

CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162 / IBI 122260

SCARBOROUGH ARTS COUNCIL
1859 KINGSTON RD.



GROUP 28
SEQ 101

CITY OF TORONTO



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

IBI IBI GROUP
175 Galaxy Blvd, Unit 100
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ibigroup.com

PROJECT NO:
9119-19-0162 / IBI 122260

DATE:
2022-11-01

SHEET NUMBER G28-101-G0001	ISSUE C
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E2101	POWER & SYSTEMS PLAN 1ST FLOOR
E3100	ELECTRICAL PANEL SCHEDULE

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D	ISSUED FOR PERMIT REV 1 / ADDENDUM #3	2023-01-24

CONSULTANTS

SEAL

PRIME CONSULTANT

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

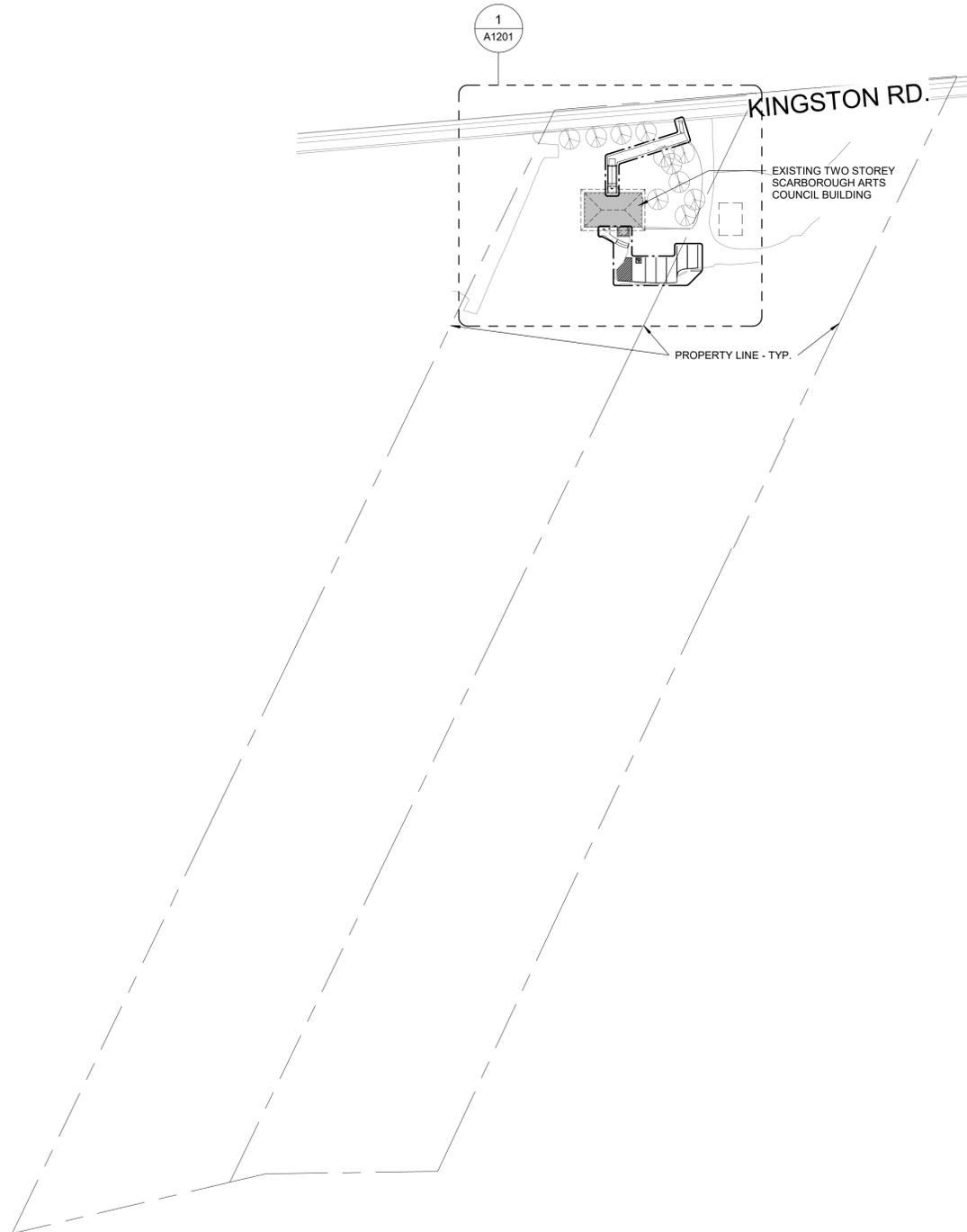
PROJECT ADDRESS
SCARBOROUGH ARTS COUNCIL
 1859 KINGSTON RD.

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
A. KVASNIUK
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
DRAWING LIST

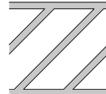
CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA
 SHEET NUMBER
G28-101-G0002
 ISSUE
D

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605		Name of Project SCARBOROUGH ARTS COUNCIL ACCESSIBILITY UPGRADES	
100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620		1859 KINGSTON RD. SCARBOROUGH, ON M1N 1T3	
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
1.	PROJECT DESCRIPTION <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> CHANGE OF USE PART 11 11.1 to 11.4	<input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9	
2.	MAJOR OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES SUBSIDIARY OCCUPANCY(S) GROUP A, DIVISION 2 - ASSEMBLY OCCUPANCIES GROUP F, DIVISION 3 - LOW HAZARD INDUSTRIAL OCCUPANCIES	3.1.2.1. (1) 9.10.2.	EXISTING NO CHANGE
3.	BUILDING AREA (m²) EXISTING - 126.1 NEW - 3.6 TOTAL - 129.7	1.4.1.2. [A] 1.4.1.2. [A]	
4.	GROSS AREA (m²) EXISTING - 321.3 NEW - 7.1 TOTAL - 328.4	1.4.1.2. [A] 1.4.1.2. [A]	EXISTING NO CHANGE
5.	NUMBER OF STOREYS ABOVE GRADE - 2 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1. 1.4.1.2. [A] & 9.10.4.	
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1 EXISTING NO CHANGE	3.2.2.10. & 3.2.5. 9.10.20.	
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE	3.2.2.67. 9.10.2.	
8.	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED	3.2.2.67 3.2.1.5 3.2.2.17 INDEX INDEX	EXISTING NO CHANGE
9.	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO STANDPIPE PROVIDED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9. N/A	EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO FIRE ALARM PROVIDED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.4. 9.10.18.	EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7. N/A	EXISTING NO CHANGE
12.	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6. N/A	
13.	CONSTRUCTION RESTRICTIONS <input checked="" type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.67. 9.10.6.	EXISTING NO CHANGE
14.	MEZZANINE (S) AREA m² N/A	3.2.1.1. (3) - (8) 9.10.4.1.	
15.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 1ST FLOOR: OCCUPANCY _____ LOAD _____ PERSONS 2ND FLOOR: OCCUPANCY _____ LOAD _____ PERSONS MEZZANINE FLOOR: OCCUPANCY _____ LOAD _____ PERSONS	3.1.17. 4.9.13.	EXISTING NO CHANGE
16.	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8. 9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3.(4)	
18a.	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES (HOURS) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE N/A	3.2.2.67. & 3.2.1.4. 9.10.8. 9.10.9.	

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
18b.	REQUIRED FIRE RESISTANCE RATING (FRR) FRR OF SUPPORTING MEMBERS FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE	SB-2 TABLE 2.1.1. SB-2 TABLE 2.1.1.	
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS WALL AREA OF EBF (m²) NORTH SOUTH EAST WEST	3.2.3. 9.10.14. EXISTING NO CHANGE	
20.	PLUMBING FIXTURE REQUIREMENTS MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE GROUP D - BUSINESS AND PERSONAL SERVICE MAJOR OCCUPANCY	EXISTING NO CHANGE <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 OCCUPANT LOAD OBC TABLE NUMBER FIXTURES REQUIRED FIXTURES PROVIDED 13 MALE 3.7.4.7. 2 3 3.7.4.7. 13 FEMALE 3.7.4.7. 2 3 3.7.4.7.	
21.	EXITS/ ACCESS TO EXIT-	EXISTING NO CHANGE	
22.	OTHER (DESCRIBE) -		
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building	OBC REFERENCE	REMARKS
11.1.	EXISTING BUILDING CLASSIFICATION: DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N	
11.2.	ALTERATION TO EXISTING BUILDING IS: BASIC RENOVATION EXTENSIVE RENOVATION	<input checked="" type="checkbox"/> <input type="checkbox"/> 11.3.3.1. 11.3.3.2.	
11.3.	REDUCTION IN PERFORMANCE LEVEL: STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES 11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.	
11.4.	COMPENSATING CONSTRUCTION: STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) 11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6	
11.5.	COMPLIANCE ALTERNATIVES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)	11.5.1	



SITE LEGEND

-  NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701
-  ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702
-  EXISTING MAIN ENTRANCE
-  EXISTING EXIT TO REMAIN
-  NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701
-  NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701
-  DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE SERVICES. REPORT ANY DISCREPANCY TO THE CONSULTANT AND OWNER PRIOR TO COMMENCING WORK.
- 2 CONTRACTOR TO COORDINATE HOARDING AND FENCING FOR ENTRANCES WITH OWNER. RESTORE AFFECTED WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING AT EXCAVATED AREAS POST CONSTRUCTION. MATCH MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

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 Corporate Real Estate Management
 Project Management Office
 Metro Hall Toronto, ON
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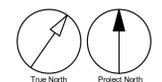
PROJECT ADDRESS
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 COUNCIL
 1859 KINGSTON RD.

PROJECT NO:
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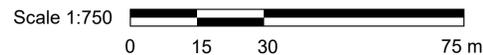
DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
 PROPOSED SITE PLAN

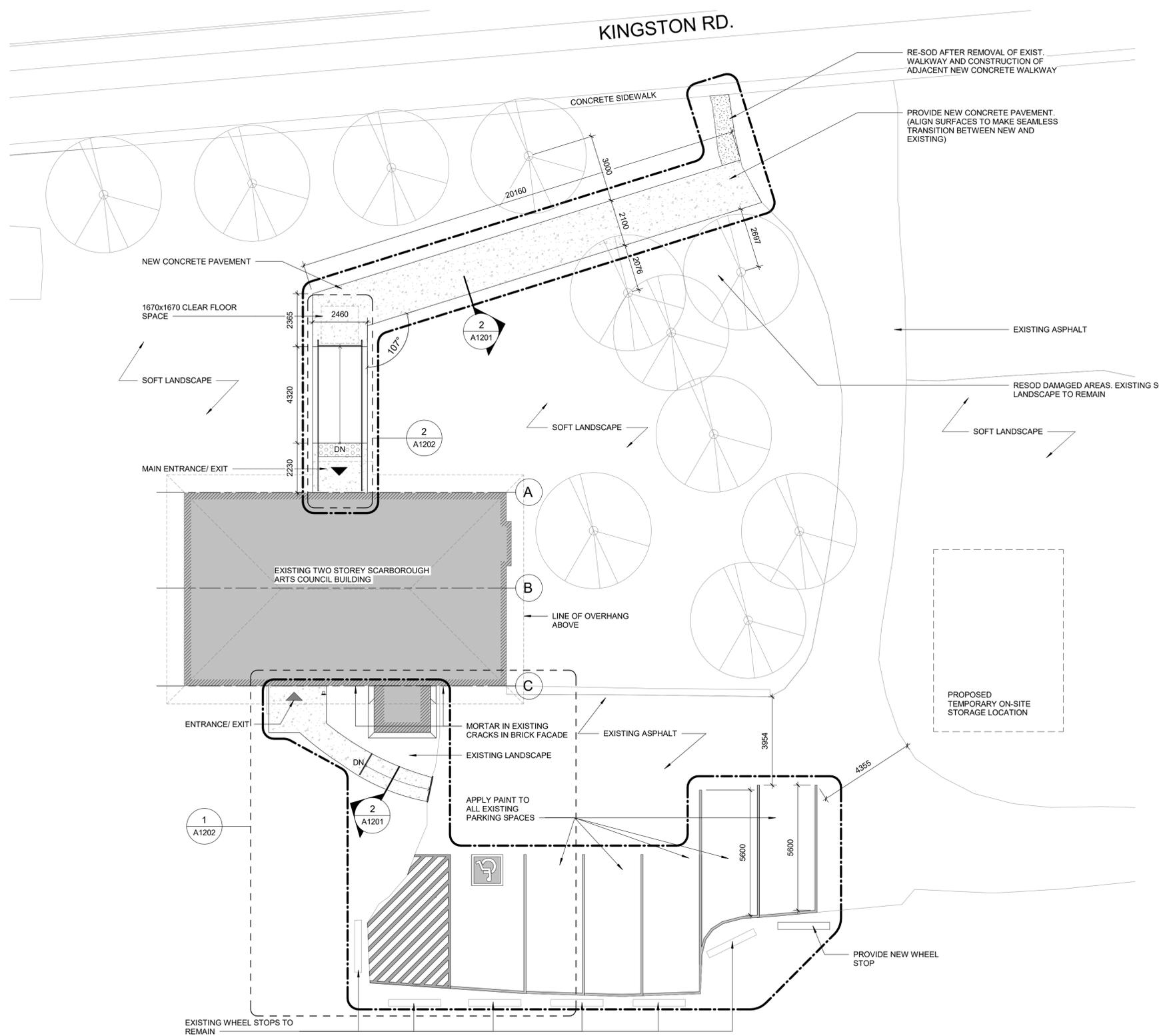
SHEET NUMBER G28-101-A1200	ISSUE A
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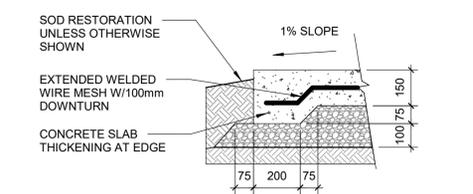
SITE LEGEND

- NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701
- ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702
- EXISTING MAIN ENTRANCE
- EXISTING EXIT TO REMAIN
- NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701
- NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701
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- CONTRACTOR TO COORDINATE HOARDING AND FENCING FOR ENTRANCES WITH OWNER. RESTORE AFFECTED WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING AT EXCAVATED AREAS POST CONSTRUCTION. MATCH MATERIAL AND FINISH.
- VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

ALL DIMENSIONS TO BE SITE VERIFIED



2 EDGE DETAIL OF NEW CONCRETE PAVEMENT
A1201 Scale: 1:10

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Project Management Office
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1859 KINGSTON RD.**

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DRAWN BY:
A. KVASNIUK

CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

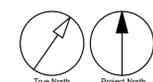
APPROVED BY:
E. FENUA

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
G28-101-A1201

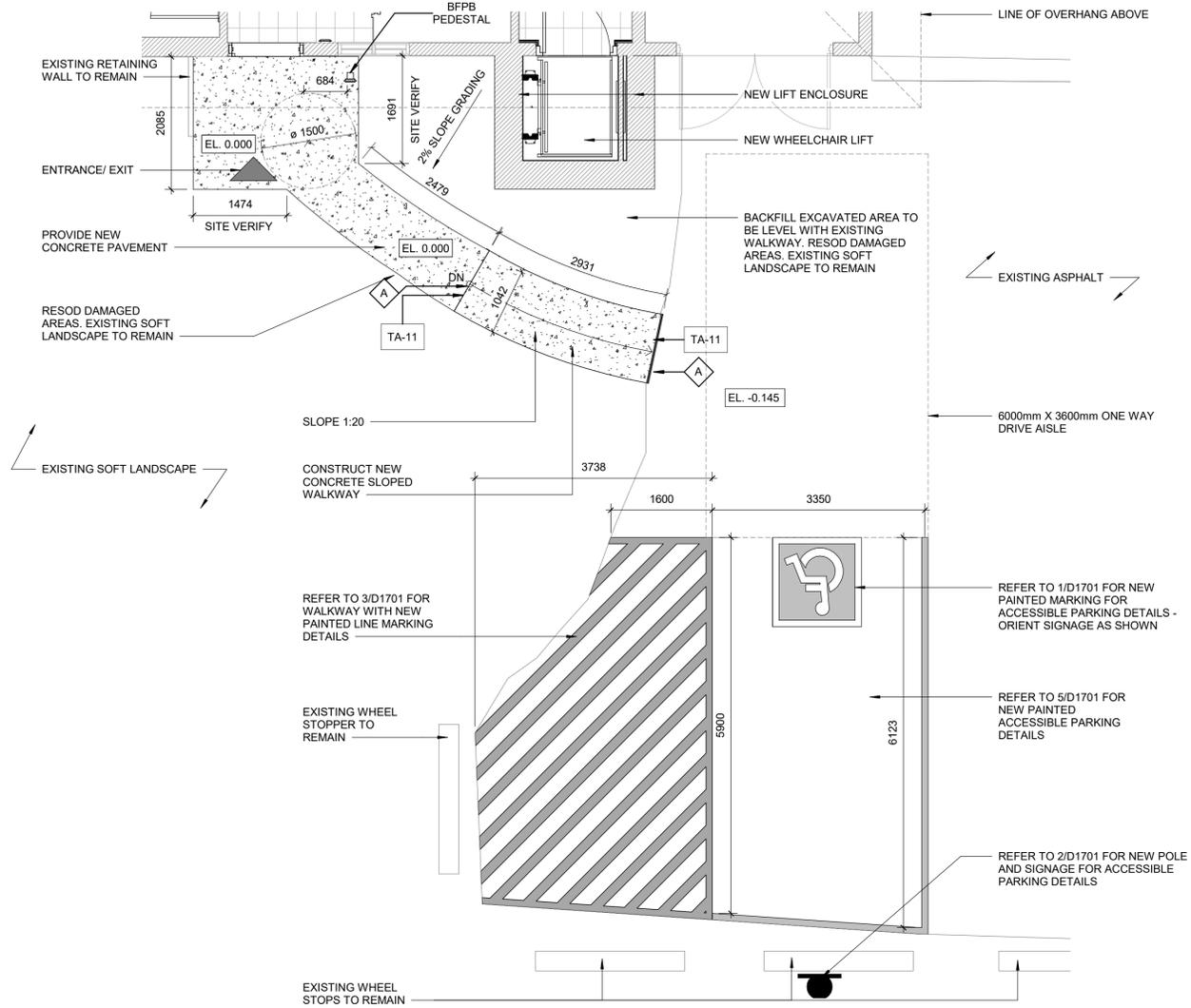
ISSUE
C

1 PROPOSED SITE PLAN
A1201 Scale: 1:100



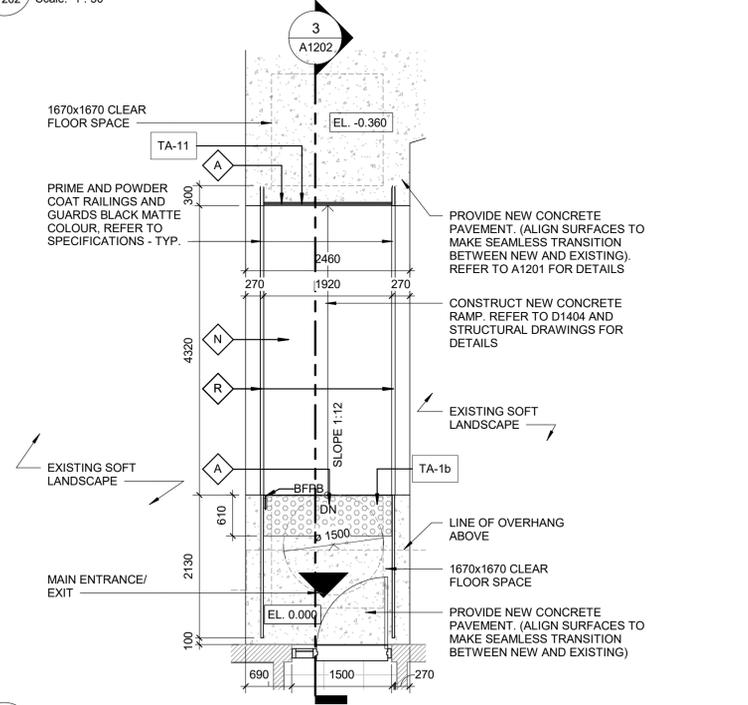
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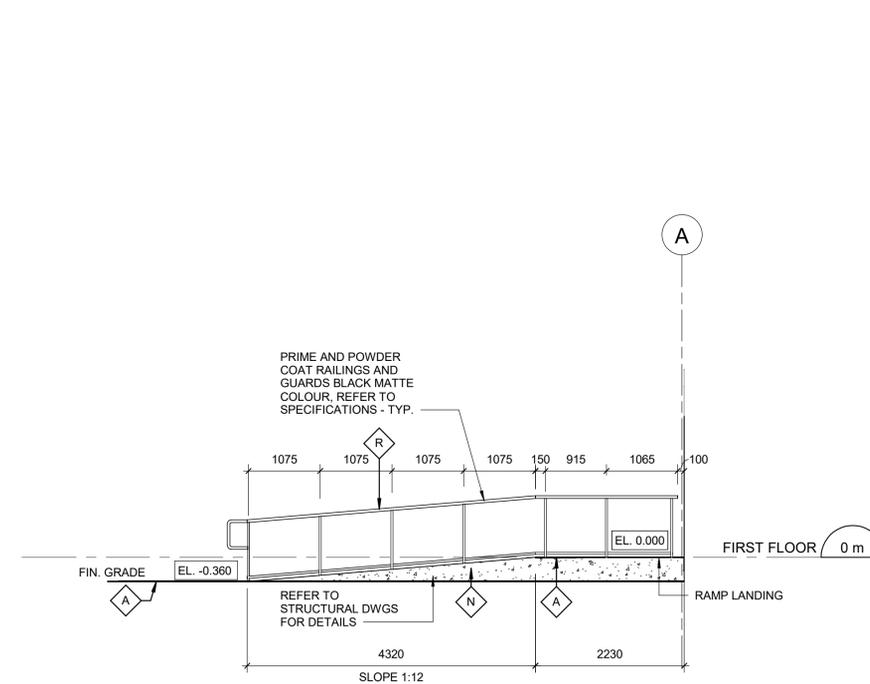
1 SITE PLAN - BACK ENTRANCE & ACCESSIBLE PARKING

A1202 Scale: 1: 50



2 SITE PLAN - MAIN ENTRANCE

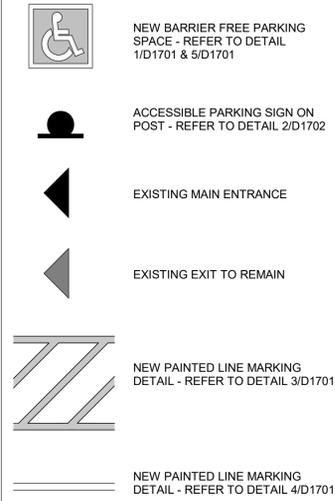
A1202 Scale: 1: 50



3 EXTERIOR RAMP - SECTION 1

A1202 Scale: 1: 50

SITE LEGEND



CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
N	INSTALL NEW CONCRETE RAMP - REFER TO TYPICAL DETAIL 2/D1403, 3/D1403, 1/D1404, AND 2/D1404.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.

ALL DIMENSIONS TO BE SITE VERIFIED

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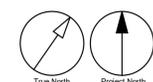
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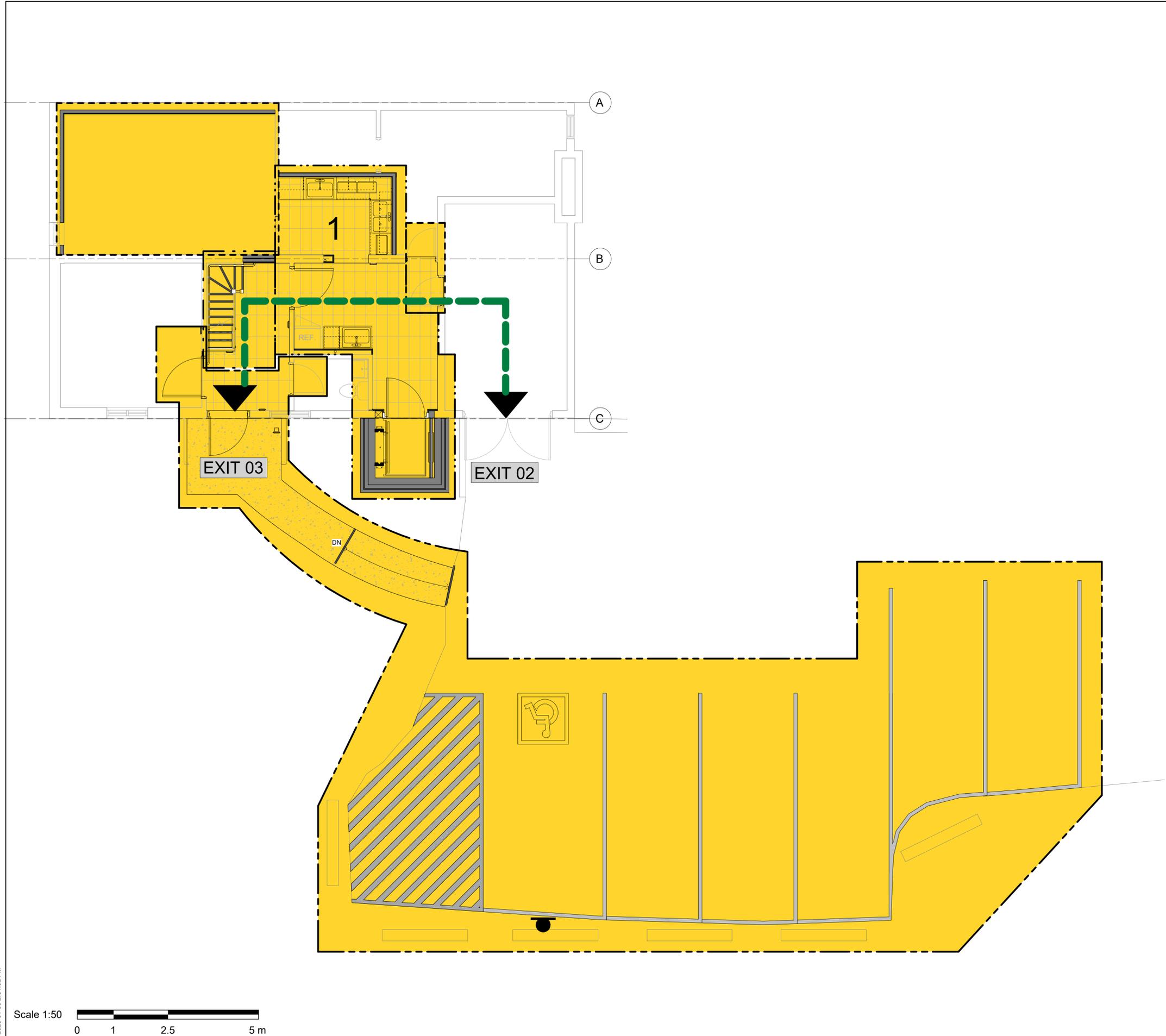
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 ENLARGED SITE PLAN -
 DETAIL

SHEET NUMBER
 G28-101-A1202
ISSUE
 C



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CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- STAGE 3
- STAGE 4
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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 Corporate Real Estate Management
 Project Management Office
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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.

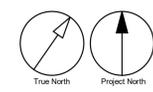
PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

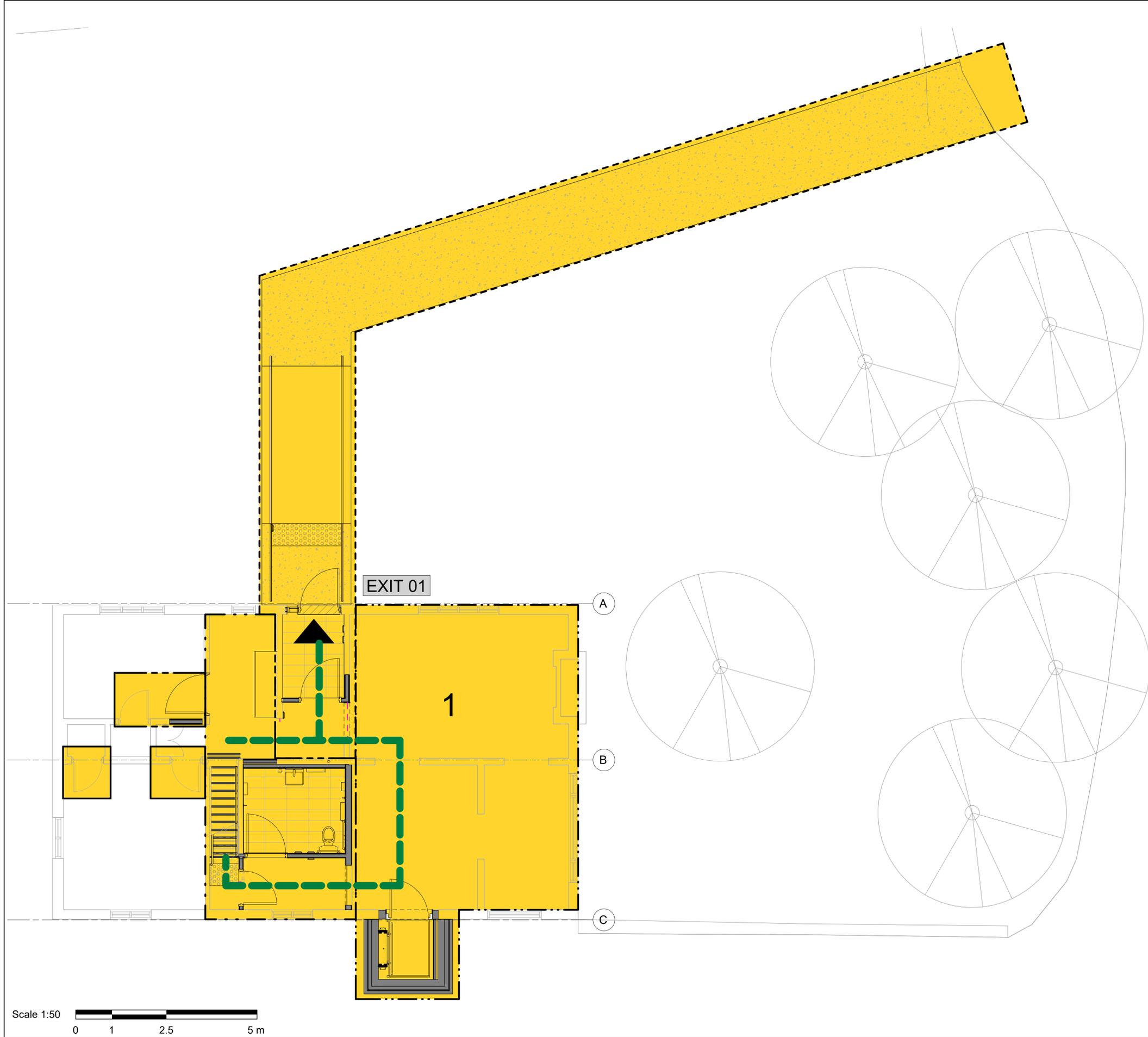
SHEET TITLE
 BASEMENT STAGING
 PLAN

SHEET NUMBER G28-101-A2001	ISSUE C
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CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- STAGE 3
- STAGE 4
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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PROJECT TITLE
**CITY OF TORONTO
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PROJECT ADDRESS
**SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.**

PROJECT NO:
 9119-19-0162 / IBI 122260

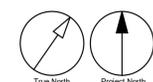
DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**FIRST FLOOR STAGING
 PLAN**

SHEET NUMBER G28-101-A2011	ISSUE C
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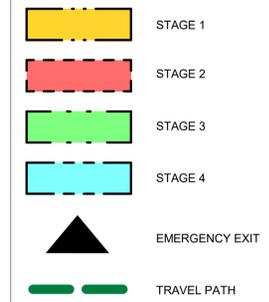
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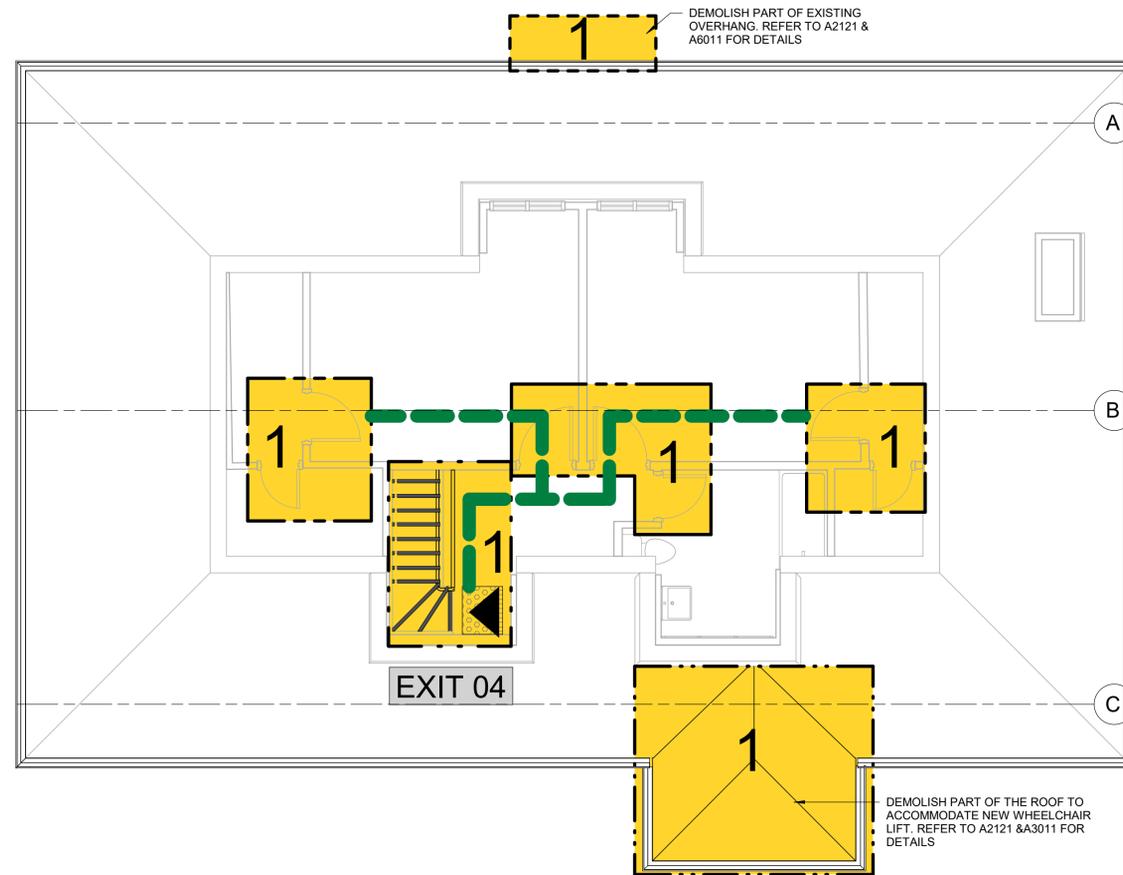
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CONSTRUCTION STAGING LEGEND



STAGING GENERAL NOTES

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- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
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- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.



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PROJECT TITLE
**CITY OF TORONTO
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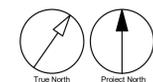
PROJECT ADDRESS
**SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
A. KVASNIUK
 PROJECT MGR:
F. BOLOURIAN
 CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

SHEET TITLE
**SECOND FLOOR
 STAGING PLAN**

SHEET NUMBER
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 ISSUE
C

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 1/11



PHOTO 01: REMOVE EXISTING DOOR AND FRAME



PHOTO 02: REMOVE EXISTING WINDOW AND FRAME, CUT EXISTING WALL TO PROVIDE OPENING FOR NEW LIFT



PHOTO 03: REMOVE ALL EXISTING STORAGE RACKS, FURNITURE AND WALL AND STORE AT A TEMPORARY ON SITE STORAGE CONTAINER



PHOTO 04: EXISTING STAIR B- REMOVE EXISTING PAINT AND SMOOTH SURFACES TO RECEIVE NEW PAINT (DARK GREY)



PHOTO 05: REMOVE EXISTING MILLWORK AND SINK



PHOTO 06: REMOVE ALL EXISTING STORAGE RACK, MATERIALS AND FURNITURE AND STORE AT A TEMPORARY ON SITE STORAGE CONTAINER



PHOTO 07: REMOVE ALL EXISTING STORAGE AND FURNITURE AND STORE AT AN ON SITE STORAGE CONTAINER



PHOTO 08: REMOVE EXISTING STORM DOOR, DOOR AND FRAME

RELOCATE EXISTING DOOR BELL

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- - - EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- - - EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

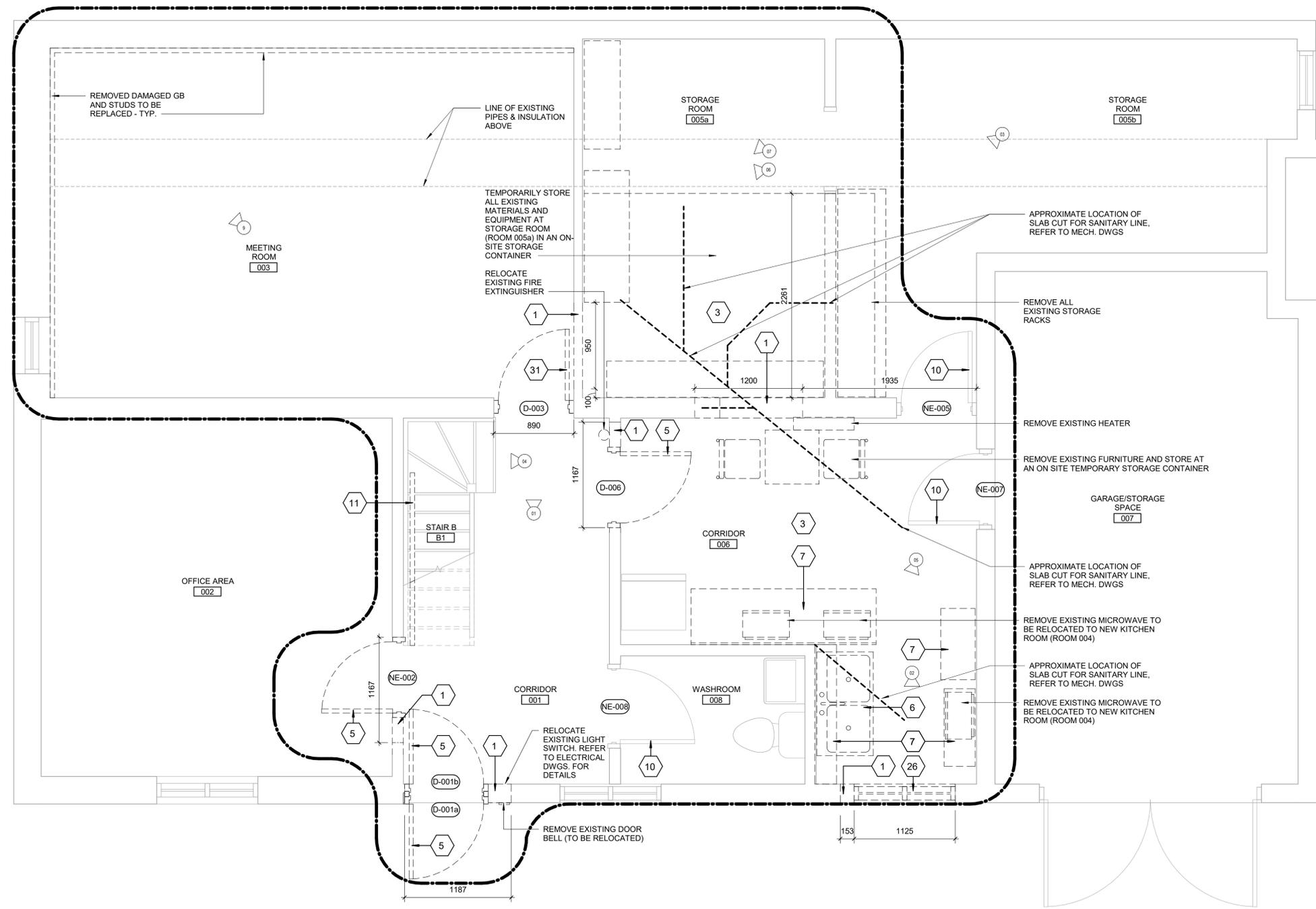
- 1 REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL D1002 AND 1/D2300.
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
26	CUT EXISTING EXTERIOR WALL TO ACCOMMODATE NEW DOOR.
31	REMOVE EXISTING DOOR, WINDOW AND FRAME TO ACCOMMODATE NEW.



PHOTO 09: REMOVED DAMAGED GB AND STUDS TO BE REPLACED - TYP.



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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
SCARBOROUGH ARTS COUNCIL
1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK
CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN
APPROVED BY: E. FENUTA

SHEET TITLE
BASEMENT DEMOLITION PLAN

SHEET NUMBER G28-101-A2101
ISSUE C

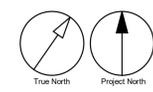




PHOTO 01: REMOVE EXISTING DOOR, FRAME AND CLOSET



PHOTO 02: REMOVE EXISTING MILLWORK, FAUCET AND BULKHEAD. REMOVE EXISTING WALL FINISH, CEILING AND FLOOR FINISH



PHOTO 03: REMOVE EXISTING MILLWORK, BULKHEAD, WALL, DOOR AND FRAME. REMOVE EXISTING WALL FINISH, CEILING AND FLOOR FINISH



PHOTO 04: REMOVE EXISTING MILLWORK, SINK, RADIATOR AND ACCESSORIES. REMOVE EXISTING WALL FINISH, CEILING AND FLOOR FINISH



PHOTO 05: REMOVE EXISTING MILLWORK, LAVATORY, RADIATOR AND ACCESSORIES. REMOVE EXISTING WALL FINISH, CEILING AND FLOOR FINISH



PHOTO 06: REMOVE EXISTING OPENING'S TOP AND SIDE TRIM. PARTIALLY REMOVE INTERIOR PARTITION



PHOTO 07: REMOVE EXISTING RADIATOR, DOOR PANEL AND FRAME. DEMOLISH EXISTING INTERIOR WALL



PHOTO 08: REMOVE EXISTING RADIATOR. DEMOLISH EXISTING INTERIOR WALL



PHOTO 09: CAREFULLY REMOVE AND STORE EXISTING WALL PANELS AT AN ON SITE TEMPORARY STORAGE CONTAINER



PHOTO 14: UPDATED IMAGE SHOWING CURRENT STATE OF AREA (FLOORING, CEILING & PARTIAL DRYWALL REMOVED)



PHOTO 15: FLOOR TILE TO BE DEMOLISHED & DISPOSED OF

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
4	REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL D1002 AND D102800.
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
9	REPAIR EXISTING WALL. PATCH AND MAKE GOOD ALL ADJACENT SURFACES DAMAGED DURING CONSTRUCTION.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
29	REMOVE EXISTING EXTERIOR WALL AS INDICATED ON ELEVATIONS. PATCH AND REPAIR ROUGH SURFACES AT FLOOR, WALL AND CEILING AS REQUIRED WITH MATCHING MATERIALS. REFER TO SPECIFIC DETAIL FOR WEATHER BARRIER.
31	REMOVE EXISTING DOOR, WINDOW AND FRAME TO ACCOMMODATE NEW.



PHOTO 10: REMOVE EXISTING WINDOW AND FRAME. CUT EXISTING WALL TO PROVIDE OPENING FOR NEW LIFT



PHOTO 11: CAREFULLY REMOVE DOOR PANEL AND STORE AT AN ON SITE TEMPORARY STORAGE CONTAINER



PHOTO 12: STAIR A REMOVE EXISTING HANDRAIL. REMOVE EXISTING POINT AND SMOOTH SURFACES TO RECEIVE NEW PAINT (DARK GREY)



PHOTO 13: STAIR B REMOVE EXISTING HANDRAIL LOCATED ON THE WEST WALL

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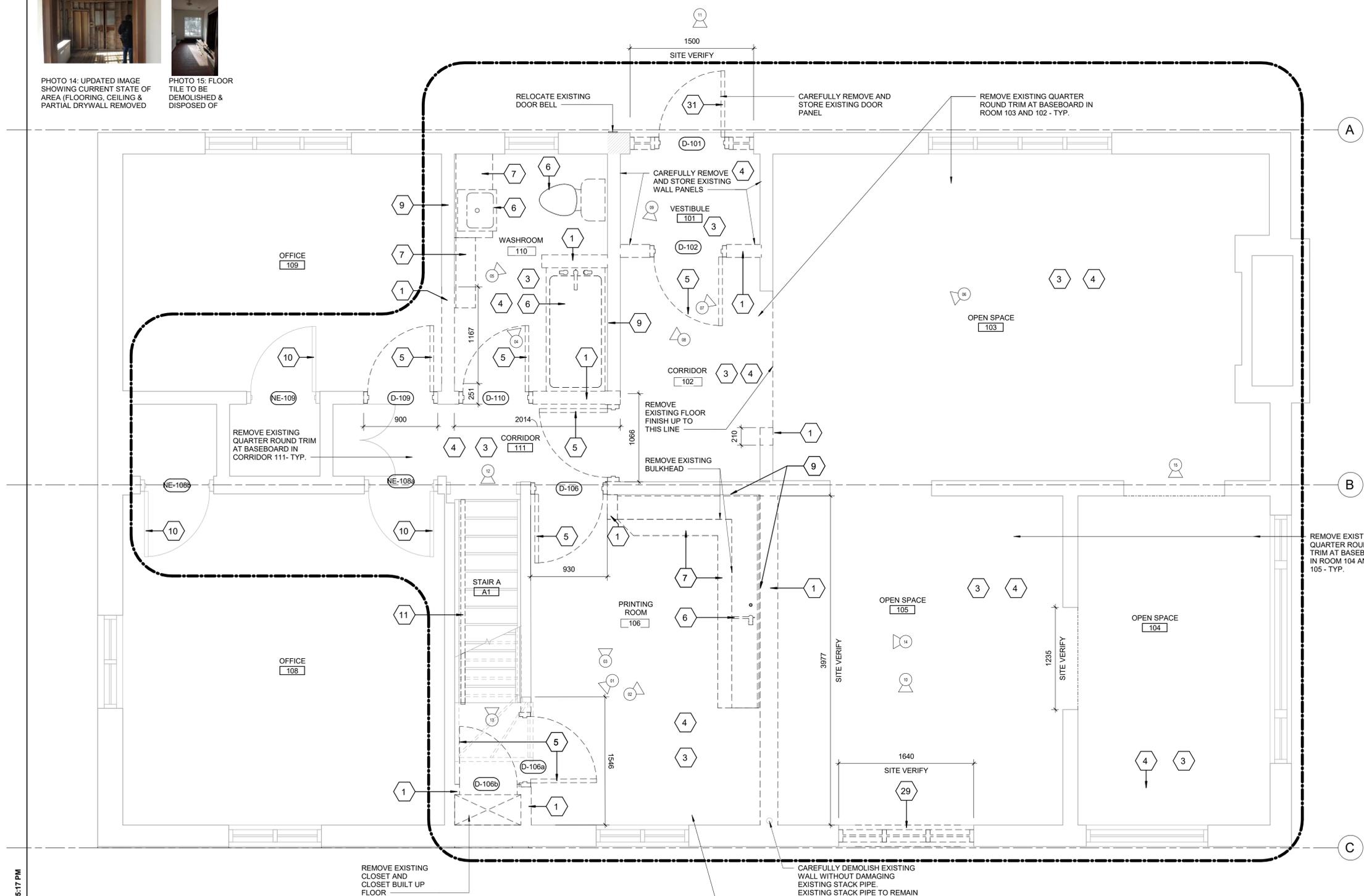
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CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

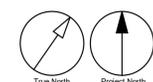
PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
CHECKED BY:
K. TILAHUN
PROJECT MGR:
F. BOLOURIAN
APPROVED BY:
E. FENUITA

SHEET TITLE
FIRST FLOOR
DEMOLITION PLAN

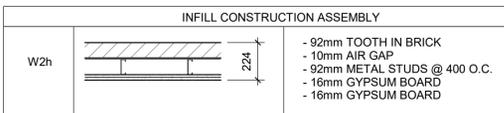
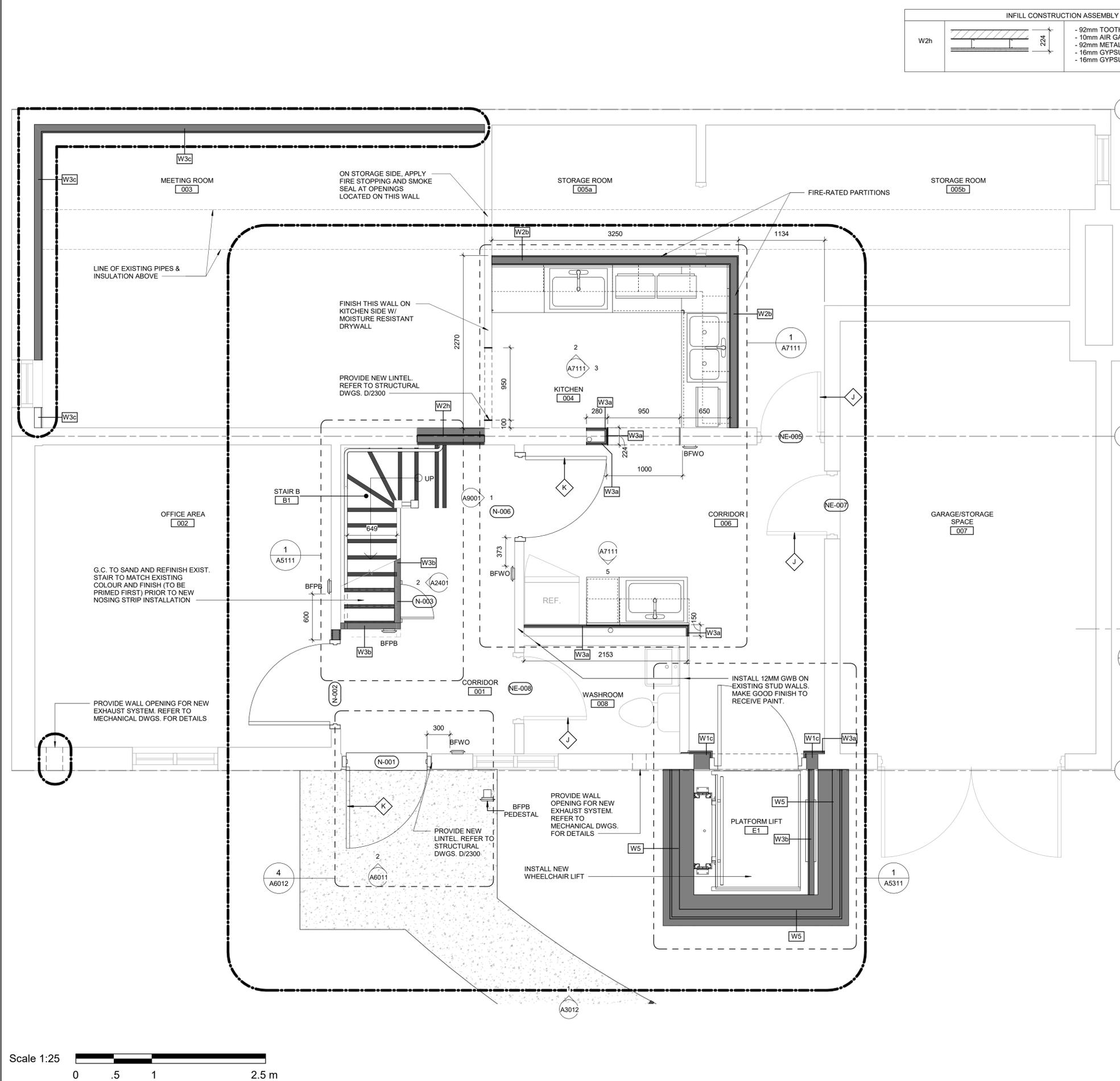
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CONSTRUCTION KEY LEGEND

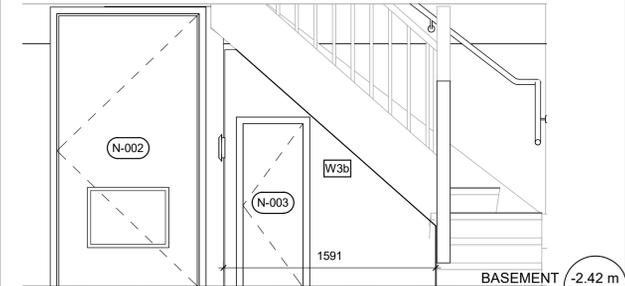
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



2 ELEVATION DOOR N-002 & STAIR ENCLOSURE
A2401 / Scale: 1:25

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Project Management Office
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D	ISSUED FOR PERMIT REV 1 / ADDENDUM #3	2023-01-24

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
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DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**BASEMENT PROPOSED
PLAN**

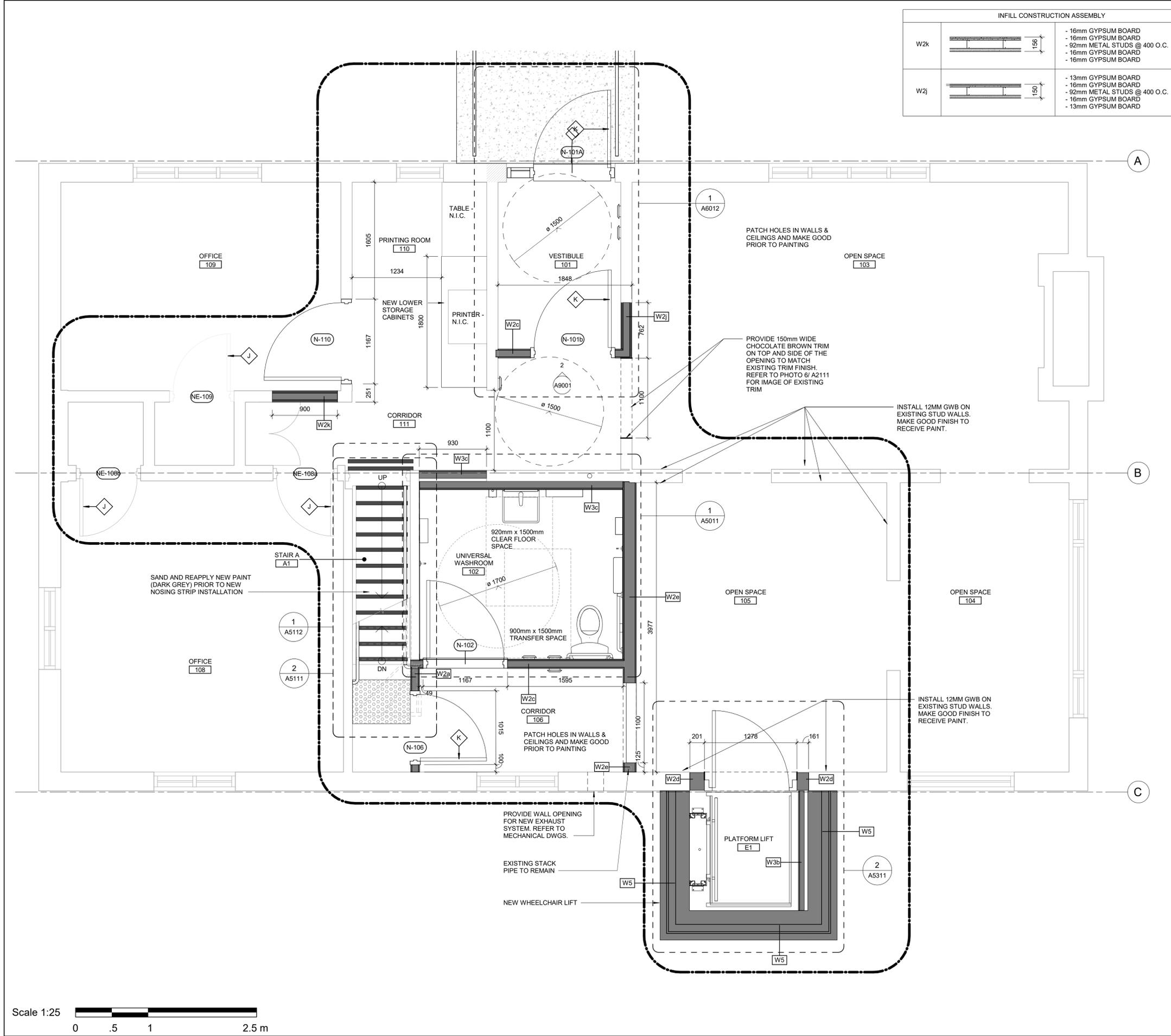
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Scale Check
1/11

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INFILL CONSTRUCTION ASSEMBLY	
W2k	<ul style="list-style-type: none"> - 16mm GYPSUM BOARD - 16mm GYPSUM BOARD - 92mm METAL STUDS @ 400 O.C. - 16mm GYPSUM BOARD - 16mm GYPSUM BOARD
W2j	<ul style="list-style-type: none"> - 13mm GYPSUM BOARD - 16mm GYPSUM BOARD - 92mm METAL STUDS @ 400 O.C. - 16mm GYPSUM BOARD - 13mm GYPSUM BOARD

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

- ### CONSTRUCTION GENERAL NOTES
- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
 - REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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B	90% SUBMISSION	2022-01-04
D	ISSUED FOR TENDER	2022-11-01
C	ADDENDUM 2	2023-01-11
E	ISSUED FOR PERMIT REV 1 / ADDENDUM #3	2023-01-24

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

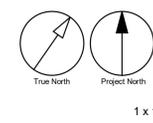
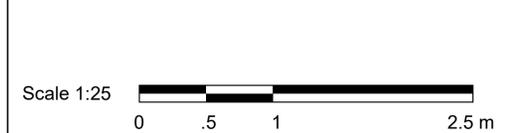
PROJECT ADDRESS
SCARBOROUGH ARTS COUNCIL
 1859 KINGSTON RD.

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
FIRST FLOOR
PROPOSED PLAN

SHEET NUMBER G28-101-A2411	ISSUE E
--------------------------------------	-------------------



BIM 360/122260 - CoT_TAU Upgrades R20230122260-TAU-28-101-859KNGSTNA-A-R20.dwg
 1/11

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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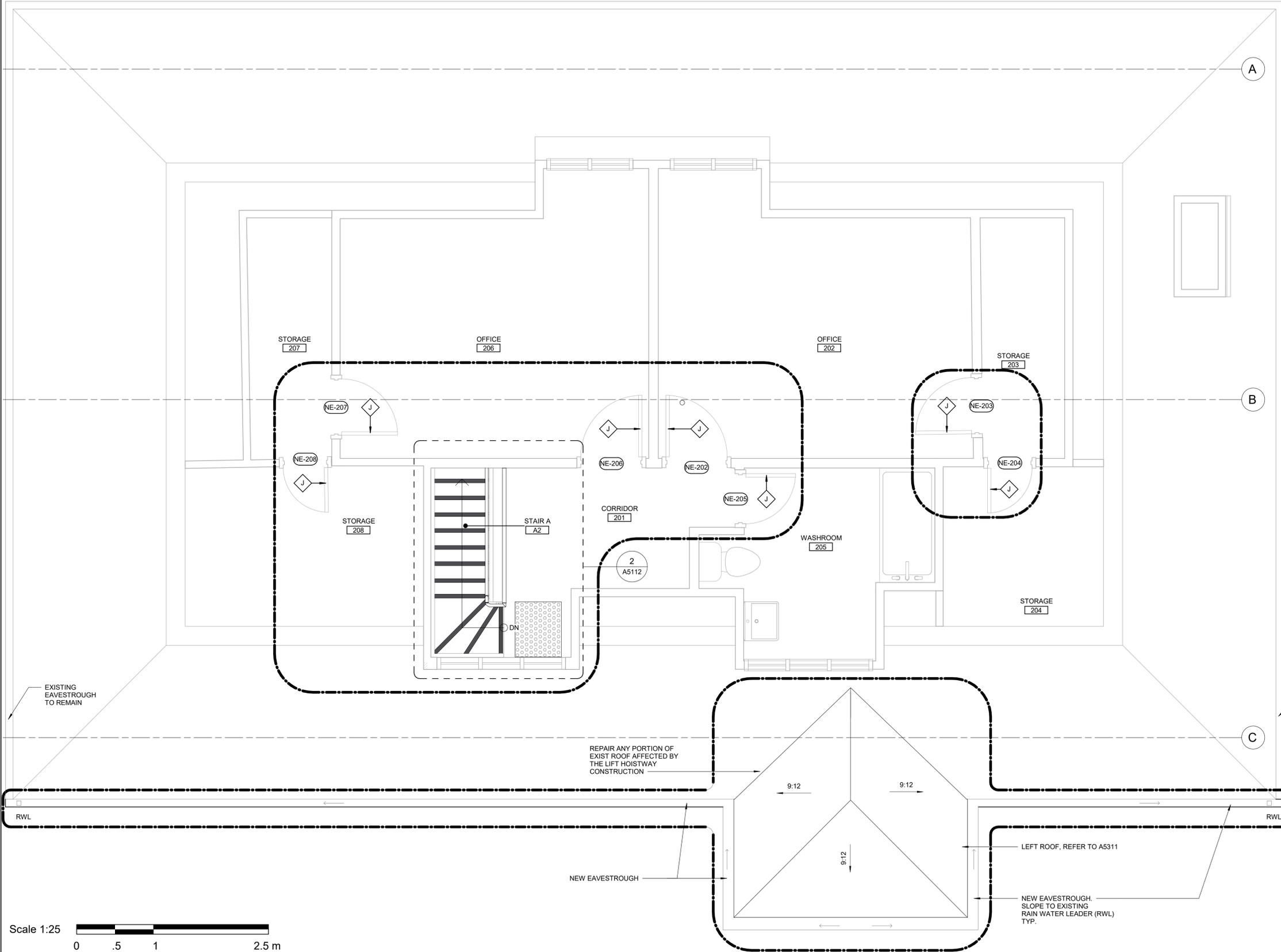
PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.

PROJECT NO:
 9119-19-0162 / IBI 122260
DRAWN BY: A. KVASNIUK
CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN
APPROVED BY: E. FENUTA

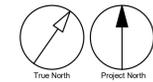
SHEET TITLE
 SECOND FLOOR
 PROPOSED PLAN

SHEET NUMBER
 G28-101-A2421
ISSUE
 C



2023-01-30 2:35:26 PM

Scale 1:25
 0 .5 1 2.5 m



BIM 360/1122260 - CoT TAU Upgrades R2020122260-TAU-28-101-1859KINGSTON-A-R20.rvt

FLOOR FINISHES LEGEND

	VINYL COMPOSITE TILE
	300 x 300 VINYL COMPOSITE TILE
	DASHED AREA INDICATES AREA OF WORK

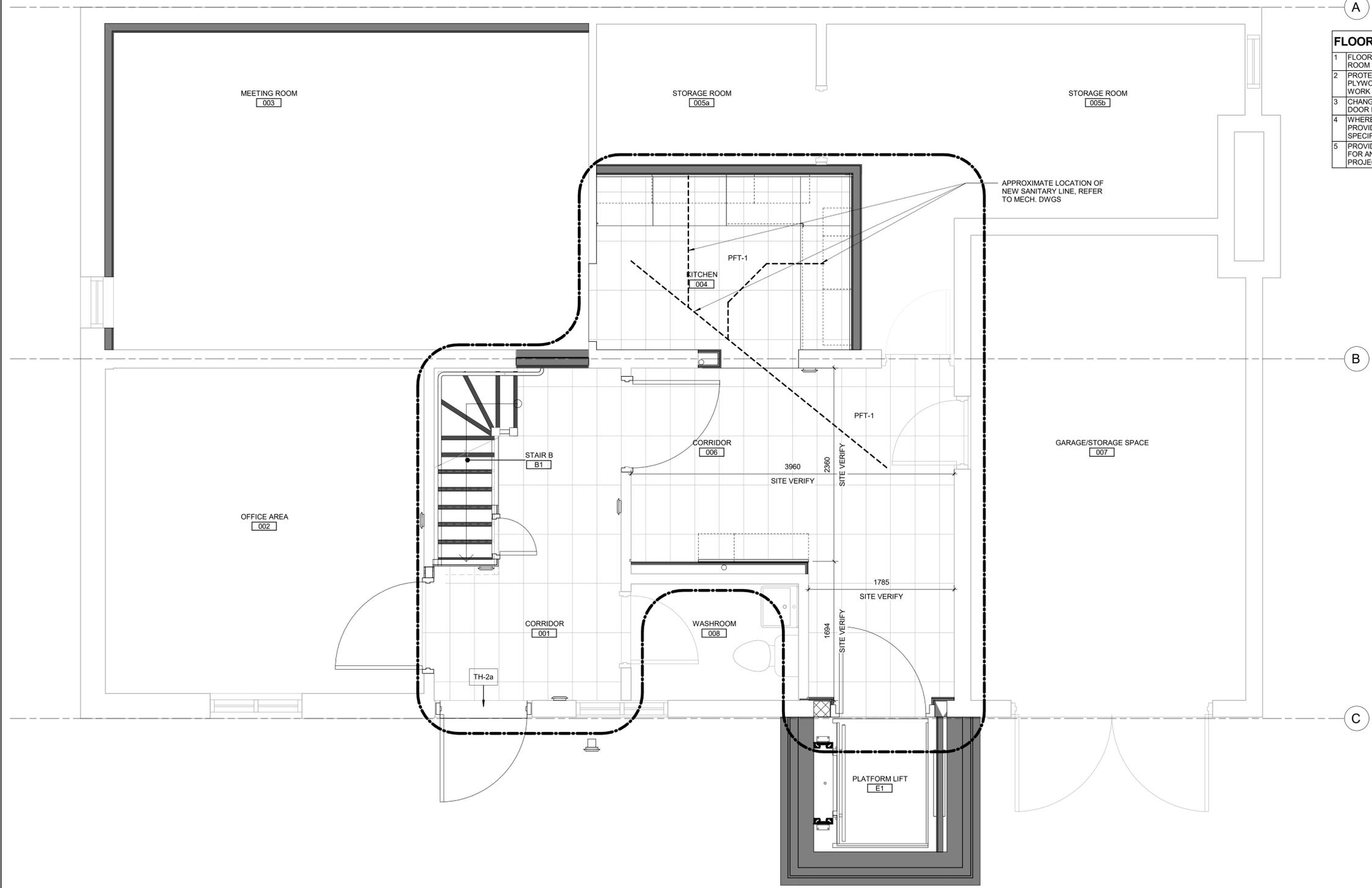
- ### FLOOR FINISH GENERAL NOTES
- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
 - PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
 - CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
 - WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
 - PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

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C	ISSUED FOR TENDER	2022-11-01



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PROJECT TITLE
**CITY OF TORONTO
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PROJECT ADDRESS
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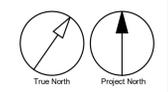
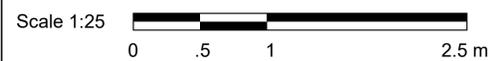
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DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

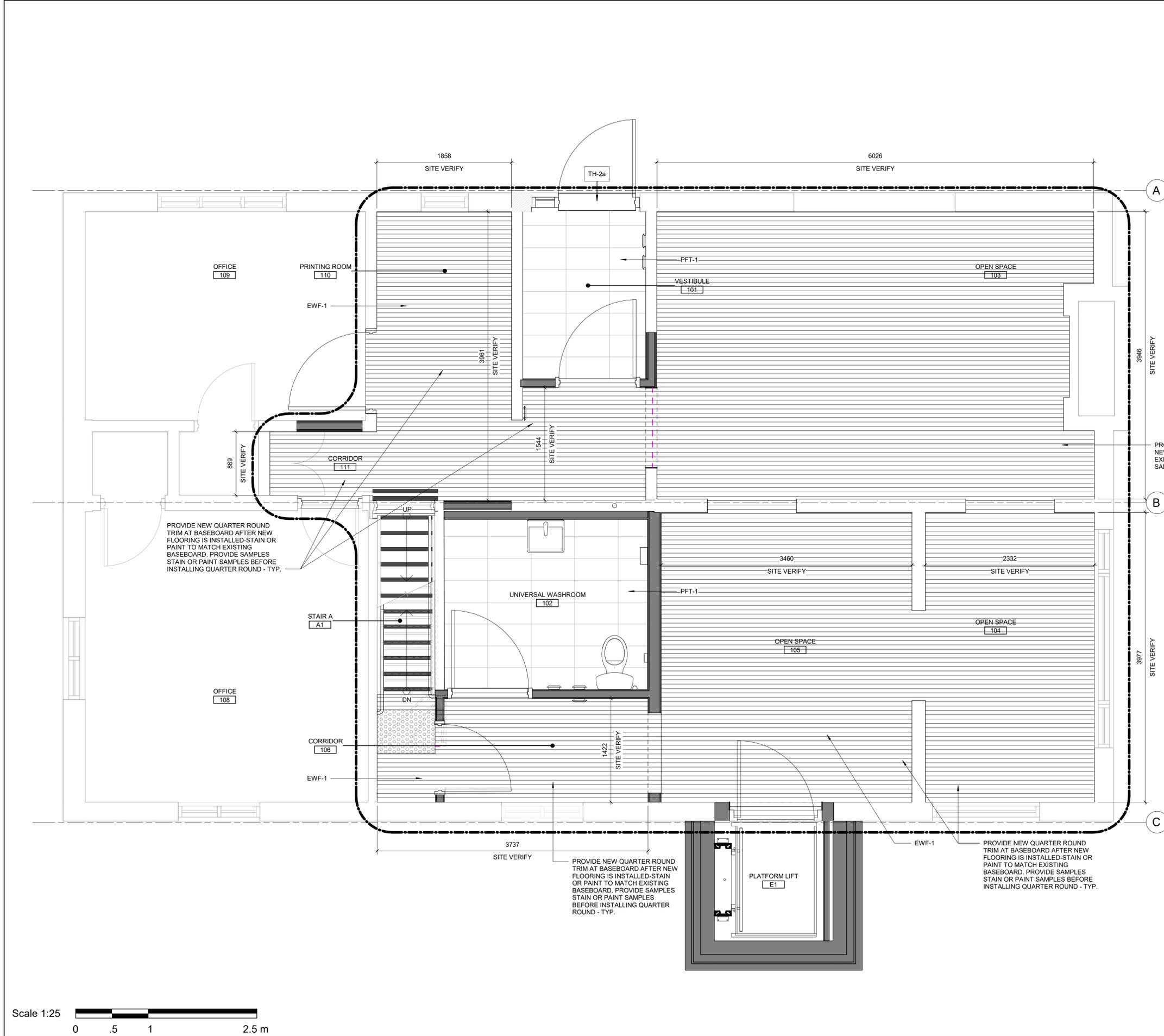
SHEET TITLE
BASEMENT FINISH PLAN

SHEET NUMBER G28-101-A2601	ISSUE C
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FLOOR FINISHES LEGEND

	ENGINEERED WOOD FLOORING
	PORCELAIN TILE
	DASHED AREA INDICATES AREA OF WORK

- FLOOR FINISH GENERAL NOTES**
- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
 - PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
 - CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
 - WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
 - PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

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PROJECT TITLE
**CITY OF TORONTO
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PROJECT ADDRESS
**SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.**

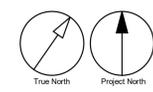
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DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

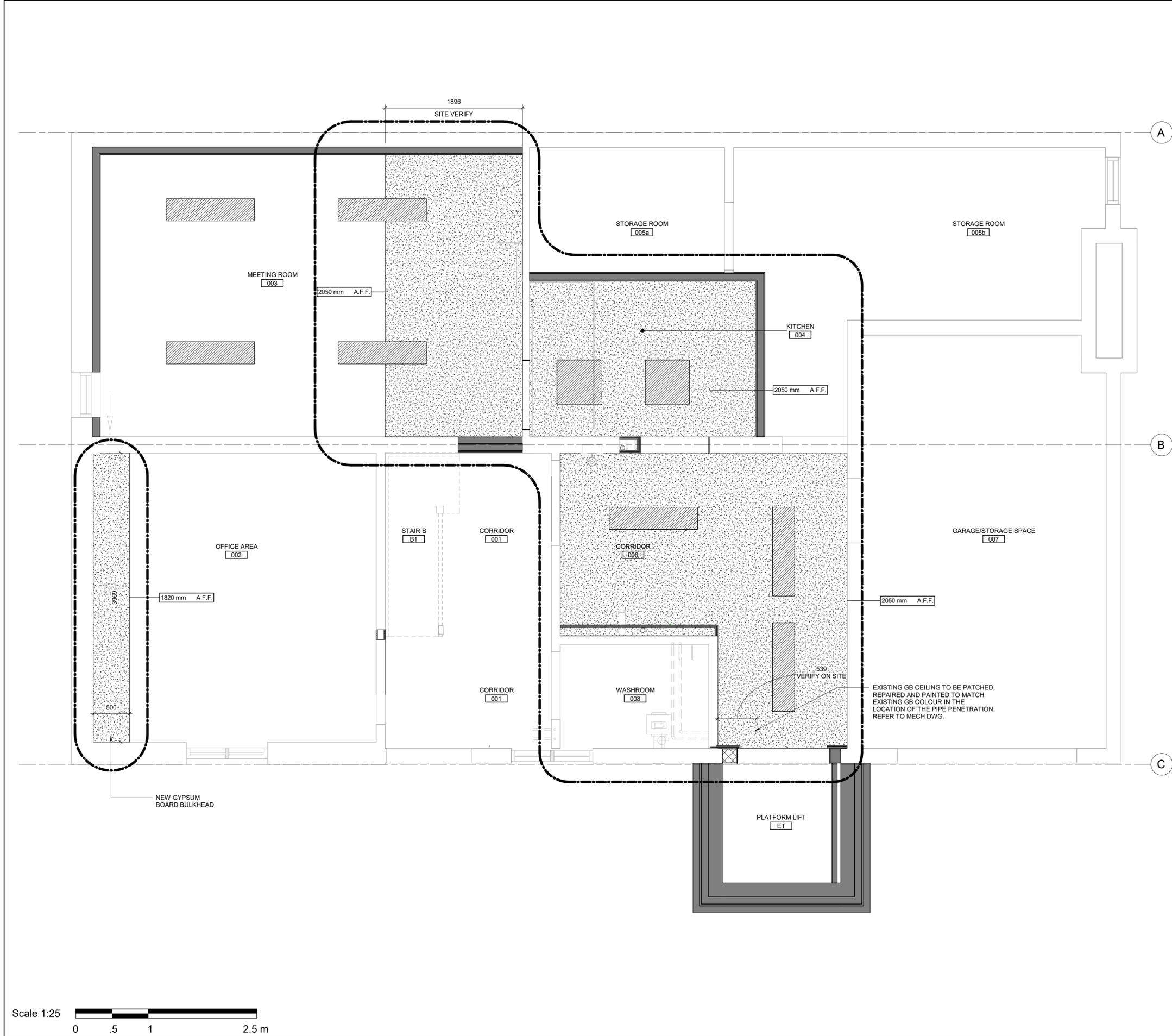
SHEET TITLE
**FIRST FLOOR FLOOR
 FINISH PLAN**

SHEET NUMBER G28-101-A2611	ISSUE C
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CEILING LEGEND

-  GYPSUM BOARD CEILING AND BULKHEAD
-  SUPPLY / RETURN DUCT
-  CEILING, PENDANT OR WALL MOUNTED LUMINAIRE
-  CEILING OR PENDANT MOUNTED LUMINAIRE
-  DASHED AREA INDICATES AREA OF WORK

CEILING GENERAL NOTES

1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

NOTE: OVER 75% OF BASEMENT AREA HAS CEILING HEIGHT OF MORE THAN 2100mm

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PROJECT NO:
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DRAWN BY:
A. KVASNIUK

CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

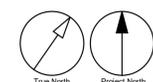
APPROVED BY:
E. FENUTA

SHEET TITLE
**BASEMENT REFLECTED
 CEILING PLAN**

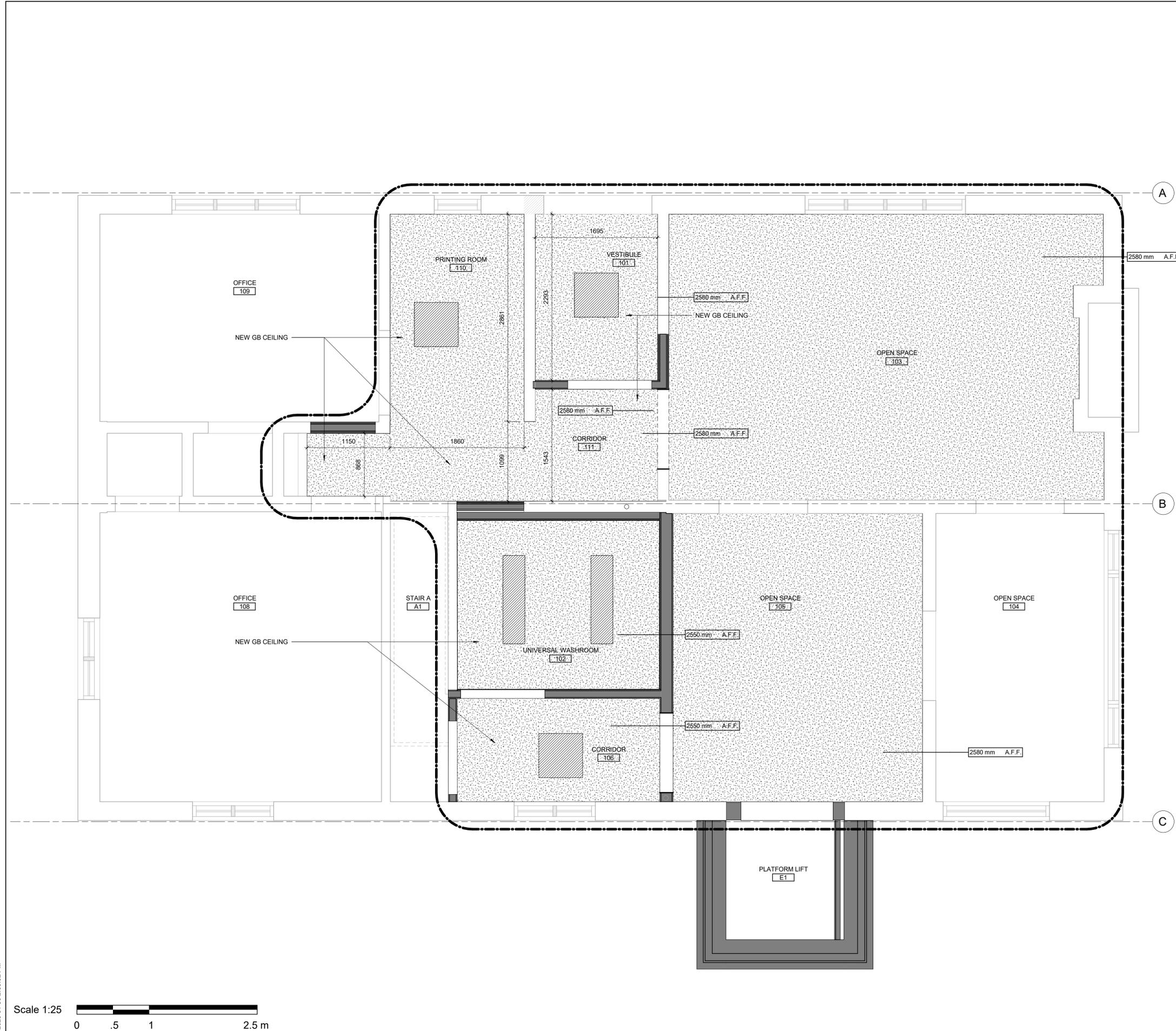
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G28-101-A2801

ISSUE
C

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BHM_380/122260 - CoT_TAU Upgrades R20230122260-TAU-28-101-859KNGSTNA-A-R20.dwg



CEILING LEGEND

- GYPSUM BOARD CEILING AND BULKHEAD
- SUPPLY / RETURN DUCT
- CEILING, PENDANT OR WALL MOUNTED LUMINAIRE
- CEILING OR PENDANT MOUNTED LUMINAIRE
- DASHED AREA INDICATES AREA OF WORK

CEILING GENERAL NOTES

1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

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PROJECT TITLE
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PROJECT ADDRESS
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 1859 KINGSTON RD.**

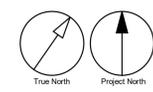
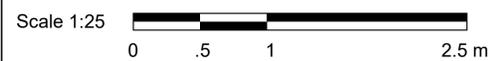
PROJECT NO:
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DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**FIRST FLOOR
 REFLECTED CEILING
 PLAN**

SHEET NUMBER G28-101-A2811	ISSUE C
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DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- _____ EXISTING TO REMAIN

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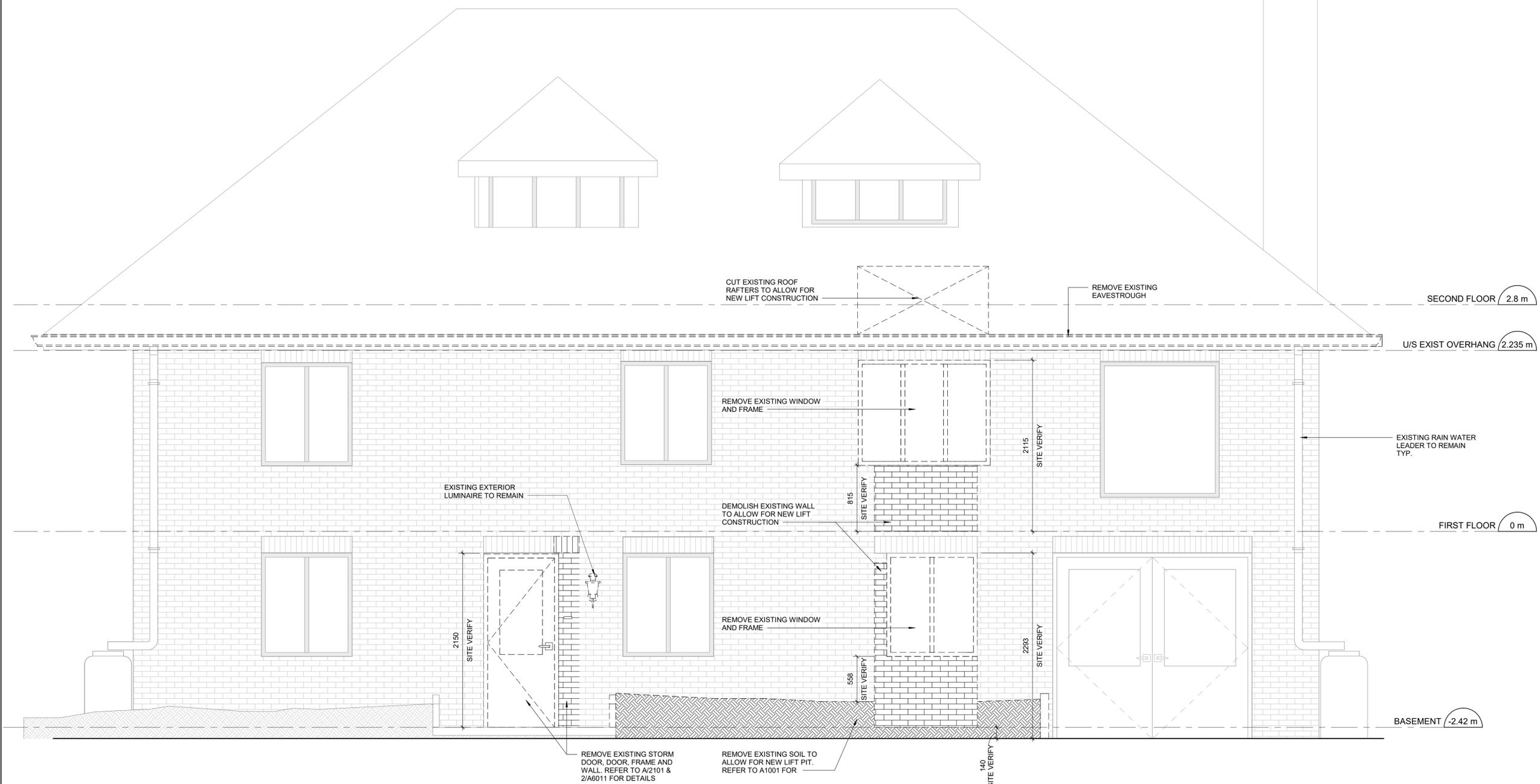
PROJECT ADDRESS
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PROJECT NO:
 9119-19-0162 / IBI 122260

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PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
 BUILDING ELEVATION -
 DEMOLITION

SHEET NUMBER G28-101-A3011	ISSUE C
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CONSTRUCTION KEY LEGEND

- EXISTING TO REMAIN
- NEW

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ISSUES

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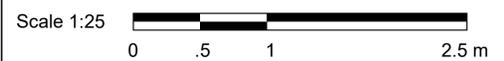
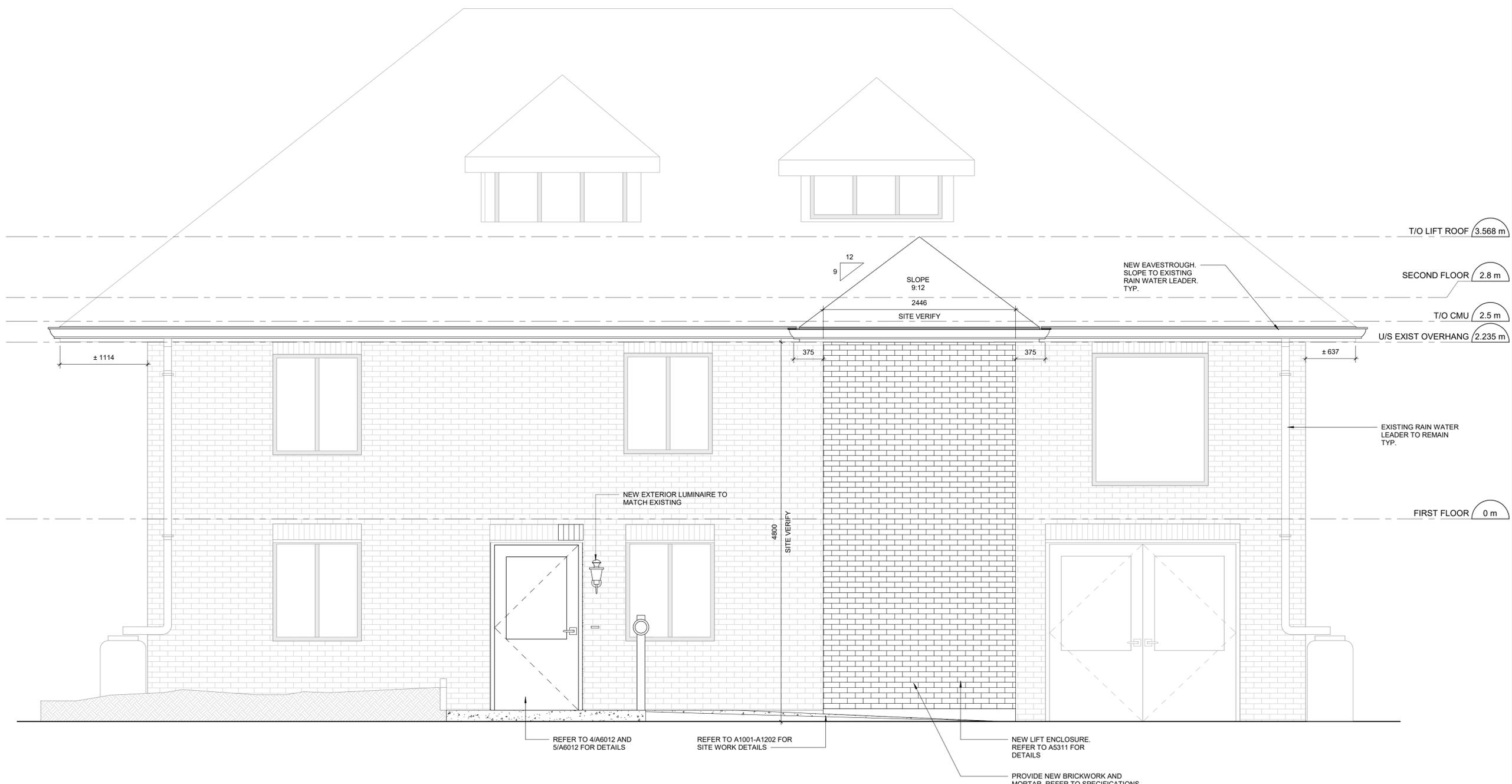
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**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
A. KVASNIUK
 PROJECT MGR:
F. BOLOURIAN
 CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

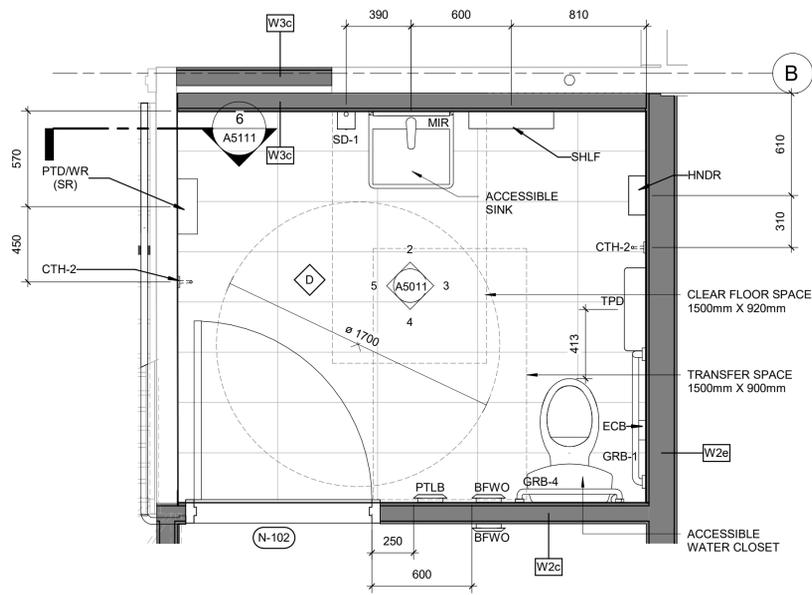
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**BUILDING ELEVATION -
 PROPOSED**

SHEET NUMBER
G28-101-A3012
 ISSUE
C

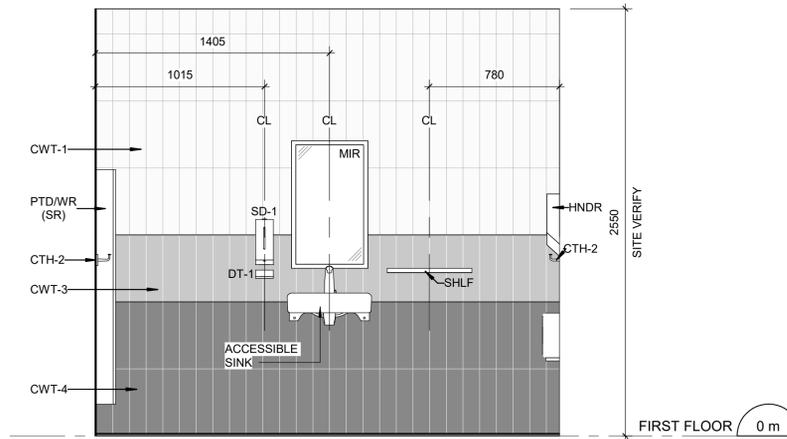


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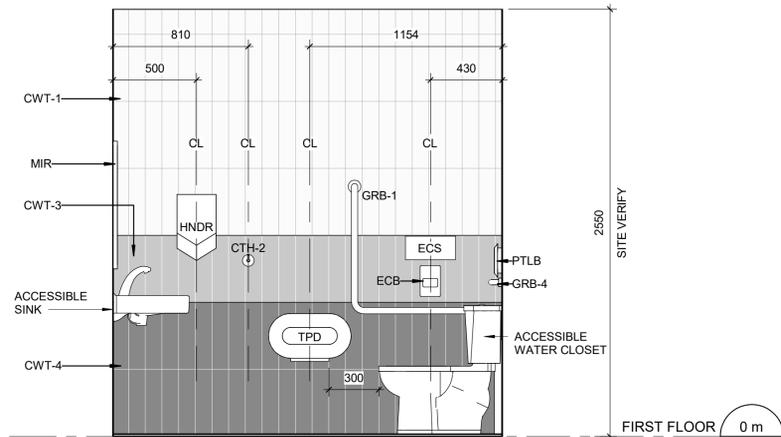
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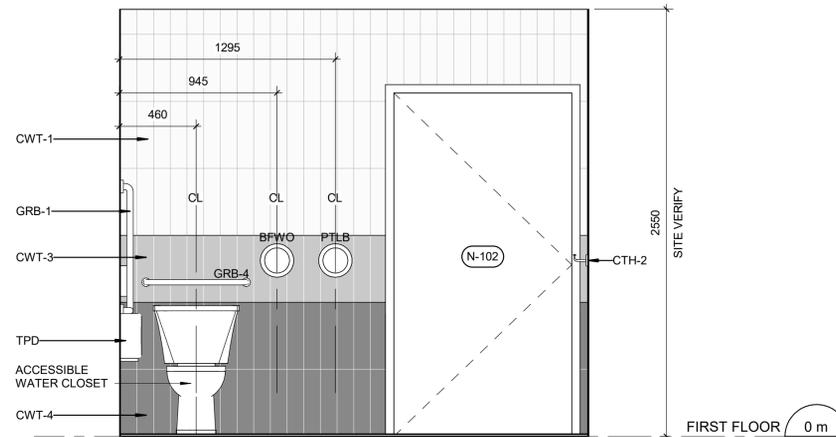
1 FIRST FLOOR UNIVERSAL WASHROOM - PLAN
A5011 Scale: 1:20



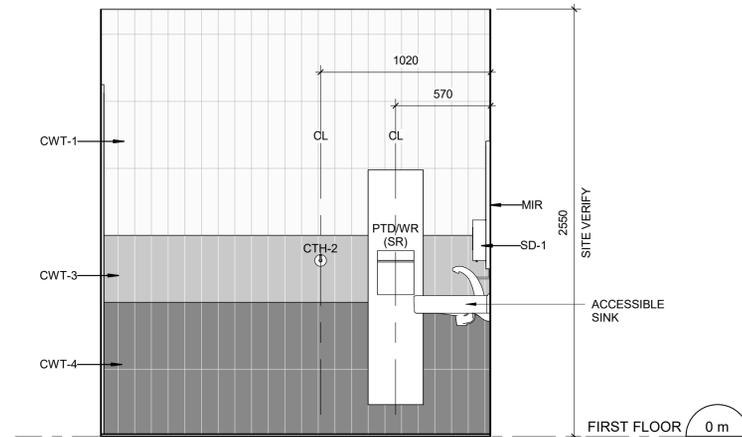
2 UNIVERSAL WASHROOM - NORTH ELEVATION
A5011 Scale: 1:20



3 UNIVERSAL WASHROOM - EAST ELEVATION
A5011 Scale: 1:20



4 UNIVERSAL WASHROOM - SOUTH ELEVATION
A5011 Scale: 1:20



5 UNIVERSAL WASHROOM - WEST ELEVATION
A5011 Scale: 1:20

CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.

WASHROOM GENERAL NOTES	
1	ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.
2	MOISTURE RESISTANT GYPSUM BOARD TO BE PROVIDED IN ALL WASHROOMS AND LOCKER ROOMS

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ISSUES		
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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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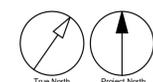
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUA

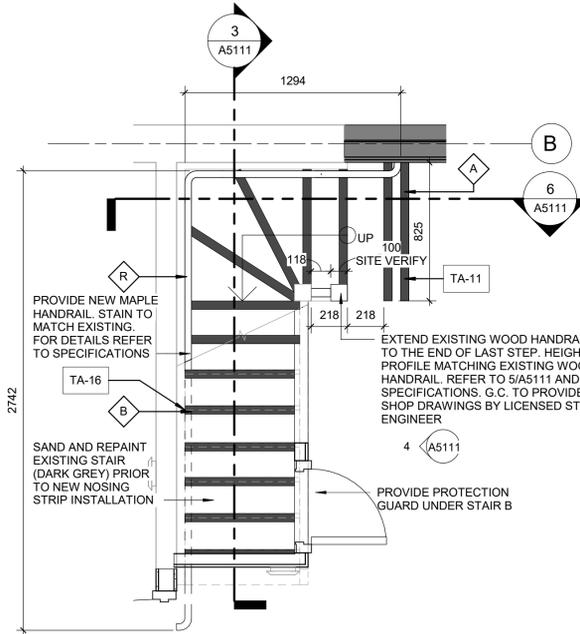
SHEET TITLE
**WASHROOM
PLANS/ELEVATIONS**

SHEET NUMBER
G28-101-A5011
ISSUE
C

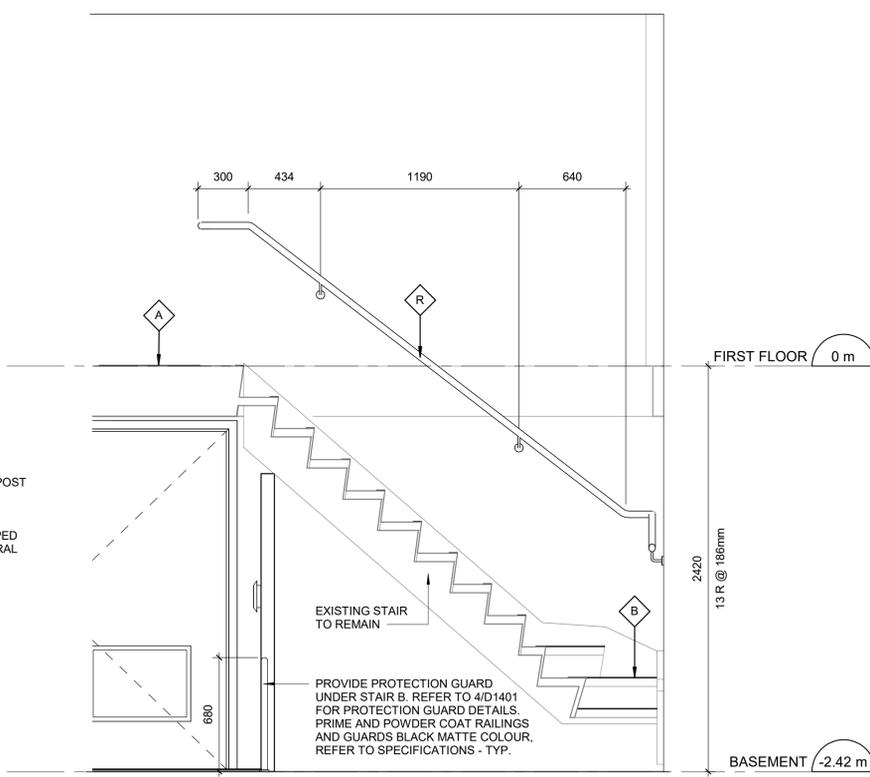


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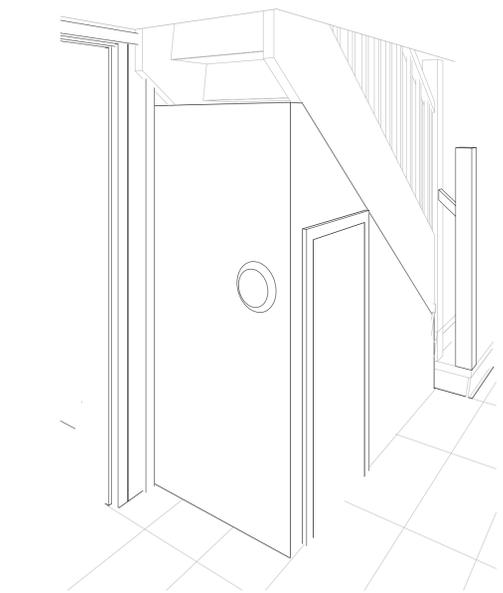
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1 BASEMENT - STAIR B PLAN
A5111 / Scale: 1:20



3 STAIR B - SECTION 1
A5111 / Scale: 1:20



5 STAIR ENCLOSURE PARAMETRIC VIEW
A5111 / Scale: 1:20

CONSTRUCTION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN

CONSTRUCTION GENERAL NOTES

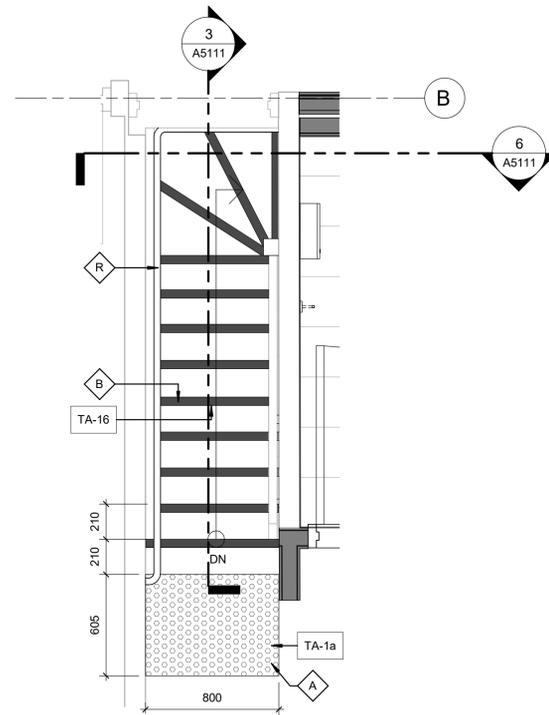
1	NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
2	REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

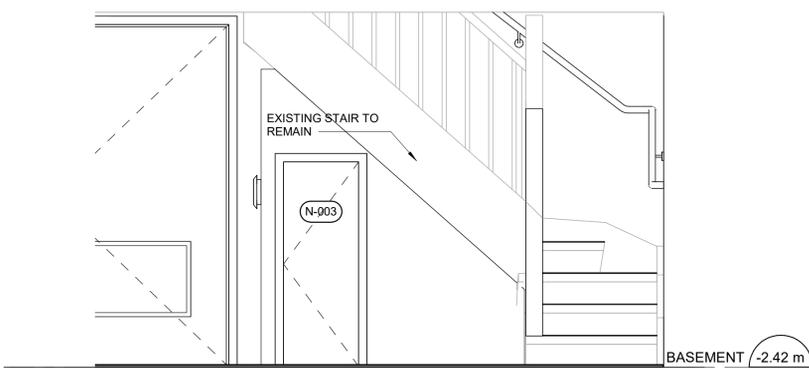
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A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.

STAIRS GENERAL NOTES

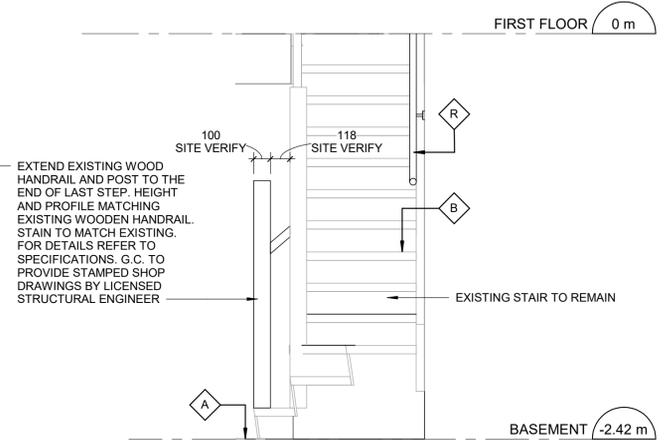
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1	REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS.
2	REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS.
3	REFER TO 4/D1405 FOR FLAT STAIR NOSING (TA-16) DETAILS.



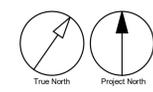
2 FIRST FLOOR - STAIR B PLAN
A5111 / Scale: 1:20



4 STAIR B - ELEVATION 1
A5111 / Scale: 1:20



6 STAIR B - SECTION 2
A5111 / Scale: 1:20



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No.	DESCRIPTION	DATE
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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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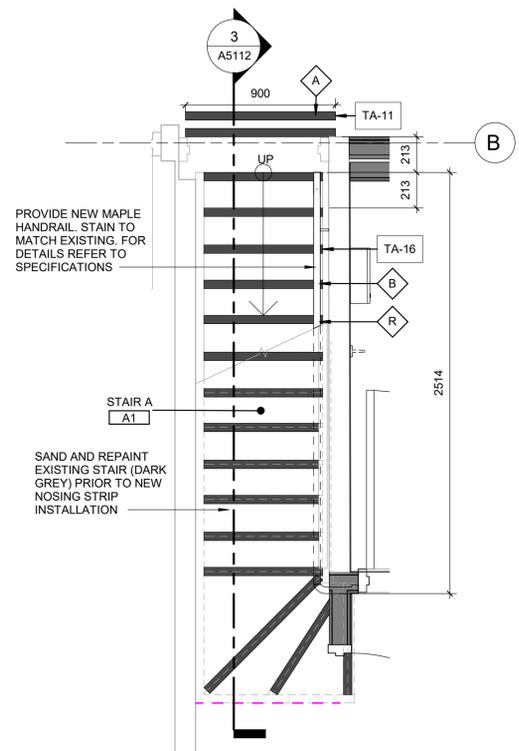
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**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

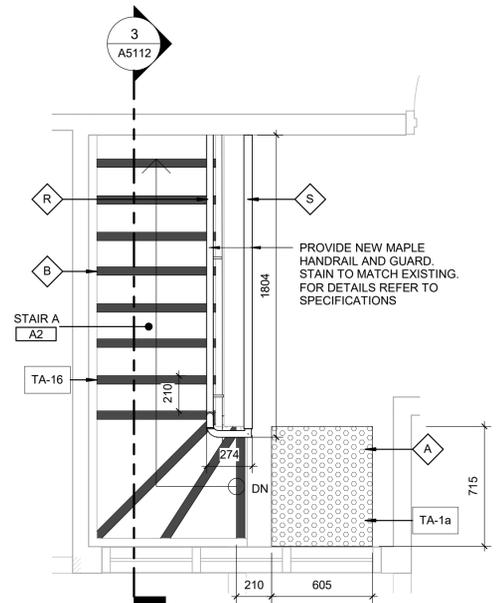
PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUA

SHEET TITLE
**STAIR B PLANS &
DETAILS**

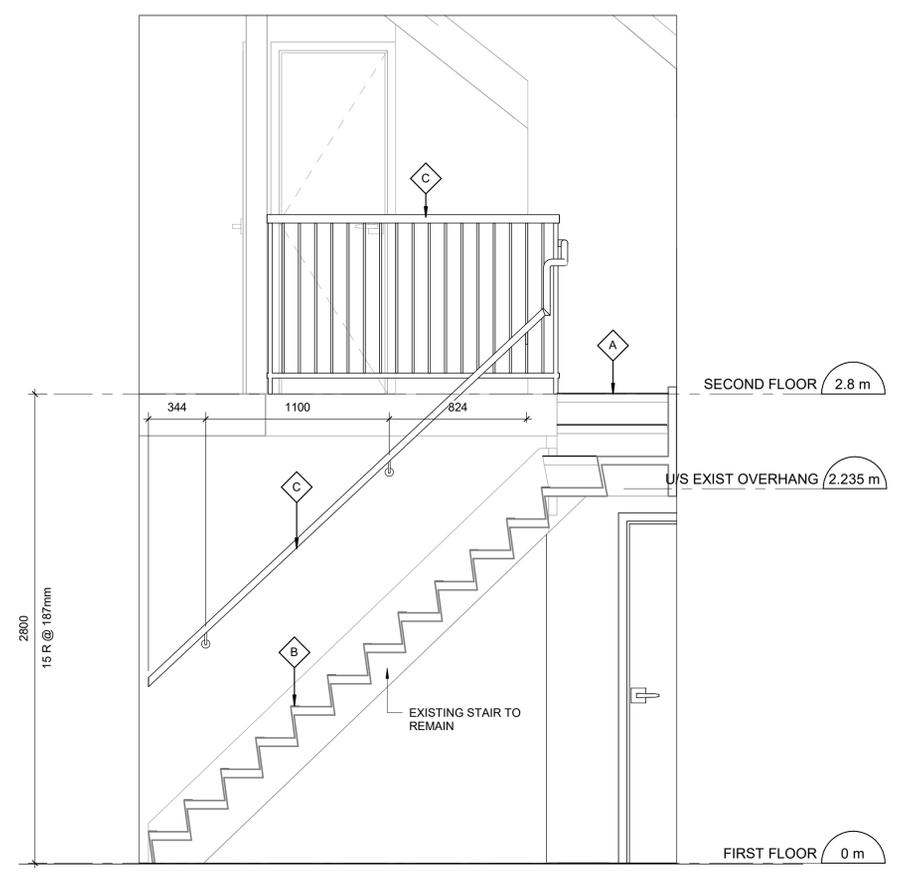
SHEET NUMBER
G28-101-A5111
ISSUE
C



1 FIRST FLOOR - STAIR A PLAN
A5112 Scale: 1 : 20

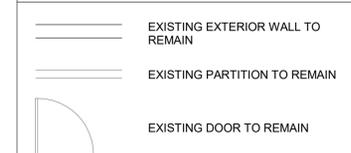


2 SECOND FLOOR - STAIR A PLAN
A5112 Scale: 1 : 20



3 STAIR A - SECTION 1
A5112 Scale: 1 : 20

CONSTRUCTION KEY LEGEND



CONSTRUCTION GENERAL NOTES

NO	DESCRIPTION
1	NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS, FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
2	REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED, COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
C	INSTALL NEW GUARDRAIL AND HANDRAIL ON STEEL STAIR - REFER TO TYPICAL DETAILS 2/D1401, 5/D1401, 1/D1403.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.
S	INSTALL NEW GUARDRAIL - REFER TO DETAILS 5/D1401, 6/D1401, 1/D1403.

STAIRS GENERAL NOTES

NO	DESCRIPTION
1	REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS.
2	REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS.
3	REFER TO 4/D1405 FOR FLAT STAIR NOSING (TA-16) DETAILS.

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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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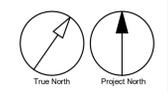
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUTA

SHEET TITLE
**STAIR A PLANS &
DETAILS**

SHEET NUMBER
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ISSUE
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D	ISSUED FOR PERMIT REV 1 / ADDENDUM #3	2023-01-24

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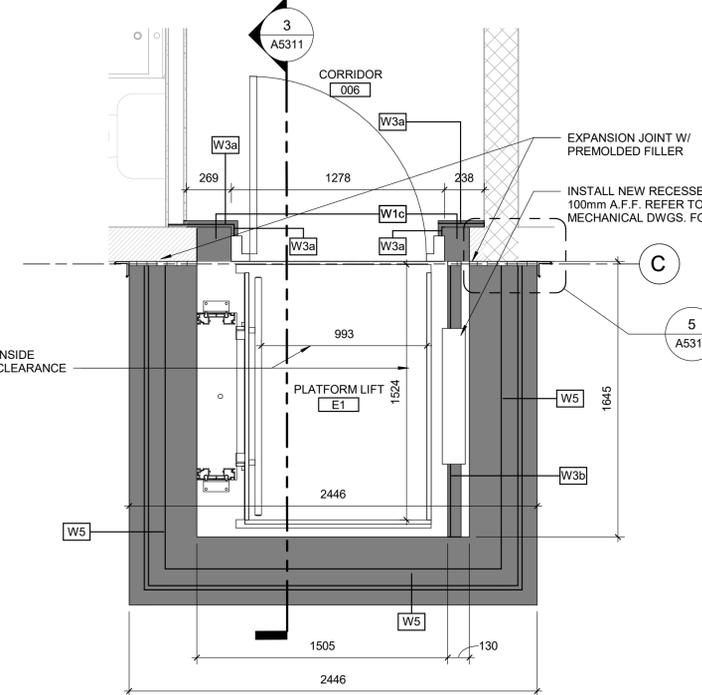
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**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.**

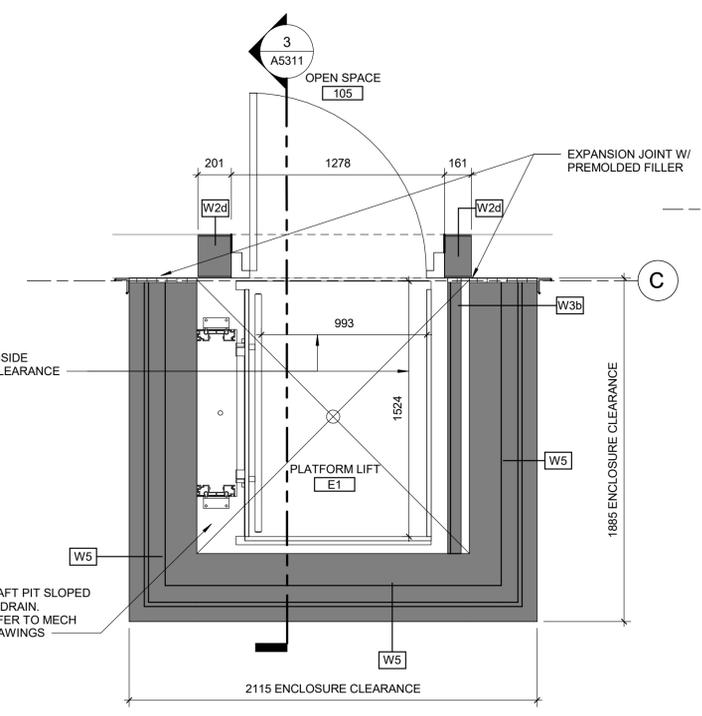
PROJECT NO:
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 DRAWN BY:
A. KVASNIUK
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
**WHEELCHAIR LIFT
 PLANS & SECTION**

CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

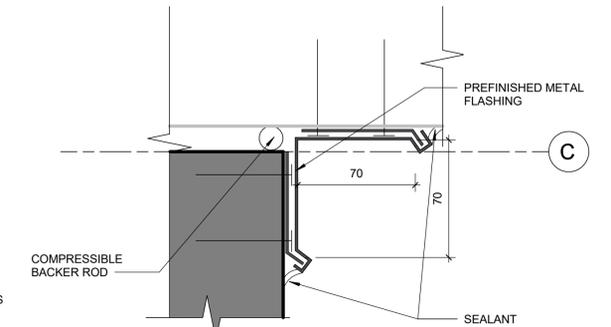
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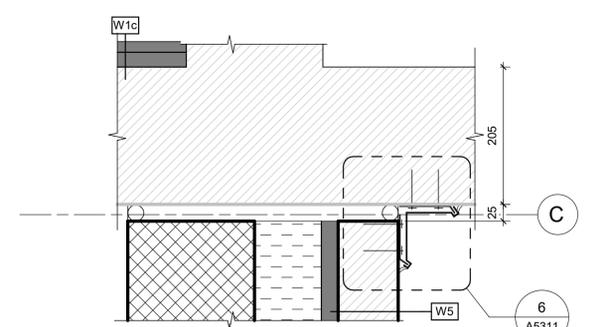
1 BASEMENT - LIFT SHAFT PLAN
 A5311 Scale: 1:20



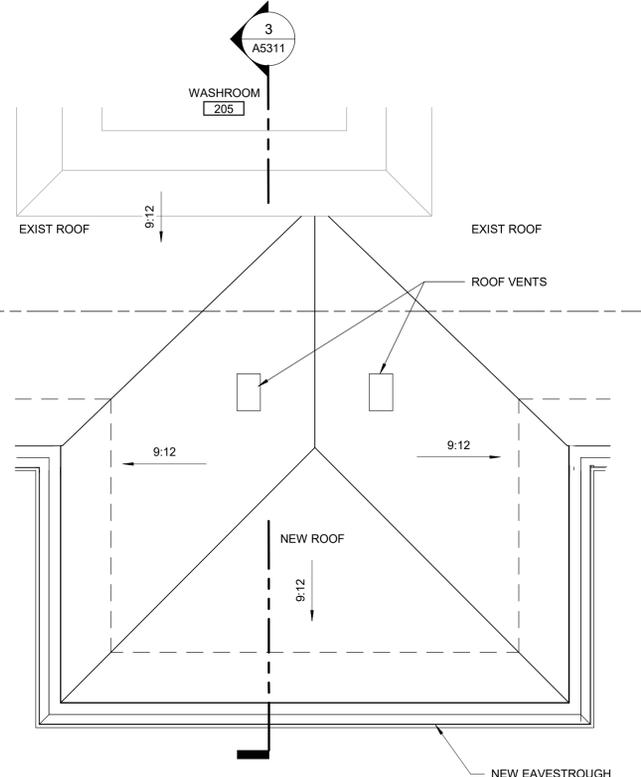
2 FIRST FLOOR - LIFT SHAFT PLAN
 A5311 Scale: 1:20



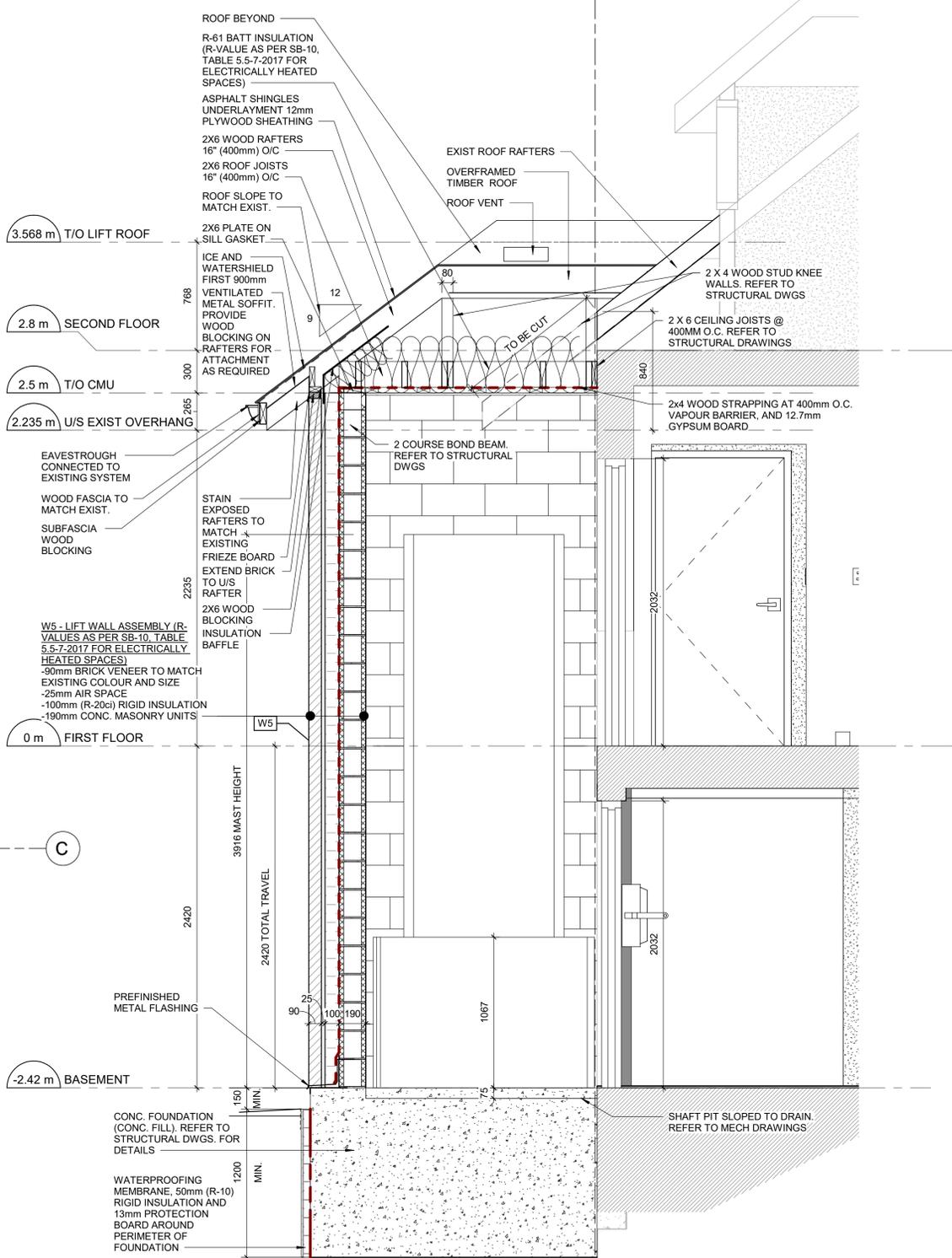
6 PREFINISHED METAL FLASHING ENLARGED
 A5311 Scale: 1:2



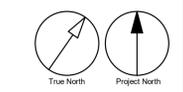
5 PREFINISHED METAL FLASHING
 A5311 Scale: 1:5



4 LIFT ROOF PLAN
 A5311 Scale: 1:20



3 LIFT ENCLOSURE - SECTION 1
 A5311 Scale: 1:20



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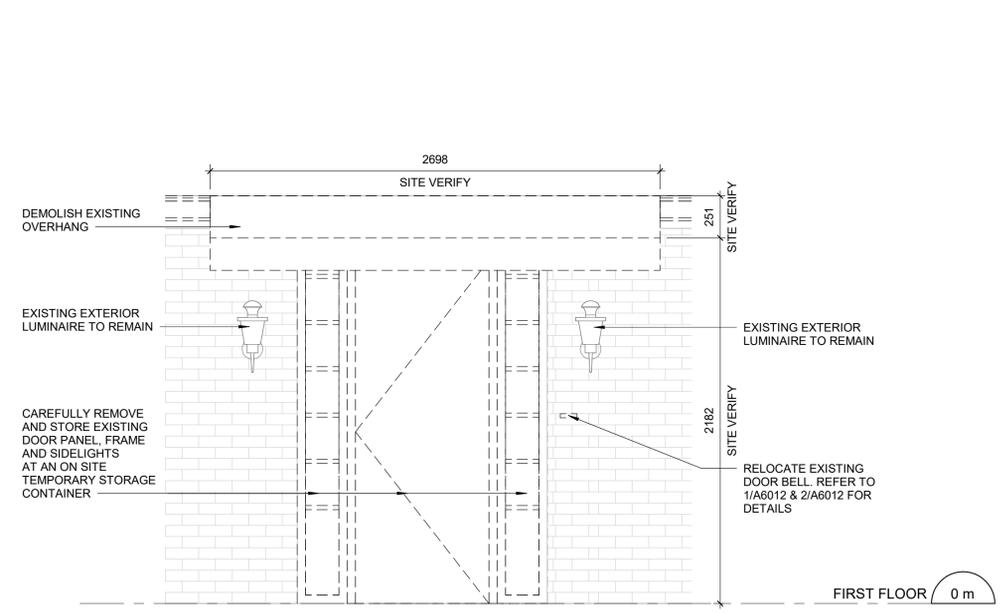
PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.

PROJECT NO:
 9119-19-0162 / IBI 122260
DRAWN BY:
 A. KVASNIUK
CHECKED BY:
 K. TILAHUN
PROJECT MGR:
 F. BOLOURIAN
APPROVED BY:
 E. FENUTA

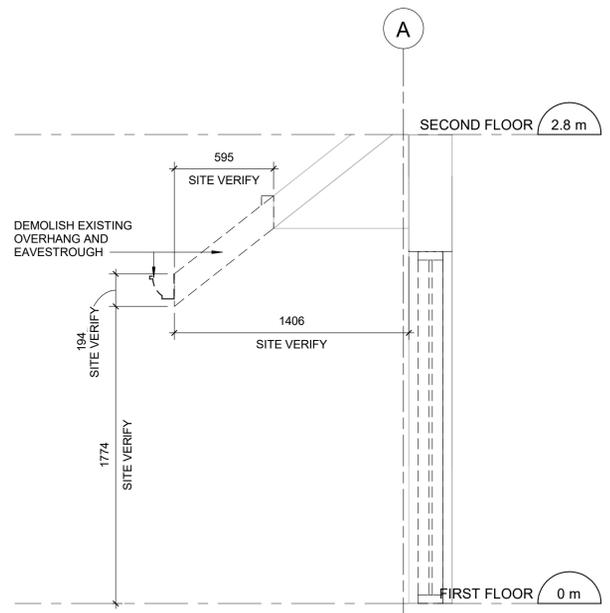
SHEET TITLE
 BUILDING ENTRANCE -
 DEMOLITION
 ELEVATIONS

SHEET NUMBER
 G28-101-A6011
ISSUE
 C



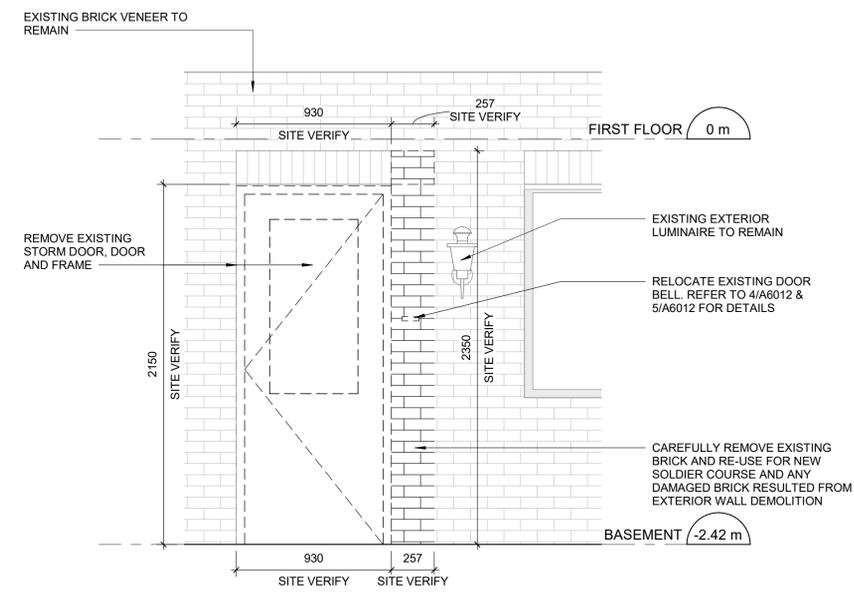
1 EXTERIOR VESTIBULE DOOR - DEMOLITION ELEVATION

A6011 Scale: 1 : 20



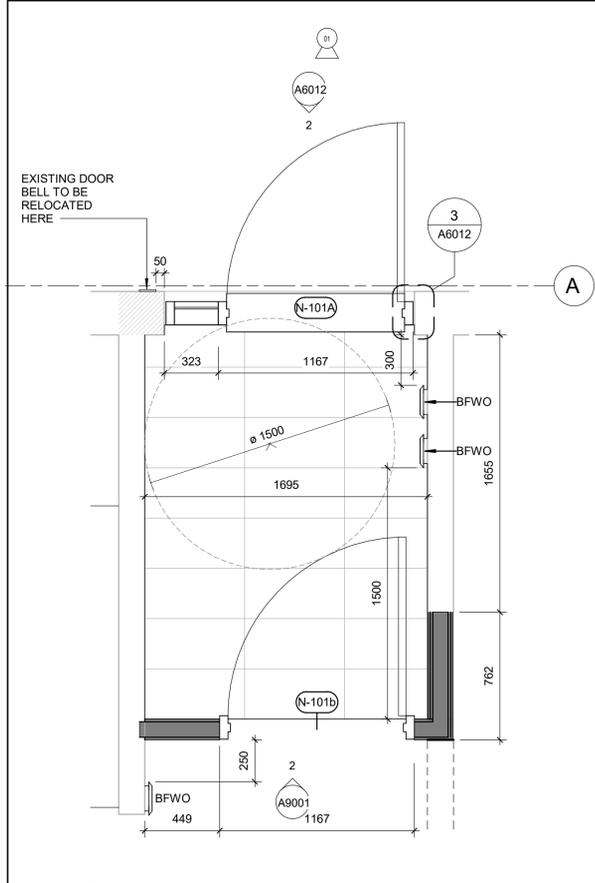
3 OVERHANG SIDE VIEW - DEMOLITION ELEVATION

A6011 Scale: 1 : 20

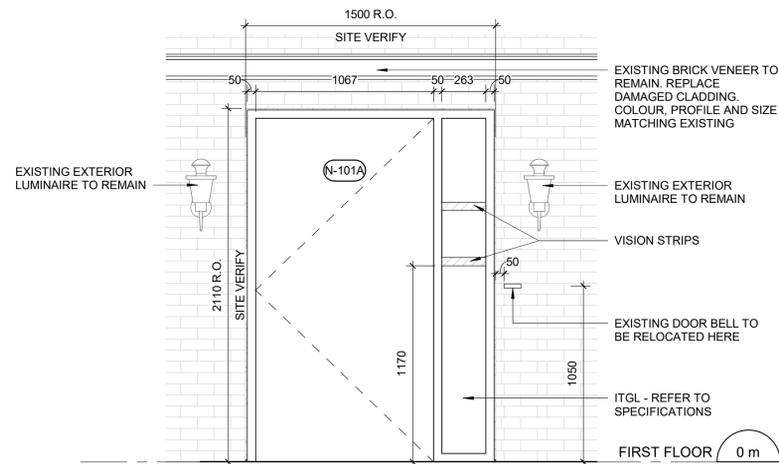


2 BASEMENT EXTERIOR ENTRY DOOR - DEMOLITION ELEVATION

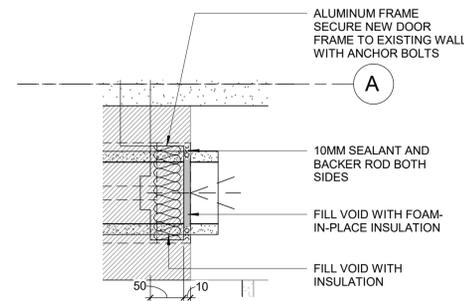
A6011 Scale: 1 : 20



1 FIRST FLOOR - VESTIBULE PLAN
A6012 Scale: 1:20



2 EXTERIOR VESTIBULE DOOR - PROPOSED ELEVATION
A6012 Scale: 1:20



CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION REFER TO PARTITION SCHEDULE
- NEW DOOR AND/OR NEW HARDWARE

EXISTING BRICK VENEER TO REMAIN. REPLACE DAMAGED CLADDING. COLOUR, PROFILE AND SIZE MATCHING EXISTING

EXISTING EXTERIOR LUMINAIRE TO REMAIN



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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

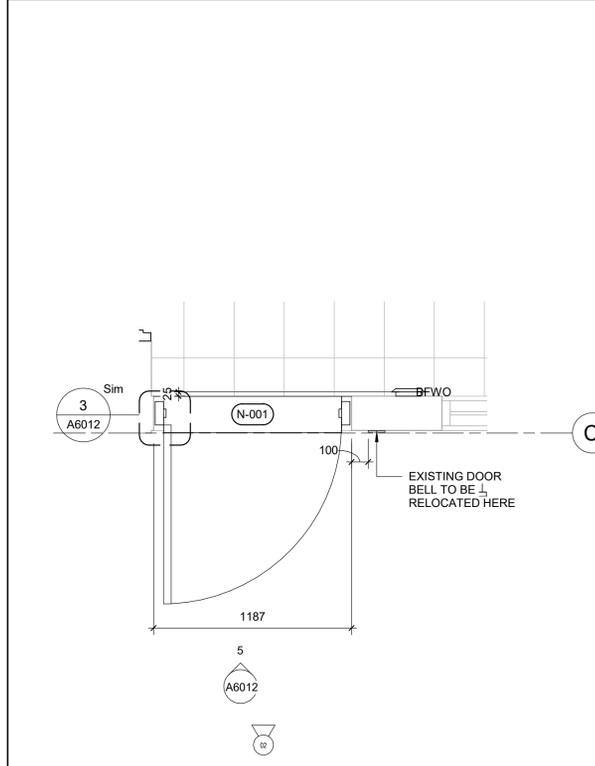
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**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
9119-19-0162 / IBI 122260

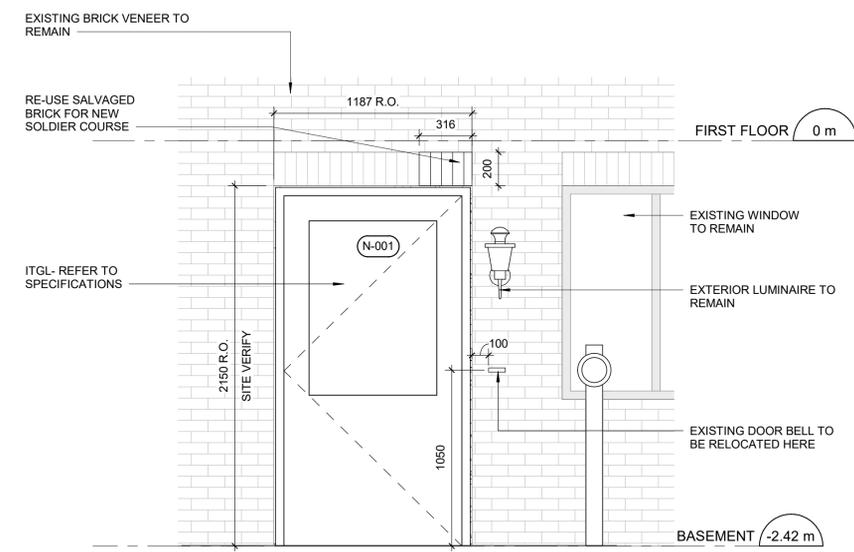
DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**BUILDING ENTRANCE -
PROPOSED PLANS &
ELEVATIONS**

SHEET NUMBER G28-101-A6012	ISSUE C
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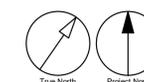
4 BASEMENT - ENTRANCE DOOR PLAN
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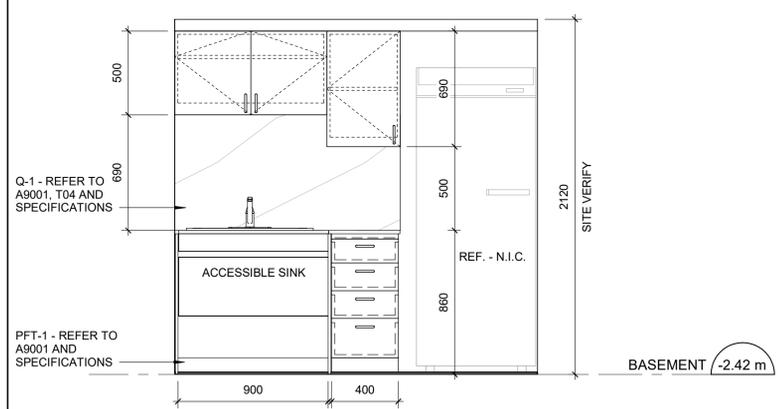
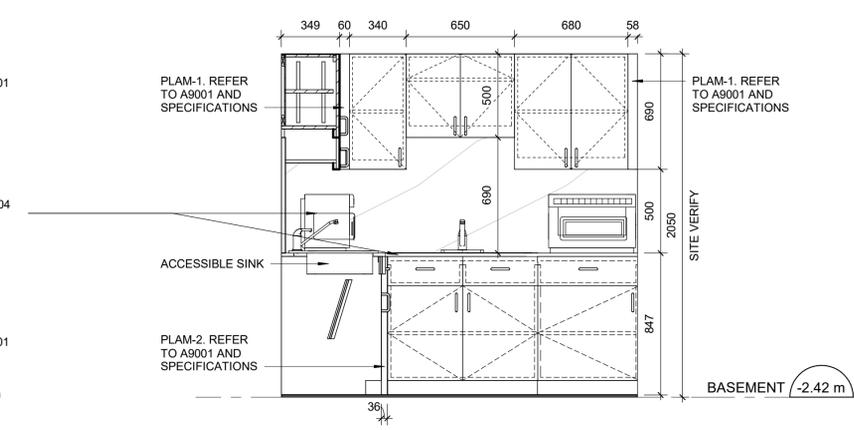
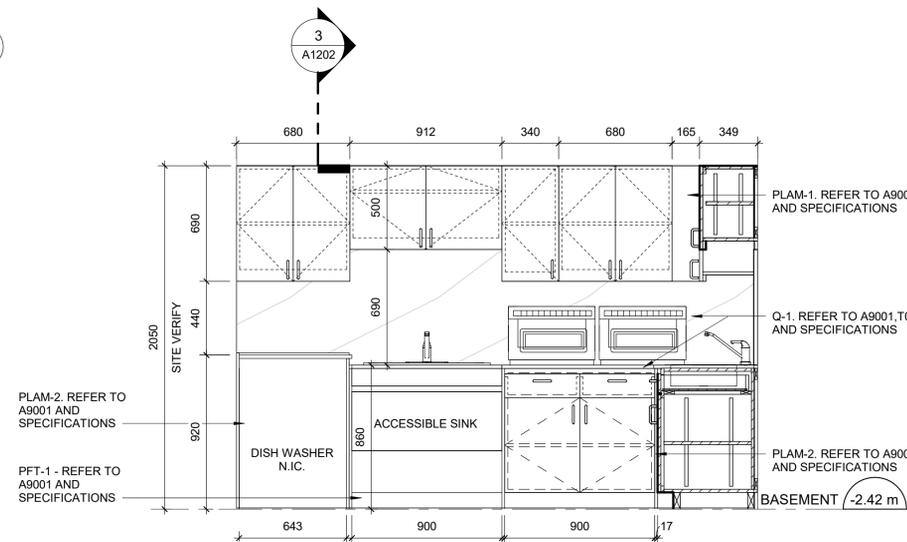
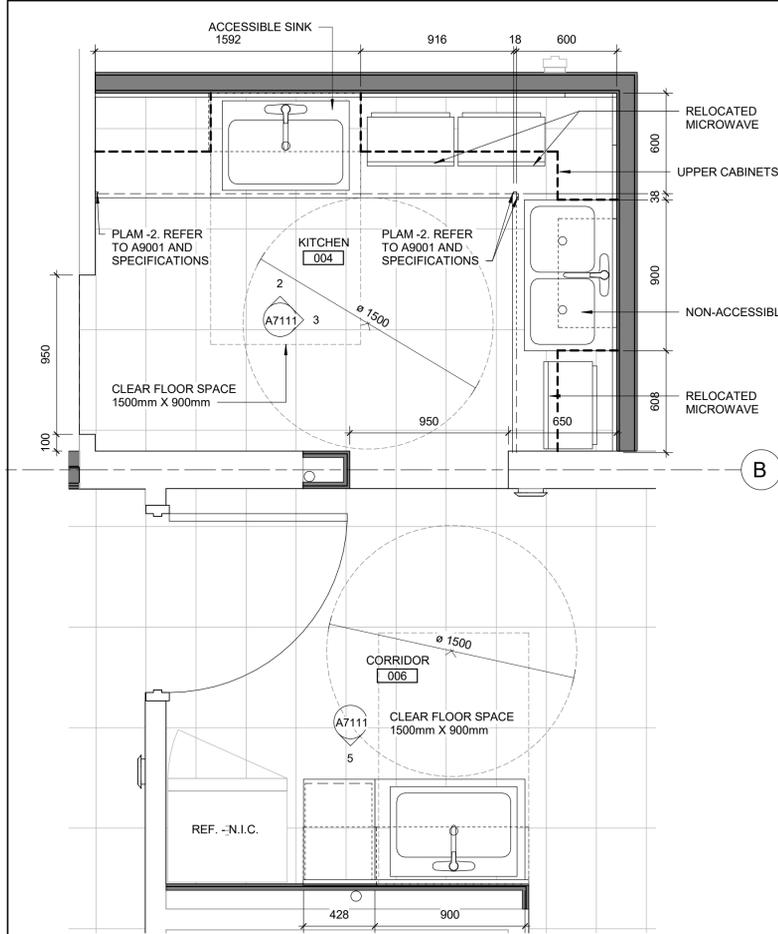


5 EXTERIOR ENTRY DOOR - PROPOSED ELEVATION
A6012 Scale: 1:20

257mm X 2350mm OF EXISTING BRICK VENEER TO BE REMOVED

EXISTING EXTERIOR LUMINAIRE TO REMAIN





CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION REFER TO PARTITION SCHEDULE
- NEW DOOR AND/ OR NEW HARDWARE

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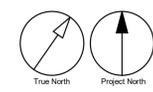
PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
 COUNCIL
 1859 KINGSTON RD.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
A. KVASNIUK
 PROJECT MGR:
F. BOLOURIAN
 CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

SHEET TITLE
**BASEMENT
 KITCHENETTES - PLANS
 & ELEVATIONS**

SHEET NUMBER
G28-101-A7111
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C



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PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 SCARBOROUGH ARTS COUNCIL
 1859 KINGSTON ROAD

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

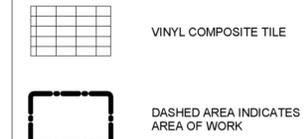
DRAWN BY: M. LOW
CHECKED BY: C. D. SCHNOBB

PROJECT MGR: R. DALY
APPROVED BY:

SHEET TITLE
 SIGNAGE & WAYFINDING
 DETAILS
 BASEMENT FLOOR LOCATION PLAN

SHEET NUMBER
 G28-101-A8000
ISSUE
 D

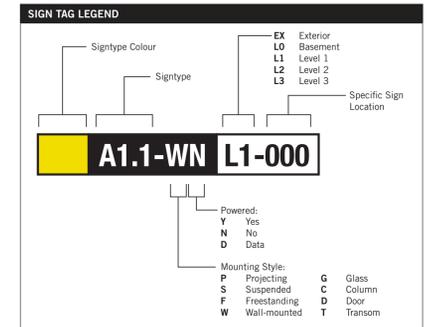
FLOOR FINISHES LEGEND



FLOOR FINISH GENERAL NOTES

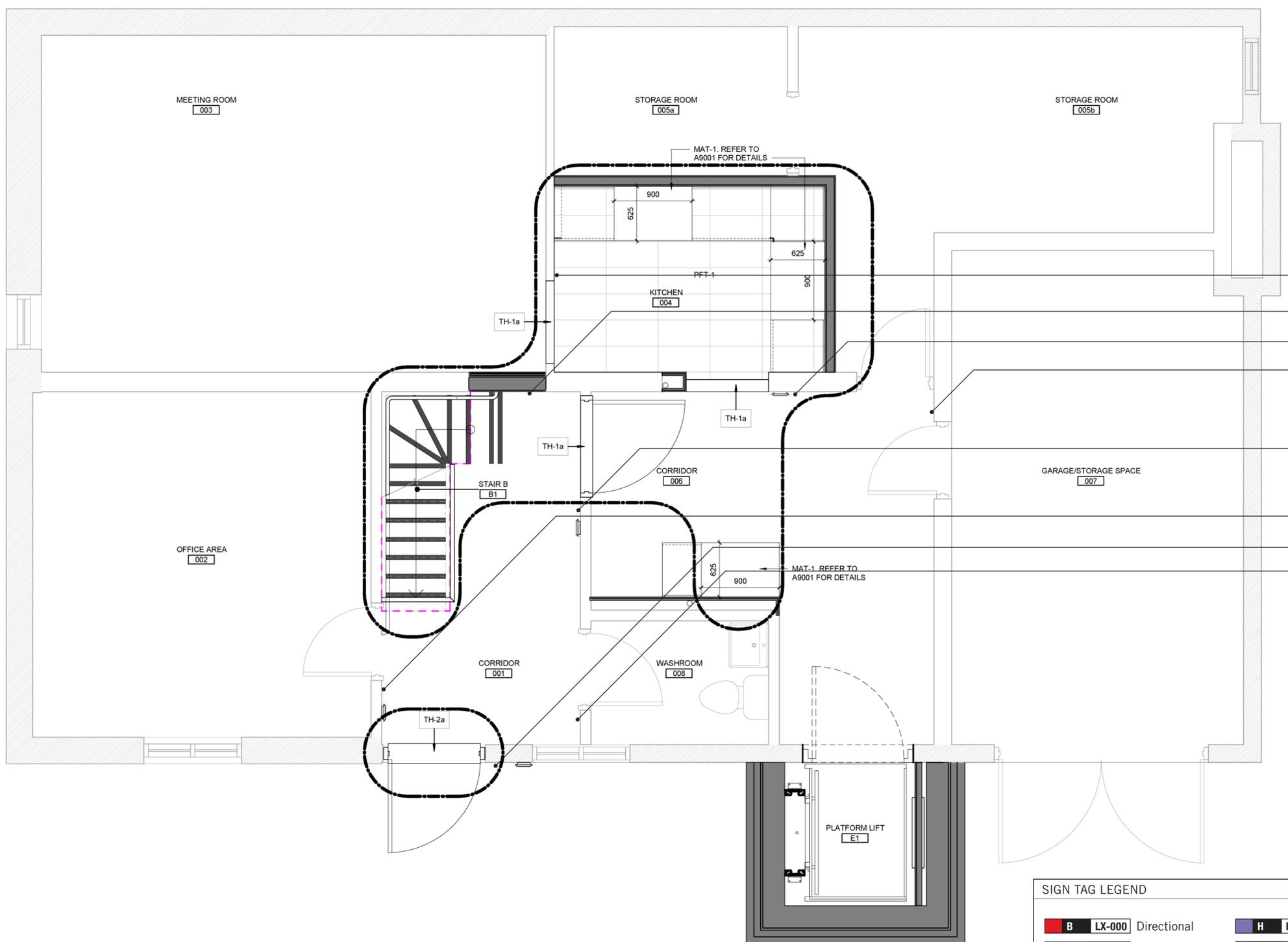
- CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
- CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
- CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
- WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- WHERE STONE FLOORING MEETS ELEVATOR DOORS, BEVEL STONE DOWN TO SUIT TRANSITION BETWEEN NEW STONE FLOOR AND EXISTING ELEVATOR CAB FLOOR. PROVIDE SHOP DRAWINGS OF BEVEL/REDUCING STRIP FOR APPROVAL BY CONSULTANT.
- MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

- E2.1-WN B-001
- S1.2-WN B-002
- E2.1-WN B-003
- E2.1-WN B-004
- E2.1-WN B-005
- E4.1-WN B-006
- J4.2-WN B-007
- H1.1-WN B-008

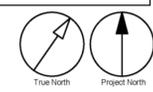


SIGN TAG LEGEND

B LX-000 Directional	H LX-000 Amenity	G LX-000 Inside Stair ID
E LX-000 Room ID	J LX-000 Entrance	S LX-000 Stair ID



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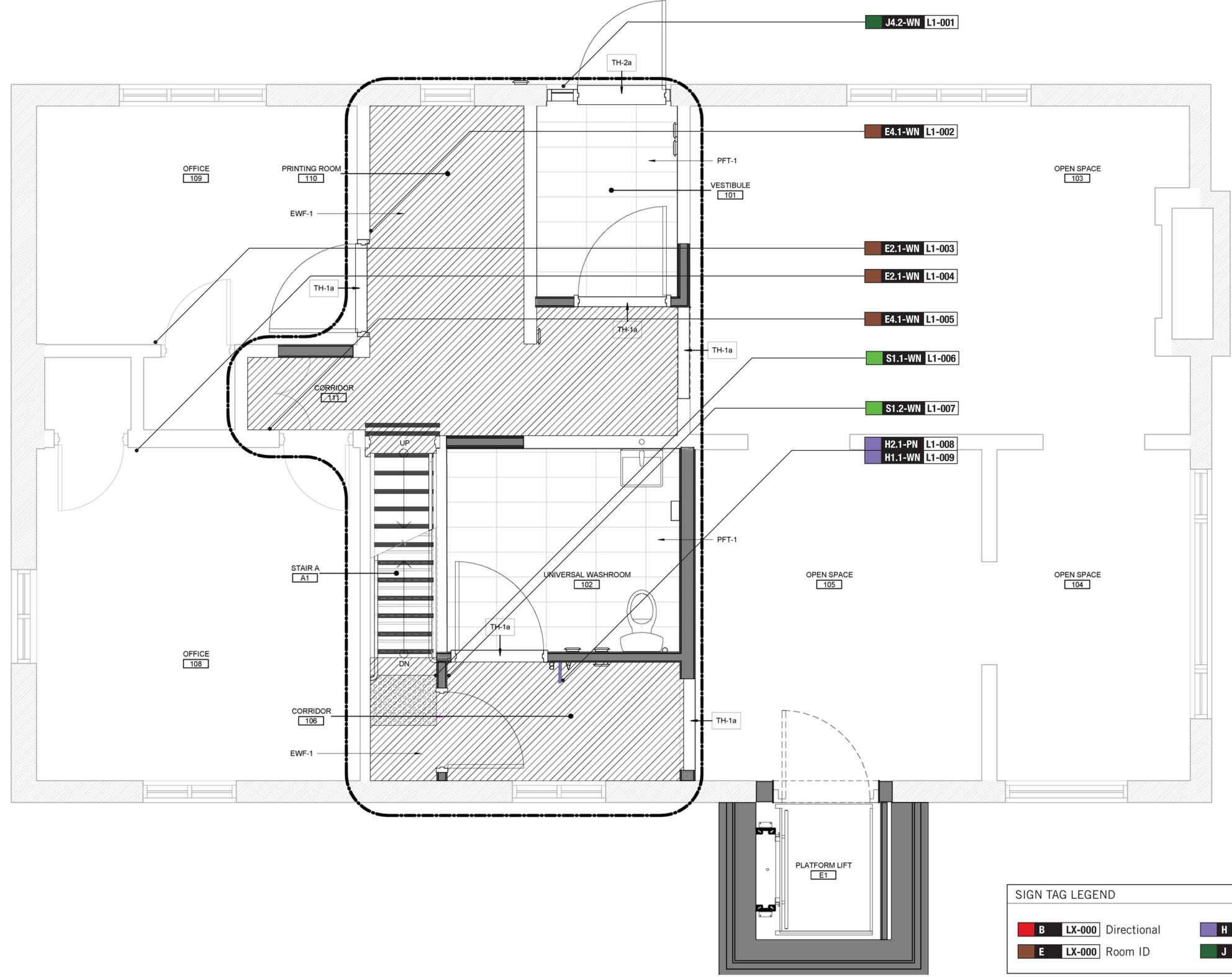
ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

FLOOR FINISHES LEGEND

	ENGINEERED WOOD FLOORING
	PORCELAIN TILE
	DASHED AREA INDICATES AREA OF WORK

- FLOOR FINISH GENERAL NOTES**
- CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
 - CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
 - CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
 - CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
 - PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
 - WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
 - WHERE STONE FLOORING MEETS ELEVATOR DOORS, BEVEL STONE DOWN TO SUIT TRANSITION BETWEEN NEW STONE FLOOR AND EXISTING ELEVATOR CAB FLOOR. PROVIDE SHOP DRAWINGS OF BEVEL/REDUCING STRIP FOR APPROVAL BY CONSULTANT.
 - MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.



SIGN TAG LEGEND

Signtype Colour	Signtype	EX Exterior	LO Basement
		L1 Level 1	L2 Level 2
		L3 Level 3	
			Specific Sign Location

A1.1-WN L1-000

Powered:	Y Yes	N No	D Data
Mounting Style:	P Projecting	S Suspended	F Freestanding
	G Glass	C Column	D Door
	W Wall-mounted	T Transom	

SIGN TAG LEGEND

 B LX-000 Directional	 H LX-000 Amenity	 G LX-000 Inside Stair ID
 E LX-000 Room ID	 J LX-000 Entrance	 S LX-000 Stair ID

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 Tel 416 675 1930 fax 416 675 4620
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PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

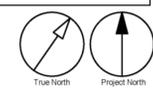
PROJECT ADDRESS
 SCARBOROUGH ARTS COUNCIL
 1859 KINGSTON ROAD

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

DRAWN BY: M. LOW	CHECKED BY: C. D. SCHNOBB
PROJECT MGR: R. DALY	APPROVED BY:

SHEET TITLE
 SIGNAGE & WAYFINDING
 DETAILS
 FIRST FLOOR LOCATION PLAN

SHEET NUMBER G28-101-A8010	ISSUE D
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- ### CONSTRUCTION GENERAL NOTES
- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
 - REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

- ### CONSTRUCTION KEY LEGEND
- EXISTING EXTERIOR WALL TO REMAIN
 - EXISTING PARTITION TO REMAIN
 - NEW EXTERIOR WALL REFER TO WALL SCHEDULE
 - NEW PARTITION REFER TO PARTITION SCHEDULE
 - EXISTING DOOR TO REMAIN
 - NEW DOOR AND/OR NEW HARDWARE
 - DASHED AREA INDICATES AREA OF WORK

- ### CONSTRUCTION KEY NOTES
- | NO | DESCRIPTION |
|----|--|
| J | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

CLIENT
CITY OF TORONTO
 55 John St.
 TORONTO, ON
 M5V 3C6

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS COUNCIL
 1859 KINGSTON ROAD**

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

DRAWN BY:
M. LOW

CHECKED BY:
C.D. SCHNOBB

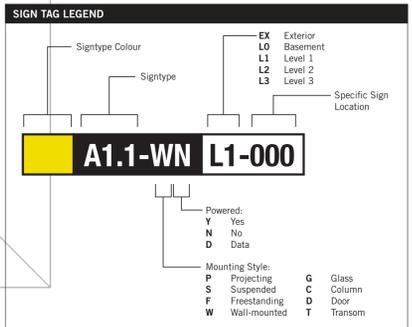
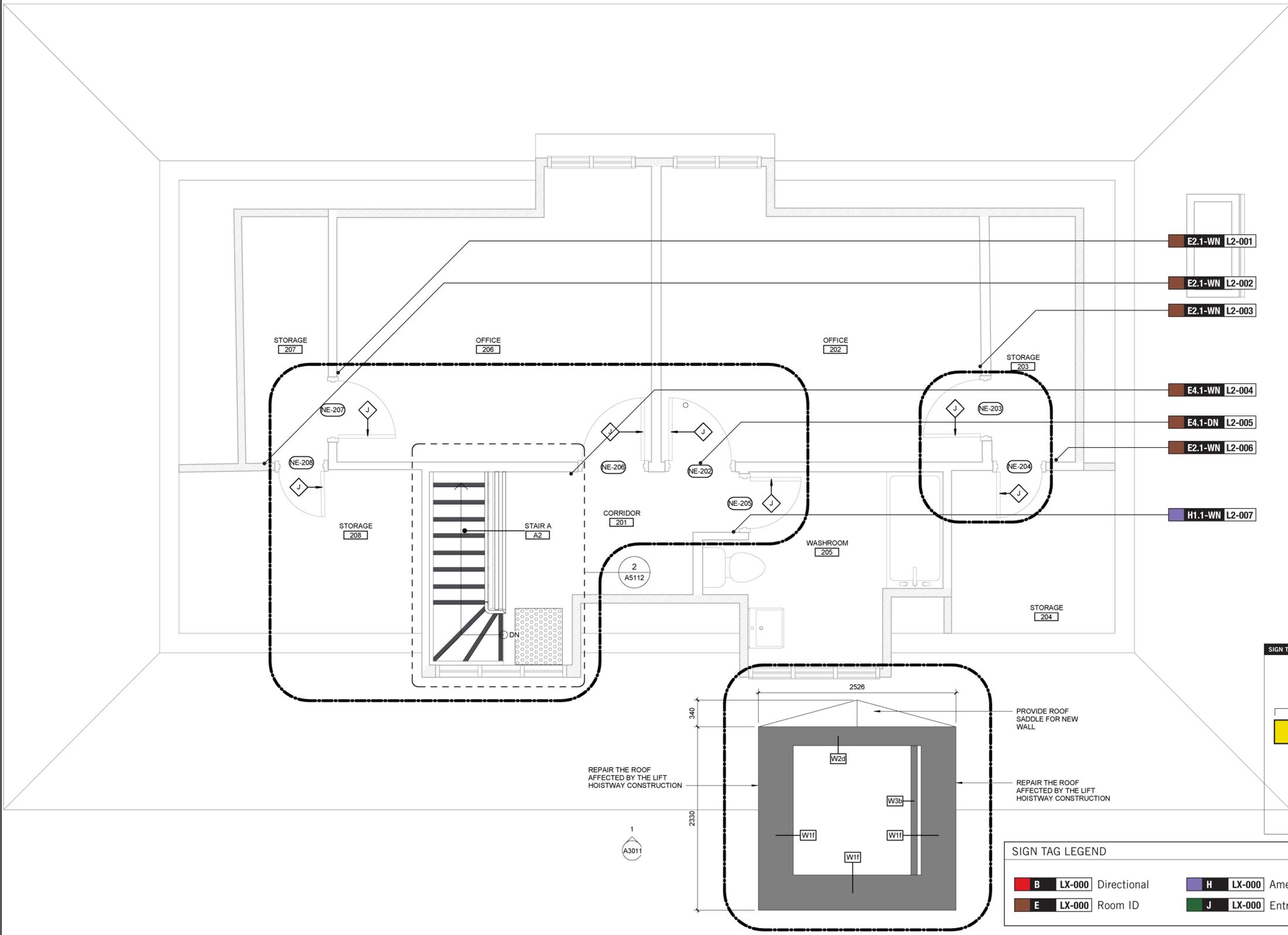
PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
**SIGNAGE & WAYFINDING
 DETAILS
 SECOND FLOOR LOCATION PLAN**

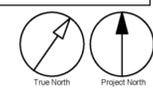
SHEET NUMBER
G28-101-A8020

ISSUE
D



- ### SIGN TAG LEGEND
- B LX-000** Directional
 - H LX-000** Amenity
 - G LX-000** Inside Stair ID
 - E LX-000** Room ID
 - J LX-000** Entrance
 - S LX-000** Stair ID

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KEYPLAN	SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A		SIDE B		
					MESSAGE (English)	MESSAGE (English)	MESSAGE (English)	MESSAGE (English)	
B	E2.1	B	001	Room ID	Meeting Room Braille				
	S1.2	B	002	Stair ID - Corridor Side	[stair picto] Floor B Braille Stairwell B B1 Braille				
	E2.1	B	003	Room ID	Kitchen Braille				
	E2.1	B	004	Room ID	Garage Braille				
	E2.1	B	005	Room ID	Kitchen Braille				
	E4	B	006	Insert Holder					
	J4.2	B	007	Accessible Entrance ID - Exterior	[accessible picto] Entrance Braille				
	H1.1	B	008	Amenity ID	[universal accessible washroom picto] Washroom Braille				
	L1	J4.2	L1	001	Accessible Entrance ID - Exterior	[accessible picto] Entrance Braille			
		E4	L1	002	Insert Holder				
E2.1		L1	003	Room ID	Storage Braille				
E2.1		L1	004	Room ID	Storage Braille				
E4		L1	005	Insert Holder					
S1.1		L1	006	Stair ID - Inside Stairwell	[stair picto] Floor 1 Braille Stairwell A A1 Braille				
S1.2		L1	007	Stair ID - Corridor Side	[stair picto] Floor 1 Braille Stairwell A A1 Braille				
H2.1		L1	008	Projecting Amenity ID	[universal accessible washroom picto] Washroom Braille	[universal accessible washroom picto] Washroom			
H1.1		L1	009	Amenity ID	[universal accessible washroom picto] Washroom Braille				

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	10
E2.2	Line Room ID	0
E4	Insert Holder	5
H1.1	Amenity ID	3
H2.1	Projecting Amenity ID	0
J4.2	Accessible Entrance ID - Exterior	2
S1.1	Stair ID - Inside Stairwell	1
S1.2	Stair ID - Corridor Side	2
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		23

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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
SCARBOROUGH ARTS COUNCIL
1859 KINGSTON ROAD

PROJECT NO:
9119 - 19 - 0162 / IBI 122260

DRAWN BY: M.LOW	CHECKED BY: C.D. SCHNOBB
PROJECT MGR: R. DALY	APPROVED BY:

SHEET TITLE
SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER G28-101-A8100	ISSUE D
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KEYPLAN

L2

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A		SIDE B	
				MESSAGE (English)	MESSAGE (English)	MESSAGE (English)	MESSAGE (English)
E2.1	L2	001	Room ID	[stair picto] Floor 1 Braille Stairwell A 116 Braille			
E2.1	L2	002	Room ID	Storage Braille			
E2.1	L2	003	Room ID	Storage Braille			
E4	L2	004	Insert Holder				
E4	L2	005	Insert Holder				
E2.1	L2	006	Room ID	Storage Braille			
H1.1	L2	007	Amenity ID	[universal accessible washroom picto] Washroom Braille			

CLIENT

CITY OF TORONTO



55 John ST.
TORONTO, ON
M5V 3C6

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ACCESSIBILITY UPGRADES

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SCARBOROUGH ARTS COUNCIL
1859 KINGSTON ROAD

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9119 - 19 - 0162 / IBI 122260

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C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

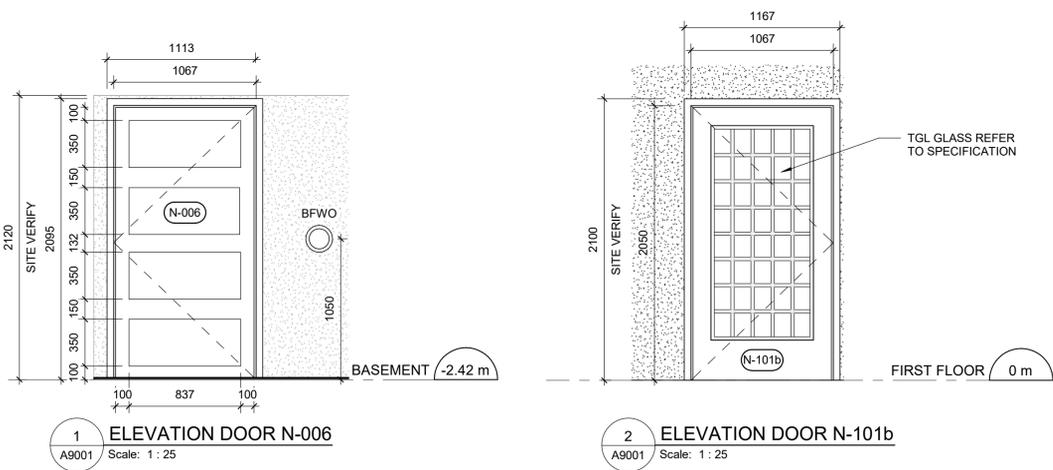
SHEET NUMBER
G28-101-A8101

ISSUE
D

DOOR NO.	LOCATION	DOOR			PANEL			FRAME			DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/BFAO	PANIC DEVICE		
BASEMENT															
N-001	CORRIDOR	C	1067	2090	45	HM	PT-3	ITGL	HM	PT-3	<->	BFPB/BFWO	<->	<->	<->
N-002	CORRIDOR	A(L)	1067	2045	45	WD	STN	<->	WD	STN	<->	BFPB	<->	<->	<->
N-003	STAIR B	A	450	1219	45	SCWD	PT-3	<->	HM	PT-3	<->		NA		REFER TO DOOR ELEVATION 2/A2410
N-006	CORRIDOR	A*	1067	2045	45	WD	STN	<->	WD	STN	<->	BFWO	<->	<->	REFER TO ELEVATION DOOR N-006
NE-002	OFFICE AREA	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-005	STORAGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-007	GARAGE/STORAGE SPACE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-008	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
FIRST FLOOR															
N-101A	VESTIBULE	As	1067	2050	45	HM	PT-3	<->	HM	PT-3	<->	BFPB/BFWO	<->	<->	<->
N-101b	VESTIBULE	E*	1067	2050	45	WD	STN	ITGL	WD	STN	<->	BFWO	<->	<->	REFER TO ELEVATION DOOR N-101b
N-102	UNIVERSAL WASHROOM	A	1067	2050	45	WD	STN	<->	WD	STN	<->	BFWO	<->	<->	NO DOOR SWEEP
N-106	CORRIDOR	A	915	2040	45	WD	STN	<->	WD	STN	<->		<->	<->	<->
N-110	PRINTING ROOM	C	1067	2050	45	WD	STN	<->	WD	STN	<->		<->	<->	<->
NE-108a	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-108b	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-109	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
SECOND FLOOR															
NE-202	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-203	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-204	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-205	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-206	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-207	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-208	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE

ROOM NUMBER	ROOM NAME	FLOOR		BASE		NORTH		EAST		SOUTH		WEST		CEILING	
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT	
BASEMENT															
001	CORRIDOR	EXIST	PFT-1	PFT-1	PFT-1	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
003	MEETING ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, BRICK VENEER	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
004	KITCHEN	EXIST	PFT-1	PFT-1	PFT-1	GWB	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GB	PT-2
005a	STORAGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
005b	STORAGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	PT-2
006	CORRIDOR	EXIST	PFT-1	PFT-1	PFT-1	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
B1	STAIR B	EXIST	PAINT	EXIST	PAINT	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
FIRST FLOOR															
101	VESTIBULE	EXIST	PFT-1	PFT-1	PFT-1	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GB	PT-2
102	UNIVERSAL WASHROOM	EXIST	PFT-1	CWT-4	CWT-4	EXIST, GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	GB	PT-2
103	OPEN SPACE	EXIST	EXIST	EXIST, WOOD	PT-3	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	PT-2
105	OPEN SPACE	EXIST	EXIST	EXIST, WOOD	PT-3	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST, BRICK VENEER	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
106	CORRIDOR	EXIST	EFW-1	WOOD	PT-3	GWB	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	GB	PT-2
109	OFFICE	EXIST	EXIST	EXIST, WOOD	PT-3	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
110	PRINTING ROOM	EXIST	EFW-1	WOOD	MATCH BASE FINISH IN ROOM 105 (OPEN SPACE)	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	<->	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GB	PT-2
111	CORRIDOR	EXIST	EFW-1	EXIST, WOOD	PT-3	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GB	PT-2
A1	STAIR A	EXIST	PAINT, EWF-1	EXIST, WOOD	PT-3	EXIST	EXIST	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2

ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EFW-1	ENGINEERED WOOD FLOORING	MESA EE13304	N/A	3/4"	SUPERIOR SOLID HARDWOOD 3 DECA TECHNOLOGY	TORLYS PROFESSIONAL	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm (12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	MEETS DCOF	STONE TILE	SHOWER FLOOR TILE
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS UPPERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS LOWERS
PT-1	PAINT	Chantilly Lace - OC-65	EGGSHELL	N/A		SHERWIN WILLIAMS SW	WALLS & BASEBOARDS
PT-2	PAINT	Chantilly Lace - OC-65	FLAT	N/A		BENJAMIN MOORE	CEILINGS
PT-3	PAINT	Silent Night - 1613	EGGSHELL	N/A		BENJAMIN MOORE	DOOR & WINDOW TRIMS
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS



DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

DOOR ABBREVIATIONS	
*	DENOTES YES
ALUM	ALUMINUM
ANOD	ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFWO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
EXIST	EXISTING
FBM	FINGER BIOMETRIC
GWG	GYPSPUM WALL BOARD
HM	GEORGIAN WIRE GLASS
IALLUMN	HOLLOW METAL
IHM	INSULATED ALUMINUM
ITGL	INSULATED HOLLOW METAL
KP	INSULATED TEMPERED (SAFETY) GLASS
OBM	KEY PAD
PF	OCULAR BIOMETRIC
PLAM	PRE FINISHED
PT	PLASTIC LAMINATE
SIM	PAINT
SS	SIMILAR
STN	STAINLESS STEEL
TGL	STAIN
WD	TEMPERED GLASS
	WOOD

NOTE:
 -ALL DOORS, WALLS, DOOR & WINDOW TRIMS & CEILINGS IN GROUND FLOOR AND LOWER LEVEL TO RECEIVE NEW PAINT.
 -WALLS & BASEBOARDS TO RECEIVE "Chantilly Lace - OC-65" EGGSHELL
 -CEILINGS TO RECEIVE "Chantilly Lace - OC-65" FLAT
 -DOOR & WINDOW TRIMS AS WELL AS DOORS TO RECEIVE "Silent Night - 1613" EGGSHELL
 - PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.
 - PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

CLIENT
CITY OF TORONTO

 Corporate Real Estate Management
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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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SHEET TITLE
DOOR AND ROOM
FINISH SCHEDULES

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