLAN</p> <p>26 51 00 INTERIOR LIGHTING,ELECTRICAL AND MECHANICAL</p> <p>1. ELECTRICAL DESIGN AND COORDINATION TO BE COMPLETED BY CONTRACTOR. ARCHITECTURAL DRAWINGS INDICATE DESIGN INTENT OF PROPOSED ELECTRICAL. ARCHITECTURAL DRAWINGS TO BE USED FOR PLACEMENT AND SPECIFICATION OF LIGHTING FIXTURE, ELECTRICAL FOR CIRCULATION DESK, PROPOSED CHAIR RAIL/CONCEALED RACEWAY IN PROGRAM (209) AND PROPOSED RECEPTACLES IN STUDY NICHE (203) AND CIRCULATION HALL (204) AND ALL OTHER MISCELLANEOUS ELECTRICAL ONLY.</p> <p>2. CONTRACTOR TO COORDINATE AND DESIGN ELECTRICAL. CONTRACTOR TO PROVIDE CONDUIT LAYOUT AND WIRING DIAGRAM, SHOP DRAWINGS AND PRODUCT CUT SHEETS OF PROPOSED ELECTRICAL SUBMITTED TO CONSULTANT FOR REVIEW PRIOR TO INSTALLATION</p> <p>3. SPECIFICATION OF ALL ELECTRICAL ELEMENTS TO MATCH EXISTING; UNLESS THAT WOULD NOT MEET CURRENT CODES (IN WHICH CASE, MATCH AS CLOSE AS POSSIBLE) OR UNLESS NOTED OTHERWISE.</p> <p>4. ANY MECHANICAL WORK (ASSUMED TO BE VERY MINOR) IS TO BE DESIGNED AND PROVIDED BY CONTRACTOR.</p>
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ISSUED FOR TENDER

NOT FOR CONSTRUCTION

ISSUE DATE:

NO.	DATE	DESCRIPTION
1	2024.07.30	ISSUED FOR TENDER

PROJECT:
 THORNCLIFFE LIBRARY
 CIRCULATION DESK + ENTRY
 INTERIOR RENOVATION

DRAWING TITLE:
 PROJECT SPECIFICATION

PROJECT NO: 231018
SCALE: NTS
DRAWN BY: IW
REVIEWED BY: KB

DRAWING NO:

A-03

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ISSUED FOR TENDER

NOT FOR CONSTRUCTION

ISSUE DATE:

NO.	DATE	DESCRIPTION
6	2024.07.30	ISSUED FOR TENDER
5	2024.07.03	90% TENDER
4	2024.01.10	PROGRESS UPDATE
3	2023.10.13	DESIGN MEETING 03

PROJECT:
THORNCLIFFE LIBRARY
CIRCULATION DESK + ENTRY
INTERIOR RENOVATION

DRAWING TITLE:
DEMOLITION FLOOR PLAN

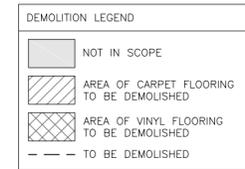
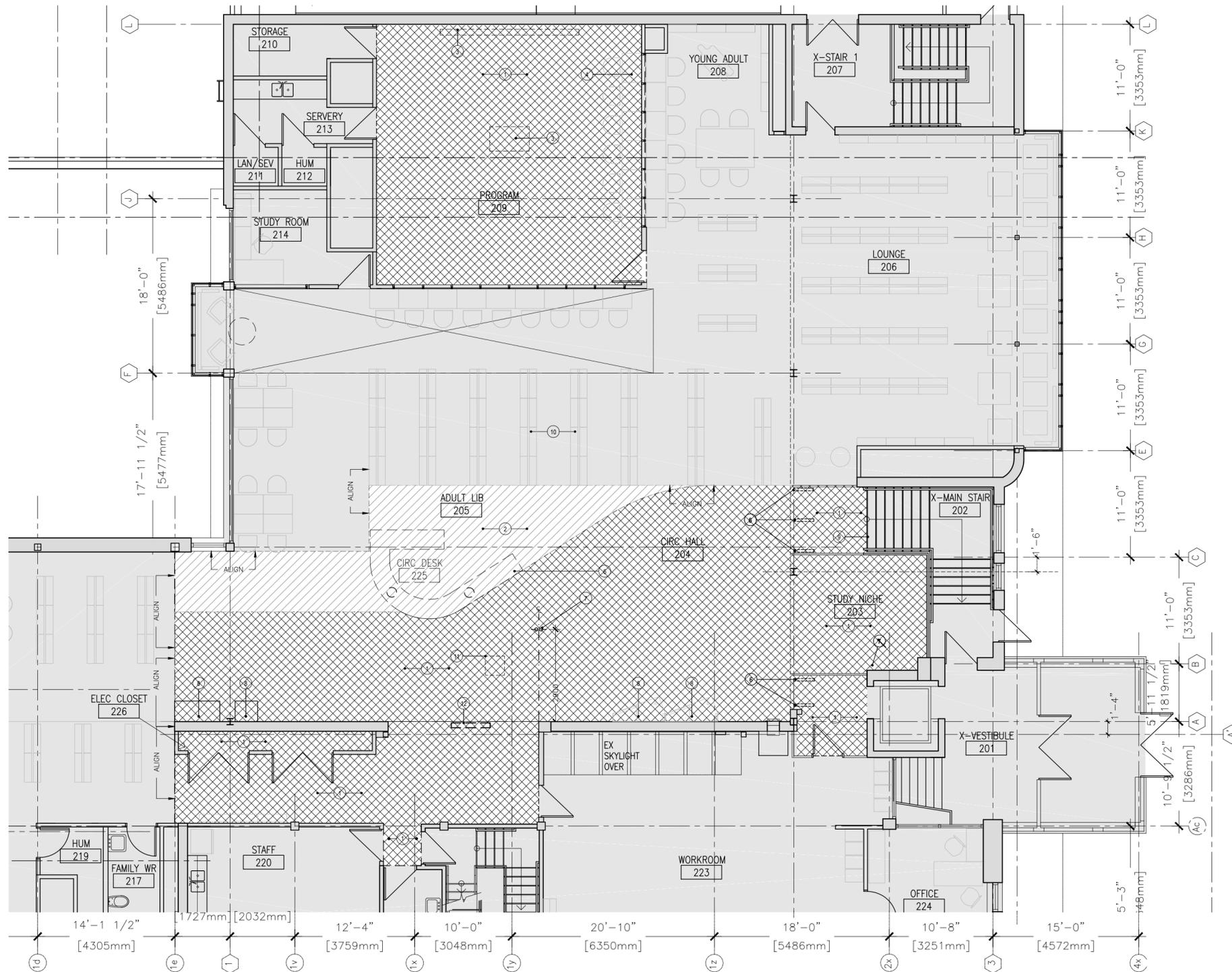
PROJECT NO: 231018
SCALE: 1:100
DRAWN BY: IW
REVIEWED BY: KB

PROJECT NORTH:



DRAWING NO:

A-10



DEMOLITION KEY NOTES:

- REMOVE EXISTING FLOOR FINISH AND ADJACENT WALL BASE.
- HATCHED AREA OF CARPET TO BE REMOVED.
- REMOVE CEILING MOUNTED PROJECTOR & HANDOVER TO OWNER. DISCONNECT POWER/DATA. PATCH AND REPAIR EX. SURFACES AS REQUIRED. FINISH TO MATCH ADJACENT.
- REMOVE LAPTOP COUNTER MILLWORK. PATCH AND REPAIR EX. SURFACES AS REQUIRED.
- RFIDS AND ASSOCIATED POWER CONNECTION TO BE REMOVED.
- EXIST. CIRCULATION DESK, ASSOCIATED ELECTRICAL, AND LIGHTING ABOVE TO BE DEMOLISHED. PATCH AND REPAIR SURFACES TO MATCH AS REQUIRED
- LOCATION OF POKE THROUGH STUB UP THROUGH CONCRETE AND METAL DECK FLOOR BELOW, FIRE RATING TO BE MAINTAINED W/ INTUMESCENT SEAL. SEE PROPOSED PLAN FOR REQUIRED SERVICES + LOCATION
- EXISTING MILLWORK TO REMAIN, IF EXIST. FLOORING CONTINUES UNDER MILLWORK, MILLWORK TO BE REMOVED FOR DURATION OF CONSTRUCTION + RE-INSTATED ONCE SAFE
- TOP STAIR NOSING STRIP TO BE REMOVED TO ACCOMMODATE INSTALLATION OF PROPOSED FLOORING
- GC TO RECORD LOCATION OF ALL EXISTING STACKS FOR CORRECT LOCATION BEFORE RELOCATING FOR CONSTRUCTION. CONFIRM W/ OWNER BEFORE REMOVAL OF STACKS + DEMOLITION OF FLOORING
- DASHED LINE OF APPROXIMATE LOCATION OF MECHANICAL DIFFUSER ABOVE. GC TO CONFIRM LOCATION + ANY POSSIBLE CONFLICTS WITH PROPOSED LIGHTING ABOVE
- EXISTING SLAT WALL MILLWORK TO BE REMOVED AND STORED FOR RE-INSTALLATION. EXISTING PARTITION TO BE DEMOLISHED.

DEMOLITION GENERAL NOTES:

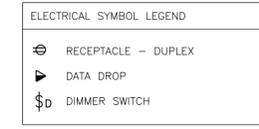
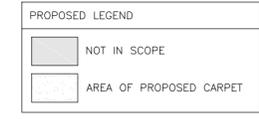
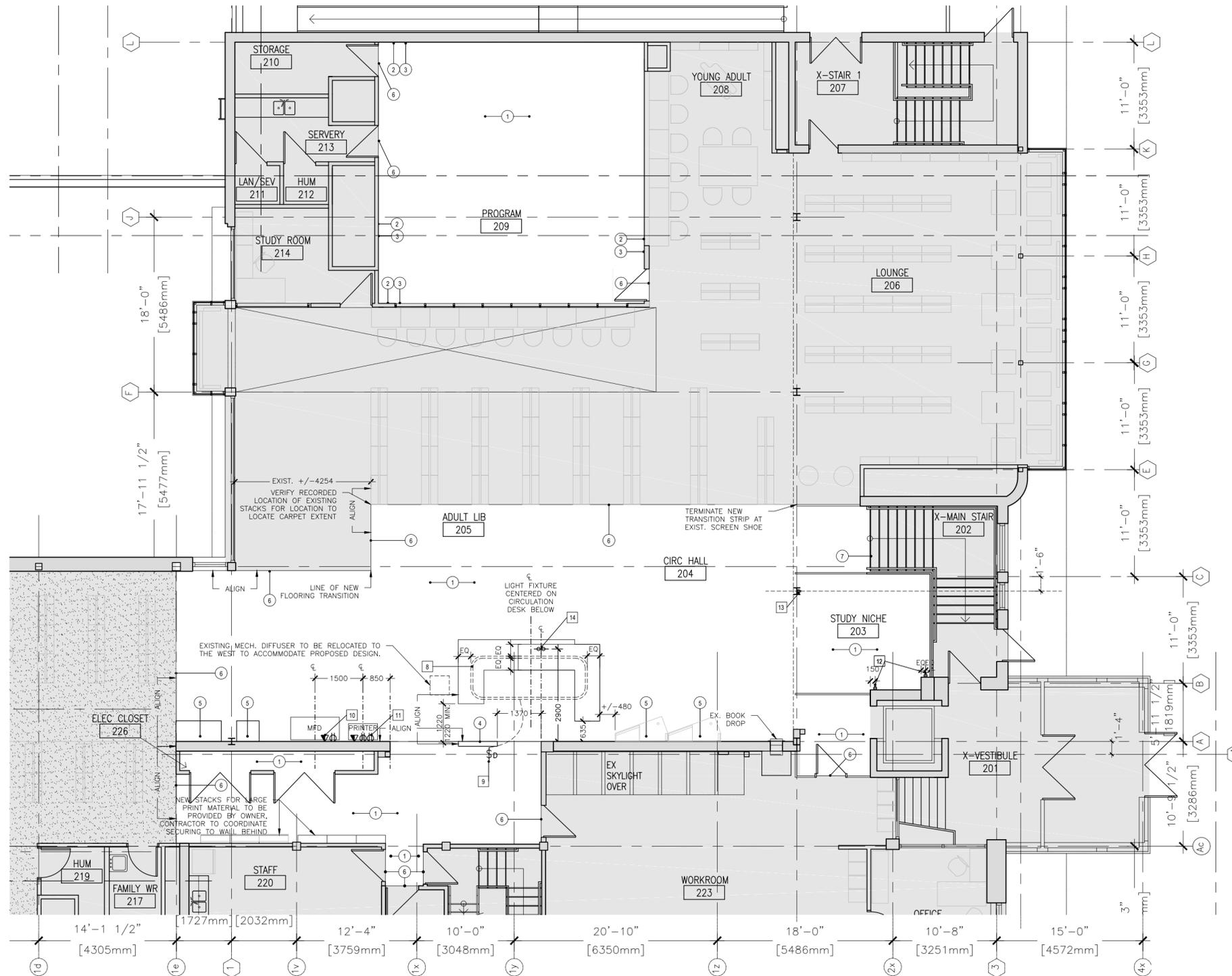
- THE DEMOLITION DRAWINGS ILLUSTRATE A GENERAL SCOPE OF WORK. IT IS THE FULL RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE FULL SCOPE OF DEMOLITION REQUIRED USING EXISTING SITE CONDITIONS AND THE COMPLETE CONTRACT DOCUMENT SETS TO ACHIEVE THE FINAL SCOPE OF WORK. CONTRACTOR TO REVIEW AND FOLLOW "H.A.S.P." (HEALTH AND SAFETY PROCEDURES) BEFORE BEGINNING ANY WORK.
- ALL DIMENSIONS ARE TO BE VERIFIED ON SITE. NO DIMENSIONS ARE TO BE INFERRED FROM THE DEMOLITION DRAWINGS. DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION AND/OR DEMOLITION PURPOSES. DRAWINGS ARE IN METRIC. DIMENSIONS ARE SHOWN IN MILLIMETERS UNLESS OTHERWISE NOTED.
- CONTRACTOR TO MAKE GOOD ALL WALLS, CEILINGS AND FLOORING TO REMAIN THAT ARE AFFECTED BY DEMOLITION. WHERE EXISTING SURFACES ARE DISTURBED MAKE GOOD EXISTING SURFACE OR ENTIRE PLANE OF SURFACE BACK TO NEAREST CORNER OR CHANGE IN MATERIAL.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY HOARDING TARPS, ETC TO PROTECT WORK AND MAINTAIN A DUST FREE ENVIRONMENT IN SURROUNDING AREAS.
- CONTRACTOR TO MAKE GOOD ALL JUNCTIONS BETWEEN EXISTING STRUCTURES IDENTIFIED AS TO BE REMOVED AND EXISTING STRUCTURES IDENTIFIED AS TO REMAIN.
- PARTITIONS AND WALLS SHALL BE REMOVED FULL HEIGHT TO STRUCTURE ABOVE UNLESS OTHERWISE NOTED.
- REMOVAL OF EXISTING FLOOR FINISHES SHALL INCLUDE MORTAR BED, EPOXY, ADHESIVE, UNDERLAYMENT OR OTHER CLEAVAGE MEMBRANES, UNDERPAD, BASE, FLOOR MOULDING AND TRANSITION STRIPS TO EXISTING STRUCTURE BELOW.
- CONTRACTOR TO VERIFY AND GET AUTHORIZATION FROM OWNER BEFORE DISCONNECTING ANY SERVICES.
- THE ARCHITECTURAL DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE AS-BUILT DOCUMENTS AND SPECIFICATION. ANY DISCREPANCIES ARE TO BE REPORTED TO THE ARCHITECT PRIOR TO ANY EXECUTION OF RELATED WORK.
- THE CONTRACTORS SHALL ENSURE THAT THE LOCATIONS OF ALL SERVICES ARE IDENTIFIED PRIOR TO THE COMMENCEMENT OF WORK AND EXCAVATIONS. THE CONTRACTOR IS FULLY RESPONSIBLE TO REPAIR ANY DAMAGE TO SERVICES THEY HAVE COMMITTED.
- REMOVE ALL EXISTING SHELVING, FURNITURE, LOOSE MISCELLANEOUS, LOOSE ARTICLES, ETC. IN AREA

AFFECTED BY CONSTRUCTION. ITEMS TO BE STORED AND RE-INSTATED AFTER CONSTRUCTION IS COMPLETE.

NOTES ON DESIGNATED SUBSTANCES

- IN NO WAY SHOULD THE CONTRACTOR ASSUME THE SITE/BUILDING IS 100% FREE OF DESIGNATED SUBSTANCES AND AS SUCH THE CONTRACTOR SHOULD TAKE EVERY PRECAUTION WHEN WORKING IN THE BUILDINGS.
- SHOULD THE CONTRACTOR COME IN CONTACT WITH ANY MATERIALS THAT LOOK SUSPICIOUS THEY SHOULD IMMEDIATELY STOP WORK, BOARD THE AREA OFF, TARP WITH PLASTIC AND SEAL, AND CONTACT THE CONSULTANTS IMMEDIATELY. THE OWNERS ENVIRONMENTAL CONSULTANT WILL BE ENGAGED TO INVESTIGATE FURTHER.

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- FLOOR PLAN KEY NOTES:**
- NEW LVT FLOORING TO REPLACE EXISTING FLOOR FINISH. PROPOSED FLOORING TO CONTINUE UNDER ALL MILLWORK
 PRODUCT: INTERFACE - DITHER SILK - A02802 - BRONZE LOTUS - ASHLAR LAYOUT
 WHERE FLOORING HAS BEEN REPLACED, PROVIDE NEW WALL BASE AT ADJACENT WALLS.
 PRODUCT: TO MATCH EXISTING, OWNER TO CONFIRM SPECIFICATION.
 - NEW WALL PAINT
 PRODUCT: BENJAMIN MOORE - CHANTILLY LACE - 2121-70 - EGGSHHELL FINISH
 - NEW CHAIR RAIL W/ CONCEALED RACEWAY AT PERIMETER OF ROOM (EXCEPT DOORS & GLAZED SCREENS). OWNER TO CONFIRM MOUNTING HEIGHT, TYP.
 SEE 6/A-22 FOR SECTION DETAIL
 BUMPER PRODUCT: CONSTRUCTION SPECIALTIES ACROVYN® 4000 MODEL SCR-40N COLOUR: WHITE
 - NEW STEEL STUD PARTITION WITH 16MM GWB, WIDTH TO SUIT EXISTING SALVAGED SLAT WALL. RE-INSTATE SALVAGED SLAT WALL FINISH AND TRIM ON NORTH SIDE OF WALL. ON SOUTH SIDE OF WALL, FINISH WITH PAINT, COLOUR TBD BY CONSULTANT. PROVIDE NEW 120MM HIGH BRUSHED STAINLESS STEEL CORNER GUARDS ON GYPSUM CORNERS. CONTINUE WALL BASE TO MATCH EXISTING, FULL SURROUND.
 - EXISTING MILLWORK TO BE RE-INSTATED AFTER PROPOSED FLOORING HAS BEEN INSTALLED
 - PROVIDE TRANSITION STRIP AT TRANSITION BETWEEN FLOORING MATERIALS. TRANSITION STRIP TO ALIGN W/ CENTER OF DOOR LEAF
 - PROVIDE NEW TOP STAIR NOSING STRIP TO MATCH

- CEILING/ELECTRICAL KEYNOTES:**
- NEW PENDANT LIGHT FIXTURE, MOUNTED 2300MM A.F.F. PROVIDE NEW J-BOX AT U/S EX. CEILING. PAINT CONDUIT + J-BOX TO MATCH CEILING FINISH. IF ELECTRICAL IS TO BE SUPPLIED FROM BELOW, THEN SUPPLY TO BE RAISED IN CONCEALED SPACE
 PRODUCT: LUMENWERX CURVIA 2 - RECTANGLE - ANODIZED ALUMINUM FINISH
 - PENDANT LIGHT TO BE CONTROLLED BY DIMMER SWITCH. LOCATE SWITCH AS PER OWNER'S REQUEST. SUPPLY FOR SWITCH TO BE SUPPLIED FROM BELOW + IN CONCEALED SPACE
 - FLUSH POWER + DATA REQUIREMENT AT MFD, NO EXPOSED CONDUIT:
 1 DATA DROP
 120V DEDICATED POWER
 - FLUSH POWER + DATA REQUIREMENT AT PRINTER, NO EXPOSED CONDUIT:
 1 DATA DROP
 2 RECEPTACLE
 - NEW SURFACE-MOUNTED RECEPTACLE TO BE INSTALLED AT 400MM AFF. ELECTRICAL TO BE SUPPLIED THROUGH POKE-THROUGH FROM BELOW FLOOR DECK (CONCRETE AND METAL DECK). FIRE RATING TO BE MAINTAINED W/ INTUMESCENT SEAL AT PENETRATION. CONDUIT TO BE PAINTED TO MATCH EXISTING BLOCK WALL.
 - EXISTING RECEPTACLE TO REMAIN.
 - LOCATION OF POKE-THROUGH STUB UP THROUGH CONCRETE + METAL DECK FLOOR BELOW. FIRE RATING TO BE MAINTAINED W/ INTUMESCENT SEAL AT PENETRATION. ELECTRICAL FOR CIRCULATION DESK POWER, DATA, + TELEPHONE - SEE MILLWORK DRAWINGS FOR COORDINATION OF REQUIRED OPENINGS IN GABLES TO SUPPLY 2 WORKSTATIONS + 1 CASH STATION.

- GENERAL NOTES:**
- THE CONTRACTOR WILL VERIFY ALL DIMENSIONS FOR THE WORK + SHALL REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF THE WORK.
 - DRAWINGS ARE NOT TO BE SCALED FOR CONSTRUCTION PURPOSES.
 - ALL DRAWINGS + SPECIFICATIONS ARE THE PROPERTY OF LGA ARCHITECTURAL PARTNERS. ALL COPYRIGHT CONDITIONS ARE RESERVED BY THE ARCHITECT WITH RESPECT TO THESE DOCUMENTS. THESE DOCUMENTS SHALL NOT BE DUPLICATED OR USED FOR OTHER THAN THE PURPOSE FOR WHICH THEY WERE ISSUED.
 - NO CHANGES OR SUBSTITUTIONS SHALL BE MADE TO THE WORK DESCRIBED IN THESE DRAWINGS WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT. THE ARCHITECT RESERVES THE RIGHT TO REFUSE ANY REQUEST FOR SUBSTITUTION.
 - THE CONTRACTORS SHALL ENSURE THAT MATERIALS + WORKMANSHIP SHALL BE IN ACCORDANCE WITH CONTRACT DOCUMENTS.
 - ARCHITECTURAL DRAWINGS INDICATE INTENDED LOCATIONS + TYPE OF LIGHTING FIXTURE ONLY. IT IS THE RESPONSIBILITY OF
- THE CONTRACTOR TO COORDINATE + ENLIST ELECTRICAL TRADE TO DESIGN ELECTRICAL SYSTEM + PRODUCE SHOP DRAWINGS FOR REVIEW BY ARCHITECT.**
- THE TERMS "ARCHITECT" + "CONSULTANT" SHALL MEAN THE SAME THING AS DEFINED ELSEWHERE IN THE CONTRACT DOCUMENT.
- CEILING/ELECTRICAL NOTES:**
- CONTRACTOR TO PROVIDE CONDUIT LAYOUT SHOP DRAWINGS FOR ALL SURFACE MOUNTED CONDUIT AT EXPOSED CEILING + WALL LOCATIONS, + LAYOUT FOR STUB UP AT CIRCULATION DESK. SUBMITTED TO CONSULTANT FOR REVIEW PRIOR TO INSTALLATION ALONG WITH PRODUCT CUT SHEETS.
 - ARCHITECTURAL DRAWINGS INDICATE DESIGN INTENT OF LIGHTING ONLY. CONTRACTOR TO COORDINATE + DESIGN ELECTRICAL. CONTRACTOR TO PROVIDE WIRING DIAGRAM, SHOP DRAWINGS + CUT SHEETS FOR REVIEW BY CONSULTANT PRIOR TO INSTALLATION.
- FINISH NOTES:**
- PROPOSED FLOORING FINISH TO CONTINUE UNDER ALL PROPOSED MILLWORK, TYP.
 - PROVIDE TRANSITION STRIPS AT ALL TRANSITIONS BETWEEN DIFFERENT FLOOR FINISHES OR BETWEEN FLOOR FINISHES OF DIFFERENT HEIGHT.
 - REPLACE ALL WALL BASE WHERE NEW FLOOR FINISH IS PROPOSED. PAINT WALLS WHERE WALL BASE IS BEING REPLACED, COLOURS TO BE DETERMINED BY CONSULTANT DURING CONSTRUCTION
 - WALL PAINT - ALLOW FOR 3 DIFFERENT PAINT COLOURS, 1 FIELD COLOUR + 2 DIFFERENT ACCENT COLOURS.

EXISTING

ISSUED FOR TENDER

NOT FOR CONSTRUCTION

ISSUE DATE:

NO.	DATE	DESCRIPTION
7	2024.07.30	ISSUED FOR TENDER
6	2024.07.03	90% TENDER
5	2024.01.10	PROGRESS UPDATE
4	2023.11.06	DESIGN REVISIONS
3	2023.10.13	DESIGN MEETING 03

PROJECT:
 THORNCLIFFE LIBRARY
 CIRCULATION DESK + ENTRY
 INTERIOR RENOVATION

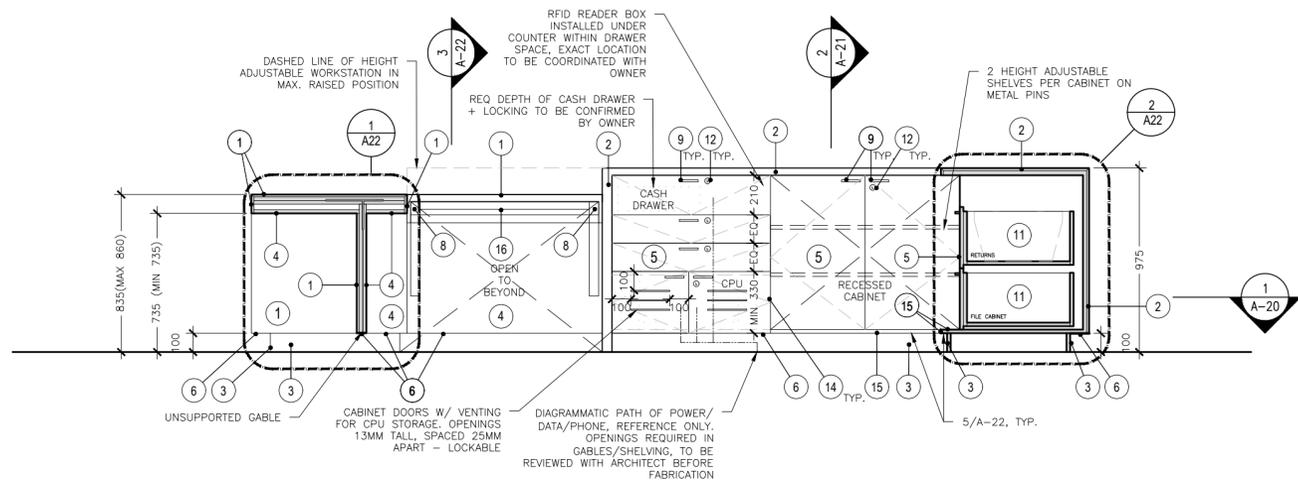
DRAWING TITLE:
 PROPOSED FLOOR PLAN

PROJECT NO: 231018
SCALE: 1:100
DRAWN BY: IW
REVIEWED BY: KB

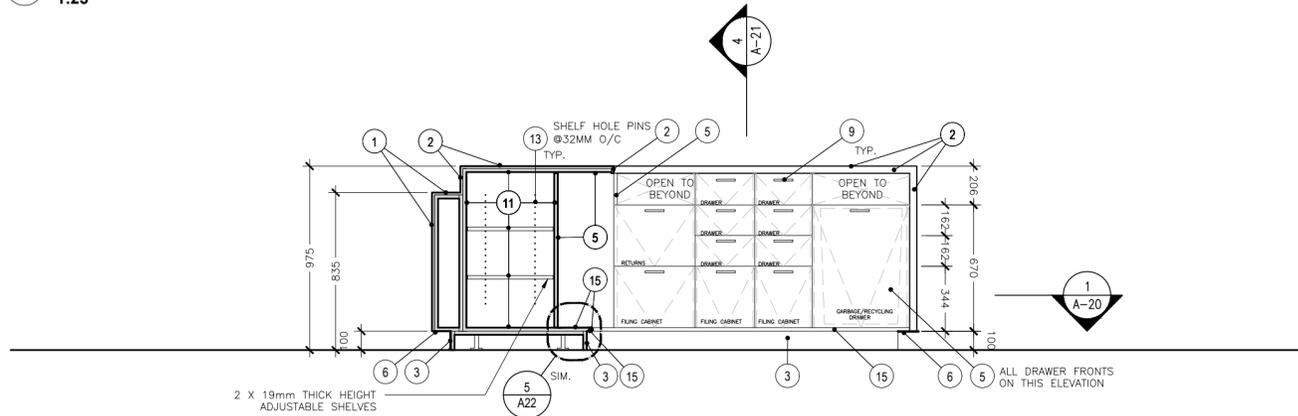
PROJECT NORTH:

DRAWING NO:
A-11

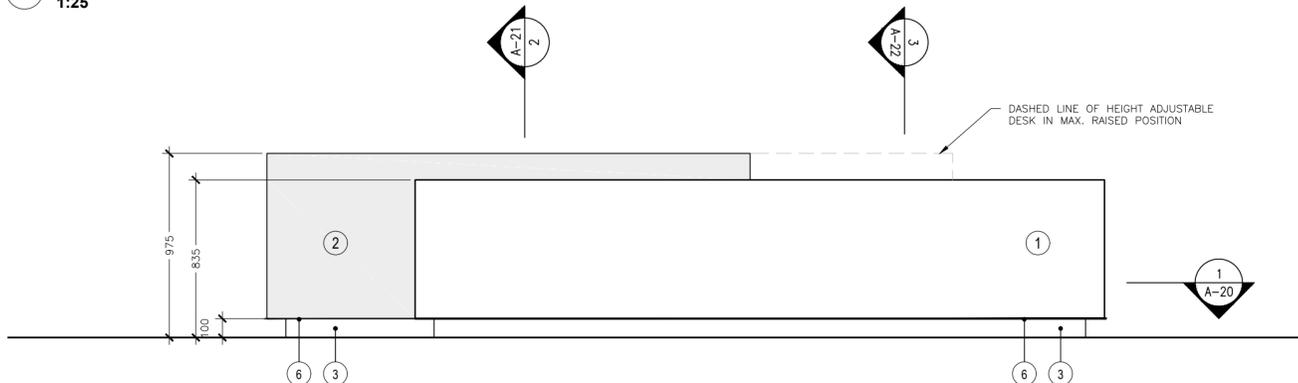
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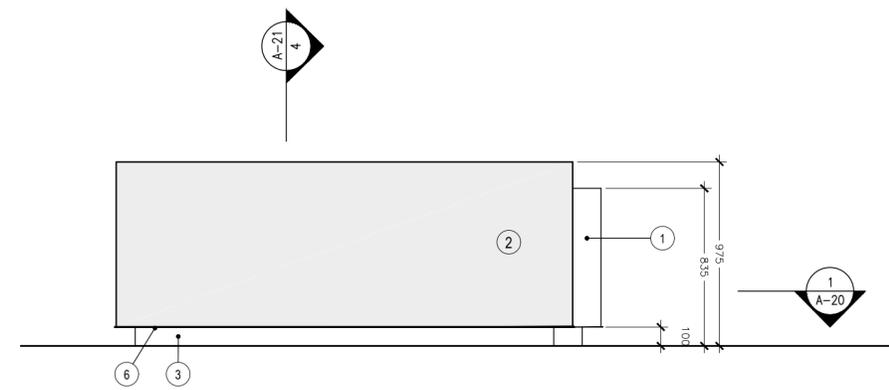
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1:25



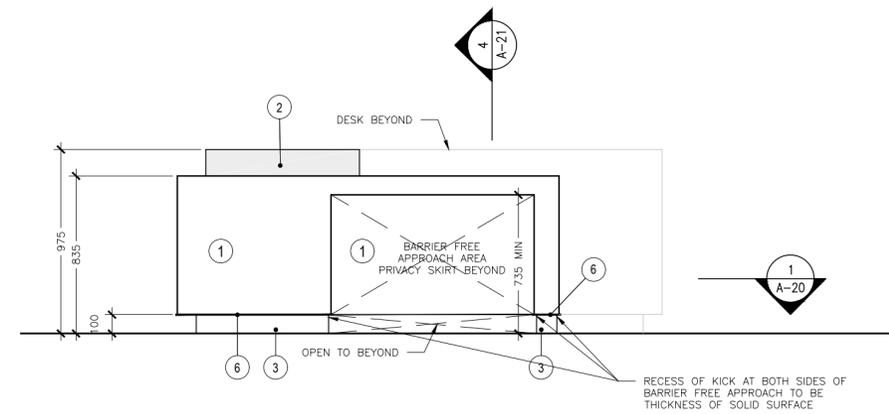
2 CIRCULATION DESK - SECTION
1:25



1 CIRCULATION DESK - NORTH ELEVATION
1:25



5 CIRCULATION DESK - EAST ELEVATION
1:25



3 CIRCULATION DESK - WEST ELEVATION
1:25

MILLWORK KEY NOTES:

- 1 WHITE SOLID SURFACE - TRINSEO - AVONITE ARTICA 9015 - 0.472" CALIPER ON 19MM AB PLYWOOD SUBSTRATE
- 2 GRAY SOLID SURFACE - TRINSEO - AVONITE INDUSTRIAL 7849 - 0.472" CALIPER ON 19MM AB PLYWOOD SUBSTRATE
- 3 RUBBER BASE - JONHSONITE TRADITIONAL VINYL WALL BASE, 100MM TALL, 3MM COVE - 63 BURNT UMBER B
- 4 PLASTIC LAMINATE - FORMICA - CLASSIC WHITE - 9244-58 - MATTE FINISH ON 19MM AB PLYWOOD SUBSTRATE, EDGE BANDING TO MATCH SURFACE
- 5 PLASTIC LAMINATE - FORMICA - STORM - 912-58 - MATTE FINISH ON 19MM AB PLYWOOD SUBSTRATE, EDGE BANDING TO MATCH SURFACE
- 6 BRUSHED STAINLESS STEEL PLATE, REFER TO 4/A22 FOR TYP. DETAIL
- 7 CABLE GROMMET - RICHELIEU - RECTANGULAR GROMMET WITH ROUNDED ENDS - 2090108100 - SILVER
- 8 HEIGHT ADJUSTABLE TABLE FRAME - RICHELIEU - ERGO - UNITE GABLE MOUNT ADJUSTABLE LEGS - 500782GMXX W SWITCH 500785A90.
- 9 DRAWER PULL - HAFELE - ANTIMICROBIAL COLLECTION - STAINLESS STEEL - MATT - ART NO. 110.52.435
- 10 PROPOSED RECEPTACLE, SEE PROPOSED FLOOR PLAN
- 11 WHITE MELAMINE FINISH ON 19MM PLYWOOD SUBSTRATE
- 12 DRAWER LOCKS
HAFELE CORE - 210.04.606 - MATTE NICKEL
HAFELE BODY - 235.08.303 - MATTE NICKEL
HAFELE ROSETTE - 210.04.062 - MATTE NICKEL
- 13 SHELVING PINS - RICHELIEU 58372G - 5MM Ø
- 14 HINGE AT CABINETS - BLUM 91M2550 (100° OPENING)
HINGE SPACER AT CPU CABINET - RICHELIEU 70T3507180
- 15 16 GAUGE BRUSHED STAINLESS STEEL SHEET METAL, BEND SHEET SO ONE SHEET WRAPS AROUND EDGE OF SHELF AND HORZ. BACK UNDER SHELF EXTENDING BACK 38MM, MECHANICALLY FASTENED W COUNTER SUNK STAINLESS STEEL FASTENERS. FASTEN ON THE UNDERSIDE
- 16 CABLE MANAGEMENT TRAY - ESI DELUXE TROUGH KIT - 18" TROUGHS TO BE MOUNTED CONTINUOUSLY UNDER TABLE.
- 17 RECESSED POWER GROMMET - 1 POWER OUTLET, DUAL USB PORTS, UL LISTED, FLUSH MOUNT. HOUSING TO FIT CONCEALED RACEWAY. FINISH: WHITE

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CIRCULATION DESK + ENTRY
INTERIOR RENOVATION

DRAWING TITLE:
CIRCULATION DESK
SECTIONS & ELEVATIONS

PROJECT NO: 231018
SCALE: AS NOTED
DRAWN BY: IW
REVIEWED BY: KB

DRAWING NO:

A-21

