

# CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162/ IBI 122260

FIRE HALL NO. 223  
116 DORSET RD.

GROUP 28  
SEQ 26



CITY OF TORONTO



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	ISSUED FOR PERMIT	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO  
ACCESSIBILITY UPGRADES  
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

**IBI** IBI GROUP  
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ibigroup.com

PROJECT NO:  
9119-19-0162/ IBI 122260

DATE:  
2022-11-01

SHEET NUMBER	ISSUE
G28-026-G0001	C

GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G0001	COVER SHEET
G0002	DRAWING LIST & OBC MATRIX

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SHEET NUMBER	SHEET NAME
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E1101	ELECTRICAL DEMOLITION PLAN 1ST FLOOR
E2101	POWER & SYSTEMS PLAN 1ST FLOOR

CLIENT  
**CITY OF TORONTO**  
  
 Corporate Real Estate Management  
 Project Management Office  
 Metro Hall Toronto, ON  
 MSV 3C6

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CONSULTANTS

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PRIME CONSULTANT

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PROJECT TITLE  
**CITY OF TORONTO  
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**FIRE HALL NO. 223  
 116 DORSET RD.**

PROJECT NO:  
 9119-19-0162/ IBI 122260  
 DRAWN BY:  
**A. HOLDER**  
 PROJECT MGR:  
**F. BOLOURIAN**

CHECKED BY:  
**K. TILAHUN**  
 APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**DRAWING LIST & OBC  
 MATRIX**

SHEET NUMBER  
**G28-026-G0002**  
 ISSUE  
**C**

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620		Name of Project <b>FIRE HALL NO. 223 ACCESSIBILITY UPGRADES</b> Location 116 DORSET RD. SCARBOROUGH, TORONTO ON M1M 2T1	
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
1. PROJECT DESCRIPTION	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> CHANGE OF USE	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	
2. MAJOR OCCUPANCY(S) SUBSIDIARY OCCUPANCY(S)	GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCIES GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES GROUP C - RESIDENTIAL OCCUPANCIES	3.1.2.1. (1) 9.10.2.	EXISTING NO CHANGE
3. BUILDING AREA (m <sup>2</sup> )	EXISTING - 452.6 NEW - 0 TOTAL - 452.6	1.4.1.2. [A] 1.4.1.2. [A]	
4. GROSS AREA (m <sup>2</sup> )	EXISTING - 663.0 NEW - 0 TOTAL - 663.0	1.4.1.2. [A] 1.4.1.2. [A]	EXISTING NO CHANGE
5. NUMBER OF STOREYS	ABOVE GRADE - 1 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1. 1.4.1.2. [A] & 9.10.4.	
6. NUMBER OF STREETS/FIRE FIGHTER ACCESS - 2	EXISTING NO CHANGE	3.2.2.10. & 3.2.5. 9.10.20.	
7. BUILDING CLASSIFICATION -	EXISTING NO CHANGE	3.2.2.67. 9.10.2.	
8. SPRINKLER SYSTEM PROPOSED	<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.67 3.2.1.5 3.2.2.17 INDEX INDEX	EXISTING NO CHANGE
9. STANDPIPE REQUIRED STANDPIPE PROVIDED	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9. N/A	EXISTING NO CHANGE
10. FIRE ALARM REQUIRED FIRE ALARM PROVIDED	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4. 9.10.18.	EXISTING NO CHANGE
11. WATER SERVICE/SUPPLY IS ADEQUATE	<input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7. N/A	EXISTING NO CHANGE
12. HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6. N/A	
13. CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH PERMITTED <input type="checkbox"/> BOTH REQUIRED <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.67. 9.10.6.	EXISTING NO CHANGE
14. MEZZANINE (S) AREA m <sup>2</sup>	N/A	3.2.1.1. (3) - (8) 9.10.4.1.	
15. OCCUPANT LOAD BASED ON	<input type="checkbox"/> m <sup>2</sup> /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17. 4.9.13.	EXISTING NO CHANGE
1ST FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS		
2ND FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS		
MEZZANINE FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS		
16. BARRIER FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8. 9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17. HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3.(4)	
18a. REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FLOORS ROOF MEZZANINE	3.2.2.67. & 3.2.1.4. 9.10.8. 9.10.9.	
	NO CHANGE		
	NO CHANGE		
	N/A		

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
18b. REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SB-2) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE	SB-2 TABLE 2.1.1. SB-2 TABLE 2.1.1.	
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	WALL AREA OF EBF (m <sup>2</sup> ) LD (M) L/H OR H/L PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB. CONST. COMB. CONST. NONC-GLASSING NON-COMB. CONST.	3.2.3. 9.10.14.	EXISTING NO CHANGE
	NORTH SOUTH EAST WEST		
20. PLUMBING FIXTURE REQUIREMENTS	MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE OCCUPANT LOAD OBC TABLE NUMBER FIXTURES REQUIRED FIXTURES PROVIDED	EXISTING NO CHANGE <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 3.7.4.9. 3.7.4.9. 3.7.4.9.	
21. EXITS/ ACCESS TO EXIT-			EXISTING NO CHANGE
22. OTHER (DESCRIBE) -			
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building	OBC REFERENCE	REMARKS
11.1. EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N	
11.2. ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION EXTENSIVE RENOVATION	<input checked="" type="checkbox"/> <input type="checkbox"/>	11.3.3.1. 11.3.3.2.
11.3. REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.
11.4. COMPENSATING CONSTRUCTION:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5. COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)	11.5.1	



IMAGE SOURCE: GOOGLE MAPS

**1 KEY PLAN**  
A1201 Scale: NTS



**2 SITE PLAN**  
A1201 Scale: 1 : 150



PHOTO 01: PARKING LOT



PHOTO 02: PARKING LOT

**SITE LEGEND**

- EXISTING MAIN ENTRANCE
- EXISTING EXIT TO REMAIN
- NEW PAINTED LINE MARKING  
DETAIL - REFER TO DETAIL 4/D1701
- DASHED AREA INDICATES  
AREA OF WORK

**SITE PLAN GENERAL NOTES**

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- 2 DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

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Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**FIRE HALL NO. 223  
116 DORSET RD.**

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

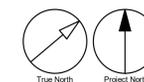
PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUA**

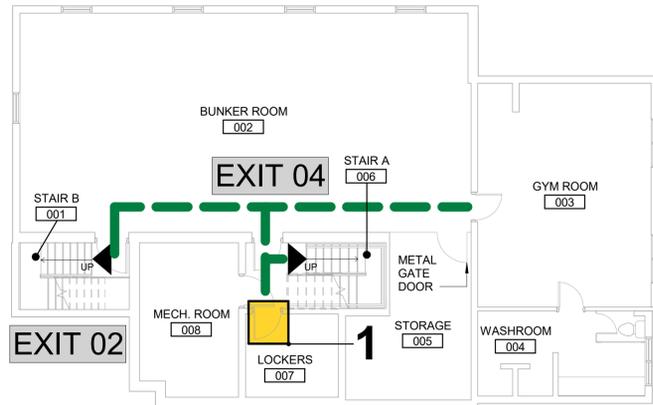
SHEET TITLE  
**EXISTING SITE PLAN**

SHEET NUMBER  
**G28-026-A1201**

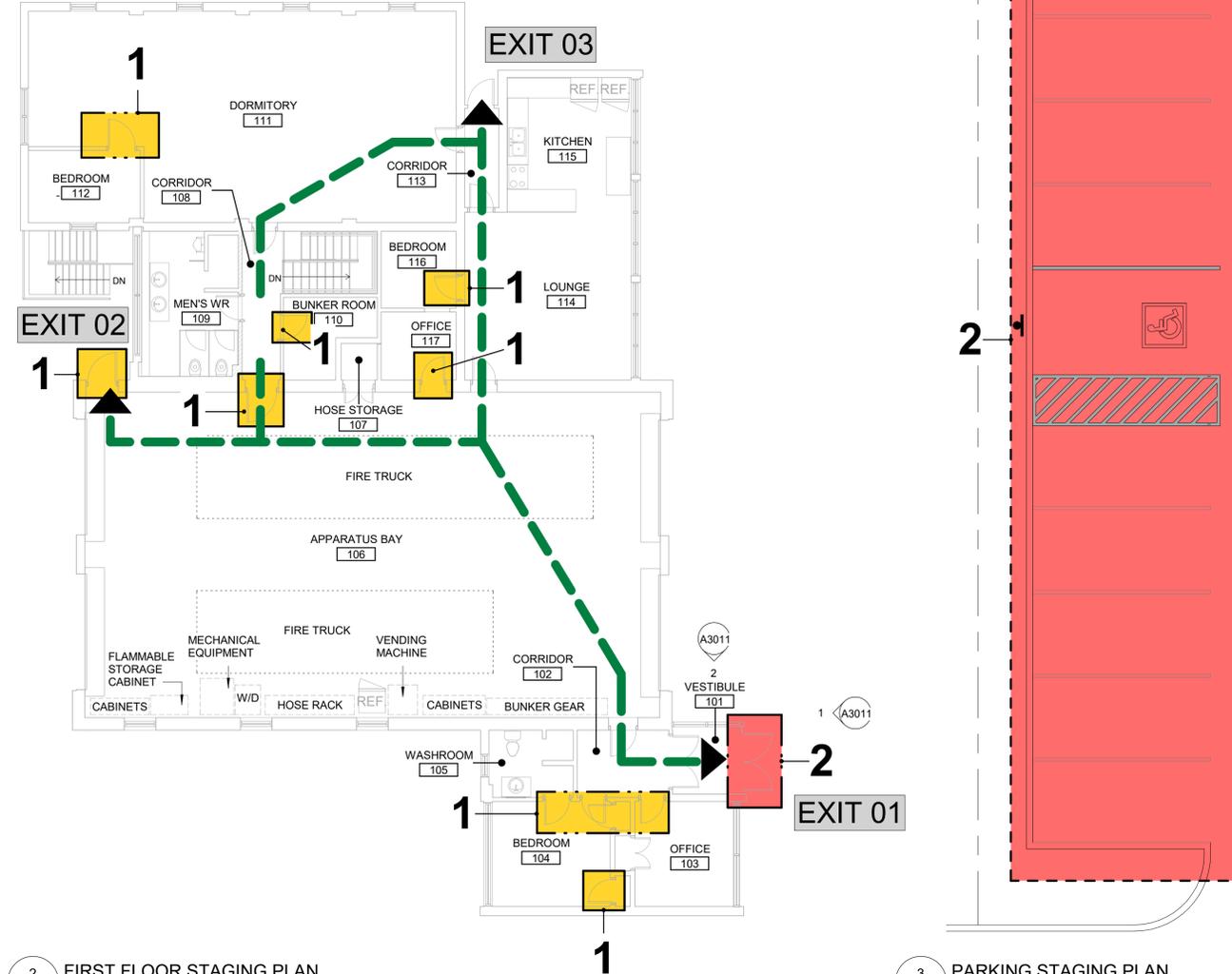
ISSUE  
**C**



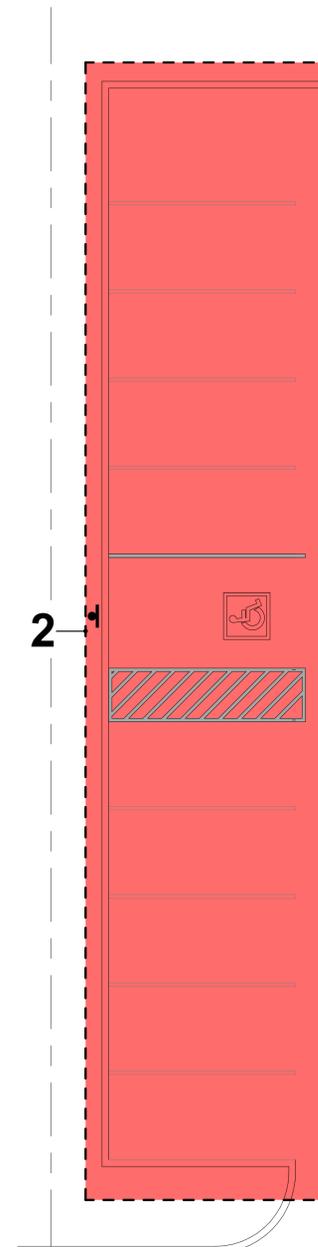




1 BASEMENT STAGING PLAN  
A2011 Scale: 1:100



2 FIRST FLOOR STAGING PLAN  
A2011 Scale: 1:100



3 PARKING STAGING PLAN  
A2011 Scale: 1:100

**CONSTRUCTION STAGING LEGEND**

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

**STAGING GENERAL NOTES**

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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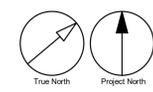
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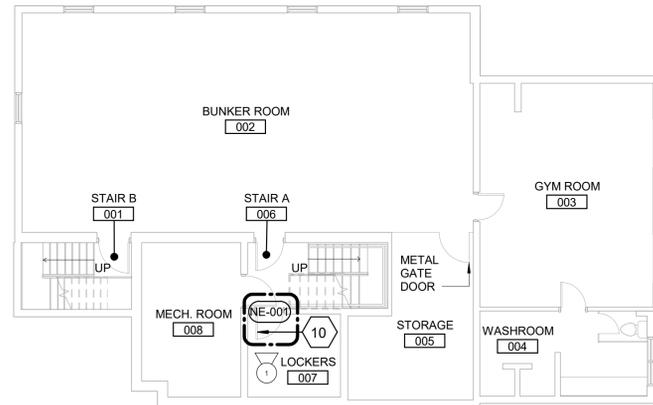
**PROJECT NO.:**  
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<b>DRAWN BY:</b> A. HOLDER	<b>CHECKED BY:</b> K. TILAHUN
<b>PROJECT MGR:</b> F. BOLOURIAN	<b>APPROVED BY:</b> E. FENUTA

**SHEET TITLE**  
BASEMENT & FIRST  
FLOOR STAGING PLANS

<b>SHEET NUMBER</b> G28-026-A2011	<b>ISSUE</b> C
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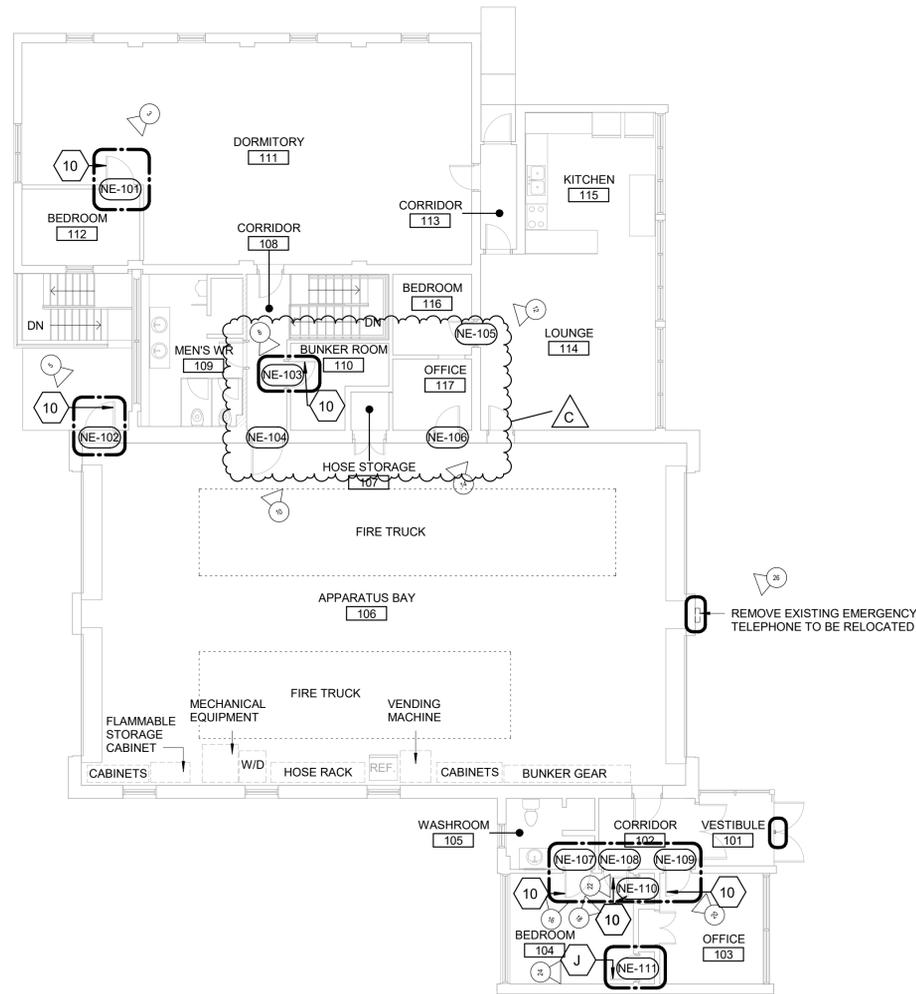


**1 BASEMENT DEMOLITION PLAN**  
A2111 Scale: 1:100



PH 01: NE-001  
REMOVE PAD LOCK AND LATCH AND REPLACE WITH LOCKABLE LATCH SET, PATCH AND MAKE GOOD DOOR SURFACE

PH 02: NE-001



**2 FIRST FLOOR DEMOLITION PLAN**  
A2111 Scale: 1:100



PH 03: NE-101

PH 04: NE-101

PH 05: NE-102

PH 06: NE-102

PH 07: NE-102

PH 08: NE-103

PH 09: NE-103

PH 10: NE-104

PH 11: NE-104

PH 12: NE-105

PH 13: NE-105



PH 14: NE-106

PH 15: NE-106

PH 16: NE-107

PH 17: NE-107

PH 18: NE-108

PH 19: NE-108

PH 20: NE-109

PH 21: NE-109

PH 22: NE-110

PH 23: NE-110

PH 24: NE-111

PH 25: NE-111

PH 26: EXISTING EMERGENCY TELEPHONE TO BE RELOCATED

**DEMOLITION KEY LEGEND**

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

**DEMOLITION KEY NOTES**

- | NO | DESCRIPTION  |
|----|--|
| 10 | REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS. |

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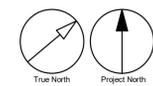
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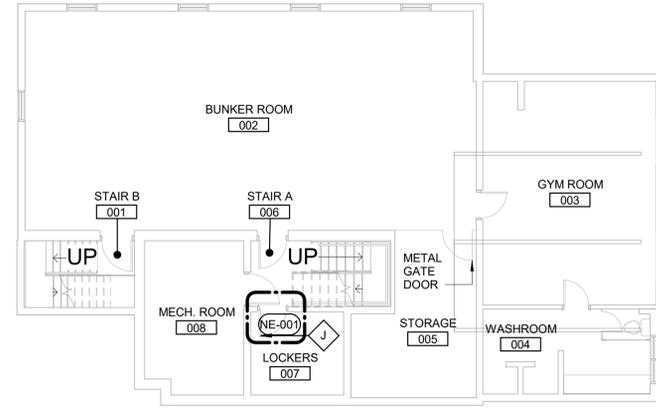
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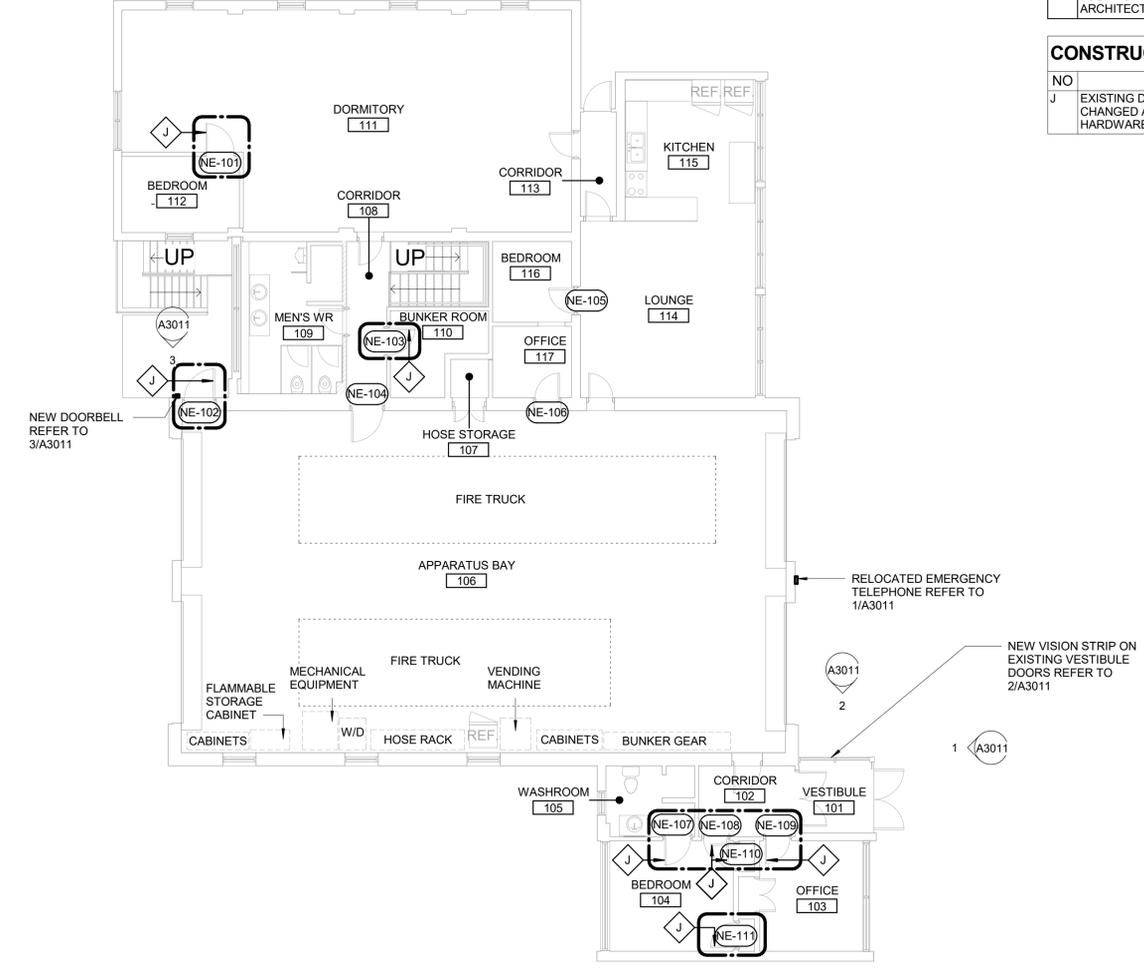
SHEET TITLE  
**BASEMENT & FIRST  
FLOOR DEMOLITION  
PLANS**

SHEET NUMBER  
**G28-026-A2111**  
ISSUE  
**C**





1 BASEMENT PROPOSED PLAN  
A2411 Scale: 1 : 100



2 FIRST FLOOR PROPOSED PLAN  
A2411 Scale: 1 : 100

**CONSTRUCTION KEY LEGEND**

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

**CONSTRUCTION GENERAL NOTES**

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.

**CONSTRUCTION KEY NOTES**

- | NO | DESCRIPTION  |
|----|--|
| J  | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

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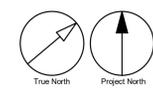
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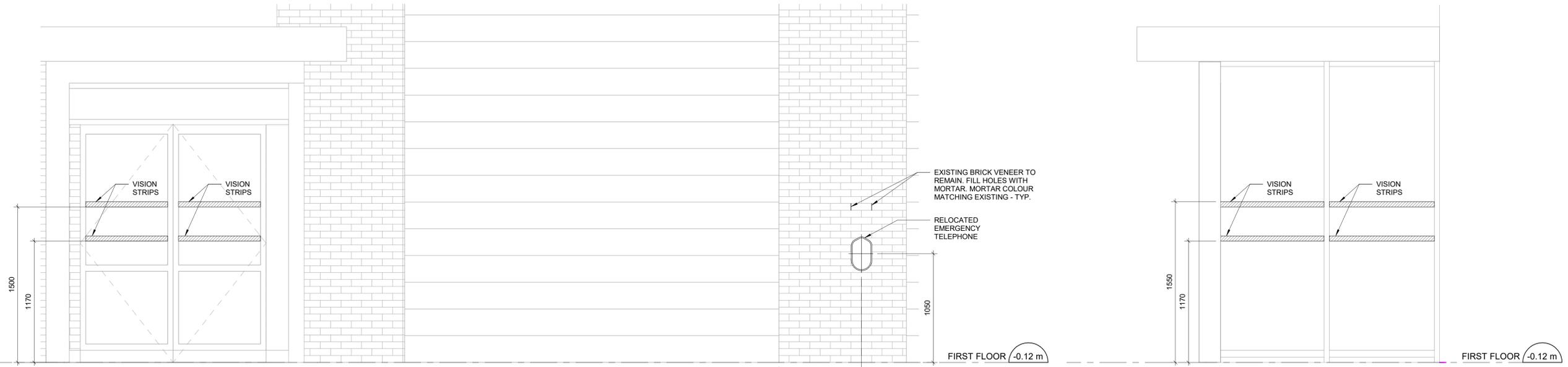
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**E. FENUTA**

SHEET TITLE  
**BASEMENT & FIRST  
FLOOR PROPOSED  
PLANS**

SHEET NUMBER <b>G28-026-A2411</b>	ISSUE <b>D</b>
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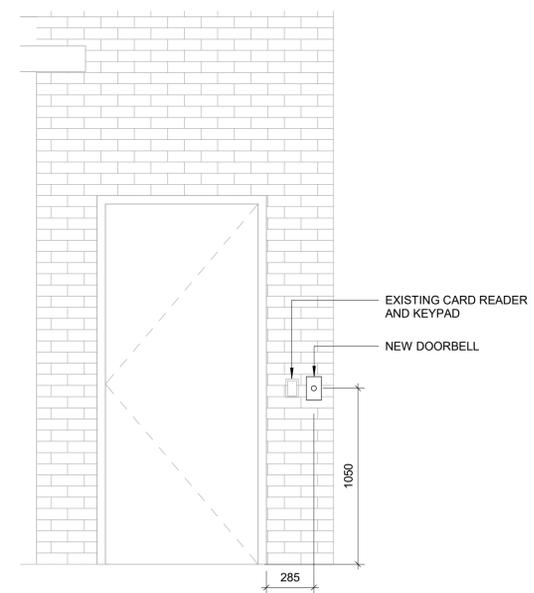


1 x 1



**1 VESTIBULE ELEVATION - 01**  
A3011 Scale: 1 : 20

**2 VESTIBULE ELEVATION - 02**  
A3011 Scale: 1 : 20



**3 DOORBELL ELEVATION**  
A3011 Scale: 1 : 20

CLIENT  
**CITY OF TORONTO**  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	ISSUED FOR PERMIT	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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**PROJECT TITLE**  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

**PROJECT ADDRESS**  
FIRE HALL NO. 223  
116 DORSET RD.

**PROJECT NO.:**  
9119-19-0162/ IBI 122260

<b>DRAWN BY:</b> A. HOLDER	<b>CHECKED BY:</b> K. TILAHUN
<b>PROJECT MGR:</b> F. BOLOURIAN	<b>APPROVED BY:</b> E. FENUTA

**SHEET TITLE**  
BUILDING ELEVATIONS

<b>SHEET NUMBER</b> G28-026-A3011	<b>ISSUE</b> C
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DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

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DOOR NO.	LOCATION	DOOR SCHEDULE											REMARKS		
		TYPE	DOOR			PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	
			WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/BFAO			PANIC DEVICE
<b>BASEMENT</b>															
NE-001	LOCKERS		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE WITH LEVER STYLE HANDLE AND KEYED LOCK. REFER TO HARDWARE SCHEDULE.
<b>FIRST FLOOR</b>															
NE-101	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-102	APPARATUS BAY		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3			X		EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-103	BUNKER ROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-104	CORRIDOR		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-105	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-106	OFFICE		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-107	WASHROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-108	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-109	OFFICE		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-110	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-111	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.

**NOTE:**  
 - PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.  
 - PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	

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 116 DORSET RD.**

PROJECT NO:  
 9119-19-0162/ IBI 122260  
 DRAWN BY:  
**A. HOLDER**  
 PROJECT MGR:  
**F. BOLOURIAN**  
 SHEET TITLE  
**DOOR SCHEDULE**

CHECKED BY:  
**K. TILAHUN**  
 APPROVED BY:  
**E. FENUTA**

SHEET NUMBER  
**G28-026-A9111**  
 ISSUE  
**C**

