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ACCESSIBILITY UPGRADES

PROJECT ADDRESS

WEST SCARBOROUGH  
COMMUNITY CENTER  
313 PHARMACY AVE.

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY:  
G. POULOU

CHECKED BY:  
T. MYSOREWALA

PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
K. ANGER

SHEET TITLE

DRAWING LIST

SHEET NUMBER

G28-184-S0001

ISSUE

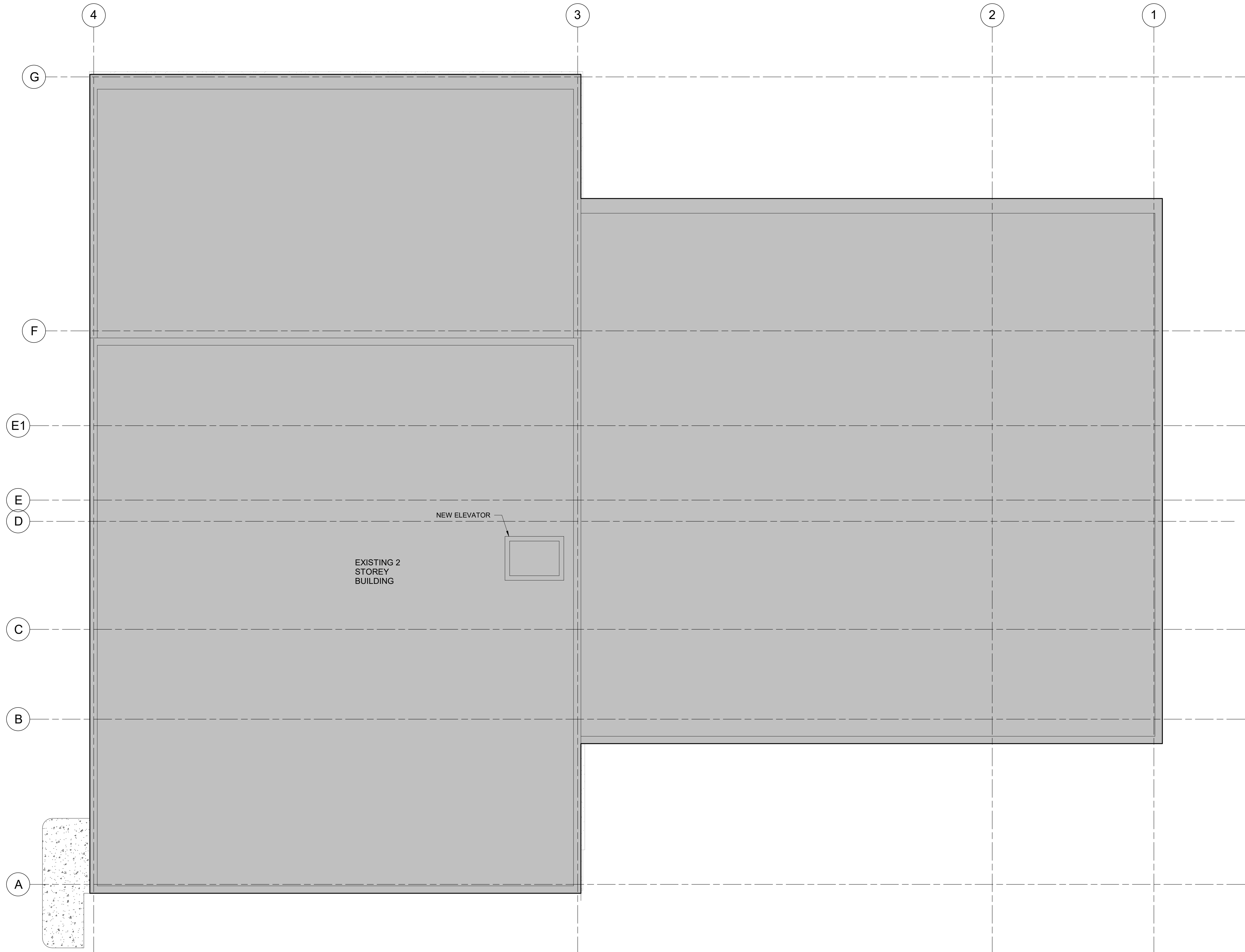
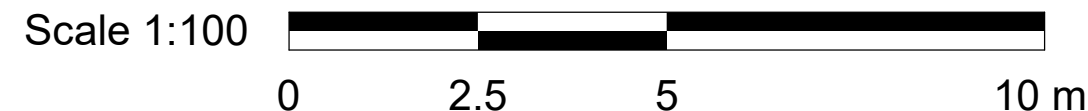
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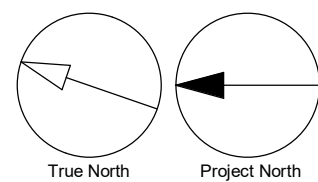
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2023-01-31 3:06:09 AM



1 SITE PLAN  
S1201 Scale: 1 : 100



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PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>K. ANGER</b>

SHEET TITLE  
**SITE PLAN**

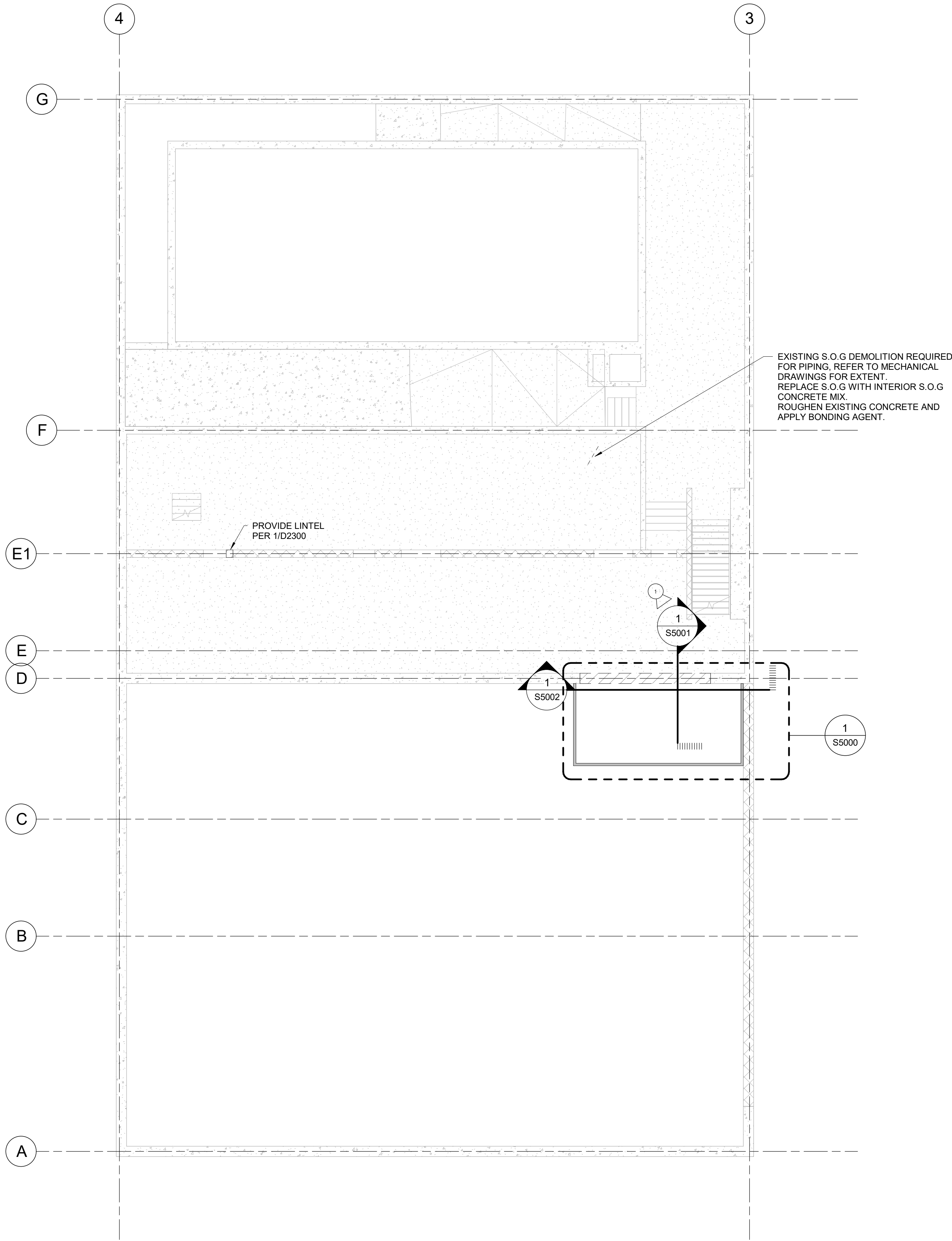
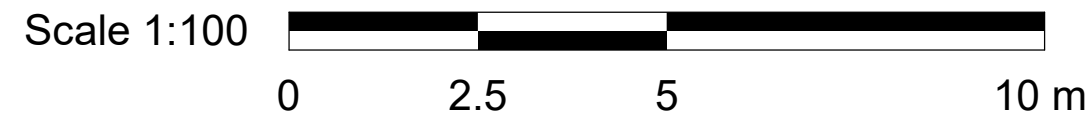
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10mm

SCALE CHECK  
1 m

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1 BASEMENT FLOOR PLAN  
S2000 Scale: 1 : 100

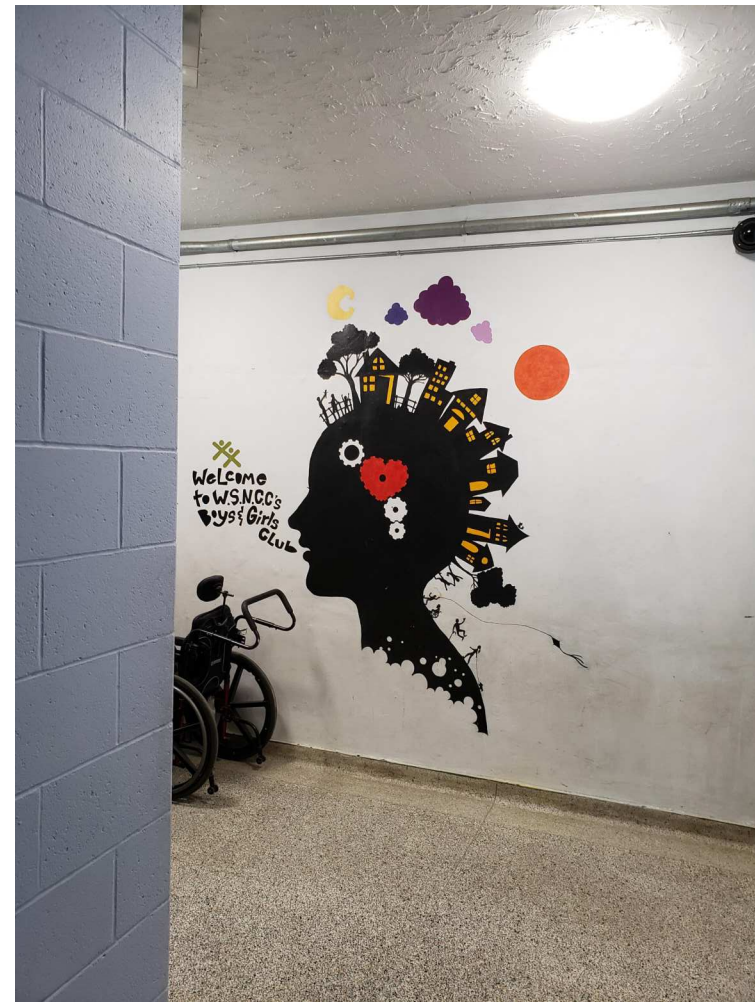
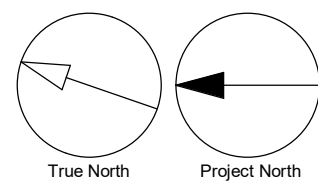



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PROJECT NO:  
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DRAWN BY:  
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SHEET TITLE

BASEMENT DEMOLITION  
PLAN

SHEET NUMBER

G28-184-S2000

ISSUE

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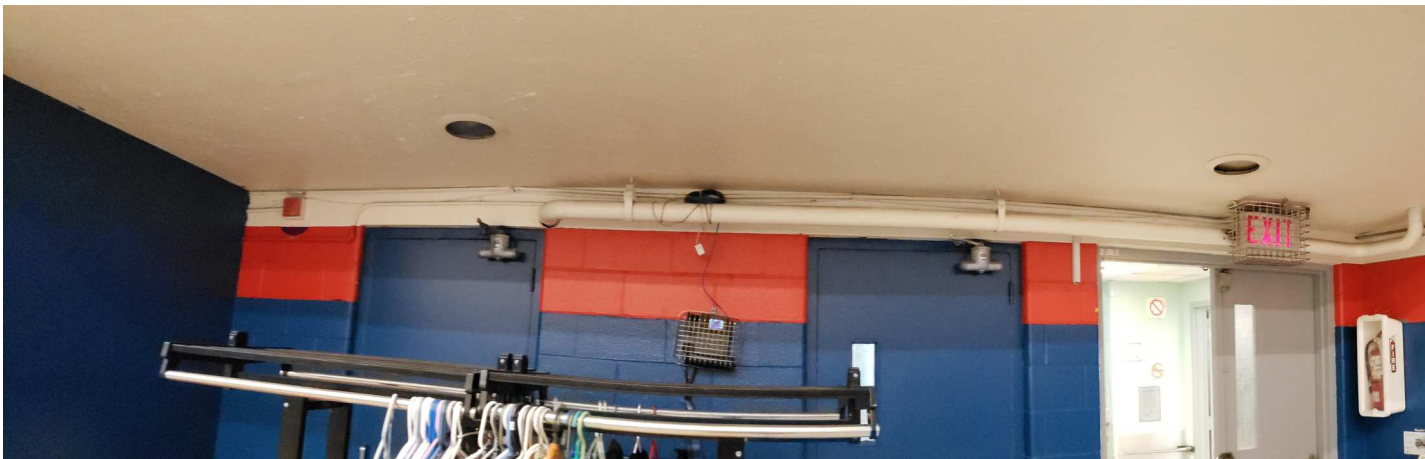
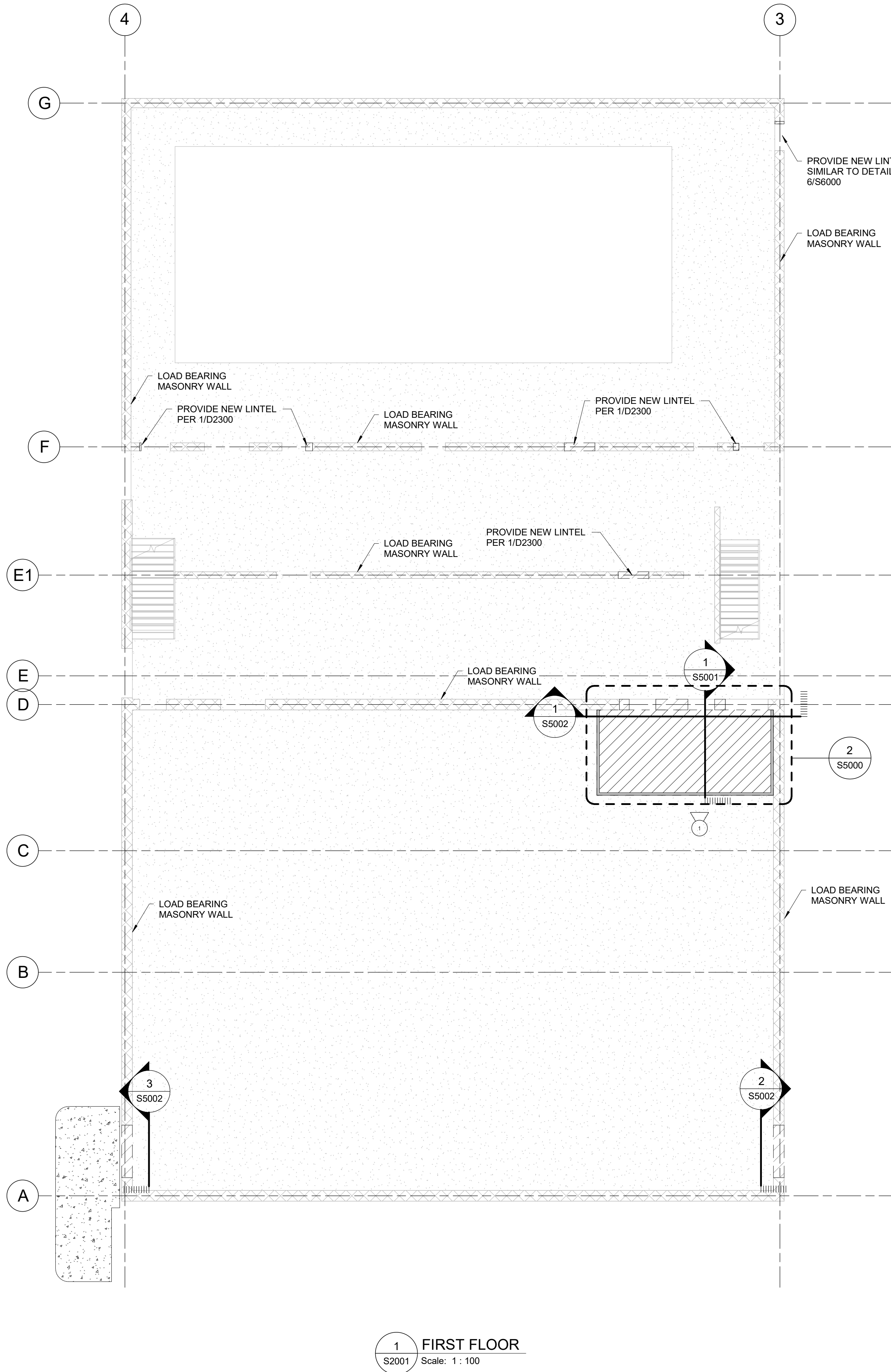
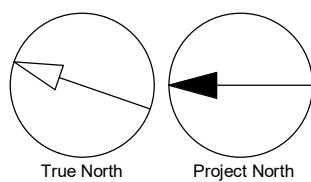



PHOTO 1

**NOTE:**  
1. ONLY LOAD BEARING MASONRY WALLS SHOWN ON STRUCTURAL DRAWINGS. FOR PARTITION WALLS REFER TO ARCHITECTURAL DRAWINGS.



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SHEET TITLE

FIRST FLOOR  
DEMOLITION PLAN

SHEET NUMBER

G28-184-S2001

ISSUE

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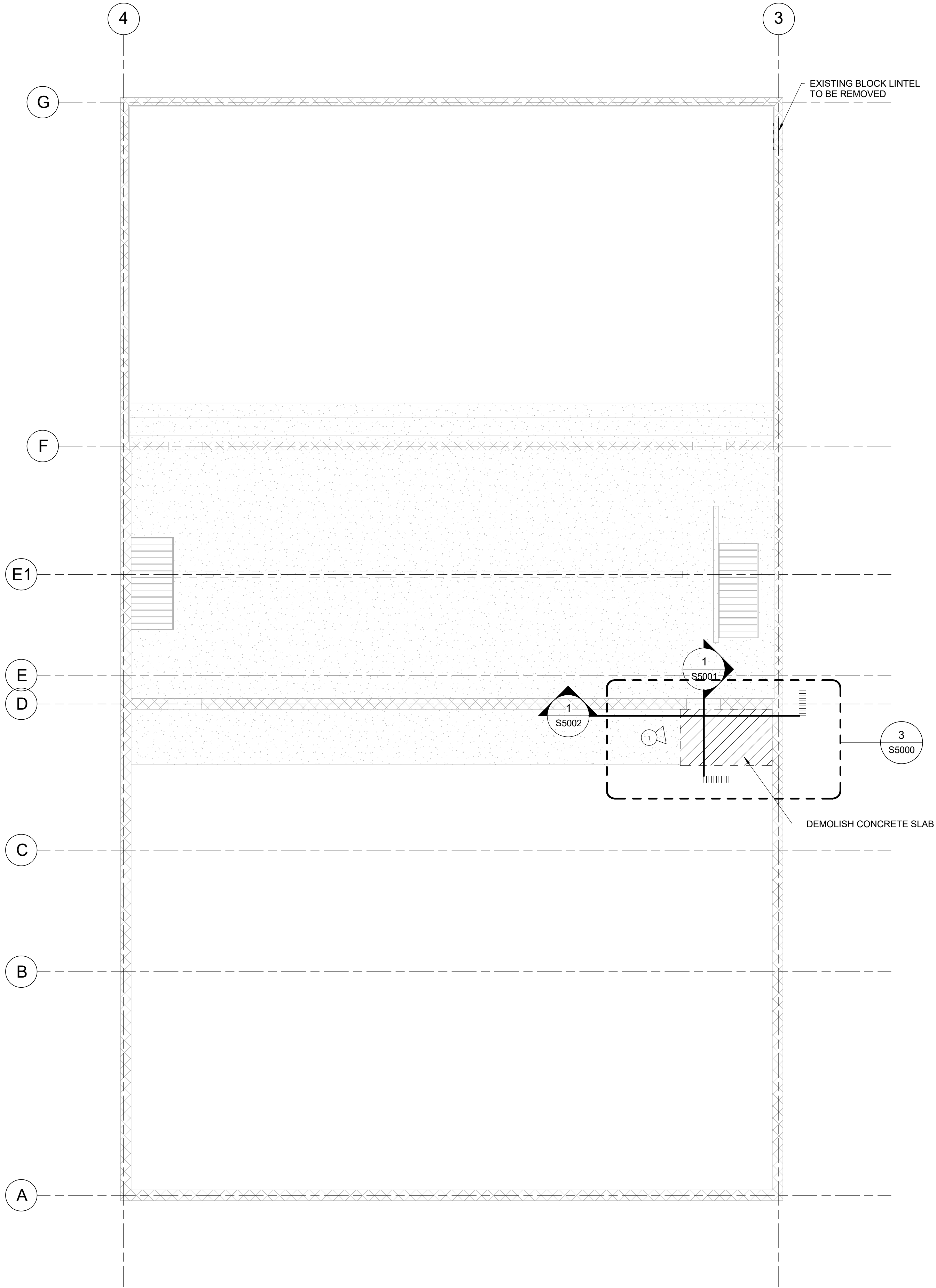


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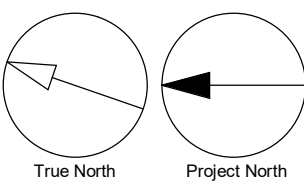
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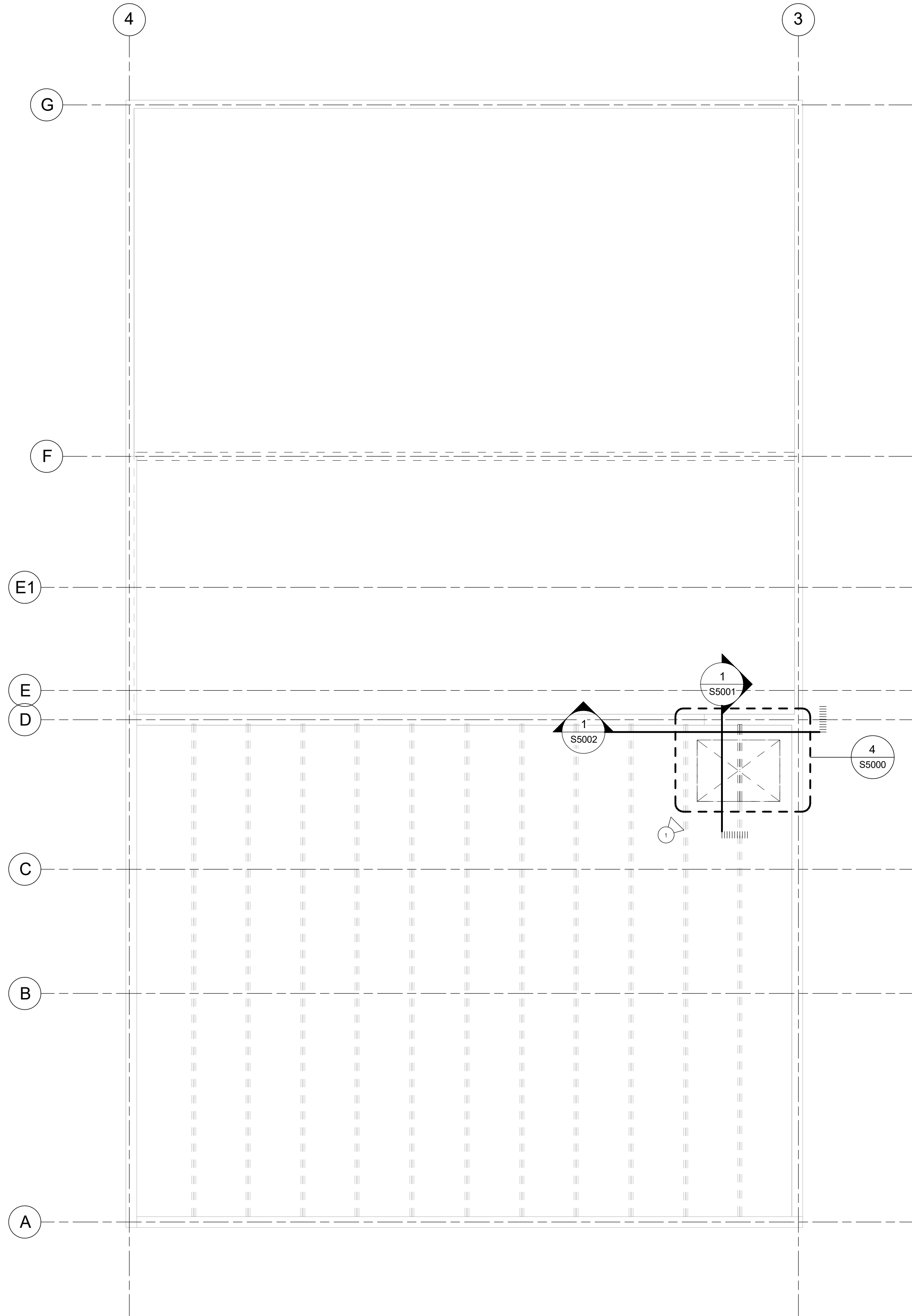
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PROJECT MGR:  
**F. BOLOURIAN**  
APPROVED BY:  
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SHEET TITLE  
**SECOND FLOOR  
DEMOLITION PLAN**

SHEET NUMBER  
**G28-184-S2002**  
ISSUE  
**D**







1 ROOF PLAN  
S2003 Scale: 1 : 100

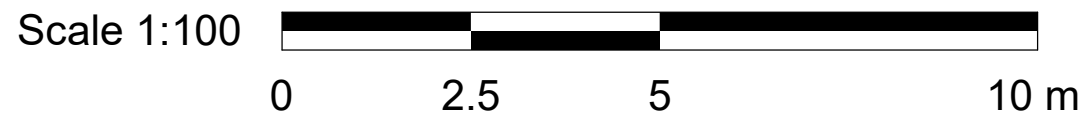


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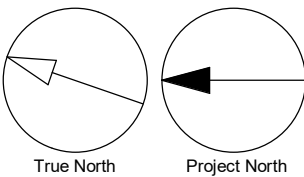
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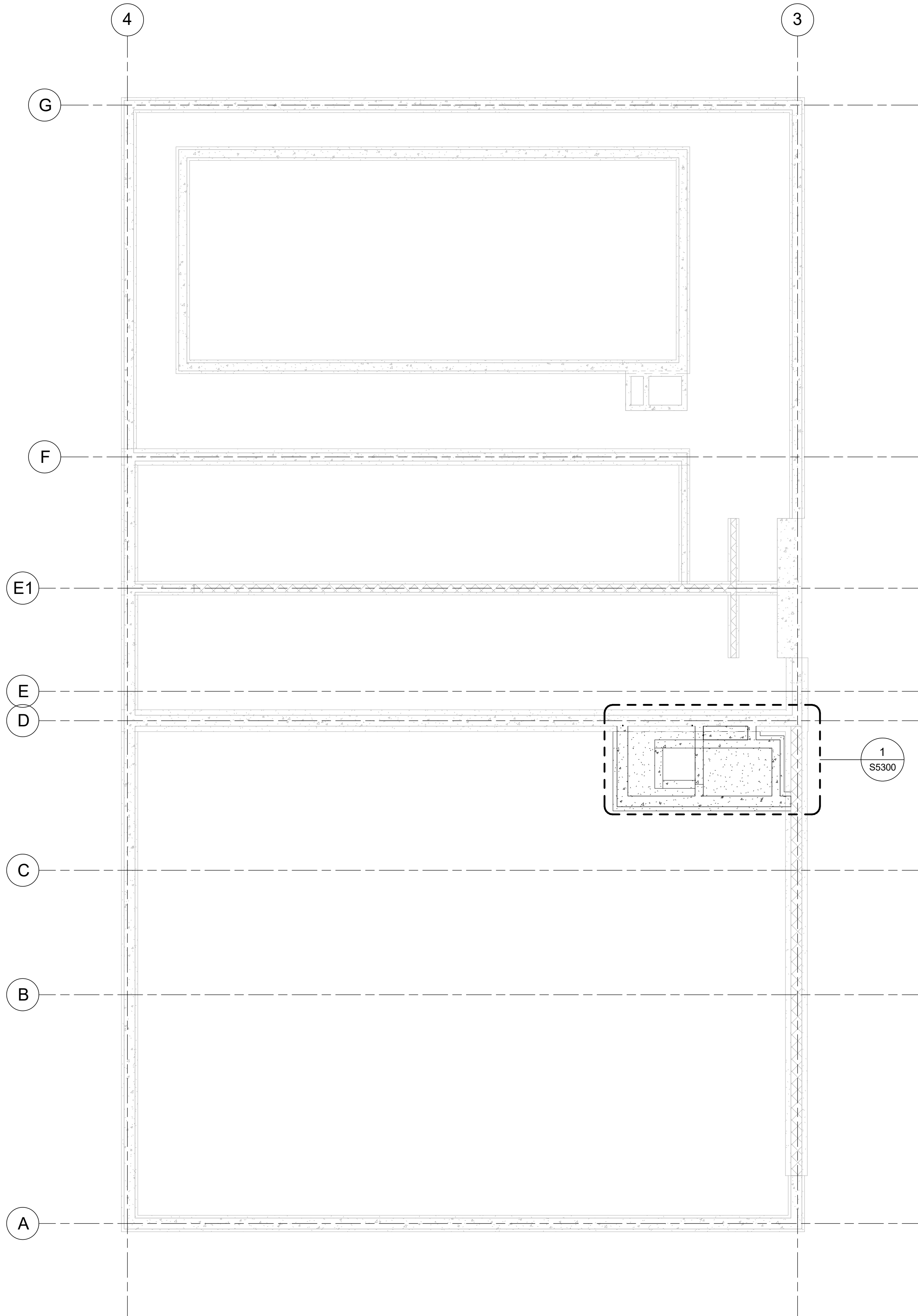
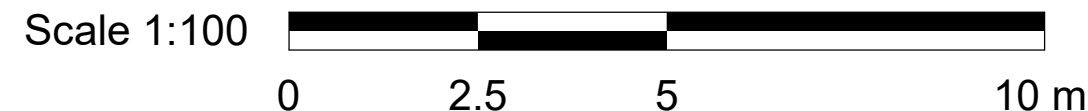
PROJECT NO:  
9119-19-0162 / IBI 122260  
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**G. POULOU**  
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**T. MYSOREWALA**  
PROJECT MGR:  
**F. BOLOURIAN**  
APPROVED BY:  
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SHEET TITLE  
**ROOF DEMOLITION PLAN**

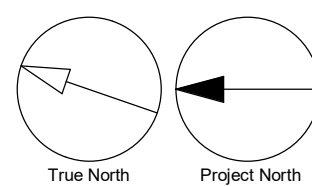
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1 FOUNDATION PLAN - PROPOSED  
S2500 Scale: 1 : 100



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T. MYSOREWALA

PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
K. ANGER

SHEET TITLE

FOUNDATION PLAN

SHEET NUMBER

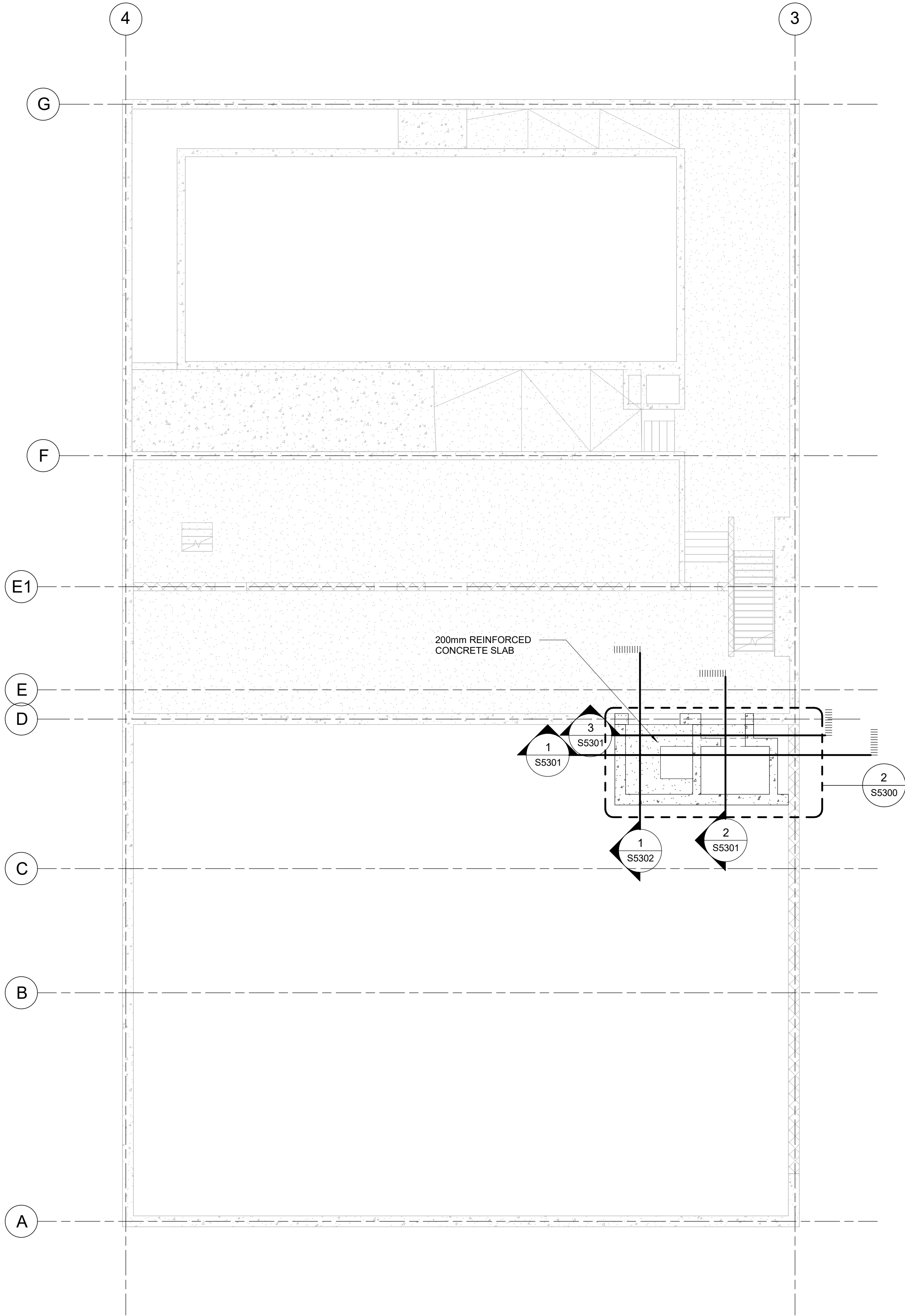
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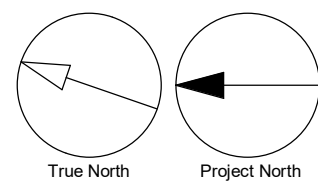
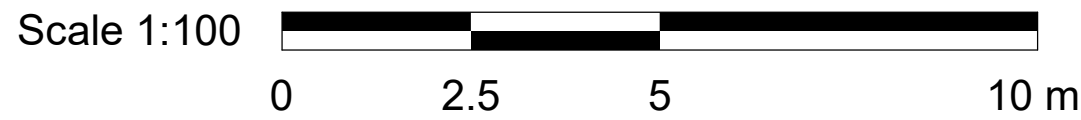
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1 BASEMENT FLOOR PLAN - PROPOSED  
S2501 Scale: 1 : 100



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PROJECT MGR:  
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APPROVED BY:  
K. ANGER

SHEET TITLE

BASEMENT FLOOR PLAN

SHEET NUMBER

G28-184-S2501

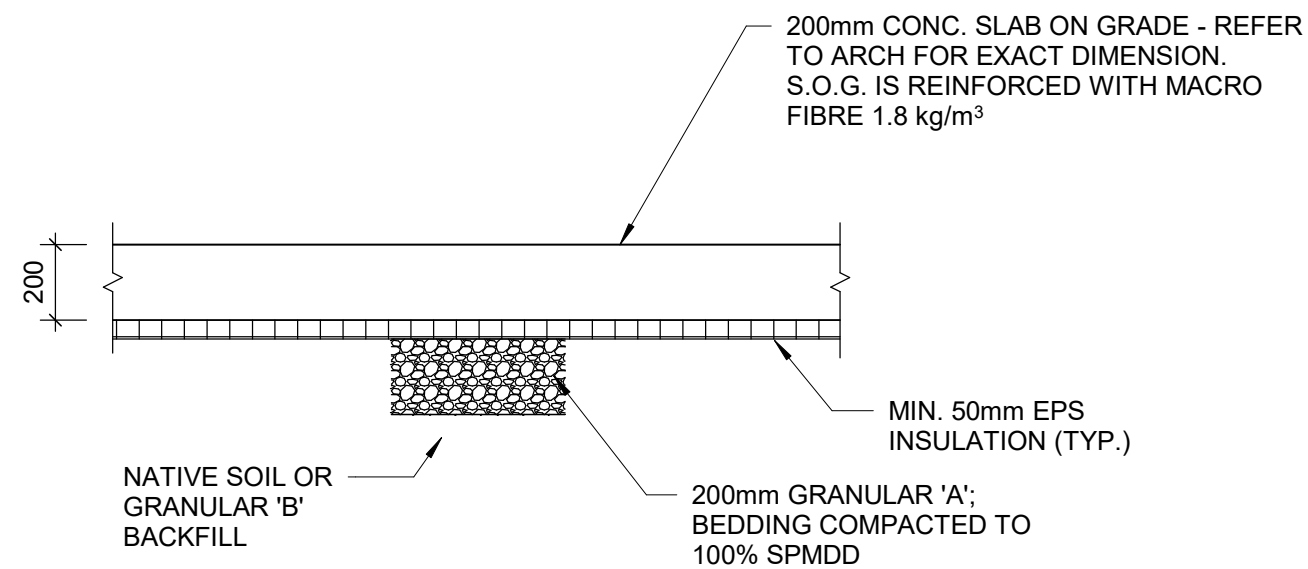
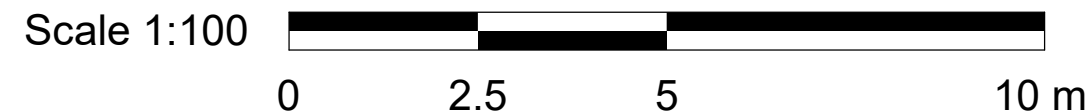
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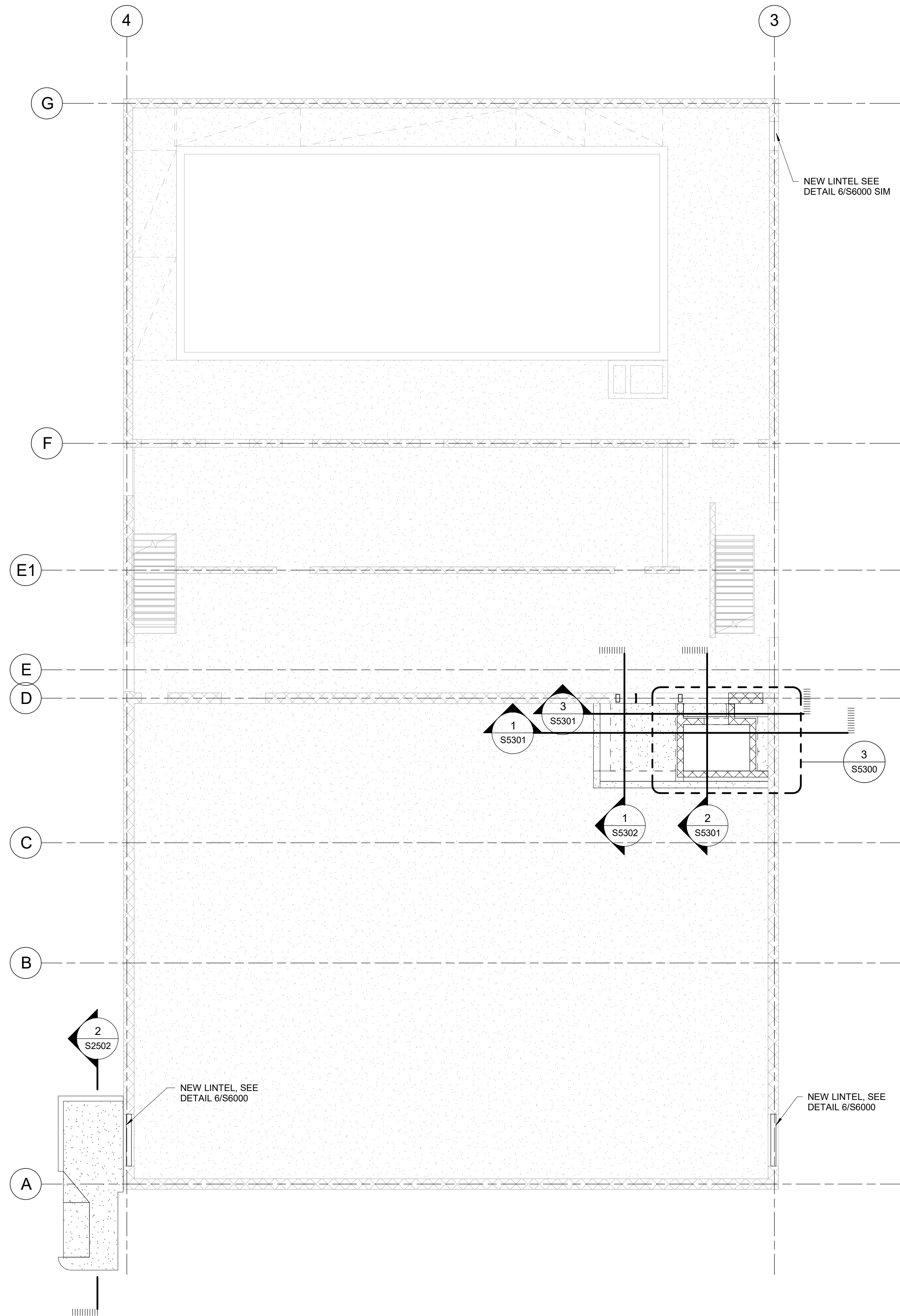
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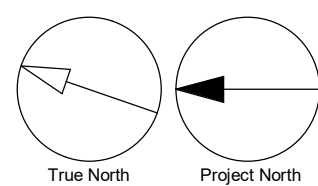
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**2 SLAB ON GRADE SECTION**  
S2502 Scale: 1 : 20



**1 GROUND FLOOR PLAN - PROPOSED**  
S2502 Scale: 1 : 100



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313 PHARMACY AVE.**

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY:  
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CHECKED BY:  
**T. MYSOREWALA**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**K. ANGER**

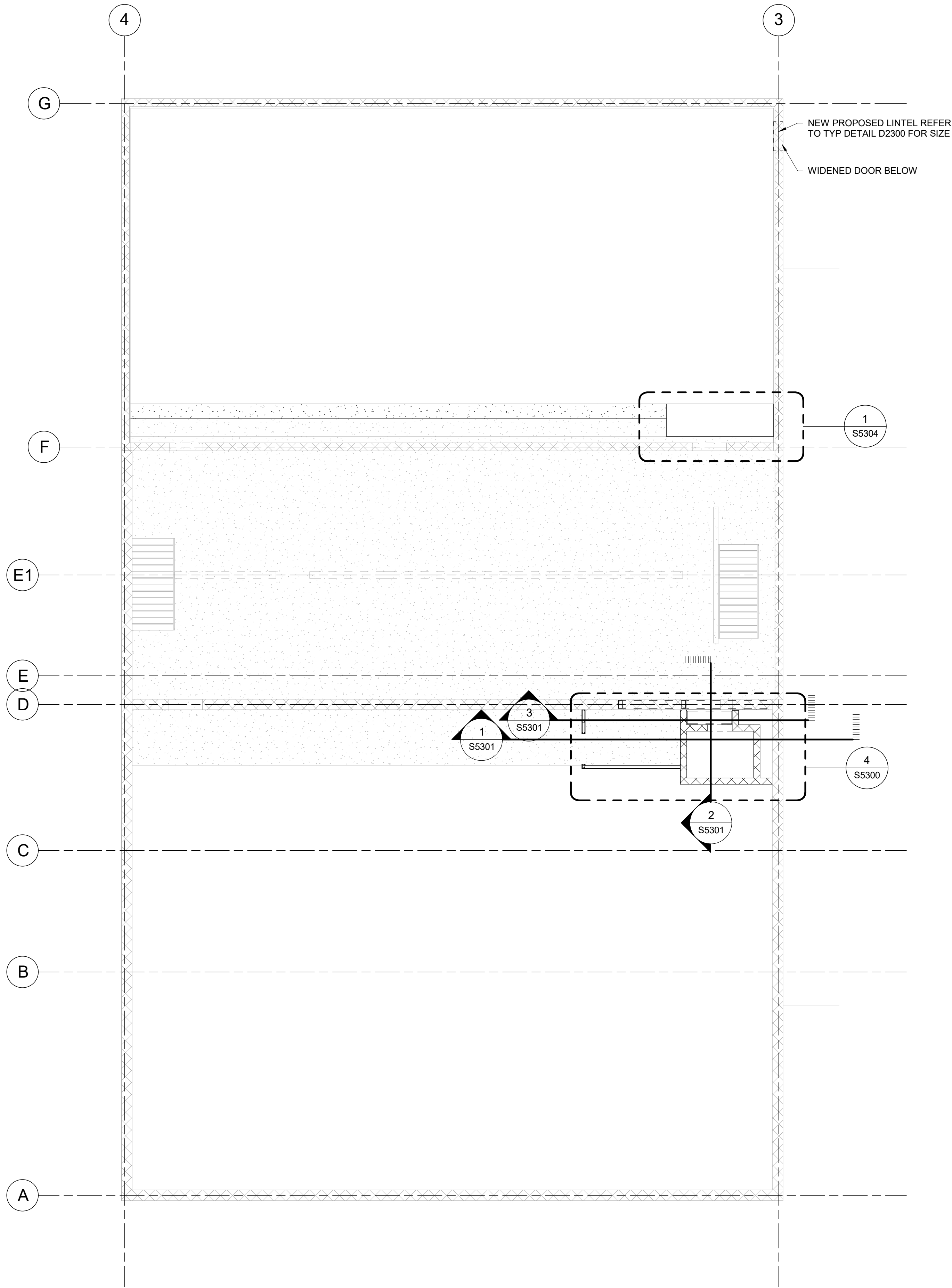
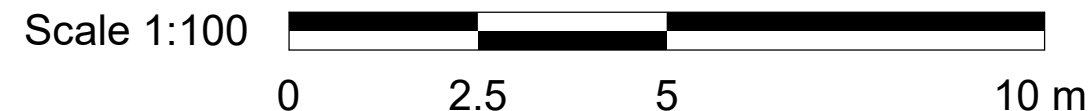
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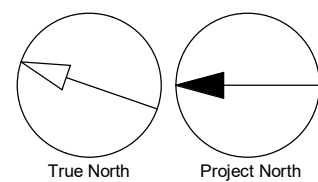
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1 SECOND FLOOR - PROPOSED  
S2503 Scale: 1 : 100



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PROJECT ADDRESS

**WEST SCARBOROUGH  
COMMUNITY CENTER  
313 PHARMACY AVE.**

PROJECT NO: 9119-19-0162 / IBI 122260	
DRAWN BY: <b>G. POULOU</b>	CHECKED BY: <b>T. MYSOREWALA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>K. ANGER</b>

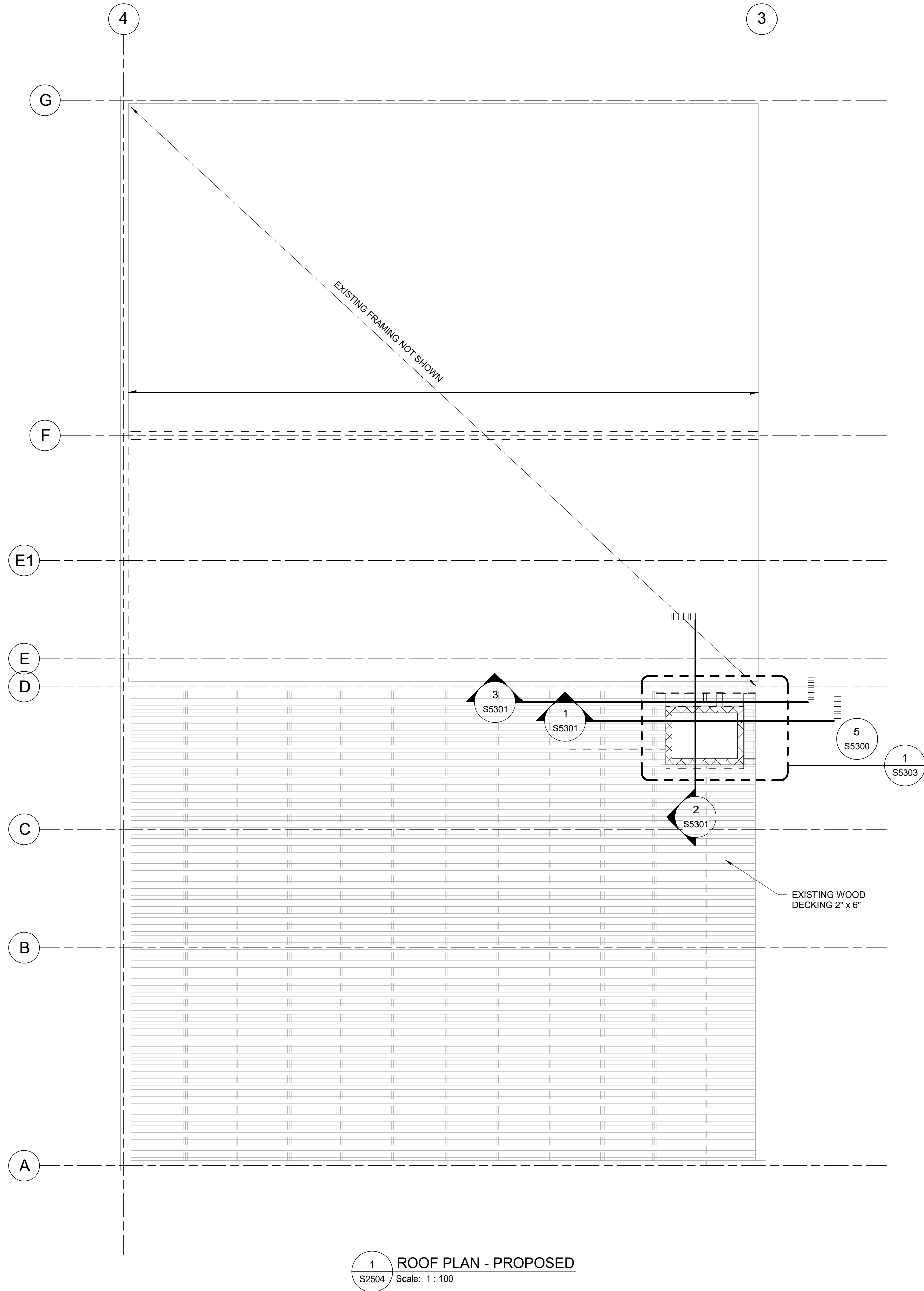
SHEET TITLE

**SECOND FLOOR PLAN**

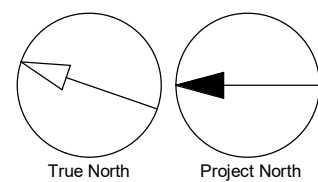
SHEET NUMBER	ISSUE
<b>G28-184-S2503</b>	<b>D</b>

BIH 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-184-313PHRMCY-S-R20.rvt 1/11

2023-01-31 3:06:15 AM



1 ROOF PLAN - PROPOSED  
S2504 Scale: 1 : 100



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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR PERMIT	2022-01-04
D	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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PRIME CONSULTANT



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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**WEST SCARBOROUGH  
COMMUNITY CENTER  
313 PHARMACY AVE.**

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY: <b>G. POULOU</b>	CHECKED BY: <b>T. MYSOREWALA</b>
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PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>K. ANGER</b>
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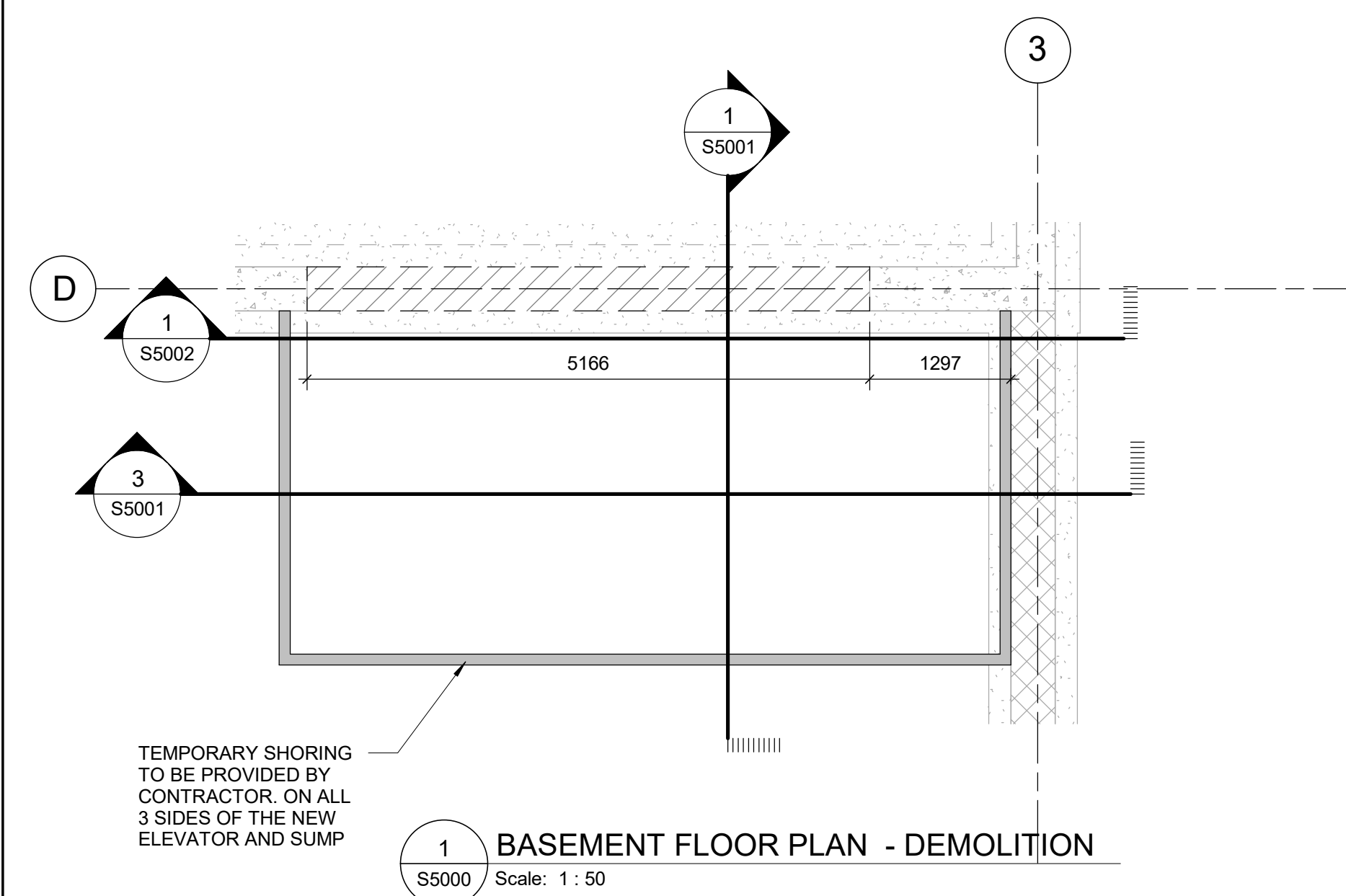
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SHEET NUMBER  
**G28-184-S2504**

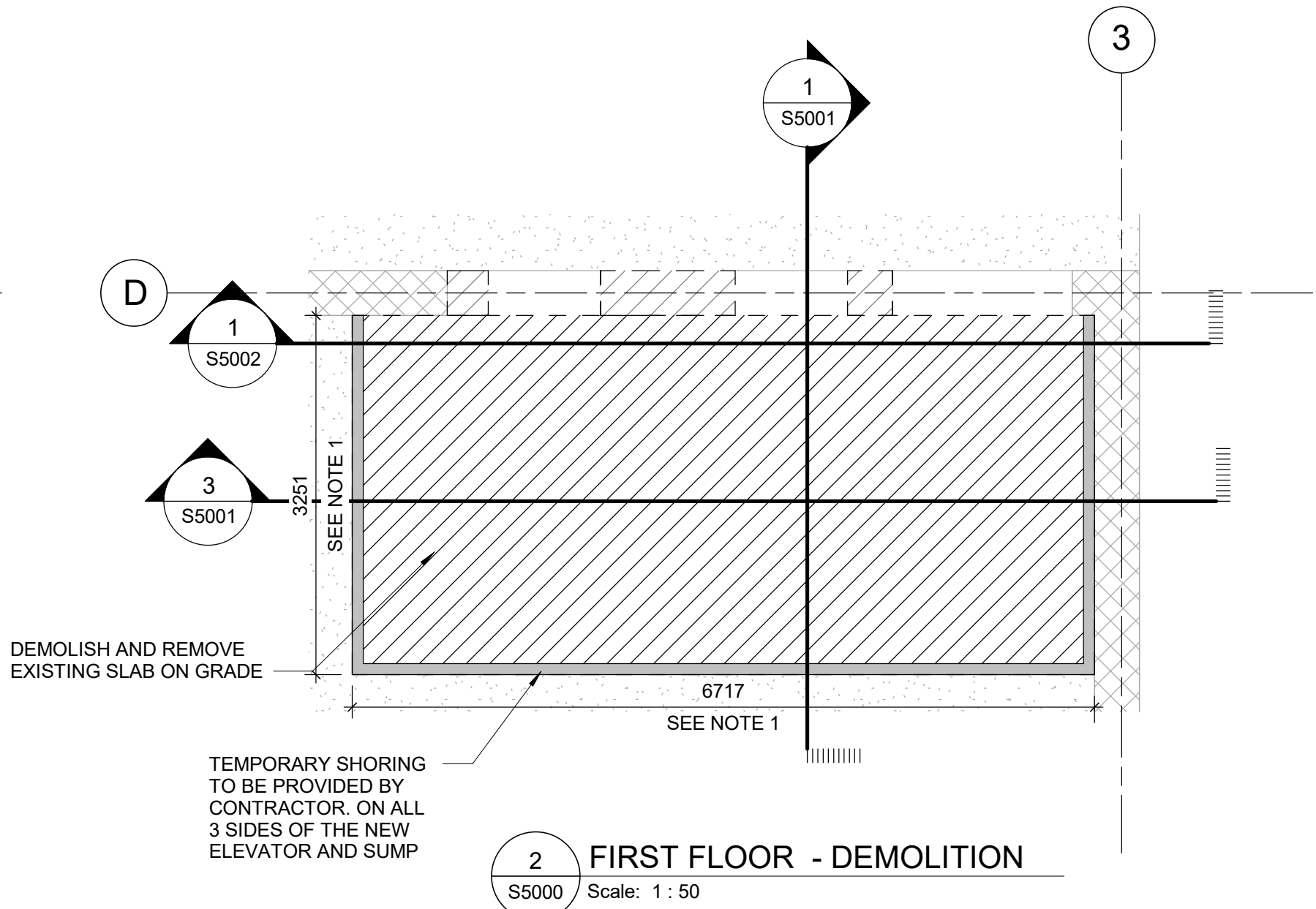
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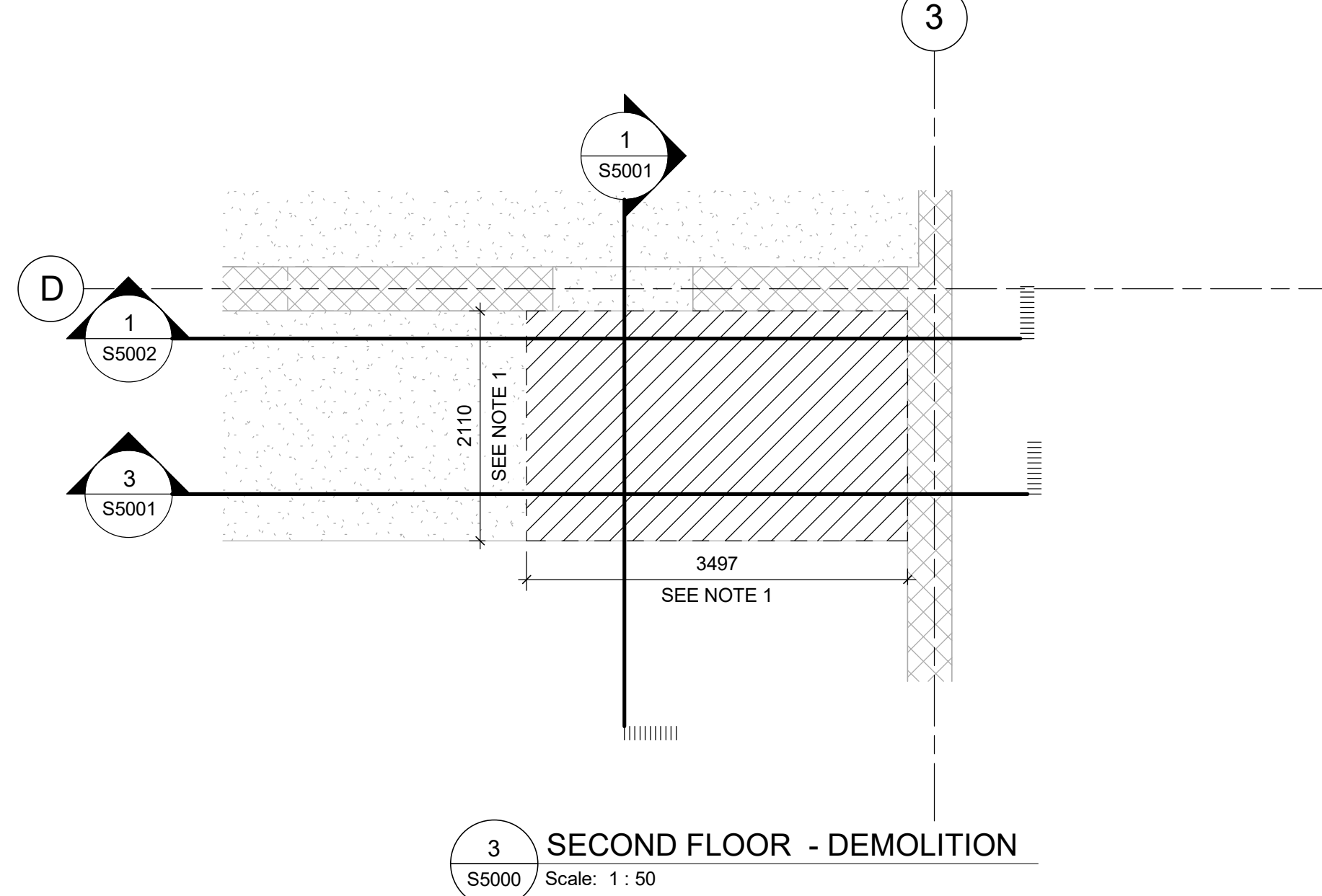




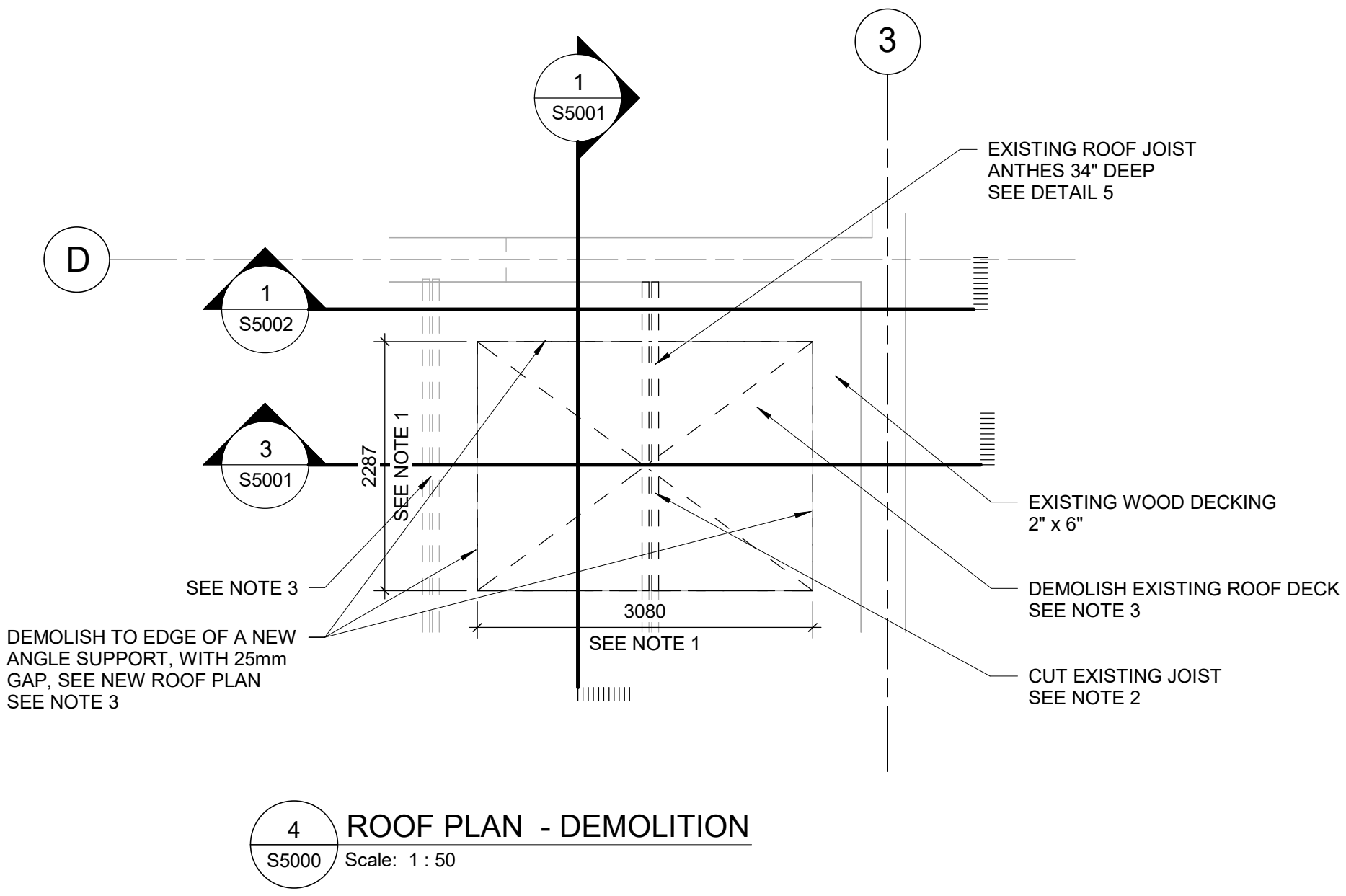
1 BASEMENT FLOOR PLAN - DEMOLITION  
S5000 Scale: 1 : 50



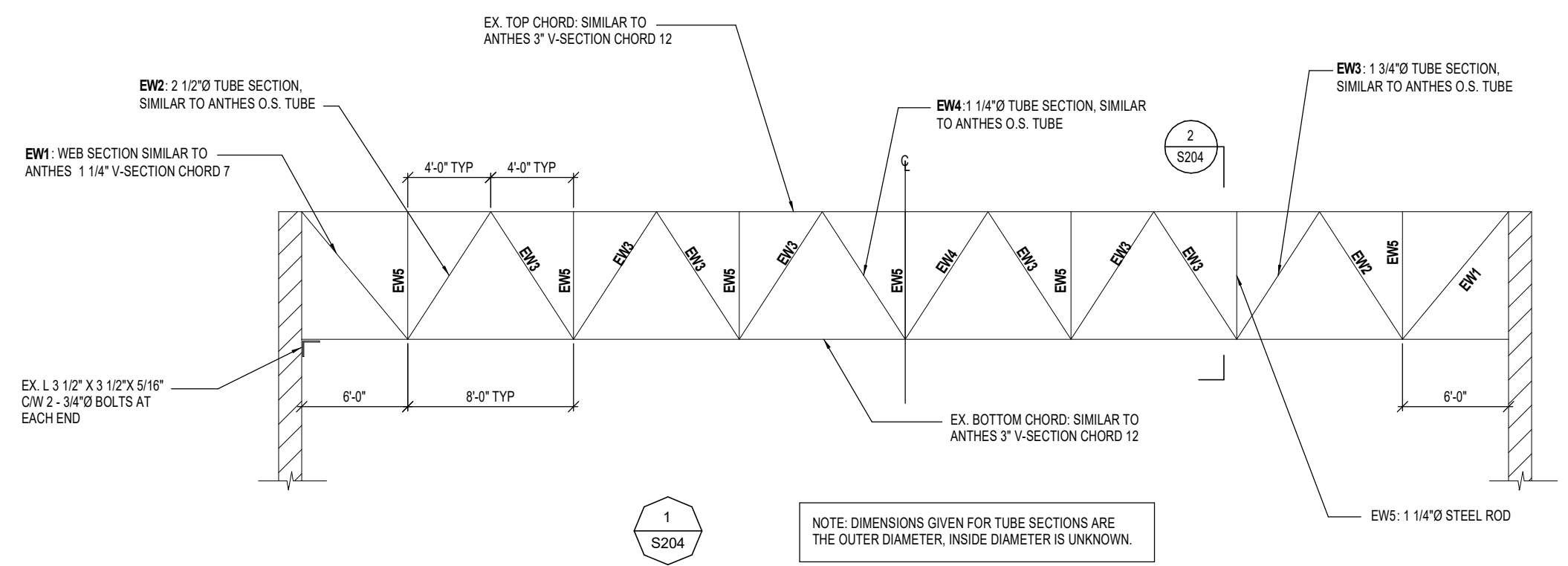
2 FIRST FLOOR - DEMOLITION  
S5000 Scale: 1 : 50



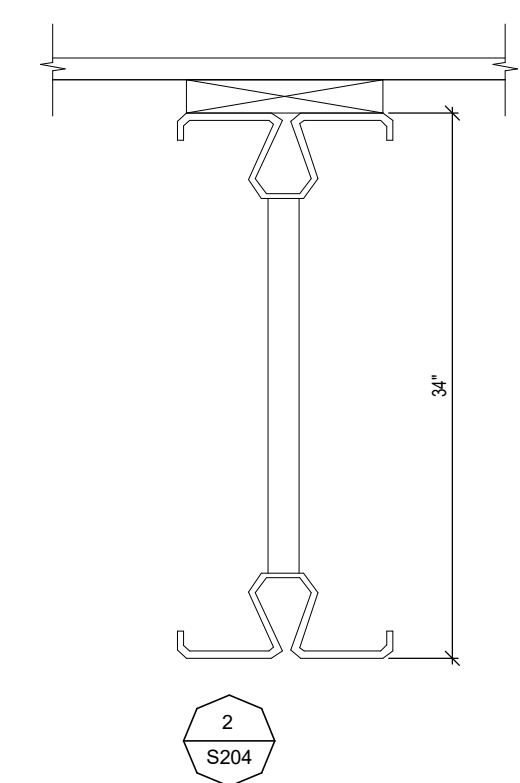
3 SECOND FLOOR - DEMOLITION  
S5000 Scale: 1 : 50



4 ROOF PLAN - DEMOLITION  
S5000 Scale: 1 : 50

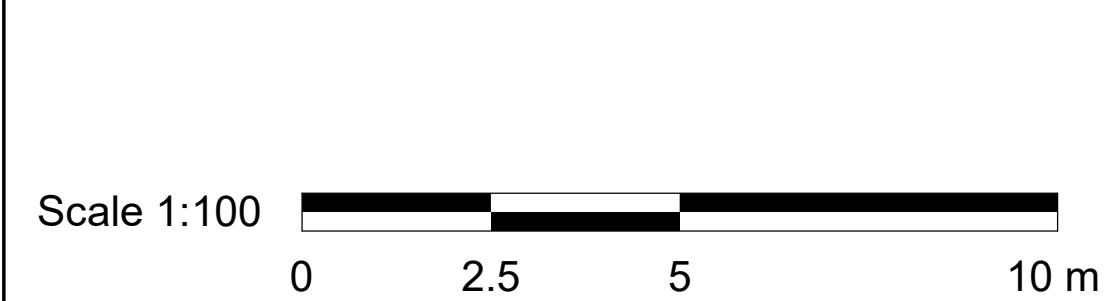


5 DETAILS OF EXISTING ROOF JOISTS  
S5000 Scale: NTS



**DETAIL NOTE:**  
1. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS AND DIMENSIONS. DETAILS PROVIDED ARE FOR INFORMATION ONLY.

- NOTES:**
- ALL DEMOLITION DIMENSIONS TO BE FIELD VERIFIED AND CONFIRMED TO SUIT NEW ELEVATOR. AND NEW OPENING LAYOUT PER ARCHITECTURAL DRAWINGS.
  - CONTRACTOR TO DESIGN AND PROVIDE TEMPORARY SUPPORT FOR JOIST DURING AND AFTER DEMOLITION OF JOIST UNTIL THE JOIST IS CONNECTED TO THE NEW SUPPORT STRUCTURE.
  - CONTRACTOR TO TEMPORARILY SHORE SPANS OF ROOF DECK ADJACENT TO ROOF DECK TO BE DEMOLISHED. NOTIFY ENGINEER TO INSPECT EXISTING CONDITIONS ONCE ARCHITECTURAL ROOFING HAS BEEN REMOVED AND DO NOT PROCEED WITH DEMOLITION OF ROOF DECK WITHOUT WRITTEN APPROVAL OF THE ENGINEER.



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A	90% SUBMISSION	2022-01-04
B	ISSUED FOR PERMIT	2022-01-04
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**PROJECT TITLE**  
**CITY OF TORONTO**  
**ACCESSIBILITY UPGRADES**

**PROJECT ADDRESS**  
**WEST SCARBOROUGH**  
**COMMUNITY CENTER**  
313 PHARMACY AVE.

**PROJECT NO:**  
9119-19-0162 / IBI 122260

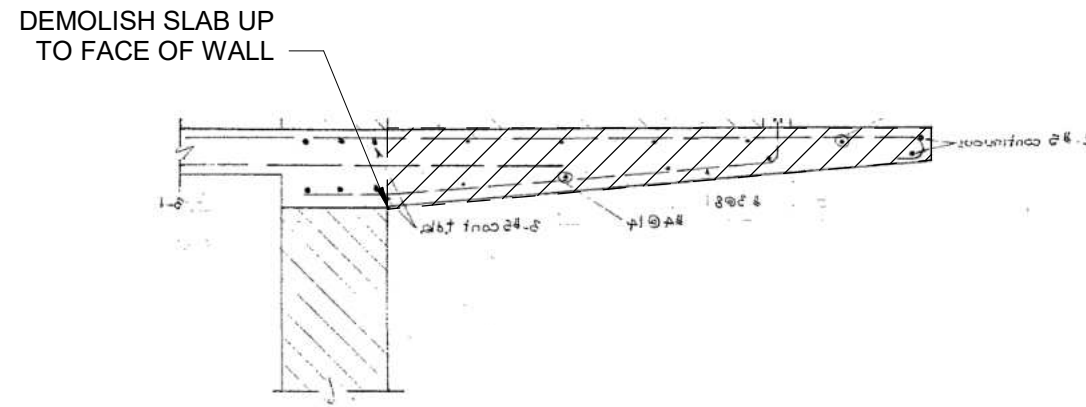
<b>DRAWN BY:</b> G. POULOU	<b>CHECKED BY:</b> T. MYSOREWALA
<b>PROJECT MGR:</b> F. BOLOURIAN	<b>APPROVED BY:</b> K. ANGER

**SHEET TITLE**  
**DEMOLITION -**  
**ENLARGED PLANS**

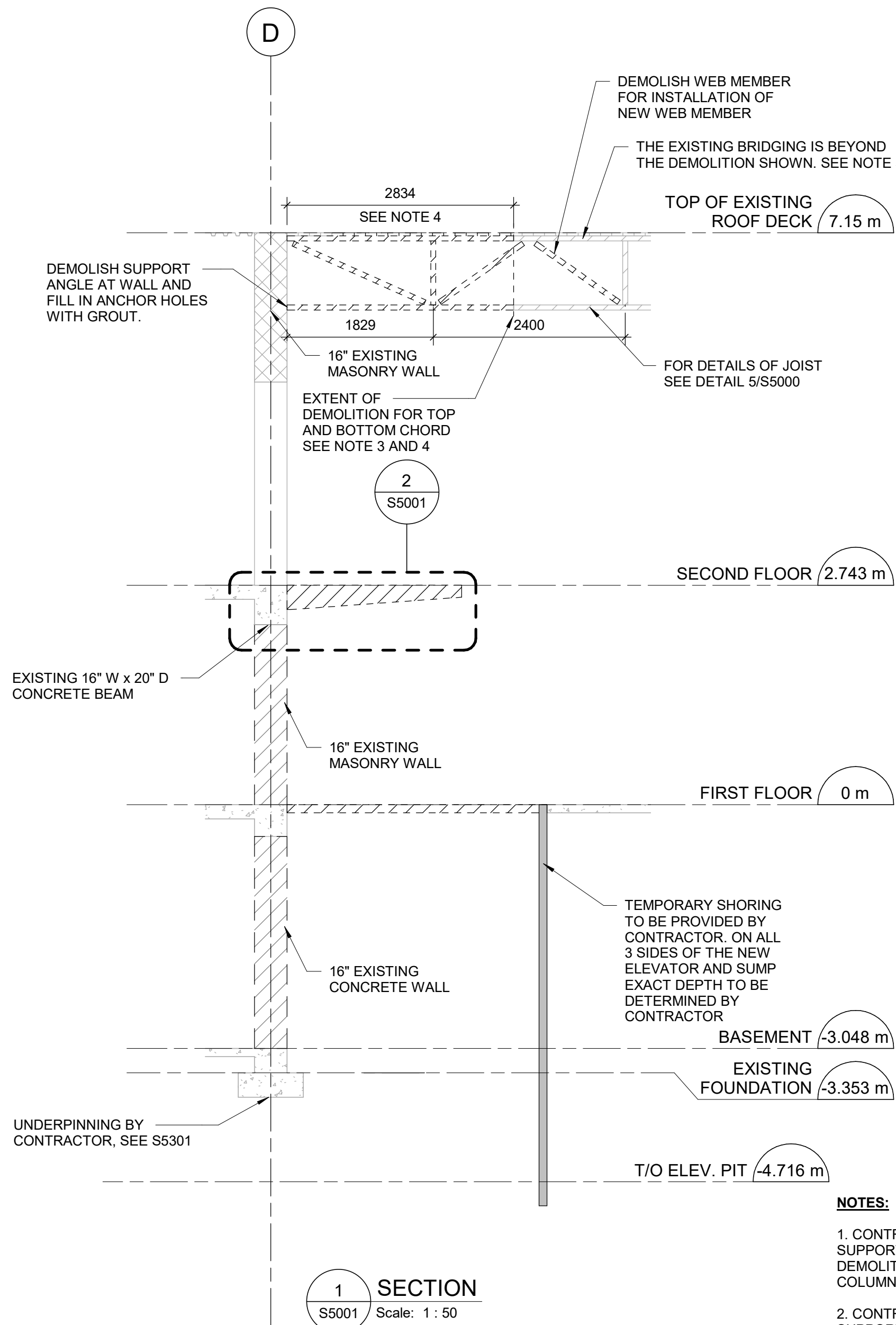
<b>SHEET NUMBER</b> <b>G28-184-S5000</b>	<b>ISSUE</b> <b>C</b>
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2023-01-31 3:06:16 AM

BM 380/122260 - CoT TAU Upgrades R2020/122260-TAU-28-184-313PHRMCY-S-R20-04  
1 in  
10mm



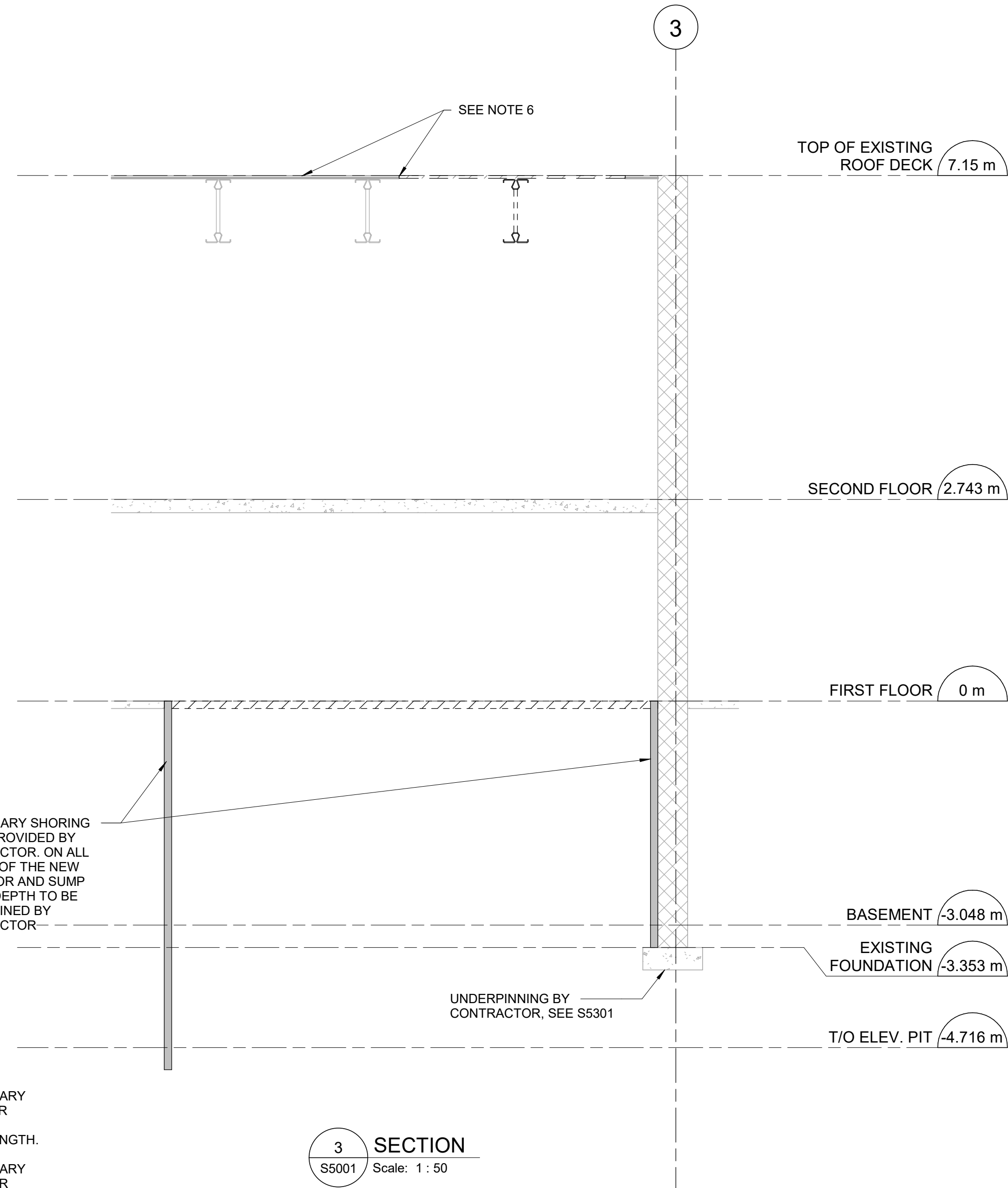
2 DETAIL  
S5001 Scale: 1 : 50



1 SECTION  
S5001 Scale: 1 : 50

NOTES:

1. CONTRACTOR TO DESIGN AND PROVIDE TEMPORARY SUPPORT FOR CONCRETE WALL DURING AND AFTER DEMOLITION, UNTIL THE NEW CONCRETE SUPPORT COLUMNS AND BEAM HAVE REACHED DESIGN STRENGTH.
2. CONTRACTOR TO DESIGN AND PROVIDE TEMPORARY SUPPORT FOR CONCRETE BEAM DURING AND AFTER DEMOLITION, UNTIL THE NEW SUPPORT STRUCTURES HAVE BEEN FULLY CONSTRUCTED.
3. CONTRACTOR TO DESIGN AND PROVIDE TEMPORARY SUPPORT FOR JOIST INCLUDING TEMPORARY BRIDGING IF REQUIRED.
4. TOP AND BOTTOM CHORD OF JOISTS ARE TO BE DEMOLISHED PER THE REQUIREMENTS OF THE NEW PERMANENT SUPPORT AT THE NEW MASONRY WALL. CONTRACTOR TO FIELD VERIFY DIMENSIONS PRIOR TO CUTTING THE JOIST.
5. IF EXISTING BRIDGING NEEDS TO BE DEMOLISHED FOR CONSTRUCTION, CONTRACTOR TO DESIGN AND INSTALL NEW BRIDGING
6. CONTRACTOR TO TEMPORARILY SHORE SPANS OF ROOF DECK ADJACENT TO ROOF DECK TO BE DEMOLISHED. NOTIFY ENGINEER TO INSPECT EXISTING CONDITIONS ONCE ARCHITECTURAL ROOFING HAS BEEN REMOVED AND DO NOT PROCEED WITH DEMOLITION OF ROOF DECK WITHOUT WRITTEN APPROVAL OF THE ENGINEER.



3 SECTION  
S5001 Scale: 1 : 50

Scale 1:50  
0 1 2.5 5 m

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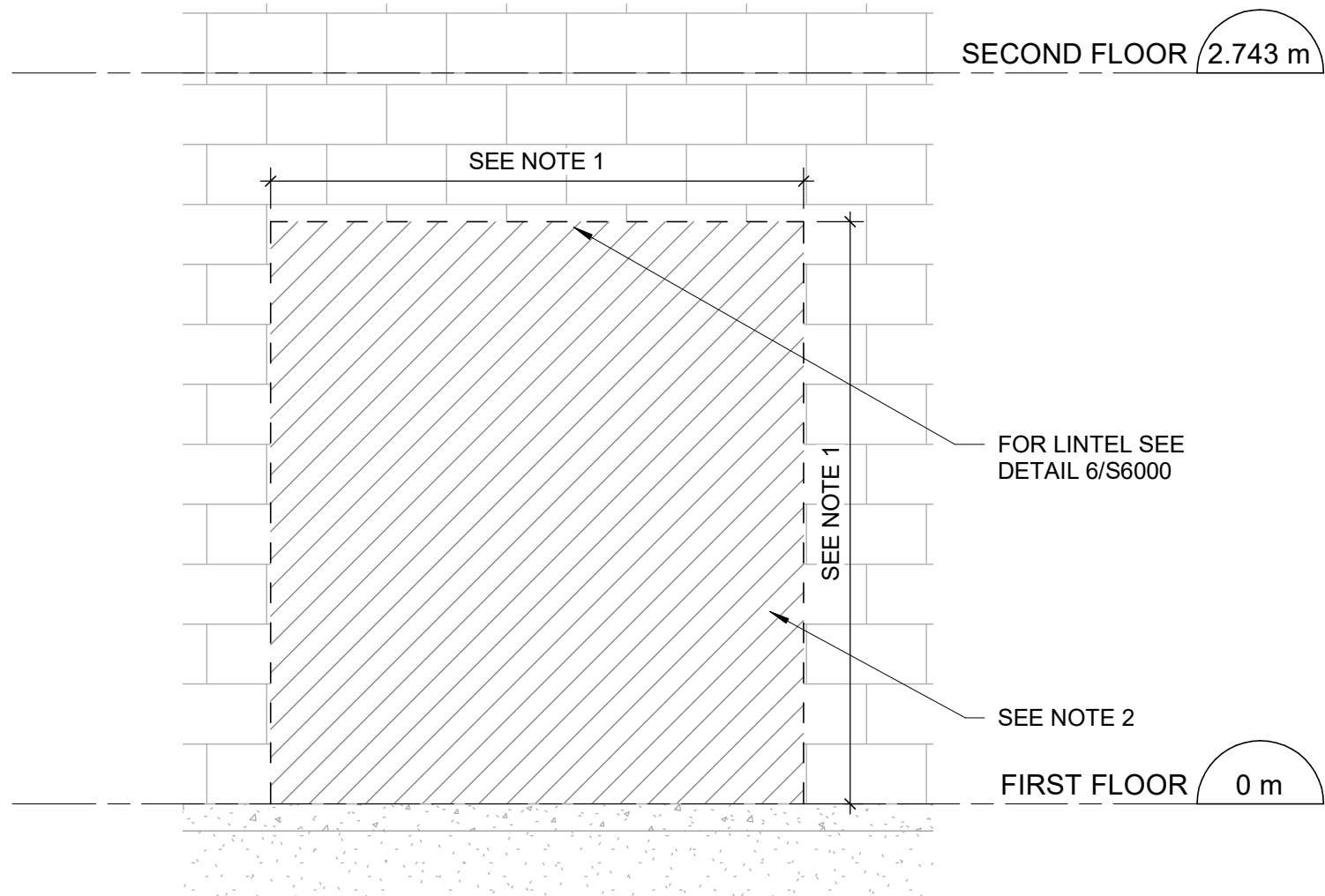
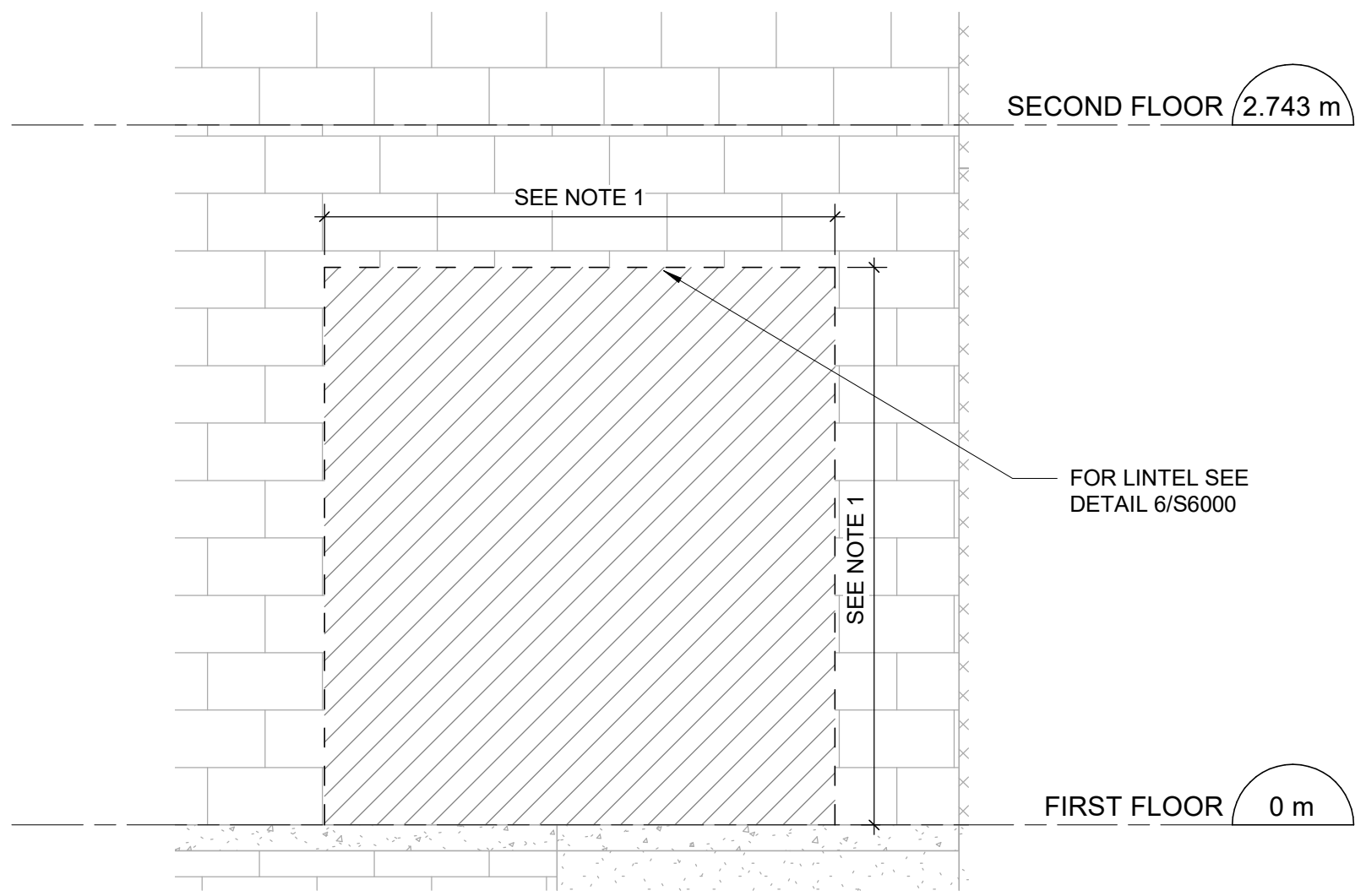
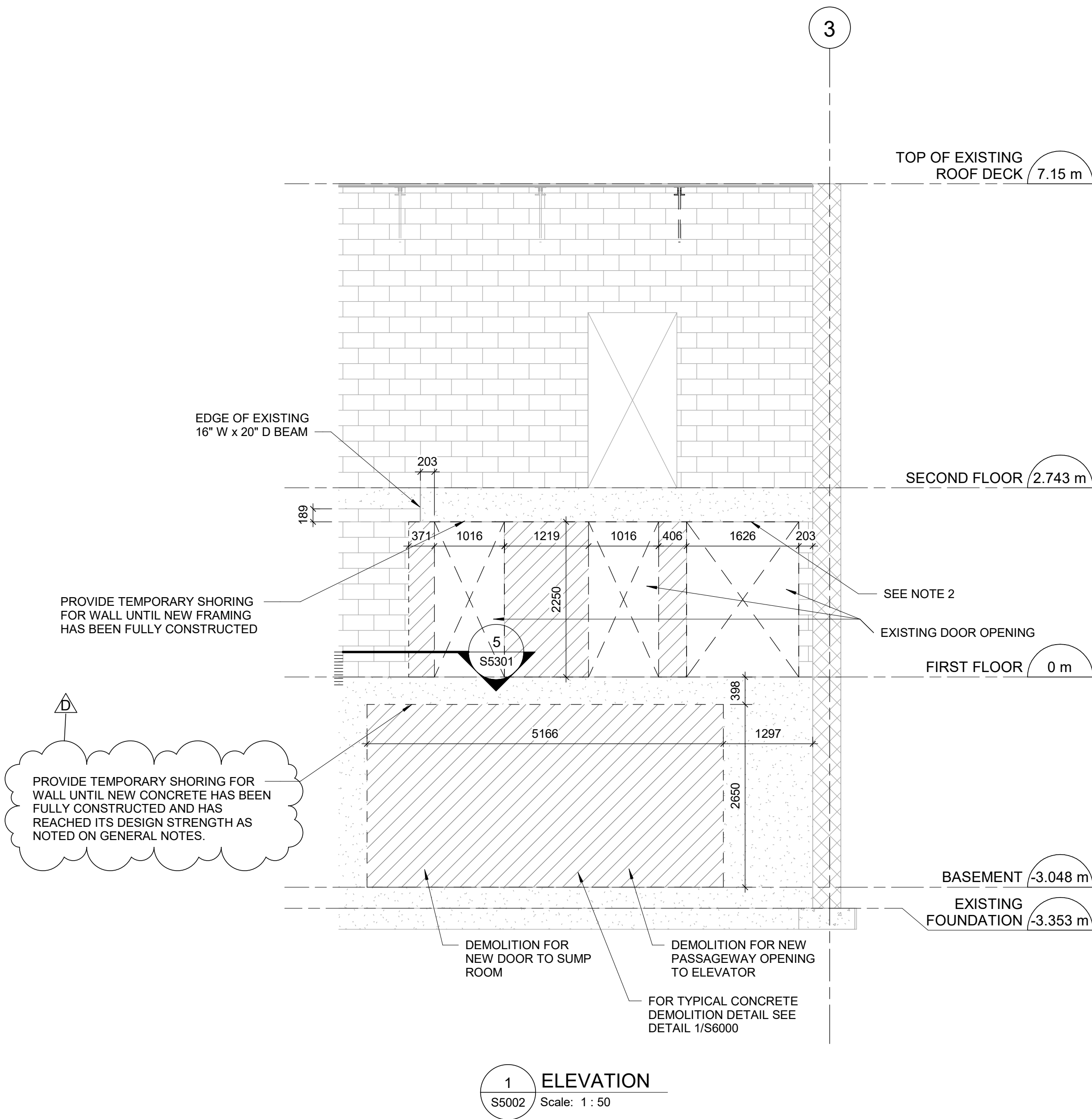
PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**WEST SCARBOROUGH  
COMMUNITY CENTER  
313 PHARMACY AVE.**

PROJECT NO:  
9119-19-0162 / IBI 122260  
DRAWN BY:  
**G. POULOU**  
CHECKED BY:  
**T. MYSOREWALA**  
PROJECT MGR:  
**F. BOLOURIAN**  
APPROVED BY:  
**K. ANGER**

SHEET TITLE  
**DEMOLITION - SECTIONS  
AND DETAILS**

SHEET NUMBER <b>G28-184-S5001</b>	ISSUE <b>D</b>
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**NOTE:**

1. FOR DIMENSIONS OF DEMOLITION FOR NEW DOOR OPENING SEE ARCHITECTURAL DRAWINGS. DEMOLITION TO INCLUDE SPACE REQUIRED ABOVE DOOR TO INSTALL NEW LINTEL BEAM.

2. THIS DOOR OPENING IS DESIGNATED FOR USE FOR EQUIPMENT ENTRY FOR ELEVATOR CONSTRUCTION. CONTRACTOR TO DETERMINE IF THE DIMENSIONS FOR EQUIPMENT ENTRY NEED TO BE LARGER THAN THE DOOR OPENING. CONTRACTOR TO PROVIDE TEMPORARY LINTEL DURING CONSTRUCTION IF REQUIRED FOR LARGER EQUIPMENT OPENING. THE FINAL OPENING SIZE SHALL BE PROVIDED AS REQUIRED FOR THE DOOR. COMPLETE WITH PERMANENT LINTEL AS DETAILED.

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C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

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PROJECT TITLE

**CITY OF TORONTO**  
**ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**WEST SCARBOROUGH**  
**COMMUNITY CENTER**  
313 PHARMACY AVE.

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY:  
**G. POULOU**

CHECKED BY:  
**T. MYSOREWALA**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**K. ANGER**

SHEET TITLE

**DEMOLITION - SECTIONS**  
**AND DETAILS**

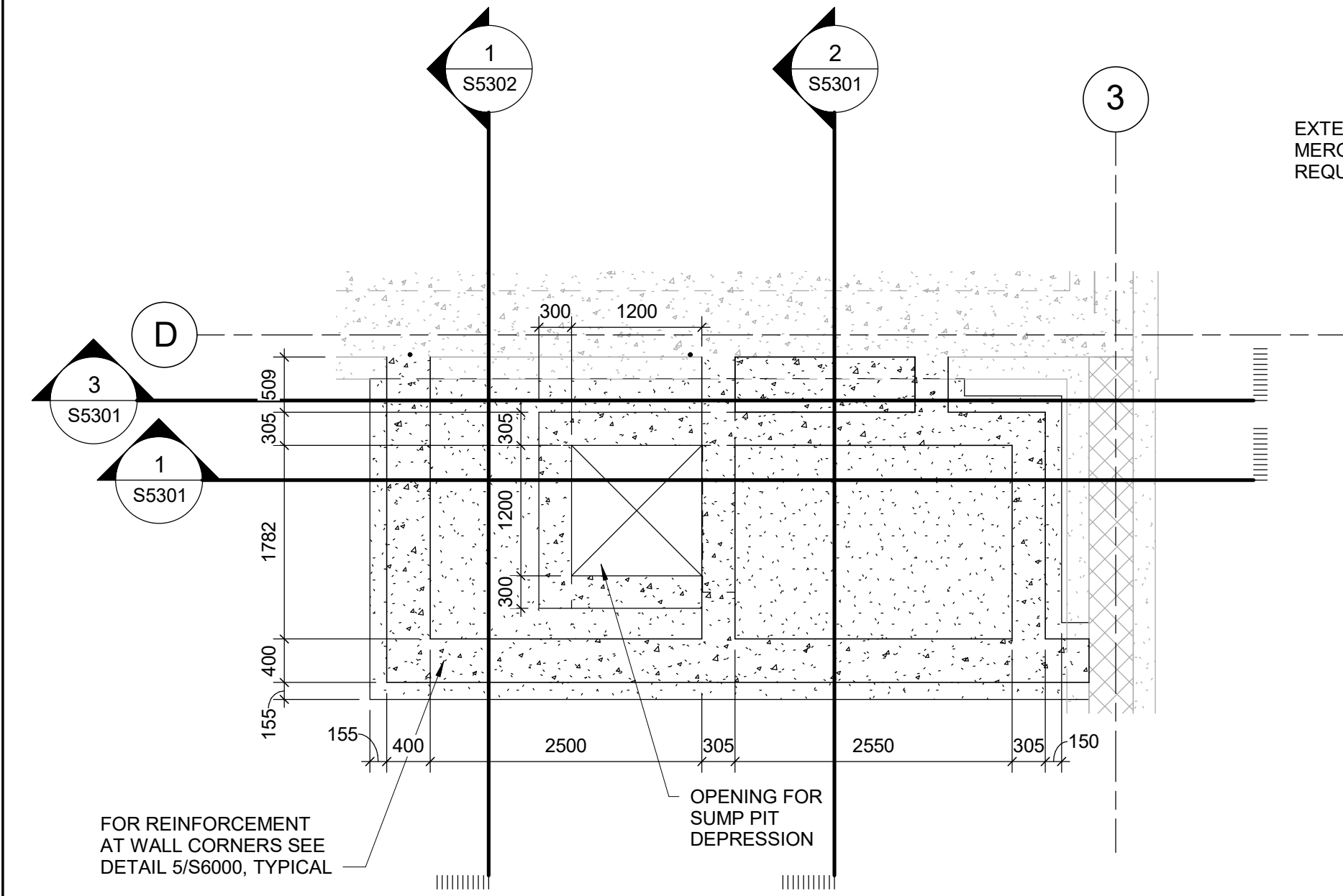
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**G28-184-S5002**

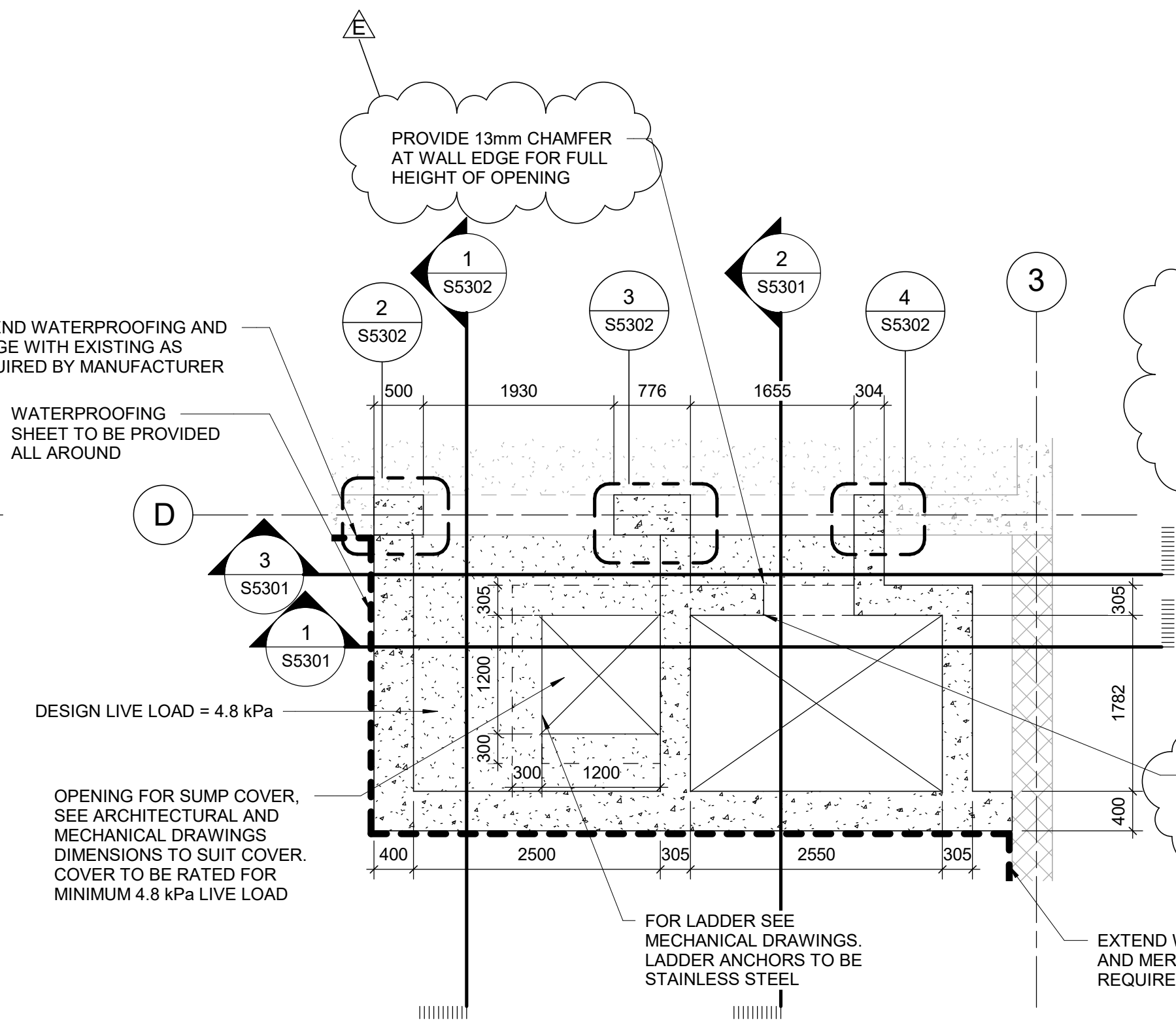
ISSUE

**D**

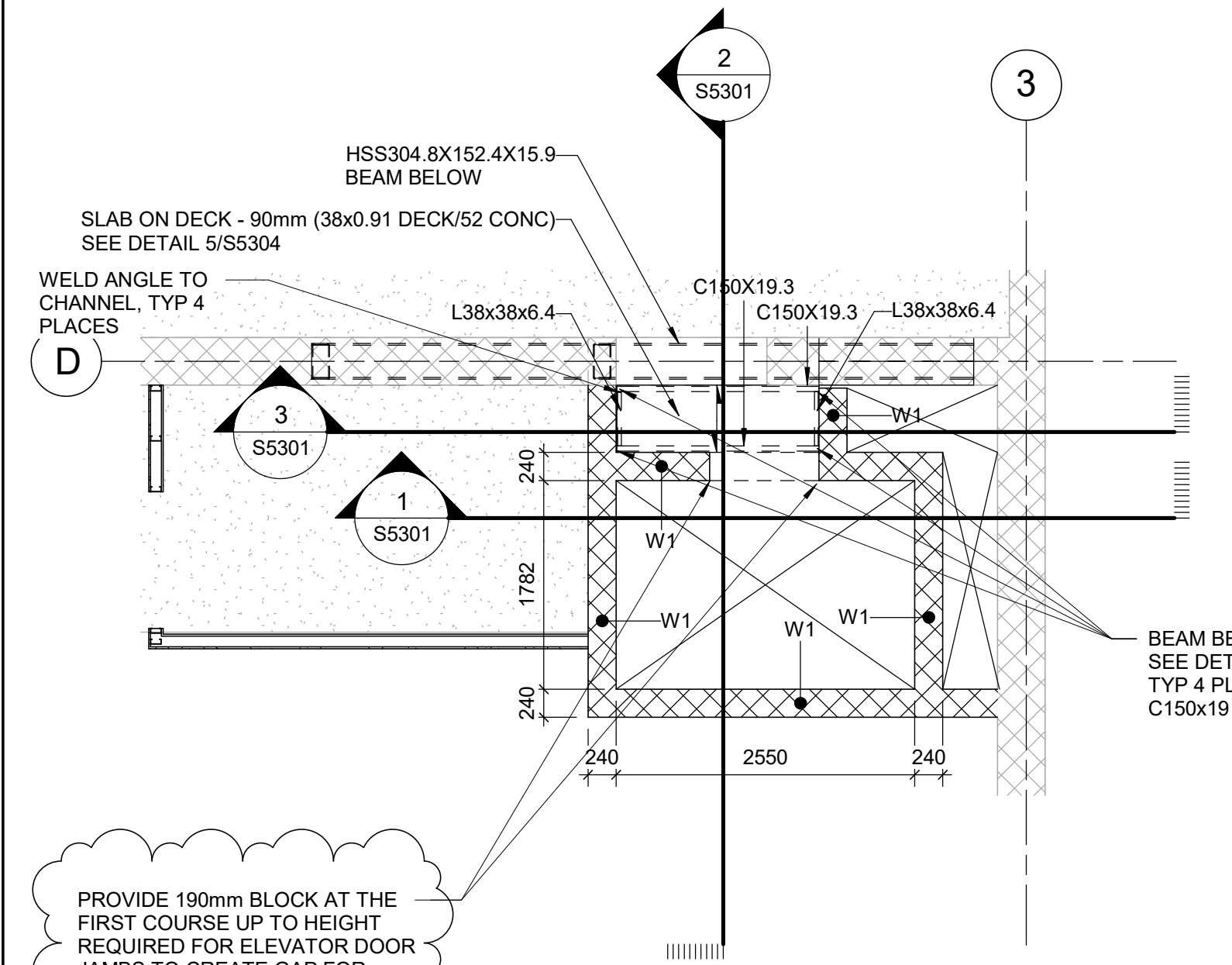




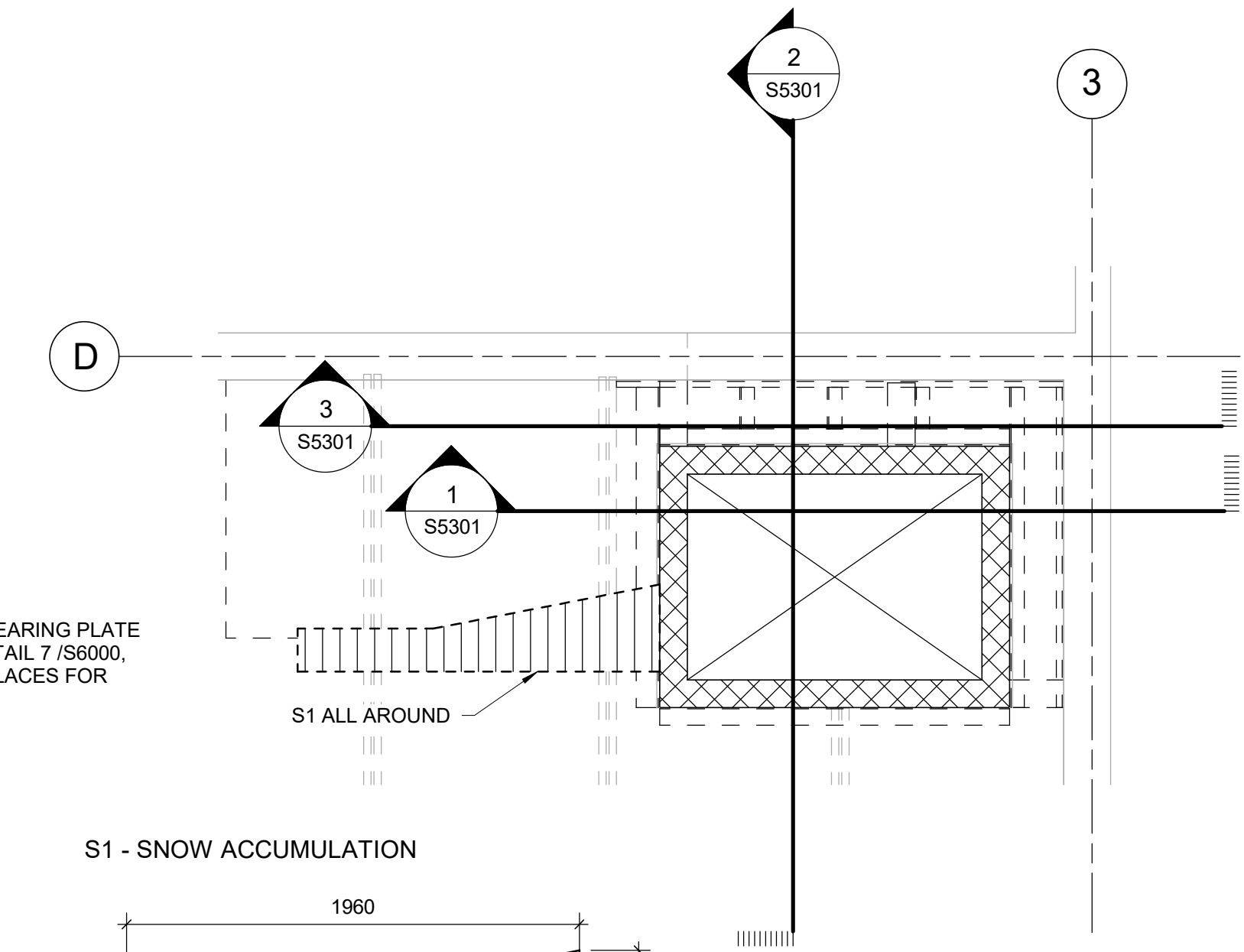
1 FOUNDATION PLAN  
S5300 Scale: 1 : 50



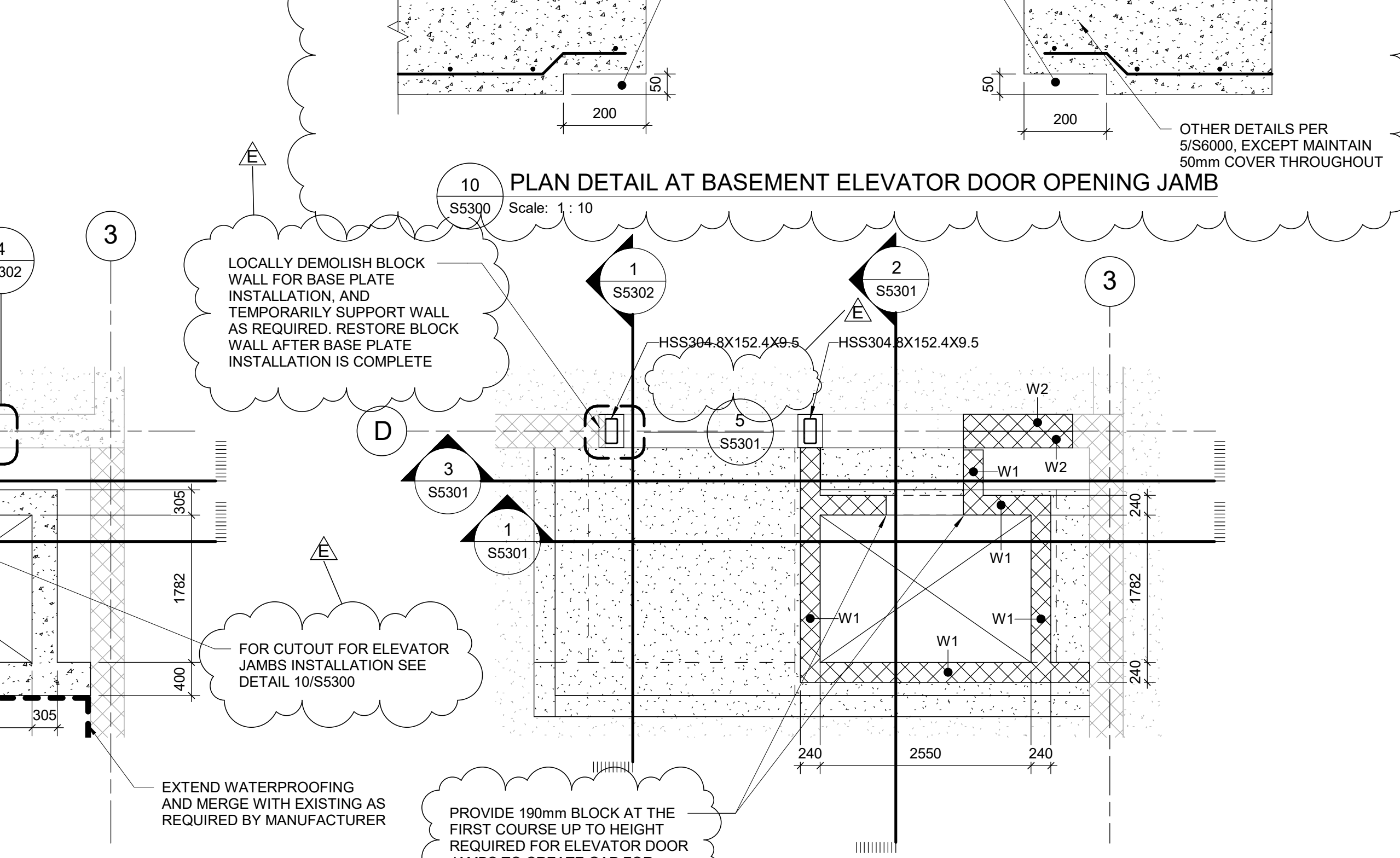
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S5300 Scale: 1 : 50



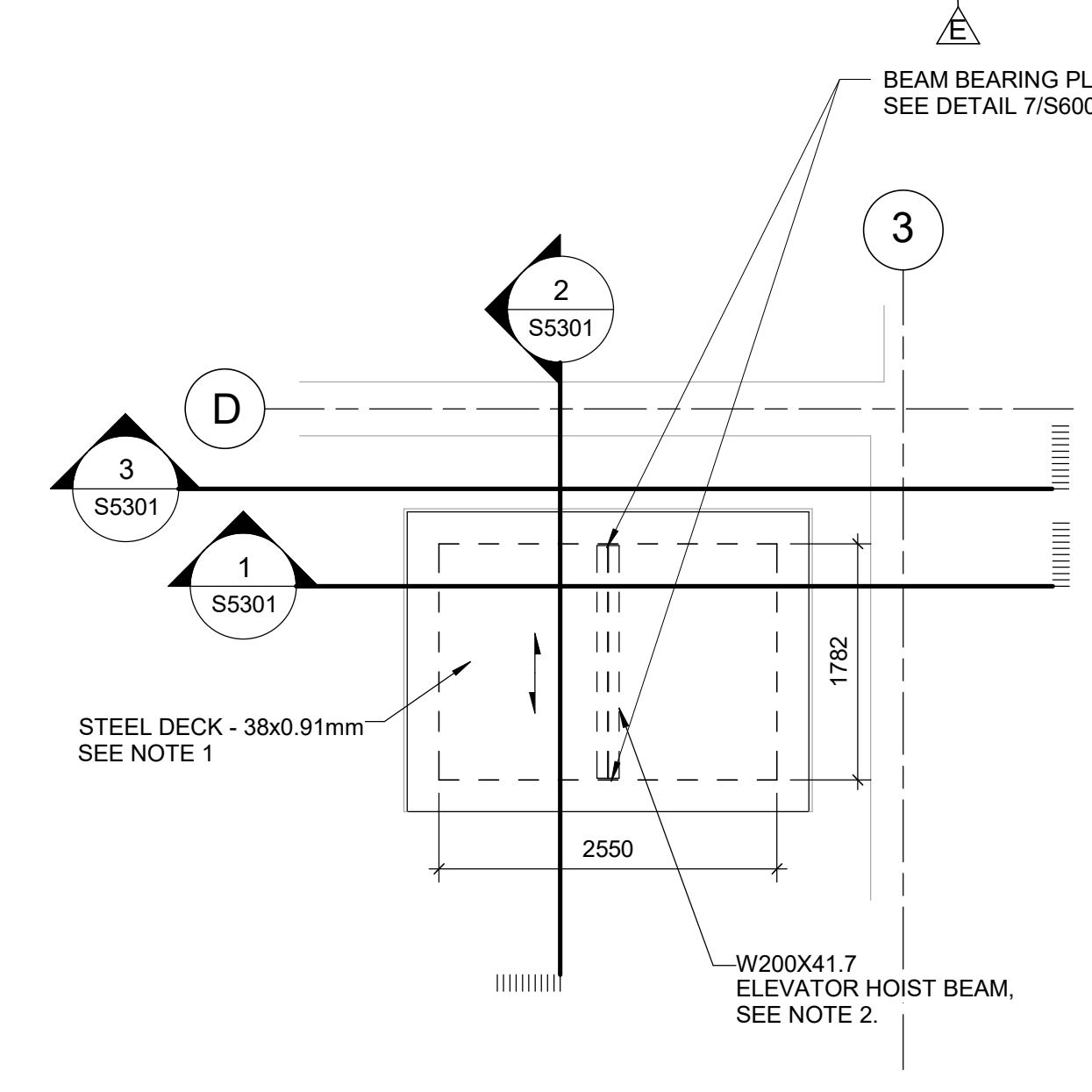
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S5300 Scale: 1 : 50



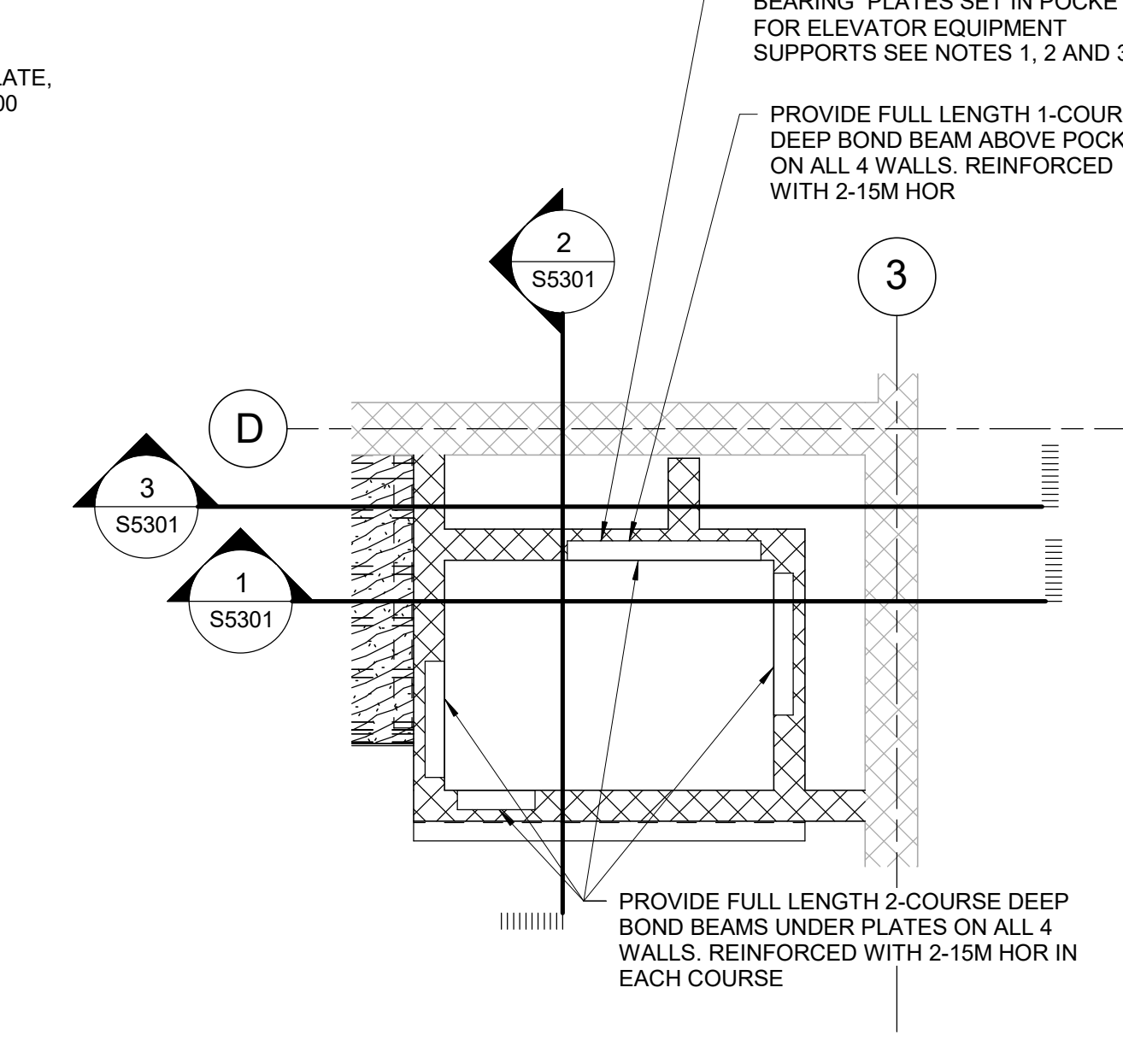
5 ROOF PLAN  
S5300 Scale: 1 : 50



3 FIRST FLOOR PLAN  
S5300 Scale: 1 : 50



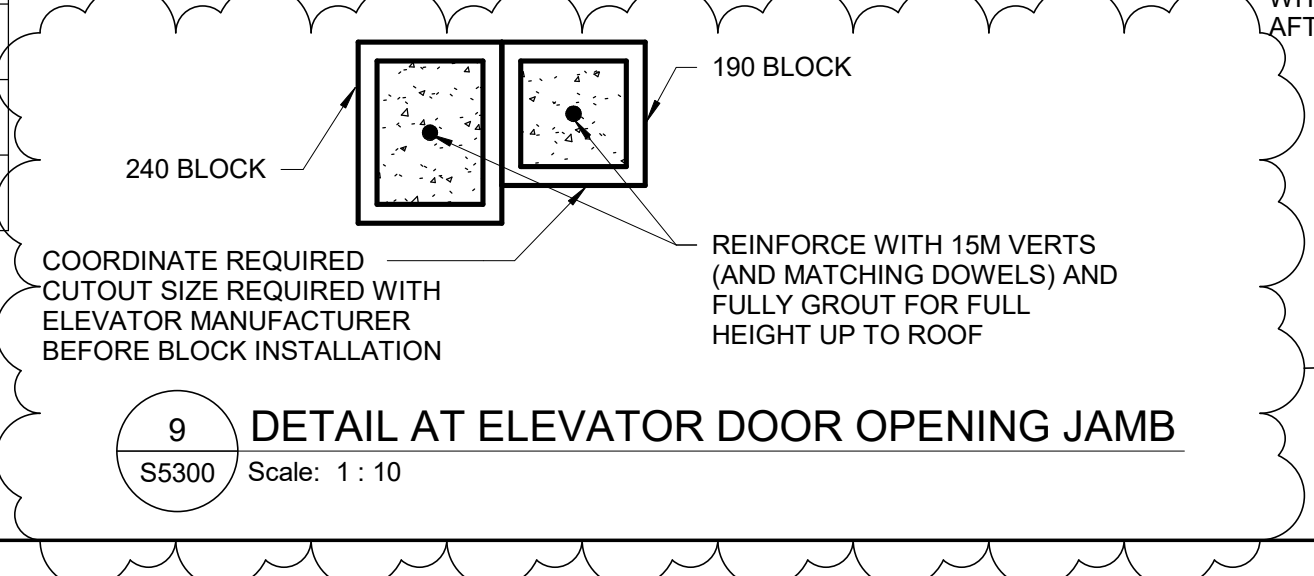
6 ELEVATOR ROOF PLAN  
S5300 Scale: 1 : 50



8 ELEVATOR EQUIPMENT SUPPORTS PLAN  
S5300 Scale: 1 : 50

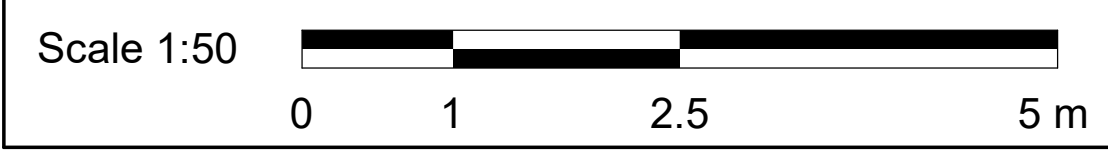
- DRAWING NOTES:**
- DESIGN LOADS FOR ROOF DECK:  
I) SUPERIMPOSED DEAD LOAD = 0.5 KPA  
II) LIVE LOAD = 1.0 KPA  
III) SNOW LOAD = 1.36 KPA
  - EXACT LOCATION OF HOIST BEAM TO BE COORDINATED WITH ELEVATOR VENDOR.

- DETAIL NOTES:**
- SUPPORT LOCATIONS SHOWN ARE FOR REFERENCE ONLY. EXACT LOCATIONS OF POCKETS TO BE COORDINATED BY CONTRACTOR WITH ELEVATOR MANUFACTURER
  - PLATE WIDTH AND LENGTH TO BE COORDINATED BY CONTRACTOR WITH ELEVATOR MANUFACTURER
  - DEPTH OF POCKETS TO BE COORDINATED BY CONTRACTOR WITH ELEVATOR MANUFACTURER. GROUT ALL POCKETS AFTER INSTALLATION OF EQUIPMENT SUPPORTS



9 DETAIL AT ELEVATOR DOOR OPENING JAMB  
S5300 Scale: 1 : 10

BLOCK WALL SCHEDULE				
MARK	BLOCK	VERT. REINFORCING	HORIZ. REINFORCING	REMARKS
W1	240mm	15M@ 200 C/C VERT	EXTRA HEAVY DUTY REINF. IN JOINTS AT 400 C/C	1. WALL TO BE FULLY GROUTED
W2	2X190mm	15M@ 600 C/C VERT	EXTRA HEAVY DUTY REINF. IN JOINTS AT 600 C/C	1. WALL TO BE GROUTED AT REINFORCED CELLS. 2. WALL TO BE DOUBLE-WYTHE WITH GROUTED COLLAR JOINTS



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E	ADDENDUM 1	2022-11-04

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PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**WEST SCARBOROUGH  
COMMUNITY CENTER  
313 PHARMACY AVE.**

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY:  
**G. POULOU**

PROJECT MGR:  
**F. BOLOURIAN**

SHEET TITLE  
**ENLARGED PLANS -  
ELEVATORS**

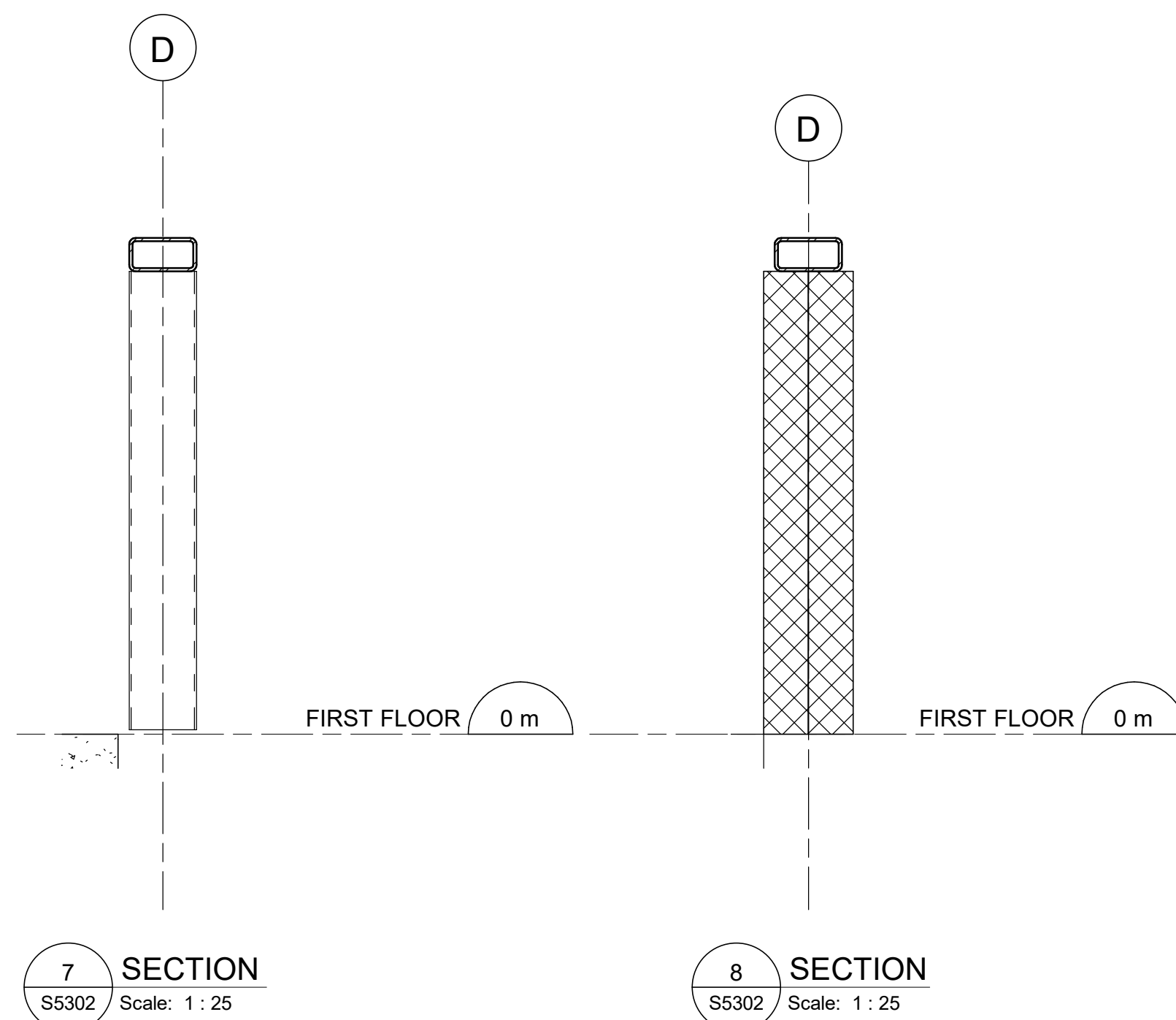
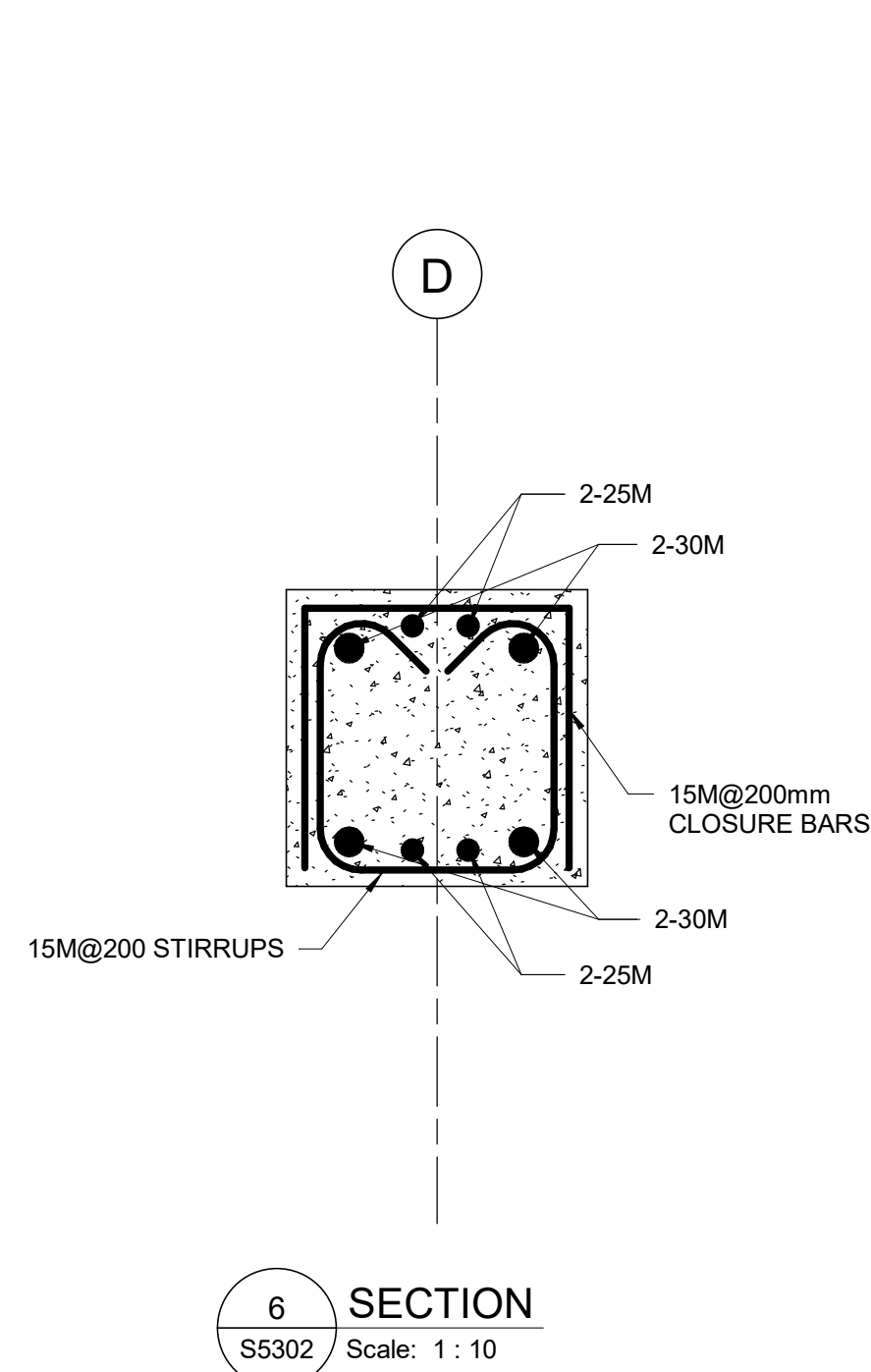
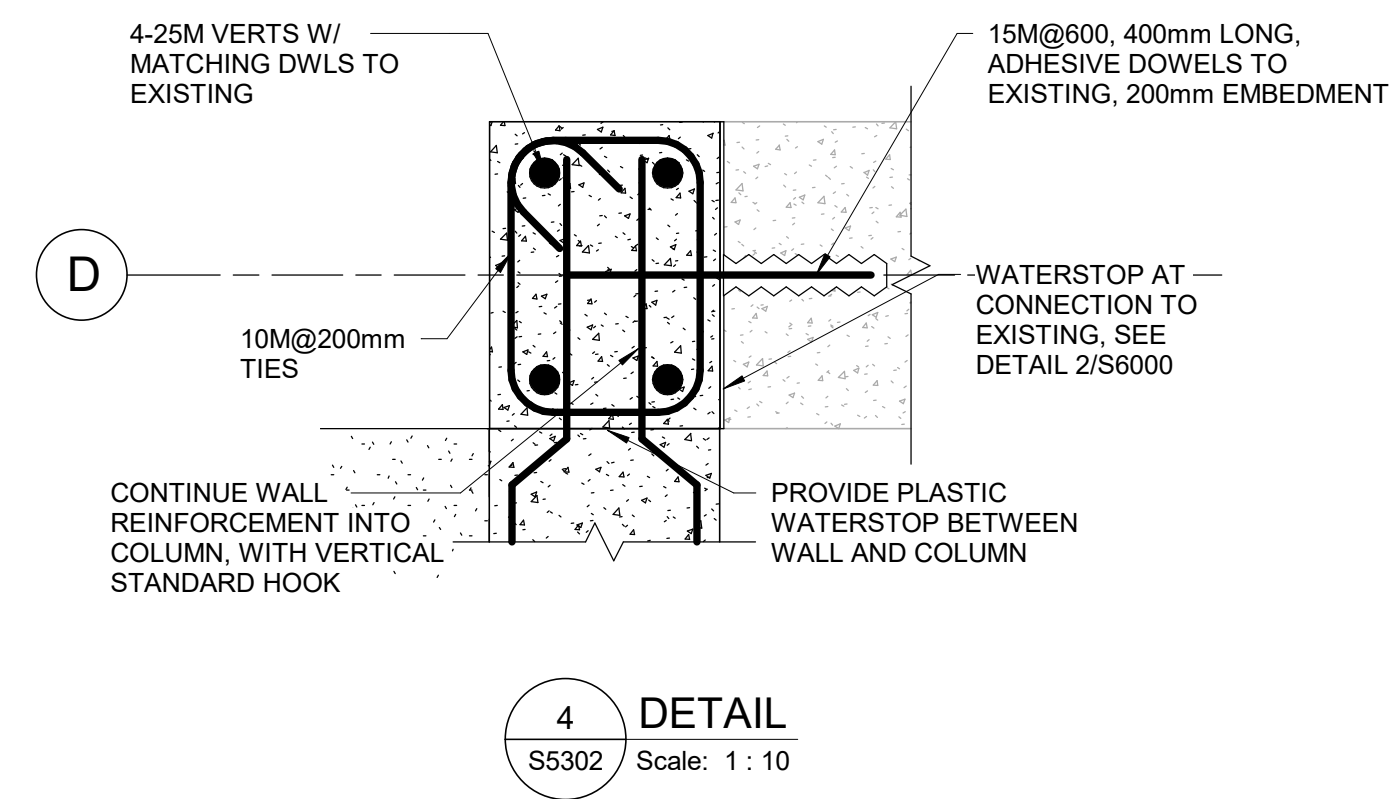
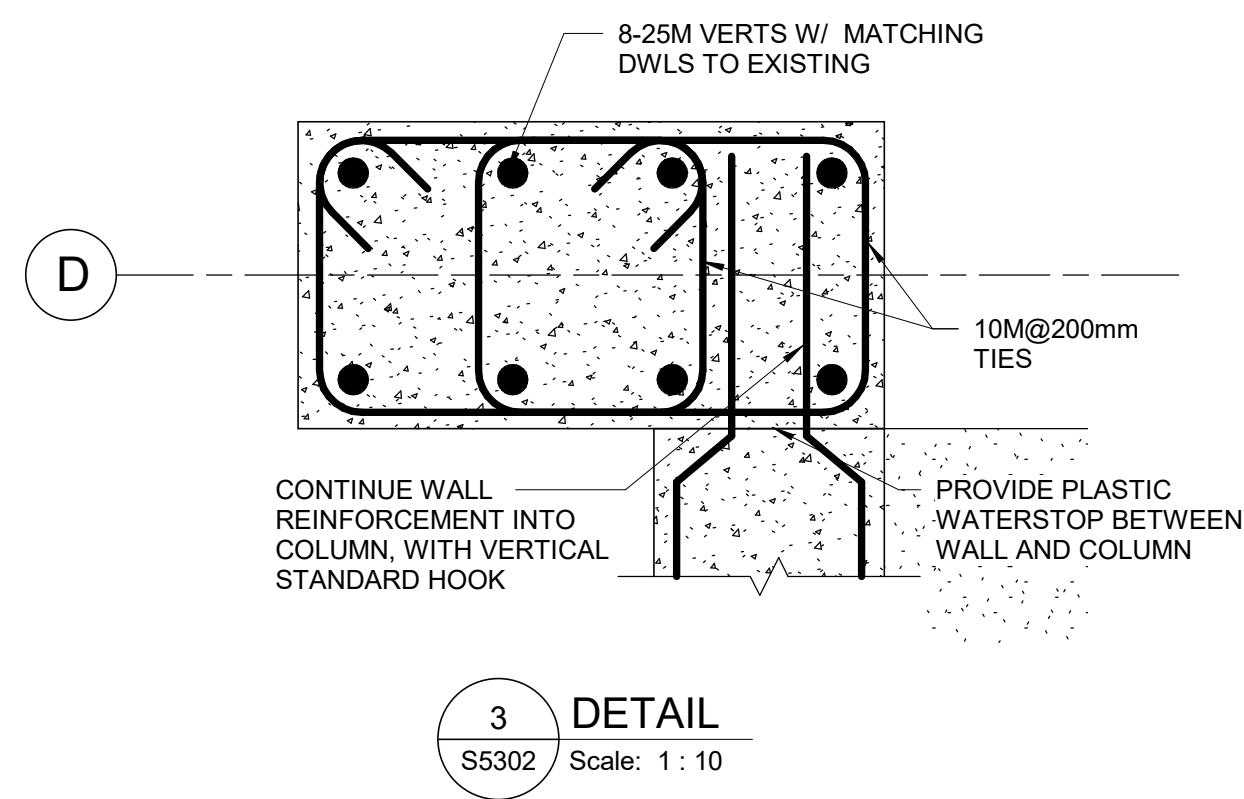
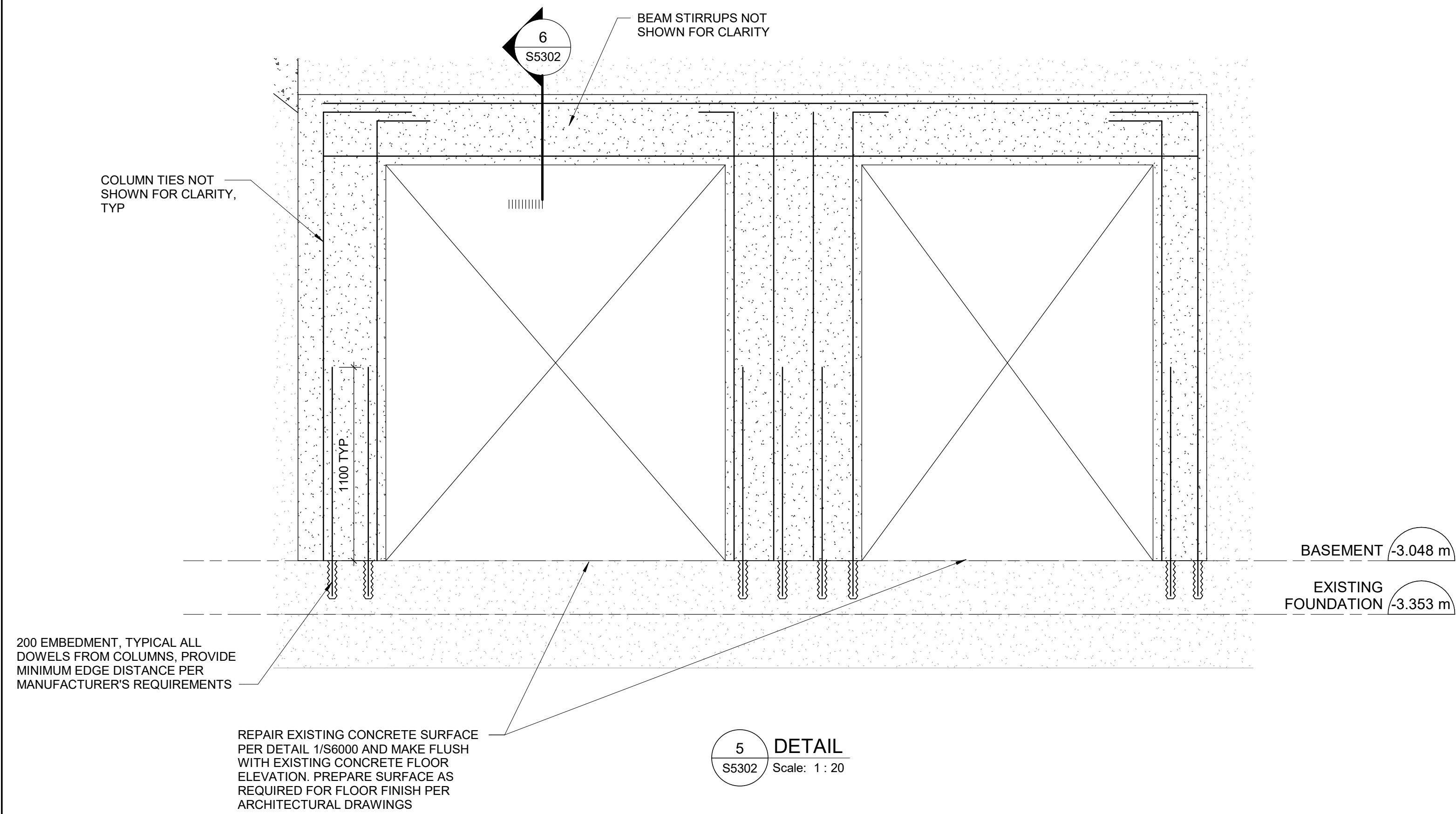
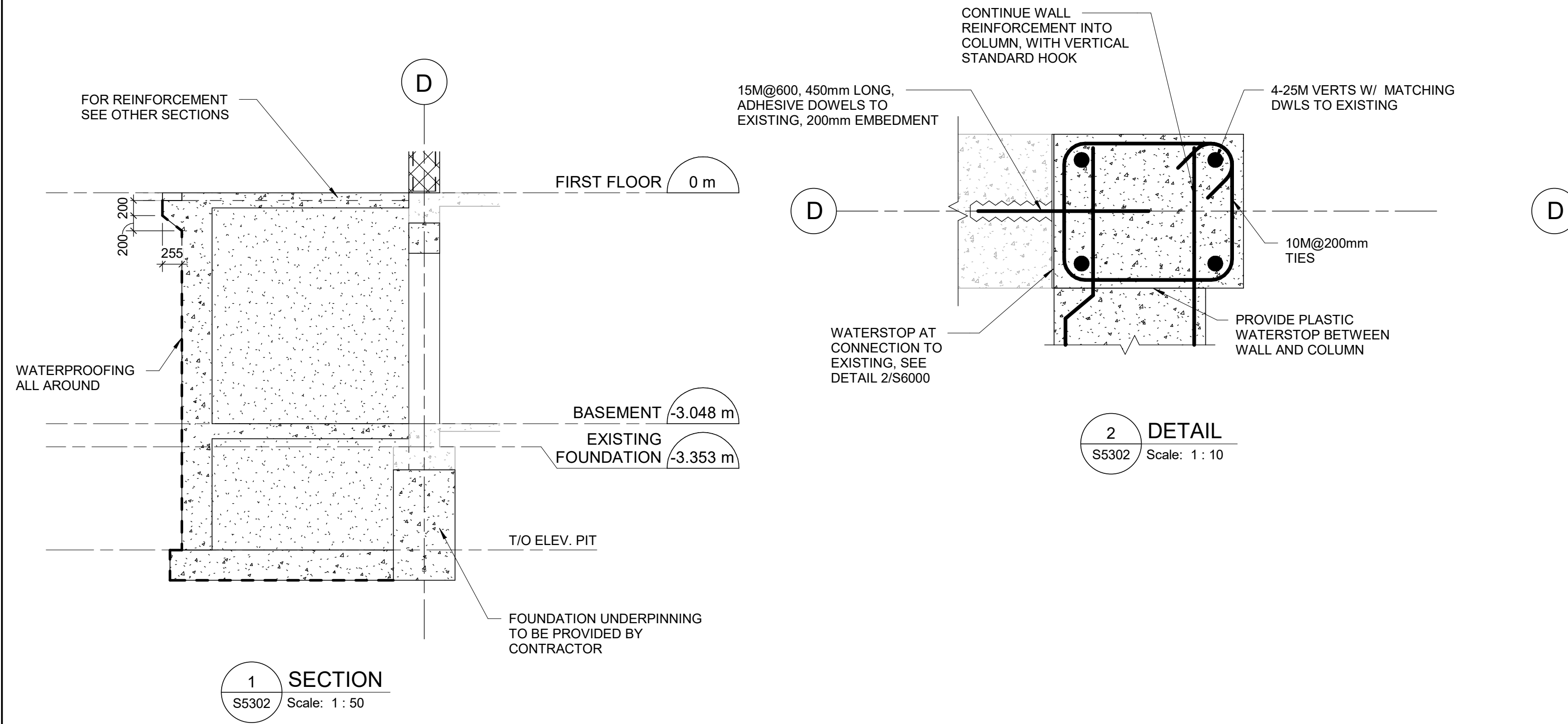
CHECKED BY:  
**T. MYSOREWALA**

APPROVED BY:  
**K. ANGER**

SHEET NUMBER  
**G28-184-S5300**

ISSUE  
**E**





ISSUES		
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**DRAWN BY:**  
G. POULOU

**CHECKED BY:**  
T. MYSOREWALA

**PROJECT MGR:**  
F. BOLOURIAN

**APPROVED BY:**  
K. ANGER

**SHEET TITLE**

**SECTIONS AND DETAILS**

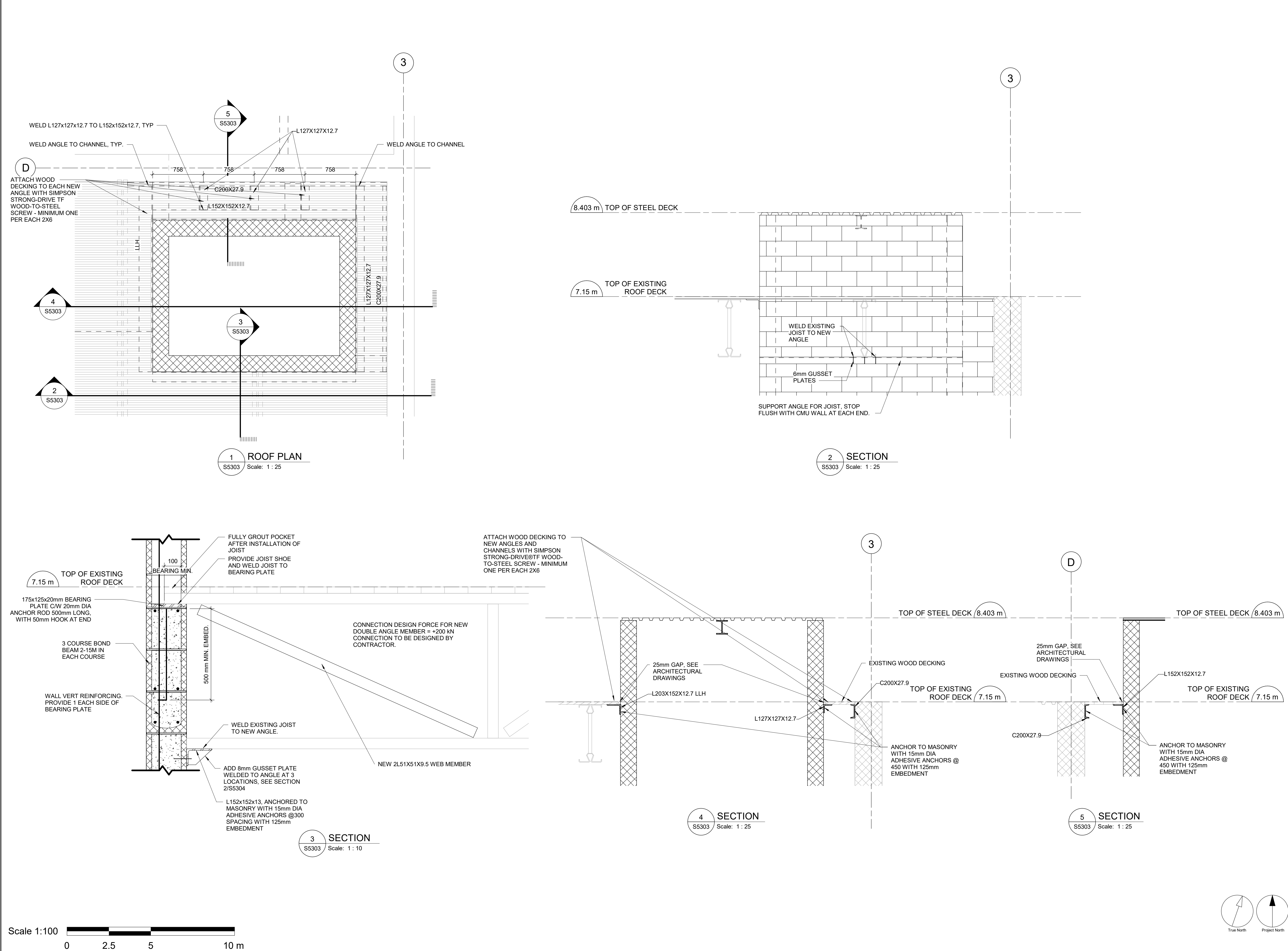
**SHEET NUMBER**

**G28-184-S5302**

**ISSUE**

**C**





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A	ISSUED FOR TENDER	2022-11-01

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**COMMUNITY CENTER**  
313 PHARMACY AVE.

**PROJECT NO:**  
9119-19-0162 / IBI 122260

**DRAWN BY:**  
**G. POULOU**

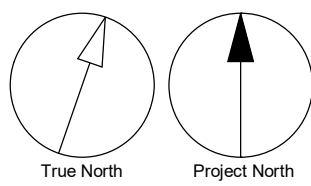
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**T. MYSOREWALA**

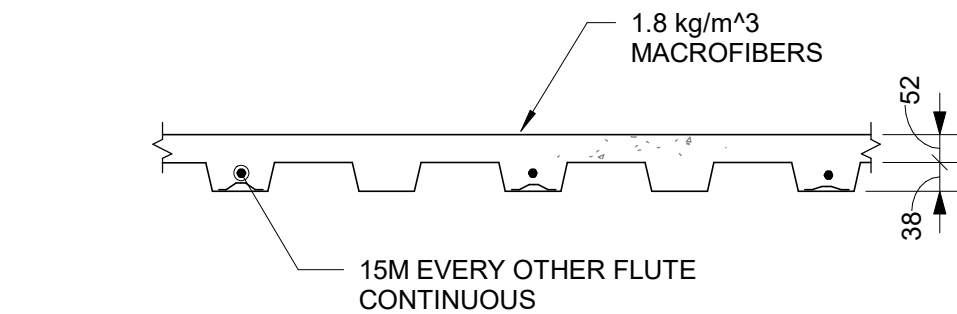
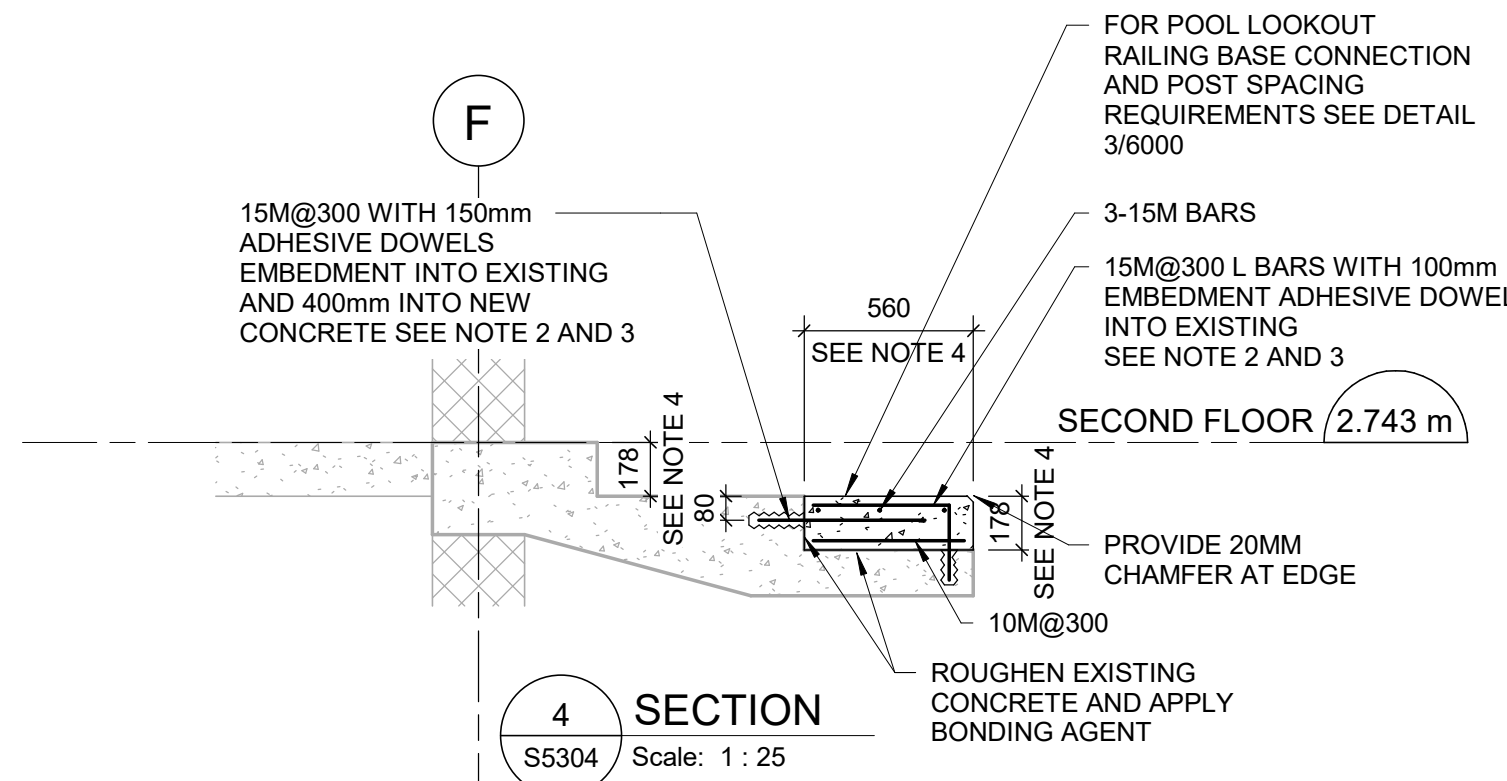
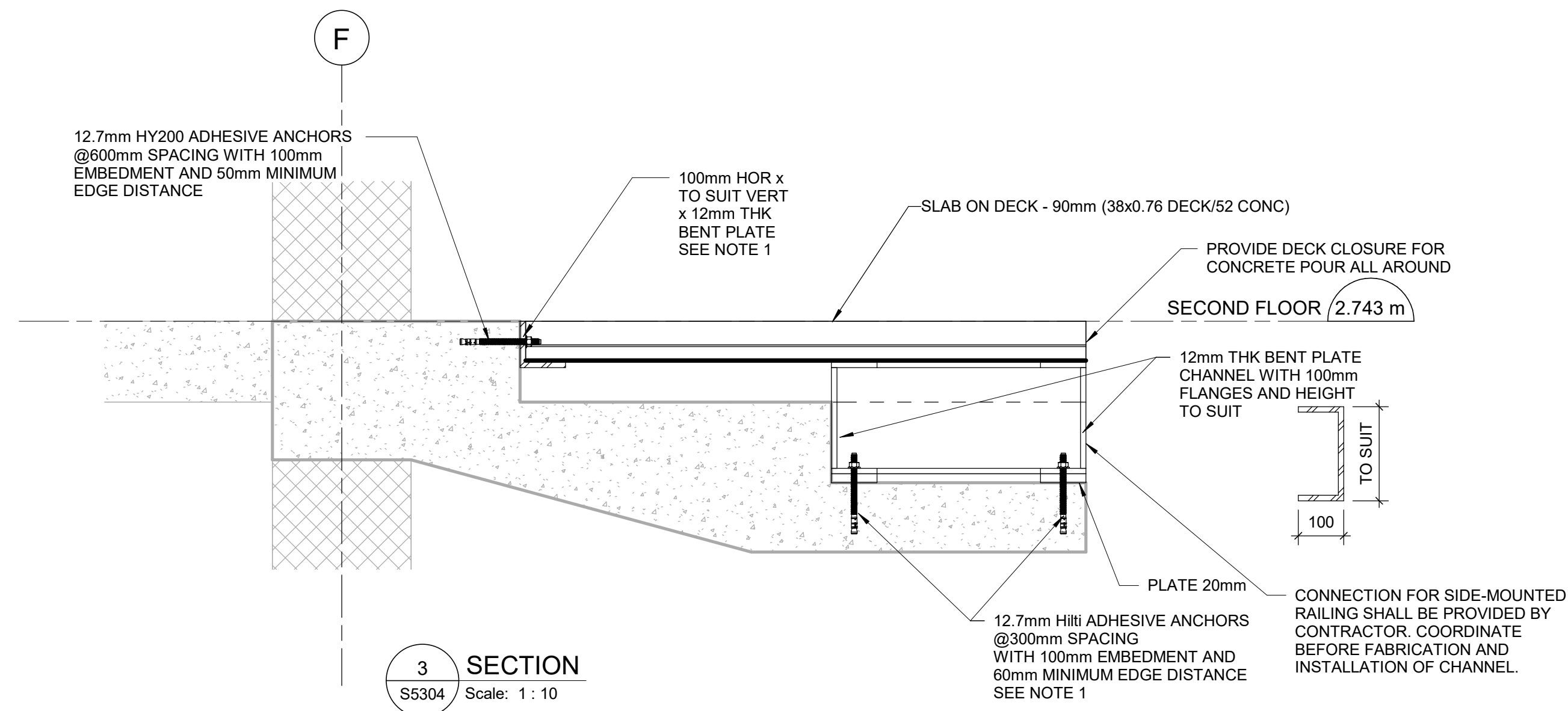
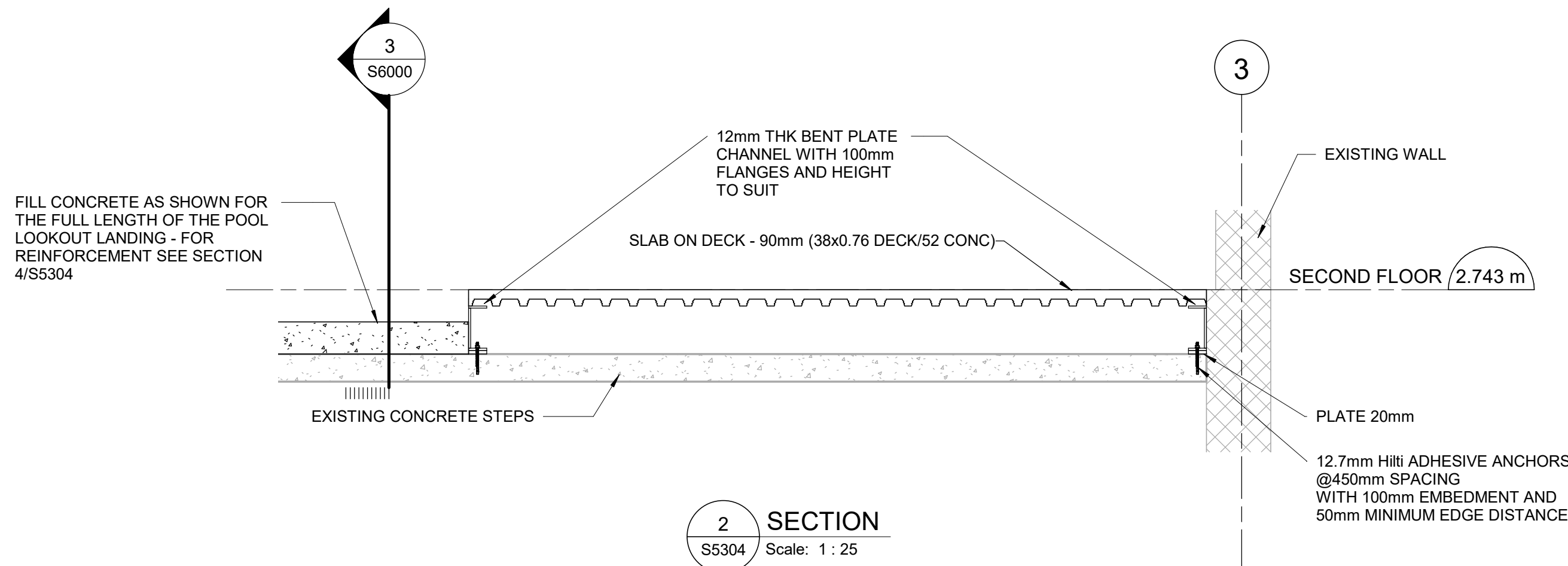
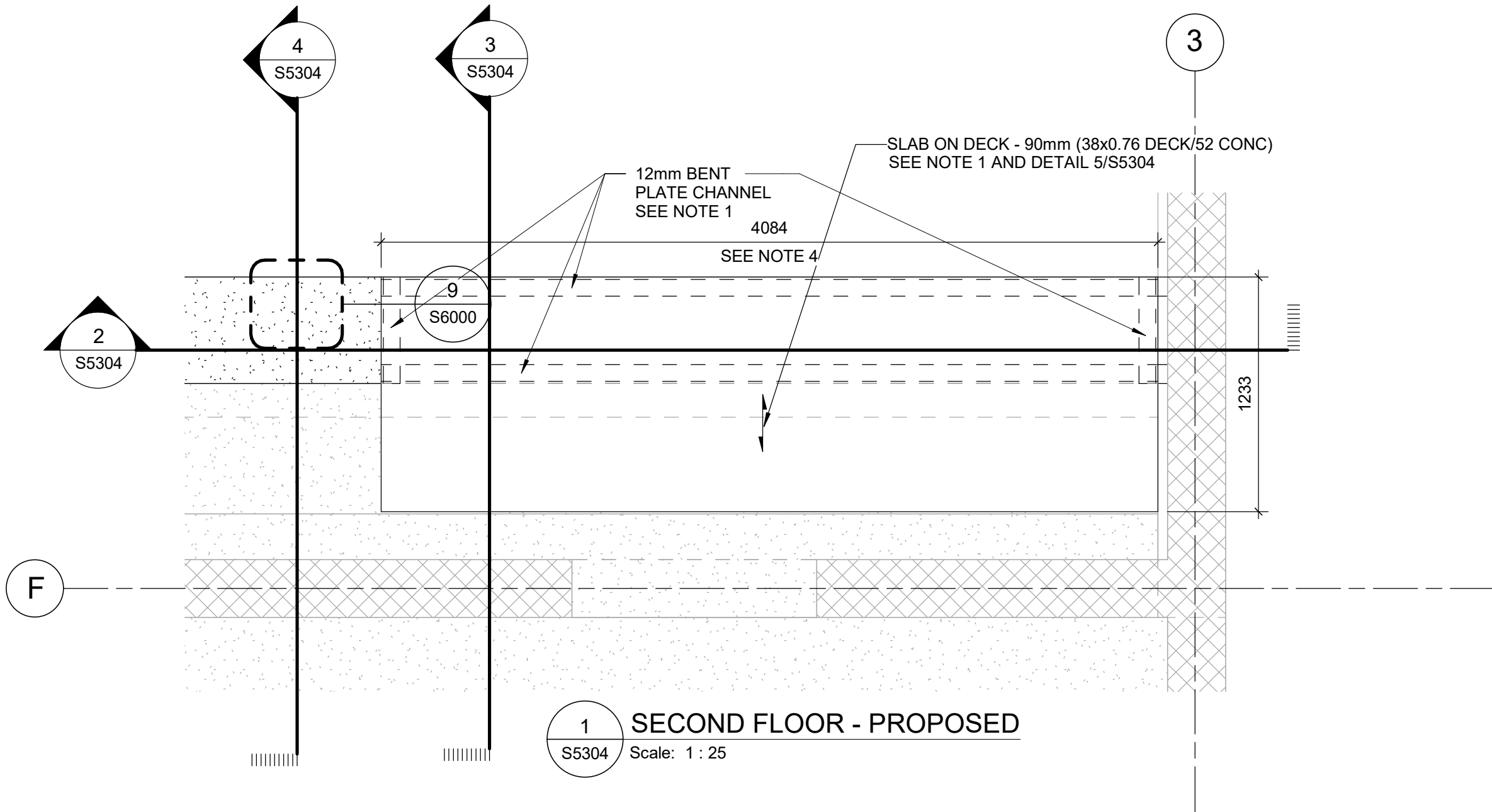
**PROJECT MGR:**  
**F. BOLOURIAN**

**APPROVED BY:**  
**K. ANGER**

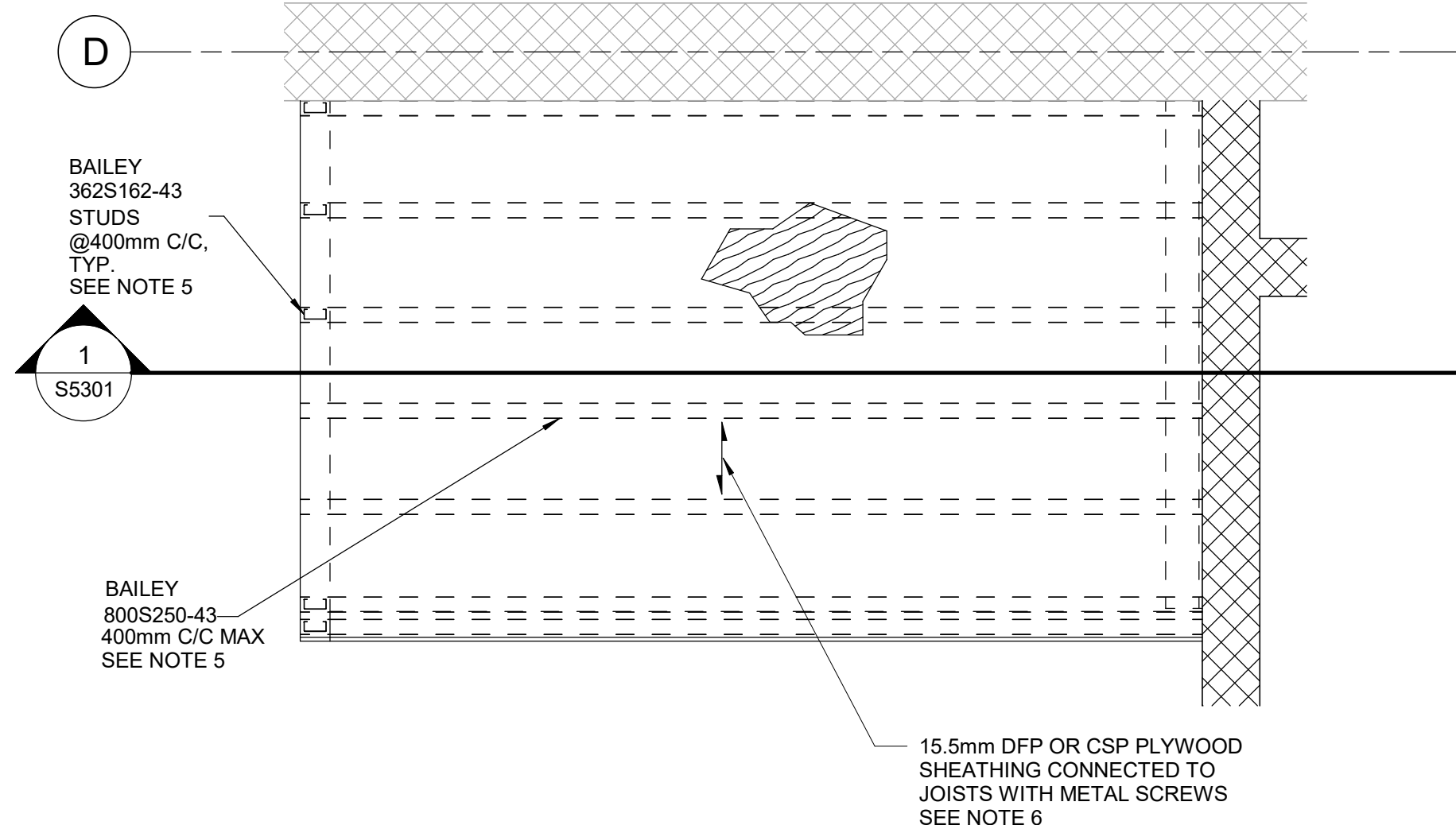
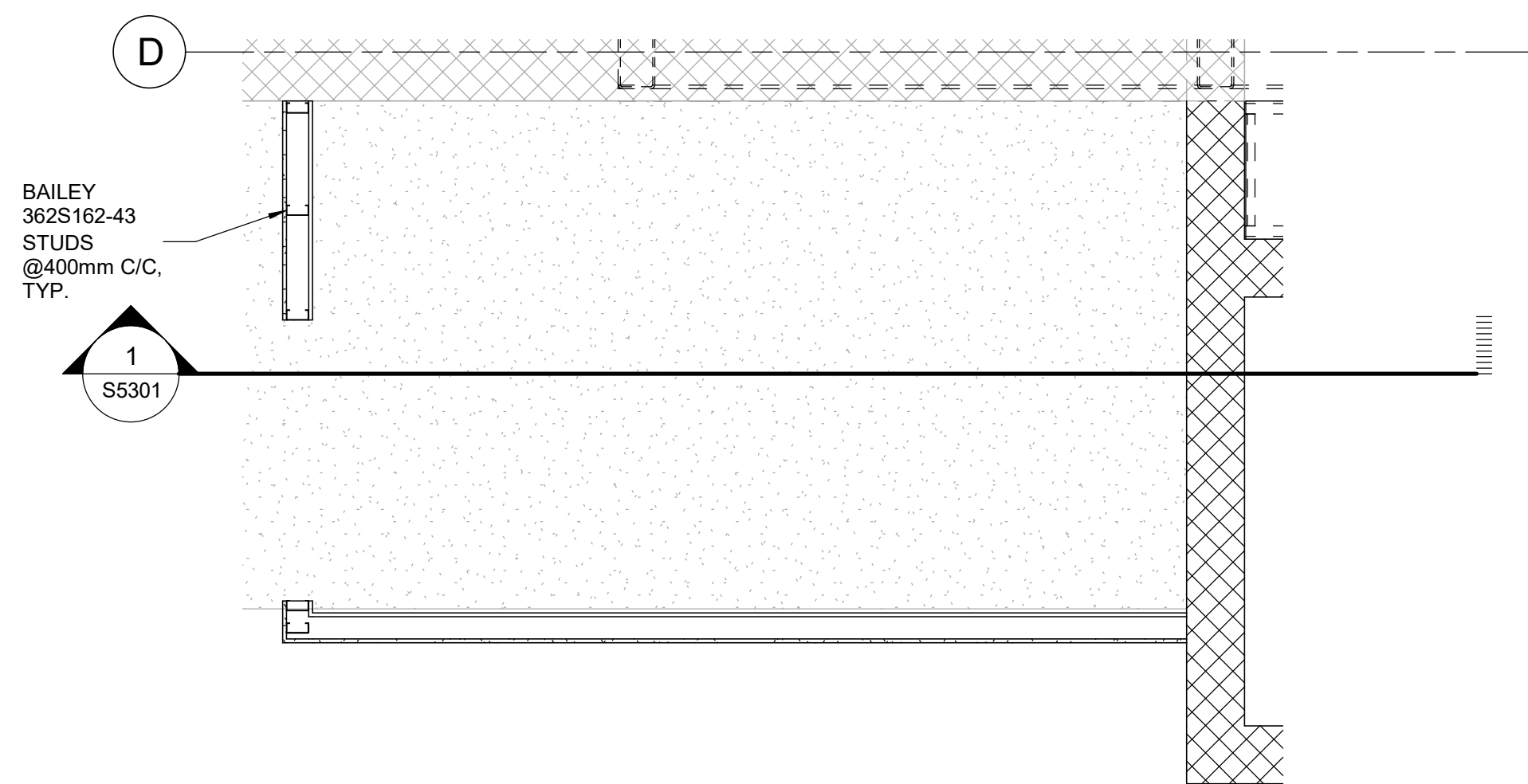
**SHEET TITLE**  
**NEW ROOF FRAMING**  
**DETAILS**

<b>SHEET NUMBER</b> <b>G28-184-S5303</b>	<b>ISSUE</b> <b>A</b>
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5 REINFORCEMENT FOR SLAB ON DECK  
Scale: 1 : 20



- NOTES:**
- ALL STEEL FRAMING AND DECK AT POOL LOOKOUT SHALL BE HOT-DIP GALVANIZED
  - SCAN AND MAP EXISTING REINFORCEMENT PRIOR TO DRILLING NEW DOWELS AND ANCHORS. OFFSET NEW DOWELS AND ANCHORS FROM EXISTING REINFORCEMENT AND DO NOT DAMAGE EXISTING REINFORCEMENT
  - PROVIDE 80mm MINIMUM EDGE DISTANCE FOR DOWELS FROM EDGE OF POOL LOOKOUT
  - CONTRACTOR FIELD VERIFY DIMENSIONS PRIOR TO FABRICATION
  - STUD WALL, JOISTS AND ASSOCIATED CONNECTIONS AND STAMPORE SHALL BE DESIGNED AND STAMPED BY THE CONTRACTOR'S PROFESSIONAL ENGINEER, LICENSED TO PRACTICE IN THE PROVINCE OF ONTARIO
  - DESIGN LIVE LOAD FOR ELEVATOR CLOSET ROOF IS 1 kPa.

ISSUES		
No.	DESCRIPTION	DATE
A	90% SUBMISSION	2022-01-04
B	ISSUED FOR PERMIT	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**WEST SCARBOROUGH  
COMMUNITY CENTER  
313 PHARMACY AVE.**

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY:  
**G. POULOU**

CHECKED BY:  
**T. MYSOREWALA**

PROJECT MGR:  
**F. BOLOURIAN**

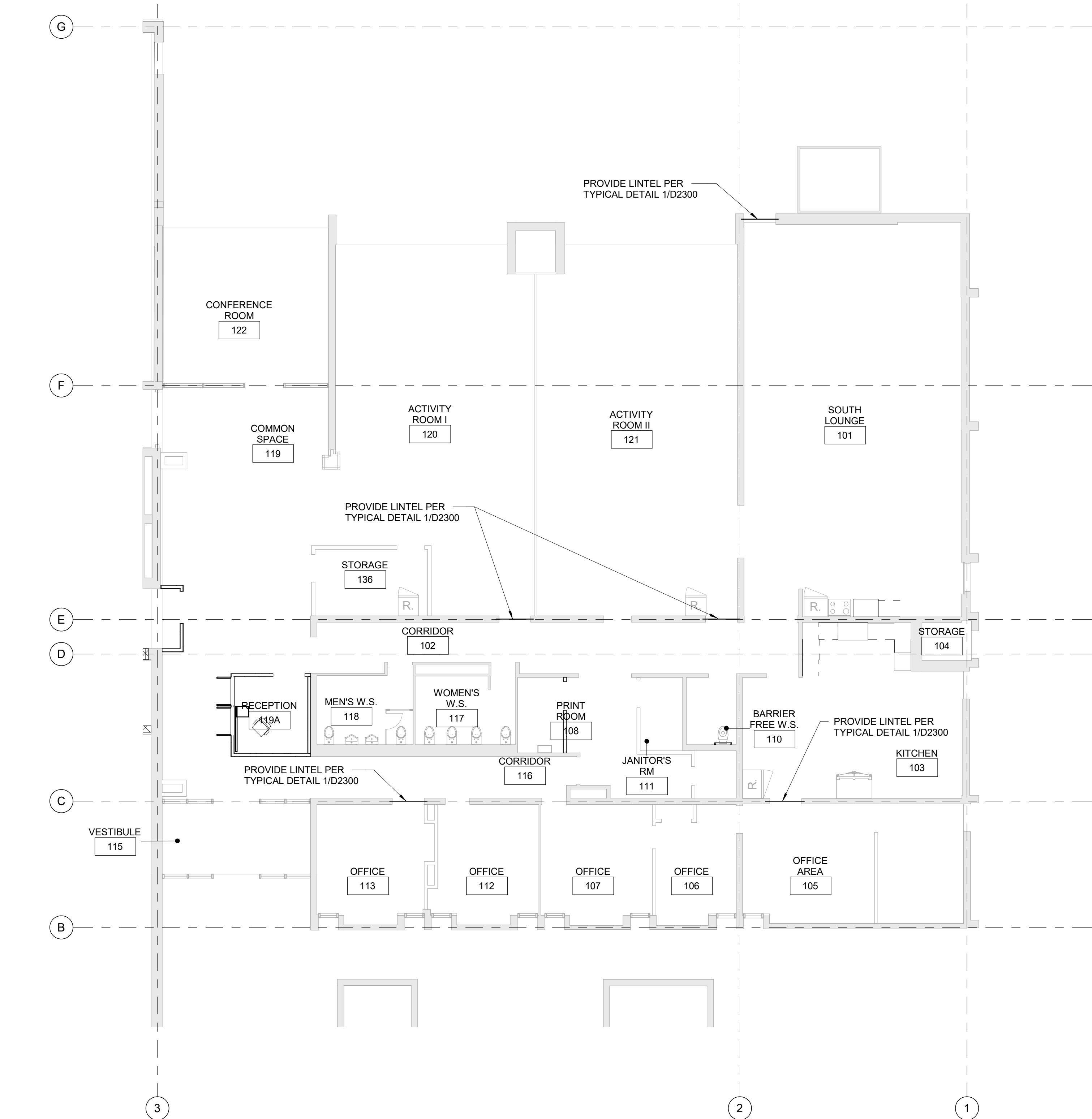
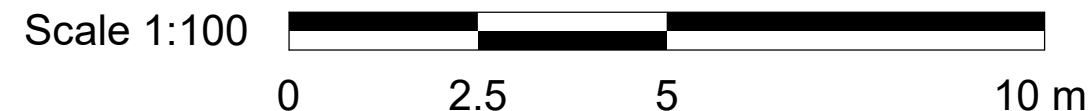
APPROVED BY:  
**K. ANGER**

SHEET TITLE  
**SECTION AND DETAIL AT  
POOL LOOKOUT AND  
ELEVATOR CLOSET**

SHEET NUMBER  
**G28-184-S5304**

ISSUE  
**C**

2023-01-31 3:06:24 AM



1  
S5800 FIRST FLOOR DOOR WIDENING PLAN  
Scale: 1 : 100

- NOTES:**
1. THIS DRAWING SHOWS LINTELS FOR MASONRY PARTITION WALLS ONLY. FOR LOAD BEARING WALLS, REFER TO OTHER STRUCTURAL DRAWINGS. FOR OTHER TYPES OF PARTITION WALLS, REFER TO ARCHITECTURAL DRAWINGS.
  2. FOR DOOR SIZES REFER TO ARCHITECTURAL DRAWINGS.
  3. REVIEW ARCHITECTURAL DRAWINGS FOR ADDITIONAL DOOR WIDENINGS NOT SHOWN ON THIS DRAWING. FOR ALL MASONRY PARTITION WALLS, REFER TO DETAIL 1/D2300 FOR LINTELS.

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Project Management Office  
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ISSUES		
No.	DESCRIPTION	DATE
A	ISSUED FOR TENDER	2022-11-01

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313 PHARMACY AVE.**

PROJECT NO:  
9119-19-0162 / IBI 122260

DRAWN BY: <b>G. POULOU</b>	CHECKED BY: <b>T. MYSOREWALA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>K. ANGER</b>

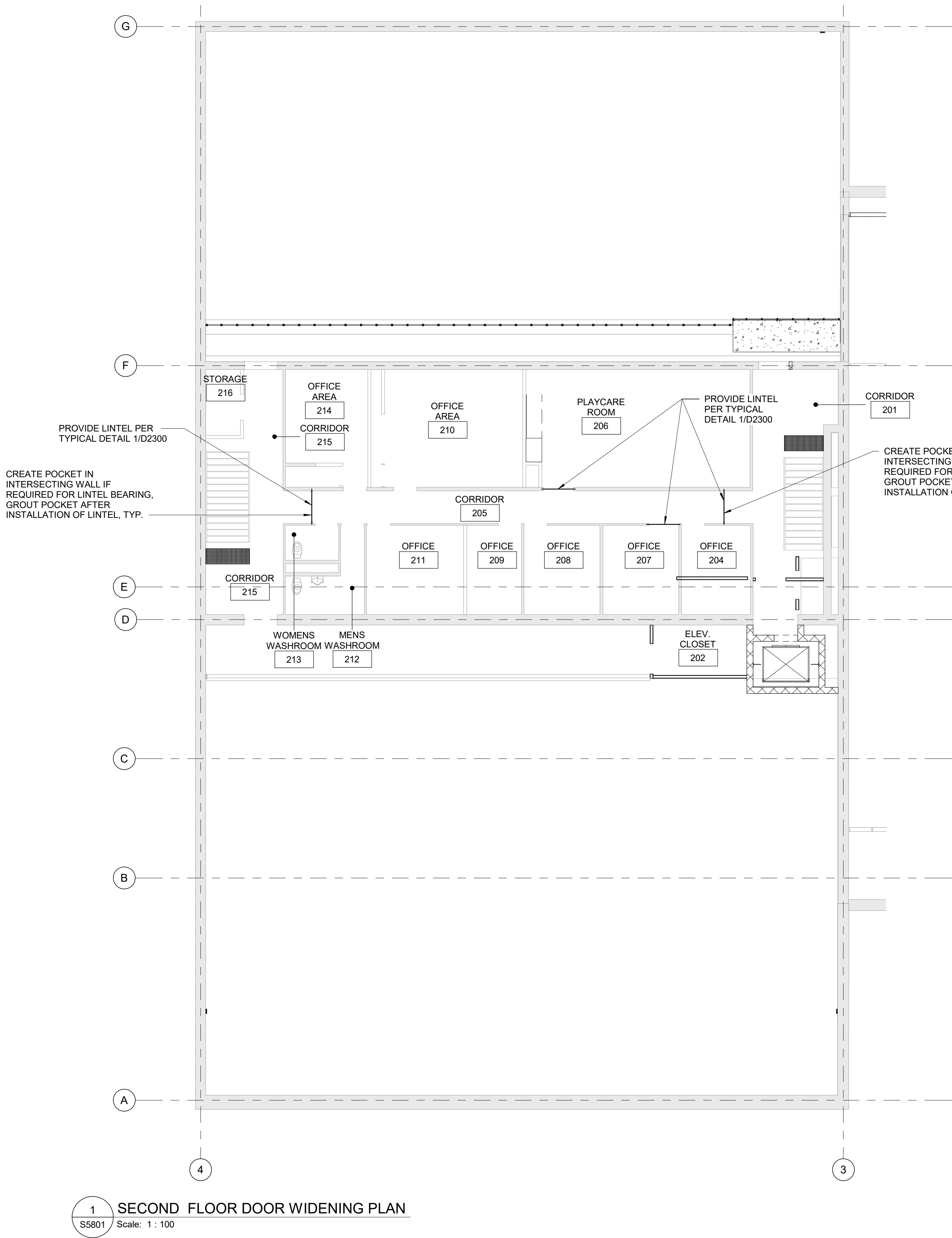
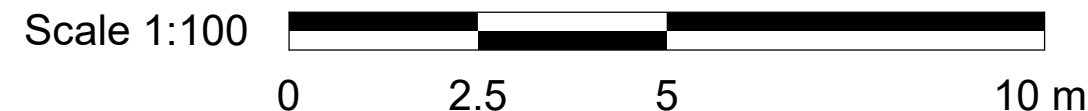
SHEET TITLE  
**FIRST FLOOR DOOR  
WIDENIND PLAN -  
MASONRY PARTITION**

SHEET NUMBER <b>G28-184-S5800</b>	ISSUE <b>A</b>
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BIM 380/122260 - CoT TAU Upgrades R2020122260-TAU-28-184-313PHRMCY-S-R20.rvt  
1/11



2023-01-31 3:06:25 AM




1 SECOND FLOOR DOOR WIDENING PLAN  
S5801 Scale: 1 : 100

- NOTES:**
- THIS DRAWING SHOWS LINTELS FOR MASONRY PARTITION WALLS ONLY. FOR LOAD BEARING WALLS, REFER TO OTHER STRUCTURAL DRAWINGS. FOR OTHER TYPES OF PARTITION WALLS, REFER TO ARCHITECTURAL DRAWINGS.
  - FOR DOOR SIZES REFER TO ARCHITECTURAL DRAWINGS.
  - REVIEW ARCHITECTURAL DRAWINGS FOR ADDITIONAL DOOR WIDENINGS NOT SHOWN ON THIS DRAWING. FOR ALL MASONRY PARTITION WALLS, REFER TO DETAIL 1/D2300 FOR LINTELS.

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PROJECT ADDRESS

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PROJECT NO:  
9119-19-0162 / IBI 122260

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PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
K. ANGER

SHEET TITLE

SECOND FLOOR DOOR  
WIDENIND PLAN -  
MASONRY PARTITION

SHEET NUMBER

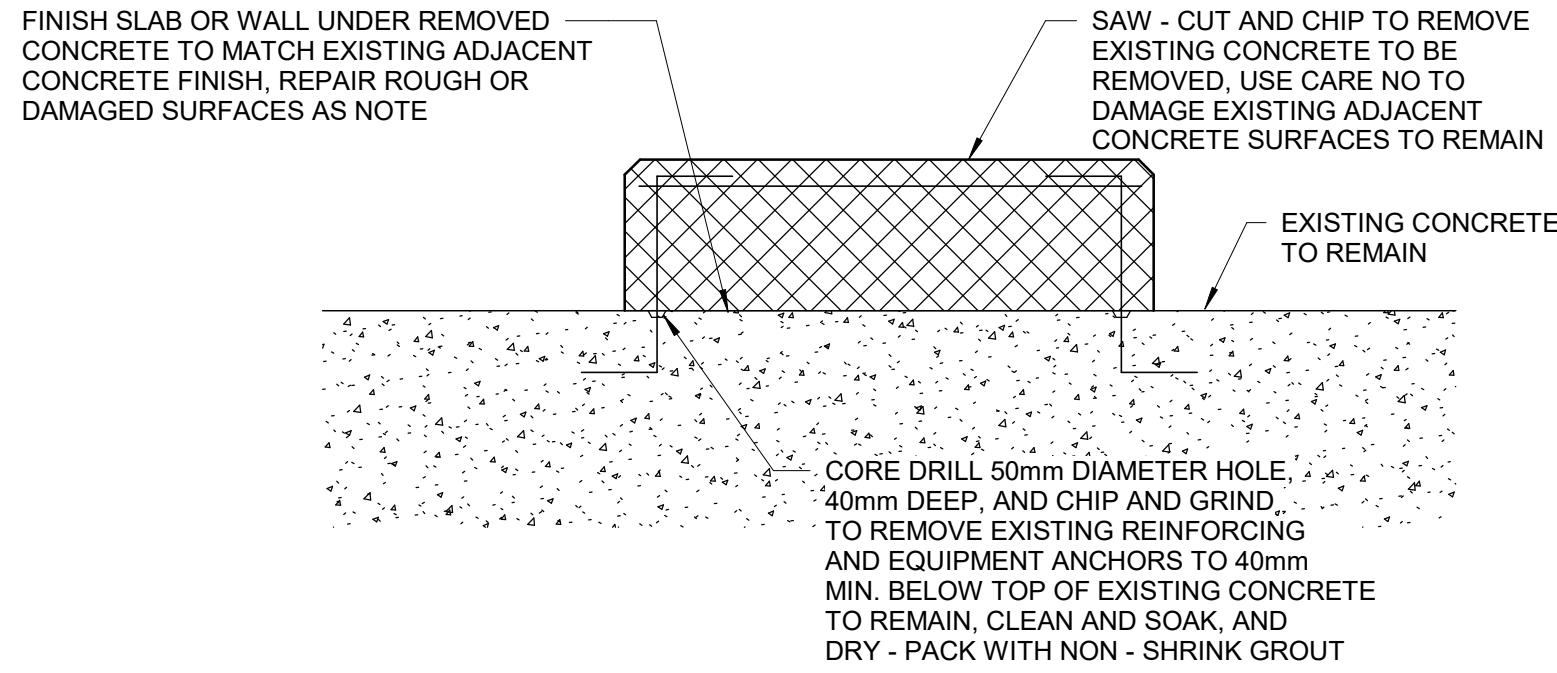
G28-184-S5801

ISSUE

A

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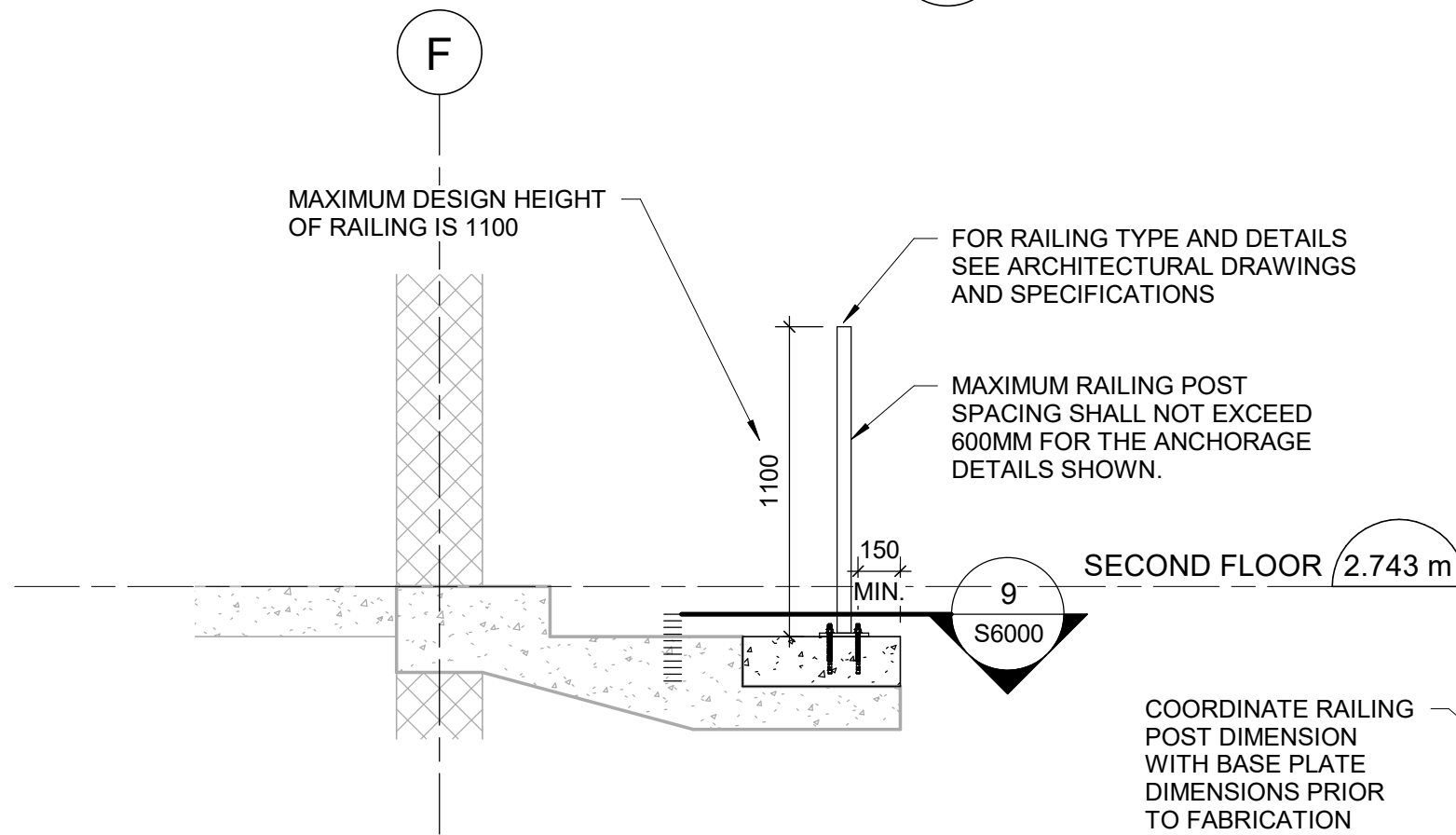


**DETAIL NOTES:**

1. REMOVE CONCRETE OUT TO SOUND CONCRETE.
2. IF CHIPPING INTO THE SURFACE OF THE EXISTING SLAB OR WALL TO REMAIN IS REQUIRED, MAKE EDGE PERPENDICULAR TO THE SURFACE. DO NOT FEATHER EDGES.
3. FILL DEFECTIVE AREA WITH NON - SHRINK GROUT OR AN APPROVED PREPACKAGED PATCHING MATERIAL TO MATCH APPEARANCE OF ADJACENT CONCRETE SURFACES.
4. USE APPROVED BONDING AGENT ON SURFACES TO BE PATCHED PRIOR TO PLACING NON - SHRINK GROUT.
5. DEMONSTRATE METHODS FOR REPAIR USING ACTUAL MATERIALS, METHODS, AND CURING PROCEDURES REQUIRED BY MATERIAL MANUFACTURERS. CONSULT WITH BONDING AGENT MANUFACTURER AND NON - SHRINK GROUT MANUFACTURER ON TECHNIQUES.

**1 TYPICAL CONCRETE DEMOLITION**

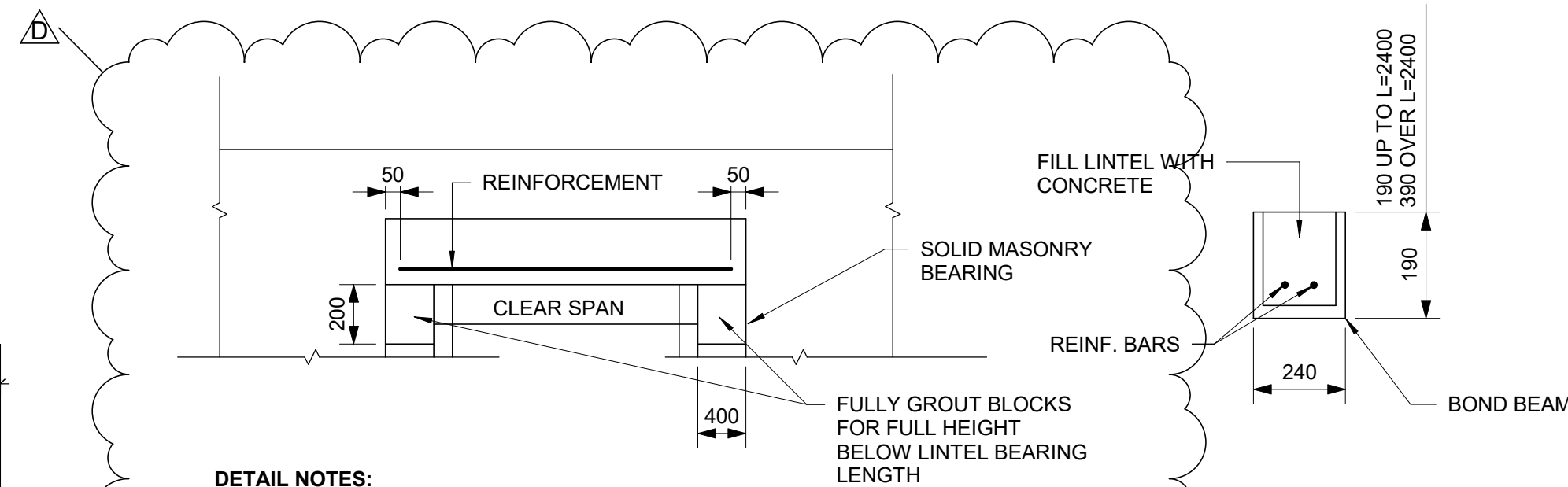
S6000 Scale: 1 : 10



**3 POOL LOOKOUT RAILING CONNECTION REQUIREMENTS**

S6000 Scale: 1 : 25

CLEAR SPAN	REINF. IN BOND BEAM
UP TO 2400	2-20M
2400 TO 3000	4-20M

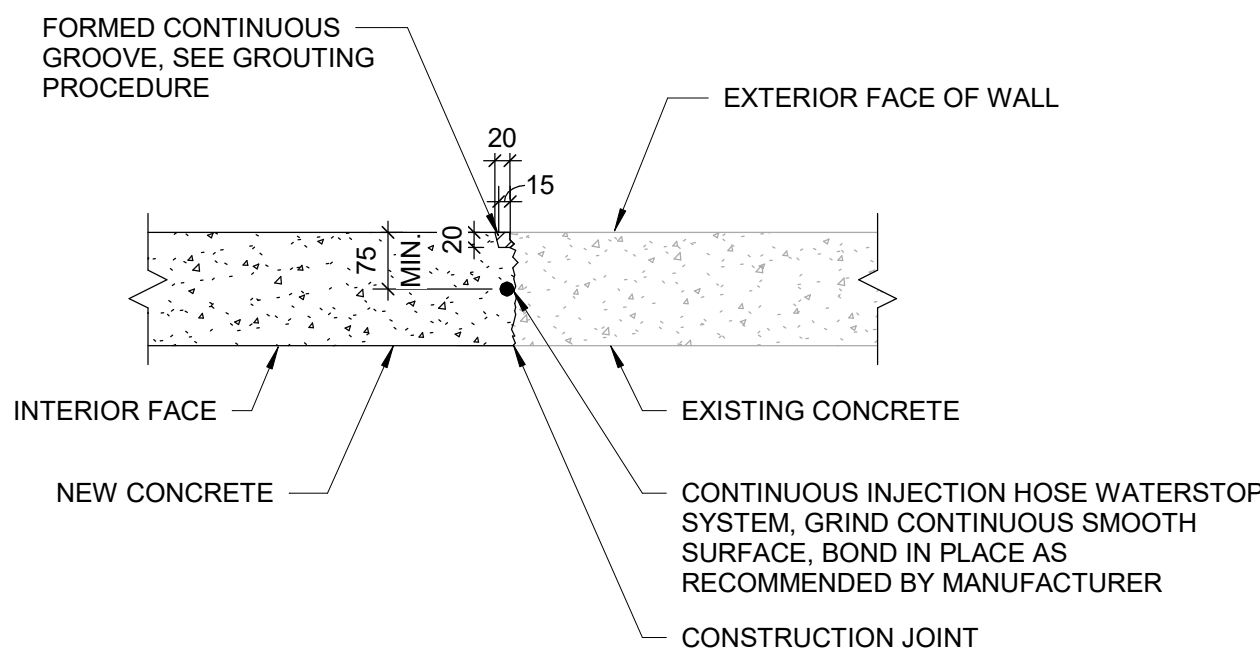


**DETAIL NOTES:**

1. BLOCKS ABOVE LINTELS TO BE FILLED SOLID WITH GROUT FOR HEIGHT EQUAL TO SPAN.
2. SHORE LINTELS UNTIL GROUT REACHES DESIGN STRENGTH.
3. USE THIS DETAIL FOR ALL MASONRY OPENINGS UNO

**4 MASONRY LINTELS**

S6000 Scale: 1 : 20

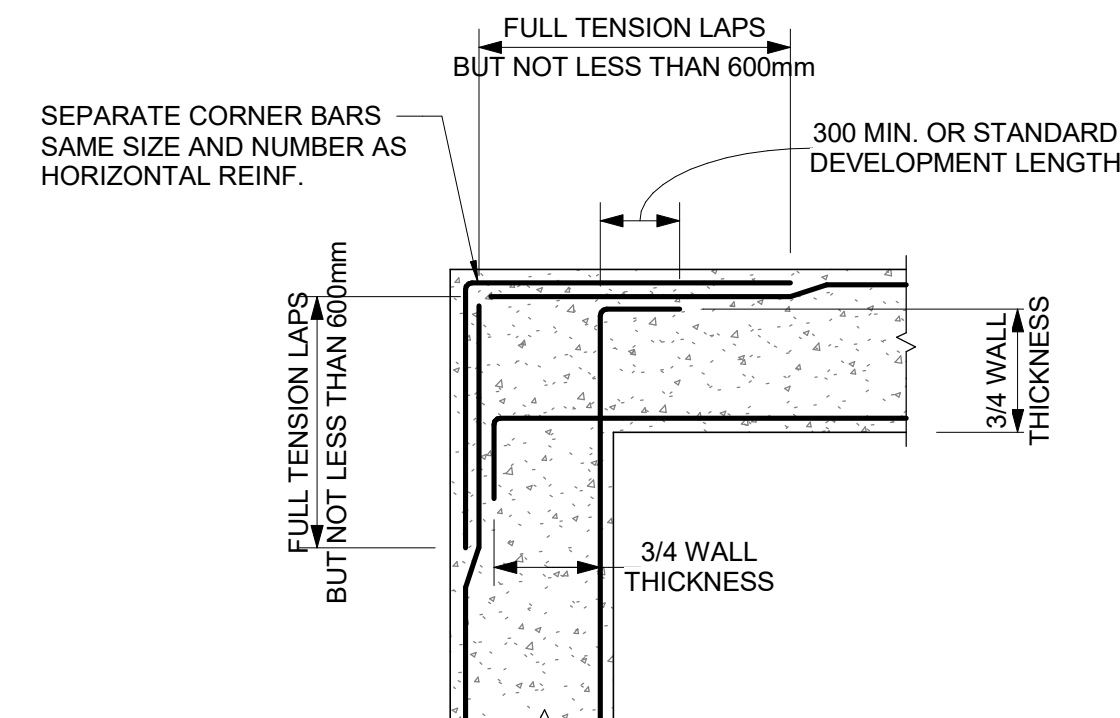


**GROUTING PROCEDURE:**

1. WAIT UNTIL NEW CONCRETE MINIMUM 28 DAYS OLD PRIOR TO GROUTING GROOVE.
2. ROUGHEN AND CLEAN SURFACE OF GROOVE WITH POWER WIRE BRUSH OR SANDBLASTING.
3. SATURATE AREA FOR 24 HOUR PRIOR TO GROUTING.
4. DRY PACK WITH NON - SHRINK GROUT.
5. USE STEEL HAMMER AND STEEL TOOL TO DENSELY PACK GROUT INTO GROOVE.
6. WATER CURE GROUT FOR 4 DAYS MINIMUM.

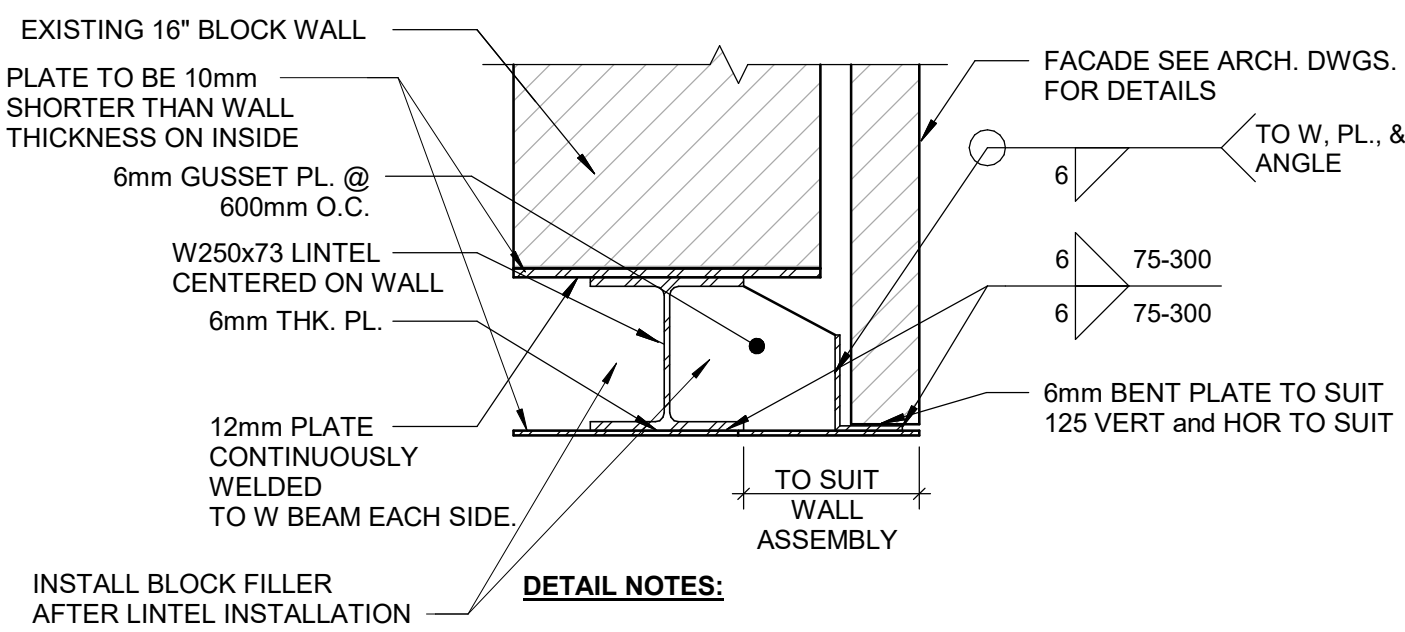
**2 INJECTION HOSE WATERSTOP AT CONNECTION TO EXISTING CONCRETE**

S6000 Scale: 1 : 10



**5 TYPICAL WALL CORNER REINFORCEMENT**

S6000 Scale: 1 : 20

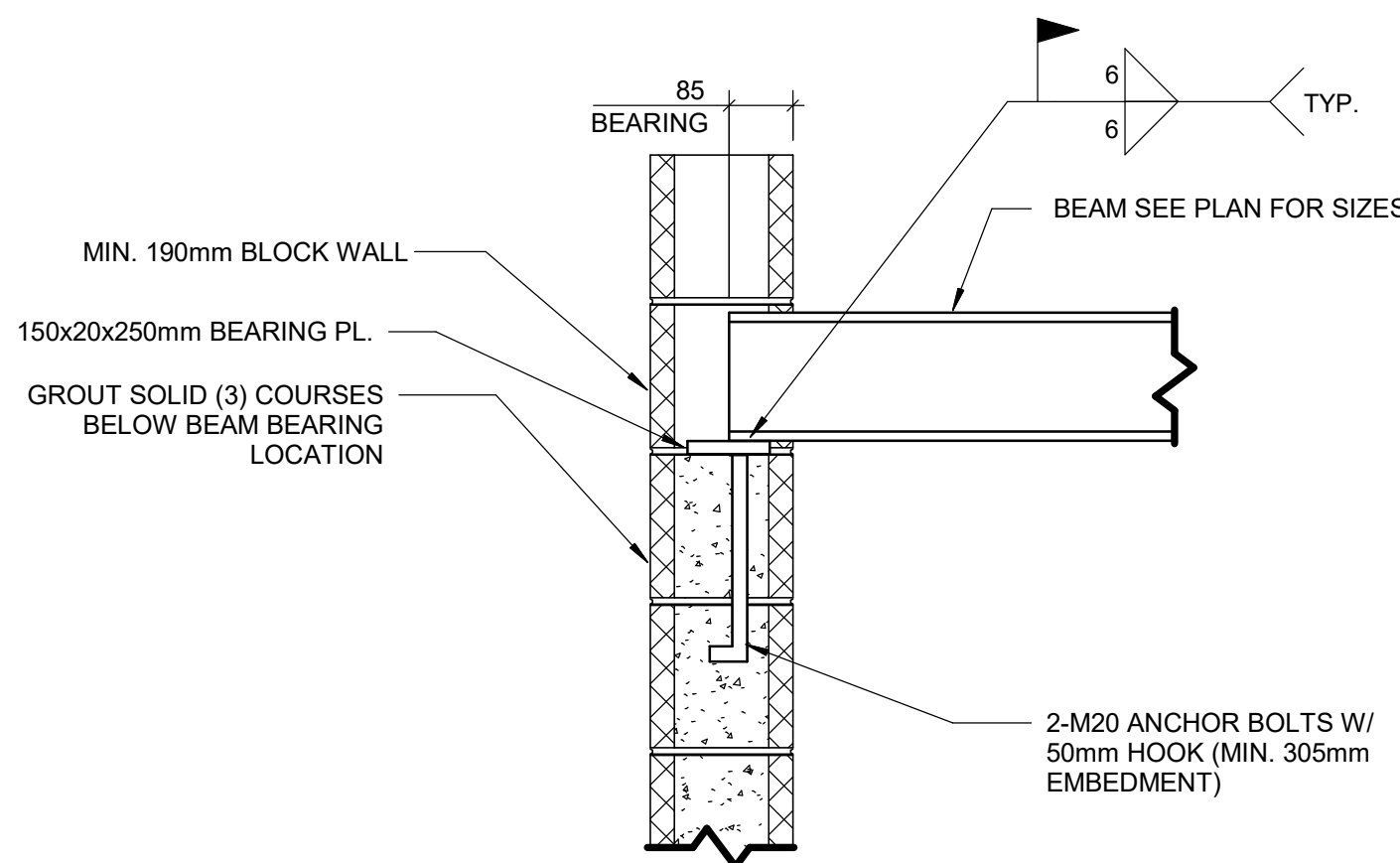


**DETAIL NOTES:**

1. FOR CONSTRUCTION SEQUENCE AND GENERAL NOTES SEE TYPICAL DETAIL 1/D2300
2. PROVIDE MINIMUM 200mm BEARING AT EACH END

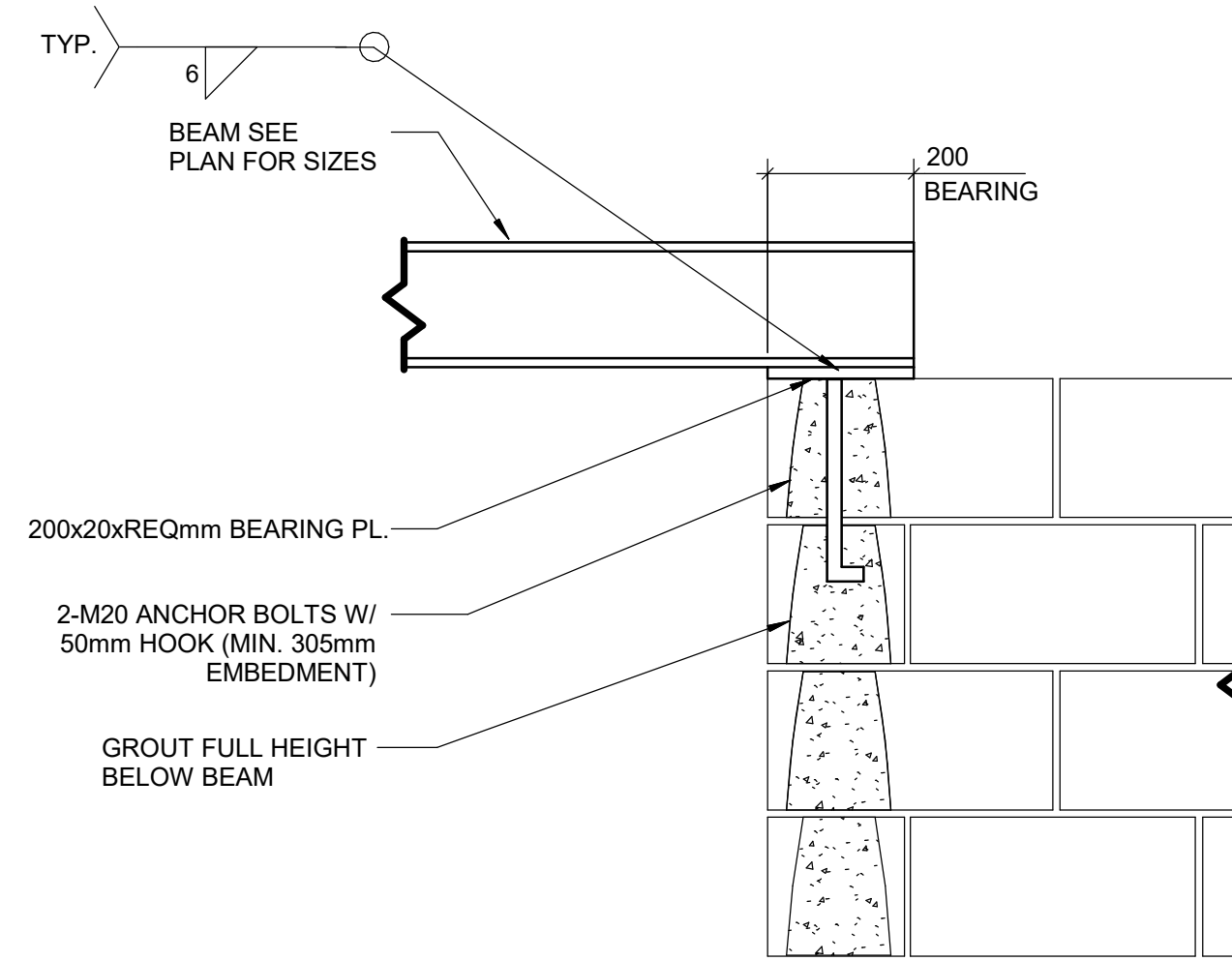
**6 LINTEL WITH SHELF ANGLE AT EXTERIOR WALLS**

S6000 Scale: NTS



**7 BEAM BEARING ON PERPENDICULAR BLOCK WALL**

S6000 Scale: 1 : 10



**8 BEAM BEARING ON PARALLEL BLOCK WALL**

S6000 Scale: 1 : 10

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B	ISSUED FOR PERMIT	2022-01-04
C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

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**G. POULOU**  
PROJECT MGR:  
**F. BOLOURIAN**  
CHECKED BY:  
**T. MYSOREWALA**  
APPROVED BY:  
**K. ANGER**

SHEET TITLE  
**DETAILS**

SHEET NUMBER  
**G28-184-S6000**  
ISSUE  
**D**

BM 380/122260 - CoT TAU Upgrades R2020122260-TAU28-184-313PHRMCY-S-R2014  
1/10mm