

CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162 / IBI 122260

SCARBOROUGH ARTS COUNCIL
1859 KINGSTON RD.



GROUP 28
SEQ 101

ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

PROJECT NO: 9119-19-0162 / IBI 122260	
DATE: 2022-11-01	
SHEET NUMBER G28-101-G0001	ISSUE C



IMAGE SOURCE: GOOGLE MAPS

2 KEY MAP

A1001 Scale: NTS



PHOTO 01 : EXISTING PARKING



PHOTO 02 : LOCATION OF NEW ACCESSIBLE PARKING



PHOTO 03 : REMOVE EXISTING WALKWAY



PHOTO 04 : REMOVE EXISTING WALKWAY



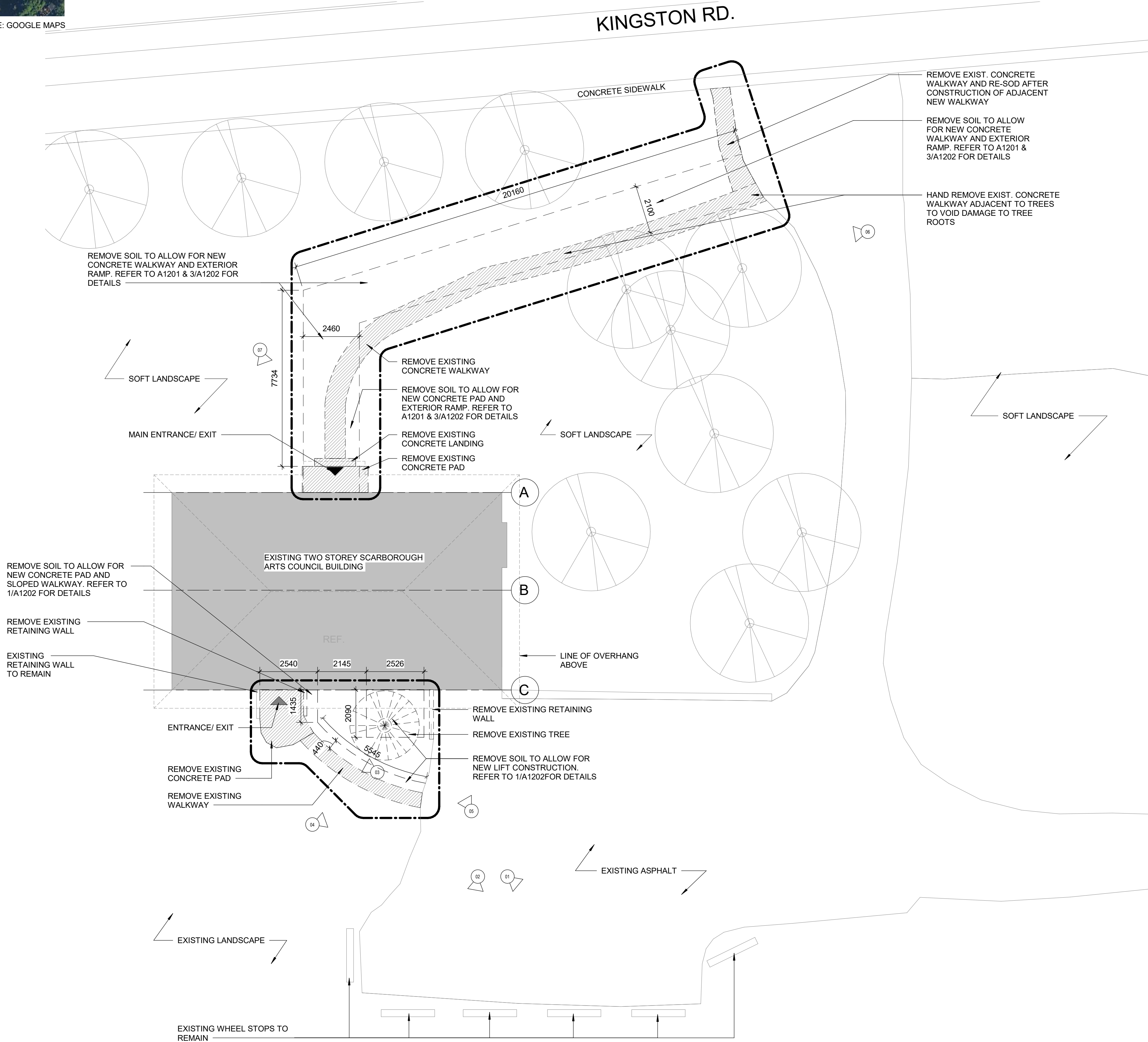
PHOTO 05 : LOCATION OF NEW LIFT



PHOTO 06 : REMOVE EXISTING WALKWAY



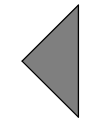
PHOTO 07 : REMOVE EXISTING WALKWAY, TEMPORARY RAMPS, CONCRETE PAD AND STEP



SITE LEGEND



EXISTING MAIN ENTRANCE



EXISTING EXIT TO REMAIN



DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND SITE SERVICES. REPORT ANY DISCREPANCY TO THE CONSULTANT AND OWNER PRIOR TO COMMENCING WORK.
- 2 CONTRACTOR TO COORDINATE HOARDING AND FENCING FOR ENTRANCES WITH OWNER. RESTORE AFFECTED WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING AT EXCAVATED AREAS POST CONSTRUCTION. MATCH MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

ALL DIMENSIONS TO BE SITE VERIFIED

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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PRIME CONSULTANT



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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

PROJECT NO:

9119-19-0162 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

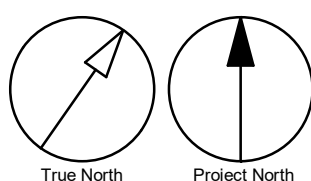
DEMOLITION PLAN SITE
PLAN

SHEET NUMBER

G28-101-A1001

ISSUE

C



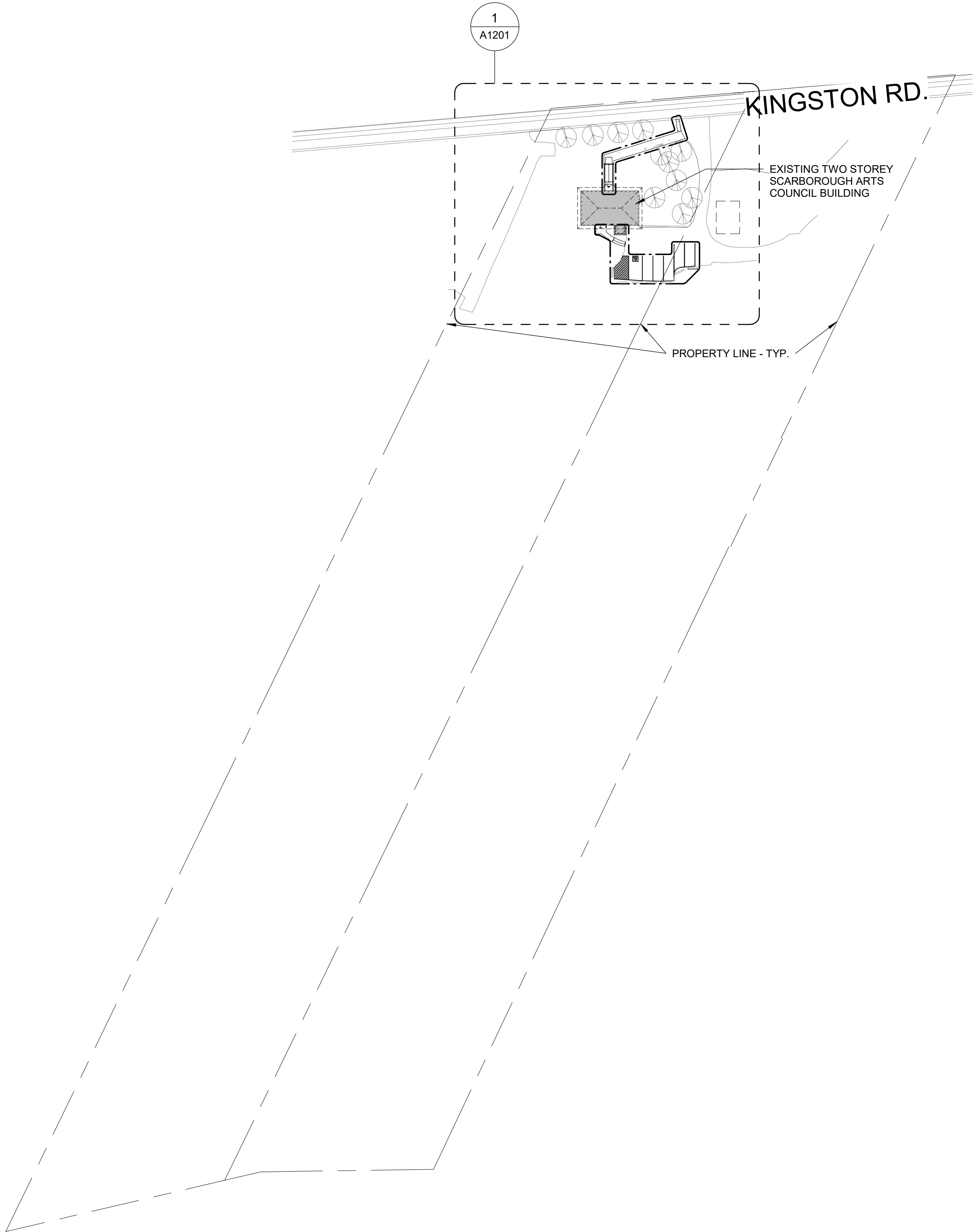
True North

Project North

1 DEMOLITION SITE PLAN

A1001 Scale: 1 : 100

2023-01-30 2:34:45 PM



SITE LEGEND



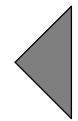
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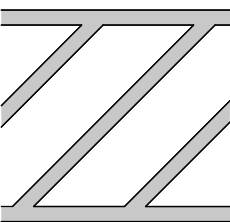
ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



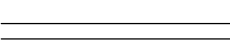
EXISTING MAIN ENTRANCE



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701



DASHED AREA INDICATES AREA OF WORK

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PROJECT ADDRESS

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1859 KINGSTON RD.

PROJECT NO:

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CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

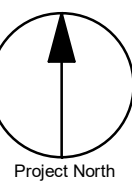
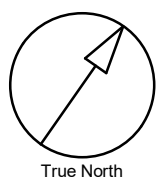
PROPOSED SITE PLAN

SHEET NUMBER

G28-101-A1200

ISSUE

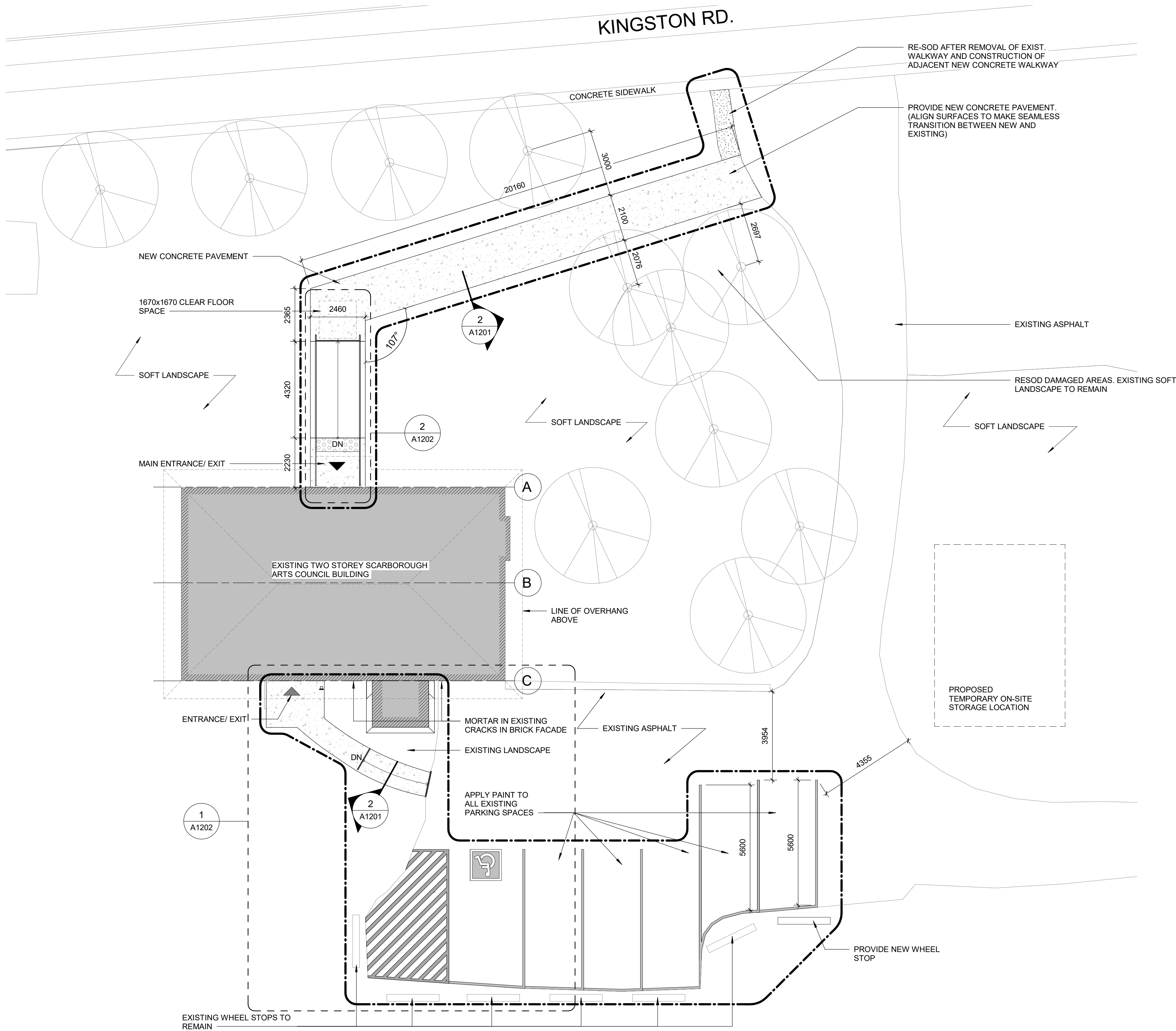
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BIM 360/122260 - CoT TAU Upgrades R2020122260-TAU-28-101-1859KINGSTNA-R201

10mm

SCALE CHECK
1"=



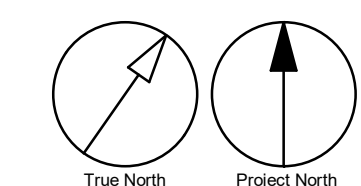
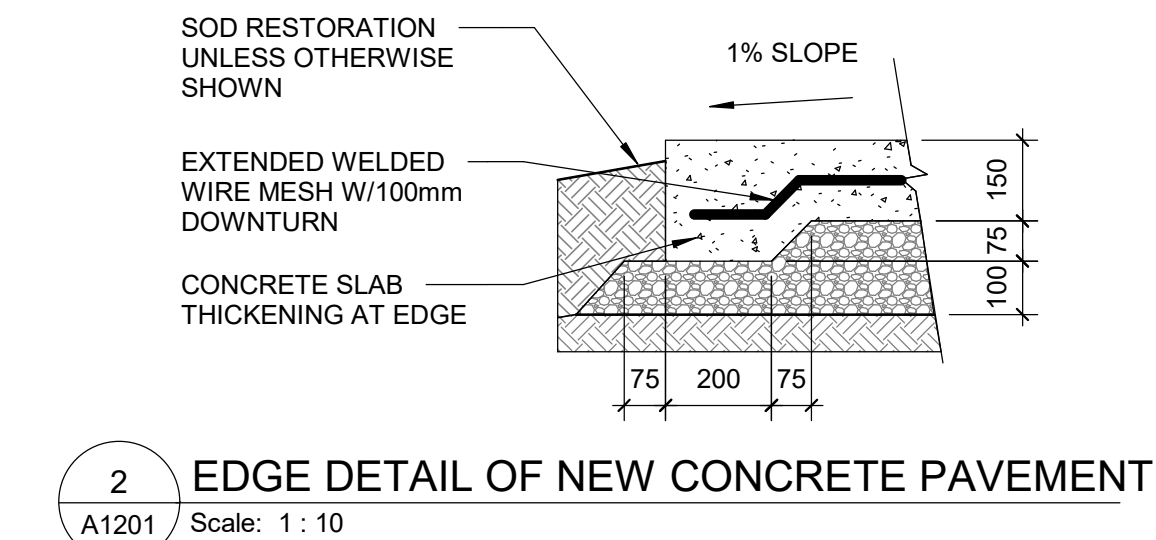
SITE LEGEND

- NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701
- ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702
- EXISTING MAIN ENTRANCE
- EXISTING EXIT TO REMAIN
- NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701
- NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701
- DASHED AREA INDICATES AREA OF WORK

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ALL DIMENSIONS TO BE SITE VERIFIED



1 PROPOSED SITE PLAN
Scale: 1 : 100

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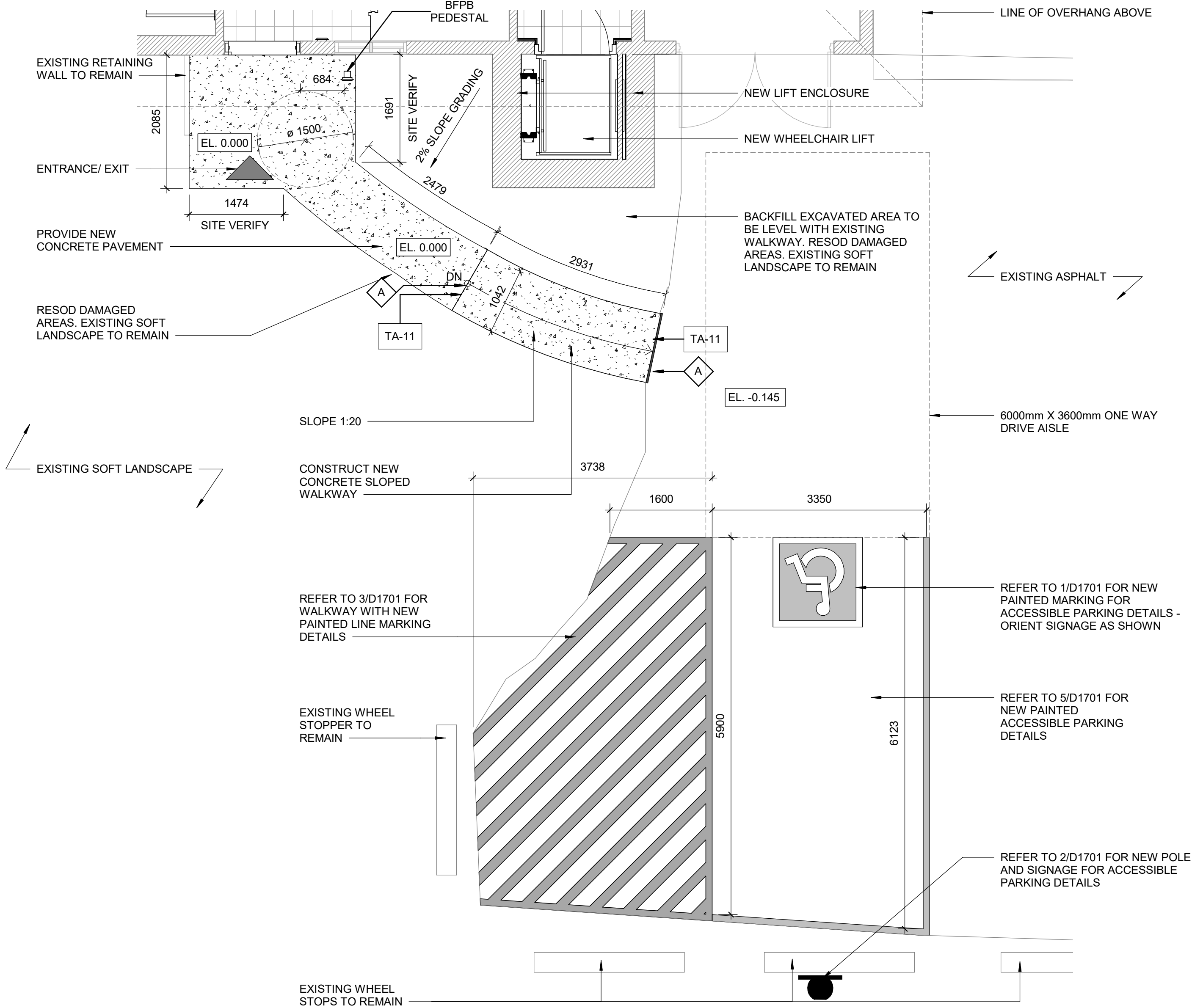
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

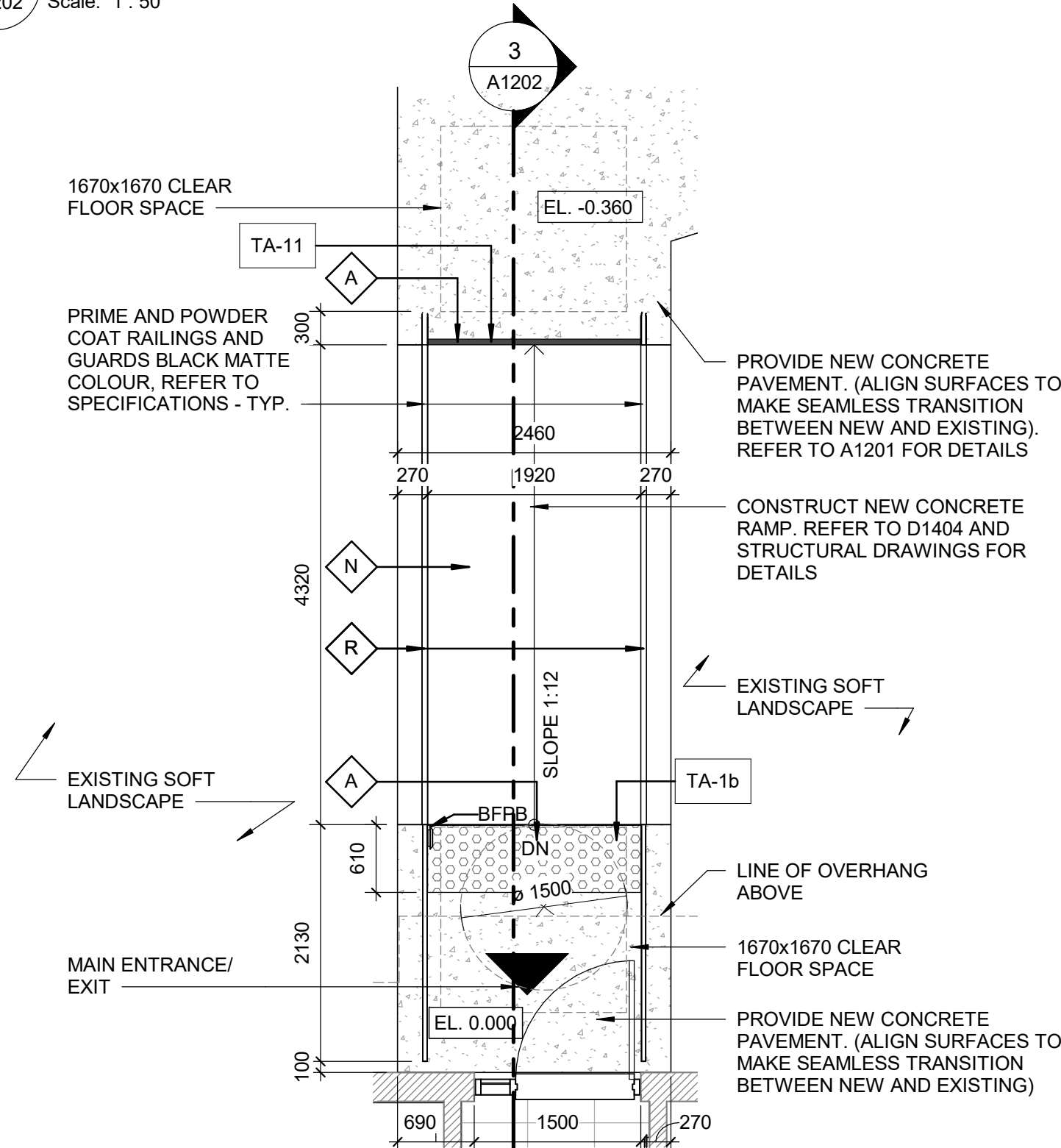
PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUITA

SHEET TITLE
ENLARGED SITE PLAN

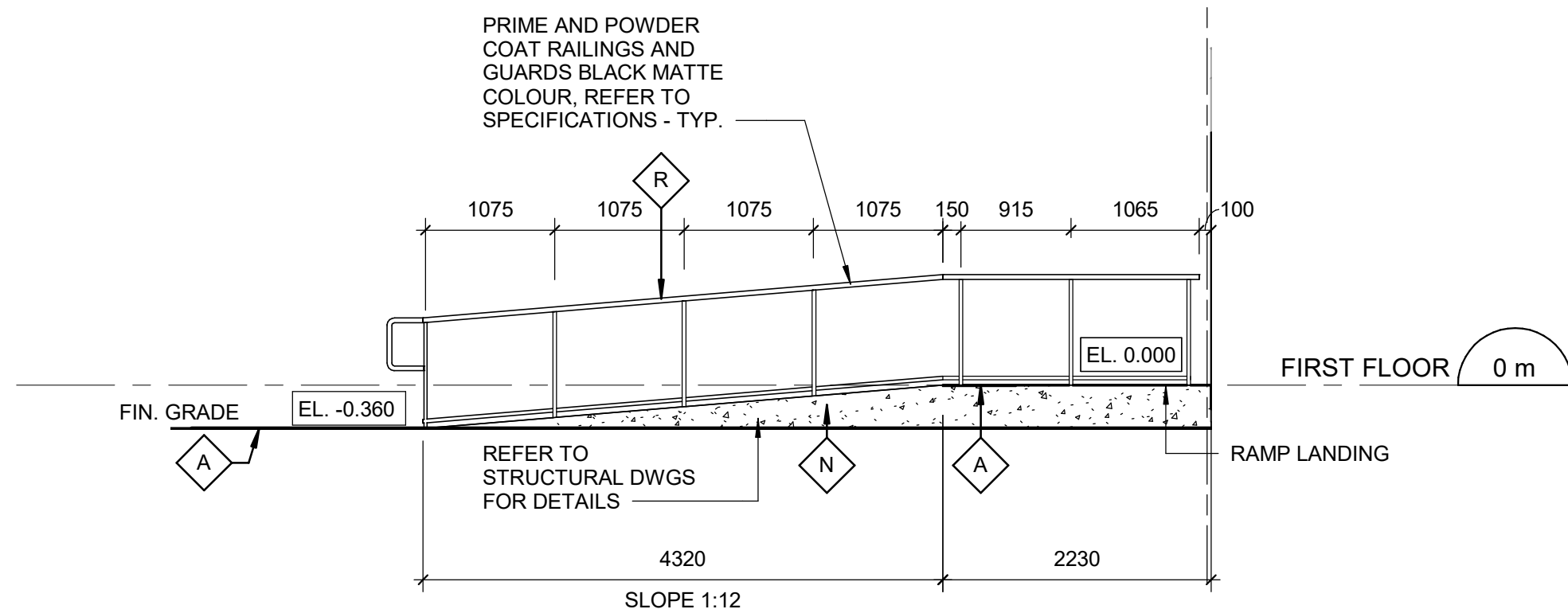
SHEET NUMBER G28-101-A1201	ISSUE C
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1 SITE PLAN - BACK ENTRANCE & ACCESSIBLE PARKING
A1202 Scale: 1 : 50



2 SITE PLAN - MAIN ENTRANCE
A1202 Scale: 1 : 50



3 EXTERIOR RAMP - SECTION 1
A1202 Scale: 1 : 50

SITE LEGEND



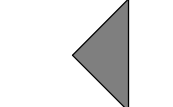
NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



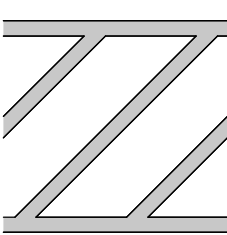
ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



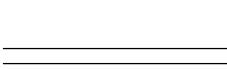
EXISTING MAIN ENTRANCE



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
N	INSTALL NEW CONCRETE RAMP - REFER TO TYPICAL DETAIL 2/D1403, 3/D1403, 1/D1404, AND 2/D1404.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.

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PROJECT ADDRESS

SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

PROJECT NO:

9119-19-0162 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

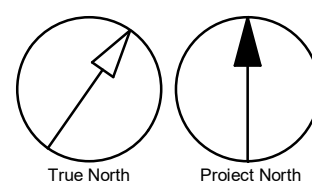
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DETAIL

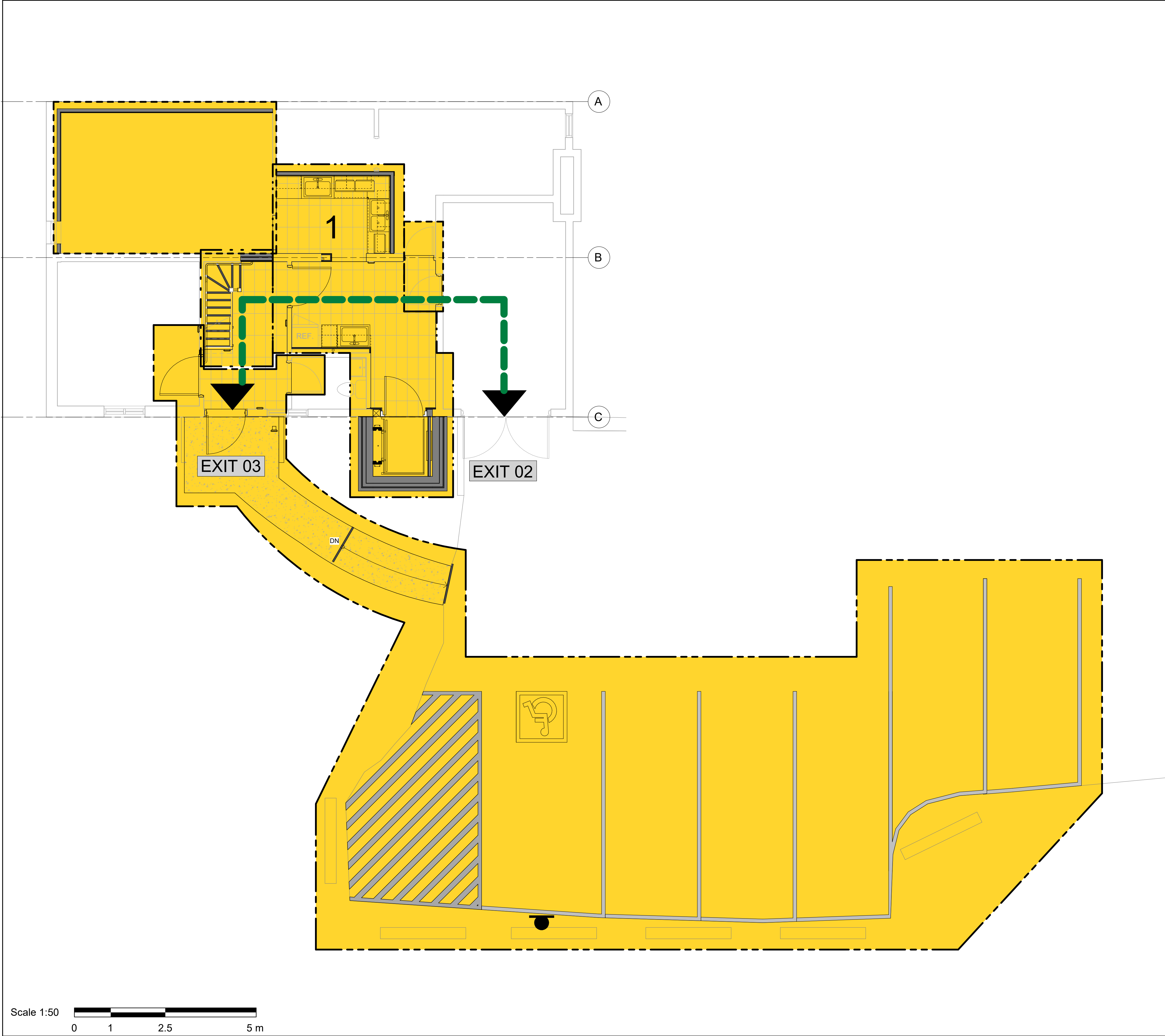
SHEET NUMBER

G28-101-A1202

ISSUE

C





CONSTRUCTION STAGING LEGEND

STAGE 1

STAGE 2

STAGE 3

STAGE 4

EMERGENCY EXIT

TRAVEL PATH

STAGING GENERAL NOTES

1

EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.

2

ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.

3

IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

4

IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.

5

CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.

6

ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.

7

PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.

8

WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.

9

KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.

10

FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

CLIENT

CITY OF TORONTO

Toronto

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MSV 3C6

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PROJECT TITLE

CITY OF TORONTO

ACCESSIBILITY UPGRADES

PROJECT ADDRESS

SCARBOROUGH ARTS COUNCIL

1859 KINGSTON RD.

PROJECT NO:

9119-19-0162 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

K. TILAHUN

PROJECT MGR:

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SHEET TITLE

BASEMENT STAGING PLAN

SHEET NUMBER

G28-101-A2001

ISSUE

C

2023-01-30 2:34:52 PM

Scale 1:50

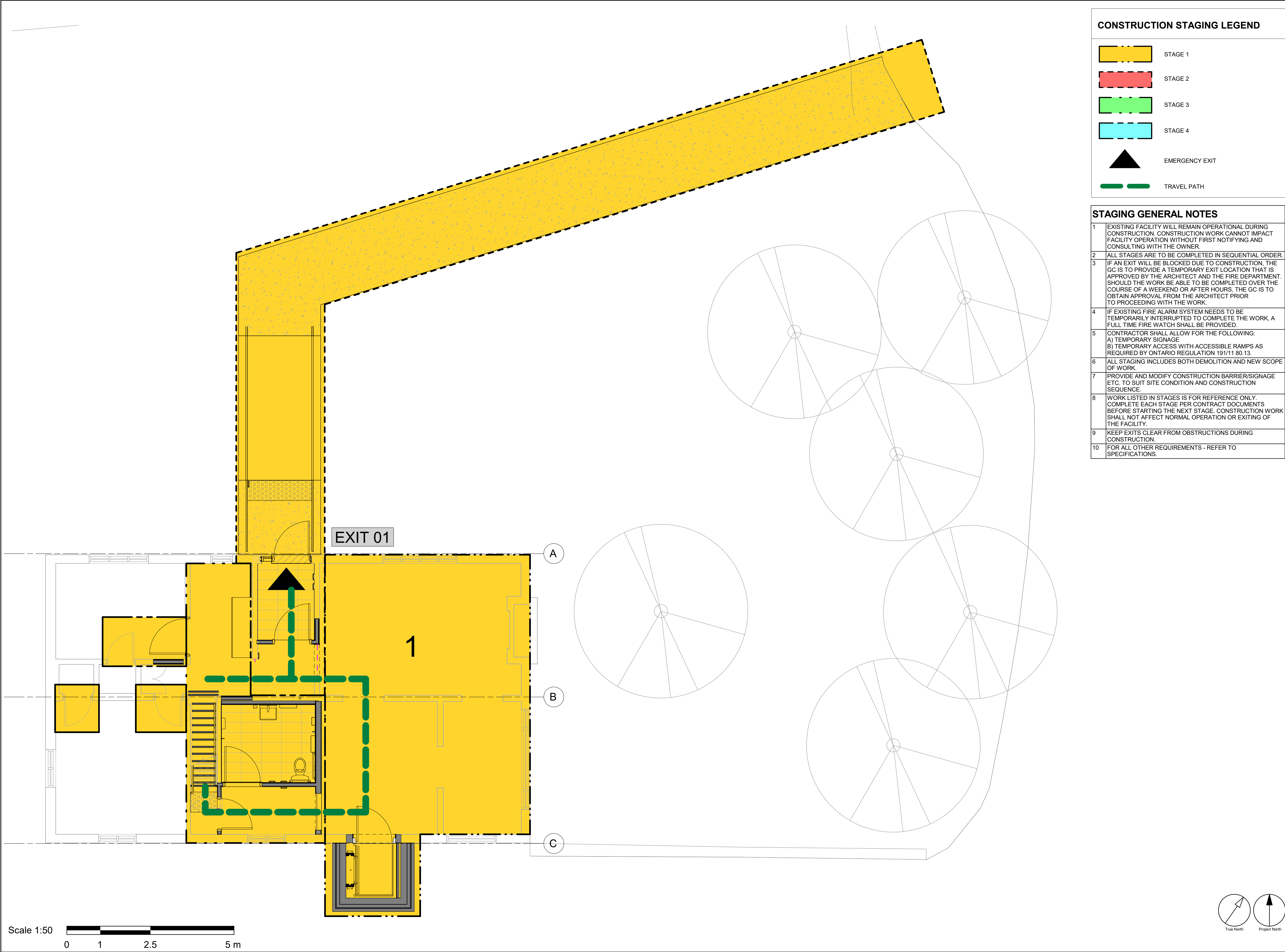
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BM 380/122260 - CoT TAU Upgrades R2020122260-TAU28-101-1859KINGSTON-A-R20.v1



CONSTRUCTION STAGING LEGEND

STAGE 1

STAGE 2

STAGE 3

STAGE 4

EMERGENCY EXIT

TRAVEL PATH

STAGING GENERAL NOTES

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1859 KINGSTON RD.

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A. KVASNIUK

CHECKED BY:

K. TILAHUN

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SHEET TITLE

FIRST FLOOR STAGING PLAN

SHEET NUMBER

G28-101-A2011

ISSUE

C

2023-01-30 2:34:54 PM

Scale 1:50

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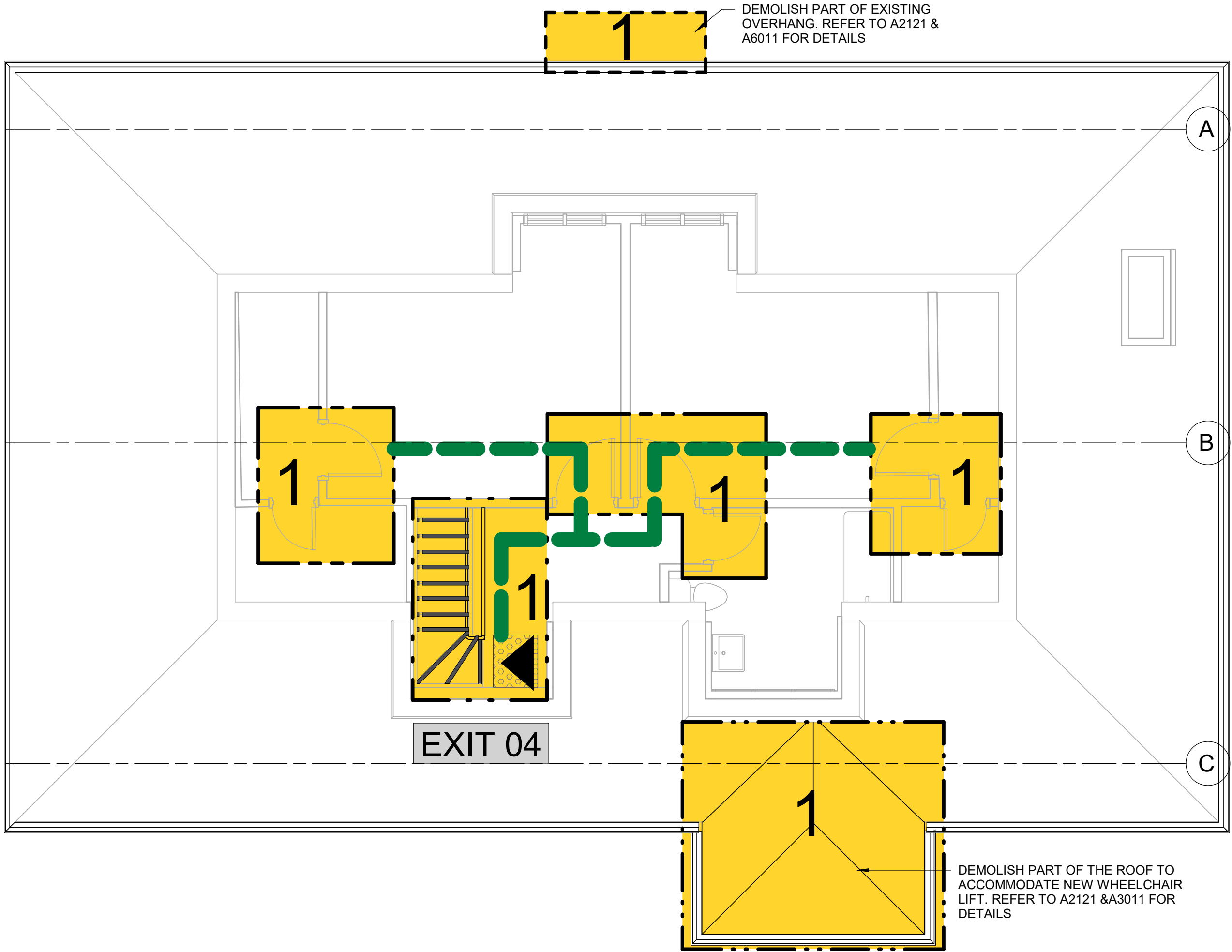
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BIM 360/122260 - CoT TAU Upgrades R2020122260-TAU28-101-1859KINGSTNA-R201.v1 1/11

2023-01-30 2:34:55 PM

Scale 1:50



CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- STAGE 3
- STAGE 4
- EMERGENCY EXIT
- TRAVEL PATH

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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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PRIME CONSULTANT

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ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

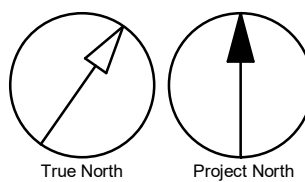
SHEET TITLE
**SECOND FLOOR
STAGING PLAN**

SHEET NUMBER

G28-101-A2021

ISSUE

C



BIM 360/122260 - CoT TAU Upgrades R2020122260-TAU-28-101-1859KINGSTON-A-R20.vt 1/1m



PHOTO 01: REMOVE EXISTING DOOR AND FRAME



PHOTO 02: REMOVE EXISTING WINDOW AND FRAME, CUT EXISTING WALL TO PROVIDE OPENING FOR NEW LIFT



PHOTO 03: REMOVE ALL EXISTING STORAGE RACKS, FURNITURE AND WALL AND STORE AT A TEMPORARY ON SITE STORAGE CONTAINER



PHOTO 04: EXISTING STAIR B- REMOVE EXISTING PAINT AND SMOOTH SURFACES TO RECEIVE NEW PAINT (DARK GREY)



PHOTO 05: REMOVE EXISTING MILLWORK AND SINK



PHOTO 06: REMOVE ALL EXISTING STORAGE RACK, MATERIALS AND FURNITURE AND STORE AT A TEMPORARY ON SITE STORAGE CONTAINER



PHOTO 07: REMOVE ALL EXISTING STORAGE AND FURNITURE AND STORE AT AN ON SITE STORAGE CONTAINER



PHOTO 08: REMOVE EXISTING STORM DOOR, DOOR AND FRAME

RELOCATE EXISTING DOOR BELL

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- - - DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

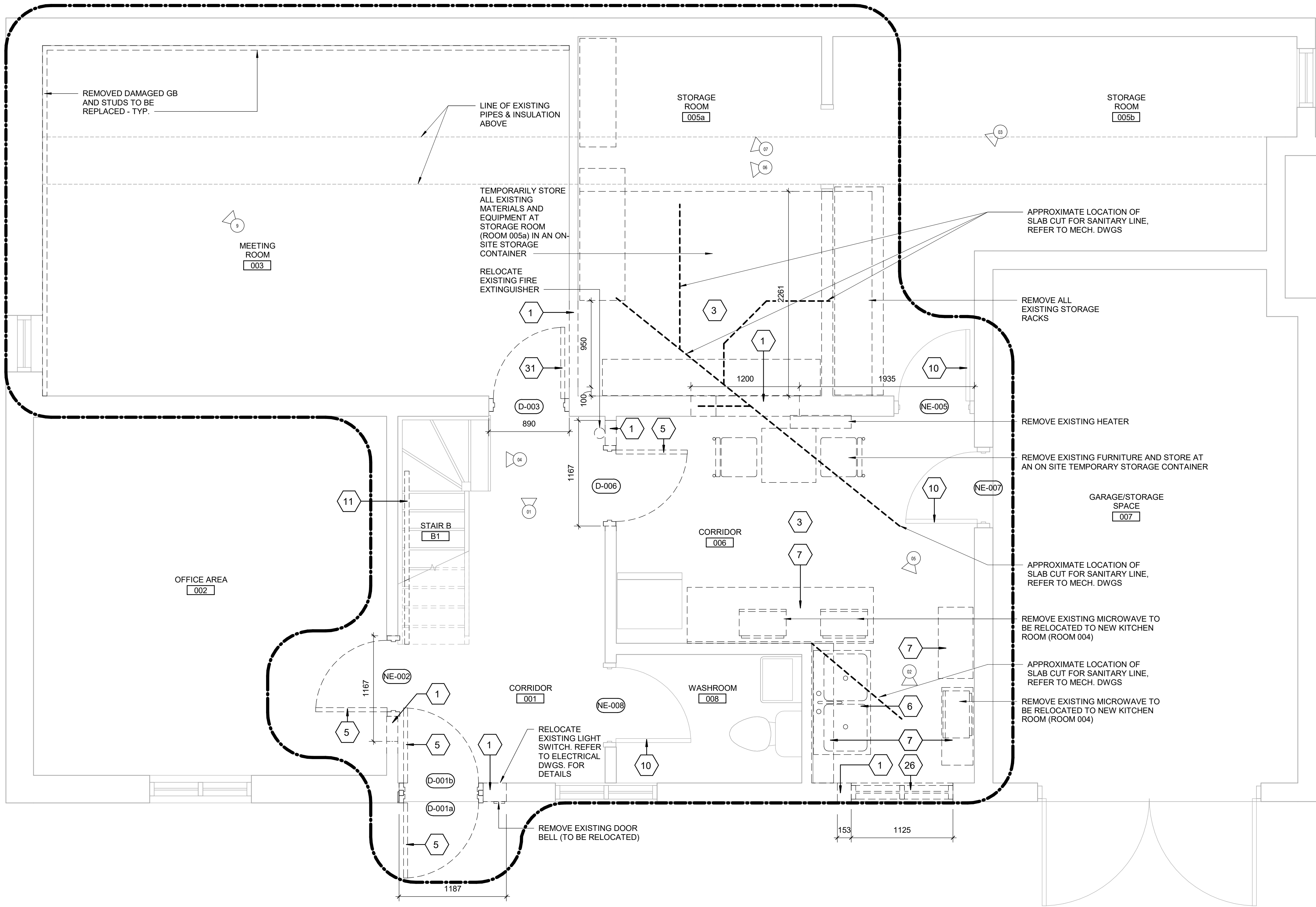
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

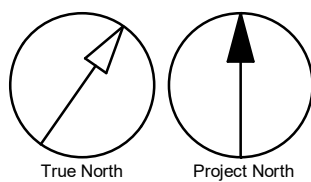
NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
5	REMOVE EXISTING DOOR AND FRAME, CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL D1002 AND 1/D2300.
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
26	CUT EXISTING EXTERIOR WALL TO ACCOMMODATE NEW DOOR.
31	REMOVE EXISTING DOOR, WINDOW AND FRAME TO ACCOMMODATE NEW.



PHOTO 09: REMOVED DAMAGED GB AND STUDS TO BE REPLACED - TYP.



Scale 1:25



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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUITA

SHEET TITLE
**BASEMENT DEMOLITION
PLAN**

SHEET NUMBER G28-101-A2101	ISSUE C
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PHOTO 01: REMOVE EXISTING DOOR, FRAME AND CLOSET



PHOTO 02: REMOVE EXISTING MILLWORK, FAUCET AND BULKHEAD. REMOVE EXISTING WALL FINISH, CEILING AND FLOOR FINISH



PHOTO 03: REMOVE EXISTING MILLWORK, BULKHEAD, WALL, DOOR AND FRAME. REMOVE EXISTING WALL FINISH, CEILING AND FLOOR FINISH



PHOTO 04: REMOVE EXISTING MILLWORK, SINK, RADIATOR AND ACCESSORIES. REMOVE EXISTING WALL FINISH, CEILING AND FLOOR FINISH



PHOTO 05: REMOVE EXISTING MILLWORK, LAVATORY, RADIATOR AND ACCESSORIES. REMOVE EXISTING WALL FINISH, CEILING AND FLOOR FINISH

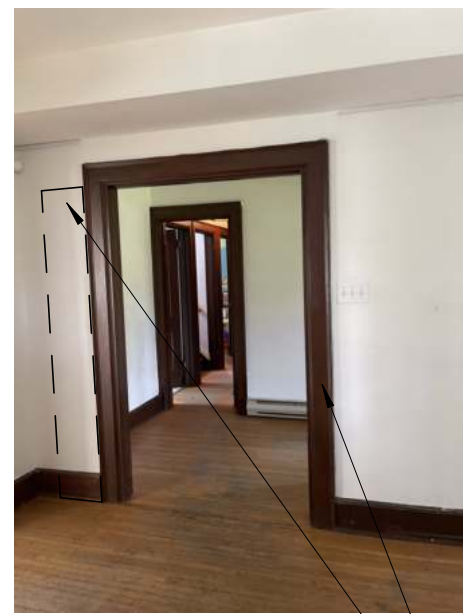


PHOTO 06: REMOVE EXISTING OPENING'S TOP AND SIDE TRIM. PARTIALLY REMOVE INTERIOR PARTITION



PHOTO 07: REMOVE EXISTING RADIATOR, DOOR PANEL AND FRAME. DEMOLISH EXISTING INTERIOR WALL



PHOTO 08: REMOVE EXISTING RADIATOR. DEMOLISH EXISTING INTERIOR WALL



PHOTO 09: CAREFULLY REMOVE AND STORE EXISTING WALL PANELS AT AN ON SITE TEMPORARY STORAGE CONTAINER



PHOTO 14: UPDATED IMAGE SHOWING CURRENT STATE OF AREA (FLOORING, CEILING & PARTIAL DRYWALL REMOVED)



PHOTO 15: FLOOR TILE TO BE DEMOLISHED & DISPOSED OF

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
4	REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL D1002 AND D102300.
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
9	REPAIR EXISTING WALL. PATCH AND MAKE GOOD ALL ADJACENT SURFACES DAMAGED DURING CONSTRUCTION.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
29	REMOVE EXISTING EXTERIOR WALL AS INDICATED ON ELEVATIONS. PATCH AND REPAIR ROUGH SURFACES AT FLOOR, WALL AND CEILING AS REQUIRED WITH MATCHING MATERIALS. REFER TO SPECIFIC DETAIL FOR WEATHER BARRIER.
31	REMOVE EXISTING DOOR, WINDOW AND FRAME TO ACCOMMODATE NEW.



PHOTO 10: REMOVE EXISTING WINDOW AND FRAME. CUT EXISTING WALL TO PROVIDE OPENING FOR NEW LIFT



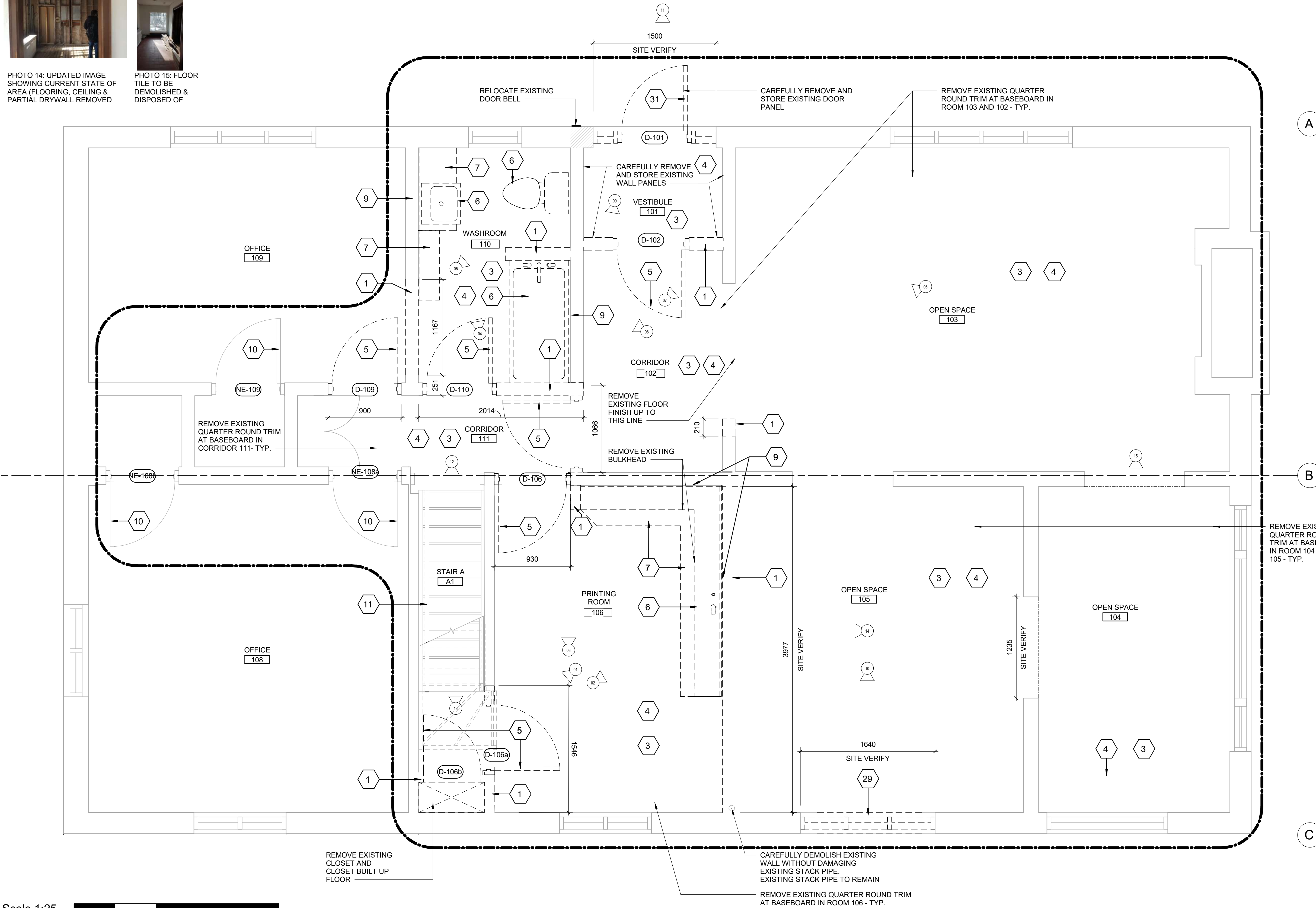
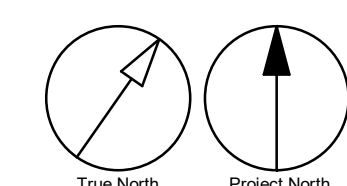
PHOTO 12: STAIR A. REMOVE EXISTING HANDRAIL. REMOVE EXISTING PAINT AND SMOOTH SURFACES TO RECEIVE NEW PAINT (DARK GREY)



PHOTO 11: CAREFULLY REMOVE DOOR PANEL AND STORE AT AN ON SITE TEMPORARY STORAGE CONTAINER



PHOTO 13: STAIR B. REMOVE EXISTING HANDRAIL LOCATED ON THE WEST WALL



Scale 1:25
0 .5 1 2.5 m

2023-01-30 2:35:17 PM

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CONSULTANTS

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

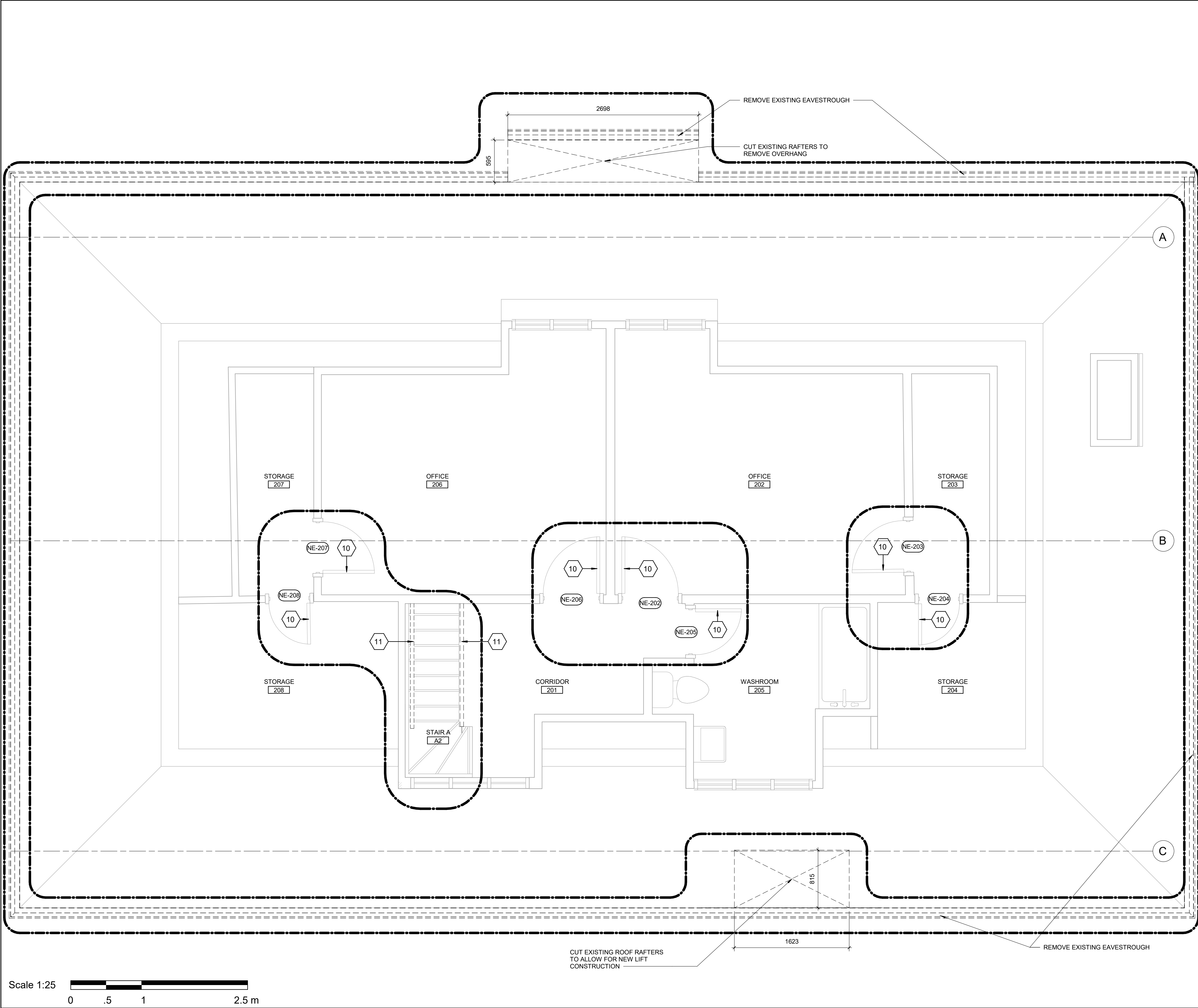
SHEET TITLE
FIRST FLOOR
DEMOLITION PLAN

SHEET NUMBER G28-101-A2111	ISSUE C
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BI M 380/122260 - COT TAU Upgrades R2020122260-TAU-28-101-1859KINGSTON-A-R201.v1

1/1m

SCALE CHECK



DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- ===== EXISTING EXTERIOR WALL TO REMAIN
- ===== EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.

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CONSULTANTS

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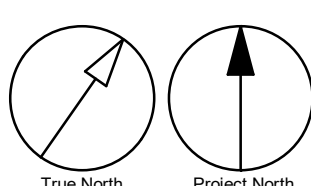
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
CHECKED BY:
K. TILAHUN
PROJECT MGR:
F. BOLOURIAN
APPROVED BY:
E. FENUTA

SHEET TITLE
**SECOND FLOOR
DEMOLITION PLAN**

SHEET NUMBER
G28-101-A2121
ISSUE
C



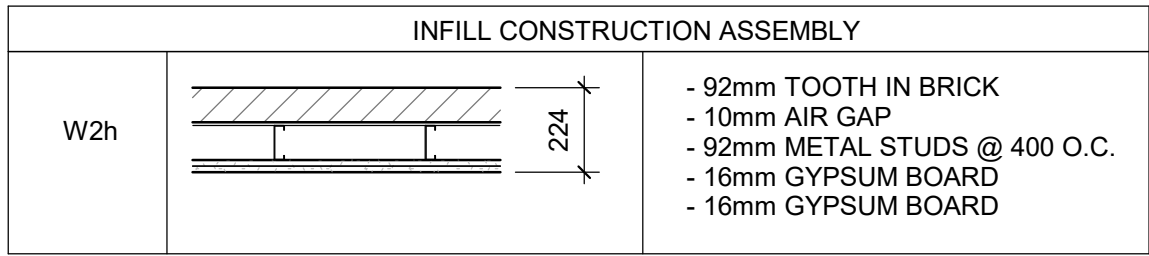
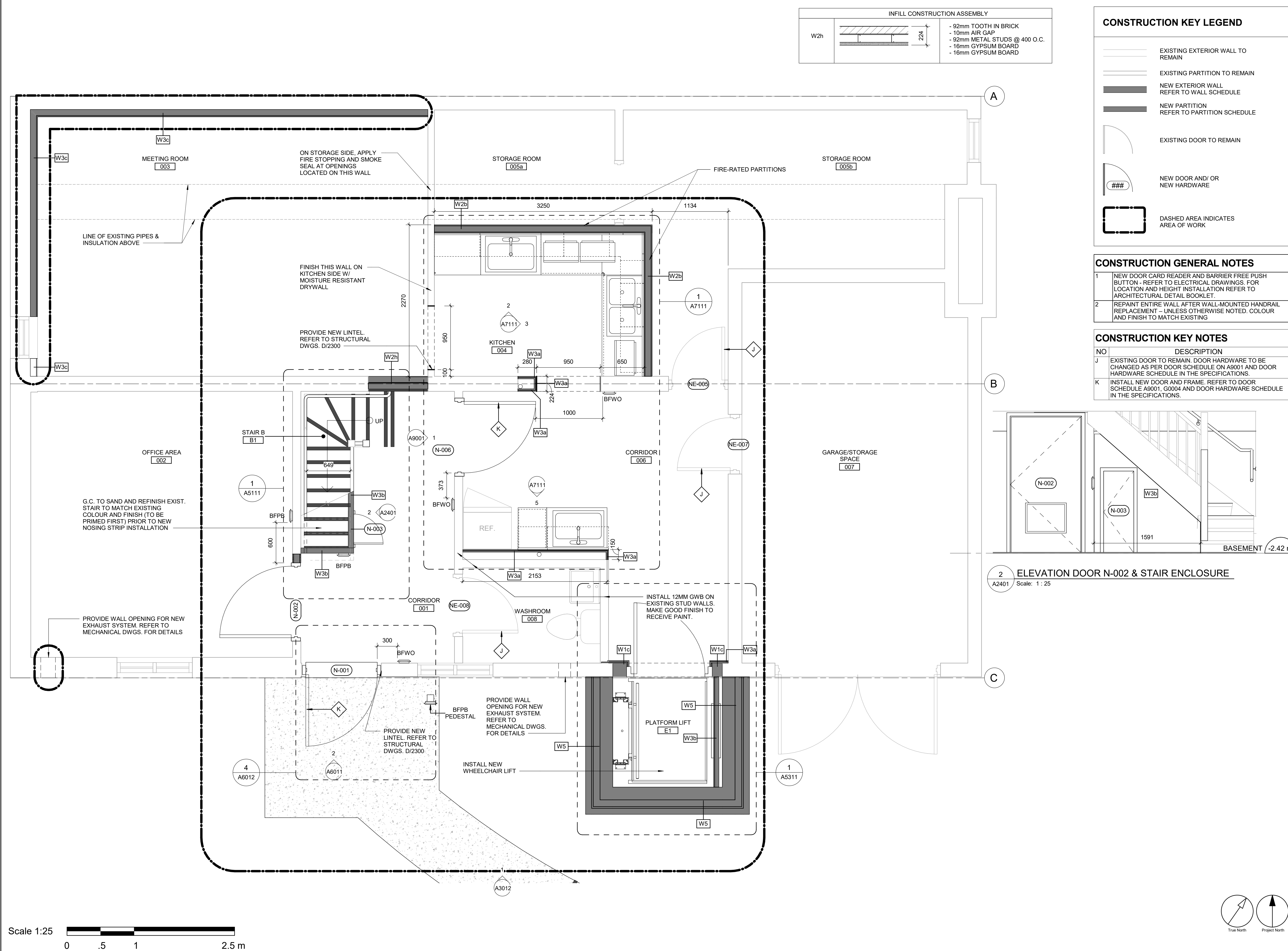
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CUT EXISTING ROOF RAFTERS
TO ALLOW FOR NEW LIFT
CONSTRUCTION

REMOVE EXISTING EAVESTROUGH

BM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-101-1859KINGSTON-A-R20.v1
1/11



CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE

- EXISTING DOOR TO REMAIN

- NEW DOOR AND/OR NEW HARDWARE

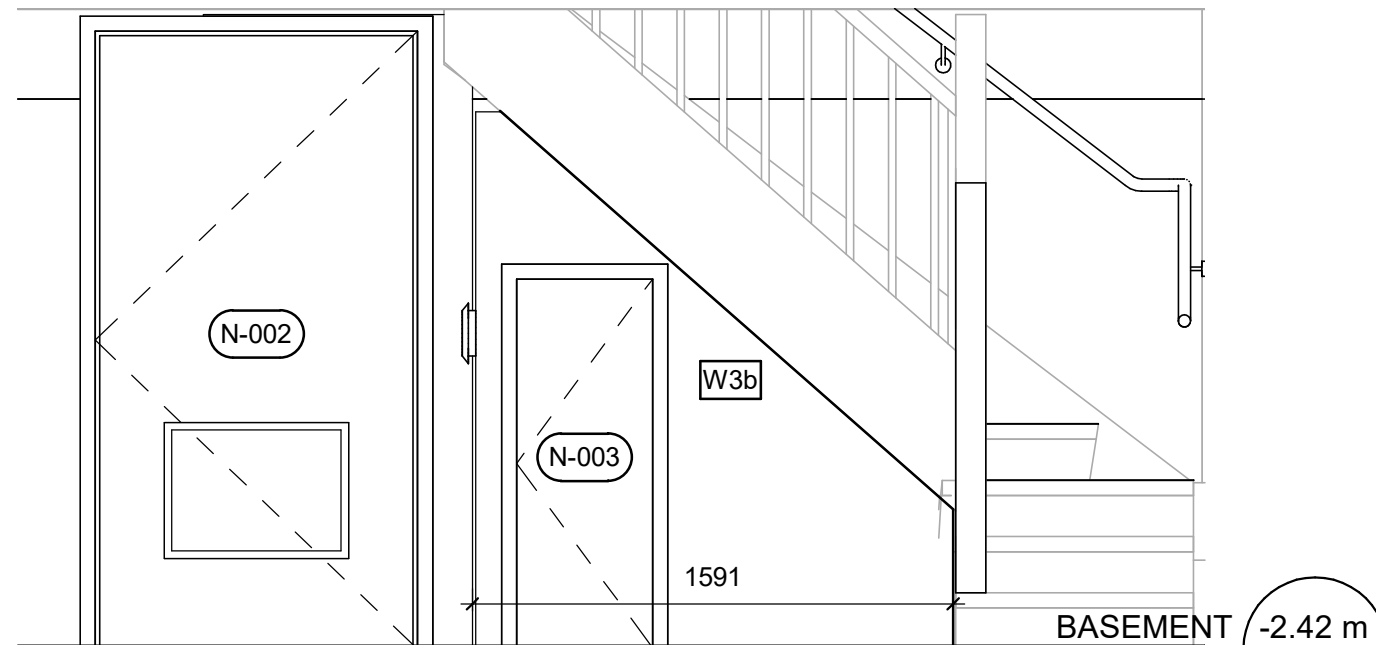
- DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION |
|----|--|
| J | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |
| K | INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |



2 ELEVATION DOOR N-002 & STAIR ENCLOSURE
A2401 / Scale: 1:25

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D	ISSUED FOR PERMIT REV 1 / ADDENDUM #3	2023-01-24

CONSULTANTS

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ibigroup.com

PROJECT TITLE

**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE

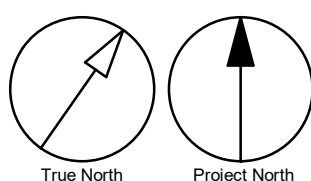
**BASEMENT PROPOSED
PLAN**

SHEET NUMBER	ISSUE
G28-101-A2401	D

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Scale 1:25

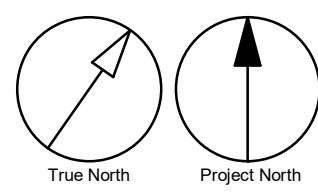
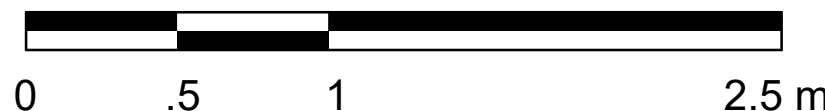
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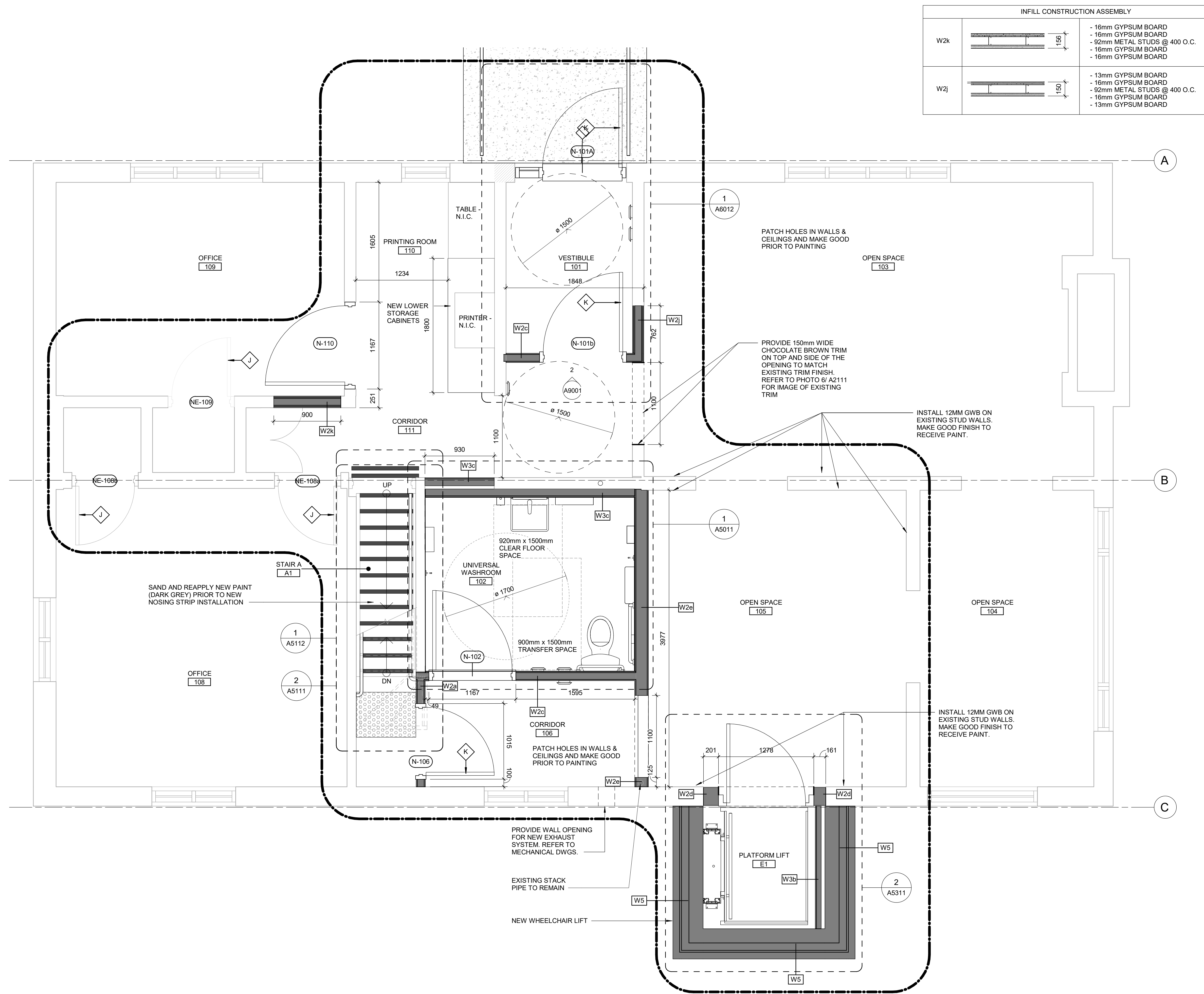
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Scale 1:25



1 x 1



INFILL CONSTRUCTION ASSEMBLY		
W2k		<ul style="list-style-type: none">16mm GYPSUM BOARD16mm GYPSUM BOARD92mm METAL STUDS @ 400 O.C.16mm GYPSUM BOARD16mm GYPSUM BOARD
W2j		<ul style="list-style-type: none">13mm GYPSUM BOARD16mm GYPSUM BOARD92mm METAL STUDS @ 400 O.C.16mm GYPSUM BOARD13mm GYPSUM BOARD

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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C	ADDENDUM 2	2023-01-11
E	ISSUED FOR PERMIT REV 1 / ADDENDUM #3	2023-01-24

CONSULTANTS

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**SCARBOROUGH ARTS
COUNCIL**
1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

**FIRST FLOOR
PROPOSED PLAN**

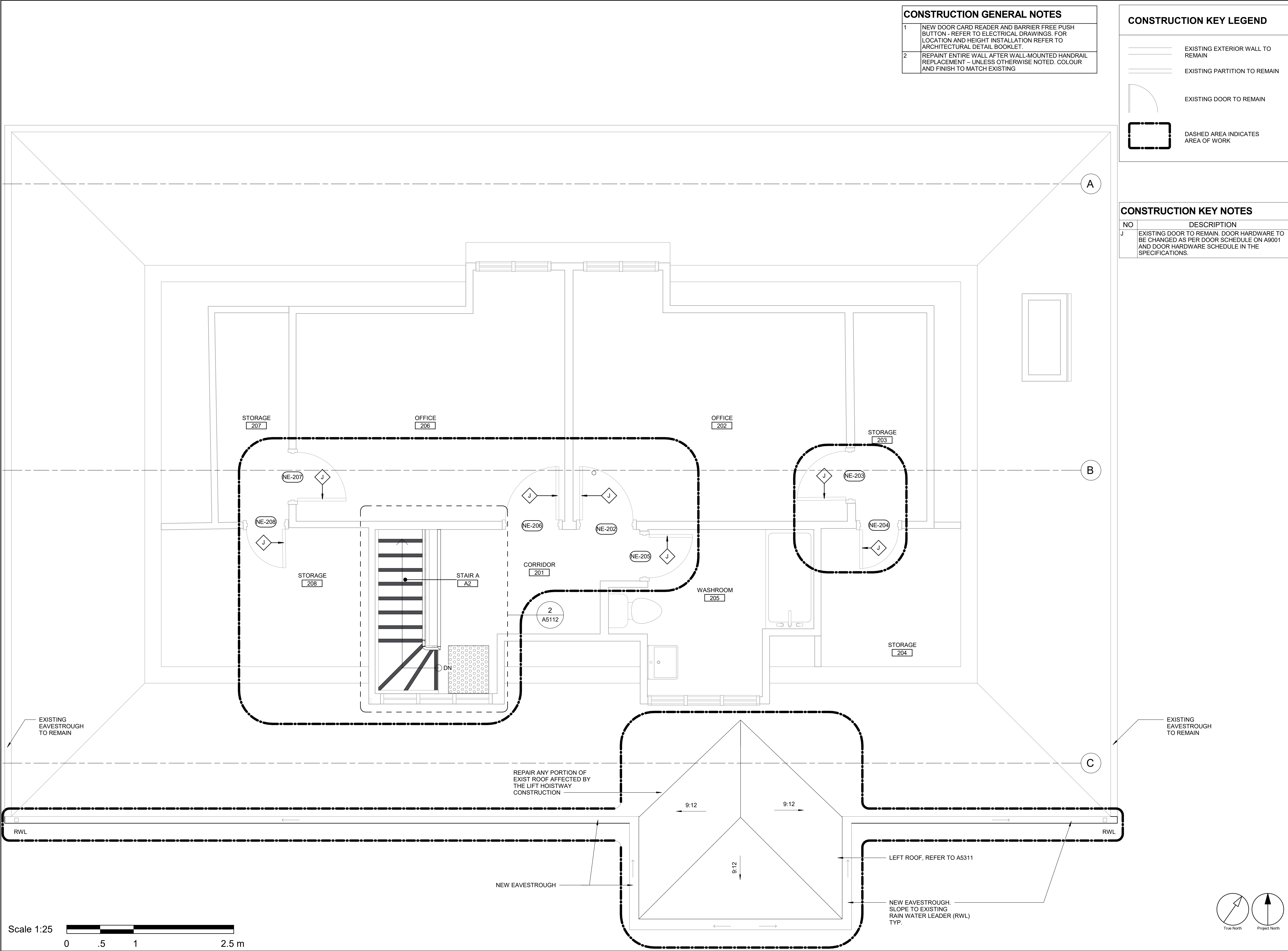
SHEET NUMBER

G28-101-A2411

ISSUE

E

BM 380/122260 - CoT TAU Upgrades R2020122260-TAU28-101-1859KNGSTNA-R20.v1
1/10



CONSTRUCTION GENERAL NOTES	
1	NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
2	REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN
	DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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Project Management Office
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A	50% SUBMISSION	2021-09-23
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C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

SEAL

PRIME CONSULTANT

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ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

PROJECT NO:
9119-19-0162 / IBI 122260

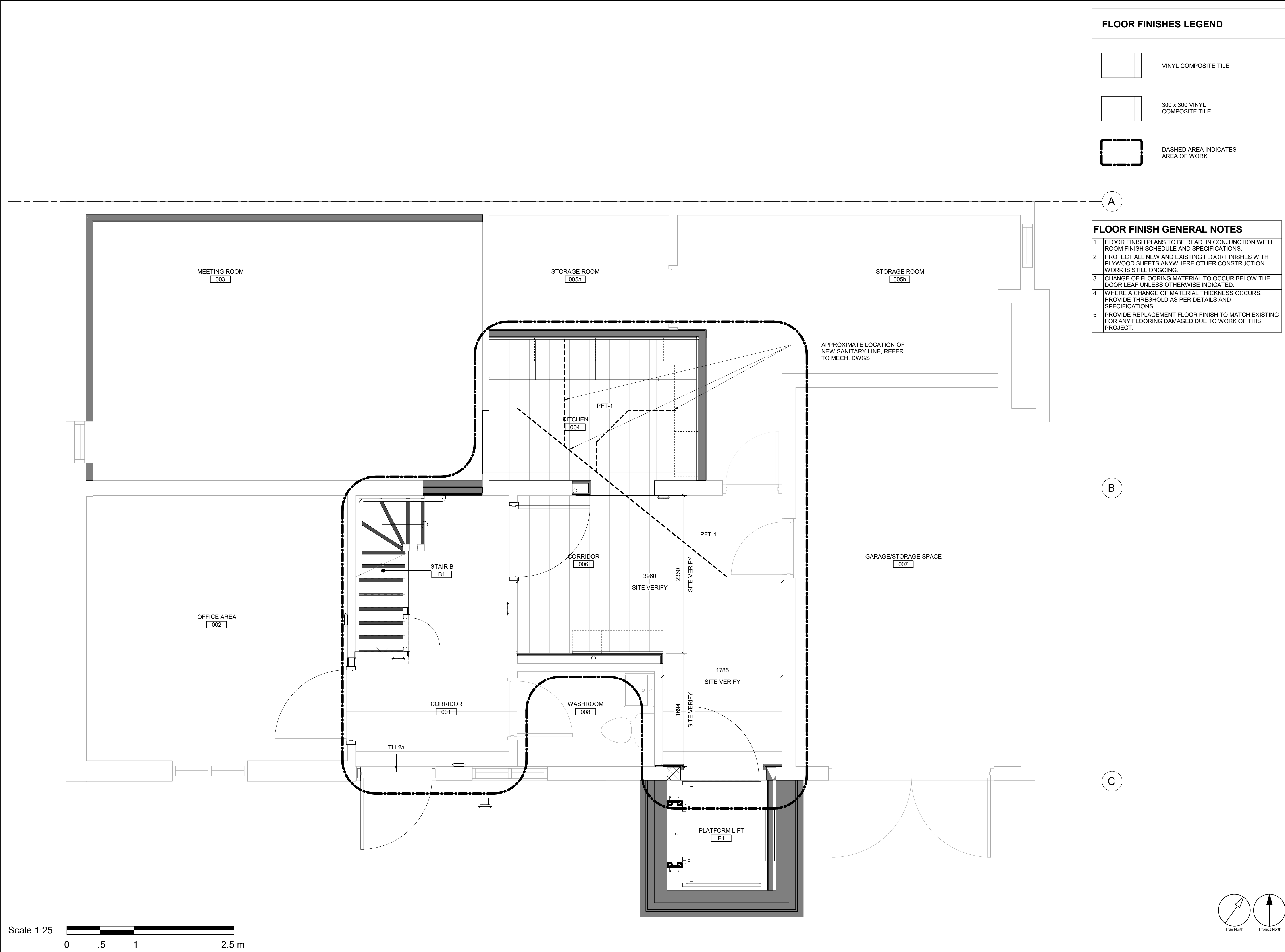
DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**SECOND FLOOR
PROPOSED PLAN**

SHEET NUMBER G28-101-A2421	ISSUE C
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2023-01-30 2:35:26 PM

BM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-101-1859KINGSTON-A-R20.v1 1/1m



ISSUES		
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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

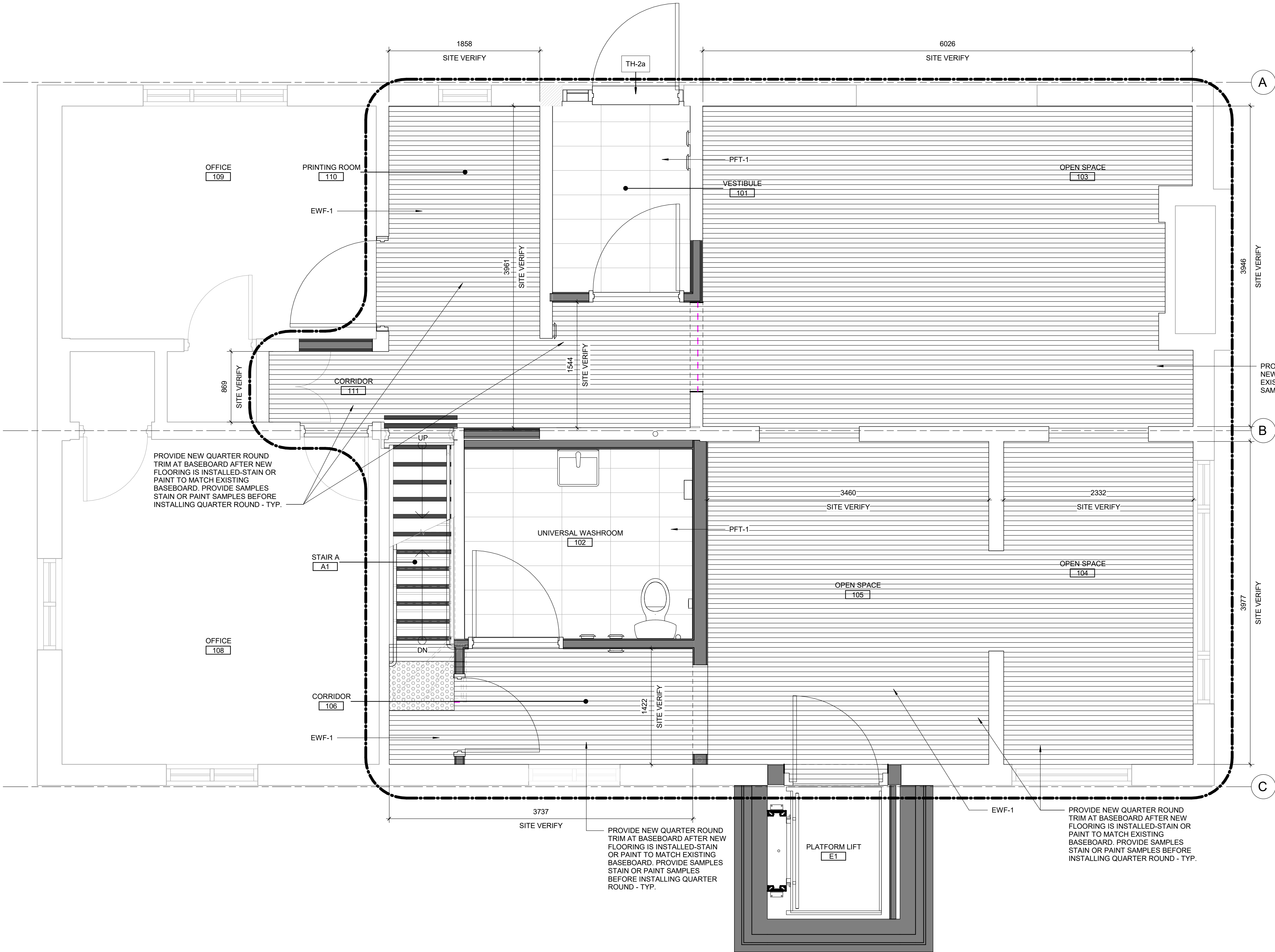
PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE

BASEMENT FINISH PLAN

SHEET NUMBER	ISSUE
G28-101-A2601	C



FLOOR FINISHES LEGEND

- ENGINEERED WOOD FLOORING
- PORCELAIN TILE
- DASHED AREA INDICATES AREA OF WORK

FLOOR FINISH GENERAL NOTES

- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
- CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

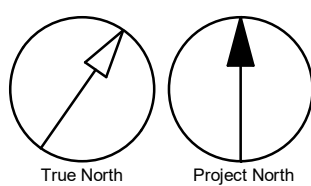
PROVIDE NEW QUARTER ROUND TRIM AT BASEBOARD AFTER NEW FLOORING IS INSTALLED-STAIN OR PAINT TO MATCH EXISTING BASEBOARD. PROVIDE SAMPLES STAIN OR PAINT SAMPLES BEFORE INSTALLING QUARTER ROUND - TYP.

PROVIDE NEW QUARTER ROUND TRIM AT BASEBOARD AFTER NEW FLOORING IS INSTALLED-STAIN OR PAINT TO MATCH EXISTING BASEBOARD. PROVIDE SAMPLES STAIN OR PAINT SAMPLES BEFORE INSTALLING QUARTER ROUND - TYP.

PROVIDE NEW QUARTER ROUND TRIM AT BASEBOARD AFTER NEW FLOORING IS INSTALLED-STAIN OR PAINT TO MATCH EXISTING BASEBOARD. PROVIDE SAMPLES STAIN OR PAINT SAMPLES BEFORE INSTALLING QUARTER ROUND - TYP.

PROVIDE NEW QUARTER ROUND TRIM AT BASEBOARD AFTER NEW FLOORING IS INSTALLED-STAIN OR PAINT TO MATCH EXISTING BASEBOARD. PROVIDE SAMPLES STAIN OR PAINT SAMPLES BEFORE INSTALLING QUARTER ROUND - TYP.

Scale 1:25



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PROJECT TITLE
CITY OF TORONTO
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PROJECT ADDRESS

SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE
FIRST FLOOR FLOOR
FINISH PLAN

SHEET NUMBER

G28-101-A2611

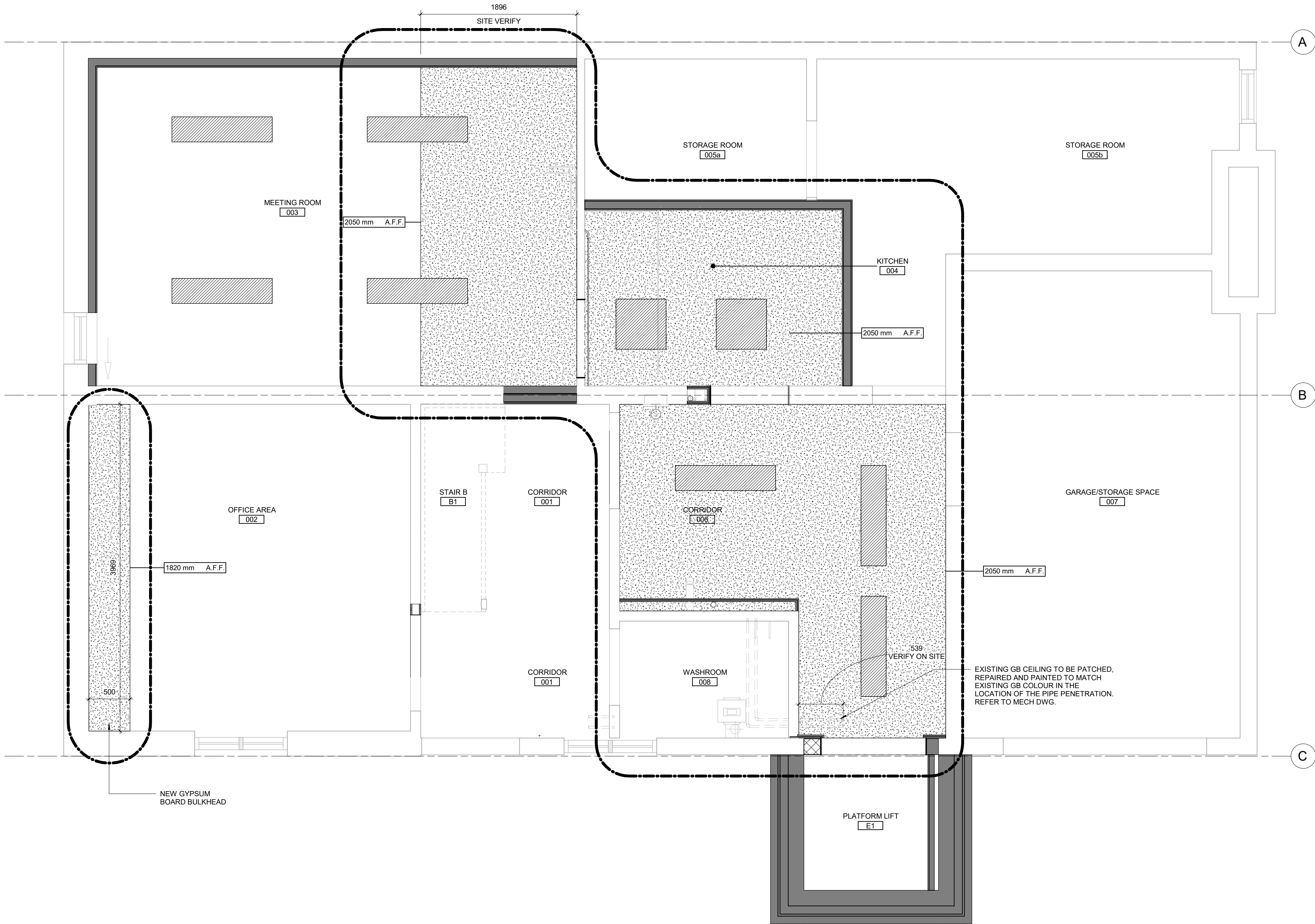
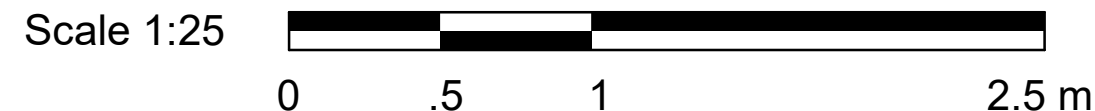
ISSUE

C

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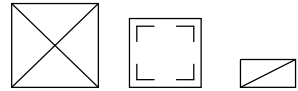
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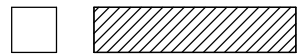
CEILING LEGEND



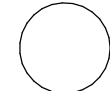
GYPSUM BOARD CEILING
AND BULKHEAD



SUPPLY / RETURN DUCT



CEILING, PENDANT OR
WALL MOUNTED LUMINAIRE



CEILING OR PENDANT
MOUNTED LUMINAIRE



DASHED AREA INDICATES
AREA OF WORK

CEILING GENERAL NOTES

- 1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

NOTE: OVER 75% OF BASEMENT AREA HAS CEILING HEIGHT OF MORE THAN 2100mm

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PROJECT TITLE

**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**SCARBOROUGH ARTS
COUNCIL**
1859 KINGSTON RD.

PROJECT NO:

9119-19-0162 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

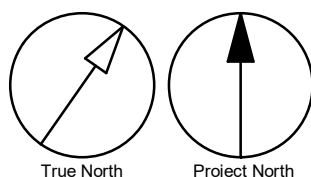
**BASEMENT REFLECTED
CEILING PLAN**

SHEET NUMBER

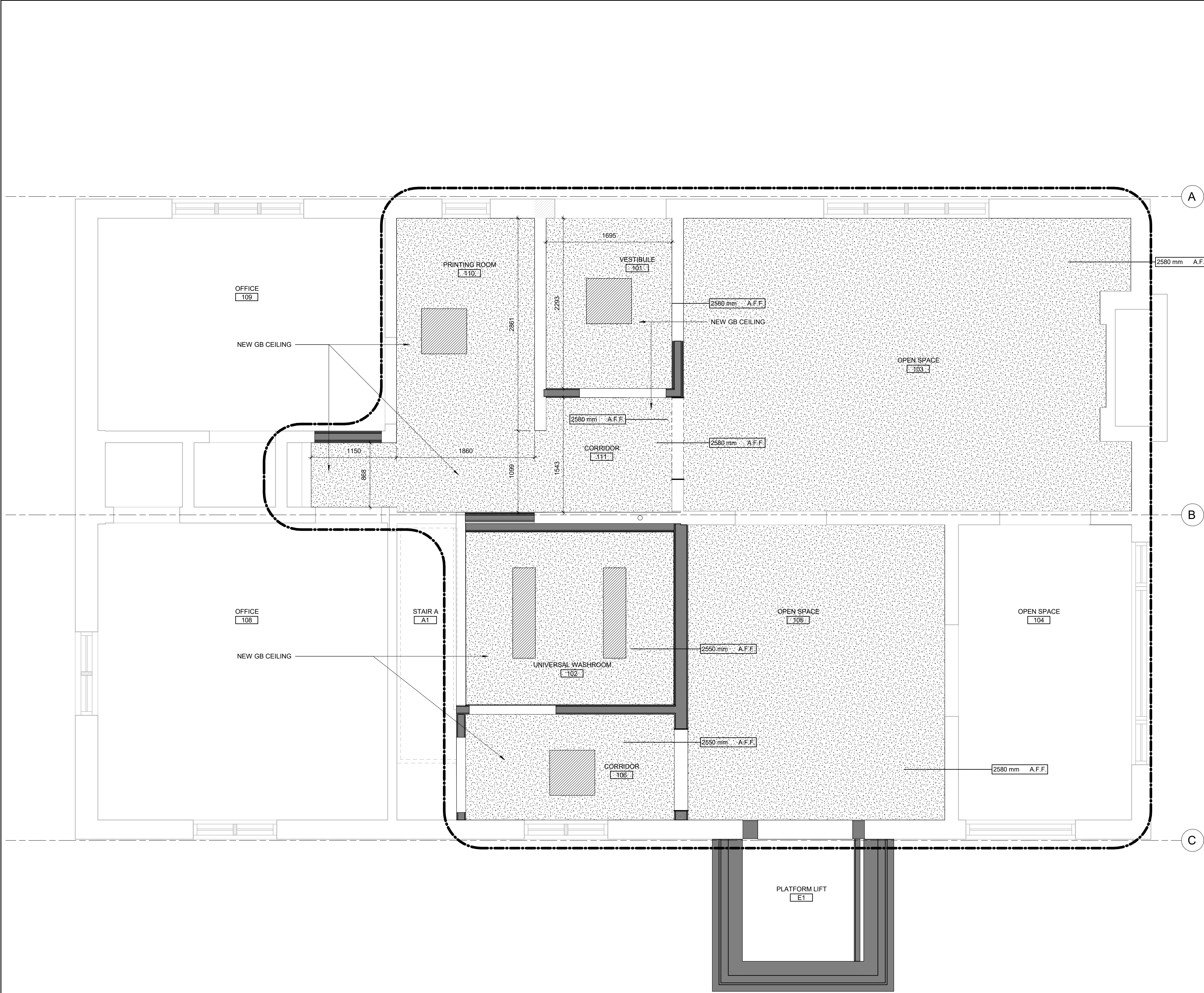
G28-101-A2801

ISSUE

C



BM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-101-1859KNGSTNA-R201.v1
1/11



CEILING LEGEND

GYPSUM BOARD CEILING AND BULKHEAD

SUPPLY / RETURN DUCT

CEILING, PENDANT OR WALL MOUNTED LUMINAIRE

CEILING OR PENDANT MOUNTED LUMINAIRE

DASHED AREA INDICATES AREA OF WORK

CEILING GENERAL NOTES

1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

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PROJECT TITLE

**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**SCARBOROUGH ARTS
COUNCIL**
1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE

**FIRST FLOOR
REFLECTED CEILING
PLAN**

SHEET NUMBER G28-101-A2811	ISSUE C
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Scale 1:25

0

.5

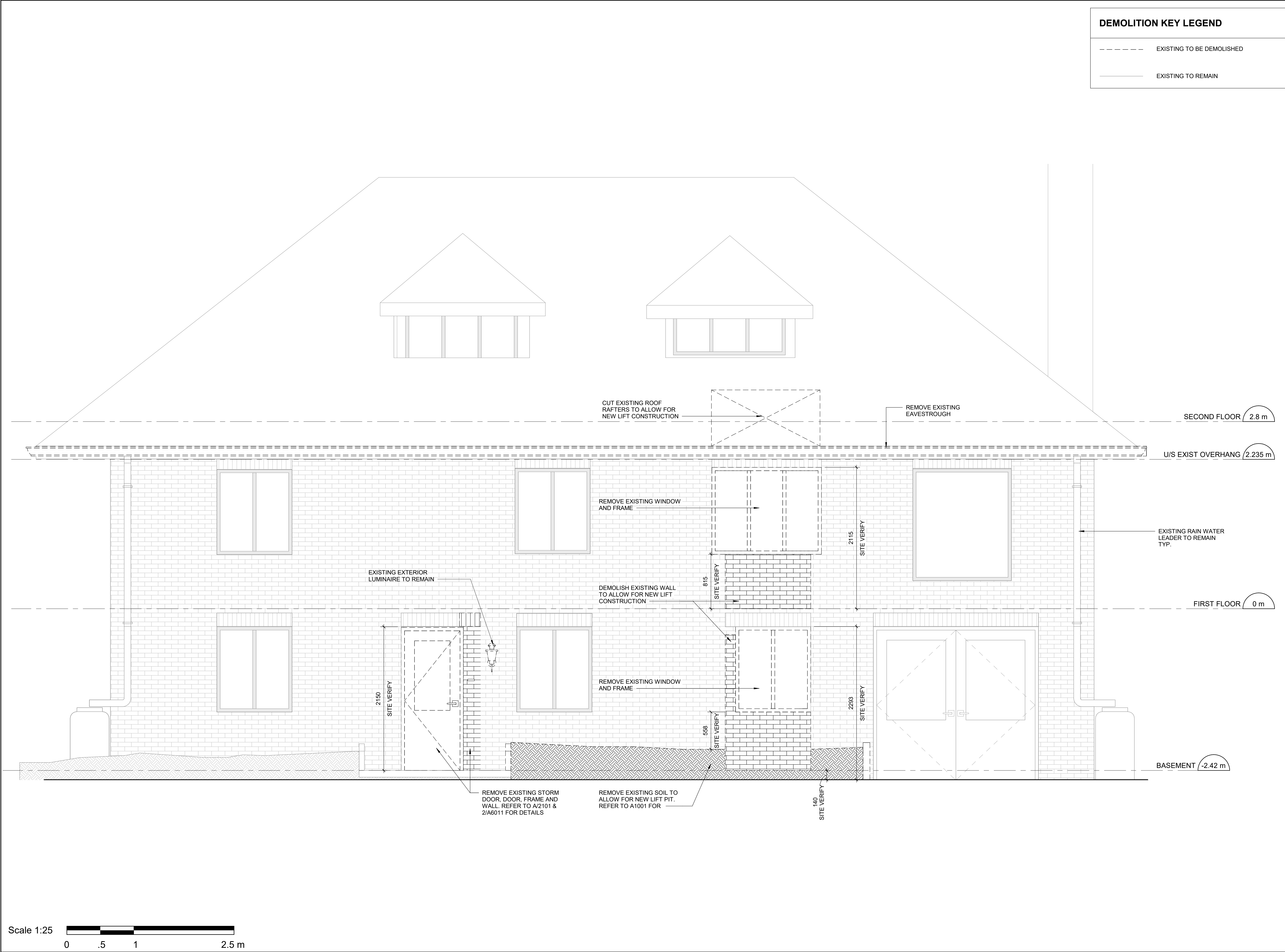
1

2.5 m

True North


Project North

BM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-101-1859KINGSTON-A-R20.v1 10mm 1 m



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PROJECT TITLE

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PROJECT ADDRESS

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PROJECT MGR:
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APPROVED BY:
E. FENUTA

SHEET TITLE

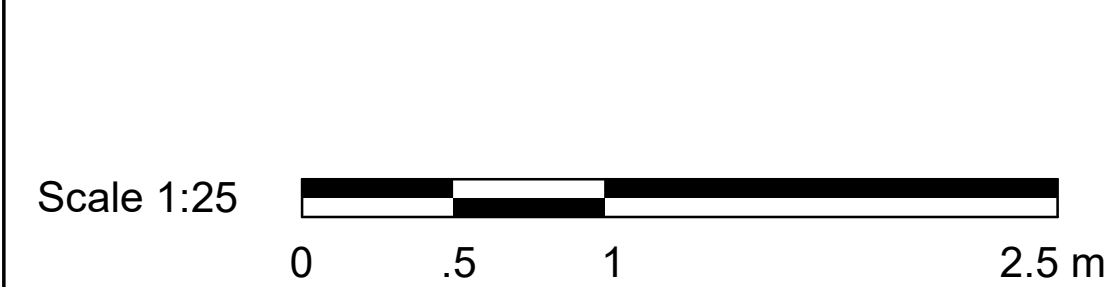
BUILDING ELEVATION -
DEMOLITION

SHEET NUMBER

G28-101-A3011


ISSUE

C



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PROJECT TITLE

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ACCESSIBILITY UPGRADES

PROJECT ADDRESS

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PROJECT NO:
9119-19-0162 / IBI 122260

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CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

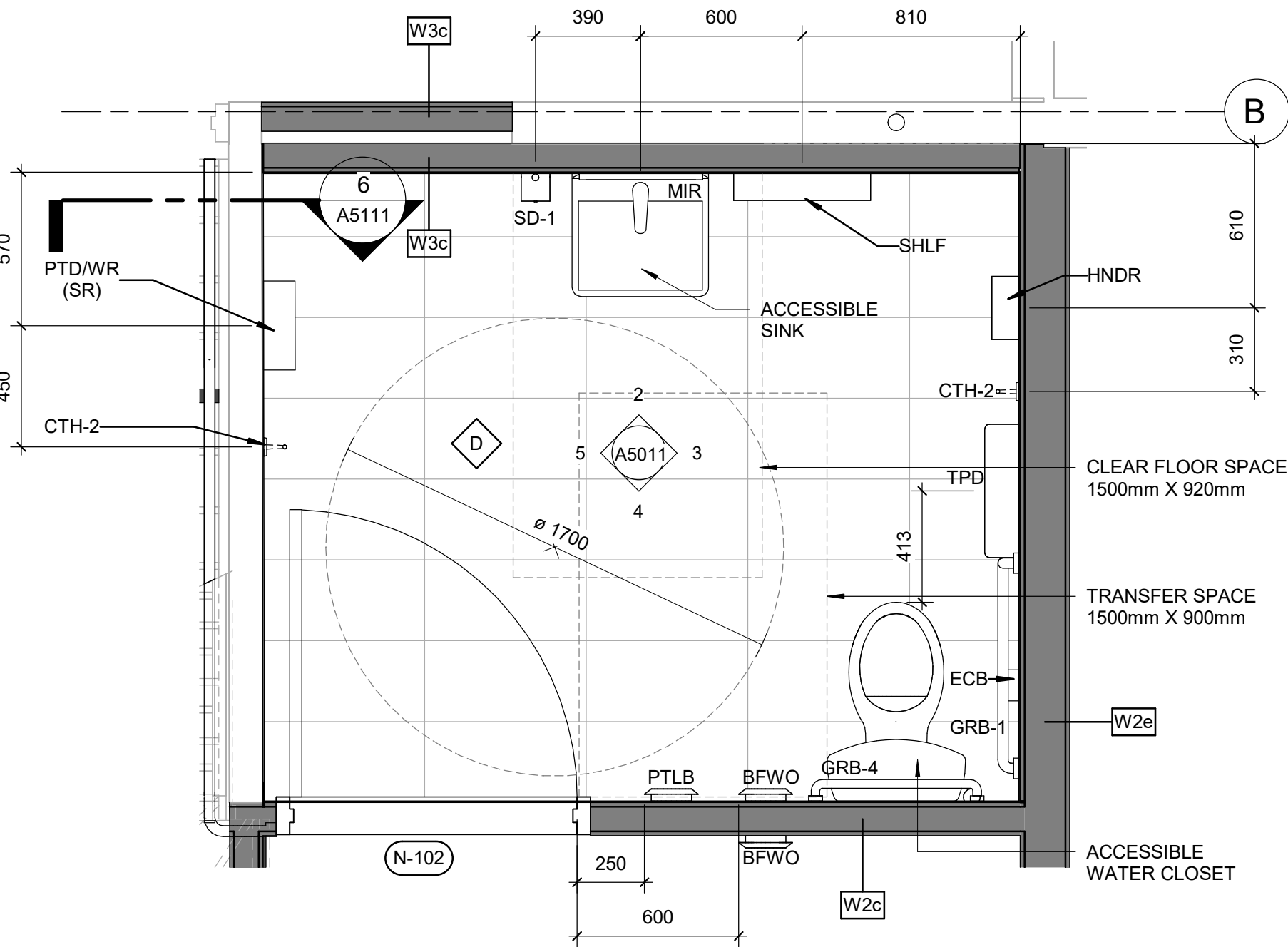
BUILDING ELEVATION -
PROPOSED

SHEET NUMBER

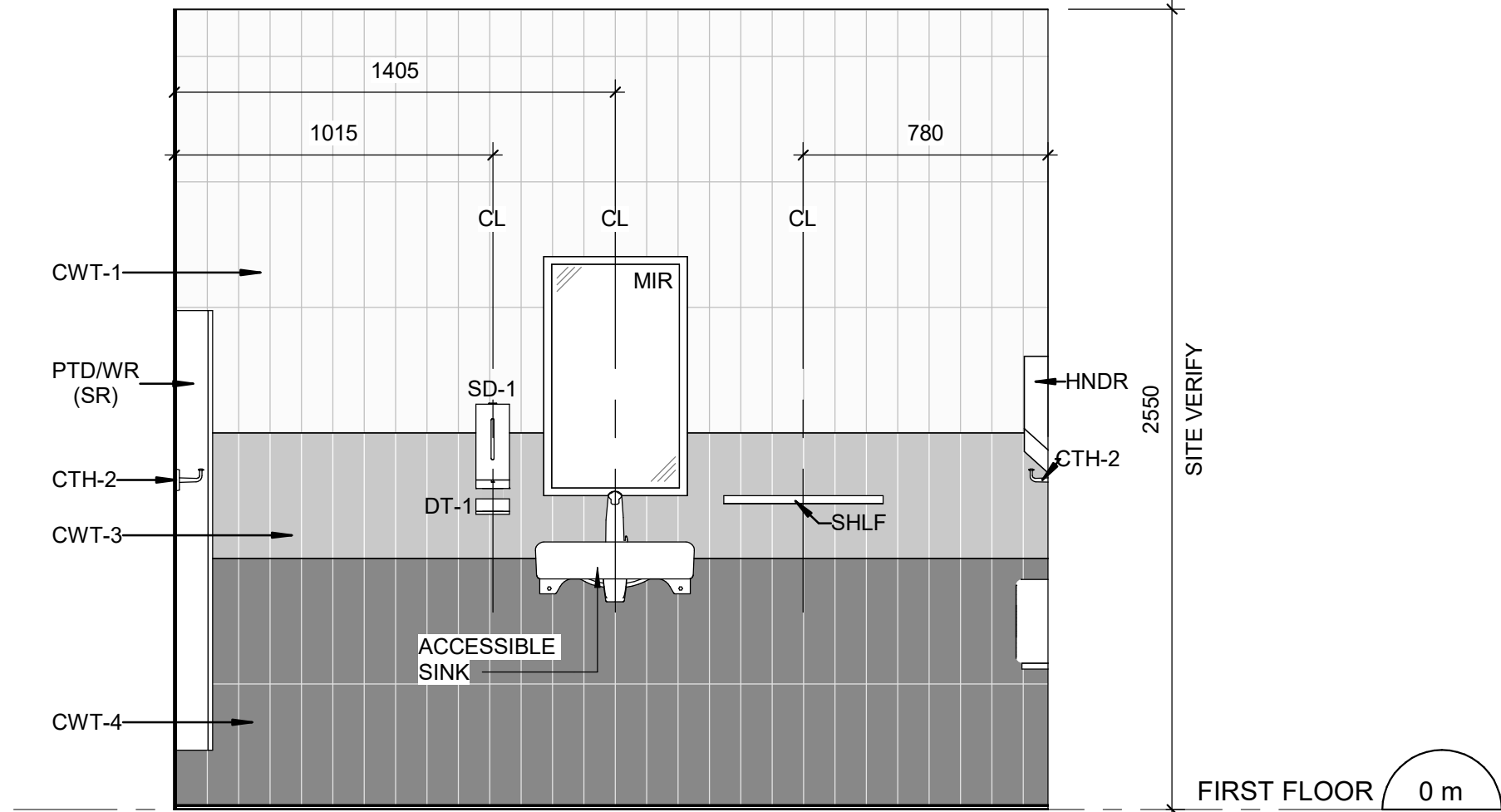
G28-101-A3012

ISSUE

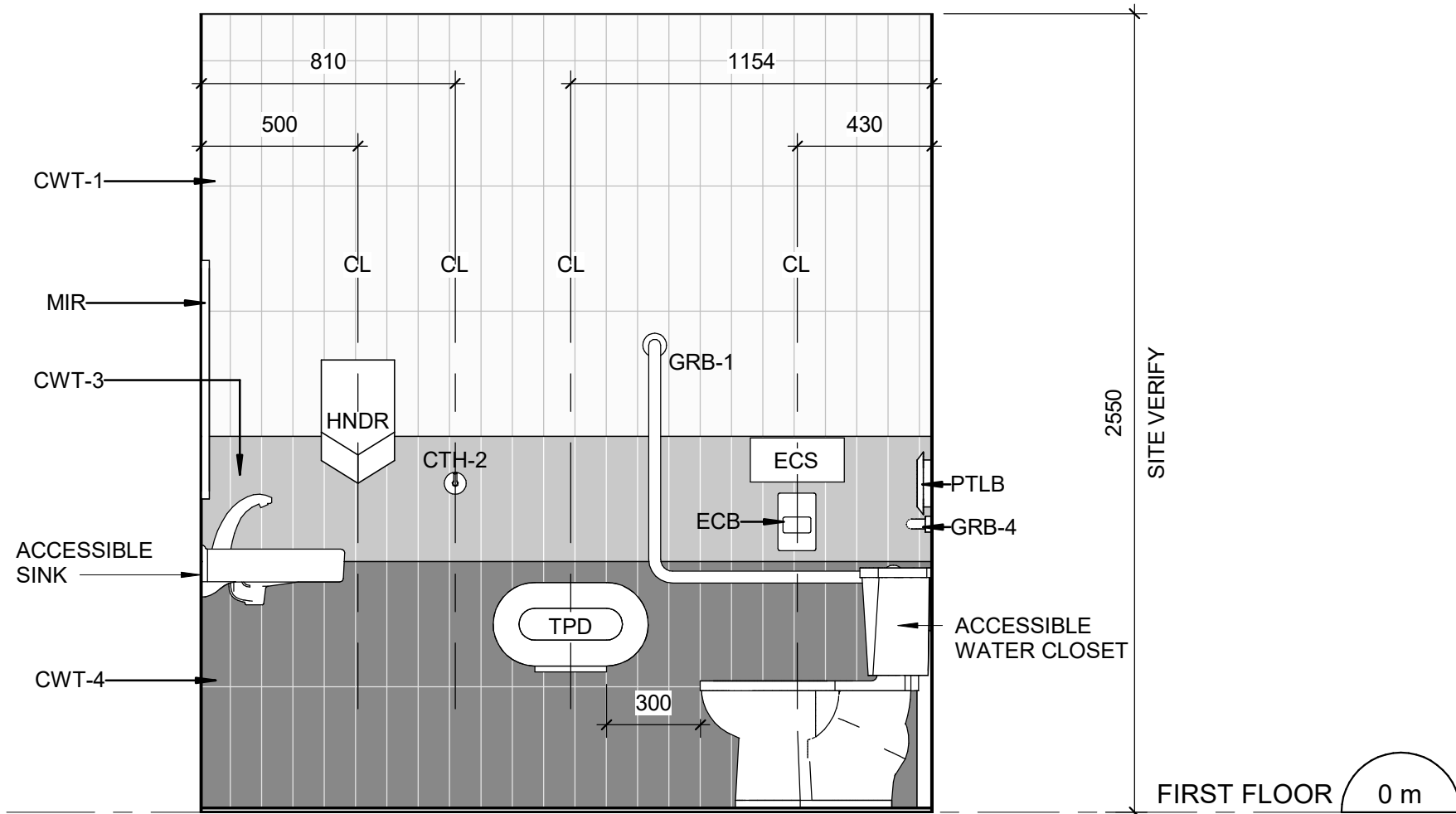
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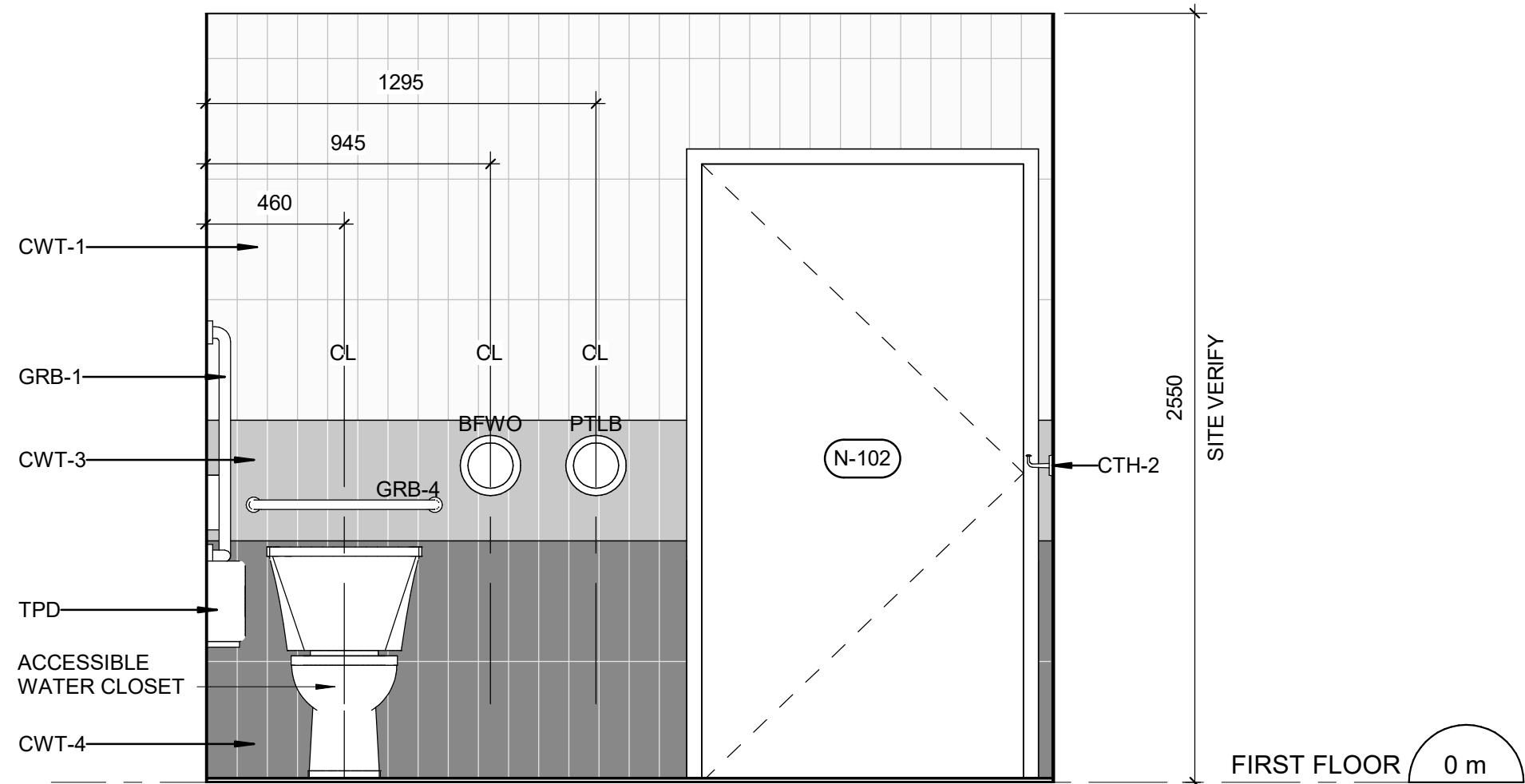
1 FIRST FLOOR UNIVERSAL WASHROOM - PLAN
A5011 Scale: 1 : 20



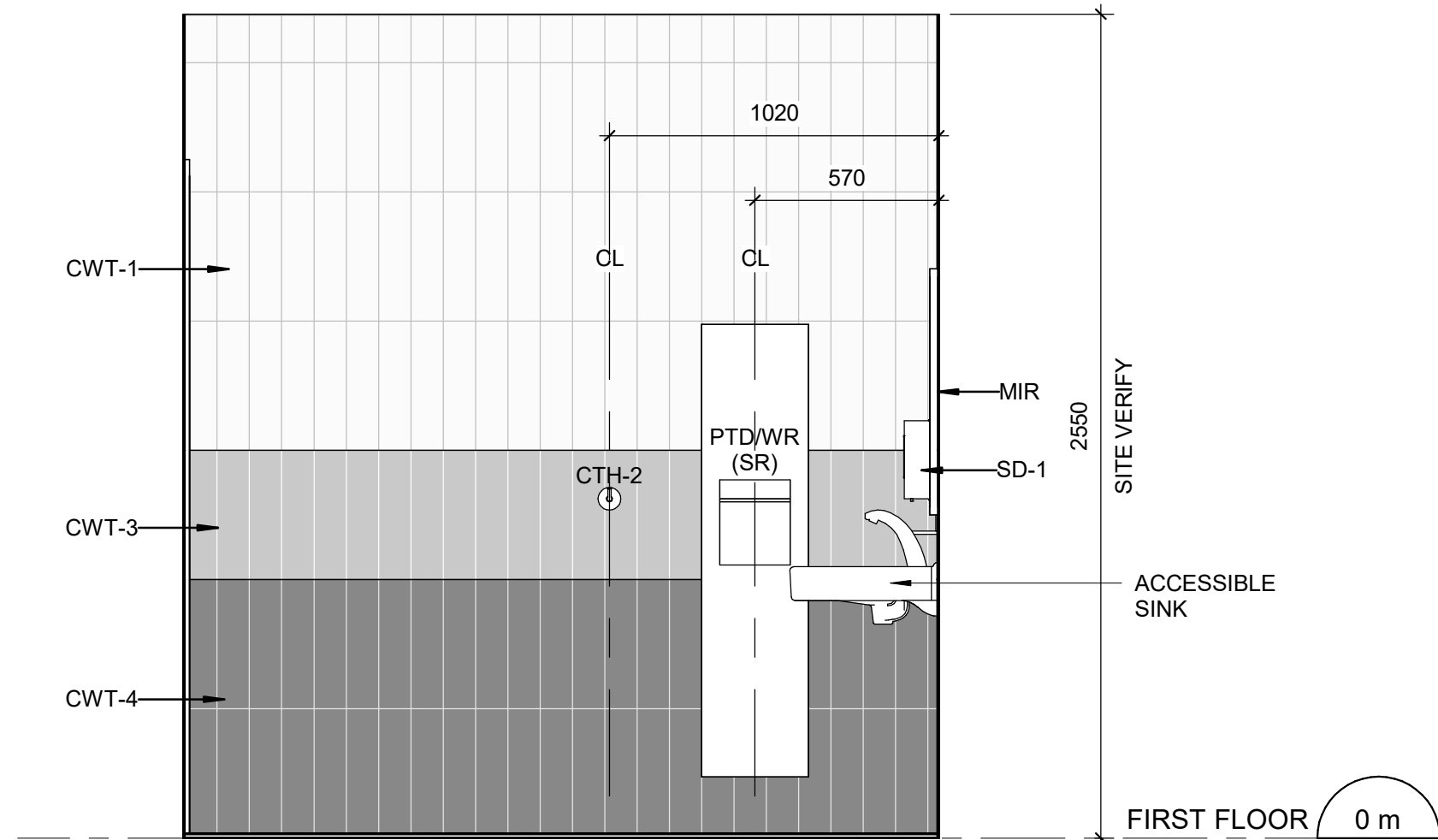
2 UNIVERSAL WASHROOM - NORTH ELEVATION
A5011 Scale: 1 : 20



3 UNIVERSAL WASHROOM - EAST ELEVATION
A5011 Scale: 1 : 20



4 UNIVERSAL WASHROOM - SOUTH ELEVATION
A5011 Scale: 1 : 20



5 UNIVERSAL WASHROOM - WEST ELEVATION
A5011 Scale: 1 : 20

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.

WASHROOM GENERAL NOTES

- ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.
- MOISTURE RESISTANT GYPSUM BOARD TO BE PROVIDED IN ALL WASHROOMS AND LOCKER ROOMS

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1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

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A. KVASNIUK

CHECKED BY:
K. TILAHUN

PROJECT MGR:
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APPROVED BY:
E. FENUITA

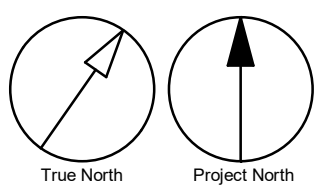
SHEET TITLE
**WASHROOM
PLANS/ELEVATIONS**

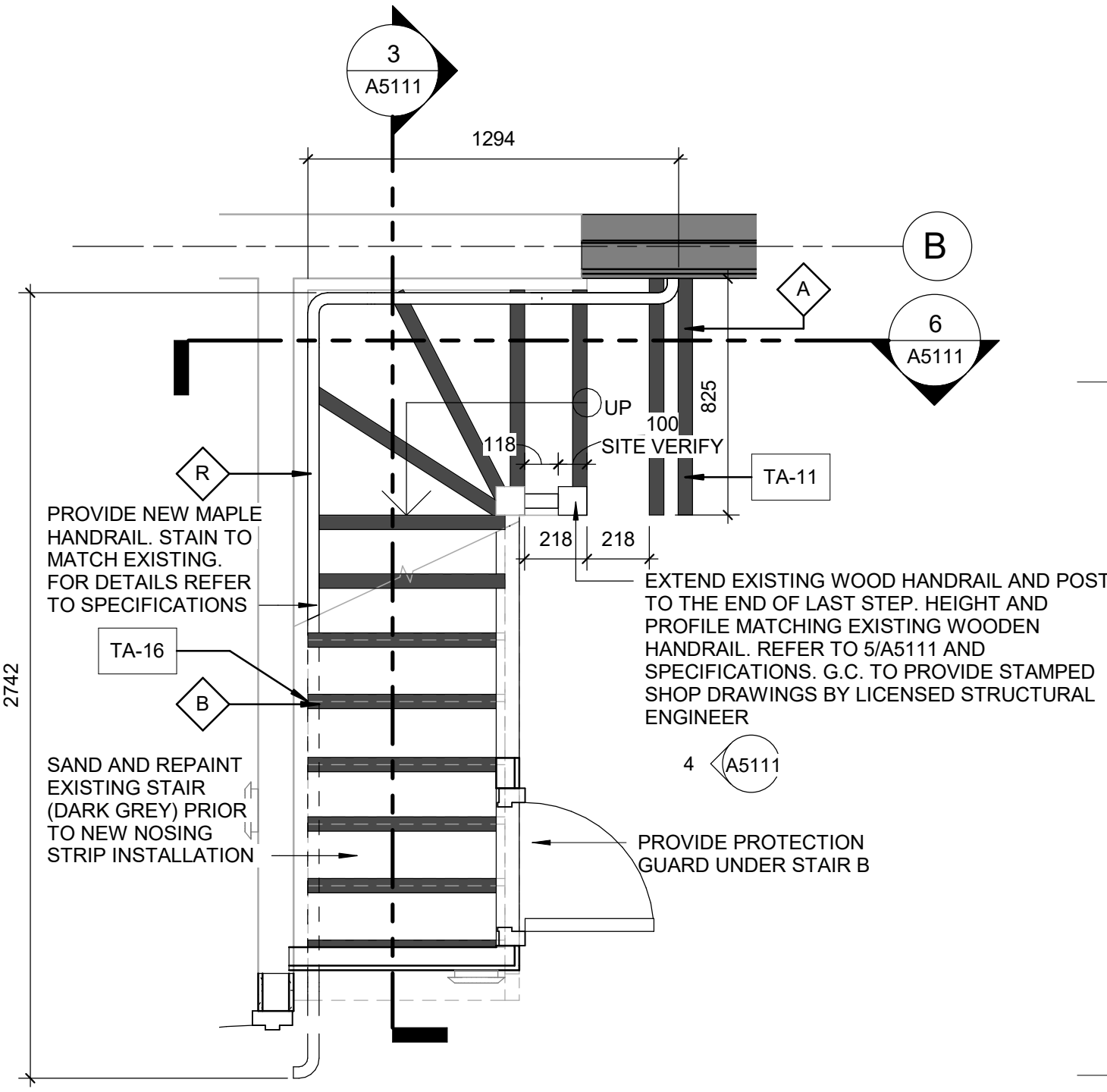
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G28-101-A5011

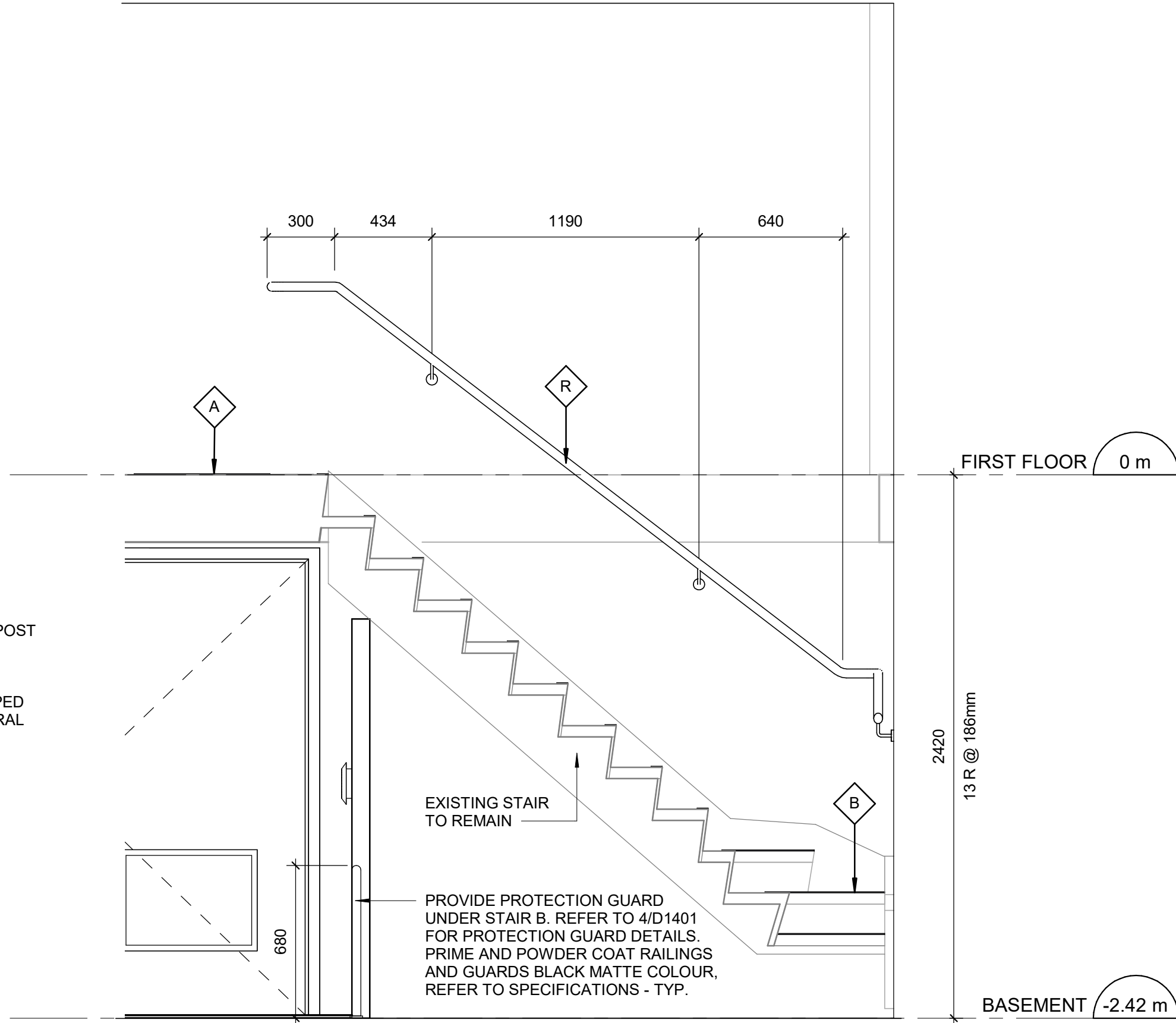
ISSUE

C

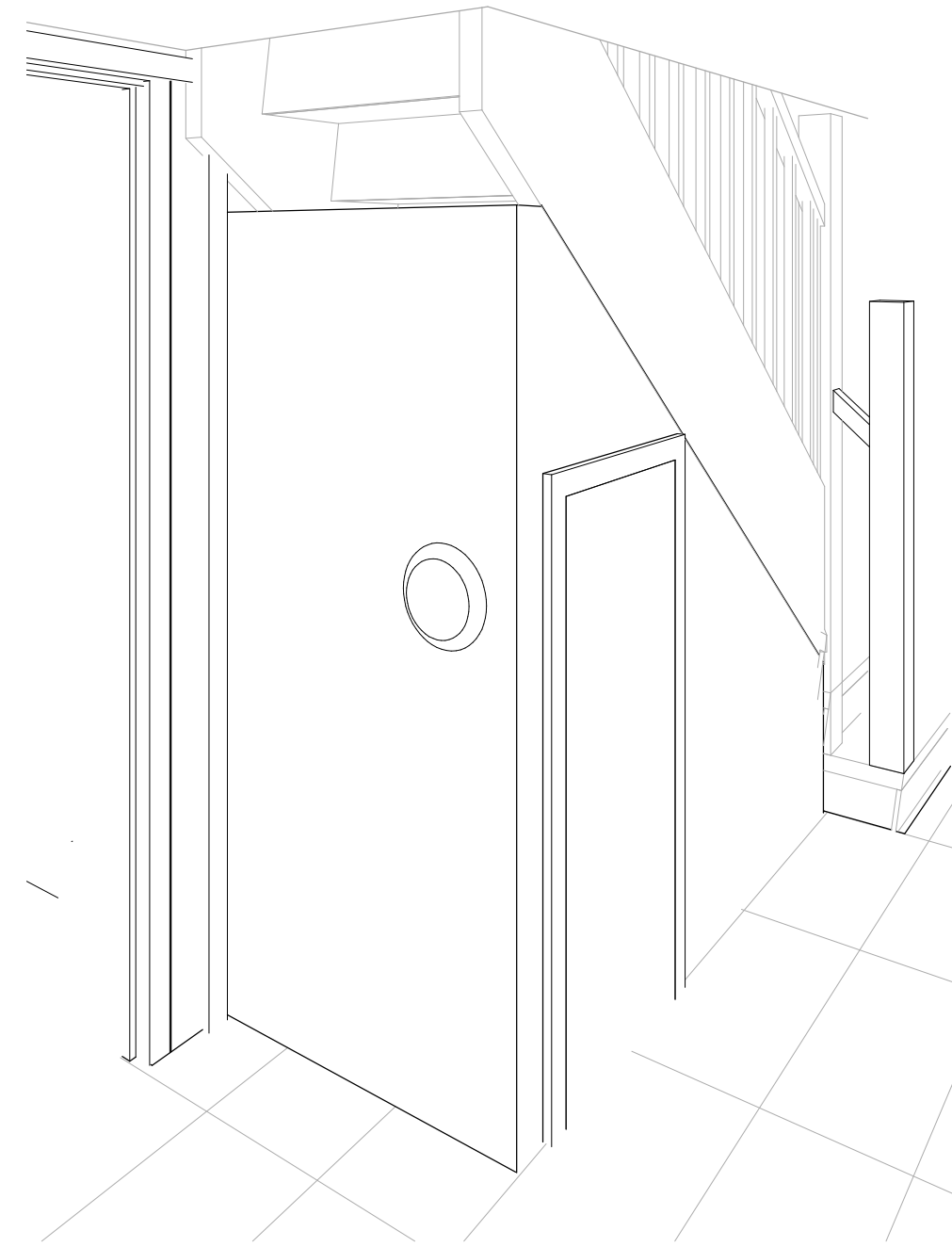




1 BASEMENT - STAIR B PLAN
A5111 / Scale: 1 : 20



3 STAIR B - SECTION 1
A5111 / Scale: 1 : 20



5 STAIR ENCLOSURE PARAMETRIC VIEW
A5111 / Scale:

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN

CONSTRUCTION GENERAL NOTES

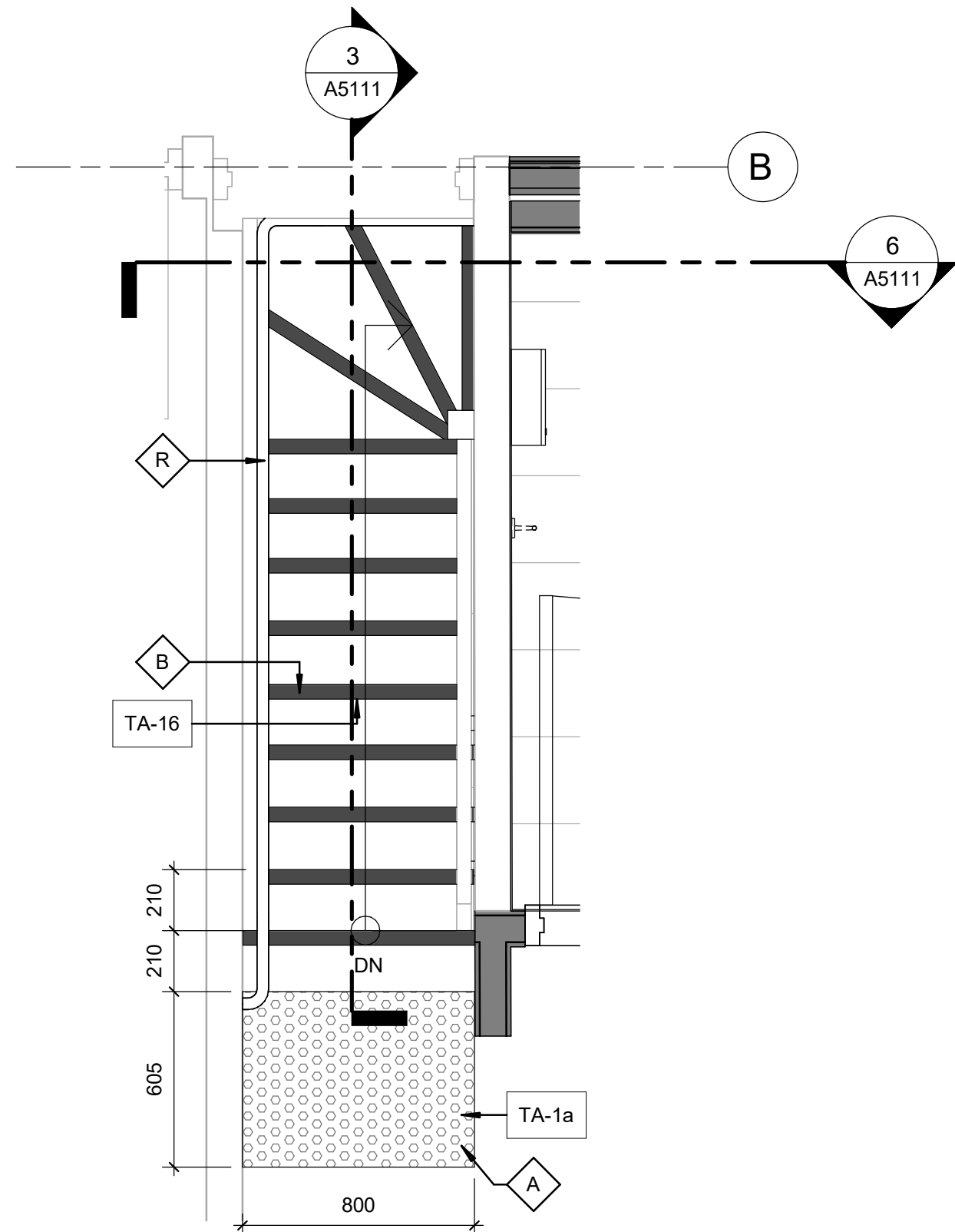
- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

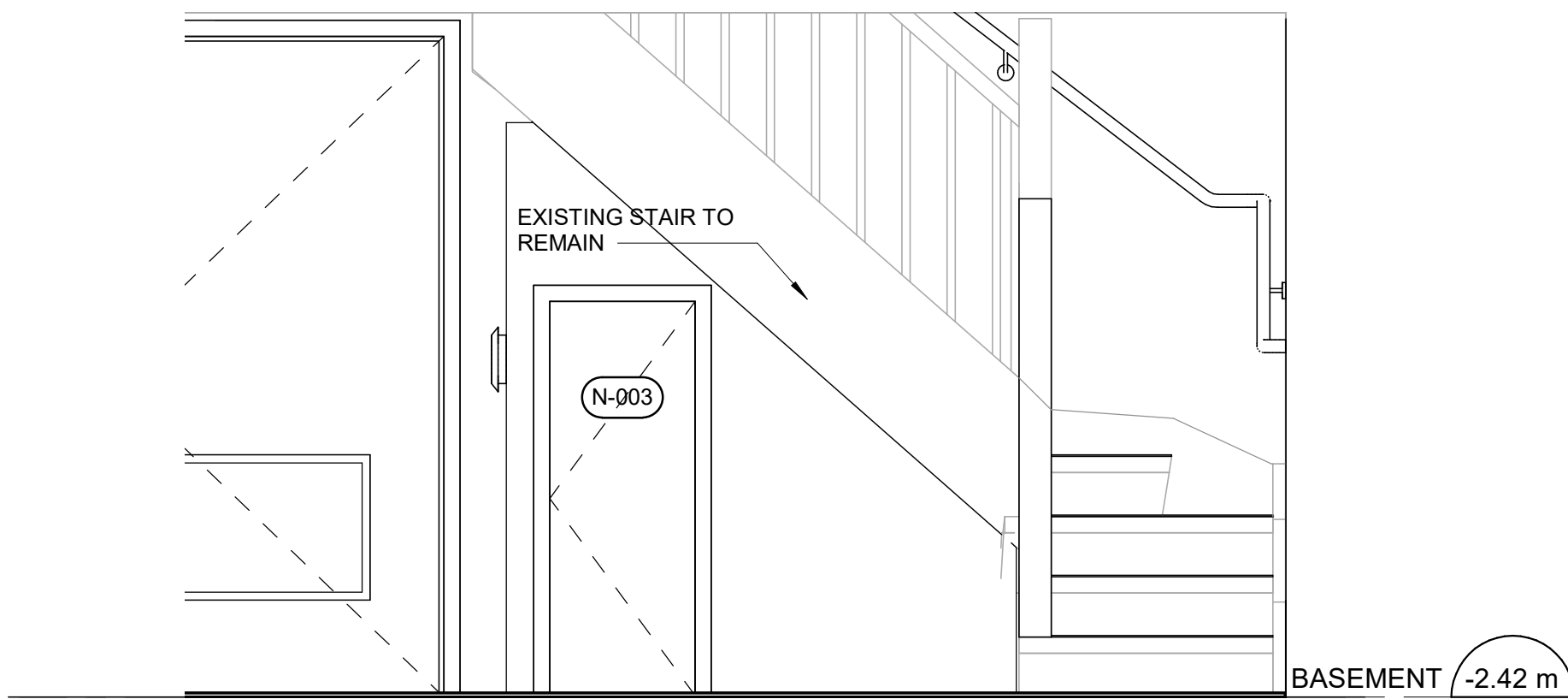
- | NO | DESCRIPTION |
|----|---|
| A | INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405. |
| B | INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402. |
| R | INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402. |

STAIRS GENERAL NOTES

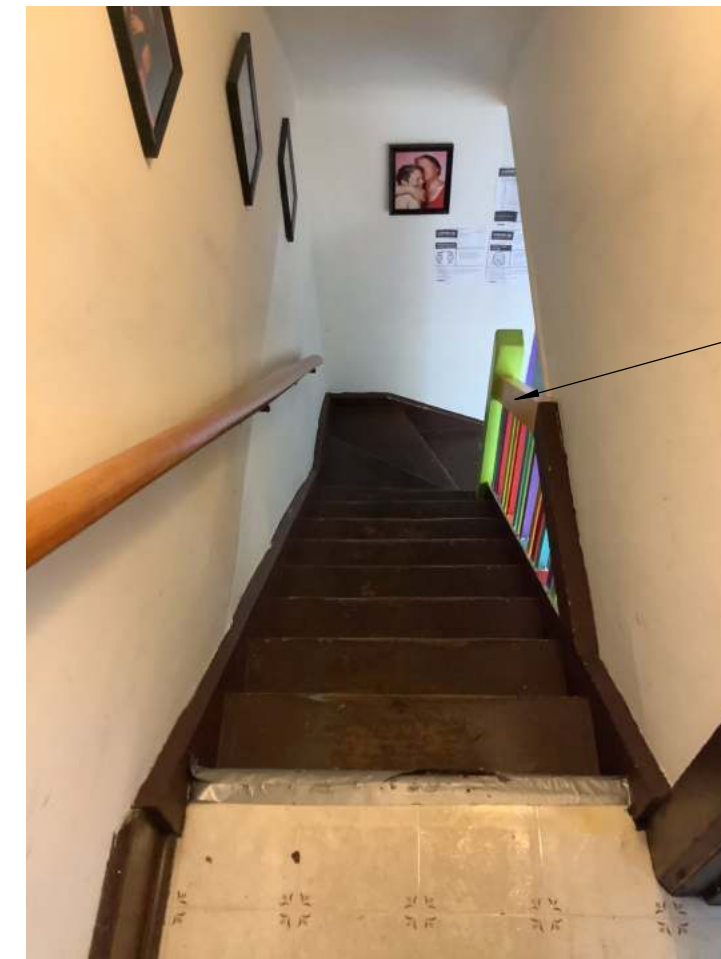
- | NO | DESCRIPTION |
|----|--|
| 1 | REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS. |
| 2 | REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS. |
| 3 | REFER TO 4/D1405 FOR FLAT STAIR NOSING (TA-16) DETAILS. |



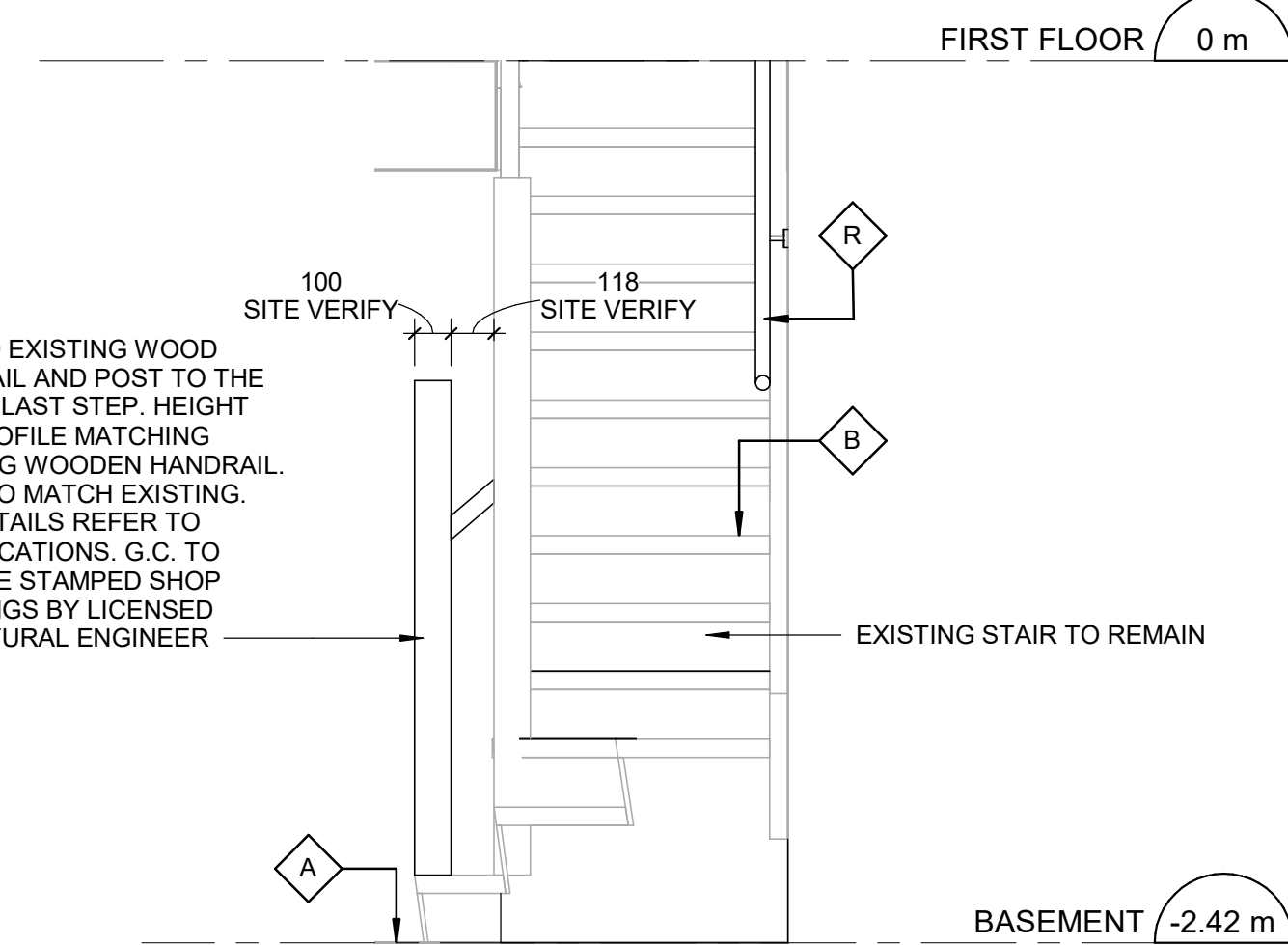
2 FIRST FLOOR - STAIR B PLAN
A5111 / Scale: 1 : 20



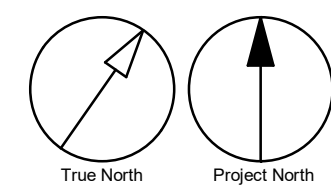
4 STAIR B - ELEVATION 1
A5111 / Scale: 1 : 20



EXTEND EXISTING WOOD HANDRAIL AND POST TO THE END OF LAST STEP. HEIGHT AND PROFILE MATCHING EXISTING WOODEN HANDRAIL. STAIN TO MATCH EXISTING. FOR DETAILS REFER TO SPECIFICATIONS. G.C. TO PROVIDE STAMPED SHOP DRAWINGS BY LICENSED STRUCTURAL ENGINEER



6 STAIR B - SECTION 2
A5111 / Scale: 1 : 20



ISSUES		
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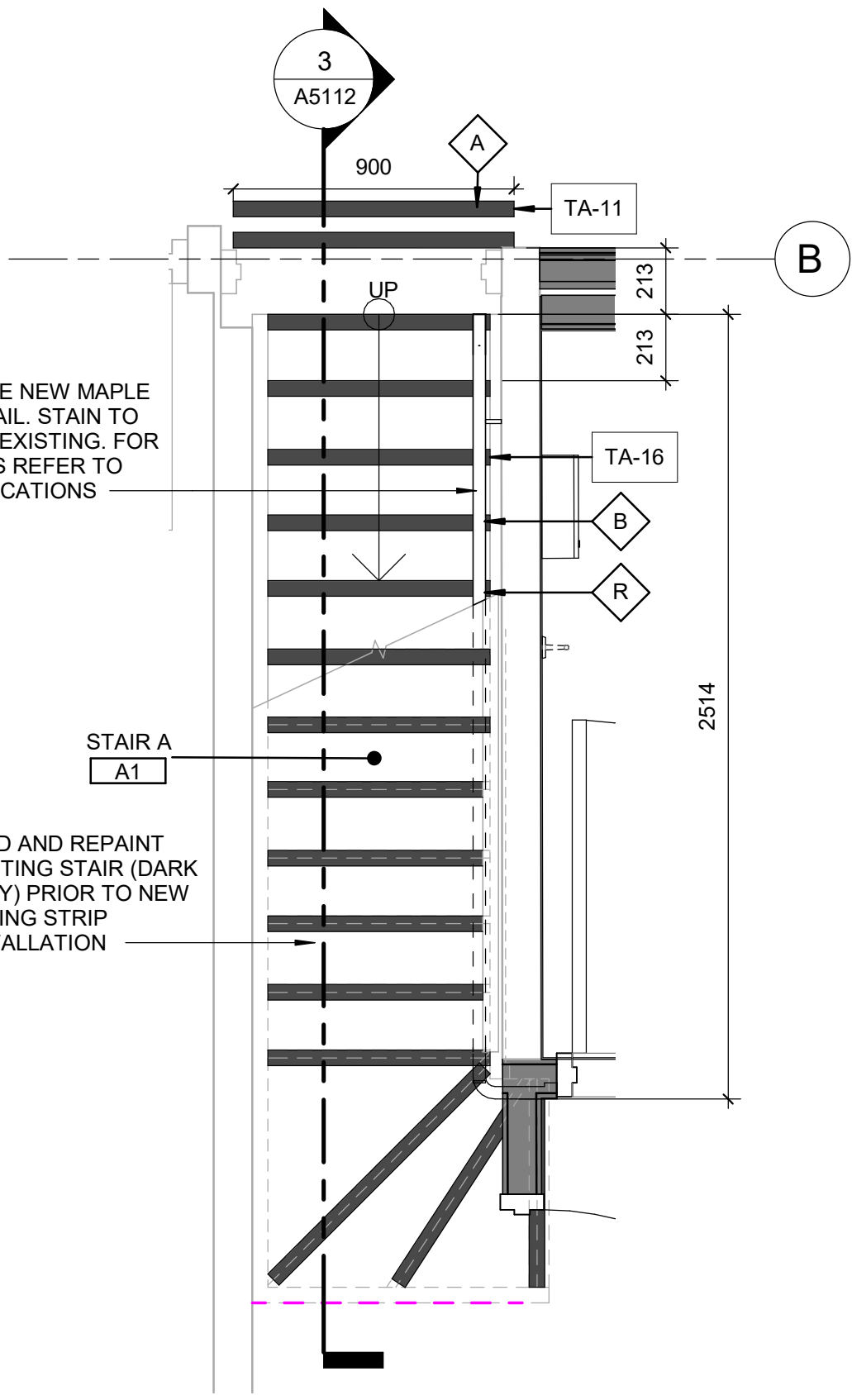
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

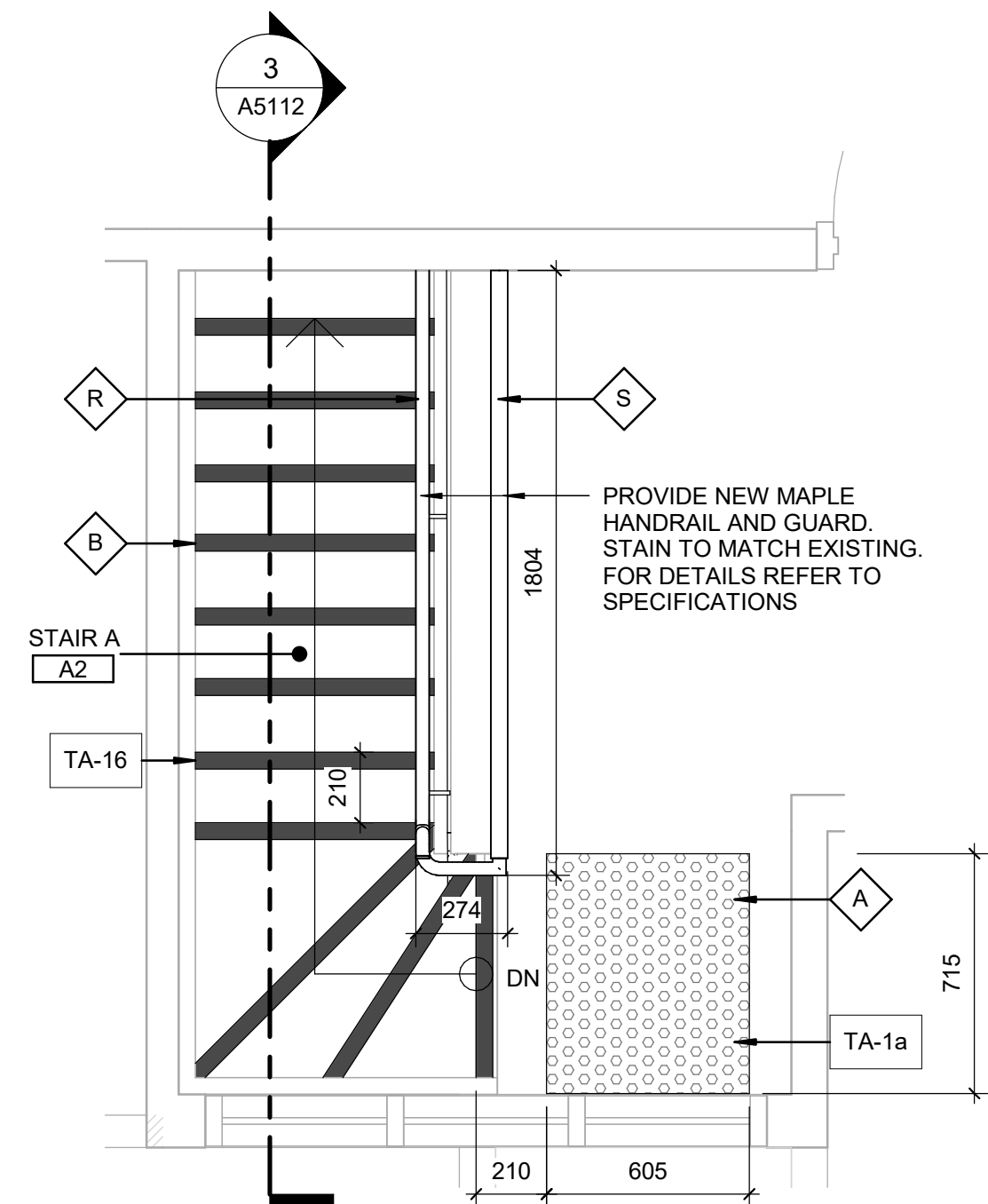
PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
CHECKED BY:
K. TILAHUN
PROJECT MGR:
F. BOLOURIAN
APPROVED BY:
E. FENUITA

SHEET TITLE
**STAIR B PLANS &
DETAILS**

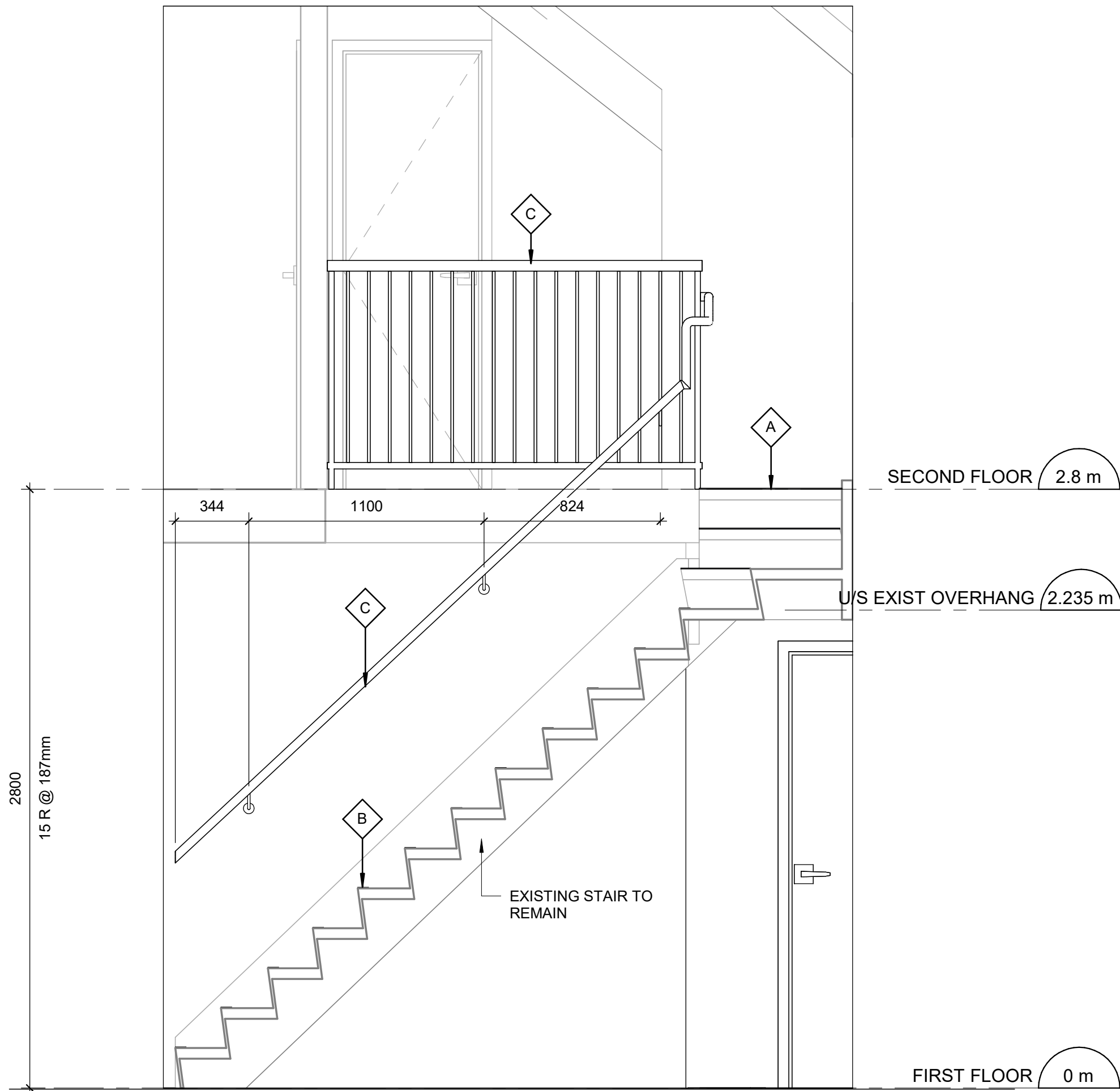
SHEET NUMBER
G28-101-A5111
ISSUE
C



1 FIRST FLOOR - STAIR A PLAN
A5112 Scale: 1 : 20



2 SECOND FLOOR - STAIR A PLAN
A5112 Scale: 1 : 20



3 STAIR A - SECTION 1
A5112 Scale: 1 : 20

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN

CONSTRUCTION GENERAL NOTES

1	NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
2	REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
C	INSTALL NEW GUARDRAIL AND HANDRAIL ON STEEL STAIR - REFER TO TYPICAL DETAILS 2/D1401, 5/D1401, 1/D1403.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.
S	INSTALL NEW GUARDRAIL - REFER TO DETAILS 5/D1401, 6/D1401, 1/D1403.

STAIRS GENERAL NOTES

NO	DESCRIPTION
1	REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS.
2	REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS.
3	REFER TO 4/D1405 FOR FLAT STAIR NOSING (TA-16) DETAILS.

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Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

PROJECT NO:

9119-19-0162 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUITA

SHEET TITLE

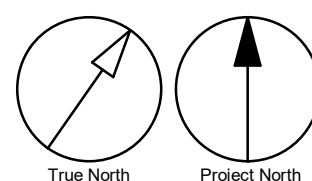
STAIR A PLANS &
DETAILS

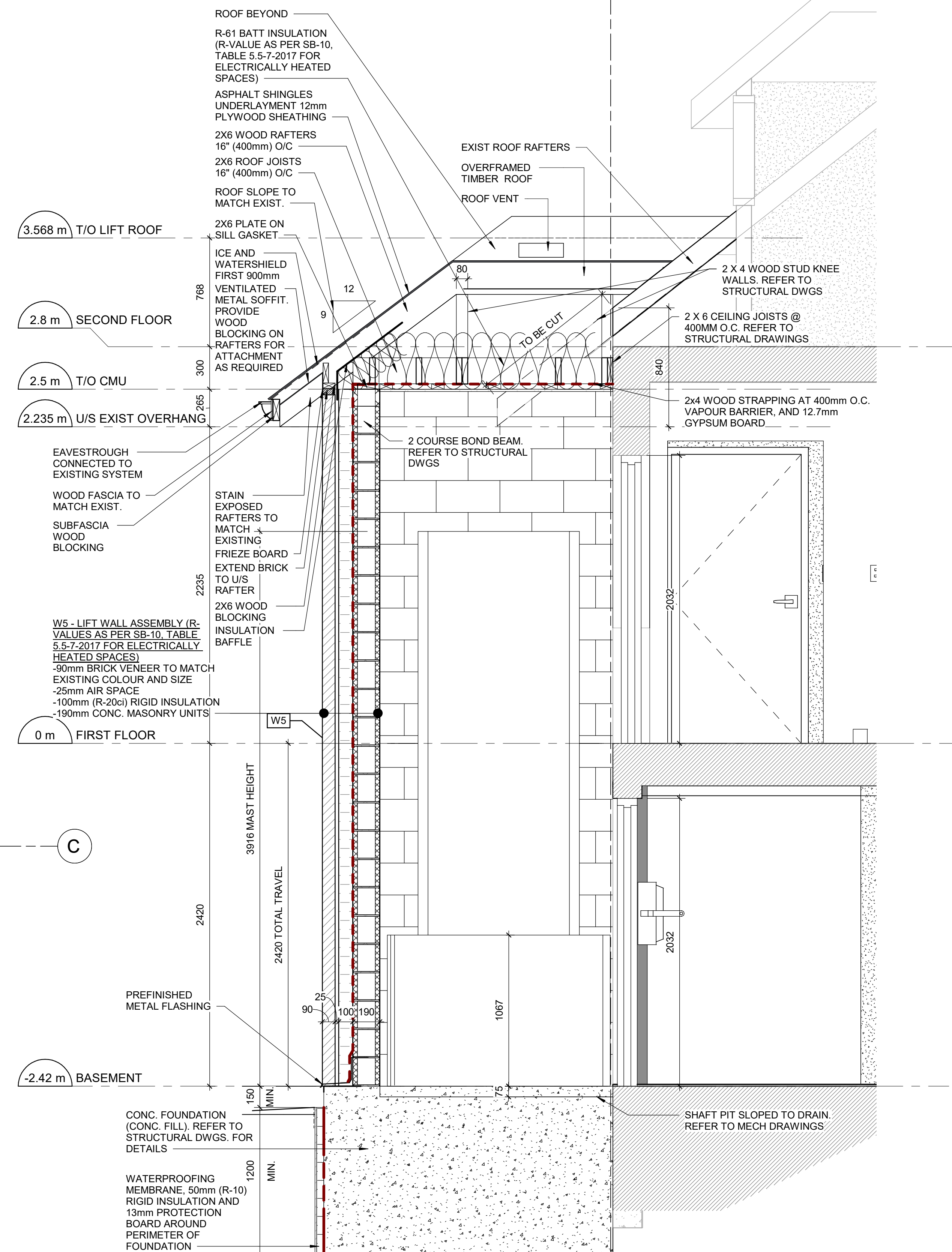
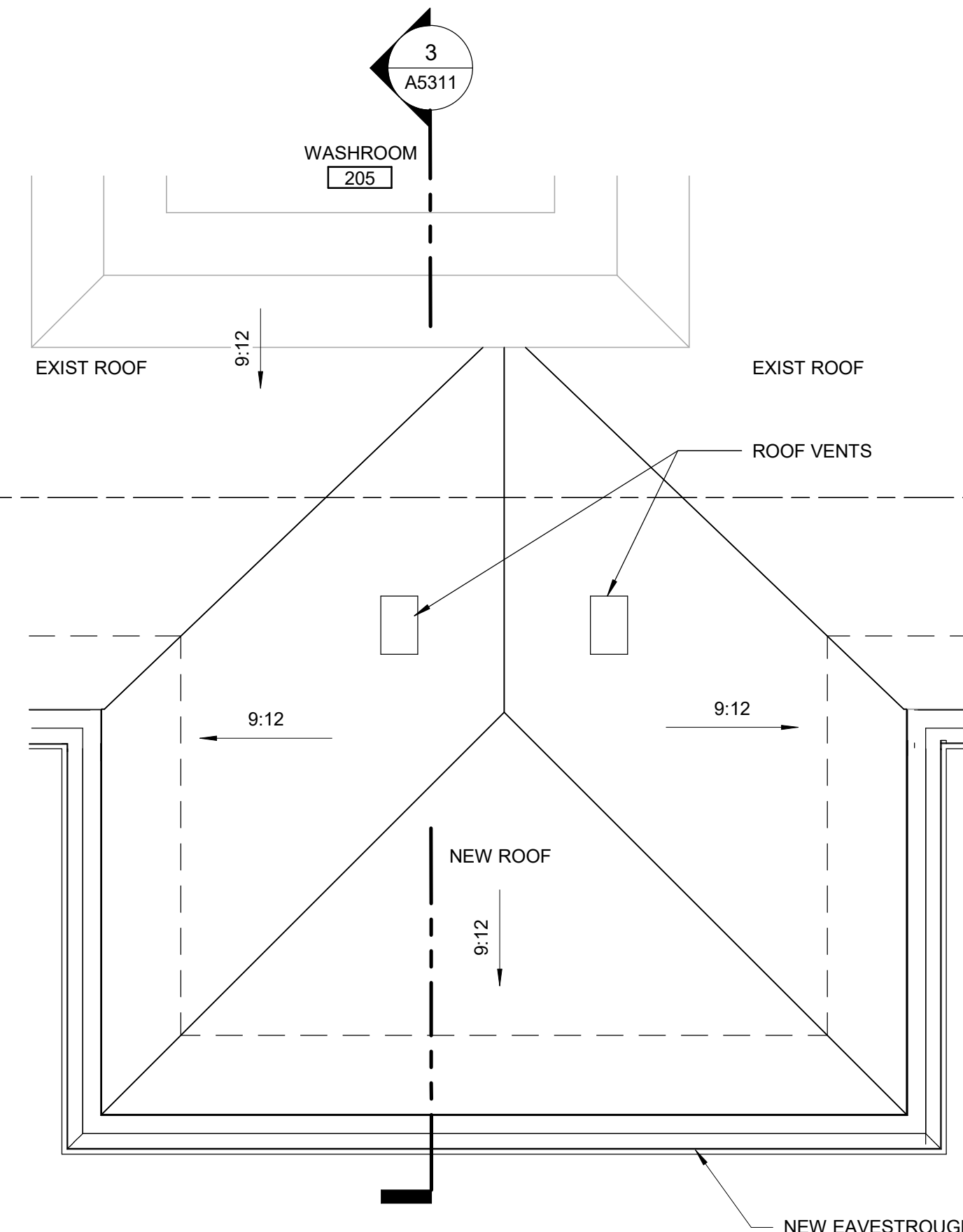
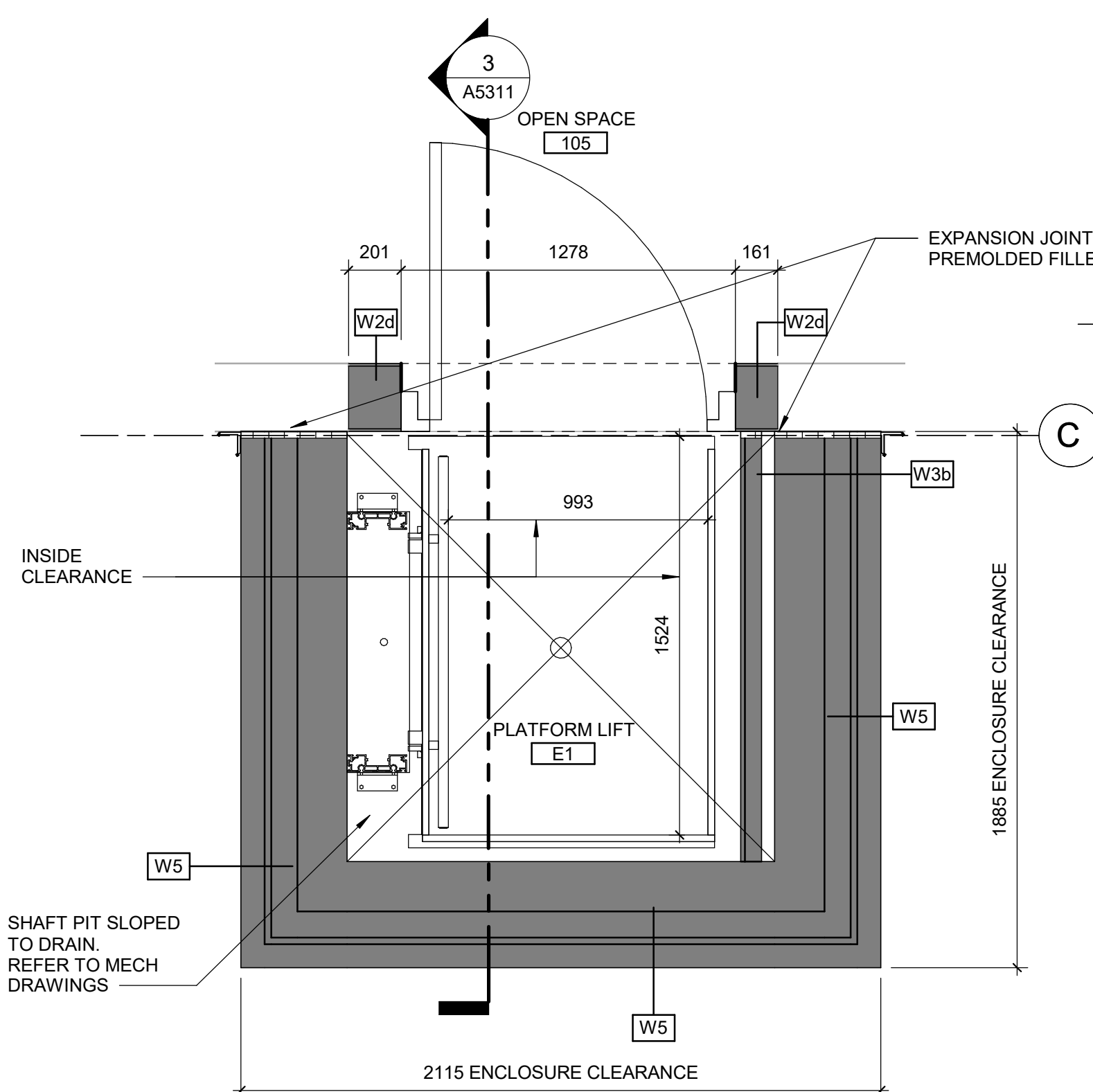
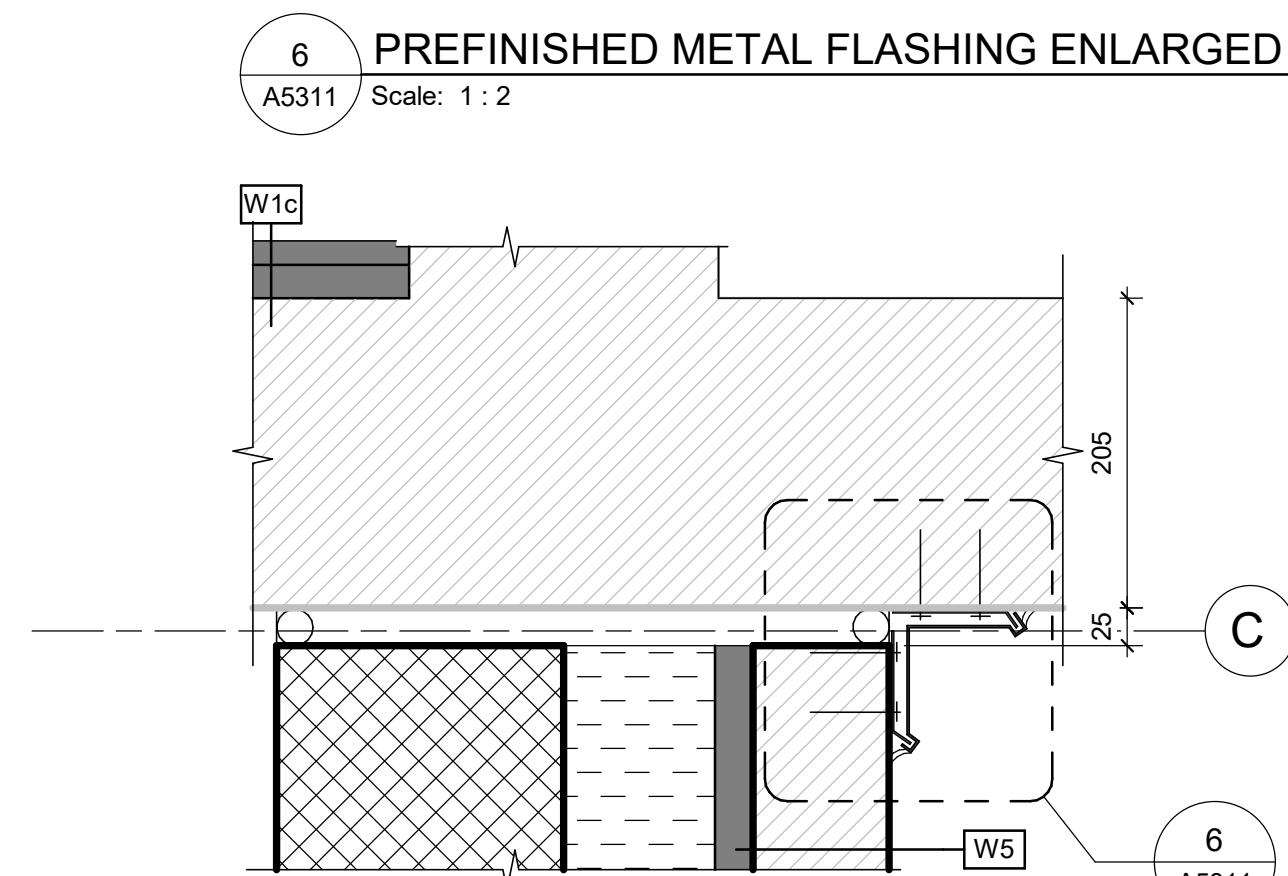
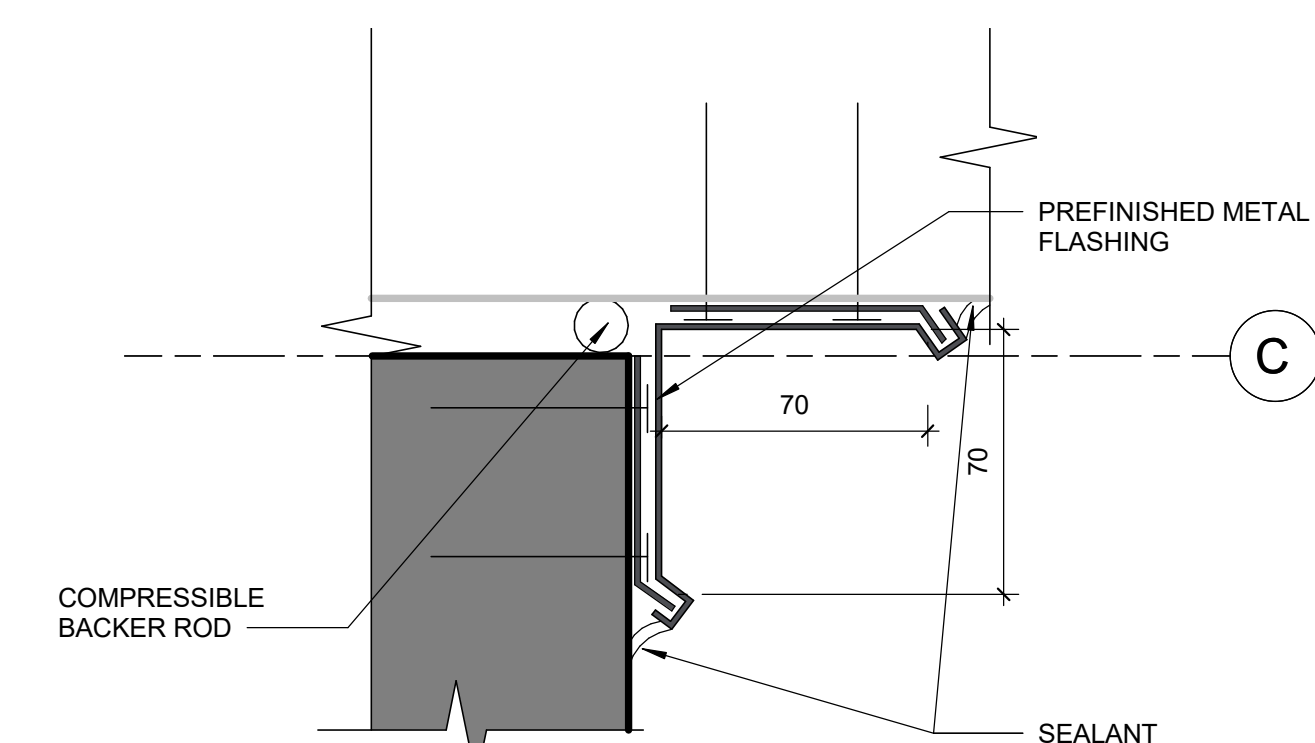
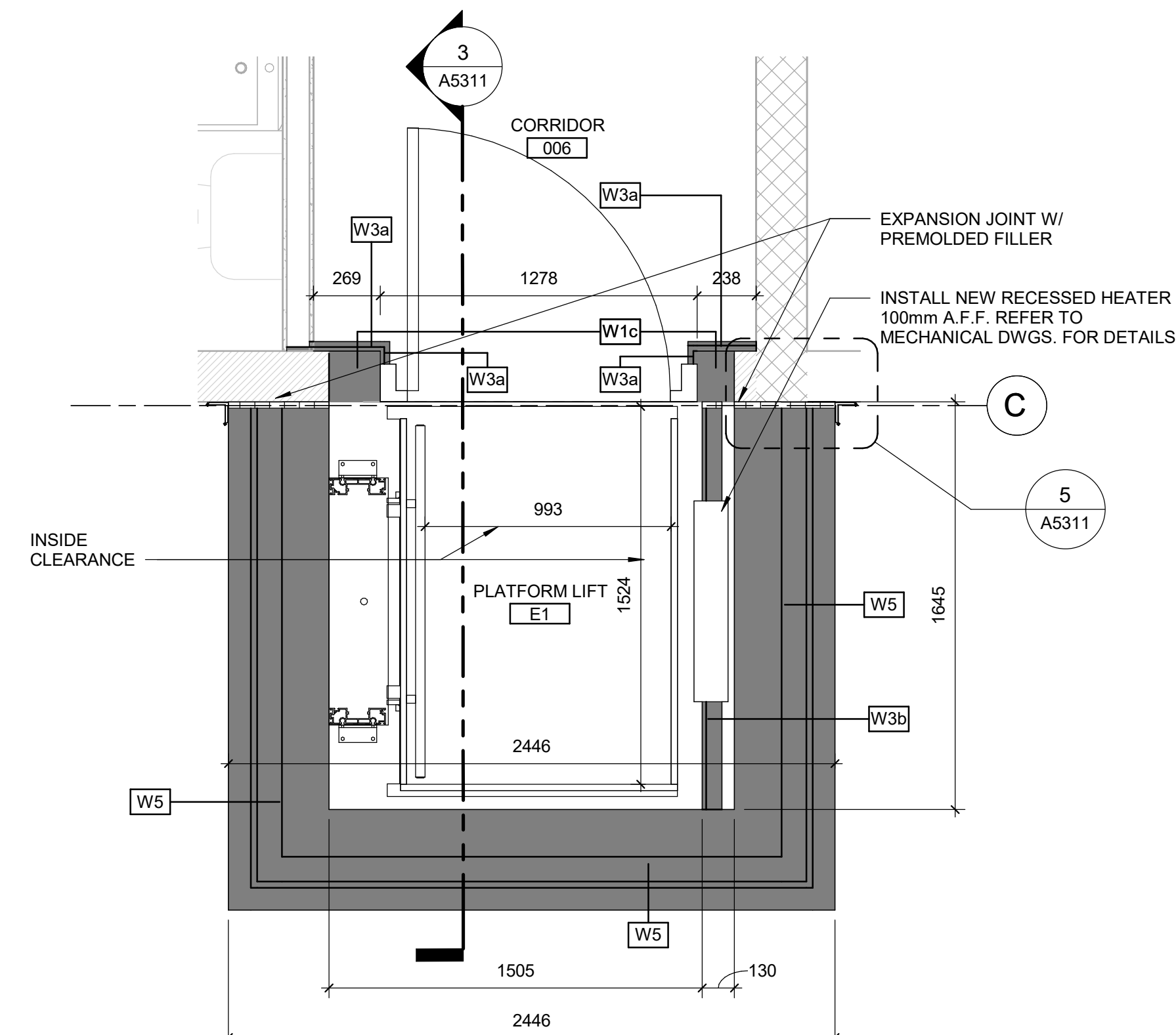
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G28-101-A5112

ISSUE

C





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 **Toronto**

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Project Management Office
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M5V 3C6

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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01
D	ISSUED FOR PERMIT REV 1 / ADDENDUM #3	2023-01-24

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PRIME CONSULTANT

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PROJECT TITLE	CITY OF TORONTO ACCESSIBILITY UPGRADES
---------------	---

PROJECT ADDRESS

SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

PROJECT NO: 9119-19-0162 / IBI 122260
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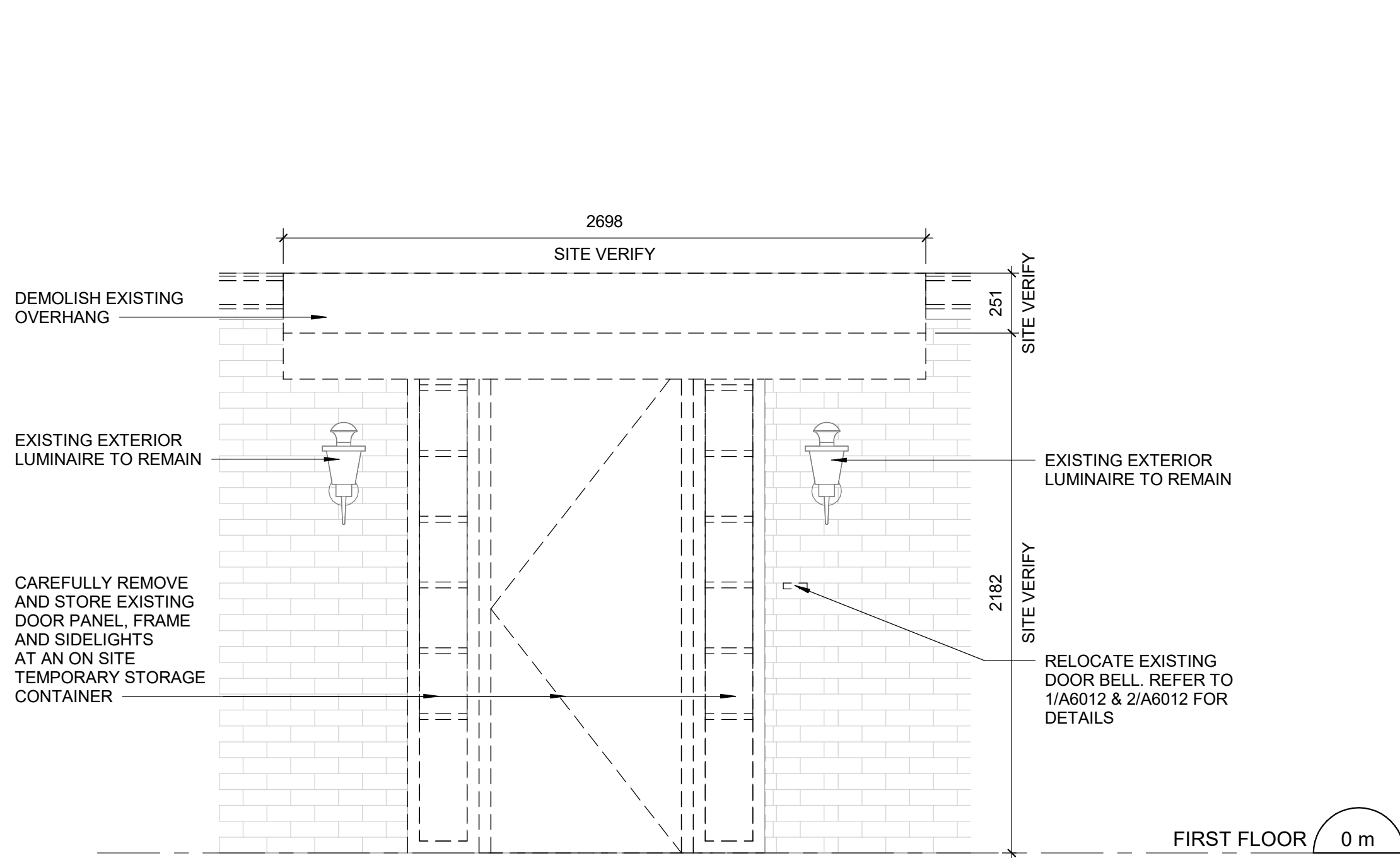
DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
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PROJECT MGR: E. BOLOURIAN	APPROVED BY: E. FENUTA
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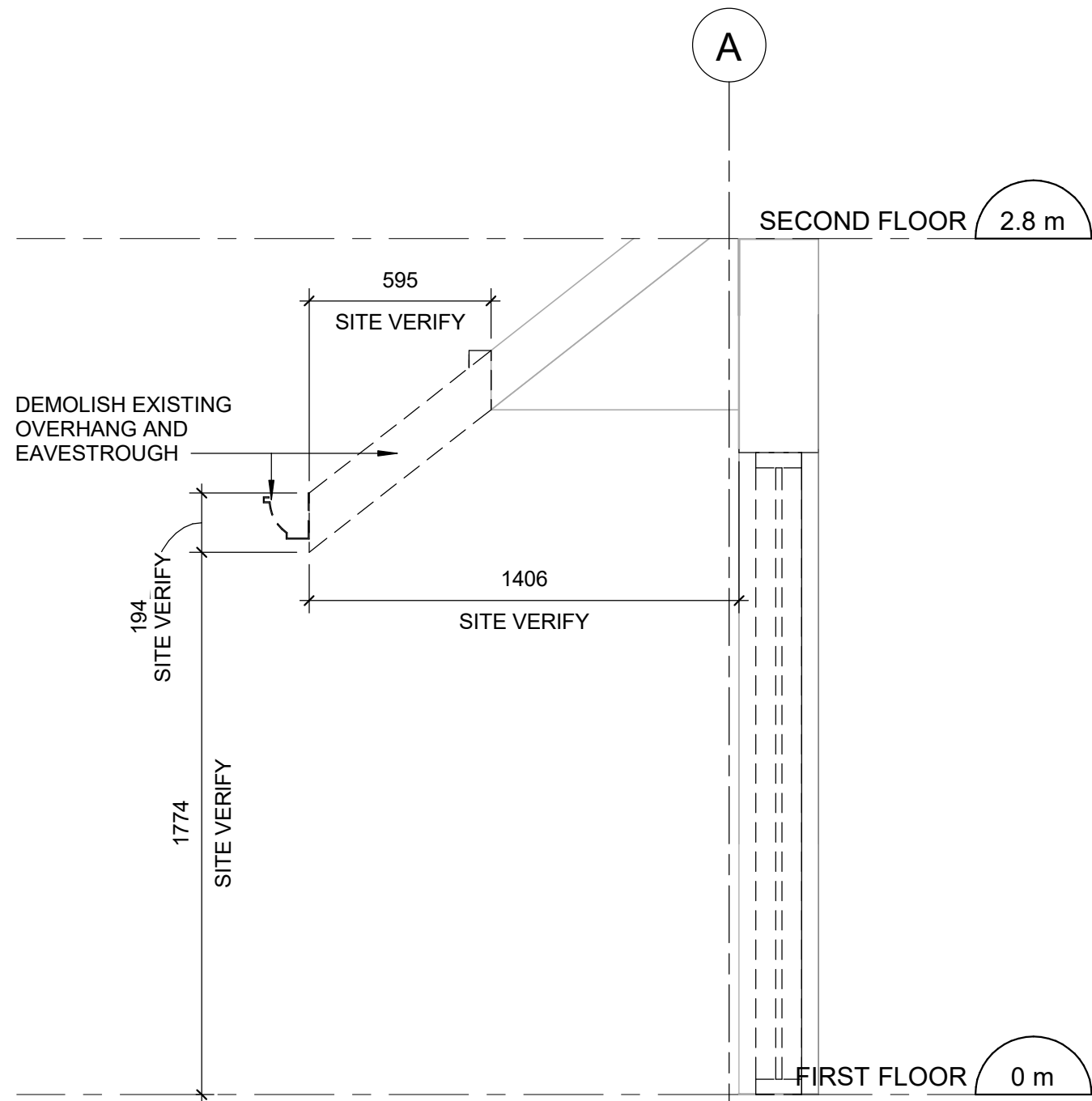
F. BOLOURIAN	E. FENOTA
SHEET TITLE	

SHEET NUMBER	ISSUE
G28-101-A5311	D

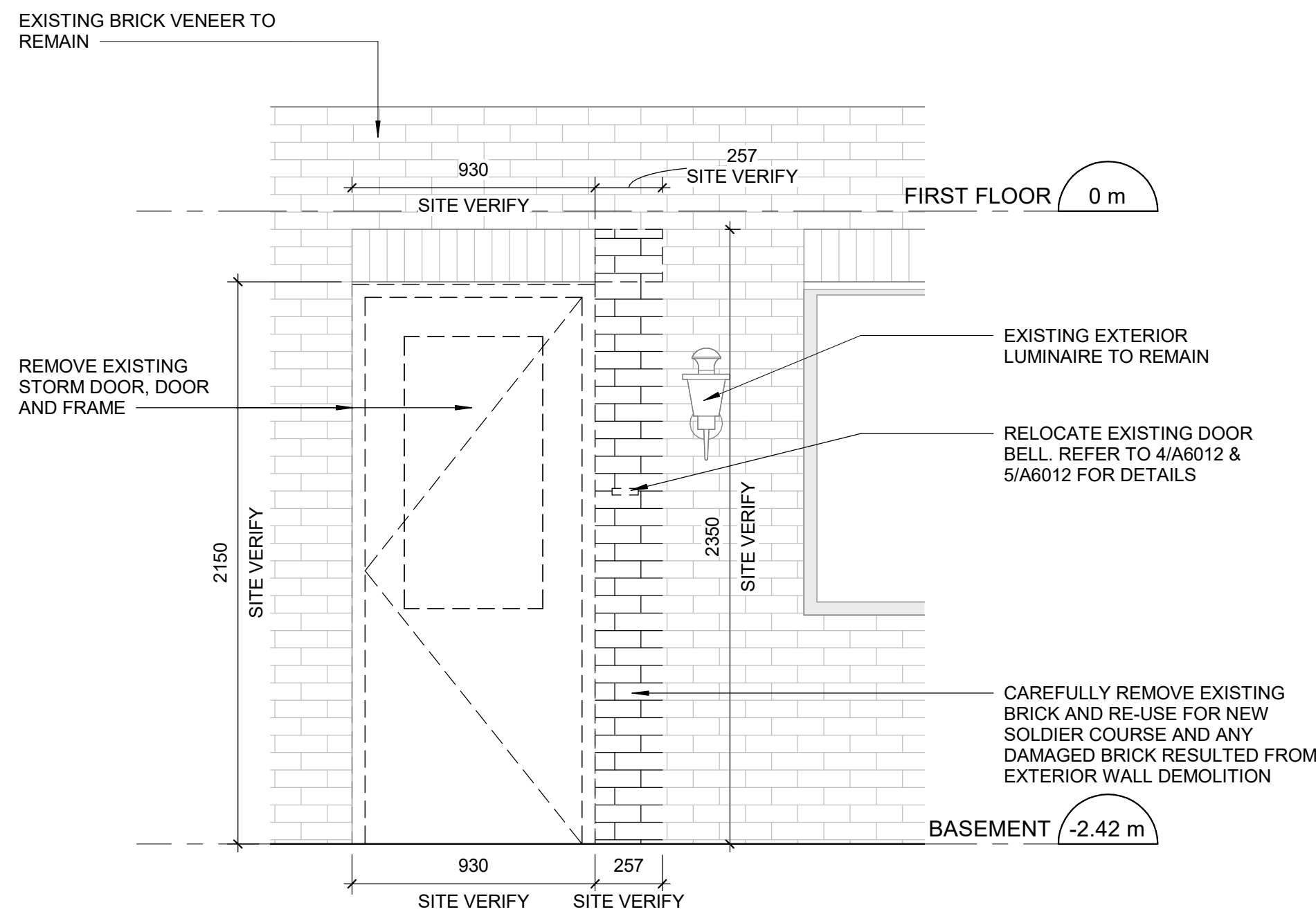
ISSUE
D



1 EXTERIOR VESTIBULE DOOR - DEMOLITION ELEVATION
A6011 Scale: 1 : 20



3 OVERHANG SIDE VIEW - DEMOLITION ELEVATION
A6011 Scale: 1 : 20



2 BASEMENT EXTERIOR ENTRY DOOR - DEMOLITION ELEVATION
A6011 Scale: 1 : 20

ISSUES		
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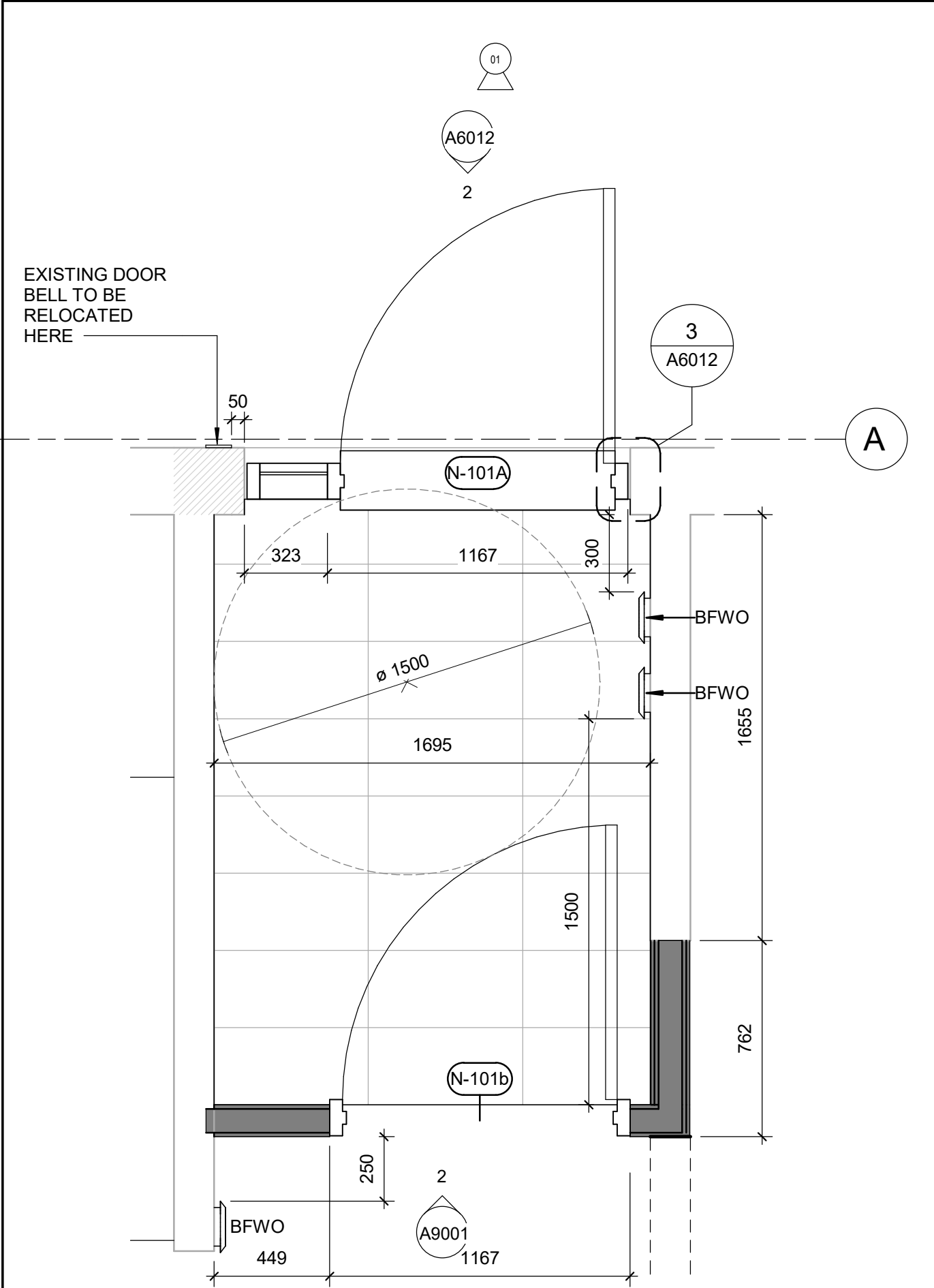
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.**

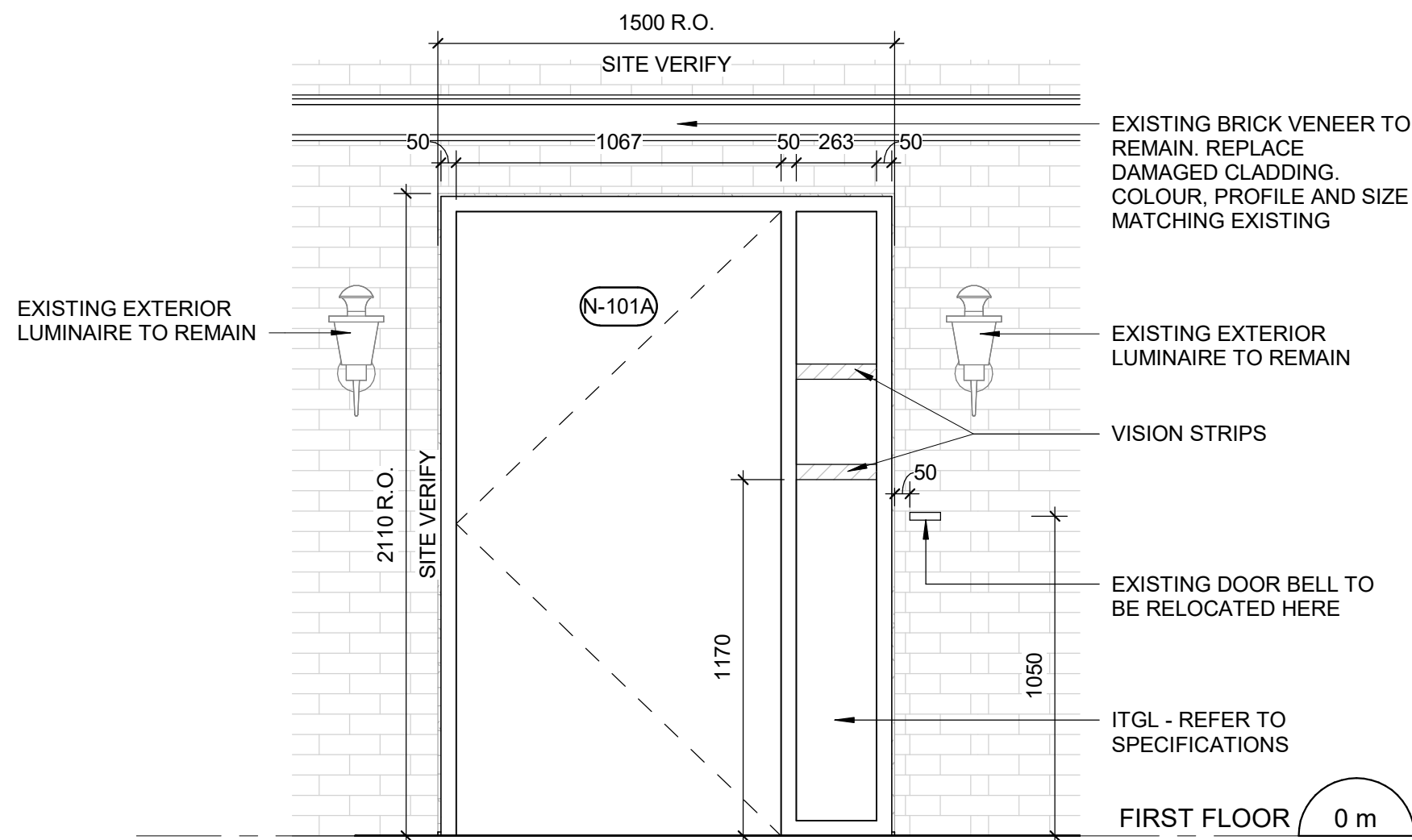
PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
CHECKED BY:
K. TILAHUN
PROJECT MGR:
F. BOLOURIAN
APPROVED BY:
E. FENUTA

SHEET TITLE
**BUILDING ENTRANCE -
DEMOLITION
ELEVATIONS**

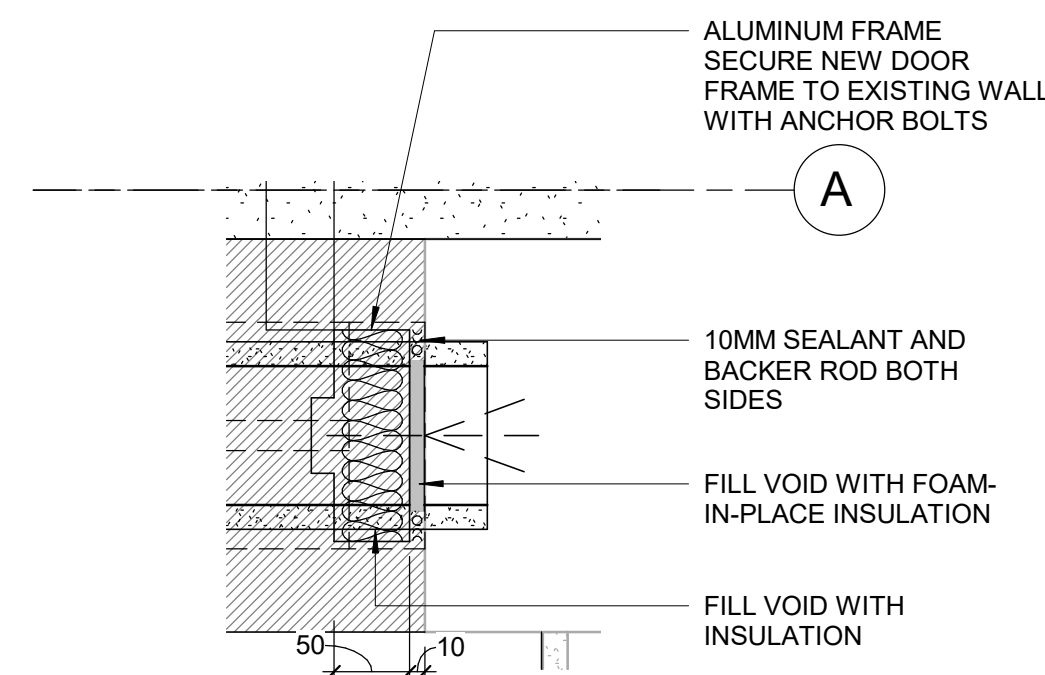
SHEET NUMBER
G28-101-A6011
ISSUE
C



1 FIRST FLOOR - VESTIBULE PLAN
A6012 Scale: 1 : 20



2 EXTERIOR VESTIBULE DOOR - PROPOSED ELEVATION
A6012 Scale: 1 : 20



3 TYP. DOOR DETAIL AND FRAME
A6012 Scale: 1 : 5

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION REFER TO PARTITION SCHEDULE
- NEW DOOR AND/ OR NEW HARDWARE

EXISTING BRICK VENEER TO REMAIN. REPLACE DAMAGED CLADDING. COLOUR, PROFILE AND SIZE MATCHING EXISTING

EXISTING EXTERIOR LUMINAIRE TO REMAIN

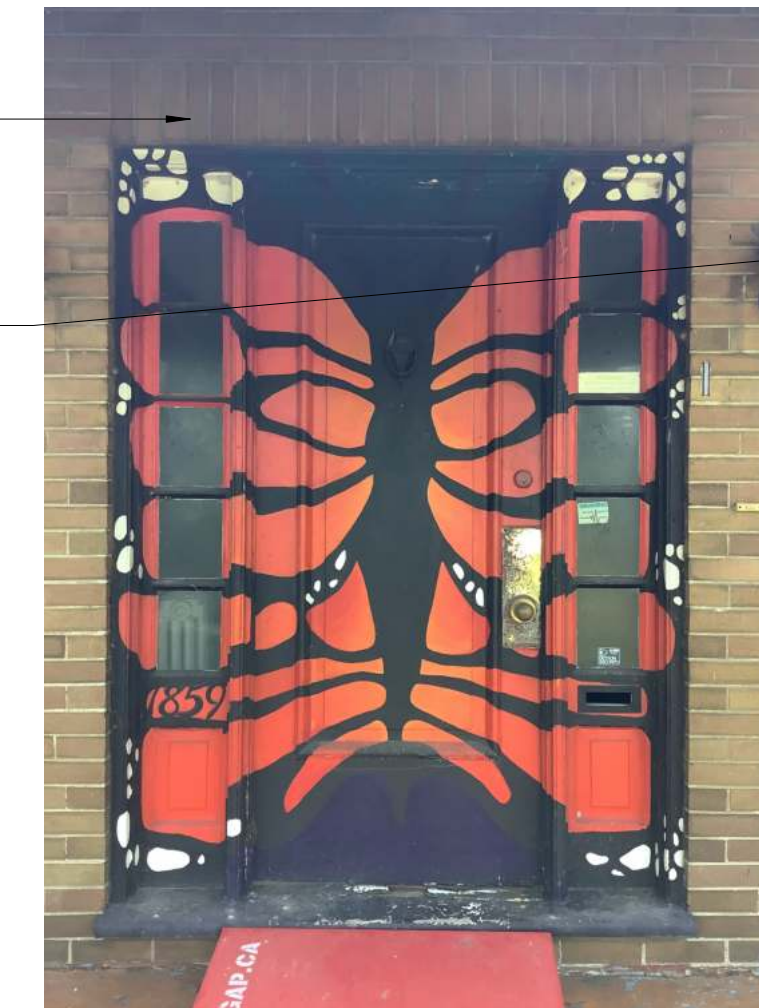
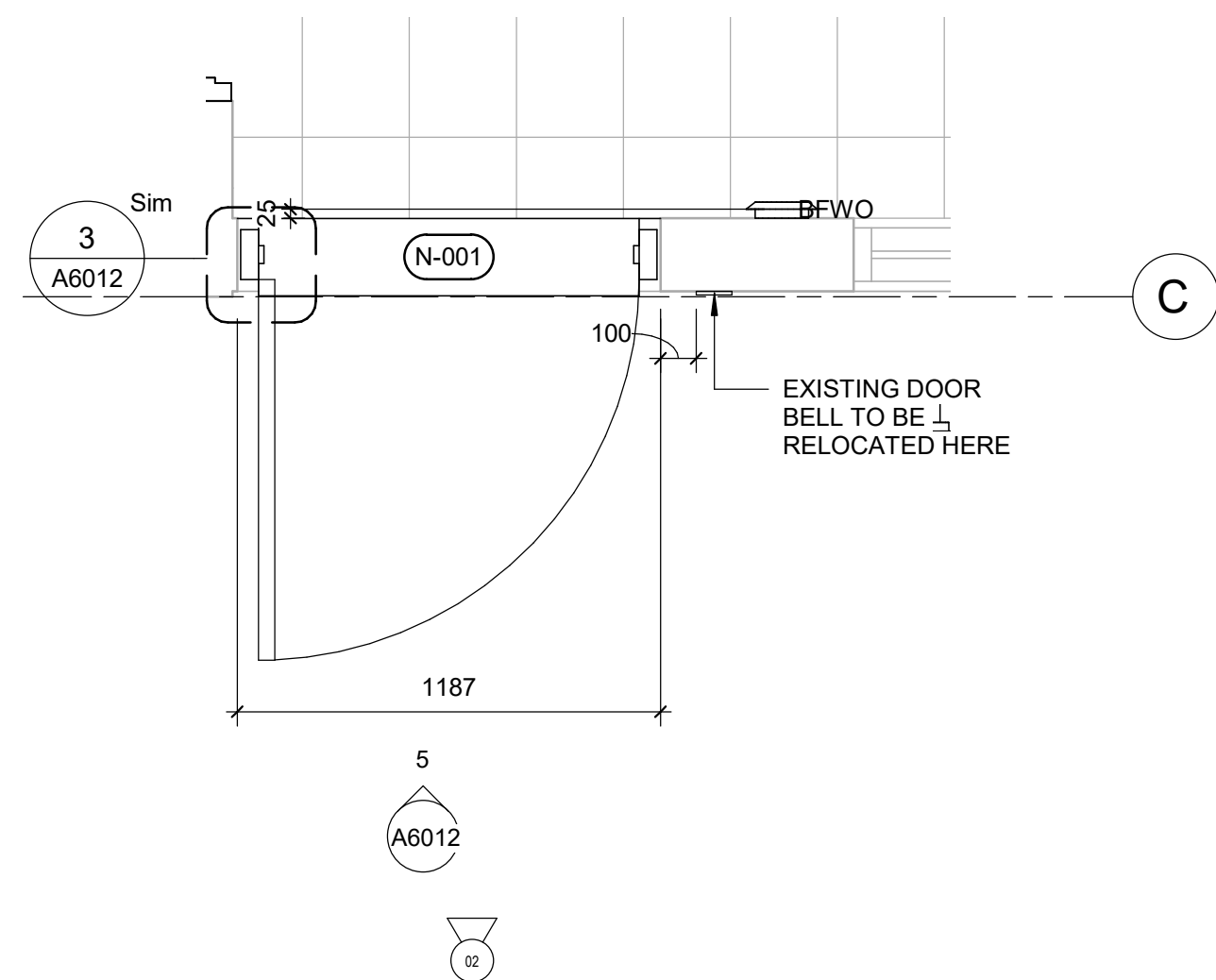
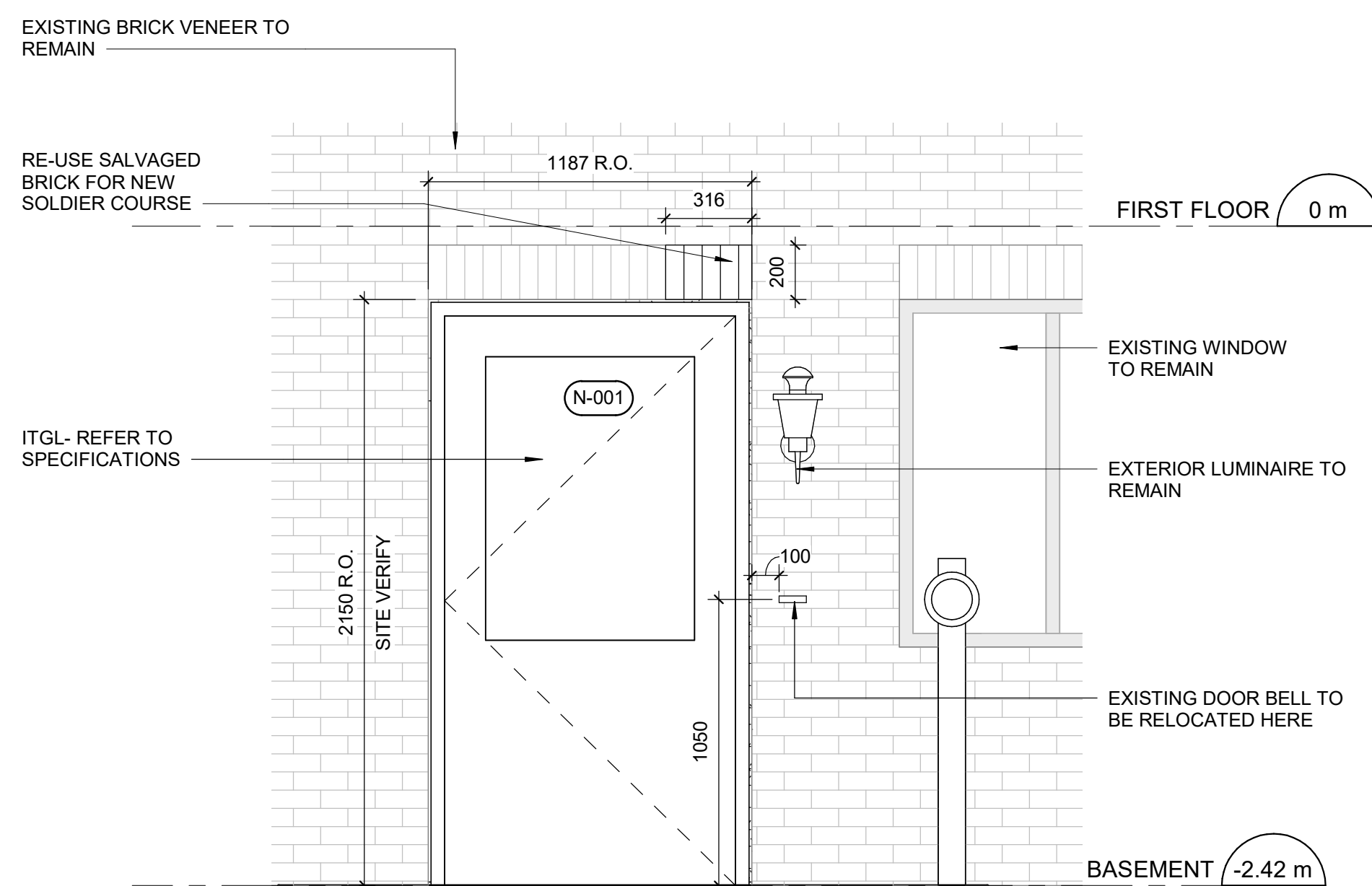


PHOTO 01 - EXTERIOR MAIN ENTRY



4 BASEMENT - ENTRANCE DOOR PLAN
A6012 Scale: 1 : 20



5 EXTERIOR ENTRY DOOR - PROPOSED ELEVATION
A6012 Scale: 1 : 20

257mm X 2350mm OF EXISTING BRICK VENEER TO BE REMOVED

EXISTING EXTERIOR LUMINAIRE TO REMAIN

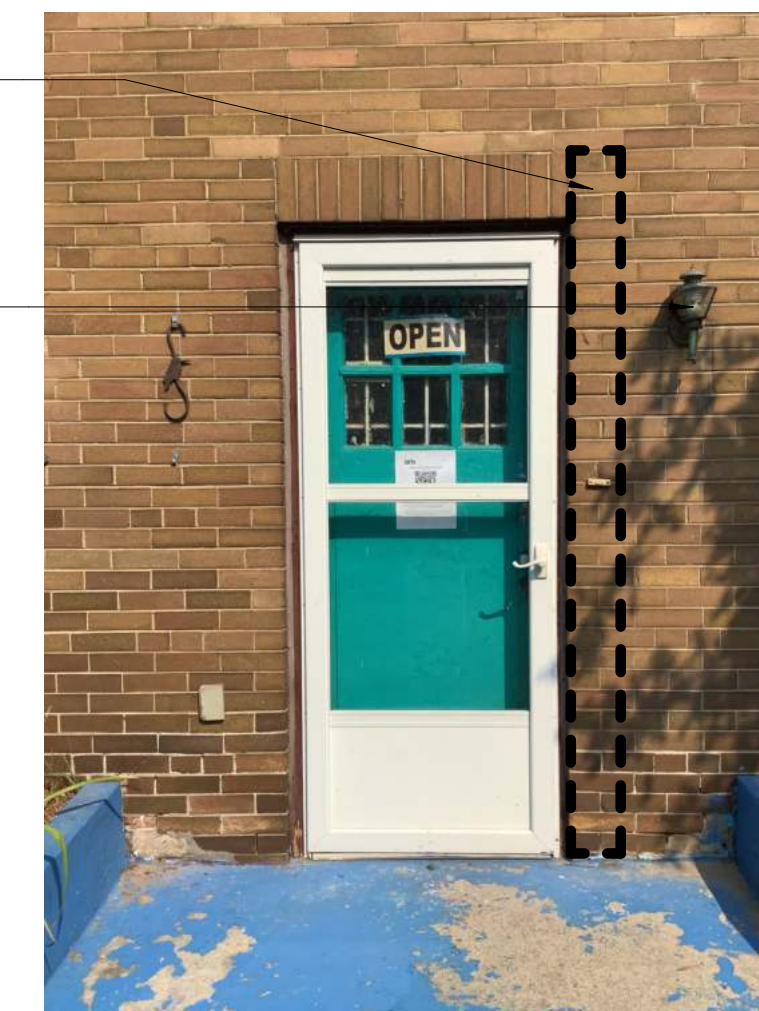
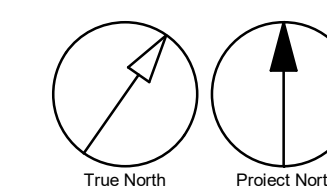


PHOTO 02 - EXTERIOR ENTRY



True North
Project North

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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PRIME CONSULTANT

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ibigroup.com

PROJECT TITLE

**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**SCARBOROUGH ARTS
COUNCIL**
1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUITA

SHEET TITLE

**BUILDING ENTRANCE -
PROPOSED PLANS &
ELEVATIONS**

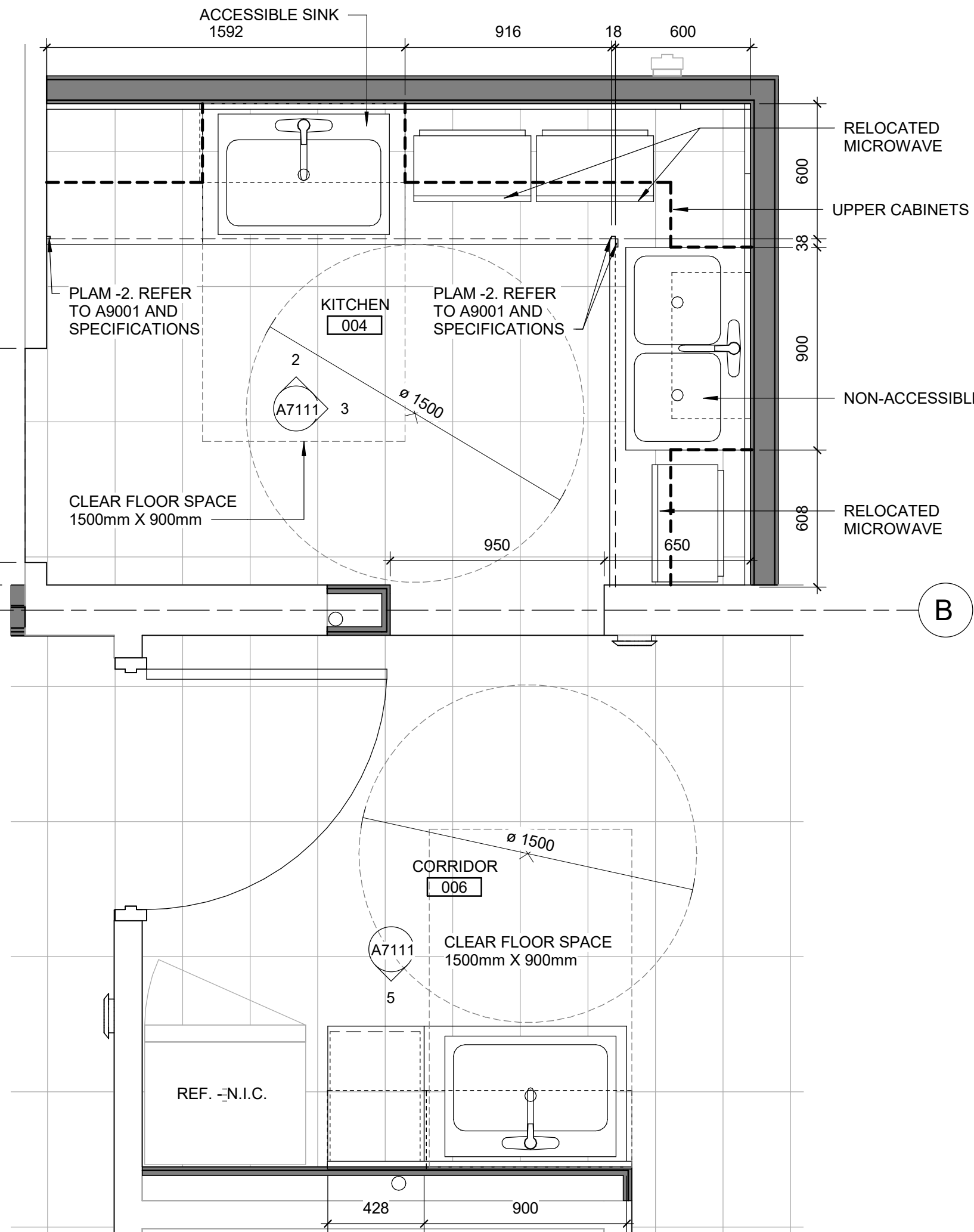
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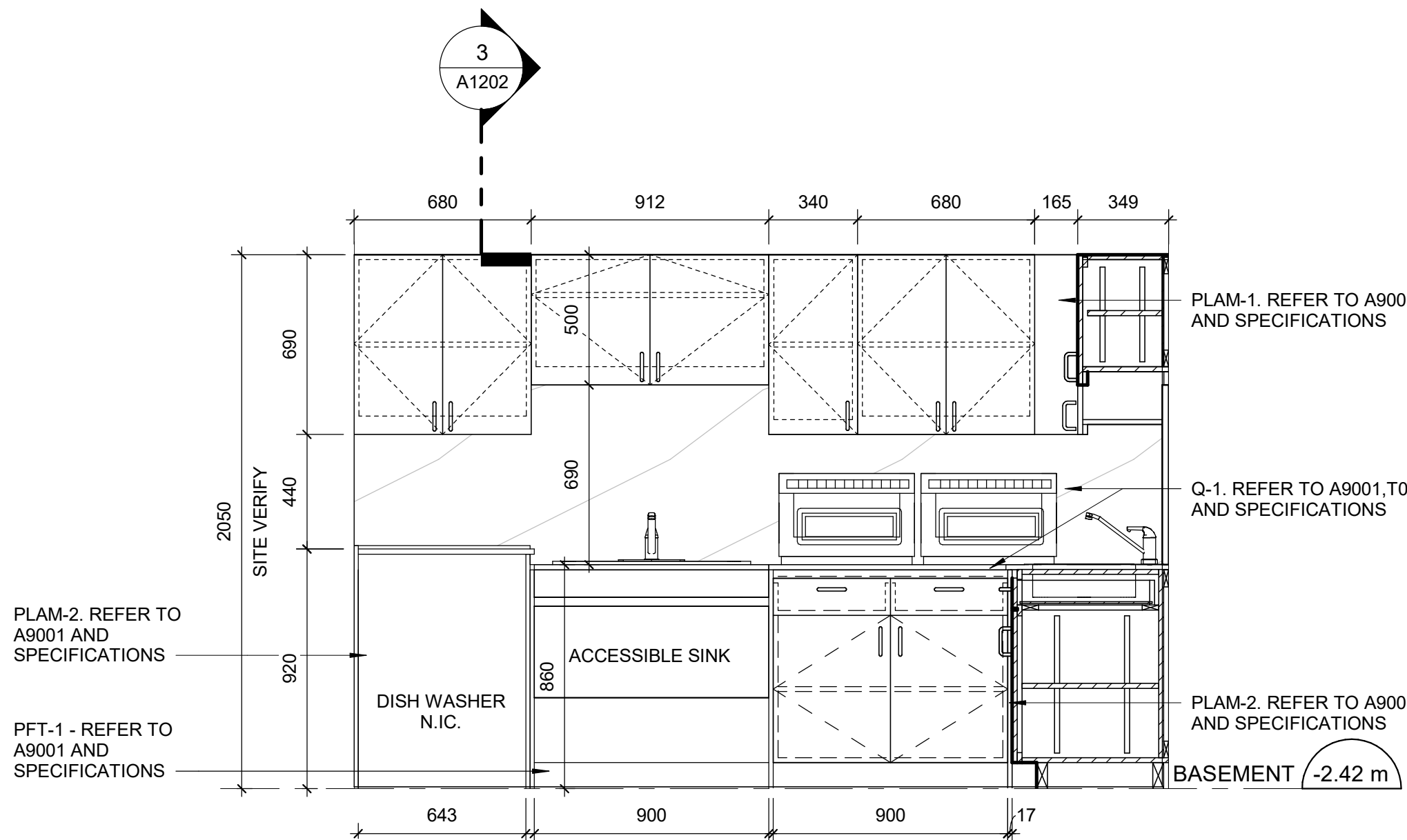
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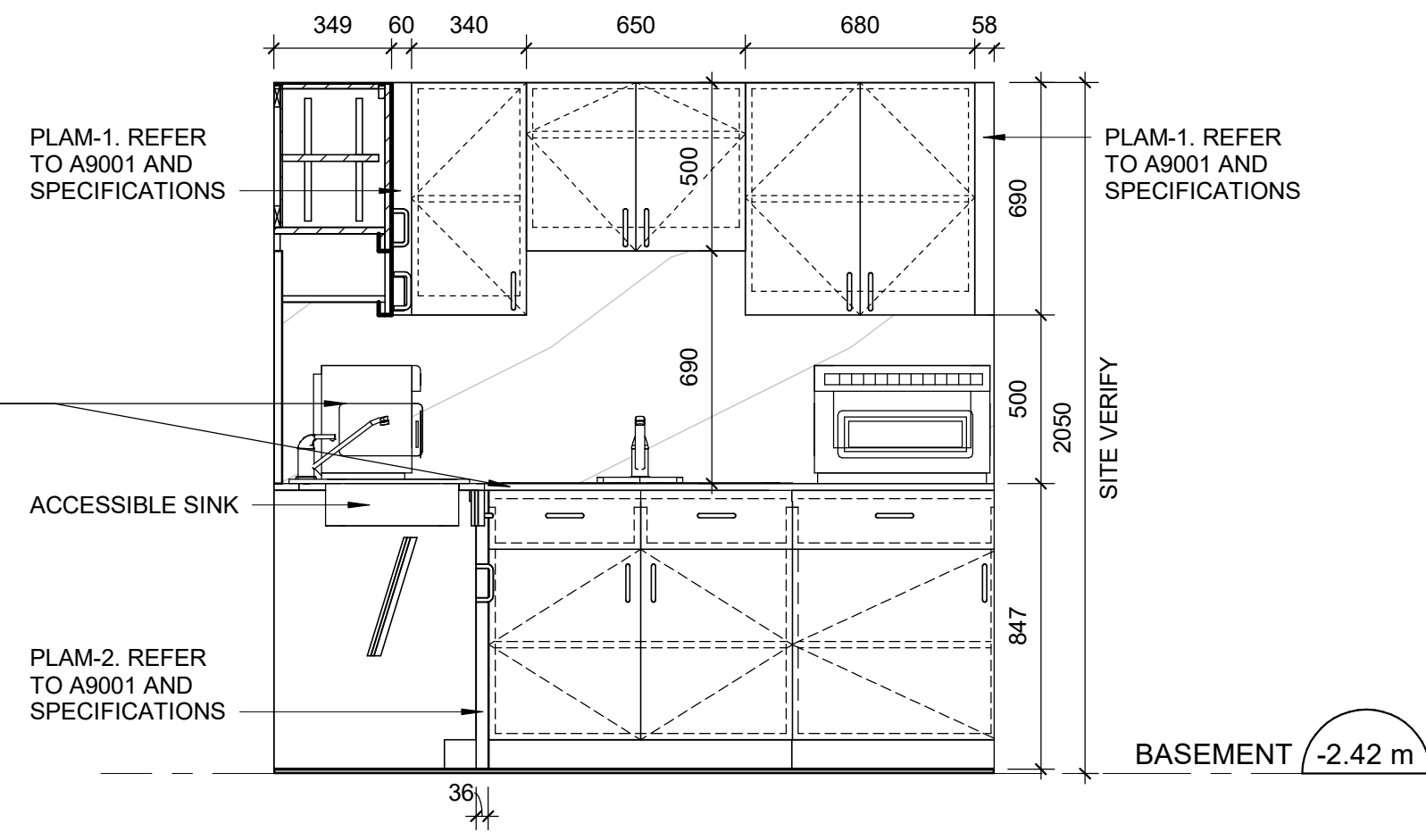
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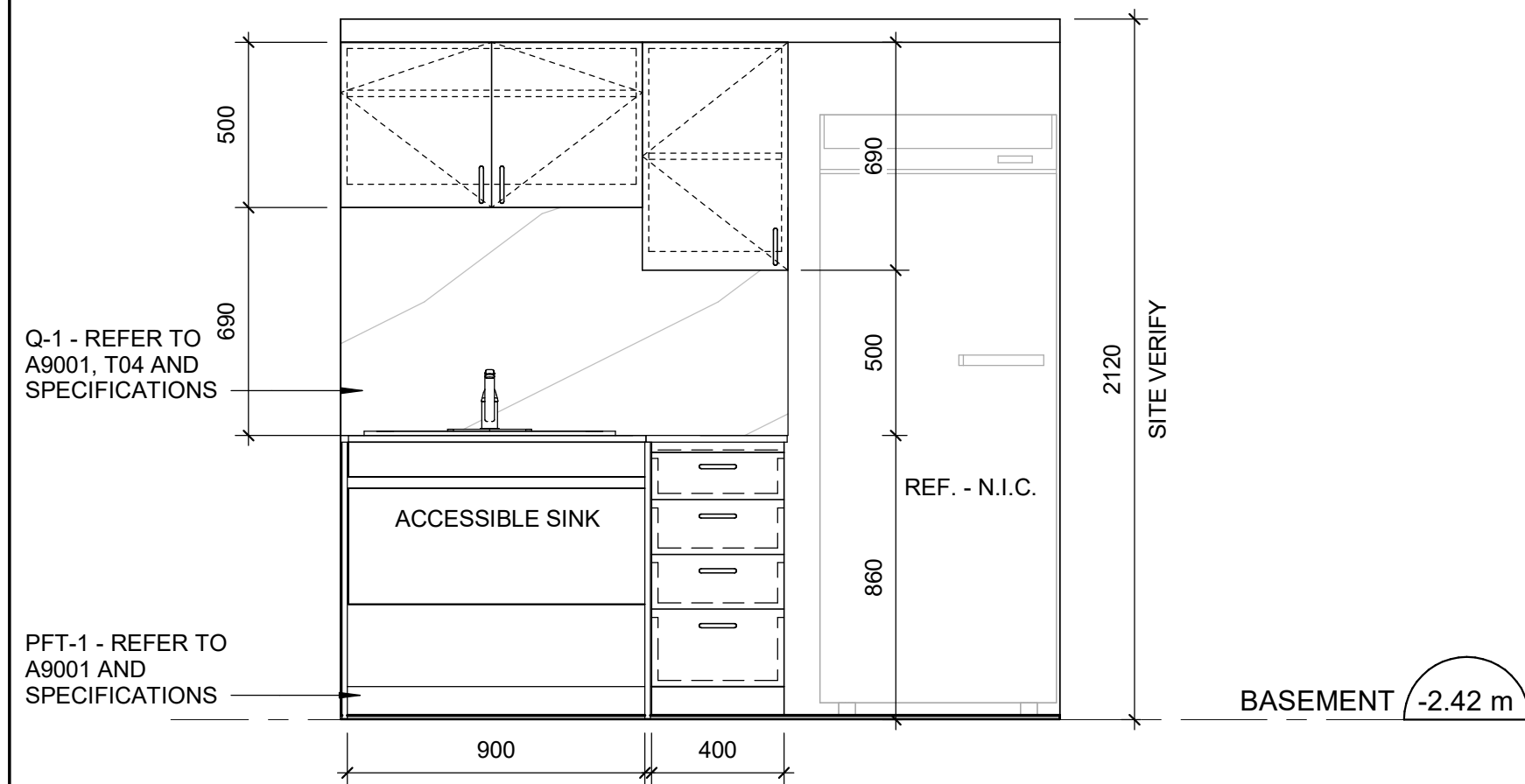
1 BASEMENT KITCHENETTS - PLAN
A7111 Scale: 1 : 20



2 BASEMENT KITCHENETTE 01 - NORTH ELEVATION
A7111 Scale: 1 : 20



3 BASEMENT KITCHENETTE 01 - EAST ELEVATION
A7111 Scale: 1 : 20



5 BASEMENT KITCHENETTE 02 - SOUTH ELEVATION
A7111 Scale: 1 : 20

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
REFER TO PARTITION SCHEDULE
- NEW DOOR AND/ OR
NEW HARDWARE

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C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

SEAL

PRIME CONSULTANT

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ibigroup.com

PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

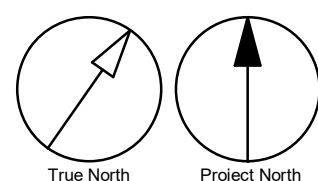
SHEET TITLE
BASEMENT
KITCHENETTES - PLANS
& ELEVATIONS

SHEET NUMBER

G28-101-A7111

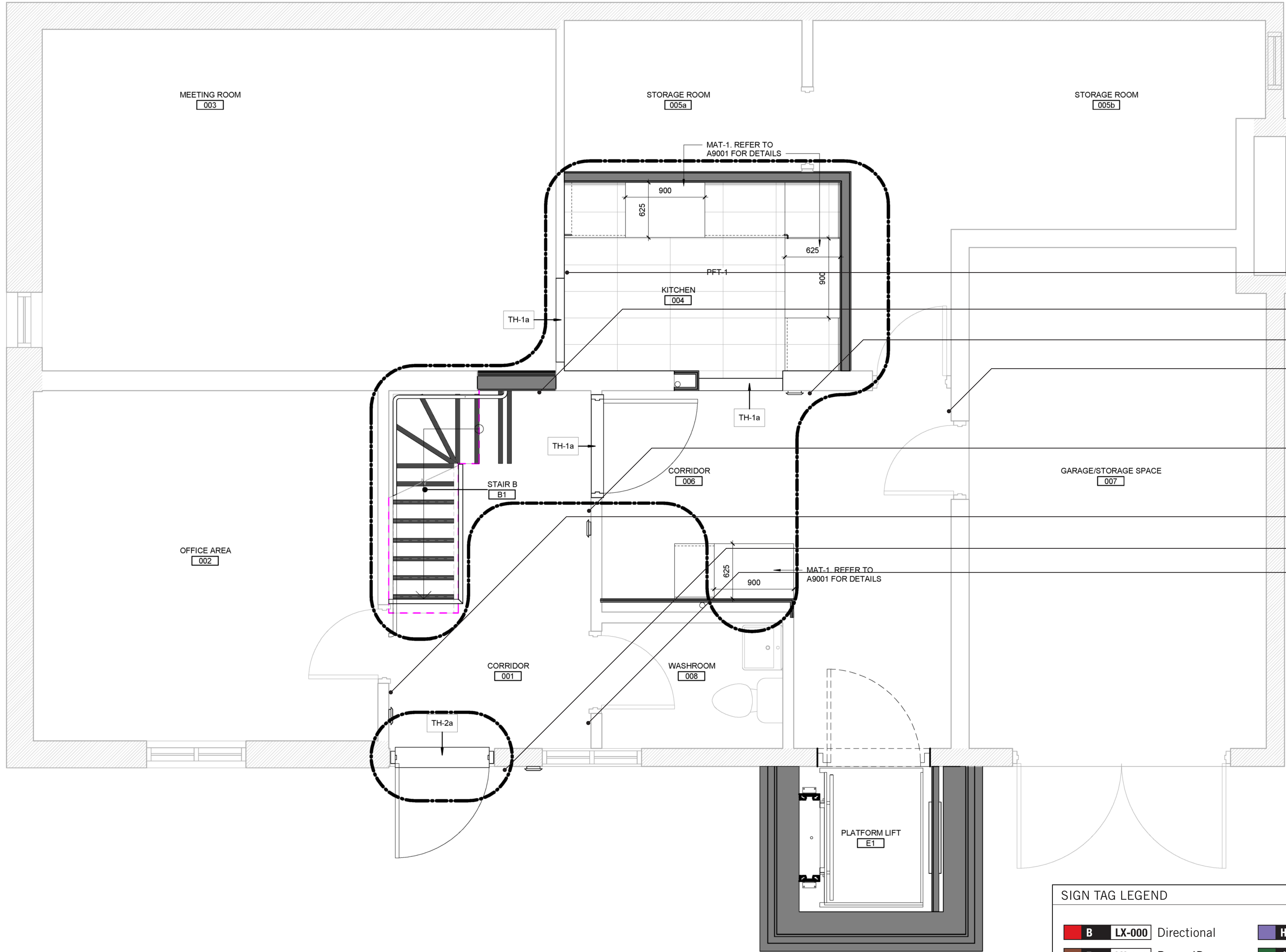
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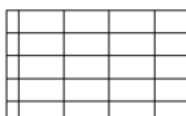


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Scale 1:25



FLOOR FINISHES LEGEND



VINYL COMPOSITE TILE



DASHED AREA INDICATES
AREA OF WORK

FLOOR FINISH GENERAL NOTES

- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- 2 CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
- 3 CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
- 4 CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- 5 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- 6 PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
- 7 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- 8 WHERE STONE FLOORING MEETS ELEVATOR DOORS, BEVEL STONE DOWN TO SUIT TRANSITION BETWEEN NEW STONE FLOOR AND EXISTING ELEVATOR CAB FLOOR. PROVIDE SHOP DRAWINGS OF BEVEL/REDUCING STRIP FOR APPROVAL BY CONSULTANT.
- 9 MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

E2.1-WN B-001

S1.2-WN B-002

E2.1-WN B-003

E2.1-WN B-004

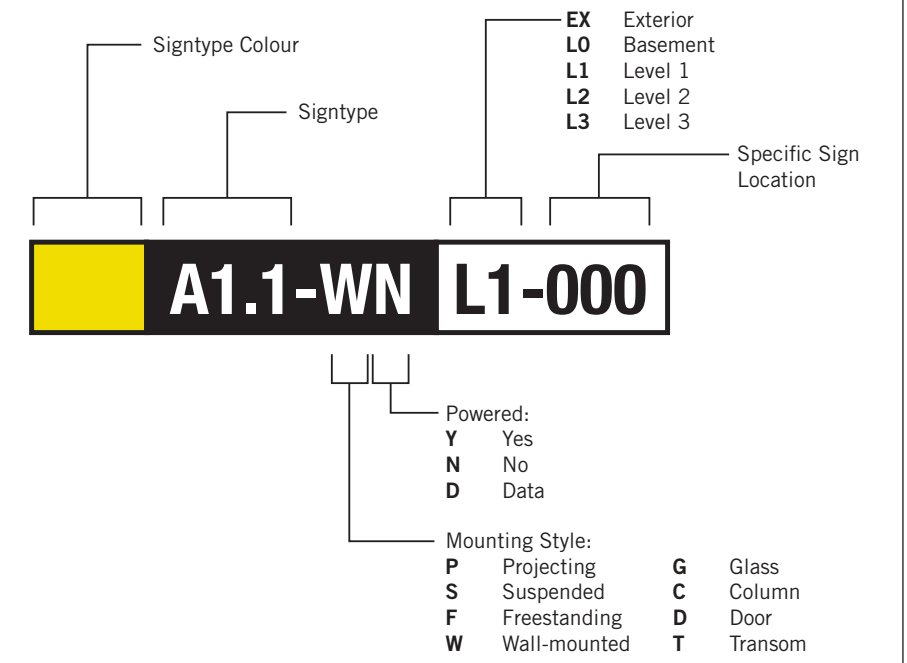
E2.1-WN B-005

E4.1-WN B-006

J4.2-WN B-007

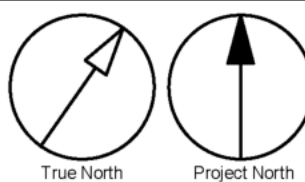
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SIGN TAG LEGEND



SIGN TAG LEGEND

- | | | |
|-----------------------------|--------------------------|---------------------------------|
| B LX-000 Directional | H LX-000 Amenity | G LX-000 Inside Stair ID |
| E LX-000 Room ID | J LX-000 Entrance | S LX-000 Stair ID |



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C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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PRIME CONSULTANT

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Tel 416 673 1830 fax 416 675 4620
ibi@ibi.com

PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
SCARBOROUGH ARTS COUNCIL
1859 KINGSTON ROAD

PROJECT NO:
9119 - 19 - 0162 / IBI 122260

DRAWN BY:
M.LOW

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
SIGNAGE & WAYFINDING
DETAILS
BASEMENT FLOOR LOCATION PLAN

SHEET NUMBER
G28-101-A8000

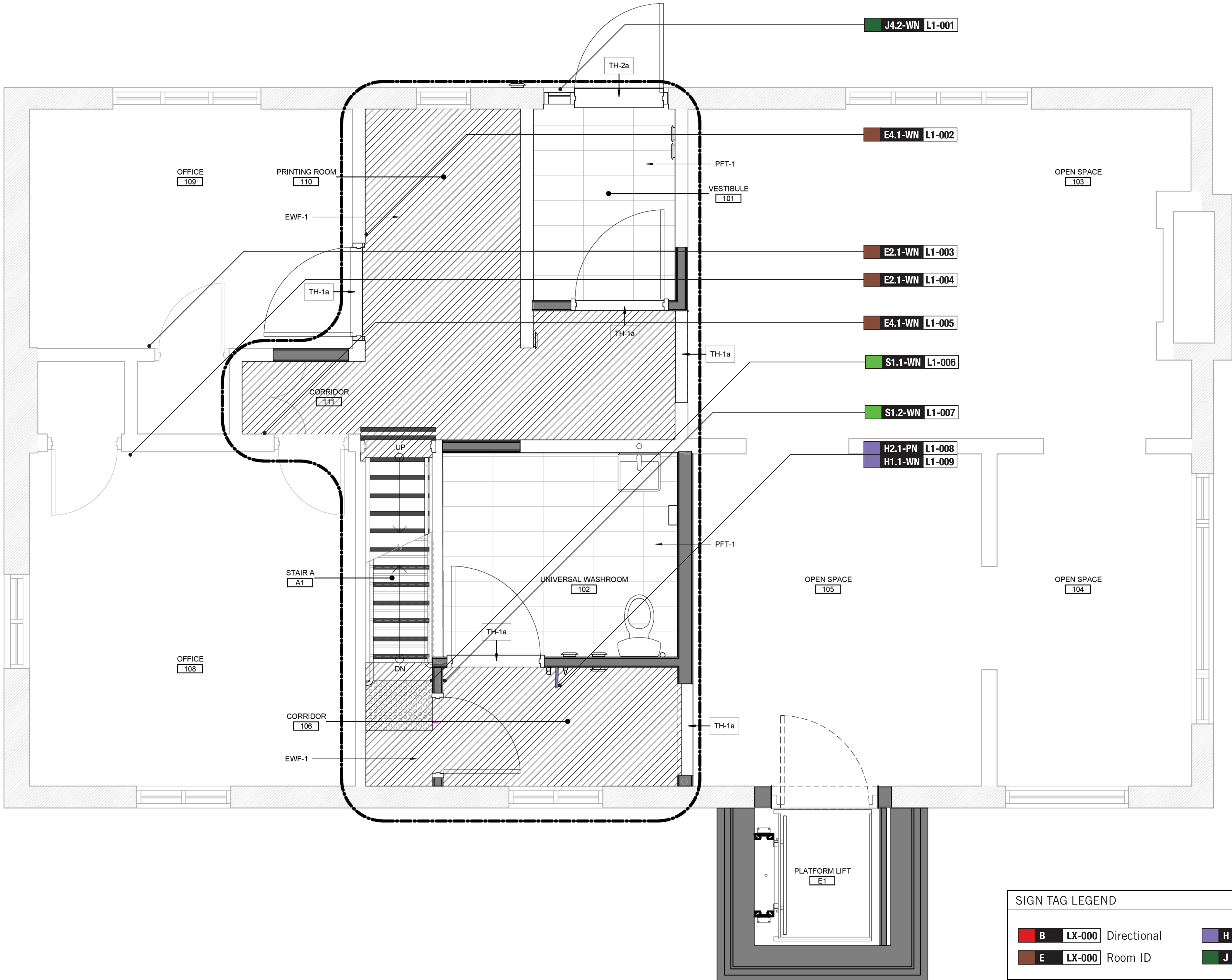
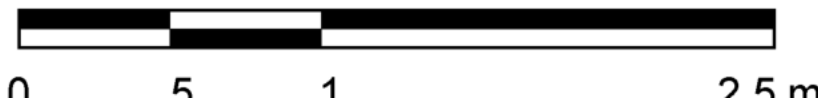
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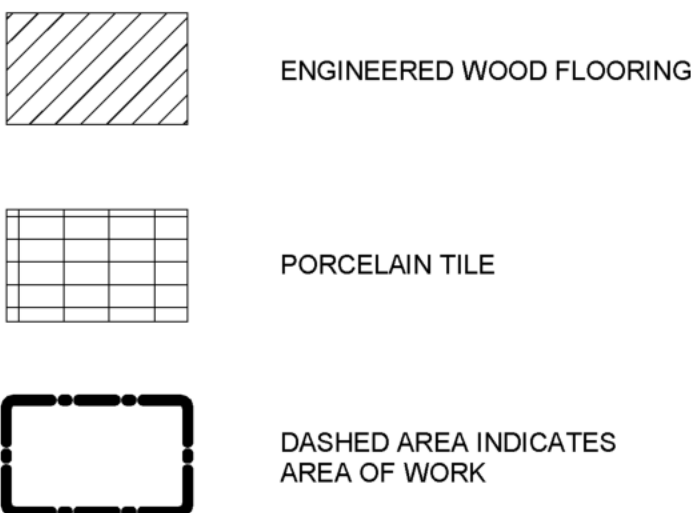
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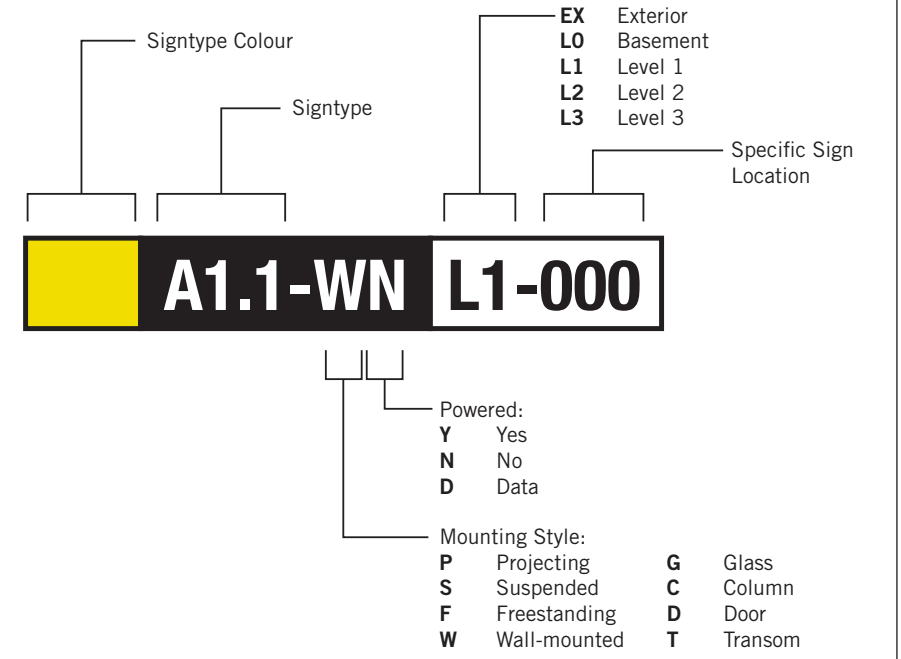
FLOOR FINISHES LEGEND



FLOOR FINISH GENERAL NOTES

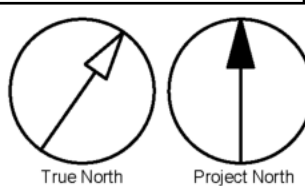
- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
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- 9 MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

SIGN TAG LEGEND



SIGN TAG LEGEND

- | | | |
|------------------------------------|---------------------------------|--|
| B LX-000 Directional | H LX-000 Amenity | G LX-000 Inside Stair ID |
| E LX-000 Room ID | J LX-000 Entrance | S LX-000 Stair ID |



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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**SCARBOROUGH ARTS COUNCIL
1859 KINGSTON ROAD**

PROJECT NO:
9119 - 19 - 0162 / IBI 122260

DRAWN BY:
M. LOW

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
**SIGNAGE & WAYFINDING
DETAILS
FIRST FLOOR LOCATION PLAN**

SHEET NUMBER
G28-101-A8010

ISSUE
D

C:\Users\ana.bonnyan\Desktop\TAU-031-100 QUEEN ST WEST - CITY HALL.rvt 1/26mm

021-11-09 3:58:23 PM



CONSTRUCTION GENERAL NOTES

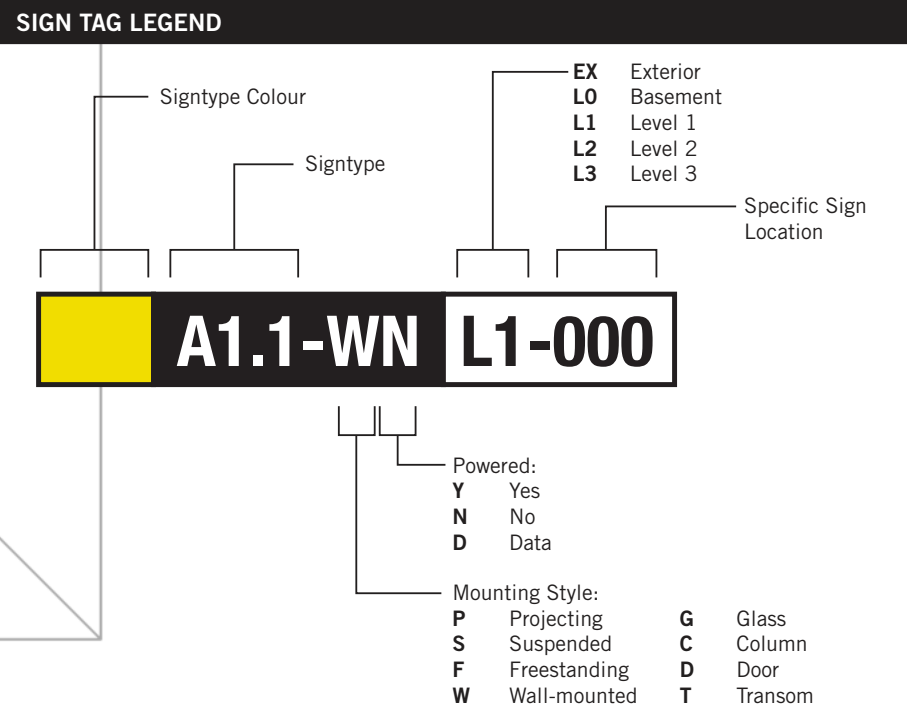
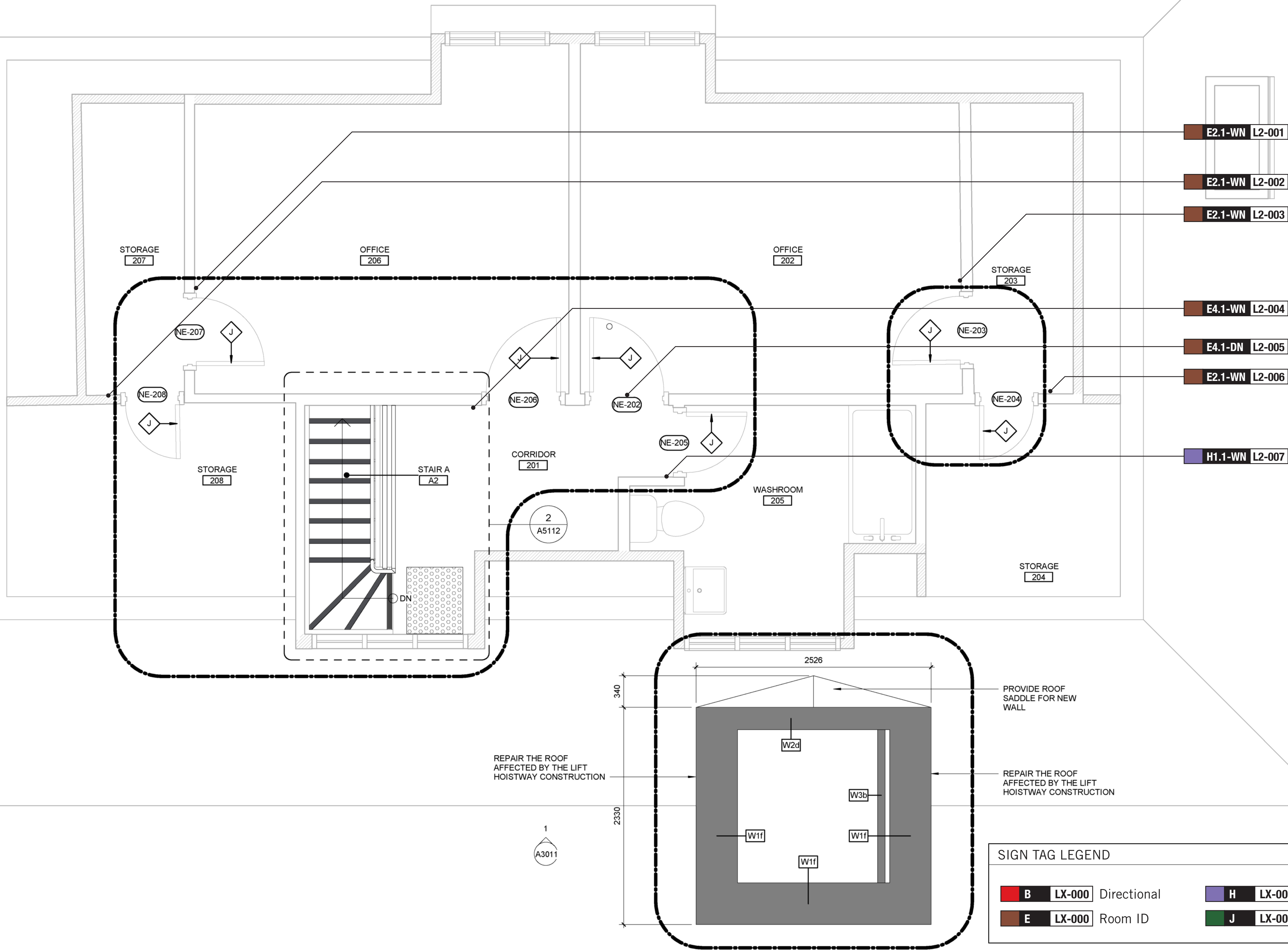
- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL
REFER TO WALL SCHEDULE
- NEW PARTITION
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR
NEW HARDWARE
- DASHED AREA INDICATES
AREA OF WORK

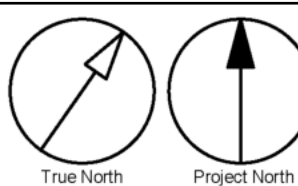
CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



SIGN TAG LEGEND

- | | | |
|-----------------------------|--------------------------|---------------------------------|
| B LX-000 Directional | H LX-000 Amenity | G LX-000 Inside Stair ID |
| E LX-000 Room ID | J LX-000 Entrance | S LX-000 Stair ID |



CLIENT

CITY OF TORONTO



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TORONTO, ON
M5V 3C6

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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1859 KINGSTON ROAD

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PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING
DETAILS
SECOND FLOOR LOCATION PLAN

SHEET NUMBER

G28-101-A8020

ISSUE

D

KEYPLAN

B


L1

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A		SIDE B	
				MESSAGE (English)		MESSAGE (English)	
E2.1	B	001	Room ID	Meeting Room Braille			
S1.2	B	002	Stair ID - Corridor Side	[stair picto] Floor B Braille Stairwell B B1 Braille			
E2.1	B	003	Room ID	Kitchen Braille			
E2.1	B	004	Room ID	Garage Braille			
E2.1	B	005	Room ID	Kitchen Braille			
E4	B	006	Insert Holder				
J4.2	B	007	Accessible Entrance ID - Exterior	[accessible picto] Entrance Braille			
H1.1	B	008	Amenity ID	[universal accessible washroom picto] Washroom Braille			
J4.2	L1	001	Accessible Entrance ID - Exterior	[accessible picto] Entrance Braille			
E4	L1	002	Insert Holder				
E2.1	L1	003	Room ID	Storage Braille			
E2.1	L1	004	Room ID	Storage Braille			
E4	L1	005	Insert Holder				
S1.1	L1	006	Stair ID - Inside Stairwell	[stair picto] Floor 1 Braille Stairwell A A1 Braille			
S1.2	L1	007	Stair ID - Corridor Side	[stair picto] Floor 1 Braille Stairwell A A1 Braille			
H2.1	L1	008	Projecting Amenity ID	[universal accessible washroom picto] Washroom		[universal accessible washroom picto] Washroom	
H1.1	L1	009	Amenity ID	[universal accessible washroom picto] Washroom Braille			

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	10
E2.2	Line Room ID	0
E4	Insert Holder	5
H1.1	Amenity ID	3
H2.1	Projecting Amenity ID	0
J4.2	Accessible Entrance ID - Exterior	2
S1.1	Stair ID - Inside Stairwell	1
S1.2	Stair ID - Corridor Side	2
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		23

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C.D. SCHNOBB

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R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER

G28-101-A8100

ISSUE

D

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Scale Check

1 of 1


KEYPLAN

L2

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
E2.1	L2	001	Room ID	[stair picto] Floor 1 Braille Stairwell A 116 Braille	
E2.1	L2	002	Room ID	Storage Braille	
E2.1	L2	003	Room ID	Storage Braille	
E4	L2	004	Insert Holder		
E4	L2	005	Insert Holder		
E2.1	L2	006	Room ID	Storage Braille	
H1.1	L2	007	Amenity ID	[universal accessible washroom picto] Washroom Braille	

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SHEET TITLE

SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER

ISSUE

G28-101-A8101

D

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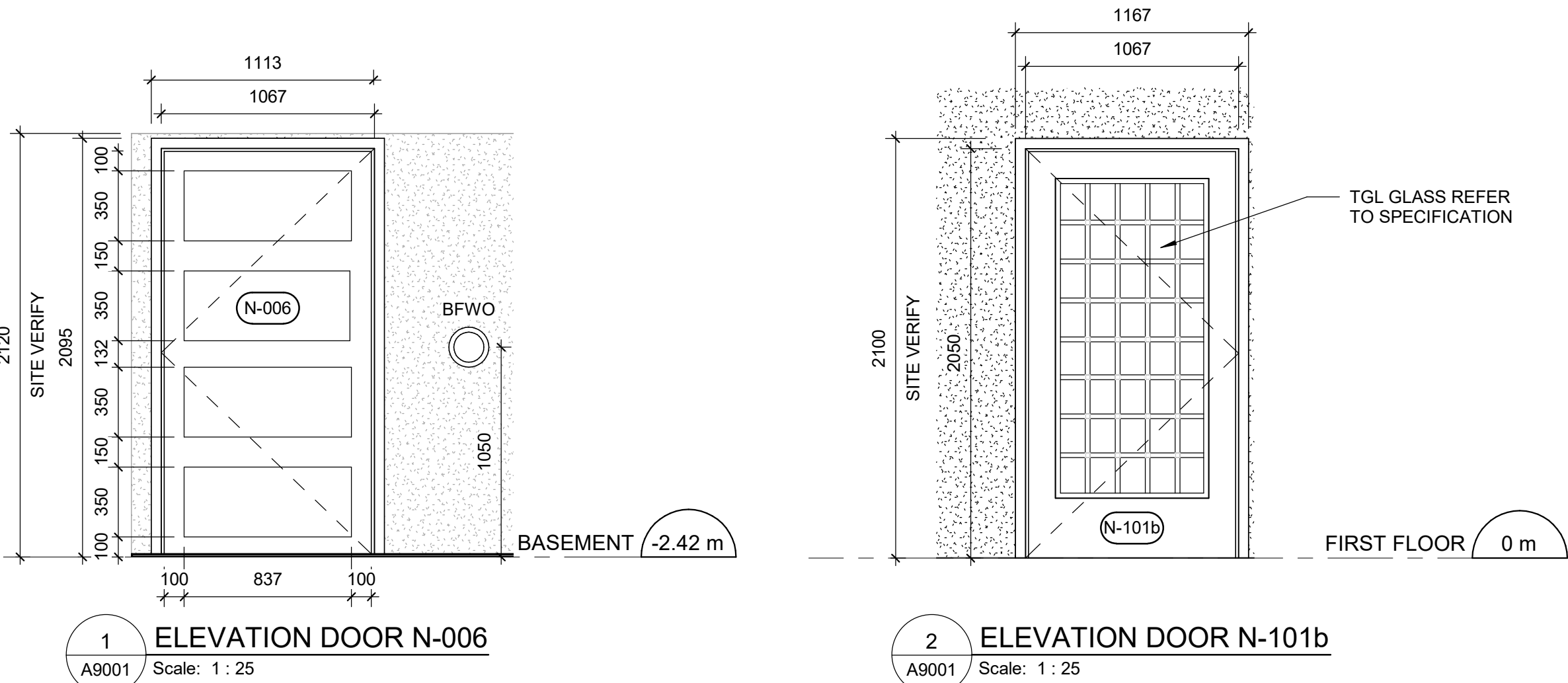
1 of 1

SCALE CHECK

DOOR SCHEDULE															
DOOR NO.	LOCATION	DOOR			PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS	
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/ BFAO			PANIC DEVICE
BASEMENT															
N-001	CORRIDOR	C	1067	2090	45	HM	PT-3	ITGL	HM	PT-3	<-->	BFPB/BFWO	<-->	<-->	<-->
N-002	CORRIDOR	A(L)	1067	2045	45	WD	STN	<-->	WD	STN		BFPB		<-->	
N-003	STAIR B	A	450	1219	45	SCWD	PT-3	<-->	HM	PT-3				NA	REFER TO DOOR ELEVATION 2/A2410
N-006	CORRIDOR	A*	1067	2045	45	WD	STN	<-->	WD	STN	<-->	BFWO	<-->	<-->	REFER TO ELEVATION DOOR N-006
NE-002	OFFICE AREA	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<-->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-005	STORAGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<-->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-007	GARAGE/STORAGE SPACE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<-->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-008	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	<-->	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
FIRST FLOOR															
N-101A	VESTIBULE	As	1067	2050	45	HM	PT-3	<-->	HM	PT-3	<-->	BFPB/BFWO	<-->	<-->	<-->
N-101b	VESTIBULE	E*	1067	2050	45	WD	STN	ITGL	WD	STN	<-->	BFWO	<-->	<-->	REFER TO ELEVATION DOOR N-101b
N-102	UNIVERSAL WASHROOM	A	1067	2050	45	WD	STN	<-->	WD	STN	<-->	BFWO	<-->	<-->	NO DOOR SWEEP
N-106	CORRIDOR	A	915	2040	45	WD	STN	<-->	WD	STN	<-->		<-->	<-->	
N-110	PRINTING ROOM	C	1067	2050	45	WD	STN	<-->	WD	STN	<-->		<-->	<-->	
NE-108a	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-108b	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-109	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
SECOND FLOOR															
NE-202	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-203	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-204	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-205	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-206	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-207	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-208	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE

ROOM FINISH SCHEDULE																	
ROOM NUMBER	ROOM NAME	FLOOR		BASE		NORTH		EAST		SOUTH		WEST		CEILING			
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT	
BASEMENT																	
001	CORRIDOR	EXIST	PFT-1	PFT-1	PFT-1	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2	EXIST	
003	MEETING ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, BRICK VENEER	PT-3	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
004	KITCHEN	EXIST	PFT-1	PFT-1	PFT-1	GWB	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GB	PT-2
005a	STORAGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
005b	STORAGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
006	CORRIDOR	EXIST	PFT-1	PFT-1	PFT-1	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
B1	STAIR B	EXIST	PAINT	EXIST	PAINT	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
FIRST FLOOR																	
101	VESTIBULE	EXIST	PFT-1	PFT-1	PFT-1	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GB	PT-2	2580	
102	UNIVERSAL WASHROOM	EXIST	PFT-1	CWT-4	CWT-4	EXIST, GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	GB	PT-2	2550
103	OPEN SPACE	EXIST	EXIST	EXIST, WOOD	PT-3	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	EXIST	PT-2	EXIST
105	OPEN SPACE	EXIST	EXIST	EXIST, WOOD	PT-3	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, BRICK VENEER	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	PT-2
106	CORRIDOR	EXIST	EWf-1	WOOD	PT-3	GWB	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	GWB	REFER TO GENERAL NOTE	GB	PT-2
109	OFFICE	EXIST	EXIST	EXIST, WOOD	PT-3	EXIST	EXIST	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	PT-3	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2
110	PRINTING ROOM	EXIST	EWf-1	WOOD	MATCH BASE FINISH IN ROOM 105 (OPEN SPACE)	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	<-->	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	GB	PT-2	2580
111	CORRIDOR	EXIST	EWf-1	EXIST, WOOD	PT-3	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST, GB	PT-2
A1	STAIR A	EXIST	PAINT, EWf-1	EXIST, WOOD	PT-3	EXIST	EXIST	EXIST, GWB	REFER TO GENERAL NOTE	EXIST, GWB	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	REFER TO GENERAL NOTE	EXIST	PT-2

ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EWf-1	ENGINEERED WOOD FLOORING	MESA EE13304	N/A	3/4"	SUPERIOR SOLID HARDWOOD 3 DECA TECHNOLOGY	TORLYS PROFFESIONAL	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm(12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	MEETS DCOF	STONE TILE	SHOWER FLOOR TILE
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS UPPERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS LOWERS
PT-1	PAINT	Chantilly Lace - OC-65	EGGSHELL	N/A		SHERWIN WILLIAMS SW	WALLS & BASEBOARDS
PT-2	PAINT	Chantilly Lace - OC-65	FLAT	N/A		BENJAMIN MOORE	CEILINGS
PT-3	PAINT	Silent Night - 1613	EGGSHELL	N/A		BENJAMIN MOORE	DOOR & WINDOW TRIMS
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS



DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

DOOR ABBREVIATIONS	
* ALUM	DENOTES YES
ANOD	ALUMINUM
BFAO	ANODIZED
BFPB	BARRIER-FREE AUTOMATIC OPENER
BFWO	BARRIER-FREE PUSH BUTTON
CR	BARRIER-FREE WAVE TO OPEN
EXIST	CARD READER
FBM	EXISTING
GWG	FINGER BIOMETRIC
HM	GYPSUM WALL BOARD
IALUMN	GEORGIAN WIRE GLASS
IHM	HOLLOW METAL
ITGL	INSULATED ALUMINUM
KP	INSULATED HOLLOW METAL
OBM	INSULATED TEMPERED (SAFETY) GLASS
PF	KEY PAD
PLAM	OCULAR BIOMETRIC
PT	PRE FINISHED
SIM	PLASTIC LAMINATE
SS	PAINT
STN	SIMILAR
TGL	STAINLESS STEEL
WD	STAIN
	TEMPERED GLASS
	WOOD

NOTE:
-ALL DOORS, WALLS, DOOR & WINDOW TRIMS & CEILINGS IN GROUND FLOOR AND LOWER LEVEL TO RECEIVE NEW PAINT.
-WALLS & BASEBOARDS TO RECEIVE "Chantilly Lace - OC-65" EGGSHELL
-CEILINGS TO RECEIVE "Chantilly Lace - OC-65" FLAT
-DOOR & WINDOW TRIMS AS WELL AS DOORS TO RECEIVE "Silent Night - 1613" EGGSHELL
- PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.
- PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

SCARBOROUGH ARTS
COUNCIL
1859 KINGSTON RD.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
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PROJECT MGR:
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APPROVED BY:
E. FENUTA

SHEET TITLE

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