

# CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162/ IBI 122260

Fire Hall No. 226  
87 MAIN STREET

GROUP 28  
SEQ 314



IMAGE SOURCE: GOOGLE MAPS

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-9-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO  
ACCESSIBILITY UPGRADES  
PROGRAM GROUP 28

PROJECT NO: 9119-19-0162/ IBI 122260	
DATE: 2022-11-01	
SHEET NUMBER G28-314-G0001	ISSUE C

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G0002	DRAWING LIST & OBC MATRIX

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CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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CONSULTANTS

SEAL

PRIME CONSULTANT

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tel 416 679 1930 fax 416 675 4620  
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PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire Hall No. 226  
87 MAIN STREET

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
A. HOLDER

CHECKED BY:  
E. FENUTA

PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
K. TILAHUN

SHEET TITLE  
DRAWING LIST & OBC  
MATRIX

SHEET NUMBER	ISSUE
G28-314-G0002	C

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605  100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620			Name of Project FIRE HALL NO.226 ACCESSIBILITY UPGRADES Location 87 MAIN ST. TORONTO ON M4E 2V6	
ITEM		Ontario's 2012 Building Code Data Matrix Part 3 or 9		REMARKS
		OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		
1.	PROJECT DESCRIPTION	<div><div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration</div><div><input checked="" type="checkbox"/> PART 11 11.1 to 11.4</div></div>	<div><input checked="" type="checkbox"/> PART 3 1.1.2. [A]</div> <div><input checked="" type="checkbox"/> PART 9 1.1.2. [A] &amp; 9.10.1.3.</div>	
2.	MAJOR OCCUPANCY(S) GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCIES SUBSIDIARY OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES GROUP C - RESIDENTIAL OCCUPANCIES	3.1.2.1. (1)	9.10.2.	EXISTING NO CHANGE
3.	BUILDING AREA (m²) EXISTING - 363.9 NEW - 0 TOTAL - 363.9	1.4.1.2. [A]	1.4.1.2. [A]	
4.	GROSS AREA (m²) EXISTING - 1124.0 NEW - 0 TOTAL - 1124.0	1.4.1.2. [A]	1.4.1.2. [A]	EXISTING NO CHANGE
5.	NUMBER OF STOREYS ABOVE GRADE - 3 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.	
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1	3.2.2.10. & 3.2.5.	9.10.20.	
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE	3.2.2.67.	9.10.2.	
8.	SPRINKLER SYSTEM PROPOSED <div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED</div>	3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2   INDEX	EXISTING NO CHANGE
9.	STANDPIPE REQUIRED <div><input type="checkbox"/> YES <input type="checkbox"/> NO</div> <div>STANDPIPE PROVIDED <input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.9.	N/A	EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED <div><input type="checkbox"/> YES <input type="checkbox"/> NO</div> <div>FIRE ALARM PROVIDED <input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.4.	9.10.18.	EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE <div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.5.7.	N/A	EXISTING NO CHANGE
12.	HIGH BUILDING <div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.6.	N/A	
13.	CONSTRUCTION RESTRICTIONS <div><input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH</div>	3.2.2.67.	9.10.6.	EXISTING NO CHANGE
14.	MEZZANINE (S) AREA m²	N/A		
15.	OCCUPANT LOAD BASED ON <div><input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING</div> <div>1ST FLOOR: OCCUPANCY _____ LOAD _____ PERSONS 2ND FLOOR: OCCUPANCY _____ LOAD _____ PERSONS MEZZANINE FLOOR: OCCUPANCY _____ LOAD _____ PERSONS</div>	3.2.1.1. (3) - (8) 3.1.17.	9.10.4.1. 4.9.13.	EXISTING NO CHANGE
16.	BARRIER FREE DESIGN <div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)</div>	3.8.	9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES <div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>	3.3.1.2 & 3.3.1.19	9.10.1.3.(4)	
18a.	REQUIRED FIRE	HORIZONTAL ASSEMBLIES FRR (HOURS)	LISTED DESIGN NO. OR DESCRIPTION (SB-2)	
	RESISTANCE RATING (FRR)	FLOORS NO CHANGE		
		ROOF NO CHANGE		
		MEZZANINE N/A		

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS				
18b.	REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS	LISTED DESIGN NO. OR DESCRIPTION (SB-2)								SB-2 TABLE 2.1.1.					
		FLOORS NO CHANGE														
		ROOF NO CHANGE														
		MEZZANINE									SB-2 TABLE 2.1.1.					
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										3.2.3.	9.10.14.	EXISTING NO CHANGE			
	WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLADDING	NON-COMB. CONST.					
	NORTH					-	0	-	-	-	-					
	SOUTH					-	0	-	-	-	-					
	EAST					-	0	-	-	-	-					
	WEST					-	0	-	-	-	-					
20.	PLUMBING FIXTURE REQUIREMENTS												EXISTING NO CHANGE			
	MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE										EXISTING NO CHANGE					
											<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9					
	MAJOR OCCUPANCY										OCCUPANT LOAD	OBC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED		
											X MALE	3.7.4.9.	X	X	3.7.4.9.	
											X FEMALE	3.7.4.9.	X	X	3.7.4.9.	
21.	EXITS/ ACCESS TO EXIT-												EXISTING NO CHANGE			
22.	OTHER (DESCRIBE) -															
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building										OBC REFERENCE	REMARKS				
11.1	EXISTING BUILDING CLASSIFICATION:		DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)								11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N					
11.2	ALTERATION TO EXISTING BUILDING IS:		BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>								11.3.3.1. 11.3.3.2.					
11.3	REDUCTION IN PERFORMANCE LEVEL:		STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES								11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.					
11.4	COMPENSATING CONSTRUCTION:		STRUCTURAL:  BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)								11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6					
11.5	COMPLIANCE ALTERNATIVES PROPOSED:		<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)								11.5.1					





IMAGE SOURCE: GOOGLE MAPS



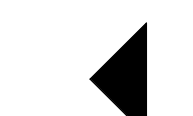
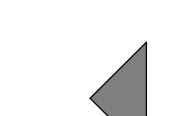
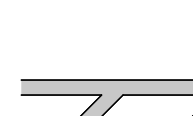
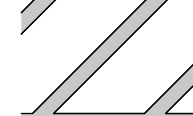
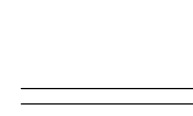
1 KEY PLAN  
A1201 Scale: NTS



IMAGE SOURCE: TORONTO MAPS

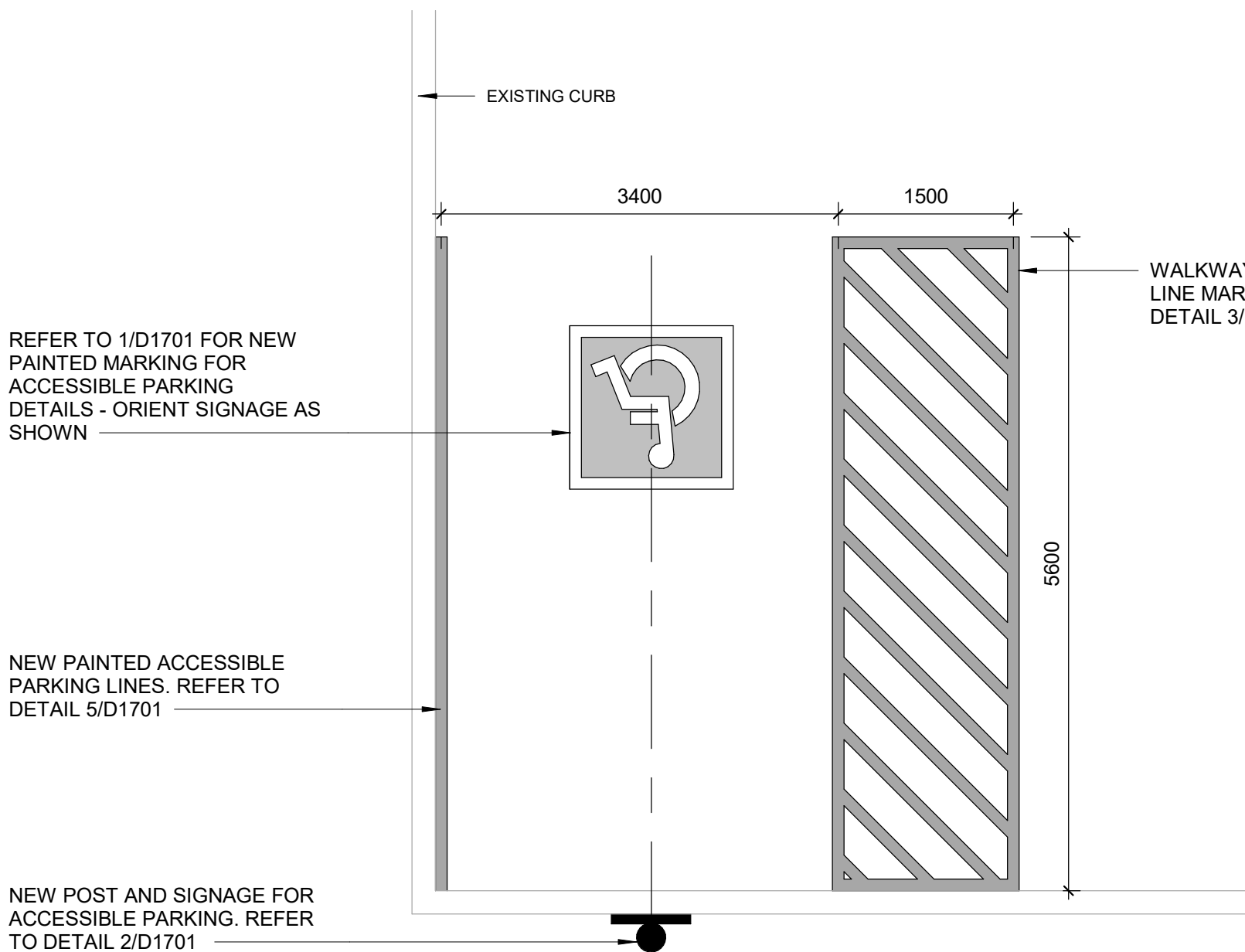
2 SITE PLAN  
A1201 Scale: 1 : 200

SITE LEGEND

-  NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701
-  ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702
-  EXISTING MAIN ENTRANCE
-  EXISTING EXIT TO REMAIN
-  NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701
-  NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701
-  DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- 2 DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.



3 PARKING SPACE ENLARGED PLAN  
A1201 Scale: 1 : 50

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PROJECT TITLE  
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ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire Hall No. 226  
87 MAIN STREET**

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUITA**

SHEET TITLE  
**SITE PLAN**

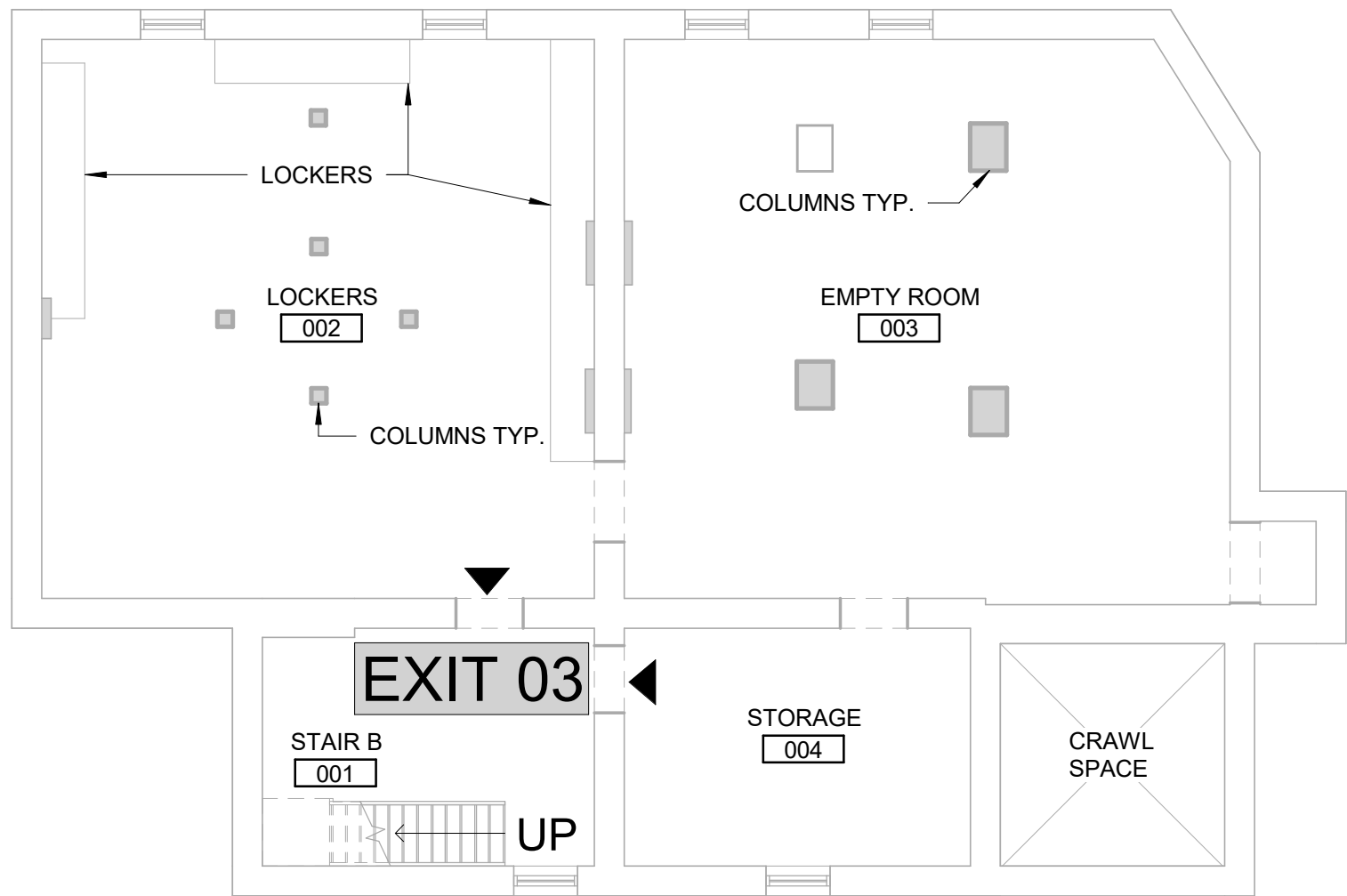
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**G28-314-A1201**

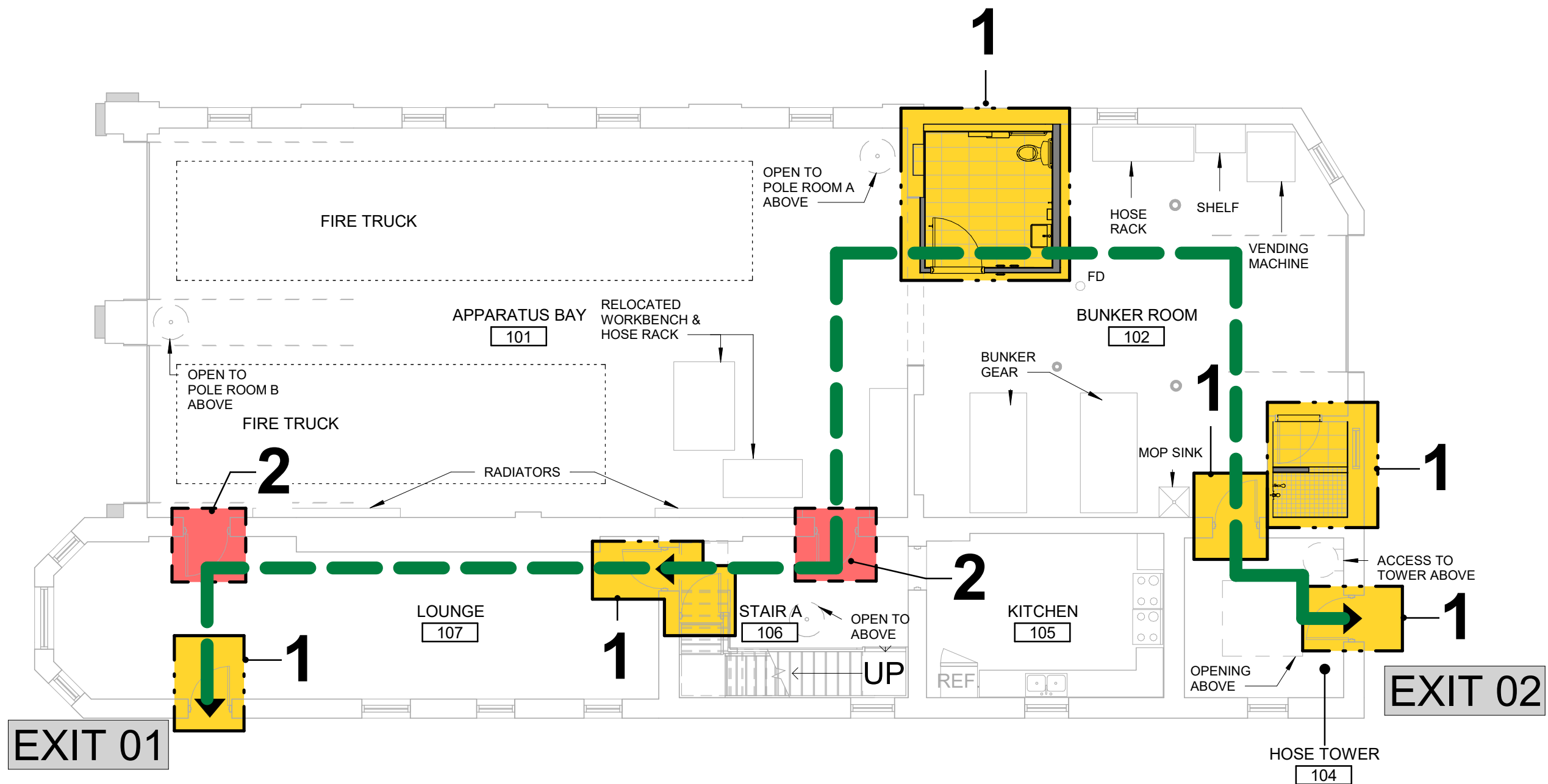
ISSUE

**C**





1 BASEMENT STAGING PLAN  
A2001 Scale: 1 : 100



2 FIRST FLOOR STAGING  
A2001 Scale: 1 : 100

CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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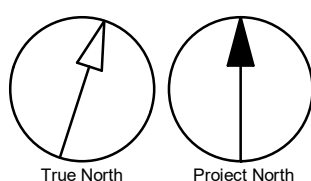
SHEET TITLE  
BASEMENT & FIRST  
FLOOR STAGING PLANS

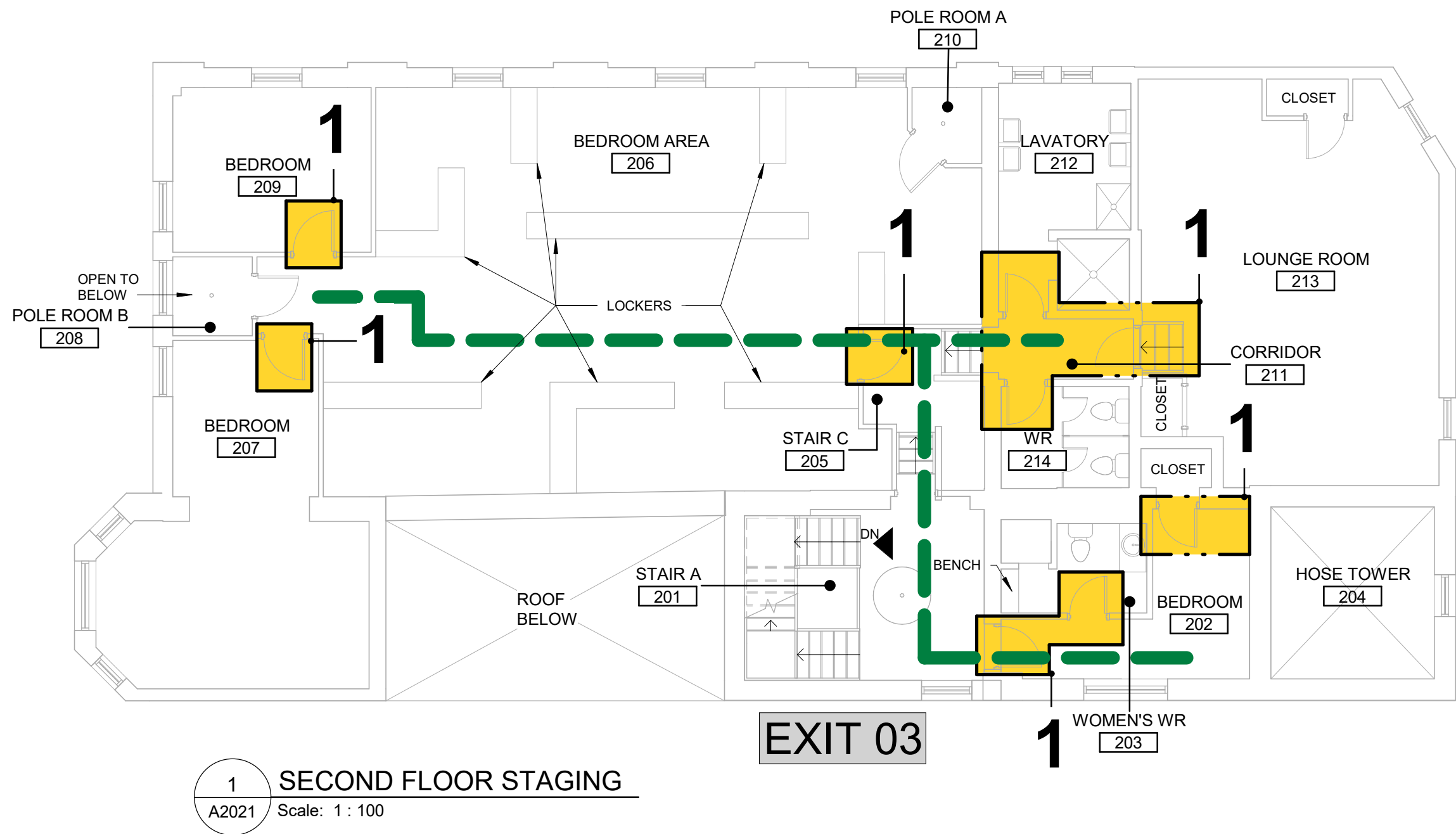
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G28-314-A2001

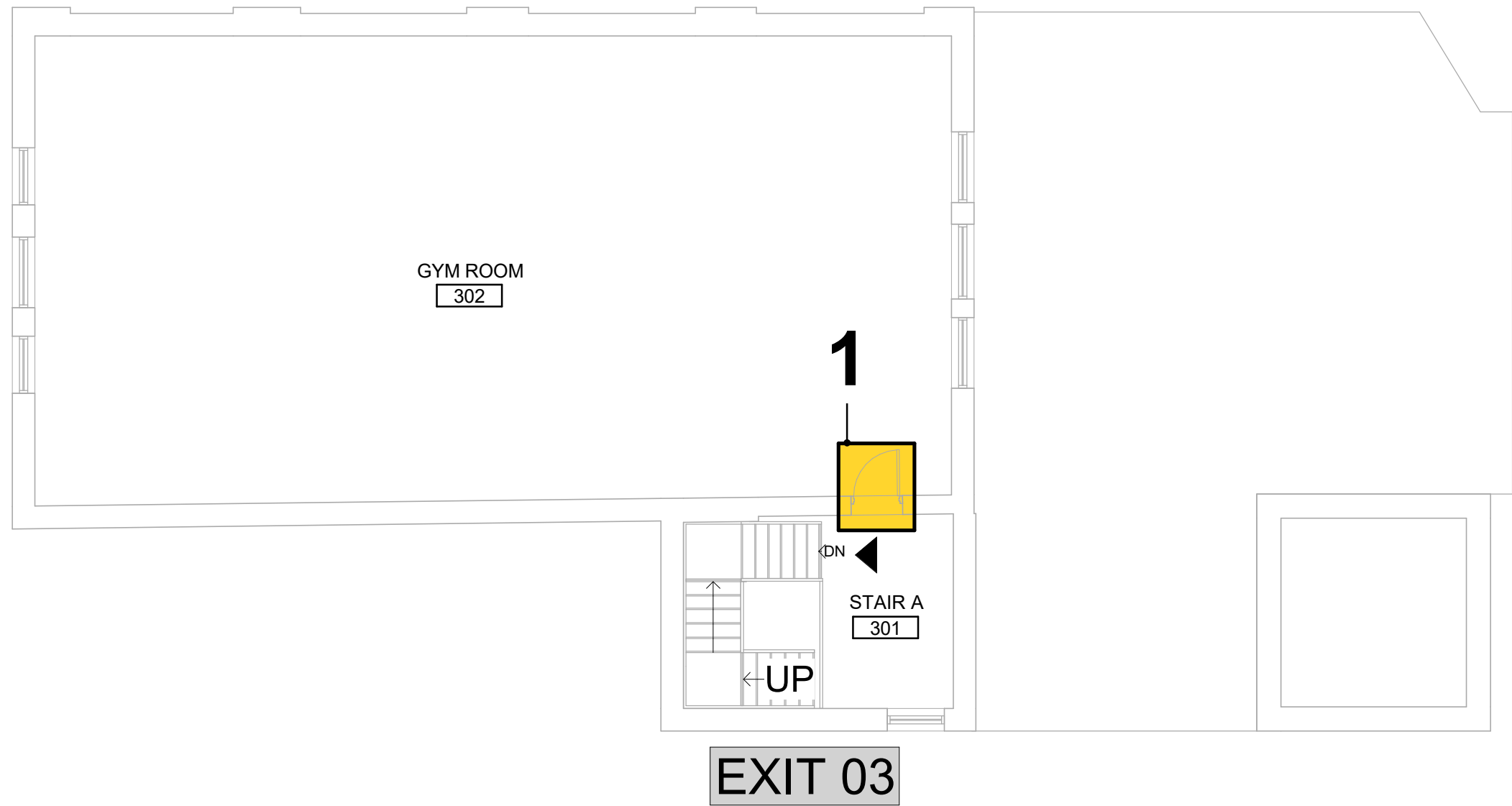
ISSUE

C





1 SECOND FLOOR STAGING  
A2021 Scale: 1 : 100



2 THIRD FLOOR STAGING PLAN  
A2021 Scale: 1 : 100

CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

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- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
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B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 19/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire Hall No. 226  
87 MAIN STREET

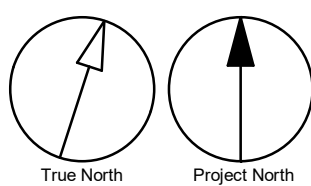
PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUITA

SHEET TITLE  
SECOND & THIRD FLOOR  
STAGING PLAN

SHEET NUMBER  
G28-314-A2021

ISSUE  
C







PH 18: WASHROOM PH 19: WASHROOM PH 20: WASHROOM PH 21: WASHROOM PH 22: WASHROOM PH 23: WASHROOM

DEMOLITION KEY LEGEND

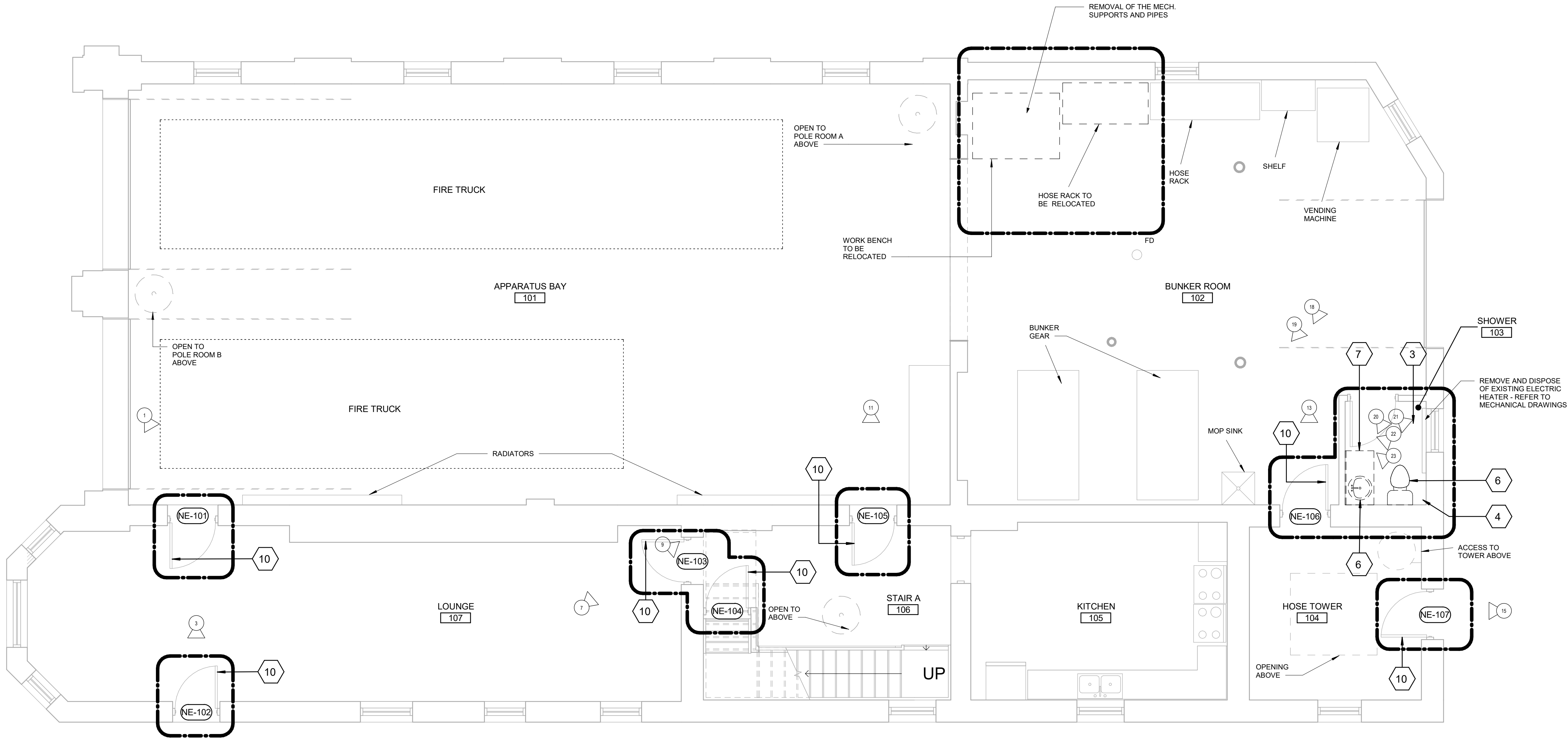
- EXISTING TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

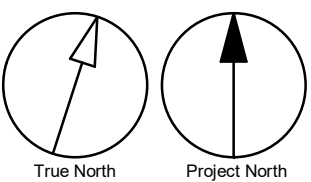
DEMOLITION KEY NOTES

NO	DESCRIPTION
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
4	REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE.
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A6001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.



PH 01: NE-101 PH 02: NE-101 PH 03: NE-102 PH 04: NE-102 PH 05: NE-102 REMOVE PUNCH CODE PAD PH 06: NE-102 REMOVE PUNCH CODE PAD PH 07: NE-103 PH 08: NE-103 PH 09: NE-104 PH 10: NE-104 PH 11: NE-105 PH 12: NE-105 PH 13: NE-106 PH 14: NE-106 PH 15: NE-107 PH 16: NE-107 PH 17: NE-107

Scale 1:50 0 1 2.5 5 m



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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-9-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

KEYPLAN

CONSULTANTS

SEAL

PRIME CONSULTANT

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Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire Hall No. 226  
87 MAIN STREET**

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE

**FIRST FLOOR  
DEMOLITION PLAN**

SHEET NUMBER

**G28-314-A2101**

ISSUE

**C**





DEMOLITION KEY LEGEND

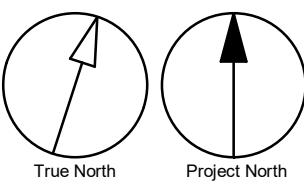
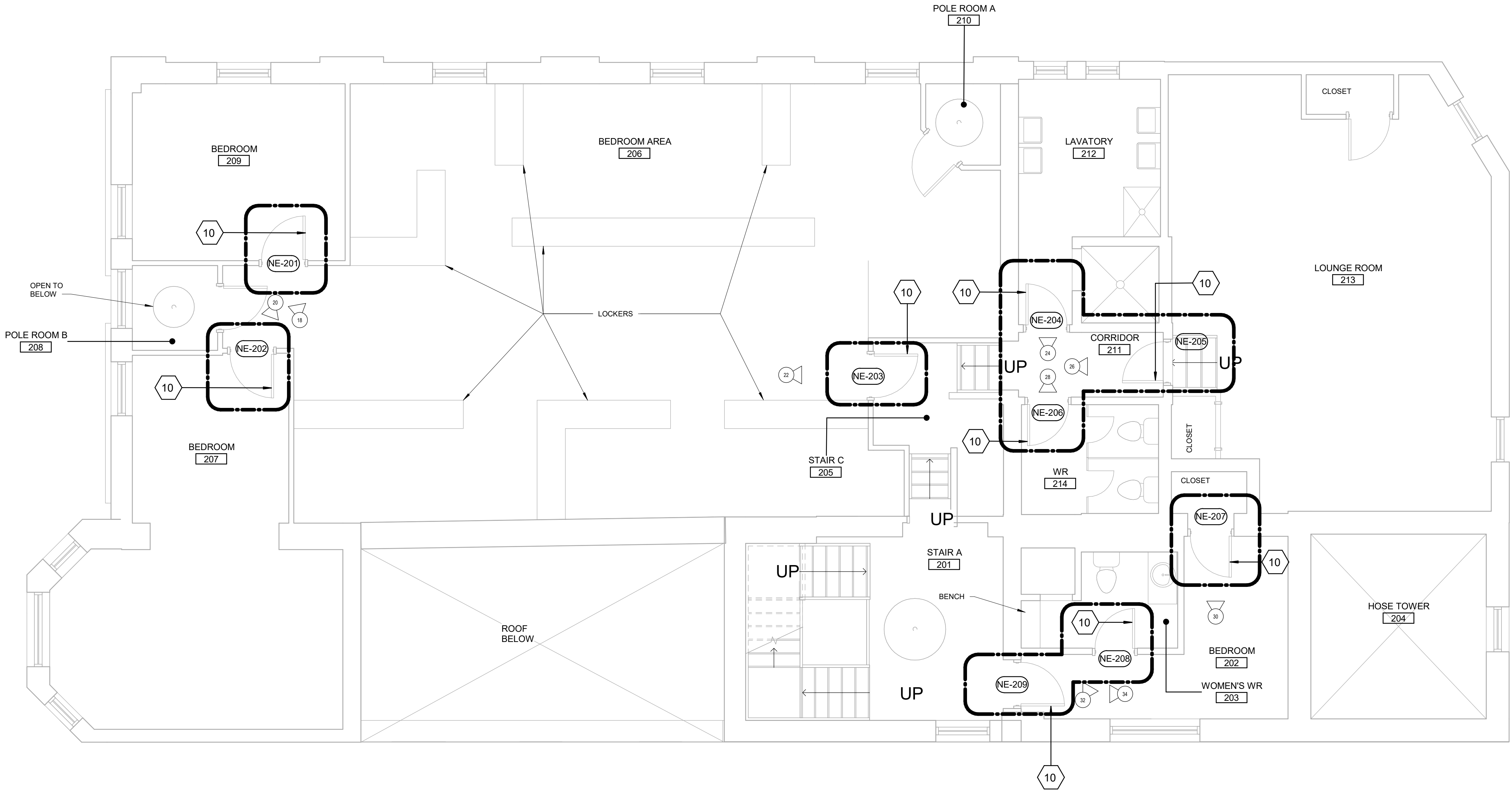
- EXISTING TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

- | NO | DESCRIPTION  |
|----|--|
| 10 | REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS. |



2023-01-30 2:19:42 PM

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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire Hall No. 226  
87 MAIN STREET**

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**SECOND FLOOR  
DEMOLITION PLAN**

SHEET NUMBER

**G28-314-A2121**

ISSUE

**C**

BM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-314-87MAIN-A-R20.v4 1/11



PH 36: NE-301

PH 37: NE-301



DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- ===== EXISTING EXTERIOR WALL TO REMAIN
- ===== EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO.	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

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C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire Hall No. 226  
87 MAIN STREET

PROJECT NO:

9119-19-0162/ IBI 122260

DRAWN BY:

A. HOLDER

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

THIRD FLOOR  
DEMOLITION PLAN

SHEET NUMBER

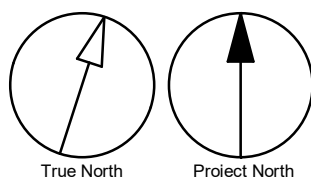
G28-314-A2131

ISSUE

C

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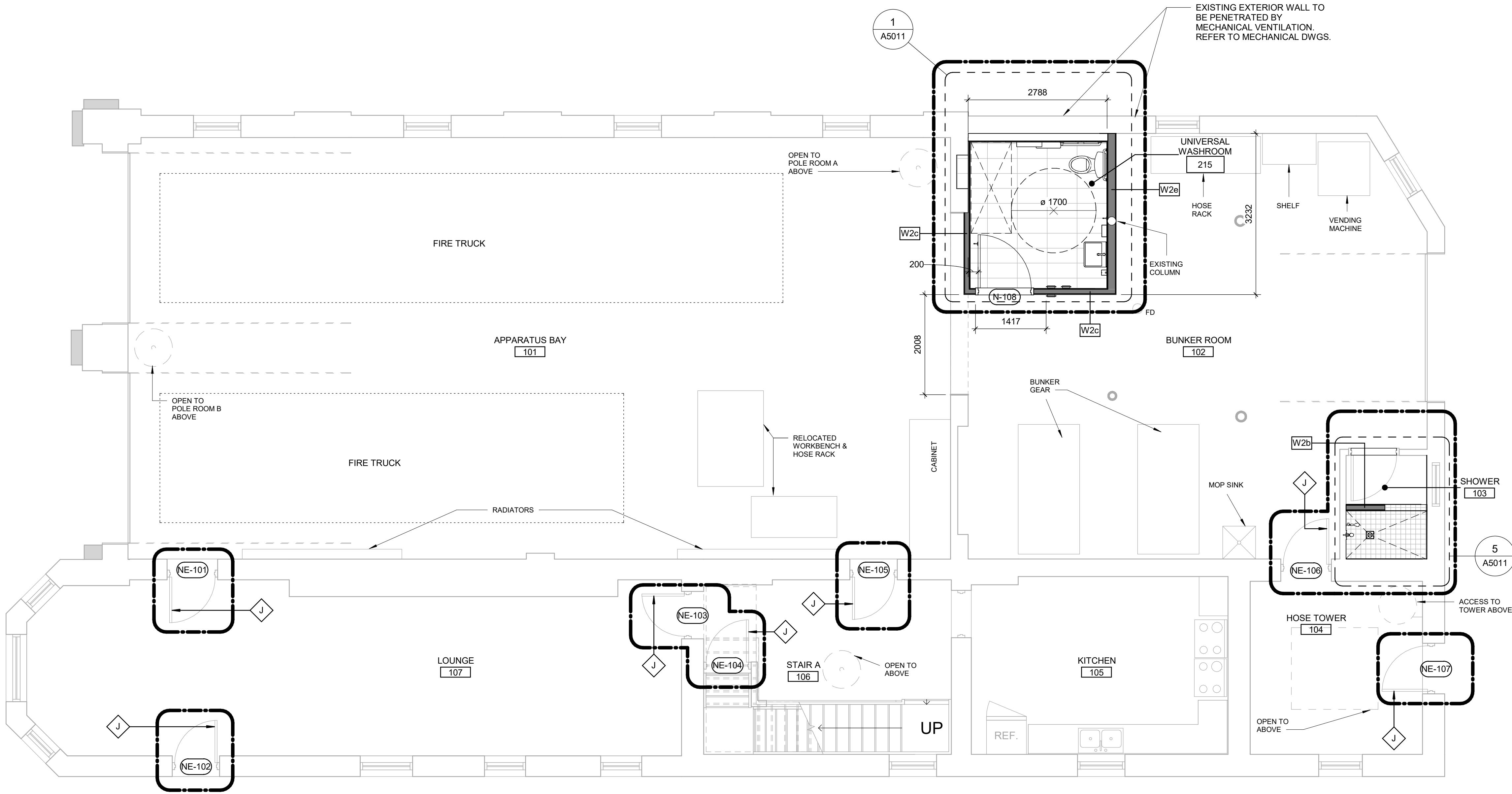


BM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-314-87MAIN-A-R201.v1

10mm

SCALE CHECK  
1 m





#### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

#### CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

#### CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION  |
|----|--|
| J  | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

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C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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**IBI GROUP**  
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ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire Hall No. 226  
87 MAIN STREET**

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

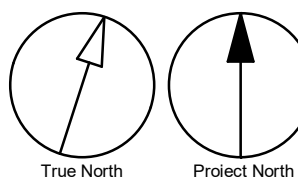
PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

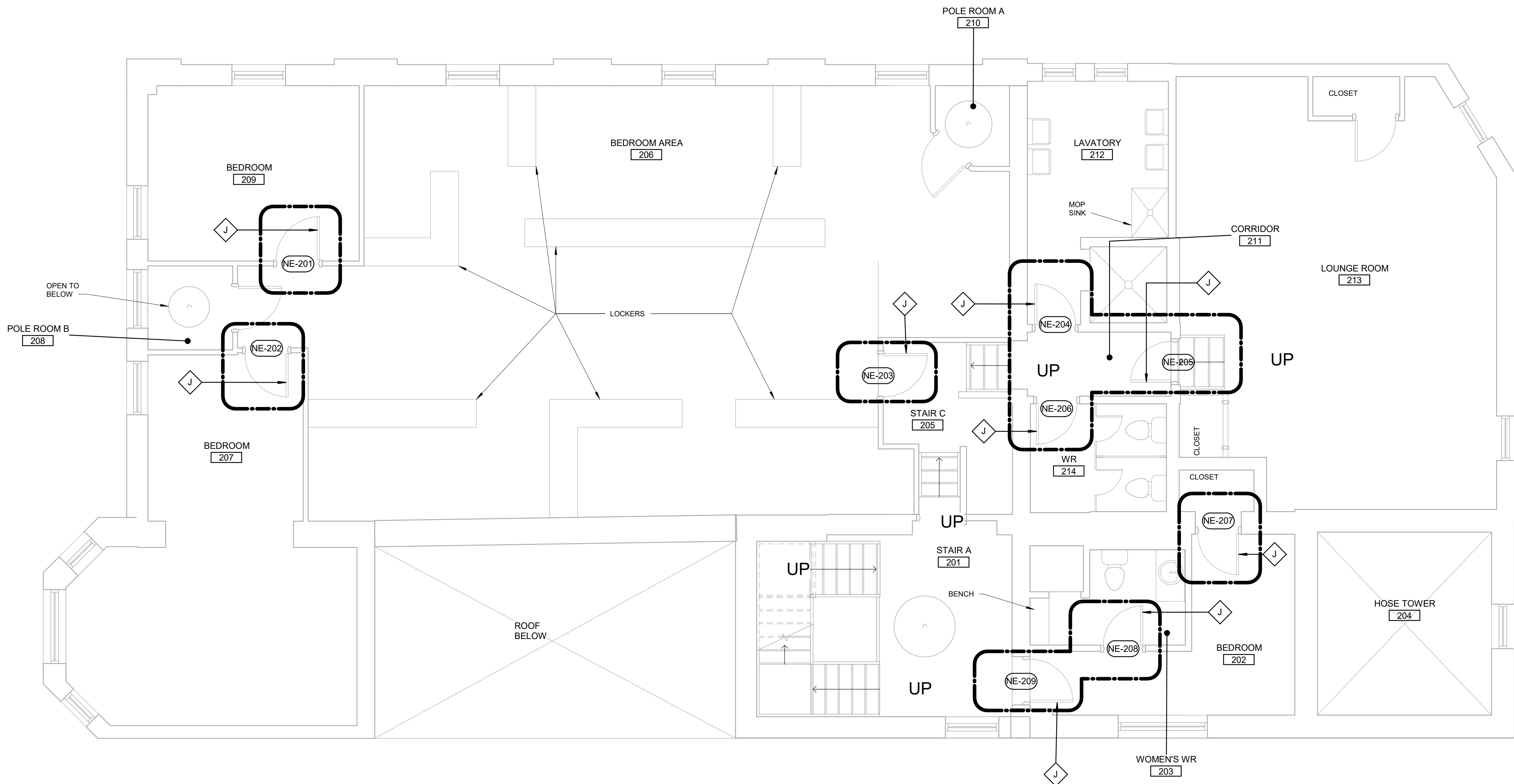
SHEET TITLE  
**FIRST FLOOR  
PROPOSED PLAN**

SHEET NUMBER  
**G28-314-A2401**

ISSUE  
**C**







CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL  
REFER TO WALL SCHEDULE
- NEW PARTITION  
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- ###

NEW DOOR AND/ OR  
NEW HARDWARE
- DASHED AREA INDICATES  
AREA OF WORK

CONSTRUCTION GENERAL NOTES

- 1NEW DOOR CARD READER AND BARRIER FREE PUSH  
BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR  
LOCATION AND HEIGHT INSTALLATION REFER TO  
ARCHITECTURAL DETAIL BOOKLET.
- 2REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL  
REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND  
FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION  |
|----|--|
| J  | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE<br>CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR<br>HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

ISSUES		
No.	DESCRIPTION	DATE
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C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire Hall No. 226  
87 MAIN STREET

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
A. HOLDER

CHECKED BY:  
K. TILAHUN

PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
E. FENUTA

SHEET TITLE

SECOND FLOOR  
PROPOSED PLAN

SHEET NUMBER

G28-314-A2411

ISSUE

C





CONSTRUCTION KEY LEGEND

EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

NEW EXTERIOR WALL  
REFER TO WALL SCHEDULE

NEW PARTITION  
REFER TO PARTITION SCHEDULE

EXISTING DOOR TO REMAIN

###

NEW DOOR AND/ OR  
NEW HARDWARE

DASHED AREA INDICATES  
AREA OF WORK

CONSTRUCTION GENERAL NOTES

1

NEW DOOR CARD READER AND BARRIER FREE PUSH  
BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR  
LOCATION AND HEIGHT INSTALLATION REFER TO  
ARCHITECTURAL DETAIL BOOKLET.

2

REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL  
REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND  
FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO


DESCRIPTION

J

EXISTING DOOR TO REMAIN, DOOR HARDWARE TO BE  
CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR  
HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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PROJECT TITLE

CITY OF TORONTO

ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire Hall No. 226

87 MAIN STREET

PROJECT NO:

9119-19-0162/ IBI 122260

DRAWN BY:

A. HOLDER

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

THIRD FLOOR

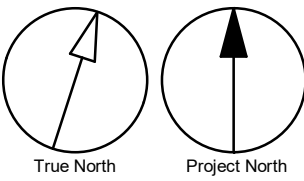
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SHEET NUMBER

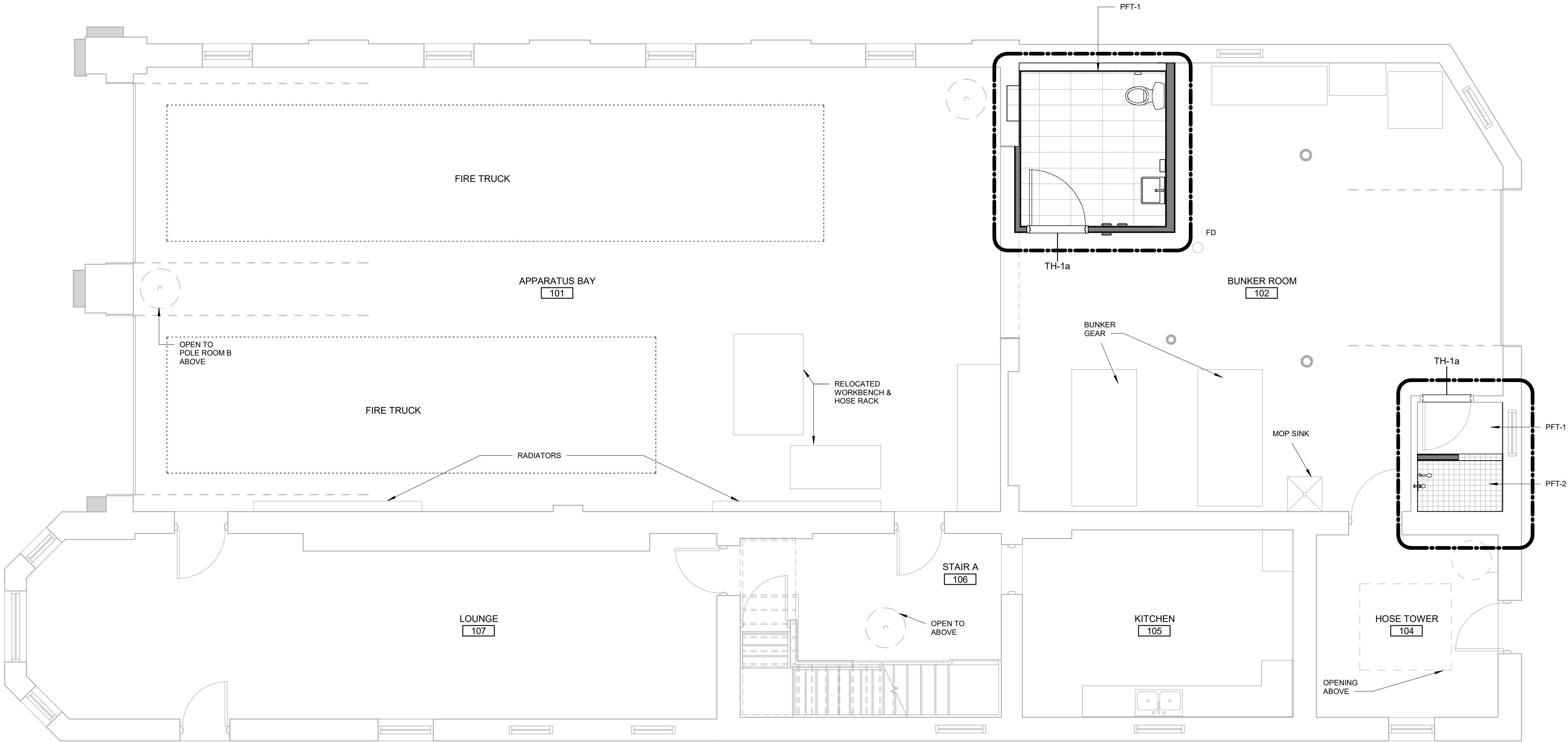
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ISSUE

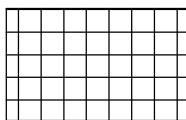
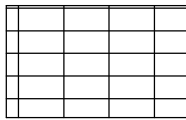

C







FLOOR FINISHES LEGEND

-  PORCELAIN SHOWER TILE
-  PORCELAIN TILE
-  DASHED AREA INDICATES AREA OF WORK

FLOOR FINISH GENERAL NOTES

- 1 FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- 2 PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
- 3 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- 4 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- 5 PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

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CONSULTANTS

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire Hall No. 226  
87 MAIN STREET**

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

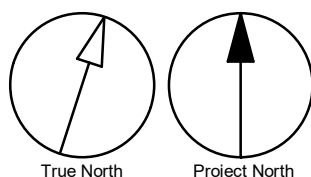
SHEET TITLE  
**FIRST FLOOR FLOOR  
FINISH PLAN**

SHEET NUMBER

**G28-314-A2611**

ISSUE

**C**

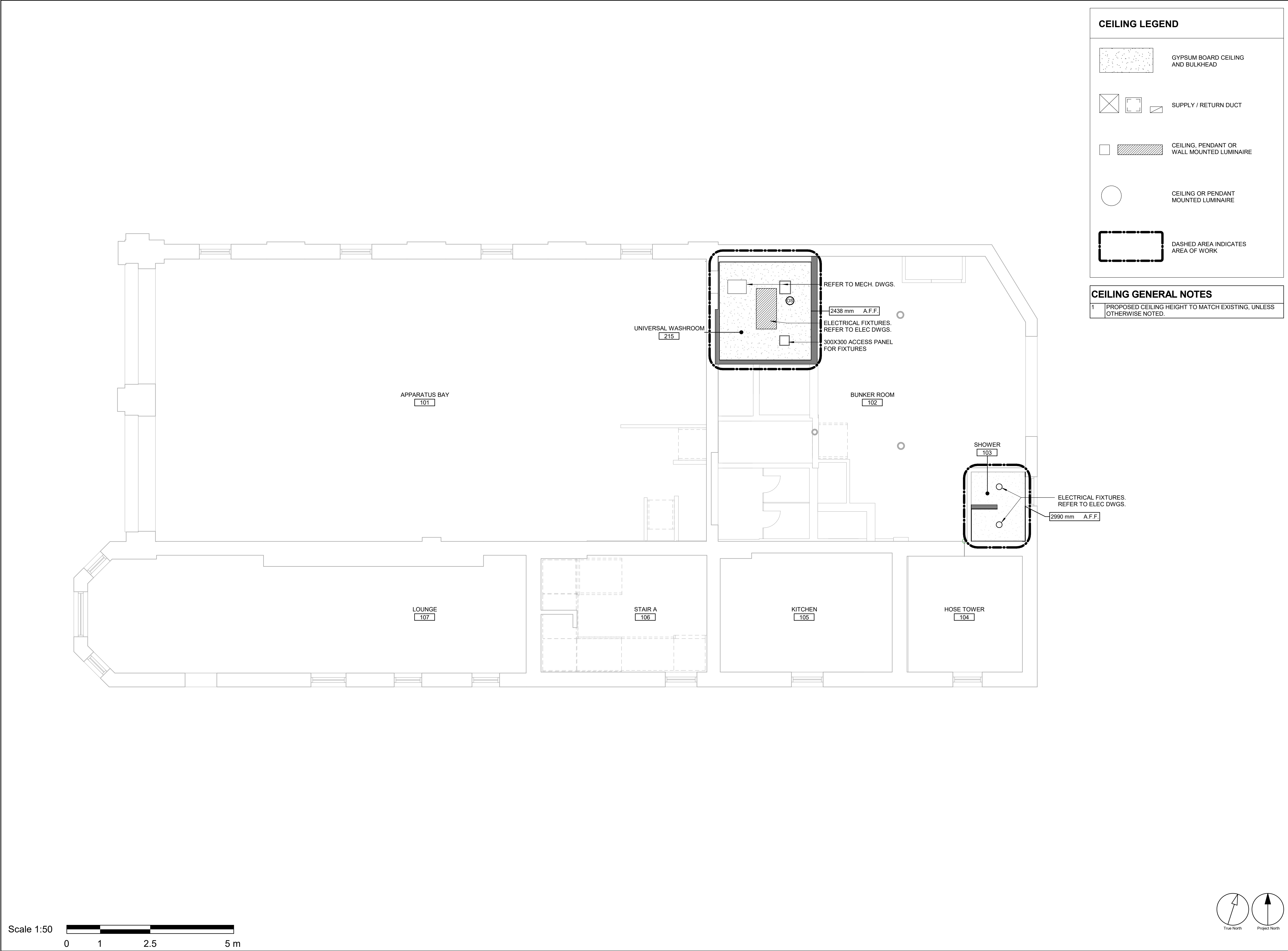


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BIH 380/112260 - CoT TAU Upgrades R2020122260-TAU-28-314-87MAIN-AR20.v4 1/11





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CONSULTANTS

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tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

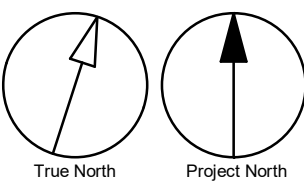
Fire Hall No. 226  
87 MAIN STREET

PROJECT NO: 9119-19-0162/ IBI 122260	
DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE

FIRST FLOOR  
REFLECTED CEILING  
PLAN

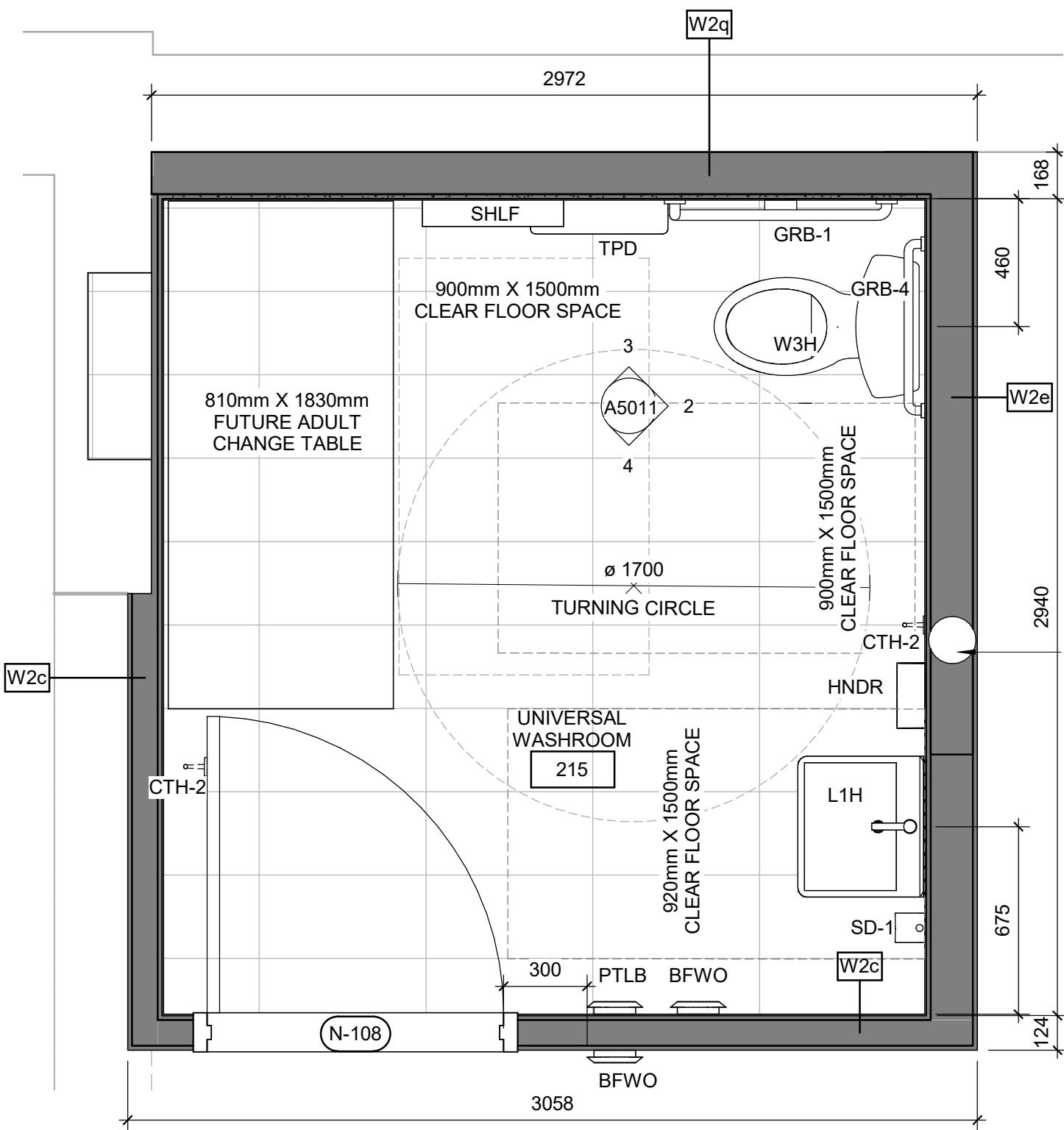
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G28-314-A2811	B



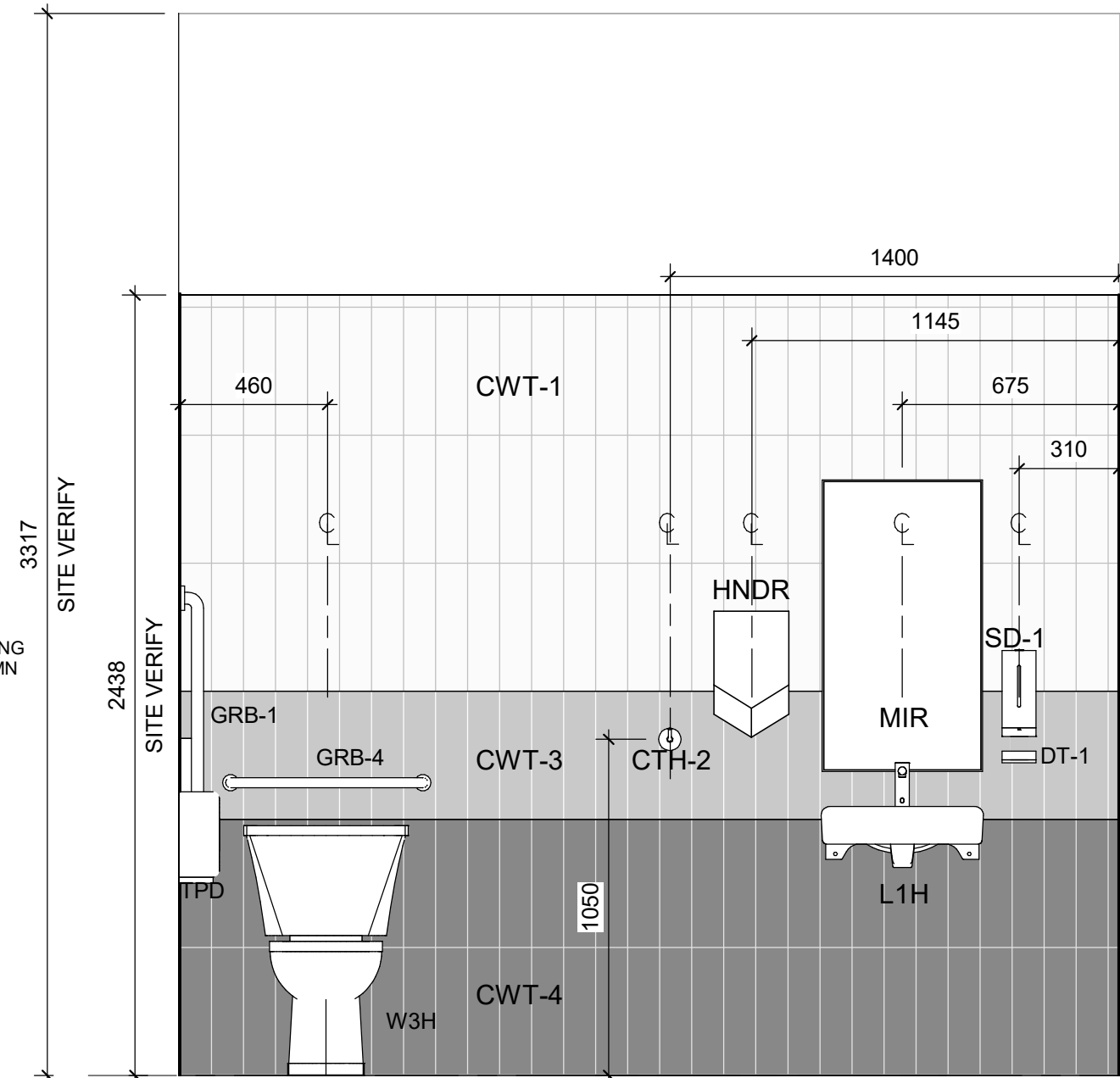
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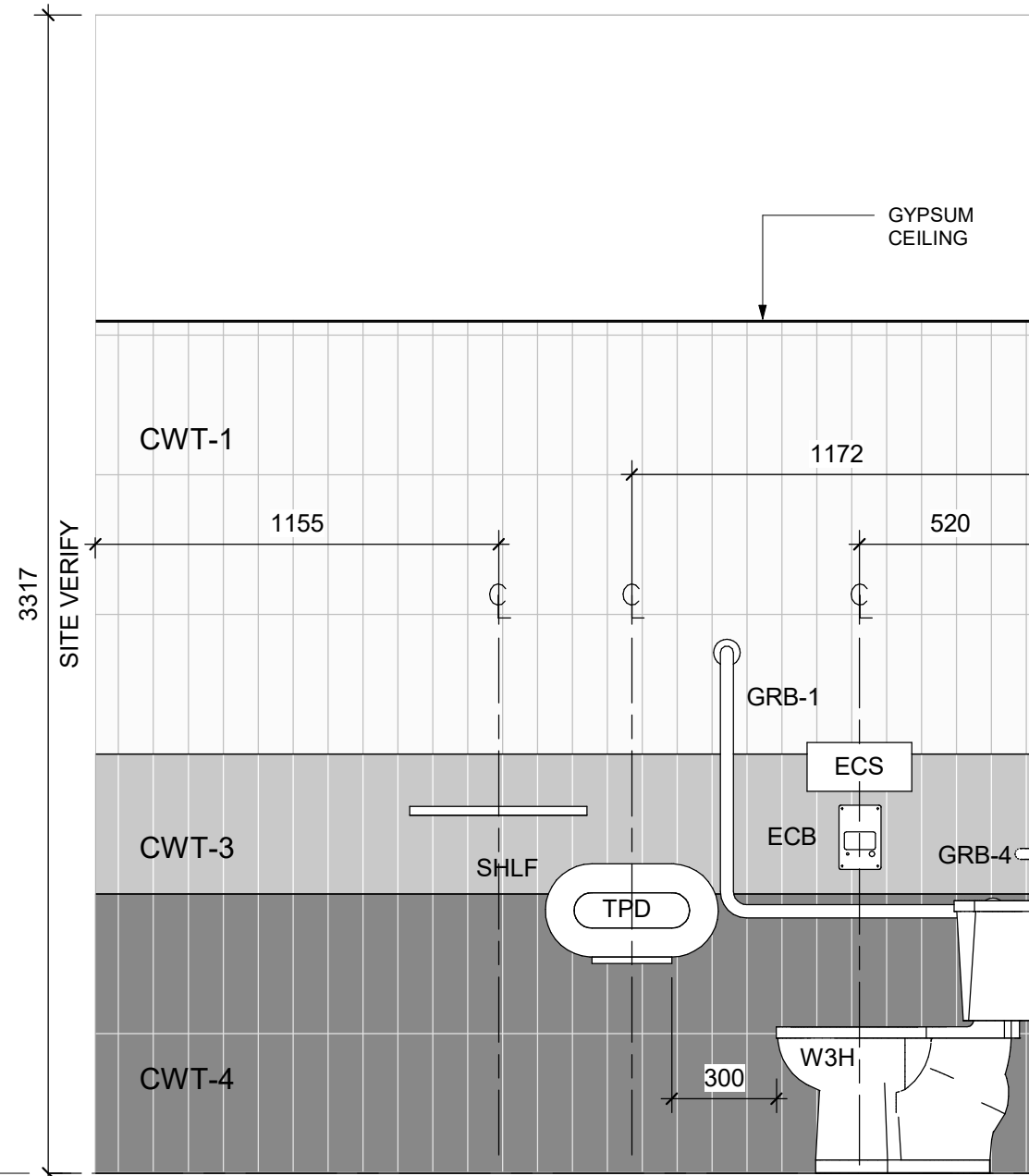




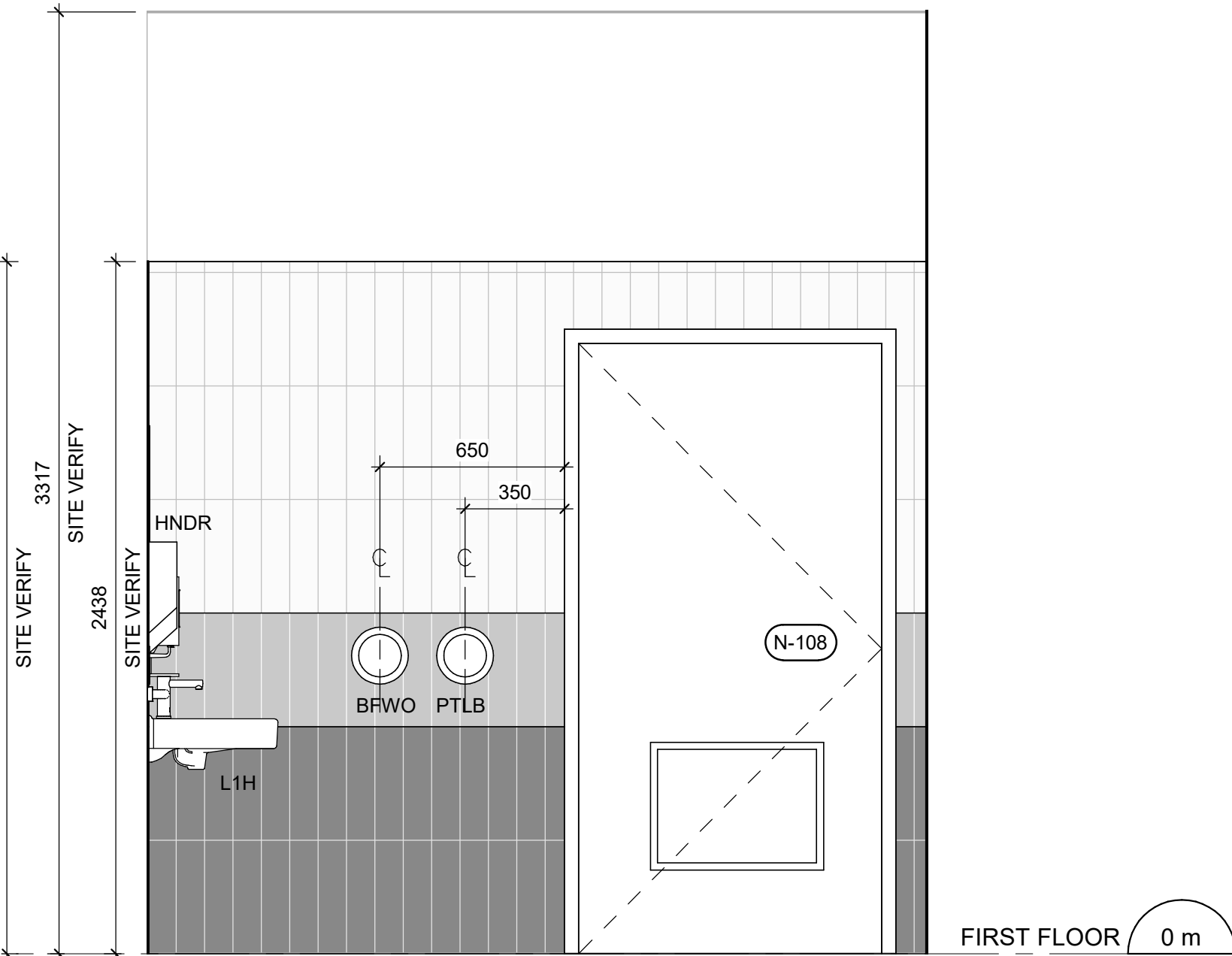
1 UNIVERSAL WASHROOM ENLARGED PLAN  
A5011 Scale: 1 : 20



2 UNIVERSAL WASHROOM ELEVATION - 2  
A5011 Scale: 1 : 20



3 UNIVERSAL WASHROOM ELEVATION - 3  
A5011 Scale: 1 : 20



4 UNIVERSAL WASHROOM ELEVATION - 4  
A5011 Scale: 1 : 20

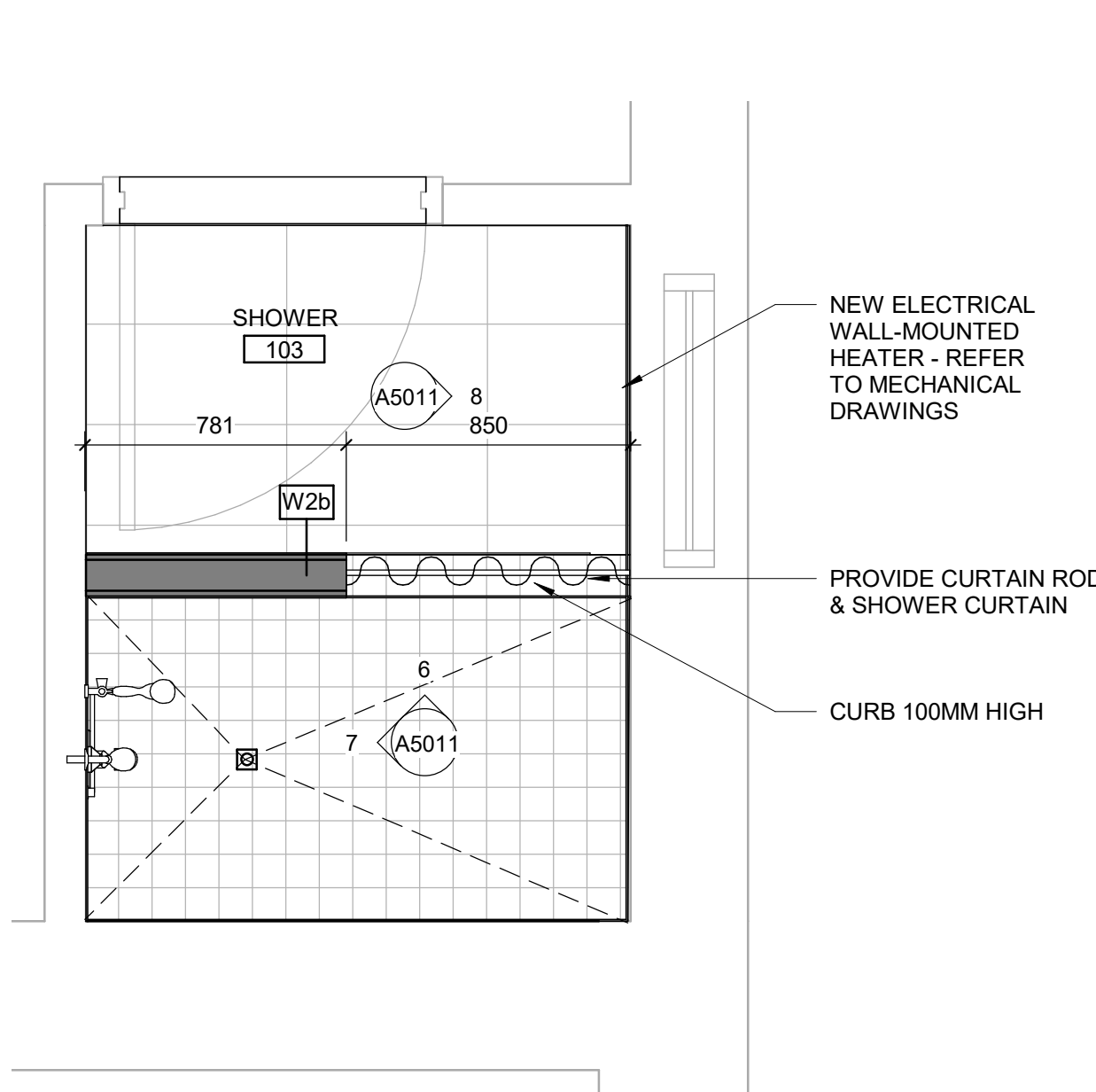
**WASHROOM GENERAL NOTES**

1 ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.

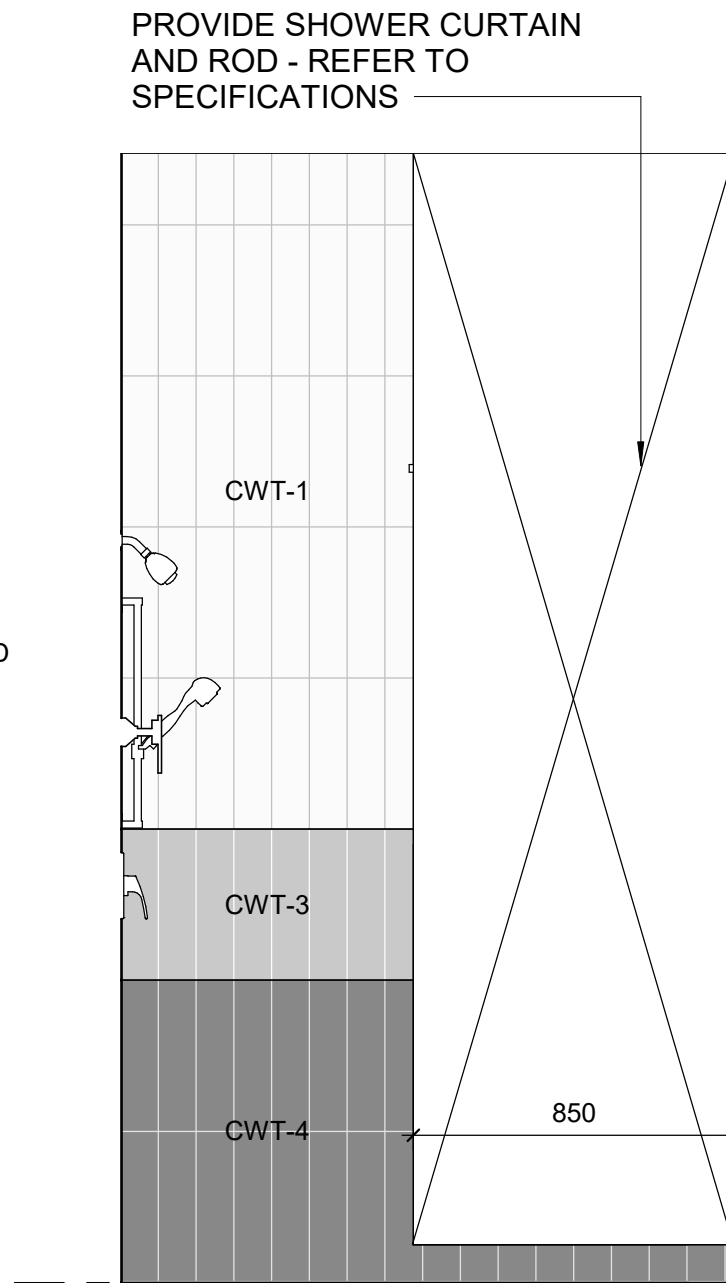
**UNIVERSAL WASHROOM GENERAL NOTES**

1 MOISTURE RESISTANT GYPSUM BOARD TO BE PROVIDED IN ALL WASHROOMS AND LOCKER ROOMS

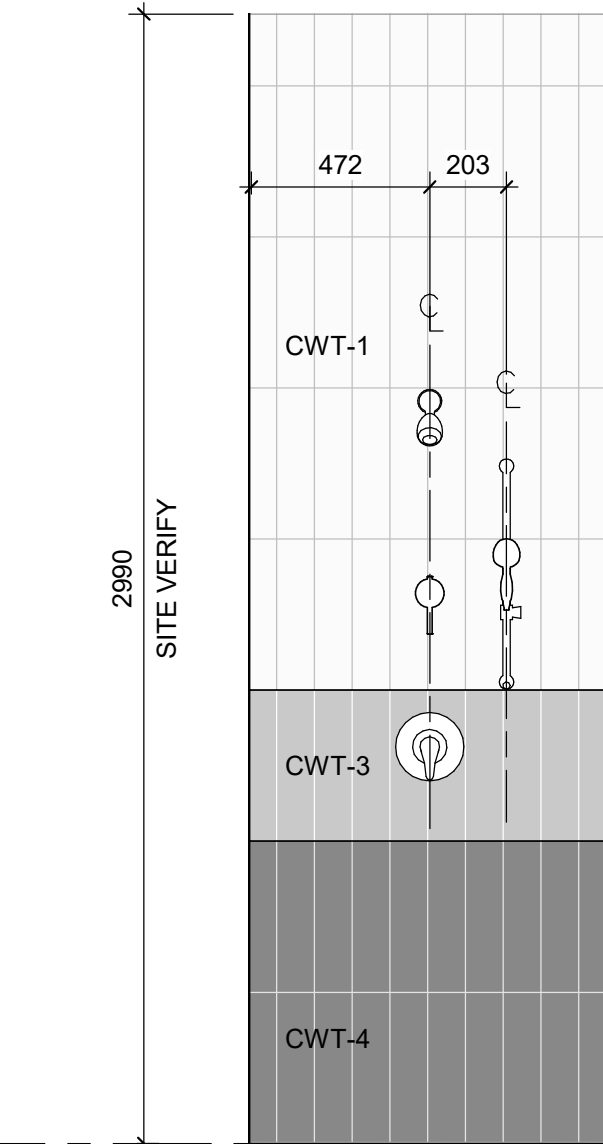
2 PROVIDE WALL REINFORCEMENT TO SUPPORT FUTURE ADULT CHANGE TABLE MINIMUM LOAD OF 1.33 KN AND POWER OUTLET



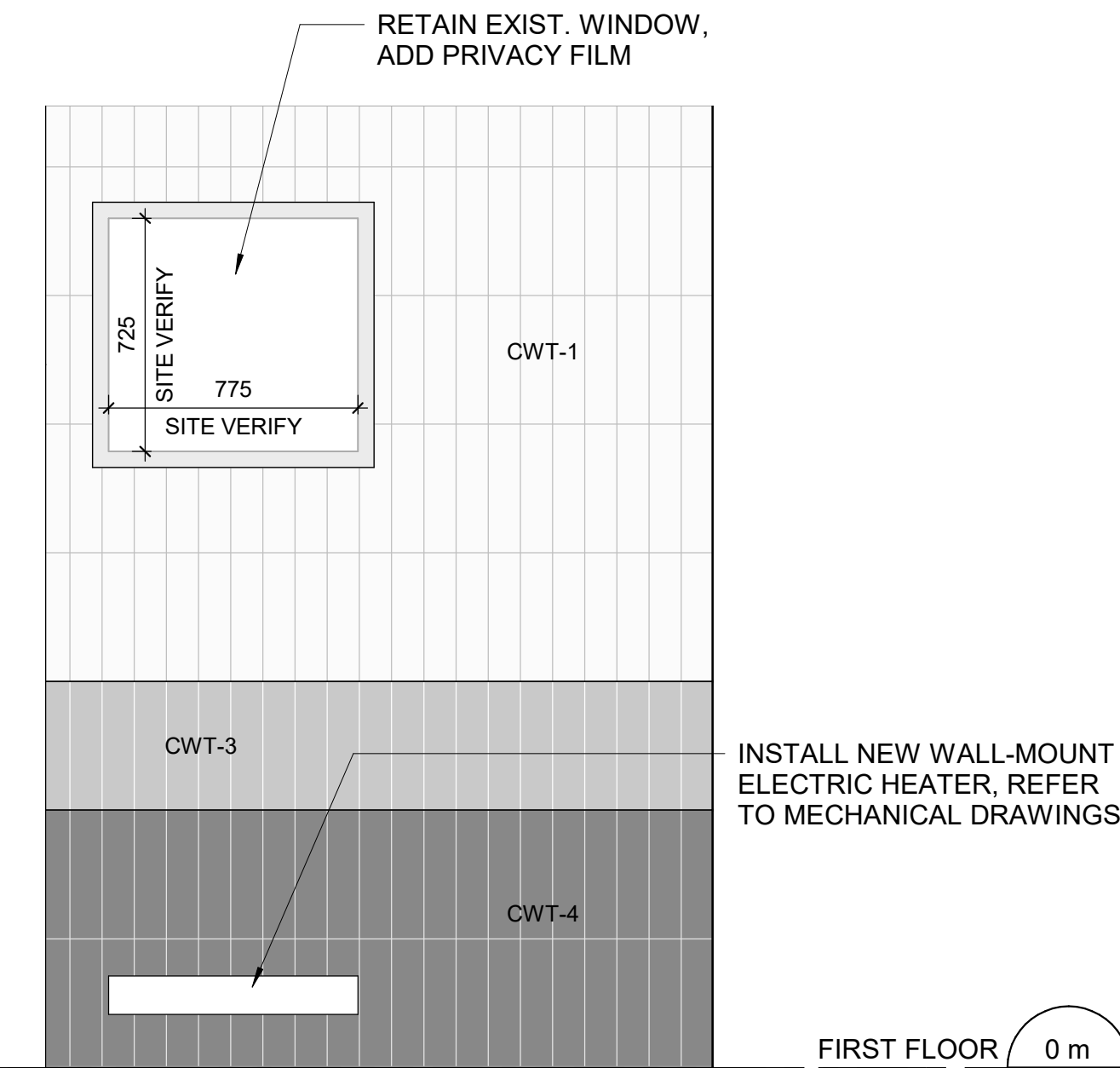
5 SHOWER ENLARGED PLAN  
A5011 Scale: 1 : 20



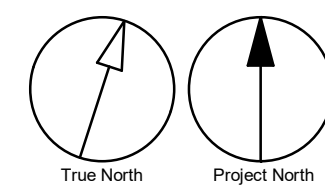
6 SHOWER ELEVATION 1  
A5011 Scale: 1 : 20



7 SHOWER ELEVATION 2  
A5011 Scale: 1 : 20



8 SHOWER ELEVATION 3  
A5011 Scale: 1 : 20



ISSUES		
No.	DESCRIPTION	DATE
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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire Hall No. 226  
87 MAIN STREET**

PROJECT NO:  
9119-19-0162/ IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**WASHROOM  
PLANS/ELEVATIONS**

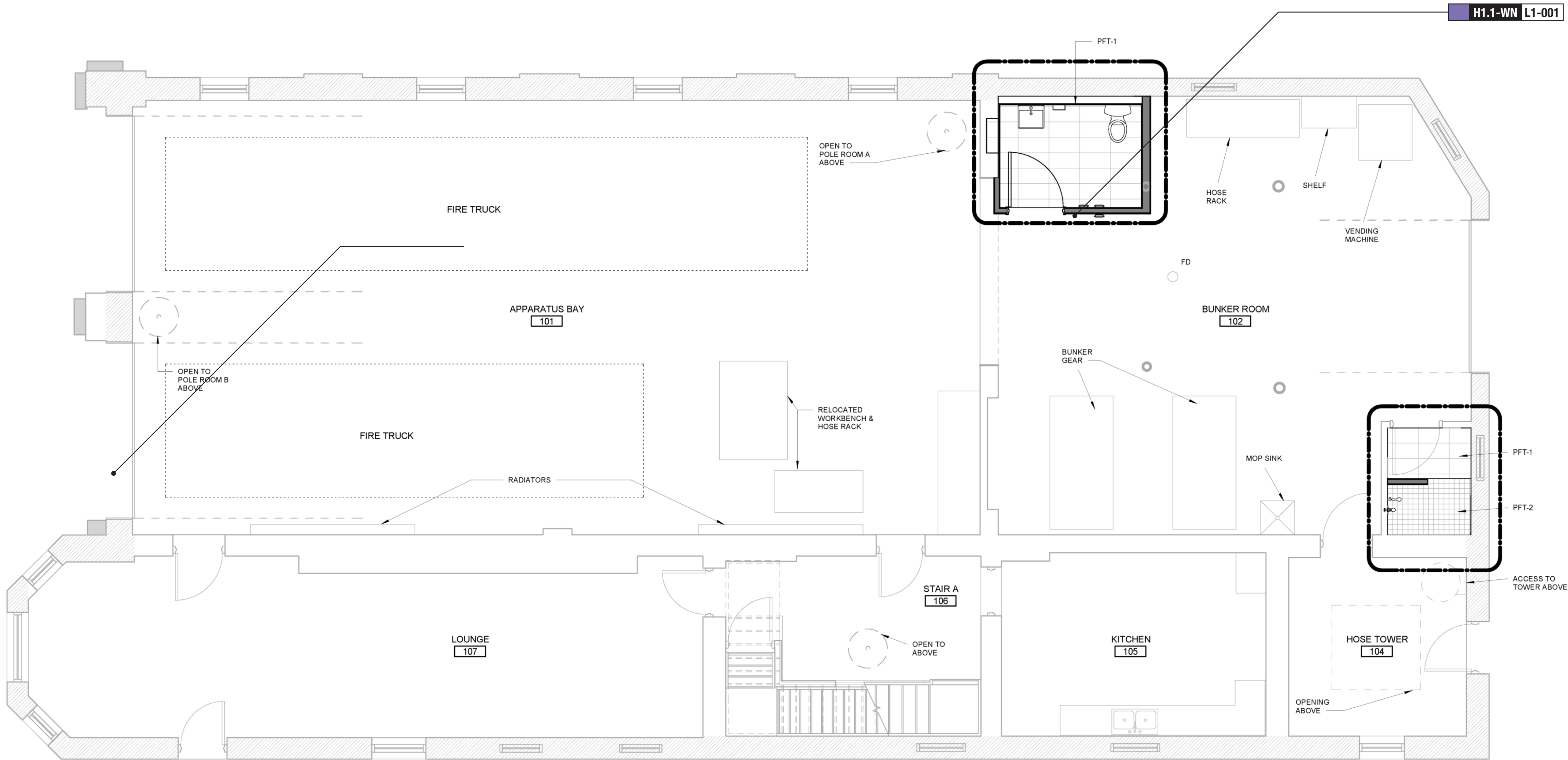
SHEET NUMBER  
**G28-314-A5011**

ISSUE  
**C**

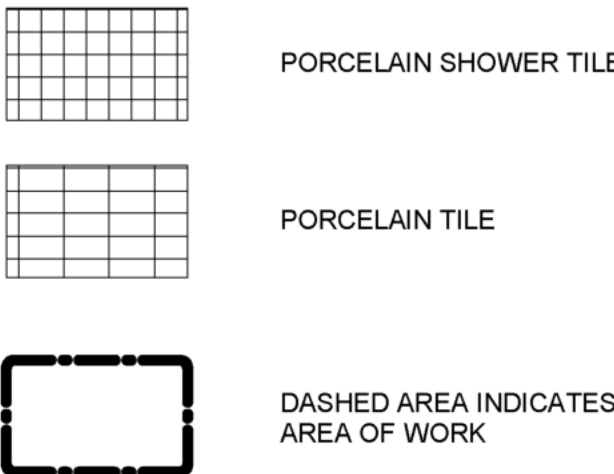


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Scale 1:50



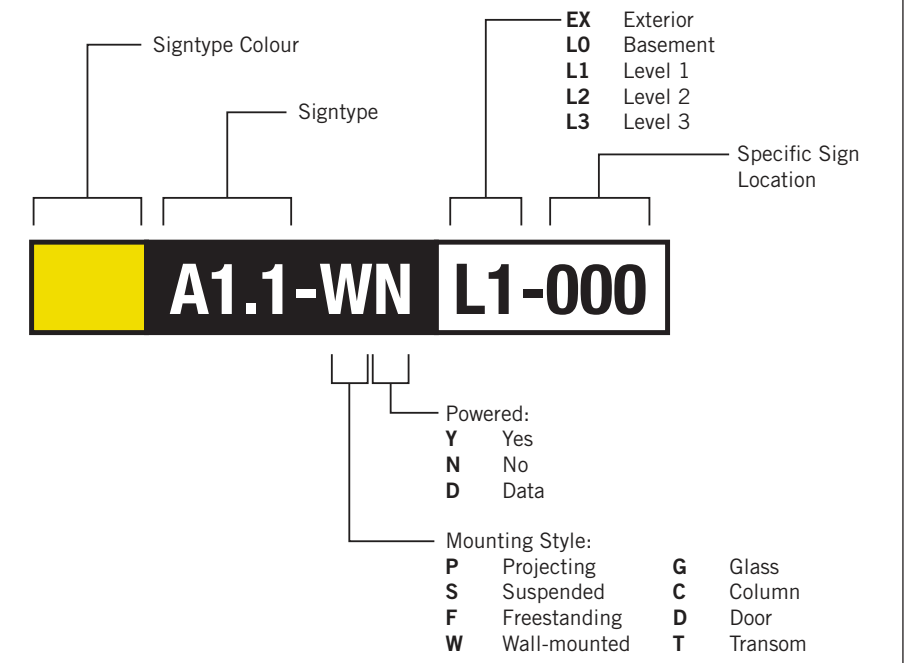
### FLOOR FINISHES LEGEND



### FLOOR FINISH GENERAL NOTES

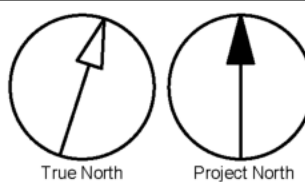
- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- 2 CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
- 3 CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
- 4 CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- 5 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- 6 PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
- 7 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- 8 WHERE STONE FLOORING MEETS ELEVATOR DOORS, BEVEL STONE DOWN TO SUIT TRANSITION BETWEEN NEW STONE FLOOR AND EXISTING ELEVATOR CAB FLOOR. PROVIDE SHOP DRAWINGS OF BEVEL/REDUCING STRIP FOR APPROVAL BY CONSULTANT.
- 9 MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

### SIGN TAG LEGEND



### SIGN TAG LEGEND

- |                                    |                                 |  |
|------------------------------------|---------------------------------|--|
| <b>B</b> <b>LX-000</b> Directional | <b>H</b> <b>LX-000</b> Amenity  | <b>G</b> <b>LX-000</b> Inside Stair ID |
| <b>E</b> <b>LX-000</b> Room ID     | <b>J</b> <b>LX-000</b> Entrance | <b>S</b> <b>LX-000</b> Stair ID        |



CLIENT

CITY OF TORONTO



55 John ST.  
TORONTO, ON  
M5V 3C6

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C	ISSUED FOR TENDER	2022-11-01

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### PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

### PROJECT ADDRESS

FIRE HALL NO. 226  
87 MAIN STREET

### PROJECT NO:

9119 - 19 - 0162 / IBI 122260

### DRAWN BY:

M. LOW

### CHECKED BY:

C.D. SCHNOBB

### PROJECT MGR:

R. DALY

### APPROVED BY:

### SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
LEVEL 1 LOCATION PLAN

### SHEET NUMBER

G28-314-A8010

### ISSUE

D

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1 of 1  
SCALE CHECK  
1 m



KEYPLAN


L1

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
H1.1	L1	001	Amenity ID	[universal accessible washroom picto] Washroom Braille	

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	0
E2.2	Line Room ID	0
E4	Insert Holder	0
H1.1	Amenity ID	1
H2.1	Projecting Amenity ID	0
J4.2	Accessible Entrance ID - Exterior	0
S1.1	Stair ID - Inside Stairwell	0
S1.2	Stair ID - Corridor Side	0
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		1

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TORONTO, ON  
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APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G28-314-A8100

ISSUE

D

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1 of 1

SCALE CHECK



DOOR SCHEDULE															
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTOL DEVICE	BFPB	PANIC DEVICE		
FIRST FLOOR															
N-108	UNIVERSAL WASHROOM	A(L)	1067	2150	45	HM	PT-3	<-->	HM	PT-3		BFWO		N/A	NEW BFWO. PROVIDE SIGNAGE WITH TACTILE AND BRAILLE AT ACCESSIBLE HEIGHT. CONFIRM MATERIAL AND FINISH. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-101	LOUNGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	X				EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-102	LOUNGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-103	STAIR A	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-104	STAIR A	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-105	STAIR A	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-106	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-107	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3	X				EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
SECOND FLOOR															
NE-201	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-202	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-203	STAIR C	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-204	LAVATORY	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-205	LOUNGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-206	WR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-207	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING BROWN DOOR PAINT (DOOR NE-101)
NE-208	WOMEN'S WR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-209	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
THIRD FLOOR															
NE-301	GYM ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.

ROOM FINISH SCHEDULE																		
ROOM NAME	FLOOR		BASE		NORTH				EAST		SOUTH		WEST		CEILING			REMARKS
	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT	
FIRST FLOOR																		
SHOWER	EXIST	PFT-1, PFT-2	EXIST		EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST_GB	PT-2	EXIST	
UNIVERSAL WASHROOM	EXIST	PFT-1	EXIST		EXIST	CWT-1, CWT-3, CWT-4, PT-1	EXIST	CWT-1, CWT-3, CWT-4, PT-1	CMU	CWT-1, CWT-3, CWT-4, PT-1	CMU	CWT-1, CWT-3, CWT-4, PT-1	CMU	CWT-1, CWT-3, CWT-4, PT-1	EXIST	PT-2	EXIST	PAINT VESTIBULE OF SHOWER - WALLS AND BOTH SIDES OF DOOR PT-1

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm(12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	MEETS DCOF	STONE TILE	SHOWER FLOOR TILE
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILINGS

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

DOOR ABBREVIATIONS	
* ALUM ANOD BFAO BFPB BFWO CR EXIST FBM GWB GWG HM IHM ITGL KP OBM PF PLAM PT SIM SS TGL WD	DENOTES YES ALUMINUM ANODIZED BARRIER-FREE AUTOMATIC OPENER BARRIER-FREE PUSH BUTTON BARRIER-FREE WAVE TO OPEN CARD READER EXISTING FINGER BIOMETRIC GYPSUM WALL BOARD GEORGIAN WIRE GLASS HOLLOW METAL INSULATED HOLLOW METAL INSULATED TEMPERED (SAFETY) GLASS KEY PAD OCULAR BIOMETRIC PRE FINISHED PLASTIC LAMINATE PAINT SIMILAR STAINLESS STEEL TEMPERED GLASS WOOD

NOTE:
- PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.
- PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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SHEET TITLE  
DOOR AND ROOM FINISH  
SCHEDULES

SHEET NUMBER G28-314-A9001	ISSUE C
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