

CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162/ IBI 122260

POLICE MARINE SUB-STATION NO. 1 - BLUFFERS PARK
23 BLUFFERS PARK (7 BRIMLEY RD S)

GROUP 28
SEQ 284



IMAGE SOURCE: GOOGLE MAPS

CITY OF TORONTO



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

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PROJECT NO:
9119-19-0162/ IBI 122260

DATE:
2022-11-01

SHEET NUMBER G28-284-G0001	ISSUE C
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GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G0001	COVER SHEET
G0002	DRAWING LIST & OBC MATRIX

ARCHITECTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A1202	SITE PLAN
A1203	PROPOSED SITE PLAN - ENLARGED
A1204	EXTERIOR STAIR SECTIONS
A2011	FIRST FLOOR STAGING PLAN
A2111	FIRST FLOOR DEMOLITION PLAN
A2411	FIRST FLOOR PROPOSED PLAN
A9111	DOOR SCHEDULE

STRUCTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
S0001	DRAWING LIST
S1201	SITE PLAN
S2000	DEMOLITION PLAN
S5600	PROPOSED PLANS, SECTION - RAMPS

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CONSULTANTS

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**POLICE MARINE
 SUB-STATION NO. 1 -
 BLUFFERS PARK
 23 BLUFFERS PARK (7 BRIMLEY RD S)**

PROJECT NO:
 9119-19-0162/ IBI 122260
 DRAWN BY:
A. HOLDER
 PROJECT MGR:
F. BOLOURIAN

CHECKED BY:
K. TILAHUN
 APPROVED BY:
E. FENUTA

SHEET TITLE
**DRAWING LIST & OBC
 MATRIX**

SHEET NUMBER
G28-284-G0002

ISSUE
C

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620		Name of Project POLICE MARINE SUBSTATION NO.1 ACCESSIBILITY UPGRADES Location 7 BRIMLEY RD. S. SCARBOROUGH, TORONTO ON M1M 1C1	
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
1.	PROJECT DESCRIPTION <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Alteration <input type="checkbox"/> CHANGE OF USE	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	
2.	MAJOR OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES SUBSIDIARY OCCUPANCY(S)	3.1.2.1. (1) 9.10.2.	EXISTING NO CHANGE
3.	BUILDING AREA (m²) EXISTING - 149.2 NEW - 0 TOTAL - 149.2	1.4.1.2. [A] 1.4.1.2. [A]	
4.	GROSS AREA (m²) EXISTING - 149.2 NEW - 0 TOTAL - 149.2	1.4.1.2. [A] 1.4.1.2. [A]	EXISTING NO CHANGE
5.	NUMBER OF STOREYS ABOVE GRADE - 1 BELOW GRADE - 0	1.4.1.2. [A] & 3.2.1.1. 1.4.1.2. [A] & 9.10.4.	
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1 EXISTING NO CHANGE	3.2.2.10. & 3.2.5. 9.10.20.	
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE	3.2.2.67. 9.10.2.	
8.	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.67 3.2.1.5 3.2.2.17 INDEX INDEX	EXISTING NO CHANGE
9.	STANDPIPE REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO STANDPIPE PROVIDED <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9. N/A	EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO FIRE ALARM PROVIDED <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4. 9.10.18.	EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7. N/A	EXISTING NO CHANGE
12.	HIGH BUILDING <input type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6. N/A	
13.	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH PERMITTED REQUIRED ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.67. 9.10.6.	EXISTING NO CHANGE
14.	MEZZANINE (S) AREA m² N/A	3.2.1.1. (3) - (8) 9.10.4.1.	
15.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING 1ST FLOOR: OCCUPANCY _____ LOAD _____ PERSONS 2ND FLOOR: OCCUPANCY _____ LOAD _____ PERSONS MEZZANINE FLOOR: OCCUPANCY _____ LOAD _____ PERSONS	3.1.17. 4.9.13.	EXISTING NO CHANGE
16.	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8. 9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3.(4)	
18a.	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES FLOORS ROOF MEZZANINE	3.2.2.67. & 3.2.1.4. 9.10.8. 9.10.9.	

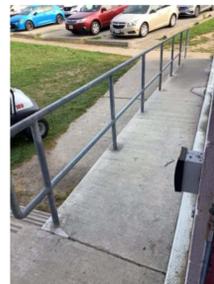
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
18b.	REQUIRED FIRE RESISTANCE RATING (FRR) FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SB-2) FLOORS ROOF MEZZANINE	NO CHANGE NO CHANGE NO CHANGE	SB-2 TABLE 2.1.1. SB-2 TABLE 2.1.1.
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS WALL AREA OF EBF (m²) LD (M) L/H OR H/L PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB. CONST. COMB. CONST. NONC-GLASSING NON-COMB. CONST.	3.2.3. 9.10.14.	EXISTING NO CHANGE
20.	PLUMBING FIXTURE REQUIREMENTS MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE MAJOR OCCUPANCY OCCUPANT LOAD OBC TABLE NUMBER FIXTURES REQUIRED FIXTURES PROVIDED	EXISTING NO CHANGE <input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 3.7.4.9. 3.7.4.9. X X X X	
21.	EXITS/ ACCESS TO EXIT-		EXISTING NO CHANGE
22.	OTHER (DESCRIBE) -		
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building	OBC REFERENCE	REMARKS
11.1.	EXISTING BUILDING CLASSIFICATION: DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N	
11.2.	ALTERATION TO EXISTING BUILDING IS: BASIC RENOVATION EXTENSIVE RENOVATION	<input checked="" type="checkbox"/> <input type="checkbox"/>	11.3.3.1. 11.3.3.2.
11.3.	REDUCTION IN PERFORMANCE LEVEL: STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.
11.4.	COMPENSATING CONSTRUCTION: STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5.	COMPLIANCE ALTERNATIVES PROPOSED: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)	11.5.1	

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BIM 360//122260 - CoT TAU Upgrades R2020/122260-TAU-28-284-7BRIMLEY-A-R20.rvt



IMAGE SOURCE: GOOGLE MAPS



PH 01: RAMP



PH 02: RAMP



PH 03: RAMP AND STAIR



PH 04: PARKING LOT

2 KEY PLAN
A1202 Scale: NTS



IMAGE SOURCE: GOOGLE MAPS

1 SITE PLAN
A1202 Scale: 1 : 100

SITE LEGEND



NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



EXISTING MAIN ENTRANCE



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701



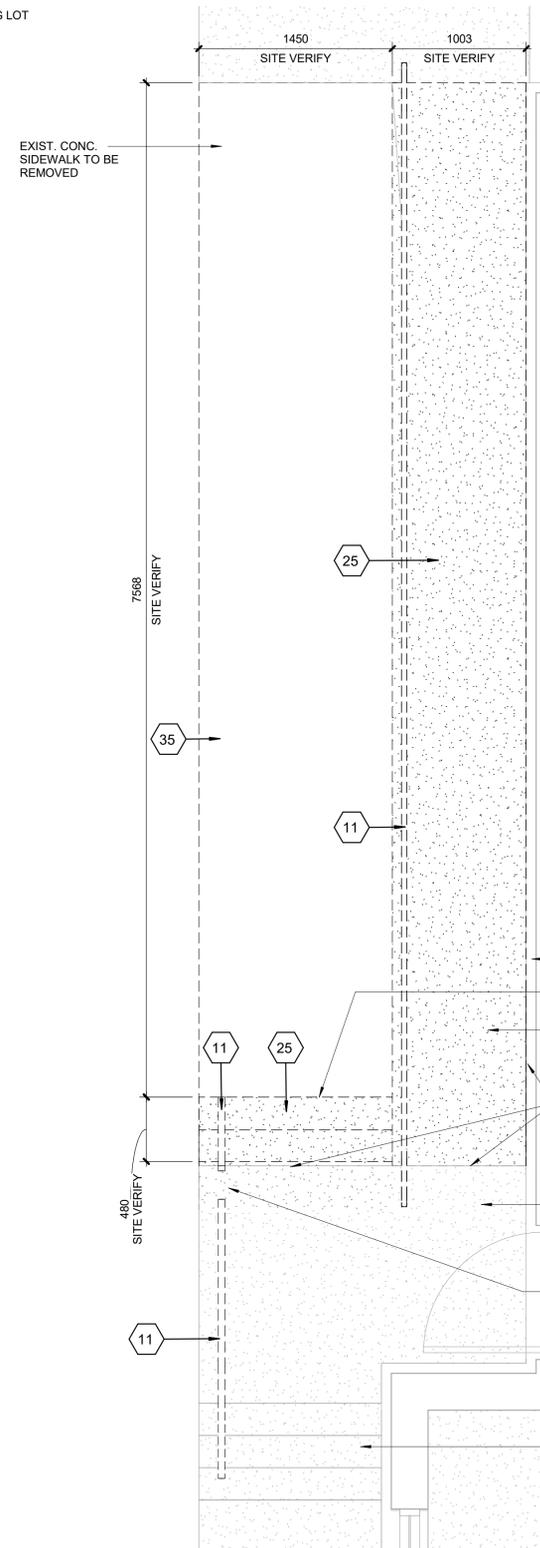
DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.
- VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

DEMOLITION KEY NOTES

NO	DESCRIPTION
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
25	DEMOLISH EXISTING CONCRETE STAIR OR RAMP. REMOVE DEBRIS AND PREPARE FOR NEW STAIR OR RAMP. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AND PROTECT SURROUNDING AREAS DURING THE WORK.
35	DEMOLISH EXISTING CONCRETE PAD OR BED. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.



3 RAMP AND STAIR A ENLARGED DEMOLITION PLAN
A1202 Scale: 1 : 25

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**POLICE MARINE
SUB-STATION NO. 1 -
BLUFFERS PARK
23 BLUFFERS PARK (7 BRIMLEY RD S)**

PROJECT NO:
9119-19-0162/ IBI 122260
DRAWN BY:
A. HOLDER
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUTA

SHEET TITLE
SITE PLAN

SHEET NUMBER
G28-284-A1202
ISSUE
C

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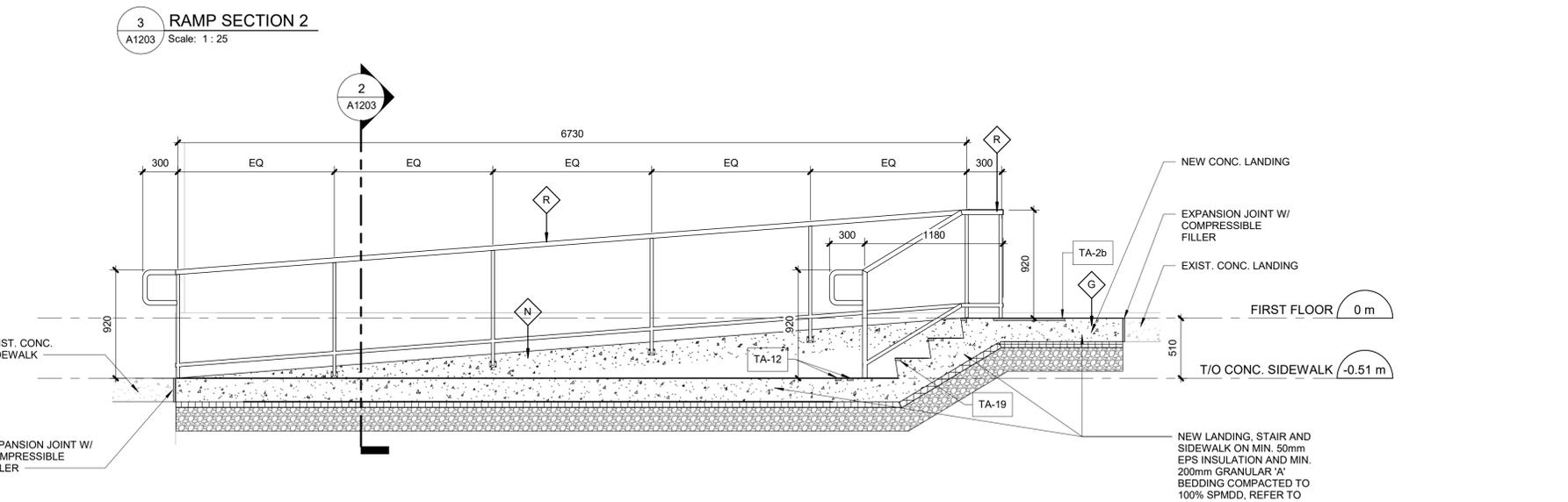
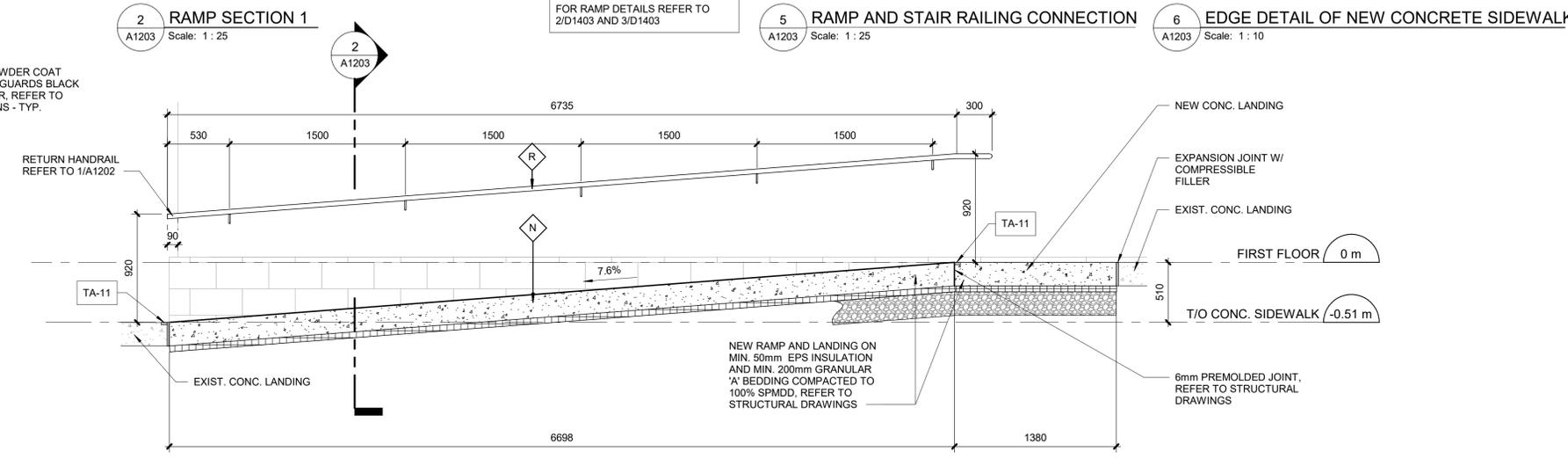
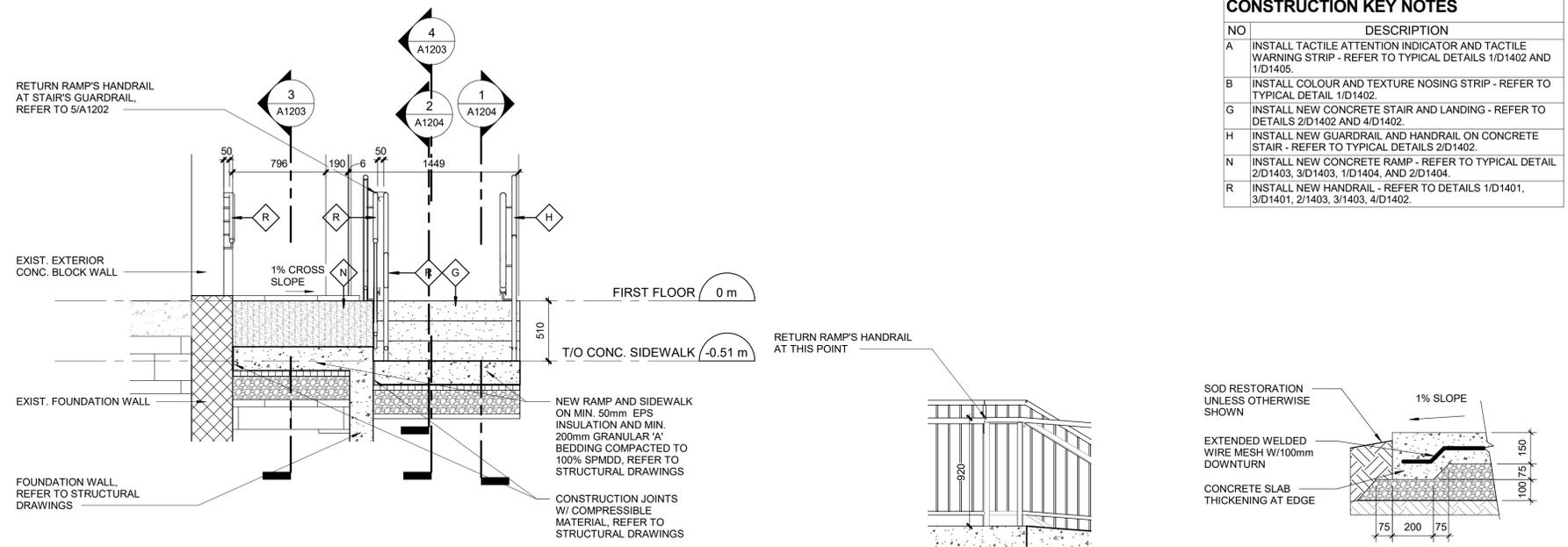
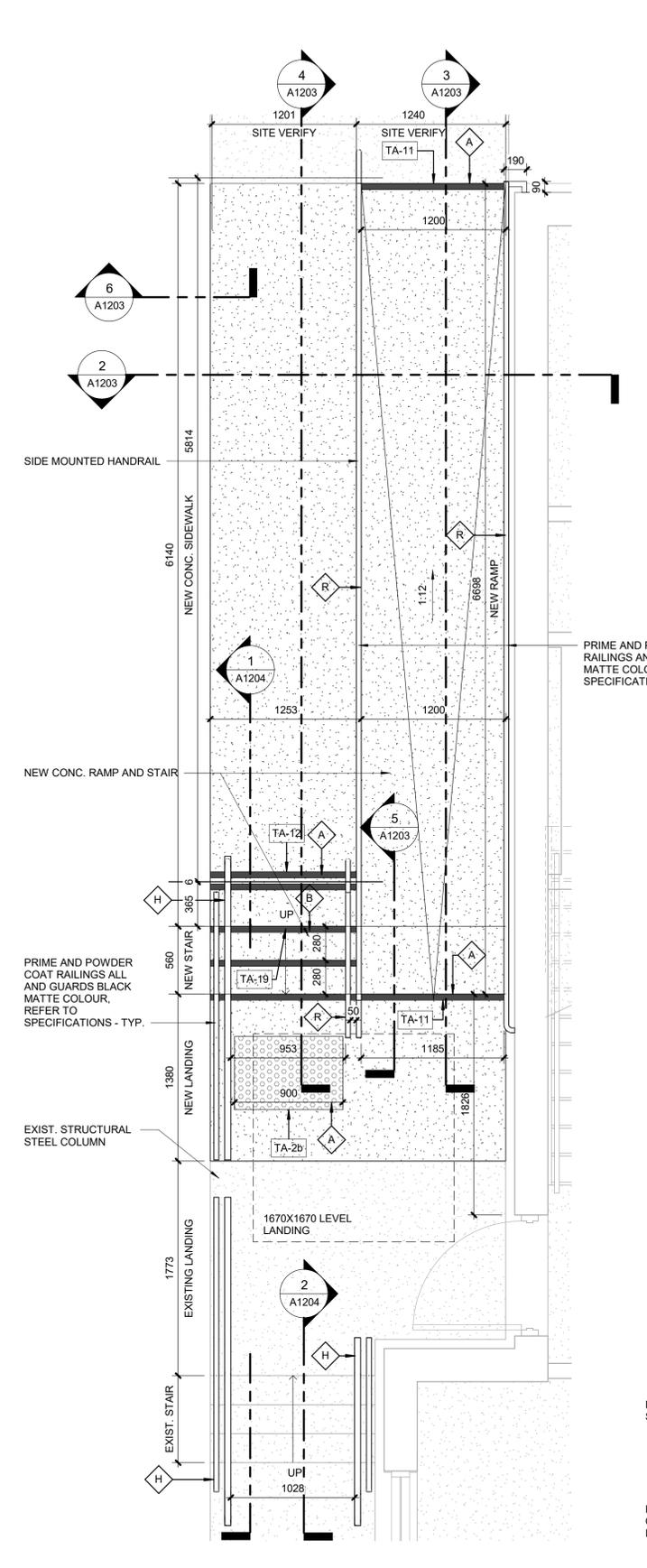
CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
G	INSTALL NEW CONCRETE STAIR AND LANDING - REFER TO DETAILS 2/D1402 AND 4/D1402.
H	INSTALL NEW GUARDRAIL AND HANDRAIL ON CONCRETE STAIR - REFER TO TYPICAL DETAILS 2/D1402.
N	INSTALL NEW CONCRETE RAMP - REFER TO TYPICAL DETAIL 2/D1403, 3/D1403, 1/D1404, AND 2/D1404.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.

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 SUB-STATION NO. 1 -
 BLUFFERS PARK
 23 BLUFFERS PARK (7 BRIMLEY RD S)**

PROJECT NO:
 9119-19-0162/ IBI 122260

DRAWN BY:
M. LATOSZEK

CHECKED BY:
K. TILAHUN

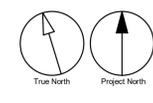
PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE
**PROPOSED SITE PLAN -
 ENLARGED**

SHEET NUMBER
G28-284-A1203

ISSUE
B

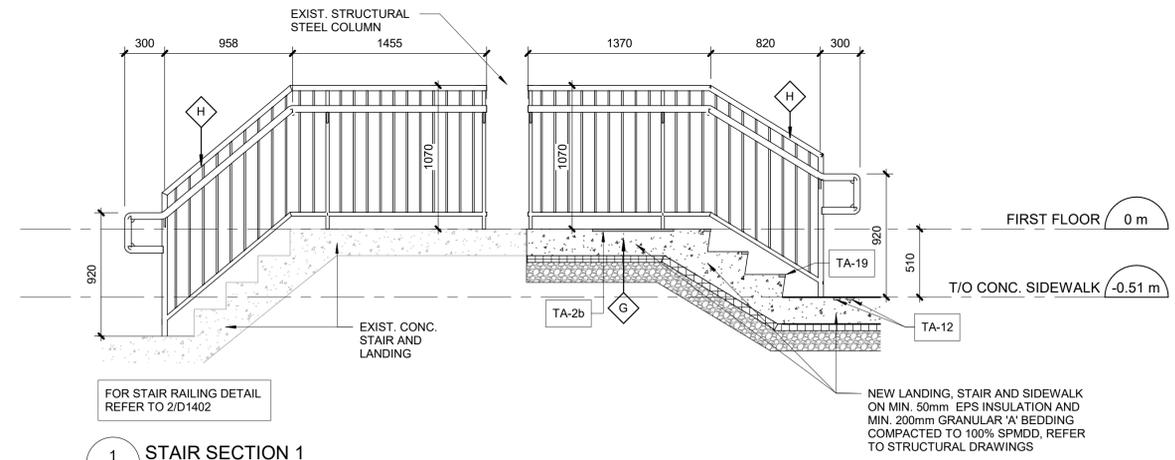


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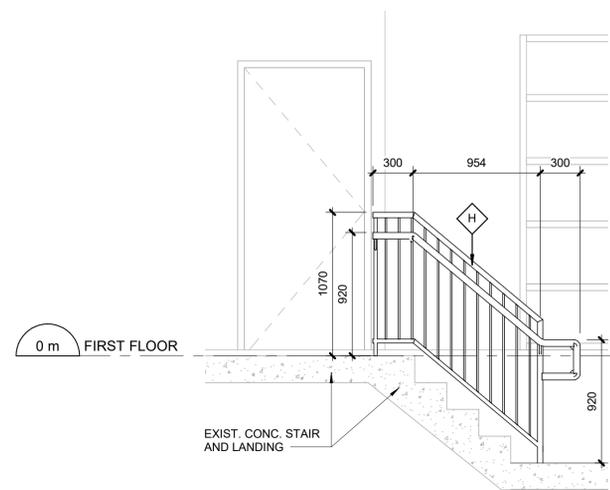
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FOR STAIR RAILING DETAIL REFER TO 2/D1402

1 STAIR SECTION 1
 A1204 Scale: 1 : 25



2 STAIR SECTION 2
 A1204 Scale: 1 : 25

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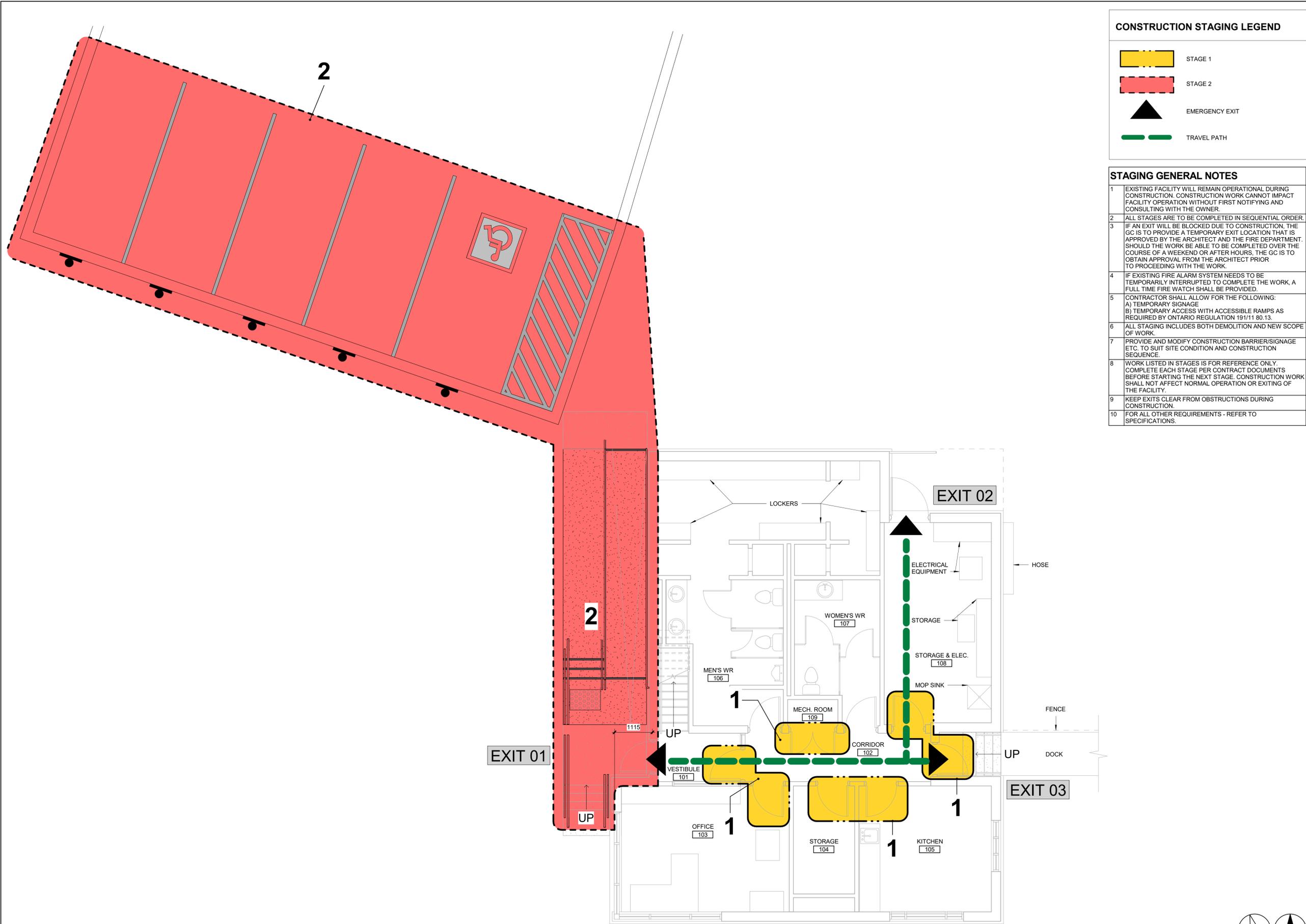
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DRAWN BY: M. LATOSZEK	CHECKED BY: K. TILAHUN
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SHEET TITLE
**EXTERIOR STAIR
 SECTIONS**

SHEET NUMBER G28-284-A1204	ISSUE A
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CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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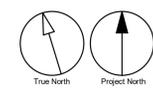
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DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**FIRST FLOOR STAGING
 PLAN**

SHEET NUMBER G28-284-A2011	ISSUE C
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DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- ===== EXISTING EXTERIOR WALL TO REMAIN
- ===== EXISTING PARTITION TO REMAIN
- ⤵ EXISTING DOOR TO REMAIN
- ⬜ DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.

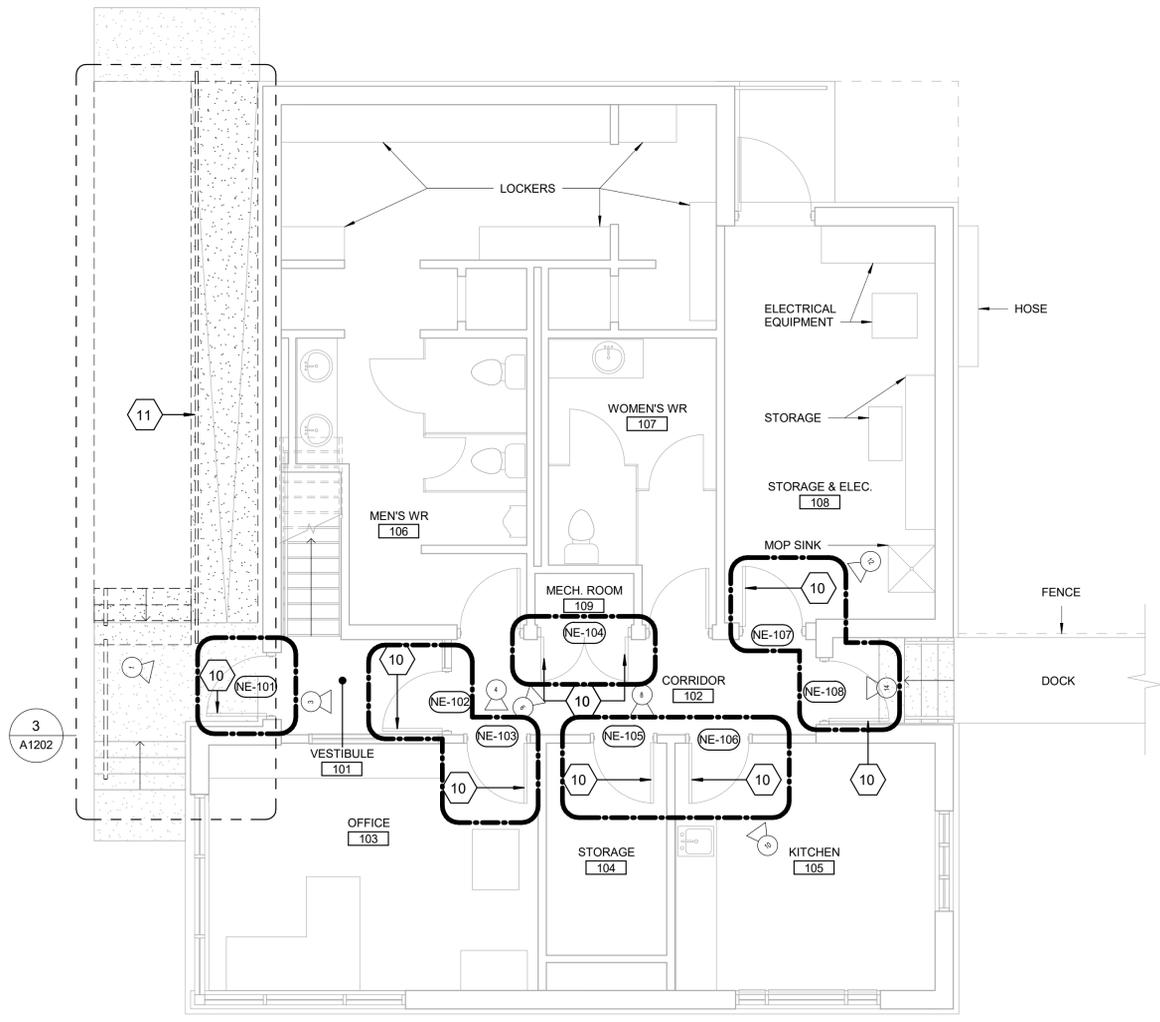
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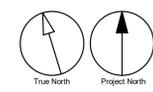
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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01



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CONSULTANTS

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PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 POLICE MARINE
 SUB-STATION NO. 1 -
 BLUFFERS PARK
 23 BLUFFERS PARK (7 BRIMLEY RD S)

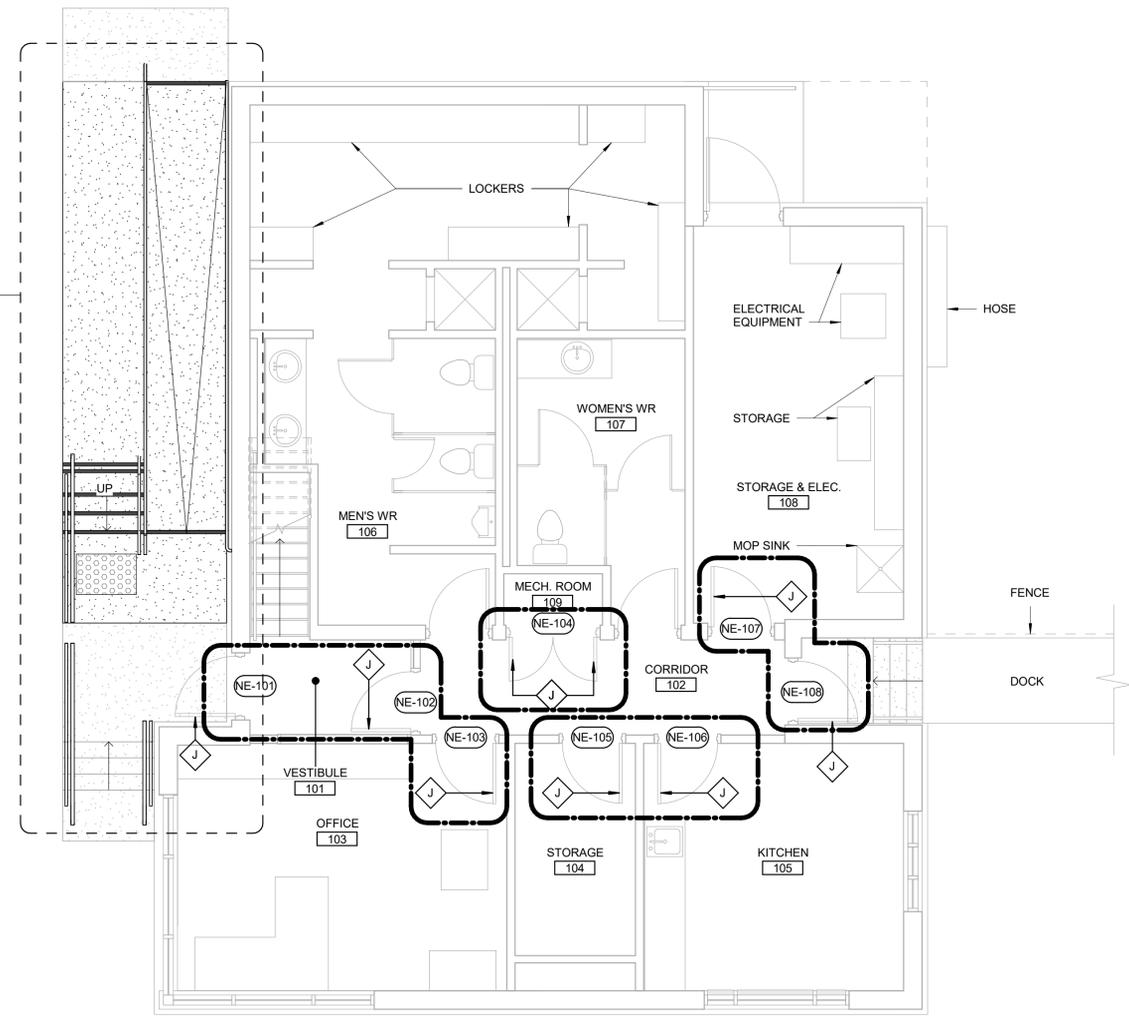
PROJECT NO:
 9119-19-0162/ IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUA

SHEET TITLE
 FIRST FLOOR
 DEMOLITION PLAN

SHEET NUMBER G28-284-A2111	ISSUE C
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BIM 380/1122260 - CoT TAU Upgrades R2020122260-TAU-28-284-7BRIMLY-A-R20.rvt
 1/11



CONSTRUCTION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	NEW EXTERIOR WALL REFER TO WALL SCHEDULE
	NEW PARTITION REFER TO PARTITION SCHEDULE
	EXISTING DOOR TO REMAIN
	NEW DOOR AND/OR NEW HARDWARE
	DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

1	REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING
---	---

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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CITY OF TORONTO
 Corporate Real Estate Management
 Project Management Office
 Metro Hall Toronto, ON
 M5V 3C6

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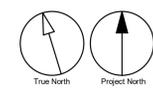
PROJECT NO:
 9119-19-0162/ IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
 FIRST FLOOR
 PROPOSED PLAN

SHEET NUMBER G28-284-A2411	ISSUE C
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BIM 360/122260 - CoT TAU Upgrades R2020/122260-TAU-28-284-7BRIMLY-A-R20.rvt

DOOR SCHEDULE															
DOOR NO.	LOCATION	DOOR				PANEL			FRAME			DOOR HARDWARE			REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/BFAO	PANIC DEVICE	FIRE RATING (MINUTES)	
FIRST FLOOR															
NE-101	VESTIBULE		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	X				EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING YELLOW DOOR PAINT (DOOR NE-104)
NE-102	CORRIDOR		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING YELLOW DOOR PAINT (DOOR NE-104)
NE-103	OFFICE		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE. PT-3 - COLOUR TO MATCH EXISTING YELLOW DOOR PAINT (DOOR NE-104)
NE-104	MECH. ROOM		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-105	STORAGE		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-106	KITCHEN		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-107	STORAGE & ELEC.		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3					EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.
NE-108	CORRIDOR		EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	X				EXIST. DOOR - REMOVE EXISTING LATCHSET AND REPLACE DOOR HARDWARE. REFER TO HARDWARE SCHEDULE.

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
2	REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

NOTE:
- PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.
- PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

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ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.

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SHEET TITLE
DOOR SCHEDULE

SHEET NUMBER
G28-284-A9111
ISSUE
C

