

CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162 / IBI 122260

351 BIRCHMOUNT RD
FIRE MUSEUM - FIRE PREVENTION OFFICE

GROUP 28
SEQ 201



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

PROJECT NO: 9119-19-0162 / IBI 122260	
DATE: 2022-11-01	
SHEET NUMBER G28-201-G0001	ISSUE C

GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G0001	COVER SHEET
G0002	DRAWING LIST & OBC MATRIX

ARCHITECTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A1201	SITE PLAN
A2001	BASEMENT STAGING PLAN
A2011	FIRST FLOOR STAGING PLAN
A2111	BASEMENT & FIRST FLOOR DEMOLITION AND PROPOSED PLANS
A5211	STAIR PLANS AND SECTIONS
A9001	DOOR AND ROOM FINISH SCHEDULES

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620				Name of Project FIRE MUSEUM & FIRE PREVENTION OFFICE ACCESSIBILITY UPGRADES Location 351 BIRCHMOUNT RD. SCARBOROUGH, TORONTO ON M1N 3K1			
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9			OBC REFERENCE <small>References are to Division B unless noted (A) for Division A or (C) for Division C</small>		REMARKS	
1. PROJECT DESCRIPTION <div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration</div>	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4			<input type="checkbox"/> PART 3	<input checked="" type="checkbox"/> PART 9 1.1.2. [A] & 9.10.1.3.		
2. MAJOR OCCUPANCY(S) SUBSIDIARY OCCUPANCY(S)	GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCIES GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES GROUP A DIVISION 2 - MUSEUM			3.1.2.1. (1)	9.10.2.	EXISTING NO CHANGE	
3. BUILDING AREA (m²)	EXISTING - 279.7	NEW - 0	TOTAL - 279.7	1.4.1.2. [A]	1.4.1.2. [A]		
4. GROSS AREA (m²)	EXISTING - 418.8	NEW - 0	TOTAL - 418.8	1.4.1.2. [A]	1.4.1.2. [A]	EXISTING NO CHANGE	
5. NUMBER OF STOREYS	ABOVE GRADE - 1	BELOW GRADE - 1		1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.		
6. NUMBER OF STREETS/FIRE FIGHTER ACCESS - 2	EXISTING NO CHANGE			3.2.2.10. & 3.2.5.	9.10.20.		
7. BUILDING CLASSIFICATION -	EXISTING NO CHANGE			3.2.2.67.	9.10.2.		
8. SPRINKLER SYSTEM PROPOSED	<div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED</div>			3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX	EXISTING NO CHANGE	
9. STANDPIPE REQUIRED STANDPIPE PROVIDED	<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO</div>				3.2.9.	N/A	EXISTING NO CHANGE
10. FIRE ALARM REQUIRED FIRE ALARM PROVIDED	<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO</div>				3.2.4.	9.10.18.	EXISTING NO CHANGE
11. WATER SERVICE/SUPPLY IS ADEQUATE	<div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>				3.2.5.7.	N/A	EXISTING NO CHANGE
12. HIGH BUILDING	<div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>				3.2.6.	N/A	
13. CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION	<div><input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH</div>			3.2.2.67.	9.10.6.	EXISTING NO CHANGE	
14. MEZZANINE (S) AREA m²	N/A			3.2.1.1. (3) - (8)	9.10.4.1.		
15. OCCUPANT LOAD BASED ON <div>1ST FLOOR: OCCUPANCY _____ LOAD ____ PERSONS 2ND FLOOR: OCCUPANCY _____ LOAD ____ PERSONS MEZZANINE FLOOR: OCCUPANCY _____ LOAD ____ PERSONS</div>	<div><input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING</div>			3.1.17.	4.9.13.	EXISTING NO CHANGE	
16. BARRIER FREE DESIGN	<div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)</div>			3.8.	9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE	
17. HAZARDOUS SUBSTANCES	<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>			3.3.1.2 & 3.3.1.19	9.10.1.3.(4)		
18a. REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE N/A	LISTED DESIGN NO. OR DESCRIPTION (SB-2)		3.2.2.67. & 3.2.1.4.	9.10.8. 9.10.9.		

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE <small>References are to Division B unless noted (A) for Division A or (C) for Division C</small>		REMARKS
	18b. REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SB-2)						SB-2 TABLE 2.1.1.			
		FLOORS	NO CHANGE							SB-2 TABLE 2.1.1.			
		ROOF	NO CHANGE										
	MEZZANINE												
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	3.2.3.										9.10.14.	EXISTING NO CHANGE	
WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLAZING	NON-COMB. CONST.			
NORTH					-	0	-	-	-	-			
SOUTH					-	0	-	-	-	-			
EAST					-	0	-	-	-	-			
WEST					-	0	-	-	-	-			
20. PLUMBING FIXTURE REQUIREMENTS	MALE / FEMALE COUNT @ _____ % / _____ % EXISTING NO CHANGE										<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9		
	EXCEPT AS NOTED OTHERWISE				OCCUPANT LOAD		OBC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED				
	MAJOR OCCUPANCY _____				7 MALE		3.7.4.9.	1	1	3.7.4.9.			
					7 FEMALE		3.7.4.9.	1	1	3.7.4.9.			
21. EXITS/ ACCESS TO EXIT-											EXISTING NO CHANGE		
22. OTHER (DESCRIBE) -													
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building										OBC REFERENCE		REMARKS
11.1 EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)										11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N		
11.2 ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>										11.3.3.1. 11.3.3.2.		
11.3 REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES										11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.		
11.4 COMPENSATING CONSTRUCTION:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)										11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6		
11.5 COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)										11.5.1		



CLIENT CITY OF TORONTO  Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON MSV 3C6		
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A	50% SUBMISSION	2021-09-23
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CONSULTANTS		
SEAL		
PRIME CONSULTANT  IBI GROUP 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C9, Canada tel 416 679 1930 fax 416 675 4620 ibigroup.com		
PROJECT TITLE CITY OF TORONTO ACCESSIBILITY UPGRADES		
PROJECT ADDRESS 351 BIRCHMOUNT RD FIRE MUSEUM - FIRE PREVENTION OFFICE		
PROJECT NO: 9119-19-0162 / IBI 122260 DRAWN BY: A. HOLDER PROJECT MGR: F. BOLOURIAN SHEET TITLE DRAWING LIST & OBC MATRIX		
SHEET NUMBER G28-201-G0002		ISSUE C



IMAGE SOURCE: GOOGLE MAPS

1 KEY PLAN
A1201 Scale: NTS



PHOTO 01: PAINT NEW REGULAR PARKING LINES



PHOTO 02: PAINT NEW REGULAR PARKING LINES



PHOTO 03: PAINT NEW REGULAR PARKING LINES



PHOTO 04: PROVIDE COLOUR AND TEXTURAL NOSING FOR EXISTING EXTERIOR STEP



IMAGE SOURCE: TORONTO MAPS

2 SITE PLAN
A1201 Scale: 1 : 150

SITE LEGEND

- EXISTING MAIN ENTRANCE
- EXISTING EXIT TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

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Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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PRIME CONSULTANT

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Toronto, ON M9W 0C9, Canada
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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

351 BIRCHMOUNT RD
FIRE MUSEUM - FIRE PREVENTION
OFFICE

PROJECT NO:

9119-19-0162 / IBI 122260

DRAWN BY:

A. HOLDER

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

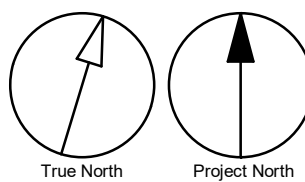
SITE PLAN

SHEET NUMBER

G28-201-A1201

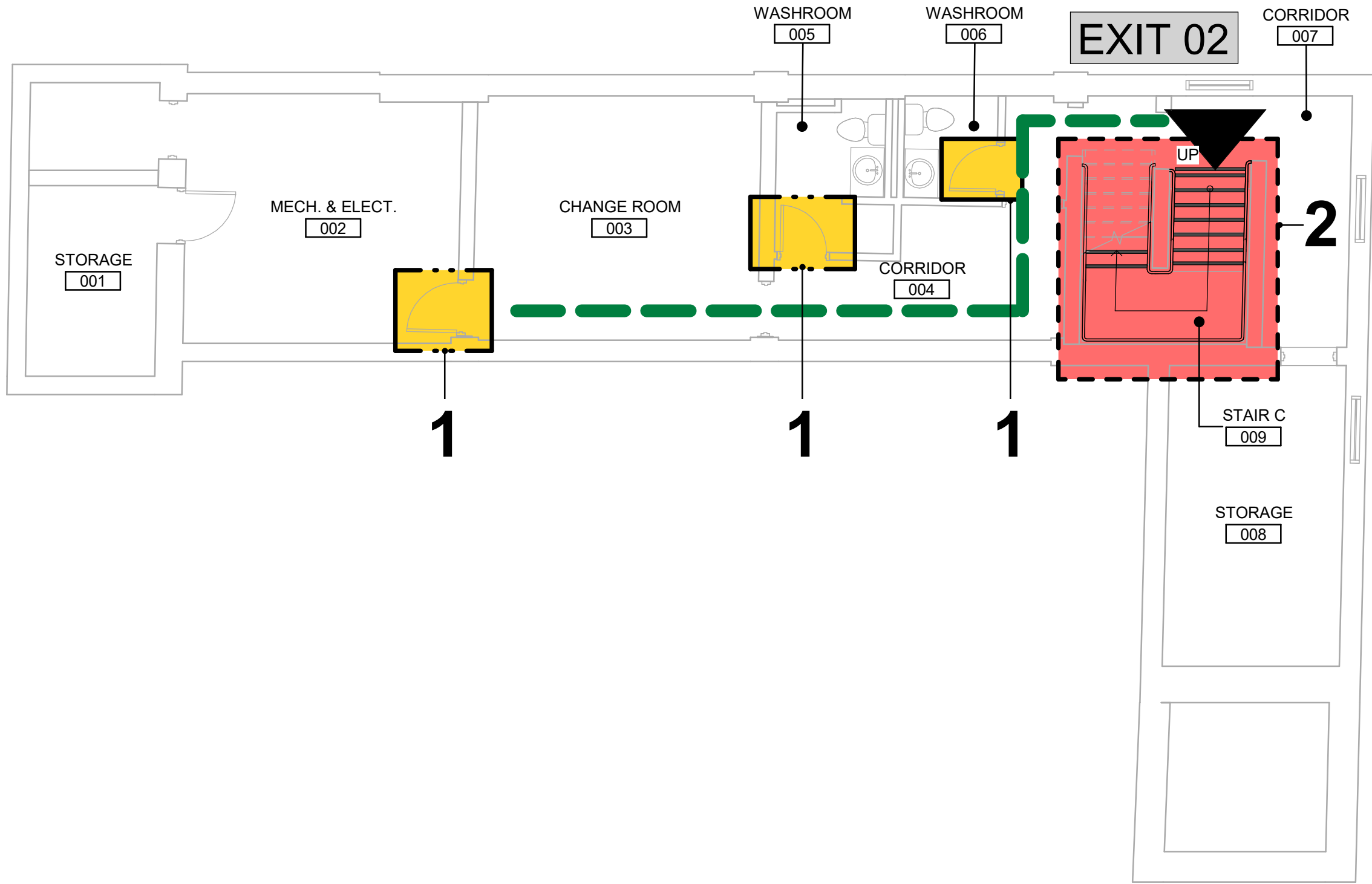
ISSUE

C



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Scale 1:75



CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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CITY OF TORONTO


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PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
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CHECKED BY:
K. TILAHUN

PROJECT MGR:
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APPROVED BY:
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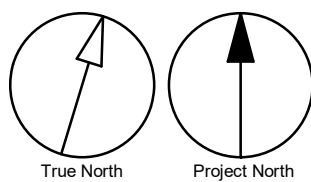
SHEET TITLE
**BASEMENT STAGING
PLAN**

SHEET NUMBER

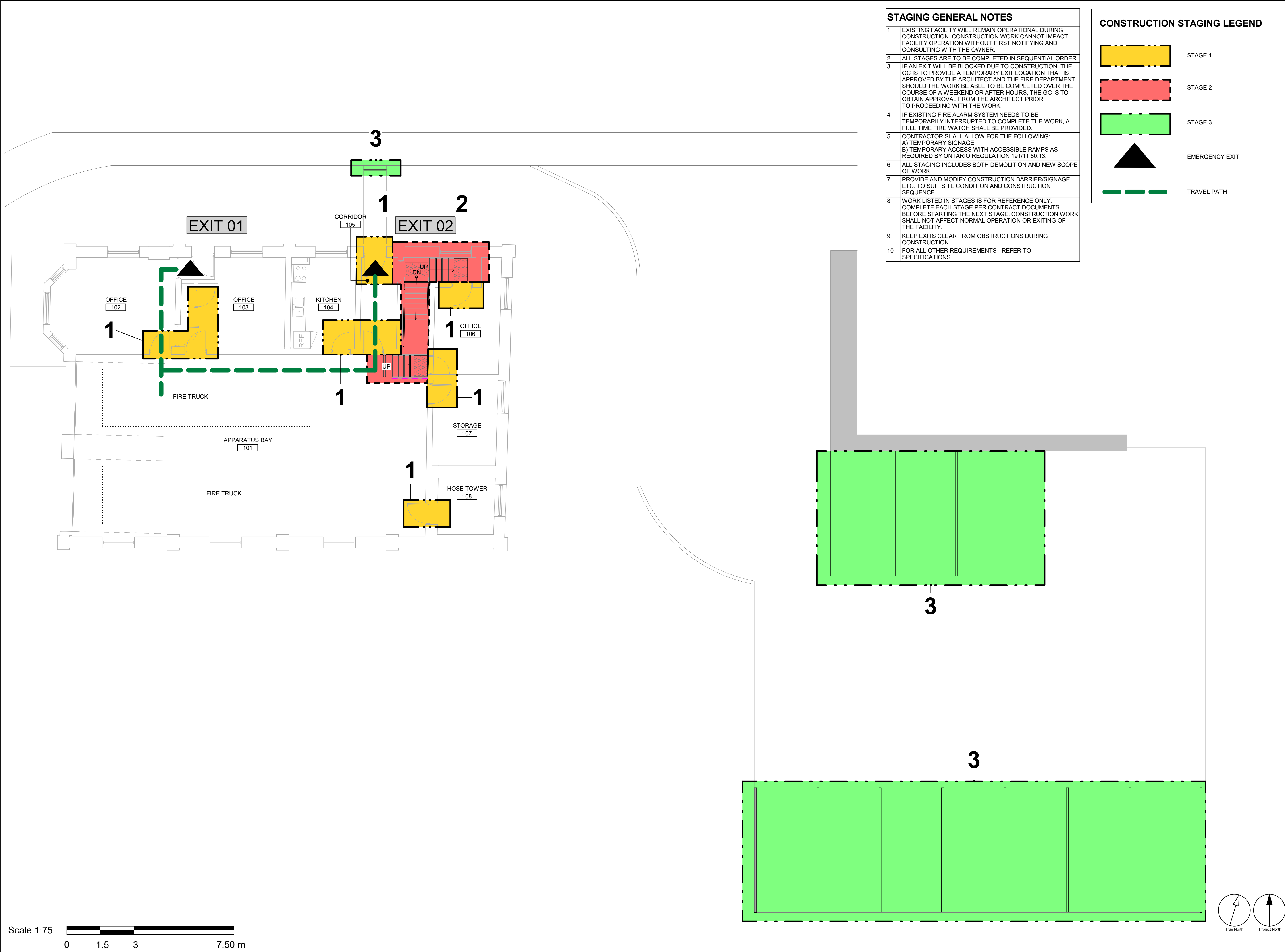
G28-201-A2001

ISSUE

C



BIM 360/122260 - CoT TAU Upgrades R2020122260-TAU-28-201-351-BRCMNT-A-R201.rvt 1/11



- STAGING GENERAL NOTES**
- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
 - 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
 - 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
 - 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
 - 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
 - 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
 - 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
 - 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
 - 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
 - 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

CONSTRUCTION STAGING LEGEND

STAGE 1

STAGE 2

STAGE 3

EMERGENCY EXIT

TRAVEL PATH

CLIENT

CITY OF TORONTO

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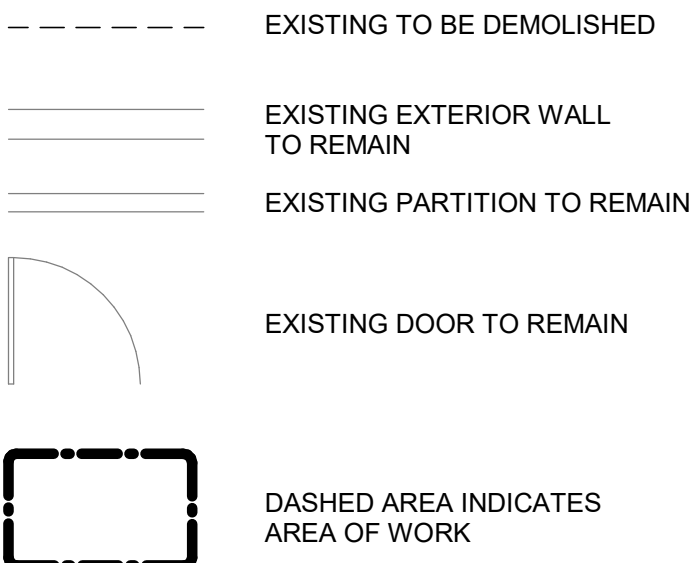
SHEET TITLE
FIRST FLOOR STAGING
PLAN

SHEET NUMBER
G28-201-A2011

ISSUE
C



DEMOLITION KEY LEGEND



DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.

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K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUITA

SHEET TITLE
BASEMENT & FIRST
FLOOR DEMOLITION AND
PROPOSED PLANS

SHEET NUMBER

G28-201-A2111

ISSUE

C

2 BASEMENT DEMOLITION PLAN

A2111 Scale: 1 : 75

1 FIRST FLOOR DEMOLITION PLAN

A2111 Scale: 1 : 75

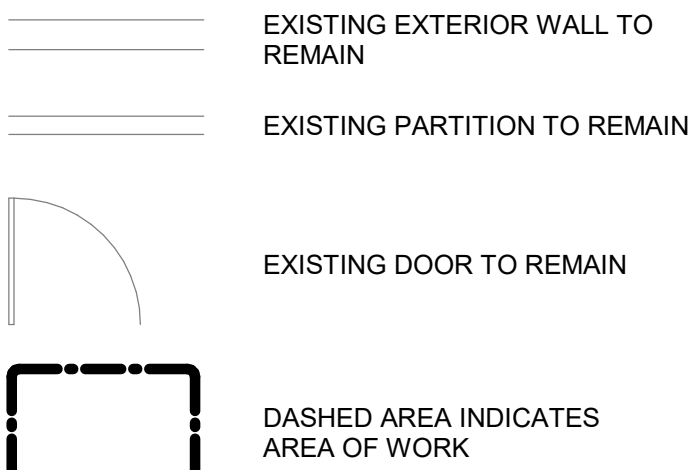
3 BASEMENT PROPOSED PLAN

A2111 Scale: 1 : 75

4 FIRST FLOOR PROPOSED PLAN

A2111 Scale: 1 : 75

CONSTRUCTION KEY LEGEND



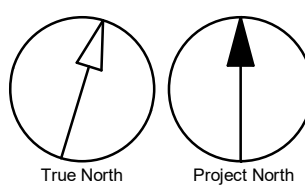
CONSTRUCTION GENERAL NOTES

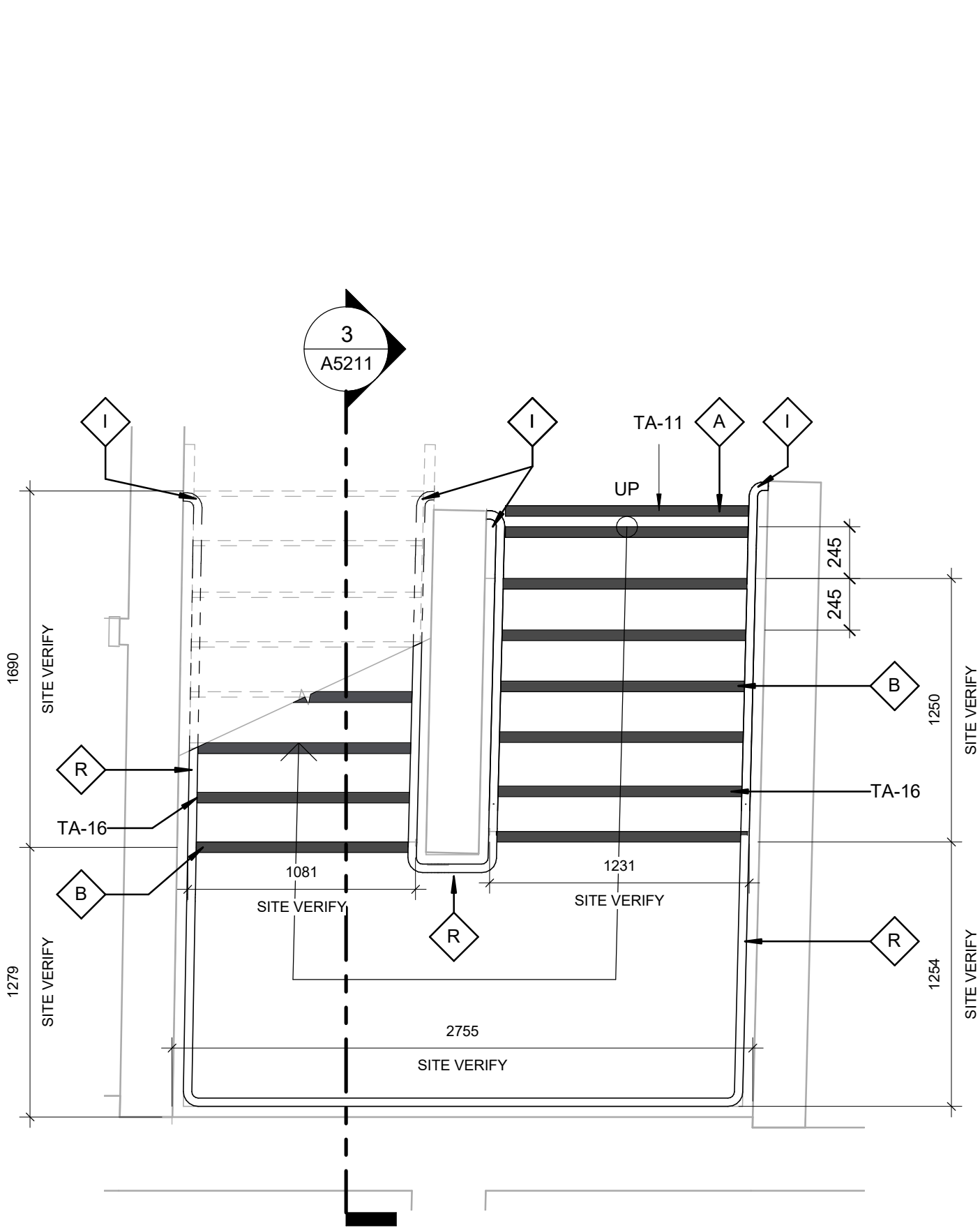
- 1 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

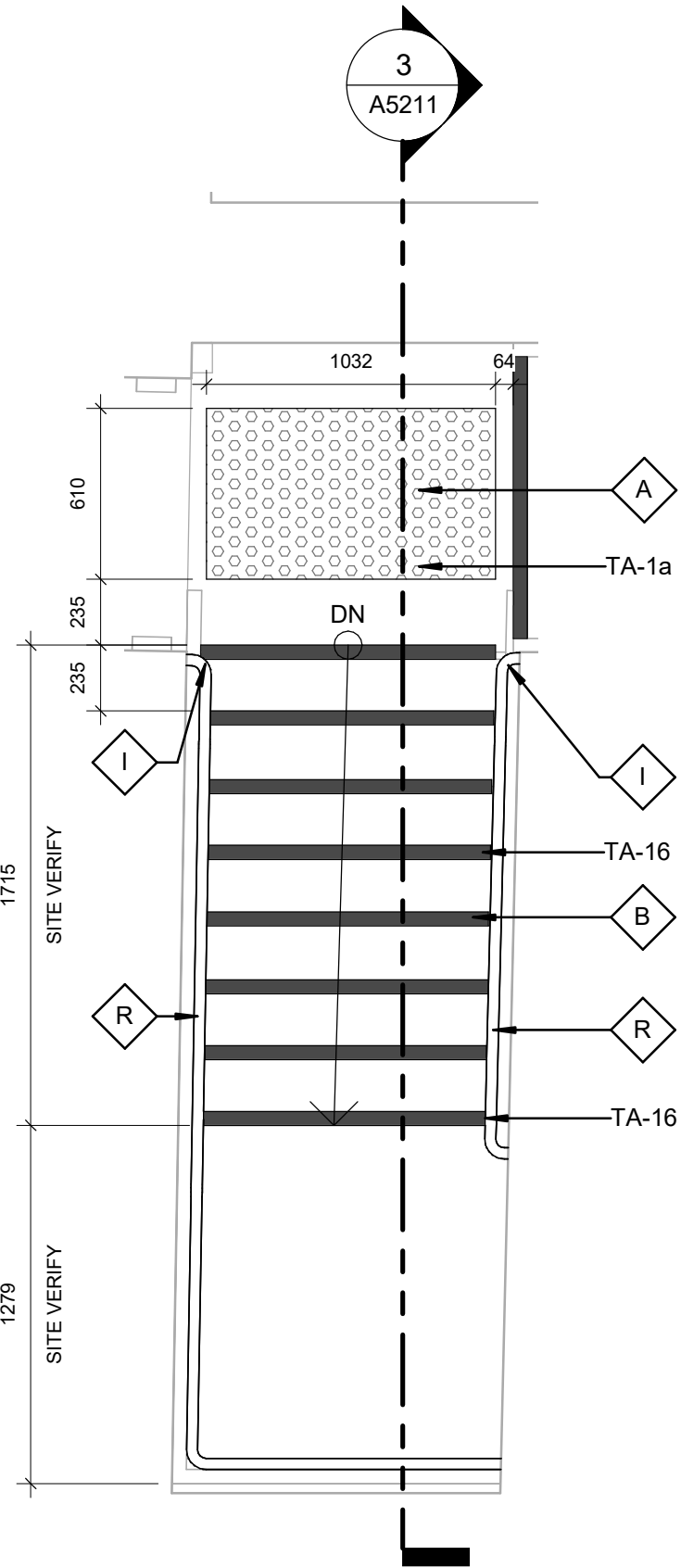
NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

NOTE: WORK WITHIN EXIT STAIRS TO BE DONE AFTER HOURS SO THAT EXITING OF THE BUILDING IS NOT AFFECTED. PROVIDE TEMPORARY LEVELING WITH FIRE-RETARDANT, TREATED PLYWOOD OR OTHER NON-COMBUSTIBLE MATERIAL FOR ANY FLOOR DEPRESSION TO AVOID TRIP HAZARDS.

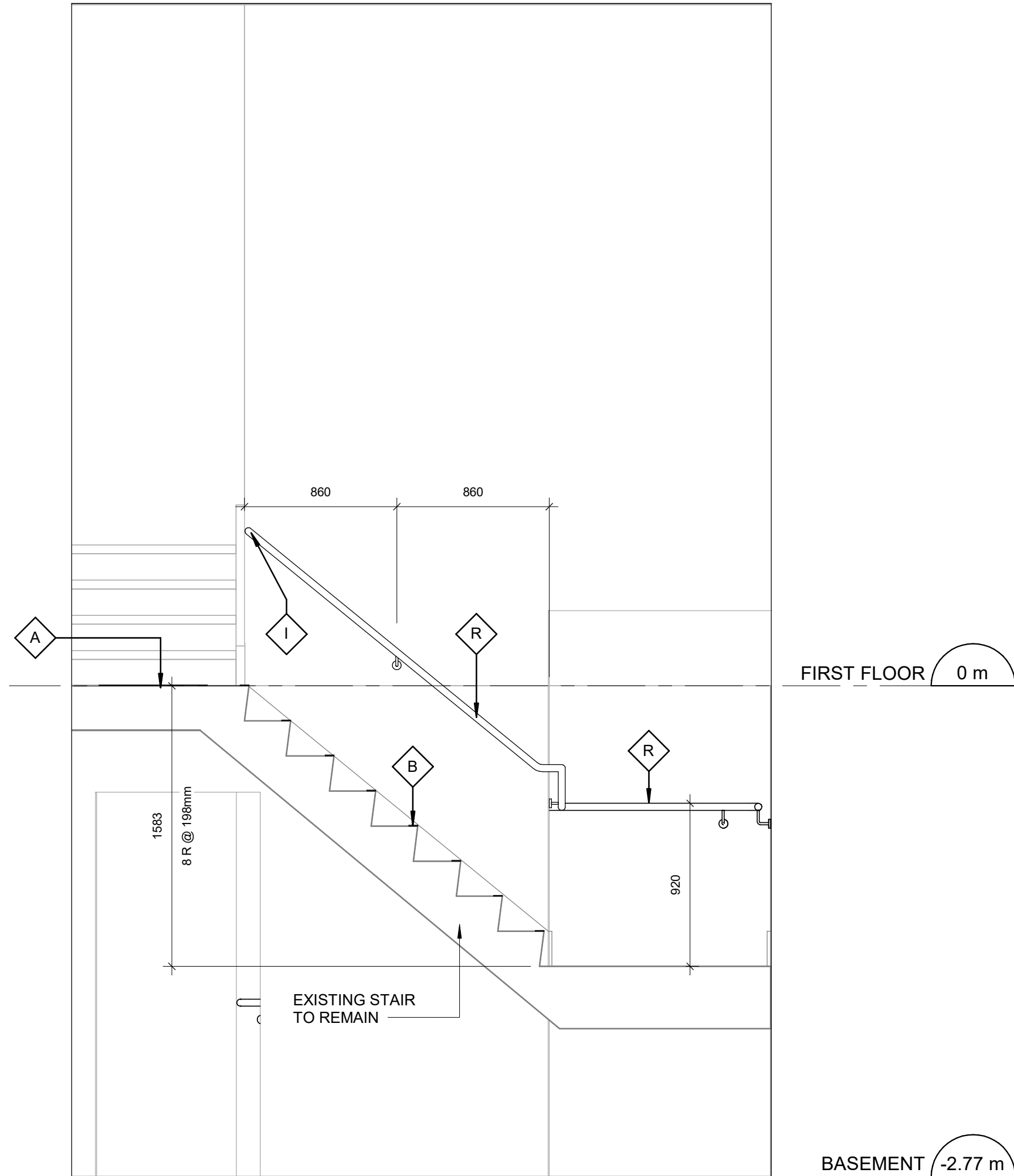




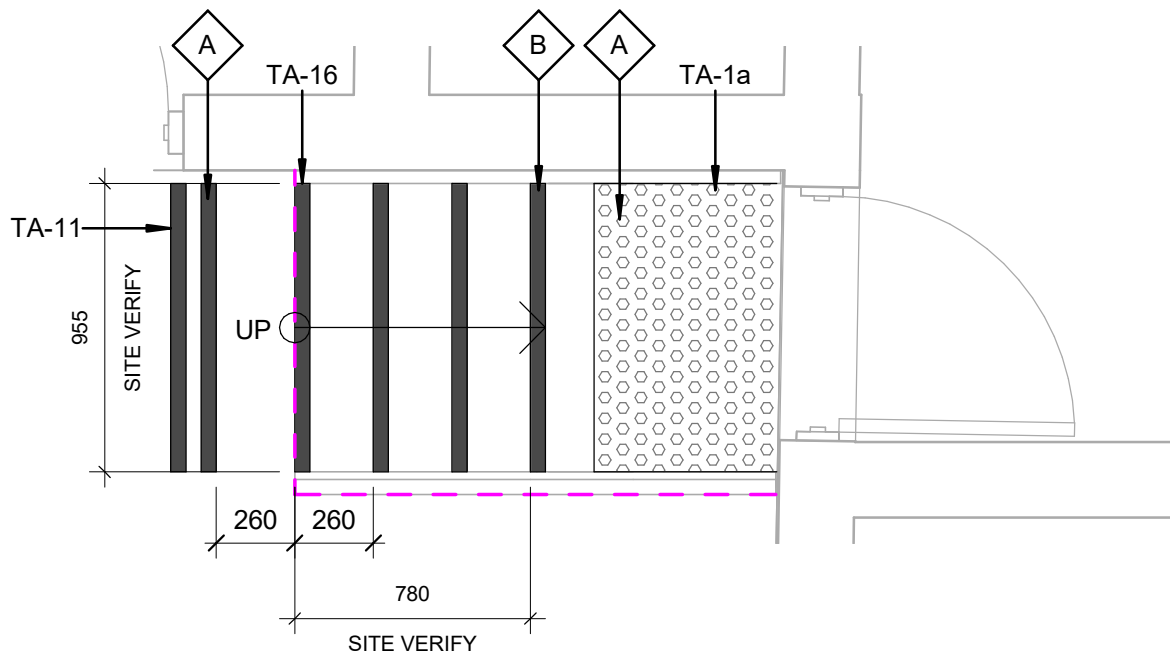
1 STAIR C - ENLARGED BASEMENT PLAN
A5211 Scale: 1 : 25



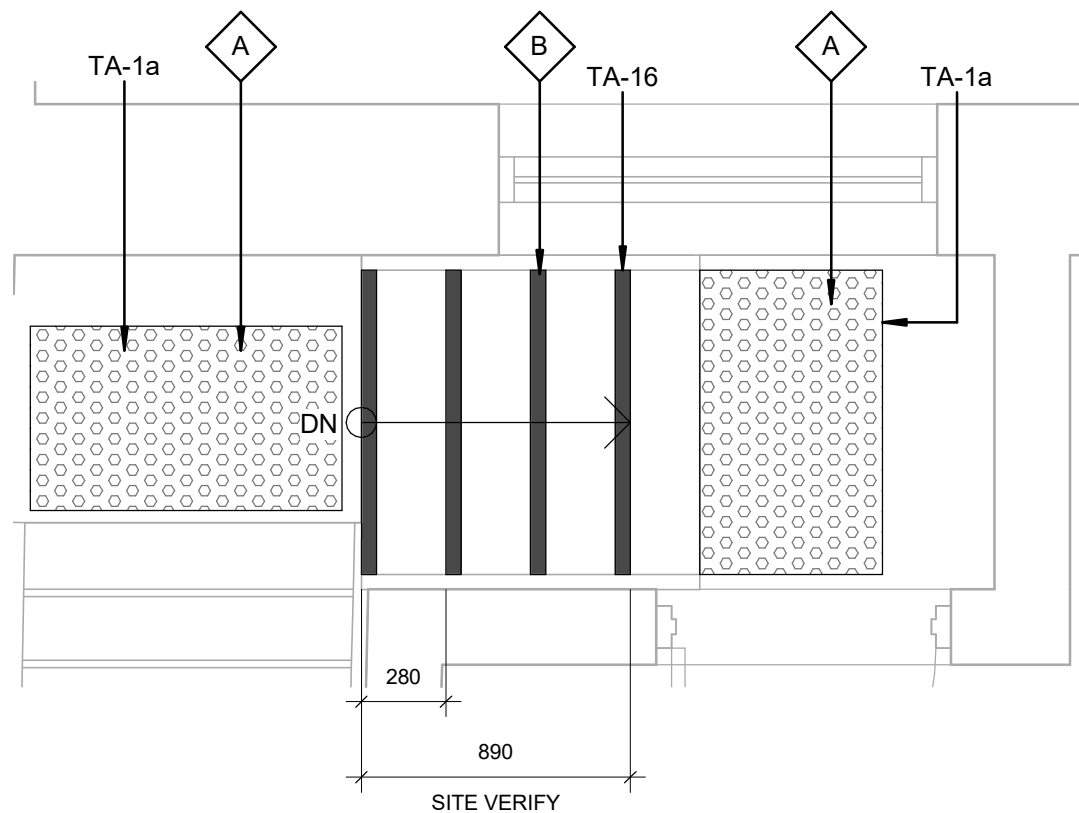
2 STAIR C - ENLARGED FIRST FLOOR PLAN
A5211 Scale: 1 : 25



3 STAIR C - SECTION 1
A5211 Scale: 1 : 25



4 STAIR A - ENLARGED PLAN
A5211 Scale: 1 : 25



5 STAIR B - ENLARGED PLAN
A5211 Scale: 1 : 25

CONSTRUCTION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN

CONSTRUCTION GENERAL NOTES

1	REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING
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CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
I	INSTALL HANDRAIL WARNING STRIP - REFER TO DETAIL 8/D1405 AND 10/D1405.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.

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CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	20022-11-01

CONSULTANTS

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**351 BIRCHMOUNT RD
FIRE MUSEUM - FIRE PREVENTION
OFFICE**

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
A. HOLDER

CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

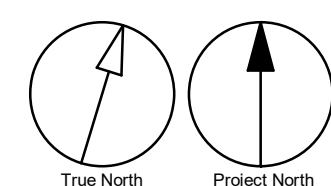
SHEET TITLE
**STAIR PLANS AND
SECTIONS**

SHEET NUMBER

G28-201-A5211

ISSUE

C



DOOR SCHEDULE																
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS	
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/ BFAO	PANIC DEVICE			
BASEMENT																
NE-001	CHANGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-002	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-003	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
FIRST FLOOR																
NE-101	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-102	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-103	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-103b	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-104	KITCHEN	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-105	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-106	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-107	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)	
NE-108	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-109	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-110	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	

ROOM FINISH SCHEDULE																		
ROOM NUMBER	ROOM NAME	FLOOR		BASE		NORTH		EAST		SOUTH		WEST		CEILING			NOTES	
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT		
BASEMENT																		
009	STAIR C	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	PAINT HANDRAILS AND GUARDRAILS - PT-3
FIRST FLOOR																		
109	STAIR A	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	PAINT HANDRAILS AND GUARDRAILS - PT-3
110	STAIR B	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
111	STAIR C	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EWf-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm(12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	MEETS DCOF	STONE TILE	SHOWER FLOOR TILE
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS UPPERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS LOWERS
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILING
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

DOOR ABBREVIATIONS	
* ALUM ANOD BFAO BFPB BFWO CR EXIST FBM GWB GWG HM IHM ITGL KP OBM PF PLAM PT SIM SS TGL WD	DENOTES YES ALUMINUM ANODIZED BARRIER-FREE AUTOMATIC OPENER BARRIER-FREE PUSH BUTTON BARRIER-FREE WAVE TO OPEN CARD READER EXISTING FINGER BIOMETRIC GYPSUM WALL BOARD GEORGIAN WIRE GLASS HOLLOW METAL INSULATED HOLLOW METAL INSULATED TEMPERED (SAFETY) GLASS KEY PAD OCULAR BIOMETRIC PRE FINISHED PLASTIC LAMINATE PAINT SIMILAR STAINLESS STEEL TEMPERED GLASS WOOD

NOTE: - PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE. - PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.	
--	--

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CITY OF TORONTO



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CONSULTANTS

SEAL

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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

351 BIRCHMOUNT RD
FIRE MUSEUM - FIRE PREVENTION
OFFICE

PROJECT NO:
9119-19-0162 / IBI 122260

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KYASHUIUK

CHECKED BY:
K. TILAHUN

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUITA

SHEET TITLE

DOOR AND ROOM FINISH
SCHEDULES

SHEET NUMBER

G28-201-A9001

ISSUE

C