

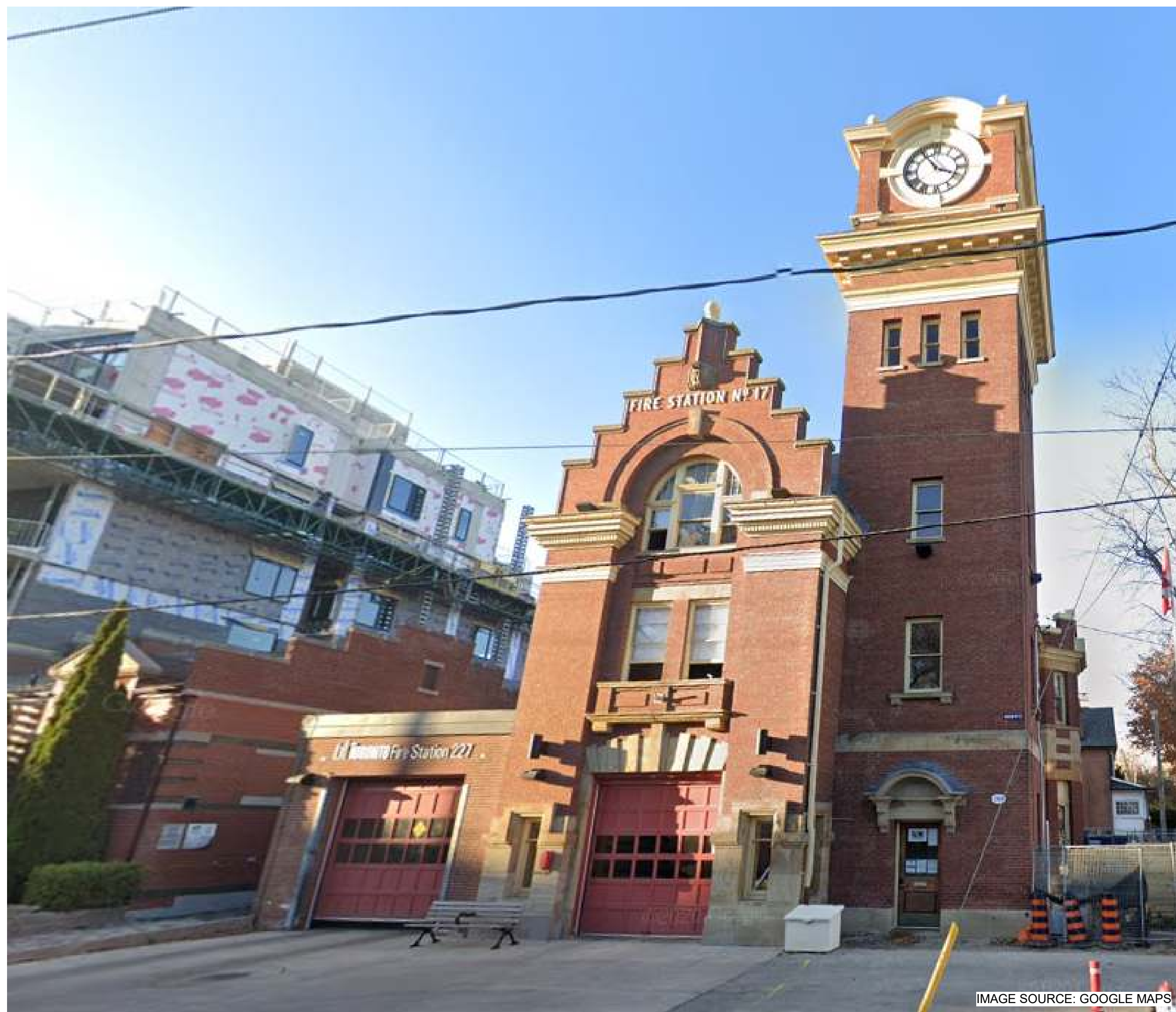
# CITY OF TORONTO

# ACCESSIBILITY UPGRADES

9119-19-0162 / IBI 122260

FIRE HALL NO. 227  
1904 QUEEN ST. E.

GROUP 28  
SEQ 103



NOT FOR CONSTRUCTION

ISSUED FOR TENDER

ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO  
ACCESSIBILITY UPGRADES  
PROGRAM GROUP 28

PROJECT NO: 9119-19-0162 / IBI 122260	
DATE: 2022-11-01	
SHEET NUMBER G28-103-G0001	ISSUE C

GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
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G0002	DRAWING LIST & OBC MATRIX

ARCHITECTURAL DRAWING INDEX	
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A2001	BASEMENT & FIRST FLOOR STAGING PLAN
A2021	SECOND & THIRD FLOOR STAGING PLAN
A2101	BASEMENT & FIRST FLOOR DEMOLITION PLAN
A2121	SECOND & THIRD FLOOR DEMOLITION PLAN
A2401	BASEMENT & FIRST FLOOR PROPOSED PLAN
A2421	SECOND & THIRD FLOOR PROPOSED PLAN
A2611	FIRST FLOOR FLOOR FINISH PLAN
A2811	FIRST FLOOR REFLECTED CEILING PLAN
A3011	BUILDING ELEVATIONS
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A8010	SIGNAGE & WAYFINDING DETAILS LEVEL 1 LOCATION PLAN
A8100	SIGNAGE & WAYFINDING DETAILS MESSAGE SCHEDULE
A9001	DOOR AND ROOM FINISH SCHEDULES

STRUCTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
S0001	DRAWING LIST
S1201	SITE PLAN
S5900	NEW WASHROOM PLAN

MECHANICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
M0001	MECHANICAL DRAWING LIST
M0201	EQUIPMENT SCHEDULE
M1101	DEMOLITION PLAN - GROUND FLOOR
M2101	PLUMBING - GROUND FLOOR
M3101	DRAINAGE - GROUND FLOOR
M5101	HVAC - GROUND FLOOR

ELECTRICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
E0000	DRAWING LIST
E1101	ELECTRICAL DEMOLITION PLAN 1ST FLOOR
E2101	POWER & SYSTEMS PLAN 1ST FLOOR
E3100	ELECTRICAL PANEL SCHEDULE

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CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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PRIME CONSULTANT

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PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 227  
1904 QUEEN ST. E.

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE  
DRAWING LIST & OBC  
MATRIX

SHEET NUMBER G28-103-G0002	ISSUE C
-------------------------------	------------

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605  100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620				Name of Project FIRE HALL NO.227 ACCESSIBILITY UPGRADES Location 1904 QUEEN ST. W. TORONTO ON M6R 1B3	
ITEM		Ontario's 2012 Building Code Data Matrix Part 3 or 9		OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
1.	PROJECT DESCRIPTION <div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration</div>	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input checked="" type="checkbox"/> PART 3	<input type="checkbox"/> PART 9 1.1.2. [A] & 9.10.1.3.	
2.	MAJOR OCCUPANCY(S) GROUP F DIVISION 2 - MEDIUM HAZARD INDUSTRIAL OCCUPANCIES SUBSIDIARY OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANCIES GROUP C - RESIDENTIAL OCCUPANCIES	3.1.2.1. (1)	9.10.2.		EXISTING NO CHANGE
3.	BUILDING AREA (m²) EXISTING - 382 NEW - 0 TOTAL - 382	1.4.1.2. [A]	1.4.1.2. [A]		
4.	GROSS AREA (m²) EXISTING - 1391.5 NEW - 0 TOTAL - 1391.5	1.4.1.2. [A]	1.4.1.2. [A]		EXISTING NO CHANGE
5.	NUMBER OF STOREYS ABOVE GRADE - 3 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.		
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 2	3.2.2.10. & 3.2.5.	9.10.20.		
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE	3.2.2.67.	9.10.2.		
8.	SPRINKLER SYSTEM PROPOSED <div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED</div>	3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2   INDEX		EXISTING NO CHANGE
9.	STANDPIPE REQUIRED STANDPIPE PROVIDED	<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.9.	N/A	EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED FIRE ALARM PROVIDED	<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.4.	9.10.18.	EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE	<div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.5.7.	N/A	EXISTING NO CHANGE
12.	HIGH BUILDING	<div><input type="checkbox"/> YES <input type="checkbox"/> NO</div>	3.2.6.	N/A	
13.	CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION	<div><input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH</div>	3.2.2.67.	9.10.6.	EXISTING NO CHANGE
14.	MEZZANINE (S) AREA m²	N/A	3.2.1.1. (3) - (8)	9.10.4.1.	
15.	OCCUPANT LOAD BASED ON <div><input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING</div> <div>1ST FLOOR: OCCUPANCY _____ LOAD _____ PERSONS 2ND FLOOR: OCCUPANCY _____ LOAD _____ PERSONS MEZZANINE FLOOR: OCCUPANCY _____ LOAD _____ PERSONS</div>	3.1.17.	4.9.13.		EXISTING NO CHANGE
16.	BARRIER FREE DESIGN <div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)</div>	3.8.	9.5.2.		ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES <div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>	3.3.1.2 & 3.3.1.19	9.10.1.3.(4)		
18a.	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE N/A	3.2.2.67. & 3.2.1.4.	9.10.8. 9.10.9.	

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS								
18b.	REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE	LISTED DESIGN NO. OR DESCRIPTION (SB-2)	SB-2 TABLE 2.1.1.  SB-2 TABLE 2.1.1.																
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										3.2.3. 9.10.14.									
	WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLAZING	NON-COMB. CONST.	EXISTING NO CHANGE								
	NORTH					-	0	-	-	-										
	SOUTH					-	0	-	-	-										
	EAST					-	0	-	-	-										
	WEST					-	0	-	-	-										
20.	PLUMBING FIXTURE REQUIREMENTS										-									
	MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE					EXISTING NO CHANGE					<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9									
	MAJOR OCCUPANCY		OCCUPANT LOAD		OBC TABLE NUMBER		FIXTURES REQUIRED		FIXTURES PROVIDED											
			26 MALE		3.7.4.9.		3		4		3.7.4.9.									
			26 FEMALE		3.7.4.9.		3		4		3.7.4.9.									
21.	EXITS/ ACCESS TO EXIT-											EXISTING NO CHANGE								
22.	OTHER (DESCRIBE) -																			
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building										OBC REFERENCE	REMARKS								
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)								11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N										
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>								11.3.3.1. 11.3.3.2.										
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES								11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.										
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL:  BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)  SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)								11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6										
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)								11.5.1										





IMAGE SOURCE: GOOGLE MAPS

1

KEY PLAN

A1201

Scale: NTS



IMAGE SOURCE: TORONTO MAPS

2

SITE PLAN

A1201

Scale: 1 : 200

SITE LEGEND

EXISTING MAIN ENTRANCE

EXISTING EXIT TO REMAIN

SITE PLAN GENERAL NOTES

1

DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.

2

VERIFY ALL UNDERGROUND BURIED UTILITIES PRIOR TO DIGGING AND REPORT ANY CONFLICTS TO THE CONSULTANT.

CLIENT

CITY OF TORONTO

Toronto

Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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PROJECT TITLE

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ACCESSIBILITY UPGRADES

PROJECT ADDRESS

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1904 QUEEN ST. E.

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9119-19-0162 / IBI 122260

DRAWN BY:  
A. HOLDER

CHECKED BY:  
K. TILAHUN

PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
E. FENUTA

SHEET TITLE

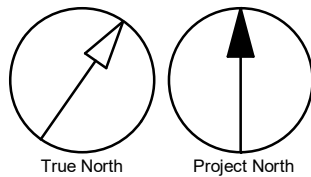
SITE PLAN

SHEET NUMBER

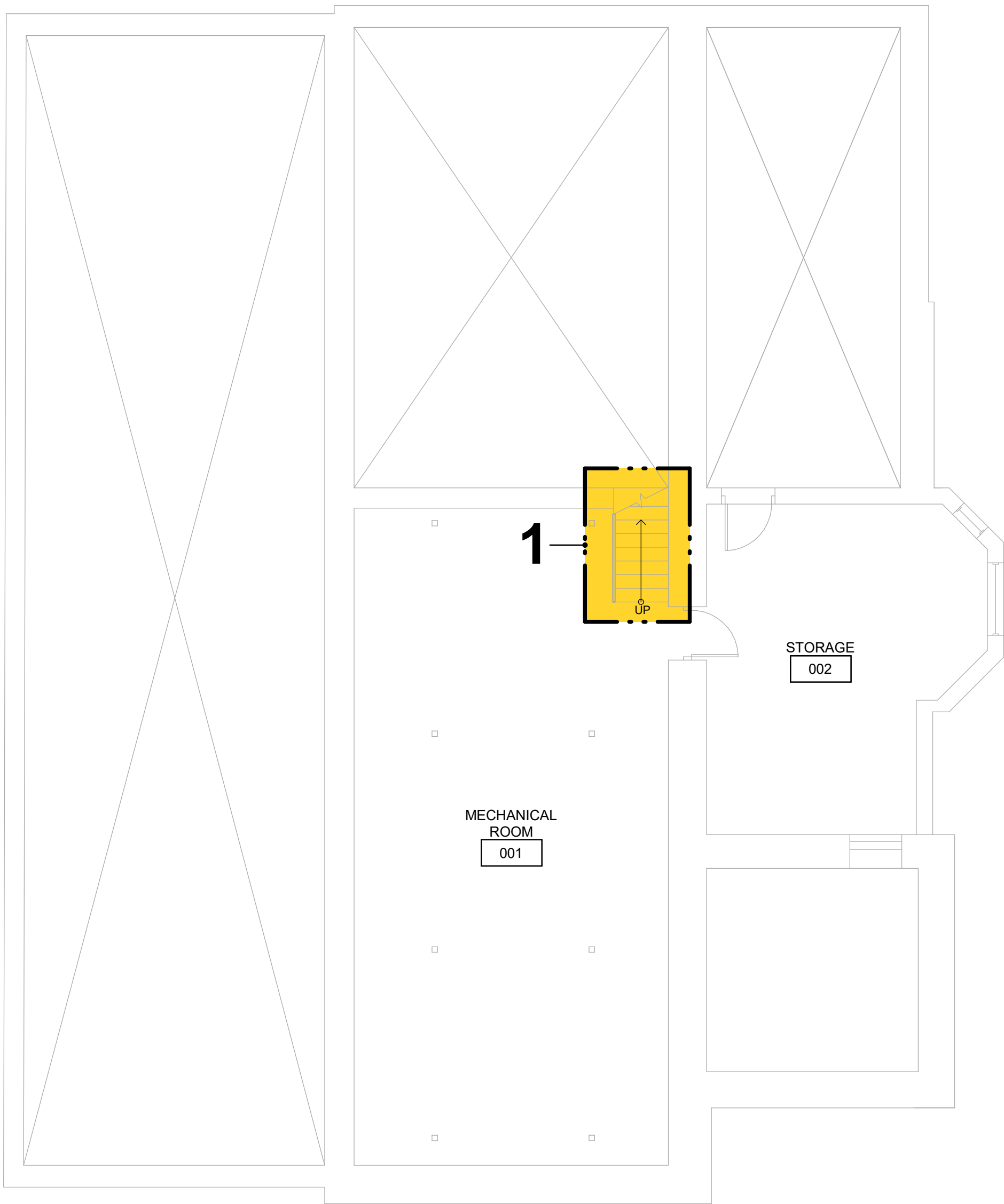
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ISSUE

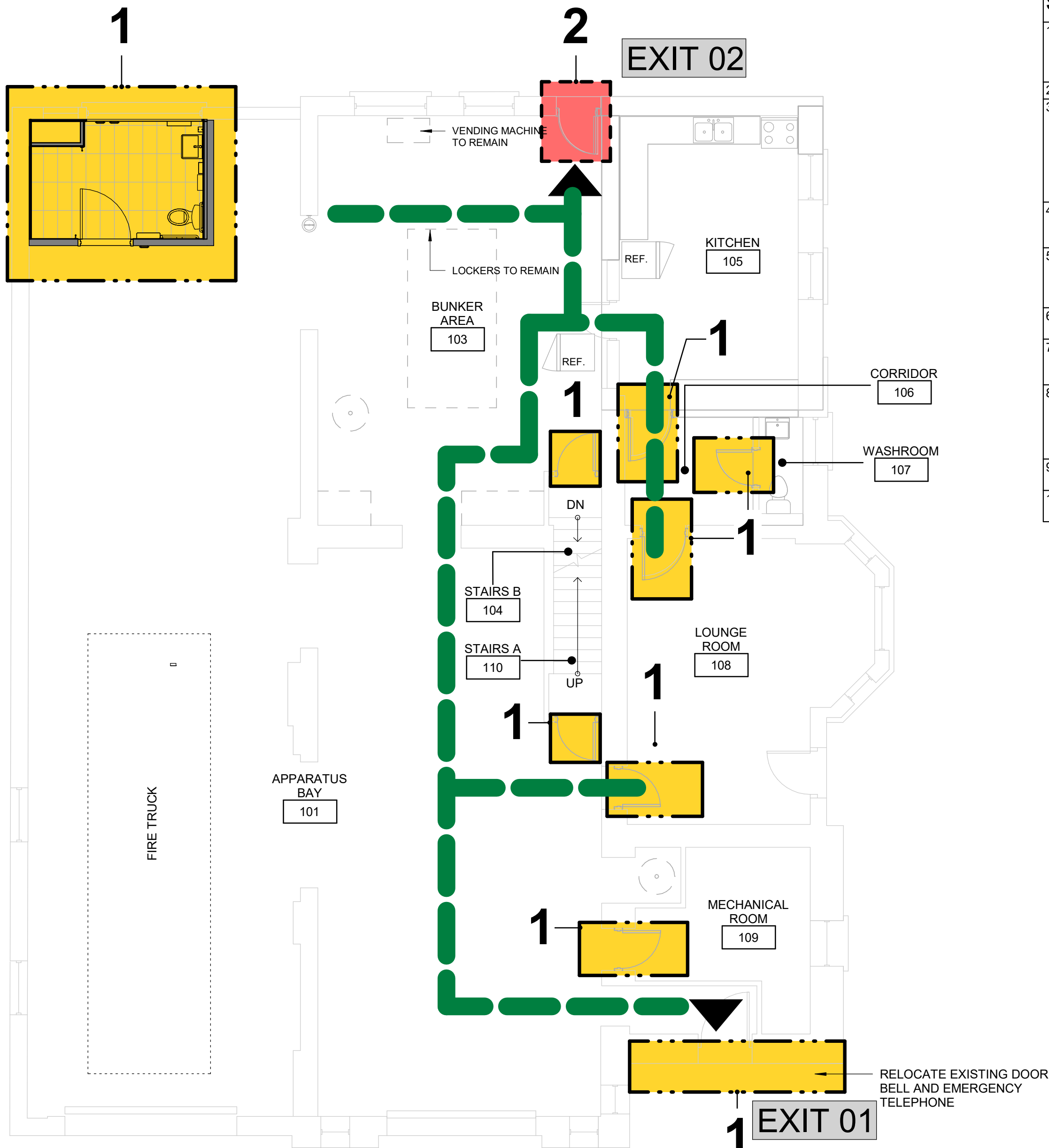
C







1 BASEMENT - STAGING PLAN  
A2001 Scale: 1 : 75



2 FIRST FLOOR - STAGING PLAN  
A2001 Scale: 1 : 75

#### CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- EMERGENCY EXIT
- TRAVEL PATH

#### STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

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**K. TILAHUN**

PROJECT MGR:  
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APPROVED BY:  
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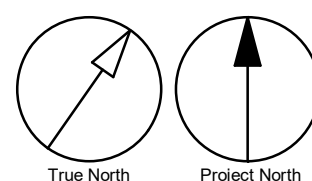
SHEET TITLE  
**BASEMENT & FIRST  
FLOOR STAGING PLAN**

SHEET NUMBER

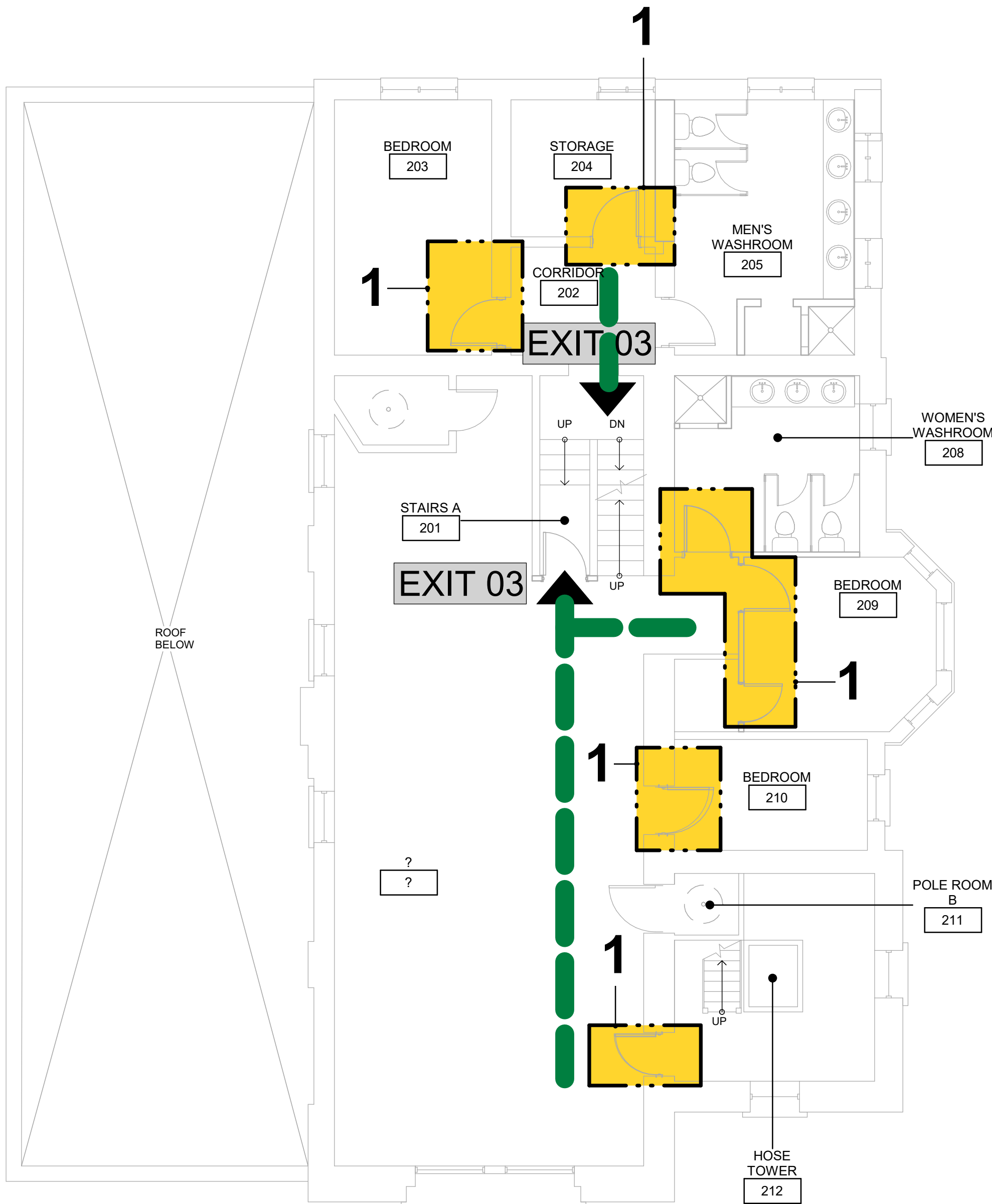
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ISSUE

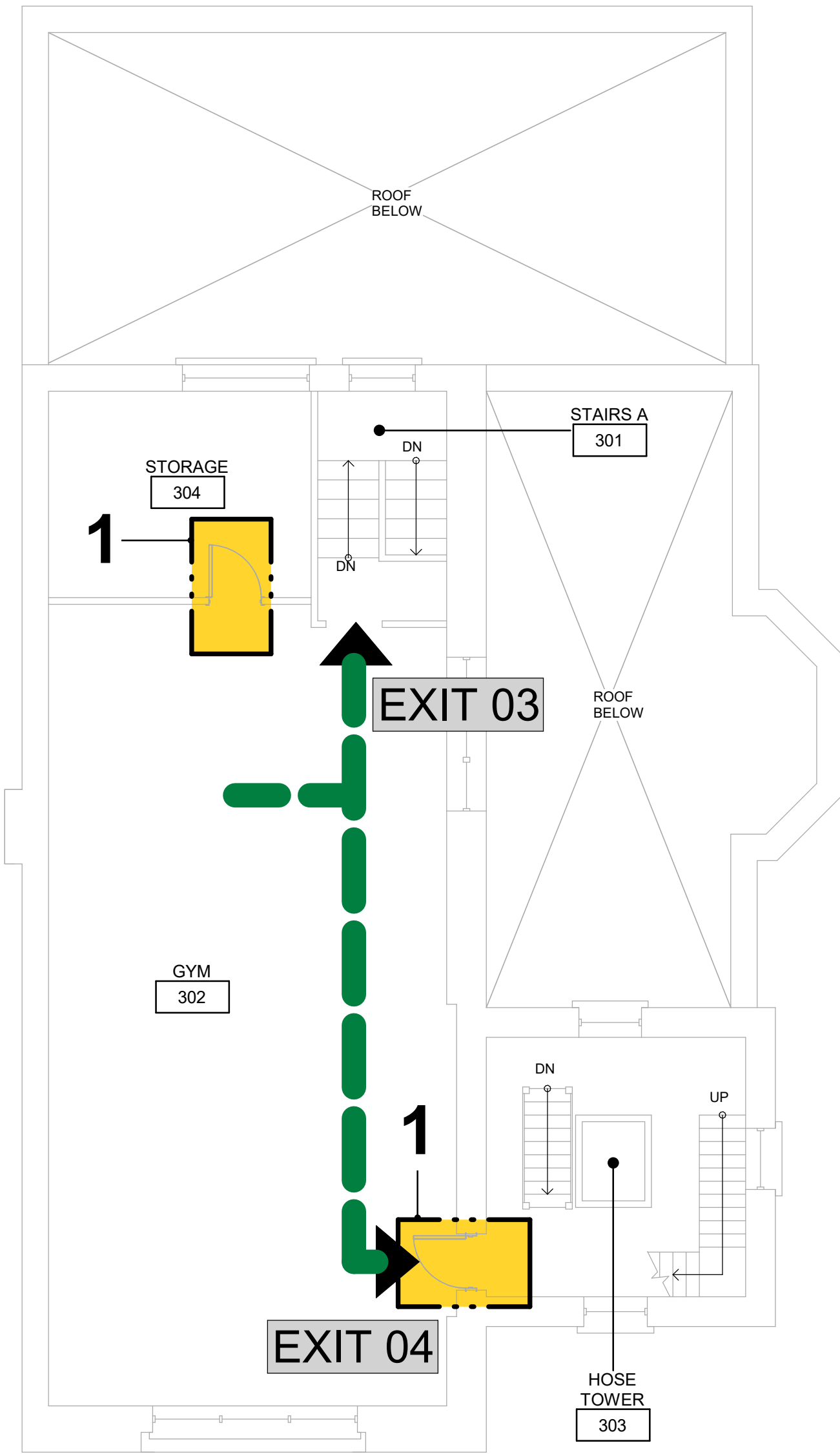
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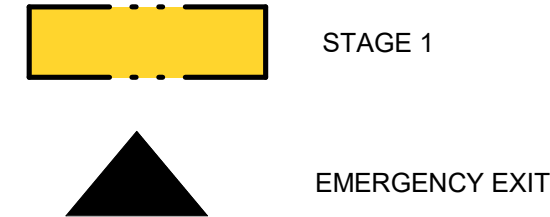


1 SECOND FLOOR - STAGING PLAN  
A2021 Scale: 1 : 75



2 THIRD FLOOR - STAGING PLAN  
A2021 Scale: 1 : 75

#### CONSTRUCTION STAGING LEGEND



#### STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
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- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
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- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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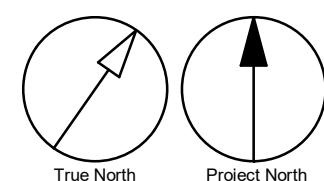
SHEET TITLE  
**SECOND & THIRD FLOOR  
STAGING PLAN**

SHEET NUMBER

**G28-103-A2021**

ISSUE

**C**

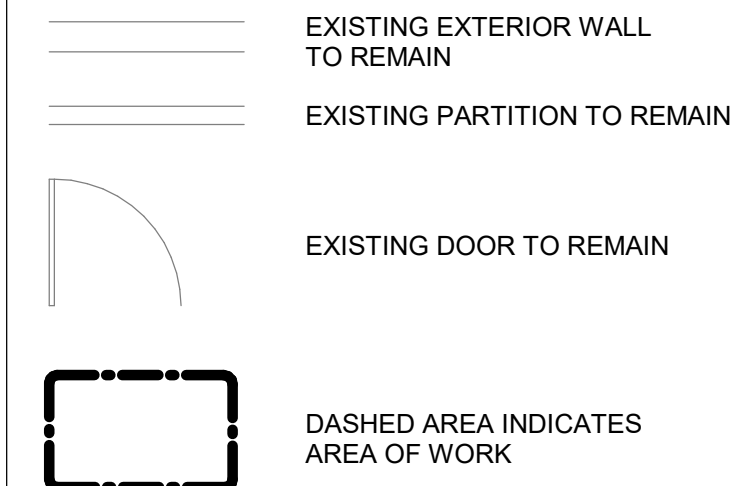


BM 380/122260 - COT TAU Upgrades R2020/122260-TAU-28-103-1904QUEEN-A-R20.v1  
1/10  
1/10





### DEMOLITION KEY LEGEND



### DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

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D	ADDENDUM 2	2023-01-11

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**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE

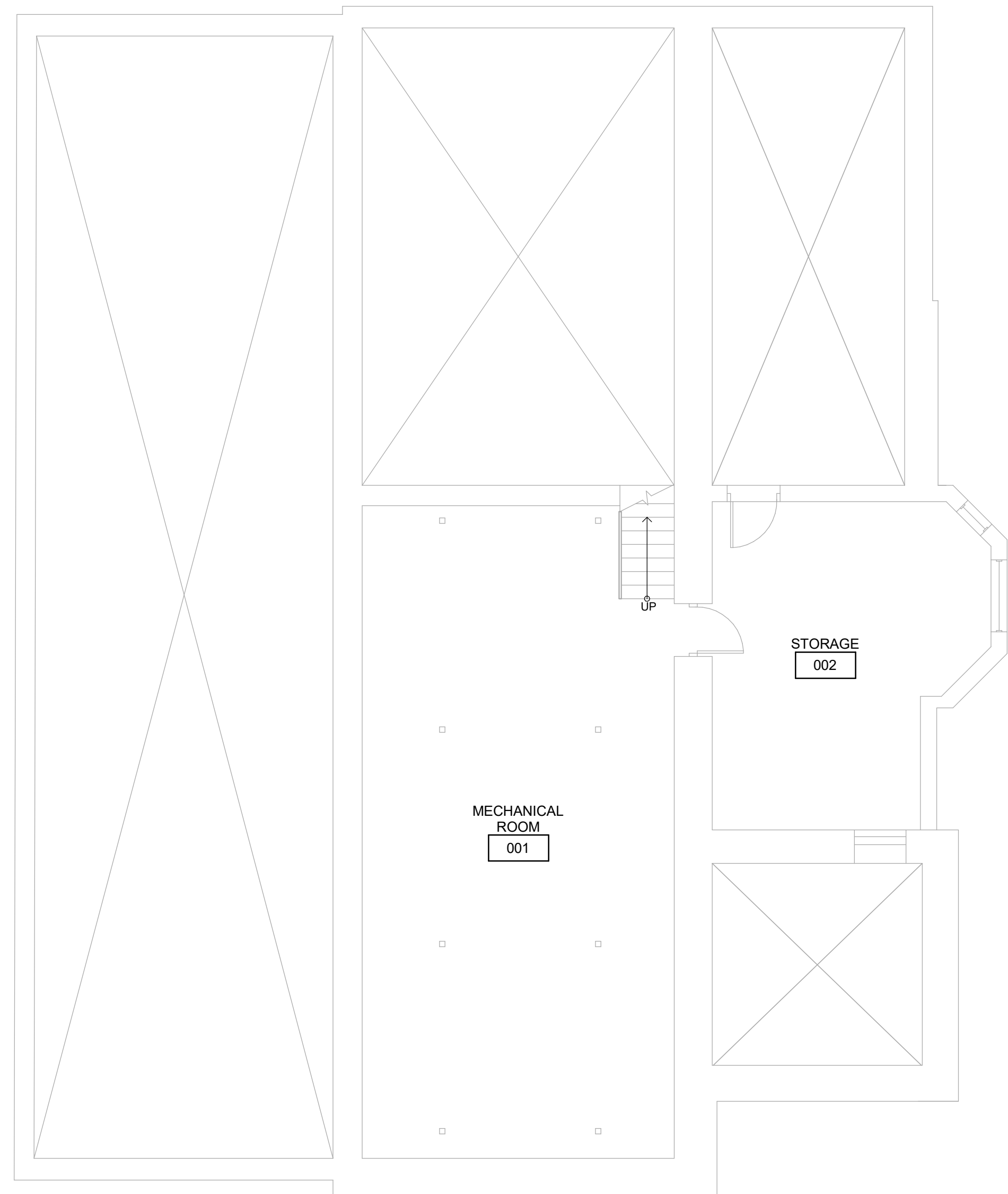
**BASEMENT & FIRST  
FLOOR DEMOLITION  
PLAN**

SHEET NUMBER

**G28-103-A2101**

ISSUE

**D**



REMOVE EXISTING DIRECTIONAL LIGHT TO BE RELOCATED. REFER TO A2401 FOR NEW LOCATION

REMOVE AND RELOCATE RADIATOR. REFER TO MECHANICAL DWGS.

REMOVE EXISTING ELECTRICAL PANELS TO BE RELOCATED. REFER TO ELECTRICAL DWGS.

CUT 150mm DIAMETER OPENING TROUGH EXTERIOR WALL FOR EXHAUST DUCT. REFER TO MECHANICAL DWGS.

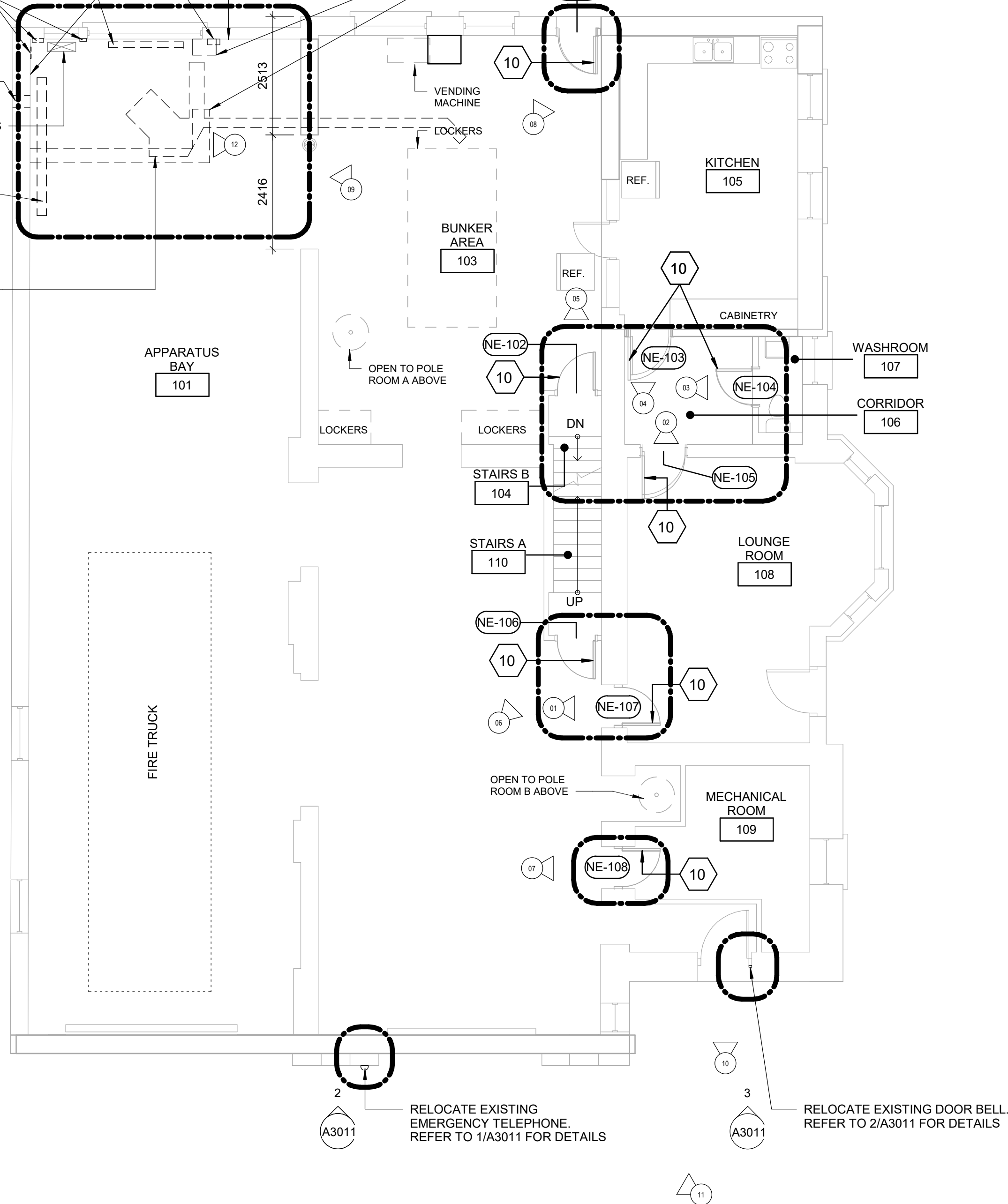
EXISTING DUCT TO REMAIN. REFER TO MECHANICAL DWGS.

REMOVE & RELOCATE BUNKER GEAR RACK

TRENCH EXISTING CONCRETE SLAB ON GRADE FOR NEW FLOOR DRAIN IN WASHROOM. REFER TO MECHANICAL DWGS. FOR EXTENT OF TRENCHING REQUIRED

DEMOLISH AND DISPOSE OF EXISTING WALL TILES TO THE EXTENT OF THE NEW UNIVERSAL WASHROOM. PREP SURFACE TO RECEIVE NEW TILES

REMOVE EXISTING SLAB ON GRADE FOR CONCRETE FLOOR THICKENING. REFER TO STRUCTURAL DRAWINGS







DEMOLITION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

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No.	DESCRIPTION	DATE
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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 227  
1904 QUEEN ST. E.

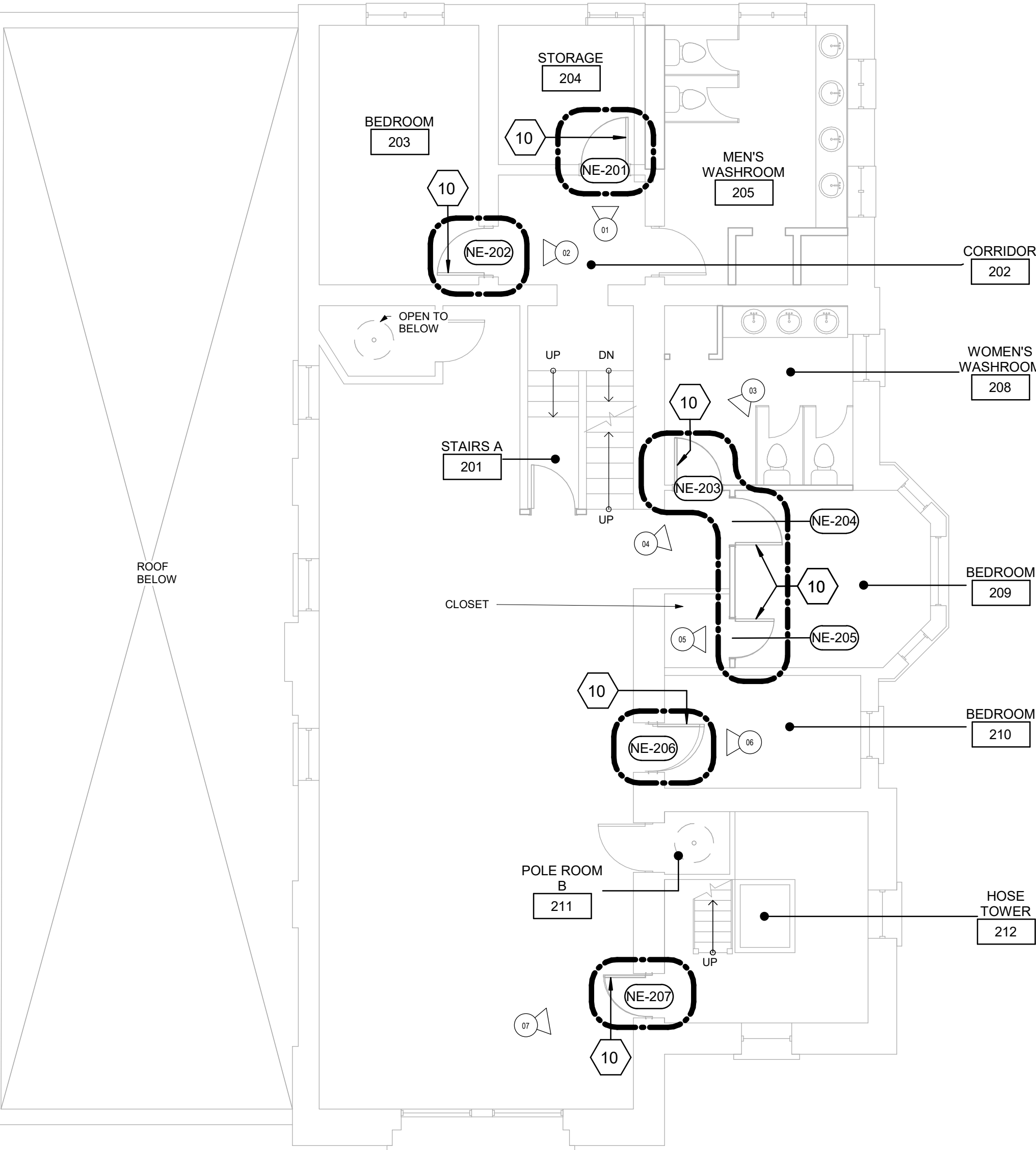
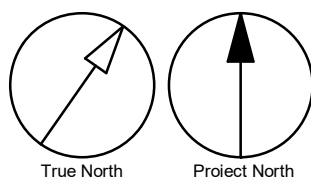
PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

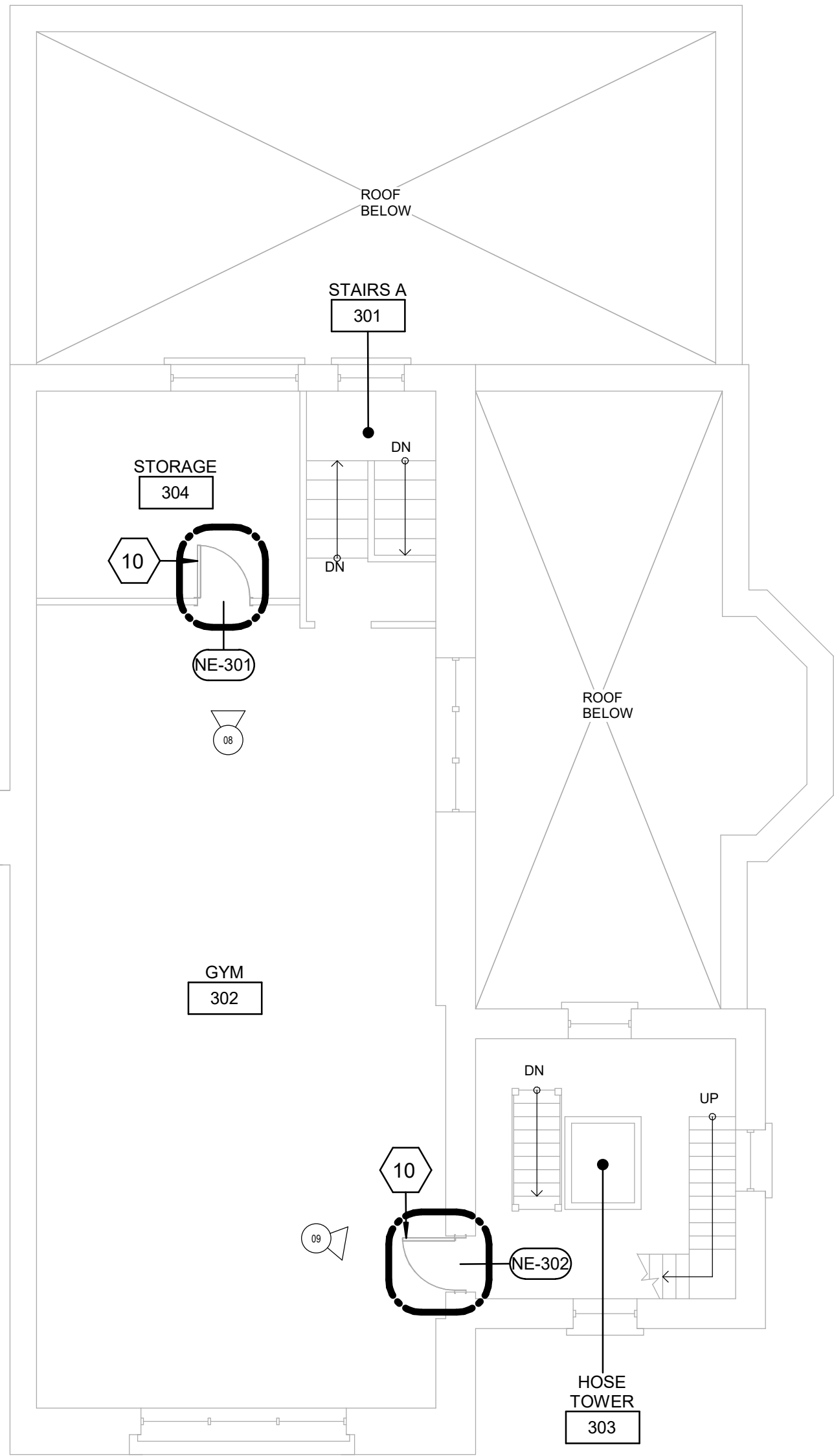
SHEET TITLE  
SECOND & THIRD FLOOR  
DEMOLITION PLAN

SHEET NUMBER  
G28-103-A2121

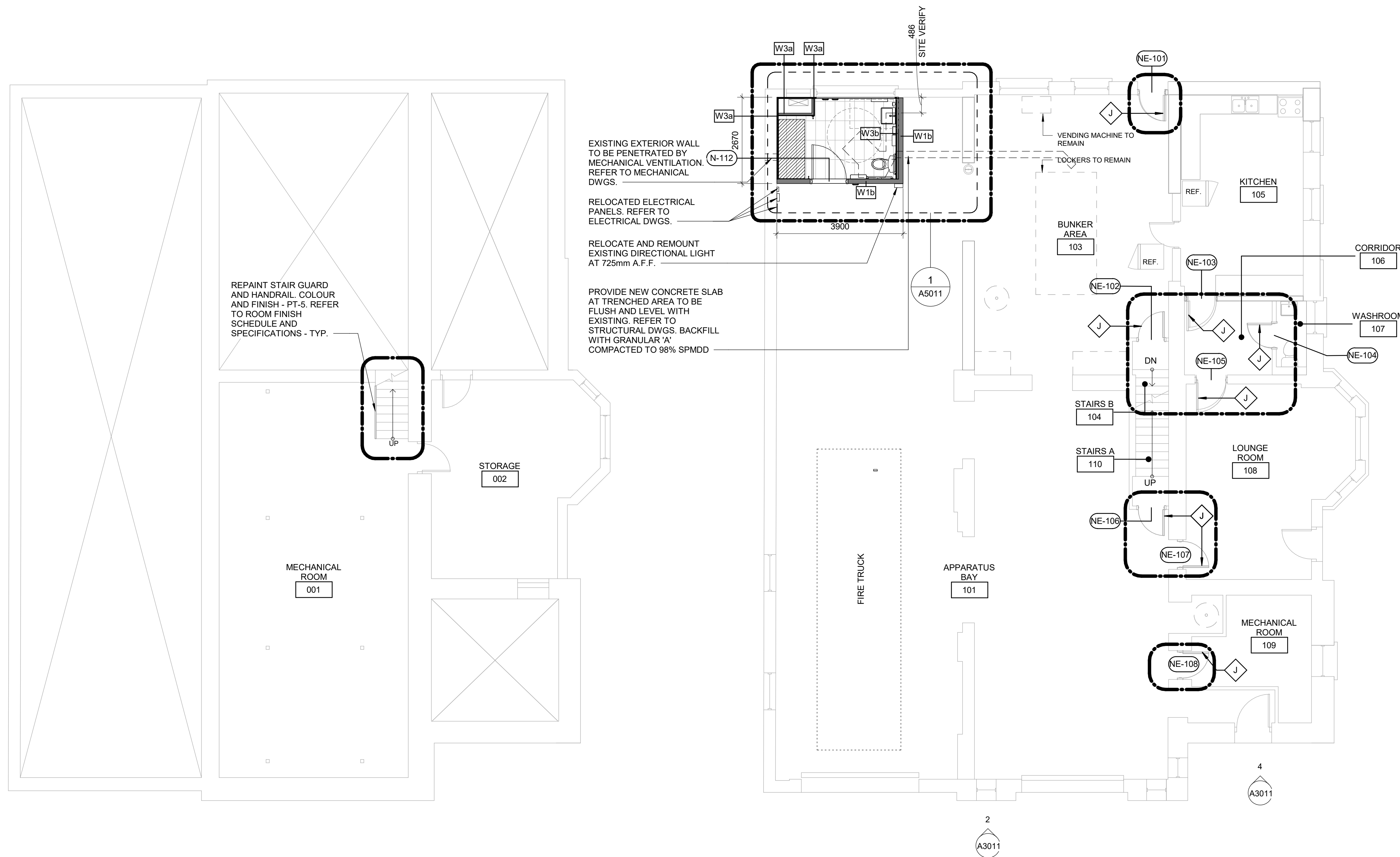
ISSUE  
C



1 SECOND FLOOR - DEMOLITION PLAN  
A2121 Scale: 1 : 75









2 THIRD FLOOR - DEMOLITION PLAN  
A2121 Scale: 1 : 75



1 BASEMENT - PROPOSED PLAN  
A2401 Scale: 1 : 75

2 FIRST FLOOR - PROPOSED PLAN  
A2401 Scale: 1 : 75

### CONSTRUCTION KEY LEGEND

- |   |  |
|---|--|
|  | EXISTING EXTERIOR WALL TO REMAIN             |
|  | EXISTING PARTITION TO REMAIN                 |
|  | NEW PARTITION<br>REFER TO PARTITION SCHEDULE |
|  | EXISTING DOOR TO REMAIN                      |
|  | NEW DOOR AND/ OR<br>NEW HARDWARE             |
|  | DASHED AREA INDICATES<br>AREA OF WORK        |

## CONSTRUCTION GENERAL NOTES

- |   |   |
|---|---|
| 1 | NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET. |
|---|---|

## CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION  |
|----|--|
| J  | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

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PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 227  
1904 QUEEN ST. E.

PROJECT NO:  
9119-19-0162 / IBI 122260

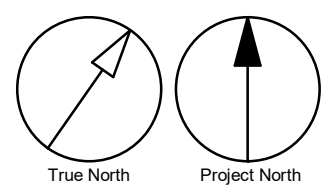
DRAWN BY: <b>A. HOLDER</b>	CHECKED BY: <b>K. TILAHUN</b>
-------------------------------	----------------------------------

PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>
-------------------------------------	----------------------------------

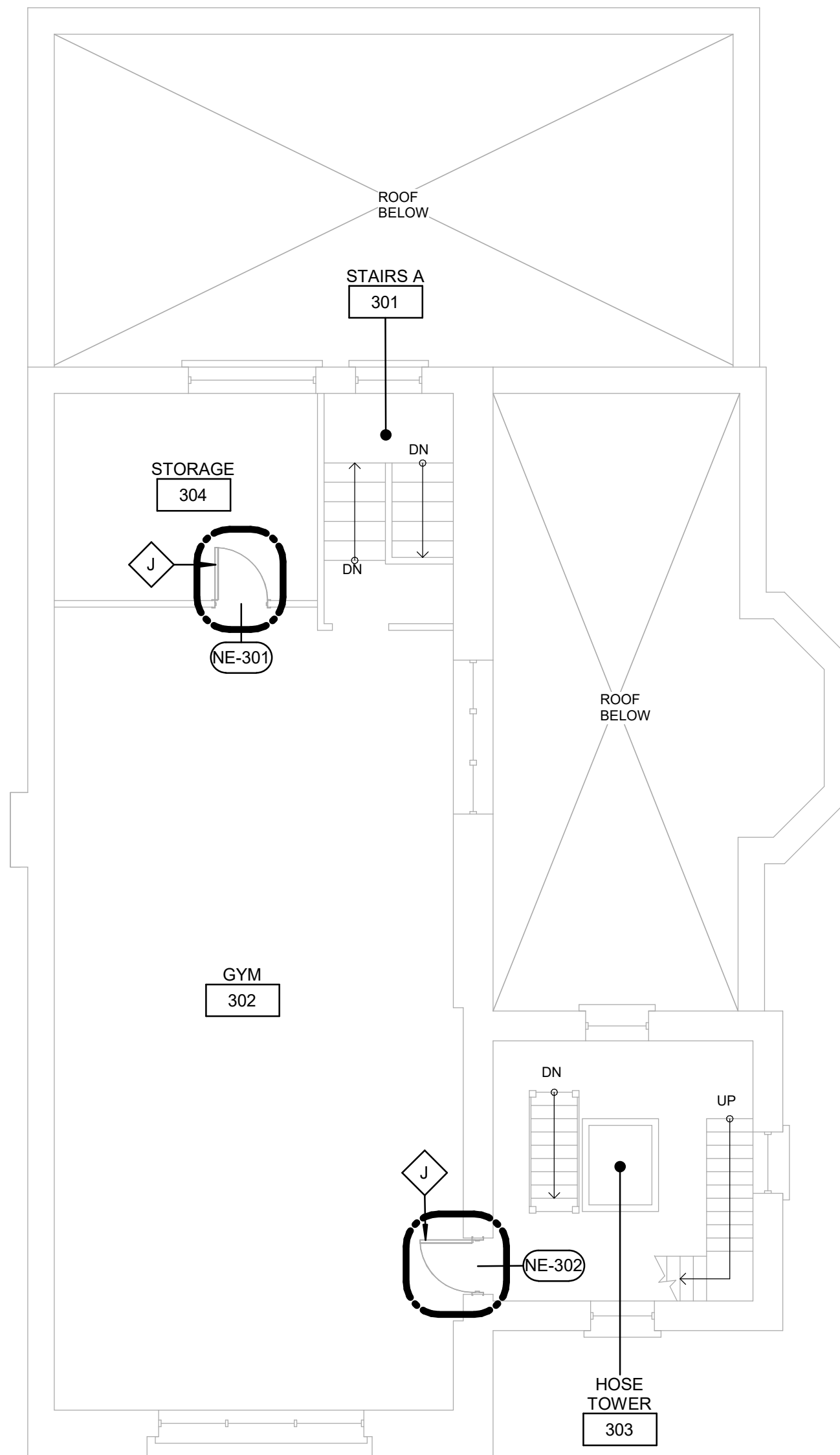
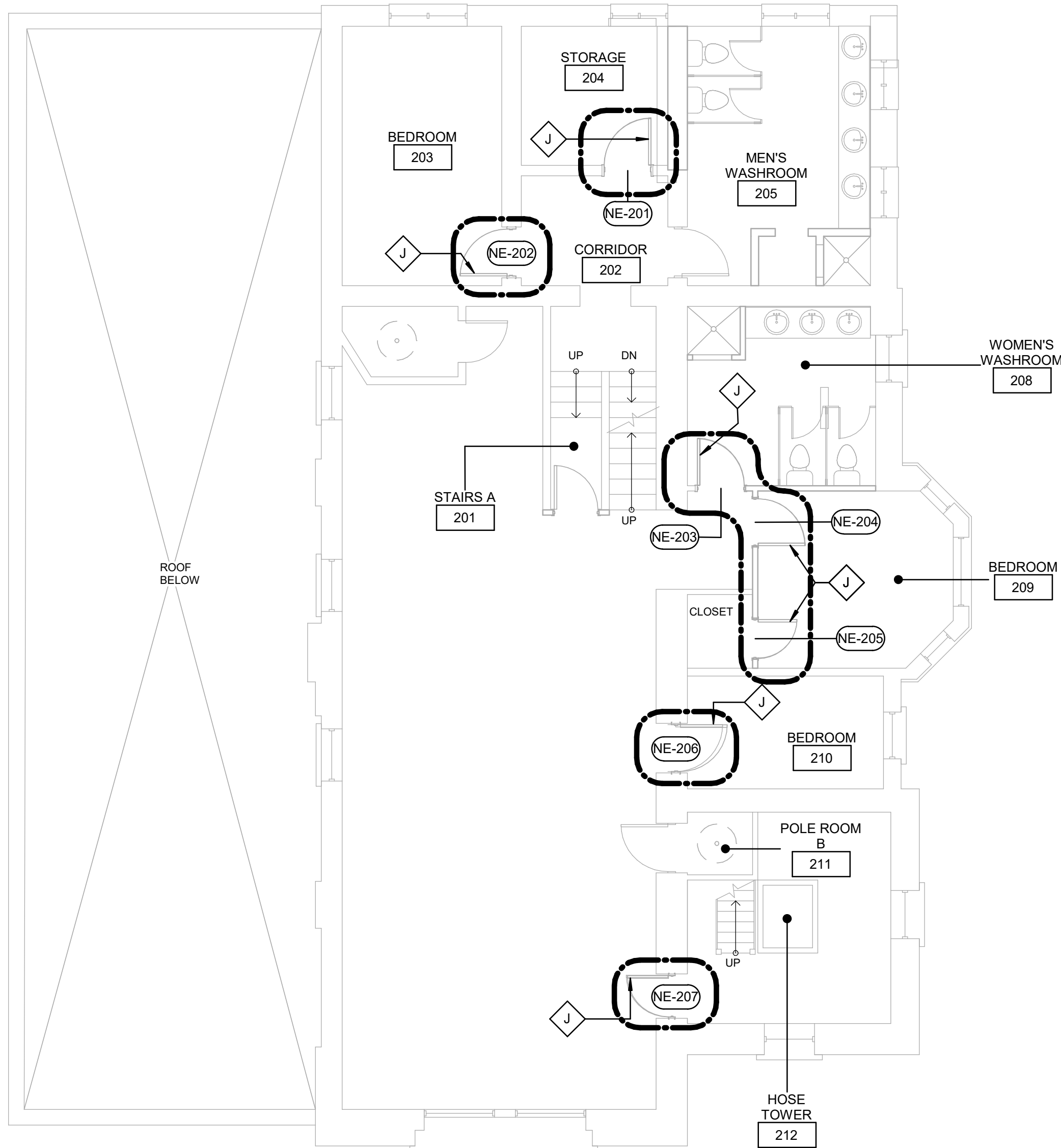
SHEET TITLE  
BASEMENT & FIRST  
FLOOR PROPOSED PLAN

SHEET NUMBER	I
G28-103-A2401	

SSUE  
D







#### CONSTRUCTION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN
	DASHED AREA INDICATES AREA OF WORK

#### CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FIRE HALL NO. 227  
1904 QUEEN ST. E.**

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

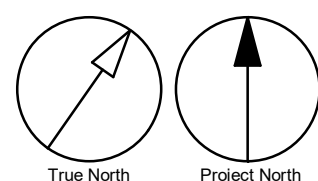
SHEET TITLE  
**SECOND & THIRD FLOOR  
PROPOSED PLAN**

SHEET NUMBER

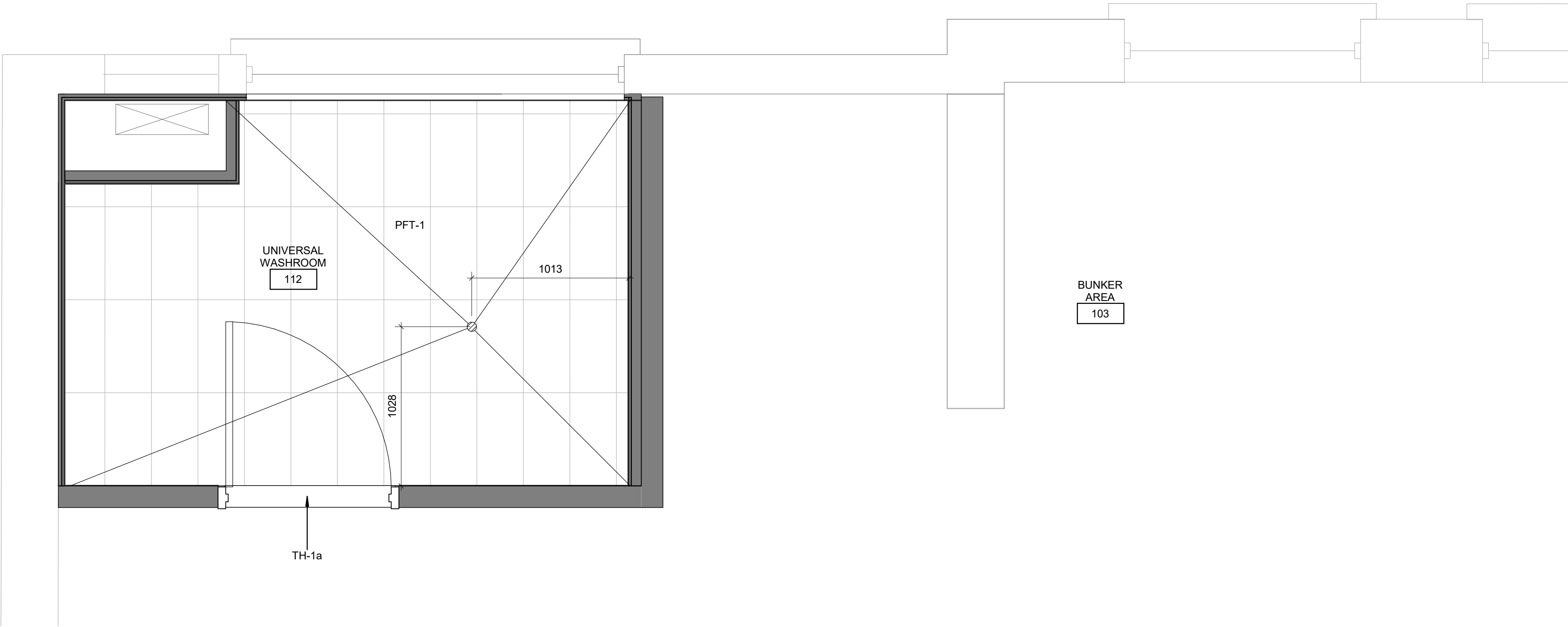
**G28-103-A2421**

ISSUE

**C**







FLOOR FINISHES LEGEND



FLOOR FINISH GENERAL NOTES

- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
- CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

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PROJECT TITLE

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ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

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1904 QUEEN ST. E.**

PROJECT NO:

9119-19-0162 / IBI 122260

DRAWN BY:

**A. HOLDER**

CHECKED BY:

**K. TILAHUN**

PROJECT MGR:

**F. BOLOURIAN**

APPROVED BY:

**E. FENUA**

SHEET TITLE

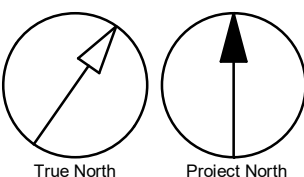
**FIRST FLOOR FLOOR  
FINISH PLAN**

SHEET NUMBER

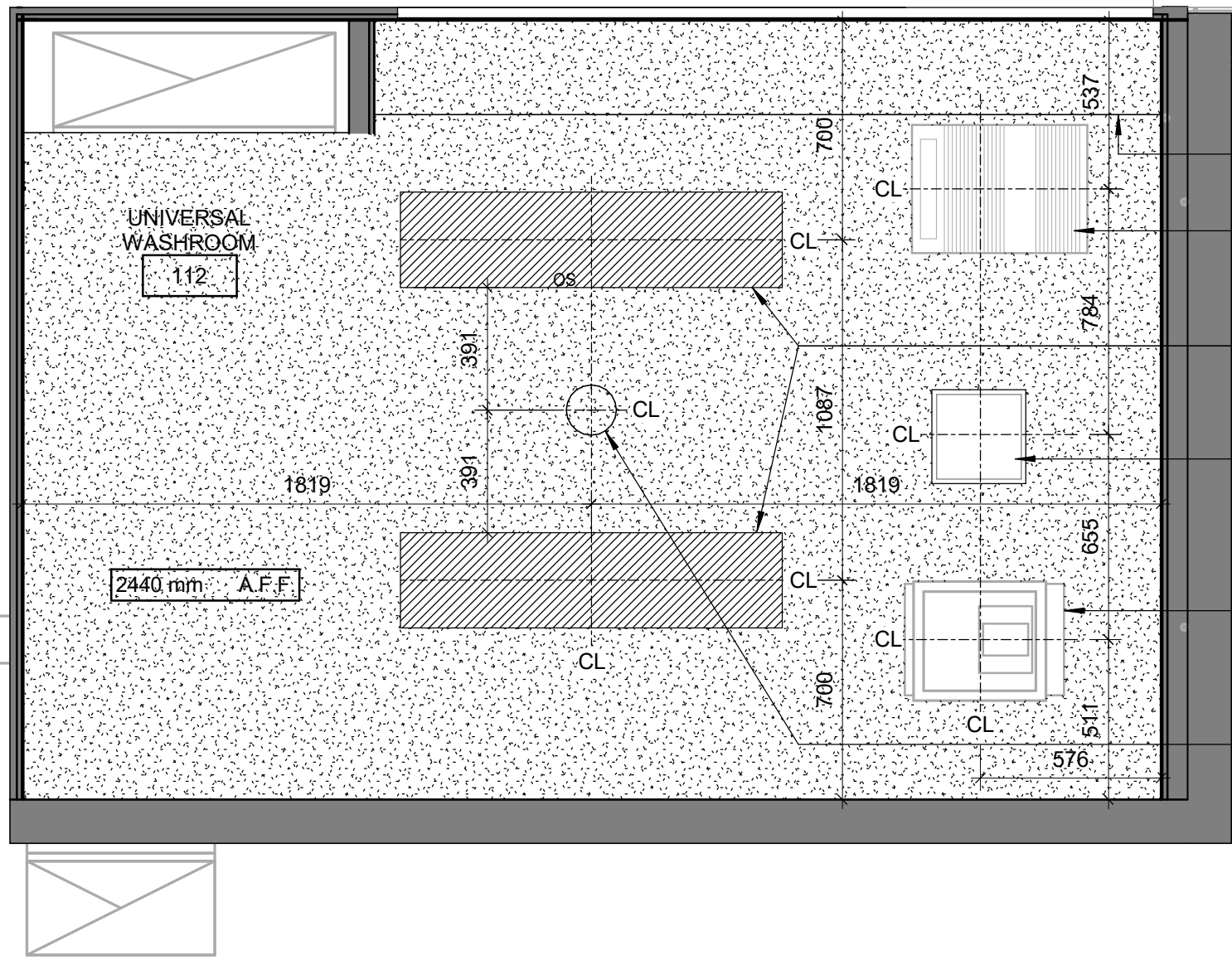
**G28-103-A2611**

ISSUE

**D**







BULKHEAD. REFER TO 2/A2811.

CEILING MOUNTED ELECTRIC HEATER. REFER TO MECH DWGS.

ELECTRICAL FIXTURES. REFER TO ELEC DWGS.

300mm X 300mm ACCESS PANEL

MECHANICAL EXHAUST FAN. REFER TO MECH DWGS.

OCCUPANCY SENSOR REFER TO ELEC DWGS.

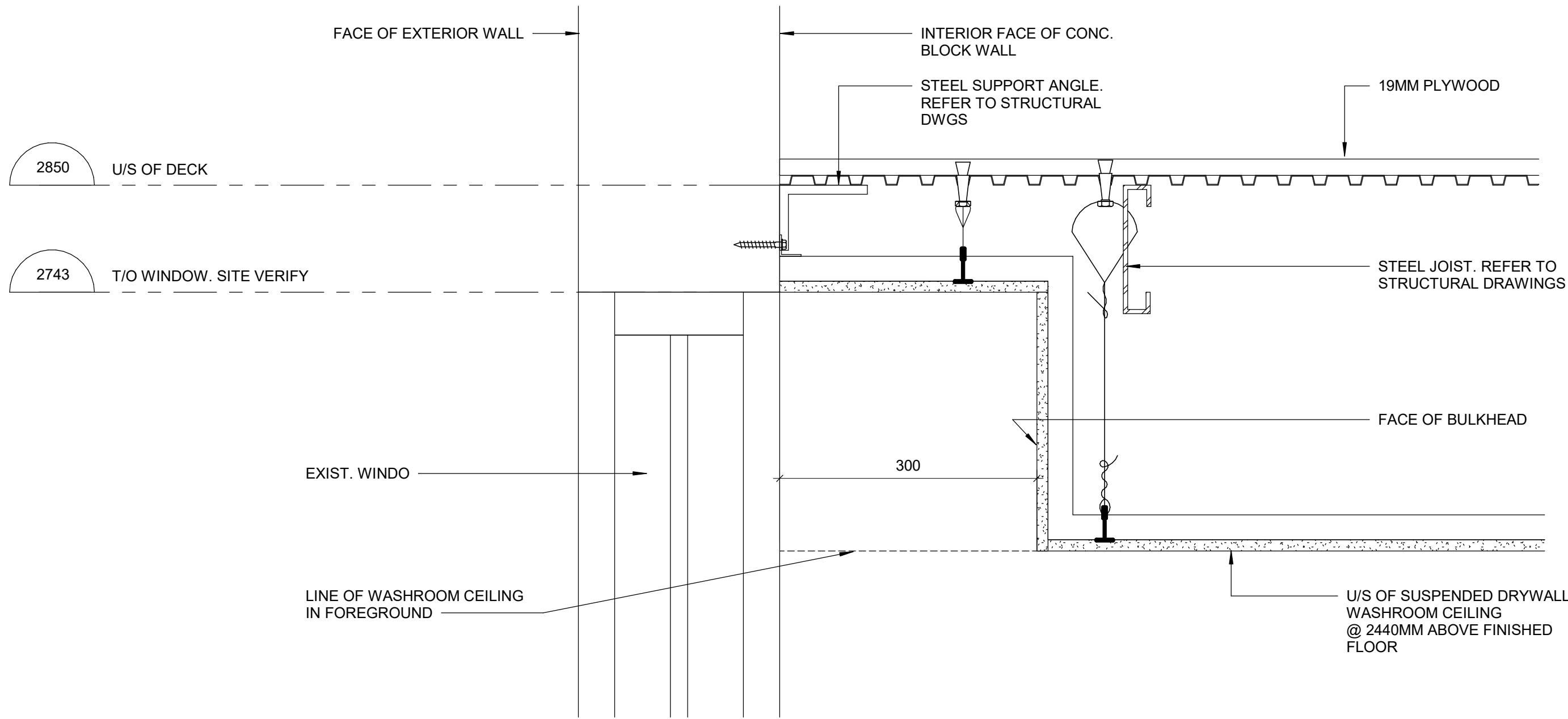
CEILING LEGEND

- GYPSUM BOARD CEILING AND BULKHEAD
- SUPPLY / RETURN DUCT
- CEILING, PENDANT OR WALL MOUNTED LUMINAIRE

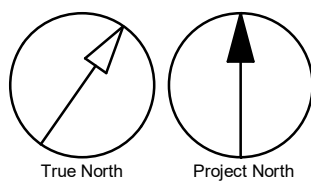
CEILING GENERAL NOTES

- 1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

1 BARRIER FREE WASHROOM - PROPOSED RCP  
A2811 Scale: 1 : 20



2 NEW BULKHEAD - SECTIONAL DETAIL  
A2811 Scale: 1 : 5



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B	ISSUED FOR TENDER	2022-11-01
C	ADDENDUM 1	2022-11-04

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 227  
1904 QUEEN ST. E.

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE

FIRST FLOOR  
REFLECTED CEILING  
PLAN

SHEET NUMBER

G28-103-A2811

ISSUE

C



1 ELEVATION 1 - EXISTING EMERGENCY PHONE LOCATION  
A3011 Scale: 1 : 20

2 ELEVATION 2 - EXISTING EMERGENCY PHONE LOCATION - PROPOSED PLATE  
A3011 Scale: 1 : 20

3 ELEVATION 3 - EXISTING DOOR BELL LOCATION  
A3011 Scale: 1 : 20

4 ELEVATION 4 - NEW DOOR BELL AND PHONE LOCATION  
A3011 Scale: 1 : 20

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**PROJECT TITLE**

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**PROJECT ADDRESS**

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1904 QUEEN ST. E.

**PROJECT NO:**  
9119-19-0162 / IBI 122260

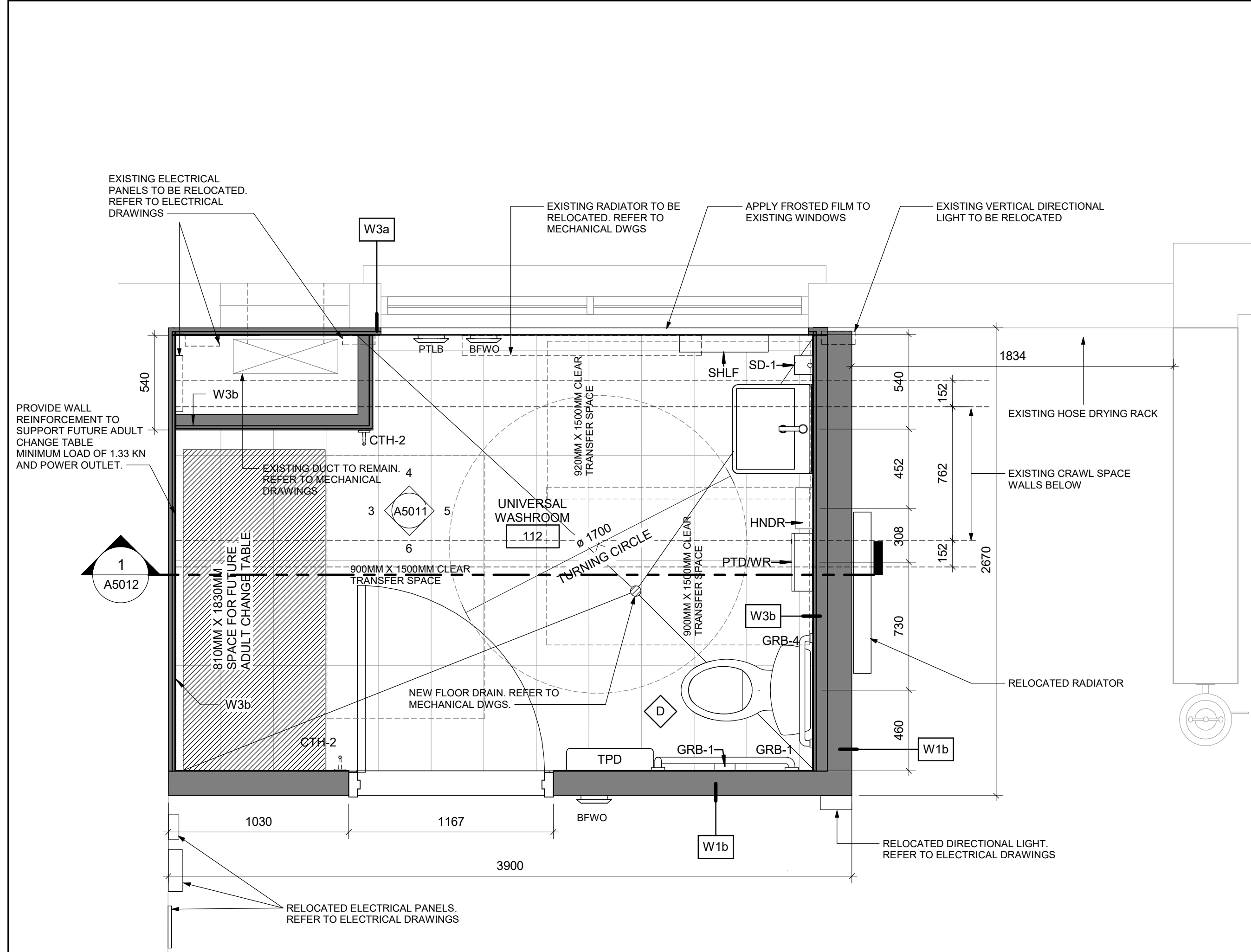
<b>DRAWN BY:</b> A. HOLDER, A. KYASNIUK	<b>CHECKED BY:</b> K. TILAHUN
<b>PROJECT MGR:</b> F. BOLOURIAN	<b>APPROVED BY:</b> E. FENUTA

**SHEET TITLE**

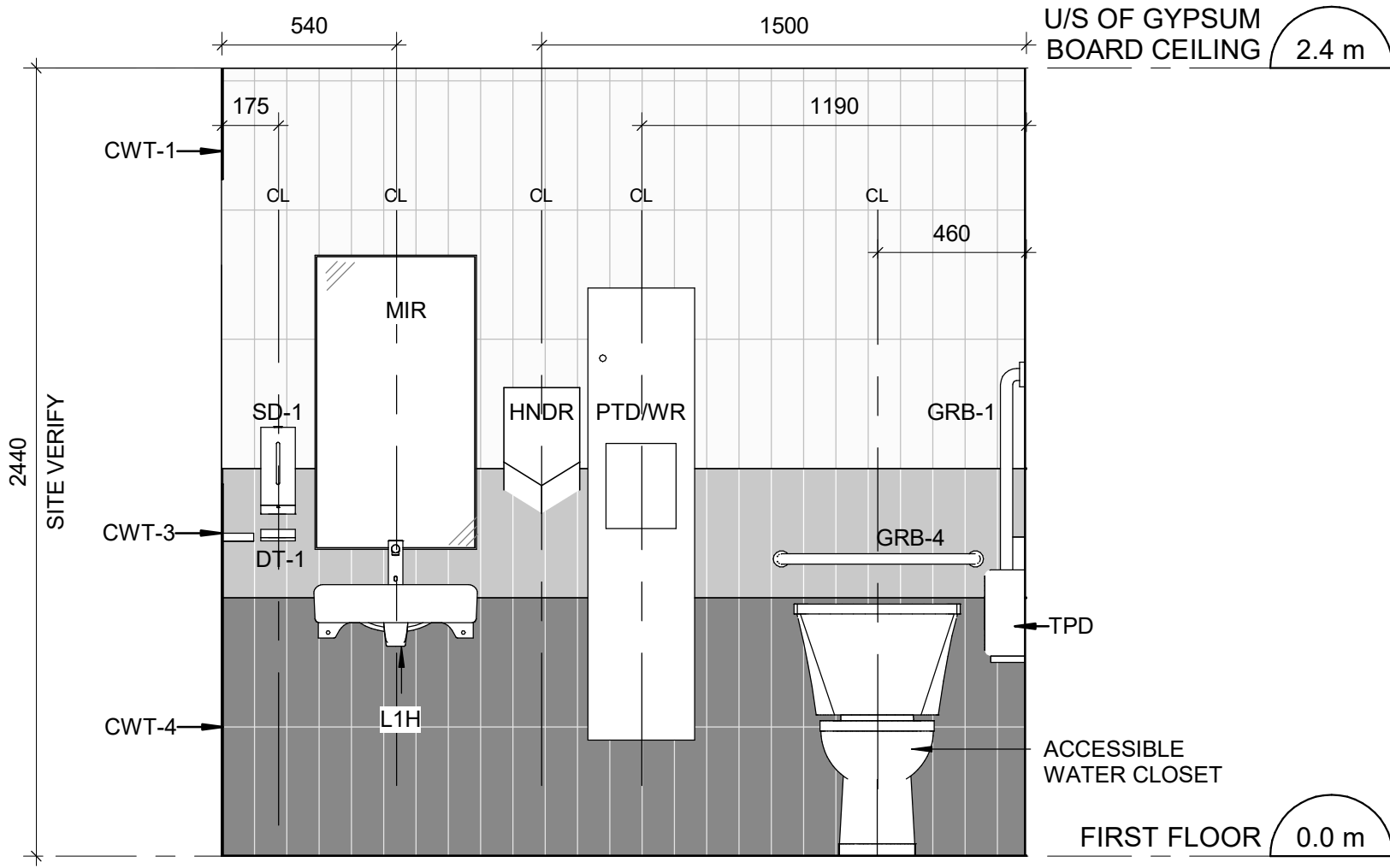
BUILDING ELEVATIONS

<b>SHEET NUMBER</b>	<b>ISSUE</b>
G28-103-A3011	C

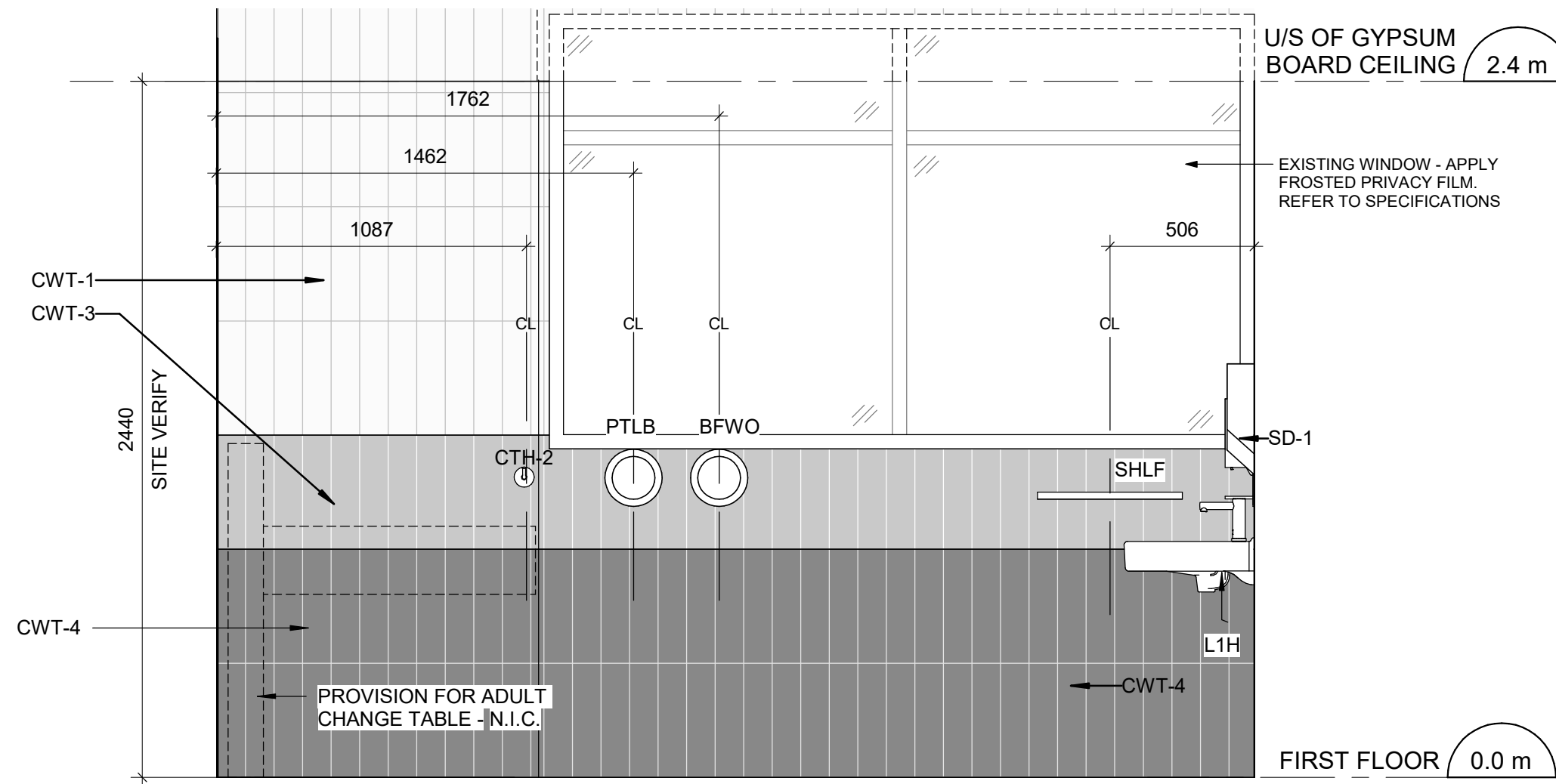




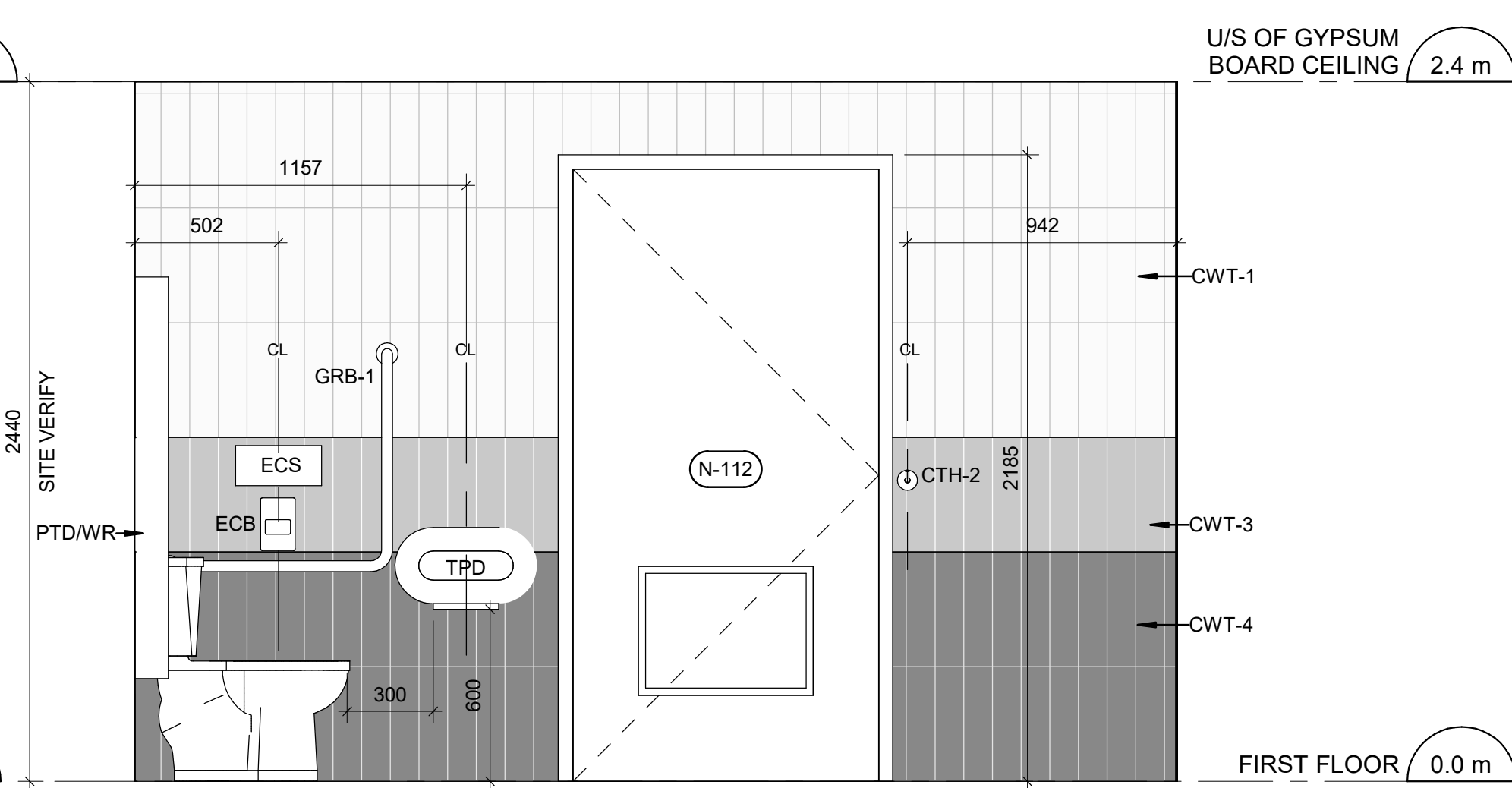
1 UNIVERSAL WASHROOM ENLARGED PLAN  
A5011 Scale: 1 : 20



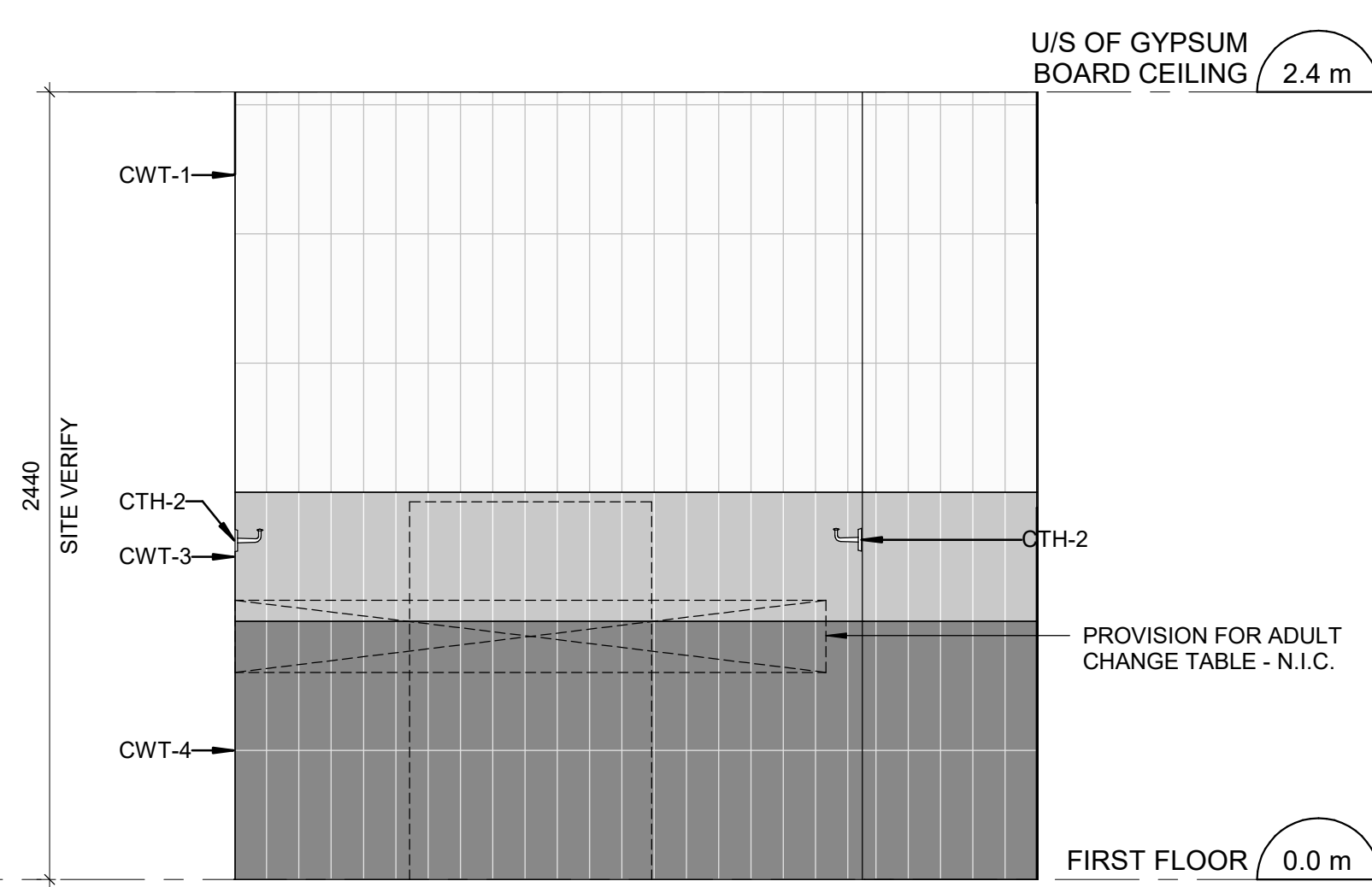
5 UNIVERSAL WASHROOM - EAST ELEVATION  
A5011 Scale: 1 : 20



4 UNIVERSAL WASHROOM - NORTH ELEVATION  
A5011 Scale: 1 : 20



6 UNIVERSAL WASHROOM - SOUTH ELEVATION  
A5011 Scale: 1 : 20



3 UNIVERSAL WASHROOM - WEST ELEVATION  
A5011 Scale: 1 : 20

### CONSTRUCTION KEY NOTES

NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.

### WASHROOM GENERAL NOTES

- 1 ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.

### UNIVERSAL WASHROOM GENERAL NOTES

- 1 MOISTURE RESISTANT GYPSUM BOARD TO BE PROVIDED IN ALL WASHROOMS AND LOCKER ROOMS
- 2 PROVIDE WALL REINFORCEMENT TO SUPPORT FUTURE ADULT CHANGE TABLE MINIMUM LOAD OF 1.33 kN AND POWER OUTLET

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D	ADDENDUM 1	2022-11-04
E	ADDENDUM 2	2023-01-11

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PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FIRE HALL NO. 227  
1904 QUEEN ST. E.**

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY:  
**A. HOLDER**

CHECKED BY:  
**K. TILAHUN**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE

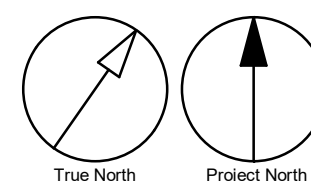
**WASHROOM  
PLANS/ELEVATIONS**

SHEET NUMBER

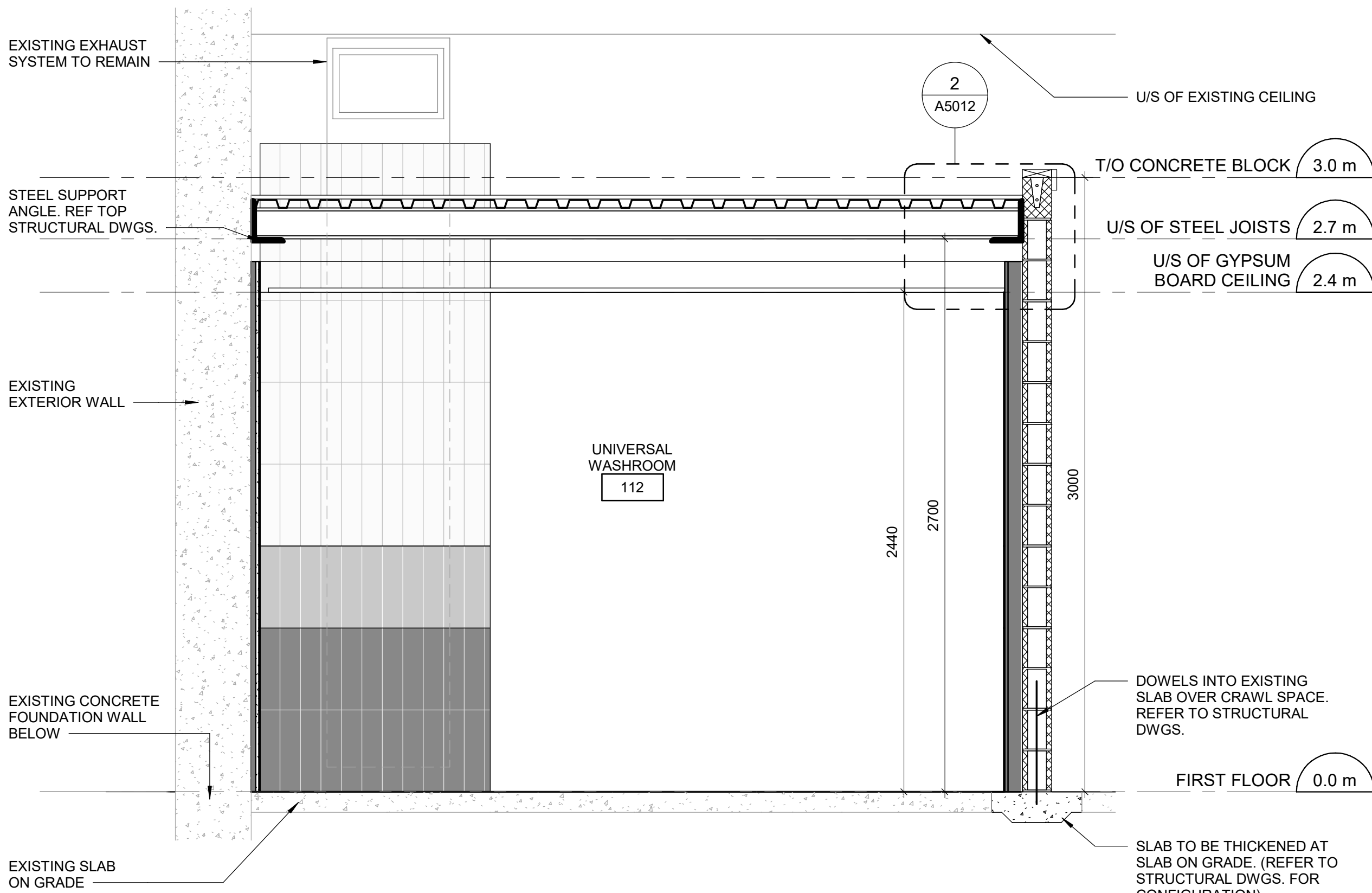
**G28-103-A5011**

ISSUE

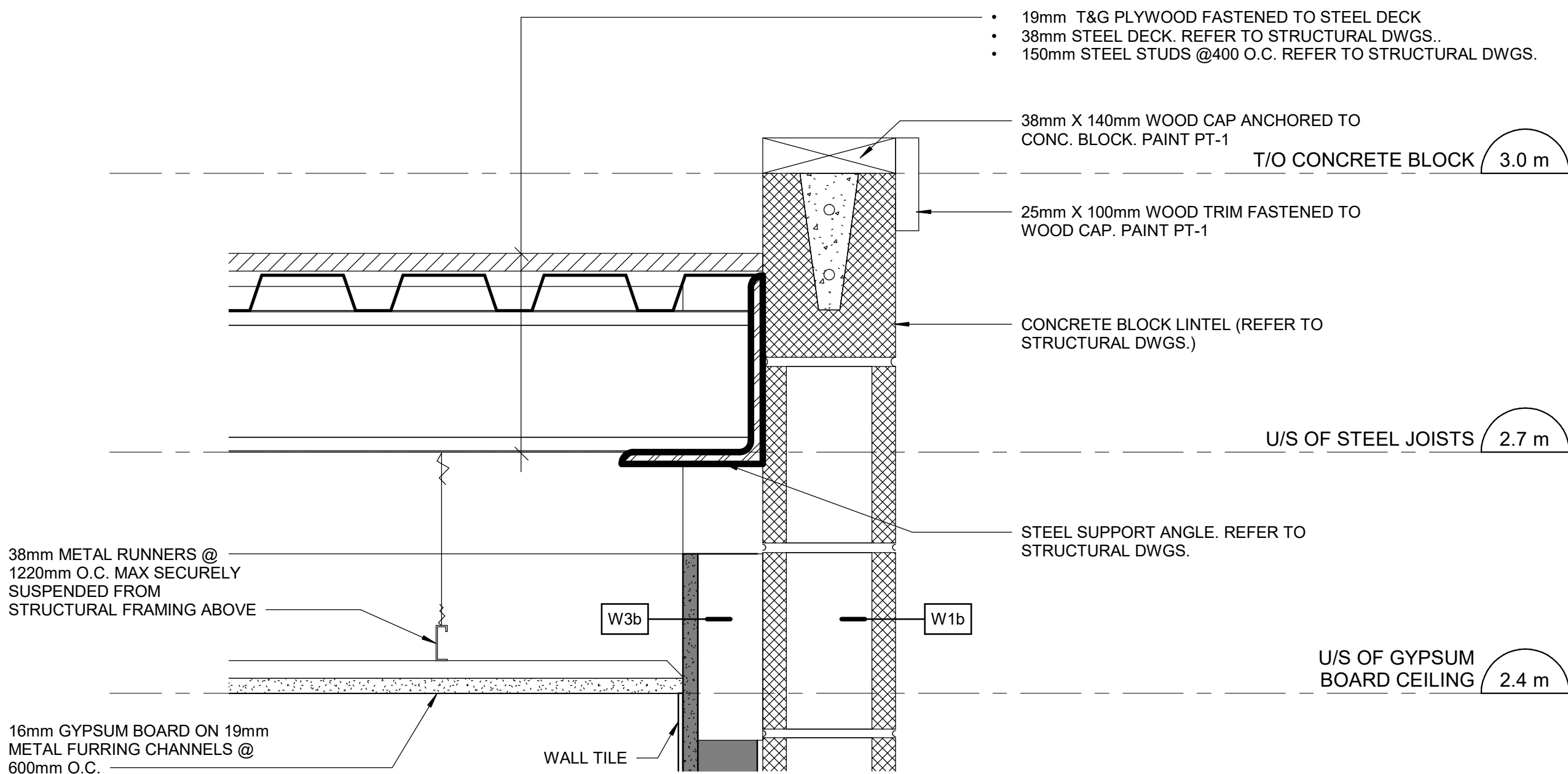
**E**







1 UNIVERSAL WASHROOM - SECTION  
A5012 Scale: 1 : 20



2 WALL SECTION DETAIL  
A5012 Scale: 1 : 5

ISSUES		
No.	DESCRIPTION	DATE
A	ADDENDUM 1	2022-11-04

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DRAWN BY: <b>A. KVASNIUK</b>	CHECKED BY: <b>K. TILAHUN</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**WASHROOM SECTION  
AND DETAILS**

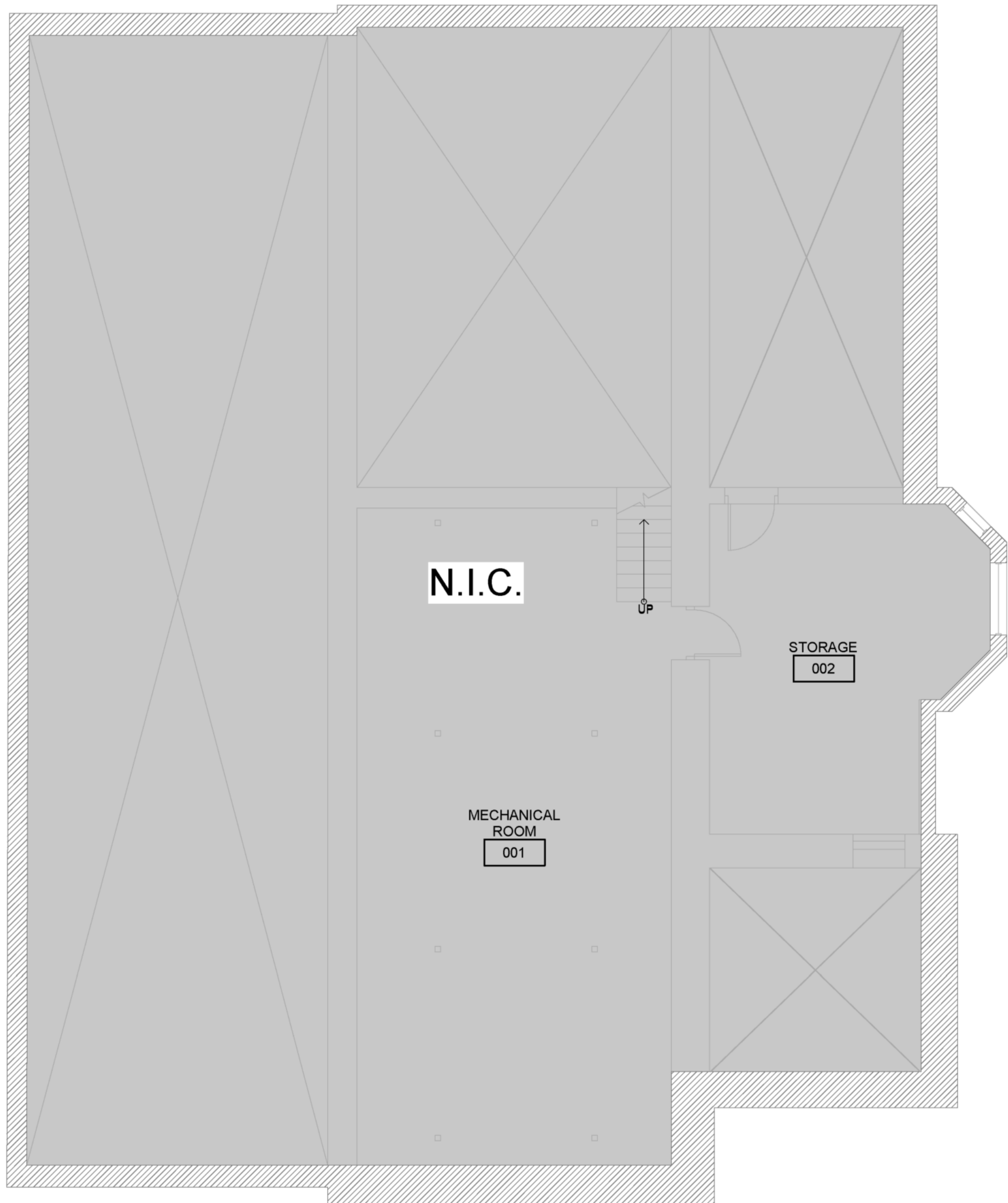
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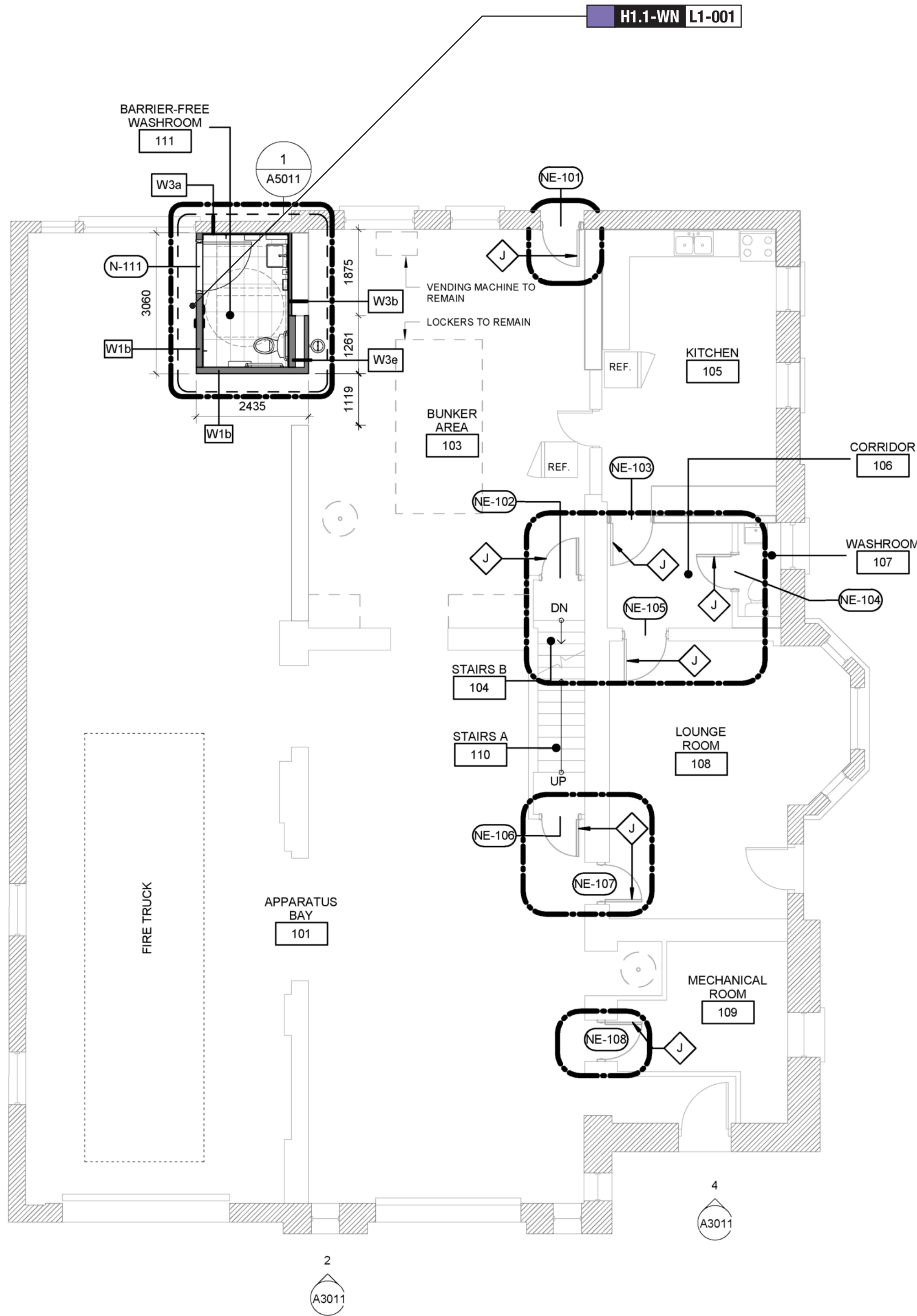
ISSUE

**A**





1 BASEMENT - PROPOSED PLAN - N.I.C.  
A2401 Scale: 1 : 75



2 FIRST FLOOR - PROPOSED PLAN  
A2401 Scale: 1 : 75

#### CONSTRUCTION KEY LEGEND

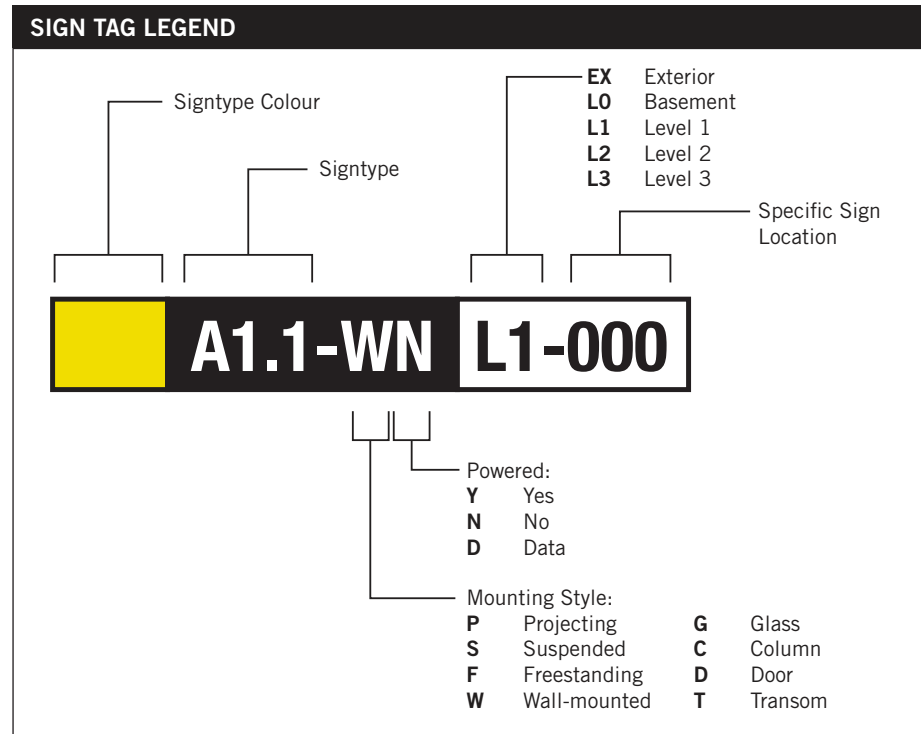
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION  
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR  
NEW HARDWARE
- DASHED AREA INDICATES  
AREA OF WORK

#### CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.

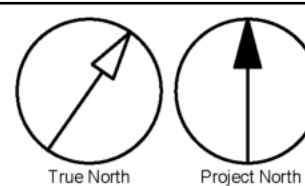
#### CONSTRUCTION KEY NOTES

- NO DESCRIPTION  
J EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



#### SIGN TAG LEGEND

- B LX-000 Directional
- H LX-000 Amenity
- G LX-000 Inside Stair ID
- E LX-000 Room ID
- J LX-000 Entrance
- S LX-000 Stair ID



CLIENT

CITY OF TORONTO

55 John ST.  
TORONTO, ON  
M5V 3C6

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 227  
1904 QUEEN STREET

PROJECT NO:

9119 - 19 - 0162 / IBI 122260

DRAWN BY:

M.LOW

CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
LEVEL 1 LOCATION PLAN

SHEET NUMBER

G28-103-A8010

ISSUE

D



KEYPLAN

L1

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
H1.1	L1	001	Amenity ID	[universal accessible washroom picto] Washroom Braille	

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	0
E2.2	Line Room ID	0
E4	Insert Holder	0
H1.1	Amenity ID	1
H2.1	Projecting Amenity ID	0
J4.2	Accessible Entrance ID - Exterior	0
S1.1	Stair ID - Inside Stairwell	0
S1.2	Stair ID - Corridor Side	0
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		1

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PROJECT TITLE

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FIRE HALL NO. 227  
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APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G28-103-A8100

ISSUE

D

C:\Users\ana.boyanlian\Desktop\TAU-G31-100 QUEEN ST WEST - CITY HALL.rvt

1 of 1

SCALE CHECK



DOOR SCHEDULE															
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFWO/ BFAO	PANIC DEVICE		
FIRST FLOOR															
N-112	UNIVERSAL WASHROOM	A(L)	1067	2135	45	HM	PT3	<-->	HM	PT3	<-->	BFWO	<-->	<-->	NEW BFWO. PROVIDE SIGNAGE WITH TACTILE AND BRAILLE AT ACCESSIBLE HEIGHT. CONFIRM MATERIAL AND FINISH.
NE-101	BUNKER AREA	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-102	BUNKER AREA	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-103	KITCHEN	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-104	WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-105	LOUNGE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-106	STAIRS A	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-107	APPARATUS BAY	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-108	MECHANICAL ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
SECOND FLOOR															
NE-201	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-202	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-203	WOMEN'S WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-204	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-205	BEDROOM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-206		EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-207	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
THIRD FLOOR															
NE-301	GYM	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-302	HOSE TOWER	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE

ROOM FINISH SCHEDULE																			
ROOM NAME	FLOOR		BASE										CEILING						
	MAT.	FIN.	MAT.	FIN.	NORTH		EAST		SOUTH		WEST		MAT.	FIN.	HEIGHT				
					MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.							
Not Placed																			
UNIVERSAL WASHROOM	EXIST	PFT-1	CONC, GB	-	GB		CWT-1, CWT-3, CWT-4		GB	CWT-1, CWT-3, CWT-4		CONC.	CWT-1, CWT-3, CWT-4		GB	PT-2	2440		
FIRST FLOOR																			
BUNKER AREA	EXIST	EXIST	EXIST, CONC	EXIST, CS-1	EXIST, CONC		EXIST, PT-3		EXIST	EXIST		EXIST	EXIST, BRICK VENEER, CONC		PT-3		EXIST	EXIST	EXIST

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CS-1	ACRYLIC CONCRETE CURING AND SEALING COMPOUND	-	-	AS SPECIFIED IN DRAWINGS	VOCOMP-25	W.R. MEADOWS	
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EWF-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm(12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	MEETS DCOF	STONE TILE	SHOWER FLOOR TILE
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS UPPERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS LOWERS
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILING
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
PT-5	PAINT	BLACK BEAUTY 2128-10	FLAT	N/A		BENJAMIN MOORE	
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS

NOTE:  
- PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE.  
- PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.

DOOR SCHEDULE GENERAL NOTES

- 1
- DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
- 2
- REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
- 3
- REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

DOOR ABBREVIATIONS

*	DENOTES YES
ALUM	ALUMINUM
ANOD	ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFWO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
EXIST	EXISTING
FBM	FINGER BIOMETRIC
GWB	GYPSUM WALL BOARD
GWG	GEORGIAN WIRE GLASS
HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
ITGL	INSULATED TEMPERED (SAFETY) GLASS
KP	KEY PAD
OBM	OCULAR BIOMETRIC
PF	PRE FINISHED
PLAM	PLASTIC LAMINATE
PT	PAINT
SIM	SIMILAR
SS	STAINLESS STEEL
TGL	TEMPERED GLASS
WD	WOOD

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
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No.	DESCRIPTION	DATE
A	90% SUBMISSION	2022-01-04
B	ISSUED FOR TENDER	2022-11-01
C	ADDENDUM 1	2022-11-04

CONSULTANTS

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 227  
1904 QUEEN ST. E.

PROJECT NO:

9119-19-0162 / IBI 122260

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SHEET TITLE

DOOR AND ROOM FINISH  
SCHEDULES

SHEET NUMBER

G28-103-A9001

ISSUE

C