

CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162/ IBI 122260

Fire Hall No. 226
87 MAIN STREET

GROUP 28
SEQ 314



IMAGE SOURCE: GOOGLE MAPS

CITY OF TORONTO



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-9-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

IBI IBI GROUP
175 Galaxy Blvd, Unit 100
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ibigroup.com

PROJECT NO:
9119-19-0162/ IBI 122260

DATE:
2022-11-01

SHEET NUMBER G28-314-G0001	ISSUE C
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G0002	DRAWING LIST & OBC MATRIX

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CITY OF TORONTO

 Corporate Real Estate Management
 Project Management Office
 Metro Hall Toronto, ON
 MSV 3C6

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CONSULTANTS

SEAL

PRIME CONSULTANT

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**Fire Hall No. 226
 87 MAIN STREET**

PROJECT NO:
 9119-19-0162/ IBI 122260
 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN

CHECKED BY:
E. FENUTA
 APPROVED BY:
K. TILAHUN

SHEET TITLE
**DRAWING LIST & OBC
 MATRIX**

SHEET NUMBER
G28-314-G0002
 ISSUE
C

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M5W 0C9 T 416 679 1930 F 416 675 4620		Name of Project FIRE HALL NO.226 ACCESSIBILITY UPGRADES Location 87 MAIN ST. TORONTO ON M4E 2V6		
ITEM		OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		REMARKS
1.	PROJECT DESCRIPTION <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> CHANGE OF USE	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input checked="" type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9	
2.	MAJOR OCCUPANCY(S) GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCIES SUBSIDIARY OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES GROUP C - RESIDENTIAL OCCUPANCIES	3.1.2.1. (1)	9.10.2.	EXISTING NO CHANGE
3.	BUILDING AREA (m²) EXISTING - 363.9 NEW - 0 TOTAL - 363.9	1.4.1.2. [A]	1.4.1.2. [A]	
4.	GROSS AREA (m²) EXISTING - 1124.0 NEW - 0 TOTAL - 1124.0	1.4.1.2. [A]	1.4.1.2. [A]	EXISTING NO CHANGE
5.	NUMBER OF STOREYS ABOVE GRADE - 3 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.	
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1	3.2.2.10. & 3.2.5.	9.10.20.	
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE	3.2.2.67.	9.10.2.	
8.	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX	EXISTING NO CHANGE
9.	STANDPIPE REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO STANDPIPE PROVIDED <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9.	N/A	EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO FIRE ALARM PROVIDED <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.	9.10.18.	EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7.	N/A	EXISTING NO CHANGE
12.	HIGH BUILDING <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6.	N/A	
13.	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH PERMITTED <input type="checkbox"/> REQUIRED ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.67.	9.10.6.	EXISTING NO CHANGE
14.	MEZZANINE (S) AREA m² N/A	3.2.1.1. (3) - (8)	9.10.4.1.	
15.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 1ST FLOOR: OCCUPANCY _____ LOAD _____ PERSONS 2ND FLOOR: OCCUPANCY _____ LOAD _____ PERSONS MEZZANINE FLOOR: OCCUPANCY _____ LOAD _____ PERSONS	3.1.17.	4.9.13.	EXISTING NO CHANGE
16.	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8.	9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19	9.10.1.3.(4)	
18a.	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES FLOORS <input checked="" type="checkbox"/> NO CHANGE ROOF <input checked="" type="checkbox"/> NO CHANGE MEZZANINE N/A	3.2.2.67. & 3.2.1.4.	9.10.8. 9.10.9.	

ITEM		Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C			REMARKS
18b.	REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SB-2)							SB-2 TABLE 2.1.1.				
		FLOORS <input checked="" type="checkbox"/> NO CHANGE									SB-2 TABLE 2.1.1.				
		ROOF <input checked="" type="checkbox"/> NO CHANGE													
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS		3.2.3.										9.10.14.			EXISTING NO CHANGE
WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLAZING	NON-COMB. CONST.					
NORTH					-	0	-	-	-	-					
SOUTH					-	0	-	-	-	-					
EAST					-	0	-	-	-	-					
WEST					-	0	-	-	-	-					
20. PLUMBING FIXTURE REQUIREMENTS		MALE / FEMALE COUNT @ _____ % / % EXISTING NO CHANGE										<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9			
EXCEPT AS NOTED OTHERWISE		OCCUPANT LOAD		OBC TABLE NUMBER		FIXTURES REQUIRED		FIXTURES PROVIDED							
MAJOR OCCUPANCY _____		X MALE		3.7.4.9.		X		X		3.7.4.9.					
21. EXITS/ ACCESS TO EXIT-												<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9			EXISTING NO CHANGE
22. OTHER (DESCRIBE) -															
ITEM		Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building										OBC REFERENCE			REMARKS
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)										11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N			
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>										11.3.3.1. 11.3.3.2.			
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES										11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.			
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)										11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6			
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)										11.5.1			



IMAGE SOURCE: GOOGLE MAPS

1 KEY PLAN
A1201 Scale: NTS

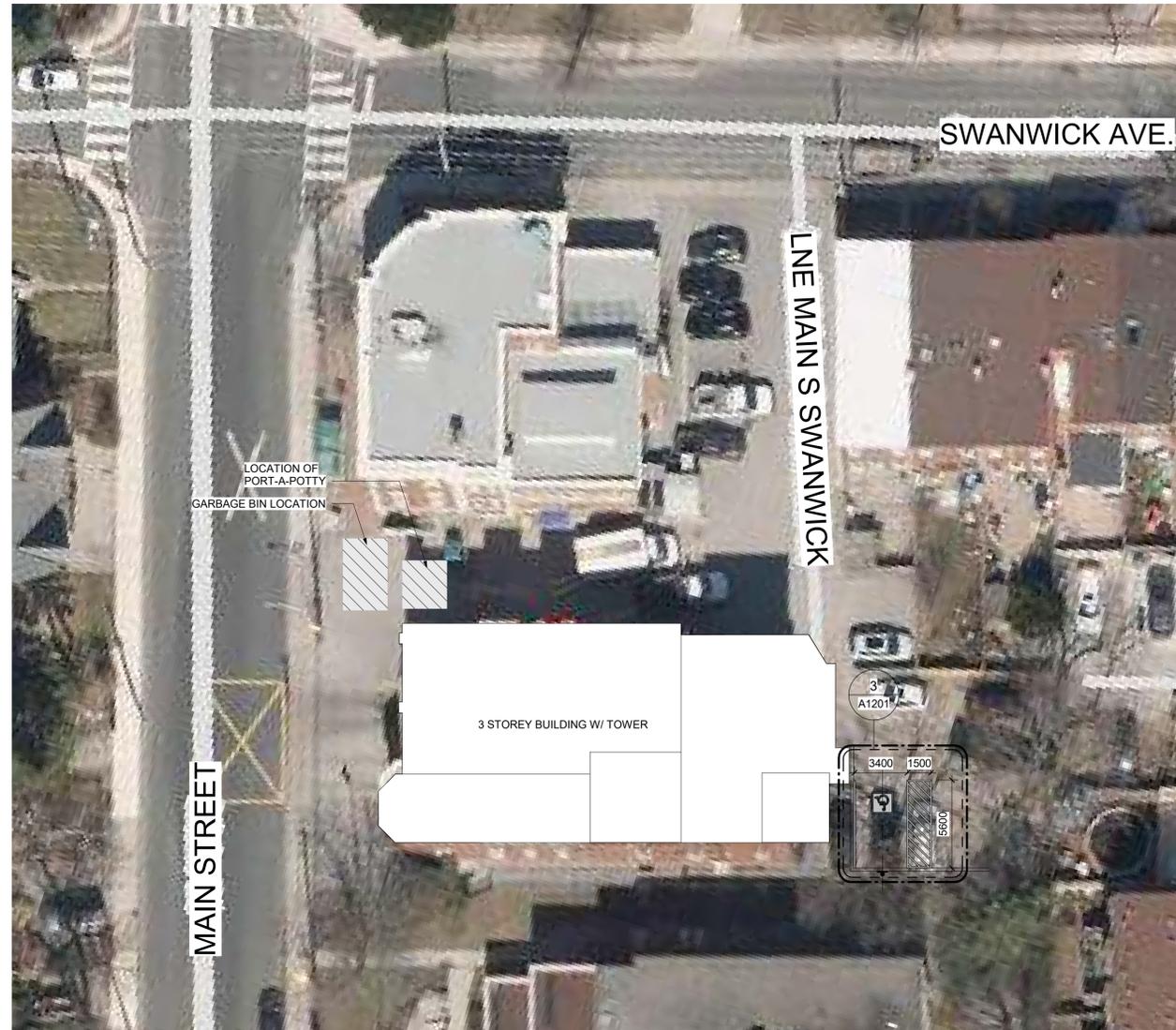


IMAGE SOURCE: TORONTO MAPS

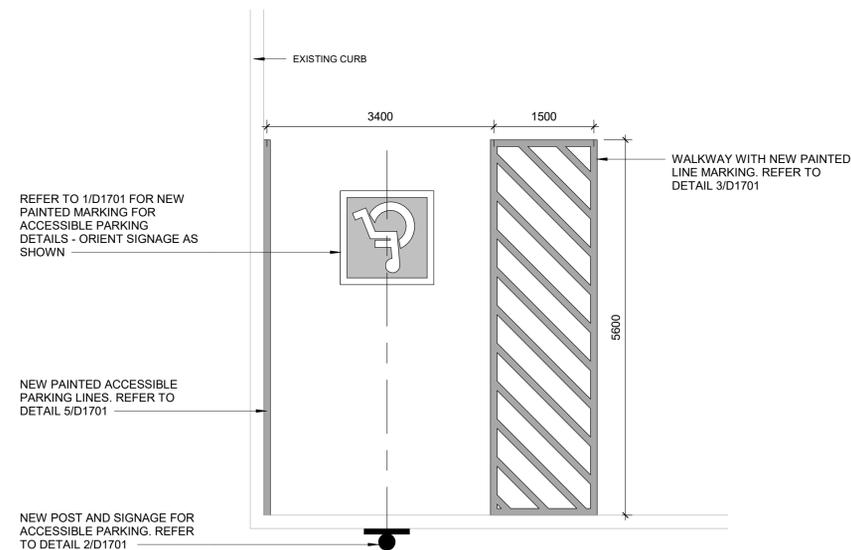
2 SITE PLAN
A1201 Scale: 1 : 200

SITE LEGEND

- NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701
- ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702
- EXISTING MAIN ENTRANCE
- EXISTING EXIT TO REMAIN
- NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701
- NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701
- DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- 2 DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.



3 PARKING SPACE ENLARGED PLAN
A1201 Scale: 1 : 50

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ACCESSIBILITY UPGRADES**

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87 MAIN STREET**

PROJECT NO:
9119-19-0162/ IBI 122260
DRAWN BY:
A. HOLDER
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUITA

SHEET TITLE
SITE PLAN

SHEET NUMBER
G28-314-A1201

ISSUE
C

CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

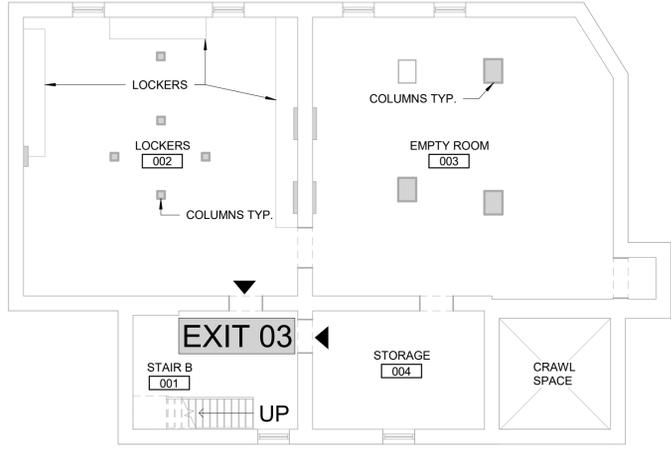
- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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Corporate Real Estate Management
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Metro Hall Toronto, ON
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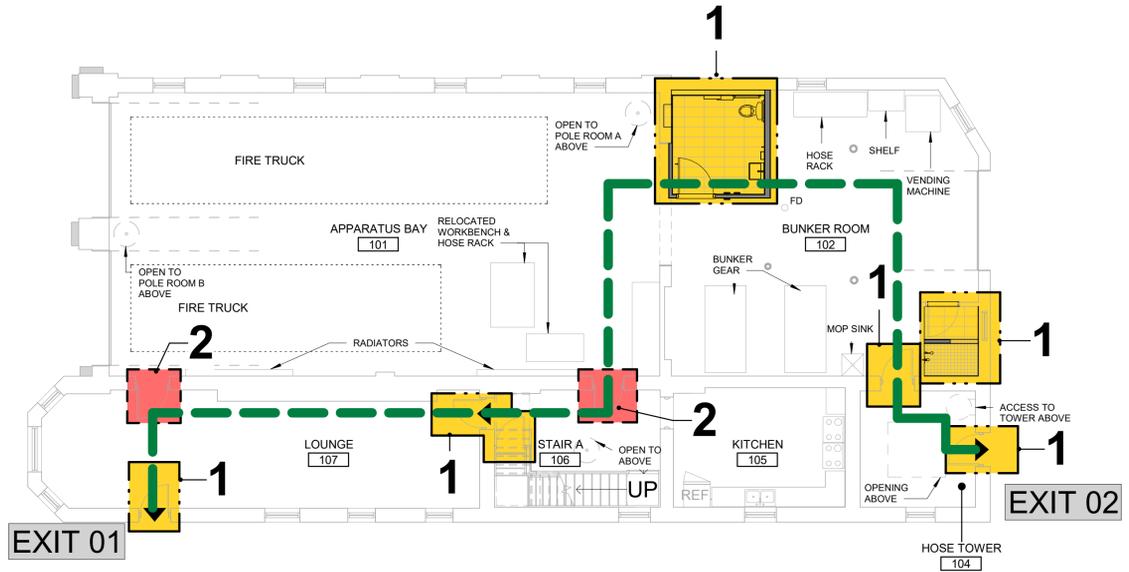
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1 BASEMENT STAGING PLAN
A2001 Scale: 1 : 100



2 FIRST FLOOR STAGING
A2001 Scale: 1 : 100

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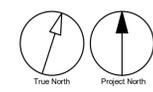
PROJECT TITLE
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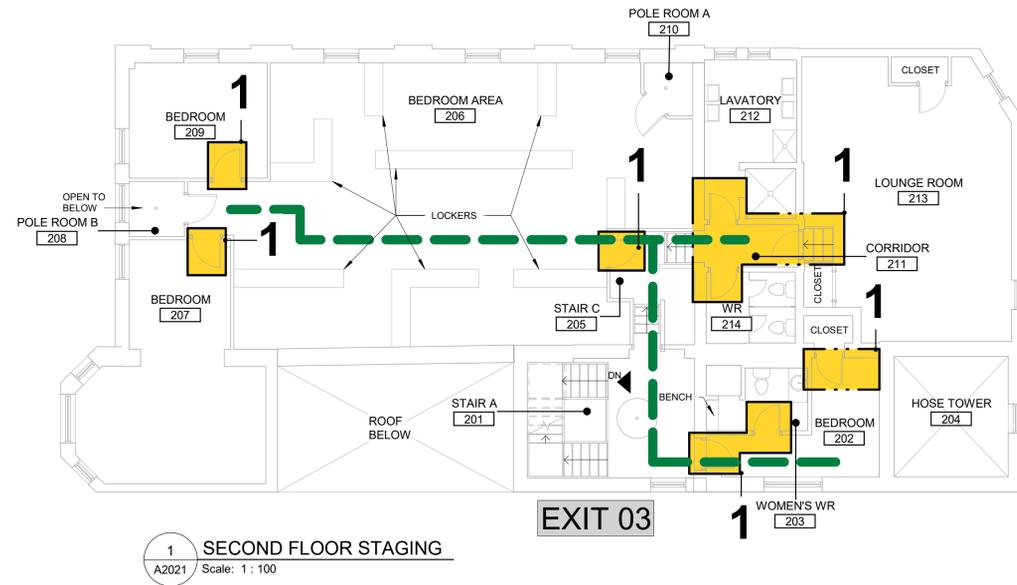
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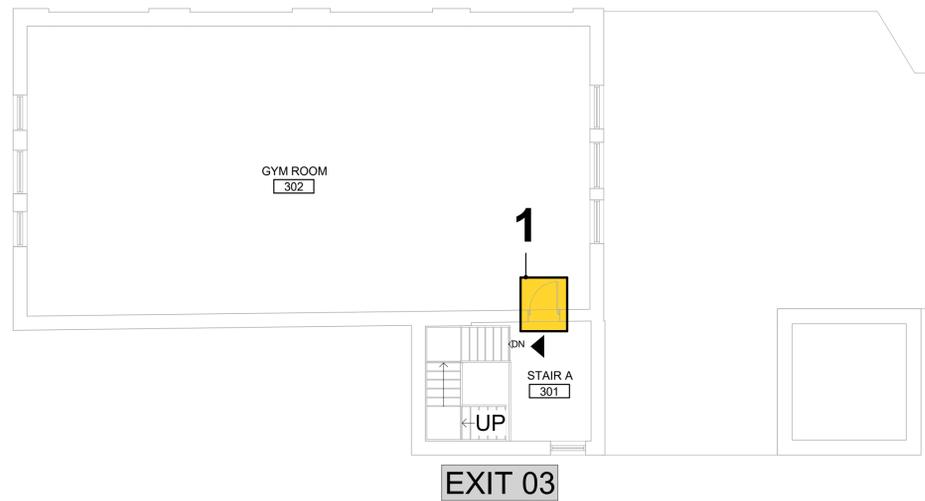
SHEET TITLE
**BASEMENT & FIRST
FLOOR STAGING PLANS**

SHEET NUMBER
G28-314-A2001
ISSUE
C





1 SECOND FLOOR STAGING
A2021 Scale: 1 : 100



2 THIRD FLOOR STAGING PLAN
A2021 Scale: 1 : 100

CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 19/111 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
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- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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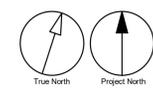
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SHEET TITLE
**SECOND & THIRD FLOOR
STAGING PLAN**

SHEET NUMBER
G28-314-A2021
ISSUE
C





PH 18: WASHROOM PH 19: WASHROOM PH 20: WASHROOM PH 21: WASHROOM PH 22: WASHROOM PH 23: WASHROOM

DEMOLITION KEY LEGEND

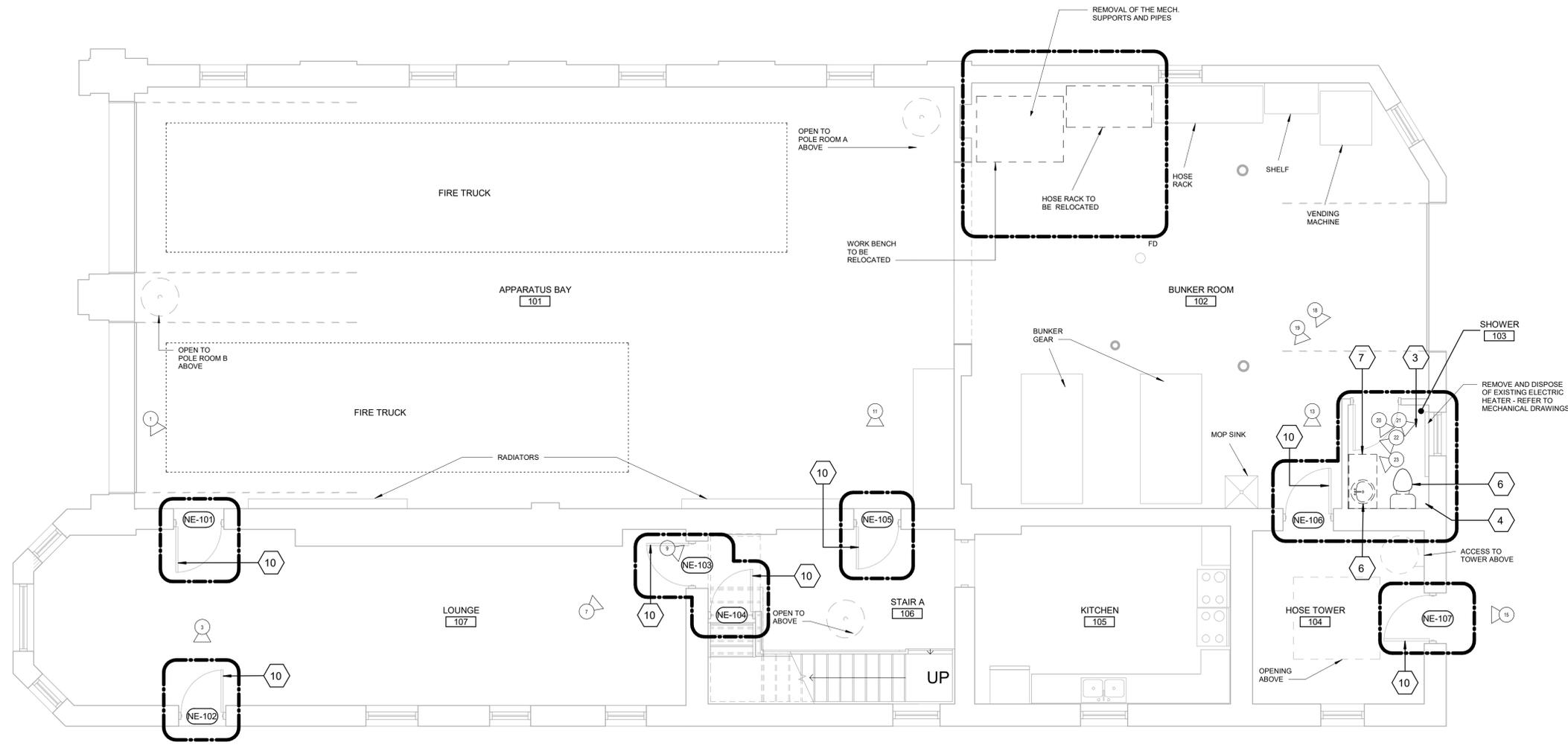
- EXISTING TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

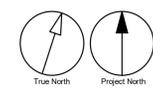
REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
4	REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE.
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A6001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.



PH 01: NE-101 PH 02: NE-101 PH 03: NE-102 PH 04: NE-102 PH 05: NE-102 REMOVE PUNCH CODE PAD PH 06: NE-102 REMOVE PUNCH CODE PAD PH 07: NE-103 PH 08: NE-103 PH 09: NE-104 PH 10: NE-104 PH 11: NE-105 PH 12: NE-105 PH 13: NE-106 PH 14: NE-106 PH 15: NE-107 PH 16: NE-107 PH 17: NE-107



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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-9-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

KEYPLAN

CONSULTANTS

SEAL

PRIME CONSULTANT
IBI GROUP
 175 Galaxy Blvd, Unit 100
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 Tel: 416 679 1930 Fax: 416 675 4620
 ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**Fire Hall No. 226
 87 MAIN STREET**

PROJECT NO:
 9119-19-0162/ IBI 122260
 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
**FIRST FLOOR
 DEMOLITION PLAN**

CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA
 SHEET NUMBER
G28-314-A2101
 ISSUE
C

2023-01-30 2:19:35 PM

BIM 360/122260 - CoT TAU Upgrades R2020122260-TAU-28-314-87MAIN-AR201.v4



DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

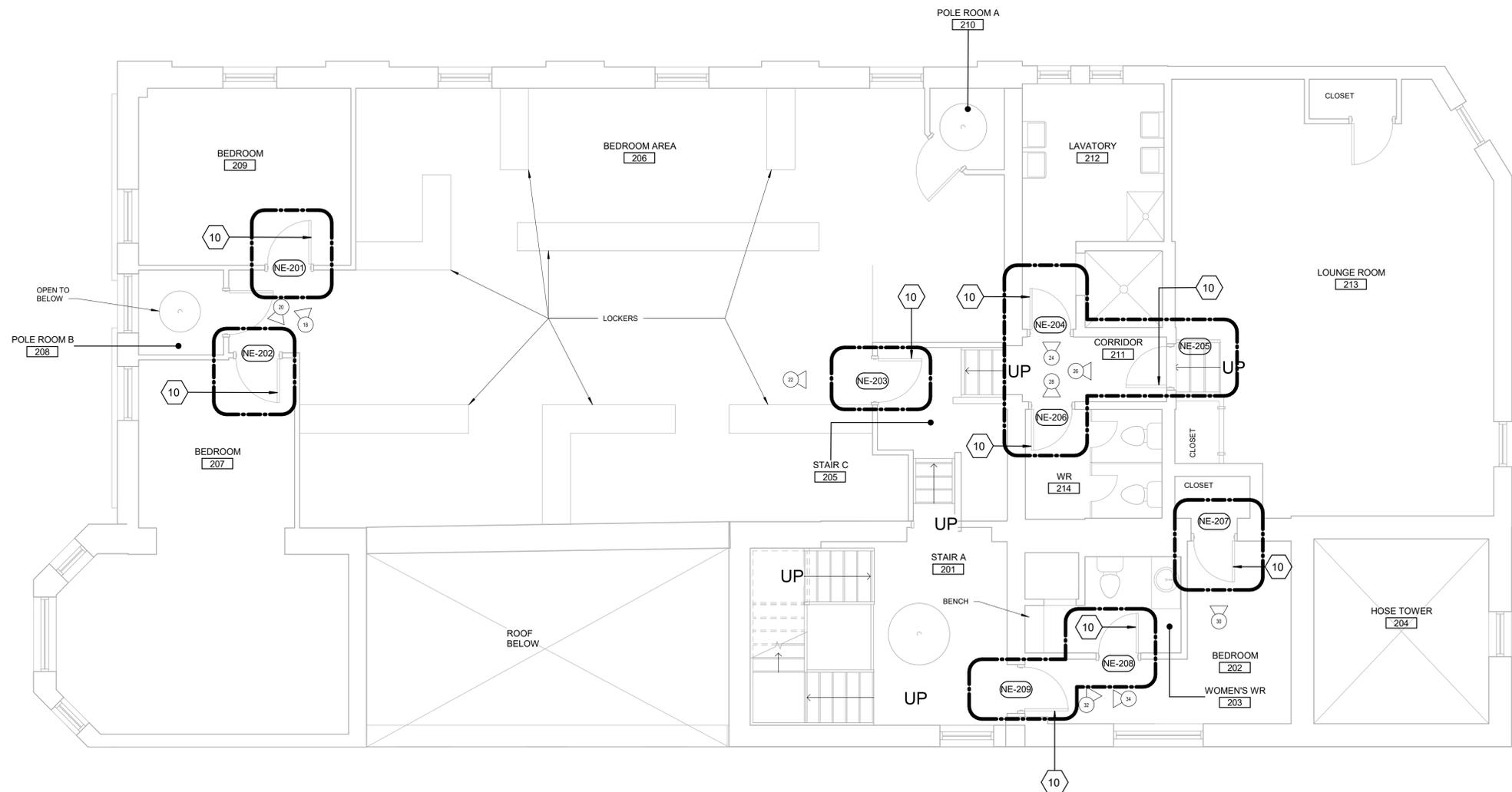
NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

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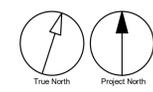
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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**Fire Hall No. 226
 87 MAIN STREET**

PROJECT NO:
 9119-19-0162/ IBI 122260
 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
**SECOND FLOOR
 DEMOLITION PLAN**

CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

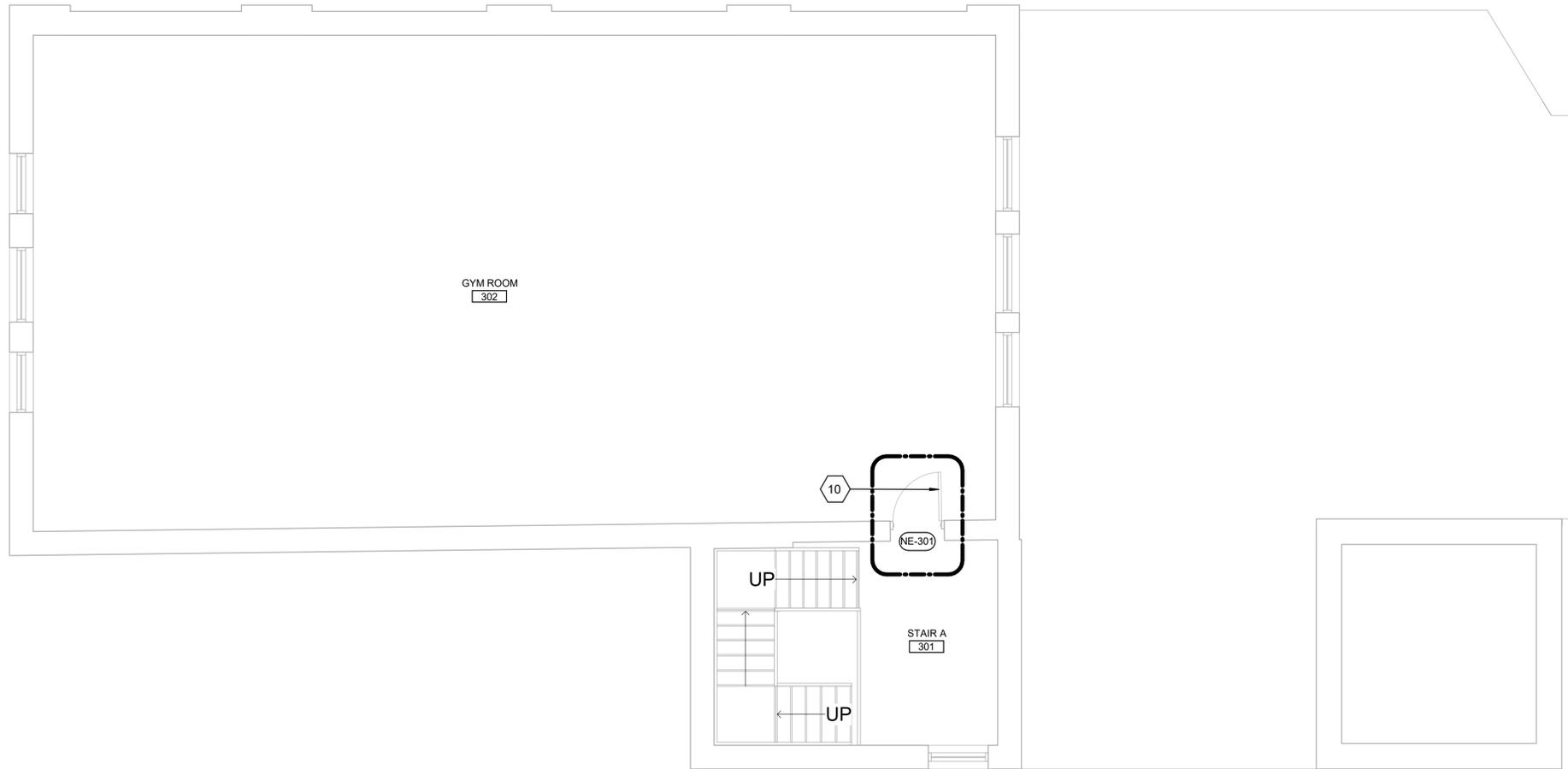
SHEET NUMBER
G28-314-A2121
 ISSUE
C

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PH 36: NE-301

PH 37: NE-301



DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- ===== EXISTING EXTERIOR WALL TO REMAIN
- ===== EXISTING PARTITION TO REMAIN
- ⌋ EXISTING DOOR TO REMAIN
- ⬭ DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

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PROJECT TITLE
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PROJECT ADDRESS
 Fire Hall No. 226
 87 MAIN STREET

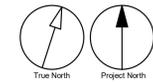
PROJECT NO:
 9119-19-0162/ IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

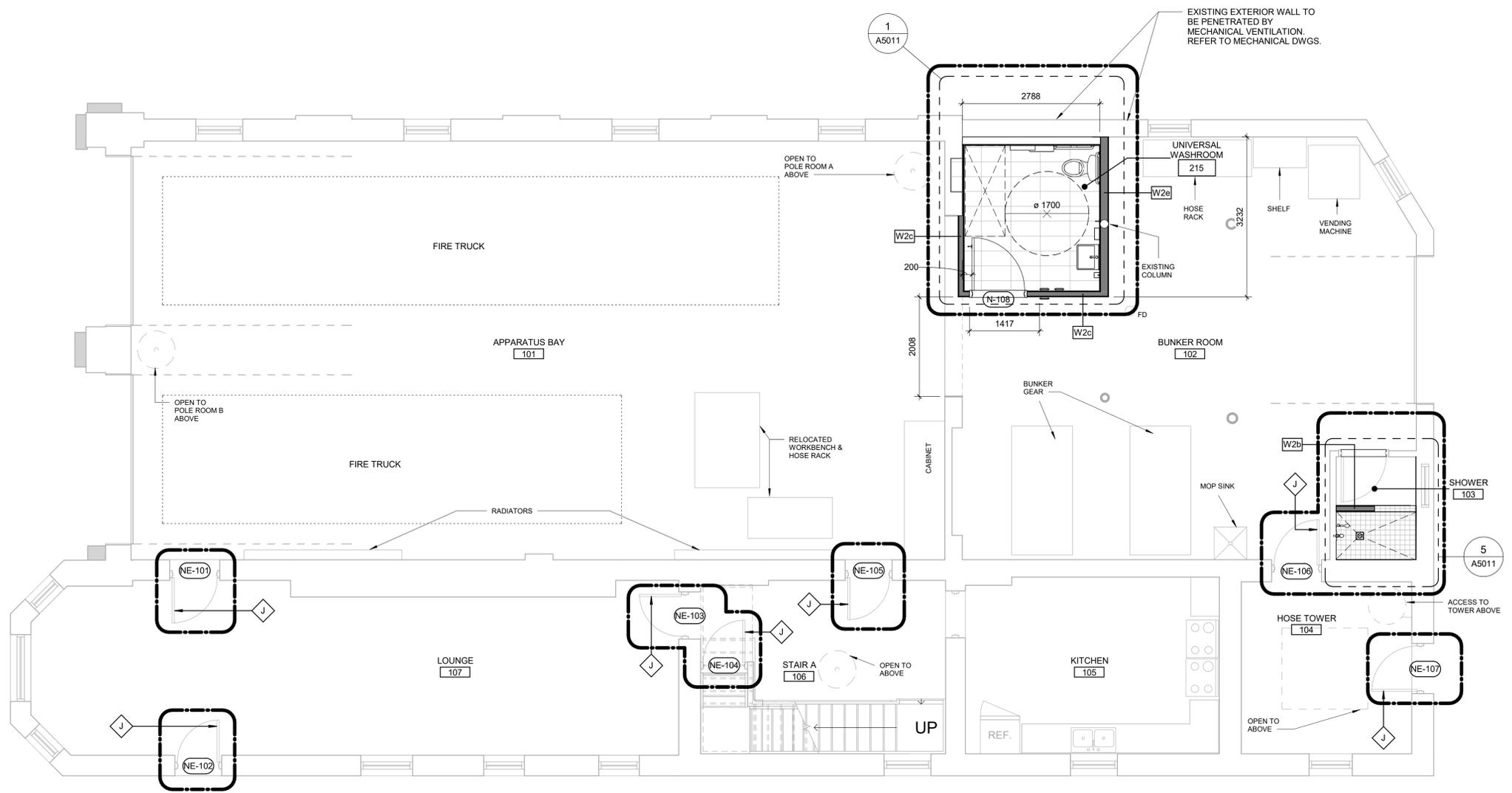
SHEET TITLE
 THIRD FLOOR
 DEMOLITION PLAN

SHEET NUMBER G28-314-A2131	ISSUE C
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BHM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-314-87MAIN-AR201.v1



CONSTRUCTION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	NEW EXTERIOR WALL REFER TO WALL SCHEDULE
	NEW PARTITION REFER TO PARTITION SCHEDULE
	EXISTING DOOR TO REMAIN
	NEW DOOR AND/ OR NEW HARDWARE
	DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**Fire Hall No. 226
 87 MAIN STREET**

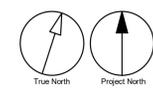
PROJECT NO:
 9119-19-0162/ IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**FIRST FLOOR
 PROPOSED PLAN**

SHEET NUMBER G28-314-A2401	ISSUE C
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2023-01-30 2:19:46 PM



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CONSTRUCTION KEY LEGEND

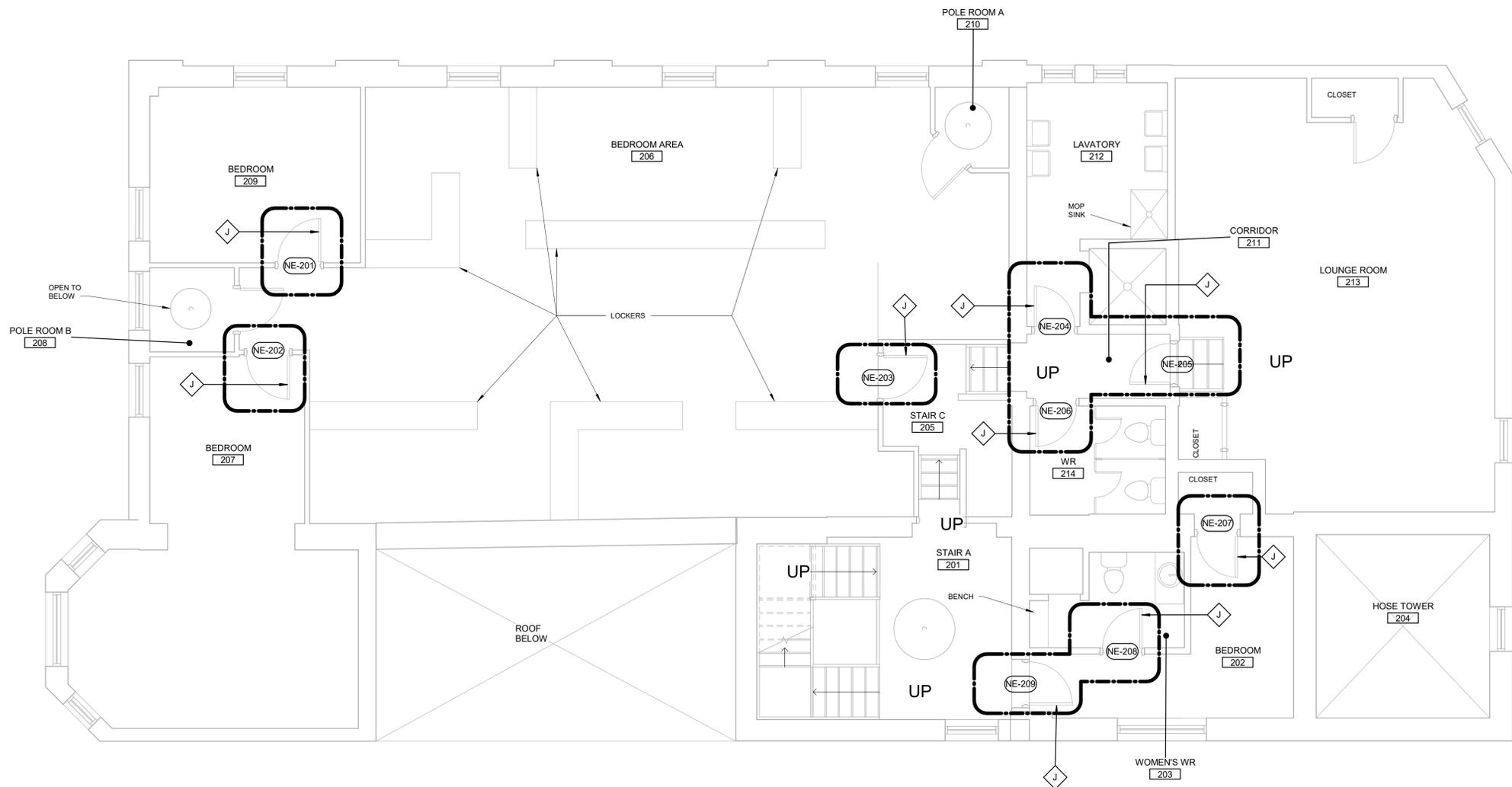
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-  EXISTING PARTITION TO REMAIN
-  NEW EXTERIOR WALL REFER TO WALL SCHEDULE
-  NEW PARTITION REFER TO PARTITION SCHEDULE
-  EXISTING DOOR TO REMAIN
-  NEW DOOR AND/ OR NEW HARDWARE
-  DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



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No.	DESCRIPTION	DATE
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C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
**CITY OF TORONTO
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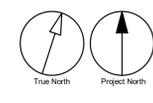
PROJECT ADDRESS
**Fire Hall No. 226
 87 MAIN STREET**

PROJECT NO:
 9119-19-0162/ IBI 122260
 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
**SECOND FLOOR
 PROPOSED PLAN**

CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

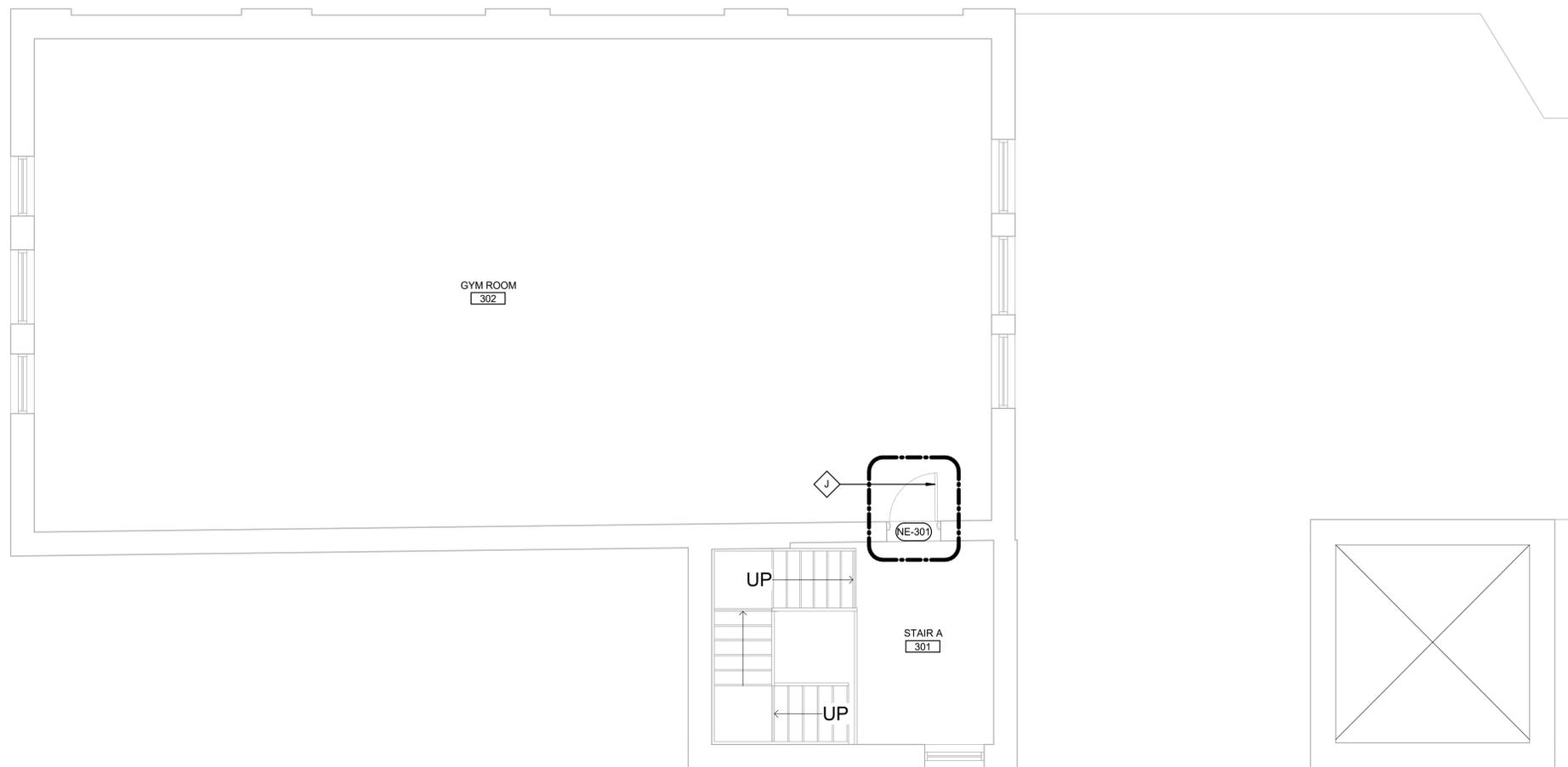
SHEET NUMBER
G28-314-A2411
 ISSUE
C

2023-01-30 2:19:48 PM



1 x 1

BHM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-314-87MAIN-AR201.v1



CONSTRUCTION KEY LEGEND

-  EXISTING EXTERIOR WALL TO REMAIN
-  EXISTING PARTITION TO REMAIN
-  NEW EXTERIOR WALL REFER TO WALL SCHEDULE
-  NEW PARTITION REFER TO PARTITION SCHEDULE
-  EXISTING DOOR TO REMAIN
-  NEW DOOR AND/ OR NEW HARDWARE
-  DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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 Tel: 416 679 1930 fax 416 675 4620
 ibigroup.com

PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

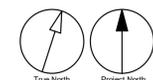
PROJECT ADDRESS
 Fire Hall No. 226
 87 MAIN STREET

PROJECT NO:
 9119-19-0162/ IBI 122260
DRAWN BY:
 A. HOLDER
CHECKED BY:
 K. TILAHUN
PROJECT MGR:
 F. BOLOURIAN
APPROVED BY:
 E. FENUTA

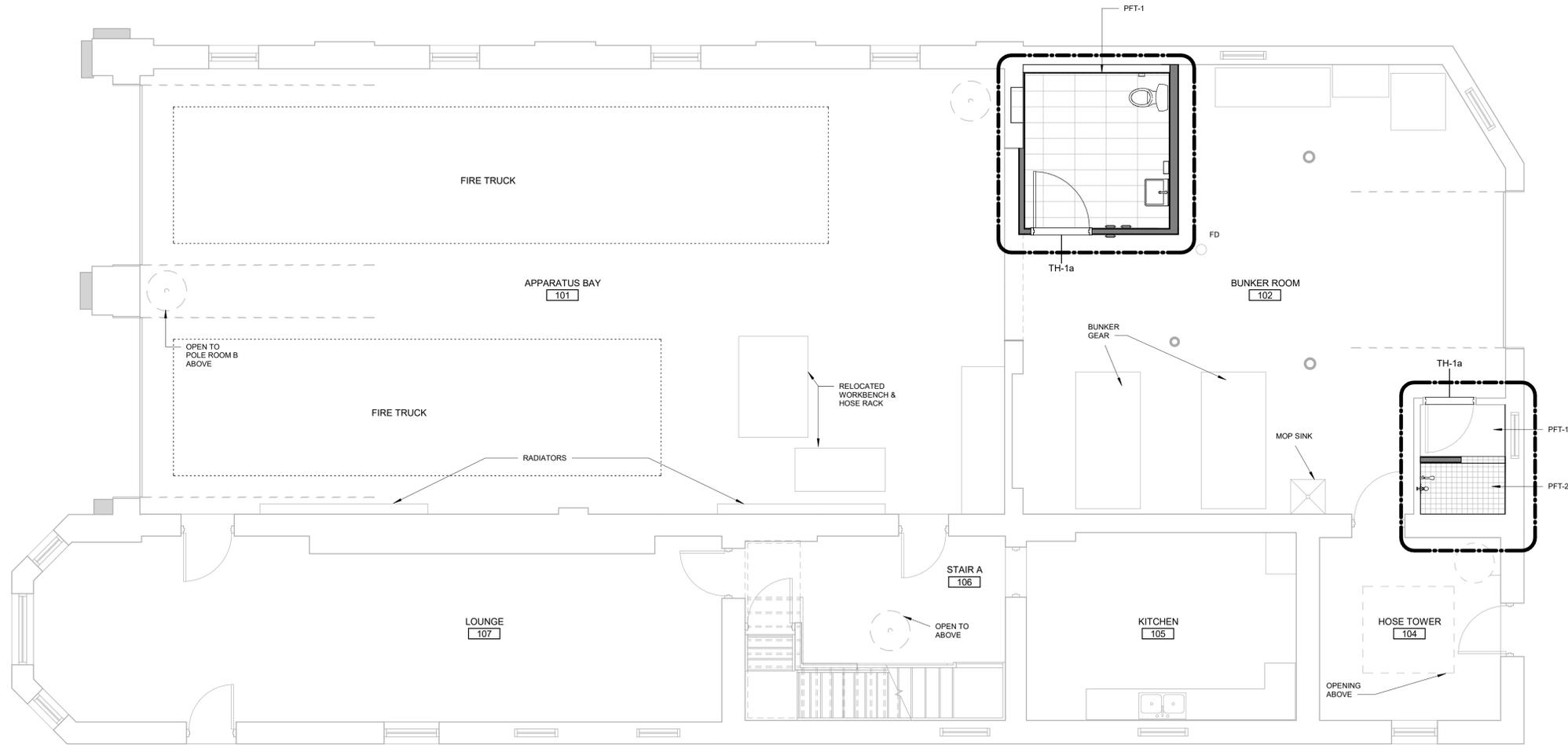
SHEET TITLE
 THIRD FLOOR
 PROPOSED PLAN

SHEET NUMBER
 G28-314-A2421
ISSUE
 C

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 1/11



FLOOR FINISHES LEGEND

	PORCELAIN SHOWER TILE
	PORCELAIN TILE
	DASHED AREA INDICATES AREA OF WORK

- ### FLOOR FINISH GENERAL NOTES
- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
 - PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
 - CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
 - WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
 - PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

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CONSULTANTS

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 ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

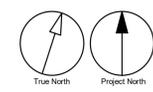
PROJECT ADDRESS
**Fire Hall No. 226
 87 MAIN STREET**

PROJECT NO:
 9119-19-0162/ IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**FIRST FLOOR FLOOR
 FINISH PLAN**

SHEET NUMBER G28-314-A2611	ISSUE C
--------------------------------------	-------------------



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CEILING LEGEND

 GYPSUM BOARD CEILING AND BULKHEAD

   SUPPLY / RETURN DUCT

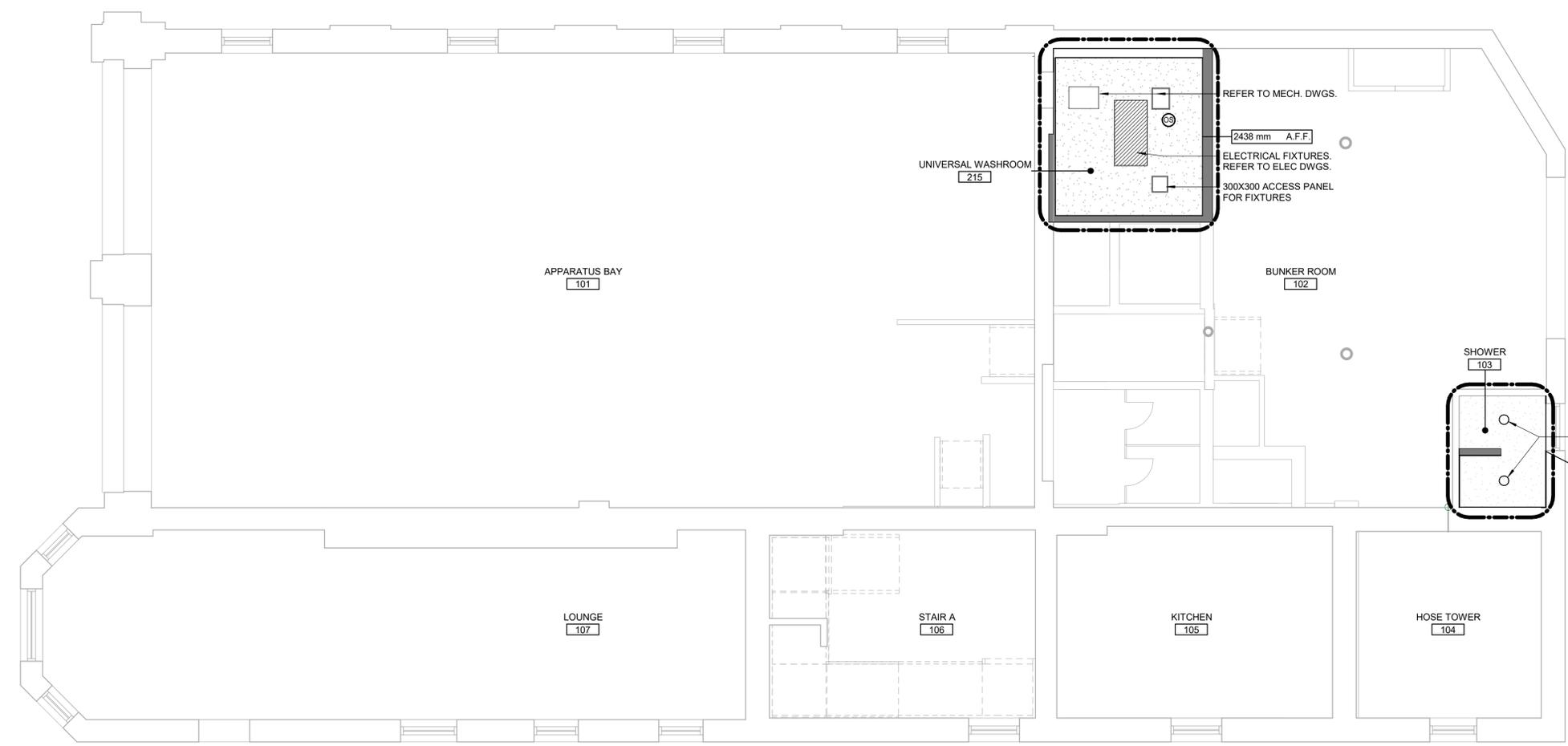
 CEILING, PENDANT OR WALL MOUNTED LUMINAIRE

 CEILING OR PENDANT MOUNTED LUMINAIRE

 DASHED AREA INDICATES AREA OF WORK

CEILING GENERAL NOTES

1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.



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PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 Fire Hall No. 226
 87 MAIN STREET

PROJECT NO.:
 9119-19-0162/ IBI 122260

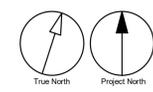
DRAWN BY: A. HOLDER **CHECKED BY:** K. TILAHUN

PROJECT MGR: F. BOLOURIAN **APPROVED BY:** E. FENUTA

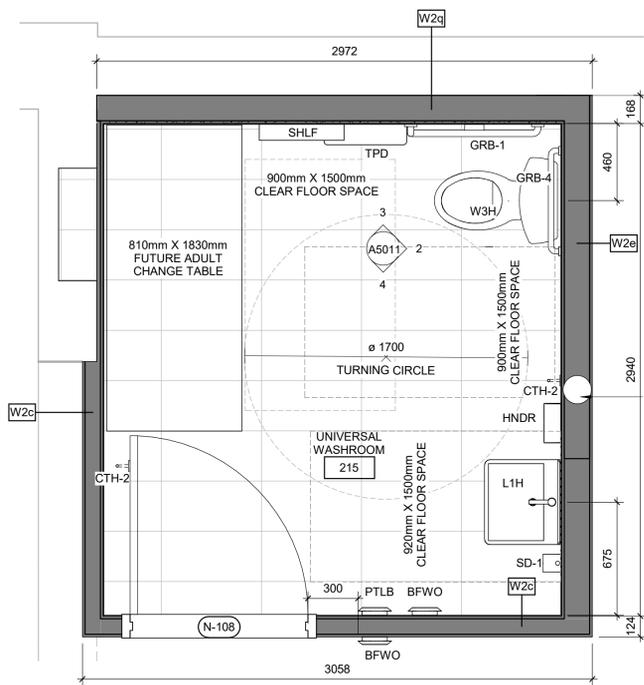
SHEET TITLE
 FIRST FLOOR
 REFLECTED CEILING
 PLAN

SHEET NUMBER G28-314-A2811 **ISSUE** B

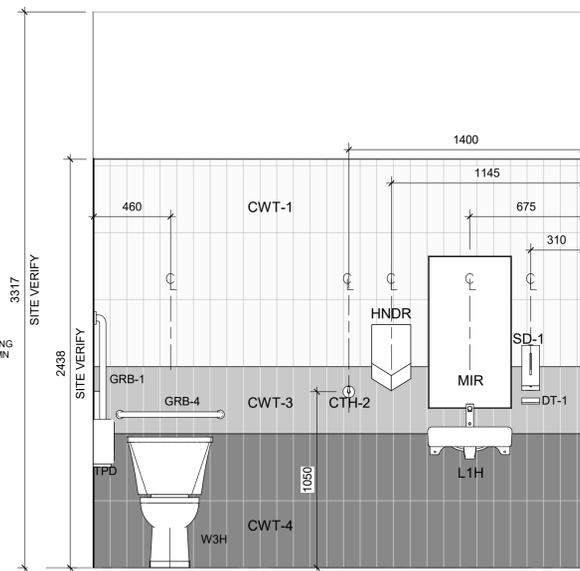
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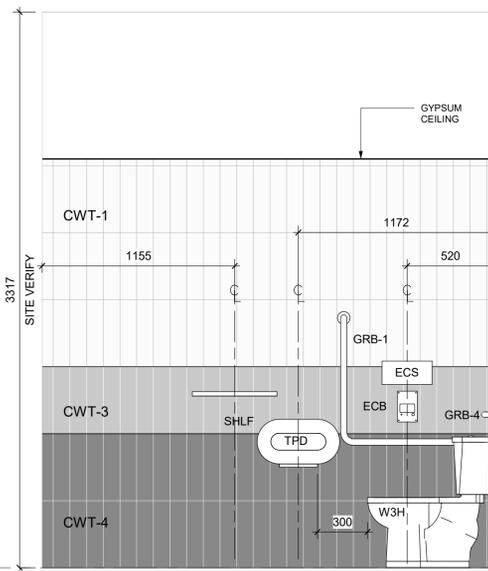
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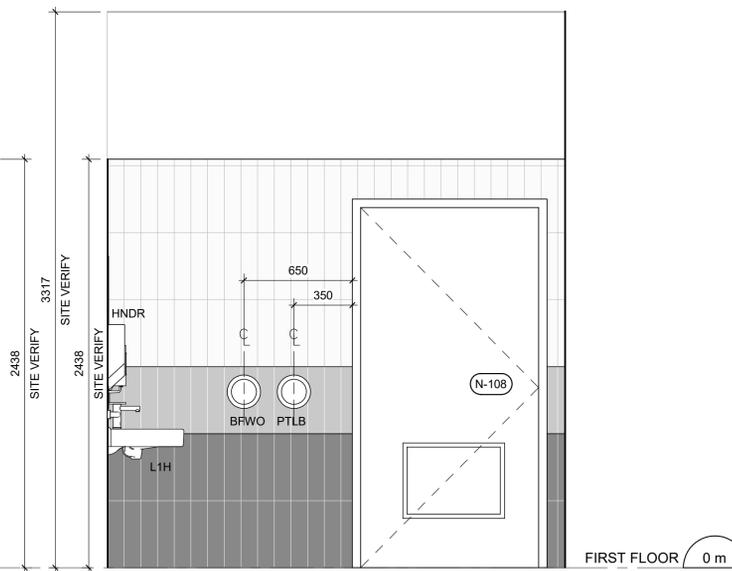
1 UNIVERSAL WASHROOM ENLARGED PLAN
A5011 Scale: 1:20



2 UNIVERSAL WASHROOM ELEVATION - 2
A5011 Scale: 1:20



3 UNIVERSAL WASHROOM ELEVATION - 3
A5011 Scale: 1:20



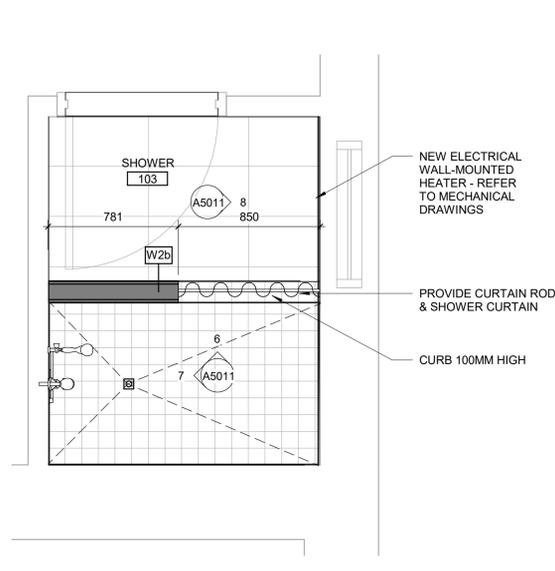
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A5011 Scale: 1:20

WASHROOM GENERAL NOTES

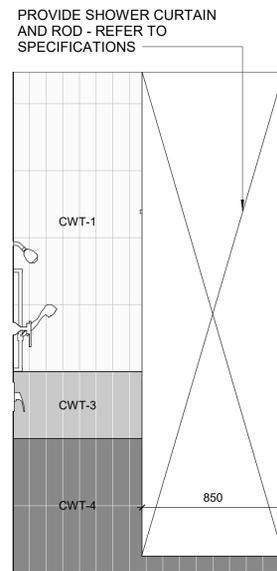
- ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.

UNIVERSAL WASHROOM GENERAL NOTES

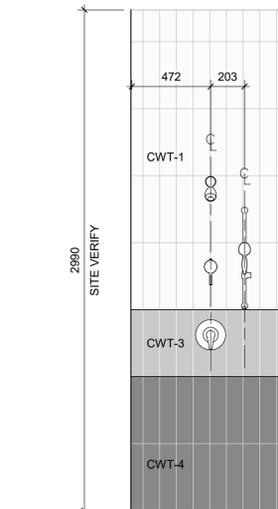
- MOISTURE RESISTANT GYPSUM BOARD TO BE PROVIDED IN ALL WASHROOMS AND LOCKER ROOMS
- PROVIDE WALL REINFORCEMENT TO SUPPORT FUTURE ADULT CHANGE TABLE MINIMUM LOAD OF 1.33 KN AND POWER OUTLET



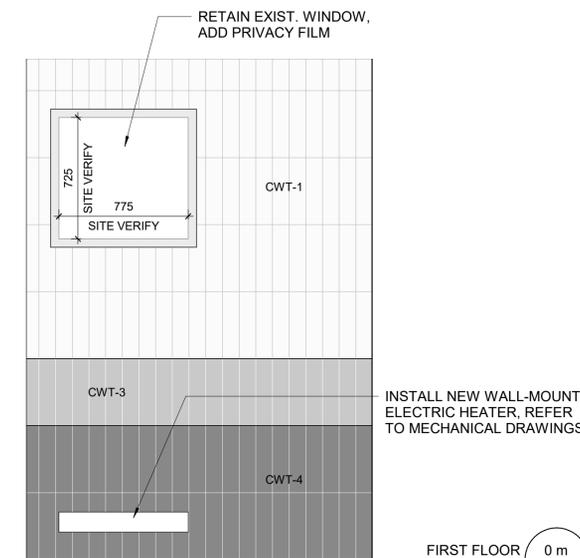
5 SHOWER ENLARGED PLAN
A5011 Scale: 1:20



6 SHOWER ELEVATION 1
A5011 Scale: 1:20



7 SHOWER ELEVATION 2
A5011 Scale: 1:20



8 SHOWER ELEVATION 3
A5011 Scale: 1:20

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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-9-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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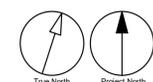
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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**Fire Hall No. 226
87 MAIN STREET**

PROJECT NO:
9119-19-0162/ IBI 122260
DRAWN BY:
A. HOLDER
PROJECT MGR:
F. BOLOURIAN
SHEET TITLE
**WASHROOM
PLANS/ELEVATIONS**

CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUTA
SHEET NUMBER
G28-314-A5011
ISSUE
C



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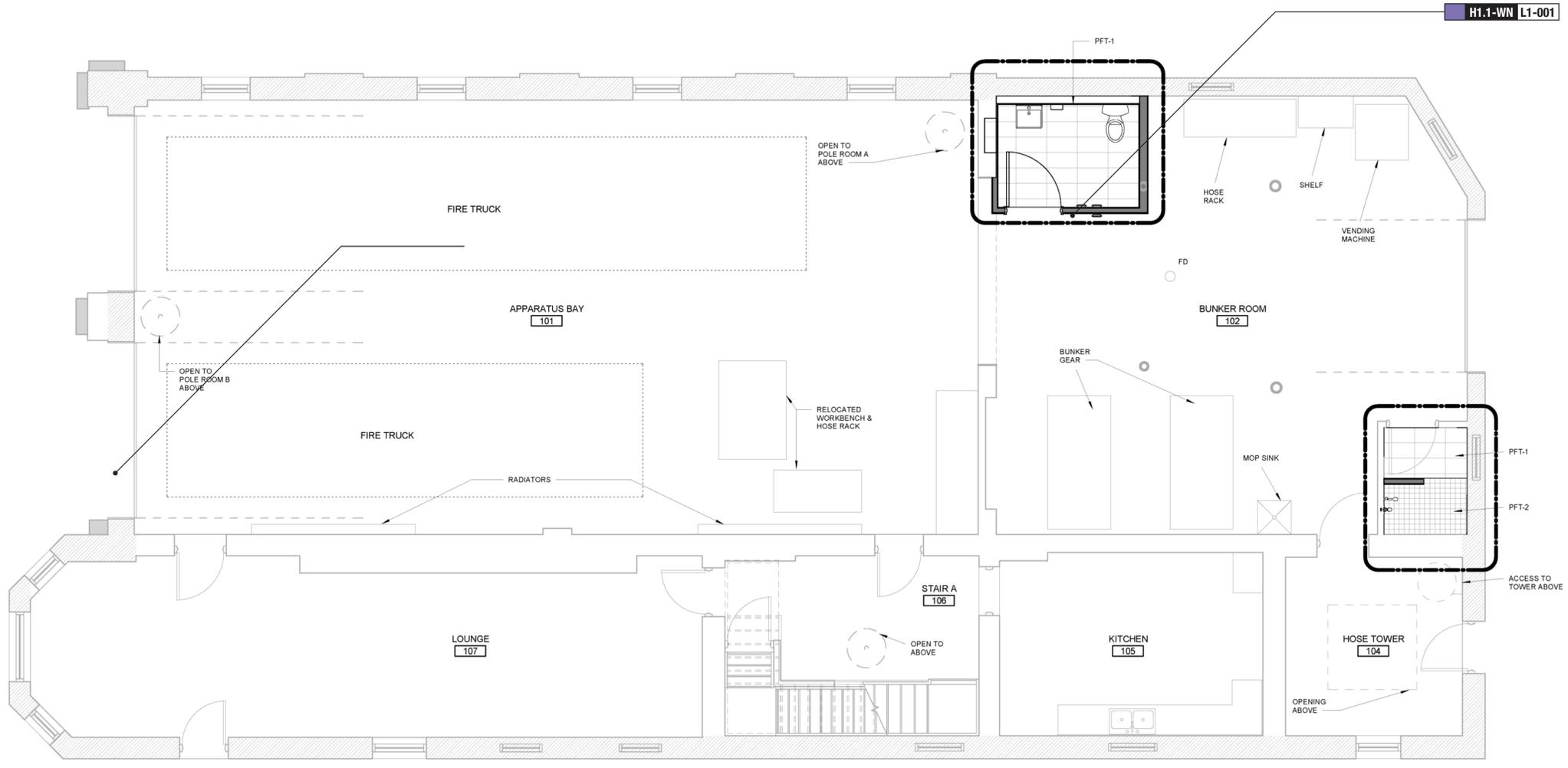
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FLOOR FINISHES LEGEND

	PORCELAIN SHOWER TILE
	PORCELAIN TILE
	DASHED AREA INDICATES AREA OF WORK

- FLOOR FINISH GENERAL NOTES**
- CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
 - CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
 - CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
 - CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
 - CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
 - PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
 - WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
 - WHERE STONE FLOORING MEETS ELEVATOR DOORS, BEVEL STONE DOWN TO SUIT TRANSITION BETWEEN NEW STONE FLOOR AND EXISTING ELEVATOR CAB FLOOR. PROVIDE SHOP DRAWINGS OF BEVEL/REDUCING STRIP FOR APPROVAL BY CONSULTANT.
 - MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.



SIGN TAG LEGEND

Signtype Colour	Signtype	EX Exterior	LO Basement
		L1 Level 1	L2 Level 2
		L3 Level 3	Specific Sign Location

A1.1-WN L1-000

Powered:	Y Yes	N No	D Data
Mounting Style:	P Projecting	S Suspended	F Freestanding
	W Wall-mounted	G Glass	C Column
		D Door	T Transom

SIGN TAG LEGEND

 B LX-000 Directional	 H LX-000 Amenity	 G LX-000 Inside Stair ID
 E LX-000 Room ID	 J LX-000 Entrance	 S LX-000 Stair ID

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PROJECT TITLE
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PROJECT ADDRESS
**FIRE HALL NO. 226
 87 MAIN STREET**

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

DRAWN BY:
M. LOW

CHECKED BY:
C. D. SCHNOBB

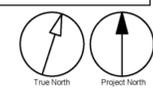
PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
**SIGNAGE & WAYFINDING
 DETAILS
 LEVEL 1 LOCATION PLAN**

SHEET NUMBER
G28-314-A8010

ISSUE
D



KEYPLAN

L1

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
H1.1	L1	001	Amenity ID	[universal accessible washroom picto] Washroom Braille	

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	0
E2.2	Line Room ID	0
E4	Insert Holder	0
H1.1	Amenity ID	1
H2.1	Projecting Amenity ID	0
J4.2	Accessible Entrance ID - Exterior	0
S1.1	Stair ID - Inside Stairwell	0
S1.2	Stair ID - Corridor Side	0
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		1

CLIENT
CITY OF TORONTO

 55 John St.
 TORONTO, ON
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PROJECT ADDRESS
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 87 MAIN STREET**

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

DRAWN BY: M.LOW	CHECKED BY: C.D. SCHNOBB
PROJECT MGR: R. DALY	APPROVED BY:

SHEET TITLE
**SIGNAGE & WAYFINDING
 DETAILS
 MESSAGE SCHEDULE**

SHEET NUMBER G28-314-A8100	ISSUE D
--------------------------------------	-------------------

DOOR SCHEDULE																
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS	
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB	PANIC DEVICE			
FIRST FLOOR																
N-108	UNIVERSAL WASHROOM	A(L)	1067	2150	45	HM	PT-3	<->	HM	PT-3			BFWO		N/A	NEW BFWO. PROVIDE SIGNAGE WITH TACTILE AND BRAILLE AT ACCESSIBLE HEIGHT. CONFIRM MATERIAL AND FINISH. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-101	LOUNGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-102	LOUNGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	X					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-103	STAIR A	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-104	STAIR A	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-105	STAIR A	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-106	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-107	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	X					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
SECOND FLOOR																
NE-201	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-202	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-203	STAIR C	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-204	LAVATORY	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-205	LOUNGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-206	WR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-207	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-208	WOMEN'S WR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-209	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
THIRD FLOOR																
NE-301	GYM ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3						EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

DOOR ABBREVIATIONS	
* ALUM	DENOTES YES
ANOD	ALUMINUM
BFAO	ANODIZED
BFPB	BARRIER-FREE AUTOMATIC OPENER
BFWO	BARRIER-FREE PUSH BUTTON
CR	BARRIER-FREE WAVE TO OPEN
EXIST	CARD READER
FBM	EXISTING
FWB	FINGER BIOMETRIC
GWG	GYPSON WALL BOARD
HM	GEORGIAN WIRE GLASS
IHM	HOLLOW METAL
ITGL	INSULATED HOLLOW METAL
KP	INSULATED TEMPERED (SAFETY) GLASS
OBM	KEY PAD
PF	OCULAR BIOMETRIC
PLAM	PRE FINISHED
PT	PLASTIC LAMINATE
SIM	PAINT
SS	SIMILAR
TGL	STAINLESS STEEL
WD	TEMPERED GLASS
	WOOD

NOTE:
- PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.
- PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

CLIENT
CITY OF TORONTO

Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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ROOM FINISH SCHEDULE																									
ROOM NAME	FLOOR		BASE		NORTH				EAST				SOUTH				WEST				CEILING			REMARKS	
	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT						
FIRST FLOOR																									
SHOWER	EXIST	PFT-1, PFT-2	EXIST		EXIST	CWT-1, CWT-3, CWT-4	EXIST	GB	PT-2	EXIST															
UNIVERSAL WASHROOM	EXIST	PFT-1	EXIST		EXIST	CWT-1, CWT-3, CWT-4, PT-1	EXIST	GB	PT-2	EXIST							PAINT VESTIBULE OF SHOWER - WALLS AND BOTH SIDES OF DOOR PT-1								

ROOM FINISH KEY SCHEDULE							
ABBVV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm (12"X24")		D9EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	MEETS DCOF	STONE TILE	SHOWER FLOOR TILE
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILING

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SHEET TITLE
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