

CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162 / IBI 122260

351 BIRCHMOUNT RD
FIRE MUSEUM - FIRE PREVENTION OFFICE

GROUP 28
SEQ 201



IMAGE SOURCE: GOOGLE MAPS

CITY OF TORONTO



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

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PROJECT NO:
9119-19-0162 / IBI 122260

DATE:
2022-11-01

SHEET NUMBER G28-201-G0001	ISSUE C
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A5211	STAIR PLANS AND SECTIONS
A9001	DOOR AND ROOM FINISH SCHEDULES

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 Project Management Office
 Metro Hall Toronto, ON
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CONSULTANTS

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
351 BIRCHMOUNT RD
FIRE MUSEUM - FIRE PREVENTION
OFFICE

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN

CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

SHEET TITLE
DRAWING LIST & OBC
MATRIX

SHEET NUMBER
G28-201-G0002
 ISSUE
C

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620		Name of Project FIRE MUSEUM & FIRE PREVENTION OFFICE ACCESSIBILITY UPGRADES Location 351 BIRCHMOUNT RD. SCARBOROUGH, TORONTO ON M1N 3K1	
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
1.	PROJECT DESCRIPTION <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9	
2.	MAJOR OCCUPANCY(S) GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCIES SUBSIDIARY OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES GROUP A DIVISION 2 - MUSEUM	3.1.2.1. (1) 9.10.2.	EXISTING NO CHANGE
3.	BUILDING AREA (m²) EXISTING - 279.7 NEW - 0 TOTAL - 279.7	1.4.1.2. [A] 1.4.1.2. [A]	
4.	GROSS AREA (m²) EXISTING - 418.8 NEW - 0 TOTAL - 418.8	1.4.1.2. [A] 1.4.1.2. [A]	EXISTING NO CHANGE
5.	NUMBER OF STOREYS ABOVE GRADE - 1 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1. 1.4.1.2. [A] & 9.10.4.	
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 2 EXISTING NO CHANGE	3.2.2.10. & 3.2.5. 9.10.20.	
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE	3.2.2.67. 9.10.2.	
8.	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.67 3.2.1.5 3.2.2.17 INDEX INDEX	EXISTING NO CHANGE
9.	STANDPIPE REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO STANDPIPE PROVIDED <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9. N/A	EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO FIRE ALARM PROVIDED <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4. 9.10.18.	EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7. N/A	EXISTING NO CHANGE
12.	HIGH BUILDING <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6. N/A	
13.	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH PERMITTED <input type="checkbox"/> BOTH REQUIRED ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.67. 9.10.6.	EXISTING NO CHANGE
14.	MEZZANINE (S) AREA m² N/A	3.2.1.1. (3) - (8) 9.10.4.1.	
15.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 1ST FLOOR: OCCUPANCY _____ LOAD _____ PERSONS 2ND FLOOR: OCCUPANCY _____ LOAD _____ PERSONS MEZZANINE FLOOR: OCCUPANCY _____ LOAD _____ PERSONS	3.1.17. 4.9.13.	EXISTING NO CHANGE
16.	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8. 9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3.(4)	
18a.	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES (HOURS) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE N/A	3.2.2.67. & 3.2.1.4. 9.10.8. 9.10.9.	

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
18b.	REQUIRED FIRE RESISTANCE RATING (FRR) FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SB-2) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE	SB-2 TABLE 2.1.1. SB-2 TABLE 2.1.1.	
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS WALL AREA OF EBF (m²) LD (M) L/H OR H/L PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB. CONST. COMB. CONST. NONC-GLASSING NON-COMB. CONST.	3.2.3. 9.10.14.	EXISTING NO CHANGE
20.	PLUMBING FIXTURE REQUIREMENTS MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE MAJOR OCCUPANCY	EXISTING NO CHANGE <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 OCCUPANT LOAD OBC TABLE NUMBER FIXTURES REQUIRED FIXTURES PROVIDED 7 MALE 3.7.4.9. 1 1 3.7.4.9. 7 FEMALE 3.7.4.9. 1 1 3.7.4.9.	
21.	EXITS/ ACCESS TO EXIT-		EXISTING NO CHANGE
22.	OTHER (DESCRIBE) -		

ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building	OBC REFERENCE	REMARKS
11.1.	EXISTING BUILDING CLASSIFICATION: DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N	
11.2.	ALTERATION TO EXISTING BUILDING IS: BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>	11.3.3.1. 11.3.3.2.	
11.3.	REDUCTION IN PERFORMANCE LEVEL: STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.	
11.4.	COMPENSATING CONSTRUCTION: STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6	
11.5.	COMPLIANCE ALTERNATIVES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)	11.5.1	



IMAGE SOURCE: GOOGLE MAPS



PHOTO 01: PAINT NEW REGULAR PARKING LINES

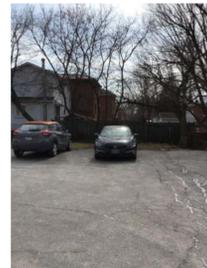


PHOTO 02: PAINT NEW REGULAR PARKING LINES



PHOTO 03: PAINT NEW REGULAR PARKING LINES



PHOTO 04: PROVIDE COLOUR AND TEXTURAL NOSING FOR EXISTING EXTERIOR STEP

1 KEY PLAN
A1201 Scale: NTS



IMAGE SOURCE: TORONTO MAPS

2 SITE PLAN
A1201 Scale: 1 : 150

SITE LEGEND

- EXISTING MAIN ENTRANCE
- EXISTING EXIT TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- 2 DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

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Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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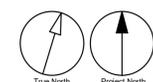
PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
351 BIRCHMOUNT RD
FIRE MUSEUM - FIRE PREVENTION OFFICE

PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. HOLDER
CHECKED BY:
K. TILAHUN
PROJECT MGR:
F. BOLOURIAN
APPROVED BY:
E. FENUTA

SHEET TITLE
SITE PLAN

SHEET NUMBER
G28-201-A1201
ISSUE
C

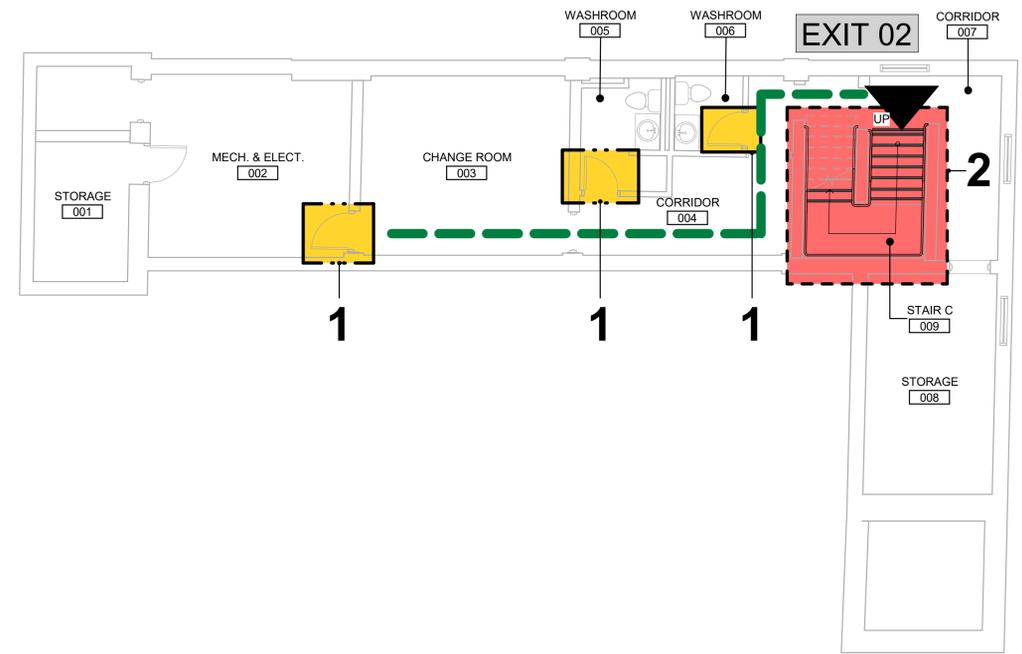


CONSTRUCTION STAGING LEGEND

-  STAGE 1
-  STAGE 2
-  EMERGENCY EXIT
-  TRAVEL PATH

STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.



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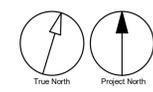
PROJECT NO:
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DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

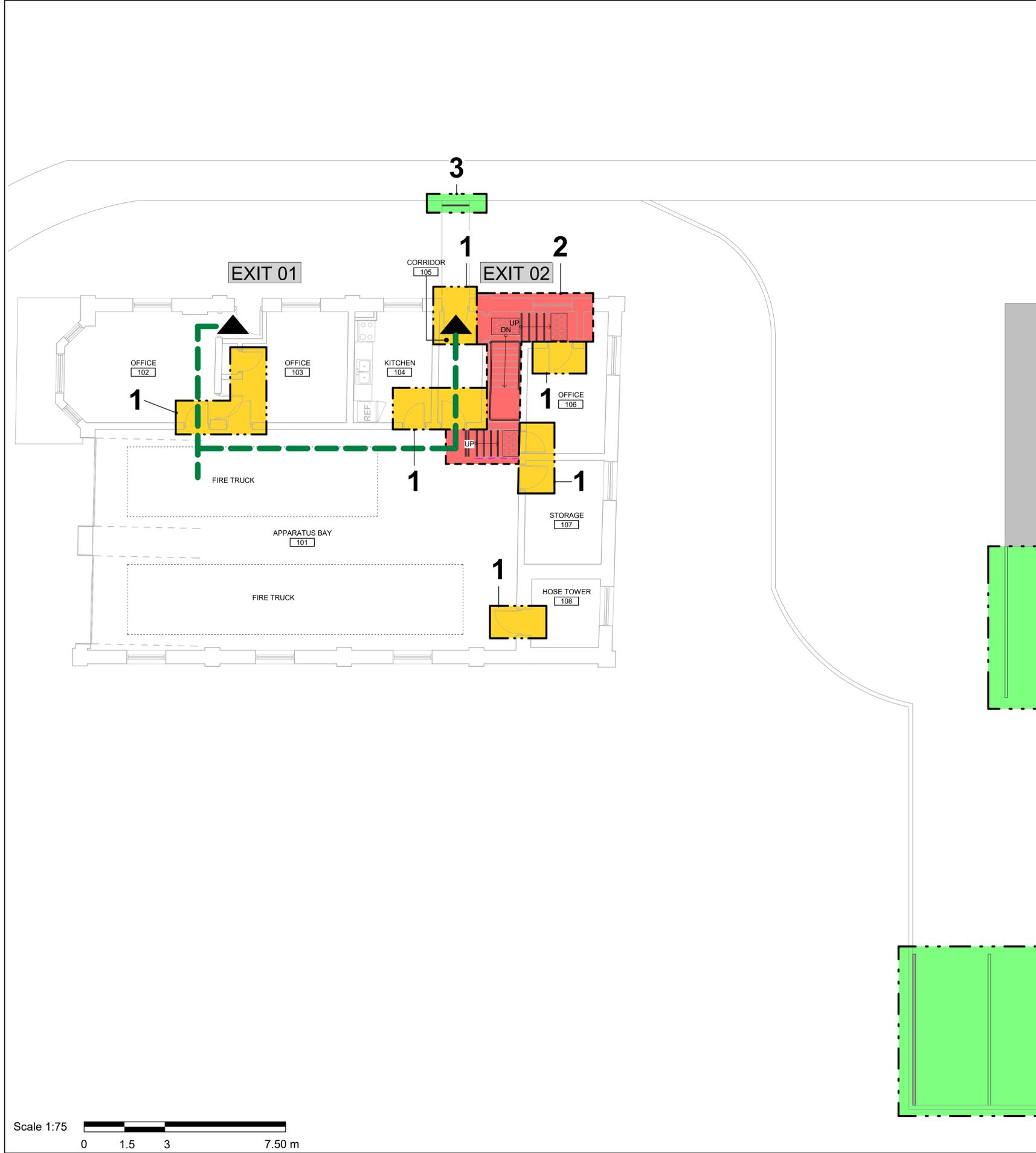
SHEET TITLE
**BASEMENT STAGING
 PLAN**

SHEET NUMBER G28-201-A2001	ISSUE C
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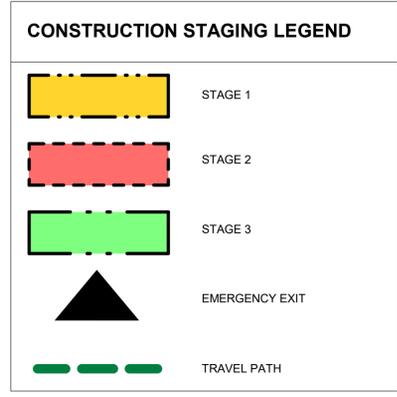
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- STAGING GENERAL NOTES**
- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
 - ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
 - IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
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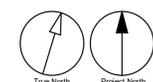
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 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
**FIRST FLOOR STAGING
 PLAN**

CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

SHEET NUMBER
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 ISSUE
C

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BIM 360/1122260 - CoT TAU Upgrades R2020/122260-TAU-28-201-35-BRCOMT-AR201.rvt



PHOTO 01: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 02: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 03: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 04: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 05: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 06: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 07: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 08: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 09: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 10: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 11: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 12: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 13: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 14: REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
 PHOTO 15: EXISTING STAIR B
 PHOTO 16: EXISTING STAIR C, REMOVE EXISTING HANDRAILS
 PHOTO 17: EXISTING STAIR C, REMOVE EXISTING HANDRAILS
 PHOTO 18: EXISTING STAIR A

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

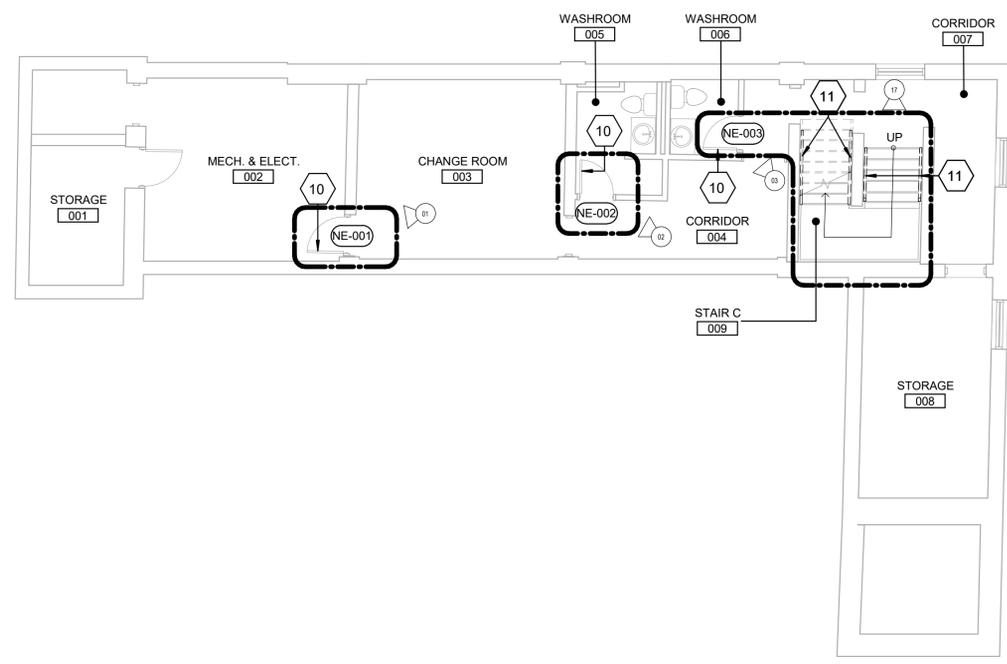
NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.

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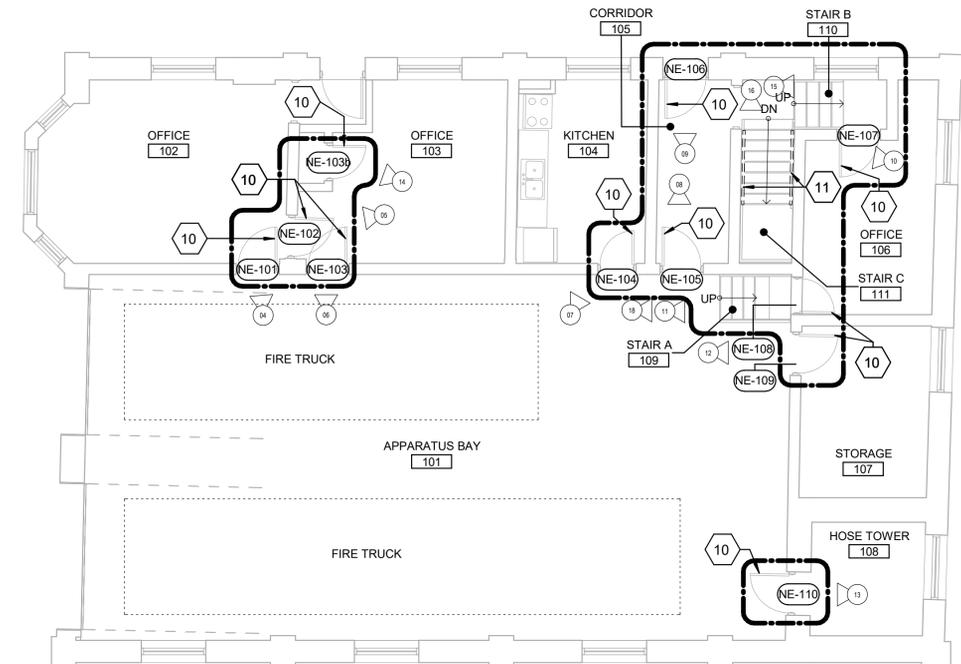
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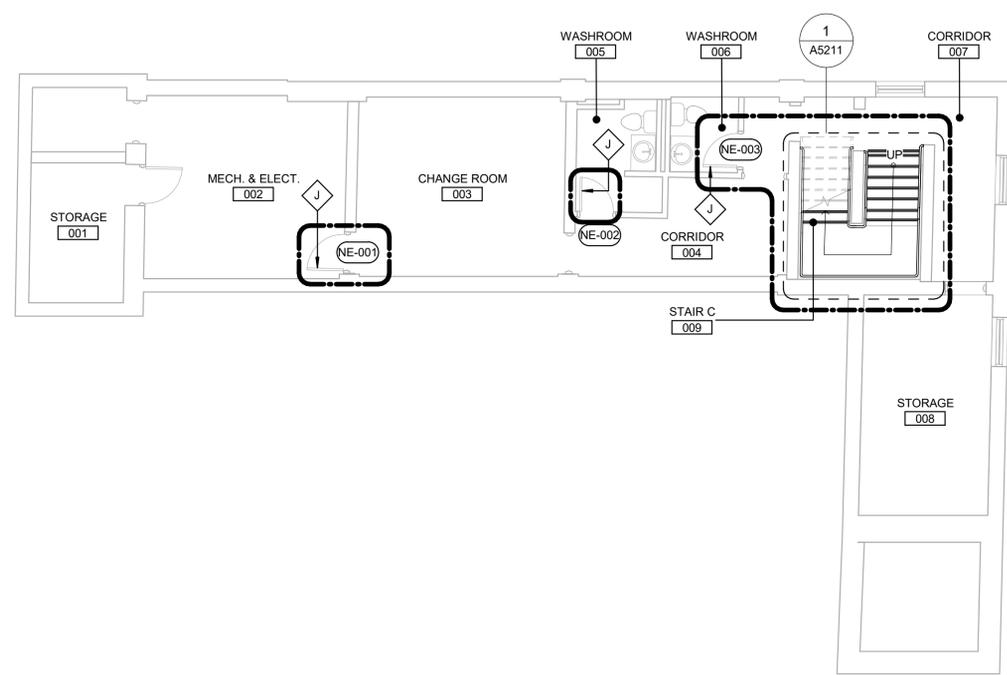
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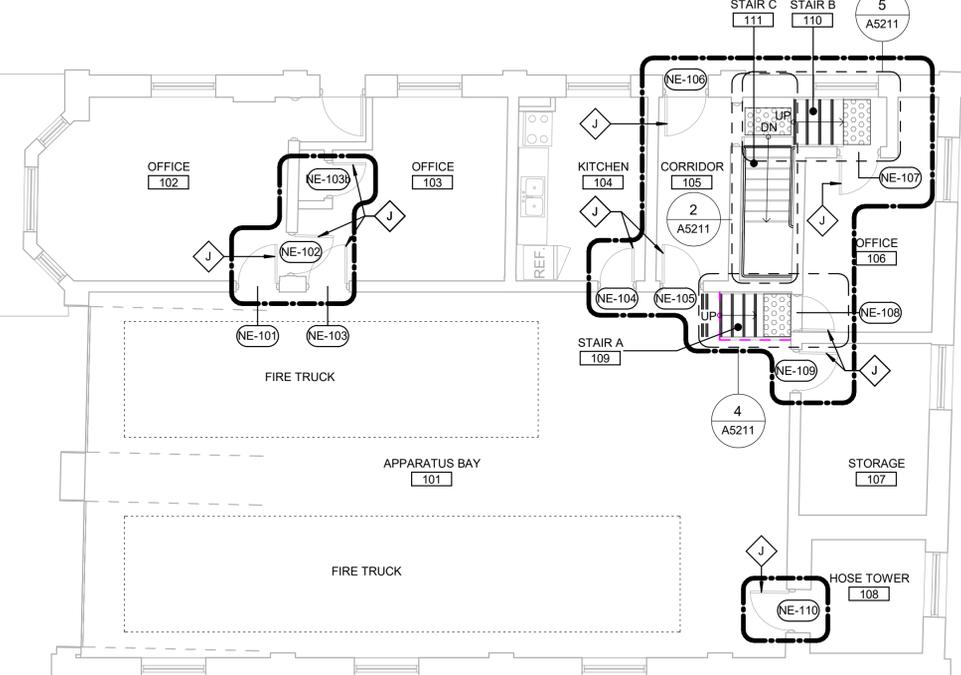
2 BASEMENT DEMOLITION PLAN
 A2111 Scale: 1 : 75



1 FIRST FLOOR DEMOLITION PLAN
 A2111 Scale: 1 : 75



3 BASEMENT PROPOSED PLAN
 A2111 Scale: 1 : 75



4 FIRST FLOOR PROPOSED PLAN
 A2111 Scale: 1 : 75

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

1 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

NOTE: WORK WITHIN EXIT STAIRS TO BE DONE AFTER HOURS SO THAT EXITING OF THE BUILDING IS NOT AFFECTED. PROVIDE TEMPORARY LEVELING WITH FIRE-RETARDANT-TREATED PLYWOOD OR OTHER NON-COMBUSTIBLE MATERIAL FOR ANY FLOOR DEPRESSION TO AVOID TRIP HAZARDS.

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**351 BIRCHMOUNT RD
 FIRE MUSEUM - FIRE PREVENTION
 OFFICE**

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**BASEMENT & FIRST
 FLOOR DEMOLITION AND
 PROPOSED PLANS**

SHEET NUMBER G28-201-A2111	ISSUE C
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DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

DOOR ABBREVIATIONS	
*	DENOTES YES
ALUM	ALUMINUM
ANOD	ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFWO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
EXIST	EXISTING
FBM	FINGER BIOMETRIC
GWG	GYPSON WALL BOARD
HM	GEORGIAN WIRE GLASS
IHM	HOLLOW METAL
ITGL	INSULATED HOLLOW METAL
KP	KEY PAD
OBM	OCULAR BIOMETRIC
PF	PRE FINISHED
PLAM	PLASTIC LAMINATE
PT	PAINT
SIM	SIMILAR
SS	STAINLESS STEEL
TGL	TEMPERED GLASS
WD	WOOD

NOTE:
 - PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.
 - PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

CLIENT
CITY OF TORONTO

 Corporate Real Estate Management
 Project Management Office
 Metro Hall Toronto, ON
 MSV 3C6

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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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SHEET TITLE
DOOR AND ROOM FINISH SCHEDULES

SHEET NUMBER
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C

DOOR SCHEDULE

DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/BFAO	PANIC DEVICE		
BASEMENT															
NE-001	CHANGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-002	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-003	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
FIRST FLOOR															
NE-101	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-102	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-103	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-103b	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-104	KITCHEN	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-105	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-106	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-107	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE. PT-3 - COLOUR TO MATCH EXISTING RED DOOR PAINT (DOOR NE-106)
NE-108	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-109	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-110	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE

ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR		BASE		NORTH		EAST		SOUTH		WEST		CEILING			NOTES	
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT		
		BASEMENT																
009	STAIR C	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	PAINT HANDRAILS AND GUARDRAILS - PT-3								
FIRST FLOOR																		
109	STAIR A	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	PAINT HANDRAILS AND GUARDRAILS - PT-3								
110	STAIR B	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	PAINT HANDRAILS AND GUARDRAILS - PT-3								
111	STAIR C	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	PAINT HANDRAILS AND GUARDRAILS - PT-3								

ROOM FINISH KEY SCHEDULE

ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EFW-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm(12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	MEETS DCOF	STONE TILE	SHOWER FLOOR TILE
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS UPPERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS LOWERS
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILING
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS