

# CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162/ IBI 122260

FIRE HALL NO. 223  
116 DORSET RD.

GROUP 28  
SEQ 26



NOT FOR CONSTRUCTION

ISSUED FOR TENDER

ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	ISSUED FOR PERMIT	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO  
ACCESSIBILITY UPGRADES  
PROGRAM GROUP 28

PROJECT NO: 9119-19-0162/ IBI 122260	
DATE: 2022-11-01	
SHEET NUMBER G28-026-G0001	ISSUE C



GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G0001	COVER SHEET
G0002	DRAWING LIST & OBC MATRIX

ARCHITECTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A1201	EXISTING SITE PLAN
A1202	PROPOSED SITE PLAN
A2011	BASEMENT & FIRST FLOOR STAGING PLANS
A2111	BASEMENT & FIRST FLOOR DEMOLITION PLANS
A2411	BASEMENT & FIRST FLOOR PROPOSED PLANS
A3011	BUILDING ELEVATIONS
A9111	DOOR SCHEDULE

ELECTRICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
E0000	DRAWING LIST
E1101	ELECTRICAL DEMOLITION PLAN 1ST FLOOR
E2101	POWER & SYSTEMS PLAN 1ST FLOOR

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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CONSULTANTS

SEAL

PRIME CONSULTANT

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PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS  
FIRE HALL NO. 223  
116 DORSET RD.

PROJECT NO:  
9119-19-0162/ IBI 122260  
DRAWN BY:  
A. HOLDER  
PROJECT MGR:  
F. BOLOURIAN

CHECKED BY:  
K. TILAHUN  
APPROVED BY:  
E. FENUTA

SHEET TITLE  
DRAWING LIST & OBC  
MATRIX

SHEET NUMBER	ISSUE
G28-026-G0002	C

<div>Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620</div>				<div>Name of Project FIRE HALL NO. 223 ACCESSIBILITY UPGRADES Location 116 DORSET RD. SCARBOROUGH, TORONTO ON M1M 2T1</div>	
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9			OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
1.	PROJECT DESCRIPTION <div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration</div>	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input checked="" type="checkbox"/> PART 3	<input checked="" type="checkbox"/> PART 9 1.1.2. [A] & 9.10.1.3.	
2.	MAJOR OCCUPANCY(S) GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCIES SUBSIDIARY OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES GROUP C - RESIDENTIAL OCCUPANCIES	3.1.2.1. (1)	9.10.2.		EXISTING NO CHANGE
3.	BUILDING AREA (m²) EXISTING - 452.6 NEW - 0 TOTAL - 452.6	1.4.1.2. [A]	1.4.1.2. [A]		
4.	GROSS AREA (m²) EXISTING - 663.0 NEW - 0 TOTAL - 663.0	1.4.1.2. [A]	1.4.1.2. [A]		EXISTING NO CHANGE
5.	NUMBER OF STOREYS ABOVE GRADE - 1 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.		
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 2	3.2.2.10. & 3.2.5.	9.10.20.		
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE	3.2.2.67.	9.10.2.		
8.	SPRINKLER SYSTEM PROPOSED <div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED</div>	3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2   INDEX		EXISTING NO CHANGE
9.	STANDPIPE REQUIRED STANDPIPE PROVIDED	<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.9.  N/A		EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED FIRE ALARM PROVIDED	<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.4.  9.10.18.		EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE	<div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.5.7.  N/A		EXISTING NO CHANGE
12.	HIGH BUILDING	<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>	3.2.6.  N/A		
13.	CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION	<div><input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH</div>	3.2.2.67.  9.10.6.		EXISTING NO CHANGE
14.	MEZZANINE (S) AREA m²	N/A	3.2.1.1. (3) - (8)  9.10.4.1.		
15.	OCCUPANT LOAD BASED ON <div><input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING</div> <div>1ST FLOOR: OCCUPANCY _____ LOAD _____ PERSONS 2ND FLOOR: OCCUPANCY _____ LOAD _____ PERSONS MEZZANINE FLOOR: OCCUPANCY _____ LOAD _____ PERSONS</div>	3.1.17.	4.9.13.		EXISTING NO CHANGE
16.	BARRIER FREE DESIGN <div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)</div>	3.8.	9.5.2.		ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES <div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>	3.3.1.2 & 3.3.1.19	9.10.1.3.(4)  9.10.1.3.(4)		
18a.	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE N/A	3.2.2.67. & 3.2.1.4.    9.10.8. 9.10.9.		

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS								
18b.	REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE	LISTED DESIGN NO. OR DESCRIPTION (SB-2)	SB-2 TABLE 2.1.1.  SB-2 TABLE 2.1.1.																
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										3.2.3. 9.10.14.	EXISTING NO CHANGE								
	WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLAZING	NON-COMB. CONST.									
	NORTH					-	0	-	-	-	-									
	SOUTH					-	0	-	-	-	-									
	EAST					-	0	-	-	-	-									
	WEST					-	0	-	-	-	-									
20.	PLUMBING FIXTURE REQUIREMENTS										-									
	MALE / FEMALE COUNT @ _____ % / _____ % EXCEPT AS NOTED OTHERWISE					EXISTING NO CHANGE					<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9									
	MAJOR OCCUPANCY _____		OCCUPANT LOAD		OBC TABLE NUMBER		FIXTURES REQUIRED		FIXTURES PROVIDED											
			X MALE		3.7.4.9.		X		X		3.7.4.9.									
			X FEMALE		3.7.4.9.		X		X		3.7.4.9.									
21.	EXITS/ ACCESS TO EXIT-											EXISTING NO CHANGE								
22.	OTHER (DESCRIBE) -																			

ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building										OBC REFERENCE	REMARKS
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)								11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N		
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>								11.3.3.1. 11.3.3.2.		
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES								11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.		
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL:  BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)								11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6		
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)								11.5.1		



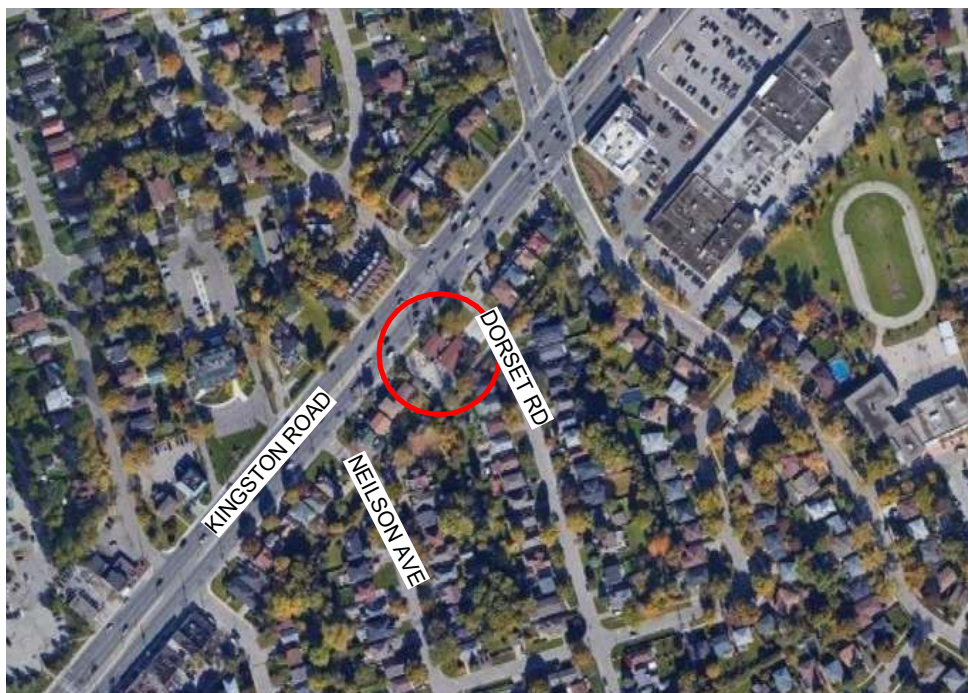


IMAGE SOURCE: GOOGLE MAPS

1 KEY PLAN  
A1201 Scale: NTS



2 SITE PLAN  
A1201 Scale: 1 : 150



PHOTO 01: PARKING LOT



PHOTO 02: PARKING LOT

SITE LEGEND

◀ EXISTING MAIN ENTRANCE

◀ EXISTING EXIT TO REMAIN

===== NEW PAINTED LINE MARKING  
DETAIL - REFER TO DETAIL 4/D1701

▭ DASHED AREA INDICATES  
AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- 2 DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

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PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FIRE HALL NO. 223  
116 DORSET RD.**

PROJECT NO:

9119-19-0162/ IBI 122260

DRAWN BY:

**A. HOLDER**

CHECKED BY:

**K. TILAHUN**

PROJECT MGR:

**F. BOLOURIAN**

APPROVED BY:

**E. FENUTA**

SHEET TITLE

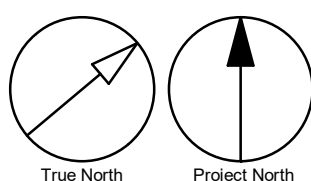
**EXISTING SITE PLAN**

SHEET NUMBER

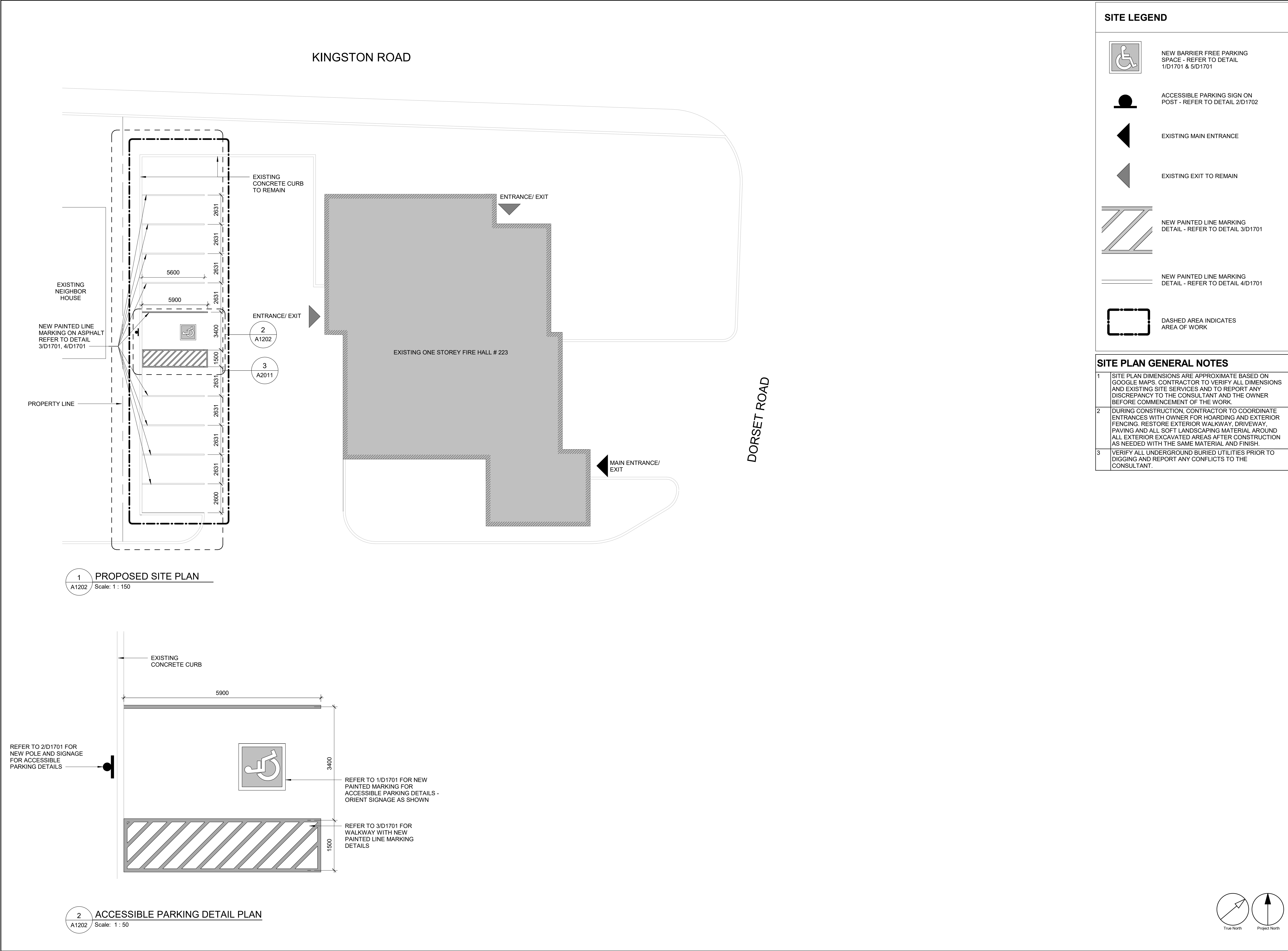
**G28-026-A1201**

ISSUE

**C**







SITE LEGEND

NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701

ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702

EXISTING MAIN ENTRANCE

EXISTING EXIT TO REMAIN

NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701

NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701

DASHED AREA INDICATES AREA OF WORK

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DRAWN BY:

A. HOLDER

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUITA

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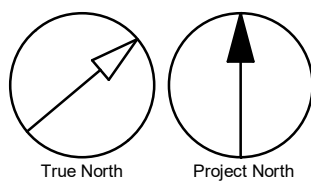
PROPOSED SITE PLAN

SHEET NUMBER

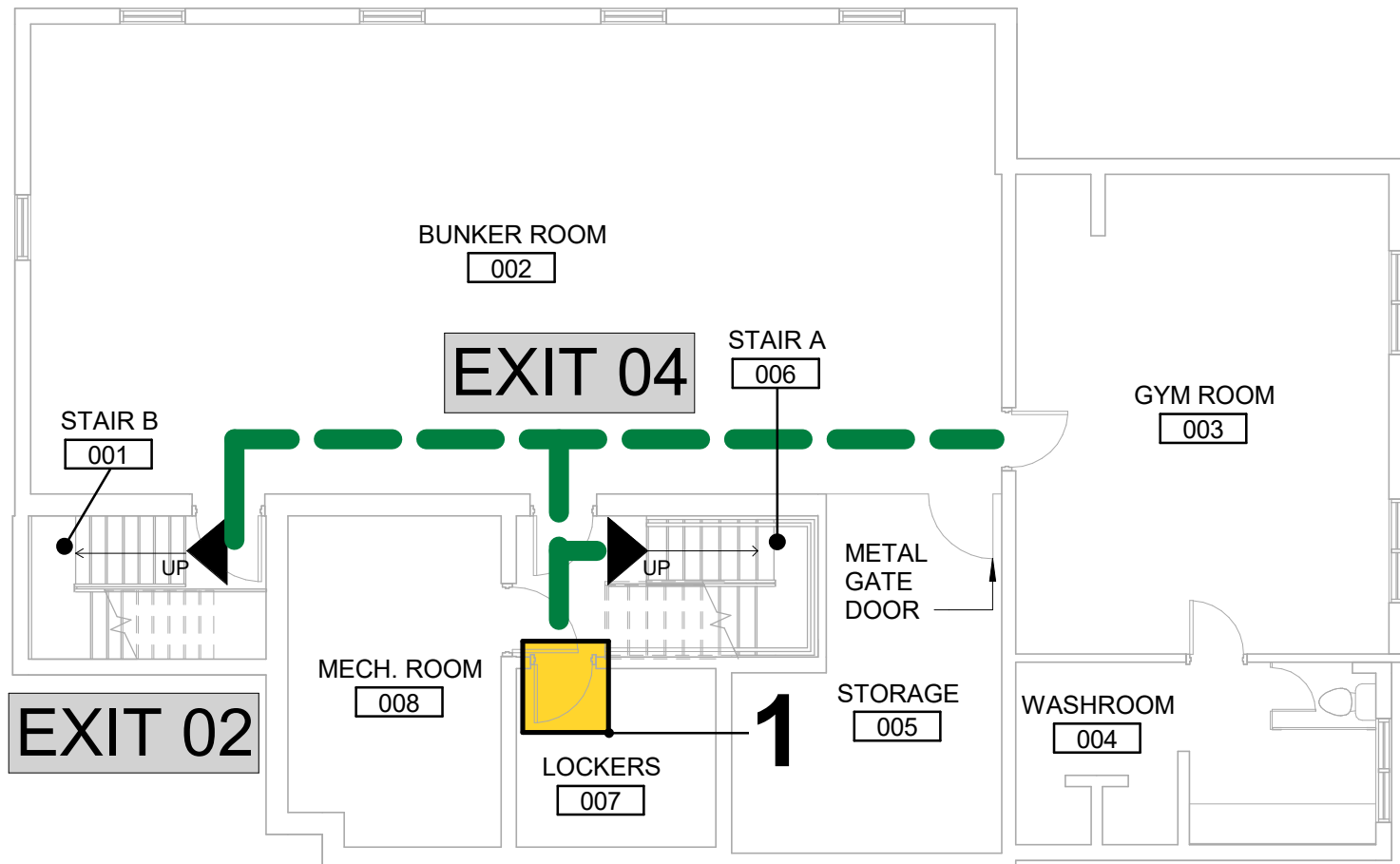
G28-026-A1202

ISSUE

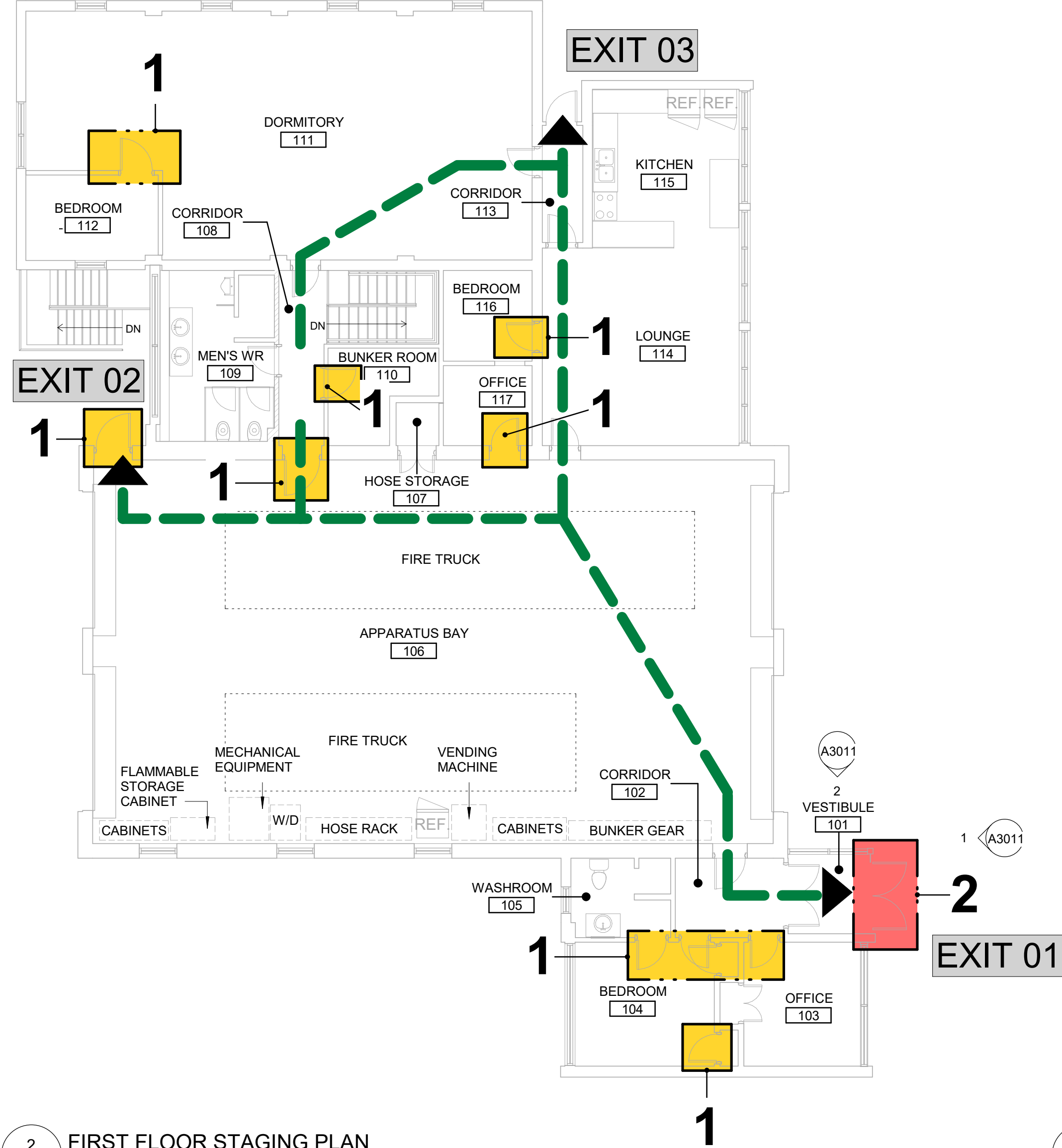
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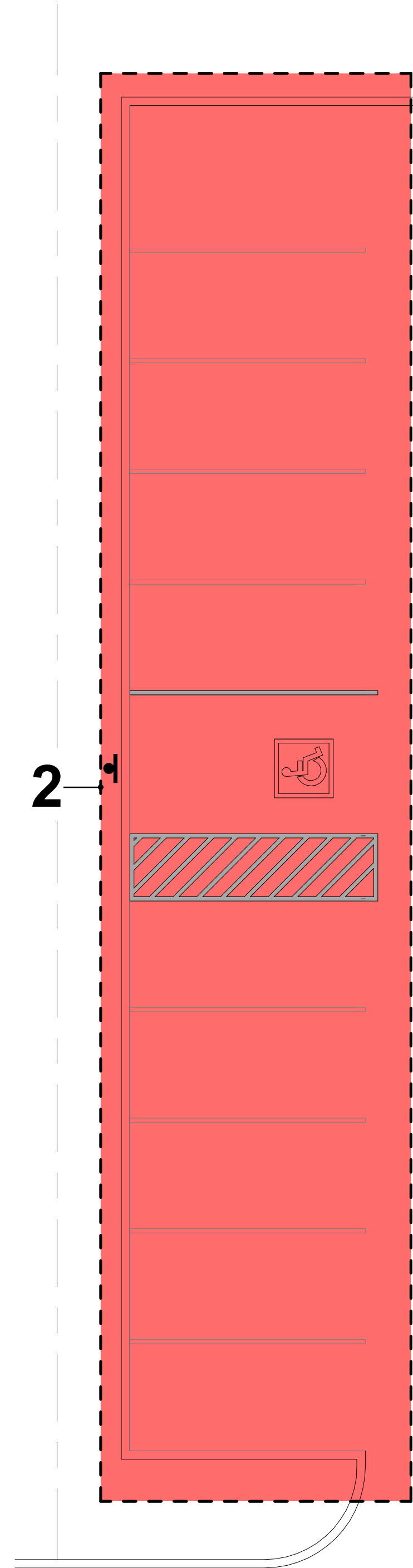
1 BASEMENT STAGING PLAN  
A2011 Scale: 1 : 100



2 FIRST FLOOR STAGING PLAN  
A2011 Scale: 1 : 100



3 PARKING STAGING PLAN  
A2011 Scale: 1 : 100



#### CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

#### STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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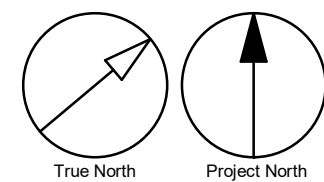
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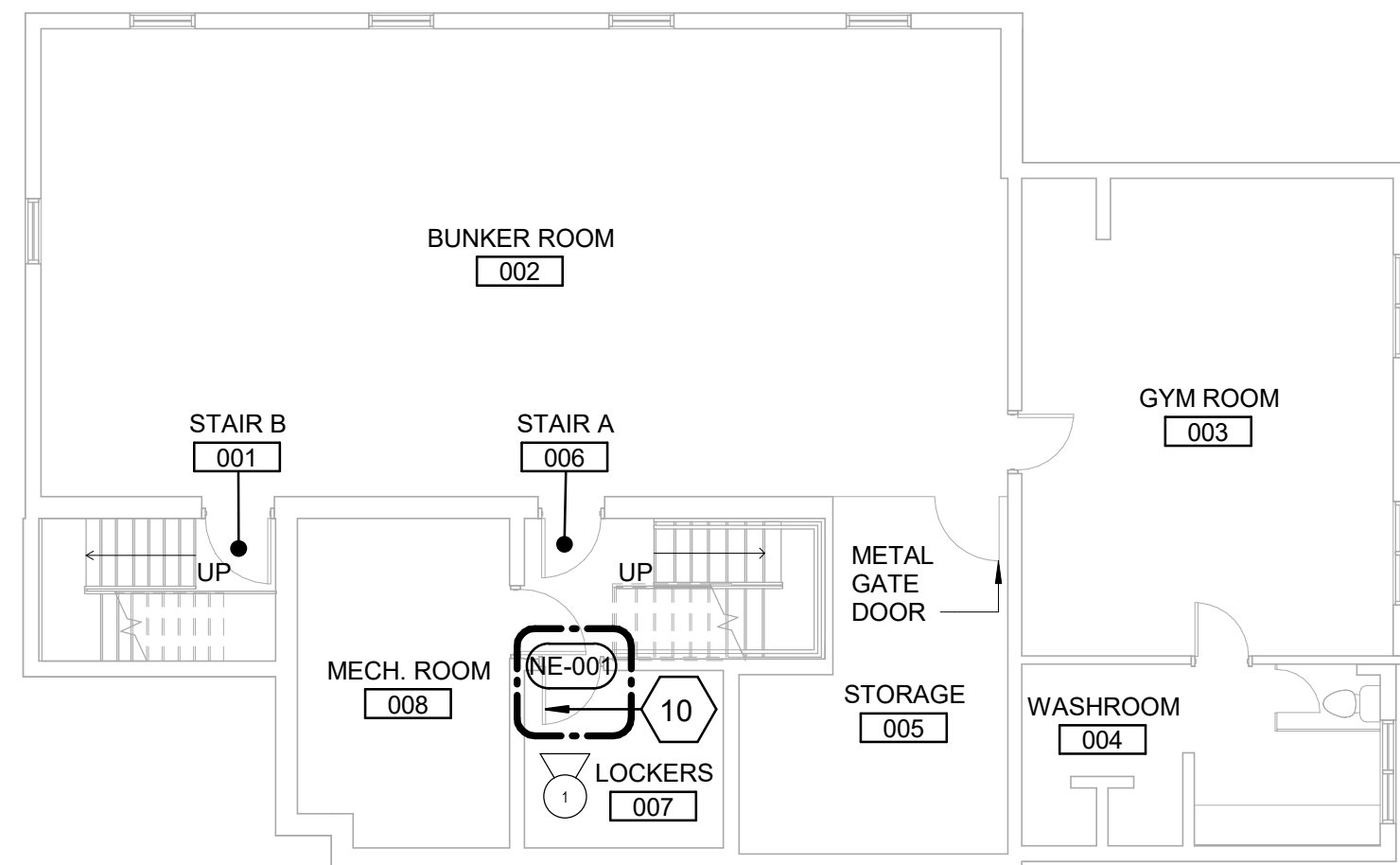
DRAWN BY: <b>A. HOLDER</b>	CHECKED BY: <b>K. TILAHUN</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**BASEMENT & FIRST  
FLOOR STAGING PLANS**

SHEET NUMBER <b>G28-026-A2011</b>	ISSUE <b>C</b>
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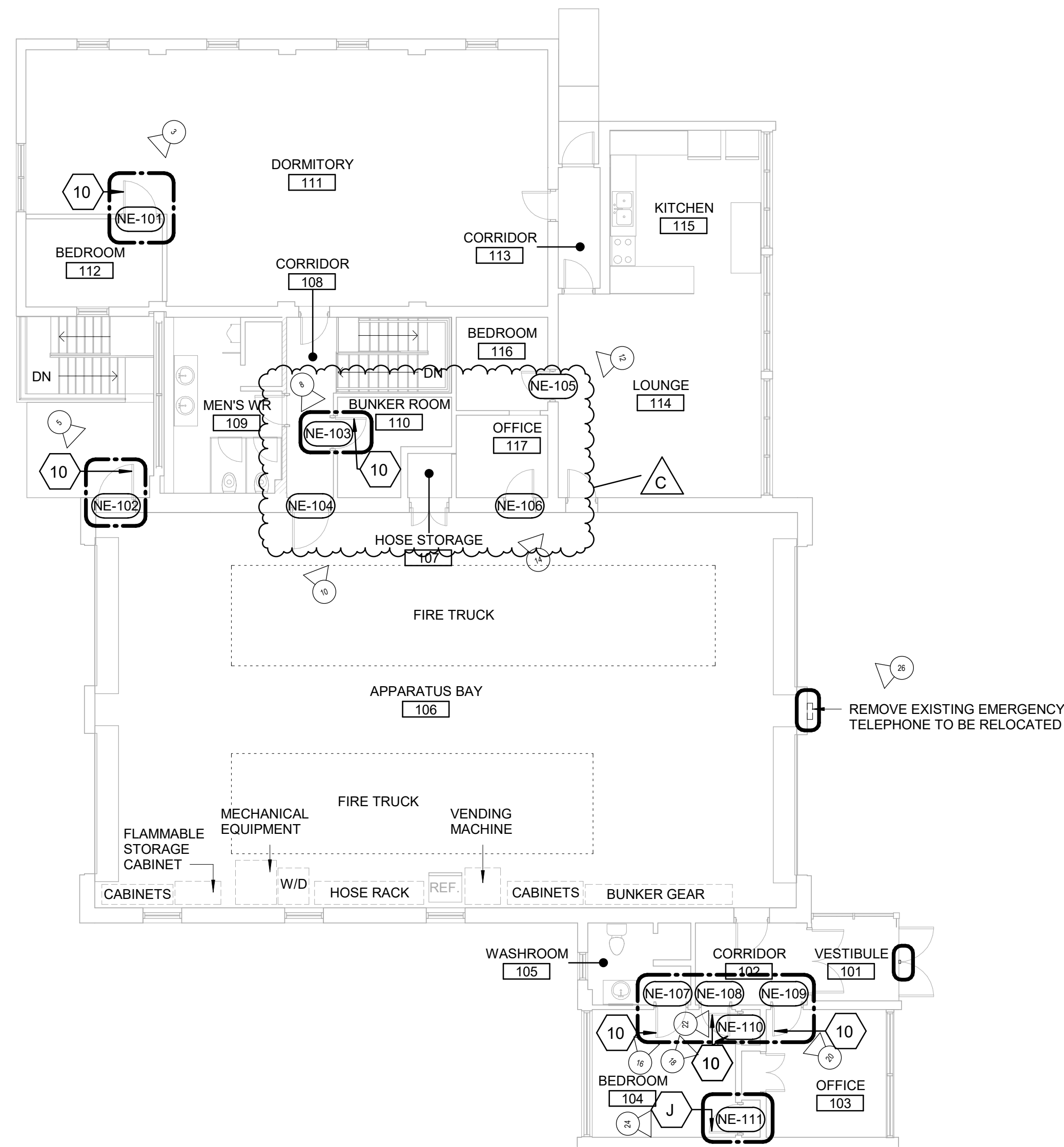
1 BASEMENT DEMOLITION PLAN  
A2111 Scale: 1 : 100



PH 01: NE-001  
REMOVE PAD LOCK  
AND LATCH AND  
REPLACE WITH  
LOCKABLE LATCH  
SET, PATCH AND  
MAKE GOOD DOOR  
SURFACE



PH 02: NE-001



2 FIRST FLOOR DEMOLITION PLAN  
A2111 Scale: 1 : 100



PH 03: NE-101



PH 04: NE-101



PH 05: NE-102



PH 06: NE-102



PH 07: NE-102



PH 08: NE-103



PH 09: NE-103



PH 10: NE-104



PH 11: NE-104



PH 12: NE-105



PH 13: NE-105



PH 14: NE-106



PH 15: NE-106



PH 16: NE-107



PH 17: NE-107



PH 18: NE-108



PH 19: NE-108



PH 20: NE-109



PH 21: NE-109



PH 22: NE-110



PH 23: NE-110



PH 24: NE-111



PH 25: NE-111



PH 26: EXISTING  
EMERGENCY  
TELEPHONE TO BE  
RELOCATED

### DEMOLITION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

### DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

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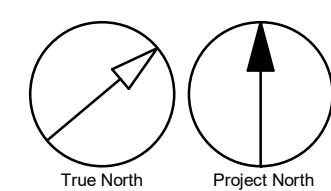
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**FIRE HALL NO. 223  
116 DORSET RD.**

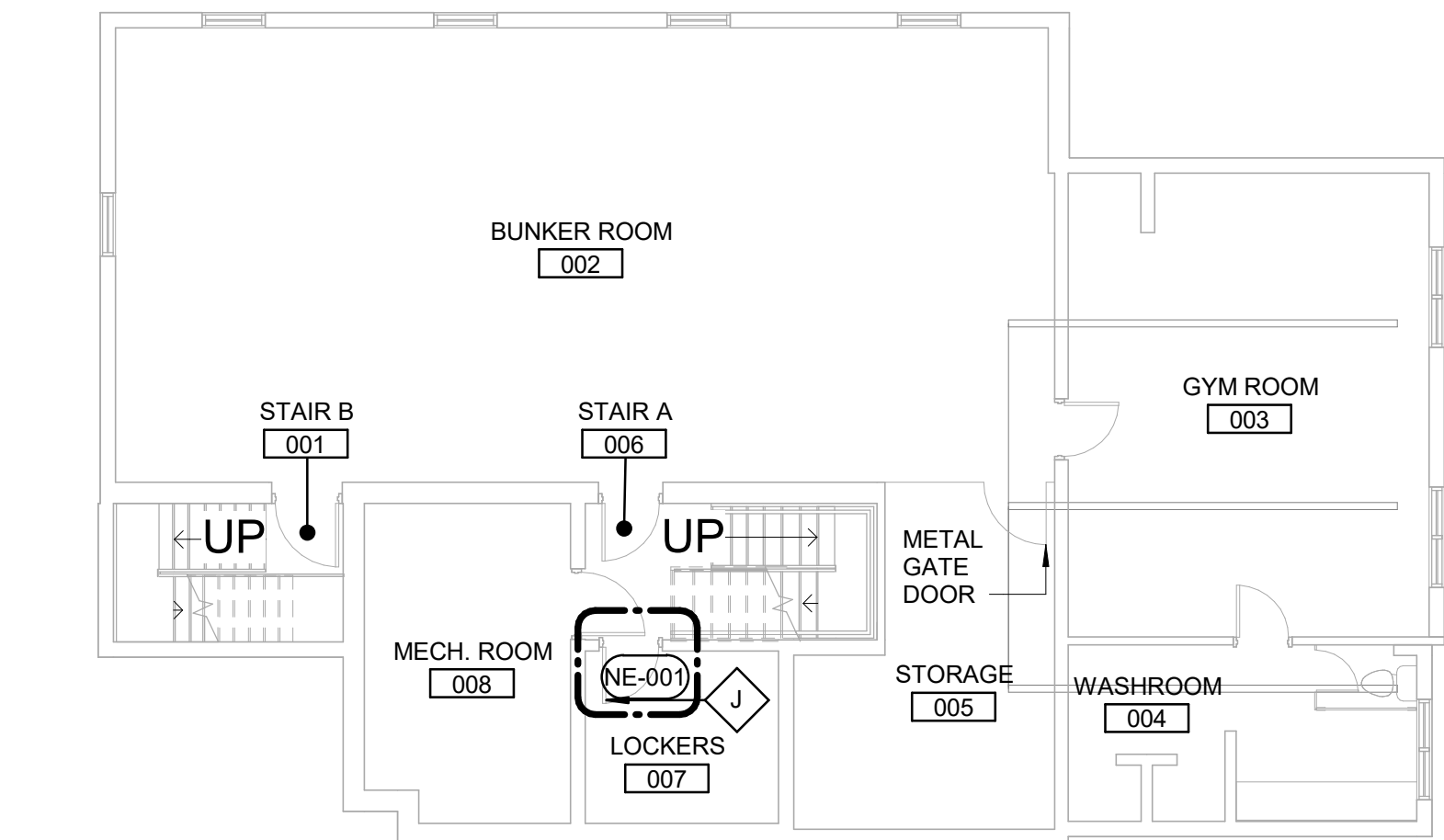
PROJECT NO:  
9119-19-0162/ IBI 122260  
DRAWN BY:  
**A. HOLDER**  
CHECKED BY:  
**K. TILAHUN**  
PROJECT MGR:  
**F. BOLOURIAN**  
APPROVED BY:  
**E. FENUITA**

SHEET TITLE  
**BASEMENT & FIRST  
FLOOR DEMOLITION  
PLANS**

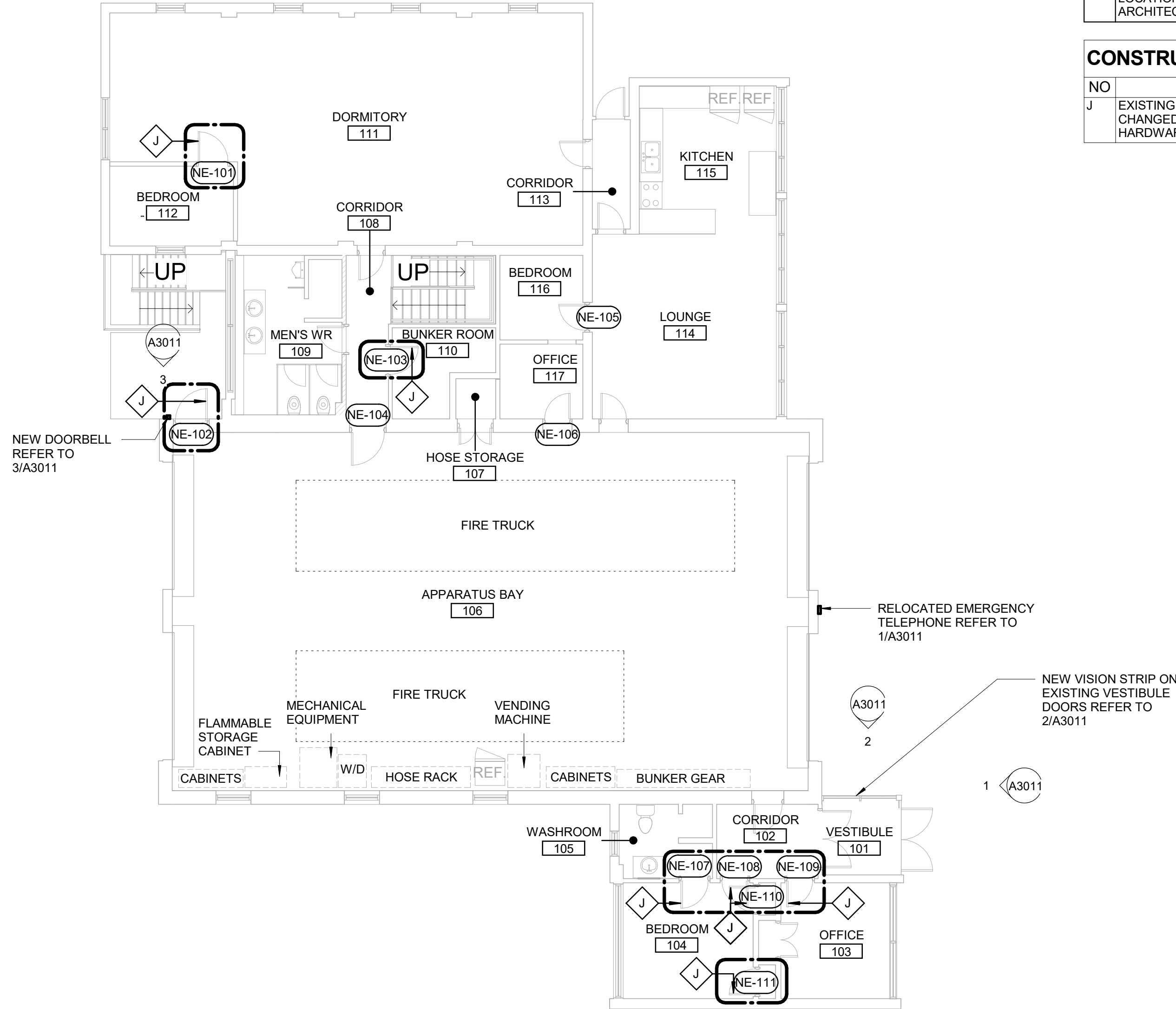
SHEET NUMBER  
**G28-026-A2111**  
ISSUE  
**C**







1 BASEMENT PROPOSED PLAN  
A2411 Scale: 1 : 100



2 FIRST FLOOR PROPOSED PLAN  
A2411 Scale: 1 : 100

### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

### CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.

### CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION  |
|----|--|
| J  | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

CLIENT  
**CITY OF TORONTO**  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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A	50% SUBMISSION	2021-09-23
B	ISSUED FOR PERMIT	2022-01-04
C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 2	2023-01-11

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**FIRE HALL NO. 223  
116 DORSET RD.**

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

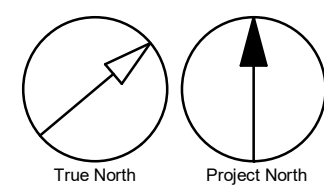
PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

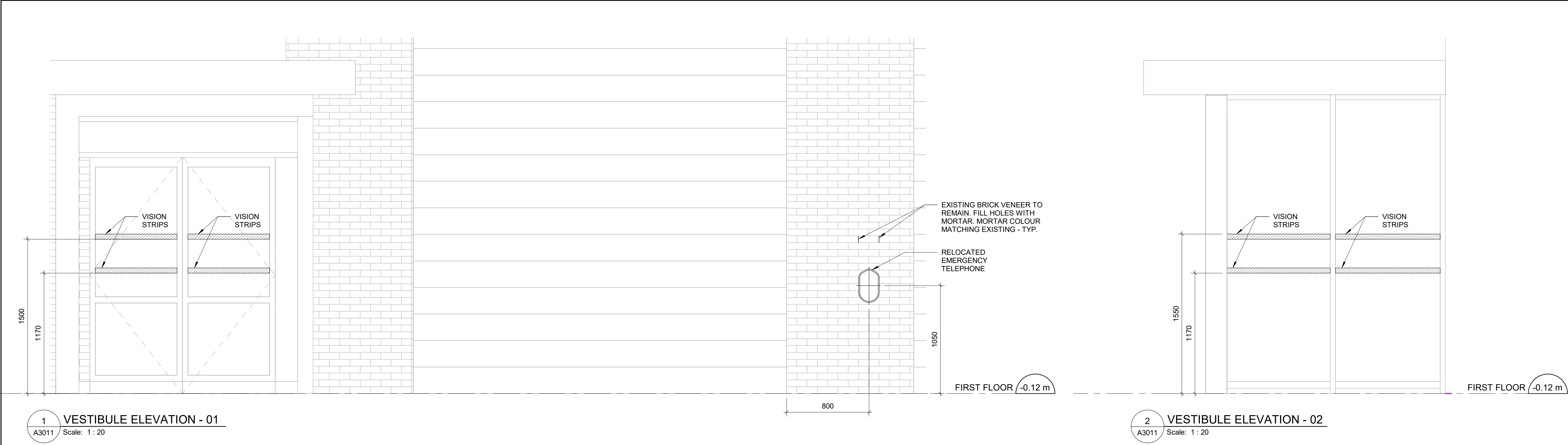
SHEET TITLE  
**BASEMENT & FIRST  
FLOOR PROPOSED  
PLANS**

SHEET NUMBER  
**G28-026-A2411**

ISSUE  
**D**



1 x 1



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**PROJECT TITLE**  
**CITY OF TORONTO**  
**ACCESSIBILITY UPGRADES**

**PROJECT ADDRESS**  
**FIRE HALL NO. 223**  
**116 DORSET RD.**

**PROJECT NO:**  
9119-19-0162/ IBI 122260

<b>DRAWN BY:</b> A. HOLDER	<b>CHECKED BY:</b> K. TILAHUN
<b>PROJECT MGR:</b> F. BOLOURIAN	<b>APPROVED BY:</b> E. FENUTA

**SHEET TITLE**  
**BUILDING ELEVATIONS**

<b>SHEET NUMBER</b> <b>G28-026-A3011</b>	<b>ISSUE</b> <b>C</b>
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DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

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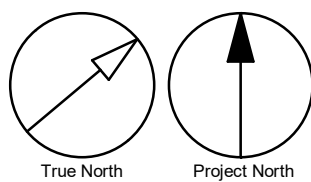
PROJECT TITLE  
CITY OF TORONTO  
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PROJECT ADDRESS  
FIRE HALL NO. 223  
116 DORSET RD.

PROJECT NO: 9119-19-0162/ IBI 122260	
DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE  
DOOR SCHEDULE

SHEET NUMBER G28-026-A9111	ISSUE C
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DOOR SCHEDULE																
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS	
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/ BFAO	PANIC DEVICE			
BASEMENT																
NE-001	LOCKERS		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE WITH LEVER STYLE HANDLE AND KEYED LOCK. REFER TO HARDWARE SCHEDULE.	
FIRST FLOOR																
NE-101	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-102	APPARATUS BAY		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	X				EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-103	BUNKER ROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-104	CORRIDOR		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-105	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-106	OFFICE		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-107	WASHROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-108	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-109	OFFICE		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-110	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	
NE-111	BEDROOM		EXIST	EXIST	EXIST	EXIST	PT-4	EXIST	EXIST	PT-4					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.	

**NOTE:**  
- PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.  
- PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	