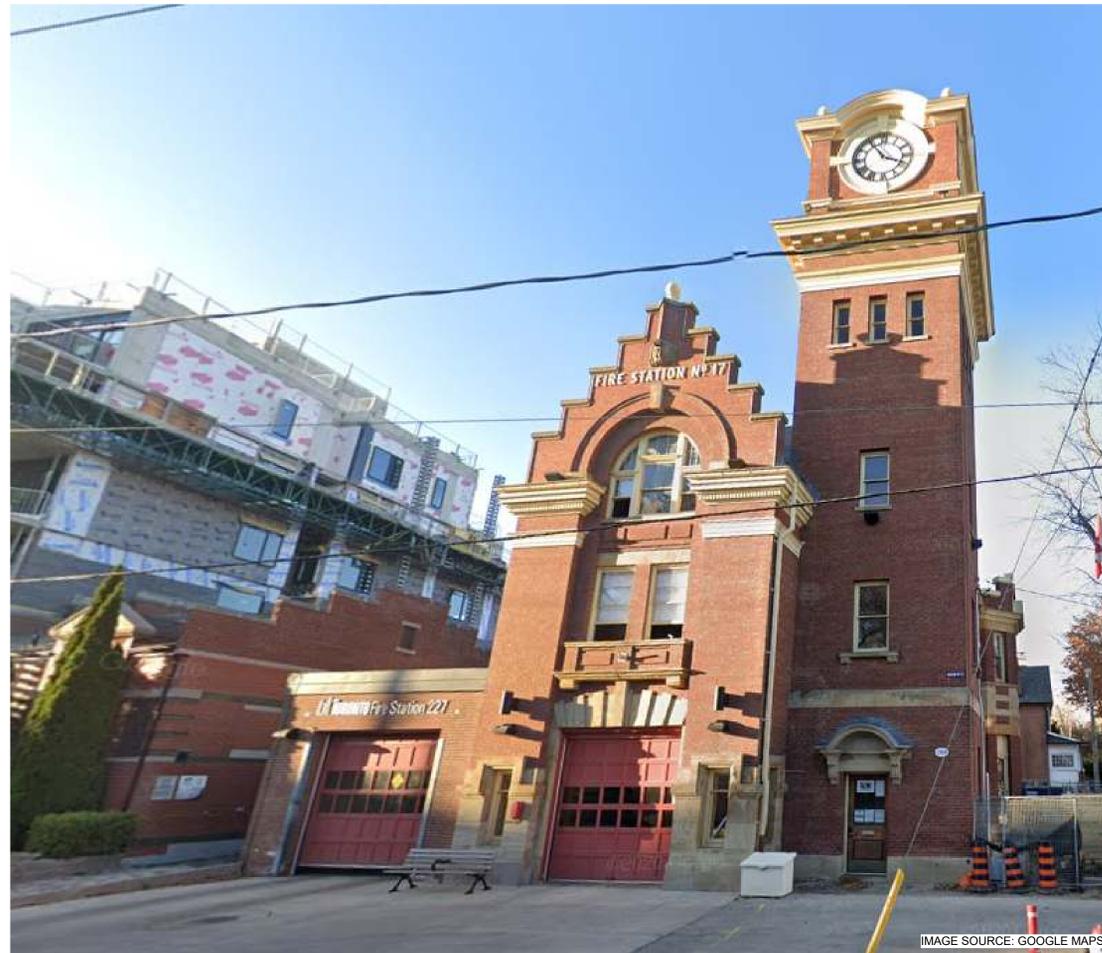


CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162 / IBI 122260

FIRE HALL NO. 227
1904 QUEEN ST. E.

GROUP 28
SEQ 103



CITY OF TORONTO



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

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ibigroup.com

PROJECT NO:
9119-19-0162 / IBI 122260

DATE:
2022-11-01

SHEET NUMBER G28-103-G0001	ISSUE C
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GENERAL DRAWING INDEX	
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G0002	DRAWING LIST & OBC MATRIX

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A2001	BASEMENT & FIRST FLOOR STAGING PLAN
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A2101	BASEMENT & FIRST FLOOR DEMOLITION PLAN
A2121	SECOND & THIRD FLOOR DEMOLITION PLAN
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E2101	POWER & SYSTEMS PLAN 1ST FLOOR
E3100	ELECTRICAL PANEL SCHEDULE

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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FIRE HALL NO. 227
1904 QUEEN ST. E.**

PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. HOLDER
PROJECT MGR:
F. BOLOURIAN

CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUTA

SHEET TITLE
**DRAWING LIST & OBC
MATRIX**

SHEET NUMBER
G28-103-G0002
ISSUE
C

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620		Name of Project FIRE HALL NO.227 ACCESSIBILITY UPGRADES Location 1904 QUEEN ST. W. TORONTO ON M6R 1B3	
ITEM		OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	
1. PROJECT DESCRIPTION	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9
2. MAJOR OCCUPANCY(S) SUBSIDIARY OCCUPANCY(S)	GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCIES GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES GROUP C - RESIDENTIAL OCCUPANCIES	3.1.2.1. (1)	9.10.2. EXISTING NO CHANGE
3. BUILDING AREA (m ²)	EXISTING - 382 NEW - 0 TOTAL - 382	1.4.1.2. [A]	1.4.1.2. [A]
4. GROSS AREA (m ²)	EXISTING - 1391.5 NEW - 0 TOTAL - 1391.5	1.4.1.2. [A]	1.4.1.2. [A]
5. NUMBER OF STOREYS	ABOVE GRADE - 3 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.
6. NUMBER OF STREETS/FIRE FIGHTER ACCESS - 2	EXISTING NO CHANGE	3.2.2.10. & 3.2.5.	9.10.20.
7. BUILDING CLASSIFICATION -	EXISTING NO CHANGE	3.2.2.67.	9.10.2.
8. SPRINKLER SYSTEM PROPOSED	<input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX INDEX
9. STANDPIPE REQUIRED STANDPIPE PROVIDED	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9.	N/A
10. FIRE ALARM REQUIRED FIRE ALARM PROVIDED	<input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.	9.10.18.
11. WATER SERVICE/SUPPLY IS ADEQUATE	<input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7.	N/A
12. HIGH BUILDING	<input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6.	N/A
13. CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH PERMITTED <input type="checkbox"/> BOTH REQUIRED <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.67.	9.10.6.
14. MEZZANINE (S) AREA m ²	N/A	3.2.1.1. (3) - (8)	9.10.4.1.
15. OCCUPANT LOAD BASED ON	<input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17.	4.9.13.
16. BARRIER FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8.	9.5.2. ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17. HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19	9.10.1.3.(4)
18a. REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FLOORS ROOF MEZZANINE	3.2.2.67. & 3.2.1.4.	9.10.8. 9.10.9.

ITEM		Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C			REMARKS
18b. REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS	LISTED DESIGN NO. OR DESCRIPTION (SB-2)										SB-2 TABLE 2.1.1.			
	FLOORS	NO CHANGE										SB-2 TABLE 2.1.1.			
	ROOF	NO CHANGE													
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	WALL	AREA OF EBF (m ²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLAZING	NON-COMB. CONST.			EXISTING NO CHANGE	
	NORTH														
	SOUTH														
	EAST														
	WEST														
20. PLUMBING FIXTURE REQUIREMENTS	MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE	% / %	EXISTING NO CHANGE									<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9			
	MAJOR OCCUPANCY		OCCUPANT LOAD	OBC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED									
			26 MALE	3.7.4.9.	3	4	3.7.4.9.								
		26 FEMALE	3.7.4.9.	3	4	3.7.4.9.									
21. EXITS/ ACCESS TO EXIT-													EXISTING NO CHANGE		
22. OTHER (DESCRIBE) -															
ITEM		Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building										OBC REFERENCE			REMARKS
11.1. EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX:	TO N										11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B.			
	<input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)														
11.2. ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION	<input checked="" type="checkbox"/>										11.3.3.1.			
	EXTENSIVE RENOVATION	<input type="checkbox"/>										11.3.3.2.			
11.3. REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES										11.4.2.			
	BY INCREASE IN OCCUPANT LOAD:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES										11.4.2.1.			
	BY CHANGE OF MAJOR OCCUPANCY:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES										11.4.2.2.			
	PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES										11.4.2.3.			
11.4. COMPENSATING CONSTRUCTION:	STRUCTURAL:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)										11.4.3 11.4.3.2			
	BY INCREASE IN OCCUPANT LOAD:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)										11.4.3.3			
	BY CHANGE OF MAJOR OCCUPANCY:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)										11.4.3.4			
11.5. COMPLIANCE ALTERNATIVES PROPOSED:	STRUCTURAL:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)										11.4.3.5			
	PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)										11.4.3.6			
11.5. COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO											11.5.1			
	<input type="checkbox"/> YES (GIVE NUMBERS)														



IMAGE SOURCE: GOOGLE MAPS

1 KEY PLAN
A1201 Scale: NTS



IMAGE SOURCE: TORONTO MAPS

2 SITE PLAN
A1201 Scale: 1 : 200

SITE LEGEND

	EXISTING MAIN ENTRANCE
	EXISTING EXIT TO REMAIN

SITE PLAN GENERAL NOTES

- DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

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CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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ibigroup.com

PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

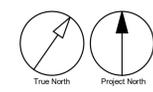
PROJECT ADDRESS
FIRE HALL NO. 227
1904 QUEEN ST. E.

PROJECT NO.:
9119-19-0162 / IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
SITE PLAN

SHEET NUMBER G28-103-A1201	ISSUE C
--------------------------------------	-------------------



ISSUES		
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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSTRUCTION STAGING LEGEND

-  STAGE 1
-  STAGE 2
-  EMERGENCY EXIT
-  TRAVEL PATH

STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
 A) TEMPORARY SIGNAGE
 B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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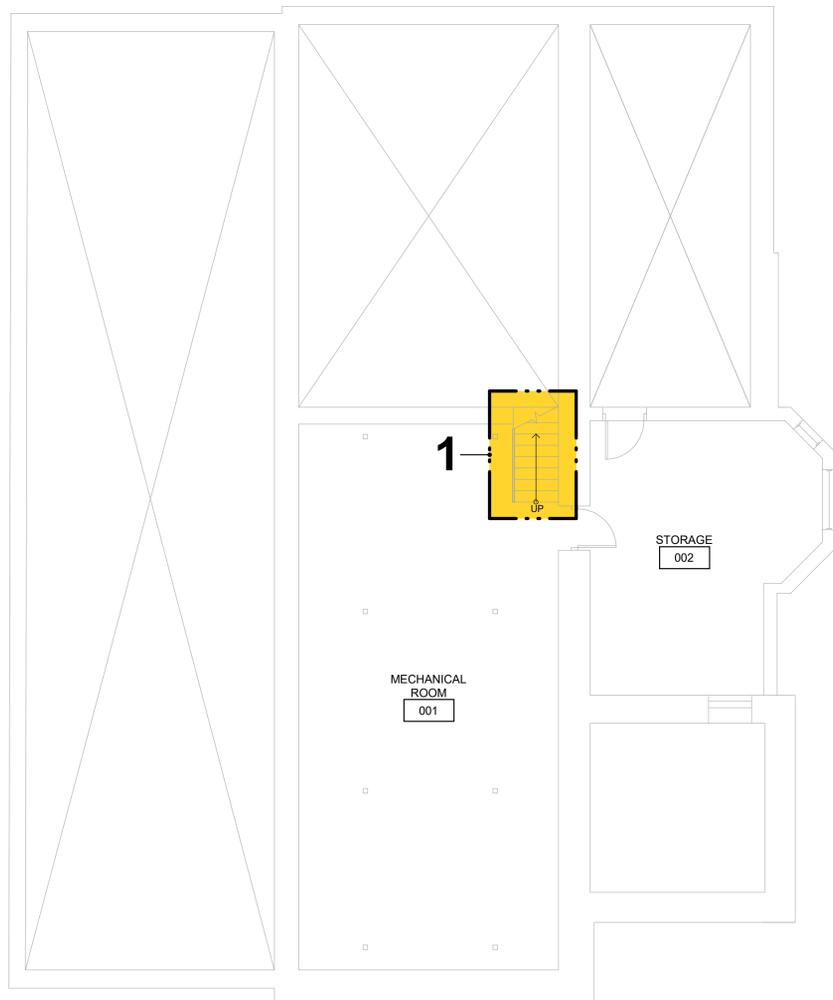
PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FIRE HALL NO. 227
 1904 QUEEN ST. E.**

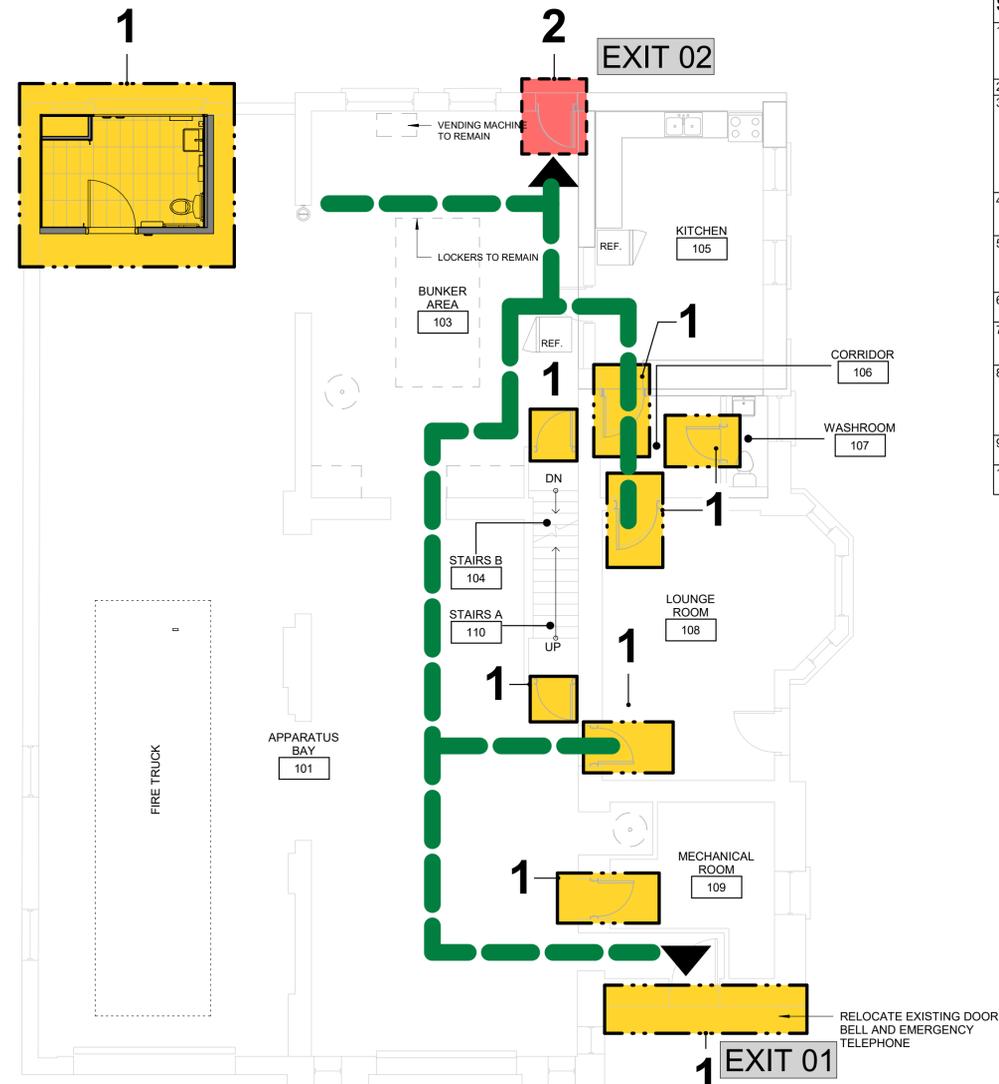
PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
**BASEMENT & FIRST
 FLOOR STAGING PLAN**

CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUA

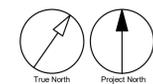
SHEET NUMBER
G28-103-A2001
 ISSUE
C



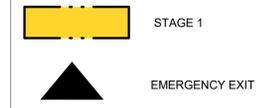
1 BASEMENT - STAGING PLAN
 A2001 Scale: 1 : 75



2 FIRST FLOOR - STAGING PLAN
 A2001 Scale: 1 : 75



CONSTRUCTION STAGING LEGEND



STAGING GENERAL NOTES

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Project Management Office
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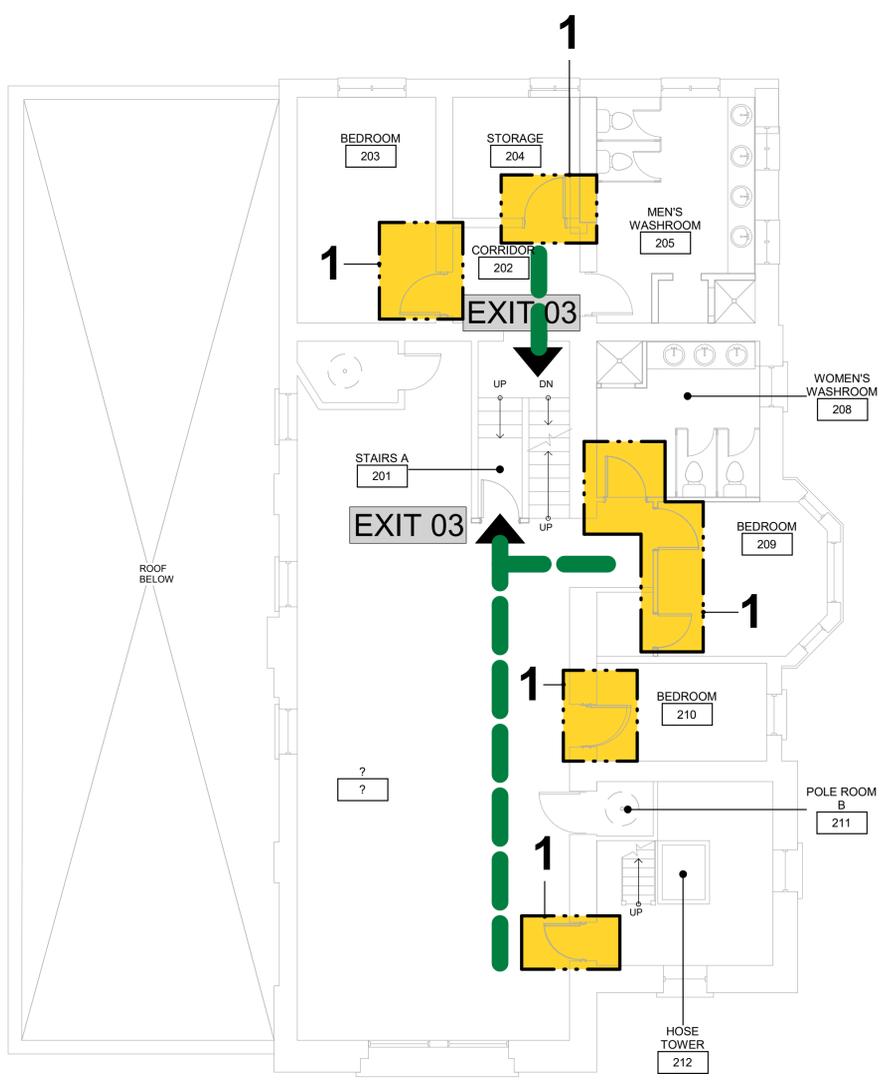
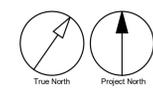
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FIRE HALL NO. 227
1904 QUEEN ST. E.**

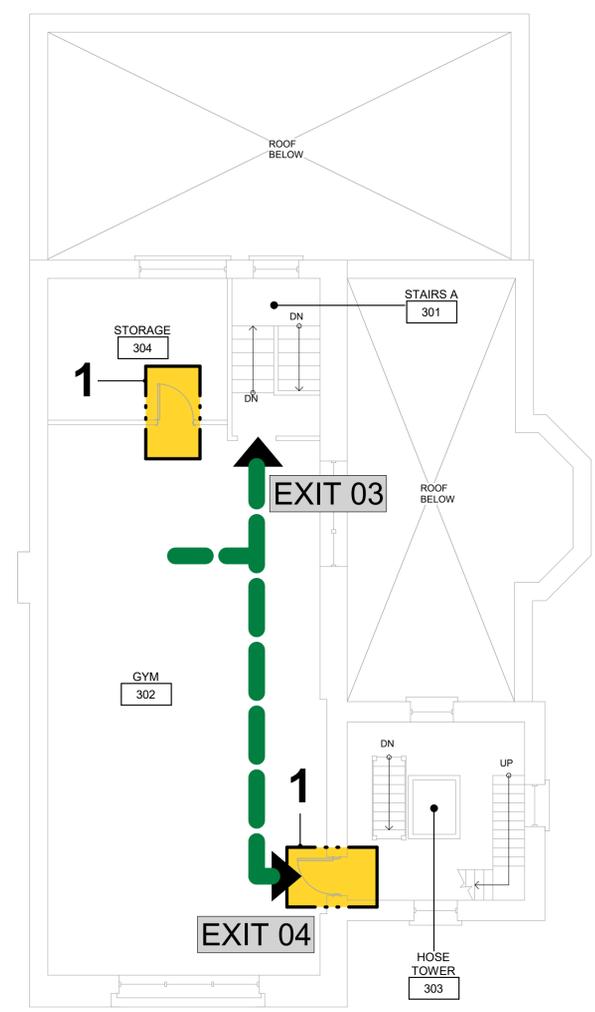
PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. HOLDER
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUITA

SHEET TITLE
**SECOND & THIRD FLOOR
STAGING PLAN**

SHEET NUMBER
G28-103-A2021
ISSUE
C



1 SECOND FLOOR - STAGING PLAN
Scale: 1 : 75



2 THIRD FLOOR - STAGING PLAN
Scale: 1 : 75



PHOTO 01: DOOR NE-107
 PHOTO 02: DOOR NE-105
 PHOTO 03: DOOR NE-104
 PHOTO 04: DOOR NE-103
 PHOTO 05: DOOR NE-102
 PHOTO 06: DOOR NE-106
 PHOTO 07: DOOR NE-108
 PHOTO 08: DOOR NE-101
 PHOTO 09: EXISTING EYE WASH STATION TO BE RELOCATED
 PHOTO 10: RELOCATE EXISTING DOOR BELL
 PHOTO 11: RELOCATE EXISTING EMERGENCY TELEPHONE
 PHOTO 12: RELOCATE EXISTING GEAR RACK

DEMOLITION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN
	DASHED AREA INDICATES AREA OF WORK

DEMOLITION KEY NOTES

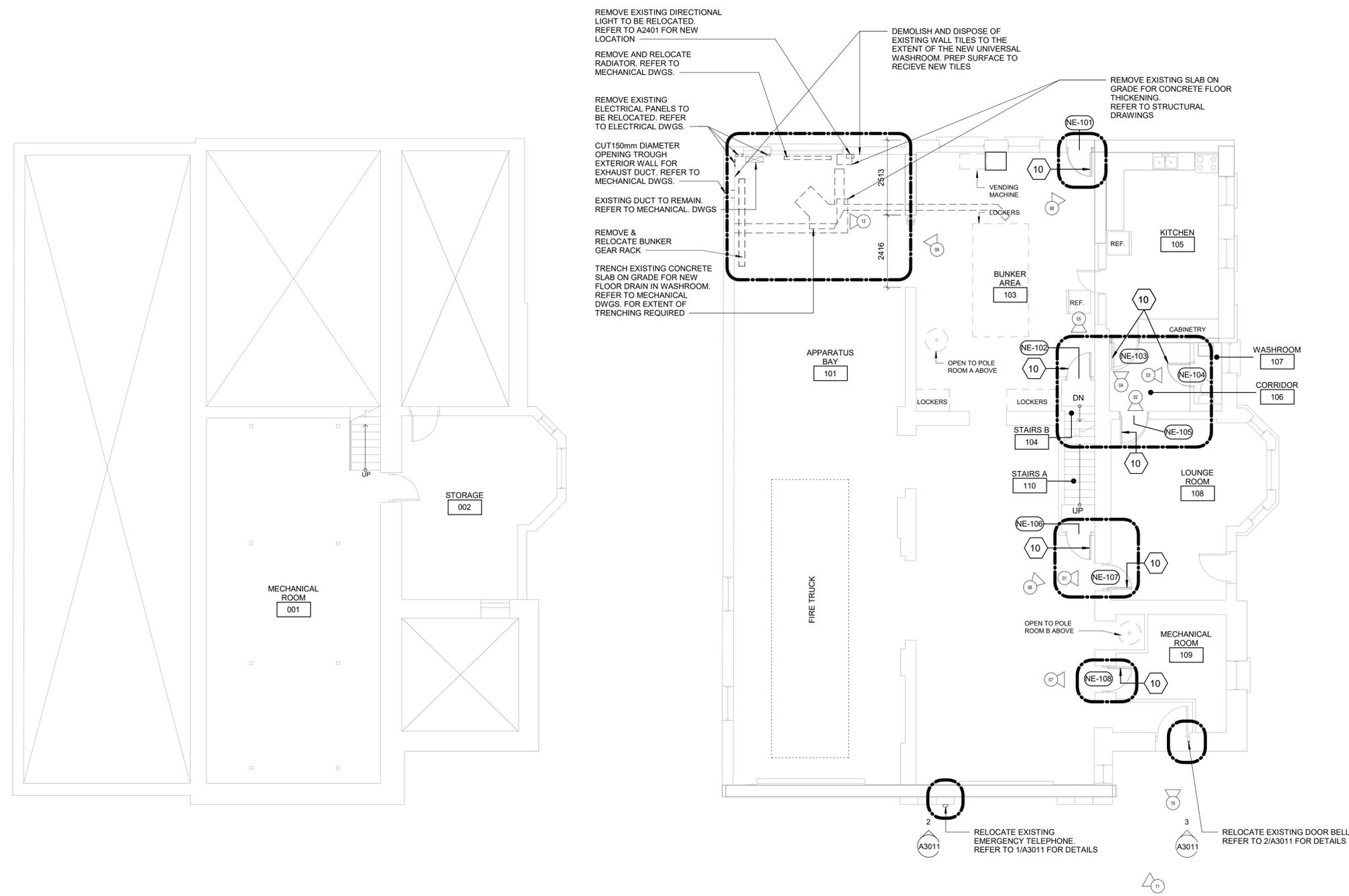
NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

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 Corporate Real Estate Management
 Project Management Office
 Metro Hall Toronto, ON
 MSV 3C6

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C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 2	2023-01-11



1 BASEMENT - DEMOLITION PLAN
 A2101 Scale: 1 : 75

2 FIRST FLOOR - DEMOLITION PLAN
 A2101 Scale: 1 : 75

CONSULTANTS

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FIRE HALL NO. 227
 1904 QUEEN ST. E.**

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**BASEMENT & FIRST
 FLOOR DEMOLITION
 PLAN**

SHEET NUMBER G28-103-A2101	ISSUE D
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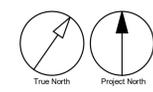




PHOTO 01: DOOR NE-201 PHOTO 02: DOOR NE-202 PHOTO 03: DOOR NE-203 PHOTO 04: DOOR NE-204 PHOTO 05: DOOR NE-205 PHOTO 06: DOOR NE-206 PHOTO 07: DOOR NE-207 PHOTO 08: DOOR NE-301 PHOTO 09: DOOR NE-302

DEMOLITION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN
	DASHED AREA INDICATES AREA OF WORK

DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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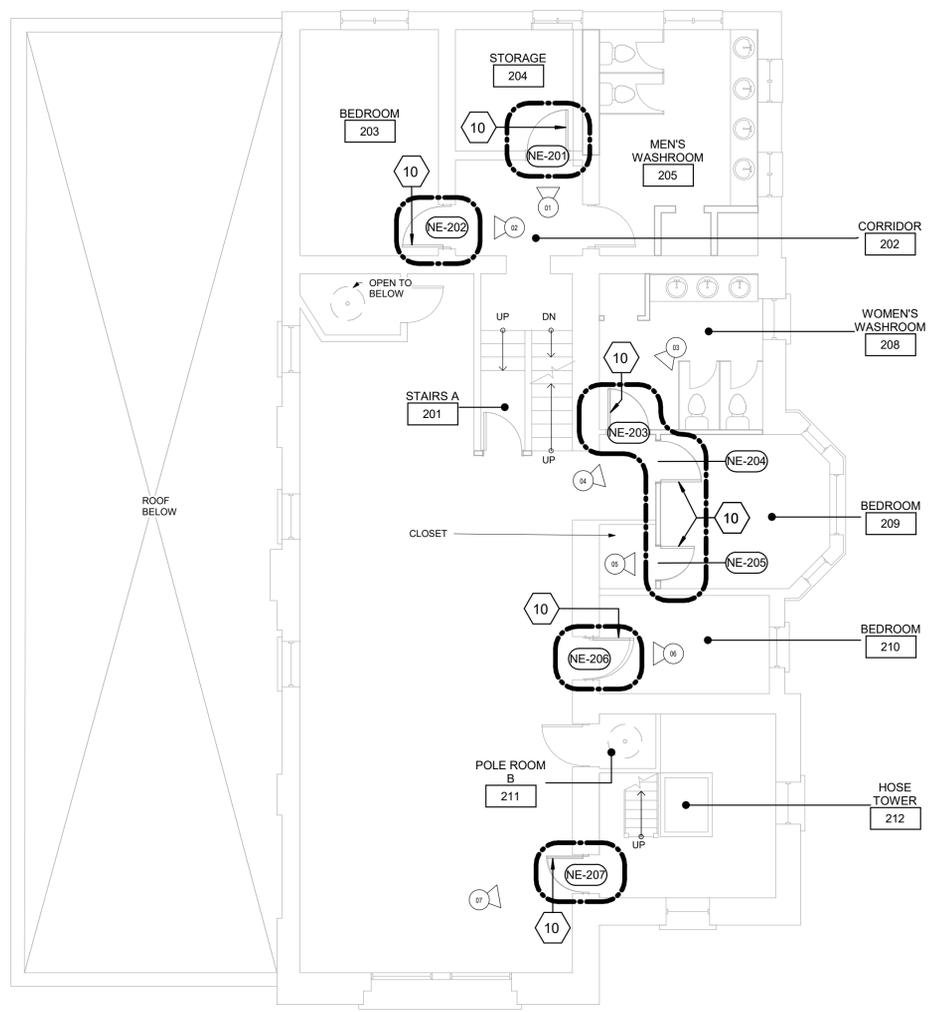
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**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FIRE HALL NO. 227
 1904 QUEEN ST. E.**

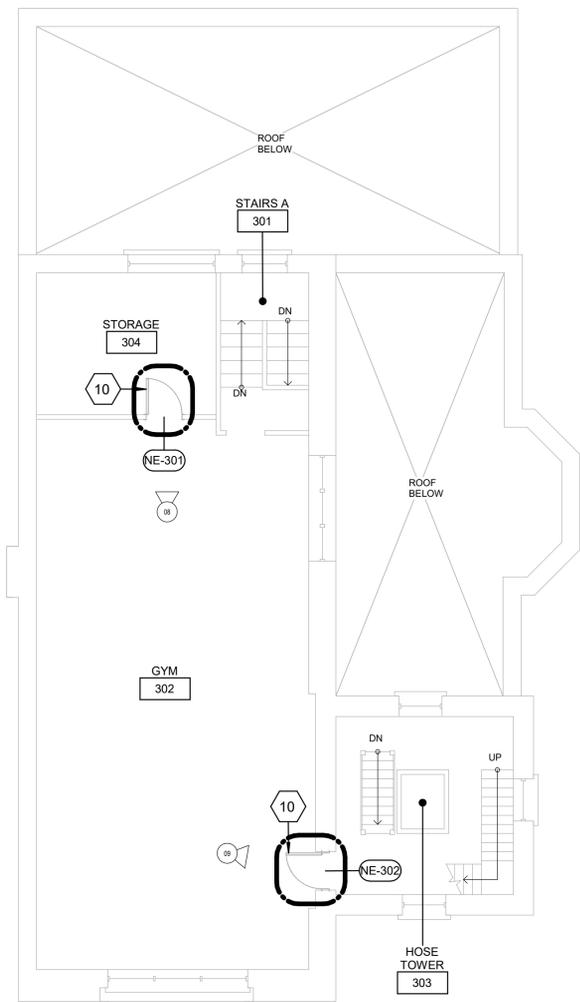
PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN
 CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

SHEET TITLE
**SECOND & THIRD FLOOR
 DEMOLITION PLAN**

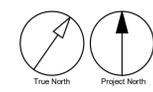
SHEET NUMBER
G28-103-A2121
 ISSUE
C



1 SECOND FLOOR - DEMOLITION PLAN
 A2121 Scale: 1 : 75



2 THIRD FLOOR - DEMOLITION PLAN
 A2121 Scale: 1 : 75



CONSTRUCTION KEY LEGEND

-  EXISTING EXTERIOR WALL TO REMAIN
-  EXISTING PARTITION TO REMAIN
-  NEW PARTITION REFER TO PARTITION SCHEDULE
-  EXISTING DOOR TO REMAIN
-  NEW DOOR AND/OR NEW HARDWARE
-  DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.

CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION |
|----|--|
| J | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

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C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

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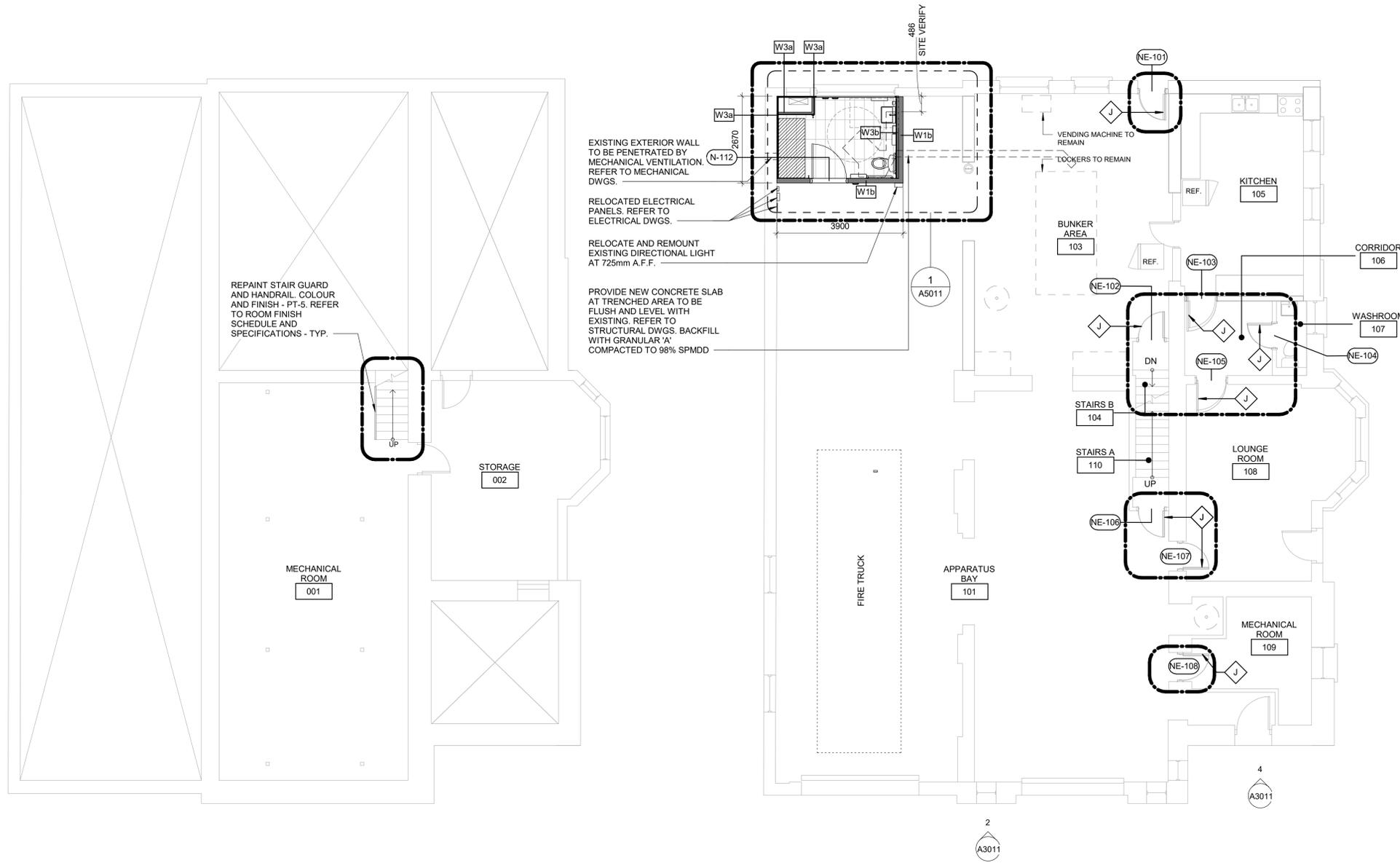
PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 FIRE HALL NO. 227
 1904 QUEEN ST. E.

PROJECT NO:
 9119-19-0162 / IBI 122260
DRAWN BY:
 A. HOLDER
CHECKED BY:
 K. TILAHUN
PROJECT MGR:
 F. BOLOURIAN
APPROVED BY:
 E. FENUTA

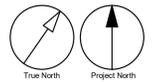
SHEET TITLE
 BASEMENT & FIRST
 FLOOR PROPOSED PLAN

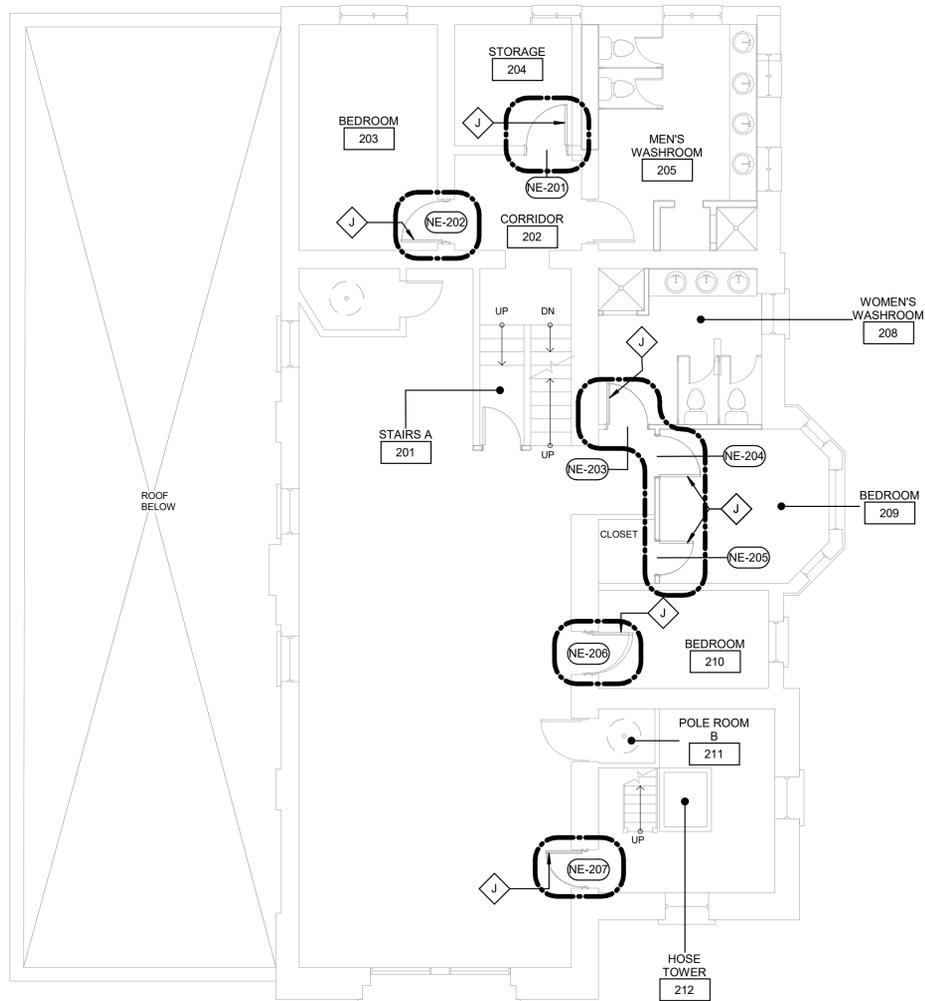
SHEET NUMBER
 G28-103-A2401
ISSUE
 D



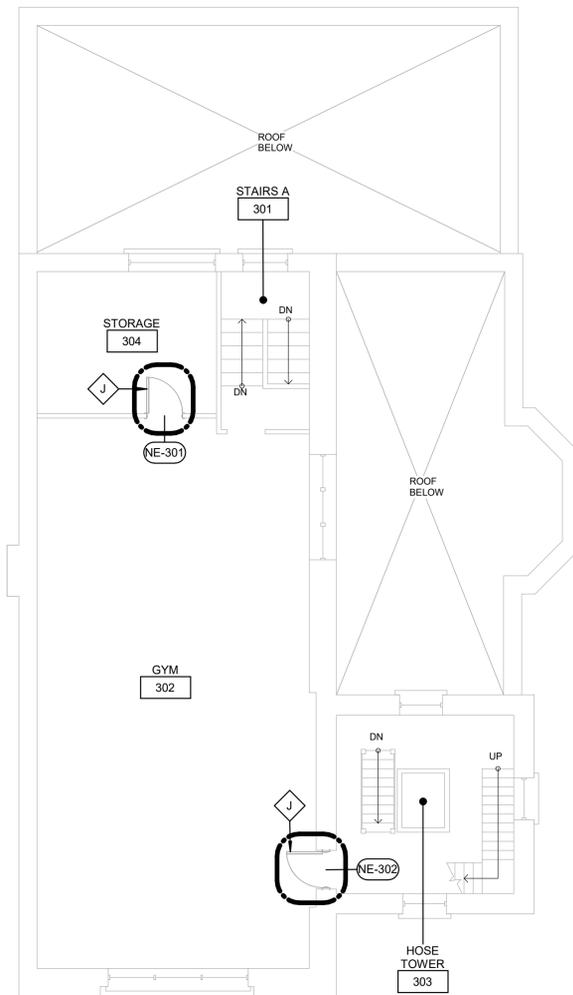
1 BASEMENT - PROPOSED PLAN
 A2401 Scale: 1 : 75

2 FIRST FLOOR - PROPOSED PLAN
 A2401 Scale: 1 : 75





1 SECOND FLOOR - PROPOSED PLAN
A2421 Scale: 1 : 75



2 THIRD FLOOR - PROPOSED PLAN
A2421 Scale: 1 : 75

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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PROJECT TITLE
**CITY OF TORONTO
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PROJECT ADDRESS
**FIRE HALL NO. 227
1904 QUEEN ST. E.**

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
A. HOLDER

CHECKED BY:
K. TILAHUN

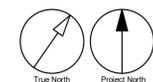
PROJECT MGR:
F. BOLOURIAN

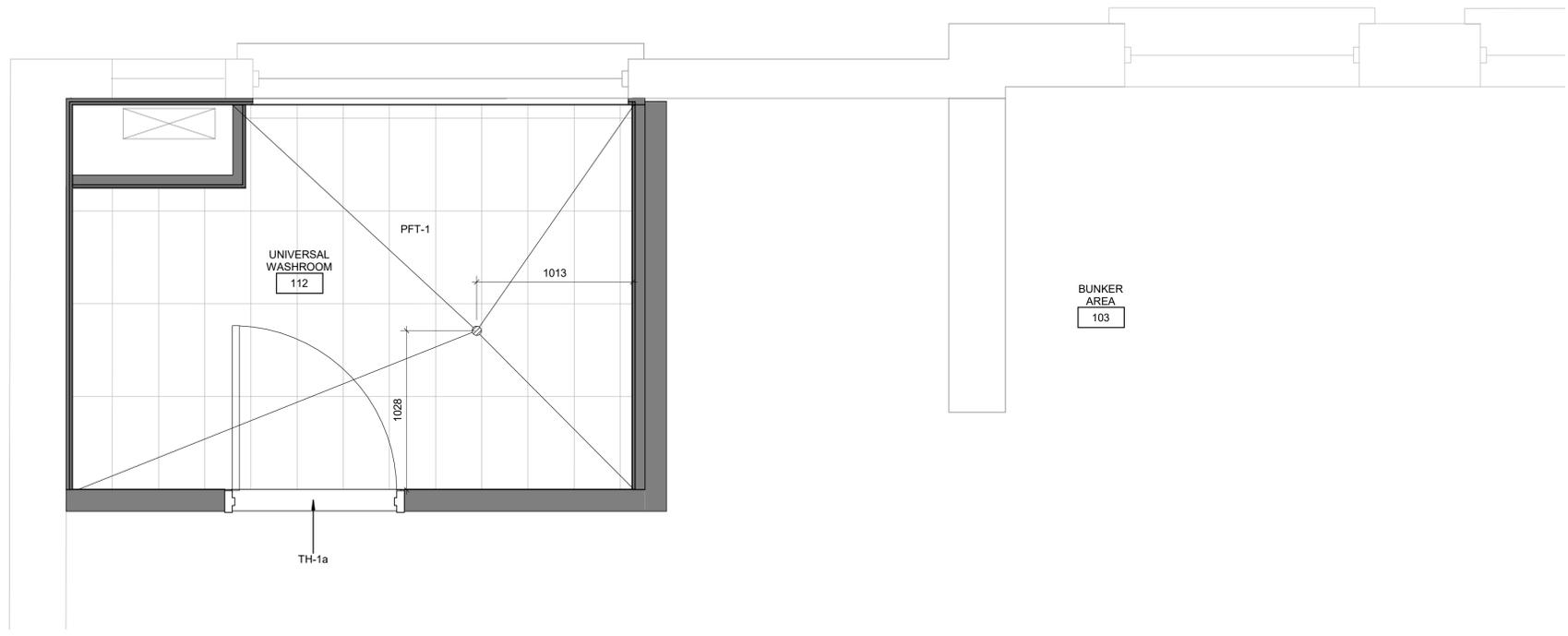
APPROVED BY:
E. FENUTA

SHEET TITLE
**SECOND & THIRD FLOOR
PROPOSED PLAN**

SHEET NUMBER
G28-103-A2421

ISSUE
C





FLOOR FINISHES LEGEND	
	PORCELAIN TILE

- FLOOR FINISH GENERAL NOTES**
- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
 - PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
 - CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
 - WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
 - PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

1 BARRIER FREE WASHROOM - PROPOSED FLOOR FINISH PLAN
 A2611 Scale: 1:20

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C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

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PROJECT TITLE
**CITY OF TORONTO
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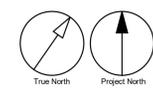
PROJECT ADDRESS
**FIRE HALL NO. 227
 1904 QUEEN ST. E.**

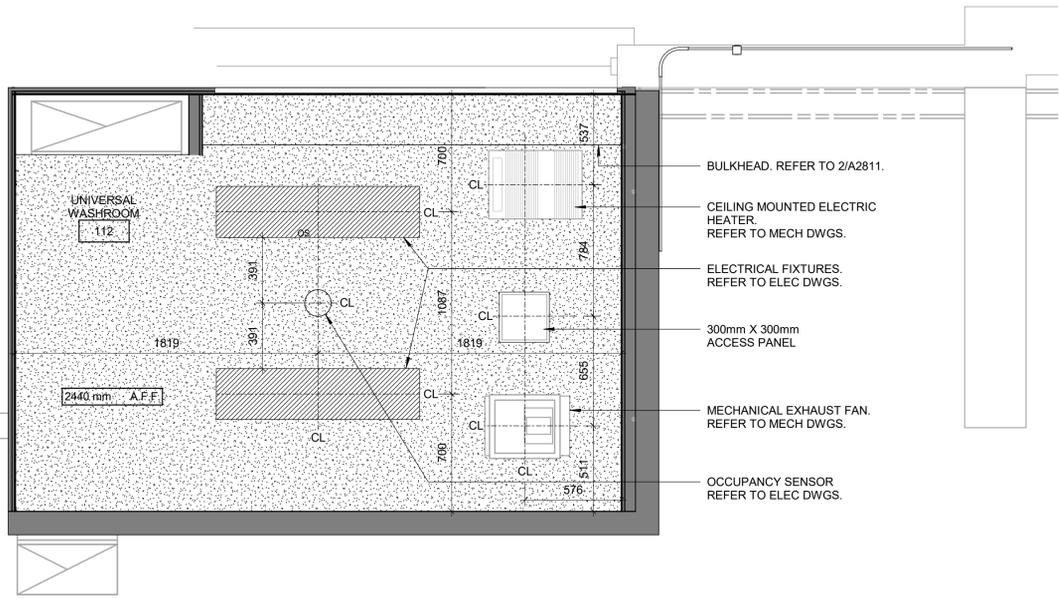
PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUA

SHEET TITLE
**FIRST FLOOR FLOOR
 FINISH PLAN**

SHEET NUMBER G28-103-A2611	ISSUE D
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- BULKHEAD. REFER TO 2/A2811.
- CEILING MOUNTED ELECTRIC HEATER. REFER TO MECH DWGS.
- ELECTRICAL FIXTURES. REFER TO ELEC DWGS.
- 300mm X 300mm ACCESS PANEL
- MECHANICAL EXHAUST FAN. REFER TO MECH DWGS.
- OCCUPANCY SENSOR REFER TO ELEC DWGS.

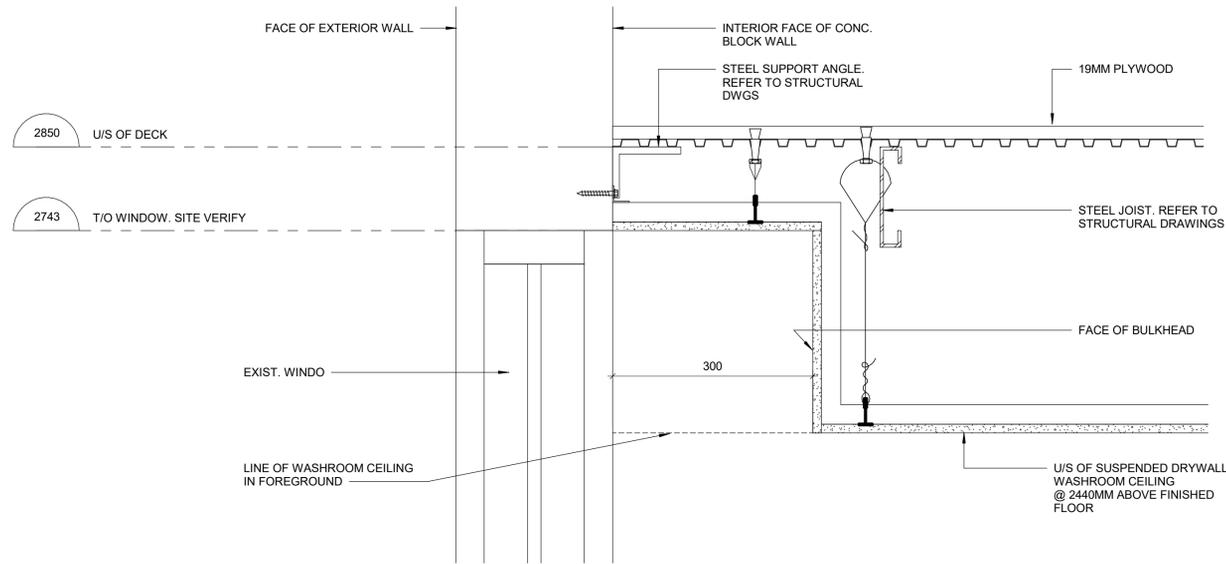
CEILING LEGEND

- GYPSUM BOARD CEILING AND BULKHEAD
- SUPPLY / RETURN DUCT
- CEILING, PENDANT OR WALL MOUNTED LUMINAIRE

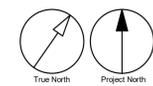
CEILING GENERAL NOTES

- 1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

1 BARRIER FREE WASHROOM - PROPOSED RCP
A2811 Scale: 1:20



2 NEW BULKHEAD - SECTIONAL DETAIL
A2811 Scale: 1:5



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B	ISSUED FOR TENDER	2022-11-01
C	ADDENDUM 1	2022-11-04

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
FIRE HALL NO. 227
1904 QUEEN ST. E.

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

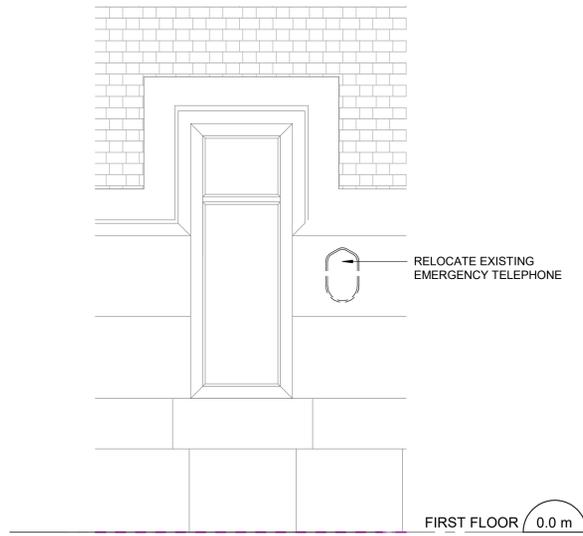
SHEET TITLE
FIRST FLOOR
REFLECTED CEILING
PLAN

SHEET NUMBER G28-103-A2811	ISSUE C
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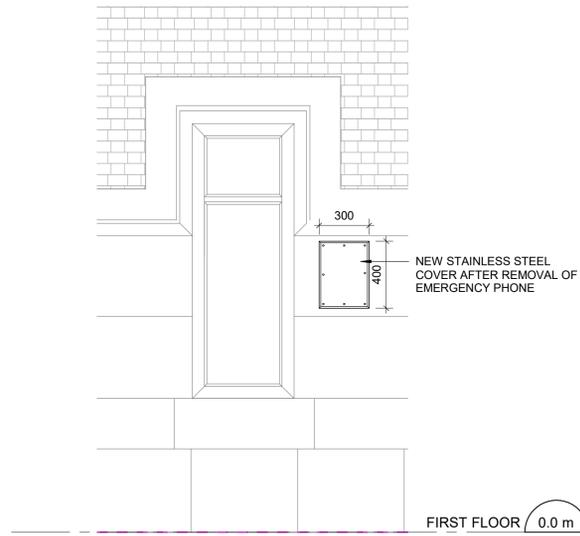
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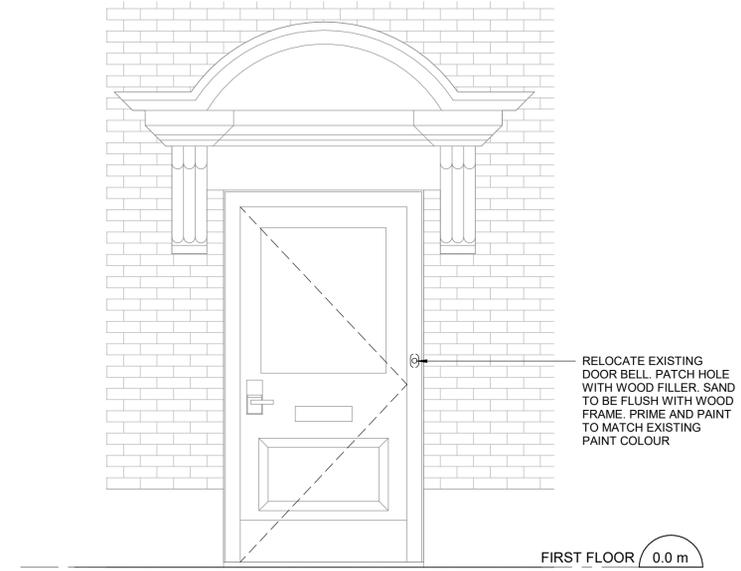
ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
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C	ISSUED FOR TENDER	2022-11-01



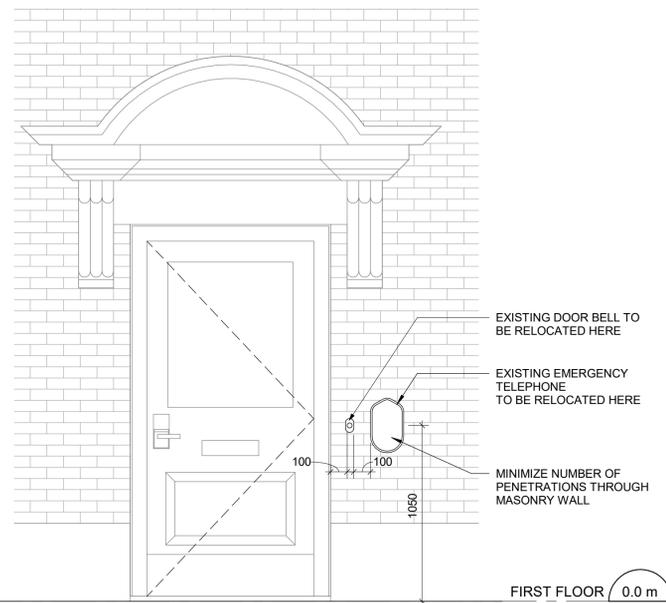
1 ELEVATION 1 - EXISTING EMERGENCY PHONE LOCATION
 A3011 Scale: 1 : 20



2 ELEVATION 2 - EXISTING EMERGENCY PHONE LOCATION - PROPOSED PLATE
 A3011 Scale: 1 : 20



3 ELEVATION 3 - EXISTING DOOR BELL LOCATION
 A3011 Scale: 1 : 20



4 ELEVATION 4 - NEW DOOR BELL AND PHONE LOCATION
 A3011 Scale: 1 : 20

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FIRE HALL NO. 227
 1904 QUEEN ST. E.**

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: A. HOLDER, A. KYASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
BUILDING ELEVATIONS

SHEET NUMBER G28-103-A3011	ISSUE C
--------------------------------------	-------------------

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.

WASHROOM GENERAL NOTES

- ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.

UNIVERSAL WASHROOM GENERAL NOTES

- MOISTURE RESISTANT GYPSUM BOARD TO BE PROVIDED IN ALL WASHROOMS AND LOCKER ROOMS
- PROVIDE WALL REINFORCEMENT TO SUPPORT FUTURE ADULT CHANGE TABLE MINIMUM LOAD OF 1.33 KN AND POWER OUTLET

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C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04
E	ADDENDUM 2	2023-01-11

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PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 FIRE HALL NO. 227
 1904 QUEEN ST. E.

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY:
 A. HOLDER

CHECKED BY:
 K. TILAHUN

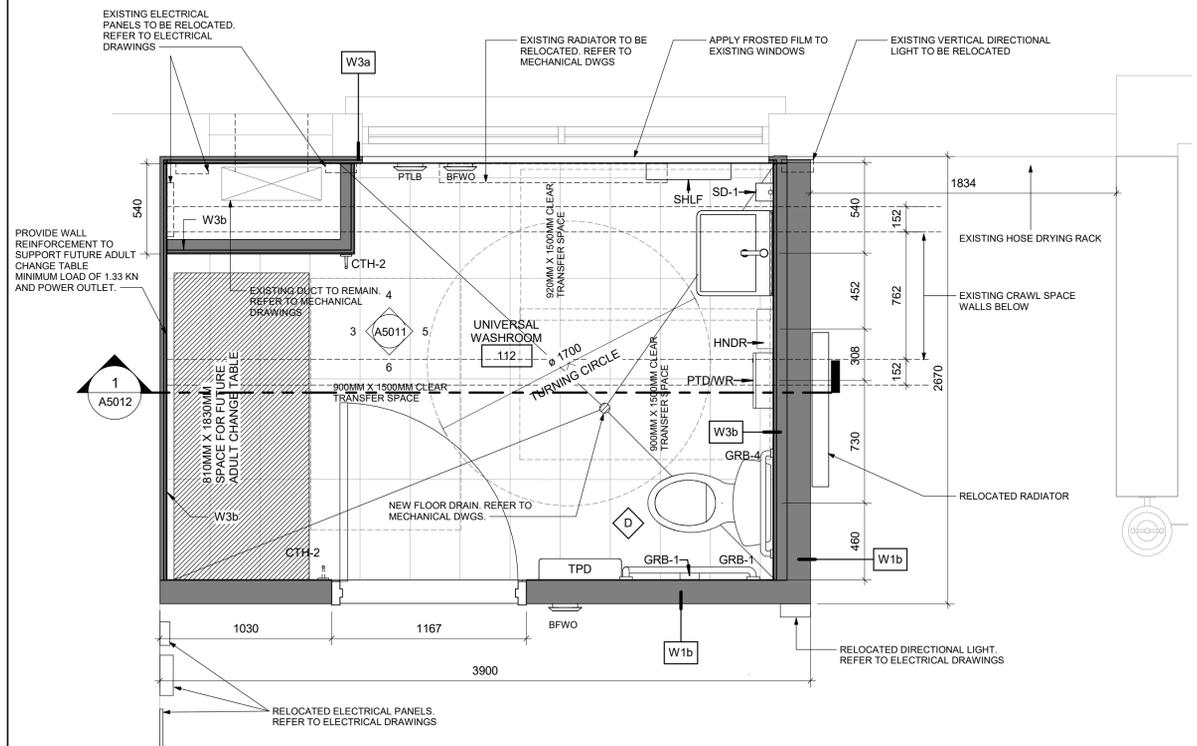
PROJECT MGR:
 F. BOLOURIAN

APPROVED BY:
 E. FENUTA

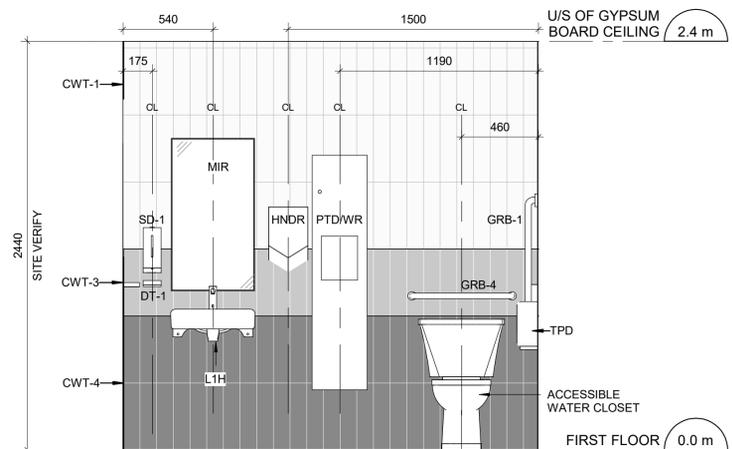
SHEET TITLE
 WASHROOM
 PLANS/ELEVATIONS

SHEET NUMBER
 G28-103-A5011

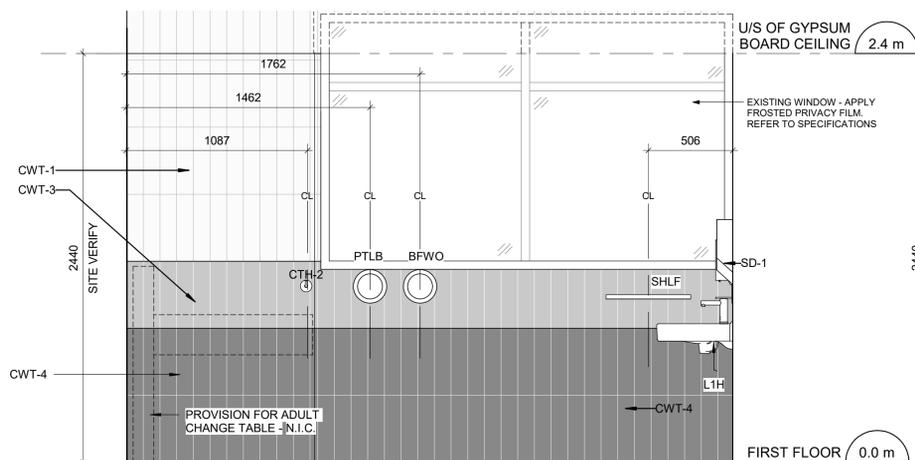
ISSUE
 E



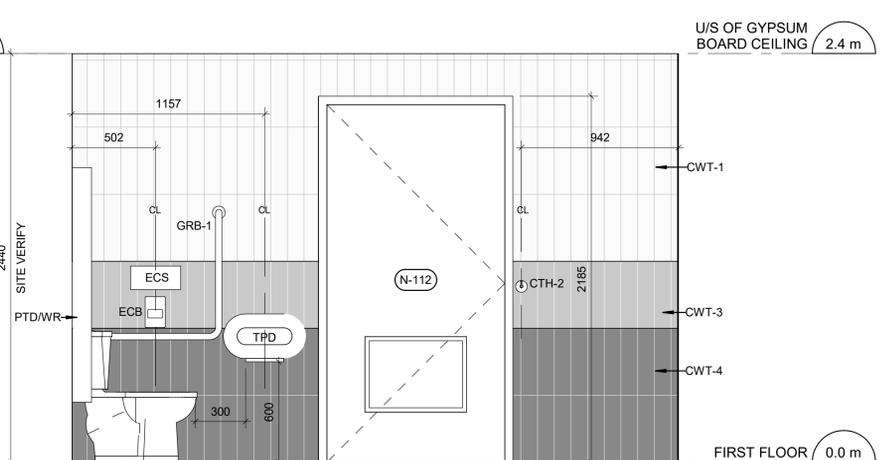
1 UNIVERSAL WASHROOM ENLARGED PLAN
 A5011 Scale: 1:20



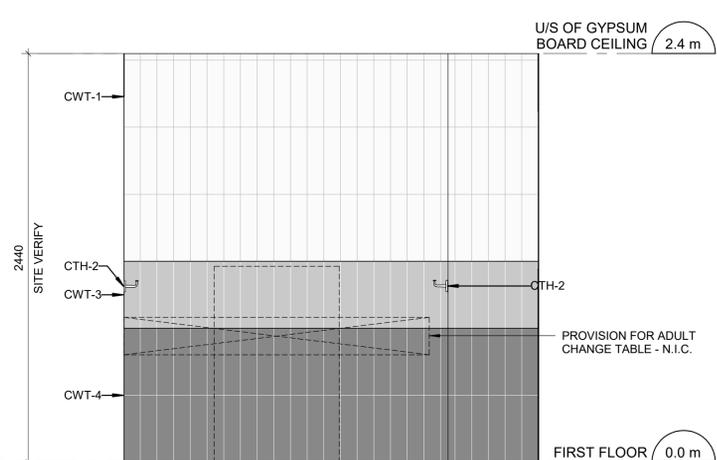
5 UNIVERSAL WASHROOM - EAST ELEVATION
 A5011 Scale: 1:20



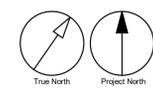
4 UNIVERSAL WASHROOM - NORTH ELEVATION
 A5011 Scale: 1:20



6 UNIVERSAL WASHROOM - SOUTH ELEVATION
 A5011 Scale: 1:20

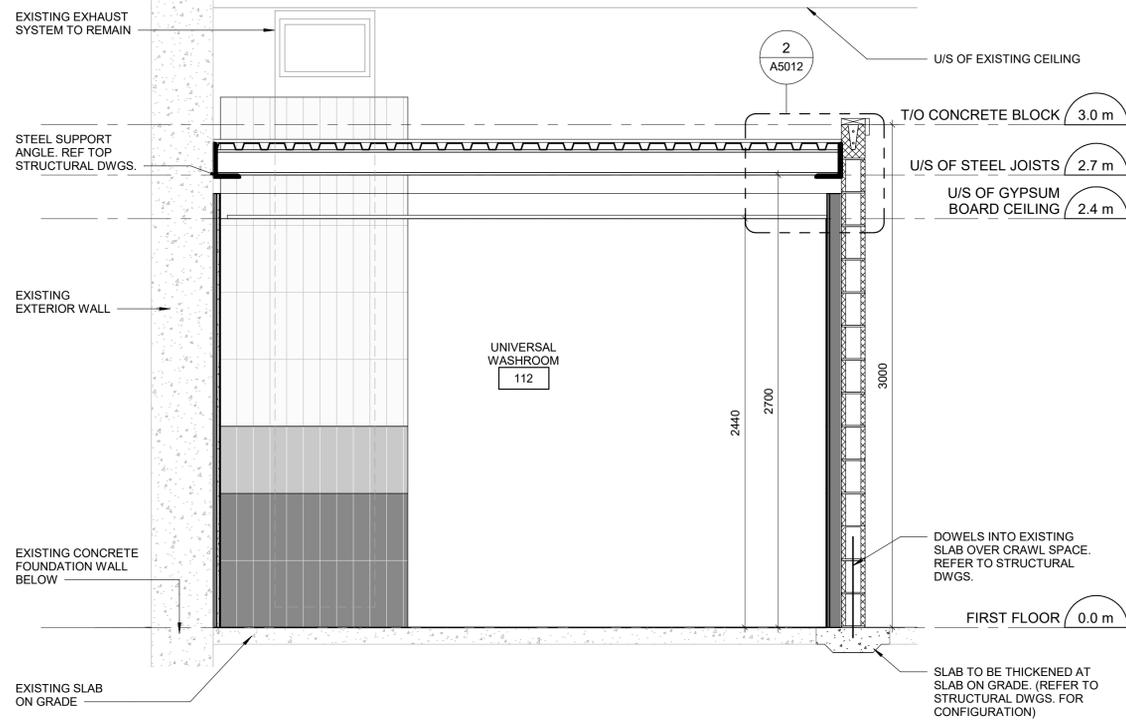


3 UNIVERSAL WASHROOM - WEST ELEVATION
 A5011 Scale: 1:20

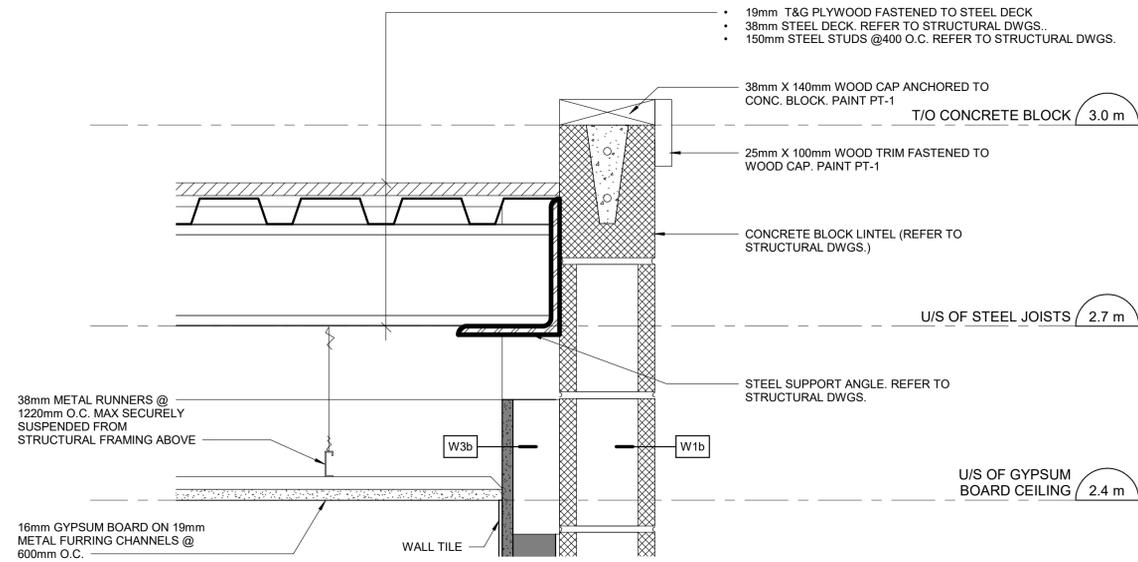


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BIM 360/122260 - CoT TAU Upgrades R2020/122260-7AU-28-103-1904QUEEN-A-R01.v1



1 UNIVERSAL WASHROOM - SECTION
A5012 Scale: 1 : 20



2 WALL SECTION DETAIL
A5012 Scale: 1 : 5

ISSUES		
No.	DESCRIPTION	DATE
A	ADDENDUM 1	2022-11-04

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FIRE HALL NO. 227
1904 QUEEN ST. E.**

PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
K. TILAHUN
APPROVED BY:
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SHEET TITLE
**WASHROOM SECTION
AND DETAILS**

SHEET NUMBER
G28-103-A5012
ISSUE
A

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CONSTRUCTION KEY LEGEND

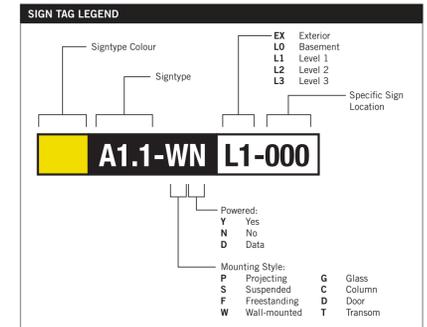
-  EXISTING EXTERIOR WALL TO REMAIN
-  EXISTING PARTITION TO REMAIN
-  NEW PARTITION
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR NEW HARDWARE
-  DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.

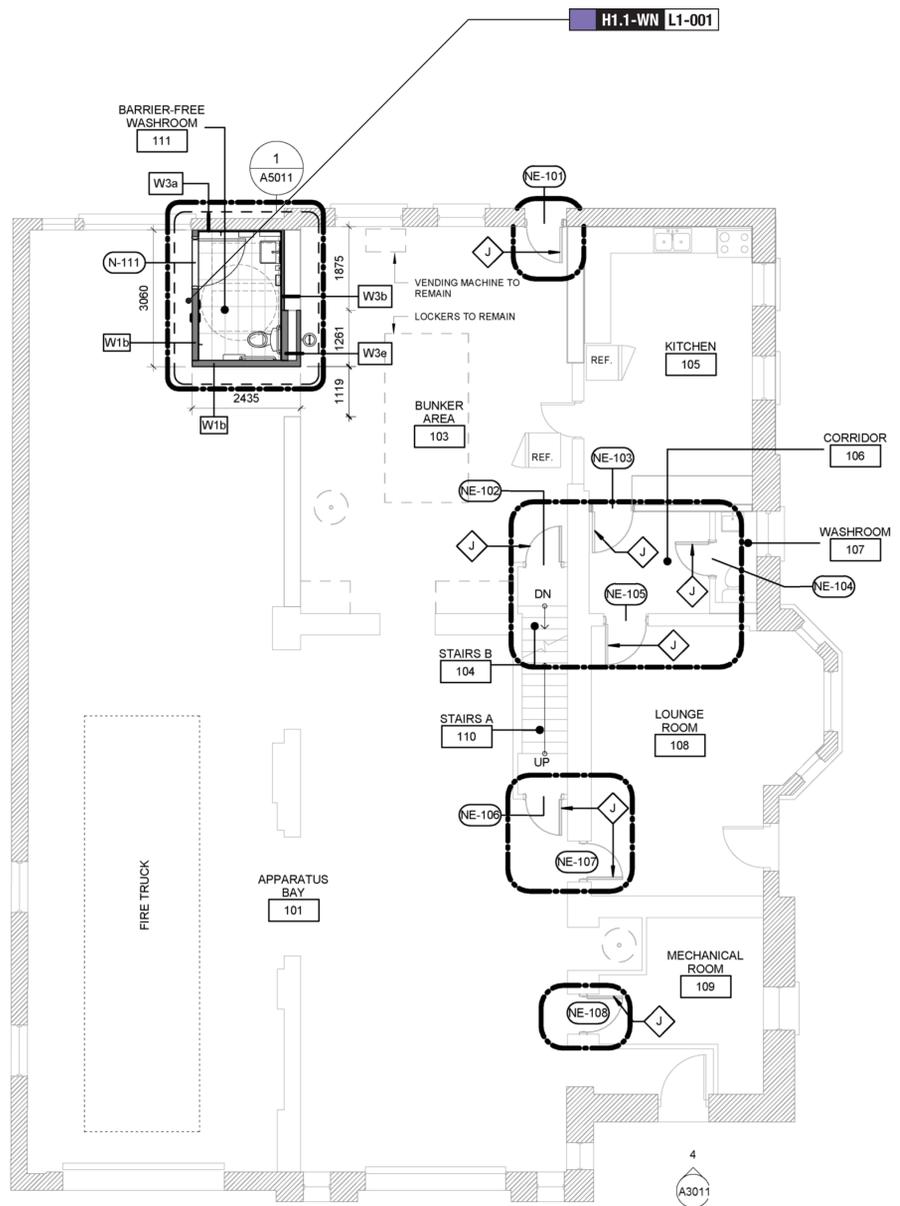
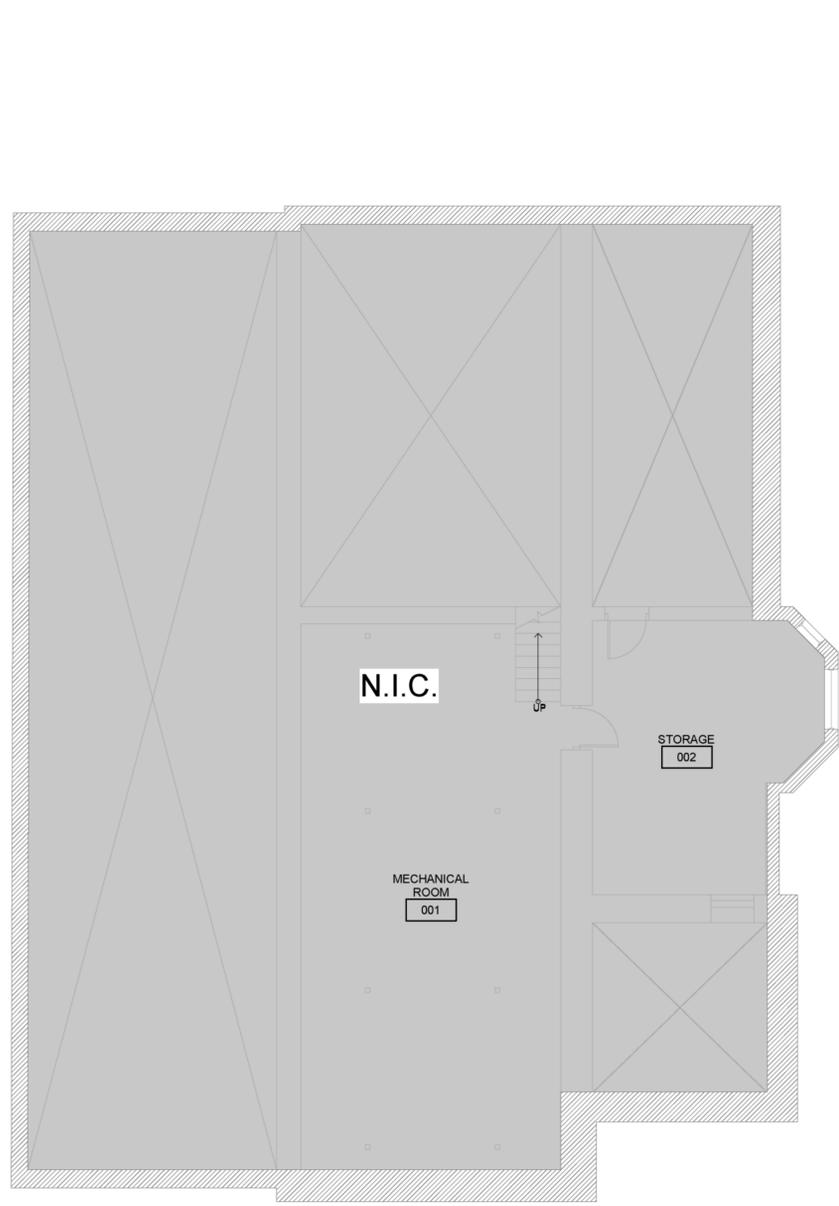
CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



SIGN TAG LEGEND

 B LX-000	Directional	 H LX-000	Amenity	 G LX-000	Inside Stair ID
 E LX-000	Room ID	 J LX-000	Entrance	 S LX-000	Stair ID



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PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 FIRE HALL NO. 227
 1904 QUEEN STREET

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

DRAWN BY: M.LOW
CHECKED BY: C.D. SCHNOBB

PROJECT MGR: R. DALY
APPROVED BY:

SHEET TITLE
 SIGNAGE & WAYFINDING
 DETAILS
 LEVEL 1 LOCATION PLAN

SHEET NUMBER
 G28-103-A8010

ISSUE
 D

KEYPLAN

L1

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	MESSAGE (English)	
				SIDE A	SIDE B
H1.1	L1	001	Amenity ID	[universal accessible washroom picto] Washroom Braille	

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	0
E2.2	Line Room ID	0
E4	Insert Holder	0
H1.1	Amenity ID	1
H2.1	Projecting Amenity ID	0
J4.2	Accessible Entrance ID - Exterior	0
S1.1	Stair ID - Inside Stairwell	0
S1.2	Stair ID - Corridor Side	0
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		1

CLIENT
CITY OF TORONTO

 55 John St.
 TORONTO, ON
 M5V 3C6

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 IBI Group Professional Services (Canada) Inc.
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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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SHEET TITLE
**SIGNAGE & WAYFINDING
 DETAILS
 MESSAGE SCHEDULE**

SHEET NUMBER G28-103-A8100	ISSUE D
--------------------------------------	-------------------

DOOR SCHEDULE															
DOOR NO.	LOCATION	TYPE	DOOR			PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
			WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/BFAO	PANIC DEVICE		
FIRST FLOOR															
N-112	UNIVERSAL WASHROOM	A(L)	1067	2135	45	HM	PT3	<->	HM	PT3	<->	BFWO	<->	<->	NEW BFWO. PROVIDE SIGNAGE WITH TACTILE AND BRAILLE AT ACCESSIBLE HEIGHT. CONFIRM MATERIAL AND FINISH.
NE-101	BUNKER AREA	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-102	BUNKER AREA	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-103	KITCHEN	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-104	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-105	LOUNGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-106	STAIRS A	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-107	APPARATUS BAY	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-108	MECHANICAL ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
SECOND FLOOR															
NE-201	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-202	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-203	WOMEN'S WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-204	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-205	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-206	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-207	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
THIRD FLOOR															
NE-301	GYM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-302	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

DOOR ABBREVIATIONS	
* ALUM	DENOTES YES
ANOD	ALUMINUM
BFAO	ANODIZED
BFPB	BARRIER-FREE AUTOMATIC OPENER
BFWO	BARRIER-FREE PUSH BUTTON
CR	BARRIER-FREE WAVE TO OPEN
EXIST	CARD READER
FBM	EXISTING
GWG	FINGER BIOMETRIC
HM	GYPSUM WALL BOARD
IHM	GEORGIAN WIRE GLASS
ITGL	HOLLOW METAL
KP	INSULATED HOLLOW METAL
OBM	KEY PAD
PF	OCULAR BIOMETRIC
PLAM	PRE FINISHED
PT	PLASTIC LAMINATE
SIM	PAINT
SS	SIMILAR
TGL	STAINLESS STEEL
WD	TEMPERED GLASS
	WOOD

CLIENT
CITY OF TORONTO

 Corporate Real Estate Management
 Project Management Office
 Metro Hall Toronto, ON
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ISSUES		
No.	DESCRIPTION	DATE
A	90% SUBMISSION	2022-01-04
B	ISSUED FOR TENDER	2022-11-01
C	ADDENDUM 1	2022-11-04

ROOM FINISH SCHEDULE																
ROOM NAME	FLOOR		BASE		NORTH		EAST		SOUTH		WEST		CEILING			
	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT	
Not Placed																
UNIVERSAL WASHROOM	EXIST	PFT-1	CONC, GB	-	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	CONC.	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	PT-2	2440	
FIRST FLOOR																
BUNKER AREA	EXIST	EXIST	EXIST, CONC	EXIST, CS-1	EXIST, CONC	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST, BRICK VENEER, CONC	PT-3	EXIST	EXIST	EXIST	

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CS-1	ACRYLIC CONCRETE CURING AND SEALING COMPOUND	-	-	AS SPECIFIED IN DRAWINGS	VOCOMP-25	W.R. MEADOWS	
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EFW-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm (12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	MEETS DCOF	STONE TILE	SHOWER FLOOR TILE
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS UPPERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS LOWERS
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILING
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
PT-5	PAINT	BLACK BEAUTY 2128-10	FLAT	N/A		BENJAMIN MOORE	
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS

NOTE:
 - PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.
 - PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
FIRE HALL NO. 227
 1904 QUEEN ST. E.

PROJECT NO:
 9119-19-0162 / IBI 122260

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CHECKED BY:
K. TILAHUN

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SHEET TITLE
DOOR AND ROOM FINISH SCHEDULES

SHEET NUMBER
G28-103-A9001

ISSUE
C