



THE REGIONAL MUNICIPALITY OF YORK

YORK REGION ADMINISTRATIVE CENTRE
ARCHITECTURAL AND ENGINEERING SERVICES

INTERIOR FIT-UP OF GROUND FLOOR
CAFETERIA/YORK COUNTER/GREAT HALL

TENDER NO.: RFTC-1131-23-C22020

ISSUED FOR PERMIT/TENDER: 11-17-2023
17250 YONGE STREET
NEWMARKET, ONTARIO

LIST OF DRAWING

ARCHITECTURAL

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- A002 AREA OF WORK
- A003 SITE PLAN WITH DISPOSAL ROUTE
- A100 DEMOLITION PLAN
- A101 CEILING DEMOLITION PLAN
- A200 PARTITION PLAN
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- A300 REFLECTED CEILING PLAN
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- A500 FINISHES PLAN
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MECHANICAL

- M-100 MECHANICAL LEGEND, SCHEDULES AND DRAWING LIST
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- M-202 PARTIAL GROUND FLOOR (PUBLIC COUNTER & GREAT HALL) MECHANICAL DEMOLITION PLAN
- M-203 PARTIAL GROUND FLOOR (PUBLIC COUNTER & GREAT HALL) MECHANICAL NEW LAYOUT

ELECTRICAL

- TE-0.1 DRAWING LIST AND ELECTRICAL LEGEND
- TE-0.2 ELECTRICAL DETAILS
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- TE-1.1 GROUND FLOOR LIGHTING AND FIRE ALARM LAYOUT
- TE-1.2 GROUND FLOOR POWER AND SYSTEMS LAYOUT
- TE-1.3 GROUND FLOOR ELECTRICAL DEMOLITION LAYOUT
- TE-1.4 GROUND FLOOR ELECTRICAL LAYOUT
- TE-1.5 GROUND FLOOR ELECTRICAL DEMOLITION LAYOUT

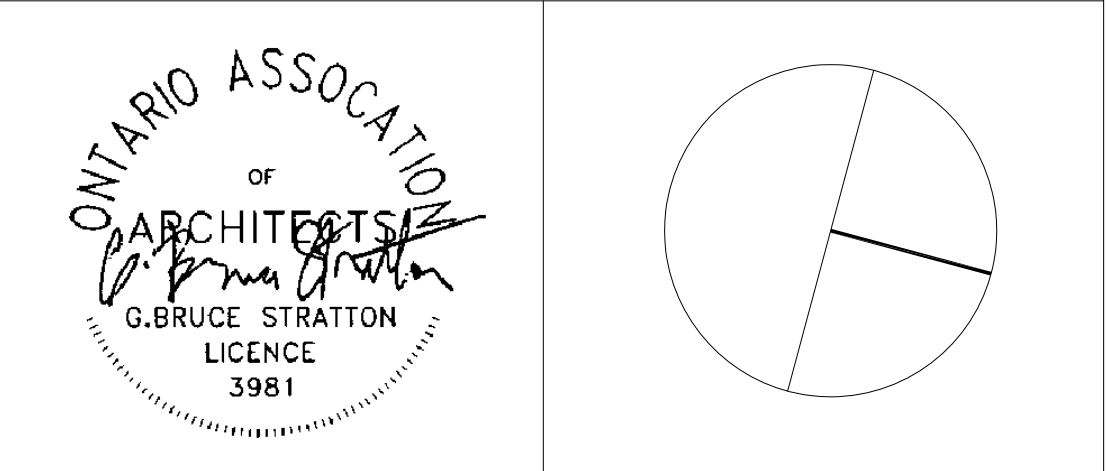
SECURITY

- TSE -0.1 DRAWING LIST, ABBREVIATIONS AND LEGENDS
- TSE-0.2 SECURITY RISER DIAGRAM
- TSE-0.3 SECURITY DETAILS 1
- TSE-0.4 SECURITY DETAILS 2
- TSE-1.0 GROUND FLOOR - SECURITY LAYOUT

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|---|
| 8 | 11-17-2023 | ISSUED FOR PERMIT/TENDER |
| 7 | 11-06-2023 | RE-ISSUED FOR FEASIBILITY CLIENT REVIEW/SIGN-OFF OF REWORK OF SECURITY DESK |
| 6 | 11-02-2023 | ISSUED FOR FINAL CLIENT REVIEW |
| 5 | 09-25-2023 | ISSUED FOR 95% REVIEW |
| 4 | 09-13-2023 | ISSUED FOR CLIENT REVIEW |
| 3 | 09-06-2023 | REVISED DWGS ISS FOR REVIEW |
| 2 | 08-30-2023 | ISSUED FOR 60% REVIEW |
| 1 | 07-06-2023 | ISSUED FOR FEASIBILITY REVIEW |

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



| | |
|-------------|-----------------------|
| DEPARTMENT: | BUILDING & FACILITIES |
| FLOOR: | GROUND FLOOR |
| BASE DATE: | JUNE 2023 |

PROJECT:

TENDER #
RFTC-1131-23-C22020
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

| | | |
|---------------|----------------------|----------|
| SCALE: | AS SHOWN | AS SHOWN |
| DRAWN BY: | SK | SK |
| SUBMITTED TO: | MUNICIPALITY OF YORK | |

SHEET TITLE:

LIST OF DRAWINGS/
CONSULTANTS

SHEET NUMBER:

A001

CONSULTANTS

ARCHITECT

G. BRUCE STRATTON ARCHITECTS
#300-225 RICHMOND STREET W
TORONTO, ON M5V 1W2
416-351-8145

MECHANICAL

GPY + ASSOCIATES ENGINEERING INC.
90C CENTRUM DRIVE, SUITE 6
MARKHAM, ONTARIO L3R 8C5
905-475-3138

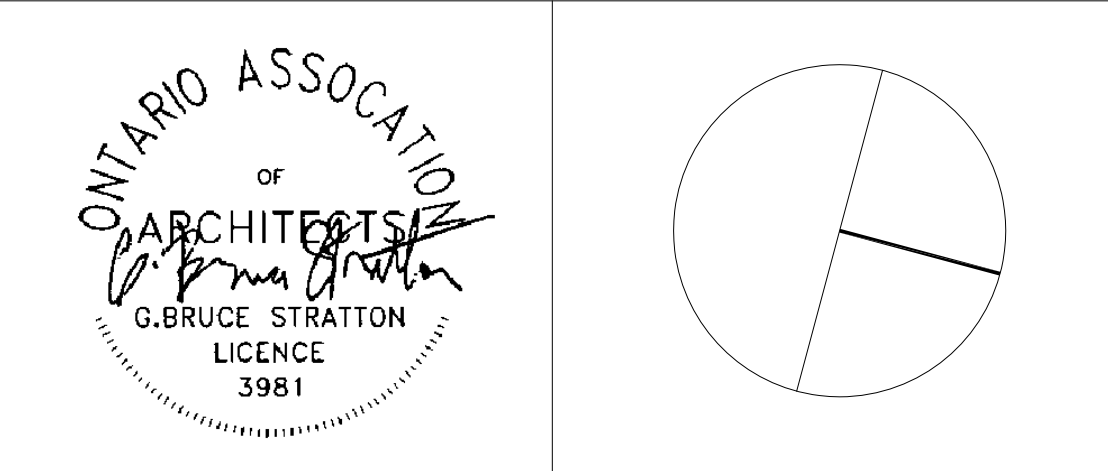
ELECTRICAL/SECURITY

SMITH + ANDERSEN
647-943-7636



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17250 Yonge Street
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SCALE: AS SHOWN AS SHOWN
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SHEET TITLE:

AREA OF WORK

SHEET NUMBER:
A002

PEEVERS CRESCENT

YONGE STREET

1
A003 SITE PLAN/DISPOSAL ROUTE
SCALE: NTS

GENERAL NOTES: DISPOSAL PLAN

- DEMOLITION OF MATERIAL AND DEBRIS TO BE REMOVED OFF SITE USING APPROPRIATE WASTE DISPOSAL BINS AS DESIGNATED BY PROJECT PM.
- USE HEAVY-WEIGHT BLANKETS TO PREVENT MIGRATION OF DUST DURING TRANSPORTATION OF MATERIALS
- MAINTAIN UNOBSTRUCTED EGRESS PATH OF TRAVEL OF THIS ROUTE AT ALL TIMES
- GC TO USE ELEVATOR#3 FOR THE TRANSPORTATION OF DEMOLITION MATERIALS TO THE BASEMENT LEVEL WHERE THE GARBAGE BINS ARE TO BE LOCATED.
- GC TO INFORM YORK REGION PM WHERE ELEVATOR TARPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
- TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
- CONTRACTOR TO ENSURE BY 7AM THE NEXT BUSINESS DAY THAT THE ROUTE TO THE GARBAGE BIN HAS BEEN CLEANED OTHERWISE THE CONTRACTOR WILL BE BILLED FOR CLEAN UP BY YORK REGION CLEANING STAFF

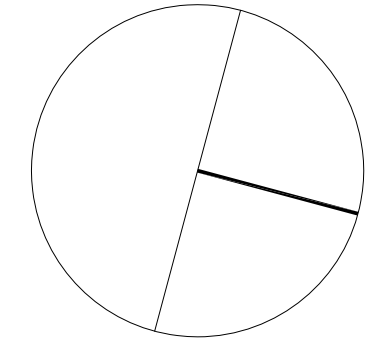
LEGEND:

--- DENOTES DISPOSAL ROUTE: GARBAGE TO BE TRANSPORTED DOWN ELEVATOR #3 TO THE UNDERGROUND PARKING LEVEL TO GARBAGE BINS LOCATED OUTSIDE

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SHEET TITLE:

SITE PLAN/
DISPOSAL ROUTE

SHEET NUMBER:

A003

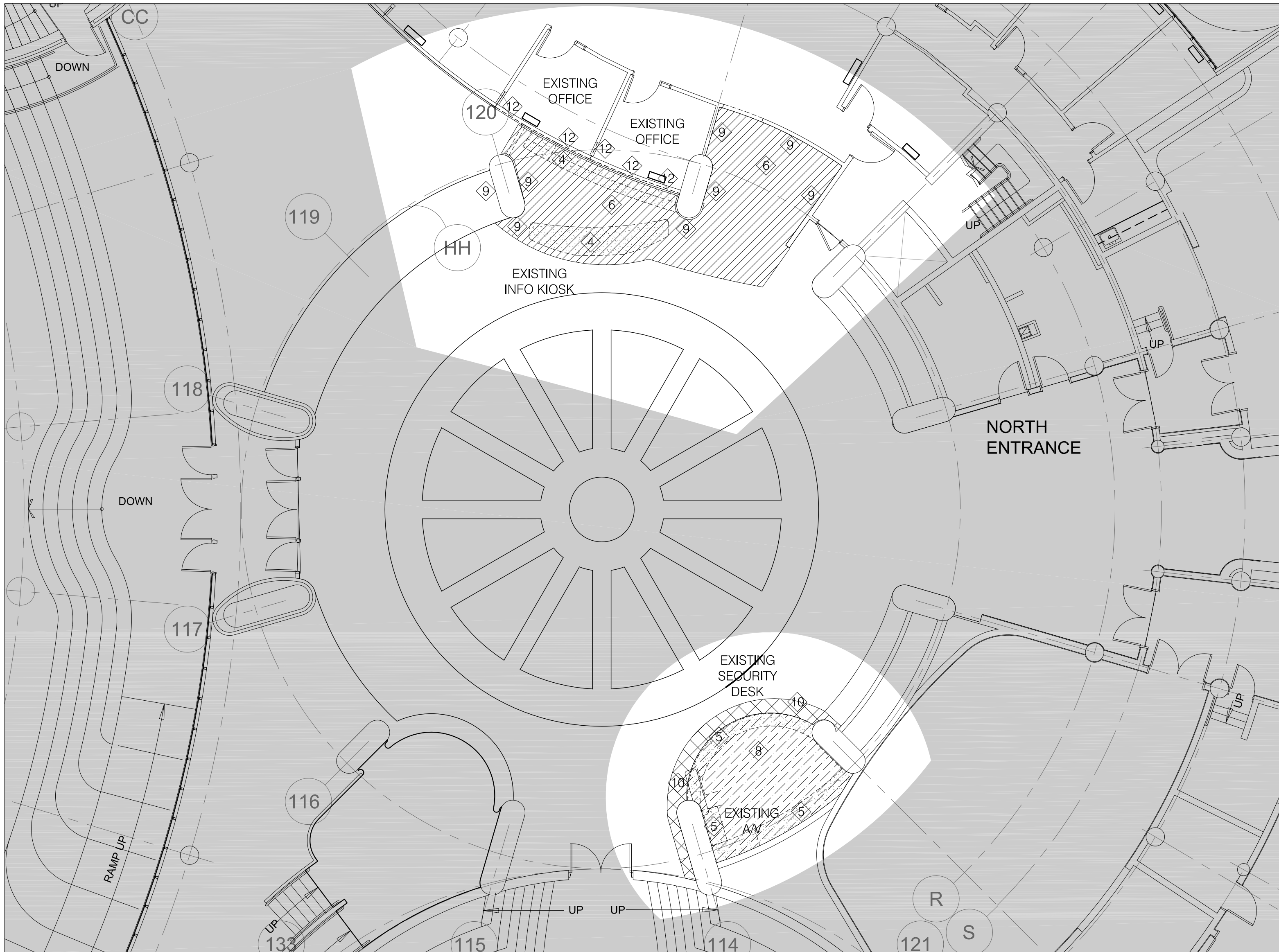


1
A100 CAFETERIA - DEMOLITION PLAN
SCALE - 1:100

| LEGEND: | | KEYNOTES: | |
|---------|--|-----------|---|
| | DENOTES AREA OUTSIDE THE CURRENT SCOPE | 1 | N/A |
| | EXISTING CONCRETE WALLS, STEEL DOORS & FRAMES AND SIDELIGHTS TO BE REMOVED | 2 | REMOVE MILLWORK IN CAFETERIA |
| | EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN | 3 | REMOVE MILLWORK AT EXISTING PUBLIC COUNTER |
| | EXISTING MILLWORK TO BE REMOVED | 4 | REMOVE MILLWORK AT EXISTING INFORMATION KIOSK |
| | EXISTING CARPET TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL. DURING CARPET REMOVAL ENSURE THAT THE CARPET REMAINS INTACT. RETAIN FOR REUSE AT EXISTING SECURITY AREA WHERE VINYL IS BEING REMOVED. | 5 | REMOVE MILLWORK AT EXISTING SECURITY DESK AND AV DESK |
| | EXISTING VINYL FLOORING TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL. | 6 | REMOVE EXISTING CARPET IN AREA SHOWN. PREP FLOOR SLAB TO RECEIVE NEW CARPET FINISH |
| | EXISTING PORCELAIN TILE FLOOR TO BE REMOVED INCLUDING GROUT TO EXPOSE FLOOR SLAB. PREP FLOOR TO RECEIVE NEW FINISH | 7 | N/A |
| | | 8 | REMOVE EXISTING VINYL FLOOR IN AREA SHOWN. PATCH/REPAIR WITH CARPET BY CLIENT CURRENTLY STORED ON SITE |
| | | 9 | REMOVE EXISTING WALL BASE. REPAIR/PATCH, PRIME, PAINT EXISTING WALL(S)/COLUMNS |
| | | 10 | EXISTING PORCELAIN TILE FLOOR TO BE REMOVED INCLUDING GROUT TO EXPOSE FLOOR SLAB. PATCH/REPAIR WITH CARPET BY CLIENT CURRENTLY STORED ON SITE |
| | | 11 | REMOVE EXISTING CARPET IN AREA SHOWN. PATCH/REPAIR WITH CARPET BY CLIENT CURRENTLY STORED ON SITE |
| | | 12 | REMOVE GLAZING. PREP WALL FOR GYPSUM INFILL |
| | | 13 | REMOVE EXISTING SECURITY GATE AND DOOR TO ACCESS THE GATES BUT MAINTAIN THE ENCLOSURE DUE TO EXISTING PIPES LOCATED WITHIN. REFER TO A200 FOR NEW WORK RELATED TO INFILL AT DOOR AREA |



2
A100 PUBLIC ACCESS COUNTER - DEMOLITION PLAN
SCALE - 1:100

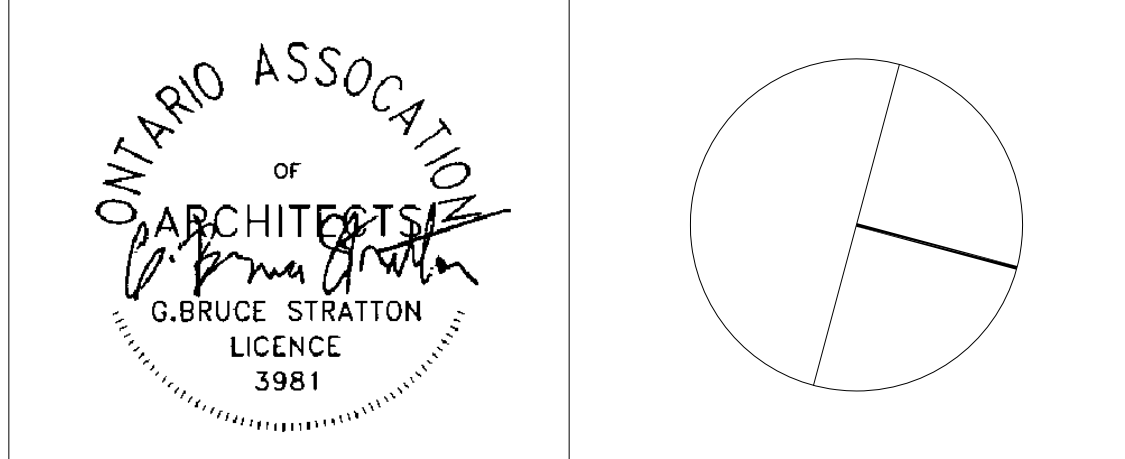


3
A100 GREAT HALL - DEMOLITION PLAN
SCALE - 1:100

| GENERAL DEMOLITION NOTES | |
|--------------------------|---|
| 1. | TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM |
| 3. | CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS |
| 4. | CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #3 ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TARPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE |
| 5. | ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN |

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DEMOLITION PLAN

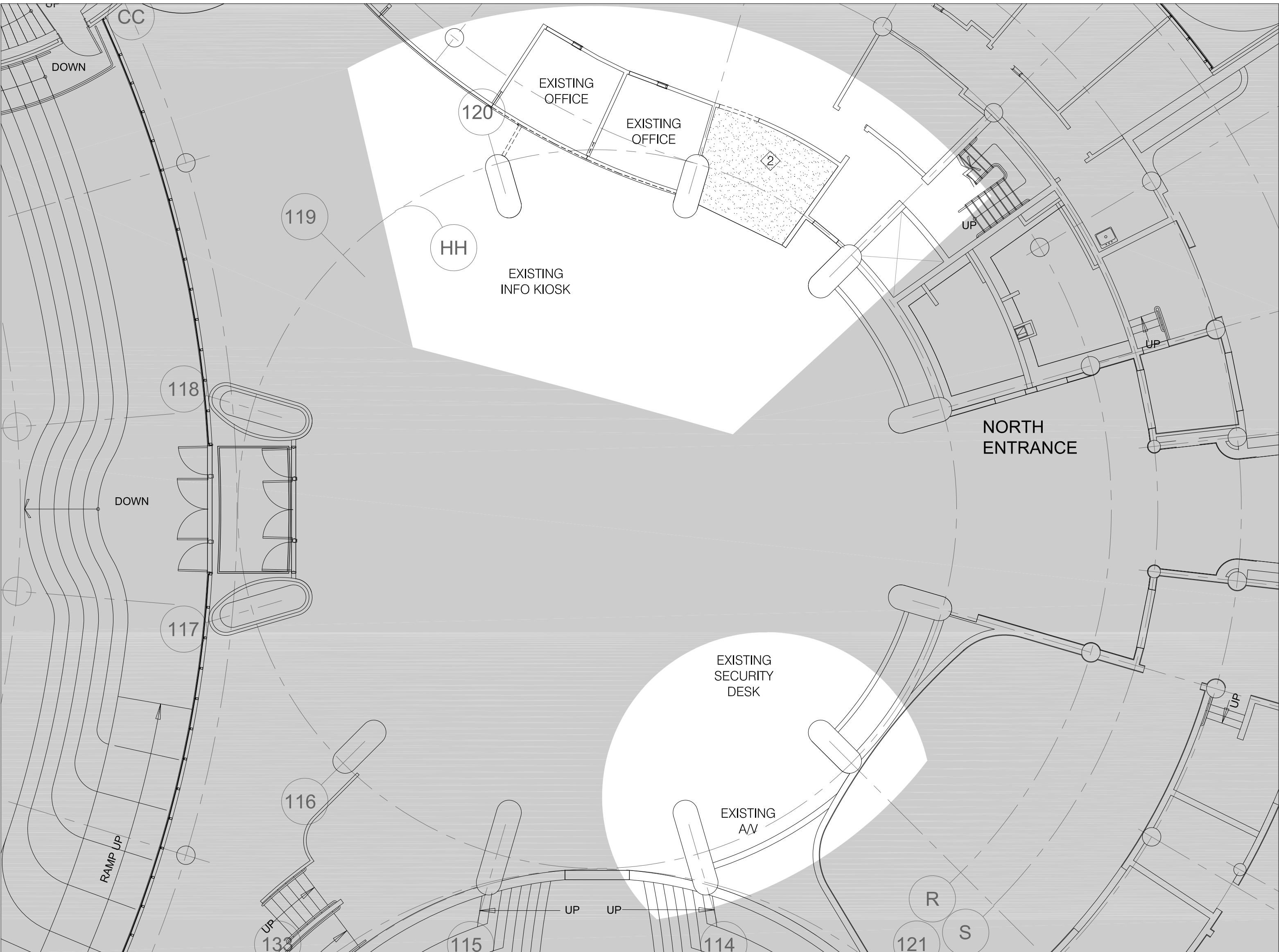
SHEET NUMBER:
A100



1
A101 CAFETERIA - DEMOLITION PLAN - REFLECTED CEILING
SCALE - 1:100



2
A102 PUBLIC ACCESS COUNTER - DEMOLITION PLAN - REFLECTED CEILING
SCALE - 1:100



3
A103 GREAT HALL - DEMOLITION PLAN - REFLECTED CEILING
SCALE - 1:100

LEGEND:

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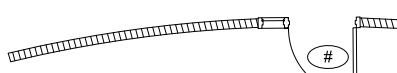




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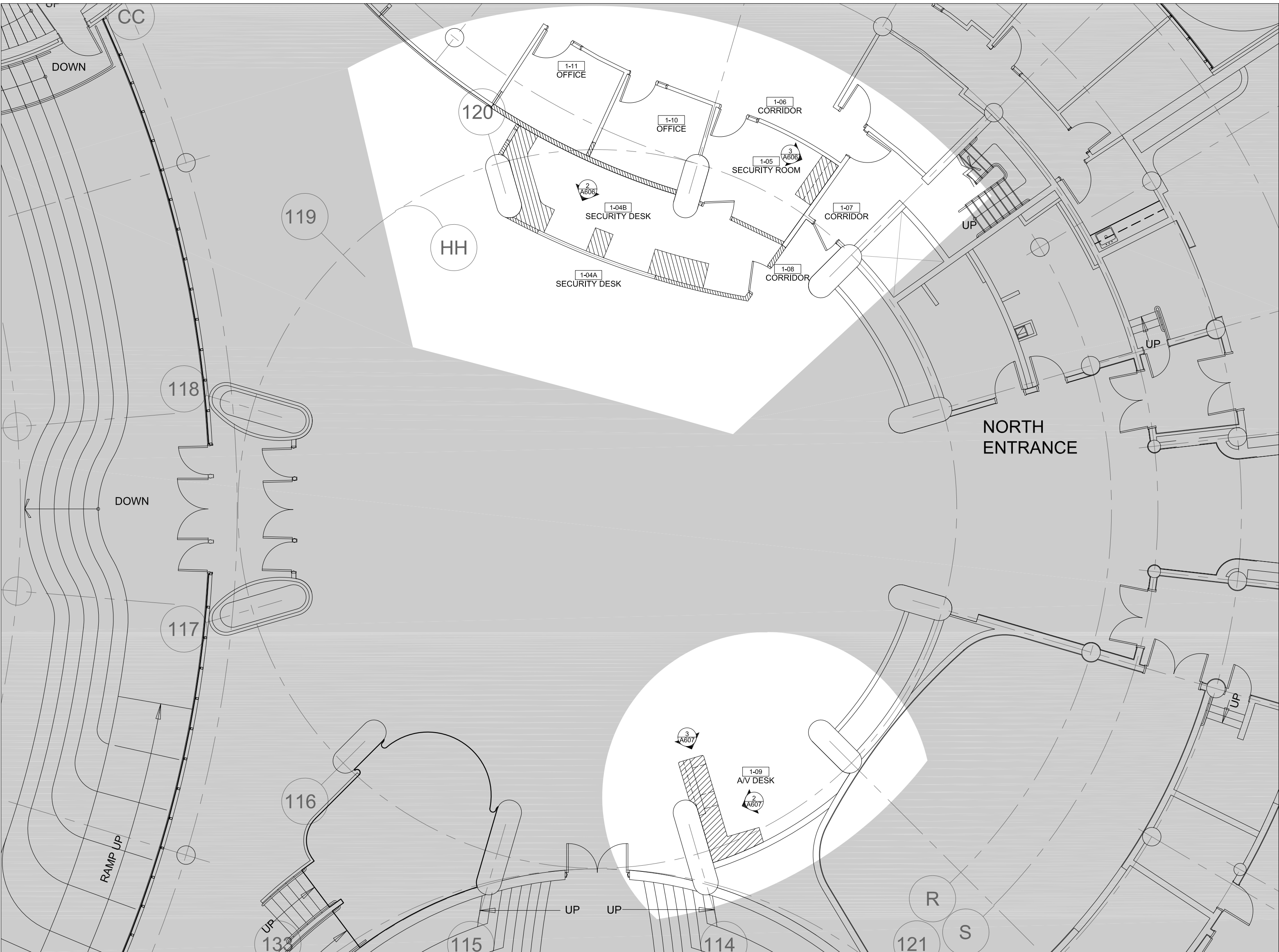
| | | | | | |
|---|--|---|---|---|---|
|  | DENOTES AREA OUTSIDE THE CURRENT SCOPE |  | EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN |  | EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN |
| LEGEND: | | WALL TYPE: | | KEYNOTES: | |
| | |  | P-1 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO 3260MM. GYP WALL C/W 16MM ABUSE RESISTANT GYP ON BOTH SIDES OF 150MM STRUCTURAL STEEL METAL STUDS SPACED 400MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY. INFILL WALL CAVITY WITH SOUND INSULATION BATTS FULL HEIGHT OF WALL. REFER TO DTL 1/A602 |  | REFER TO A201 FOR WORK AT THIS LOCATION AS IT RELATES TO REQUIREMENT FOR NEW MILLWORK |
| | |  | P-2 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING AT +/-2480MM (STC RATING 45 - UL U407). GYP WALL C/W 12MM GYP ON BOTH SIDES OF 90MM 20 GAUGE METAL STUDS SPACED 400MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY. INFILL WALL CAVITY WITH SOUND INSULATION BATTS FULL HEIGHT OF WALL. | ALLOW FOR GYPSUM INFILL WHERE DOOR IS BEING REMOVED FROM SECURITY GATE ENCLOSURE. 12MM GYPSUM ON ONE SIDE OF 60MM STUD | |
| | |  | P-3 PARTITION TYPE DENOTES NEW GYPSUM WALL. REFER TO DTL | GENERAL NOTES | |
| | | | | <ol style="list-style-type: none">TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PMCONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDSCONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #3 ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TAPPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICEALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAINREFER TO A201 FOR MILLWORK PLAN | |



1
A201 CAFETERIA - MILLWORK PLAN
SCALE - 1:100



2
A200 PUBLIC ACCESS COUNTER - PARTITION PLAN
SCALE - 1:100



3
A201 GREAT HALL - MILLWORK PLAN
SCALE - 1:100

LEGEND:

■ DENOTES AREA OUTSIDE THE CURRENT SCOPE

— EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

— EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

▨ NEW MILLWORK

KEYNOTES:

◇ NO NEW MILLWORK AT THIS LOCATION

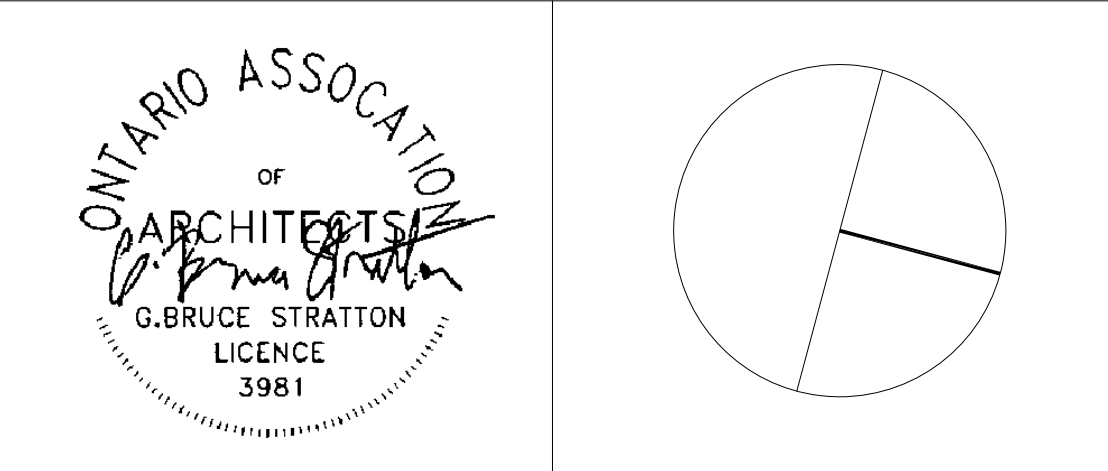
GENERAL NOTES

1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
2. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
3. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #3 ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TARPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
4. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
5. REFER TO A201 FOR MILLWORK PLAN

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|---|
| 8 | 11-17-2023 | ISSUED FOR PERMIT/TENDER |
| 7 | 11-06-2023 | RE-ISSUED FOR FEASIBILITY CLIENT REVIEW/SIGN-OFF OF REWORK OF SECURITY DESK |
| 6 | 11-02-2023 | ISSUED FOR FINAL CLIENT REVIEW |
| 5 | 09-25-2023 | ISSUED FOR 95% REVIEW |
| 4 | 09-13-2023 | ISSUED FOR CLIENT REVIEW |
| 3 | 09-06-2023 | REVISED DWGS ISS FOR REVIEW |
| 2 | 08-30-2023 | ISSUED FOR 60% REVIEW |
| 1 | 07-06-2023 | ISSUED FOR FEASIBILITY REVIEW |

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telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND FLOOR

BASE DATE: JUNE 2023

PROJECT:

TENDER #
RFTC-1131-23-C22020
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

MILLWORK PLAN

SHEET NUMBER:
A201



1
A300 CAFETERIA - REFLECTED CEILING PLAN
SCALE - 1:100



2
A300 PUBLIC ACCESS COUNTER - REFLECTED CEILING PLAN
SCALE - 1:100



3
A300 GREAT HALL - REFLECTED CEILING PLAN
SCALE - 1:100

LEGEND:

■ DENOTES AREA OUTSIDE THE CURRENT SCOPE

— EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

— NEW GYPSUM WALLS. REFER TO A200 FOR WALL TYPE

■ EXISTING GYPSUM CEILINGS TO REMAIN. PATCH/REPAIR AS REQUIRED WHERE EXISTING POT LIGHTS ARE BEING REMOVED. MAKE GOOD ALL EXISTING GYPSUM CEILING SURFACES. ALL CEILINGS WITHIN THE AREA OF WORK TO BE PAINTED TO MATCH

■ NEW GYPSUM CEILING. HEIGHT TO U/S TO MATCH EXISTING GYPSUM CEILING

■ NEW LED FLAT PANEL

NEW ACOUSTIC TBAR CEILING TO MATCH HEIGHT OF GYPSUM CEILING

KEYNOTES:

① EXISTING GYPSUM CEILINGS TO REMAIN. PATCH/REPAIR AS REQUIRED WHERE EXISTING POT LIGHTS ARE BEING REMOVED. MAKE GOOD ALL EXISTING GYPSUM CEILING SURFACES. ALL CEILINGS WITHIN THE AREA OF WORK TO BE PAINTED TO MATCH

② NEW ACOUSTIC TBAR CEILING AND GYPSUM CEILING TO MATCH HEIGHT OF EXIST

③ PATCH/REPAIR CEILING AT LOCATION WHERE SECURITY GATES ARE BEING REMOVED. REPAIR WITH NEW GYPSUM CEILING FINISH TO MATCH EXIST. PRIME/PAINT TO MATCH. ALLOW FOR 100 SQ.FT. OF NEW CEILING

GENERAL NOTES

1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM

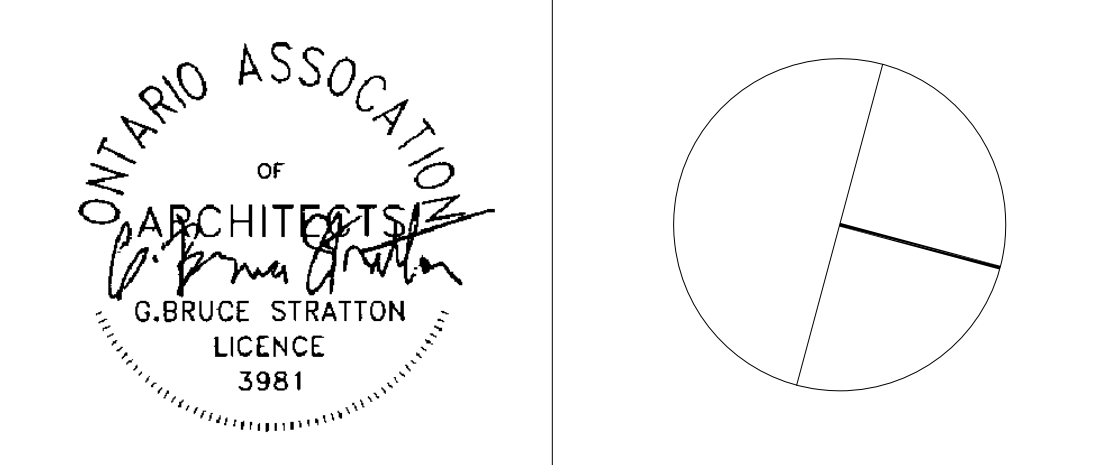
2. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS

3. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #3 ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TARP'S ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE

4. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN

| SUBMISSION | DATE | DESCRIPTION |
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| 2 | 08-30-2023 | ISSUED FOR 60% REVIEW |
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DEPARTMENT: BUILDING & FACILITIES
FLOOR: GROUND FLOOR
BASE DATE: JUNE 2023
PROJECT:

TENDER #
RFTC-1131-23-C22020
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

REFLECTED CEILING PLAN

SHEET NUMBER:
A300



1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
2. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
3. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #3' ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TAPPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
4. FURNITURE BY CLIENT



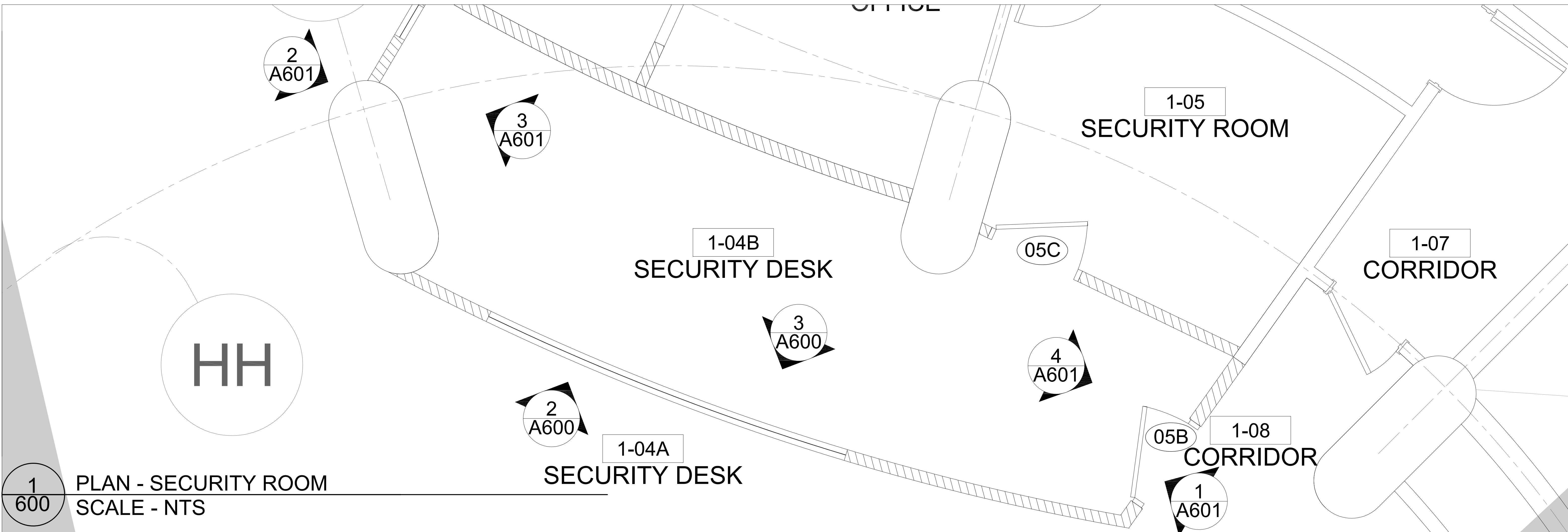
G.Bruce Stratton Architects
217 Richmond Street West, Suite 300
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telephone: 416.351.8145
facsimile: 416.351.8146



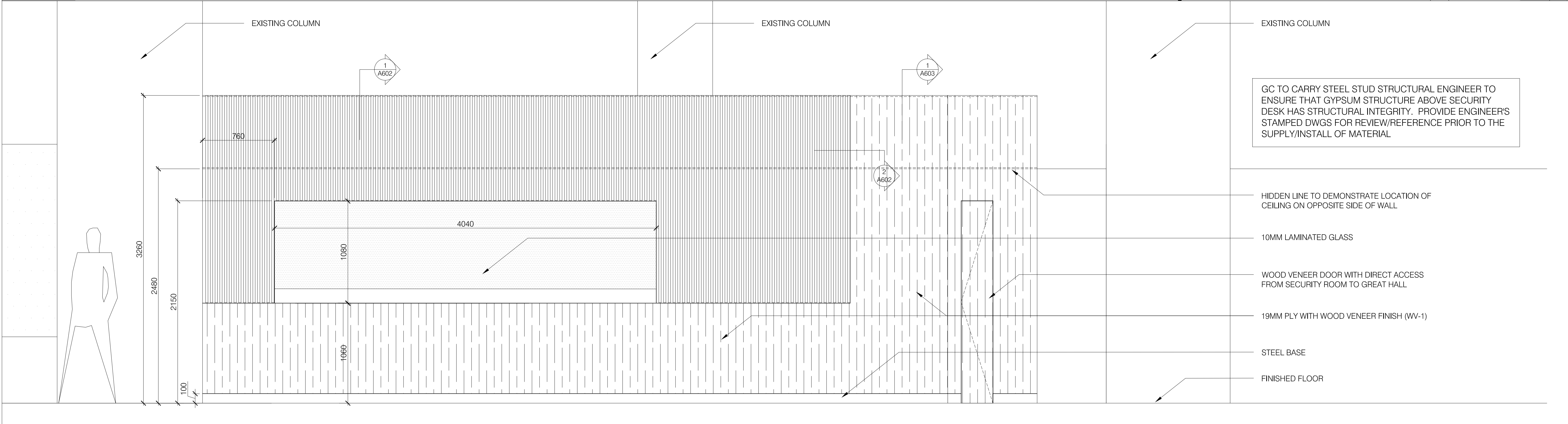
TENDER #
RFTC-1131-23-C22020
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

FINISHES PLAN

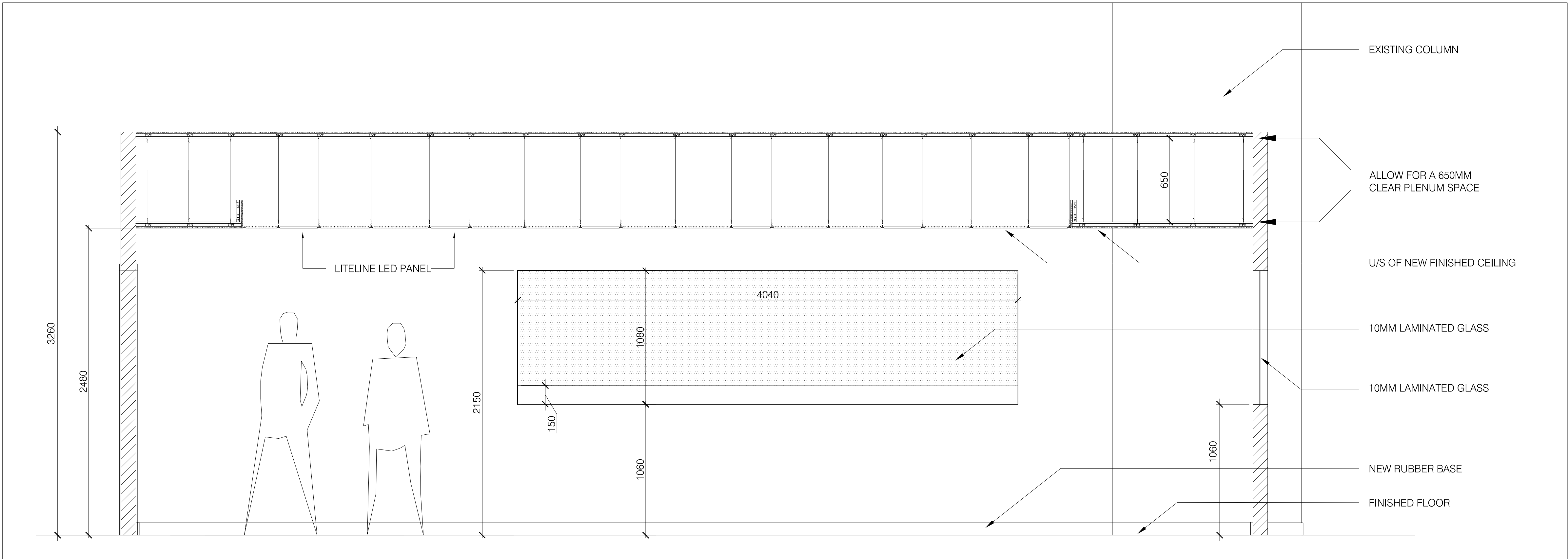
A500



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600 PLAN - SECURITY ROOM
SCALE - NTS



2
600 ELEVATION - SECURITY ROOM
SCALE - NTS



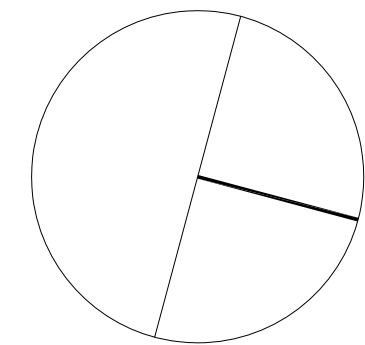
3
600 ELEVATION - SECURITY ROOM
SCALE - NTS

- MILLWORK NOTES
- GC TO SUBMIT HARDWARE SPECIFICATIONS TO ARCHITECT FOR APPROVAL PRIOR TO SUPPLY/INSTALL
 - SITE VERIFY ALL DIMENSION PRIOR TO CONSTRUCTION/INSTALLATION OF MILLWORK
 - GC TO PROVIDE SAMPLES OF ALL MILLWORK FINISHES INCLUDING VENEERS, HARDWARE, SOLID SURFACE ETC. PRIOR TO THE CONSTRUCTION/INSTALLATION ON ANY MILLWORK
 - INTERIOR OF ALL MILLWORK TO MATCH EXTERIOR FINISH. WHITE INTERIOR MELAMINE AND/OR WHITE PLASTIC LAMINATE WILL NOT BE ACCEPTED
 - UNLESS NOTED ON DRAWINGS, REFER TO SPECIFICATIONS FOR COMPLETE FINISH SPECS
 - ALL WOOD GRAIN AS SPECIFIED FOR MILLWORK TO RUN IN A HORIZONTAL DIRECTION UNLESS NOTES OTHERWISE ON DRAWINGS
 - DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT FOR DESIGN SPECIFIC QUESTIONS
 - GC TO SUPPLY DETAILED SHOPS OF ALL MILLWORK FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL
 - REFER TO MILLWORK SPEC SECTION FOR FINISHES SPECIFICATION
 - NO ADDED UREA FORMALDEHYDE IN MILLWORK. 100% FSC CERTIFIED WOOD FOR ALL WOOD PRODUCT

| SUBMISSION | DATE | DESCRIPTION |
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| 5 | 09-25-2023 | ISSUED FOR 95% REVIEW |
| 4 | 09-13-2023 | ISSUED FOR CLIENT REVIEW |
| 3 | 09-06-2023 | REVISED DWGS ISS FOR REVIEW |
| 2 | 08-30-2023 | ISSUED FOR 60% REVIEW |
| 1 | 07-06-2023 | ISSUED FOR FEASIBILITY REVIEW |

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facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND FLOOR

BASE DATE: JUNE 2023

PROJECT:

TENDER #
RFTC-1131-23-C22020
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

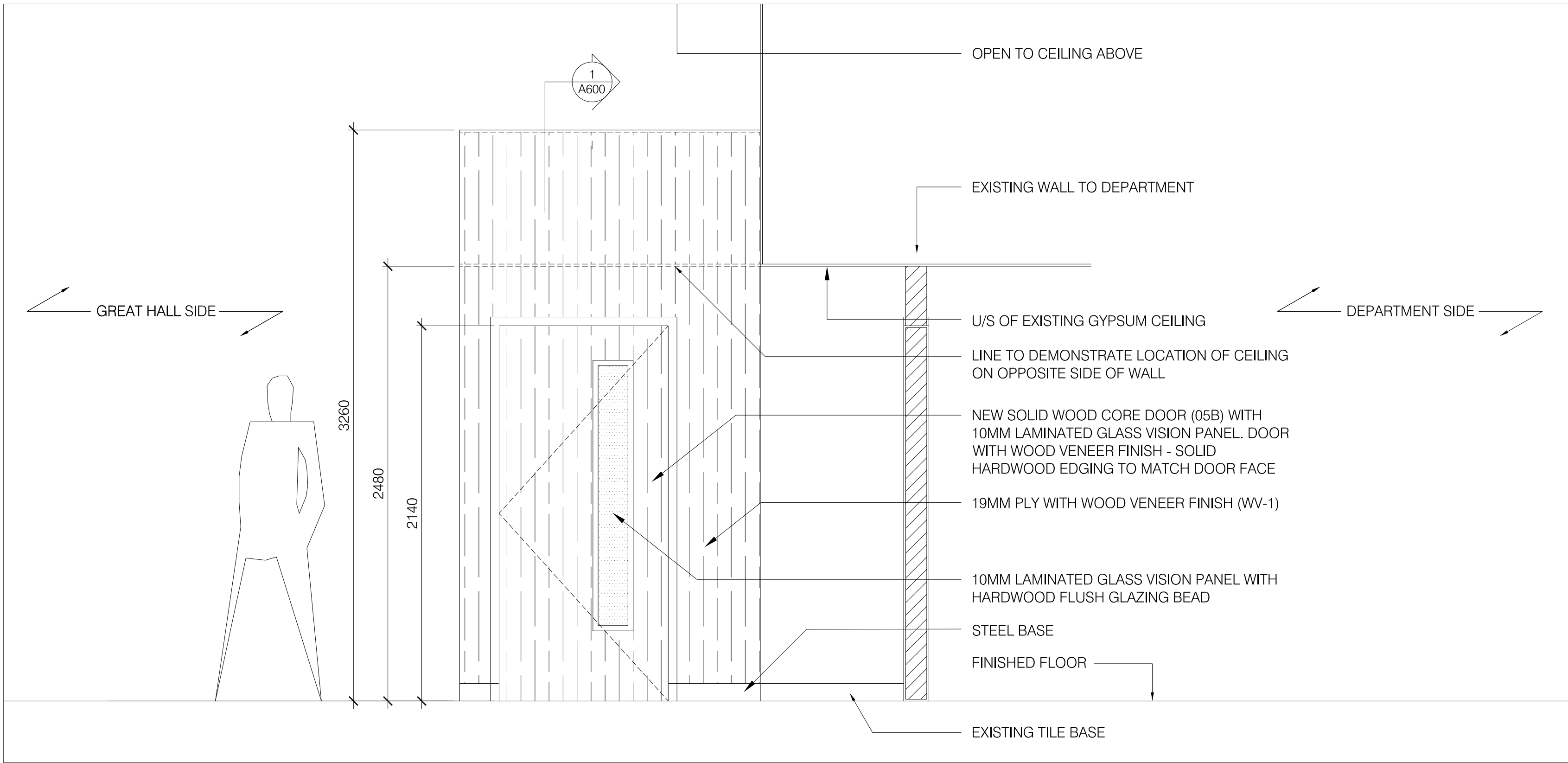
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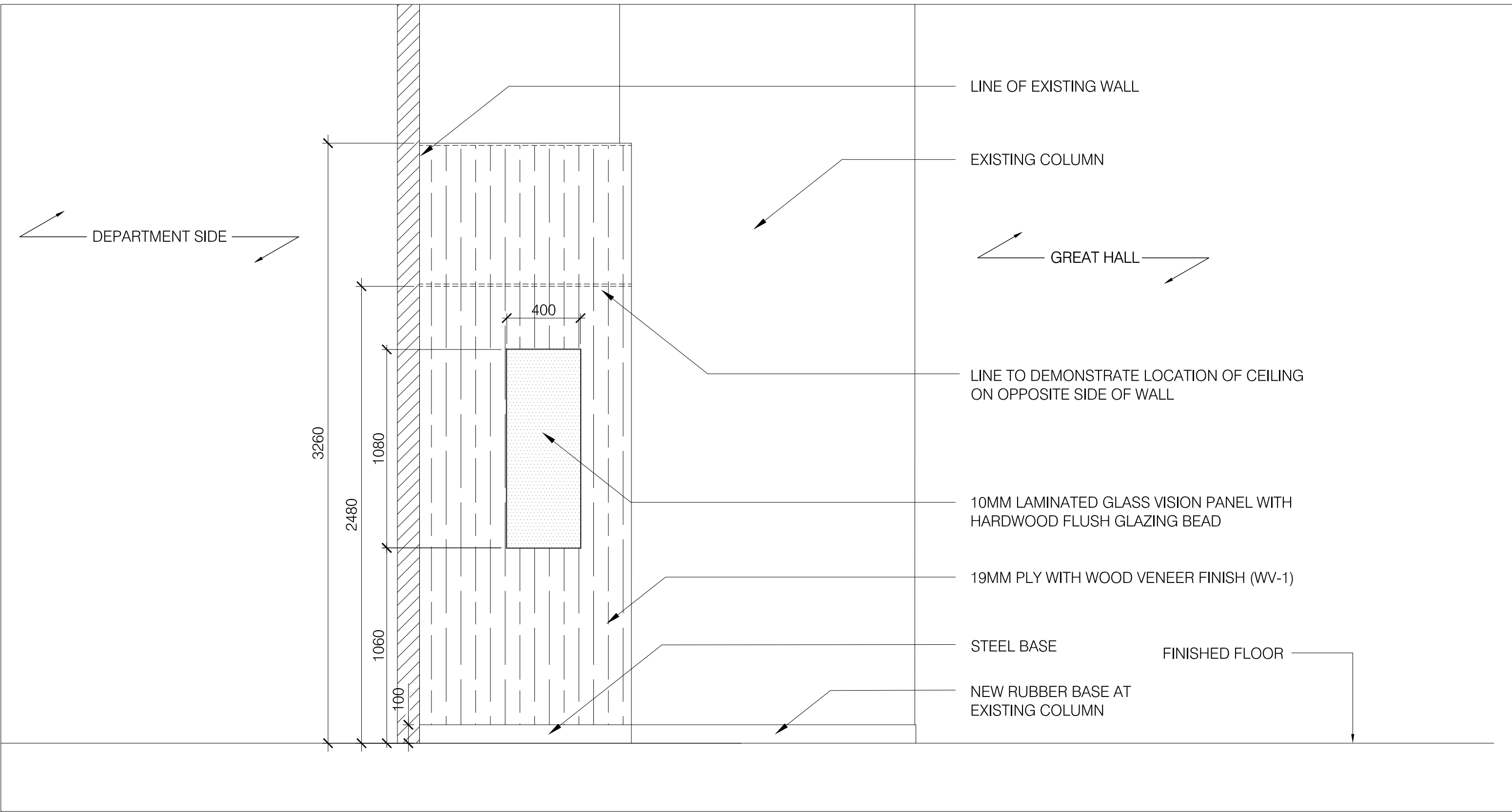
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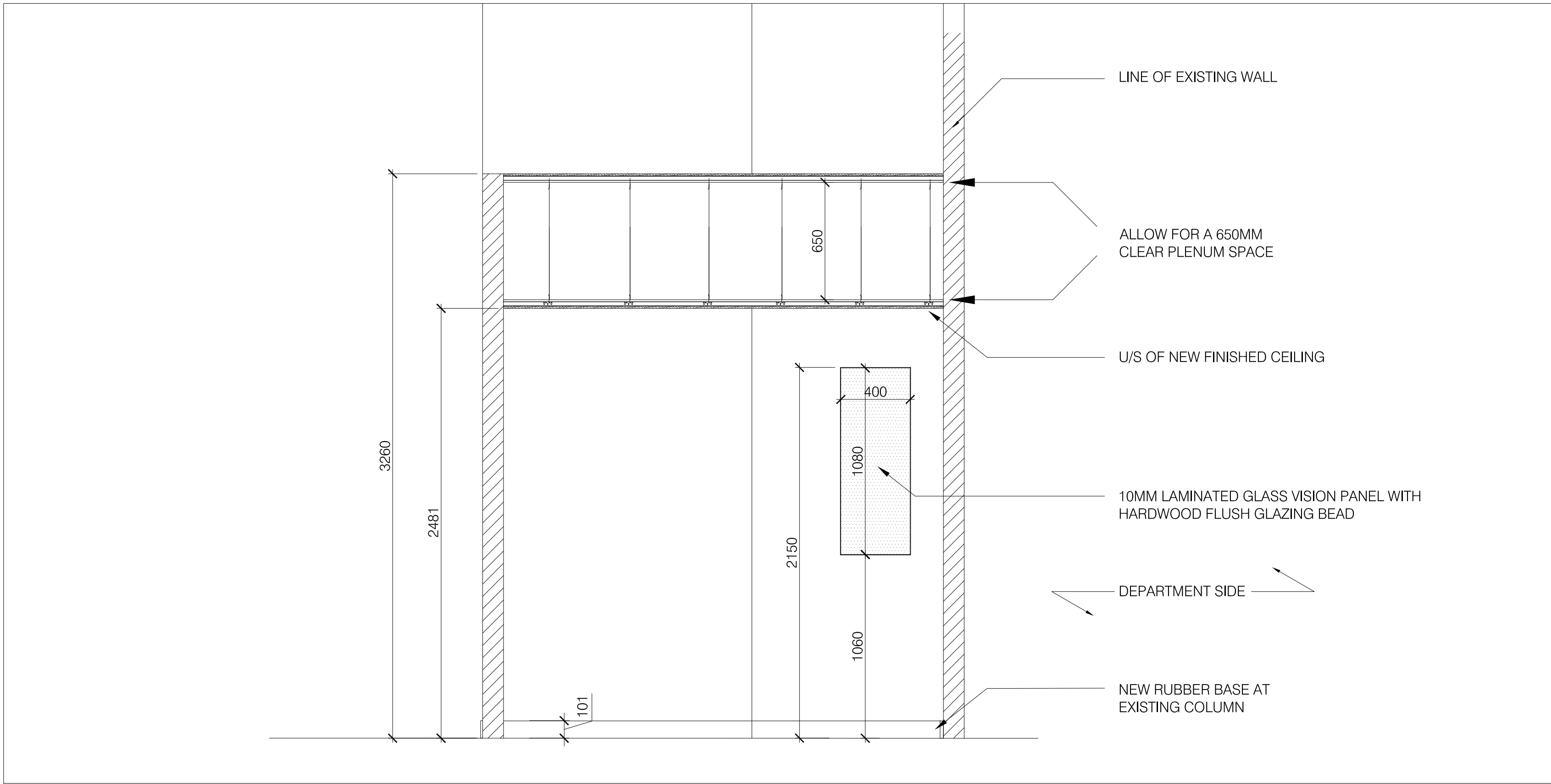
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A601 ELEVATION
SCALE - NTS



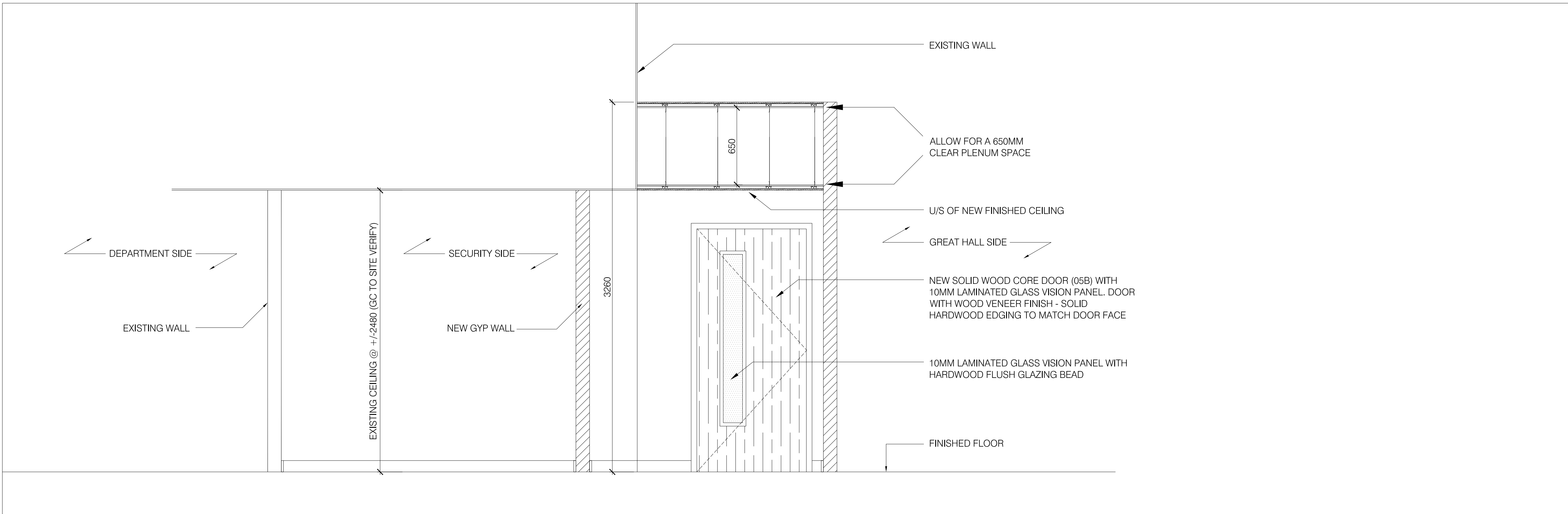
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A601 ELEVATION
SCALE - NTS



3
A601 ELEVATION
SCALE - NTS

MILLWORK NOTES

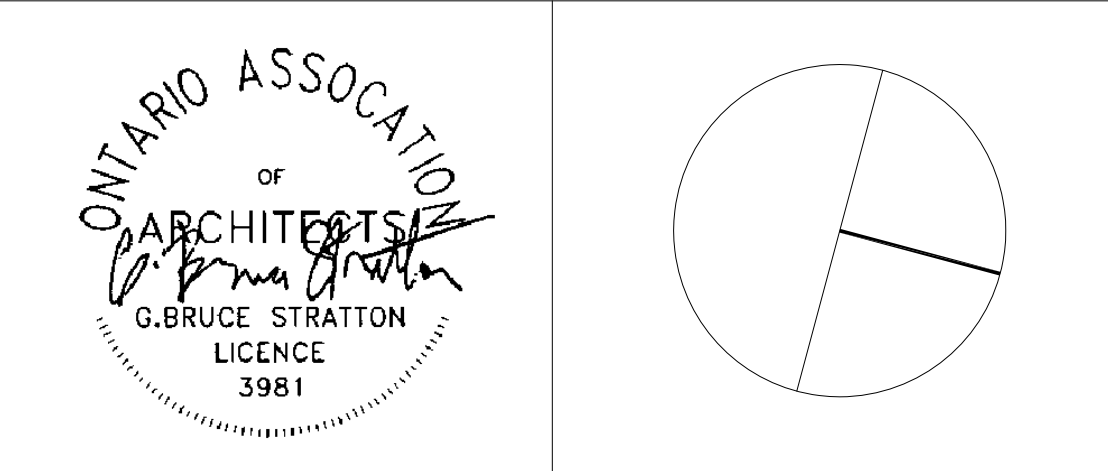
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2. SITE VERIFY ALL DIMENSION PRIOR TO CONSTRUCTION/INSTALLATION OF MILLWORK
3. GC TO PROVIDE SAMPLES OF ALL MILLWORK FINISHES INCLUDING VENEERS, HARDWARE, SOLID SURFACE ETC. PRIOR TO THE CONSTRUCTION/INSTALLATION ON ANY MILLWORK
4. INTERIOR OF ALL MILLWORK TO MATCH EXTERIOR FINISH: WHITE INTERIOR MELAMINE AND/OR WHITE PLASTIC LAMINATE WILL NOT BE ACCEPTED
5. UNLESS NOTED ON DRAWINGS, REFER TO SPECIFICATIONS FOR COMPLETE FINISH SPECS
6. ALL WOOD GRAIN AS SPECIFIED FOR MILLWORK TO RUN IN A HORIZONTAL DIRECTION UNLESS NOTES OTHERWISE ON DRAWINGS
7. DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT FOR DESIGN SPECIFIC QUESTIONS
8. GC TO SUPPLY DETAILED SHOPS OF ALL MILLWORK FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL
9. REFER TO MILLWORK SPEC SECTION FOR FINISHES SPECIFICATION
10. NO ADDED UREA FORMALDEHYDE IN MILLWORK. 100% FSC CERTIFIED WOOD FOR ALL WOOD PRODUCT



4
A601 ELEVATION
SCALE - NTS

| SUBMISSION | DATE | DESCRIPTION |
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York Region
PROPERTY SERVICES

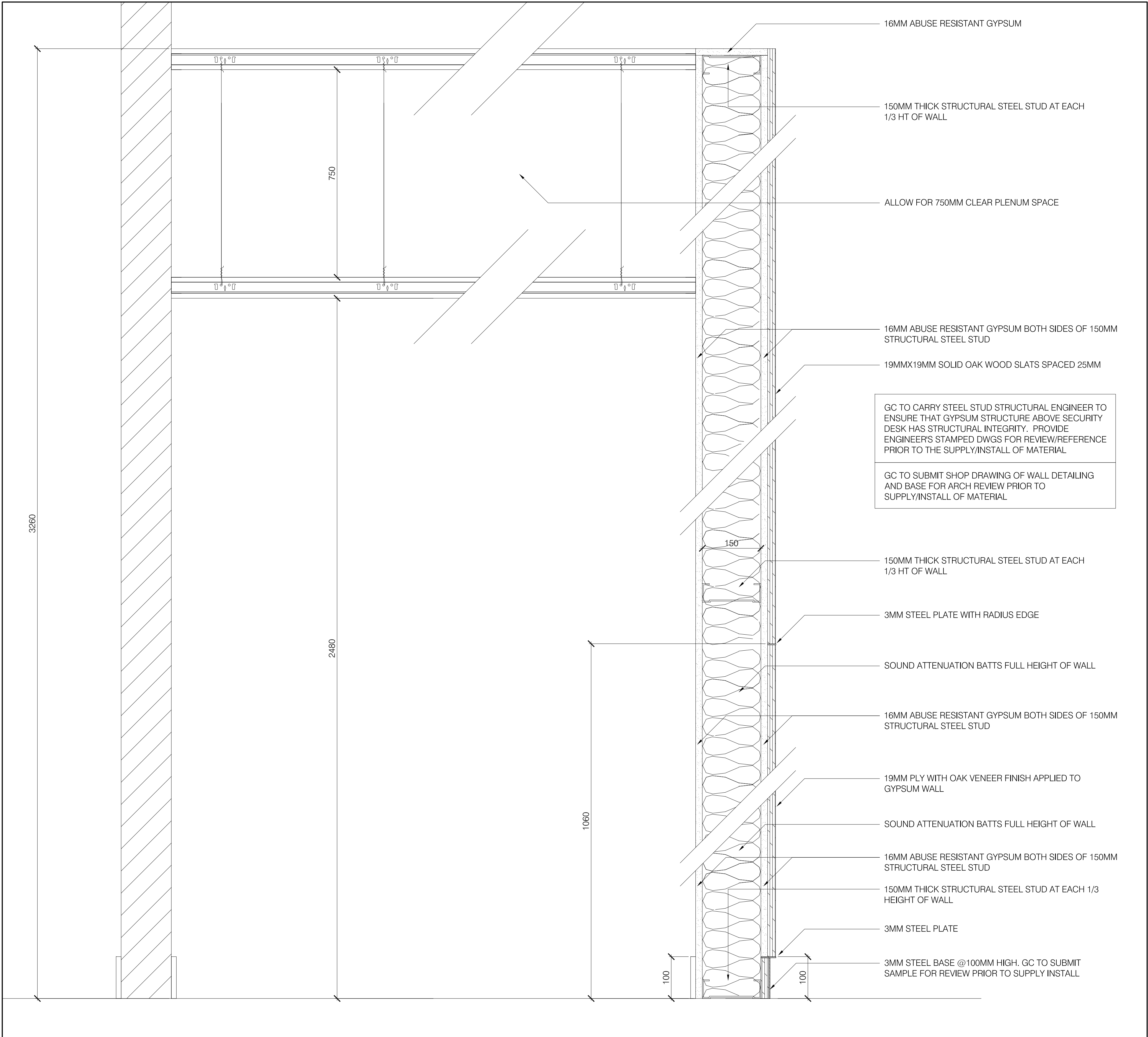
DEPARTMENT: BUILDING & FACILITIES
FLOOR: GROUND FLOOR
BASE DATE: JUNE 2023
PROJECT:

TENDER #
RFTC-1131-23-C22020
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

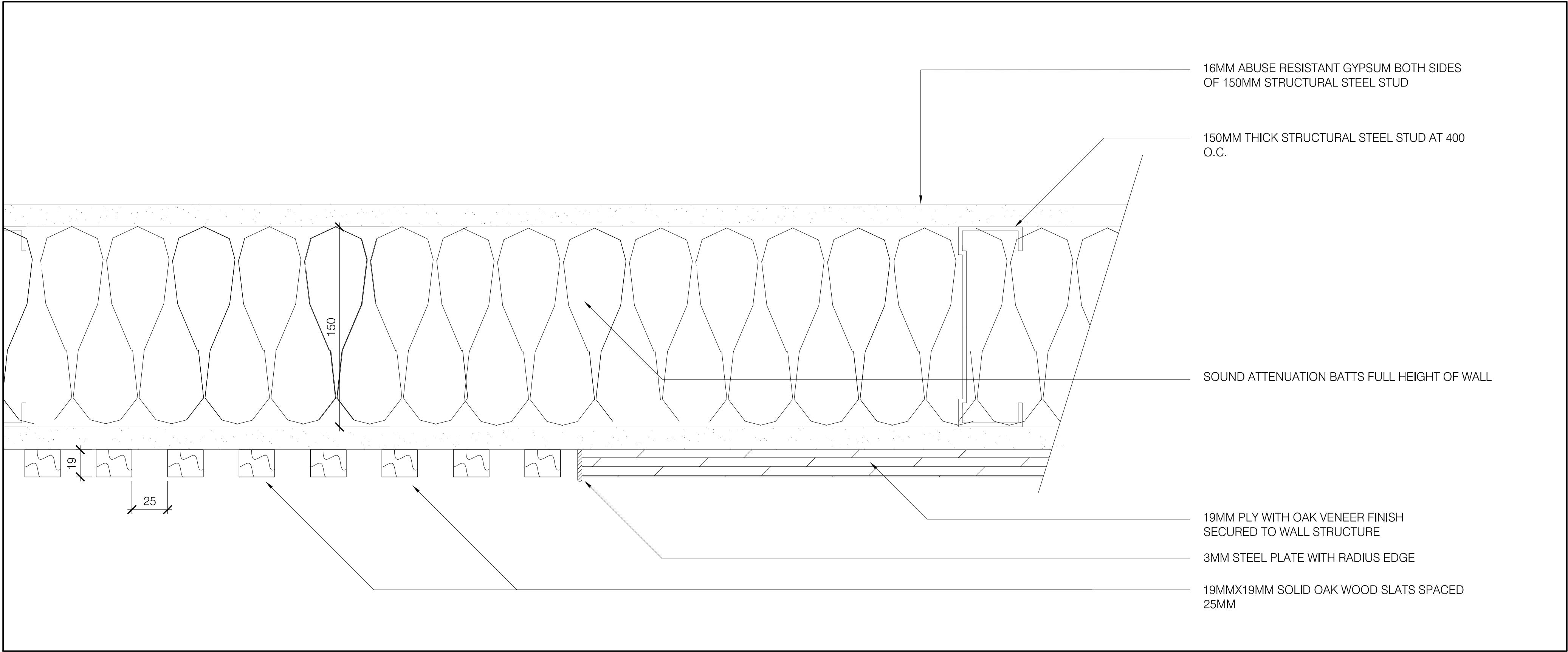
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DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

DETAILS

SHEET NUMBER:
A601



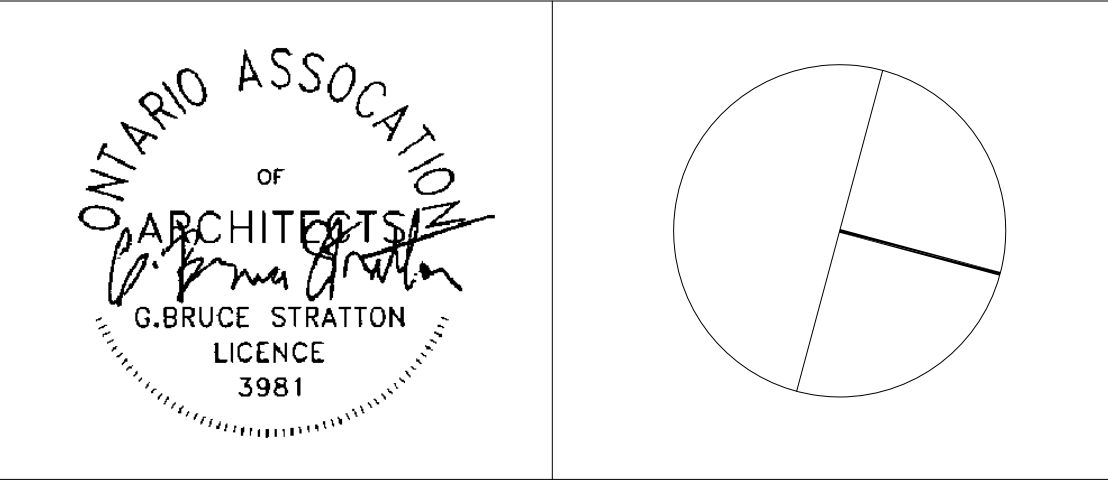
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A602 SCALE - NTS



2 SECTION - SLATS
A602 SCALE - NTS

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|---|
| 8 | 11-17-2023 | ISSUED FOR PERMIT/TENDER |
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DEPARTMENT: BUILDING & FACILITIES
FLOOR: GROUND FLOOR
BASE DATE: JUNE 2023

PROJECT:

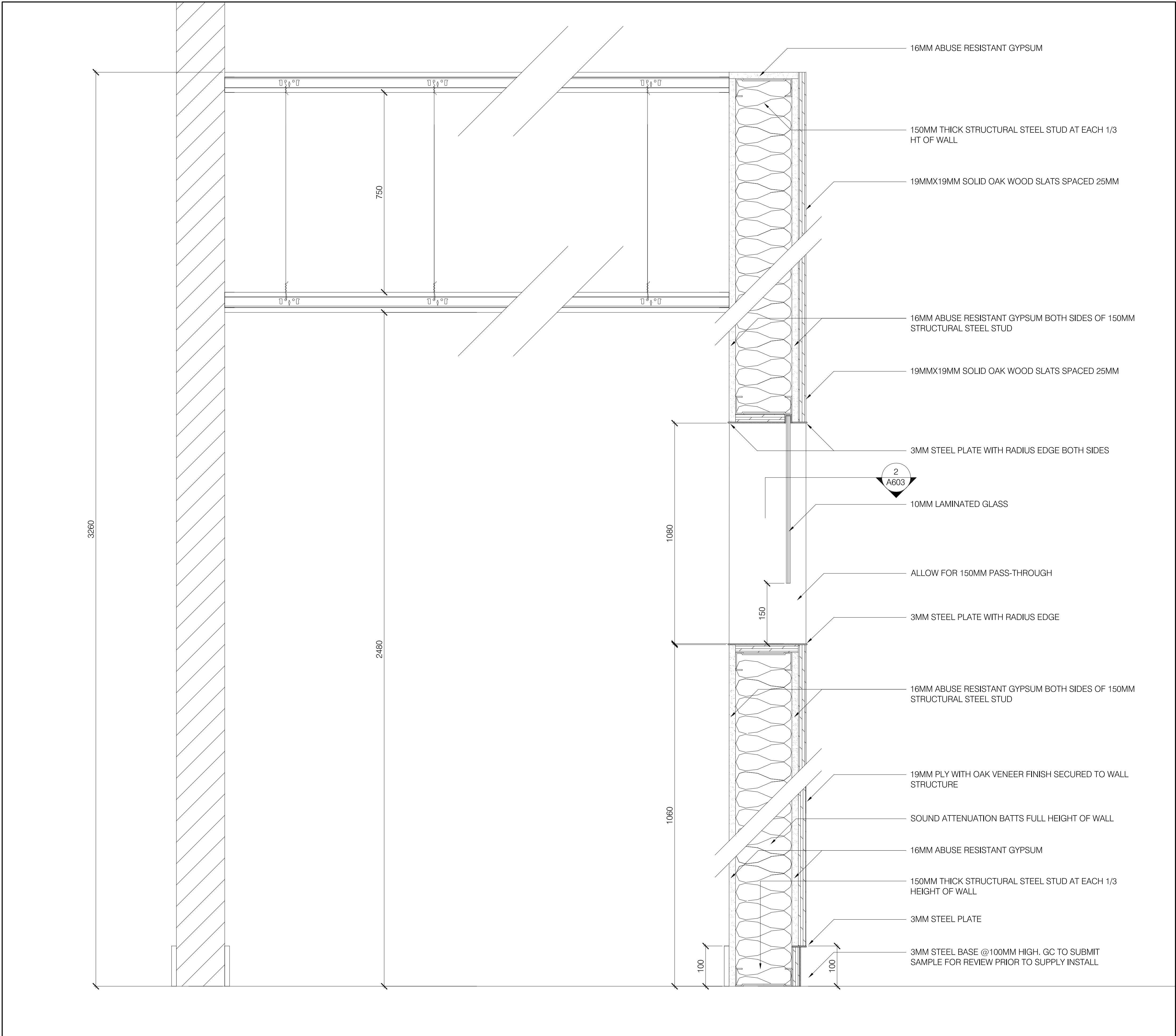
TENDER #
RFTC-1131-23-C22020
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

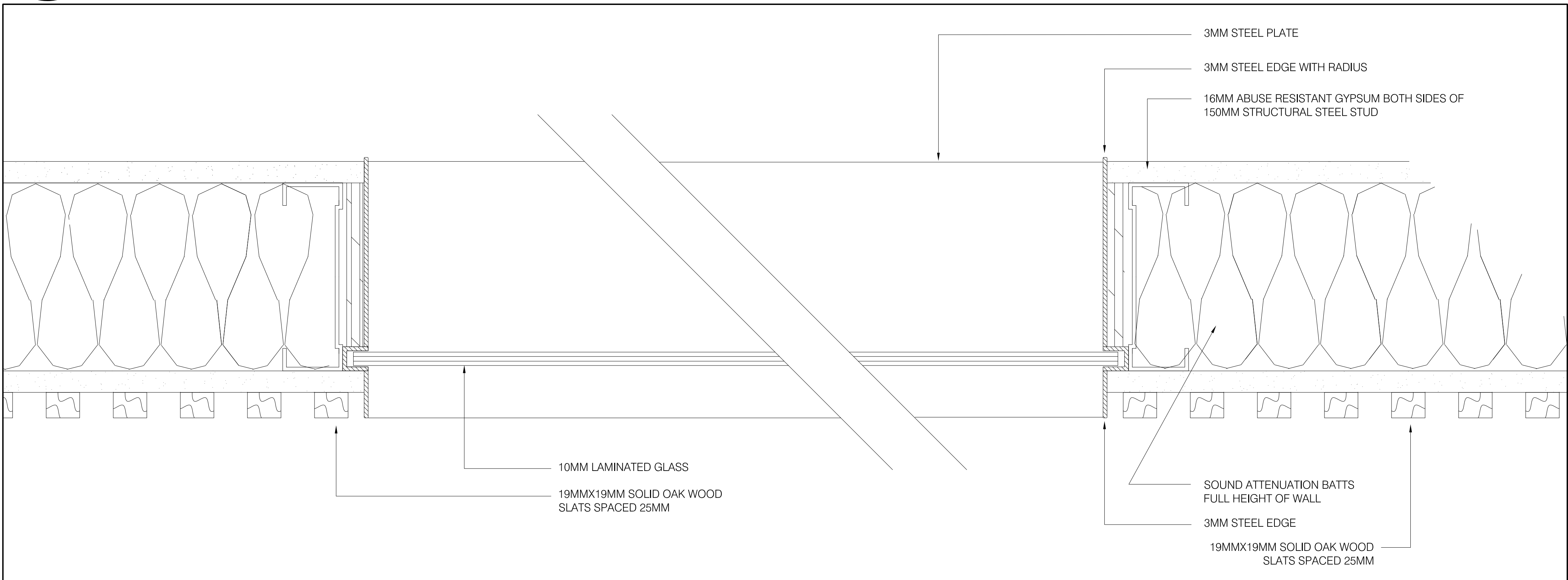
DETAILS

SHEET NUMBER:

A602



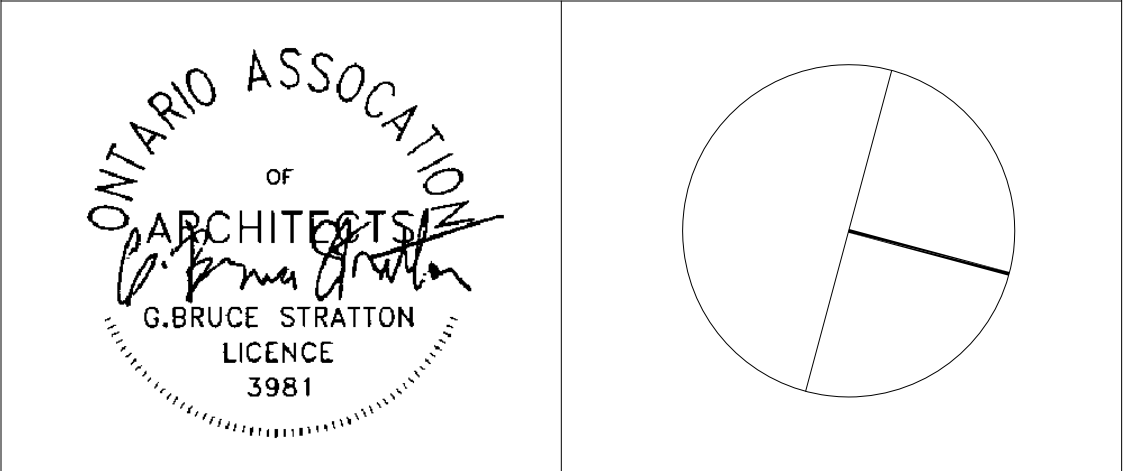
1
A603 SECTION - PARTITION TYPE P1 AND CEILING
SCALE - NTS



2
A603 SECTION - SLATS
SCALE - NTS

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|---|
| 8 | 11-17-2023 | ISSUED FOR PERMIT/TENDER |
| 7 | 11-06-2023 | RE-ISSUED FOR FEASIBILITY CLIENT REVIEW/SIGN-OFF OF REWORK OF SECURITY DESK |
| 6 | 11-02-2023 | ISSUED FOR FINAL CLIENT REVIEW |
| 5 | 09-25-2023 | ISSUED FOR 95% REVIEW |
| 4 | 09-13-2023 | ISSUED FOR CLIENT REVIEW |
| 3 | 09-06-2023 | REVISED DWGS ISS FOR REVIEW |
| 2 | 08-30-2023 | ISSUED FOR 60% REVIEW |
| 1 | 07-06-2023 | ISSUED FOR FEASIBILITY REVIEW |

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Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



| | |
|-------------|-----------------------|
| DEPARTMENT: | BUILDING & FACILITIES |
| FLOOR: | GROUND FLOOR |
| BASE DATE: | JUNE 2023 |
| PROJECT: | |

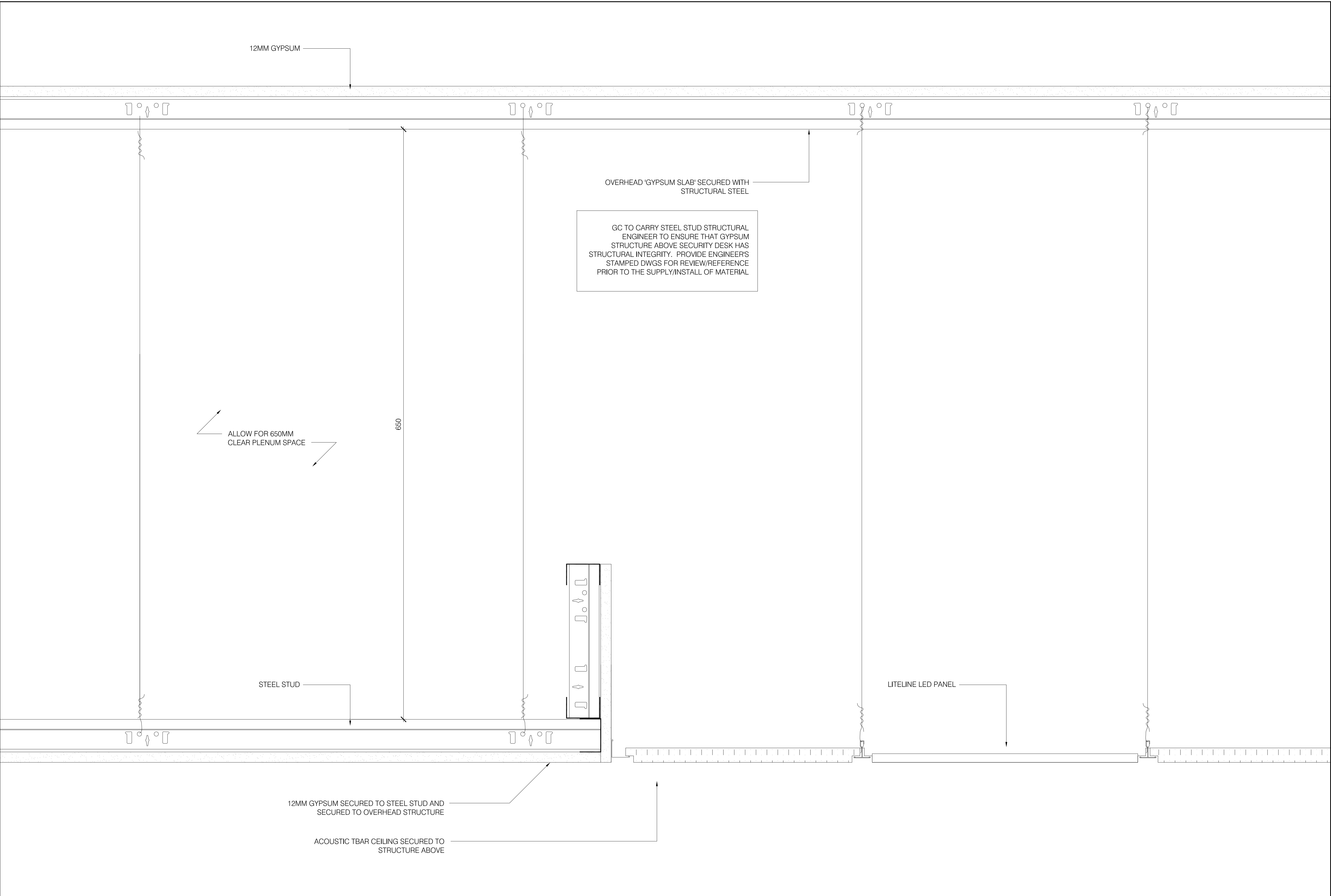
TENDER #
RFTC-1131-23-C22020
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

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| DRAWN BY: | SK |
| SUBMITTED TO: | MUNICIPALITY OF YORK |
| SHEET TITLE: | |

DETAILS

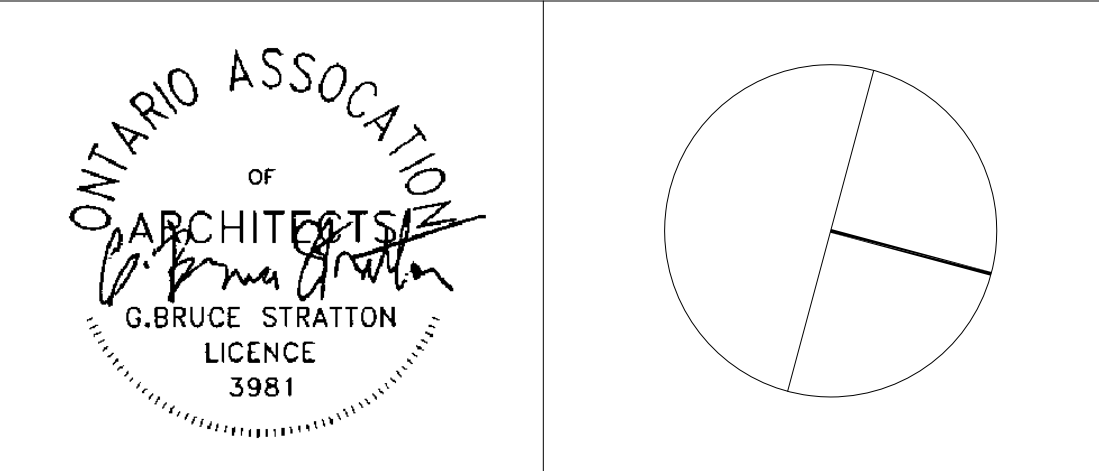
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A603



1 SECTION - FINISHED CEILING AND PLENUM
A604 SCALE - NTS

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|---|
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| 7 | 11-06-2023 | RE-ISSUED FOR FEASIBILITY CLIENT REVIEW/SIGN-OFF OF REWORK OF SECURITY DESK |
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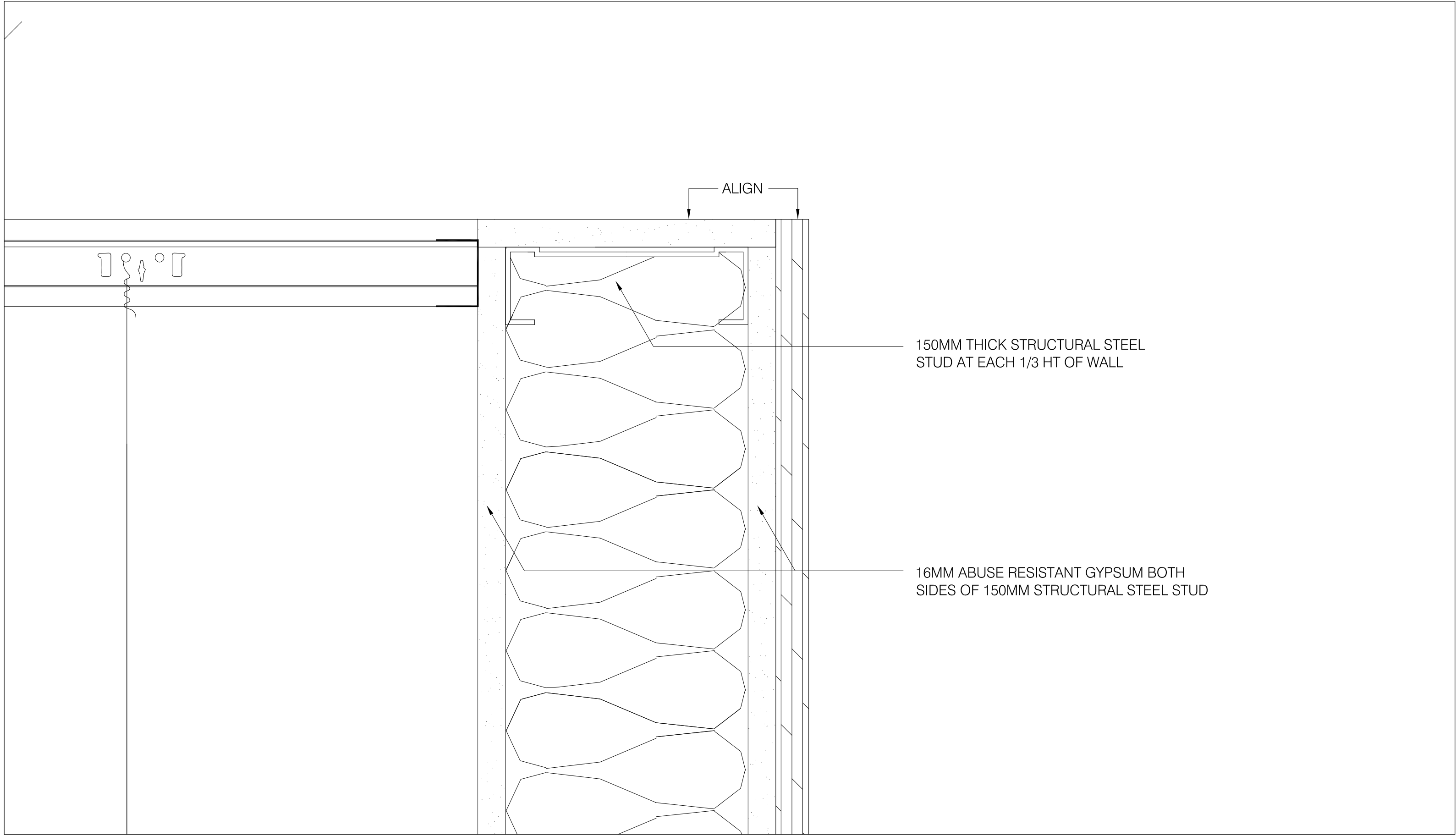
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FLOOR: GROUND FLOOR
BASE DATE: JUNE 2023
PROJECT:

TENDER #
RFTC-1131-23-C22020
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

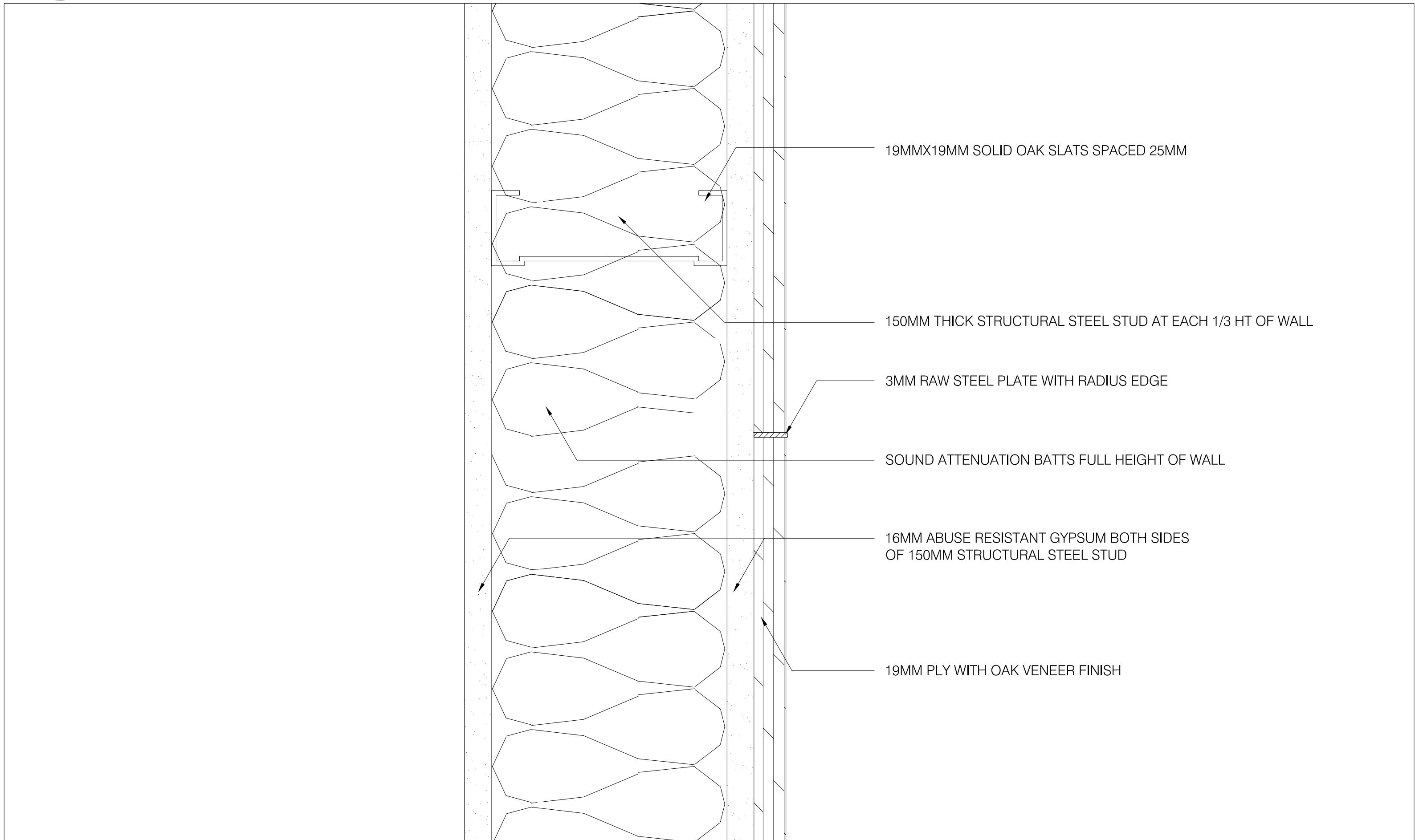
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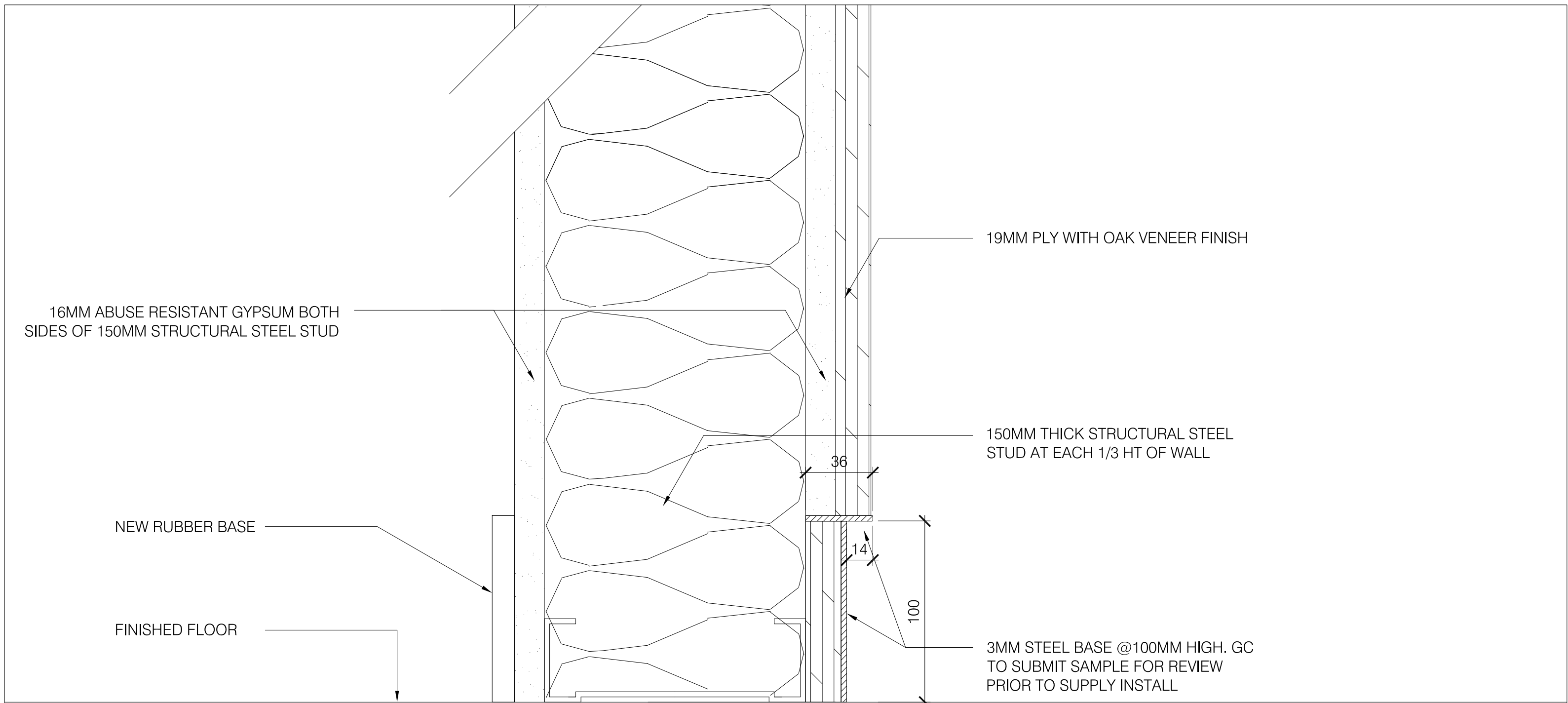
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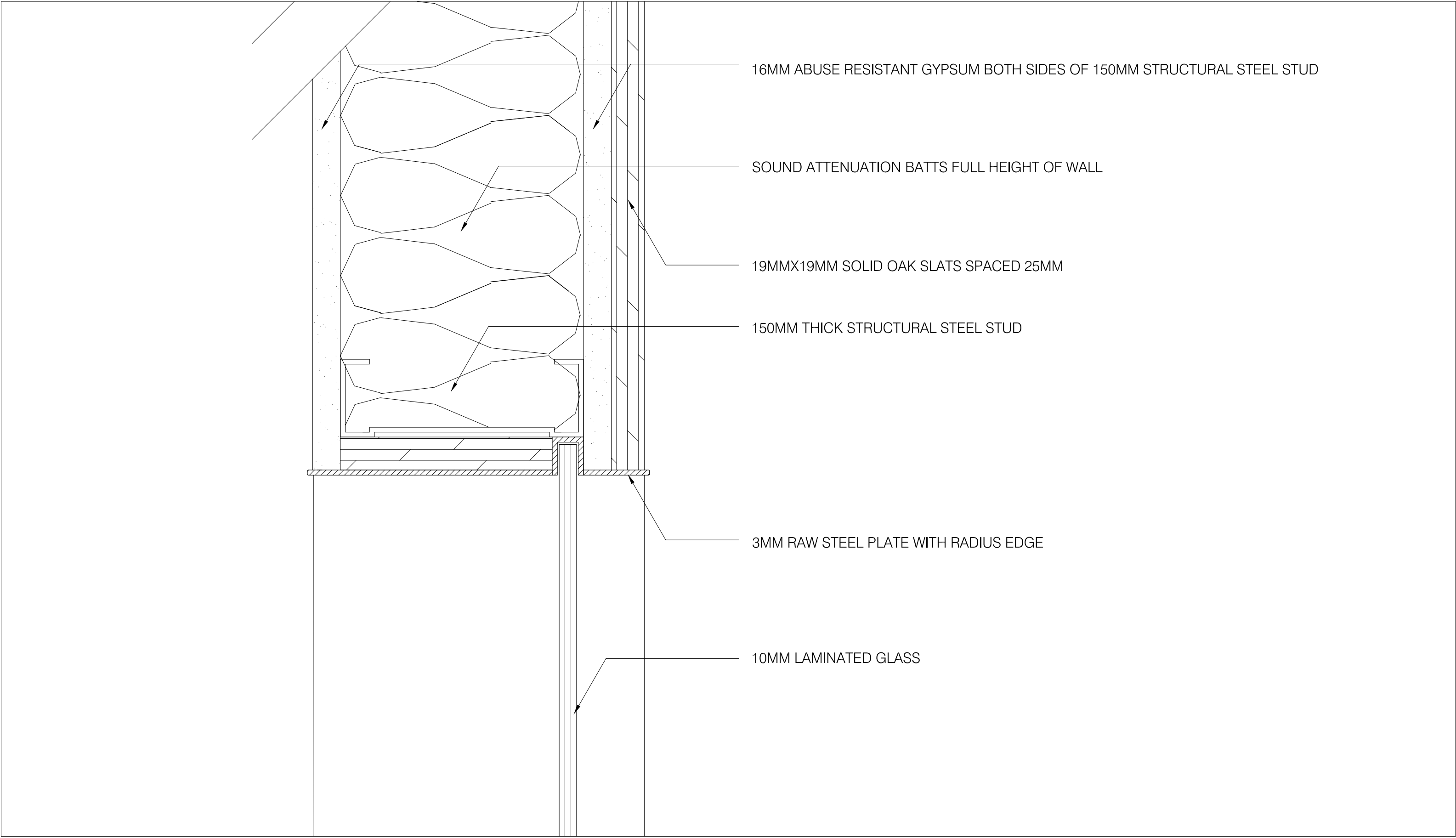
1 SECTION
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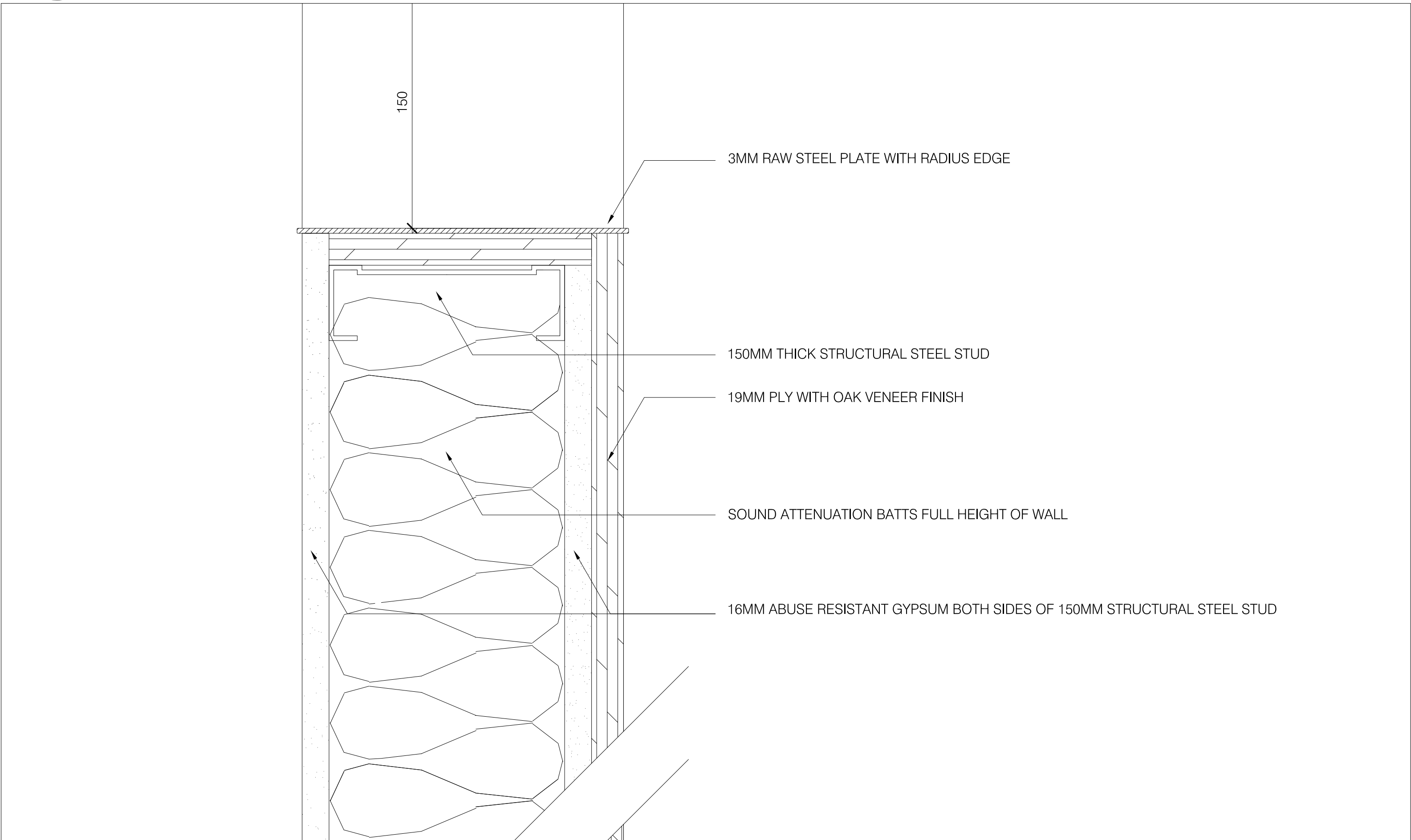
2 SECTION
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3 SECTION
A603 SCALE - NTS



4 SECTION
A603 SCALE - NTS



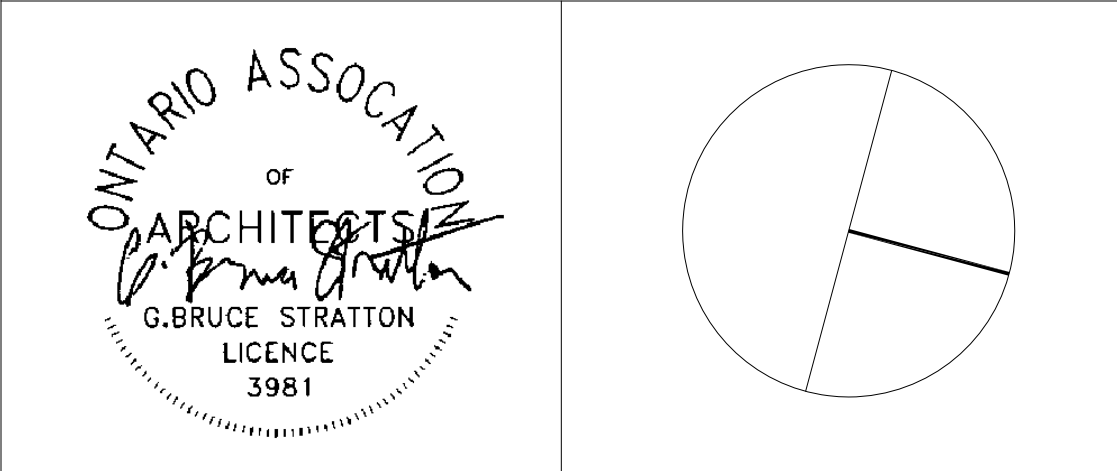
5 SECTION
A603 SCALE - NTS

MILLWORK NOTES

- GC TO SUBMIT HARDWARE SPECIFICATIONS TO ARCHITECT FOR APPROVAL PRIOR TO SUPPLY/INSTALL
- SITE VERIFY ALL DIMENSION PRIOR TO CONSTRUCTION/INSTALLATION OF MILLWORK
- GC TO PROVIDE SAMPLES OF ALL MILLWORK FINISHES INCLUDING VENEERS, HARDWARE, SOLID SURFACE ETC. PRIOR TO THE CONSTRUCTION/INSTALLATION ON ANY MILLWORK
- INTERIOR OF ALL MILLWORK TO MATCH EXTERIOR FINISH. WHITE INTERIOR MELAMINE AND/OR WHITE PLASTIC LAMINATE WILL NOT BE ACCEPTED
- UNLESS NOTED ON DRAWINGS, REFER TO SPECIFICATIONS FOR COMPLETE FINISH SPECS
- ALL WOOD GRAIN AS SPECIFIED FOR MILLWORK TO RUN IN A HORIZONTAL DIRECTION UNLESS NOTES OTHERWISE ON DRAWINGS
- DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT FOR DESIGN SPECIFIC QUESTIONS
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- NO ADDED UREA FORMALDEHYDE IN MILLWORK. 100% FSC CERTIFIED WOOD FOR ALL WOOD PRODUCT

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York Region
PROPERTY SERVICES

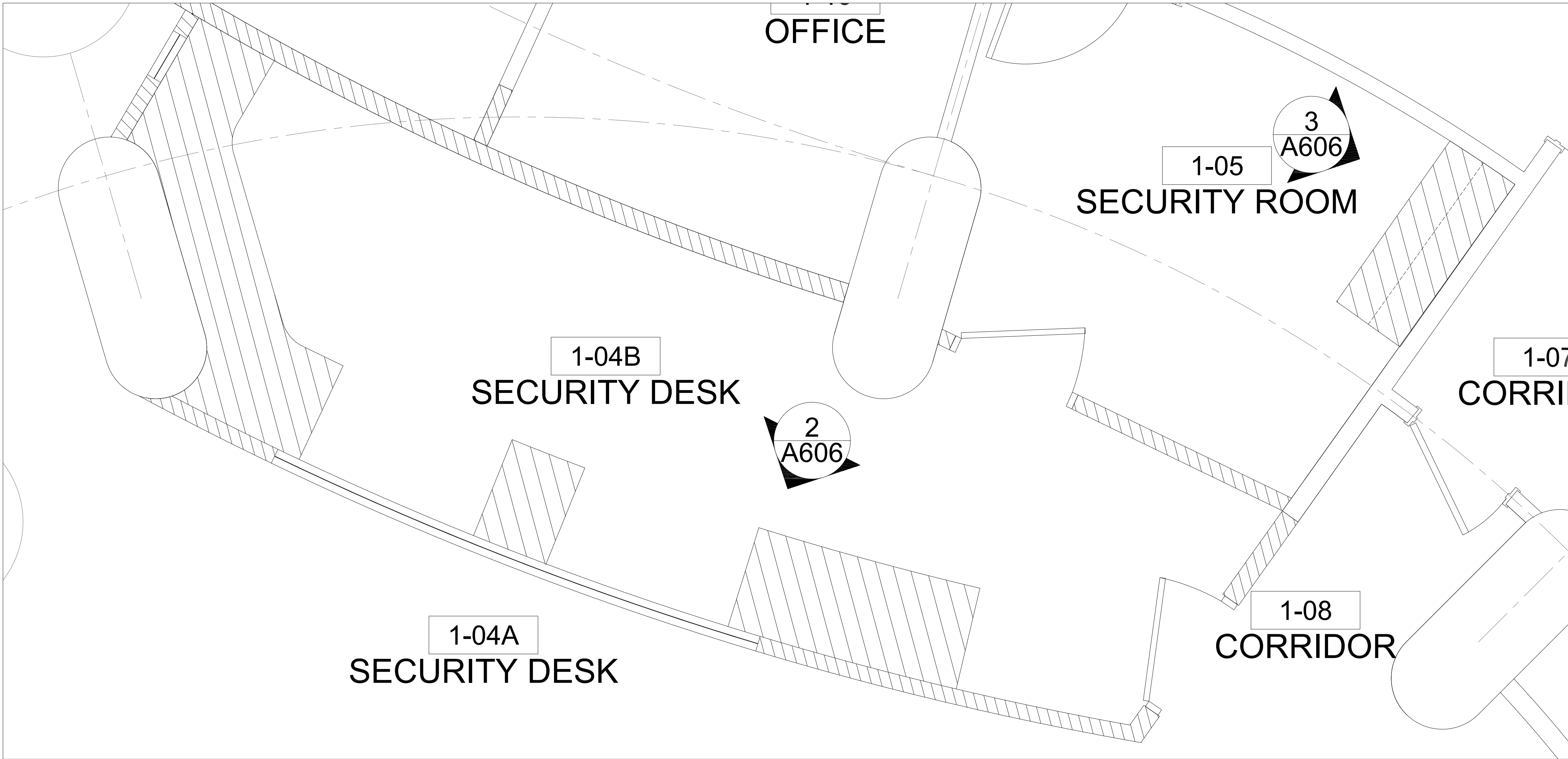
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FLOOR: GROUND FLOOR
BASE DATE: JUNE 2023
PROJECT:

TENDER #
RFTC-1131-23-C22020
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

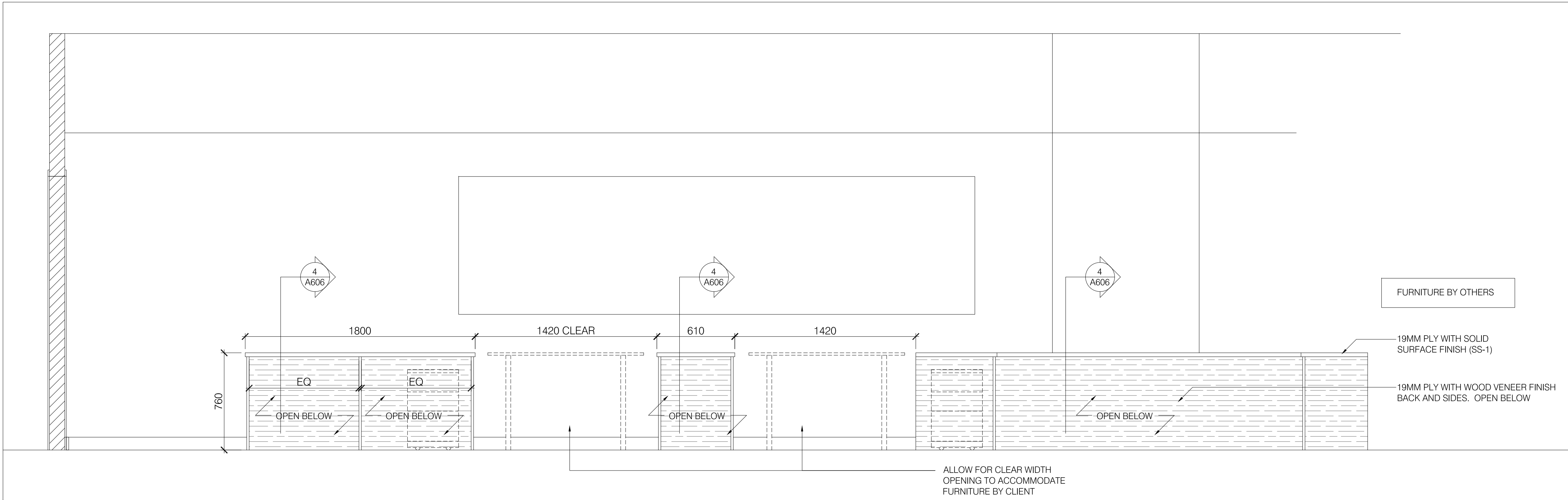
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SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

DETAILS

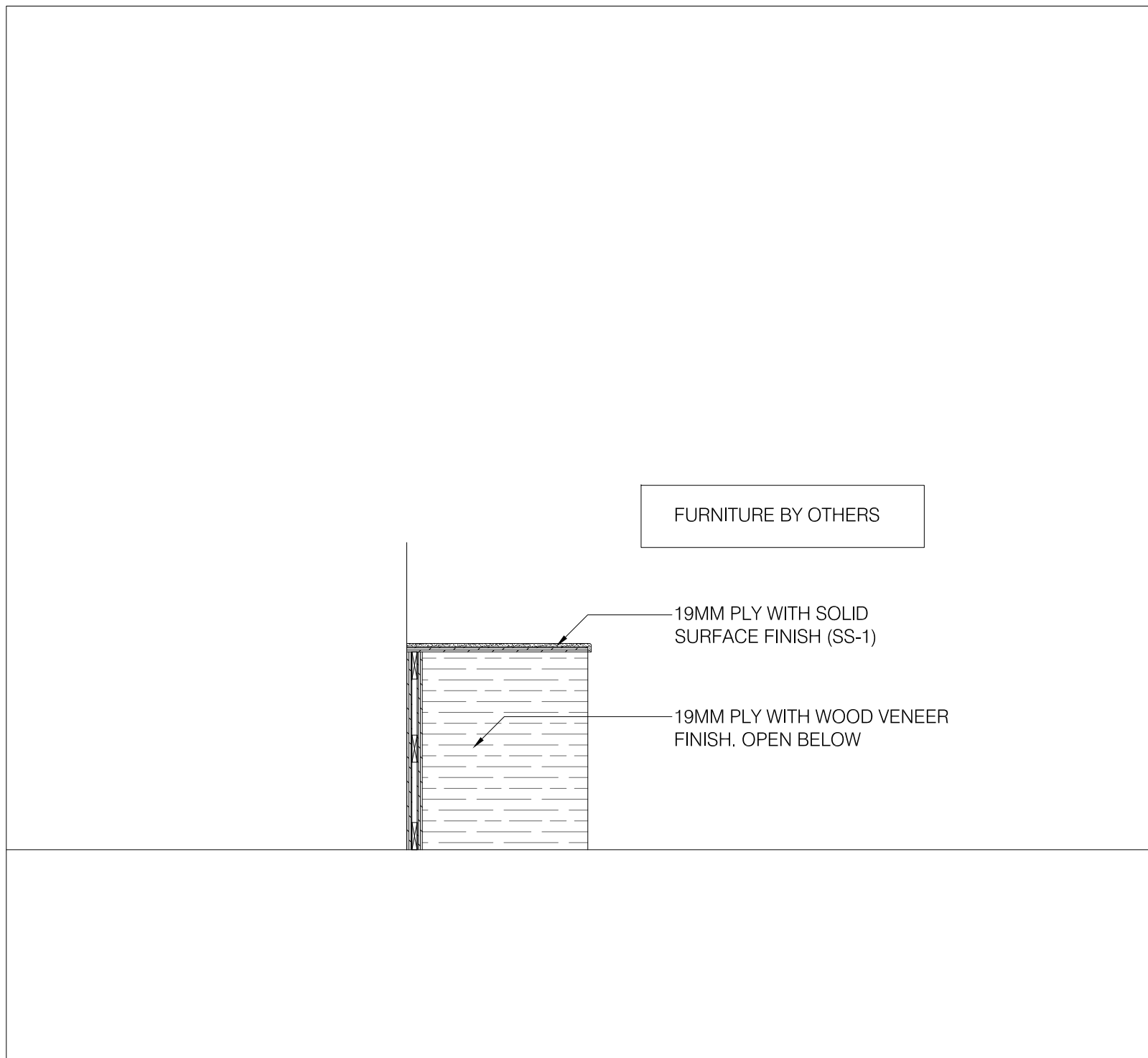
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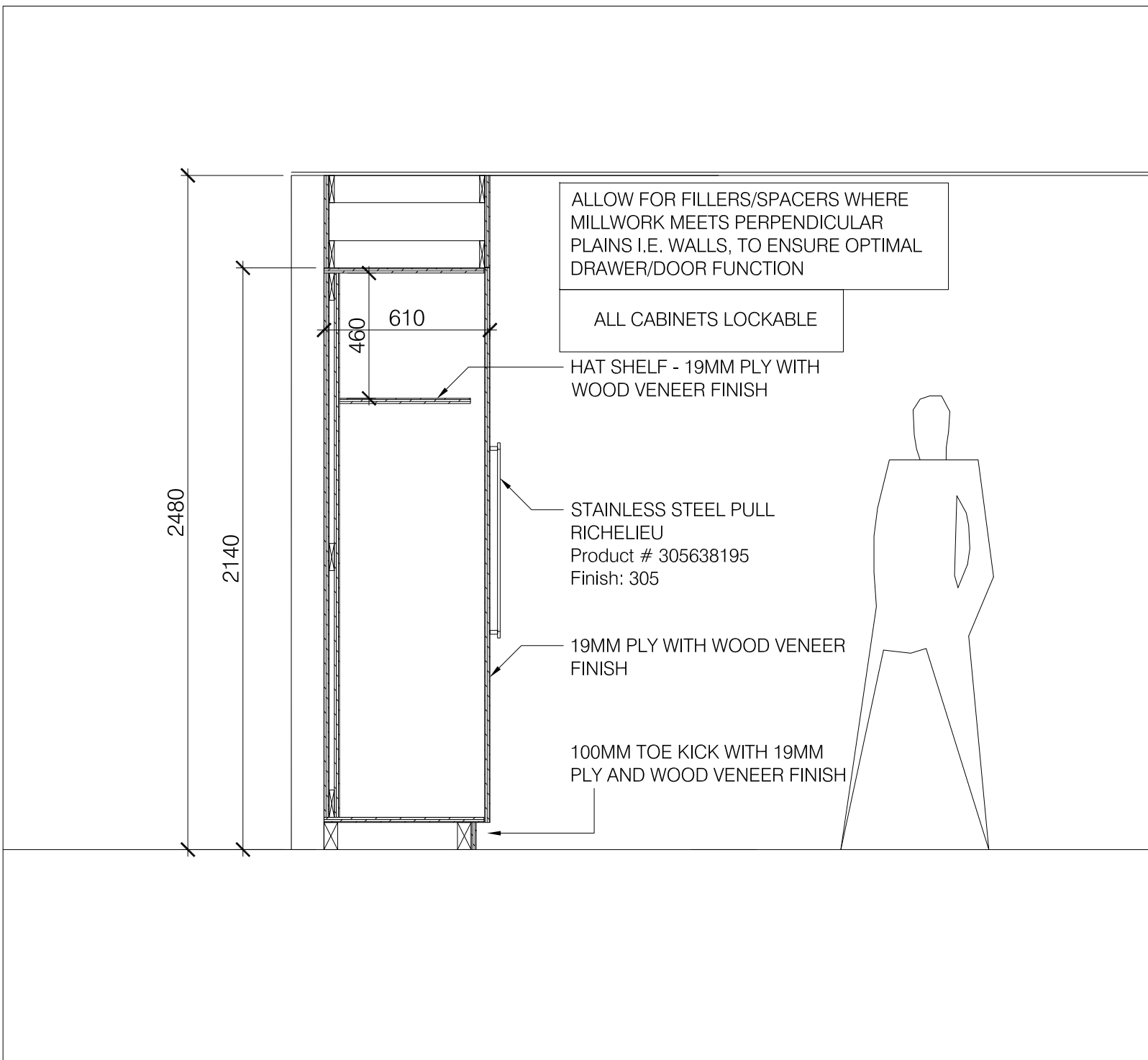
1 PLAN - SECURITY
A606 SCALE - NTS



2 ELEVATION - SECURITY
A606 SCALE - NTS

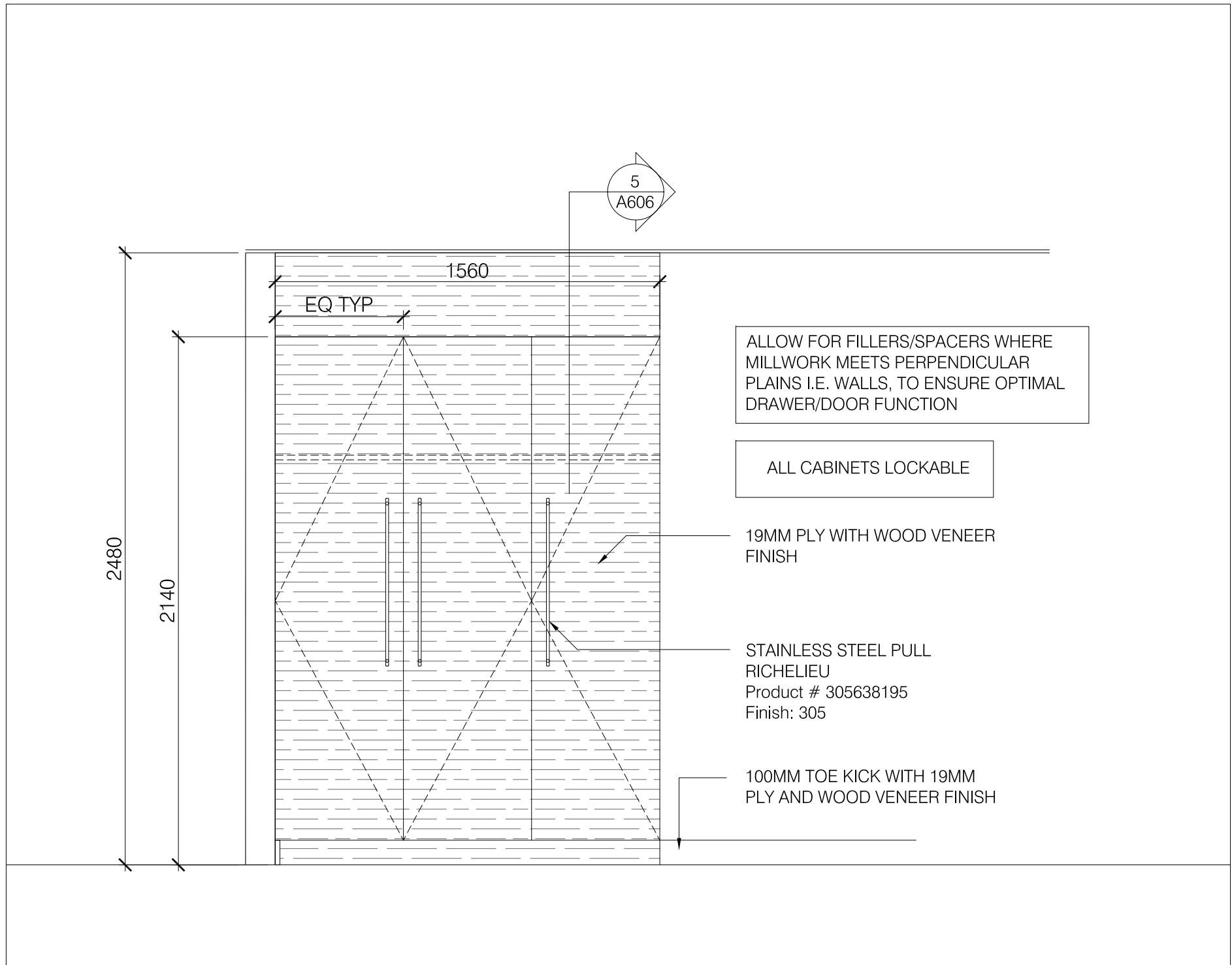


4 SECTION - SECURITY
A606 SCALE - NTS



5 SECTION - SECURITY
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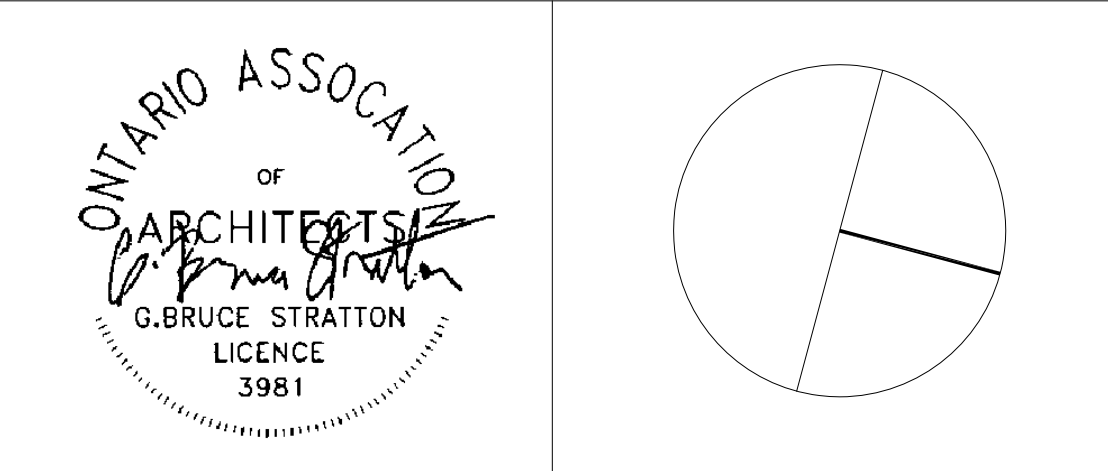
- MILLWORK NOTES
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 - NO ADDED UREA FORMALDEHYDE IN MILLWORK. 100% FSC CERTIFIED WOOD FOR ALL WOOD PRODUCT



3 ELEVATION - SECURITY
A606 SCALE - NTS

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York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES
FLOOR: GROUND FLOOR
BASE DATE: JUNE 2023
PROJECT:

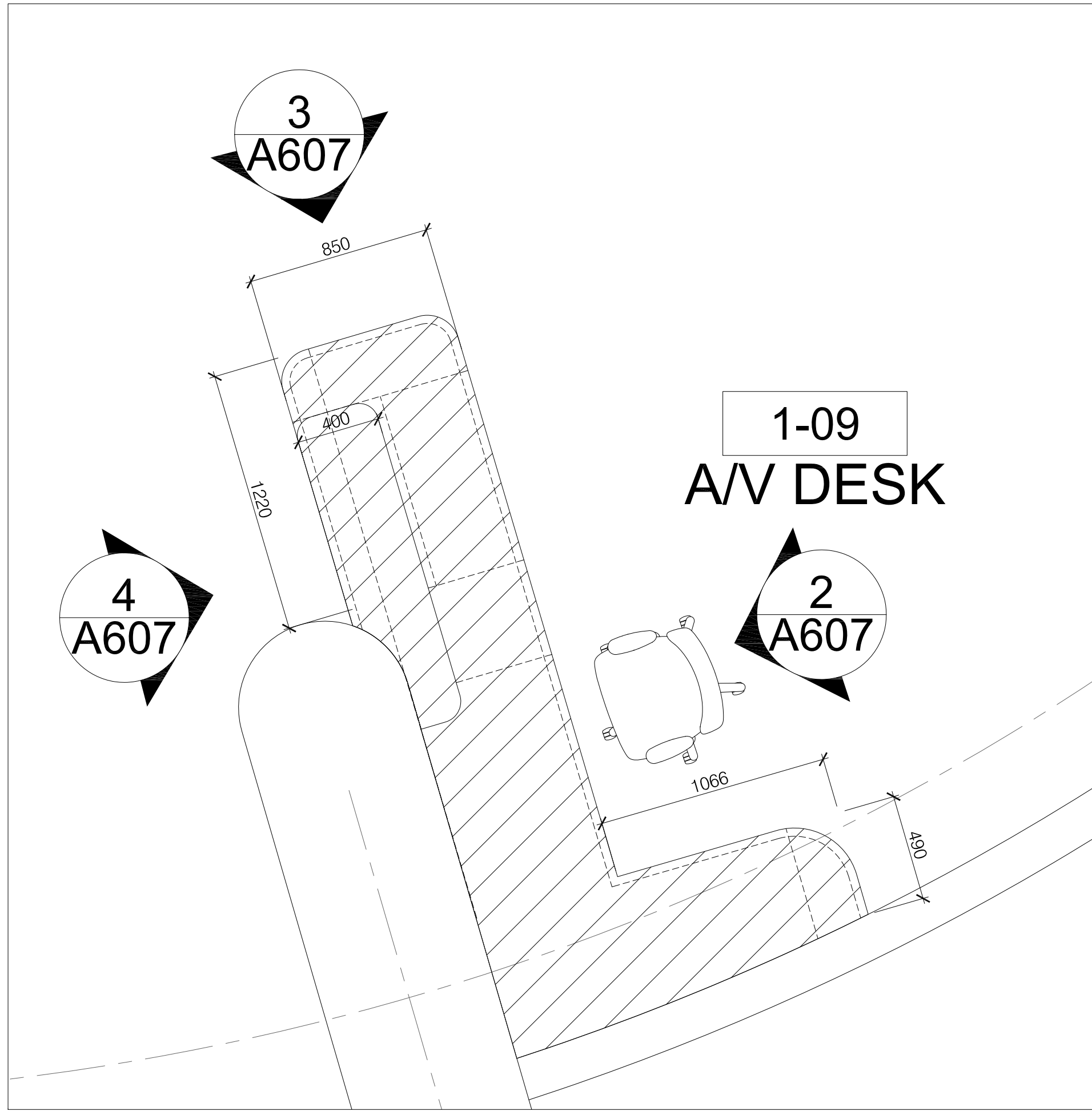
TENDER #
RFTC-1131-23-C22020
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

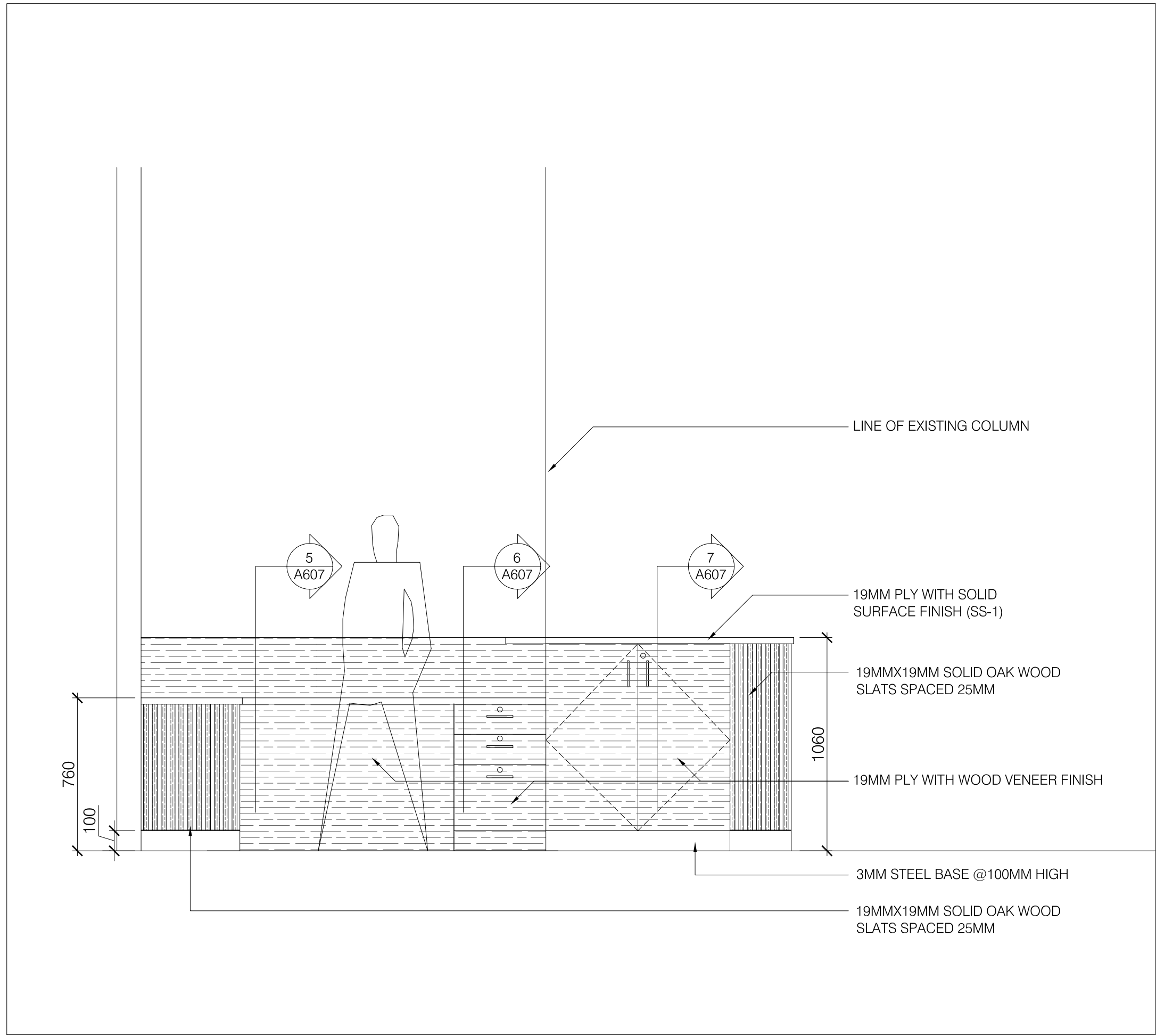
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SUBMITTED TO: MUNICIPALITY OF YORK
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DETAILS

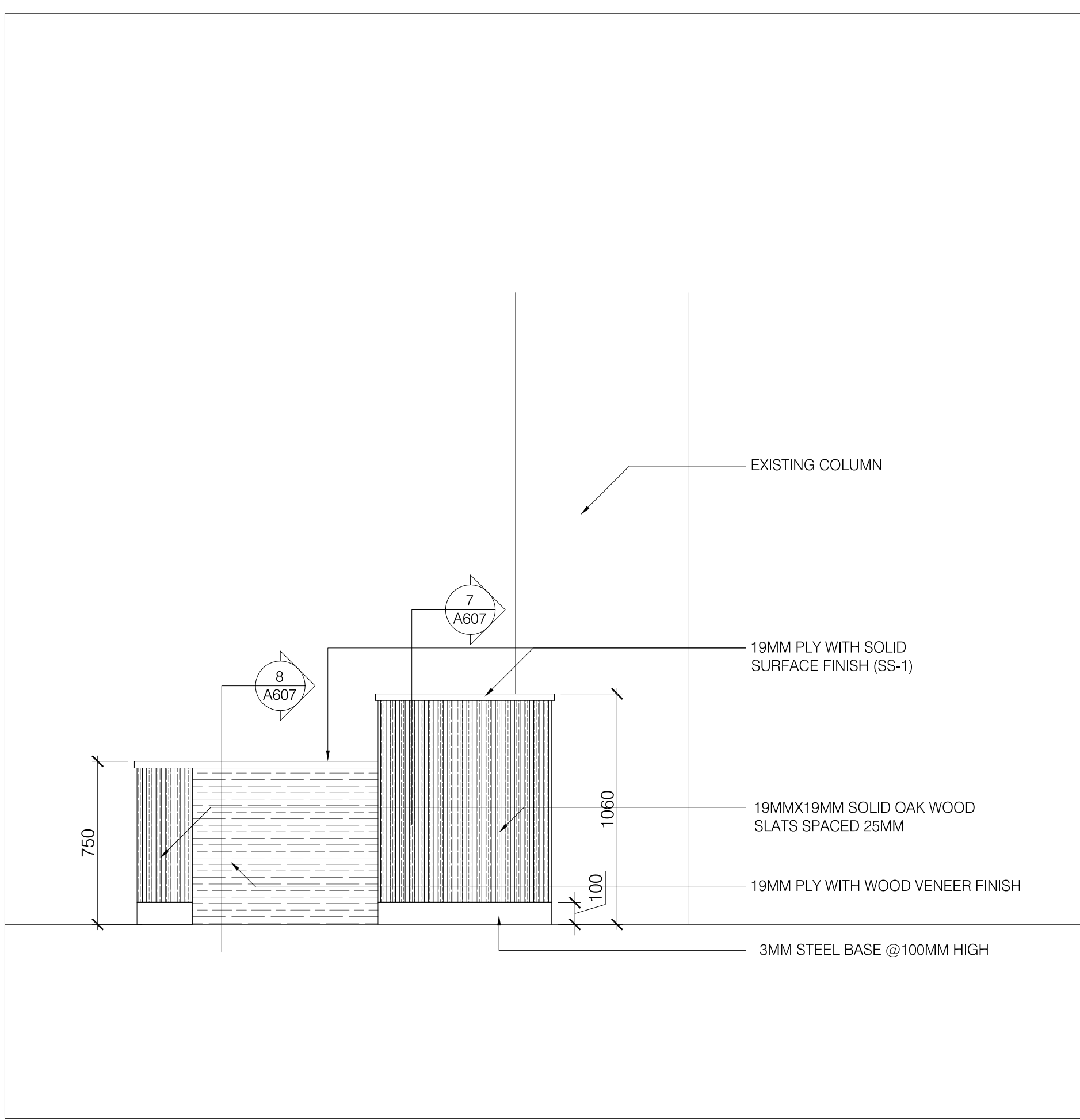
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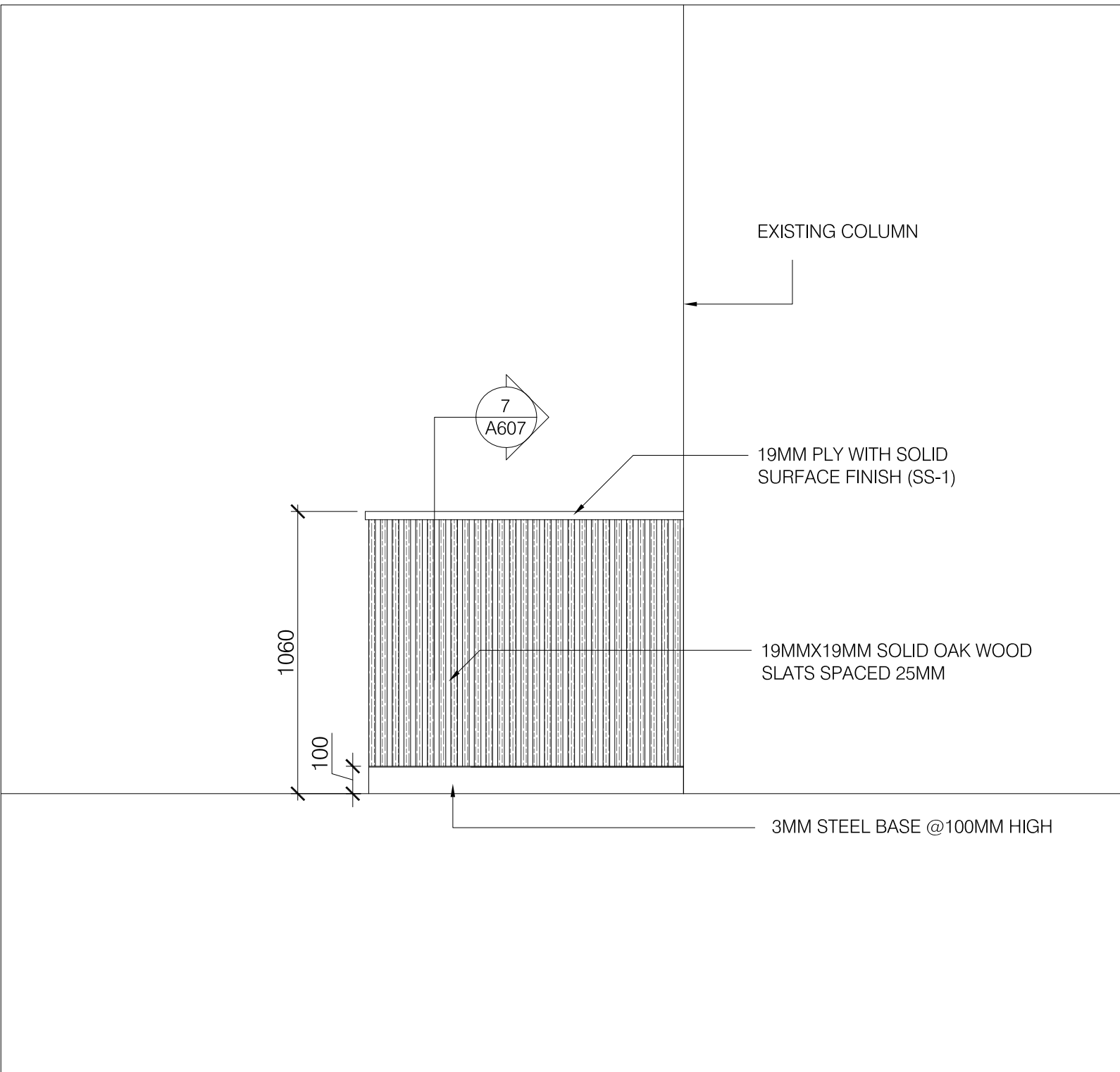
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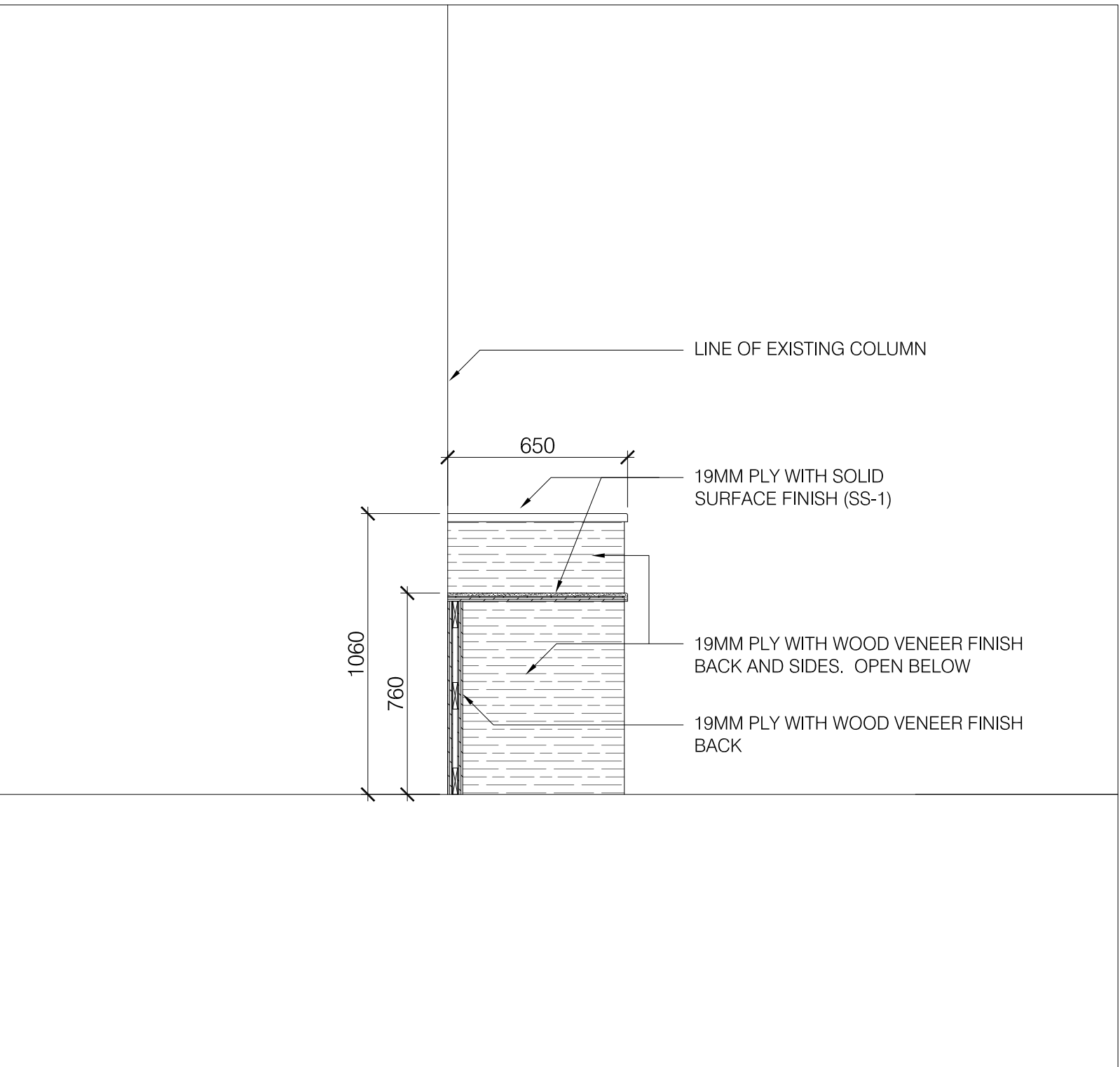
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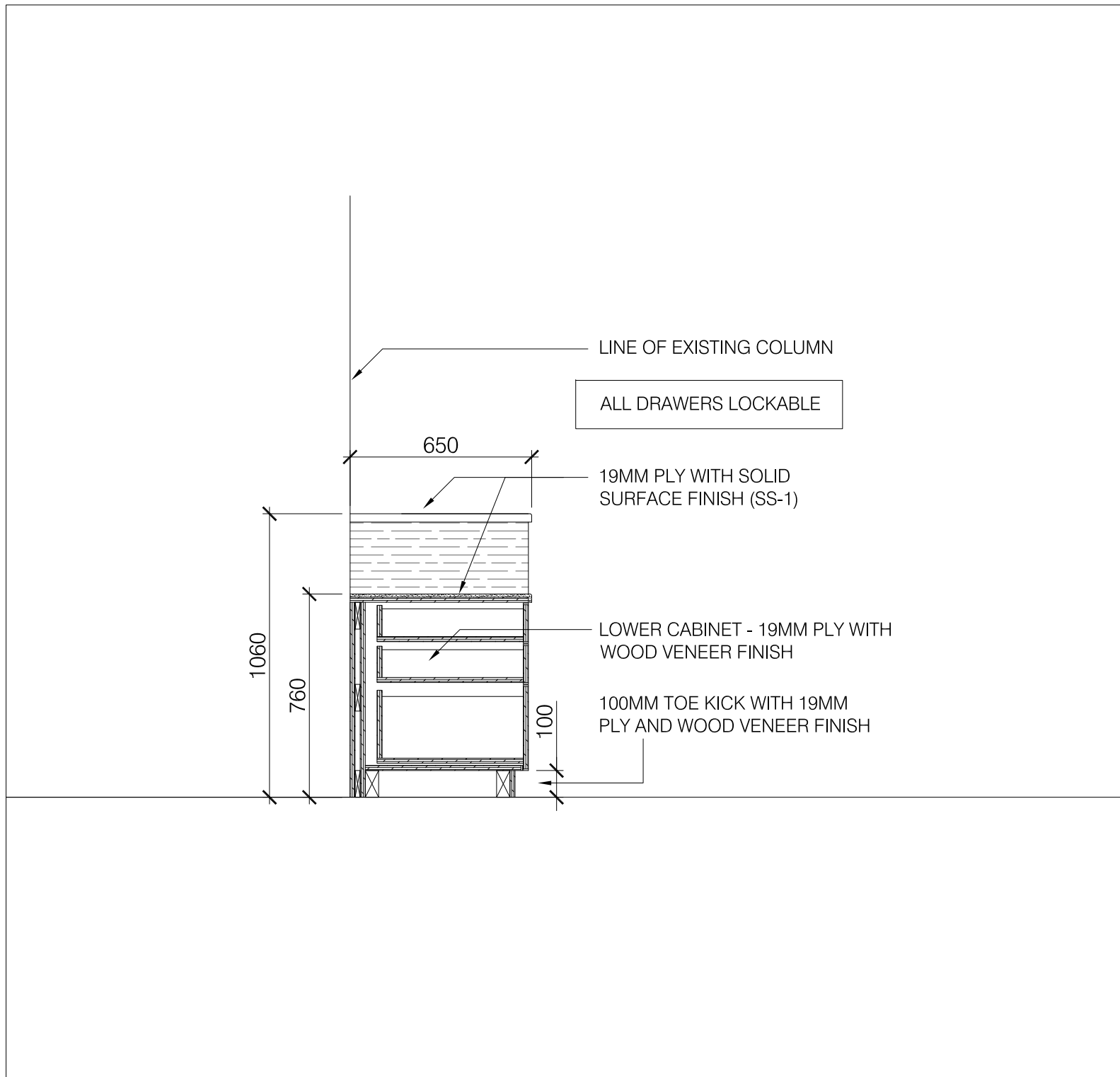
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SCALE - NTS



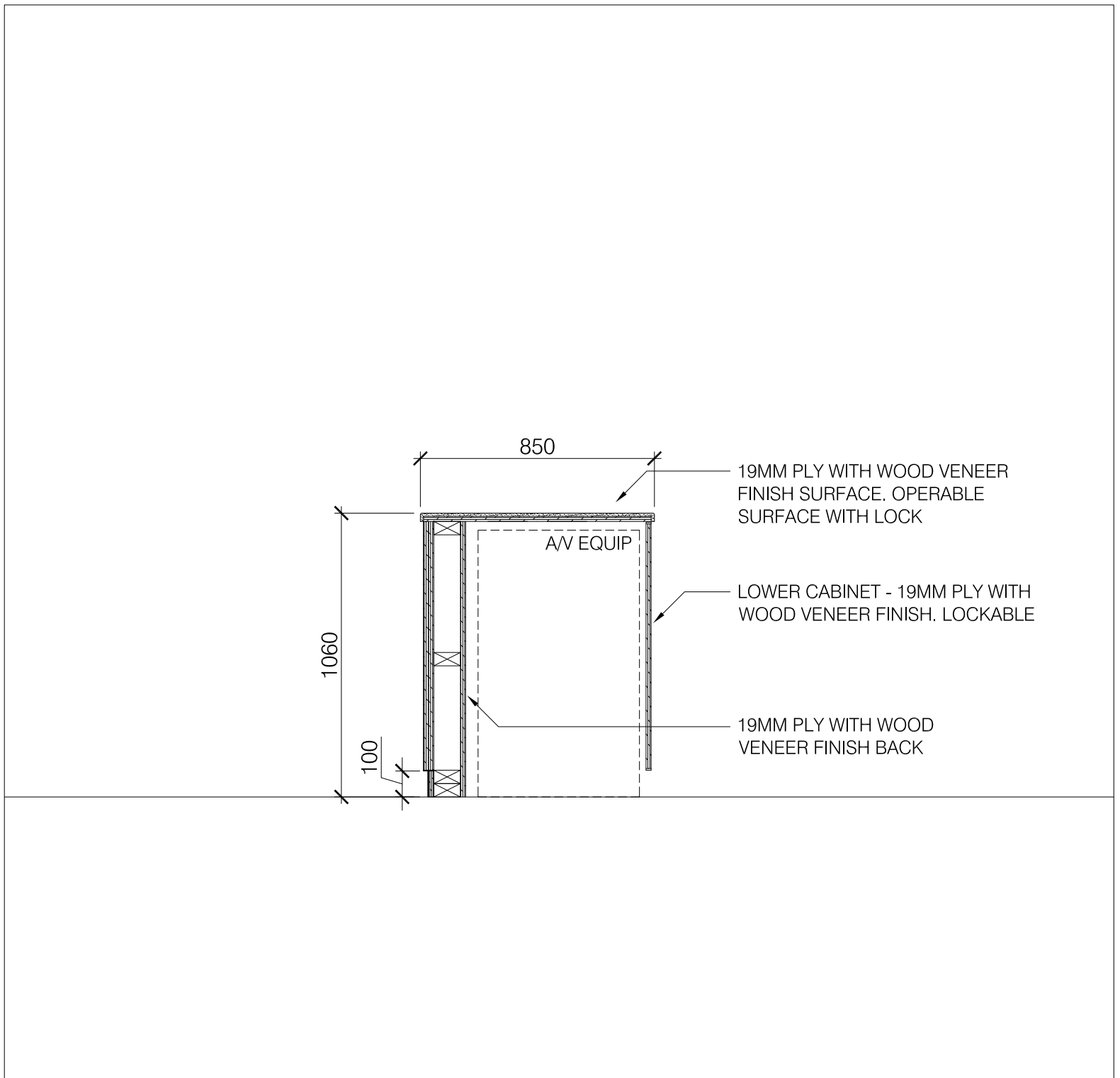
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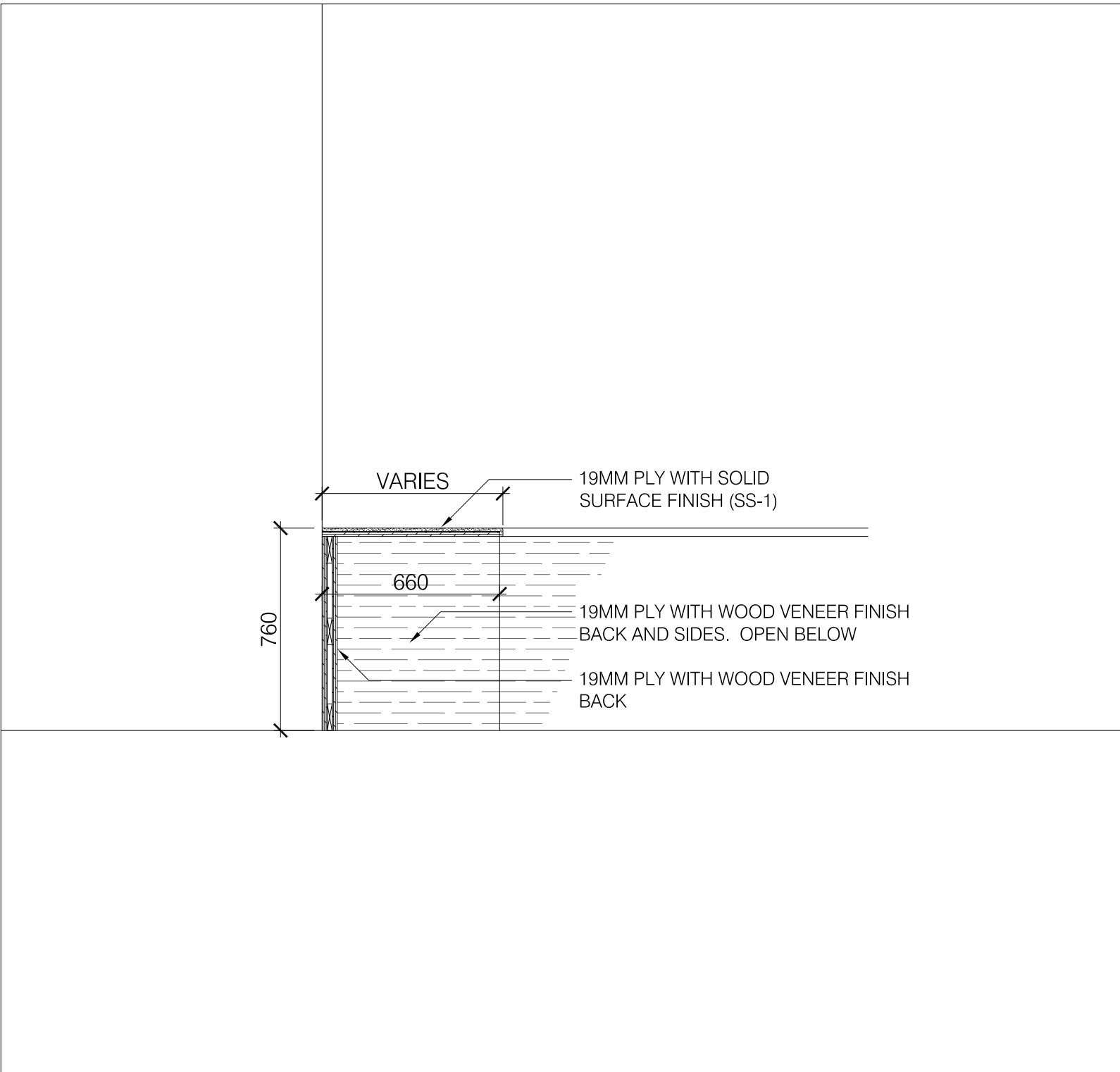
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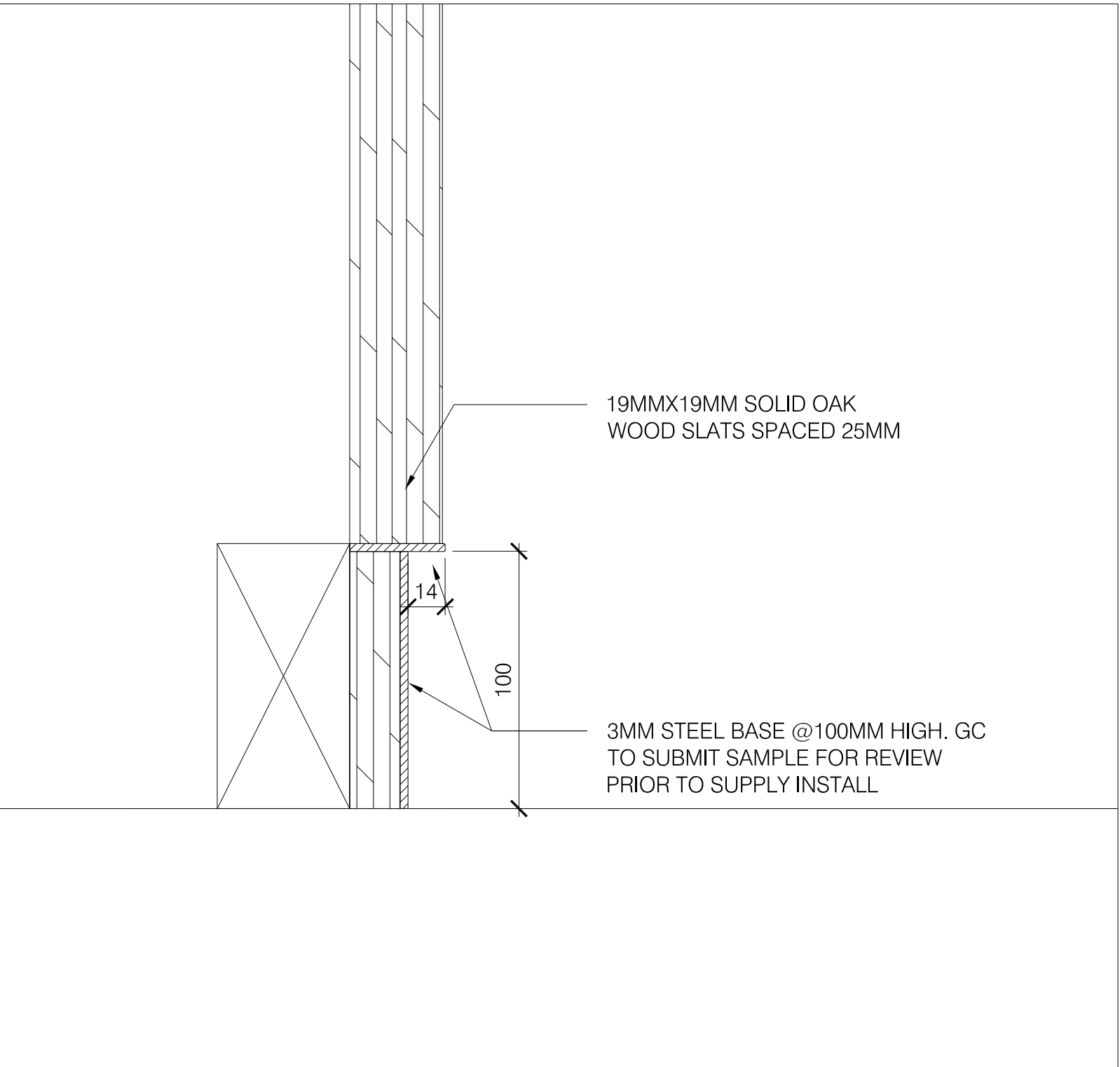
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7 SECTION - AV DESK
SCALE - NTS



8 SECTION - AV DESK
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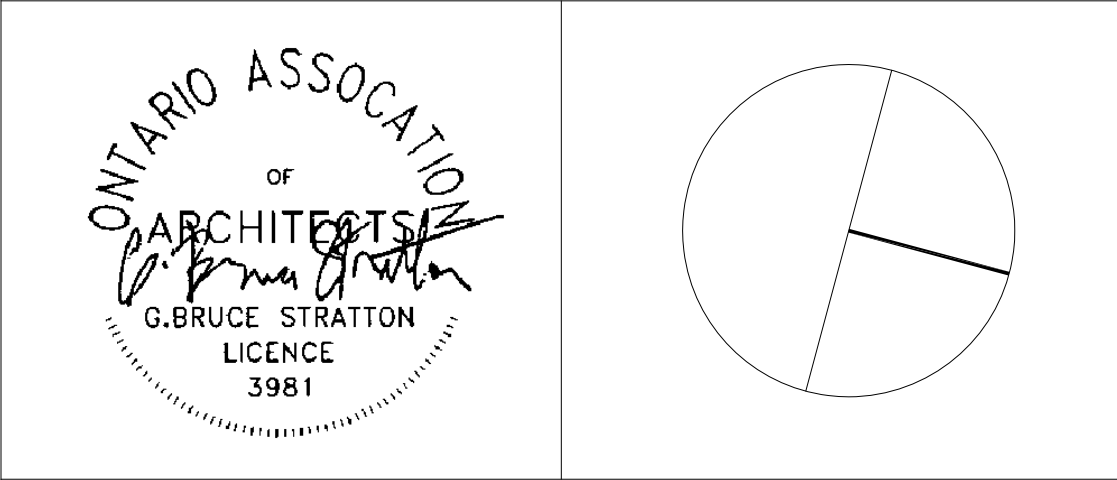
9 SECTION - STEEL BASE
SCALE - NTS

MILLWORK NOTES

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York Region
PROPERTY SERVICES

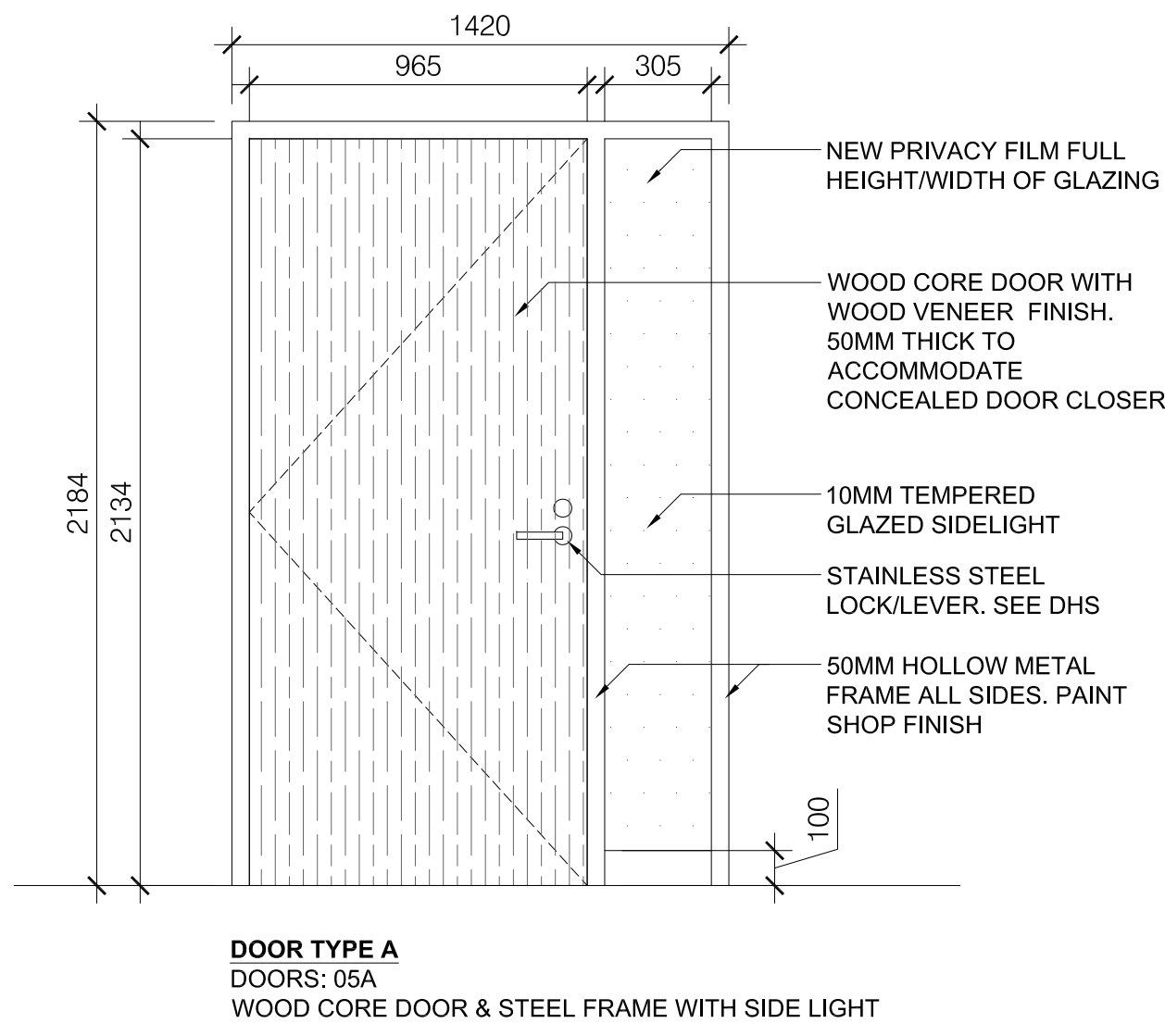
DEPARTMENT: BUILDING & FACILITIES
FLOOR: GROUND FLOOR
BASE DATE: JUNE 2023
PROJECT:

TENDER #
RFTC-1131-23-C22020
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
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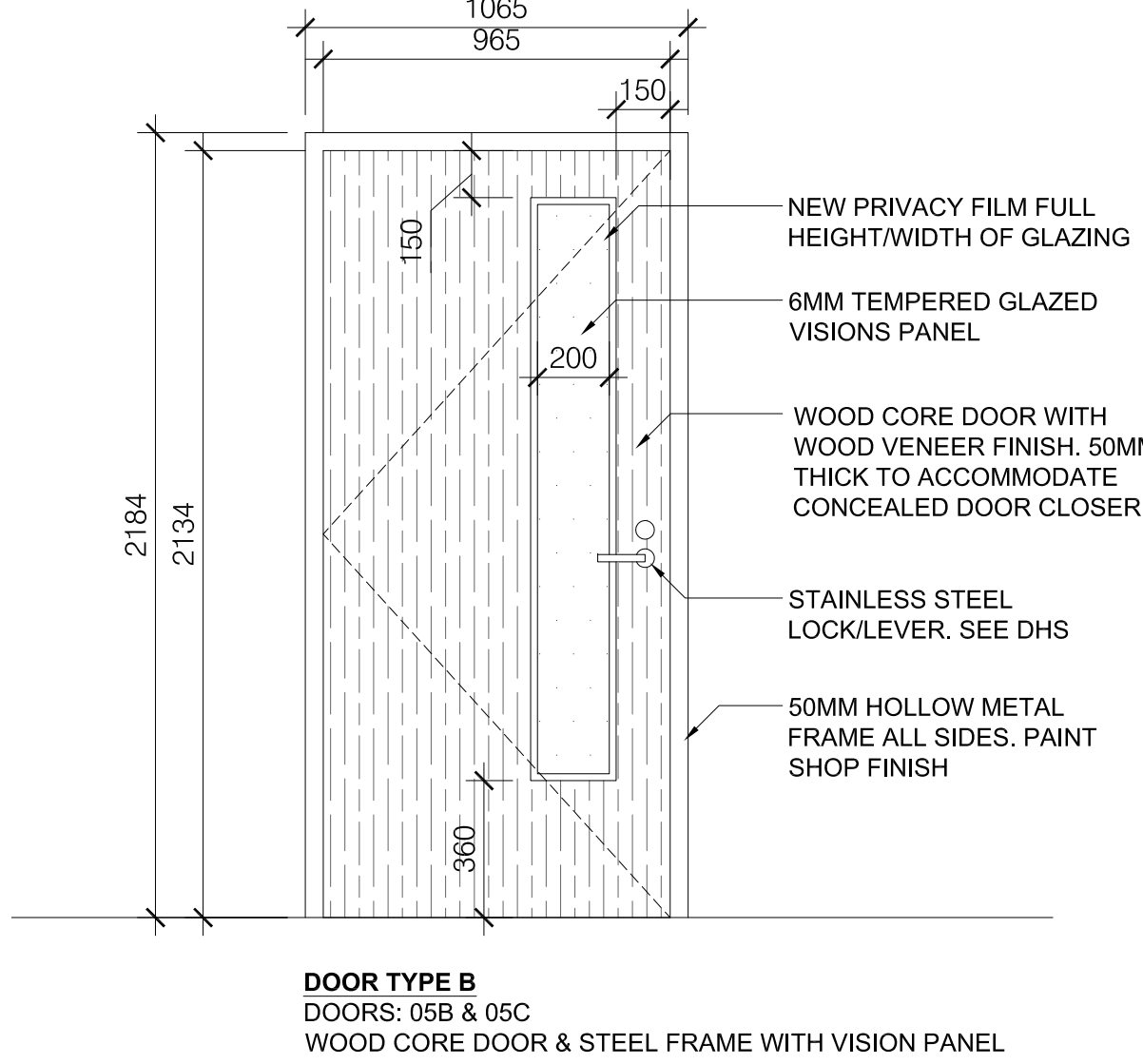
MILLWORK DETAILS

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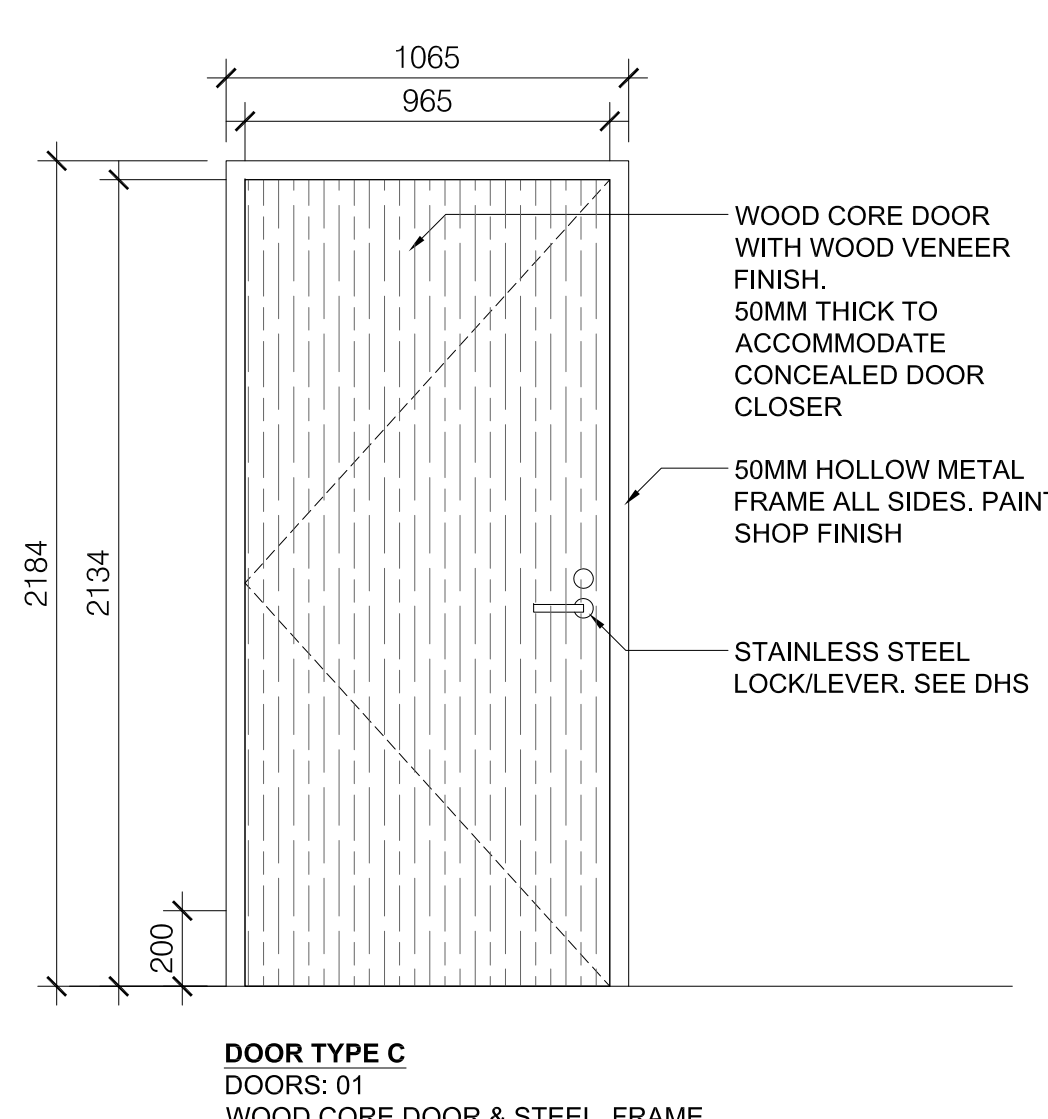
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A608

ELEVATION - DOOR 05A
SCALE - NTS



2
A608

ELEVATION - DOOR 05A
SCALE - NTS



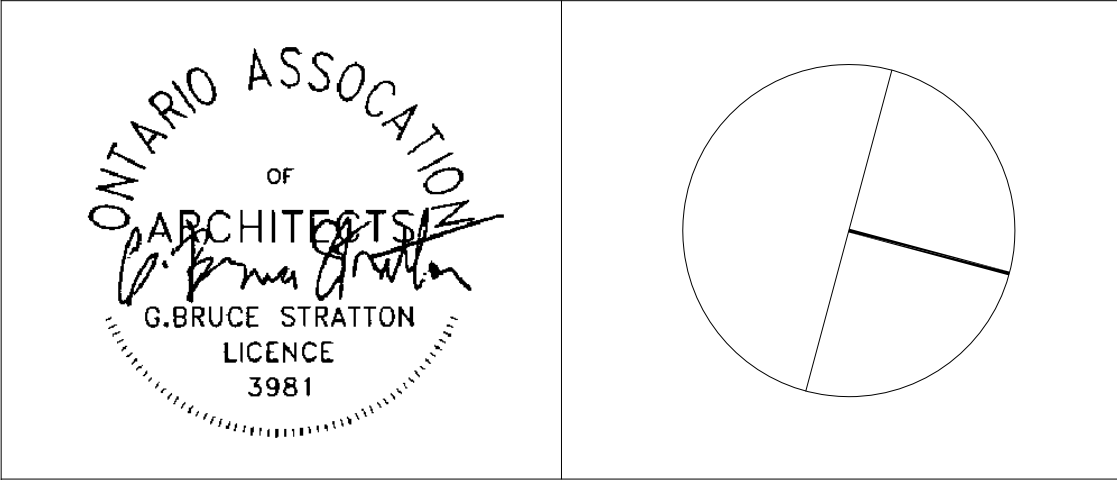
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A608

ELEVATION - DOOR 01 & 05C
SCALE - NTS

| SUBMISSION | DATE | DESCRIPTION |
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| | |
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| FLOOR: | GROUND FLOOR |
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TENDER #
RFTC-1131-23-C22020
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

| | |
|---------------|----------------------|
| SCALE: | AS SHOWN |
| DRAWN BY: | SK |
| SUBMITTED TO: | MUNICIPALITY OF YORK |
| SHEET TITLE: | |

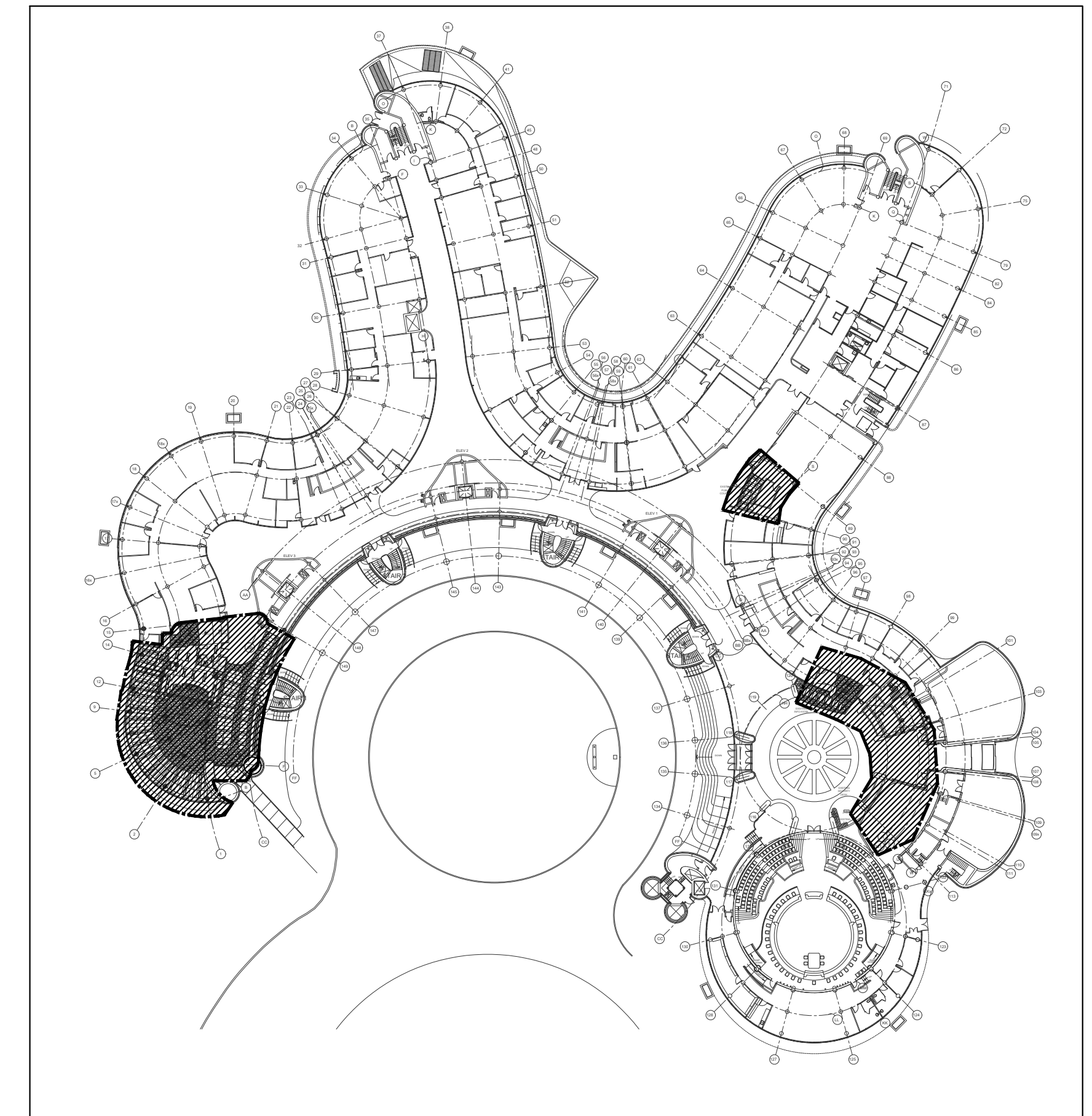
DOORS AND DHS

SHEET NUMBER:

A608



THE REGIONAL MUNICIPALITY OF YORK YORK REGION ADMINISTRATIVE CENTRE



SCOPE OF WORK - 

INTERIOR FIT-UP OF GROUND FLOOR YORK/ DECOMMISSIONING OF CAFETERIA

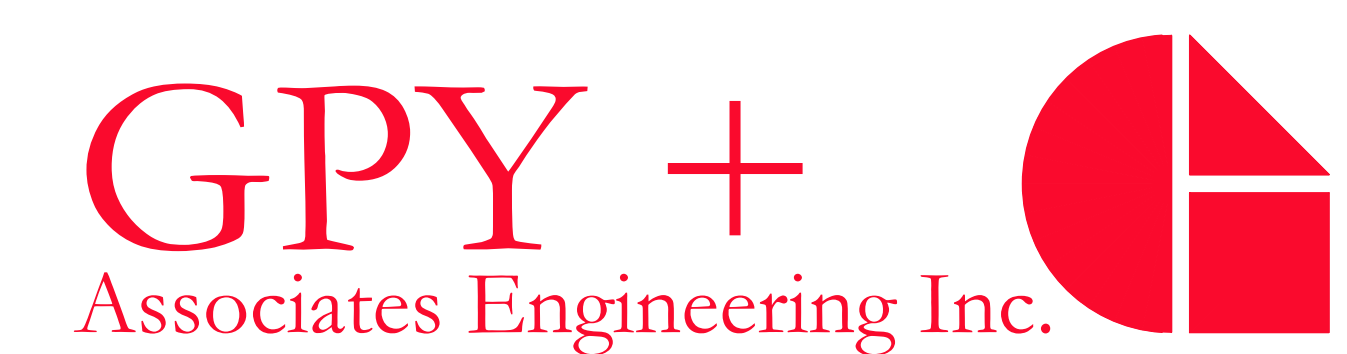
17250 YONGE STREET - GROUND FLOOR
NEWMARKET, ONTARIO L3Y 4W5

| CONTENT | ISSUED FOR | DATE | FILE No. |
|---------------------|-------------------|-------------------|------------|
| MECHANICAL DRAWINGS | ISSUED FOR TENDER | NOVEMBER 17, 2023 | GPY - 9919 |

GPY+ ASSOCIATES ENGINEERING INC. MECHANICAL CONSULTING ENGINEERS

90C Centurian Drive, Unit #6,
Markham, Ontario, L3R 8C5
TEL: (905) 475-3138, FAX: 1(866) 853-3732

E-mail: engineering@gpyengineering.com



| HORIZONTAL FAN COIL UNIT SCHEDULE | | | | | | | | | | | | | | | | | | | | BASIS OF DESIGN: JOHNSON CONTROLS CONTACT INFO: MR. ISAAC MU OFFICE: (905) 747-3388 / MOBILE: (416) 938-9464 | | | | | | | |
|---|------------------|-----------|---|----------|--------------------|------------------|-------------|-----------|------------|------------------|----------|--------------------------|-------------|------------------|-------------|-------------|------------|------------------|------------|--|-----------|------|-------------|----------|-------------|----|---|
| TAG | MFG. | MODEL NO. | AIR FLOW (CFM) FAN SPEED HIGH MEDIUM | ESP (°C) | CHILLED WATER COIL | | | | | | | HOT WATER COIL (RE-HEAT) | | | | | | | ELECTRICAL | | | | WEIGHT (LB) | QUANTITY | | | |
| | | | | | E.A.T. (°F) | CAPACITY (BTU/H) | E.W.T. (°F) | W.T. (°F) | FLOW (GPM) | FLUID P.D. (FTW) | NO. ROWS | E.A.T. (°F) | L.A.T. (°F) | SENSIBLE (BTU/H) | E.W.T. (°F) | L.W.T. (°F) | FLOW (GPM) | FLUID P.D. (FTW) | NO. ROWS | FAN (HP) | MCA/ MSCF | AMPS | | | VOLTS/PH/Hz | | |
| F01-1 | JOHNSON CONTROLS | FHP-006 | 395/H | 0.50 | 80 | 67 | 12864 | 9734 | 47 | 58.9 | 2.2 | 1.54 | 4 | 70 | 95.9 | 11346 | 140.0 | 120.1 | 1.10 | 0.59 | 1 | 1/4 | 1.50/15.0 | 1.20 | 208/1/60 | 81 | 1 |
| <p>FAN COIL UNITS SHALL BE PROVIDED WITH SINGLE POWER LOCATION, 18 GAUGE CABLE, 3-SPEED (LOW, MEDIUM, AND HIGH) FAN WITH RELAY AND TRANSFORMER, ECM MOTOR, INTEGRAL, GALVANIZED DRAIN PAN (FOR COIL & VALVING), MANUAL AIR VENT, VIBRATION ISOLATORS, DISCONNECT, CONDENSATE OVERFLOW SWITCH, LAMACOD LABEL, REAR RETURN AIR WITH MERV-13 FILTERS, AND CONTROL BOX <1/4" TERMINAL STRIP CONTAINING 2 WIRE CONNECTIONS FOR POWER AND 3 CONTROL WIRE CONNECTIONS, WHICH WHEN A SIGNAL IS APPLIED TO, ONE OF THE 3 CONNECTIONS TURNS THE FAN TO HIGH (OPTIONAL ONLY), MEDIUM (OCCUPIED MODE) OR LOW SPEED (UNOCCUPIED MODE OR HIGH HUMIDITY). ALL FAN COIL UNITS SHALL BE LOW PROFILE TYPE - MAXIMUM HEIGHT SHALL BE 270mm. JCI & CONTROLS CONTRACTOR TO COORDINATE DISCONNECTION OF CONDENSATE OVERFLOW SWITCH FROM FAN COIL LOW VOLTAGE POWER SAFETY CIRCUIT FOR CONTROLS CONTRACTOR RE-WIRING TO COOLING VALVE & BMS (SEE NOTE NO. 6 BELOW).</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| NOTES (FOR MECHANICAL CONTRACTORS): | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| <p>1. MECHANICAL CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND INSTALL COMPLETE HVAC SYSTEM INCLUDING ALL CONTROL WIRING AND DEVICES: CONDENSATE OVERFLOW SWITCH, COOLING ACTUATOR INPUT, MOTOR SPEED CONTROL, ROOM AIR TEMPERATURE, AND DISCHARGE AIR TEMPERATURE. ALL FAN COIL UNITS AND SENSORS SHALL BE WIRED TO BMS.</p> <p>2. DISCONNECTS SHALL BE SUPPLIED BY OWNER (REFER TO SCHEDULES) AND INSTALLED AND WIRED BY ELECTRICAL CONTRACTOR - COORDINATE WITH PROJECT MANAGER AND ELECTRICAL CONTRACTOR.</p> <p>3. PROVIDE 20mm CHILLED WATER SUPPLY AND RETURN PIPING WITH ISOLATION VALVES <1/4" MODULATING 2-WAY CONTROL VALVE AND ACTUATOR OR SUPPLY PIPING AND CIRCUIT SETTER ON CHILLED WATER RETURN PIPING - REFER TO DETAILS. NOTE: PIPING NOT SHOWN ON HVAC DRAWINGS FOR CLARITY. PROVIDE TIE-INS (HOT-TAPS) AS REQUIRED. FAN COIL CONTROL VALVE & ACTUATOR SHALL BE BEHIND AND SHALL BE PROVIDED BY THE CONTROLS CONTRACTOR.</p> <p>4. PROVIDE 20mm HEATING WATER SUPPLY AND RETURN PIPING WITH ISOLATION VALVES <1/4" MODULATING 2-WAY CONTROL VALVE (BEHIND) AND ACTUATOR OR SUPPLY PIPING AND CIRCUIT SETTER ON HEATING WATER RETURN PIPING - REFER TO DETAILS. NOTE: PIPING NOT SHOWN ON HVAC DRAWINGS FOR CLARITY. PROVIDE TIE-INS (HOT-TAPS) AS REQUIRED. FAN COIL CONTROL VALVE & ACTUATOR SHALL BE BEHIND AND SHALL BE PROVIDED BY THE CONTROLS CONTRACTOR.</p> <p>5. PROVIDE CONDENSATE (GRIFFTS) DRAIN PIPING TO EXISTING STORM DRAIN/ CONDENSATE MAIN IN CEILING SPACE.</p> <p>6. THE BASE BUILDING CONTROLS CONTRACTOR SHALL CONNECT NEW CONDENSATE OVERFLOW SWITCH ON FAN COIL DRAIN PAN TO INTERLOCKED TO BMS, PROVIDE CONTROL WIRING AS REQUIRED. FLOAT SWITCH SHALL HAVE BMS INPUT AND COOLING VALVE CONNECTIONS. ONCE SWITCH IS ACTIVATED, AN ALARM SIGNAL WILL BE SENT TO BMS & WILL SHUT-OFF THE COOLING VALVE WHILE THE FAN COIL UNIT & CONTROLLER REMAINS OPERATIONAL.</p> <p>7. THE BASE BUILDING CONTROLS CONTRACTOR SHALL PROVIDE NEW DELTA THERMOSTATS MODEL EZW-4 <1/4" LIGHTING CONTROL BUTTON, CO2 SENSOR, AND HUMIDITY SENSOR. THERMOSTAT SHALL MAINTAIN SPACE TEMPERATURE OF 22°C (WINTER)/23.5°C (SUMMER) AND MAXIMUM RELATIVE HUMIDITY OF 60%. IF RELATIVE HUMIDITY REACHES A SETPOINT HIGHER THAN 60%, THE FAN COIL UNIT SHALL OPERATE AT LOW SPEED UNTIL RELATIVE HUMIDITY DROPS TO 50%. DURING UNOCCUPIED MODE, THERMOSTAT SHALL MAINTAIN A MINIMUM OF 15°C AND A MAXIMUM OF 28.5°C. BUSINESS CENTER SHALL BE AT 23.5°C. BASE BUILDING CONTROLS CONTRACTOR TO PROVIDE ALL LOW VOLTAGE CONTROL WIRING.</p> <p>8. PROVIDE TEMPERATURE SENSOR ON DISCHARGE AIR DUCT AND WIRE READING TO BMS.</p> <p>9. PROVIDE NEW BAS CONTROLLER ALONG WITH CONTROL HUB. COORDINATE WITH BASE BUILDING CONTROLS CONTRACTOR.</p> <p>10. ENSURE THAT ALL ACCESS AND CLEARANCE REQUIREMENTS ARE PROVIDED - COORDINATE WITH PROJECT MANAGER AND ALL OTHER TRADES. EXACT LOCATION OF FAN COIL UNIT, DUCTWORK, CONDENSATE DRAINAGE, AND PIPING SHALL BE DETERMINED ON SITE WITH NEW AND EXISTING SERVICES AND EXISTING STRUCTURAL.</p> <p>11. FILTER RACK SHALL BE SECURELY MOUNTED AT RETURN AIR SIDE OF FAN COIL UNIT. FRESH AIR DUCT TO BE INDIRECTLY TERMINATED AT FILTER LOCATION.</p> <p>12. FILTER FOR FAN COIL UNIT SHALL BE LIMITED TO NOMINAL SIZES LISTED BELOW:</p> <p>13. 31" x 10.5" x 1" FOR MODEL FHP-006</p> | | | | | | | | | | | | | | | | | | | | | | | | | | | |

| DIFFUSER SCHEDULE | | | BASIS OF DESIGN: E.A.H. PRICE EQUAL IN: METALARE, NALOR, TITUS | |
|-------------------|-----------|--|---|--|
| REF. | MODEL No. | DESCRIPTION | REMARKS | |
| A | SDCA | 800MMX800MM SQUARE CONE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR 1" BAR OR DRYWALL MOUNTING, C/M VOLUME DAMPER AT DIFFUSER NECK | B12 WHITE POWDER COAT FINISH | |
| B | 530 | 45° DEFLECTION TRANSFER AIR GRILLE - WALL/CEILING MOUNTED, FIXED LOUVERS, 3/4" BLADE SPACING, FRONT BLADES PARALLEL TO LONG DIMENSION, SUITABLE FOR DRYWALL MOUNTING. | B12 WHITE POWDER COAT FINISH | |
| | | | | |
| | | | | |
| | | | | |

| FAN COIL UNITS CONTROL SEQUENCES | |
|---|--|
| GENERAL 1. OFFICE SPACE TEMPERATURE SENSORS SHALL MAINTAIN TEMPERATURE SETPOINTS AND SHALL BE CONTROLLED BY THE BAS SYSTEM. THE ZONE SENSOR SHALL BE ADJUSTABLE TO WITHIN 0.5°C. THE TEMPERATURE SENSOR SHALL BE PRODUCT OF THE BASE BUILDING CONTROLS CONTRACTOR AND DESIGNED SPECIFICALLY FOR THE ACTIVATED CONTRACTOR. THE ZONE SENSOR SHALL HAVE THE FOLLOWING FEATURES: A. ZONE SETPOINT ADJUSTMENT B. NIGHT SETBACK TEMPERATURE OVERRIDE BUTTON TO PROVIDE OCCUPIED CONDITIONS DURING UNOCCUPIED TIMES. C. NIGHT SETBACK OVERRIDE CANCEL BUTTON TO END THE OVERRIDE CONDITION. D. HUMIDITY SENSOR. 2. ALL TEMPERATURE SETTINGS, TIME DELAYS AND PERCENTAGE VALUES USED IN THE FOLLOWING SEQUENCES ARE ADJUSTABLE BY THE SYSTEM OPERATORS. 3. TIME DELAYS ON THE DIGITAL OUTPUTS SHALL PREVENT THE EQUIPMENT FROM SHORT CYCLING. 4. ON CALL FOR HEATING, HEATING CONTROL VALVE SERVING WALL-FIN HEATER SHALL MODULATE TO MAINTAIN ROOM TEMPERATURE SETPOINT, AND CHILLED WATER CONTROL VALVE ON FAN COIL UNITS SERVING PERIMETER ZONES SHALL BE LOCKED OUT. 5. ALARMS ARE FORWARDED TO THE FRONT END PC. SYSTEM START/STOP 1. OCCUPIED AND UNOCCUPIED MODES WILL BE DEFINED BY A TIME OF DAY SCHEDULE AND OCCUPANCY STATUS. 2. DURING THE OCCUPIED MODE THE FAN COIL UNIT WILL BE ENABLED AND FAN SHALL OPERATE IN MEDIUM SPEED. THE BAS SHALL MODULATE THE CHILLED WATER CONTROL VALVE AND PERIMETER HEATING VALVE (IF APPLICABLE) TO MAINTAIN SPACE TEMPERATURE SETPOINT. 3. DURING THE UNOCCUPIED MODE THE FAN COIL UNIT SHALL BE OFF. SHUT-OFF FAN COIL UNIT SHALL BE 5 MINUTES DELAY UNDER UNOCCUPIED MODE. 4. DURING OCCUPIED PERIODS, THE FAN COIL UNIT WILL OPERATE CONTINUOUSLY. WHEN THE SPACE TEMPERATURE IS BELOW THE UNOCCUPIED HEATING SETPOINT OR ABOVE THE UNOCCUPIED COOLING SETPOINT, THE HEATING (PERIMETER WALL-FIN) OR COOLING (FAN COIL) CONTROL VALVE WILL BE ENABLED AND THE CONTROLLER WILL SEND A REQUEST. THE CONTROL VALVE WILL OPERATE UNTIL THE SPACE TEMPERATURE HAS RISEN 2°C ABOVE THE UNOCCUPIED HEATING SETPOINT OR DROPPED 2°C BELOW THE UNOCCUPIED COOLING SETPOINT AND A 20 MINUTE MINIMUM RUN TIME HAS EXPIRED. SETPOINT AND CONTROL 1. SPACE TEMPERATURE SETPOINTS WILL BE SET TO: (i) 22°C HEATING AND 24.0°C COOLING IN THE OCCUPIED MODE. (ii) 22°C HEATING IN MORNING WAKE-UP MODE. (iii) 15°C HEATING AND 28.5°C COOLING IN THE UNOCCUPIED MODE. FAN SPEED FAN COIL UNITS SHALL BE PROVIDED WITH 3-SPEED (LOW, MEDIUM, AND HIGH) FAN WITH RELAY, TRANSFORMER AND ECM MOTOR. 1. FAN TURNS TO HIGH SPEED WHEN SPACE TEMPERATURE IS ABOVE SETPOINT AND REQUIRES DEMONSTRATION. | |
| ALARMS AN ALARM SHALL BE ACTIVATED WHEN: 1. THE SPACE TEMPERATURE IS 4°C BELOW SETPOINT (10 MINUTE TIME DELAY). 2. THE SPACE TEMPERATURE IS 2°C ABOVE SETPOINT (10 MINUTE TIME DELAY). 3. THE SPACE TEMPERATURE DROPS BELOW 10°C. TRENDS THE FOLLOWING POINTS WILL BE TRENDED: 1. ALL INPUTS, OUTPUTS AND USER ADJUSTABLE SETPOINTS. PERIMETER HEATING GENERAL 1. ALL TEMPERATURE SETTING, TIME DELAYS AND PERCENTAGE VALUES USED IN THE FOLLOWING SEQUENCES ARE ADJUSTABLE BY THE SYSTEM OPERATORS. 2. HEATING REQUESTS SHALL BE SENT TO THE HEATING SYSTEM. A HEATING REQUEST WILL BE GENERATED WHEN THE HEATING VALVE IS MORE THAN 80% OPEN. 3. ALL DIGITAL OUTPUTS ARE EQUIPPED WITH ON/OFF TIME DELAYS TO PREVENT SHORT CYCLING. 4. ALL ALARMS WILL BE FORWARDED TO THE OPERATOR WORKSTATION. 5. ON CALL FOR HEATING, HEATING CONTROL VALVE SERVING WALL-FIN HEATER SHALL MODULATE TO MAINTAIN ROOM TEMPERATURE SETPOINT, AND CHILLED WATER CONTROL VALVE ON FAN COIL UNITS SERVING PERIMETER ZONES SHALL BE LOCKED OUT. ALARMS AN ALARM SHALL BE ACTIVATED WHEN: 1. ROOM TEMPERATURE DROPS 4°C BELOW SETPOINT (10 MINUTE DELAY). 2. ROOM TEMPERATURE IS ABOVE 31°C. 3. ROOM TEMPERATURE IS BELOW 10°C. TRENDS THE FOLLOWING POINTS WILL BE TRENDED: 1. ALL INPUTS, OUTPUTS AND USER ADJUSTABLE SETPOINTS. NOTE: 1. CONTROLS SHALL BE SUITABLE FOR BASE BUILDING SYSTEM AND SHALL BE COMPLETED BY OWNER'S APPROVED CONTROLS CONTRACTOR. 2. PROVIDE ALL CONTROL DEVICES AND WIRING FOR A PROPER AND FUNCTIONAL CONTROLS SYSTEM. 3. CONTROLS CONTRACTOR SHALL PROVIDE ALL LOW-VOLTAGE WIRING. 4. COORDINATE WITH PROJECT MANAGER AND ELECTRICAL CONTRACTOR. | |

| MECHANICAL LEGEND | |
|-------------------|--|
| SYMBOL | DESCRIPTION |
| | SUPPLY AIR DUCT UP |
| | SUPPLY AIR DUCT DOWN |
| | RETURN/EXHAUST AIR DUCT UP |
| | RETURN/EXHAUST AIR DUCT DOWN |
| | TYPE 'A' SQUARE CONE DIFFUSER |
| | NEW TYPE 'C' RETURN AIR GRILLE |
| | NEW SPOT SUPPLY/RETURN AIR DIFFUSER TYPE 'B' |
| | NEW SUPPLY AIR DUCTWORK |
| | ACOUSTICALLY LINED DUCTWORK |
| | EXISTING DUCTWORK TO REMAIN |
| | EXISTING DUCTWORK / EQUIPMENT TO BE REMOVED |
| | FLEXIBLE DUCT COMPLETE WITH SPIN-ON |
| | CONNECT TO EXISTING |
| | NEW CO2 SENSOR |
| | EQUIPMENT DESIGNATION |
| | BALANCING DAMPER |
| | FIRE DAMPER |
| | EXISTING TEMPERATURE SENSOR |
| | NEW TEMPERATURE SENSOR |
| | EXISTING/NEW DOMESTIC COLD WATER |
| | EXISTING/NEW DOMESTIC HOT WATER |
| | EXISTING/NEW DOMESTIC REC. HOT WATER |
| | SANITARY PIPE BELOW GRADE, BURIED |
| | SANITARY ABOVE GRADE |
| | SANITARY VENT |
| | CONDENSATE DRAIN |
| | EXISTING HEATING SUPPLY/RETURN |
| | NEW HEATING SUPPLY/RETURN |
| | NEW FIRE LINE |
| | GATE VALVE |
| | DRAWING NOTES |
| | FLOOR DRAIN |
| | EXISTING DIFFUSER TO BE REMOVED |
| | EXISTING/NEW FIRE HOSE CABINET |
| | EXISTING CHILLED WATER SUPPLY/RETURN |
| | NEW CHILLED WATER SUPPLY/RETURN |
| | CLEAN OUT |
| | PIPE UP, PIPE DOWN |
| | TRAP |
| | CLEANOUT |
| | FIRE EXTINGUISHER |
| | NEW CONCEALED SPRINKLER HEAD |
| | NEW SEMI-RECESSED SPRINKLER HEAD |
| | REMOVE EXISTING SPRINKLER HEAD |
| | EXISTING SPRINKLER HEAD TO REMAIN |
| | A-SIZE OF DIFFUSER/GRILLE/REGISTER |
| | B-MIN AIR QUANTITY (CFM) |
| | C-MAX AIR QUANTITY (CFM) |
| | RELOCATE |

| DRAWING LIST | | |
|--------------|---|--------|
| NO. | DESCRIPTION | SCALE |
| M-100 | MECHANICAL LEGEND, SCHEDULE & DRAWING LIST | N.T.S |
| M-101 | SCHEMATIC DIAGRAM AND DETAILS | N.T.S. |
| M-200 | PARTIAL GROUND FLOOR (AGORA) - HVAC PLAN | 1:100 |
| M-201 | PARTIAL GROUND FLOOR (AGORA) - PLUMBING & FIRE PROTECTION PLAN | 1:100 |
| M-202 | PARTIAL GROUND FLOOR (PUBLIC COUNTER & GREAT HALL) - MECHANICAL DEMOLITION LAYOUT | 1:100 |
| M-203 | PARTIAL GROUND FLOOR (PUBLIC COUNTER & GREAT HALL) - MECHANICAL NEW LAYOUT | 1:100 |

| ACCESS PANEL | |
|---|--|
| MFAB MOW SERIES DRYWALL BEAD ACCESS PANEL. MOW SERIES 16 GAGE SATIN COAT STEEL DOOR AND 16 GAGE SATIN COAT STEEL FRAME. GALVANIZED DRYWALL TAPING BEAD. | |

| SUBMISSION | DATE | DESCRIPTION |
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| 3 | 11-17-2023 | ISSUED FOR TENDER |
| 2 | 09-25-2023 | ISSUED FOR 95% REVIEW |
| 1 | 08-29-2023 | ISSUED FOR 60% REVIEW |

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11/17/2023
G. YOUDELIS
PROVINCE OF ONTARIO

York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND FLOOR

BASE DATE: JUNE 2023

PROJECT:

TENDER #

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

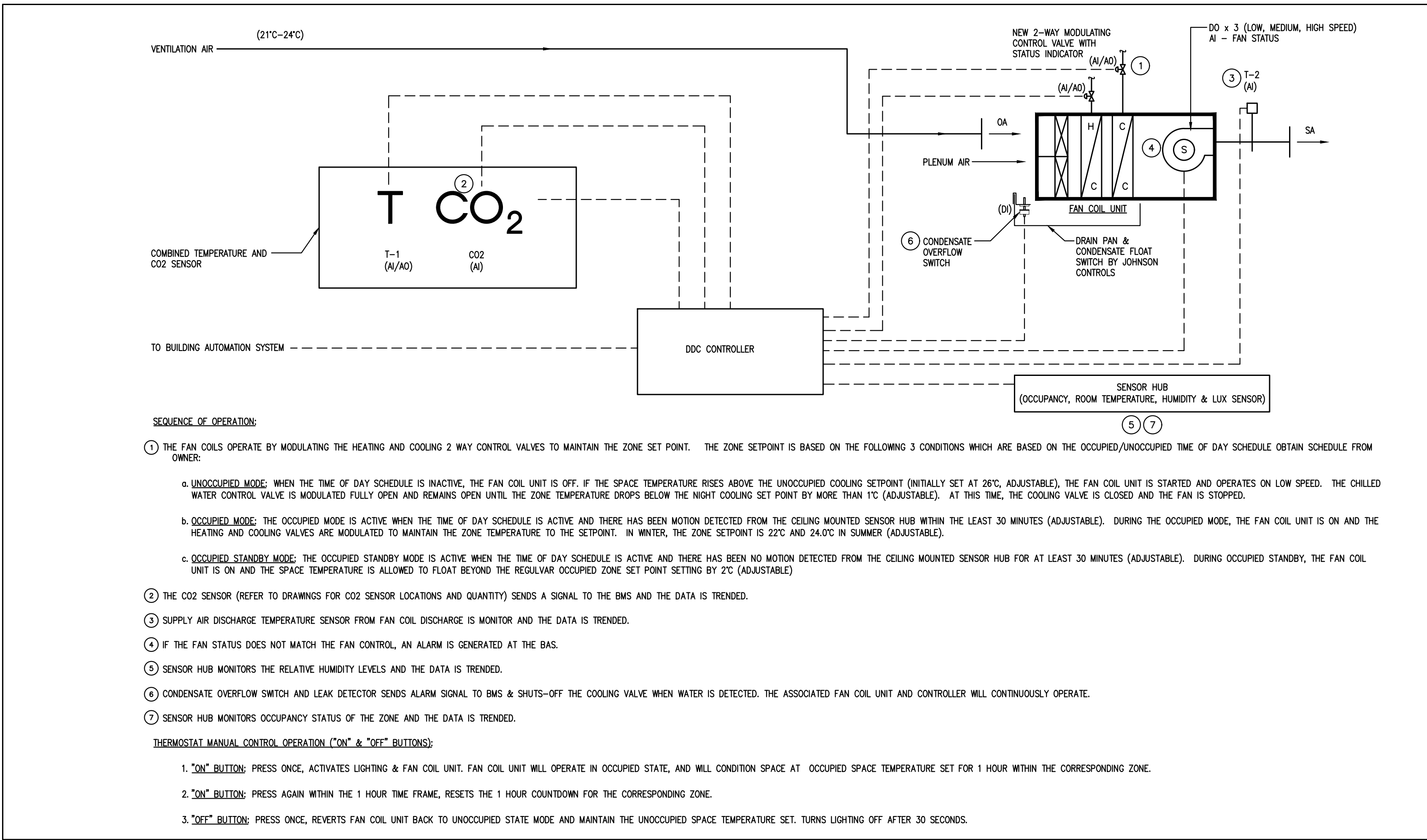
SCALE: AS SHOWN

DRAWN BY: K.J./G.P.Y

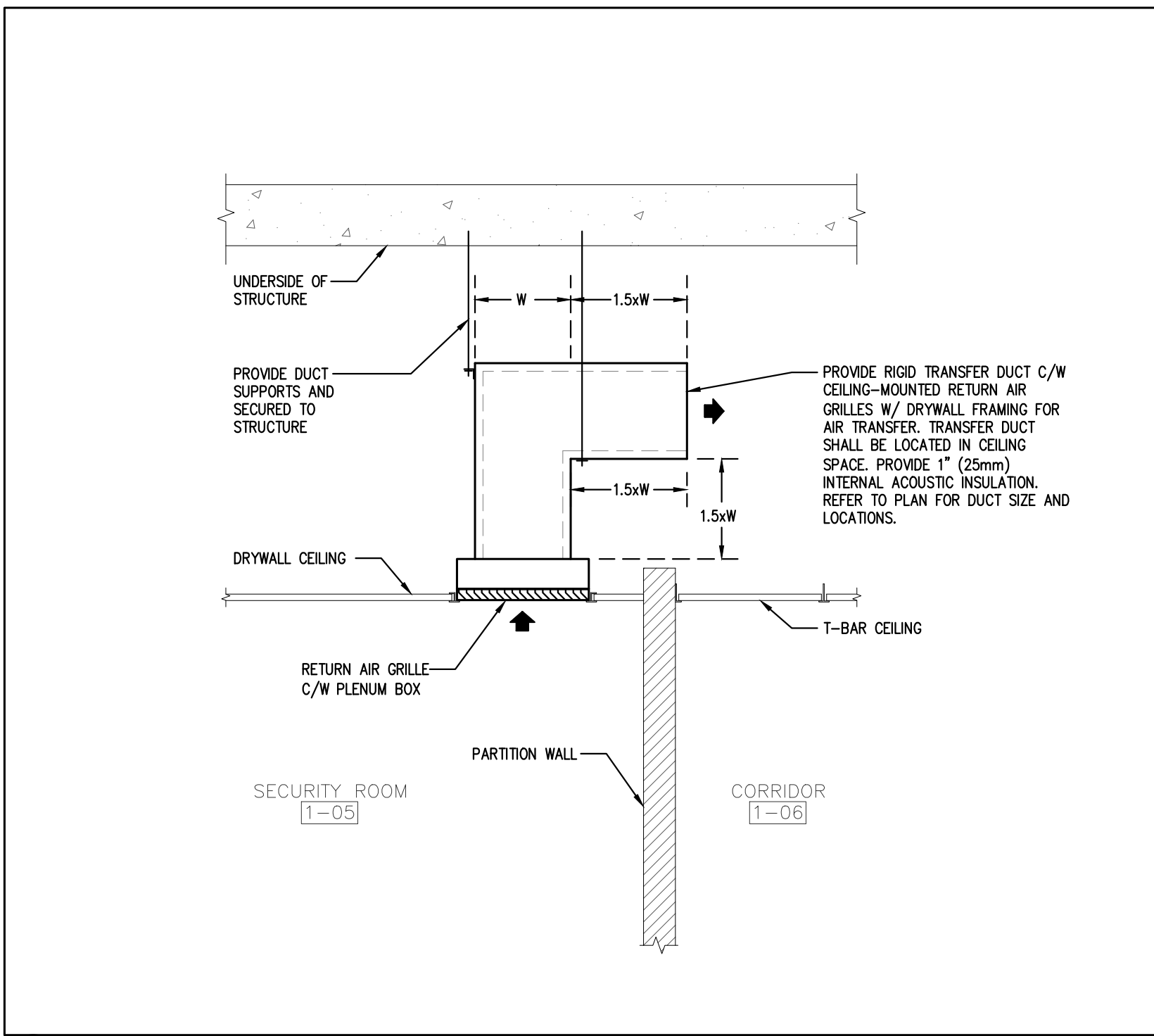
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE: MECHANICAL LEGEND, SCHEDULES AND DRAWING LIST

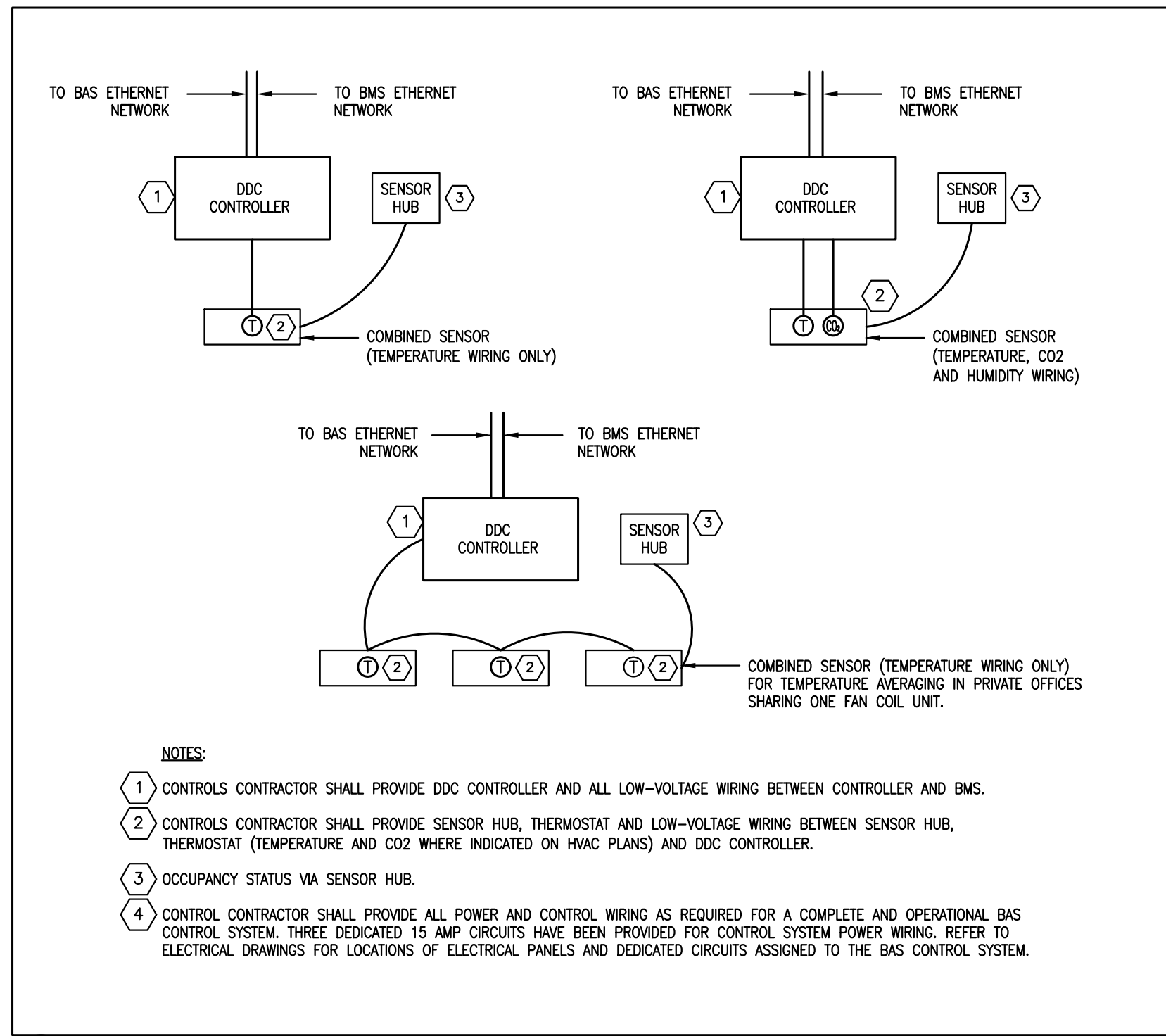
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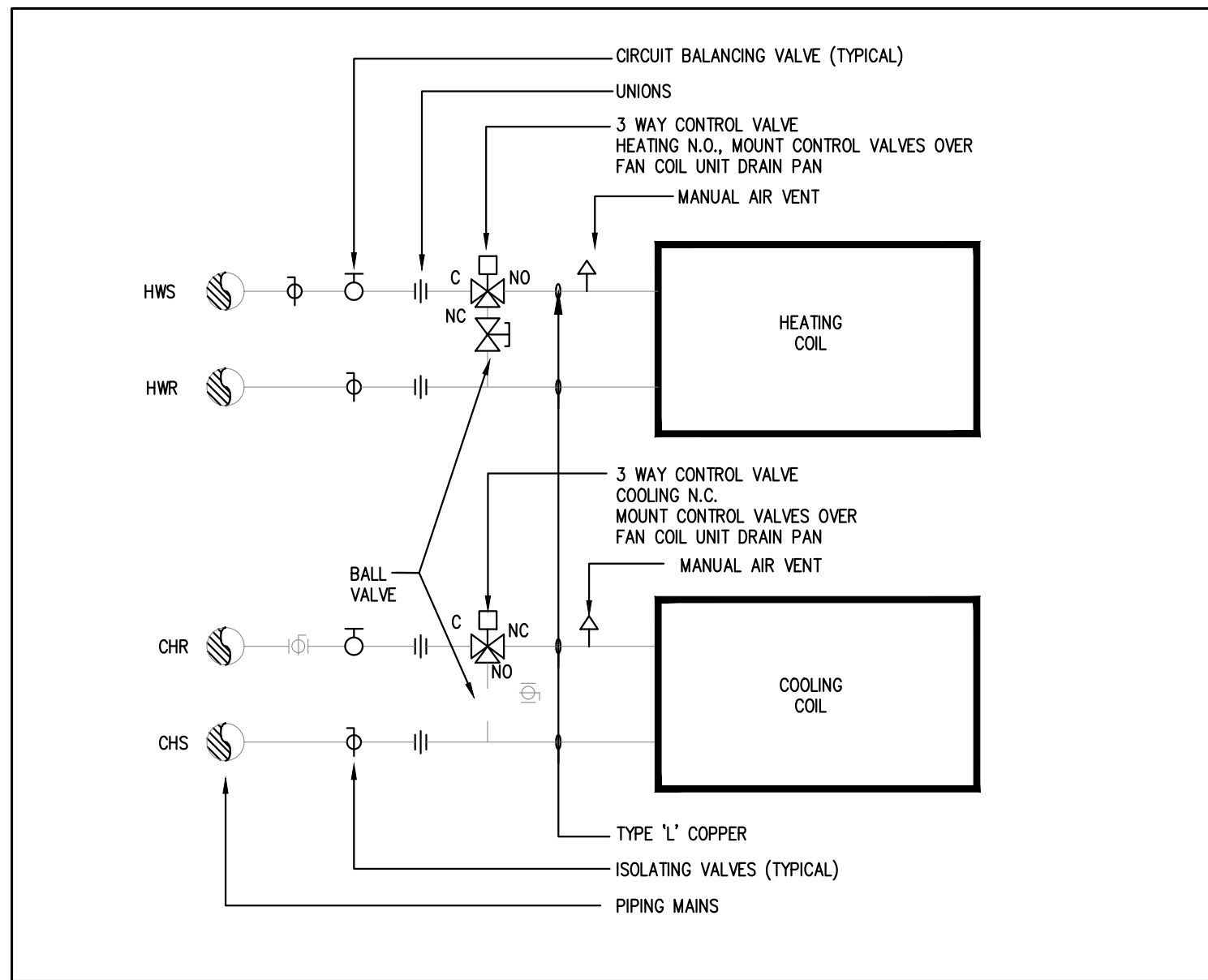
7 FAN COIL UNITS WITH COOLING/ HEATING & CO₂ SENSOR (INTERIOR ZONES)



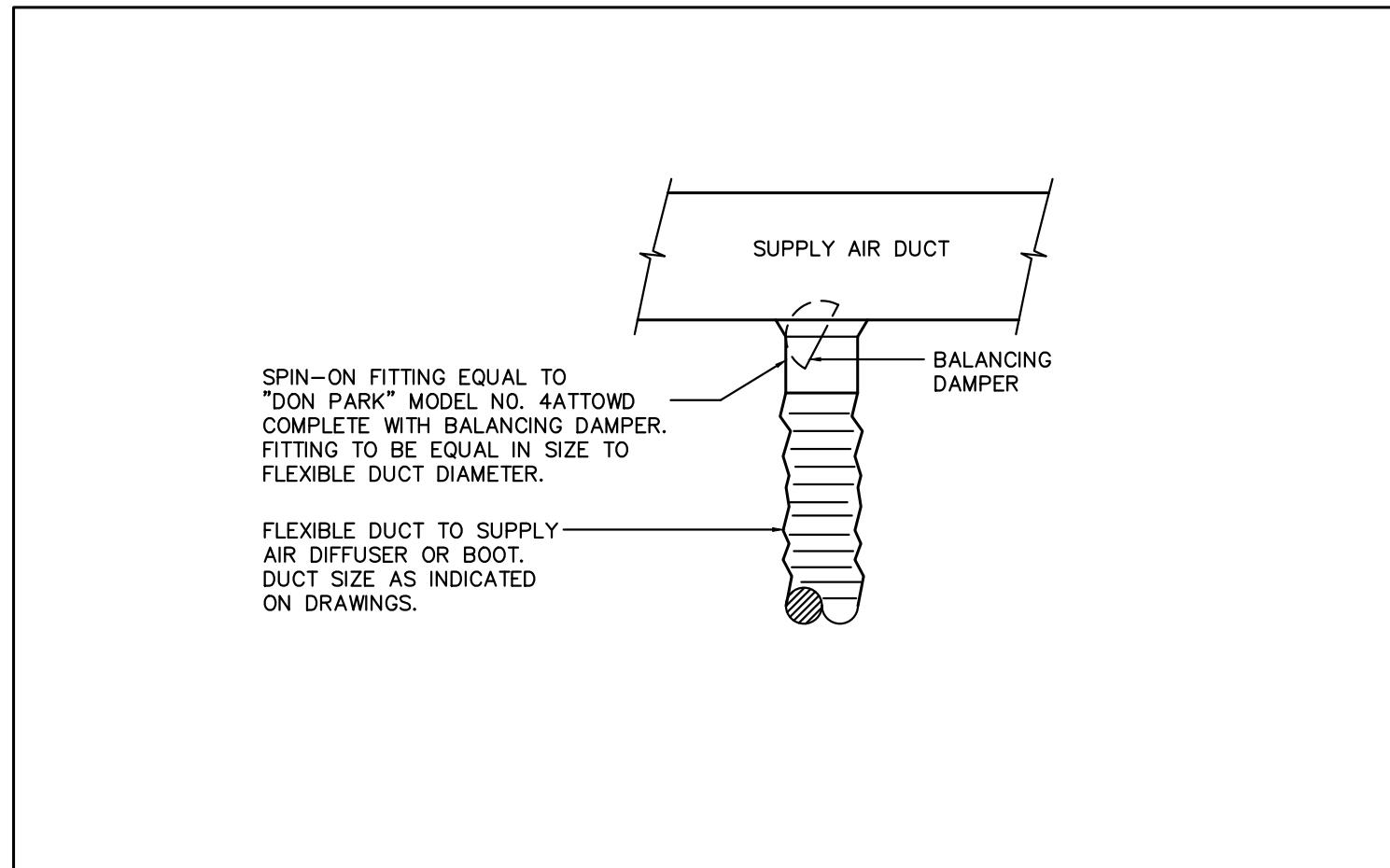
9 CEILING-MOUNTED RETURN GRILLE WITH TRANSFER AIR DUCT DETAIL



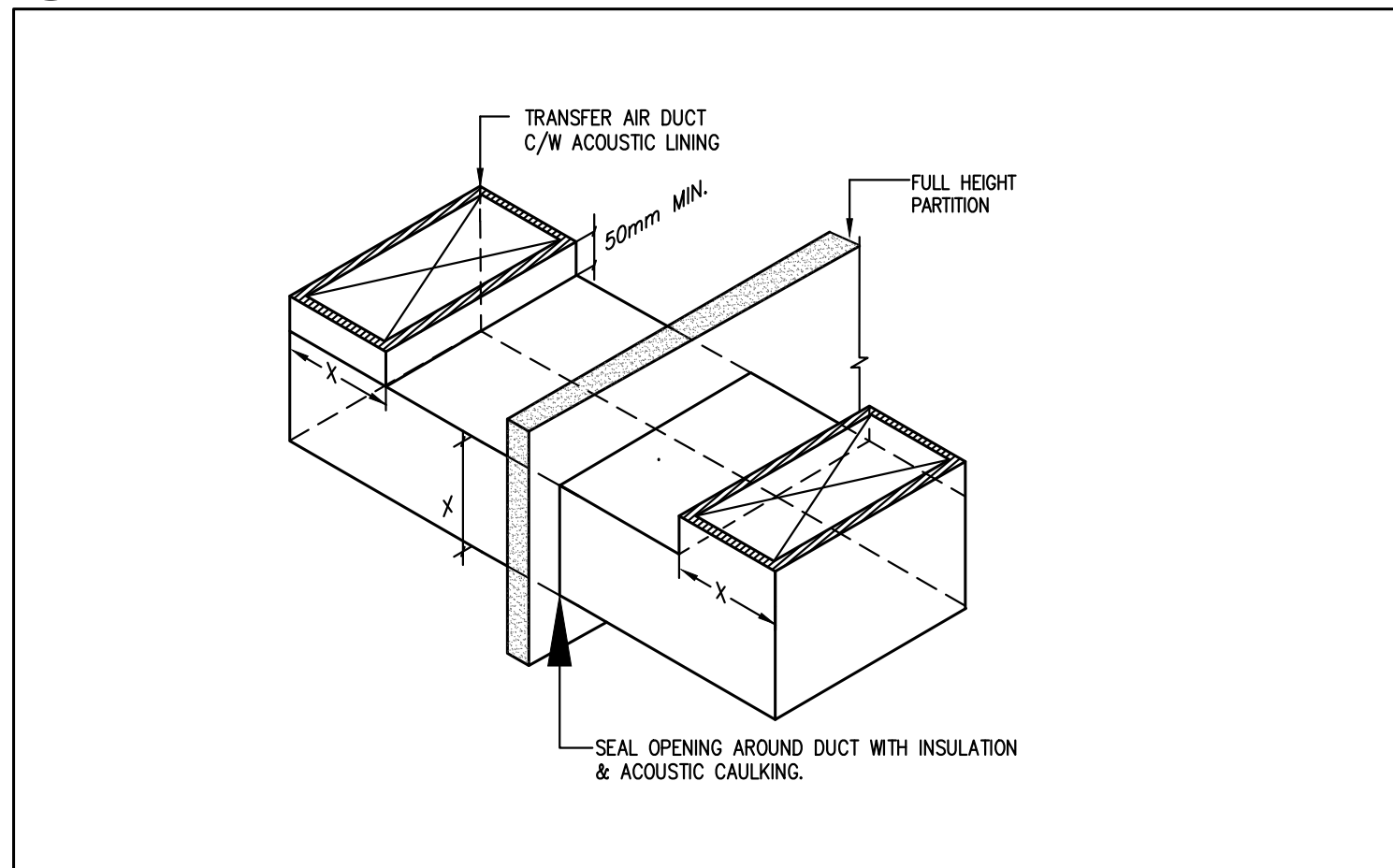
8 CONTROL (LOW VOLTAGE AND POWER) WIRING



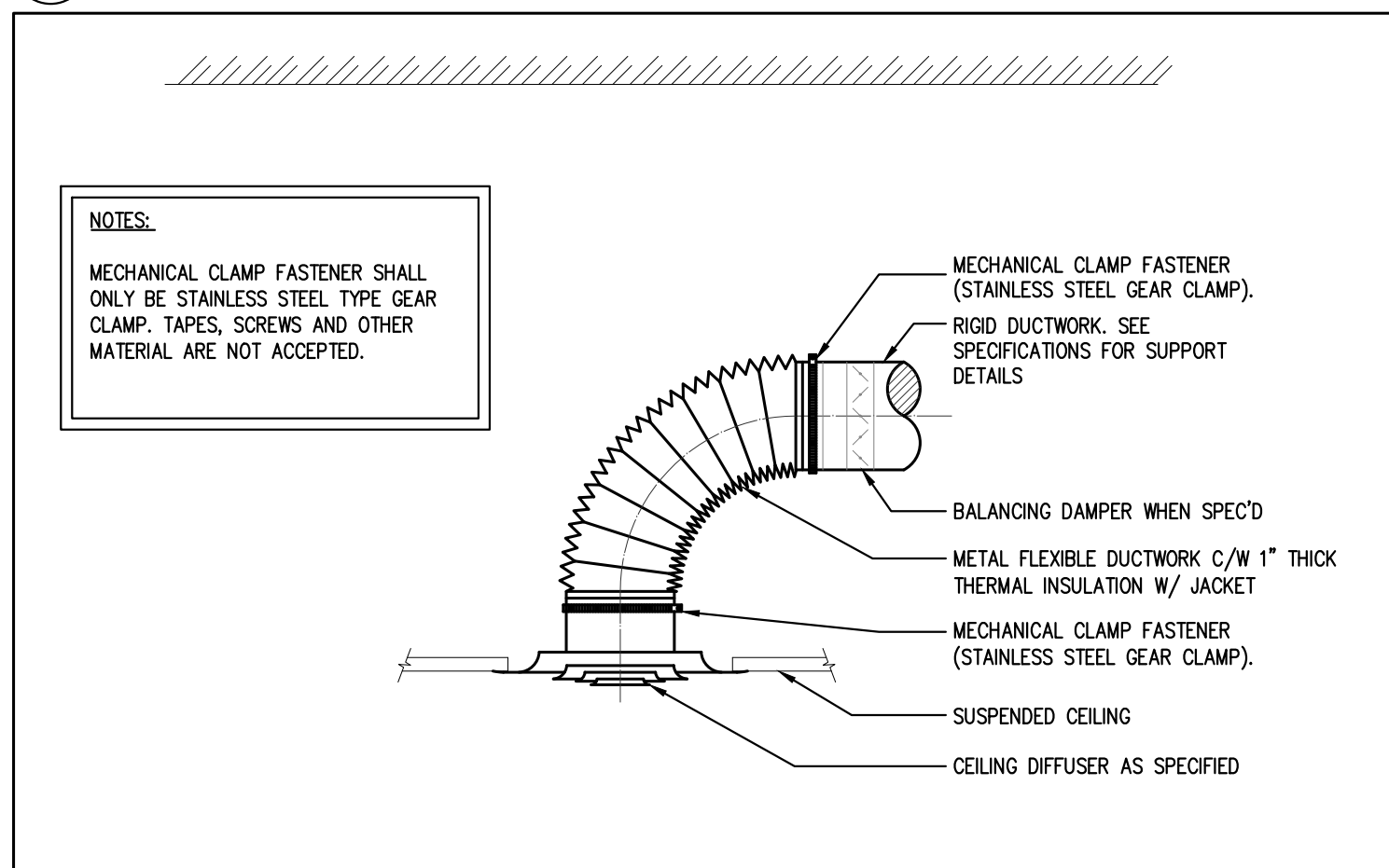
3 PIPING SCHEMATIC FOR 4 PIPE FAN COIL UNIT



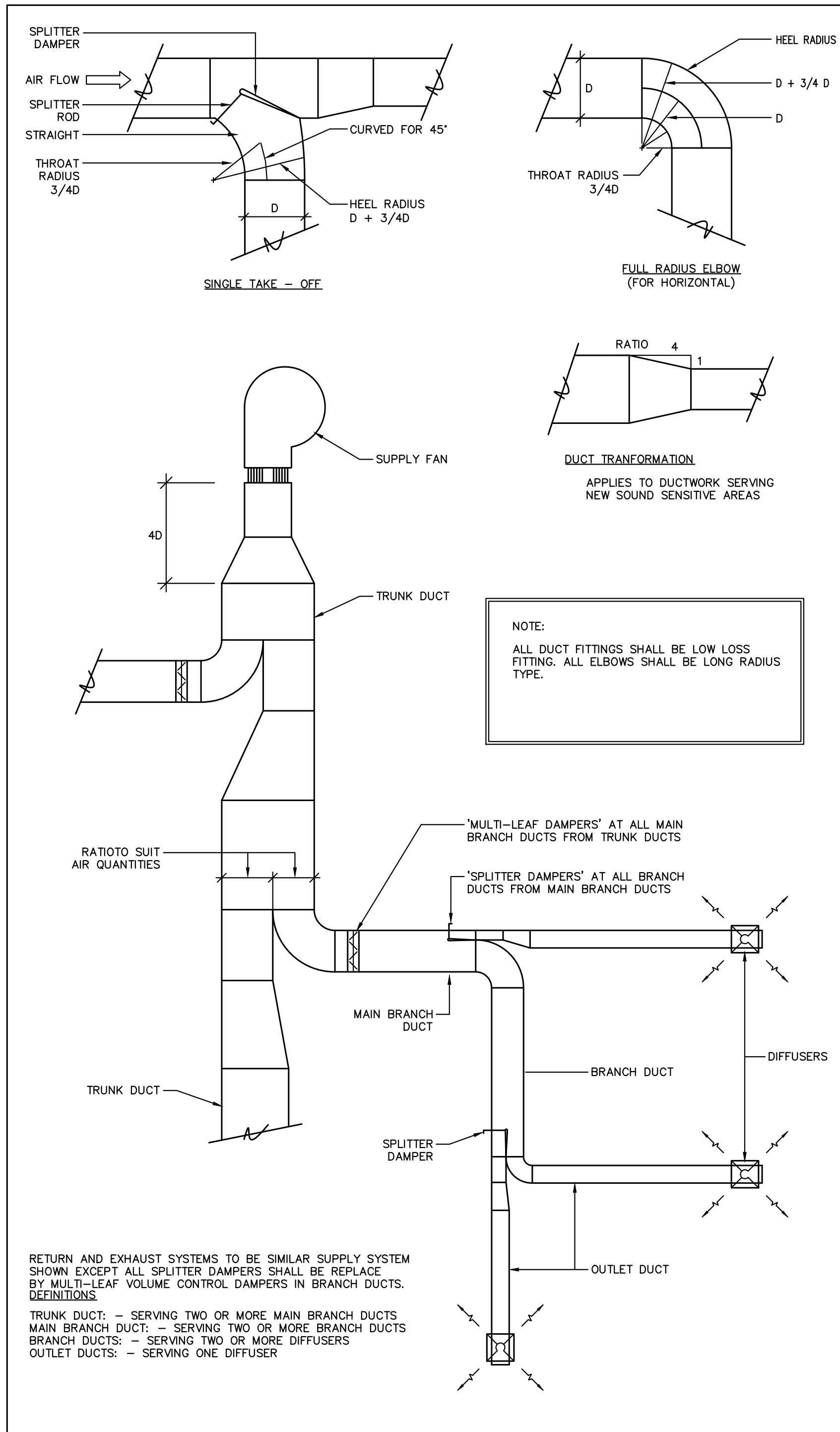
4 TYPICAL SPIN-ON FITTING DETAIL



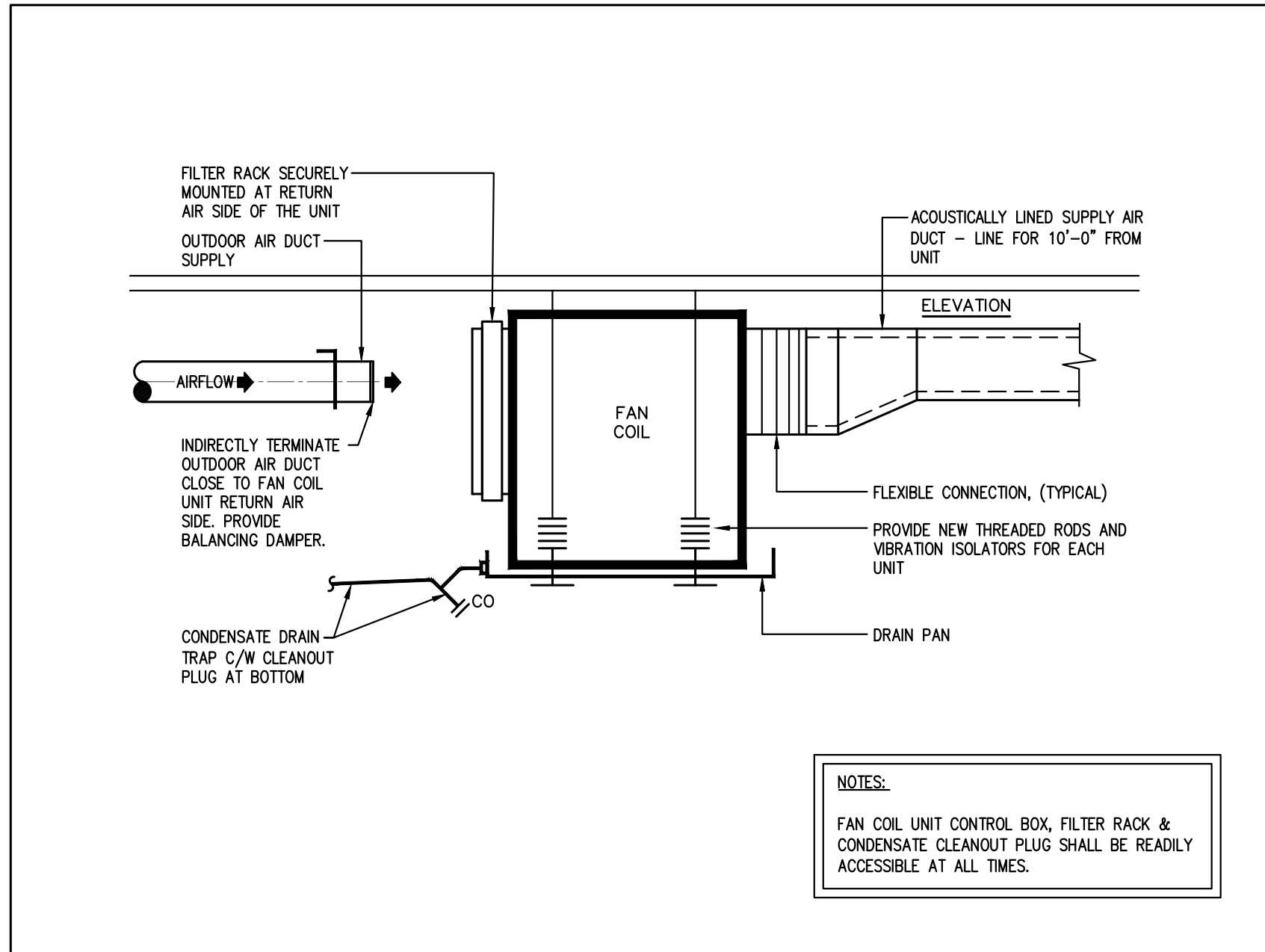
5 ACOUSTIC TRANSFER AIR DUCT INSTALLATION DETAIL



6 TYPICAL DIFFUSER & FLEXIBLE DUCT CONNECTION DETAIL



1 DUCTWORK FITTINGS AND BALANCING DAMPER DETAILS



2 HORIZONTAL FAN COIL UNIT DETAIL

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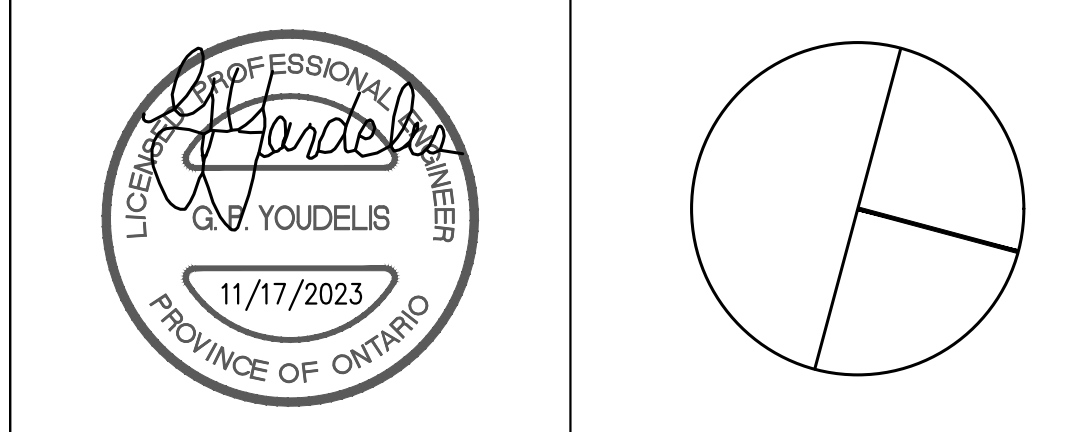
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York Region PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND FLOOR

BASE DATE: JUNE 2023

PROJECT:

TENDER

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: K.J./G.P.Y

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

SCHEMATIC DIAGRAM AND
DETAILS

SHEET NUMBER:

M101



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
4. WHERE DUCTWORK, PIPES AND EQUIPMENT IS NECESSARY TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DUCTWORK, ACCESS TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE, REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
7. ALL REDUNDANT AND OBSOLETE EQUIPMENTS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
8. COORDINATE WITH CONTROLS CONTRACTOR FOR SAFETY AND GASELLELY REMOVING MOTORS, CONTROLS, AND FAN SPEED CONTROLLER AND REMOVAL OF EXISTING CONTROLS AND FAN SPEED CONTROLLER TO OWNER FOR SPARE PARTS.

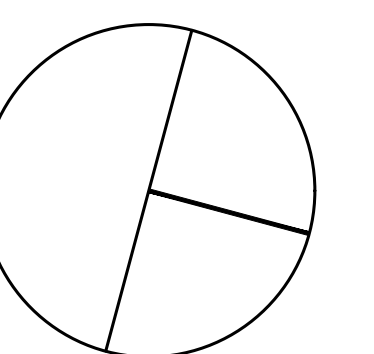
- (1) EXISTING FLOOR-MOUNTED FAN COIL UNIT TO REMAIN. (TYPICAL)
- (2) EXISTING TEMPERATURE SENSING C/W ASSOCIATED CONTROL WIRING TO REMAIN. (TYPICAL)
- (3) EXISTING DELTA BAS CONTROLLER IN CEILING SPACE TO REMAIN. (TYPICAL)
- (4) EXISTING MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- (5) EXISTING OUTDOOR AIR SUPPLY DUCTWORK FOR 2ND FLOOR FLOOR-MOUNTED FAN COIL UNITS TO REMAIN.
- (6) EXISTING SUPPLY AIR DIFFUSER TO BE REMOVED, CUT BACK EXISTING DUCTWORK CONNECTION IN CEILING SPACE AND CAP. ALLOW FOR PATCHING AND MAKE GOOD OF EXISTING DRYWALL CEILING. (TYPICAL)
- (7) EXISTING EXHAUST AIR DUCTWORK C/W GRILLES TO REMAIN.
- (8) EXISTING MAKE-UP AIR DUCTWORK TO BE REMAIN.
- (9) EXISTING SANITARY EXHAUST DUCTWORK TO REMAIN. (TYPICAL)
- (10) EXISTING KITCHEN EXHAUST HOOD C/W ASSOCIATED DUCTWORK TO REMAIN.
- (11) EXISTING WALL MOUNTED A/C UNIT C/W ASSOCIATED REFRIGERANT LINES AND OUTDOOR CONDENSING UNIT TO REMAIN.
- (12) EXISTING SUPPLY AIR DIFFUSER TO REMAIN. (TYPICAL)
- (13) REMOVE AND RELOCATE EXISTING TEMPERATURE SENSING AS SHOWN. MODIFY/EXTEND ASSOCIATED CONTROL WIRING AS REQUIRED. PROVIDE MAKE GOOD OVER CONTROL WIRING TO CONCEAL WIRING FROM CEILING PATCHING TO SENSING LOCATION. ALLOW FOR PATCHING AND MAKE GOOD OF EXISTING DRYWALL CEILING. (TYPICAL)

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York Region
PROPERTY SERVICES

PROJECT:

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SHEET TITLE:

PARTIAL GROUND FLOOR
(AGORA) – HVAC PLAN

SHEET NUMBER:

M200



GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
7. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
9. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
10. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
11. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
12. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.

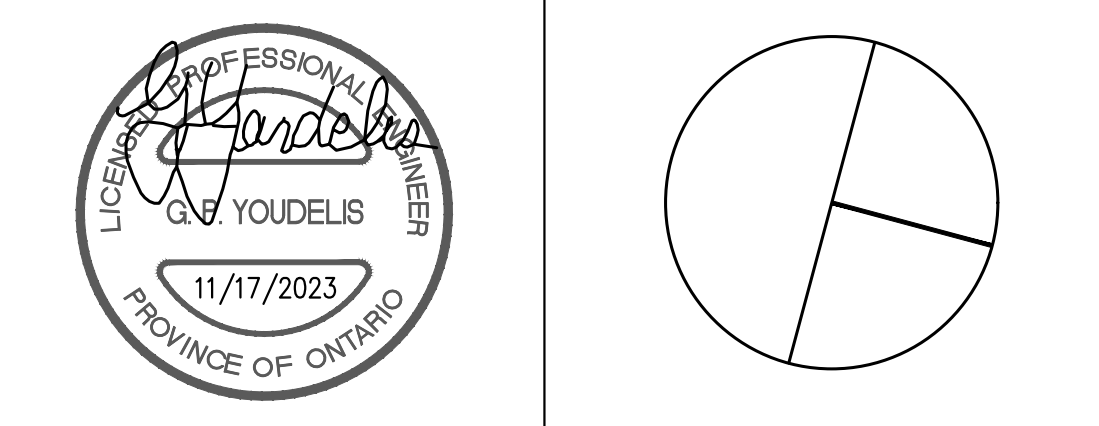
DRAWING NOTES

- ① EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- ② EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)
- ③ EXISTING SPRINKLER HEAD TO BE REMOVED. CAP ASSOCIATED SPRINKLER FEED PIPE AS REQUIRED. (TYPICAL)
- ④ EXISTING SINK C/W ASSOCIATED FAUCET, PLUMBING LINES & SANITARY VENT PIPING TO REMAIN. (TYPICAL)
- ⑤ EXISTING GREASE INTERCEPTOR C/W ASSOCIATED PIPING TO REMAIN.
- ⑥ EXISTING JANITOR'S SINK C/W ASSOCIATED FAUCET, PLUMBING LINES & SANITARY VENT PIPING TO REMAIN.
- ⑦ REMOVE EXISTING FLOOR DRAIN C/W FLOOR FLANGE, CUT BACK ASSOCIATED SANITARY DRAIN PIPING AND CAP AT CORE ON FLOOR BELOW. PROVIDE AN ALLOWANCE FOR PATCHING AND MAKE GOOD OF EXISTING FLOOR OPENING AS REQUIRED. (TYPICAL)
- ⑧ EXISTING DOMESTIC HOT & COLD WATER, HOT WATER RE-CIRC & SANITARY VENT PIPING IN CEILING SPACE TO REMAIN. (TYPICAL)
- ⑨ EXISTING SANITARY DRAIN PIPING ON FLOOR BELOW TO REMAIN. (TYPICAL)
- ⑩ REMOVE EXISTING PLUMBING SERVICES SERVING FIXTURE. CUT PIPES BACK IN CEILING SPACE AND CAP AT MAIN CONNECTION. (TYPICAL)
- ⑪ EXISTING DOMESTIC HOT & COLD WATER, HOT WATER RE-CIRC & SANITARY VENT PIPING RISERS TO REMAIN.
- ⑫ EXISTING SANITARY DRAIN PIPING RISER TO REMAIN.

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|-----------------------|
| 3 | 11-17-2023 | ISSUED FOR TENDER |
| 2 | 09-25-2023 | ISSUED FOR 95% REVIEW |
| 1 | 08-29-2023 | ISSUED FOR 60% REVIEW |

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York Region
PROPERTY SERVICES

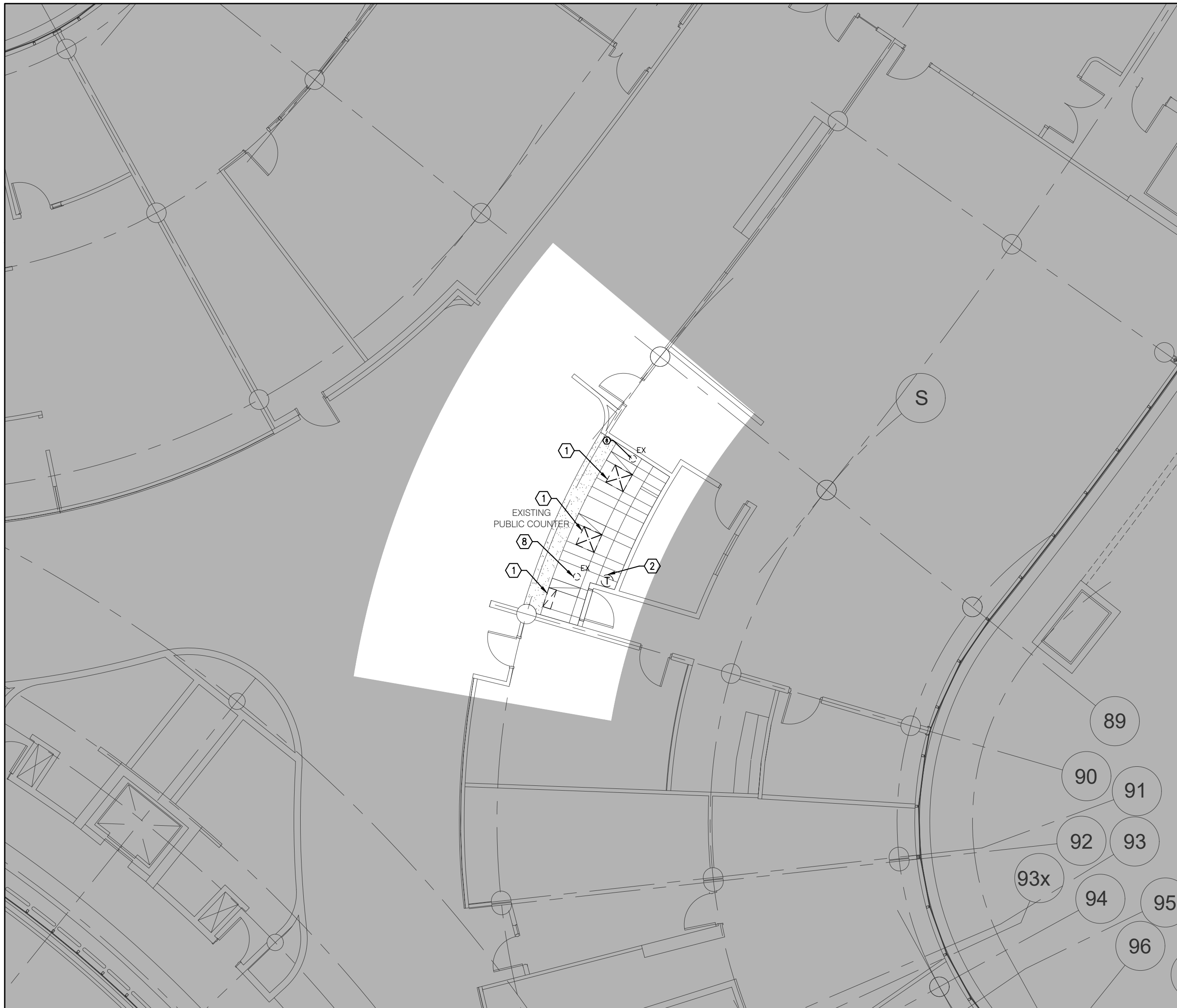
DEPARTMENT: BUILDING & FACILITIES
FLOOR: GROUND FLOOR
BASE DATE: JUNE 2023
PROJECT:

TENDER #
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

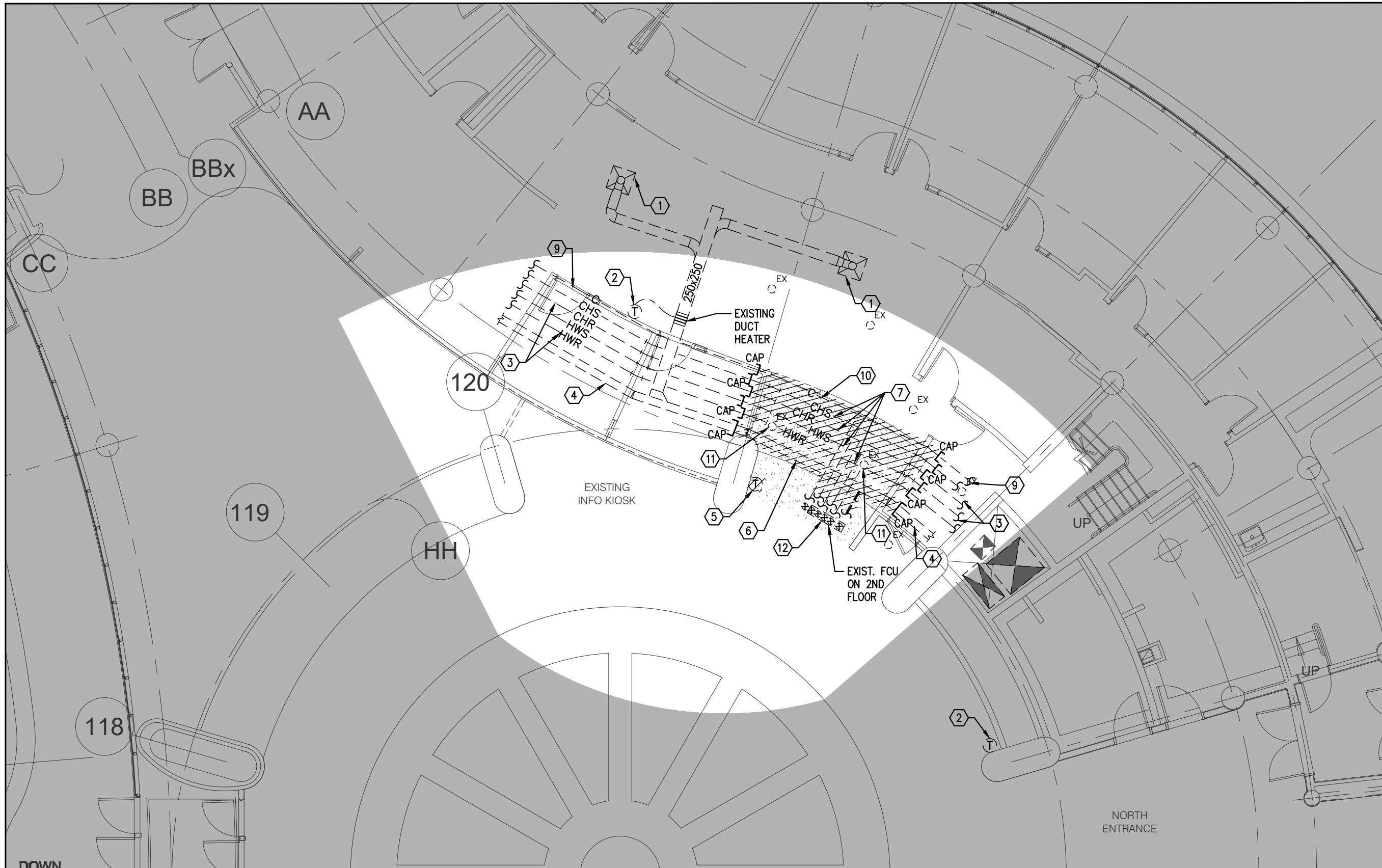
SCALE: AS SHOWN
DRAWN BY: K.J./G.P.Y
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

PARTIAL GROUND FLOOR
(AGORA) – PLUMBING & FIRE
PROTECTION PLAN

SHEET NUMBER:
M201



1 PARTIAL GROUND FLOOR 'PUBLIC COUNTER' - MECHANICAL DEMOLITION PLAN
SCALE: 1:100



2 PARTIAL GROUND FLOOR 'GREAT HALL' - MECHANICAL DEMOLITION PLAN
SCALE: 1:100

GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
5. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
6. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
7. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
8. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
9. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
10. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
11. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
12. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPACE HEATING. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.
13. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0", EXACT LOCATION TO BE COORDINATED ON SITE WITH THE ARCHITECT. (TYPICAL FOR ALL)
14. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
15. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.
16. ALL SPRINKLER HEAD CONNECTIONS SHALL BE HARD PIPED. FLEXIBLE PIPING CONNECTION IS NOT ACCEPTABLE.

DRAWING NOTES

1. EXISTING SUPPLY AIR DIFFUSER/ RETURN AIR GRILLES TO REMAIN. (TYPICAL)
2. EXISTING TEMPERATURE SENSOR TO REMAIN. (TYPICAL)
3. EXISTING CHILLED WATER SUPPLY/ RETURN & HEATING WATER SUPPLY/ RETURN IN CEILING SPACE TO REMAIN. (TYPICAL)
4. EXISTING FRESH AIR DUCTWORK IN CEILING SPACE TO REMAIN. (TYPICAL)
5. CONTRACTOR TO CHECK/ VERIFY IF EXISTING TEMPERATURE SENSOR IS OPERATIONAL, RELOCATE SENSOR TO NEW LOCATION AS SHOWN ON THE NEW LAYOUT (NOTE NO. 5/ M-205). IF NOT IN USE, REMOVE SENSOR C/W CONTROL WIRING. PROVIDE AND ALLOWANCE FOR PATCHING/ REPAIR AND MAKE GOOD OF EXISTING WALL DUE TO REMOVAL OF EXISTING SENSOR.
6. MODIFY AND RE-ROUTE EXISTING FRESH AIR DUCTWORK IN CEILING SPACE TO ACCOMMODATE INSTALLATION OF NEW FAN COIL UNIT & NEW DUCTWORK. REFER TO NEW LAYOUT FOR NEW ROUTING.
7. MODIFY & RE-ROUTE EXISTING CHILLED WATER SUPPLY/ RETURN & HEATING WATER SUPPLY/ RETURN IN CEILING SPACE TO ACCOMMODATE INSTALLATION OF NEW FAN COIL UNIT & NEW DUCTWORK. REFER TO NEW LAYOUT FOR NEW ROUTING.
8. EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
9. EXISTING CONDENSATE DRAIN PIPING TO REMAIN. (TYPICAL)
10. MODIFY & RE-ROUTE EXISTING CONDENSATE DRAIN PIPING IN CEILING SPACE TO ACCOMMODATE INSTALLATION OF NEW FAN COIL UNIT & NEW DUCTWORK. REFER TO NEW LAYOUT FOR NEW ROUTING.
11. EXISTING SPRINKLER HEAD TO REMAIN. PROVIDE AN ALLOWANCE FOR ALTERATION OF EXISTING SPRINKLER HEAD FEED PIPE TO SUIT INSTALLATION OF NEW FAN COIL UNIT. (TYPICAL OF 2)
12. EXISTING FLOOR-MOUNTED FAN COIL UNIT ON SECOND FLOOR TO REMAIN. DISCONNECT & MODIFY EXISTING FRESH AIR DUCT, CHILLED WATER SUPPLY/ RETURN LINES, HEATING WATER SUPPLY/ RETURN LINES & CONDENSATE DRAIN LINE SERVING EXISTING FAN COIL UNIT TO ACCOMMODATE INSTALLATION OF NEW FAN COIL UNIT IN CEILING SPACE. CONNECT EXISTING FAN COIL TO NEW SERVICES AS SHOWN ON NEW LAYOUT.

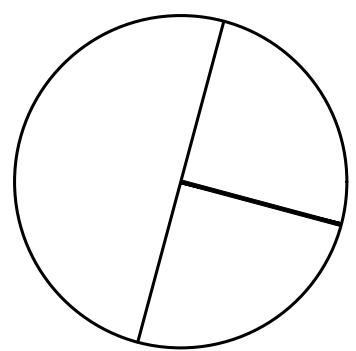
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@gpyengineering.com



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND FLOOR

BASE DATE: JUNE 2023

PROJECT:

TENDER #

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: K.J./G.P.Y

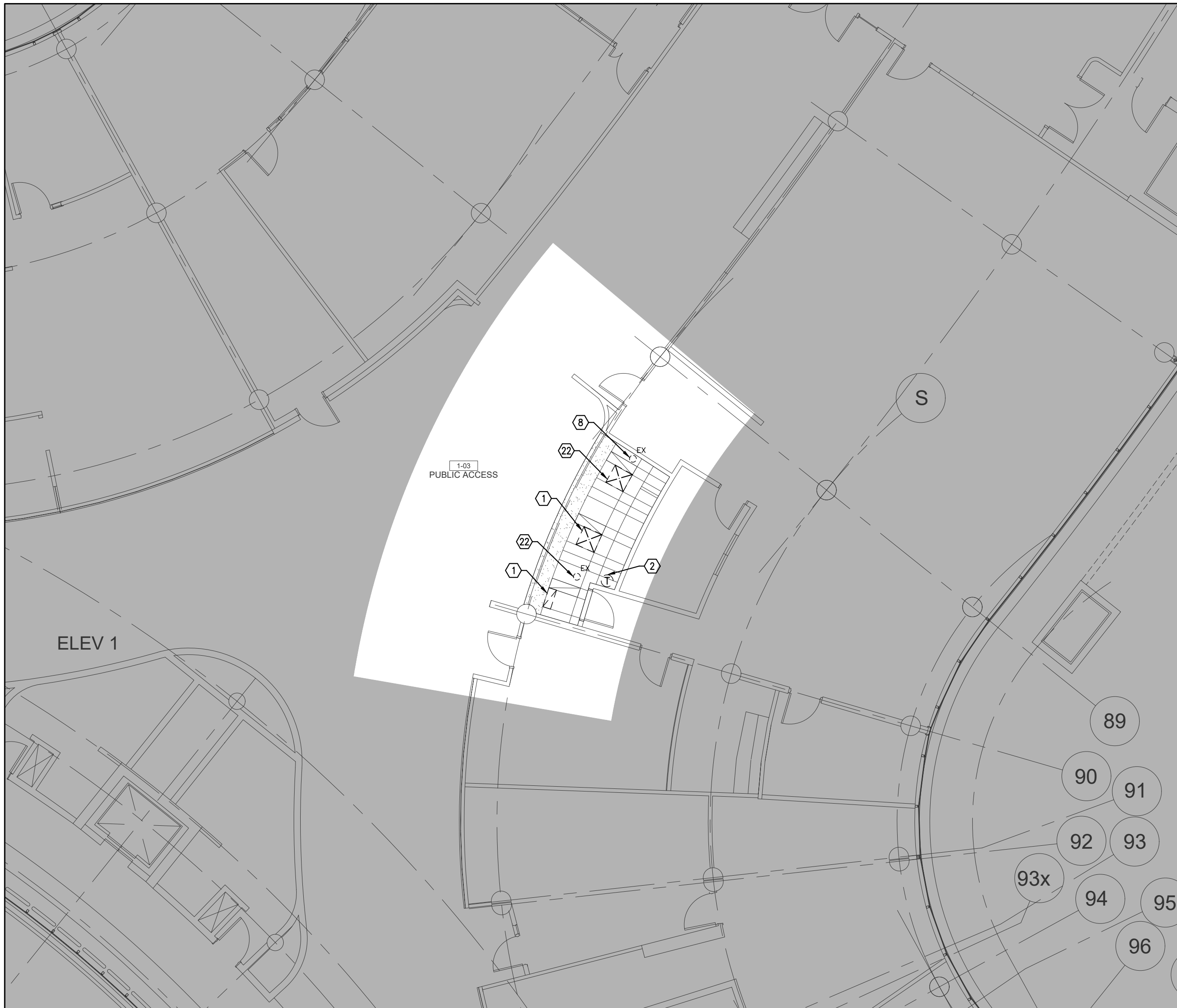
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

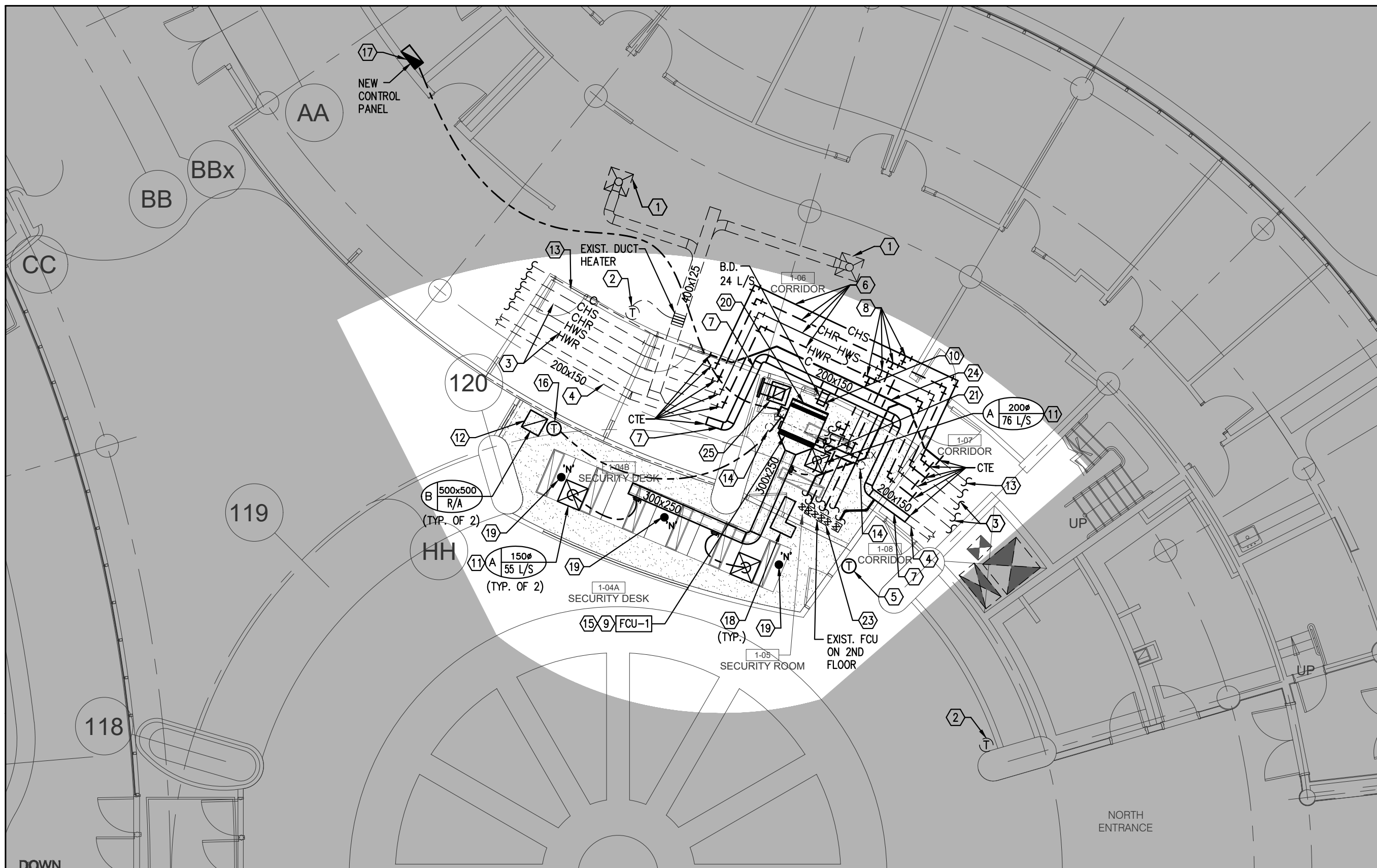
PARTIAL GROUND FLOOR
(PUBLIC COUNTER & GREAT
HALL)–MECHANICAL
DEMOLITION PLAN

SHEET NUMBER:

M202



1 PARTIAL GROUND FLOOR 'PUBLIC COUNTER' - MECHANICAL NEW LAYOUT
SCALE: 1:100



2 PARTIAL GROUND FLOOR 'GREAT HALL' - MECHANICAL NEW LAYOUT
SCALE: 1:100

GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REPORTED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
5. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
6. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
7. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
8. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
9. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
10. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
11. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
12. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPACE TEMPERATURE SENSORS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.
13. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0", EXACT LOCATION TO BE COORDINATED ON SITE WITH THE ARCHITECT. (TYPICAL FOR ALL)
14. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
15. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.
16. ALL SPRINKLER HEAD CONNECTIONS SHALL BE HARD PIPED. FLEXIBLE PIPING CONNECTION IS NOT ACCEPTABLE.

DRAWING NOTES

1. EXISTING SUPPLY AIR DIFFUSER/ RETURN AIR GRILLES TO REMAIN. (TYPICAL)
2. EXISTING TEMPERATURE SENSOR TO REMAIN. (TYPICAL)
3. EXISTING CHILLED WATER SUPPLY/ RETURN & HEATING WATER SUPPLY/ RETURN IN CEILING SPACE TO REMAIN. (TYPICAL)
4. EXISTING FRESH AIR DUCTWORK IN CEILING SPACE TO REMAIN. (TYPICAL)
5. IF TEMPERATURE SENSOR IS OPERATIONAL, CONTRACTOR TO RELOCATE SENSOR AT THIS APPROXIMATE LOCATION. EXTEND NEW CONTROL WIRING AS REQUIRED. COORDINATE EXACT LOCATION ON SITE WITH THE ARCHITECT.
6. MODIFY/ RE-ROUTE EXISTING CHILLED WATER SUPPLY/ RETURN & HEATING WATER SUPPLY/ RETURN IN CEILING SPACE TO SUIT INSTALLATION OF NEW FAN COIL UNIT & NEW DUCTWORK. PROVIDE OFFSETS AS REQUIRED. SIZE PIPE SAME AS EXISTING. EXACT ROUTING TO BE CONFIRMED ON SITE.
7. MODIFY/ RE-ROUTE EXISTING FRESH AIR DUCTWORK IN CEILING SPACE AS SHOWN TO SUIT INSTALLATION OF NEW FAN COIL UNIT & NEW DUCTWORK. PROVIDE OFFSETS AS REQUIRED. SIZE OF DUCTWORK SAME AS EXISTING. EXACT ROUTING TO BE CONFIRMED ON SITE.
8. PROVIDE NEW 25# CHILLED WATER SUPPLY/ RETURN & 20# HEATING WATER SUPPLY/ RETURN AND CONNECT FROM EXISTING SERVICES IN CEILING SPACE TO SERVE NEW FAN COIL UNIT T5-T1.
9. PROVIDE NEW FAN COIL UNIT IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, ISOLATORS AND SUPPLY AIR DUCTWORK. REFER TO M-100 SERIES FOR SPECIFICATIONS & DETAILS. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. DO NOT INSTALL UNIT BELOW BEAMS. SUPPORT FAN COIL FROM STRUCTURE ABOVE.
10. EXTEND NEW 100# OPEN-ENDED OUTDOOR AIR SUPPLY DUCT C/W BALANCING DAMPER. DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. BALANCE TO AIR QUANTITY AS INDICATED. ALL FRESH AIR DUCT SHALL BE ROUND DUCT. BALANCING DAMPER SHALL BE LOCATED ABOVE T-BANK CEILING.
11. PROVIDE NEW TYPE 'A' SQUARE SUPPLY AIR DIFFUSER AND BALANCE TO NEW AIR QUANTITY AS INDICATED.
12. PROVIDE NEW TYPE 'B' RETURN AIR GRILLES C/W DRYWALL FRAME. GRILLES TO BE MOUNTED FLUSH WITH CEILING. COORDINATE EXACT LOCATION ON SITE WITH THE ARCHITECT.
13. EXISTING CONDENSATE DRAIN PIPING TO REMAIN. (TYPICAL)
14. EXISTING SPRINKLER HEAD TO REMAIN. PROVIDE AN ALLOWANCE FOR ALTERATION OF EXISTING SPRINKLER HEAD FEED PIPE TO SUIT INSTALLATION OF NEW FAN COIL UNIT. PROVIDE NEW ASSOCIATED FEED PIPE TO SPRINKLER HEAD AS REQUIRED. (TYPICAL OF 2)
15. NEW FAN COIL UNIT. PROVIDE NEW BAS CONTROLLER IN CEILING SPACE. PROVIDE CONTROL WIRING AND TRANSFORMER AS REQUIRED. CONTROLLER SHALL BE INSTALLED INSIDE FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER. CONTROLLER TO BE CONNECTED TO NEW CONTROL PANEL IN ELECTRICAL ROOM AND INTERLOCKED WITH BAS. (TYPICAL)
16. NEW TEMPERATURE SENSOR WITH CO2 SENSOR. PROVIDE CONTROL WIRING. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)
17. PROVIDE NEW CONTROLS PANEL IN ELECTRICAL ROOM BY CONTROLS CONTRACTOR. POWER BY DIV. 16. EXACT LOCATION TO BE COORDINATED ON SITE.
18. PROVIDE NEW 300x250mm ACOUSTICALLY-LINED TRANSFER AIR DUCT. SIZE DUCT AS INDICATED.
19. PROVIDE NEW PENDENT SPRINKLER HEAD C/W ASSOCIATED FEED PIPE. EXTEND NEW SPRINKLER BRANCH PIPING TO SERVE NEW HEADS IN THE SECURITY DESK AREA. PROVIDE AN ALLOWANCE FOR FREEZING AND/OR DRAINING DOWN & FILLING OF EXISTING SPRINKLER SYSTEM AS REQUIRED.
20. PROVIDE NEW HINGED ACCESS HATCH ON DRYWALL CEILING FOR NEW FAN COIL UNIT MAINTENANCE & SERVICING.
21. PROVIDE NEW 20# CONDENSATE DRAIN C/W P-TRAP TO SERVE NEW FAN COIL UNIT AND EXTEND AS SHOWN. SIZE PIPE AS INDICATED. (TYPICAL)
22. EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
23. EXISTING FLOOR-MOUNTED FAN COIL UNIT ON SECOND FLOOR TO REMAIN. MODIFY/ EXTEND NEW FRESH AIR DUCT, CHILLED WATER SUPPLY/ RETURN LINES, HEATING WATER SUPPLY/ RETURN LINES & CONDENSATE DRAIN LINE TO EXISTING FAN COIL UNIT AS SHOWN. NEW CONNECTION & ROUTING TO SUIT INSTALLATION OF NEW FAN COIL UNIT IN CEILING SPACE. SIZE OF DUCTWORK & PIPES TO MATCH EXISTING. PROVIDE P-TRAP FOR CONDENSATE LINE.
24. MODIFY/ RE-ROUTE EXISTING CONDENSATE DRAIN LINE IN CEILING SPACE TO SUIT INSTALLATION OF NEW FAN COIL UNIT & NEW DUCTWORK. PROVIDE OFFSETS AS REQUIRED. SIZE PIPE SAME AS EXISTING. EXACT ROUTING TO BE CONFIRMED ON SITE.
25. PROVIDE NEW TYPE 'B' CEILING-MOUNTED RETURN AIR GRILLES C/W 500X500X100 HIGH PLENUM BOX AND 300x250mm TRANSFER AIR DUCT IN CEILING PLENUM. EXACT LOCATION OF GRILLE TO BE COORDINATED ON SITE. REFER TO DETAIL NO. 9/A-101.

FAN COIL UNIT NOTES

1. PRIOR TO FAN COIL UNIT INSTALLATION, CONTRACTOR TO PROVIDE A MOCK-UP OF THE HORIZONTAL FAN COIL UNIT FOR YORK REGION'S PM & CONSULTANT'S REVIEW AND COMMENTS. INSTALLATION OF FAN COIL UNIT SHALL NOT PROCEED WITHOUT APPROVAL FROM YORK REGION'S PM & CONSULTANTS.
2. CONTRACTOR TO ENSURE NEW FAN COIL UNIT FILTER RACK IS SECURELY ATTACHED AT THE RETURN AIR SIDE OF THE UNIT. FILTER RACK SHALL BE READILY ACCESSIBLE AT ALL TIMES FOR FILTER CHANGE. OPEN-ENDED OUTDOOR AIR SUPPLY DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. REFER TO DETAIL NO. 9/A-101.
3. FILTER RACK SHALL BE SIZE TO ACCEPT FILTER SIZES AS PER JOHNSON'S CONTROLS FILTER SIZE GUIDE BELOW:
3.1 FHP-006 (1 TON) FILTER SIZE: 31"x10.5"x1"

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|-----------------------|
| 3 | 11-17-2023 | ISSUED FOR TENDER |
| 2 | 09-25-2023 | ISSUED FOR 95% REVIEW |
| 1 | 08-29-2023 | ISSUED FOR 60% REVIEW |

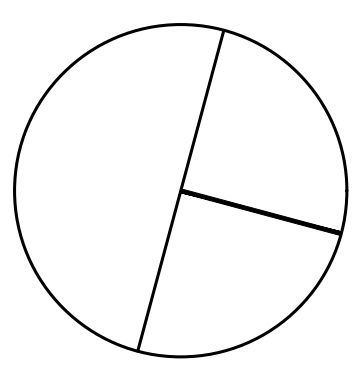
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York Region PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND FLOOR

BASE DATE: JUNE 2023

PROJECT:

TENDER

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: K.J./G.P.Y

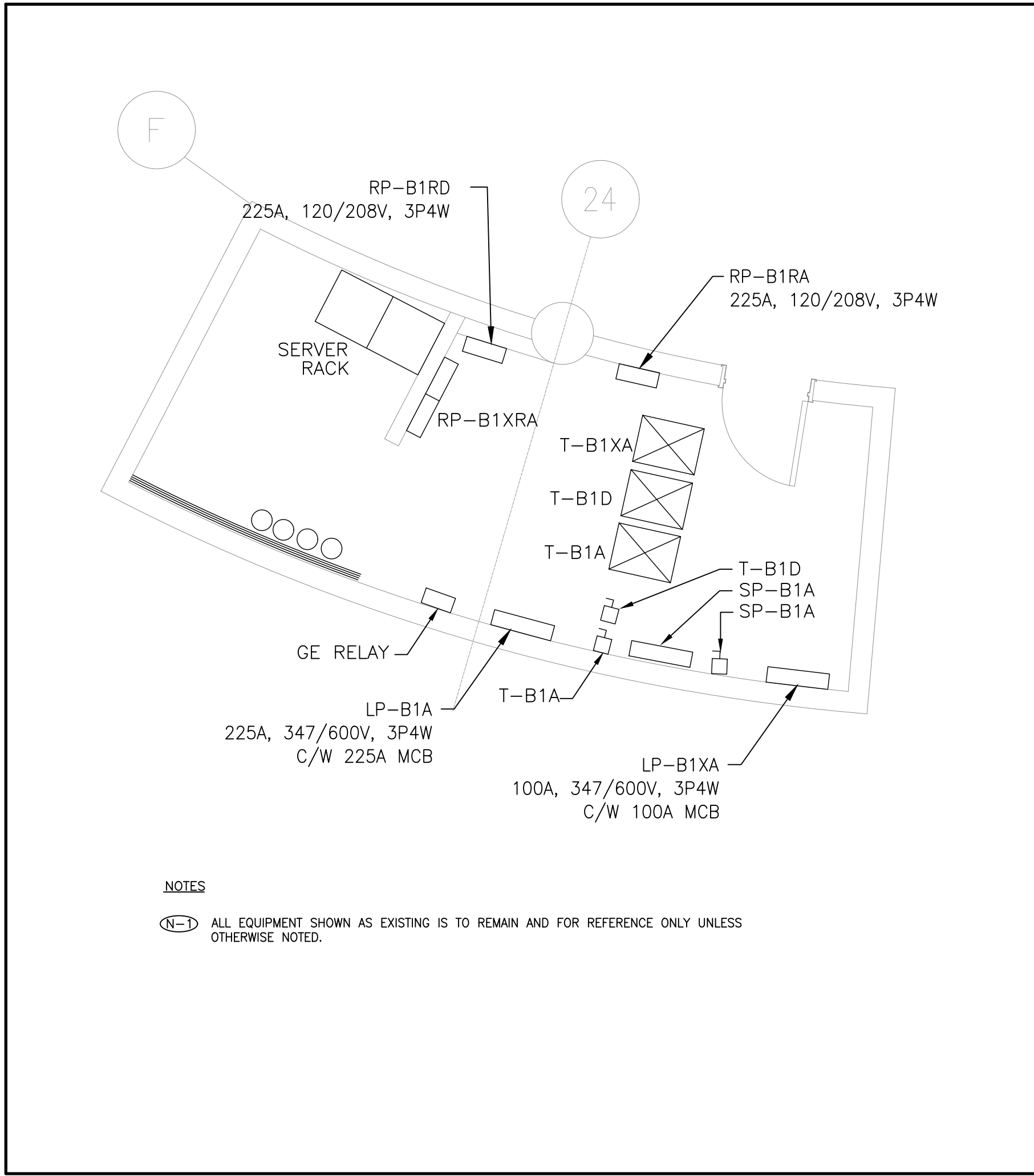
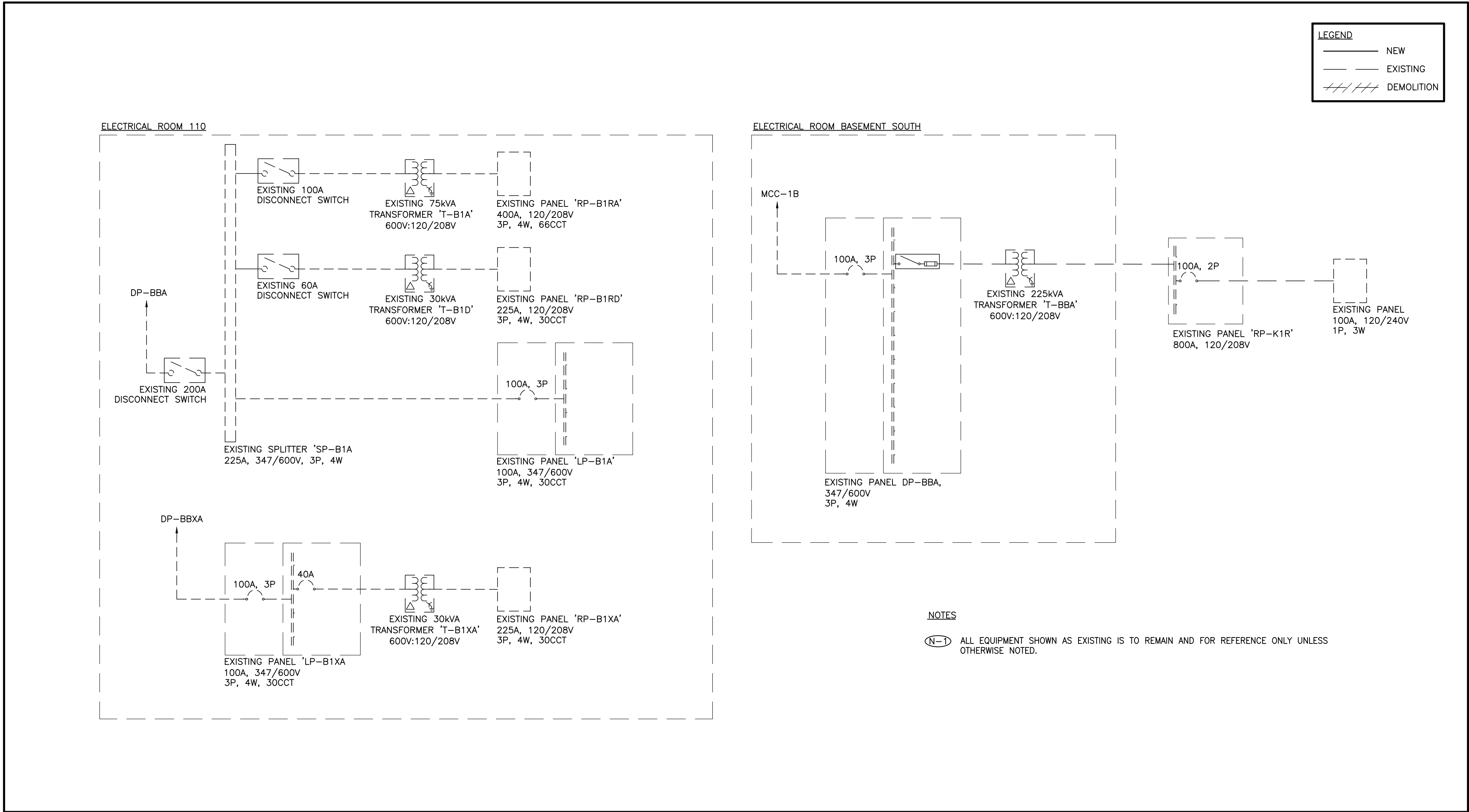
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL GROUND FLOOR
(PUBLIC COUNTER & GREAT
HALL)-MECHANICAL NEW
LAYOUT

SHEET NUMBER:

M203



LUMINAIRE SCHEDULE

| TYPE | LAMP TYPE | VOLTAGE | DESCRIPTION | MANUFACTURER/CATALOGUE NO. |
|------|----------------------|---------|--|--------------------------------|
| N | LED 30W 80CRI, WHITE | 120V | LINEAR RECESSED 1'x4' FLAT PANEL LED FIXTURE | LITELINE: LEDP-14-WH-MTIW32 |

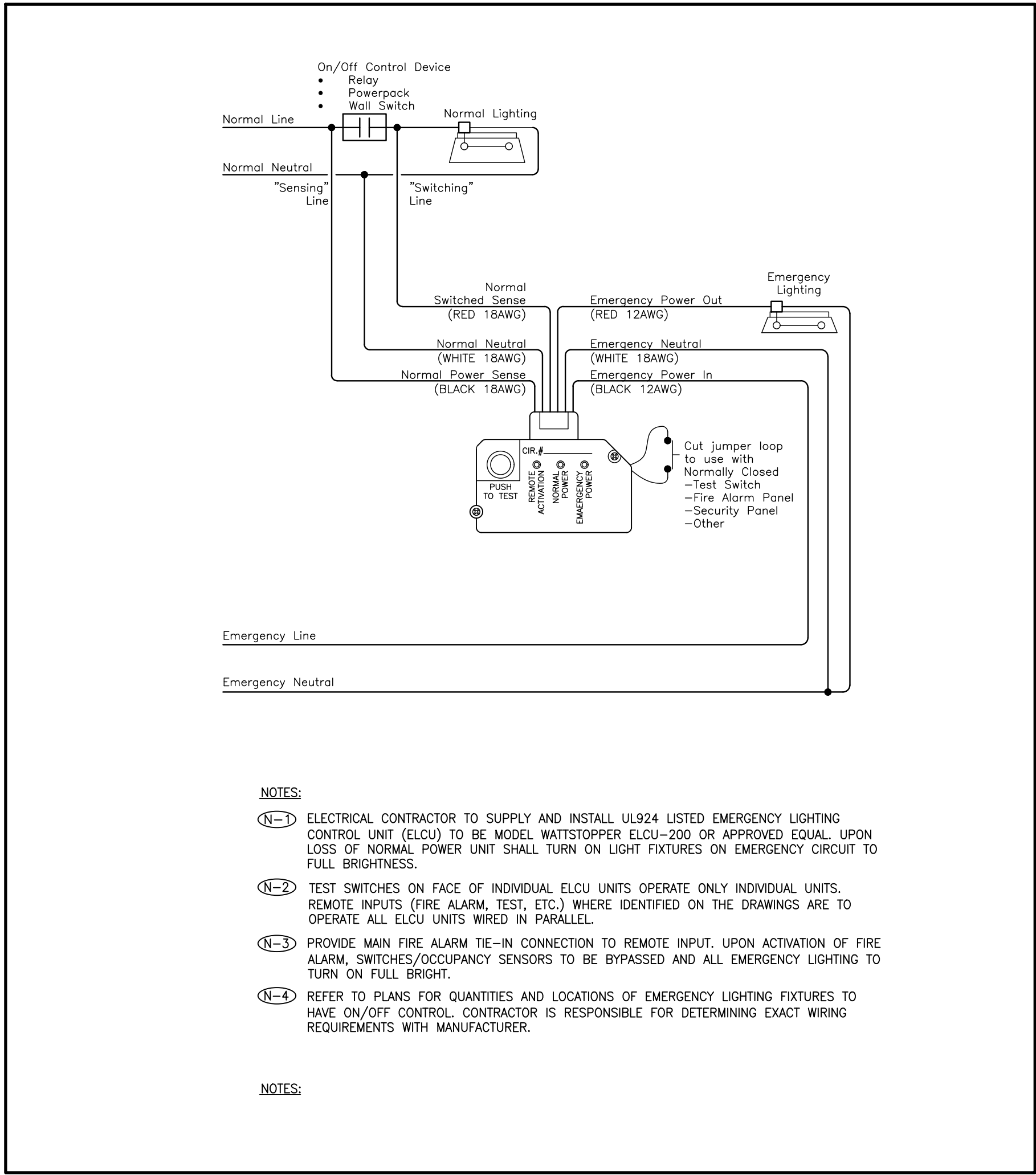
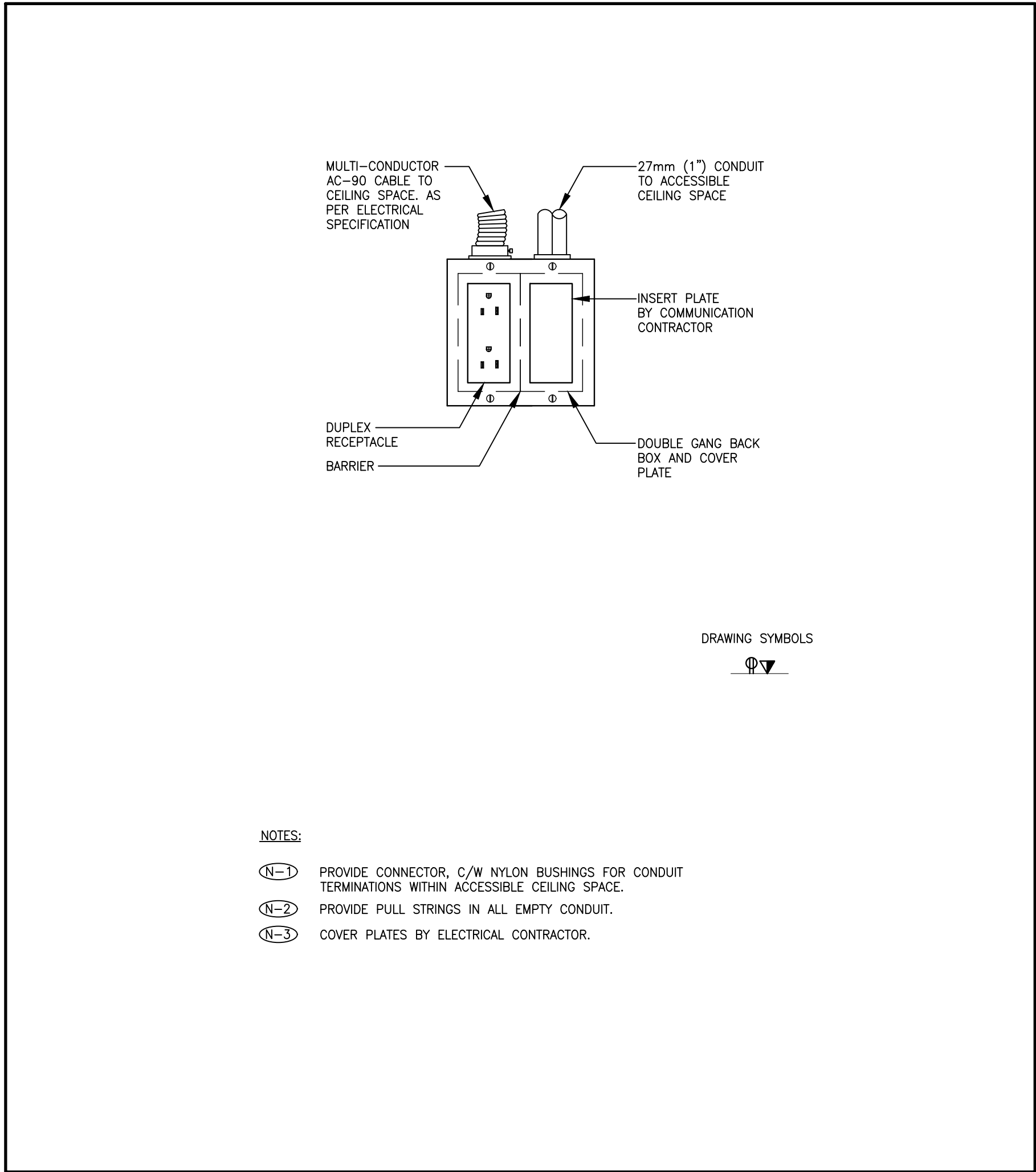
NOTES:

(N-1) ALL FIXTURES SHALL BE APPROVED FOR USE IN CANADA (E.G. CSA, ULIC).

(N-2) FIXTURES C/W ALL REQUIRED MOUNTING ACCESSORIES.

(N-3) CONFIRM ALL FINISHES AND MOUNTING HEIGHTS WITH ARCHITECTURAL DRAWINGS PRIOR TO ORDERING.

1 LUMINAIRE SCHEDULE
E-02 SCALE: N.T.S.



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telephone: 416.351.8145

York Region
PROPERTY SERVICES

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|--------------------------|
| 1 | 2020-10-14 | ISSUED FOR 60% REVIEW |
| 2 | 2021-03-29 | ISSUED FOR 70% REVIEW |
| 3 | 2021-07-06 | ISSUED FOR 90% REVIEW |
| 4 | 2023-08-29 | ISSUED FOR 60% REVIEW |
| 5 | 2023-09-27 | ISSUED FOR 95% REVIEW |
| 6 | 2023-11-17 | ISSUED FOR PERMIT/TENDER |

PROJECT CONTACT

NAME: Ehsan Nagahi
TEL: 647 943 7643
EMAIL: ehsan.nagahi@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen

1100 - 100 Sheppard Ave. East, Toronto On, M2N 6N5
416 487 8151 T 416 487 8104 smithandandersen.com

DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND

BASE DATE: JULY 2020

PROJECT:

PROJECT #
RFTC-1131-23-C22020
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: PH

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

ELECTRICAL DETAILS

SHEET NUMBER:

TE-0.2

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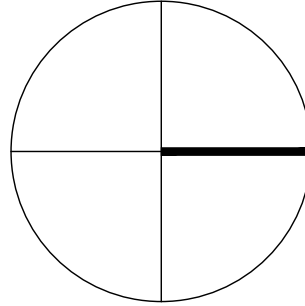
PROPERTY SERVICES

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| 1 | 2023-09-27 | ISSUED FOR 95% REVIEW |
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| | | |
| | | |
| | | |
| | | |

PROJECT CONTACT

NAME: Ehsan Nagahi
TEL: 647 943 7643
EMAIL: ehsan.nagahi@smithandandersen.com

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WITH ELECTRICAL SPECIFICATION SUBMITTED FOR
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YORK REGION

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17250 Yonge Street
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SCALE: N.T.S.

DRAWN BY: PH

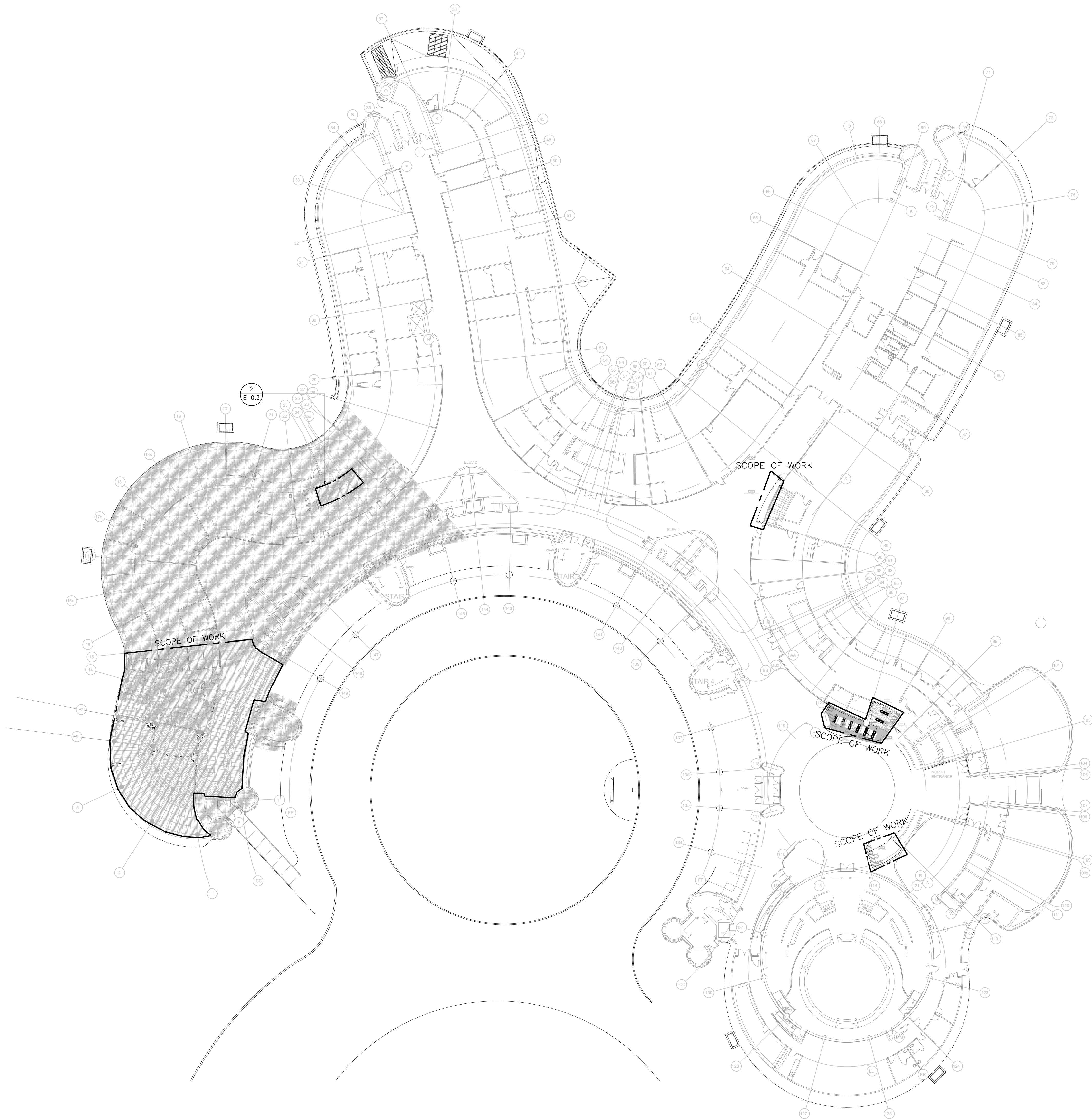
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

KEY PLAN

SHEET NUMBER:

TE-0.3





- GENERAL NOTES:
1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION DETAILING, FINISHES AND COLOURS.
 2. ALL EXISTING/RELOCATED BASE BUILDING STANDARD LUMINAIRES AND RELOCATED RECESSED DOWN LIGHTS SHALL BE CHAIN HUNG AND SUPPORTED FROM THE SLAB ABOVE. PROVIDE LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
 3. REWORK EXISTING EMERGENCY LIGHTING TO ACHIEVE NEW EMERGENCY LIGHTING AS SHOWN. CONNECT NEW AND/OR RELOCATED LUMINAIRES TO NEAREST EMERGENCY LIGHTING CIRCUITS ON THIS FLOOR. IF NEW EMERGENCY BRANCH CIRCUITS ARE REQUIRED FOR EMERGENCY LIGHTING AND EXISTING EMERGENCY LIGHTING PANEL IS LOCATED ON A DIFFERENT STOREY (i.e. NOT LOCATED ON SAME FLOOR), THEN NEW BRANCH CIRCUIT WIRING SHALL BE 2-HOUR FIRE RATED (i.e. MI CABLE) TO FIRST EMERGENCY LIGHT FED. IF EXISTING EMERGENCY LIGHTING PANEL IS LOCATED ON THE SAME STOREY, THE NEW BRANCH CIRCUIT WIRING DOES NOT NEED TO BE FIRE RATED. PROVIDE LOCK-ON BREAKERS TO SUIT.
 4. MEASURE THE ILLUMINATION OF THE FLOOR AT NIGHT WITH EMERGENCY LIGHTING ON ONLY, AND SEND A DRAWING SHOWING THE MAXIMUM AND MINIMUM LEVEL OF ILLUMINATION, TO THE CONSULTING ENGINEER, FOR REVIEW. PROVIDE WRITTEN CONFIRMATION THAT EMERGENCY LIGHTING HAS BEEN INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND LATEST EDITION OF THE ONTARIO BUILDING CODE SECTIONS 3.2.7.3 AND 3.2.7.4. LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
 5. PROVIDE NEW PICTOGRAM (RUNNING MAN) TYPE EXIT SIGNS, EQUAL TO THOMAS AND BETTS EA SERIES COMPLETE WITH BRUSHED ALUMINUM FINISH, FACES AND INDICATOR ARROWS AS PER DRAWINGS AND UNIVERSAL 120-347VAC/6-24VDC VOLTAGE INPUT UNLESS OTHERWISE NOTED. OR - MATCH EXISTING BASE BUILDING STANDARD UNLESS OTHERWISE NOTED. CONNECT NEW EXIT SIGNS TO THE NEAREST AVAILABLE SPARE EXIT LIGHTING CIRCUIT. DO NOT OVERLOAD THE CIRCUIT. ALLOW FOR THREE (3) ADDITIONAL EXIT SIGNS (COMPLETE WITH MATERIAL AND LABOUR) TO BE INSTALLED AS PER BUILDING INSPECTORS REQUIREMENTS UPON FINAL INSPECTION.
 6. LOCATE AND POSITION EXIT SIGNS SUCH THAT THEY DO NOT INTERFERE WITH ADJACENT EXIT SIGNS AND EMERGENCY LIGHTING COVERAGE.
 7. ALL MODIFICATIONS TO FIRE ALARM SYSTEM AND DEVICES TO BE COMPLETED BY BASE BUILDING FIRE ALARM CONTRACTOR AND VENDOR/MANUFACTURER. BASE BUILDING FIRE ALARM CONTRACTOR/VENDOR/MANUFACTURER IS RESPONSIBLE TO ENSURE THAT ALL ADDITIONAL COMPONENTS (MATERIAL, SOFTWARE, INCLUDING ANY LABOUR TO INSTALL OR MODIFY FIRE ALARM DEVICES) ARE INCLUDED FOR BASED ON ISSUED DRAWINGS. ELECTRICAL CONTRACTOR TO ALLOW FOR ALL ASSOCIATED COSTS. NEW FIRE ALARM SPEAKER/STROBES ARE TO MATCH EXISTING AND BE CONNECTED TO NEAREST AVAILABLE SPARE EMERGENCY ZONE CIRCUIT(S). CONNECT NEW SPEAKER/STROBES TO EXISTING CIRCUITS, WHERE THERE IS SPARE CAPACITY ON RESPECTIVE CIRCUITS. IF THERE IS NO CAPACITY ON EXISTING CIRCUITS, PROVIDE NEW FIRE ALARM CIRCUITS. ALLOW FOR ALL ASSOCIATED COSTS INCLUDING, BUT NOT LIMITED TO: ASSOCIATED EQUIPMENT, DEVICES, PROGRAMMING, TESTING AND VERIFICATION TO MAKE SYSTEM OPERATIONAL AND CODE COMPLIANT. ALL FIRE ALARM VERIFICATION SHALL CONFORM TO CAN/ULC-S537 LATEST EDITION. FIRE ALARM SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH CAN/ULC-S524 LATEST EDITION.
 8. ENSURE THAT ALL LIGHTING FIXTURES ARE CLEAN AND ILLUMINATED BY END OF PROJECT.
 9. REUSE EXISTING CIRCUIT FOUND IN CEILING SPACE FOR ALL NEW LIGHTING FIXTURES UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE ADDITIONAL CIRCUITS WHERE REQUIRED. NEW LOW VOLTAGE SWITCH ARRANGEMENT OF LIGHTING TO BE CO-ORDINATED WITH THE REGION AND REARRANGED TO SUIT NEW LAYOUT. ALL LIGHTING, EXCLUDING EMERGENCY, WITHIN THE TENANT PREMISES TO BE ON A SEPARATE LIGHTING ZONE AND TO BE CONTROLLED BY BASE BUILDING LIGHTING CONTROL SYSTEM. PROVIDE ALL NECESSARY RELAYS, CONTACTORS, RELAY PANELS, AND DRY INTERFACES REQUIRED FOR SUCH CONTROL. INCLUDE COST IN THIS CONTRACT.
 10. REWORK EXISTING 347V ZONE CIRCUITS TO ACHIEVE NEW LIGHTING AS SHOWN. CONNECT NEW LUMINAIRES TO NEAREST 347V ZONE LIGHTING CIRCUITS ON THIS FLOOR. PROVIDE MASTER SWITCHES AS SHOWN, IN EACH AREA TO CONTROL LIGHTING. PROVIDE ALL RELAYS AND CONTACTORS TO ACHIEVE DESIGNED FUNCTION.
 11. LIGHTING FIXTURES IDENTIFIED AS EMERGENCY ARE TO BE CONNECTED SO THAT UNDER NORMAL CONDITIONS THEY WORK IN CONJUNCTION WITH THE SWITCHING AS IDENTIFIED. IN THE EVENT OF AN EMERGENCY, THESE LIGHTS ARE TO BE FORCED ON WITH THE USE OF A UL-924 LISTED RELAY. UPON POWER FAILURE THE RELAY IS TO ACTIVATE THE LIGHTS TO FULL BRIGHTNESS. REFER TO DETAIL 2/E-0.2 FOR REQUIREMENTS.
 12. COORDINATE INSTALLATION OF FIXTURES WITH MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, SPRINKLERS AND DUCT WORK WITH OTHER TRADES PRIOR TO WORK COMMENCING.

DRAWING NOTES:

(N-) RELOCATE EXISTING DOWNLIGHTS SHOWN AS DEMOLISH DRAWING TE-1.3 AS REQUIRED. REFER TO ARCHITECTURAL DRAWING FRO THE EXACT SCOPE OF WORK AND ALL DETAILS (TYPICAL).

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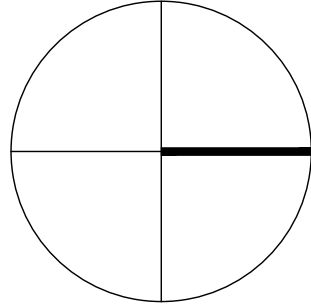


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| 1 | 2020-10-14 | ISSUED FOR 60% REVIEW |
| 2 | 2021-03-29 | ISSUED FOR 70% REVIEW |
| 3 | 2021-07-06 | ISSUED FOR 90% REVIEW |
| 4 | 2023-08-29 | ISSUED FOR 60% REVIEW |
| 5 | 2023-09-27 | ISSUED FOR 95% REVIEW |
| 6 | 2023-11-17 | ISSUED FOR PERMIT/TENDER |

PROJECT CONTACT

NAME: Ehsan Nagahi
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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



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DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND

BASE DATE: JULY 2020

PROJECT:

PROJECT #
RFTC-1131-23-C22020

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100

DRAWN BY: PH

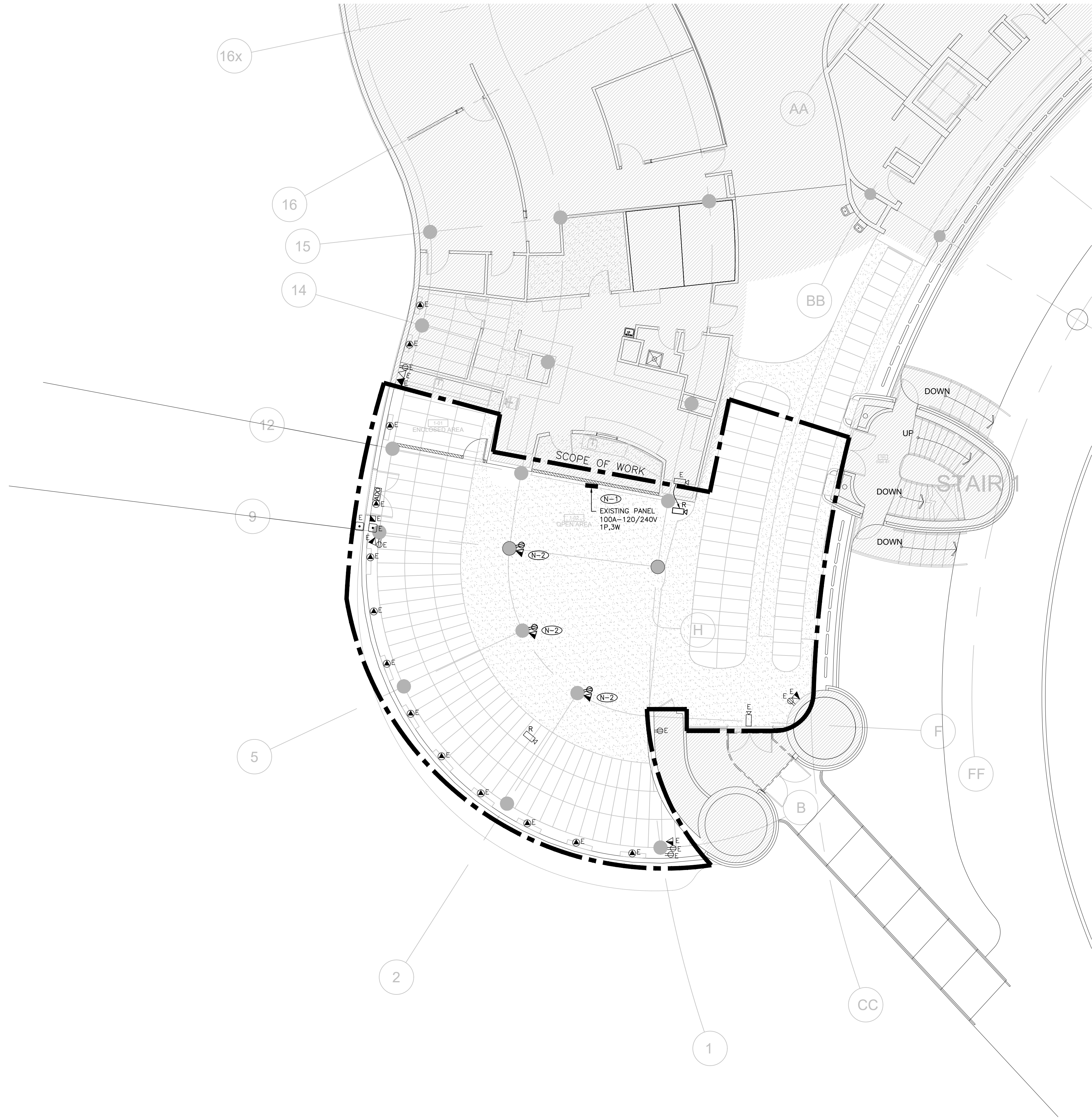
SUBMITTED TO: MUNICIPALITYOF YORK

SHEET TITLE:

GROUND FLOOR
LIGHTING AND FIRE
ALARM LAYOUT

SHEET NUMBER:

TE-1.1



- GENERAL NOTES:
1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION DETAILING, FINISHES AND COLOURS.
 2. CIRCUITING IN PART IS DIAGRAMMATIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
 3. PROVIDE EMT CONDUIT IN AREAS WITH EXPOSED CEILINGS AND WITHIN RAISED FLOOR. BX CABLING IS NOT ACCEPTABLE UNLESS OTHERWISE NOTED. BX CABLES MAY BE USED FOR FINAL CONNECTIONS TO LIGHTING FIXTURES OR EQUIPMENT WITH A MAXIMUM HORIZONTAL RUN LENGTH OF 3 FEET / 1 METER. PAINT CONDUITS TO MATCH ARCHITECTURAL BACKGROUNDS. MOUNT EXIT SIGNS, OCCUPANCY SENSORS, EXIT SIGNS, CAMERAS, WAPS AND ALL OTHER CEILING MOUNTED DEVICES WITH STEMS SUCH THAT THEY ARE ON THE SAME PLANE AS SUSPENDED LIGHTING FIXTURES. COORDINATE CEILINGS AND WALL HEIGHTS WITH INTERIOR DESIGNER DRAWINGS.
 4. REUSE CIRCUITS OBTAINED THROUGH DEMOLITION IS ACCEPTABLE.
 5. REFER TO ARCHITECT'S DRAWINGS FOR THE COLOUR OF COVERPLATES AND MOUNTING HEIGHTS.
 6. MARK UP OUTLET AND DEVICE LOCATIONS AND OBTAIN APPROVAL BY DESIGN CONSULTANT PRIOR TO INSTALLATION.
 7. PROVIDE SUITABLE LABELS ON ALL RECEPTACLES AND SYSTEM FURNITURE FEEDS. LABELS TO INCLUDE BOTH PANEL AND CIRCUIT DESIGNATION. REVIEW LABEL SIZE AND TYPE WITH CONSULTANT PRIOR TO INSTALLATION.
 8. TRACE ALL EXISTING OUTLETS, NOTED AS EXISTING, AND IDENTIFY ON AS BUILT DRAWING AS PER SPECIFICATION.
 9. CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATION OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AND CONTRACTOR PRIOR TO ROUGH-INS.
 10. ROUTE ALL CONDUIT SYSTEMS AROUND DUCT WORK, BEAMS AND PIPING AS REQUIRED TO ACCOMMODATE LAYOUT SHOWN. REFER TO MECHANICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.

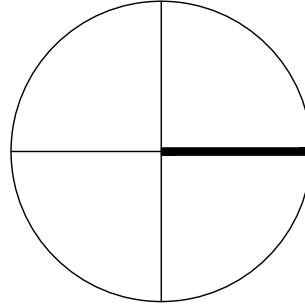
- DRAWING NOTES:
- (N-1) REMOVE AND RE-INSTALL EXISTING PANEL INSIDE KITCHEN ON THE NEW WALL.
 - (N-2) NEW RECEPTACLES SHALL BE FED FROM EXISTING CIRCUITS OBTAINED THROUGH THE DEMOLITION IN THE SPACE - ALLOW FOR ALLOW FOR ALL ASSOCIATED COST TO PROVIDE NEW CIRCUIT FROM PANEL IN THE SPACE AS REQUIRED.

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DEPARTMENT: BUILDING & FACILITIES

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PROJECT #
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YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100

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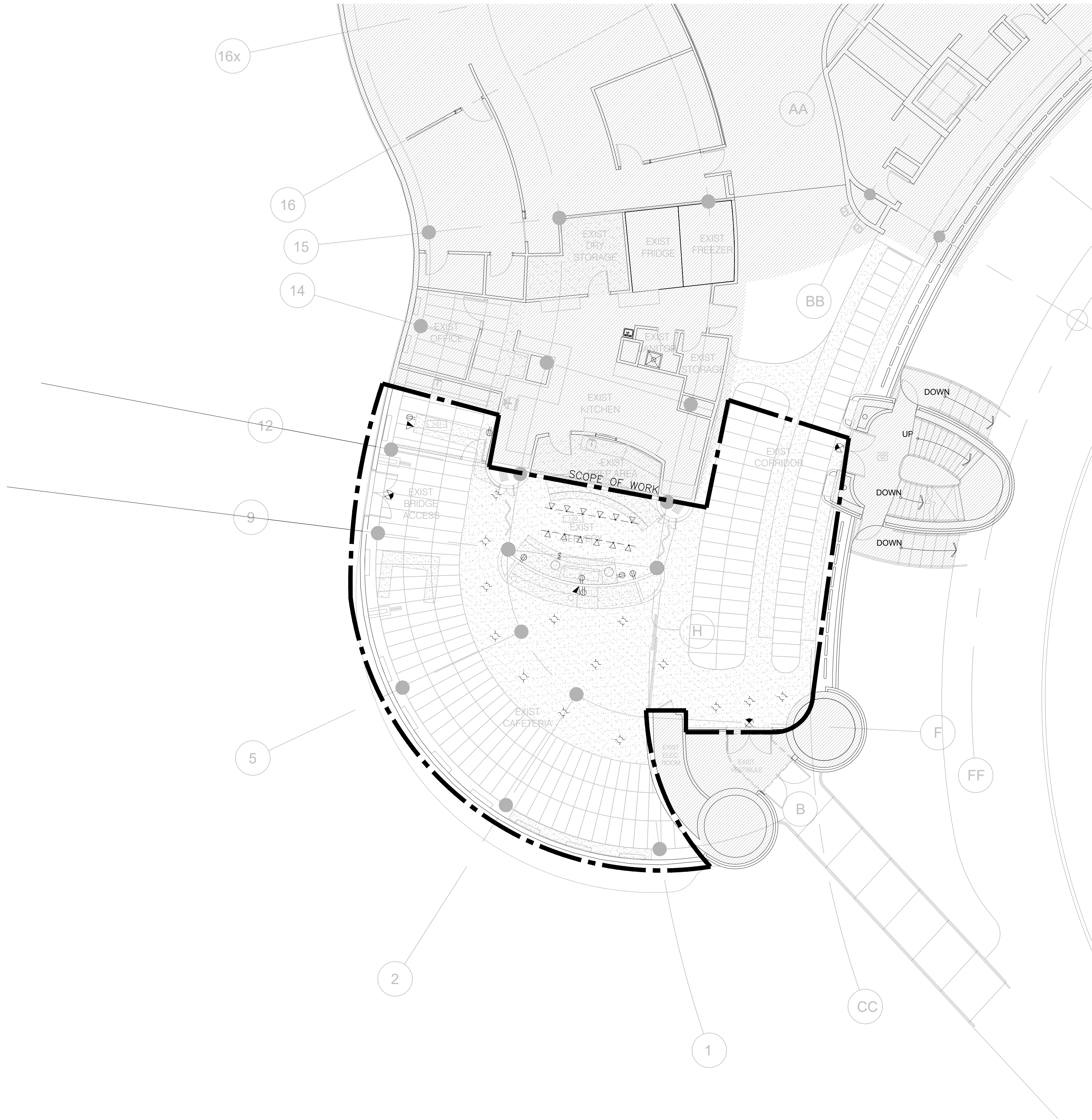
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**GROUND FLOOR
POWER AND
SYSTEMS LAYOUT**

SHEET NUMBER:

TE-1.2



- GENERAL NOTES:
1. REFER TO THE INTERIOR DESIGNER'S/ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
 2. REMOVE ALL FLOOR, COLUMN, CEILING, AND WALL MOUNTED POWER, TELEPHONE/DATA OUTLETS, CABLING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
 3. MAKE GOOD ALL CORE HOLES FROM ELECTRICAL EQUIPMENT AND DEVICES DISCONNECTED, RELOCATED AND OR REMOVED IN THIS PROJECT.
 4. ENSURE THAT ALL EXISTING ELECTRICAL DEVICES, EQUIPMENT AND LIGHTING WITHIN BASE BUILDING ROOMS, STAIRWELLS AND AREAS DEEMED NOT IN SCOPE, REMAIN LIVE OPERATIONAL, ISOLATED AND PROTECTED DURING CONSTRUCTION.
 5. COORDINATE ALL WORK TO SUIT PROJECT PHASE SCHEDULE. COORDINATE PHASING WITH ARCHITECT/INTERIOR DESIGN/GC DRAWINGS. PHASING IF SHOWN IS FOR REFERENCE PURPOSES ONLY.
 6. EXISTING CONDITIONS SHOWN ARE BASED ON DRAWINGS, FIELD SURVEY AND INFORMATION PROVIDED BY LANDLORD. ELECTRICAL CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BIDDING. ANY DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THOSE SHOWN HERE SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT MANAGER PRIOR TO BIDDING.
 7. NO ADDITIONAL COST WILL BE APPROVED FOR ANY REVISIONS/MODIFICATIONS REQUIRED BY ANY TRADE OR CONTRACTOR DUE TO THE LACK OF COORDINATION BETWEEN TRADES AND CONTRACTORS.
 8. COORDINATE WITH GENERAL CONTRACTOR AND LANDLORD FOR DISPOSAL OF ALL MATERIALS FROM SITE.
 9. EXISTING FIRE ALARM DEVICES SHALL BE COILED AND FULLY FUNCTIONAL THROUGHOUT DEMOLITION CONSTRUCTION. NEW FIRE ALARM DEVICES SHALL BE PROVIDED AS PART OF NEW CONSTRUCTION PHASE. REFER TO PHASING SCHEDULE FOR CONSTRUCTION SCHEDULING.
 10. ELECTRICAL CONTRACTOR TO PROVIDE TEMPORARY EMERGENCY LIGHTING FOR ENTIRE SPACE TO ACCOMMODATE DEMOLITION WORK AND FUTURE BUILD-OUT. ENSURE FIXTURES ARE CHAIN HUNG AND SUPPORTED FROM THE CEILING SLAB/STRUCTURE ABOVE.
 11. EXISTING EXIT SIGNS SHALL BE MAINTAINED THROUGHOUT DEMOLITION CONSTRUCTION. PROVIDE TEMPORARY SUPPORT FROM THE CEILING SLAB/STRUCTURE ABOVE. NEW EXIT SIGNS SHALL BE PROVIDED AS PART OF NEW CONSTRUCTION PHASE.

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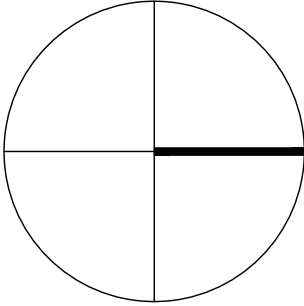


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| 4 | 2023-08-29 | ISSUED FOR 60% REVIEW |
| 5 | 2023-09-26 | ISSUED FOR 90% REVIEW |
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| | | |

PROJECT CONTACT

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DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND

BASE DATE: JULY 2020

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17250 Yonge Street
Newmarket, Ontario

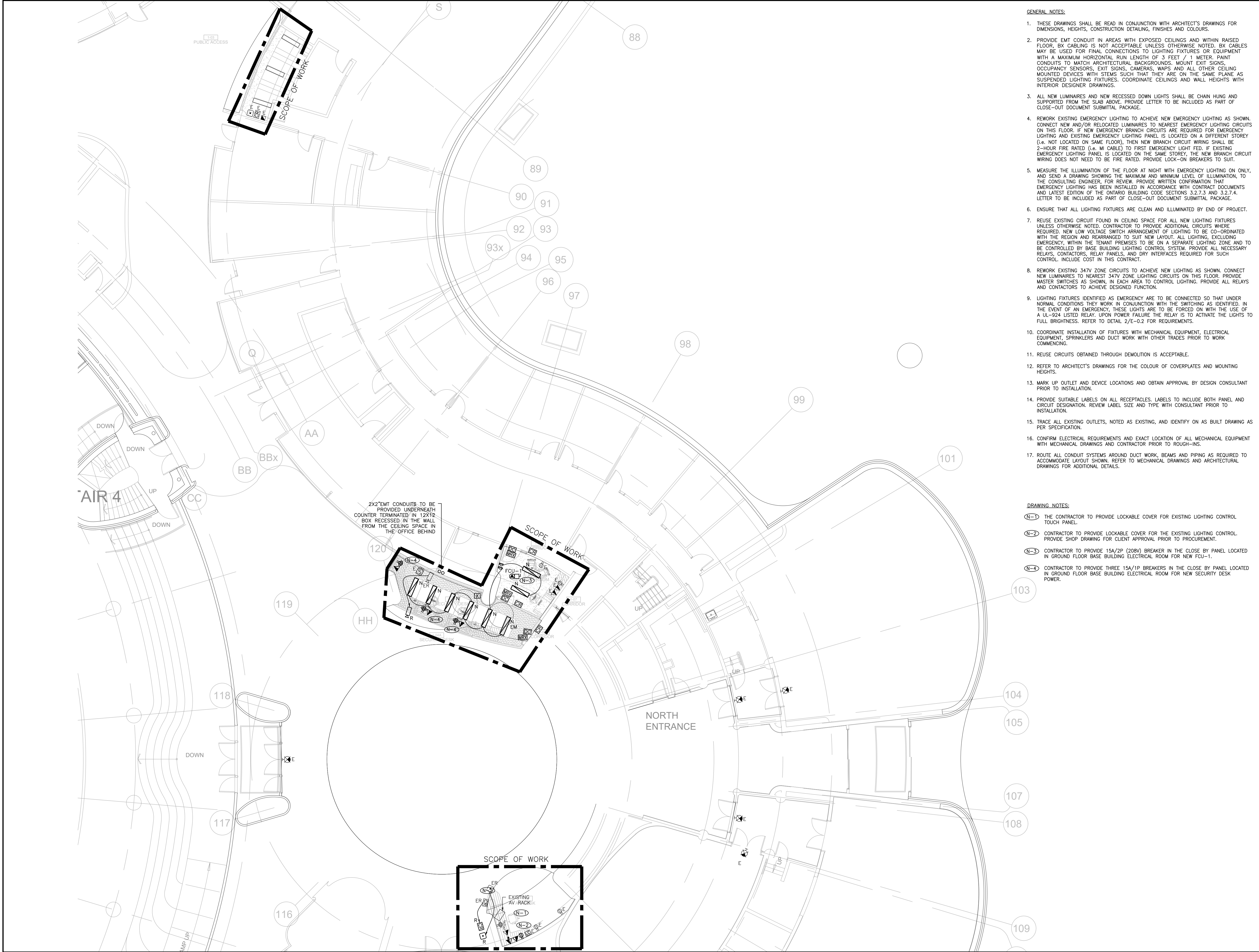
SCALE: 1:100

DRAWN BY: PH

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:
GROUND FLOOR
ELECTRICAL
DEMOLITION LAYOUT

SHEET NUMBER:
TE-1.3



- GENERAL NOTES:**
1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION DETAILING, FINISHES AND COLOURS.
 2. PROVIDE EMT CONDUIT IN AREAS WITH EXPOSED CEILINGS AND WITHIN RAISED FLOOR. BY CABLING IS NOT ACCEPTABLE UNLESS OTHERWISE NOTED. BY CABLES MAY BE USED FOR FINAL CONNECTIONS TO LIGHTING FIXTURES OR EQUIPMENT WITH A MAXIMUM HORIZONTAL RUN LENGTH OF 3 FEET / 1 METER. PAINT CONDUITS TO MATCH ARCHITECTURAL BACKGROUNDS. MOUNT EXIT SIGNS, OCCUPANCY SENSORS, EXIT SIGNS, CAMERAS, WAPS AND ALL OTHER CEILING MOUNTED DEVICES WITH STEMS SUCH THAT THEY ARE ON THE SAME PLANE AS SUSPENDED LIGHTING FIXTURES. COORDINATE CEILINGS AND WALL HEIGHTS WITH INTERIOR DESIGNER DRAWINGS.
 3. ALL NEW LUMINAIRES AND NEW RECESSED DOWN LIGHTS SHALL BE CHAIN HUNG AND SUPPORTED FROM THE SLAB ABOVE. PROVIDE LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
 4. REWORK EXISTING EMERGENCY LIGHTING TO ACHIEVE NEW EMERGENCY LIGHTING AS SHOWN. CONNECT NEW AND/OR RELOCATED LUMINAIRES TO NEAREST EMERGENCY LIGHTING CIRCUITS ON THIS FLOOR. IF NEW EMERGENCY BRANCH CIRCUITS ARE REQUIRED FOR EMERGENCY LIGHTING AND EXISTING EMERGENCY LIGHTING PANEL IS LOCATED ON A DIFFERENT STOREY (i.e. NOT LOCATED ON SAME FLOOR), THEN NEW BRANCH CIRCUIT WIRING SHALL BE 2-HOUR FIRE RATED (i.e. MI CABLE) TO FIRST EMERGENCY LIGHT FED. IF EXISTING EMERGENCY LIGHTING PANEL IS LOCATED ON THE SAME STOREY, THE NEW BRANCH CIRCUIT WIRING DOES NOT NEED TO BE FIRE RATED. PROVIDE LOCK-ON BREAKERS TO SUIT.
 5. MEASURE THE ILLUMINATION OF THE FLOOR AT NIGHT WITH EMERGENCY LIGHTING ON ONLY, AND SEND A DRAWING SHOWING THE MAXIMUM AND MINIMUM LEVEL OF ILLUMINATION, TO THE CONSULTING ENGINEER, FOR REVIEW. PROVIDE WRITTEN CONFIRMATION THAT EMERGENCY LIGHTING HAS BEEN INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND LATEST EDITION OF THE ONTARIO BUILDING CODE SECTIONS 3.2.7.3 AND 3.2.7.4. LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
 6. ENSURE THAT ALL LIGHTING FIXTURES ARE CLEAN AND ILLUMINATED BY END OF PROJECT.
 7. REUSE EXISTING CIRCUIT FOUND IN CEILING SPACE FOR ALL NEW LIGHTING FIXTURES UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE ADDITIONAL CIRCUITS WHERE REQUIRED. NEW LOW VOLTAGE SWITCH ARRANGEMENT OF LIGHTING TO BE CO-ORDINATED WITH THE REGION AND REARRANGED TO SUIT NEW LAYOUT. ALL LIGHTING, EXCLUDING EMERGENCY, WITHIN THE TENANT PREMISES TO BE ON A SEPARATE LIGHTING ZONE AND TO BE CONTROLLED BY BASE BUILDING LIGHTING CONTROL SYSTEM. PROVIDE ALL NECESSARY RELAYS, CONTACTORS, RELAY PANELS, AND DRY INTERFACES REQUIRED FOR SUCH CONTROL. INCLUDE COST IN THIS CONTRACT.
 8. REWORK EXISTING 347V ZONE CIRCUITS TO ACHIEVE NEW LIGHTING AS SHOWN. CONNECT NEW LUMINAIRES TO NEAREST 347V ZONE LIGHTING CIRCUITS ON THIS FLOOR. PROVIDE MASTER SWITCHES AS SHOWN. IN EACH AREA TO CONTROL LIGHTING. PROVIDE ALL RELAYS AND CONTACTORS TO ACHIEVE DESIGNED FUNCTION.
 9. LIGHTING FIXTURES IDENTIFIED AS EMERGENCY ARE TO BE CONNECTED SO THAT UNDER NORMAL CONDITIONS THEY WORK IN CONJUNCTION WITH THE SWITCHING AS IDENTIFIED. IN THE EVENT OF AN EMERGENCY, THESE LIGHTS ARE TO BE FORCED ON WITH THE USE OF A UL-924 LISTED RELAY. UPON POWER FAILURE THE RELAY IS TO ACTIVATE THE LIGHTS TO FULL BRIGHTNESS. REFER TO DETAIL 2/E-0.2 FOR REQUIREMENTS.
 10. COORDINATE INSTALLATION OF FIXTURES WITH MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, SPRINKLERS AND DUCT WORK WITH OTHER TRADES PRIOR TO WORK COMMENCING.
 11. REUSE CIRCUITS OBTAINED THROUGH DEMOLITION IS ACCEPTABLE.
 12. REFER TO ARCHITECT'S DRAWINGS FOR THE COLOUR OF COVERPLATES AND MOUNTING HEIGHTS.
 13. MARK UP OUTLET AND DEVICE LOCATIONS AND OBTAIN APPROVAL BY DESIGN CONSULTANT PRIOR TO INSTALLATION.
 14. PROVIDE SUITABLE LABELS ON ALL RECEPTACLES. LABELS TO INCLUDE BOTH PANEL AND CIRCUIT DESIGNATION. REVIEW LABEL SIZE AND TYPE WITH CONSULTANT PRIOR TO INSTALLATION.
 15. TRACE ALL EXISTING OUTLETS, NOTED AS EXISTING, AND IDENTIFY ON AS BUILT DRAWING AS PER SPECIFICATION.
 16. CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATION OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AND CONTRACTOR PRIOR TO ROUGH-INS.
 17. ROUTE ALL CONDUIT SYSTEMS AROUND DUCT WORK, BEAMS AND PIPING AS REQUIRED TO ACCOMMODATE LAYOUT SHOWN. REFER TO MECHANICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.

- DRAWING NOTES:**
- (N-1) THE CONTRACTOR TO PROVIDE LOCKABLE COVER FOR EXISTING LIGHTING CONTROL TOUCH PANEL.
 - (N-2) CONTRACTOR TO PROVIDE LOCKABLE COVER FOR THE EXISTING LIGHTING CONTROL. PROVIDE SHOP DRAWING FOR CLIENT APPROVAL PRIOR TO PROCUREMENT.
 - (N-3) CONTRACTOR TO PROVIDE 15A/2P (208V) BREAKER IN THE CLOSE BY PANEL LOCATED IN GROUND FLOOR BASE BUILDING ELECTRICAL ROOM FOR NEW FCU-1.
 - (N-4) CONTRACTOR TO PROVIDE THREE 15A/1P BREAKERS IN THE CLOSE BY PANEL LOCATED IN GROUND FLOOR BASE BUILDING ELECTRICAL ROOM FOR NEW SECURITY DESK POWER.

G.Bruce Stratton Architects

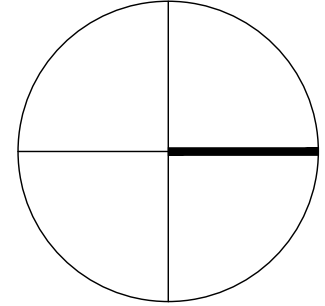

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York Region

PROPERTY SERVICES

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| 1 | 2023-08-29 | ISSUED FOR 60% REVIEW |
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| FLOOR: | GROUND |
| BASE DATE: | JULY 2020 |

PROJECT:

PROJECT #

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YORK REGION

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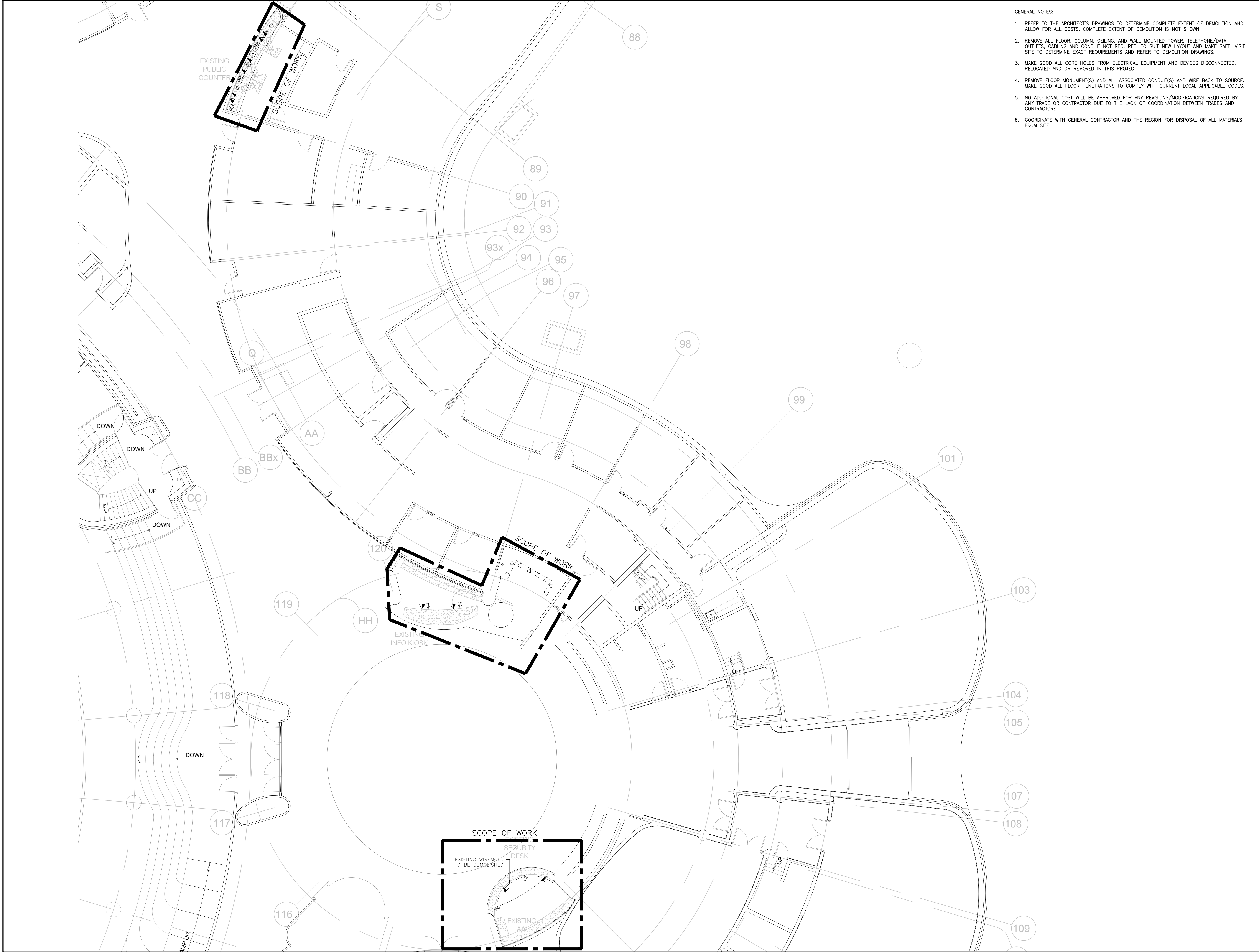
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GROUND FLOOR

ELECTRICAL LAYOUT

SHEET NUMBER:

TE-1.4

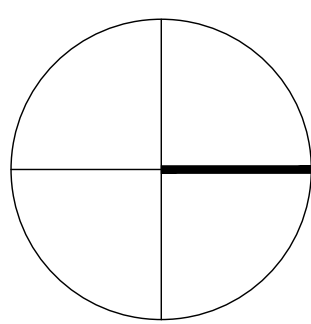


- GENERAL NOTES:
1. REFER TO THE ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
 2. REMOVE ALL FLOOR, COLUMN, CEILING, AND WALL MOUNTED POWER, TELEPHONE/DATA OUTLETS, CABLING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
 3. MAKE GOOD ALL CORE HOLES FROM ELECTRICAL EQUIPMENT AND DEVICES DISCONNECTED, RELOCATED AND OR REMOVED IN THIS PROJECT.
 4. REMOVE FLOOR MONUMENT(S) AND ALL ASSOCIATED CONDUIT(S) AND WIRE BACK TO SOURCE. MAKE GOOD ALL FLOOR PENETRATIONS TO COMPLY WITH CURRENT LOCAL APPLICABLE CODES.
 5. NO ADDITIONAL COST WILL BE APPROVED FOR ANY REVISIONS/MODIFICATIONS REQUIRED BY ANY TRADE OR CONTRACTOR DUE TO THE LACK OF COORDINATION BETWEEN TRADES AND CONTRACTORS.
 6. COORDINATE WITH GENERAL CONTRACTOR AND THE REGION FOR DISPOSAL OF ALL MATERIALS FROM SITE.

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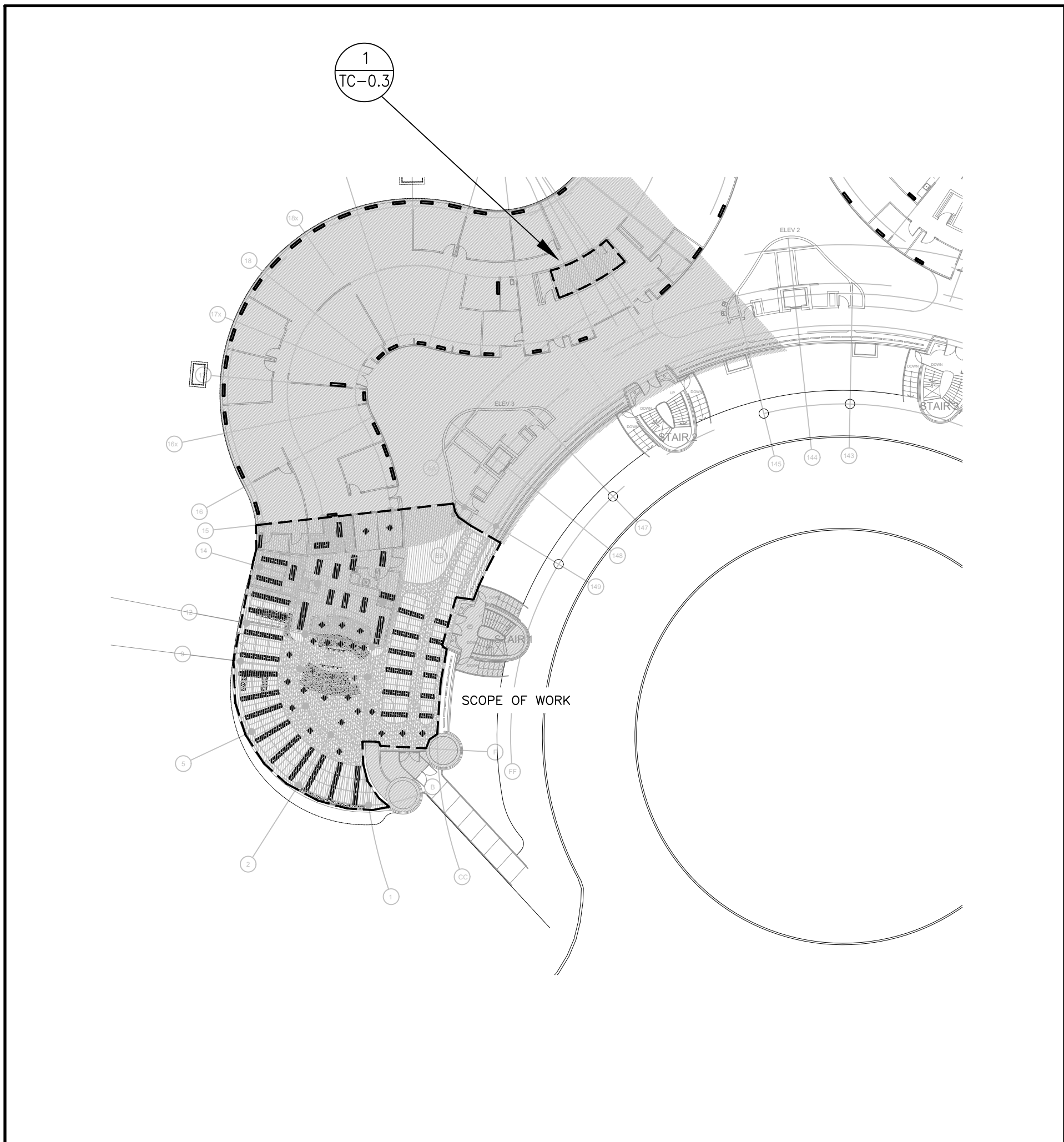
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| SUBMITTED TO: | MUNICIPALITY OF YORK |
| SHEET TITLE: | |

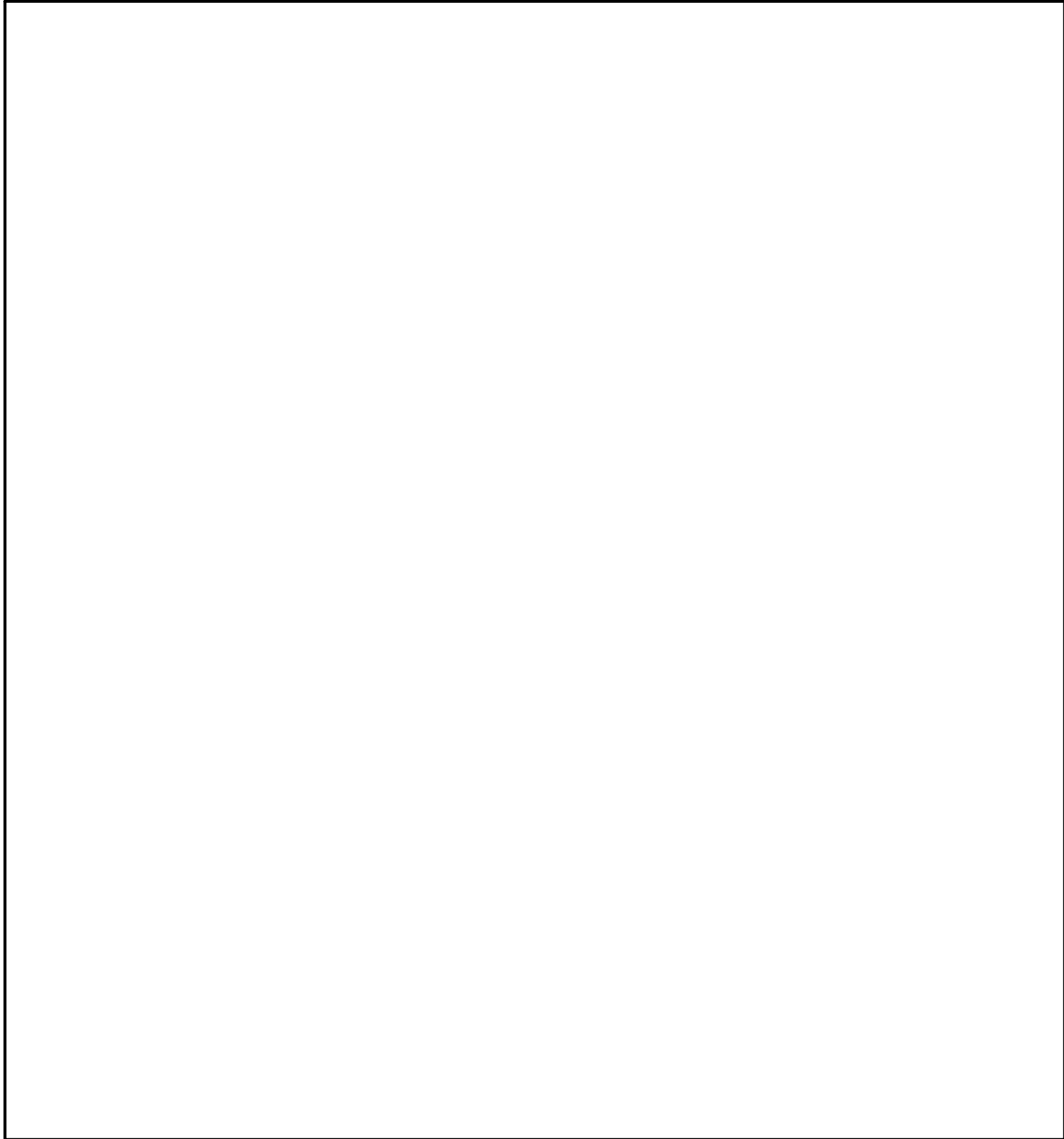
**GROUND FLOOR
ELECTRICAL
DEMOLITION LAYOUT**

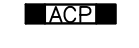


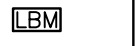





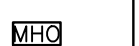

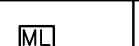

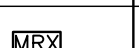
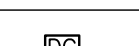
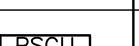
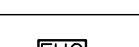
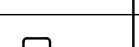
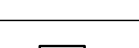
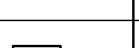
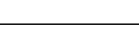
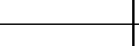
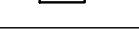
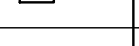
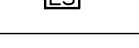
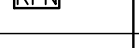
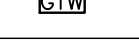
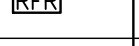
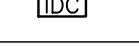
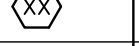
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TE-1.5



5 KEY PLAN
TSE-0.1 SCALE 1:400







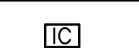


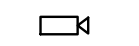







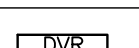

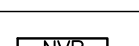


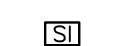

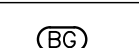
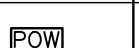
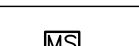
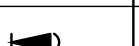
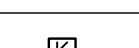
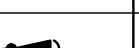
| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|---|--------------------------------|---|------------------------------------|
| ACCESS CONTROL | | | |
|  | ACCESS CONTROL SYSTEM PANEL |  | KEY SWITCH |
|  | ACCESS CONTROL SYSTEM SERVER |  | LATCH BOLT MONITOR |
|  | AUTOMATIC DOOR OPERATOR |  | LATCH BOLT MONITOR REQUEST TO EXIT |
|  | BIOMETRIC READER |  | MAGLOCK KEY RESET SWITCH |
|  | CARD READER |  | MAGNETIC DOOR HOLD/OPEN DEVICE |
|  | CENTRAL MANAGEMENT STATION |  | MAGNETIC LOCK |
|  | DOOR ALARM |  | MOTION REQUEST TO EXIT |
|  | DOOR CONTACT |  | POWER SUPPLY CONTROL UNIT |
|  | ELECTRIC DOOR HOLD/OPEN DEVICE |  | PUSH BUTTON DOOR OPERATOR |
|  | ELECTRIC LATCH RETRACTION |  | PUSH BUTTON REQUEST TO EXIT |
|  | ELECTRIC MORTISE LOCK |  | REMOTE RELEASE |
|  | ELECTRIC STRIKE |  | RF NODE |
|  | GATEWAY |  | RF RECEIVER |
|  | IP DOOR CONTROLLER |  | SECURITY DOOR TAG. XX DENOTES TYPE |
|  | KEY ENCODER |  | WIRELESS LOCK |

| | | | |
|---|-----------------------|---|----------------------|
| REAL TIME LOCATING SYSTEM (RTL) | | | |
|  | LOW FREQUENCY EXCITER |  | RF READER MASTER |
|  | INFRARED READER |  | RF READER |
|  | REMOTE DISPLAY UNIT |  | RF ETHERNET READER |
|  | LOCAL AREA RECEIVER |  | RF LONG RANGE READER |

NOTE: NOT ALL SYMBOLS APPLY, REFER TO FLOOR PLANS AND DRAWINGS

3 SECURITY LEGEND 1 OF 2
TSE-0.1

| SYMBOL | DESCRIPTION | SYMBOL | DESCRIPTION |
|---|-------------------------|---|--|
| ELECTRONIC PERSONAL PROTECTION | | | |
|  | EMERGENCY PHONE STATION |  | DURESS ALARM STATION |
|  | STROBE LIGHT |  | PANIC ALARM RECEIVER |
|  | PANIC BUTTON |  | ASSISTANCE REQUIRED SIGN |
| INTERCOM LEGEND | | | |
|  | INTERCOM |  | MASTER INTERCOM |
|  | ENTRY PHONE CONSOLE | | |
| CCTV | | | |
|  | FIXED CAMERA |  | CCTV SYSTEM SERVER |
|  | PAN-TILT-ZOOM CAMERA |  | POWER INJECTOR |
|  | PERSONAL COMPUTER |  | VIDEO MONITOR |
|  | COMPUTER MONITOR |  | FIXED CCTV CAMERA HORIZONTAL ANGLE OF VIEW |
|  | DIGITAL VIDEO RECORDER |  | LCD MONITOR, SIZE AS INDICATED |
|  | NETWORK VIDEO RECORDER | | |

| | | | |
|---|--------------------|---|---|
| INTRUSION DETECTION | | | |
|  | SIREN |  | INTRUSION DETECTION SYSTEM PANEL |
|  | BREAK GLASS SENSOR |  | POWER SUPPLY |
|  | MOISTURE SENSOR |  | WALL MOUNTED SECURITY MOTION SENSOR |
|  | KEYPAD |  | CEILING MOUNTED SECURITY 360° MOTION SENSOR |
| | | | |
| | | | |

NOTE: NOT ALL SYMBOLS APPLY, REFER TO FLOOR PLANS AND DRAWINGS

4 SECURITY LEGEND 2 OF 2
TSE-0.1

| SECURITY DRAWING LIST | |
|-----------------------|---|
| Sheet Number | Sheet Title |
| TSE-0.1 | DRAWING LIST, ABBREVIATIONS AND LEGENDS |
| TSE-0.2 | SECURITY RISER DIAGRAM |
| TSE-0.3 | SECURITY DETAILS 1 |
| TSE-0.4 | SECURITY DETAILS 2 |
| TSE-1.0 | GROUND FLOOR - SECURITY LAYOUT |

1 SECURITY DRAWING LIST
TSE-0.1

| | |
|---------------|---|
| ABBREVIATIONS | |
| E | EXISTING TO REMAIN |
| ER | EXISTING TO BE REMOVED |
| R | EXISTING TO BE RELOCATED |
| WP | EXTERIOR/WEATHERPROOF |
| JB | JUNCTION BOX |
| AFF | ABOVE FINISHED FLOOR |
| TYP | TYPICAL - TO BE INTERPRETED AS EXACTLY THE SAME AS COMPARABLE FEATURES. |
| V | VOLTS |
| KW | KILOWATTS |
| X | EXPLOSION PROOF DEVICE |
| WM XXX AFF | WALL MOUNTED AT XXXXmm AFF. XXXX INDICATES SPECIFIC HEIGHT |
| CM | CEILING MOUNT |
| CNR XXX AFF | CORNER MOUNT AT XXXXmm AFF. XXXX INDICATES SPECIFIC HEIGHT |
| PM XXX AFF | PENDANT MOUNT AT XXXXmm AFF. XXXX INDICATES SPECIFIC HEIGHT |
| PTM XXX AFF | PARAPET MOUNT AT XXXXmm AFF. XXXX INDICATES SPECIFIC HEIGHT |
| TYPE-XX | DEVICE TYPE. XX INDICATES SPECIFIC TYPE. REFER TO RELATIVE SPECIFICATIONS AND OR SCHEDULES FOR ADDITIONAL DETAILS |
| FUNC.-XX | FUNCTION TYPE. XX INDICATES SPECIFIC FUNCTION DESCRIPTION. REFER TO RELATIVE SPECIFICATIONS AND OR SCHEDULES FOR ADDITIONAL DETAILS |

NOTE: NOT ALL SYMBOLS APPLY, CONTRACTOR TO REFER TO FLOOR PLANS.

2 SECURITY ABBREVIATIONS
TSE-0.1

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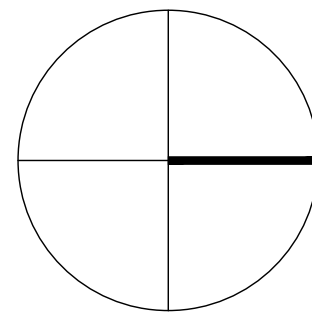

York Region
PROPERTY SERVICES

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|-----------------------|
| 1 | 2020-10-14 | ISSUED FOR 60% REVIEW |
| 2 | 2021-07-06 | ISSUED FOR 90% REVIEW |
| 3 | 2023-11-16 | ISSUED FOR REVIEW |
| 4 | 2023-11-17 | ISSUED FOR TENDER |
| | | |
| | | |
| | | |

PROJECT CONTACT

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THIS DRAWING SHALL BE READ IN CONJUNCTION
WITH COMMUNICATIONS SPECIFICATION SUBMITTED
FOR THIS PROJECT.



Smith + Andersen

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416 487 8151 T 416 487 8104 smithandandersen.com

DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND

BASE DATE: JULY 2020

PROJECT:

PROJECT # 14008.012

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SR

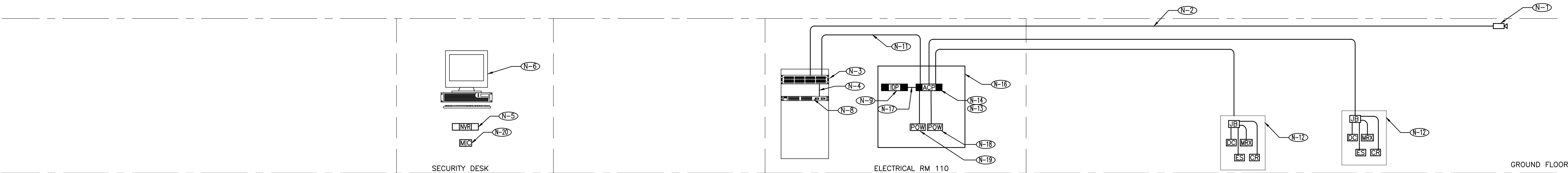
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SHEET TITLE:

DRAWING LIST,
ABBREVIATIONS AND
LEGENDS

SHEET NUMBER:

TSE-0.1



GENERAL NOTES:

1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE PROJECT RELATED DOOR HARDWARE SCHEDULE AS WELL AS THE PROJECT RELATED ARCHITECTURAL ELECTRICAL AND MECHANICAL DRAWINGS.
2. ALL ITEMS SHOWN ARE BY THE SECURITY CONTRACTOR UNLESS OTHERWISE NOTED. ALL PROVIDE ALL ITEM SHOWN UNLESS UNLESS OTHERWISE NOTED.
3. LOCATIONS OF DEVICES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATION OF EACH DEVICE ON SITE WITH OTHER TRADES.
4. COORDINATE THE INSTALLATION AND INTERFACING WITH ALL ELECTRIFIED LOCKS AND DOOR CONTACTS WITH THE DOOR HARDWARE CONTRACTOR.
5. COORDINATE THE INSTALLATION AND INTERFACING WITH ALL POWER CIRCUITS WITH THE ELECTRICAL CONTRACTOR.
6. COORDINATE EXACT MOUNTING HEIGHTS AND LOCATIONS OF CCTV CAMERAS ON SITE WITH ELECTRICAL CONTRACTOR. PROVIDE ALL MOUNTING BRACKETS TO ENSURE THAT ALL OBSTRUCTIONS ARE AVOIDED AND CLEAR VIEW OF TARGET AREAS IS ATTAINED.
7. ALL CABLES SHALL BE HOME RUN IN CONDUITS. CABLE SPLICES SHALL NOT BE ACCEPTABLE. WHERE CABLES ARE GROUPED AND INSTALLED IN A SINGLE CONDUIT THE CONDUIT SHALL BE SIZED TO MAXIMUM 40% FILL.

DRAWING NOTES:

- (N-1) TYPICAL CCTV CAMERA. REFER TO FLOOR PLANS FOR QUANTITY AND LOCATIONS.
- (N-2) CATEGORY 6A DATA CABLE IN 21MM CONDUIT. CABLE BY COMMUNICATIONS CONTRACTOR CONDUIT BY ELECTRICAL CONTRACTOR (TYP).
- (N-3) PATCH PANEL BY COMMUNICATIONS CONTRACTOR.
- (N-4) CATEGORY 6A PATCH CABLES BY COMMUNICATIONS CONTRACTOR.
- (N-5) ACCESS TO EXISTING NETWORK VIDEO RECORDER IN SECURITY OFFICE.
- (N-6) PROVIDE VIDEO MANAGEMENT SOFTWARE AND LICENSES AND INSTALL ON OWNER PROVIDED COMPUTER THAT IS CONNECTED TO CORPORATE NETWORK TO FACILITATE MANAGEMENT AND VIEWING OF VIDEO STREAMS FROM INSTALLED CCTV CAMERAS.
- (N-7) PROVIDE POWER OVER ETHERNET INJECTORS TO FACILITATE POWERING OF CCTV CAMERAS IF REQUIRED.
- (N-8) ETHERNET SWITCH BY COMMUNICATIONS CONTRACTOR.
- (N-9) INTRUSION DETECTION SYSTEM PANEL.
- (N-10) CATEGORY 6 DATA CABLE IN 21MM CONDUIT. CABLE BY COMMUNICATIONS CONTRACTOR CONDUIT BY ELECTRICAL CONTRACTOR. PROVIDE ALL HARDWARE, WIRING AND CONFIGURATIONS TO FACILITATE REMOTE RELEASE OF MAIN ENTRY DOOR FROM MASTER INTERCOM STATIONS.
- (N-11) CATEGORY 6 CABLE FROM ACCESS CONTROL PANEL TO PATCH PANEL.
- (N-12) ACCESS CONTROL SYSTEM DEVICE WIRING IN 27MM CONDUIT. WIRING BY SECURITY CONTRACTOR CONDUIT BY ELECTRICAL CONTRACTOR.
- (N-13) ACCESS CONTROL SYSTEM PANEL. QUANTITY OF ACCESS CONTROL SYSTEM PANEL SHOWN REPRESENTS GENERAL CONNECTIVITY REQUIREMENTS ONLY. PROVIDE ACCESS CONTROL PANELS AND CONTROLLERS AS REQUIRED FOR COMPLETE OPERATION OF ALL ACCESS CONTROL SYSTEM DEVICES AND AS SPECIFIED IN SPECIFICATIONS (TYP).
- (N-14) ACCESS CONTROL PANEL.
- (N-15) EXISTING 1219mm W x 2438 H x 19mm D FIRE RETARDANT PLYWOOD BACKBOARD.
- (N-16) CONTACT ELECTRONIC SECURITY VENDORS OF RECORD, OBTAIN AND INCLUDE ALL COST FOR ALL WIRING IN CONDUIT, ALL HARDWARE, SOFTWARE LICENSES AND CONFIGURATION AS REQUIRED AND INTEGRATE ALL NEW ACCESS CONTROL SYSTEM DEVICES INCLUDING ALL NEW PANELS AND CONTROLLERS WITH THE EXISTING ACCESS CONTROL SYSTEM.
- (N-17) PROVIDE ALL HARDWARE AND WIRING BETWEEN ACCESS CONTROL AND INTRUSION DETECTION SYSTEMS TO RELAY ALL ALARMS FROM ACCESS CONTROL TO INTRUSION DETECTION SYSTEM.
- (N-18) EXISTING ACCESS CONTROL CONTROLLER AND ELECTRIC STRIKE POWER SUPPLY.
- (N-19) EXISTING MAGLOCK POWER SUPPLY.
- (N-20) EXISTING INTERCOM STATION.

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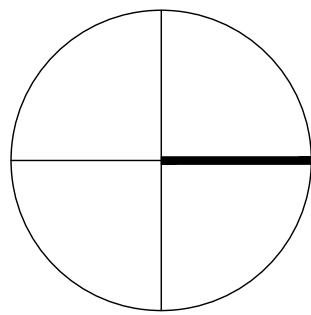


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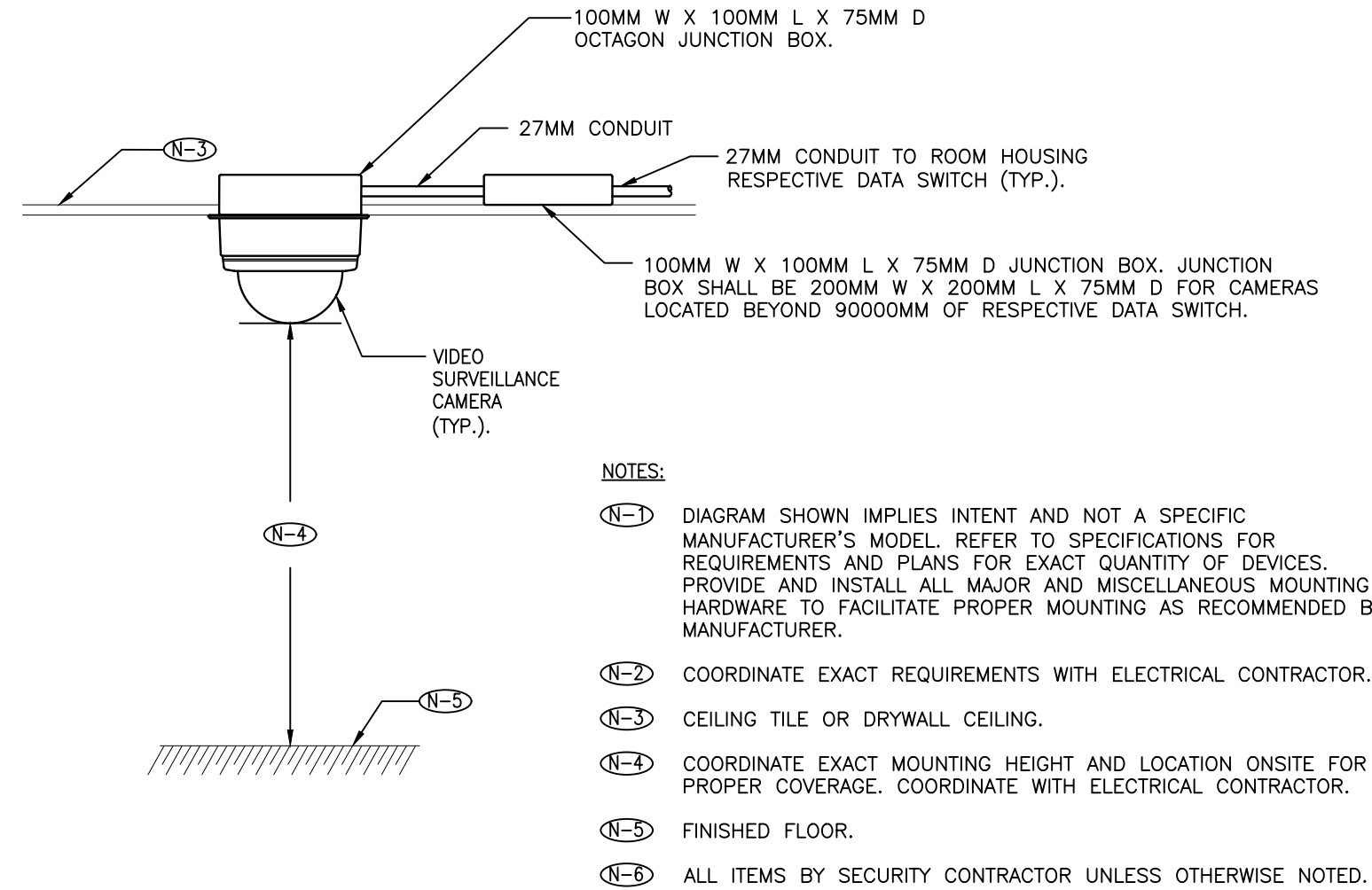
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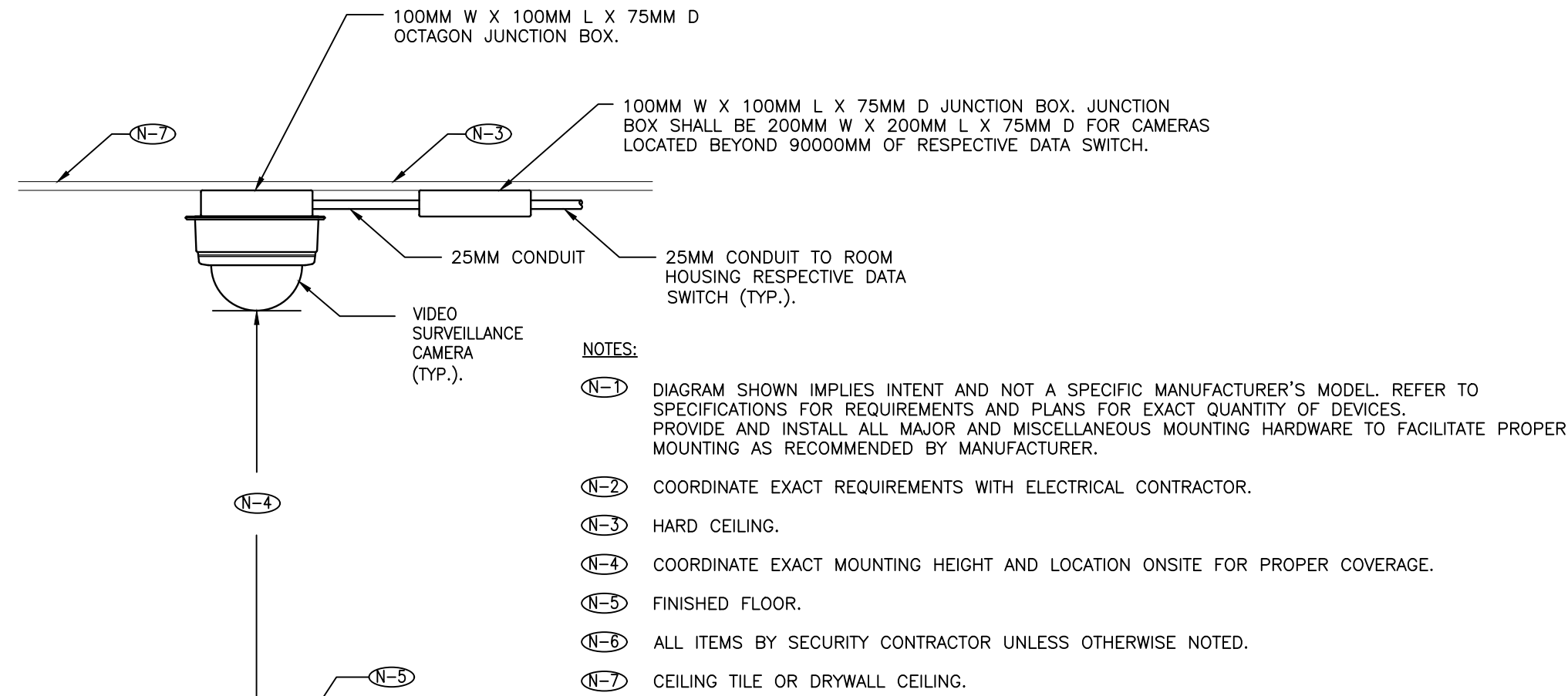
SECURITY RISER
DIAGRAM

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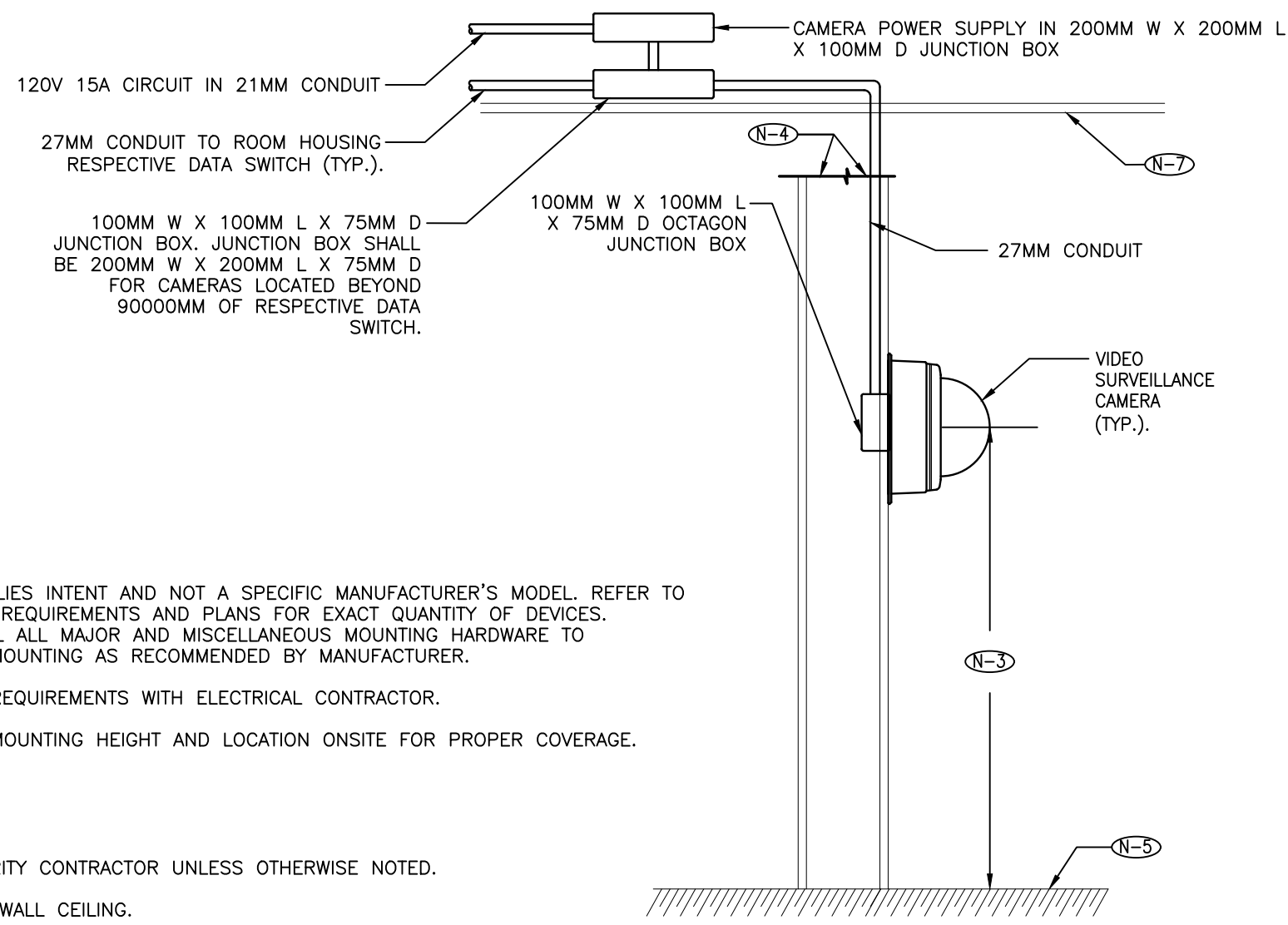
TSE-0.2



3 TYPICAL FLUSH CEILING MOUNTED INDOOR FIXED
TSE-0.3



1 TYPICAL SURFACE CEILING MOUNTED INDOOR FIXED OR PTZ DOME CAMERA
TSE-0.3



2 TYPICAL WALL MOUNTED INDOOR FIXED OR PTZ DOME CAMERA
TSE-0.3

4 NOT USED
TSE-0.3

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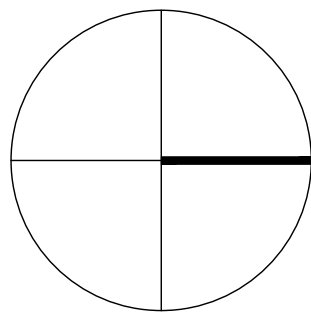
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DRAWN BY: SR

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

SECURITY DETAILS 1

SHEET NUMBER:

TSE-0.3

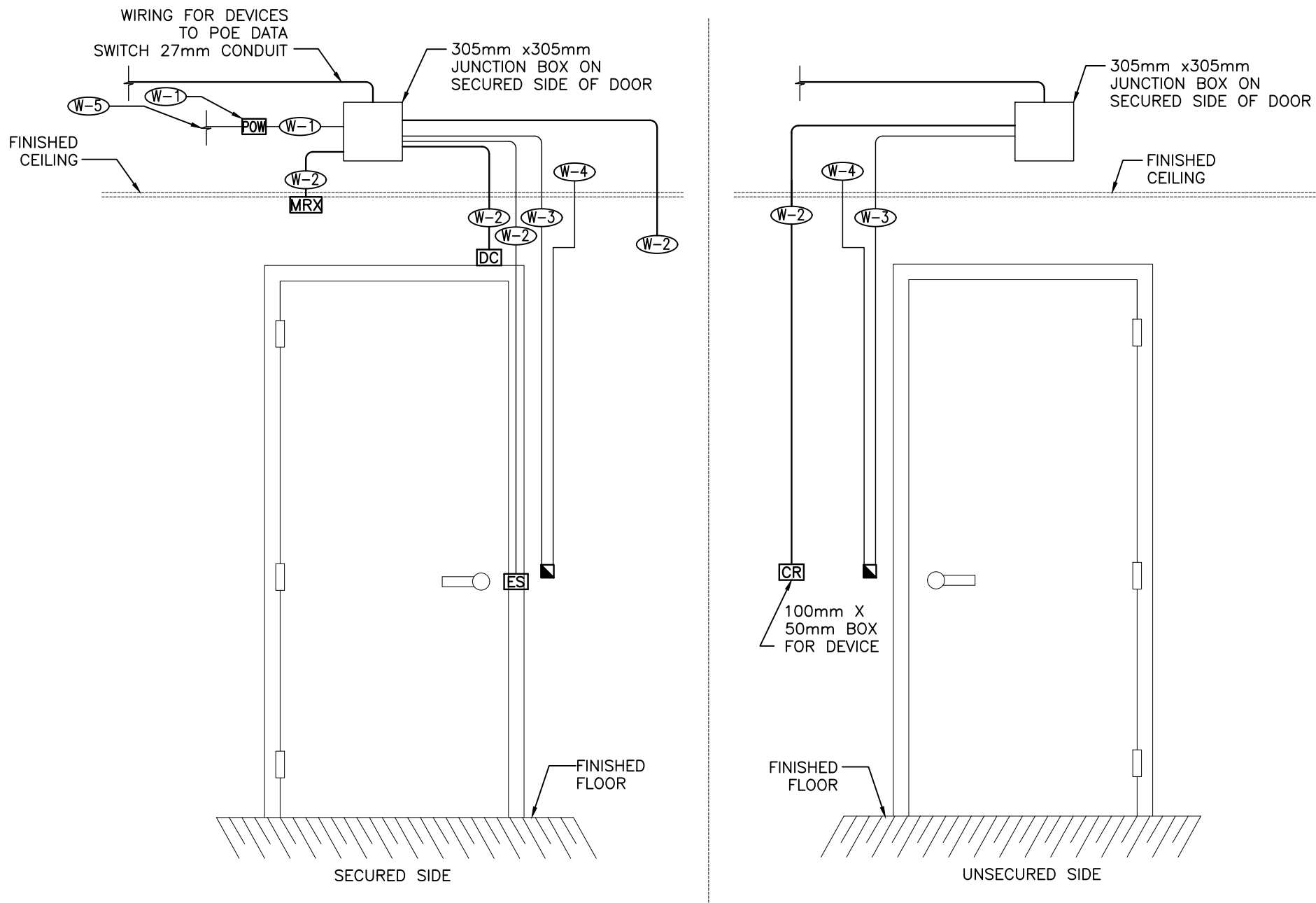
| NOTE | DEVICE BY | CONDUIT BY | WIRING BY | COMMENTS |
|------|--------------------------|-----------------------|-----------------------|---|
| W-1 | DOOR HARDWARE CONTRACTOR | ELECTRICAL CONTRACTOR | SECURITY CONTRACTOR | SECURITY CONTRACTOR SHALL PROVIDE ALL WIRING FROM THE ACCESS CONTROL SYSTEMS CONTROLLER TO THE TERMINAL STRIP AND FROM THE TERMINAL STRIP TO RESPECTIVE DEVICES. ALL WIRING FOR ALL ELECTRIFIED LOCKS INCLUDING BUT NOT LIMITED TO ELECTRIC STRIKES, ELECTRIC LATCH RETRACTION, ELECTRIC MORTISE LOCKS AND MAGLOCKS SHALL INCLUDE MINIMUM ONE (1) SPARE PAIR OF CONDUCTORS FOR LATCH MONITORING OR FUTURE USE. |
| W-2 | SECURITY CONTRACTOR | ELECTRICAL CONTRACTOR | SECURITY CONTRACTOR | SECURITY CONTRACTOR SHALL PROVIDE ALL CONTROLLERS AND CONFIGURE THE ACCESS CONTROL SYSTEM CONTROLLERS TO ACHIEVE REQUIRED MODES OF DOOR OPERATION. THE TERMINAL STRIP SHALL BE EQUIPPED WITH QUANTITY OF TERMINALS TO FACILITATE INTERFACING OF ALL DEVICE WIRING. ALL TERMINAL STRIPS BY SECURITY CONTRACTOR. |
| W-3 | ELECTRICAL CONTRACTOR | ELECTRICAL CONTRACTOR | ELECTRICAL CONTRACTOR | WIRING FROM FIRE ALARM PULL STATION TO FIRE MAGNETIC LOCK. |
| W-4 | ELECTRICAL CONTRACTOR | ELECTRICAL CONTRACTOR | ELECTRICAL CONTRACTOR | WIRING FROM FIRE ALARM PULL STATION TO FIRE ALARM PANEL. |
| W-5 | N/A | ELECTRICAL CONTRACTOR | ELECTRICAL CONTRACTOR | WIRING FROM 120VAC POWER SUPPLY SOURCE. |
| W-6 | DOOR HARDWARE CONTRACTOR | ELECTRICAL CONTRACTOR | ELECTRICAL CONTRACTOR | N/A |

| DEVICE | MOUNTING HEIGHT | DEVICE | MOUNTING HEIGHT |
|--------|----------------------|--------|---|
| CR | 1100 mm (43 IN.) AFF | MR | WALL OR CEILING MOUNT ABOVE DOOR AS RECOMMENDED BY MANUFACTURER |
| PR | 1100 mm (43 IN.) AFF | DA | CEILING MOUNT ABOVE DOOR |

FOR ALL OTHER DEVICES REFER TO RESPECTIVE DISCIPLINE CONTRACT DESIGN DOCUMENT.

GENERAL NOTES:

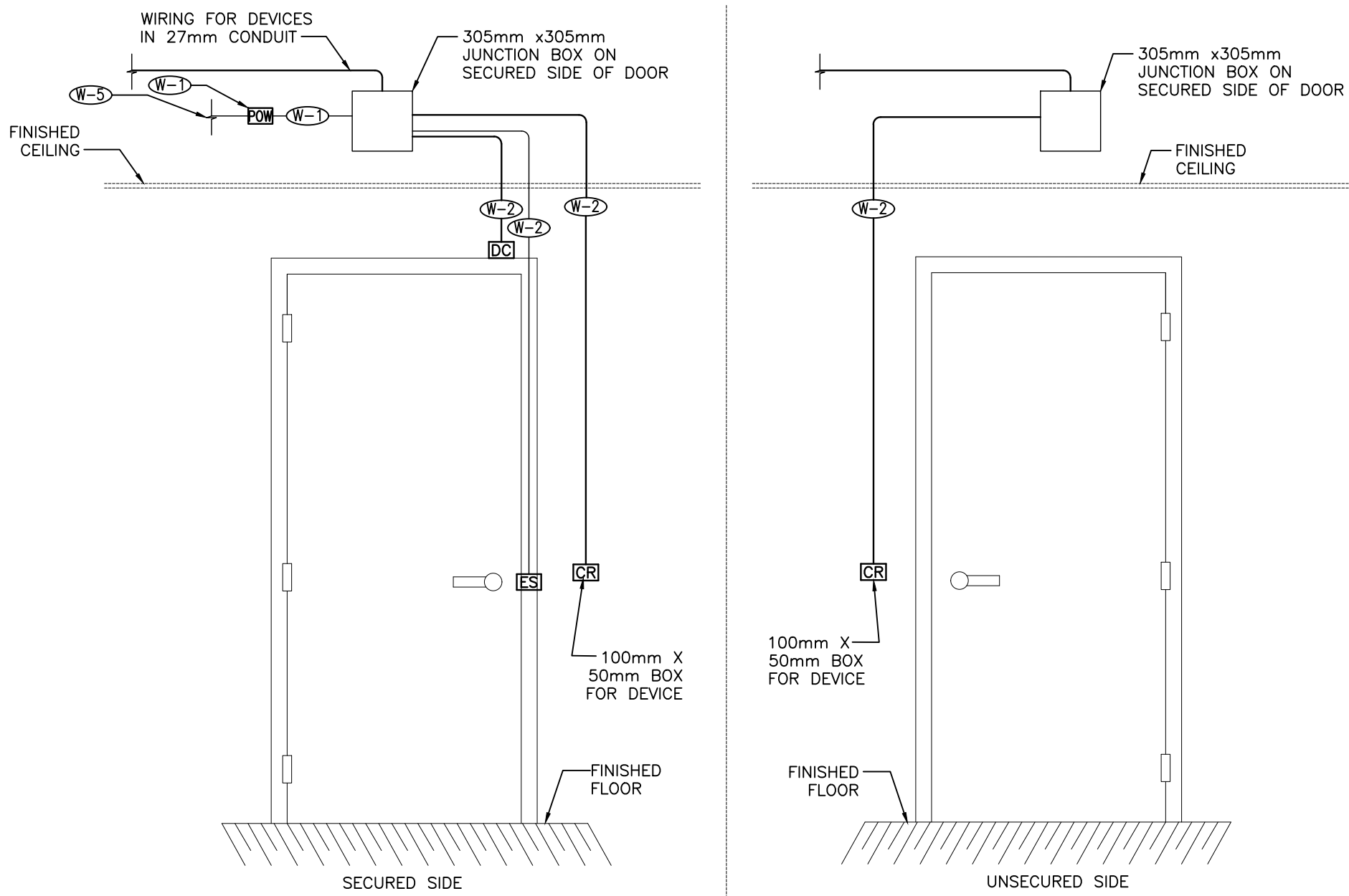
- REFER TO SECURITY PLAN DRAWINGS, ELECTRICAL DRAWINGS AND DOOR HARDWARE SCHEDULE FOR ADDITIONAL DETAILS.
- COORDINATE EXACT LOCATIONS OF DEVICES ON SITE WITH ELECTRICAL AND DOOR HARDWARE CONTRACTOR.
- ALL TERMINAL STRIPS SHALL BE PROVIDED AND INSTALLED BY THE SECURITY CONTRACTOR.
- THIS DIAGRAM SHALL BE READ IN CONJUNCTION WITH THE DOOR AND HARDWARE SCHEDULE.
- ALL WIRING SHALL BE INSTALLED IN CONDUITS. ALL CONDUIT SHALL BE 19mm UNLESS OTHERWISE NOTED.
- PRIOR TO INTERFACING WITH DEVICES AND DEVICE ASSOCIATED WIRING THAT ARE PROVIDED BY ELECTRICAL AND DOOR AND HARDWARE (D.H.) CONTRACTORS, COORDINATE WITH THE ELECTRICAL AND DOOR AND HARDWARE (D.H.) CONTRACTORS AND ENSURE THAT ALL DEVICES AND WIRING PROVIDED ARE CERTIFIED BY THE RESPECTIVE TRADE TO BE IN PROPER WORKING ORDER.
- PROVIDE ALL ACTIVE AND PASSIVE HARDWARE, ALL WIRING AND PROGRAMING OF SECURITY SYSTEM SOFTWARE TO FACILITATE EACH MODE OF OPERATION FOR EACH DOOR.
- ALL DOOR HARDWARE DEVICES PROVIDED SHALL MEET ALL REQUIREMENTS LISTED IN THE ACCESSIBILITY FOR ONTARIANS WITH DISABILITIES ACT (AODA).
- FOR ALL DOORS THAT ARE EQUIPPED WITH AUTOMATIC DOOR OPERATORS PROVIDE ALL ACCESS CONTROL CONTROLLERS AND WIRING REQUIRED TO INTEGRATE THE AUTOMATIC DOOR OPERATORS AND PUSH BUTTON OPERATORS WITH THE ACCESS CONTROL CONTROLLERS TO FACILITATE THE SEQUENCE OF OPERATION.



GENERAL NOTES:

- REFER TO DOOR DETAIL NOTES FOR ADDITIONAL INFORMATION.
- DOOR HANDLES SHOWN ARE DIAGRAMMATIC. REFER TO DOOR HARDWARE SCHEDULE FOR EXACT DOOR HANDLE TYPE.

1 SINGLE DOOR SECURITY TYPE 1



GENERAL NOTES:

- REFER TO DOOR DETAIL NOTES FOR ADDITIONAL INFORMATION.
- DOOR HANDLES SHOWN ARE DIAGRAMMATIC. REFER TO DOOR HARDWARE SCHEDULE FOR EXACT DOOR HANDLE TYPE.

2 SINGLE DOOR SECURITY TYPE 2

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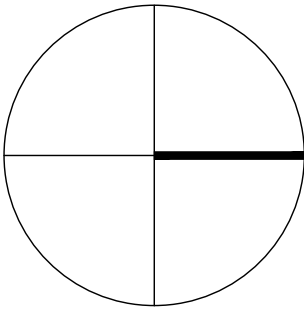
York Region
PROPERTY SERVICES

| SUBMISSION | DATE | DESCRIPTION |
|------------|------------|-----------------------|
| 1 | 2020-10-14 | ISSUED FOR 60% REVIEW |
| 2 | 2021-07-06 | ISSUED FOR 90% REVIEW |
| 3 | 2023-11-16 | ISSUED FOR REVIEW |
| 4 | 2023-11-17 | ISSUED FOR TENDER |
| | | |
| | | |
| | | |

PROJECT CONTACT

NAME: SAL RAMO
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EMAIL: salwan.ramo@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH COMMUNICATIONS SPECIFICATION SUBMITTED FOR THIS PROJECT.



Smith + Andersen

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DEPARTMENT: BUILDING & FACILITIES

FLOOR: GROUND

BASE DATE: JULY 2020

PROJECT:

PROJECT # 14008.012

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: N.T.S.

DRAWN BY: SR

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

SECURITY DETAILS 2

SHEET NUMBER:

TSE-0.4

3 DOOR DETAIL NOTES

4 NOT USED.



- GENERAL NOTES:**
1. THIS DRAWING SHALL BE READ IN CONJUNCTION WITH THE PROJECT RELATED DOOR HARDWARE SCHEDULE AS WELL AS THE PROJECT RELATED ARCHITECTURAL ELECTRICAL AND MECHANICAL DRAWINGS.
 2. ALL ITEMS SHOWN ARE BY THE SECURITY CONTRACTOR UNLESS OTHERWISE NOTED.
 3. LOCATIONS OF DEVICES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATION OF EACH DEVICE ON SITE WITH OTHER TRADES.
 4. COORDINATE THE INSTALLATION AND INTERFACING WITH ALL ELECTRIFIED LOCKS AND DOOR CONTACTS WITH THE DOOR HARDWARE CONTRACTOR.
 5. COORDINATE THE INSTALLATION AND INTERFACING WITH ALL POWER CIRCUITS WITH THE ELECTRICAL CONTRACTOR.
 6. COORDINATE EXACT MOUNTING HEIGHTS AND LOCATIONS OF CCTV CAMERAS ON SITE WITH ELECTRICAL CONTRACTOR. PROVIDE ALL MOUNTING BRACKETS TO ENSURE THAT ALL OBSTRUCTIONS ARE AVOIDED AND CLEAR VIEW OF TARGET AREAS IS ATTAINED.
 7. ALL CABLES SHALL BE HOME RUN IN CONDUITS. CABLE SPLICES SHALL NOT BE ACCEPTABLE. WHERE CABLES ARE GROUPED AND INSTALLED IN A SINGLE CONDUIT THE CONDUIT SHALL BE SIZED TO MAXIMUM 40% FILL.

- DRAWING NOTES:**
- (SD) TYPICAL SECURED DOOR. DEVICES SHOWN INDICATES GENERAL CONNECTIVITY REQUIREMENTS ONLY, REFER TO FLOOR PLANS FOR EXACT QUANTITY AND TYPES OF DEVICES AT EACH DOOR. REFER TO DOOR ELEVATION DRAWINGS FOR DEVICE AND CONDUIT REQUIREMENTS AT SECURED DOORS.(TYP).
 - (FC) EXISTING FIXED CCTV CAMERA TO BE RELOCATED.

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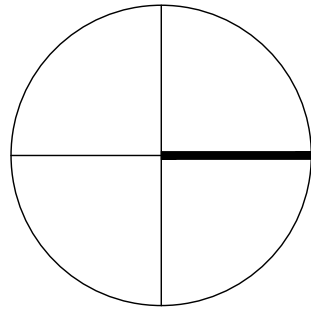


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FLOOR: GROUND

BASE DATE: JULY 2020

PROJECT:

PROJECT # 14008.012

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100

DRAWN BY: SR

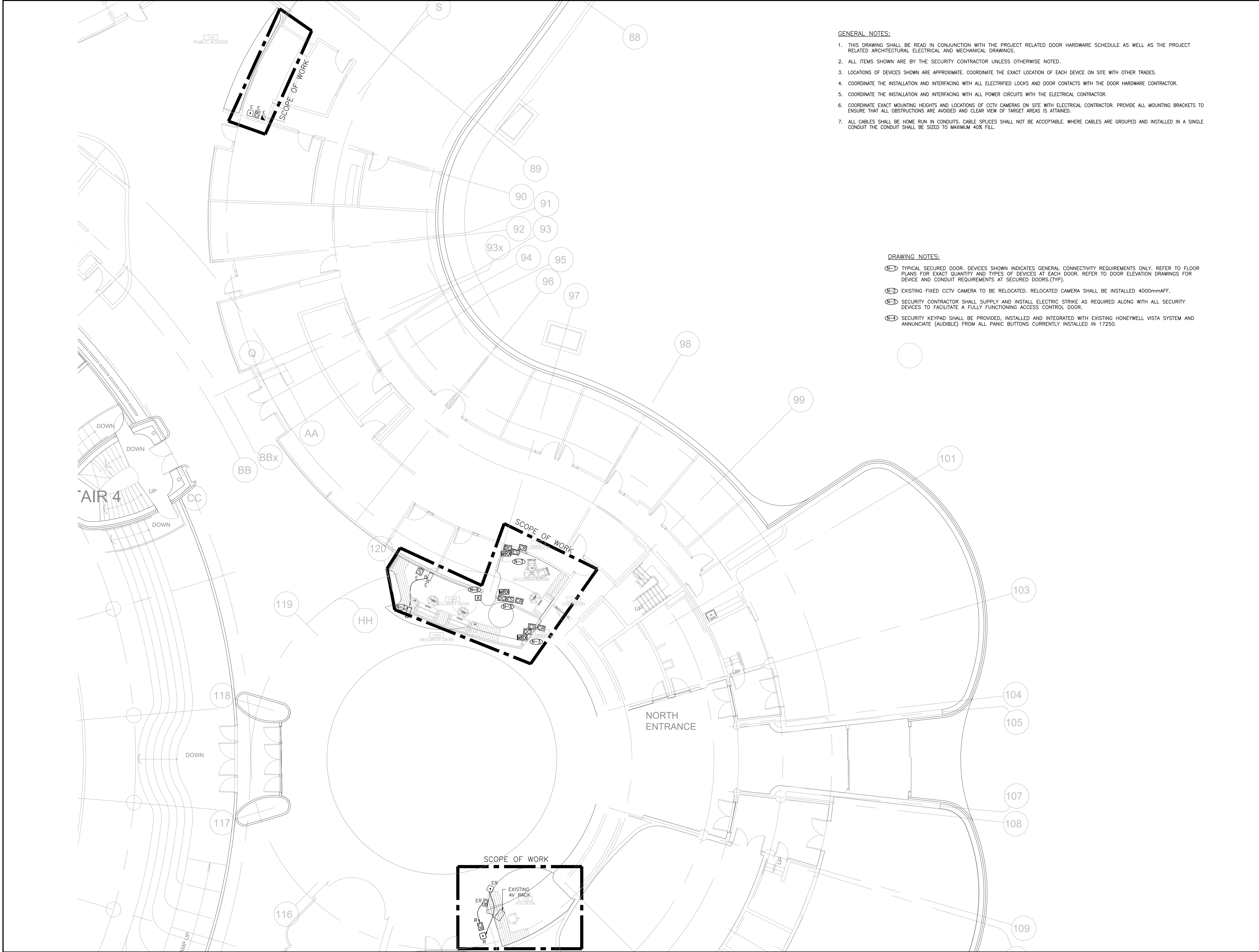
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

GROUND FLOOR -
SECURITY LAYOUT

SHEET NUMBER:

TSE-1.0



- GENERAL NOTES:**
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 2. ALL ITEMS SHOWN ARE BY THE SECURITY CONTRACTOR UNLESS OTHERWISE NOTED.
 3. LOCATIONS OF DEVICES SHOWN ARE APPROXIMATE. COORDINATE THE EXACT LOCATION OF EACH DEVICE ON SITE WITH OTHER TRADES.
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 7. ALL CABLES SHALL BE HOME RUN IN CONDUITS. CABLE SPLICES SHALL NOT BE ACCEPTABLE. WHERE CABLES ARE GROUPED AND INSTALLED IN A SINGLE CONDUIT THE CONDUIT SHALL BE SIZED TO MAXIMUM 40% FILL.

- DRAWING NOTES:**
- (N-1) TYPICAL SECURED DOOR. DEVICES SHOWN INDICATES GENERAL CONNECTIVITY REQUIREMENTS ONLY. REFER TO FLOOR PLANS FOR EXACT QUANTITY AND TYPES OF DEVICES AT EACH DOOR. REFER TO DOOR ELEVATION DRAWINGS FOR DEVICE AND CONDUIT REQUIREMENTS AT SECURED DOORS.(TYP).
 - (N-2) EXISTING FIXED CCTV CAMERA TO BE RELOCATED. RELOCATED CAMERA SHALL BE INSTALLED 4000mm AFF.
 - (N-3) SECURITY CONTRACTOR SHALL SUPPLY AND INSTALL ELECTRIC STRIKE AS REQUIRED ALONG WITH ALL SECURITY DEVICES TO FACILITATE A FULLY FUNCTIONING ACCESS CONTROL DOOR.
 - (N-4) SECURITY KEYPAD SHALL BE PROVIDED, INSTALLED AND INTEGRATED WITH EXISTING HONEYWELL VISTA SYSTEM AND ANNUNCIATE (AUDIBLE) FROM ALL PANIC BUTTONS CURRENTLY INSTALLED IN 17250.

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SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

GROUND FLOOR -
SECURITY LAYOUT

SHEET NUMBER:

TSE-1.1