

# CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162/ IBI 122260

POLICE MARINE SUB-STATION NO. 1 - BLUFFERS PARK  
23 BLUFFERS PARK (7 BRIMLEY RD S)

GROUP 28  
SEQ 284



IMAGE SOURCE: GOOGLE MAPS

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO  
ACCESSIBILITY UPGRADES  
PROGRAM GROUP 28

PROJECT NO: 9119-19-0162/ IBI 122260	
DATE: 2022-11-01	
SHEET NUMBER G28-284-G0001	ISSUE C



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Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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CONSULTANTS

SEAL

PRIME CONSULTANT



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PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS  
POLICE MARINE  
SUB-STATION NO. 1 -  
BLUFFERS PARK  
23 BLUFFERS PARK (7 BRIMLEY RD S)

PROJECT NO:  
9119-19-0162/ IBI 122260  
DRAWN BY:  
A. HOLDER  
PROJECT MGR:  
F. BOLOURIAN  
CHECKED BY:  
K. TILAHUN  
APPROVED BY:  
E. FENUTA

SHEET TITLE  
DRAWING LIST & OBC  
MATRIX

SHEET NUMBER	ISSUE
G28-284-G0002	C

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620				Name of Project POLICE MARINE SUBSTATION NO.1 ACCESSIBILITY UPGRADES Location 7 BRIMLEY RD. S. SCARBOROUGH, TORONTO ON M1M 1C1			
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9			OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		REMARKS	
1.	PROJECT DESCRIPTION	<div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration</div>	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input checked="" type="checkbox"/> PART 3	<input checked="" type="checkbox"/> PART 9 1.1.2. [A] & 9.10.1.3.		
2.	MAJOR OCCUPANCY(S) SUBSIDIARY OCCUPANCY(S)	GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES		3.1.2.1. (1)	9.10.2.	EXISTING NO CHANGE	
3.	BUILDING AREA (m²)	EXISTING - 149.2	NEW - 0	TOTAL - 149.2		1.4.1.2. [A]	
4.	GROSS AREA (m²)	EXISTING - 149.2	NEW - 0	TOTAL - 149.2		1.4.1.2. [A]	
5.	NUMBER OF STOREYS	ABOVE GRADE - 1	BELOW GRADE - 0	TOTAL - 1		1.4.1.2. [A] & 3.2.1.1.	
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1	EXISTING NO CHANGE		3.2.2.10. & 3.2.5.	9.10.20.		
7.	BUILDING CLASSIFICATION -	EXISTING NO CHANGE		3.2.2.67.	9.10.2.		
8.	SPRINKLER SYSTEM PROPOSED	<div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED</div>		3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2   INDEX	EXISTING NO CHANGE	
9.	STANDPIPE REQUIRED STANDPIPE PROVIDED	<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO</div>		3.2.9.	N/A	EXISTING NO CHANGE	
10.	FIRE ALARM REQUIRED FIRE ALARM PROVIDED	<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO</div>		3.2.4.	9.10.18.	EXISTING NO CHANGE	
11.	WATER SERVICE/SUPPLY IS ADEQUATE	<div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>		3.2.5.7.	N/A	EXISTING NO CHANGE	
12.	HIGH BUILDING	<div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>		3.2.6.	N/A		
13.	CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION	<div><input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH</div>		3.2.2.67.	9.10.6.	EXISTING NO CHANGE	
14.	MEZZANINE (S) AREA m²	N/A		3.2.1.1. (3) - (8)	9.10.4.1.		
15.	OCCUPANT LOAD BASED ON	<div><input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING</div>		3.1.17.	4.9.13.	EXISTING NO CHANGE	
	1ST FLOOR:	OCCUPANCY _____	LOAD _____ PERSONS				
	2ND FLOOR:	OCCUPANCY _____	LOAD _____ PERSONS				
	MEZZANINE FLOOR:	OCCUPANCY _____	LOAD _____ PERSONS				
16.	BARRIER FREE DESIGN	<div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)</div>		3.8.	9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE	
17.	HAZARDOUS SUBSTANCES	<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>		3.3.1.2 & 3.3.1.19	9.10.1.3.(4)		
18a.	REQUIRED FIRE	HORIZONTAL ASSEMBLIES	LISTED DESIGN NO.	3.2.2.67.	9.10.8.		
	RESISTANCE RATING	FRR (HOURS)	OR DESCRIPTION (SB-2)	& 3.2.1.4.	9.10.9.		
	(FRR)	FLOORS NO CHANGE					
		ROOF NO CHANGE					
		MEZZANINE N/A					

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		REMARKS		
18b.	REQUIRED FIRE	FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SB-2)							SB-2 TABLE 2.1.1.				
	RESISTANCE RATING	FLOORS NO CHANGE									SB-2 TABLE 2.1.1.				
	(FRR)	ROOF NO CHANGE													
		MEZZANINE													
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										3.2.3.	9.10.14.	EXISTING NO CHANGE		
	WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLAZING	NON-COMB. CONST.				
	NORTH					-	0	-	-	-	-				
	SOUTH					-	0	-	-	-	-				
	EAST					-	0	-	-	-	-				
	WEST					-	0	-	-	-	-				
20.	PLUMBING FIXTURE REQUIREMENTS										OBC REFERENCE				
	MALE / FEMALE COUNT @ _____ % / _____ % EXISTING NO CHANGE										<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9				
	EXCEPT AS NOTED OTHERWISE										OCCUPANT LOAD	OBC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED	
	MAJOR OCCUPANCY _____										X MALE	3.7.4.9.	X	X	3.7.4.9.
											X FEMALE	3.7.4.9.	X	X	3.7.4.9.
21.	EXITS/ ACCESS TO EXIT-										EXISTING NO CHANGE				
22.	OTHER (DESCRIBE) -														
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building										OBC REFERENCE		REMARKS		
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)								11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N					
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>								11.3.3.1. 11.3.3.2.					
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:								11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.					
		<div><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)</div>								11.4.3.					
		<div><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)</div>								11.4.3.2					
		<div><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)</div>								11.4.3.3					
		<div><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)</div>								11.4.3.4					
		<div><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)</div>								11.4.3.5					
		<div><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)</div>								11.4.3.6					
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	<div><input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)</div>								11.5.1					

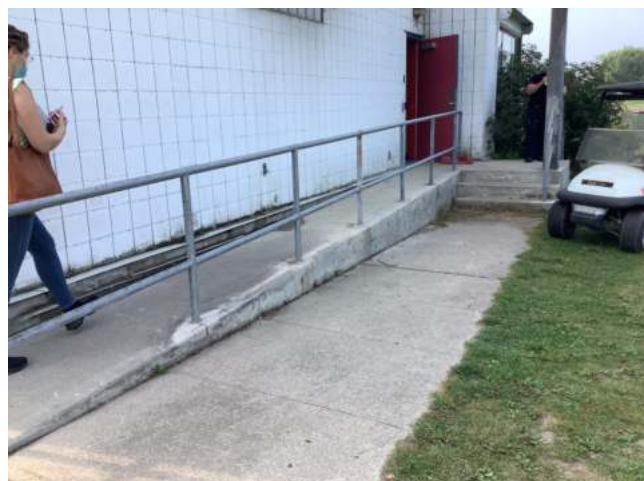




PH 01: RAMP



PH 02: RAMP



PH 03: RAMP AND STAIR



PH 04: PARKING LOT

2 KEY PLAN  
A1202 Scale: NTS



1 SITE PLAN  
A1202 Scale: 1 : 100

SITE LEGEND



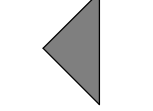
NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



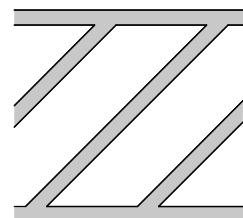
ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



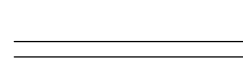
EXISTING MAIN ENTRANCE



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701



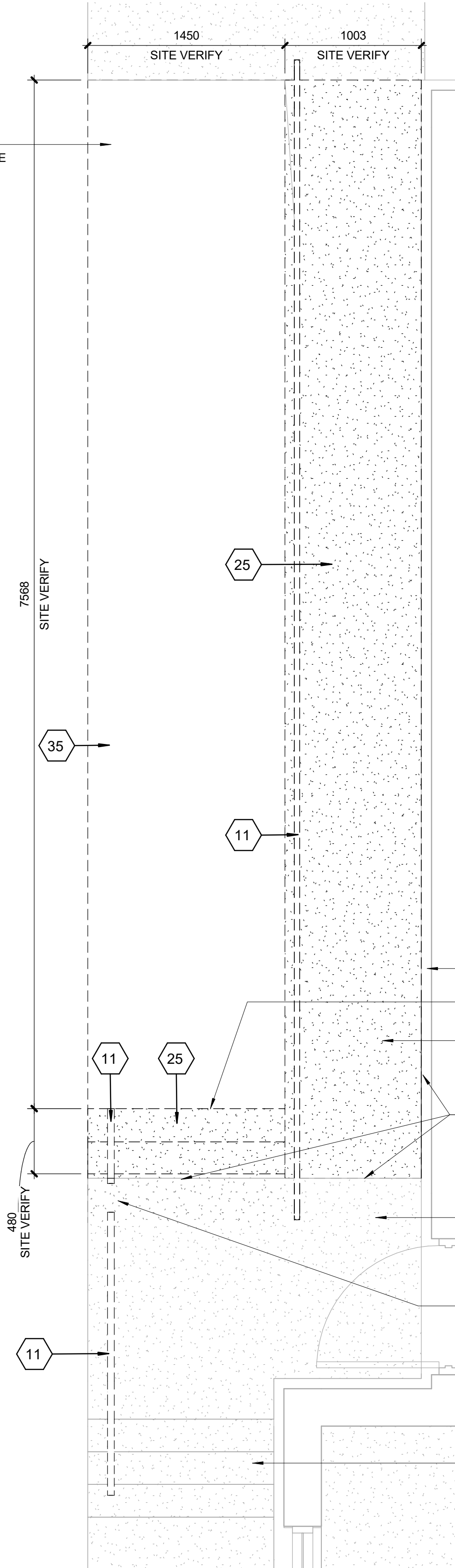
DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

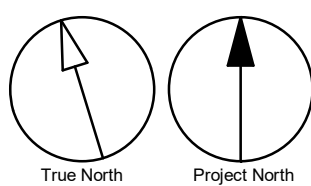
- SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

DEMOLITION KEY NOTES

NO	DESCRIPTION
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
25	DEMOLISH EXISTING CONCRETE STAIR OR RAMP. REMOVE DEBRIS AND PREPARE FOR NEW STAIR OR RAMP. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
35	DEMOLISH EXISTING CONCRETE PAD OR BED. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.



3 RAMP AND STAIR A ENLARGED DEMOLITION PLAN  
A1202 Scale: 1 : 25



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Toronto

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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
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PROJECT TITLE

CITY OF TORONTO

ACCESSIBILITY UPGRADES

PROJECT ADDRESS

POLICE MARINE

SUB-STATION NO. 1 -

BLUFFERS PARK

23 BLUFFERS PARK (7 BRIMLEY RD S)

PROJECT NO:

9119-19-0162/ IBI 122260

DRAWN BY:

A. HOLDER

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

SITE PLAN

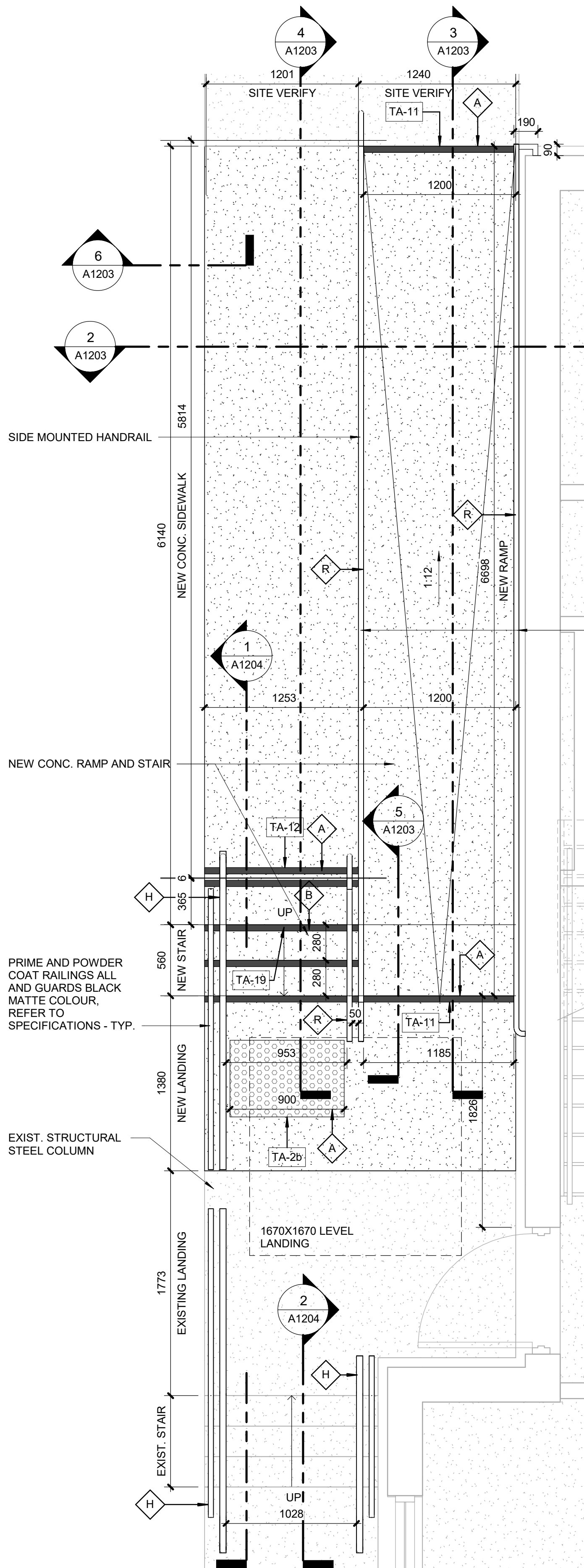
SHEET NUMBER

G28-284-A1202

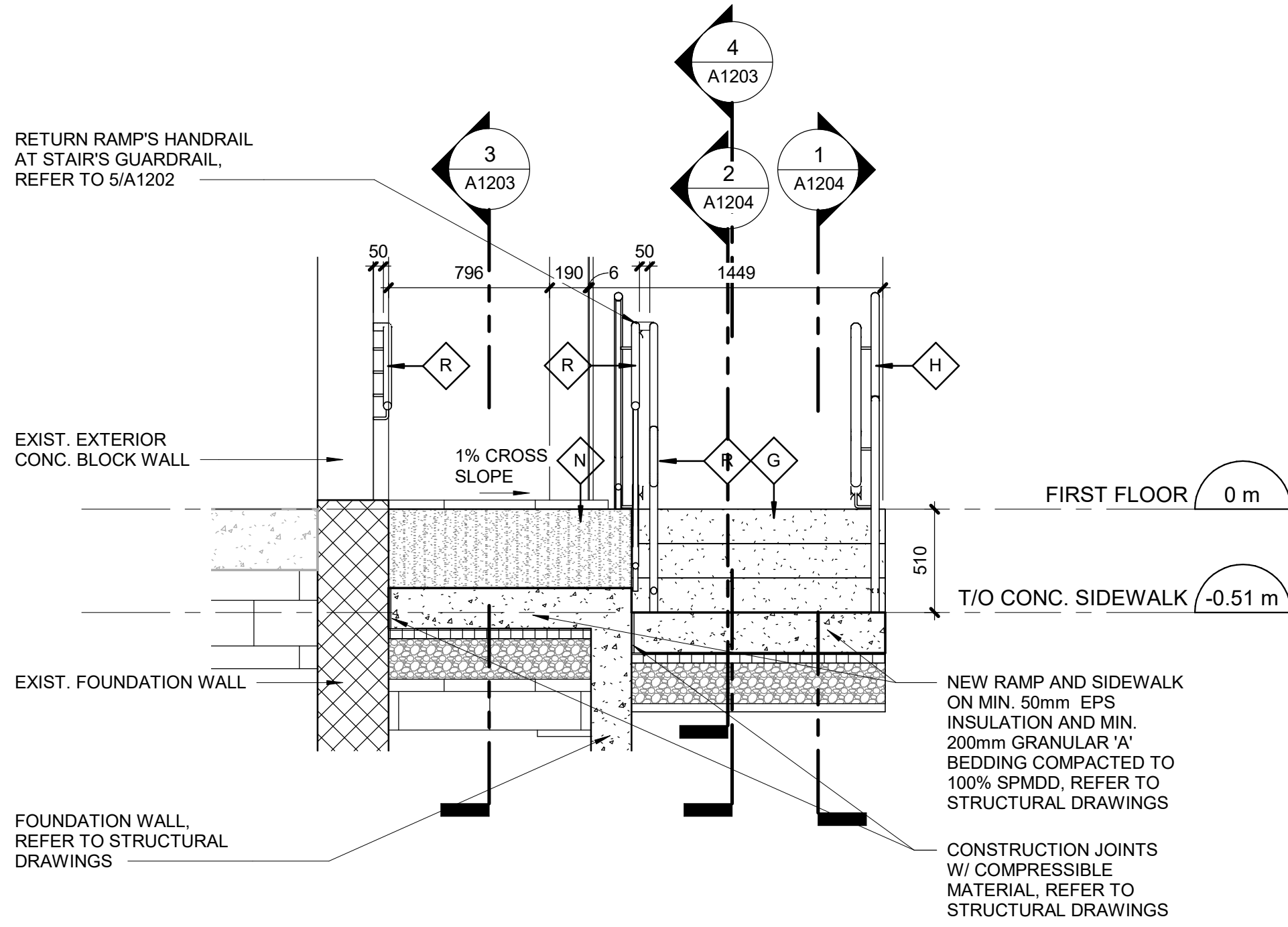
ISSUE

C

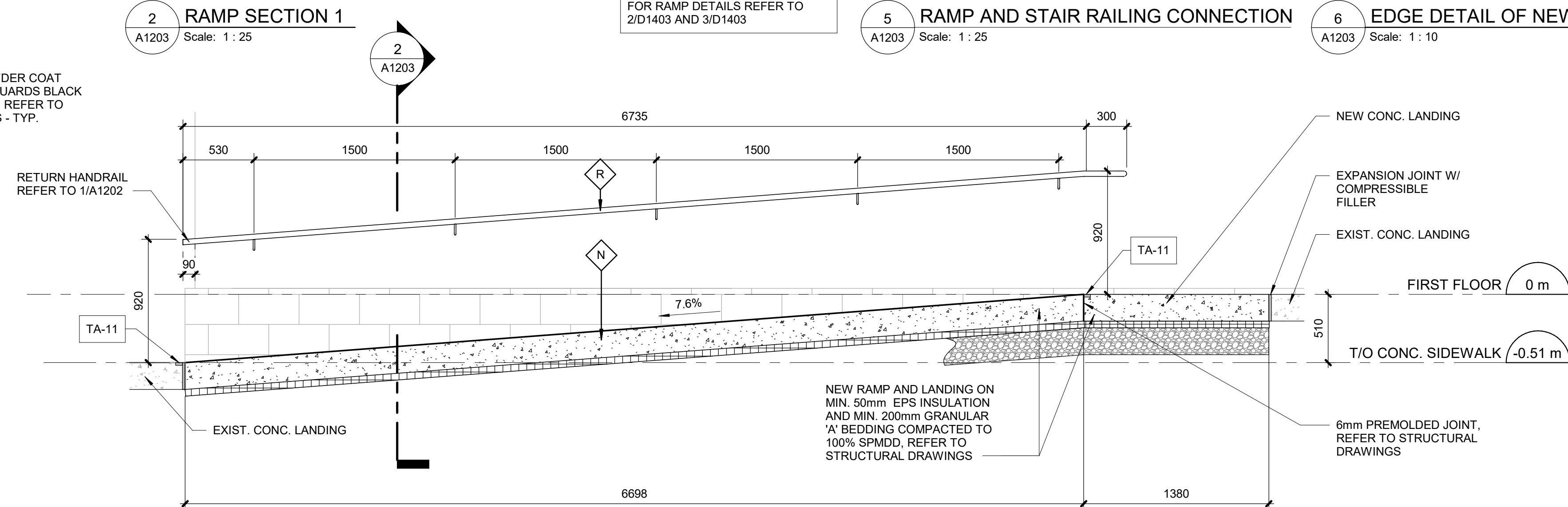




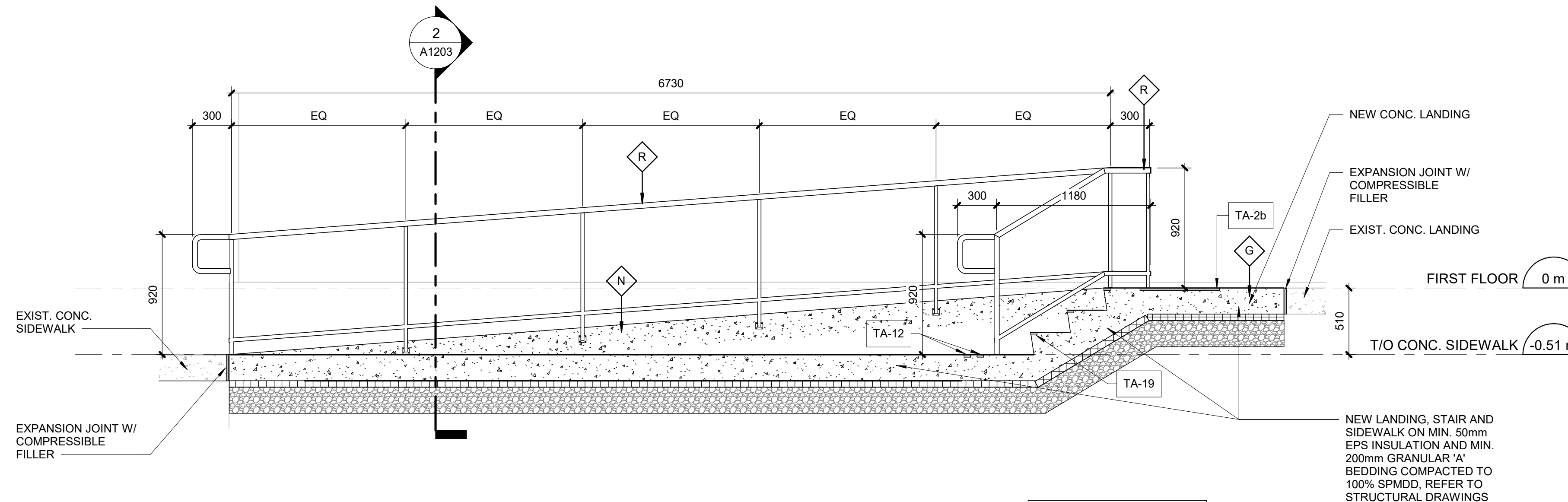
1  
A1203  
Scale: 1 : 25  
EXTERIOR RAMP AND STAIR ENLARGED PLAN- PROPOSED



2  
A1203  
Scale: 1 : 25  
RAMP SECTION 1

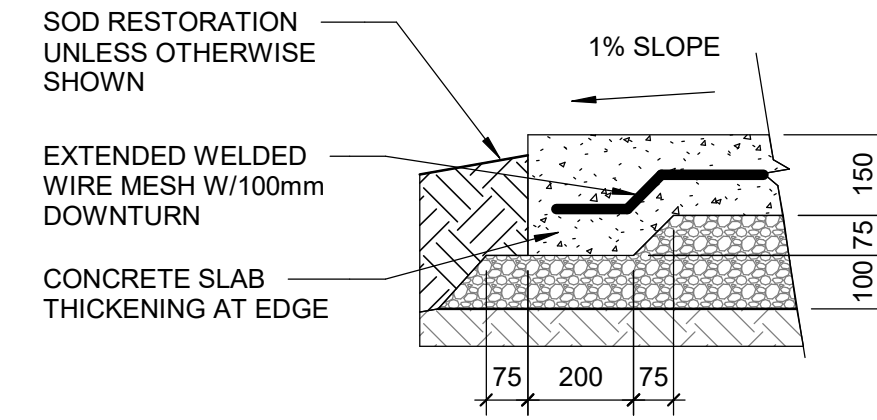


3  
A1203  
Scale: 1 : 25  
RAMP SECTION 2



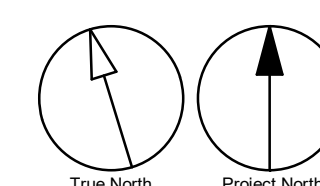
4  
A1203  
Scale: 1 : 25  
RAMP SECTION 3

CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
G	INSTALL NEW CONCRETE STAIR AND LANDING - REFER TO DETAILS 2/D1402 AND 4/D1402.
H	INSTALL NEW GUARDRAIL AND HANDRAIL ON CONCRETE STAIR - REFER TO TYPICAL DETAILS 2/D1402.
N	INSTALL NEW CONCRETE RAMP - REFER TO TYPICAL DETAIL 2/D1403, 3/D1403, 1/D1404, AND 2/D1404.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.



6  
A1203  
Scale: 1 : 10  
EDGE DETAIL OF NEW CONCRETE SIDEWALK

FOR STAIR HANDRAIL DETAIL  
REFER TO 4/D1402



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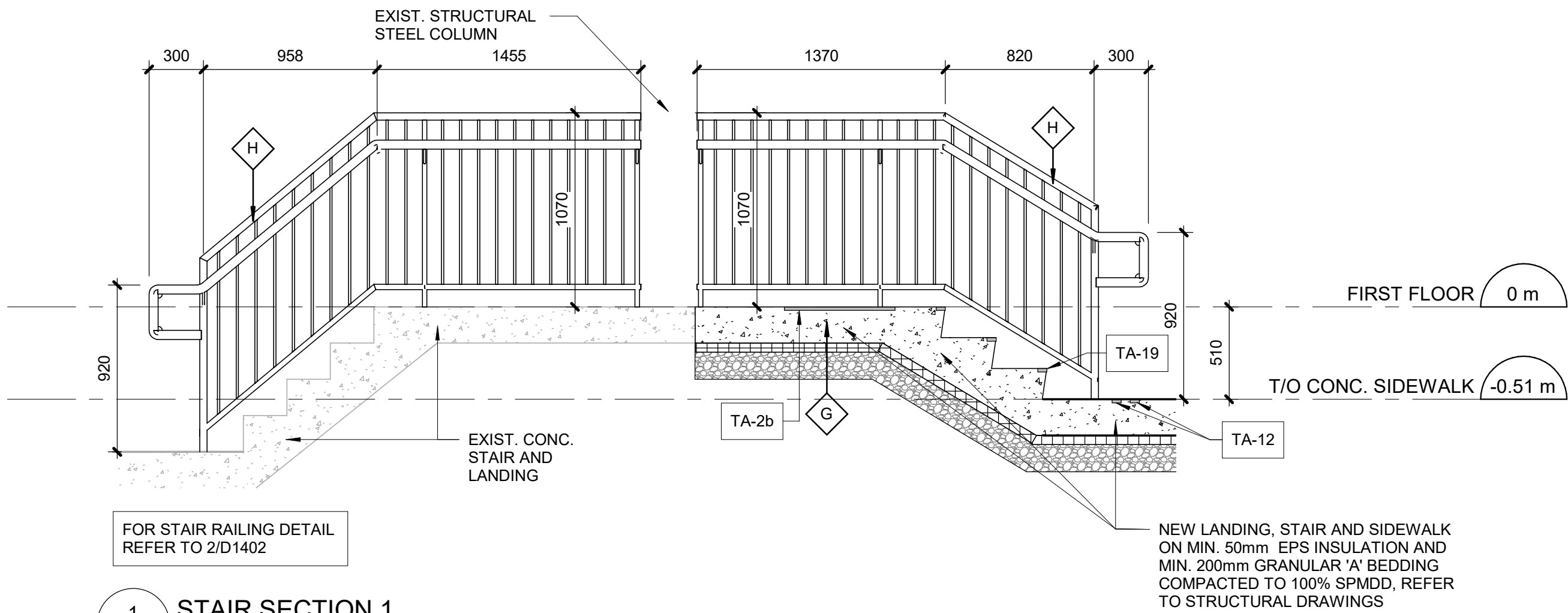
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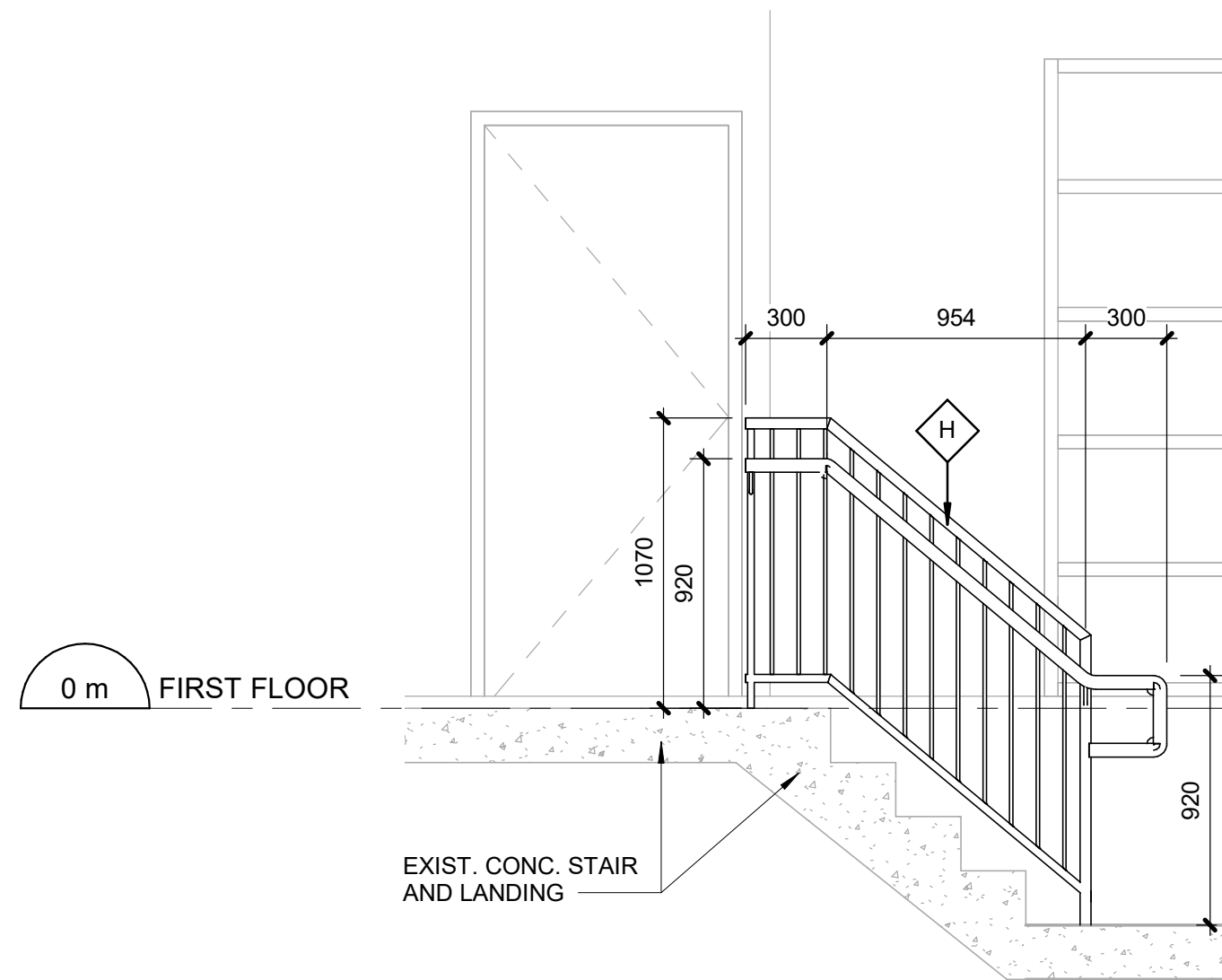
<b>DRAWN BY:</b> M.LATOSZEK	<b>CHECKED BY:</b> K. TILAHUN
<b>PROJECT MGR:</b> F. BOLOURIAN	<b>APPROVED BY:</b> E. FENUTA

**SHEET TITLE**  
PROPOSED SITE PLAN -  
ENLARGED

<b>SHEET NUMBER</b> G28-284-A1203	<b>ISSUE</b> B
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1 STAIR SECTION 1  
A1204 Scale: 1 : 25



2 STAIR SECTION 2  
A1204 Scale: 1 : 25

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**Toronto**

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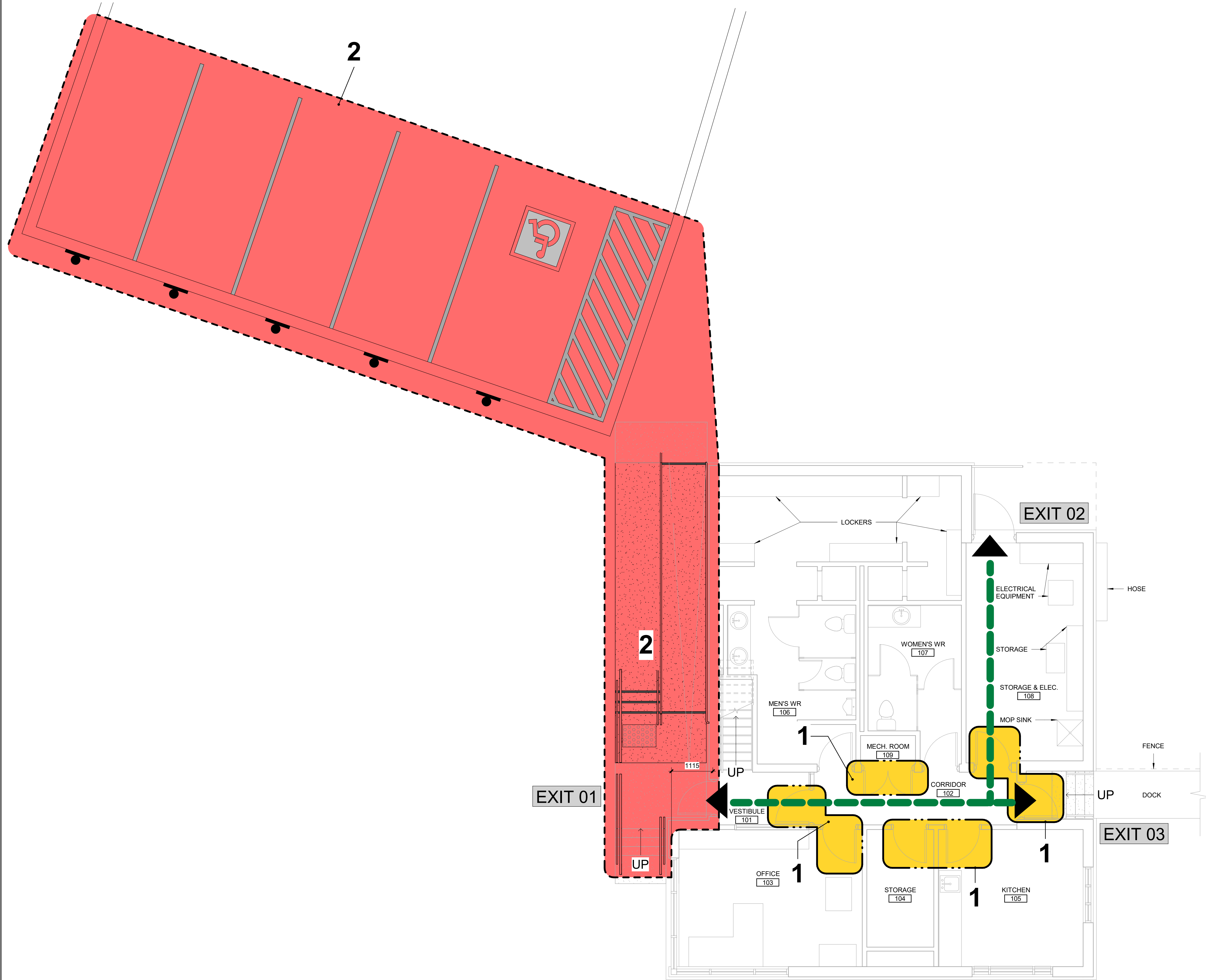
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SUB-STATION NO. 1 -  
BLUFFERS PARK  
23 BLUFFERS PARK (7 BRIMLEY RD S)**

PROJECT NO: 9119-19-0162/ IBI 122260	
DRAWN BY: <b>M. LATOSZEK</b>	CHECKED BY: <b>K. TILAHUN</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**EXTERIOR STAIR  
SECTIONS**

SHEET NUMBER <b>G28-284-A1204</b>	ISSUE <b>A</b>
--------------------------------------	-------------------





CONSTRUCTION STAGING LEGEND

STAGE 1

STAGE 2

EMERGENCY EXIT

TRAVEL PATH

STAGING GENERAL NOTES

1

EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.

2

ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.

3

IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.

4

IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.

5

CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.

6

ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.

7

PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.

8

WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.

9

KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.

10

FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

SEAL

PRIME CONSULTANT

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

POLICE MARINE  
SUB-STATION NO. 1 -  
BLUFFERS PARK  
23 BLUFFERS PARK (7 BRIMLEY RD S)

PROJECT NO:

9119-19-0162/ IBI 122260

DRAWN BY:

A. HOLDER

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUITA

SHEET TITLE

FIRST FLOOR STAGING  
PLAN

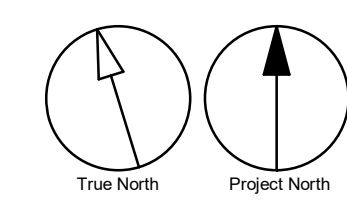
SHEET NUMBER

G28-284-A2011

ISSUE

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DEMOLITION KEY LEGEND

---

EXISTING TO BE DEMOLISHED

=====

EXISTING EXTERIOR WALL TO REMAIN

=====

EXISTING PARTITION TO REMAIN

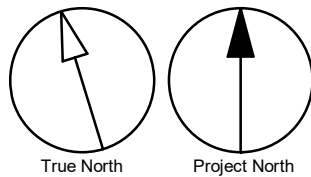
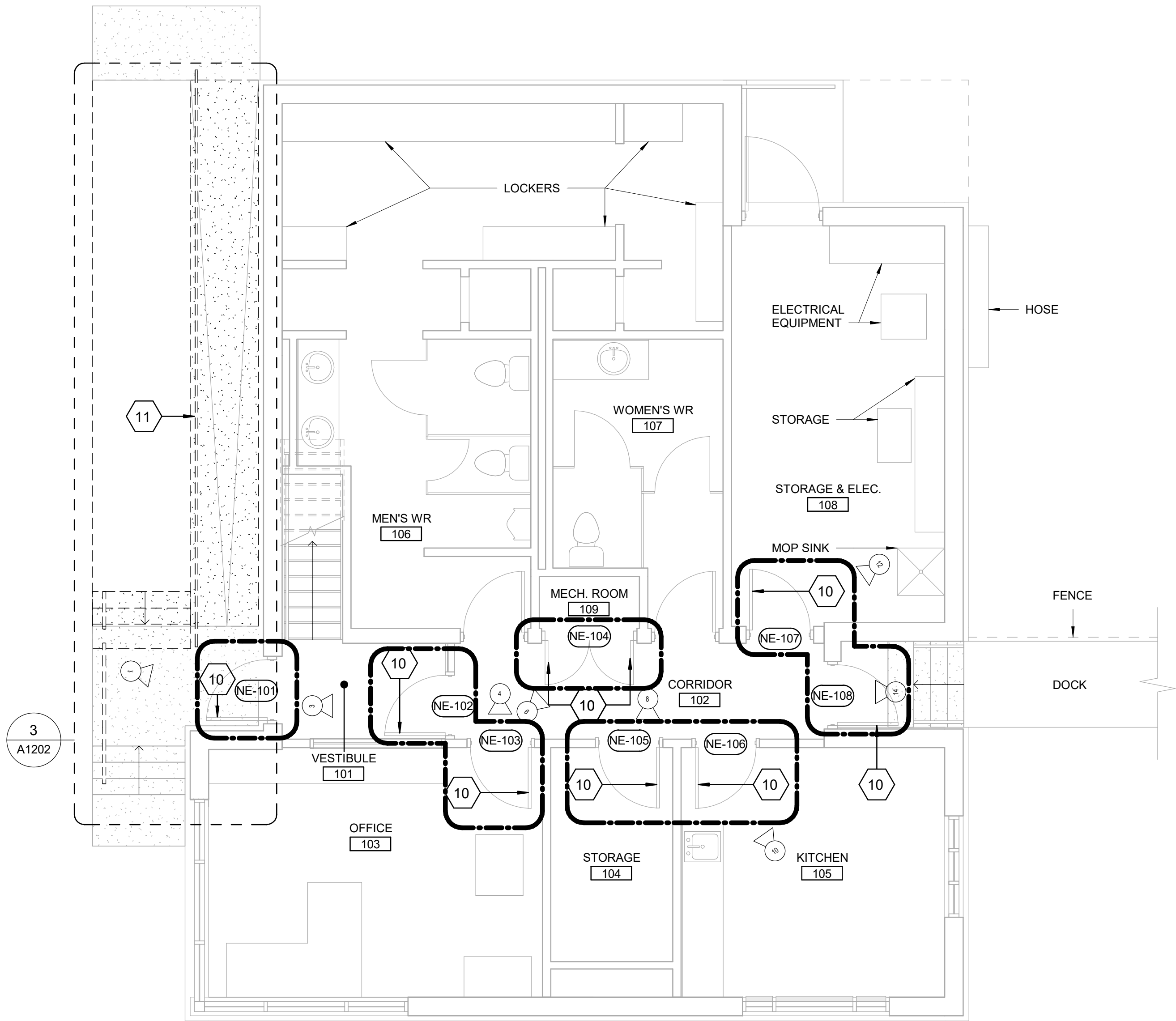
EXISTING DOOR TO REMAIN

DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES	
NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.



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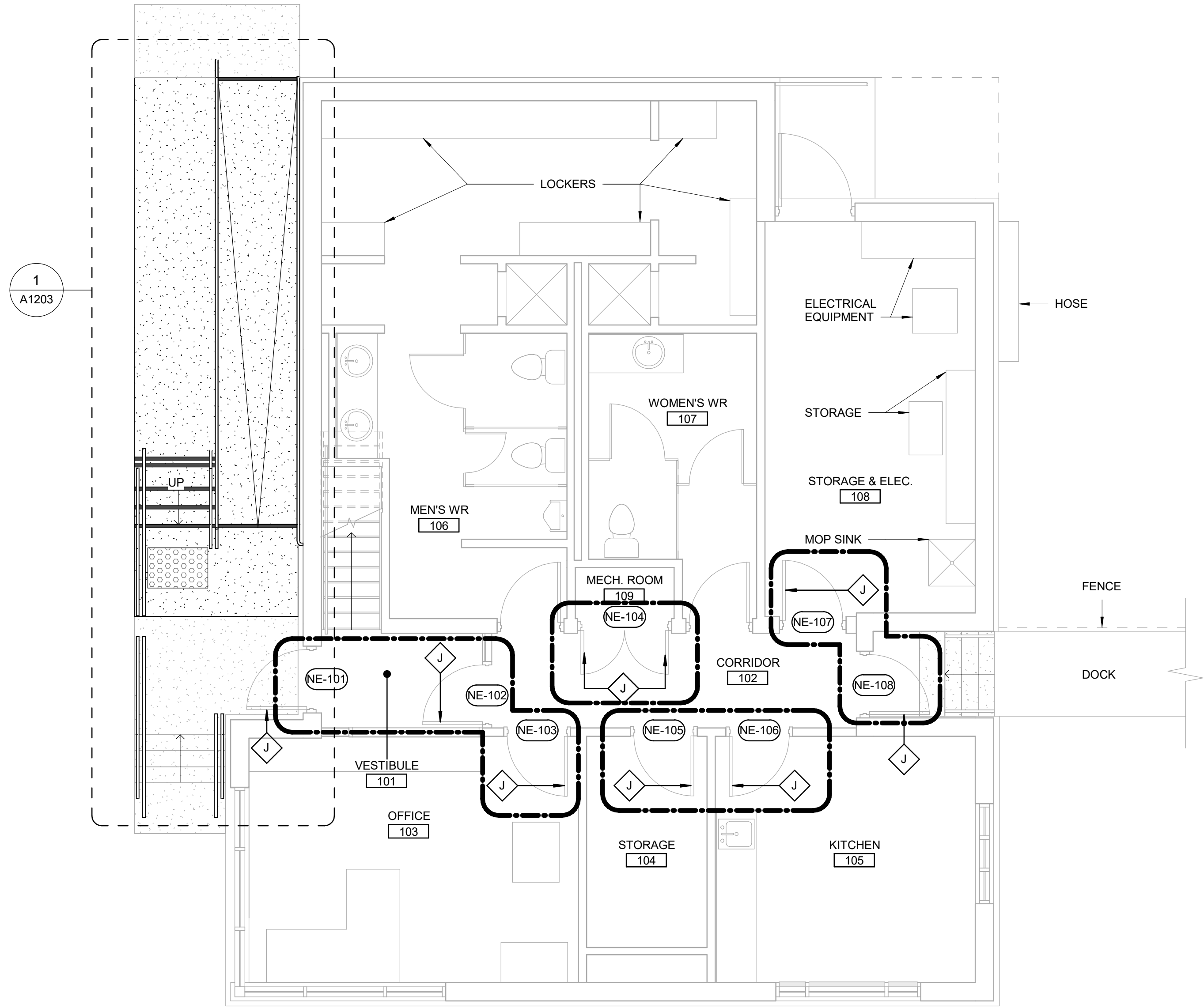
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PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE  
FIRST FLOOR  
DEMOLITION PLAN

SHEET NUMBER G28-284-A2111	ISSUE C
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### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

### CONSTRUCTION GENERAL NOTES

- 1 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

### CONSTRUCTION KEY NOTES

- NO DESCRIPTION
- J EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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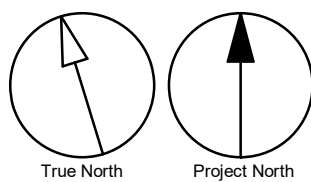
SHEET TITLE  
**FIRST FLOOR  
PROPOSED PLAN**

SHEET NUMBER

**G28-284-A2411**

ISSUE

**C**





DOOR SCHEDULE															
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/ BFAO	PANIC DEVICE		
FIRST FLOOR															
NE-101	VESTIBULE		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	X				EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING YELLOW DOOR PAINT (DOOR NE-104)
NE-102	CORRIDOR		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING YELLOW DOOR PAINT (DOOR NE-104)
NE-103	OFFICE		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING YELLOW DOOR PAINT (DOOR NE-104)
NE-104	MECH. ROOM		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-105	STORAGE		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-106	KITCHEN		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-107	STORAGE & ELEC.		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-108	CORRIDOR		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	X				EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.

DOOR SCHEDULE GENERAL NOTES

1

DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.

2

REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.

3

REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

NOTE:

- PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.

- PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

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