

CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0162 / IBI 122260

WEST SCARBOROUGH COMMUNITY CENTER
313 PHARMACY AVE.

GROUP 28
SEQ 184



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 28

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

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PROJECT NO:
9119-19-0162 / IBI 122260

DATE:
2022-11-01

SHEET NUMBER G28-184-G0001	ISSUE C
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E2101	POWER & SYSTEMS PLAN 1ST FLOOR
E2102	POWER & SYSTEMS PLAN 2ND FLOOR

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CONSULTANTS	

SEAL	

PRIME CONSULTANT	

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY:
M.LATOSZEK

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F.BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE
DRAWING LIST

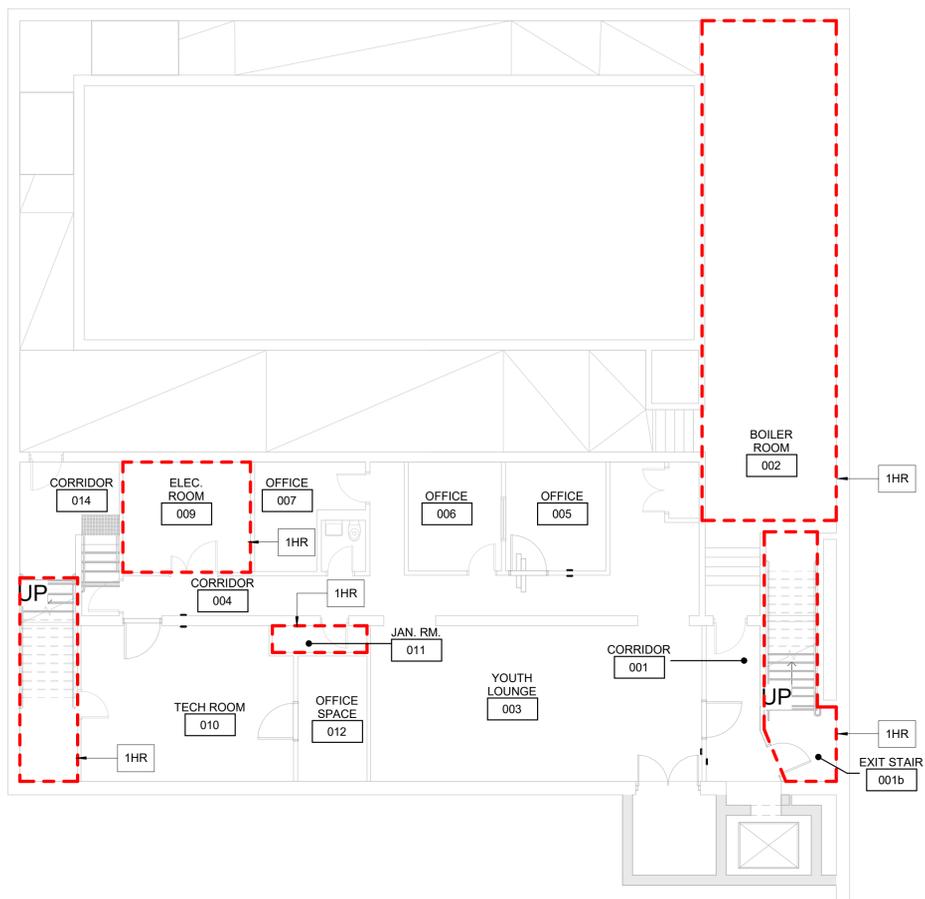
SHEET NUMBER
G28-184-G0002

ISSUE
C

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605		Name of Project WEST SCARBOROUGH NEIGHBORHOOD COMMUNITY CENTER ACCESSIBILITY UPGRADES	
100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620		Location 313 PHARMACY AVE. SCARBOROUGH, TORONTO ON M1L 3E7	
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
1. PROJECT DESCRIPTION	<input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	
2. MAJOR OCCUPANCY(S) SUBSIDIARY OCCUPANCY(S)	GROUP A, DIVISION 2 - ASSEMBLY OCCUPANCY A3 (INDOOR POOL), A4 (REVIEWING STAND), D (OFFICES), F3 (POOL MAINTENANCE)	3.1.2.1. (1) 9.10.2.	EXISTING NO CHANGE
3. BUILDING AREA (m ²)	EXISTING - 1811.78 NEW - N/A TOTAL - 1811.78	1.4.1.2. [A] 1.4.1.2. [A]	EXISTING NO CHANGE
4. GROSS AREA (m ²)	EXISTING - 2143.39 NEW - N/A TOTAL - 2143.39	1.4.1.2. [A] 1.4.1.2. [A]	NEW ELEVATOR AND ELEV. CLOSET ON 2ND FLOOR
5. NUMBER OF STOREYS	ABOVE GRADE - 2 BELOW GRADE - 1	1.4.1.2. [A] & 3.2.1.1. 1.4.1.2. [A] & 9.10.4.	
6. NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1	EXISTING NO CHANGE	3.2.2.10. & 3.2.5. 9.10.20.	
7. BUILDING CLASSIFICATION -	EXISTING NO CHANGE	3.2.2.67. 9.10.2.	
8. SPRINKLER SYSTEM PROPOSED	<input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> NOT REQUIRED	3.2.2.67 3.2.1.5 3.2.2.17 INDEX INDEX	EXISTING NO CHANGE- NO SPRINKLERS
9. STANDPIPE REQUIRED STANDPIPE PROVIDED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9. N/A	EXISTING NO CHANGE
10. FIRE ALARM REQUIRED FIRE ALARM PROVIDED	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4. 9.10.18.	EXISTING NO CHANGE
11. WATER SERVICE/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7. N/A	EXISTING NO CHANGE
12. HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6. N/A	
13. CONSTRUCTION RESTRICTIONS ACTUAL CONSTRUCTION	<input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH PERMITTED REQUIRED <input type="checkbox"/> COMBUSTIBLE <input checked="" type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH	3.2.2.67. 9.10.6.	EXISTING NO CHANGE
14. MEZZANINE (S) AREA m ²	75.66	3.2.1.1. (3) - (8) 9.10.4.1.	
15. OCCUPANT LOAD BASED ON	<input type="checkbox"/> m ² /PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING	3.1.17. 4.9.13.	EXISTING NO CHANGE
1ST FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS		
2ND FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS		
MEZZANINE FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS		
16. BARRIER FREE DESIGN	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8. 9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17. HAZARDOUS SUBSTANCES	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2 & 3.3.1.19 9.10.1.3,(4) 9.10.1.3,(4)	EXISTING NO CHANGE
18a. REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE NO CHANGE	3.2.2.67. & 3.2.1.4. 9.10.8. 9.10.9.	EXISTING NO CHANGE

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9	OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
18b. REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS LISTED DESIGN NO. OR DESCRIPTION (SB-2) FLOORS NO CHANGE ROOF NO CHANGE MEZZANINE NO CHANGE	SB-2 TABLE 2.1.1. SB-2 TABLE 2.1.1.	
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS	WALL AREA OF EBF (m ²) LD (M) L/H OR H/L PERMITTED MAX. % OF OPENINGS PROPOSED % OF OPENINGS FRR (HOURS) LISTED DESIGN OR DESCRIPTION COMB. CONST. COMB. CONST. NONC-GLASSING NON-COMB. CONST.	3.2.3. 9.10.14.	EXISTING NO CHANGE
NORTH	- 0 - - -		
SOUTH	- 0 - - -		
EAST	- 0 - - -		
WEST	- 0 - - -		
20. PLUMBING FIXTURE REQUIREMENTS	MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE % / % NO REDUCTION IN FIXTURES. FIXTURES INCREASED BY 1 WITH UNIVERSAL W.C. OCCUPANT LOAD OBC TABLE NUMBER FIXTURES REQUIRED FIXTURES PROVIDED MAJOR OCCUPANCY ASSEMBLY (A2) X MALE 3.7.4.3. 6 8 3.7.4.3. X FEMALE 3.7.4.3. 8 9 3.7.4.3.	<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9	
21. EXITS/ ACCESS TO EXIT-	TWO NEW EXIT DOORS HAVE BEEN ADDED TO 1ST FLOOR'S GYM		
22. OTHER (DESCRIBE) -			

ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building	OBC REFERENCE	REMARKS
11.1. EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)	11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N	
11.2. ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>	11.3.3.1. 11.3.3.2.	
11.3. REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.
11.4. COMPENSATING CONSTRUCTION:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6
11.5. COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)	11.5.1	



LIFE AND SAFETY LEGEND

- - - - - 2.0 HOUR FIRE RATED SEPARATION
- - - - - 1.0 HOUR FIRE RATED SEPARATION
- - - - - TRAVEL DISTANCE TO EXIT (T.D.)
- - - - - FIRE HOSE LENGTH
- EXIT
- 2.0 HR FIRE RESISTANCE RATING FOR FLOOR ASSEMBLY ABOVE
- OUT OF SCOPE

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 Corporate Real Estate Management
 Project Management Office
 Metro Hall Toronto, ON
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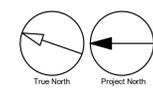
PROJECT NO.:
 9119-19-0162 / IBI 122260

DRAWN BY: M.LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F.BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
 BASEMENT LIFE AND
 SAFETY PLAN

SHEET NUMBER G28-184-A0200	ISSUE A
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BIM 360/122260 - CoT TAU Upgrades R2020122260-TAU-28-184-313PHARMACY-AR20.rvt
 1/11

LIFE AND SAFETY LEGEND

-  2.0 HOUR FIRE RATED SEPARATION
-  1.0 HOUR FIRE RATED SEPARATION
-  TRAVEL DISTANCE TO EXIT (T.D.)
-  FIRE HOSE LENGTH
-  EXIT
-  2.0 HR FIRE RESISTANCE RATING FOR FLOOR ASSEMBLY ABOVE
-  OUT OF SCOPE

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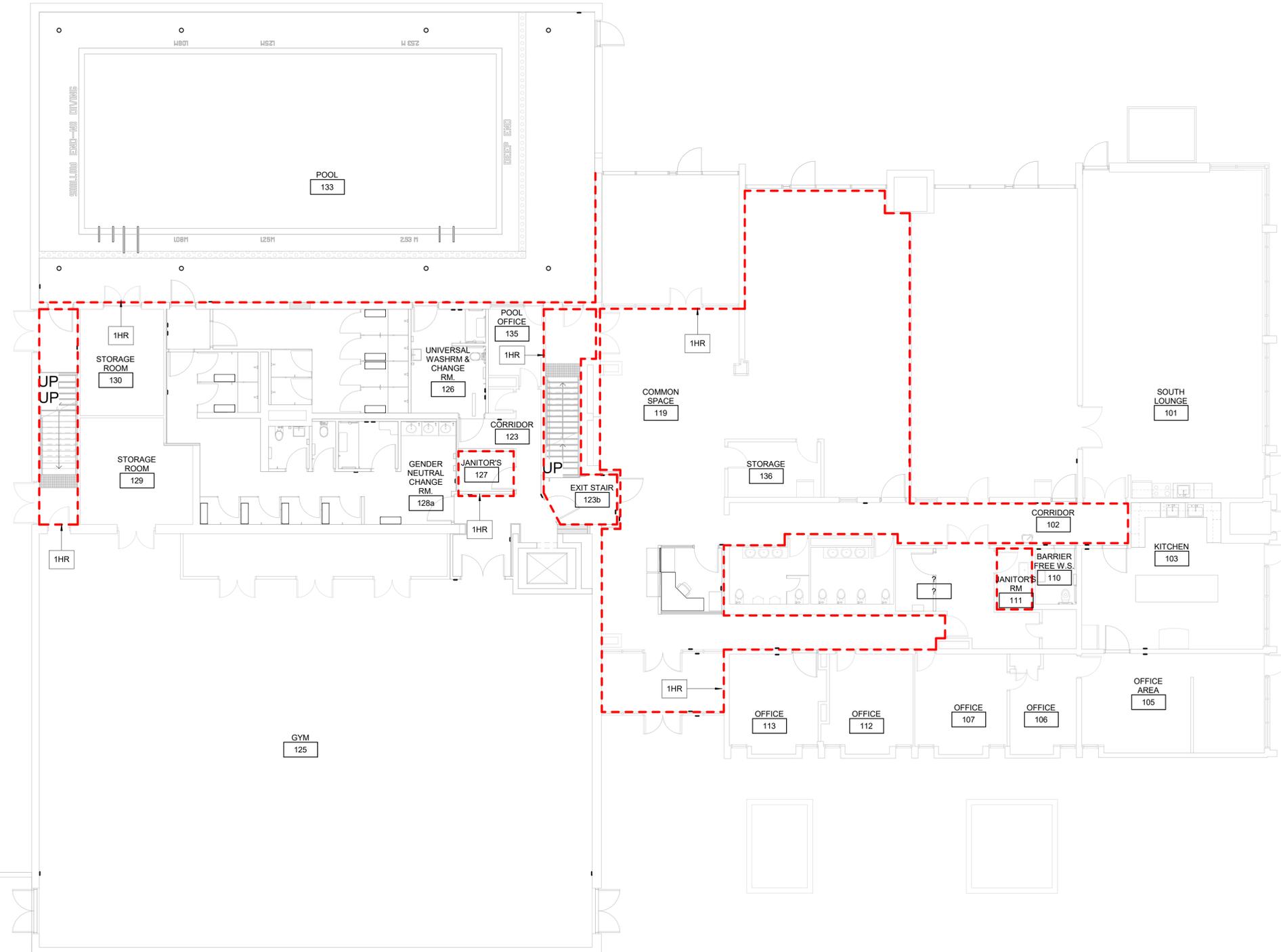
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PROJECT ADDRESS
**WEST SCARBOROUGH
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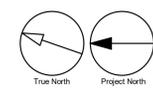
PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M. LATOSZEK
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
**FIRST FLOOR LIFE AND
 SAFETY PLAN**

CHECKED BY:
L. BANDIERA
 APPROVED BY:
E. FENUTA

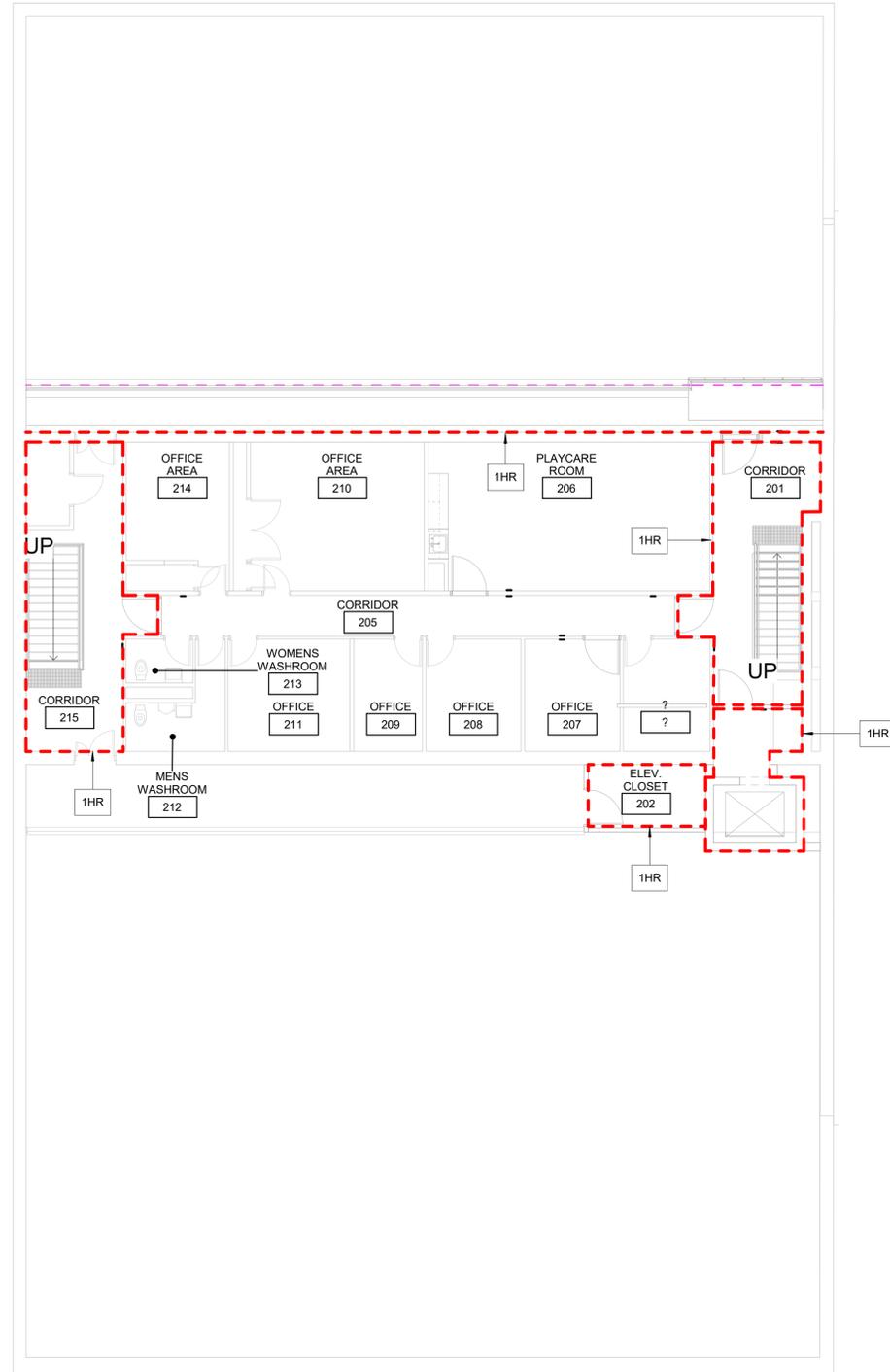
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G28-184-A0201
 ISSUE
A



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 1/11



LIFE AND SAFETY LEGEND

- 2.0 HOUR FIRE RATED SEPARATION
- 1.0 HOUR FIRE RATED SEPARATION
- TRAVEL DISTANCE TO EXIT (T.D.)
- FIRE HOSE LENGTH
- EXIT
- 2.0 HR FIRE RESISTANCE RATING FOR FLOOR ASSEMBLY ABOVE
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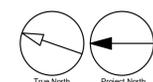
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DRAWN BY: M.LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F.BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
 SECOND FLOOR LIFE
 AND SAFETY PLAN

SHEET NUMBER G28-184-A0202	ISSUE A
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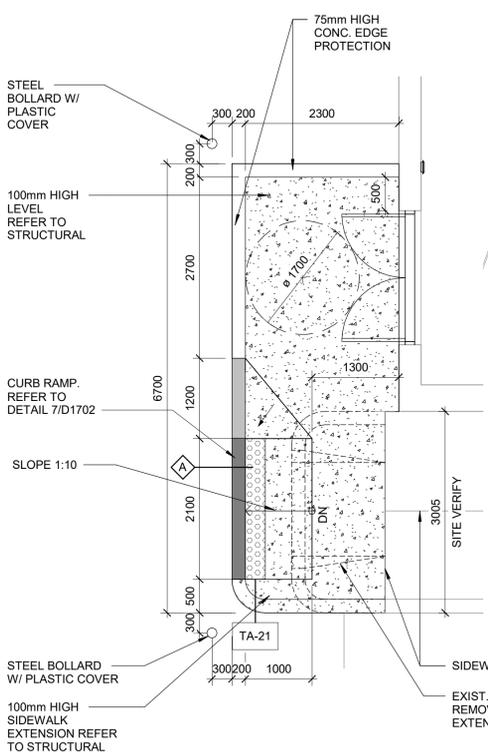


1 KEY PLAN
Scale: NTS

EXISTING LANDSCAPE



PHOTO 03: EXISTING CURB RAMP TO BE REMOVED TO THE EXTENT OF SIDEWALK JOINT



4 PROPOSED LEVEL LANDING AND CURB RAMP
A1001 Scale: 1 : 50

3 SITE PLAN - PROPOSED
A1001 Scale: 1 : 200

2 EXISTING CURB RAMP
A1001 Scale: 1 : 50

SITE LEGEND

- EXISTING BARRIER FREE PARKING SPACE
- EXISTING MAIN ENTRANCE
- DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICES AND TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF THE WORK.
- 2 DURING CONSTRUCTION, CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE EXTERIOR WALKWAY, DRIVEWAY, PAVING AND ALL SOFT LANDSCAPING MATERIAL AROUND ALL EXTERIOR EXCAVATED AREAS AFTER CONSTRUCTION AS NEEDED WITH THE SAME MATERIAL AND FINISH.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

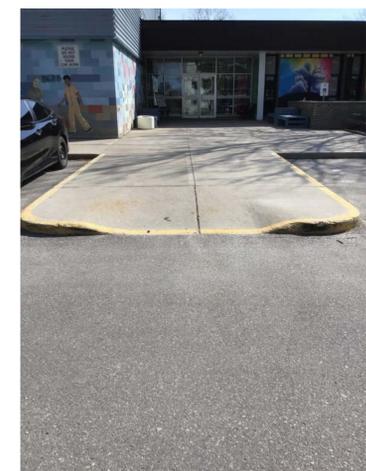


PHOTO 01: EXISTING CURB RAMP TO BE PROVIDED WITH TACTILE ATTENTION INDICATOR



PHOTO 02: EXISTING PICNIC TABLES. ONE TO BE REPLACED WITH AN ACCESSIBLE TABLE

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
COMMUNITY CENTER
313 PHARMACY AVE.**

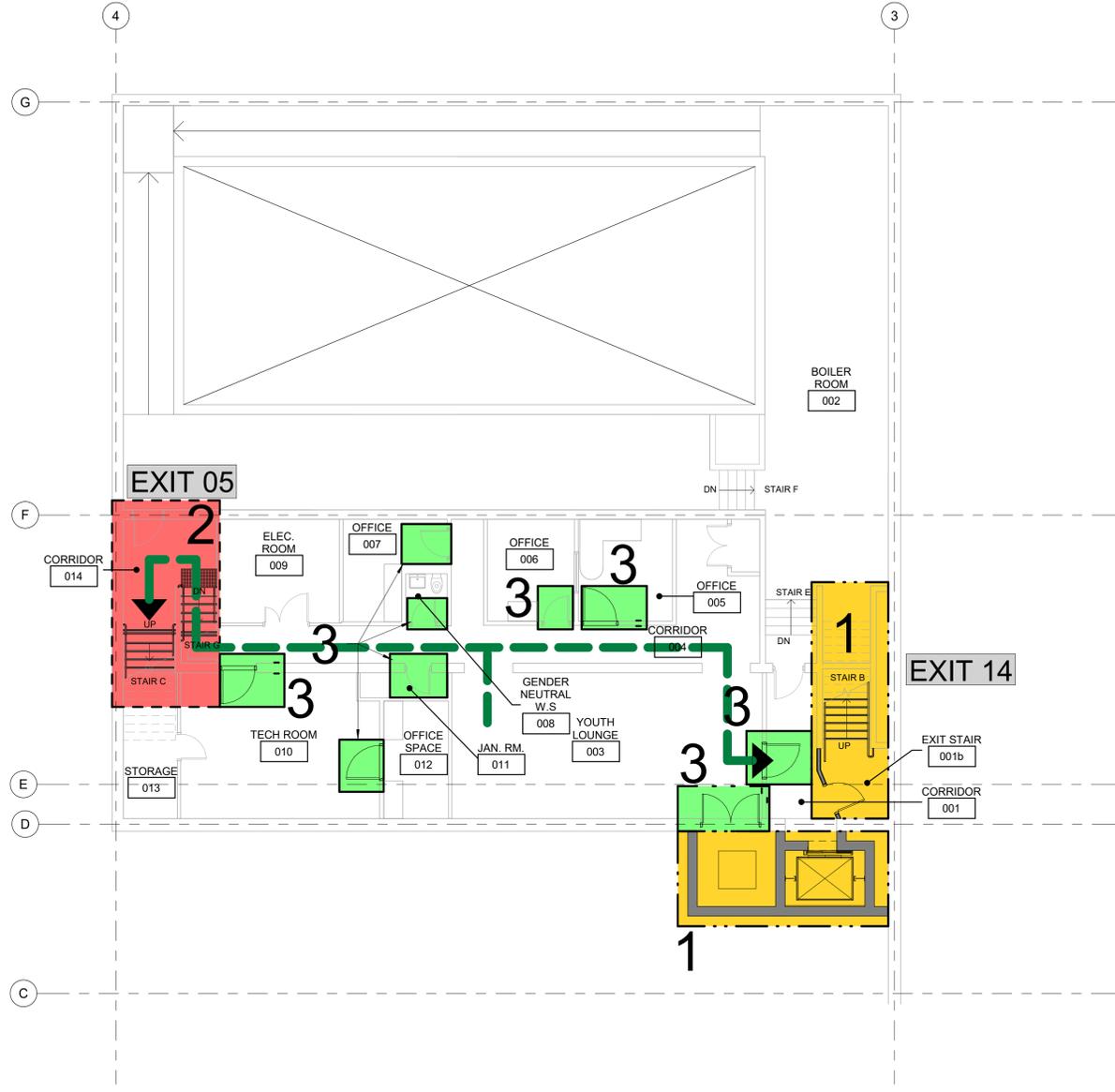
PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
M.LATOSZEK
PROJECT MGR:
F.BOLOURIAN
CHECKED BY:
L. BANDIERA
APPROVED BY:
E. FENUTA

SHEET TITLE
SITE PLAN

SHEET NUMBER
G28-184-A1001
ISSUE
C

2023-01-30 12:46:52 PM

BIM 360/122260 - CoT TAU Upgrades R2020/122260-TAU-28-184-313PHARMACY-AR20-04



CONSTRUCTION STAGING LEGEND

	STAGE 1
	STAGE 2
	STAGE 3
	EMERGENCY EXIT
	TRAVEL PATH

STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES ARE TO BE COMPLETED IN SEQUENTIAL ORDER.
- IF AN EXIT WILL BE BLOCKED DUE TO CONSTRUCTION, THE GC IS TO PROVIDE A TEMPORARY EXIT LOCATION THAT IS APPROVED BY THE ARCHITECT AND THE FIRE DEPARTMENT. SHOULD THE WORK BE ABLE TO BE COMPLETED OVER THE COURSE OF A WEEKEND OR AFTER HOURS, THE GC IS TO OBTAIN APPROVAL FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- IF EXISTING FIRE ALARM SYSTEM NEEDS TO BE TEMPORARILY INTERRUPTED TO COMPLETE THE WORK, A FULL TIME FIRE WATCH SHALL BE PROVIDED.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES IS FOR REFERENCE ONLY. COMPLETE EACH STAGE PER CONTRACT DOCUMENTS BEFORE STARTING THE NEXT STAGE. CONSTRUCTION WORK SHALL NOT AFFECT NORMAL OPERATION OR EXITING OF THE FACILITY.
- KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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PRIME CONSULTANT

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

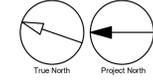
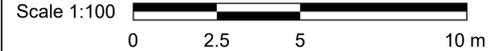
PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: M. LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUA

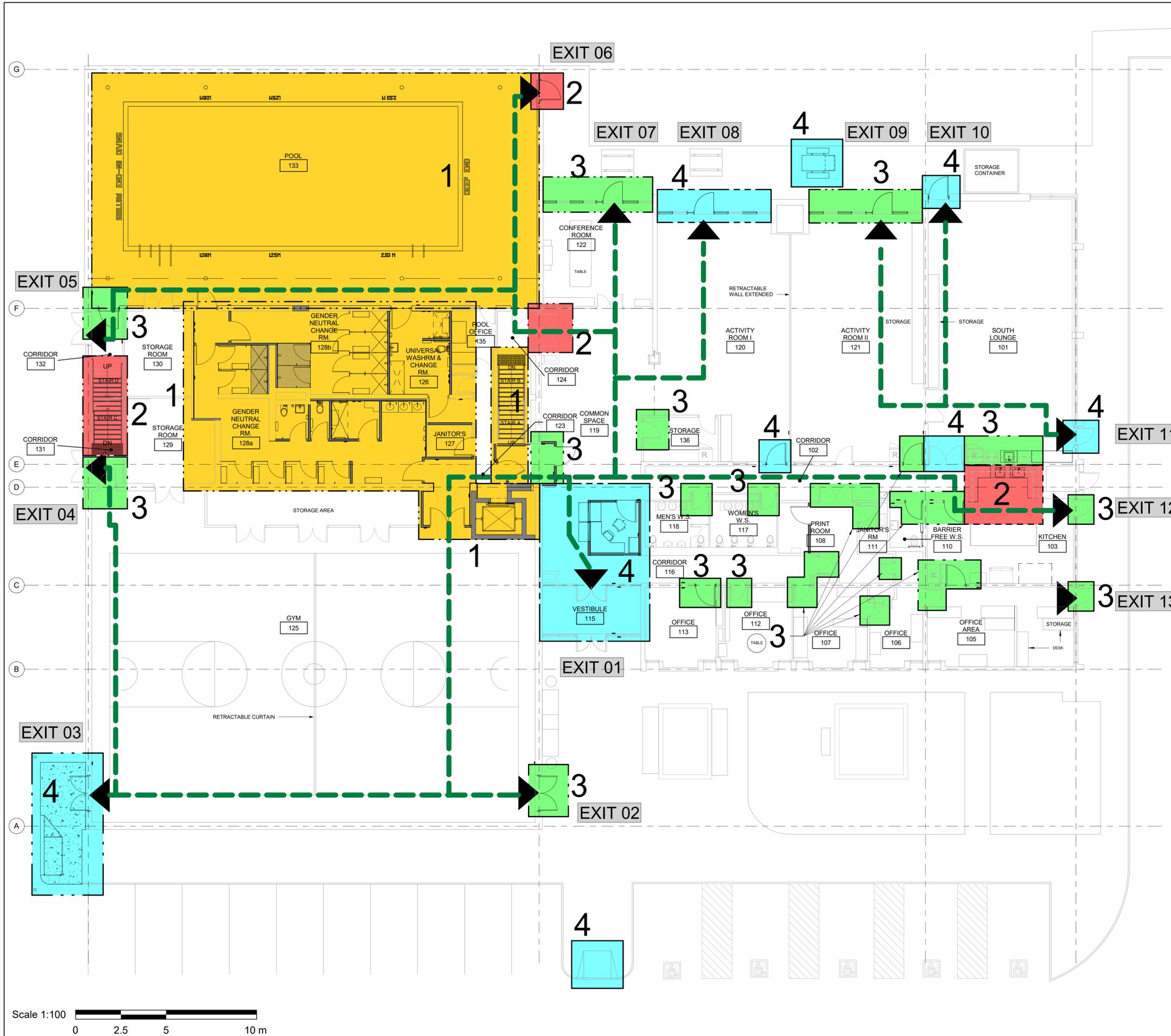
SHEET TITLE
**BASEMENT STAGING
 PLAN**

SHEET NUMBER G28-184-A2001	ISSUE C
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CONSTRUCTION STAGING LEGEND

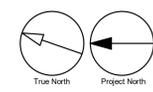
- STAGE 1
- STAGE 2
- STAGE 3
- STAGE 4
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

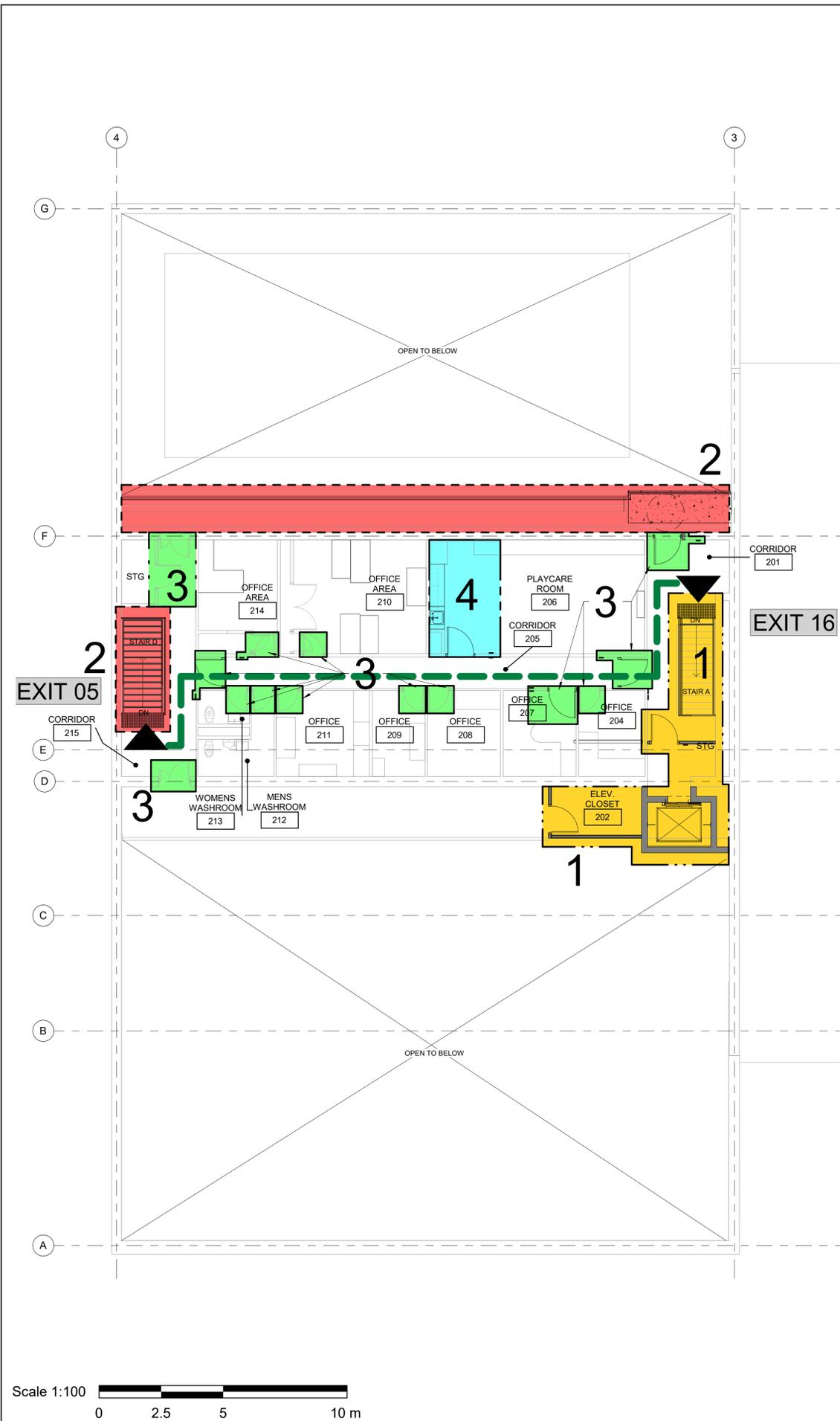
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B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORK.
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- 9 KEEP EXITS CLEAR FROM OBSTRUCTIONS DURING CONSTRUCTION.
- 10 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
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C	ISSUED FOR TENDER	2022-11-01
CONSULTANTS		
SEAL		
PRIME CONSULTANT IBI GROUP 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C3, Canada Tel: 416 679 1930 fax 416 675 4620 ibigroup.com		
PROJECT TITLE CITY OF TORONTO ACCESSIBILITY UPGRADES		
PROJECT ADDRESS WEST SCARBOROUGH COMMUNITY CENTER 313 PHARMACY AVE.		
PROJECT NO: 9119-19-0162 / IBI 122260		
DRAWN BY: M. LATOSZEK	CHECKED BY: L. BANDIERA	
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA	
SHEET TITLE FIRST FLOOR STAGING PLAN		
SHEET NUMBER G28-184-A2011	ISSUE C	

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CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- STAGE 3
- STAGE 4
- EMERGENCY EXIT
- TRAVEL PATH

STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORK CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
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C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

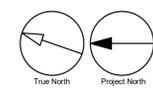
PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: M. LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUA

SHEET TITLE
**SECOND FLOOR
 STAGING PLAN**

SHEET NUMBER G28-184-A2021	ISSUE C
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PHOTO 01: STAIR C. REMOVE EXISTING HANDRAILS
 PHOTO 02: REMOVE EXISTING DOOR AND FRAME, REFER TO NOTE 5
 PHOTO 03: REMOVE EXISTING DOOR AND FRAME, REFER TO NOTE 5
 PHOTO 04: LOCATION OF NEW TEMPORARY WAITING AREA
 PHOTO 05: REMOVE EXISTING DOOR AND FRAME, REFER TO NOTE 5
 PHOTO 06: REMOVE EXISTING DOOR AND FRAME, REFER TO NOTE 5
 PHOTO 07: STAIR B. REMOVE EXISTING HANDRAILS

DEMOLITION KEY LEGEND

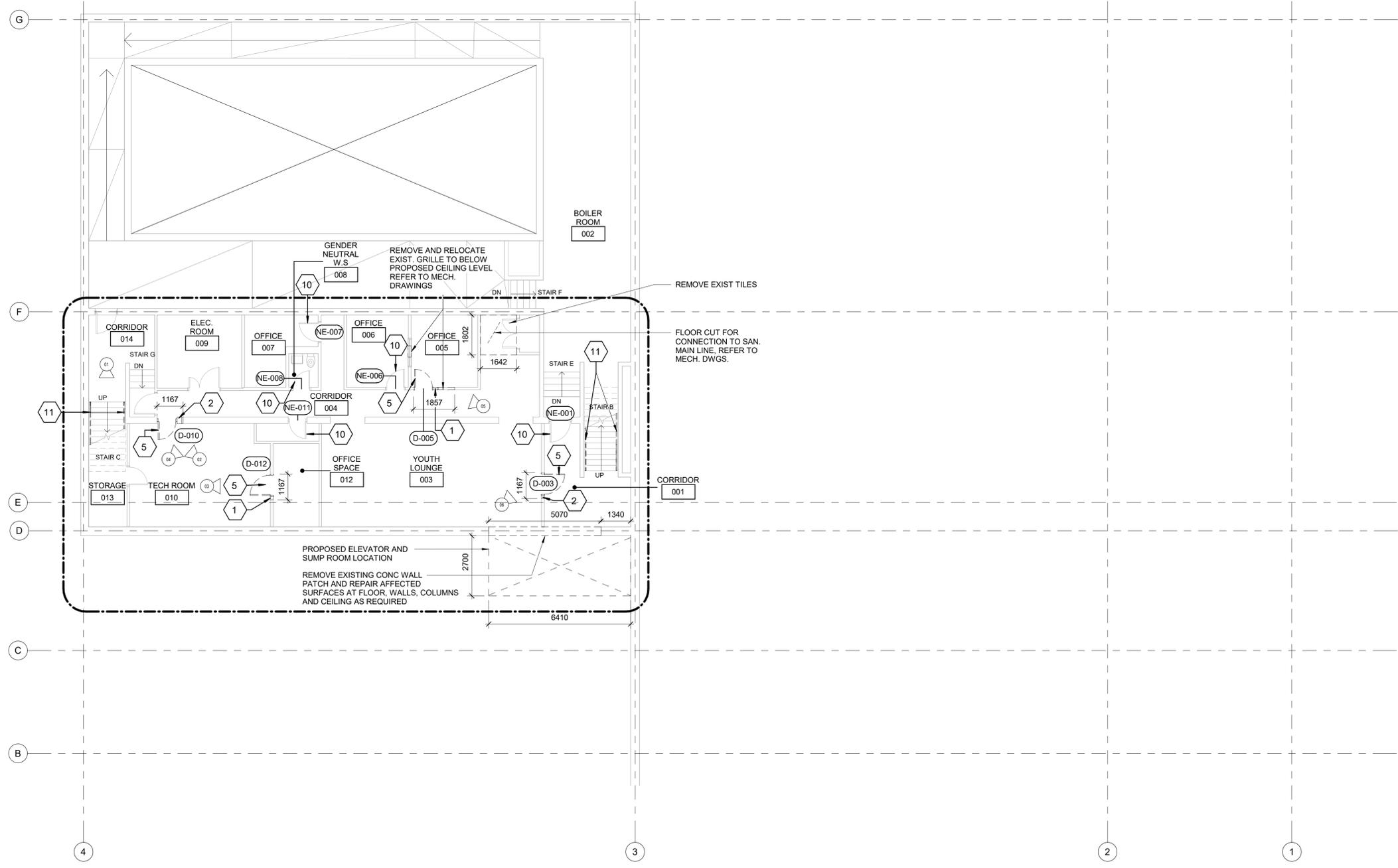
- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- 1. REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
2	REMOVE EXISTING CONC. BLOCK WALL PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL D1002 AND D102300.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.



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CONSULTANTS

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 Tel: 416 679 1930 Fax: 416 675 4620
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PROJECT TITLE
**CITY OF TORONTO
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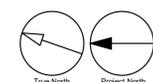
PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M.LATOSZEK
 PROJECT MGR:
F.BOLOURIAN
 CHECKED BY:
L. BANDIERA
 APPROVED BY:
E. FENUA

SHEET TITLE
**BASEMENT DEMOLITION
 PLAN**

SHEET NUMBER
G28-184-A2101
 ISSUE
C

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PHOTO 02: REMOVE EXISTING POOL LIFT AND POLE
 PHOTO 03: REMOVE EXISTING DOOR AND FRAME, REFER TO NOTE 5
 PHOTO 04: REMOVE EXISTING DOOR, FRAME, GRAB BAR AND SOUTH WALL
 PHOTO 05: REMOVE EXISTING DOOR, FRAME, GRAB BAR AND WEST WALL, FILL IN THE WALL OPENING
 PHOTO 06: EXISTING MEN'S WASHROOM
 PHOTO 07: EXISTING WOMEN'S WASHROOM
 PHOTO 08: STAIR A. REMOVE EXISTING HANDRAILS AND STAIR LIFT
 PHOTO 09: EXISTING VESTIBULE
 PHOTO 10: REMOVE EXISTING RECEPTION DESK
 PHOTO 11: REMOVE EXISTING SEATING TO PROVIDE NEW ADAPTABLE SEATING
 PHOTO 12: REMOVE EXISTING SINK AND MILLWORK
 PHOTO 13: REMOVE EXISTING SINK AND MILLWORK

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- - - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- - - - EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- - - - EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- 1. REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
2	REMOVE EXISTING CONC. BLOCK WALL PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
4	REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL D1002 AND D102300.
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.
26	CUT EXISTING EXTERIOR WALL TO ACCOMMODATE NEW DOOR.
28	REMOVE EXISTING WASHROOM ACCESSORIES AND PREPARE WALL SURFACE FOR NEW ACCESSORIES. PATCH, FINISHES.
30	REMOVE CURTAIN WALL, GLAZING, EXTERIOR DOOR AND HARDWARE.
33	REMOVE EXISTING TILES. CLEAN AND PREPARE SURFACE TO RECEIVE NEW TILE.

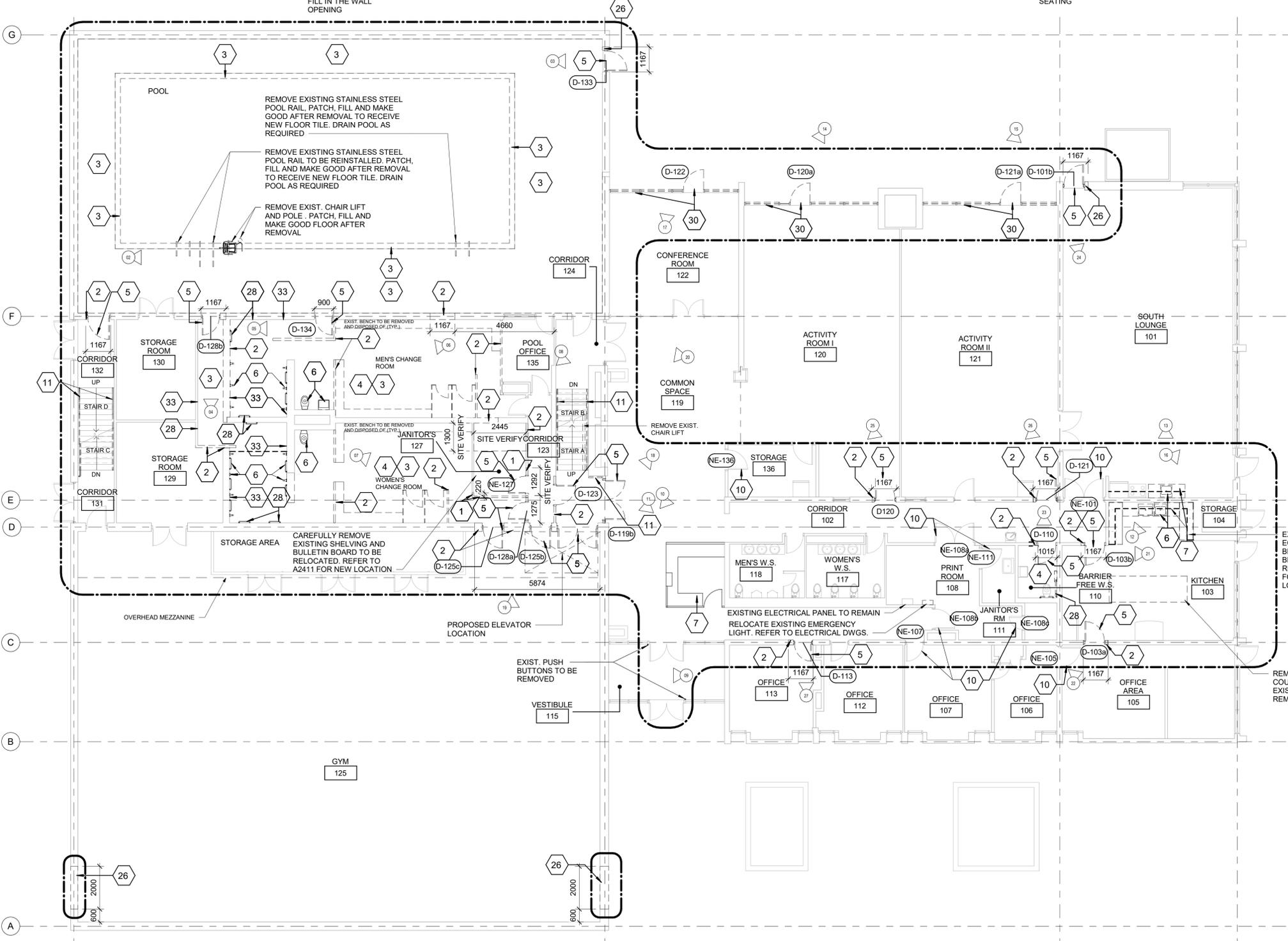


PHOTO 14: REMOVE EXISTING CURTAIN WALL PANEL
 PHOTO 15: REMOVE EXISTING CURTAIN WALL PANEL
 PHOTO 16: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 17: REMOVE EXISTING CURTAIN WALL PANEL
 PHOTO 18: REMOVE EXISTING DOOR AND FRAME
 PHOTO 19: REMOVE EXISTING DOORS AND FRAMES
 PHOTO 20: REMOVE EXISTING DOOR AND FRAME
 PHOTO 21: REMOVE EXISTING DOOR AND FRAME
 PHOTO 22: REMOVE EXISTING DOOR AND FRAME
 PHOTO 23: REMOVE EXISTING DOOR AND FRAME
 PHOTO 24: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 25: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 26: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 27: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME

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C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

CONSULTANTS

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PRIME CONSULTANT

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 ibigroup.com

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 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: M.LATOSZEK
CHECKED BY: L. BANDIERA

PROJECT MGR: F.BOLOURIAN
APPROVED BY: E.FENUTA

SHEET TITLE
 FIRST FLOOR
 DEMOLITION PLAN

SHEET NUMBER
 G28-184-A2111

ISSUE
 D





PHOTO 01: STAIR D. REMOVE EXISTING HANDRAILS
 PHOTO 02: STAIR A. REMOVE EXISTING HANDRAILS AND STAIR LIFT
 PHOTO 03: REMOVE EXISTING DOOR AND FRAME
 PHOTO 04: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 05: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 06: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 07: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 08: REMOVE EXISTING DOOR, TRANSOM PANEL AND FRAME
 PHOTO 09: RELOCATE EXISTING CABINET
 PHOTO 10: LEVEL EXISTING CONCRETE STEPS
 PHOTO 11: LOCATION OF NEW ELEVATOR AND ELEVATOR CLOSET
 PHOTO 12: LOCATION OF NEW ELEVATOR AND ELEVATOR CLOSET
 PHOTO 13: REMOVE EXISTING SINK AND MILLWORK

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- 1. REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

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1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
2	REMOVE EXISTING CONC. BLOCK WALL PATCH AND REPAIR AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME. REPAIR ADJACENT AFFECTED WALL SURFACES. REFER TO DETAIL D1002 AND D102300.
7	REMOVE EXISTING MILLWORK.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A8001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND/OR HANDRAIL POST BASE. REPAIR AND MAKE GOOD ALL SURFACES.

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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PRIME CONSULTANT
IBI GROUP
 175 Galaxy Blvd, Unit 100
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 Tel: 416 679 1930 fax 416 675 4620
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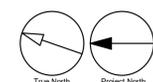
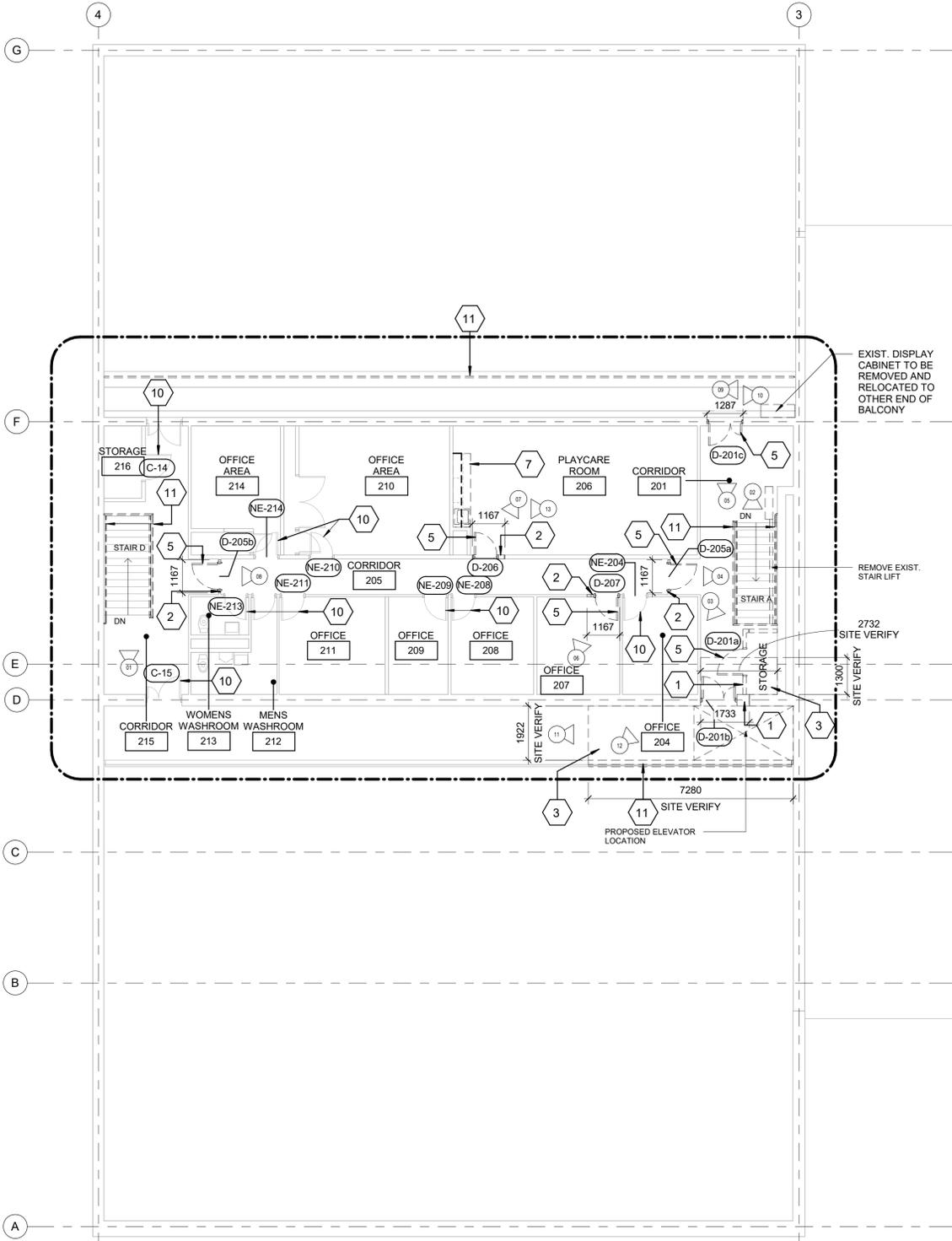
PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M.LATOSZEK
 PROJECT MGR:
F.BOLOURIAN
 SHEET TITLE
**SECOND FLOOR
 DEMOLITION PLAN**

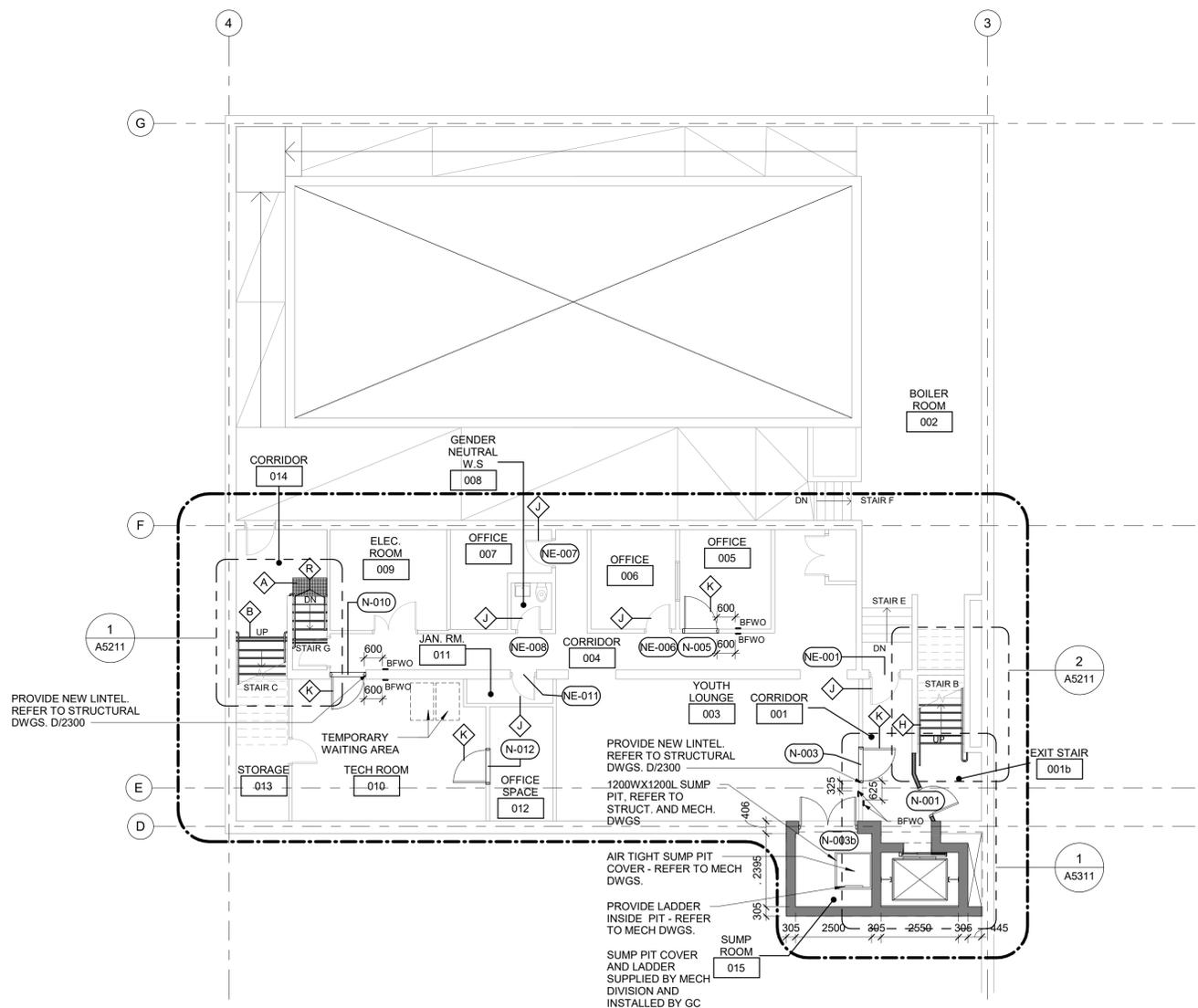
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L. BANDIERA
 APPROVED BY:
E. FENUITA

SHEET NUMBER
G28-184-A2121
 ISSUE
C



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CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK
- NEW CONTRASTING COLOUR

CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
H	INSTALL NEW GUARDRAIL AND HANDRAIL ON CONCRETE STAIR - REFER TO TYPICAL DETAILS 2/D1402.
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 3/D1401, 2/1403, 3/1403, 4/D1402.

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 Project Management Office
 Metro Hall Toronto, ON
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ISSUES

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A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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 ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

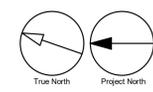
PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M.LATOSZEK
 PROJECT MGR:
F.BOLOURIAN
 SHEET TITLE
**BASEMENT PROPOSED
 PLAN**

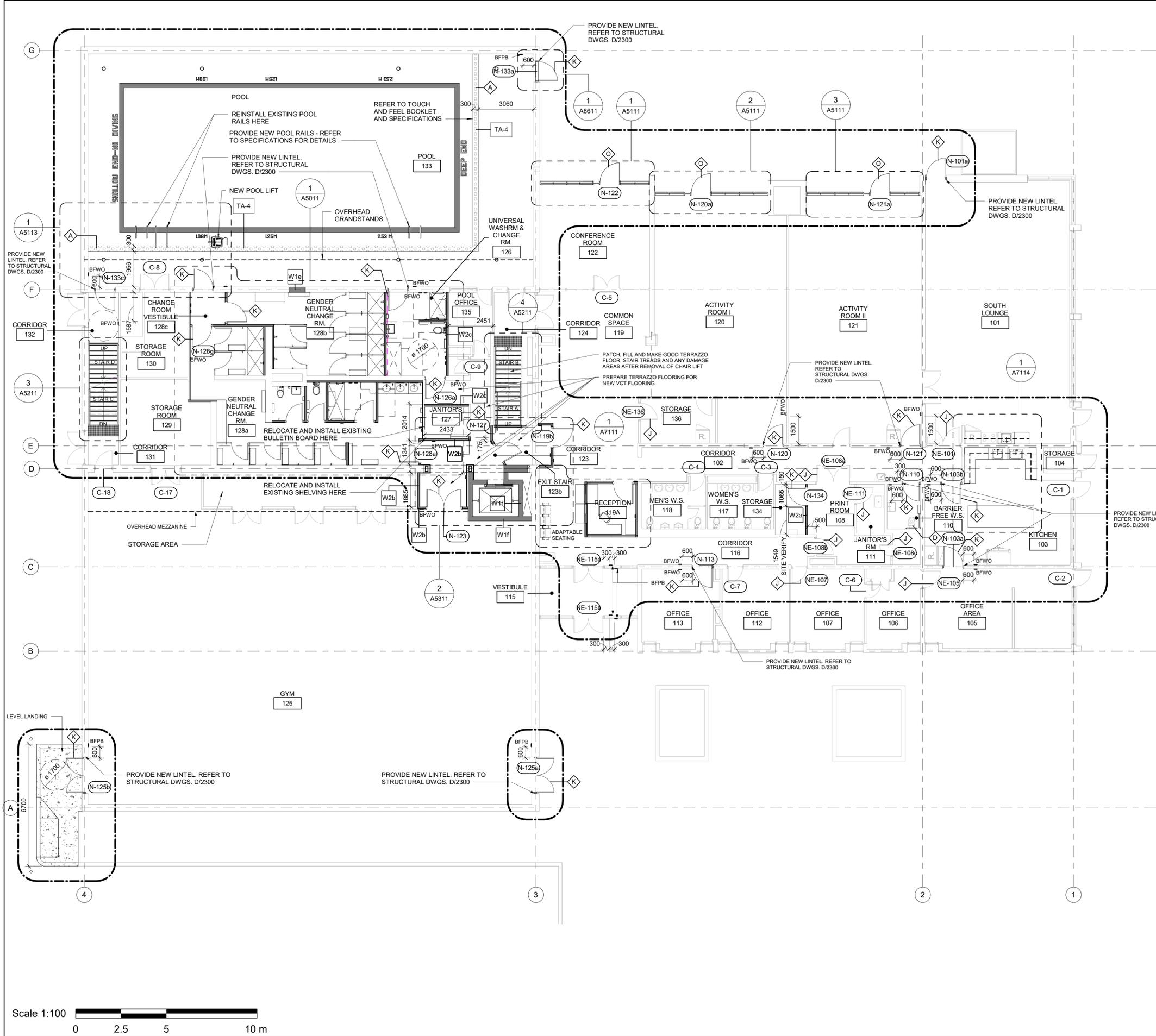
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L. BANDIERA
 APPROVED BY:
E. FENUA

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G28-184-A2401
 ISSUE
C

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CONSTRUCTION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	NEW EXTERIOR WALL REFER TO WALL SCHEDULE
	NEW PARTITION REFER TO PARTITION SCHEDULE
	EXISTING DOOR TO REMAIN
	NEW DOOR AND/OR NEW HARDWARE
	DASHED AREA INDICATES AREA OF WORK
	NEW CONTRASTING COLOUR

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A901 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
O	INSTALL NEW CURTAIN WALL FRAMING TO MATCH EXISTING, WITH NEW DOOR PER SPECIFIED WIDTH AND HEIGHT. REFER TO DOOR SCHEDULE A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

CONSULTANTS

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

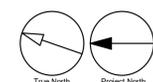
PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: M. LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**FIRST FLOOR
 PROPOSED PLAN**

SHEET NUMBER G28-184-A2411	ISSUE D
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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
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C	ISSUED FOR TENDER	2022-11-01

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK
- NEW CONTRASTING COLOUR

CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
E	CONSTRUCT NEW KITCHEN MILLWORK REFER TO MILLWORK DETAILS 1/D1301, 2/D1301, 3/D1301, 4/D1301, 1/D1302, 2/D1302, 3/D1302, 4/1302, 5/D1302, 6/D1302, 8/D1302.
G	INSTALL NEW CONCRETE STAIR AND LANDING - REFER TO DETAILS 2/D1402 AND 4/D1402.
H	INSTALL NEW GUARDRAIL AND HANDRAIL ON CONCRETE STAIR - REFER TO TYPICAL DETAILS 2/D1402.
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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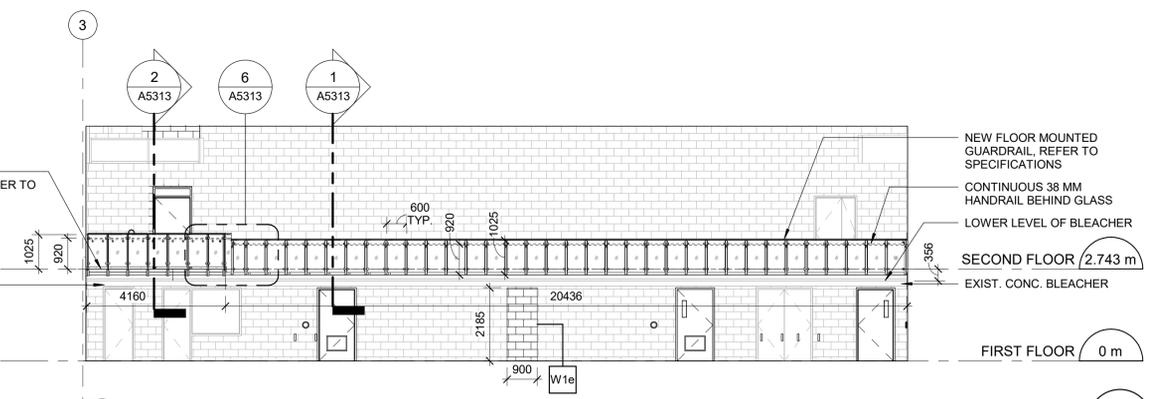
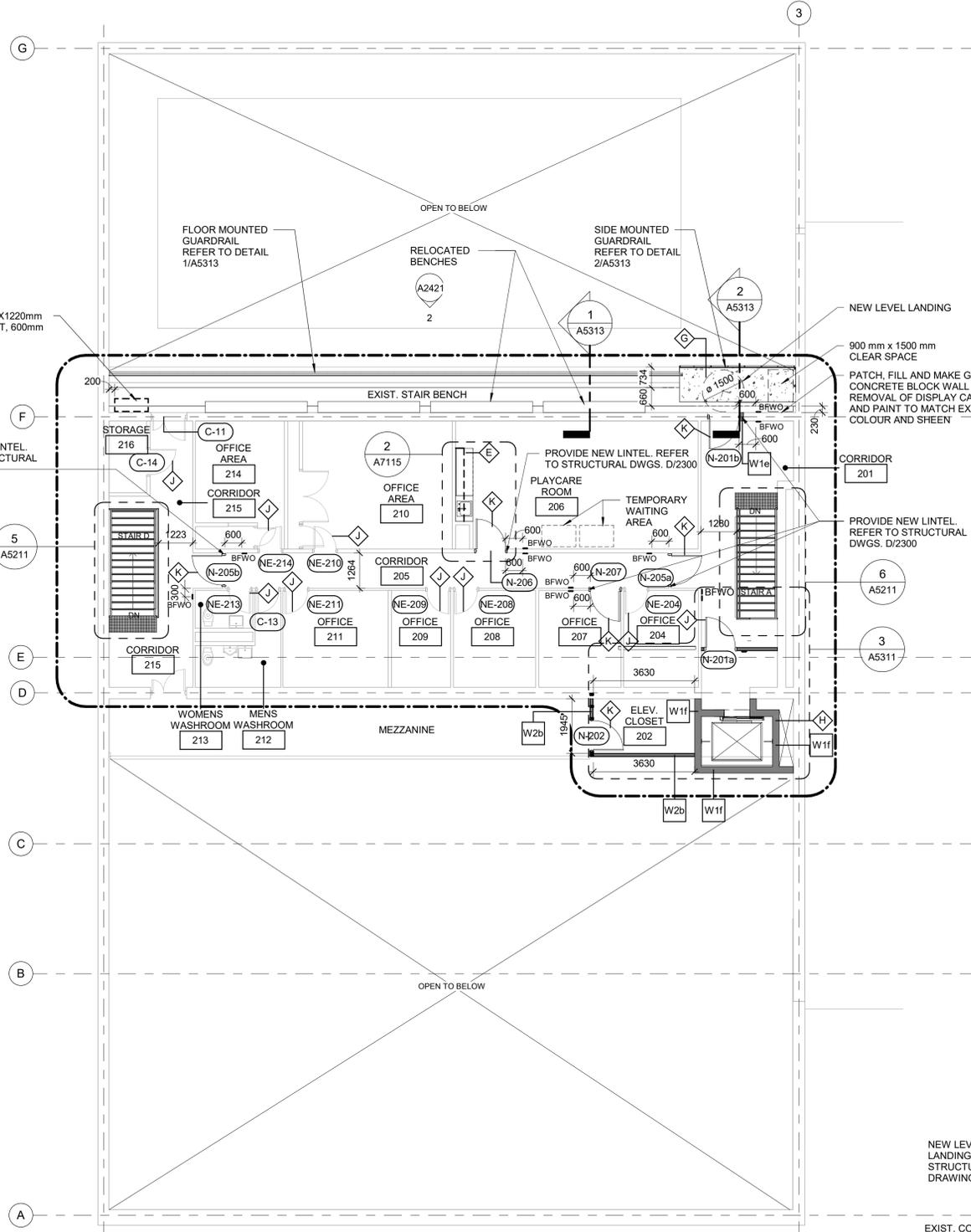
PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M.LATOSZEK
 PROJECT MGR:
F.BOLOURIAN
 SHEET TITLE
**SECOND FLOOR
 PROPOSED PLAN**

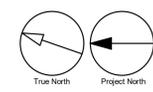
CHECKED BY:
L. BANDIERA
 APPROVED BY:
E. FENUTA

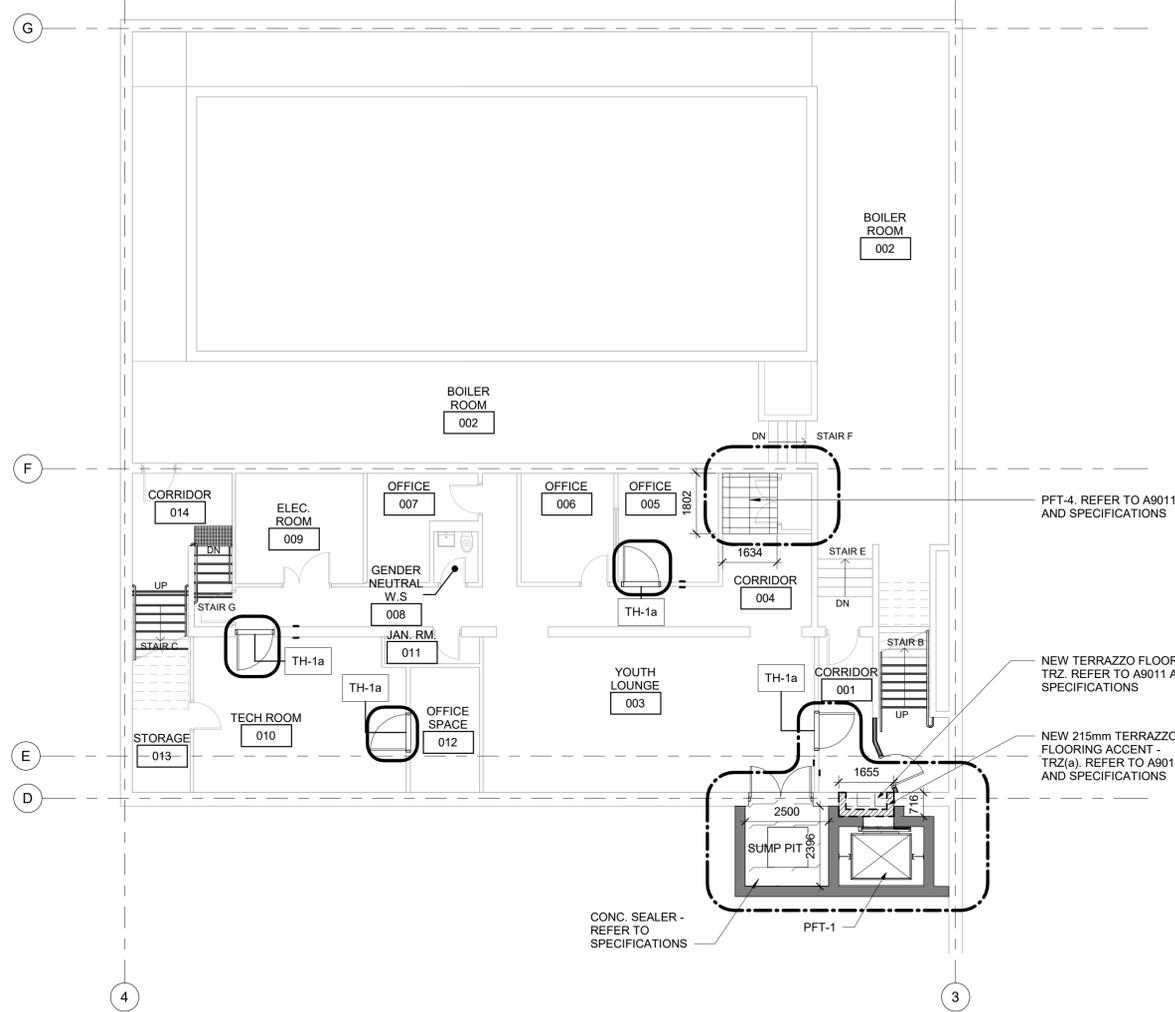
SHEET NUMBER
G28-184-A2421
 ISSUE
C



1 SECOND FLOOR - PROPOSED PLAN
 A2421 Scale: 1 : 100

2 POOL BALCONY GUARDRAIL ELEVATION
 A2421 Scale: 1 : 100





FLOOR FINISHES LEGEND

	CONCRETE SEALER
	PORCELAIN TILE
	DASHED AREA INDICATES AREA OF WORK

FLOOR FINISH GENERAL NOTES

- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
- PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
- CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

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CITY OF TORONTO
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 Metro Hall Toronto, ON
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ISSUES

No.	DESCRIPTION	DATE
A	90% SUBMISSION	2022-01-04
B	ISSUED FOR TENDER	2022-11-01

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 ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

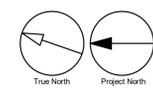
PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: M.LATOSZEK	CHECKED BY: E.FENUTA
PROJECT MGR: F.BOLOURIAN	APPROVED BY: L.BANDIERA

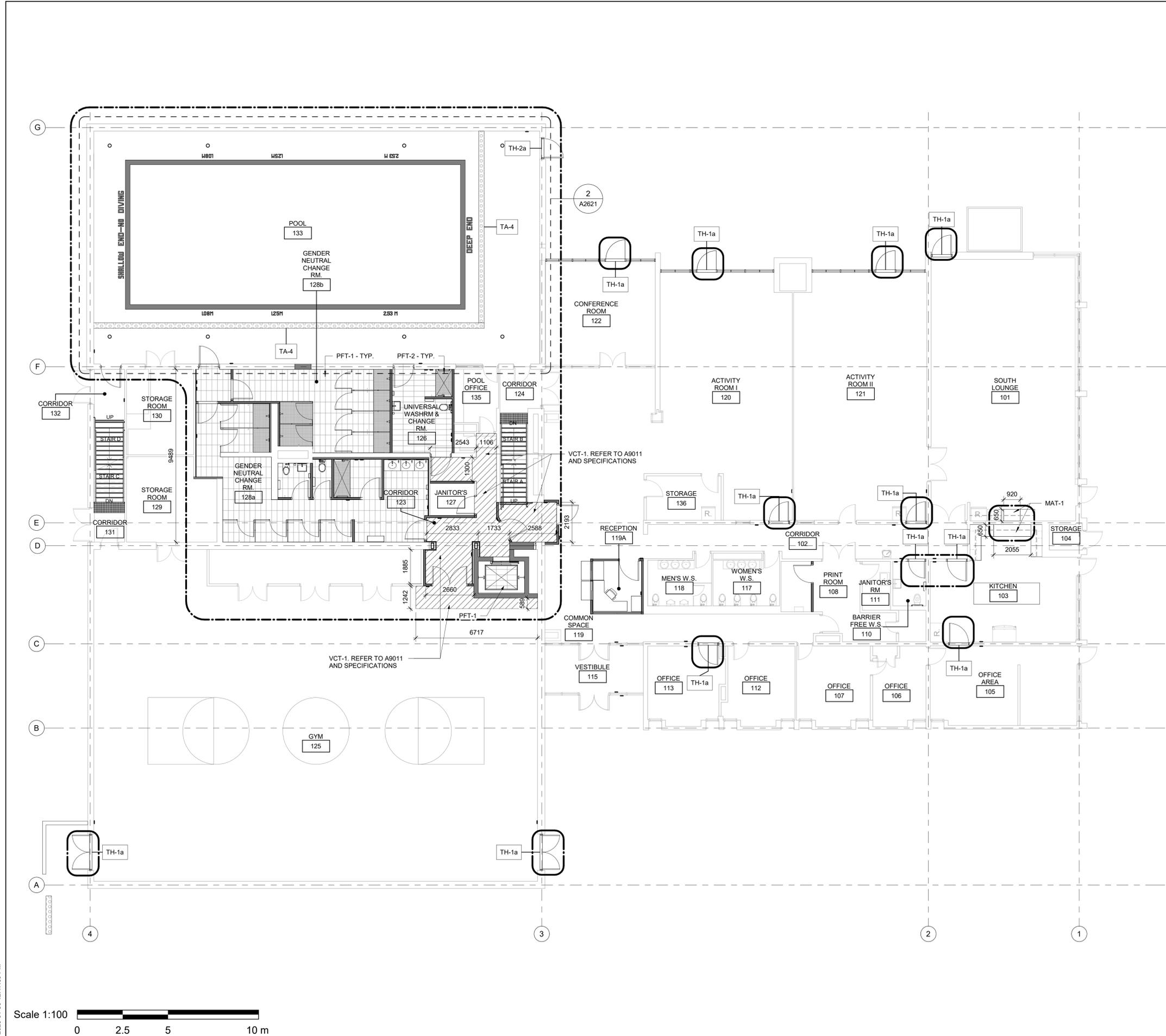
SHEET TITLE
BASEMENT FINISH PLAN

SHEET NUMBER G28-184-A2601	ISSUE B
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FLOOR FINISHES LEGEND

	PORCELAIN SHOWER TILE
	PORCELAIN TILE
	FLOOR FINISH TO MATCH EXISTING REFER TO ROOM FINISH SCHEDULE
	DASHED AREA INDICATES AREA OF WORK

- ### FLOOR FINISH GENERAL NOTES
- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
 - CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
 - PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
 - CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
 - WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
 - PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

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 Metro Hall Toronto, ON
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ISSUES	No.	DESCRIPTION	DATE
	A	90% SUBMISSION	2022-01-04
	B	ISSUED FOR TENDER	2022-11-01
	C	ADDENDUM 1	2022-11-04

CONSULTANTS

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 ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

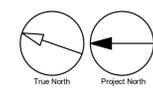
PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: M. LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

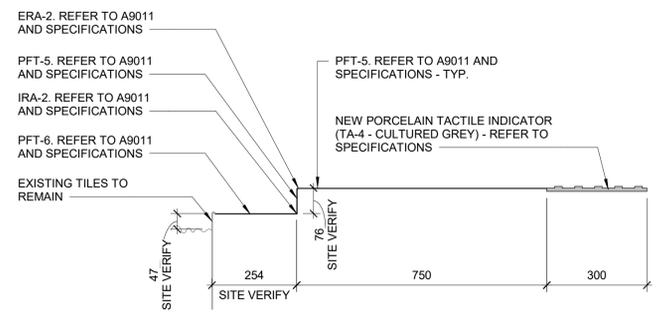
SHEET TITLE
**FIRST FLOOR FLOOR
 FINISH PLAN**

SHEET NUMBER G28-184-A2611	ISSUE C
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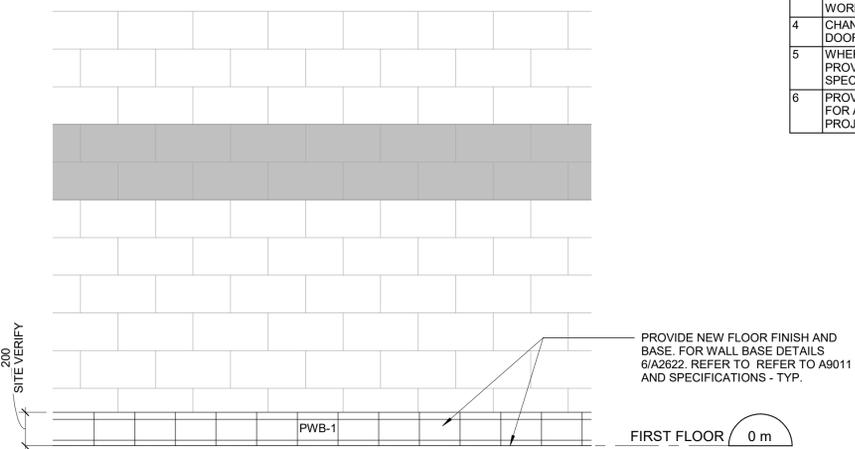
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3 POOL DECK SECTION - TYP.
A2621 Scale: 1 : 10



4 POOL WALL ELEVATION - TYP.
A2621 Scale: 1 : 20

FLOOR FINISHES LEGEND

	EPOXY FLOOR COATING
	FLOOR FINISH TO MATCH EXISTING REFER TO ROOM FINISH SCHEDULE
	DASHED AREA INDICATES AREA OF WORK

FLOOR FINISH GENERAL NOTES

- FLOOR FINISH PLANS TO BE READ IN CONJUNCTION WITH ROOM FINISH SCHEDULE AND SPECIFICATIONS.
- CARPET TILE TO BE INSTALLED PRIOR TO INSTALLATION OF SYSTEMS FURNITURE.
- PROTECT ALL NEW AND EXISTING FLOOR FINISHES WITH PLYWOOD SHEETS ANYWHERE OTHER CONSTRUCTION WORK IS STILL ONGOING.
- CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- PROVIDE REPLACEMENT FLOOR FINISH TO MATCH EXISTING FOR ANY FLOORING DAMAGED DUE TO WORK OF THIS PROJECT.

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B	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
WEST SCARBOROUGH
COMMUNITY CENTER
313 PHARMACY AVE.

PROJECT NO:
9119-19-0162 / IBI 122260

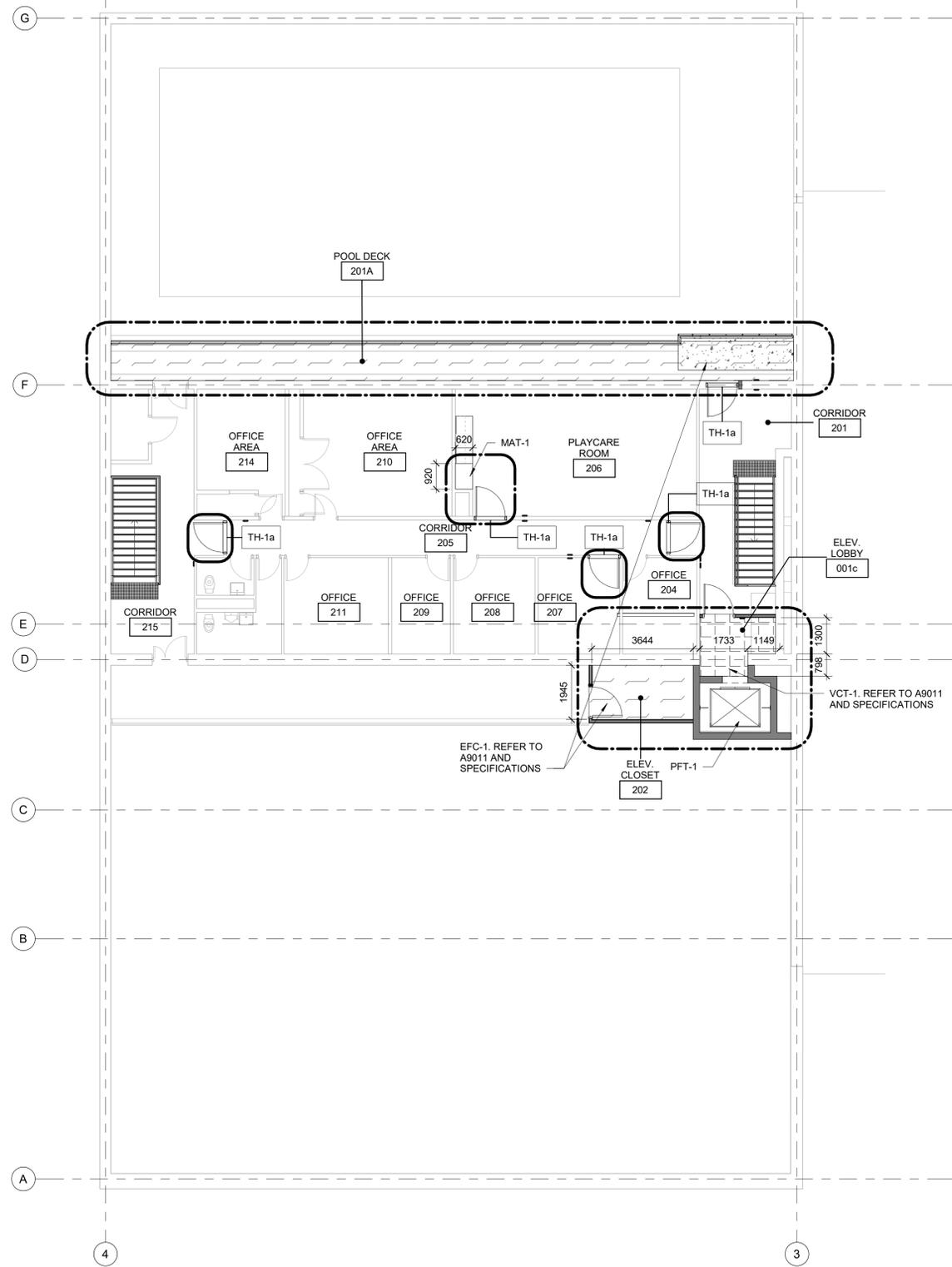
DRAWN BY: F. GIRALDO
CHECKED BY: L. BANDIERA

PROJECT MGR: F. BOLOURIAN
APPROVED BY: E. FENUTA

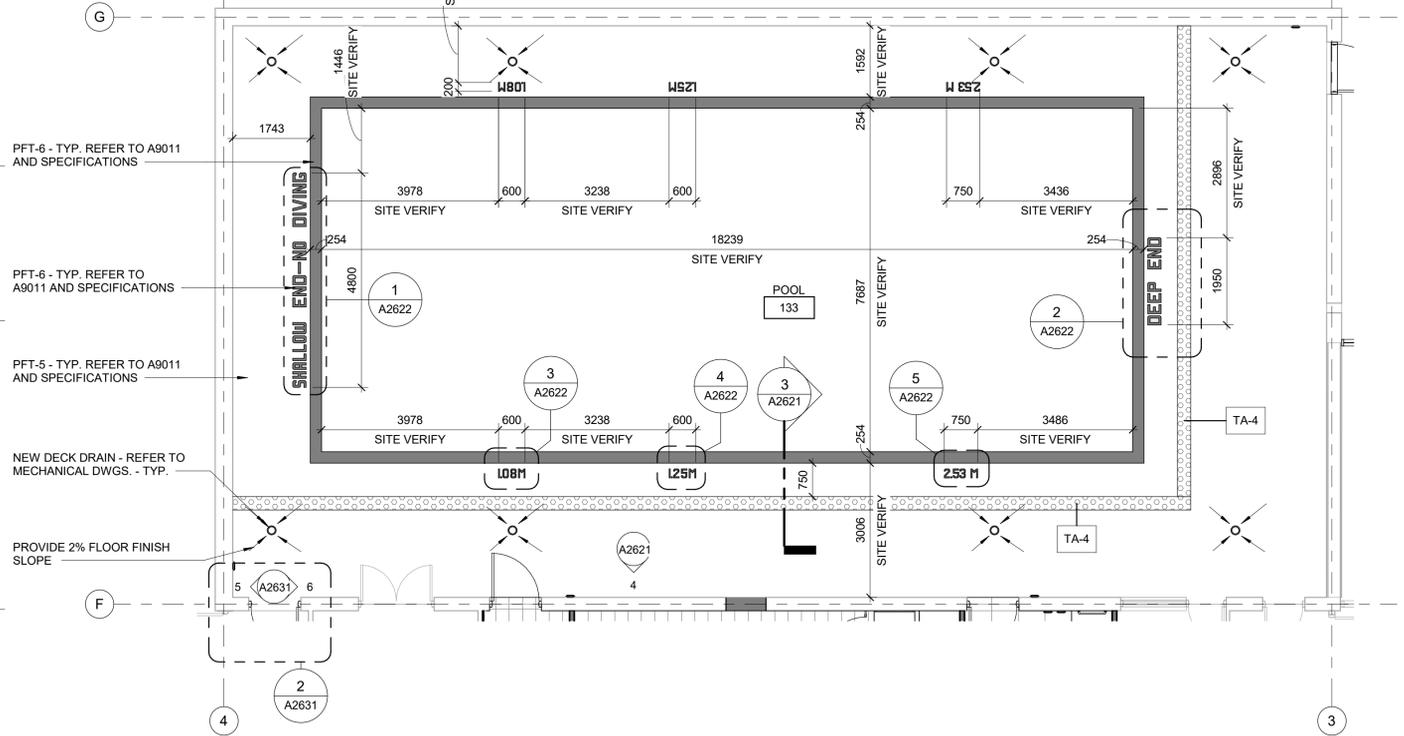
SHEET TITLE
SECOND FLOOR FLOOR
FINISH PLAN

SHEET NUMBER
G28-184-A2621

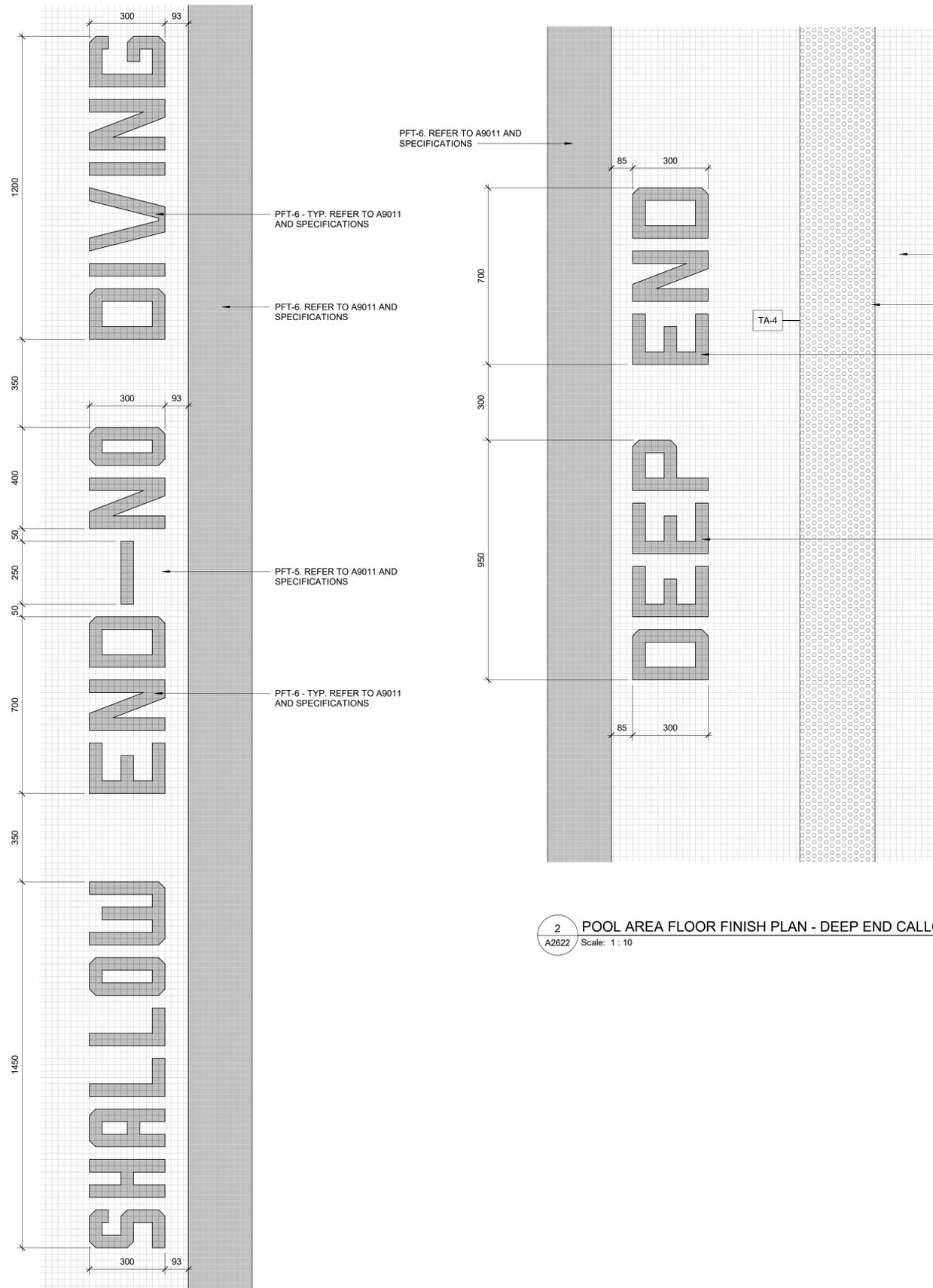
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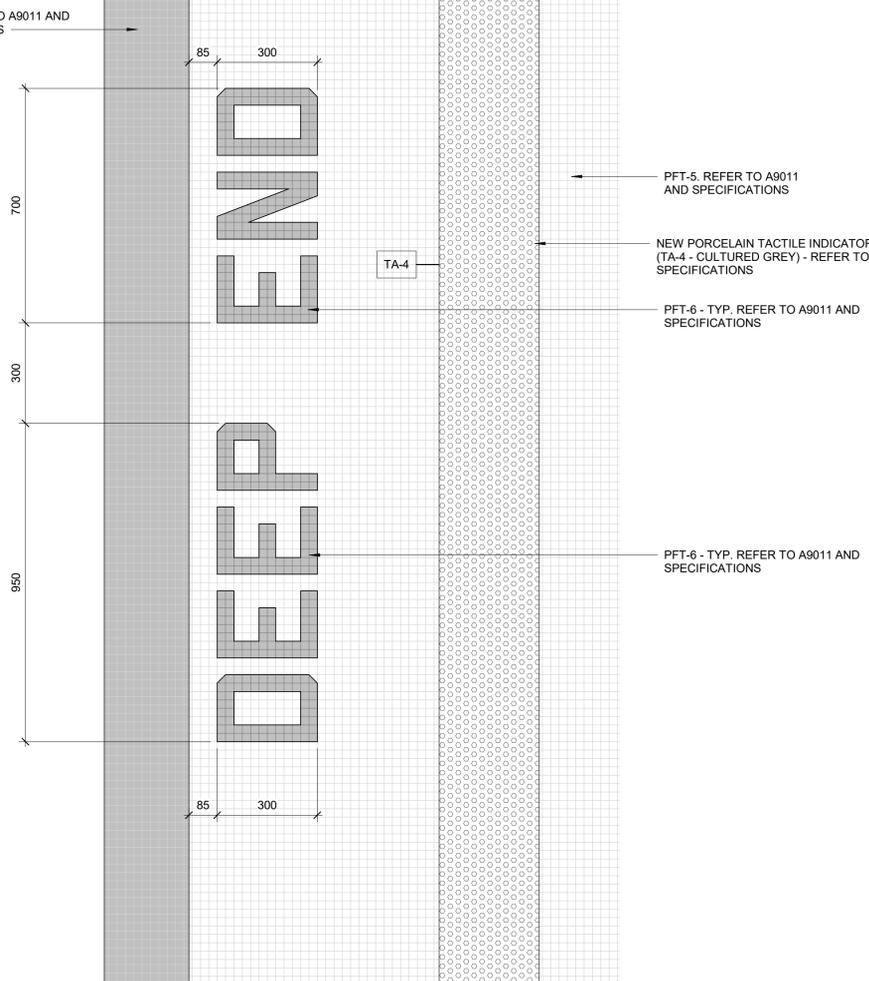
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A2621 Scale: 1 : 100



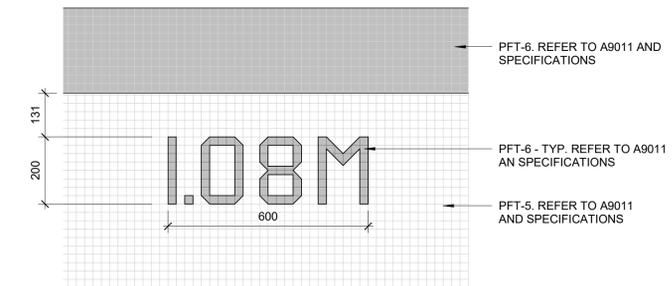
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A2621 Scale: 1 : 75



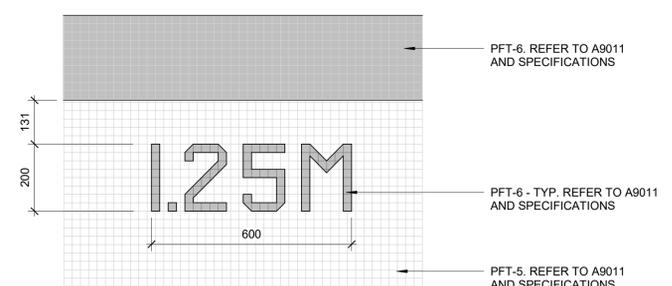
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A2622 Scale: 1 : 10



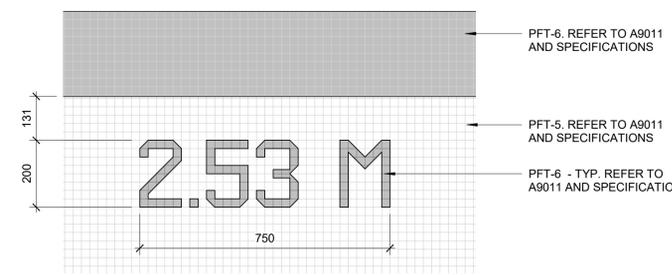
2 POOL AREA FLOOR FINISH PLAN - DEEP END CALLOUT
A2622 Scale: 1 : 10



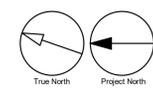
3 POOL AREA FLOOR FINISH PLAN - 1.08M CALLOUT - TYP.
A2622 Scale: 1 : 10



4 POOL AREA FLOOR FINISH PLAN - 1.25M CALLOUT - TYP.
A2622 Scale: 1 : 10



5 POOL AREA FLOOR FINISH PLAN - 2.53M CALLOUT - TYP.
A2622 Scale: 1 : 10



ISSUES		
No.	DESCRIPTION	DATE
A	ISSUED FOR TENDER	2022-11-01

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tel 416 679 1930 fax 416 675 4620
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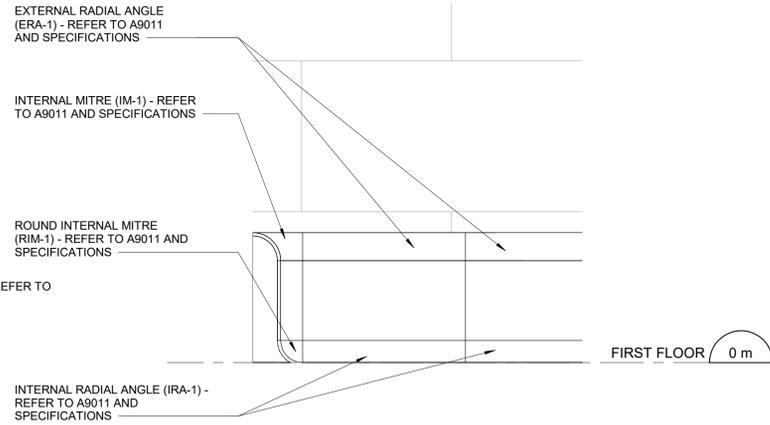
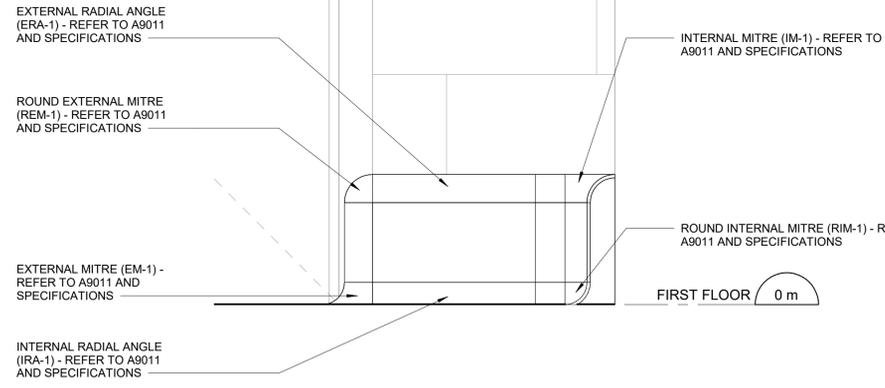
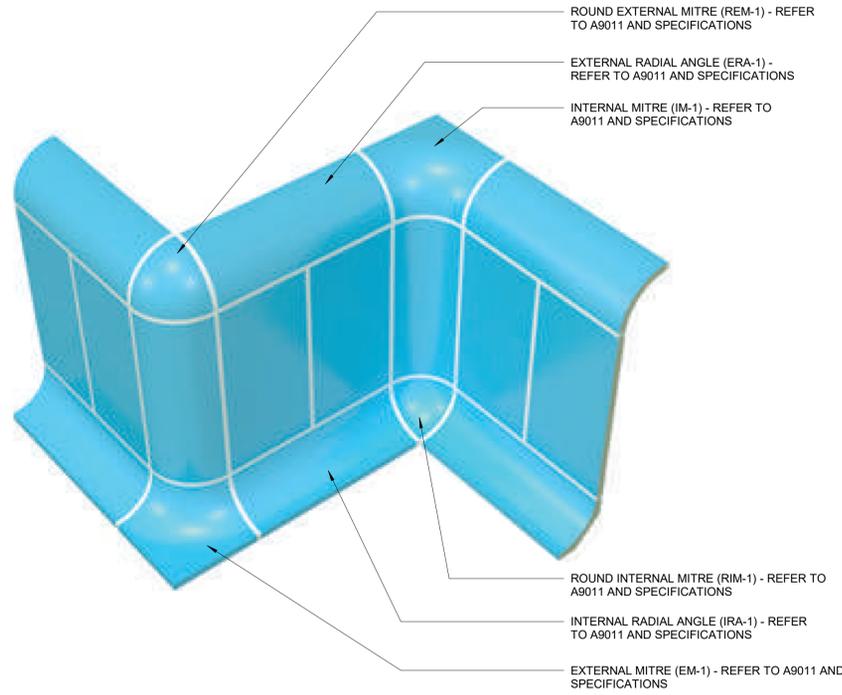
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
COMMUNITY CENTER
313 PHARMACY AVE.**

PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
L. BANDIERA
APPROVED BY:
E. FENUTA

SHEET TITLE
**FIRST FLOOR FINISH
PLAN - CALLOUT PLANS**

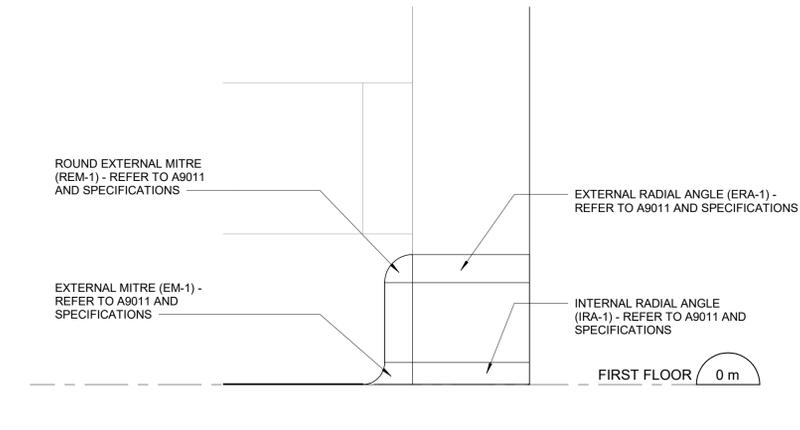
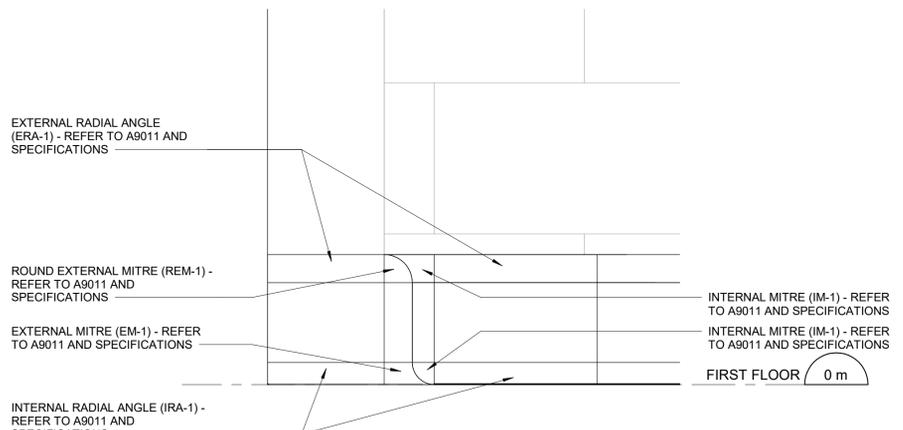
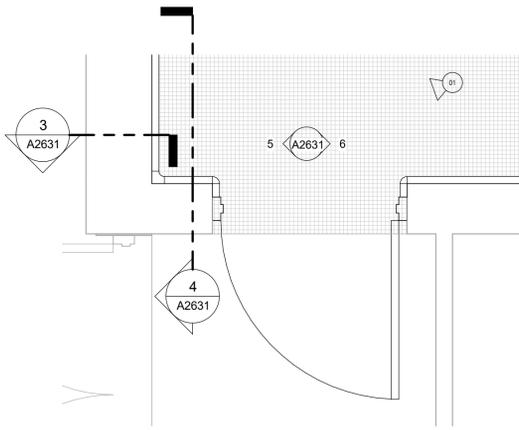
SHEET NUMBER
G28-184-A2622
ISSUE
A



1 COVE BASE - TYP. DETAILS
A2631 Scale: 1 : 10

3 COVE BASE DETAIL - DOOR JAMB AND ROOM CORNER - SECTION 1 - TYP.
A2631 Scale: 1 : 5

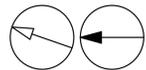
4 COVE BASE DETAIL - ROOM CORNER - SECTION 2 - TYP.
A2631 Scale: 1 : 5



2 FIRST FLOOR - POOL AREA ENLARGED PLAN
A2631 Scale: 1 : 20

5 COVE BASE DETAIL - DOOR JAMB - ELEVATION 1 - SIM.
A2631 Scale: 1 : 5

6 COVE BASE DETAIL - DOOR JAMB - ELEVATION 2 - SIM.
A2631 Scale: 1 : 5



ISSUES		
No.	DESCRIPTION	DATE
A	ISSUED FOR TENDER	2022-11-01

CONSULTANTS

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PRIME CONSULTANT
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ibi@group.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
COMMUNITY CENTER
313 PHARMACY AVE.**

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUA

SHEET TITLE
**FIRST FLOOR FINISH
PLAN - CALLOUT PLANS,
ELEVATIONS**

SHEET NUMBER G28-184-A2631	ISSUE A
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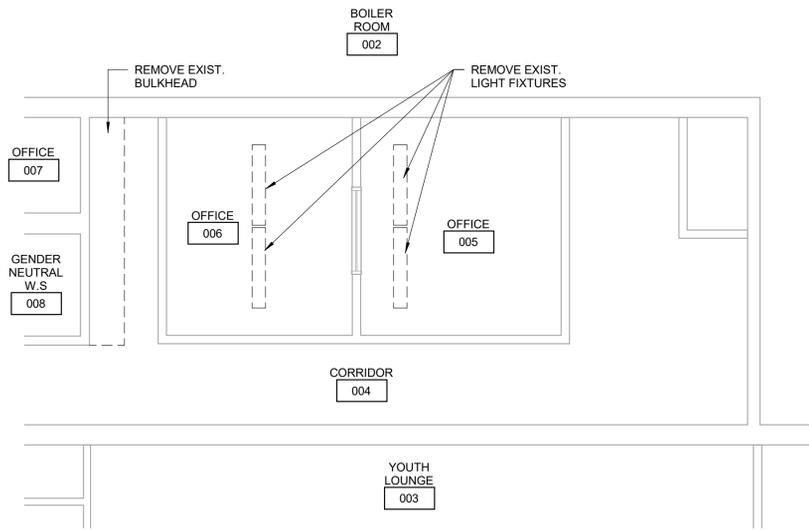


PHOTO 01-EXISTING BARRIER FREE WASHROOM DAMAGED CEILING TILES TO BE REPLACED

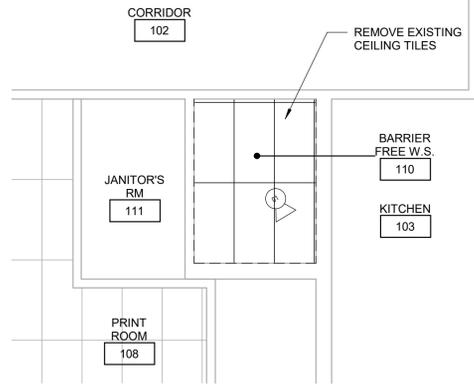
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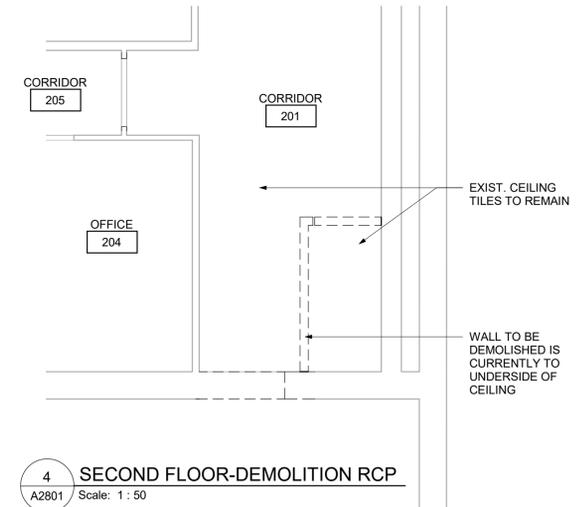
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B	ISSUED FOR TENDER	2022-11-01
C	ADDENDUM 1	2022-11-04



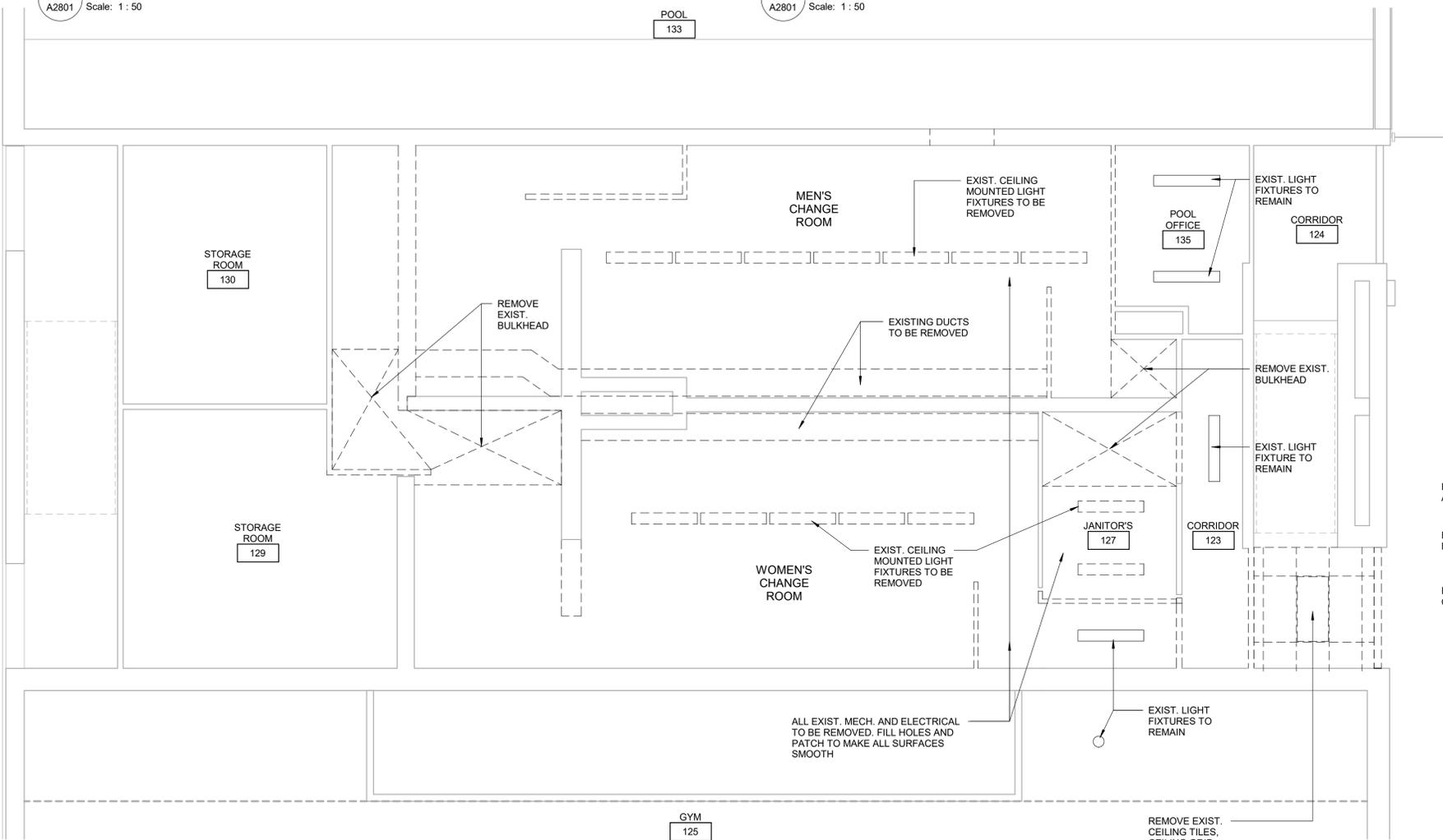
1 BASEMENT-DEMOLITION RCP
 A2801 Scale: 1:50



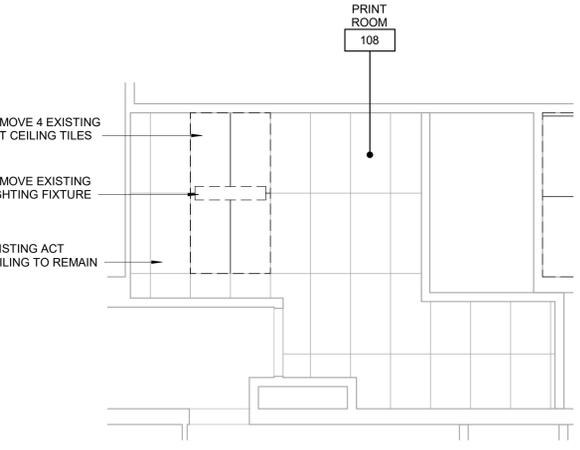
3 FIRST FLOOR - DEMOLITION RCP 2
 A2801 Scale: 1:50



4 SECOND FLOOR-DEMOLITION RCP
 A2801 Scale: 1:50



2 FIRST FLOOR - DEMOLITION RCP 1
 A2801 Scale: 1:50



5 FIRST FLOOR - DEMOLITION RCP 3
 A2801 Scale: 1:50

CONSULTANTS

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IBI GROUP
 175 Galaxy Blvd, Unit 100
 Toronto, ON M9W 0C3, Canada
 Tel: 416 679 1930 fax 416 675 4620
 ibigroup.com

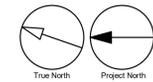
PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

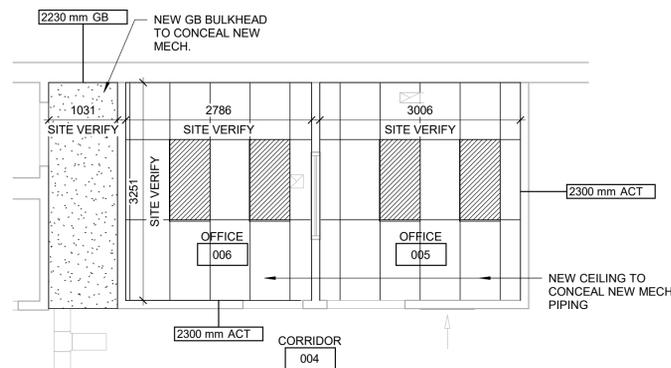
PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M. LATOSZEK
 PROJECT MGR:
F. BOLOURIAN
 SHEET TITLE
**REFLECTED CEILING
 PLANS - DEMOLITION**

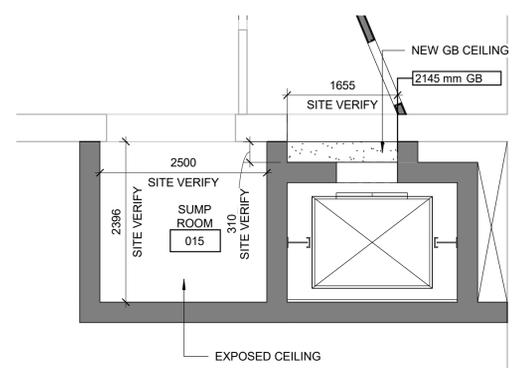
CHECKED BY:
L. BANDIERA
 APPROVED BY:
E. FENUTA

SHEET NUMBER
G28-184-A2801
 ISSUE
C

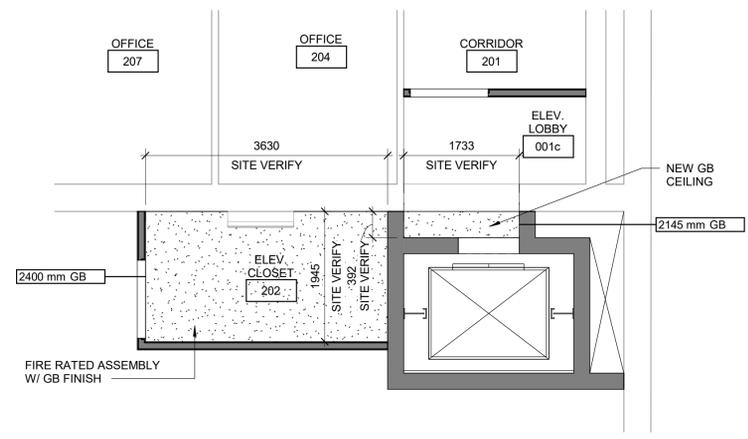




1 BASEMENT-PROPOSED RCP
A2802 Scale: 1:50



2 BASEMENT-PROPOSED RCP 2
A2802 Scale: 1:50



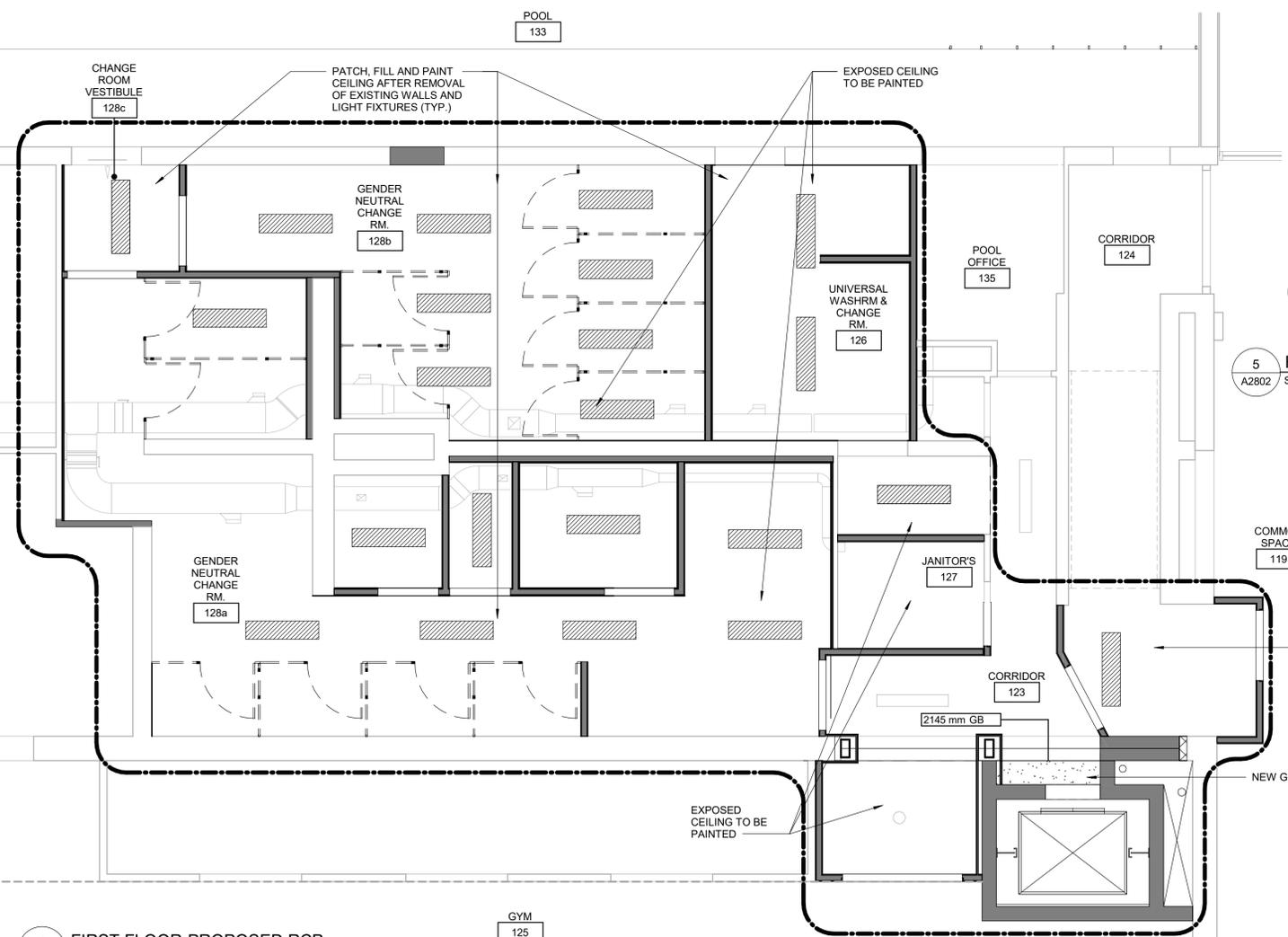
3 SECOND FLOOR-PROPOSED RCP
A2802 Scale: 1:50

CEILING LEGEND

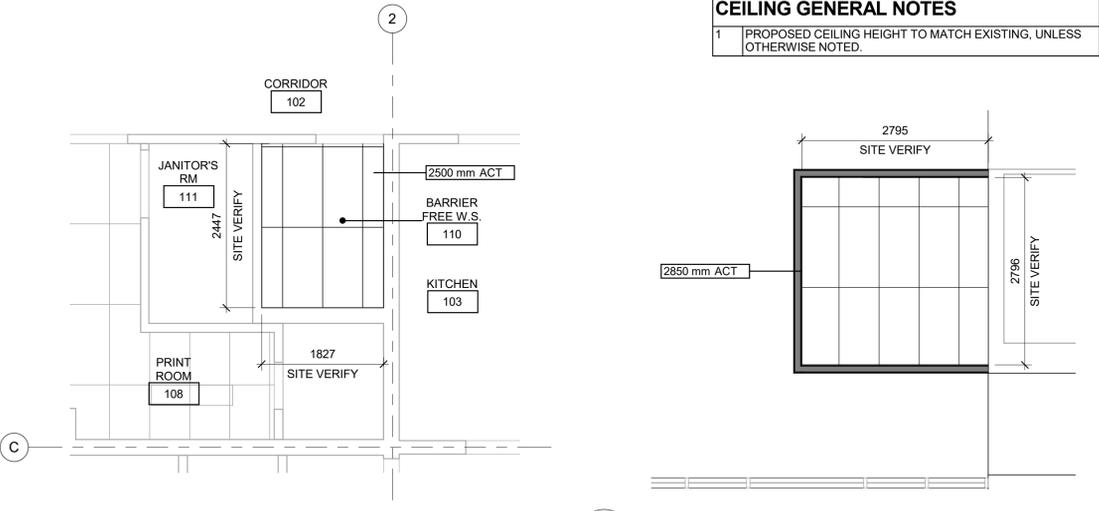
- SUSPENDED METAL GRID AND LAY-IN ACOUSTIC TILE SIZE TO MATCH EXISTING
- GYPSUM BOARD CEILING AND BULKHEAD
- SUPPLY / RETURN DUCT
- CEILING, PENDANT OR WALL MOUNTED LUMINAIRE
- CEILING OR PENDANT MOUNTED LUMINAIRE
- DASHED AREA INDICATES AREA OF WORK

CEILING GENERAL NOTES

1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

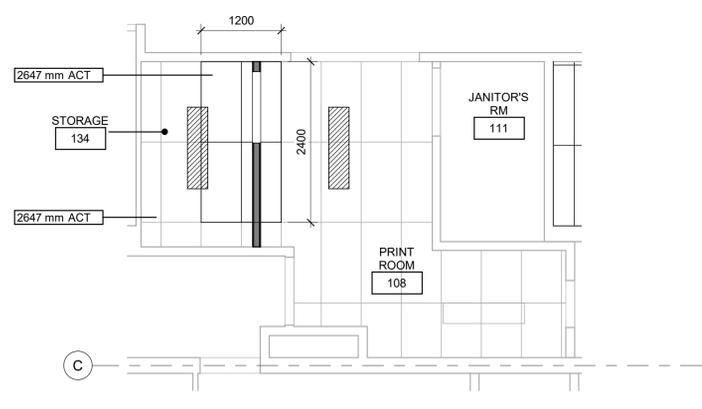


4 FIRST FLOOR-PROPOSED RCP
A2802 Scale: 1:50



5 FIRST FLOOR- PROPOSED RCP - EXISTING B.F. WASHROOM
A2802 Scale: 1:50

6 FIRST FLOOR- PROPOSED RCP - RECEPTION DESK
A2802 Scale: 1:50



7 FIRST FLOOR- PROPOSED RCP - NEW STORAGE
A2802 Scale: 1:50

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ISSUES		
No.	DESCRIPTION	DATE
A	90% SUBMISSION	2022-01-04
B	ISSUED FOR TENDER	2022-11-01
C	ADDENDUM 1	2022-11-04

CONSULTANTS

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Tel: 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

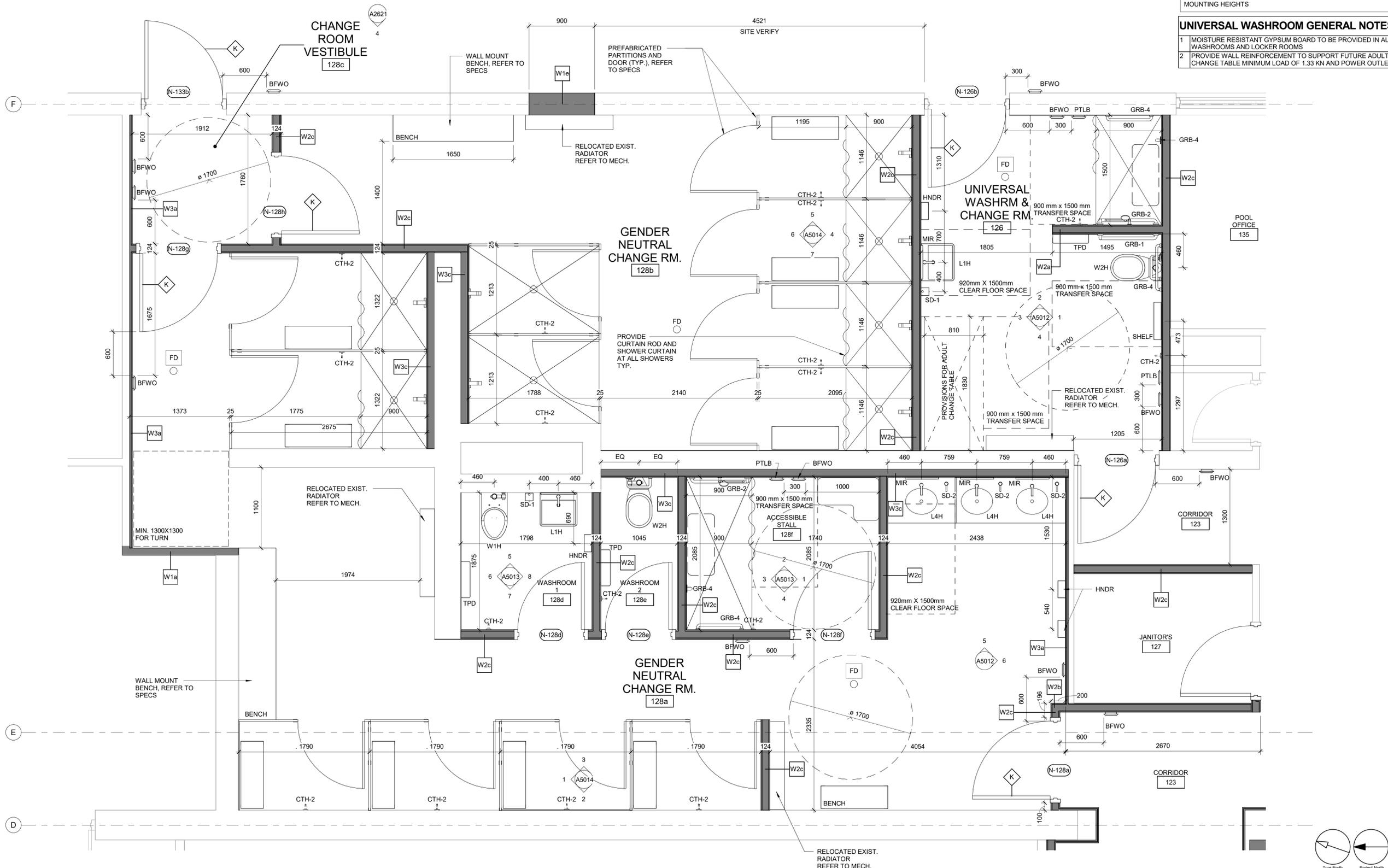
PROJECT ADDRESS
**WEST SCARBOROUGH
COMMUNITY CENTER
313 PHARMACY AVE.**

PROJECT NO:
9119-19-0162 / IBI 122260
DRAWN BY:
M.LATOSZEK
PROJECT MGR:
F.BOLOURIAN
CHECKED BY:
L. BANDIERA
APPROVED BY:
E. FENUTA

SHEET TITLE
**REFLECTED CEILING
PLANS - PROPOSED**

SHEET NUMBER
G28-184-A2802
ISSUE
C

2023-01-30 12:48:19 PM



- CONSTRUCTION KEY NOTES**
- | NO | DESCRIPTION |
|----|---|
| K | INSTALL NEW DOOR AND FRAME, REFER TO DOOR SCHEDULE A9001, G0004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |
- WASHROOM GENERAL NOTES**
- | | |
|---|---|
| 2 | ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE LOWERED. REFER TO 2/D1201, 4/D1201. |
| 4 | ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201. |
- REFER TO D1201 AND D1203 FOR WASHROOM ACCESSORIES MOUNTING HEIGHTS
- UNIVERSAL WASHROOM GENERAL NOTES**
- | | |
|---|--|
| 1 | MOISTURE RESISTANT GYPSUM BOARD TO BE PROVIDED IN ALL WASHROOMS AND LOCKER ROOMS |
| 2 | PROVIDE WALL REINFORCEMENT TO SUPPORT FUTURE ADULT CHANGE TABLE MINIMUM LOAD OF 1.33 KN AND POWER OUTLET |

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

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 ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

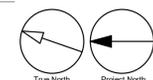
PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: M.LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F.BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
CHANGE ROOM PLANS

SHEET NUMBER
G28-184-A5011

ISSUE
D



BIM 360/1122260 - CoT TAU Upgrades R2020/122260-TAU-28-184-313PHRMCY-A-R20.rvt

WASHROOM GENERAL NOTES

2 ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE LOWERED. REFER TO 2/D1201, 4/D1201.

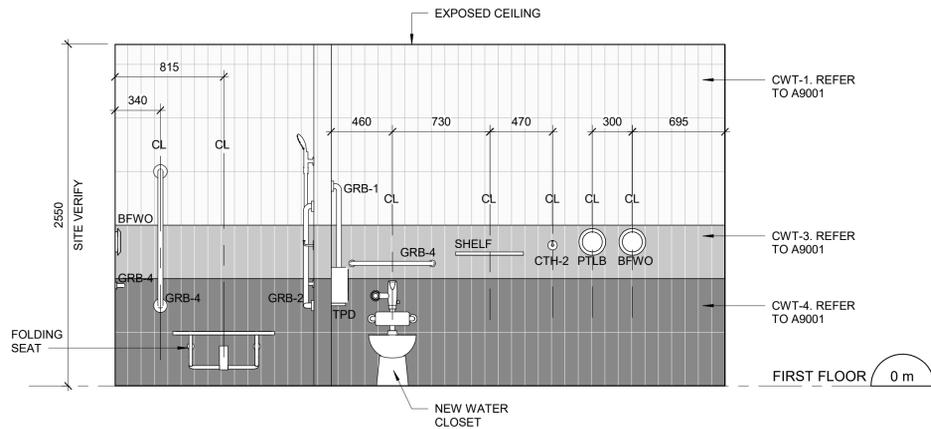
4 ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.

REFER TO D1201 AND D1203 FOR WASHROOM ACCESSORIES MOUNTING HEIGHTS

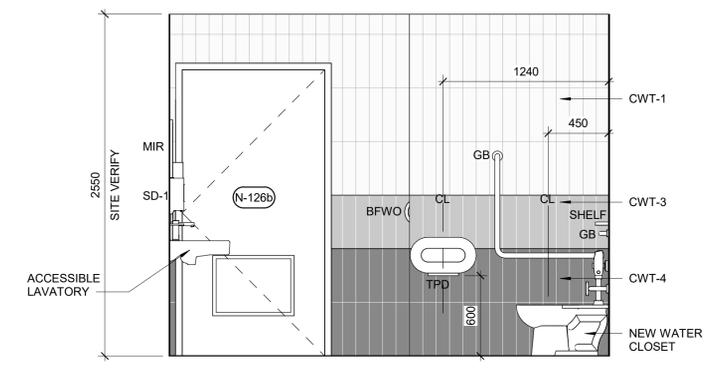
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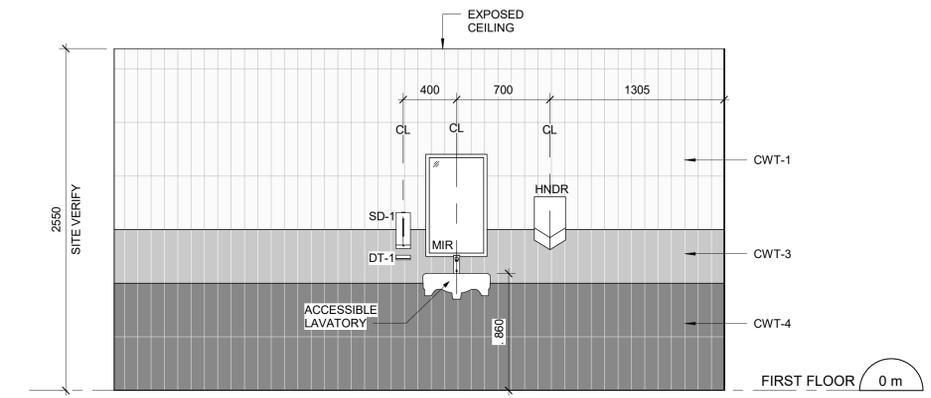
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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01



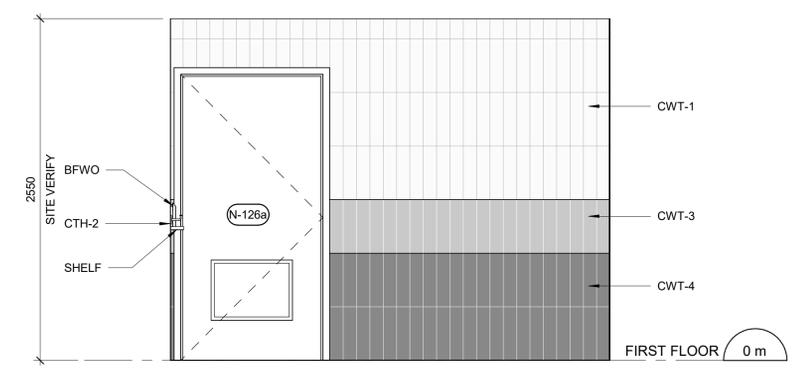
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 A5012 Scale: 1:25



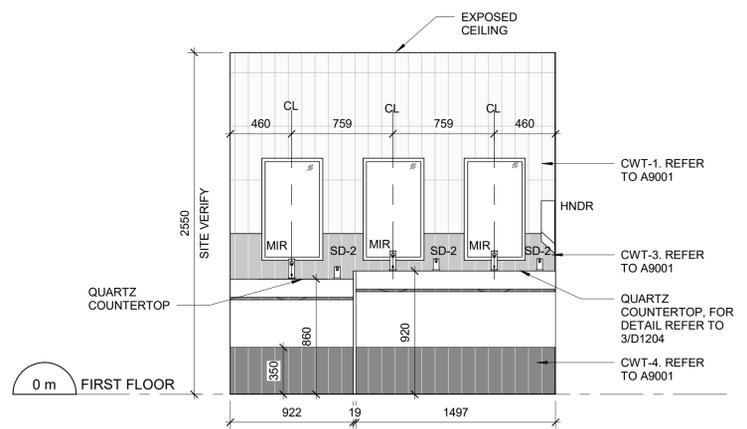
2 UNIVERSAL WASHROOM - EAST ELEVATION
 A5012 Scale: 1:25



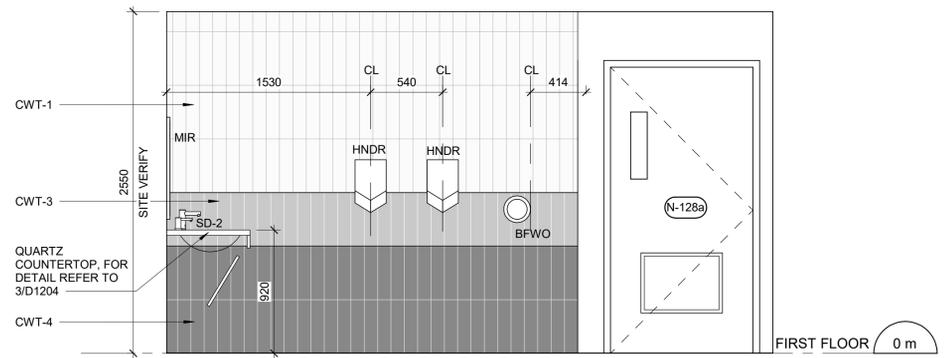
3 UNIVERSAL WASHROOM - NORTH ELEVATION
 A5012 Scale: 1:25



4 UNIVERSAL WASHROOM - WEST ELEVATION
 A5012 Scale: 1:25



5 GENDER NEUTRAL CHANGE ROOM - EAST ELEVATION
 A5012 Scale: 1:25



6 GENDER NEUTRAL CHANGE ROOM - SOUTH ELEVATION
 A5012 Scale: 1:25

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY:
M. LATOSZEK

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE
**UNIVERSAL AND
 GENDER NEUTRAL
 CHANGE ROOM
 ELEVATIONS**

SHEET NUMBER
G28-184-A5012

ISSUE
C

WASHROOM GENERAL NOTES

2 ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE LOWERED. REFER TO 2/D1201, 4/D1201.

4 ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.

REFER TO D1201 AND D1203 FOR WASHROOM ACCESSORIES MOUNTING HEIGHTS

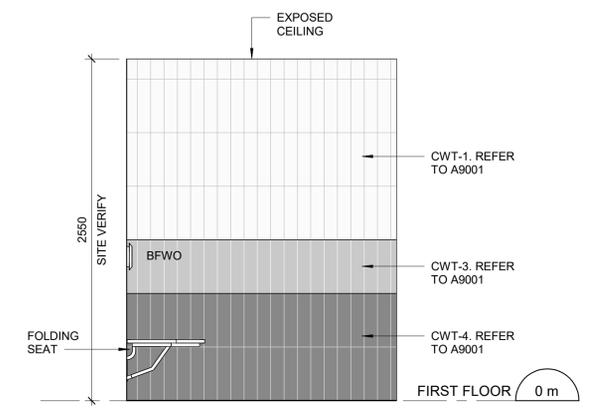
CLIENT
CITY OF TORONTO
 Corporate Real Estate Management
 Project Management Office
 Metro Hall Toronto, ON
 MSV 3C6

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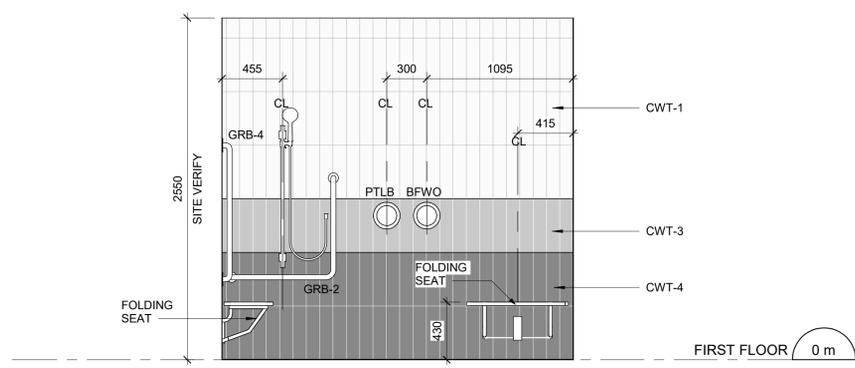
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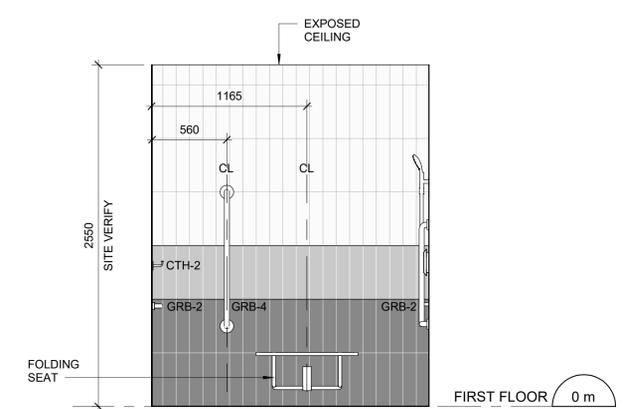
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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01



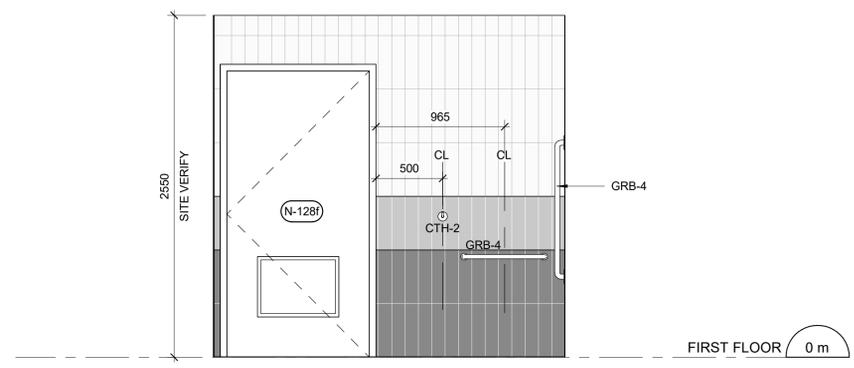
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 A5013 Scale: 1 : 25



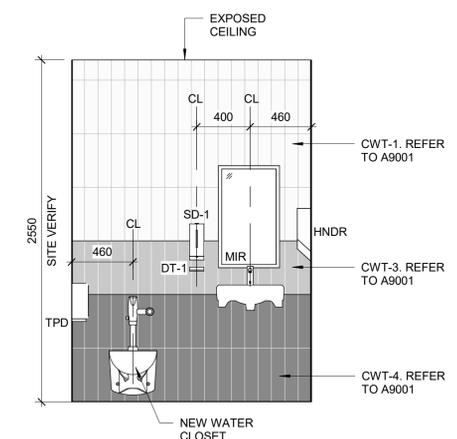
2 **BARRIER FREE CHANGE ROOM STALL - EAST ELEVATION**
 A5013 Scale: 1 : 25



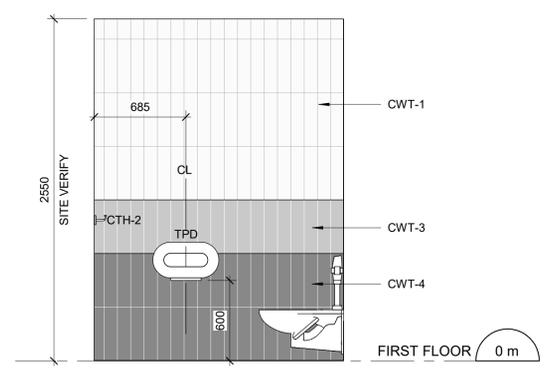
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 A5013 Scale: 1 : 25



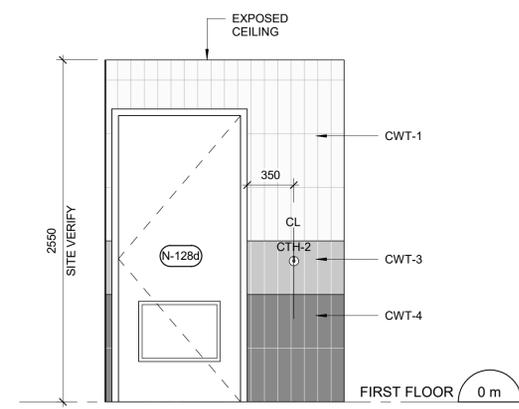
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 A5013 Scale: 1 : 25



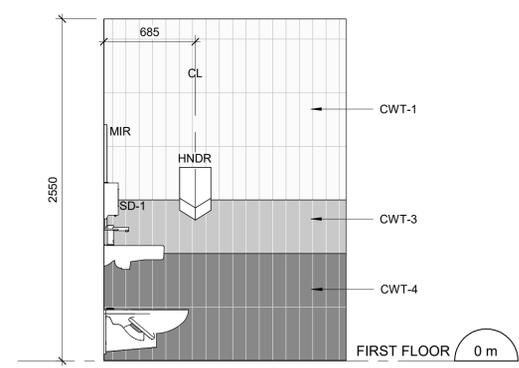
5 **GENDER NEUTRAL WASHROOM - EAST ELEVATION**
 A5013 Scale: 1 : 25



6 **GENDER NEUTRAL WASHROOM - NORTH ELEVATION**
 A5013 Scale: 1 : 25



7 **GENDER NEUTRAL WASHROOM - WEST ELEVATION**
 A5013 Scale: 1 : 25



8 **GENDER NEUTRAL WASHROOM - SOUTH ELEVATION**
 A5013 Scale: 1 : 25

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 ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY:
M. LATOSZEK

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE
**GENDER NEUTRAL
 CHANGE ROOM
 ELEVATIONS**

SHEET NUMBER
G28-184-A5013

ISSUE
C

2023-01-30 12:48:25 PM

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WASHROOM GENERAL NOTES

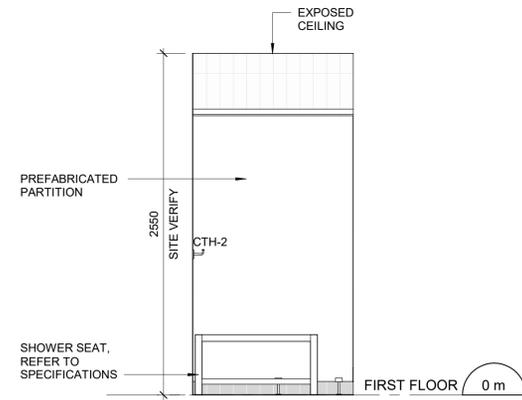
- 2 ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE LOWERED. REFER TO 2/D1201, 4/D1201.
- 4 ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.

REFER TO D1201 AND D1203 FOR WASHROOM ACCESSORIES MOUNTING HEIGHTS

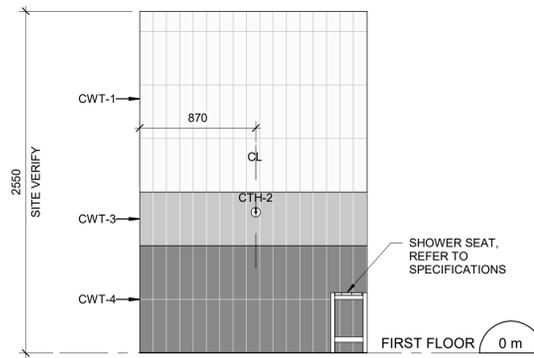
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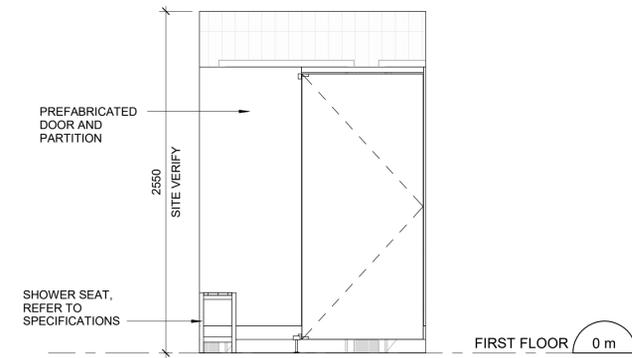
ISSUES		
No.	DESCRIPTION	DATE
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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01



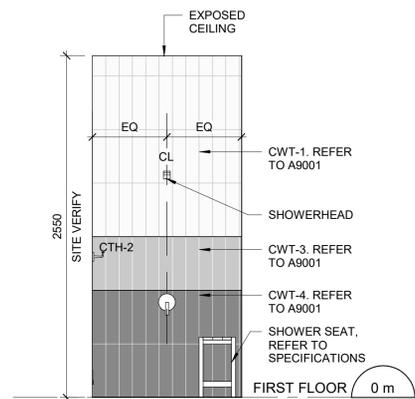
1 TYPICAL STALL W/O SHOWER - NORTH ELEVATION
 A5014 Scale: 1 : 25



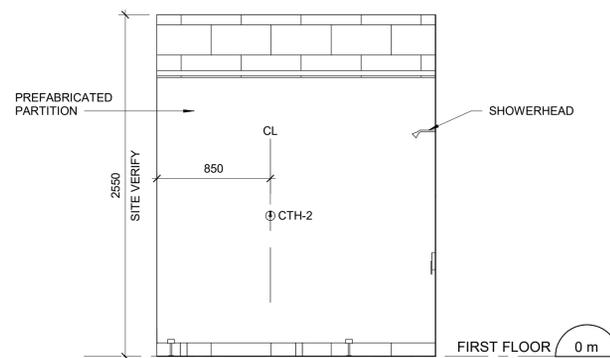
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 A5014 Scale: 1 : 25



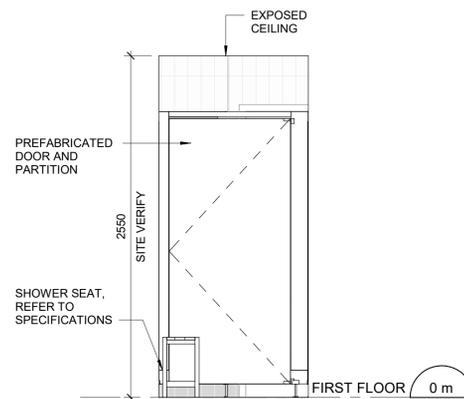
3 TYPICAL STALL W/O SHOWER - EAST ELEVATION
 A5014 Scale: 1 : 25



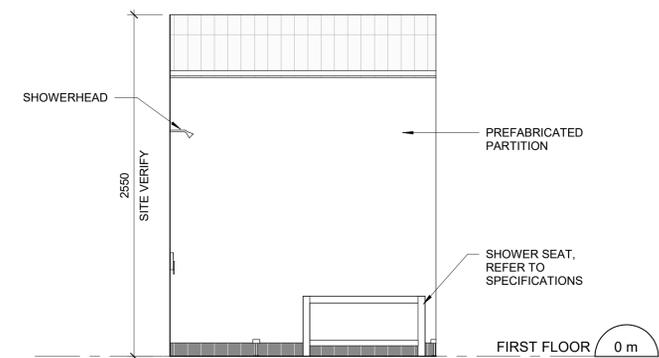
4 TYPICAL STALL WITH SHOWER - SOUTH ELEVATION
 A5014 Scale: 1 : 25



5 TYPICAL STALL WITH SHOWER - EAST ELEVATION
 A5014 Scale: 1 : 25



6 TYPICAL STALL WITH SHOWER - NORTH ELEVATION
 A5014 Scale: 1 : 25



7 TYPICAL STALL WITH SHOWER - WEST ELEVATION
 A5014 Scale: 1 : 25

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 ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M.LATOSZEK
 PROJECT MGR:
F.BOLOURIAN
 CHECKED BY:
L. BANDIERA
 APPROVED BY:
E. FENUTA

SHEET TITLE
**GENDER NEUTRAL
 CHANGE ROOM
 ELEVATIONS**

SHEET NUMBER
G28-184-A5014
 ISSUE
C

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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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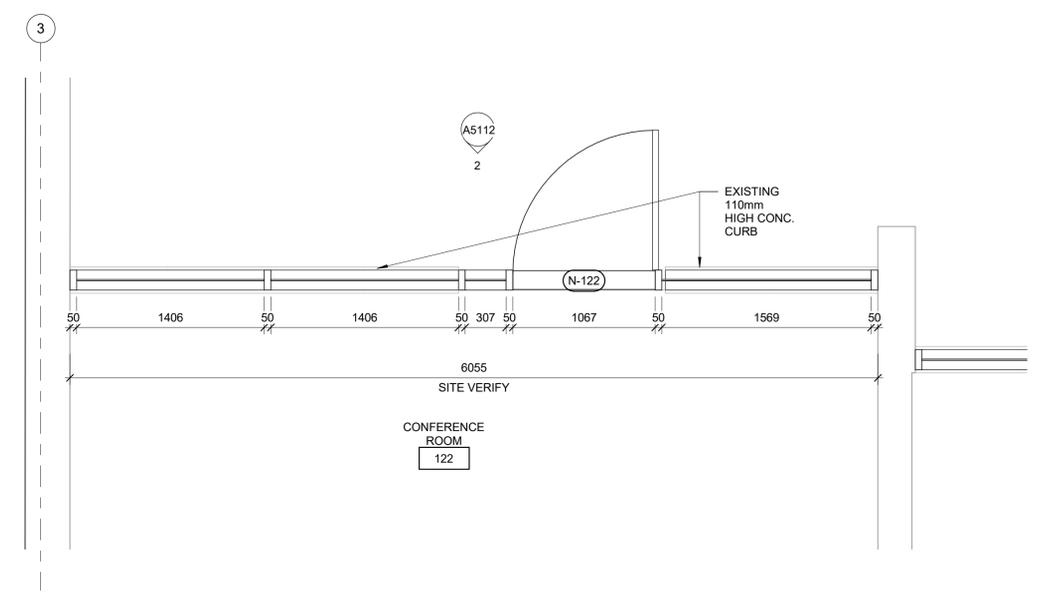
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**CITY OF TORONTO
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PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.**

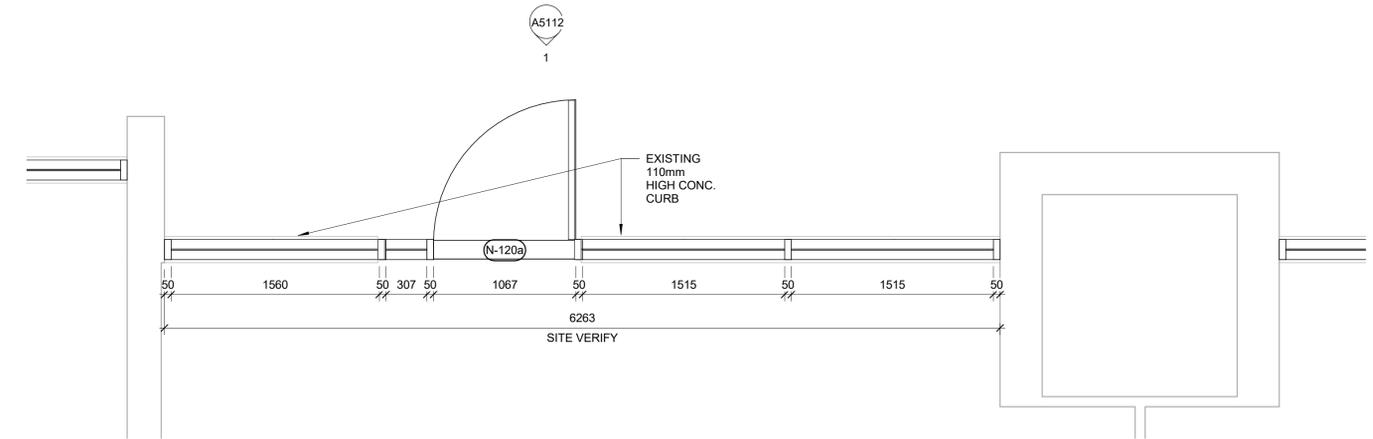
PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M.LATOSZEK
 PROJECT MGR:
F.BOLOURIAN
 CHECKED BY:
L. BANDIERA
 APPROVED BY:
E. FENUTA

SHEET TITLE
**ENLARGED PLANS -
 CURTAIN WALL**

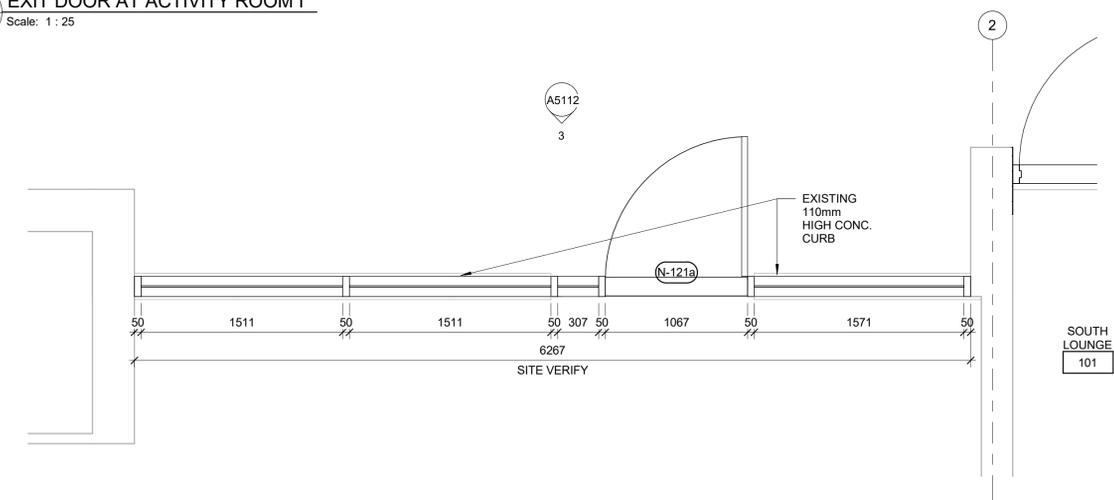
SHEET NUMBER
G28-184-A5111
 ISSUE
C



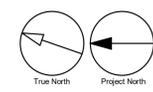
1 EXIT DOOR AT CONFERENCE ROOM
 A5111 Scale: 1 : 25



2 EXIT DOOR AT ACTIVITY ROOM I
 A5111 Scale: 1 : 25



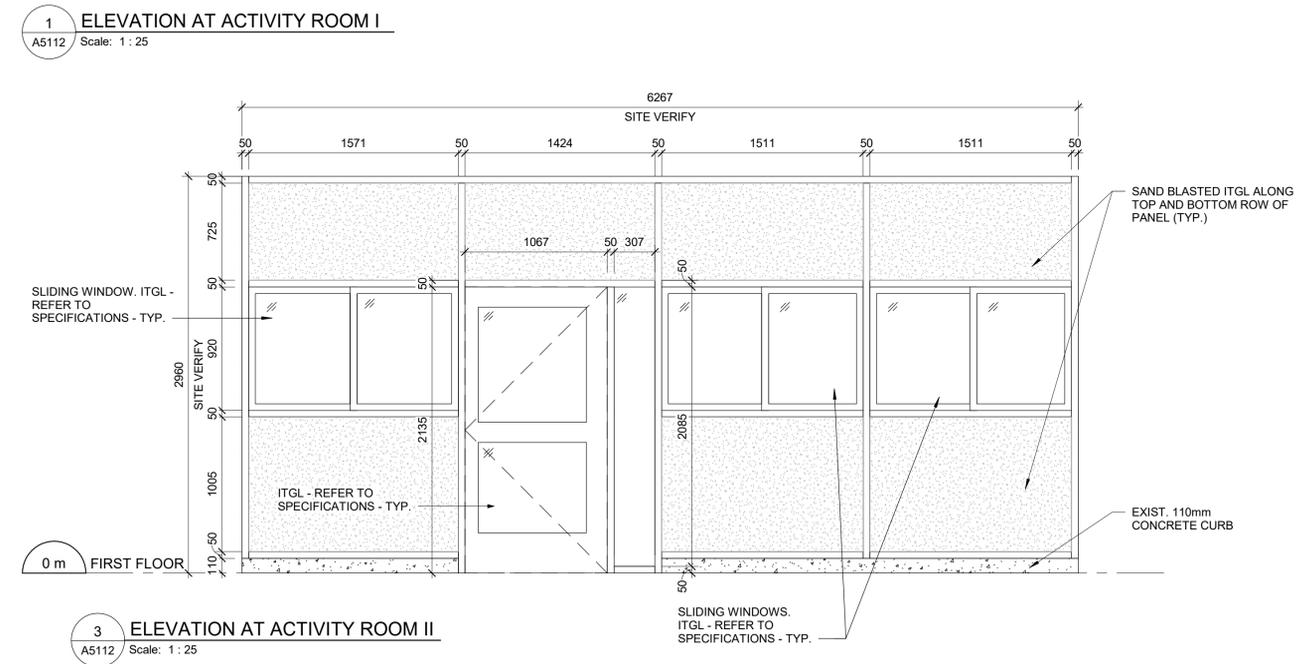
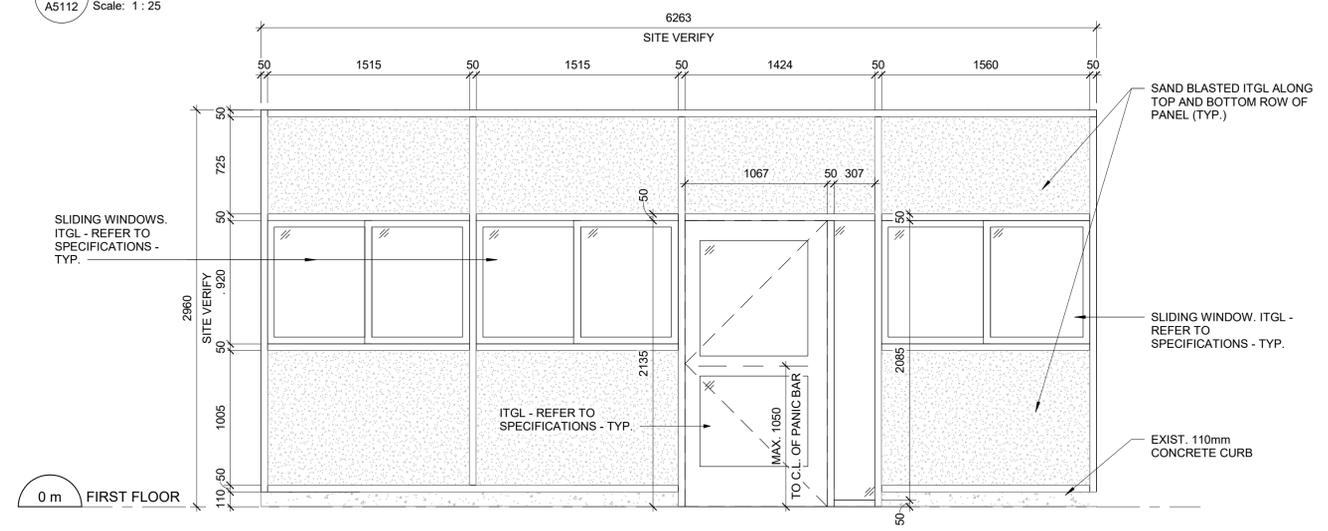
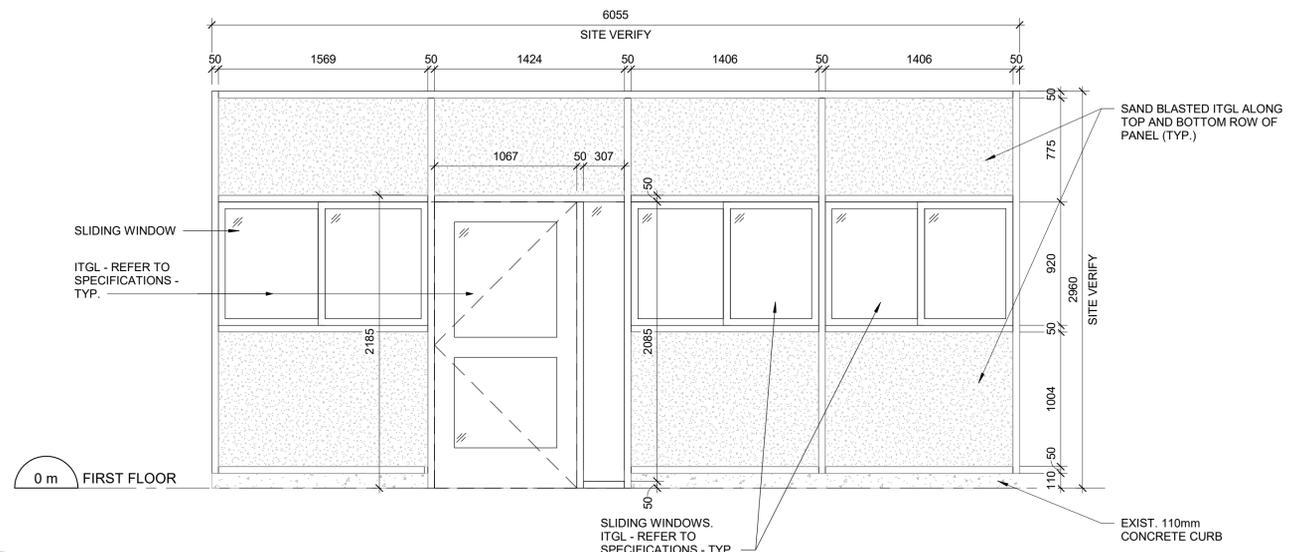
3 EXIT DOOR AT ACTIVITY ROOM II
 A5111 Scale: 1 : 25



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PROJECT TITLE
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PROJECT ADDRESS
 WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.

PROJECT NO.:
 9119-19-0162 / IBI 122260

DRAWN BY: M.LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F.BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
 ENLARGED ELEVATIONS
 - CURTAIN WALL

SHEET NUMBER G28-184-A5112	ISSUE B
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ISSUES		
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PROJECT TITLE
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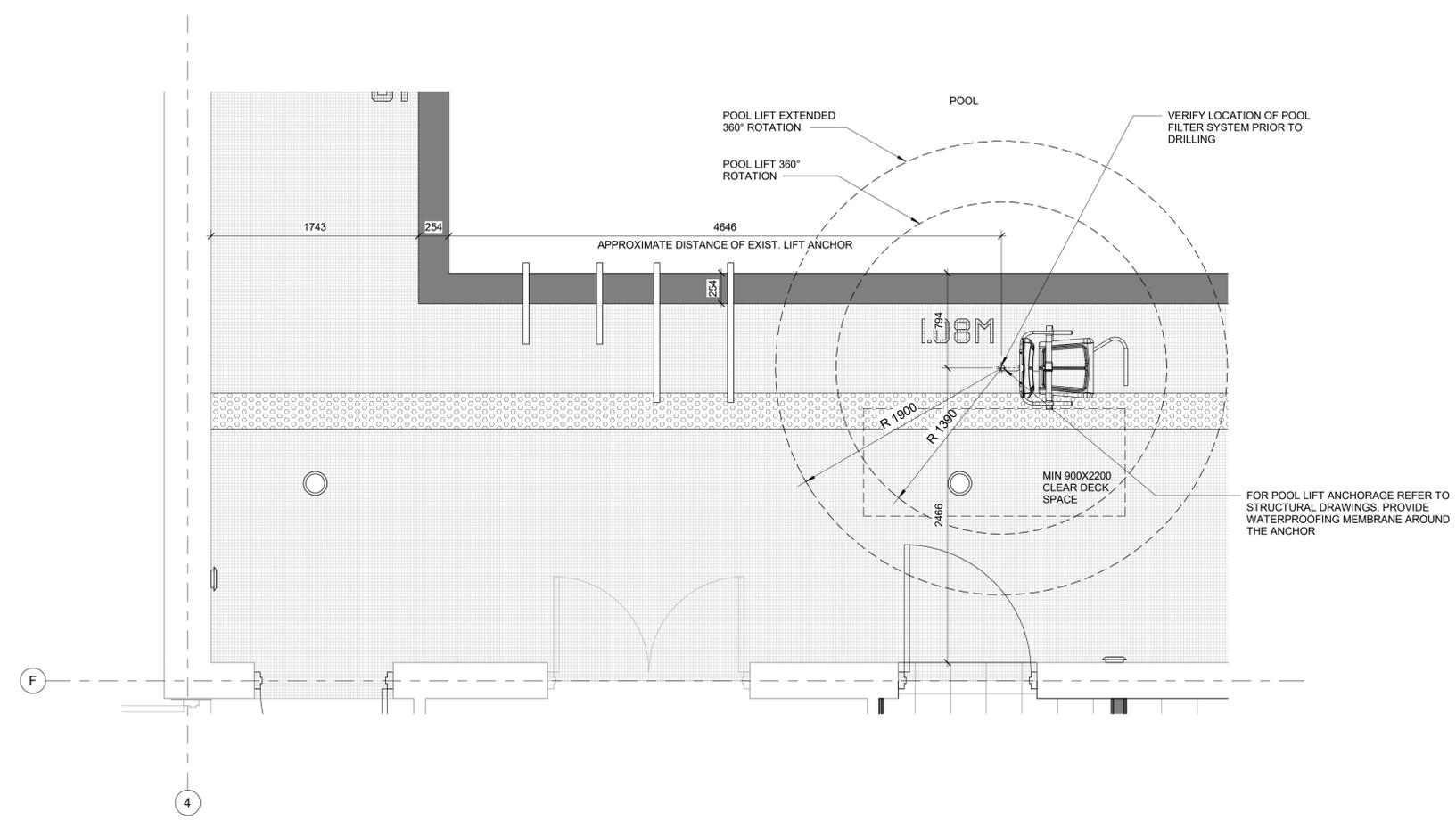
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PROJECT NO.:
 9119-19-0162 / IBI 122260

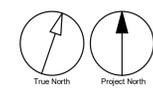
DRAWN BY: M.LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F.BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
 PROPOSED ENLARGED
 POOL LIFT PLAN

SHEET NUMBER G28-184-A5113	ISSUE A
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1 FIRST FLOOR - PROPOSED ENLARGED POOL LIFT PLAN
 Scale: 1:25



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D	ADDENDUM 1	2022-11-04

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PROJECT TITLE
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PROJECT ADDRESS
**WEST SCARBOROUGH
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 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY:
M. LATOSZEK

CHECKED BY:
L. BANDIERA

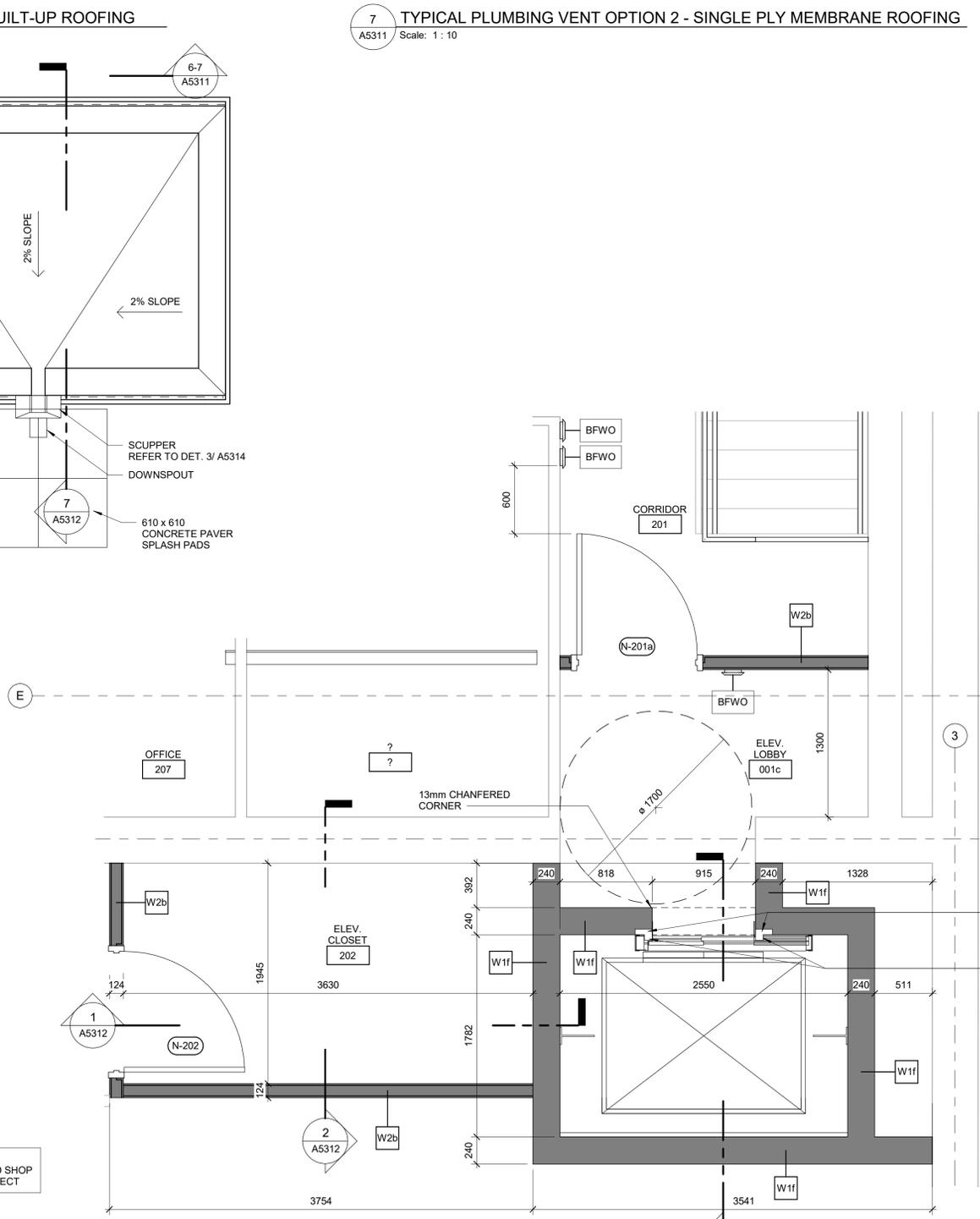
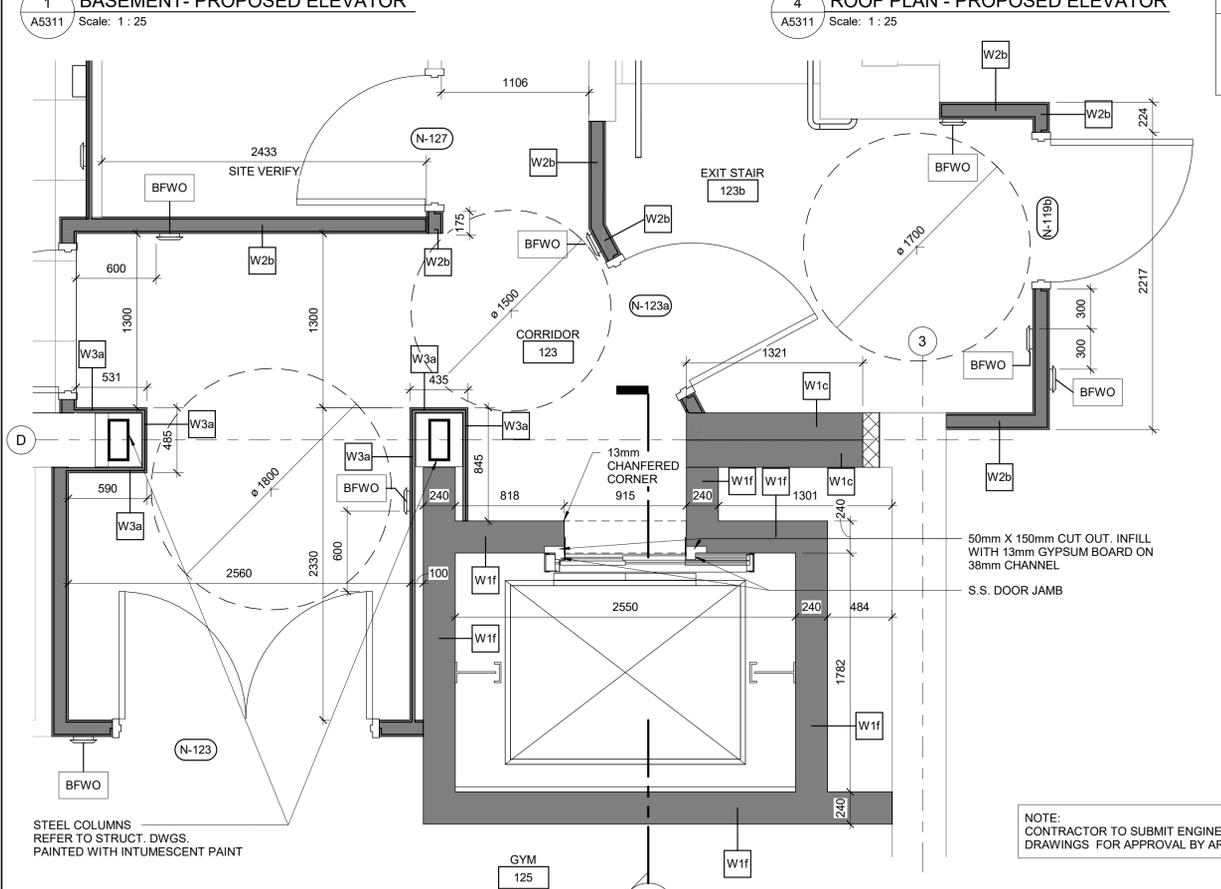
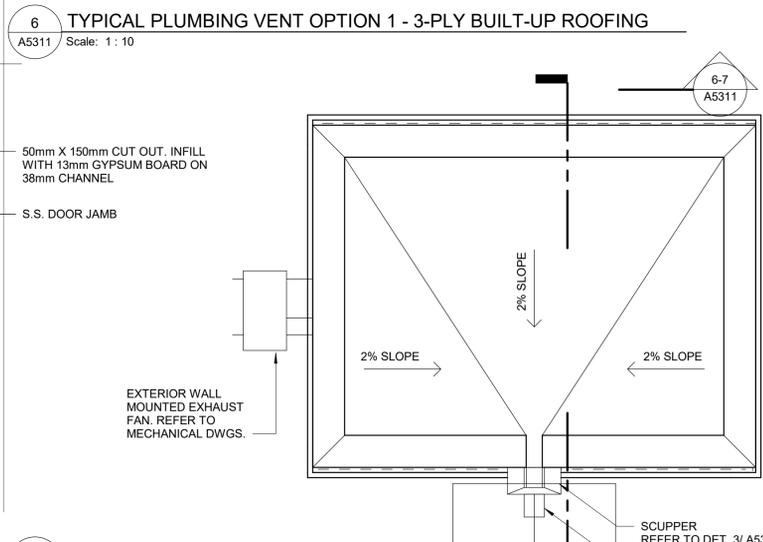
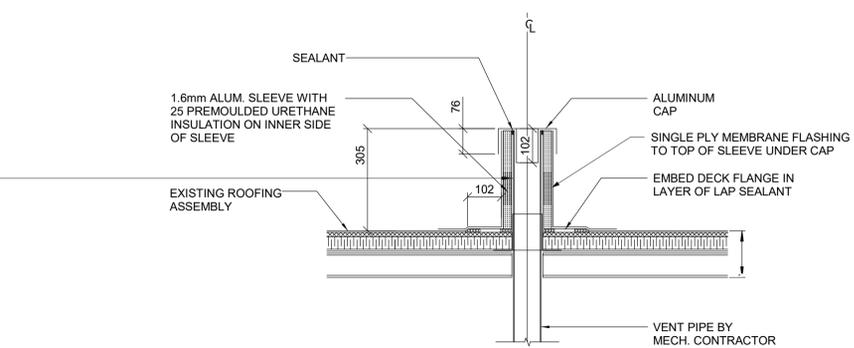
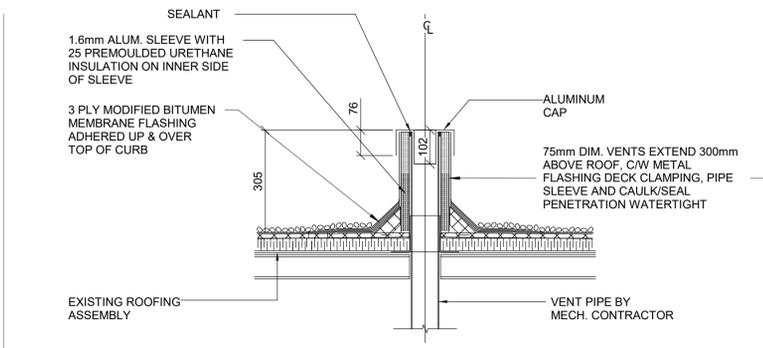
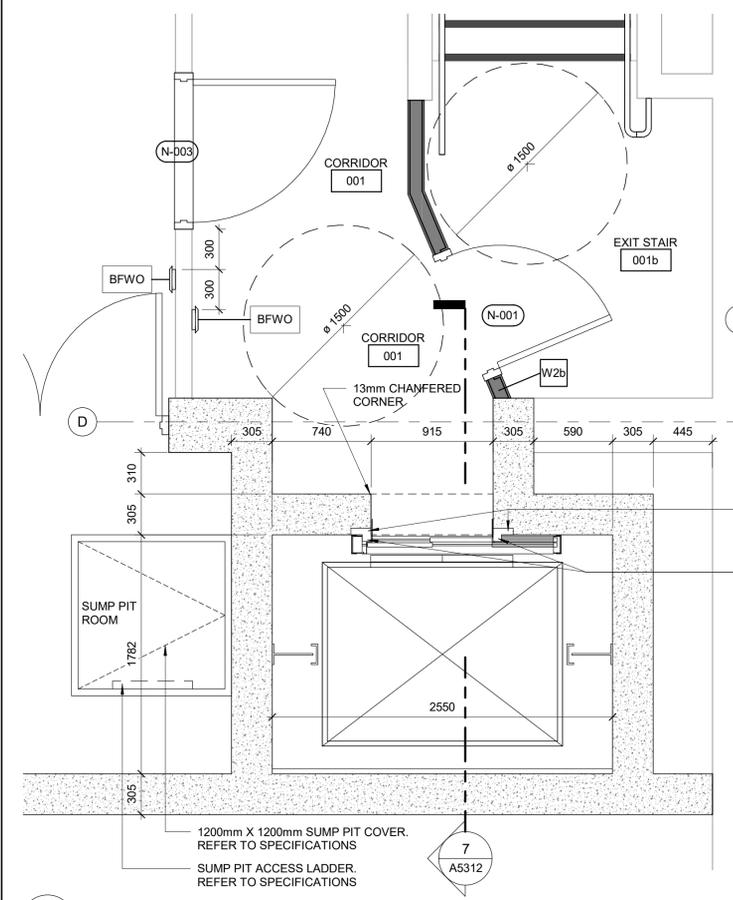
PROJECT MGR:
F. BOLOURIAN

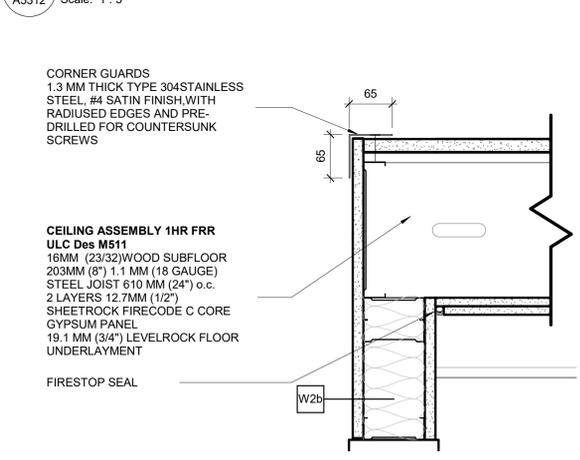
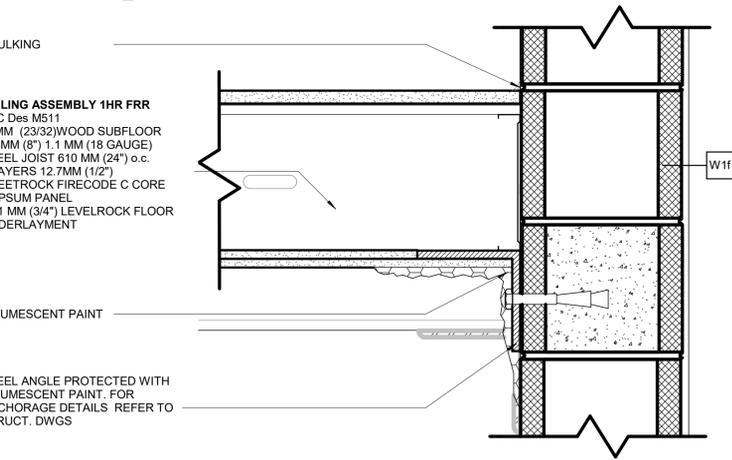
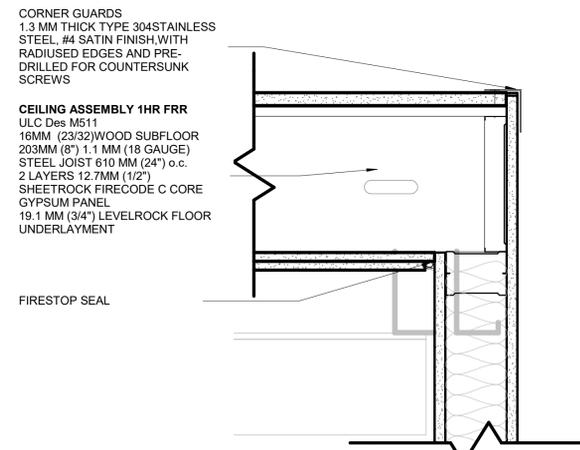
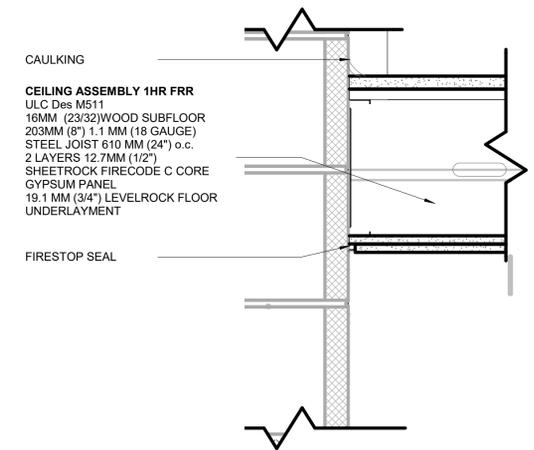
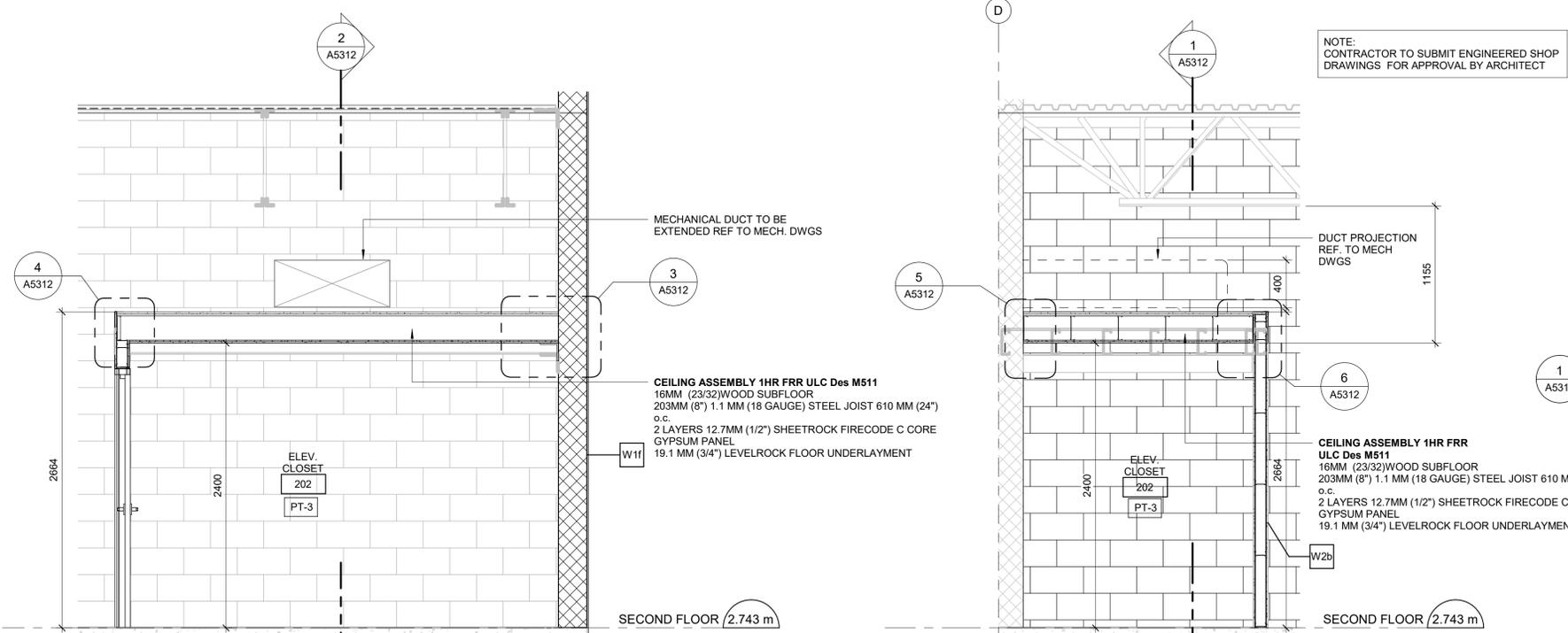
APPROVED BY:
E. FENUTA

SHEET TITLE
**ELEVATOR PLANS &
 SECTION**

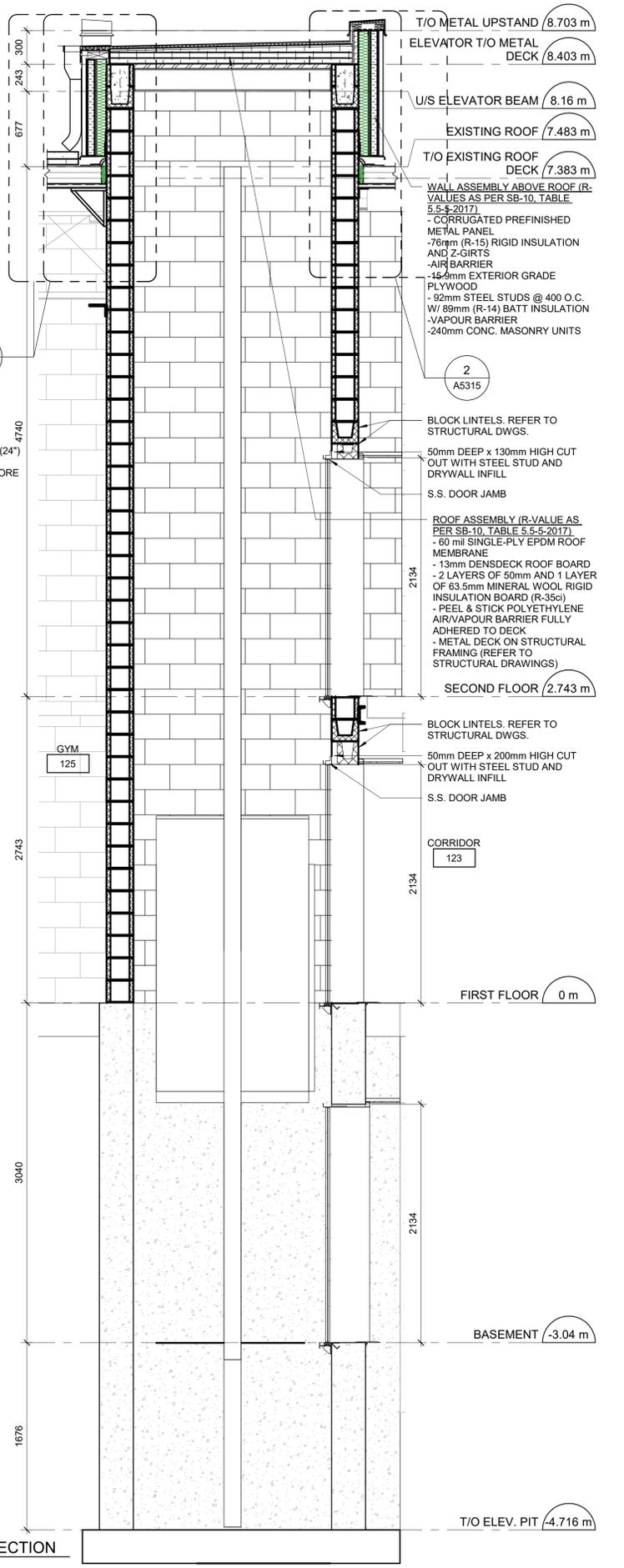
SHEET NUMBER
G28-184-A5311

ISSUE
D





NOTE: CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS FOR APPROVAL BY ARCHITECT



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PRIME CONSULTANT		
IBI GROUP 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C3, Canada Tel: 416 679 1930 fax: 416 675 4620 ibigroup.com		
PROJECT TITLE		
CITY OF TORONTO ACCESSIBILITY UPGRADES		
PROJECT ADDRESS		
WEST SCARBOROUGH COMMUNITY CENTER 313 PHARMACY AVE.		
PROJECT NO: 9119-19-0162 / IBI 122260		
DRAWN BY: M.LATOSZEK		CHECKED BY: L. BANDIERA
PROJECT MGR: F.BOLOURIAN		APPROVED BY: E.FENUTA
SHEET TITLE		
ELEVATOR SECTION DETAILS		
SHEET NUMBER		ISSUE
G28-184-A5312		A

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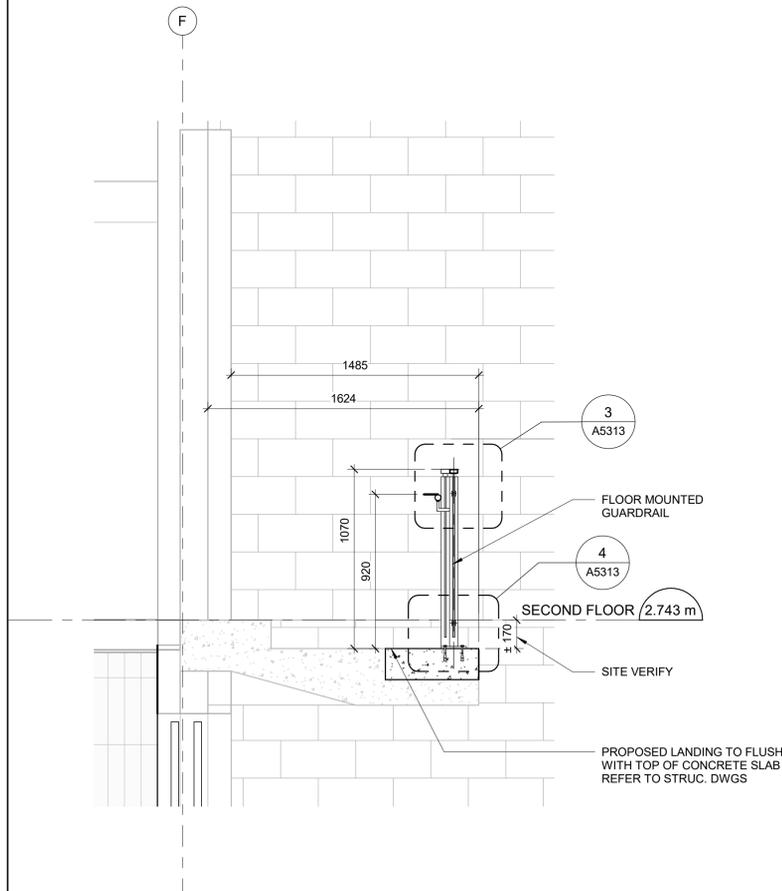
PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
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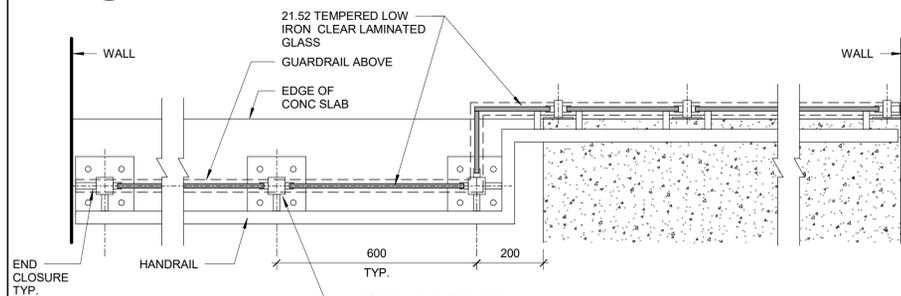
PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M.LATOSZEK
 PROJECT MGR:
F.BOLOURIAN
 SHEET TITLE
**POOL LOOKOUT
 SECTION DETAILS**

CHECKED BY:
L. BANDIERA
 APPROVED BY:
E. FENUTA

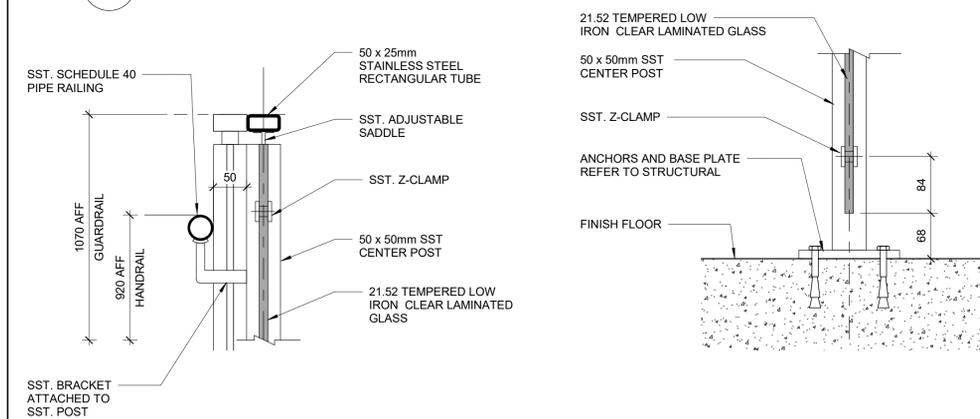
SHEET NUMBER
G28-184-A5313
 ISSUE
A



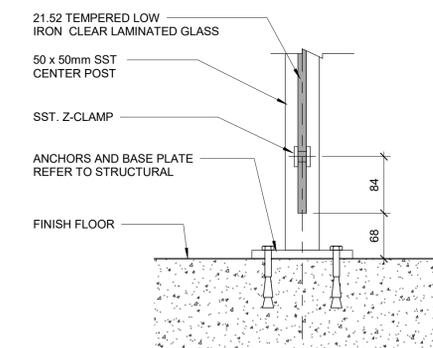
1 POOL LOCKOUT SECTION
 A5313 Scale: 1 : 20



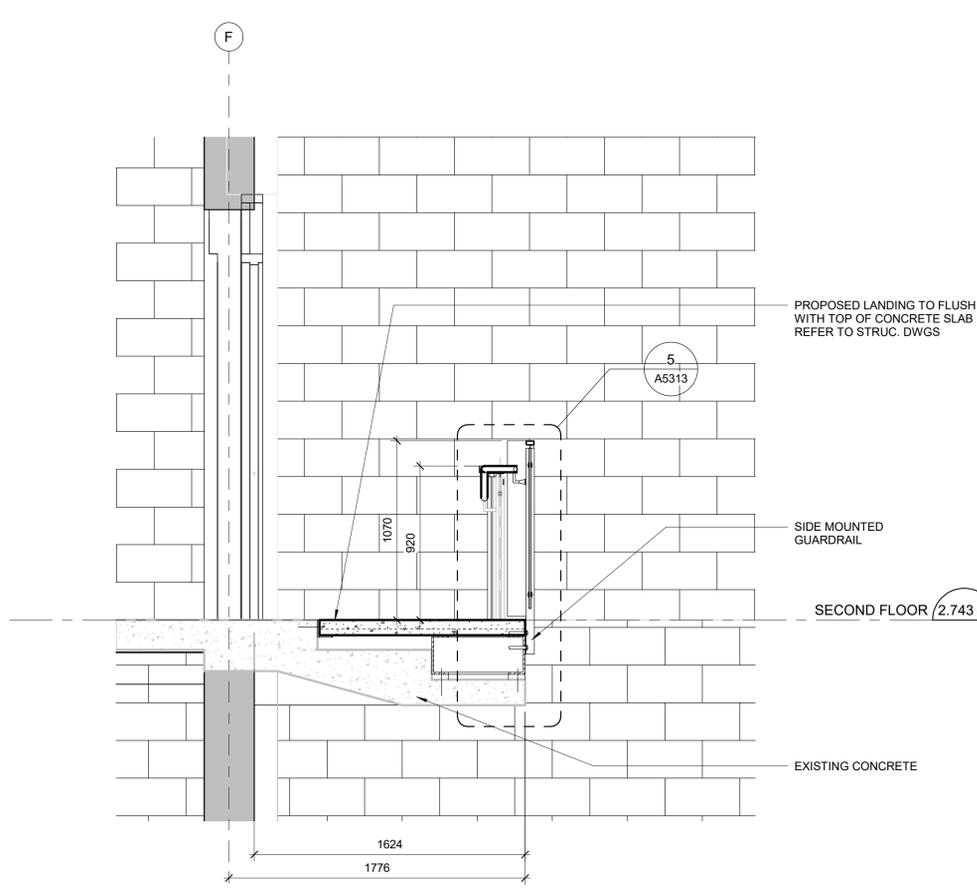
7 GUARDRAIL PLAN
 A5313 Scale: 1 : 10



3 GUARDRAIL DETAIL
 A5313 Scale: 1 : 5

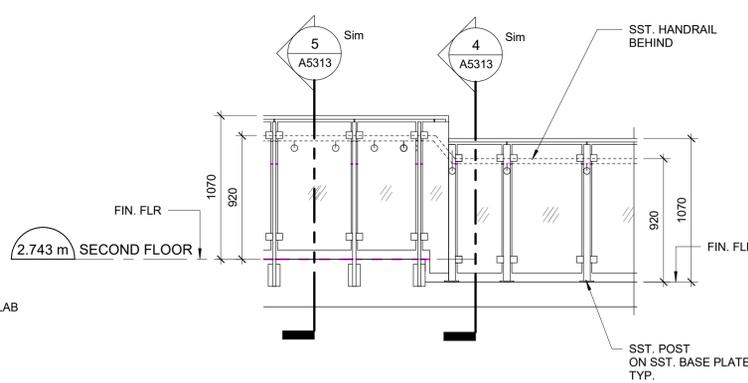


4 BASE MOUNTED GUARDRAIL DETAIL
 A5313 Scale: 1 : 5

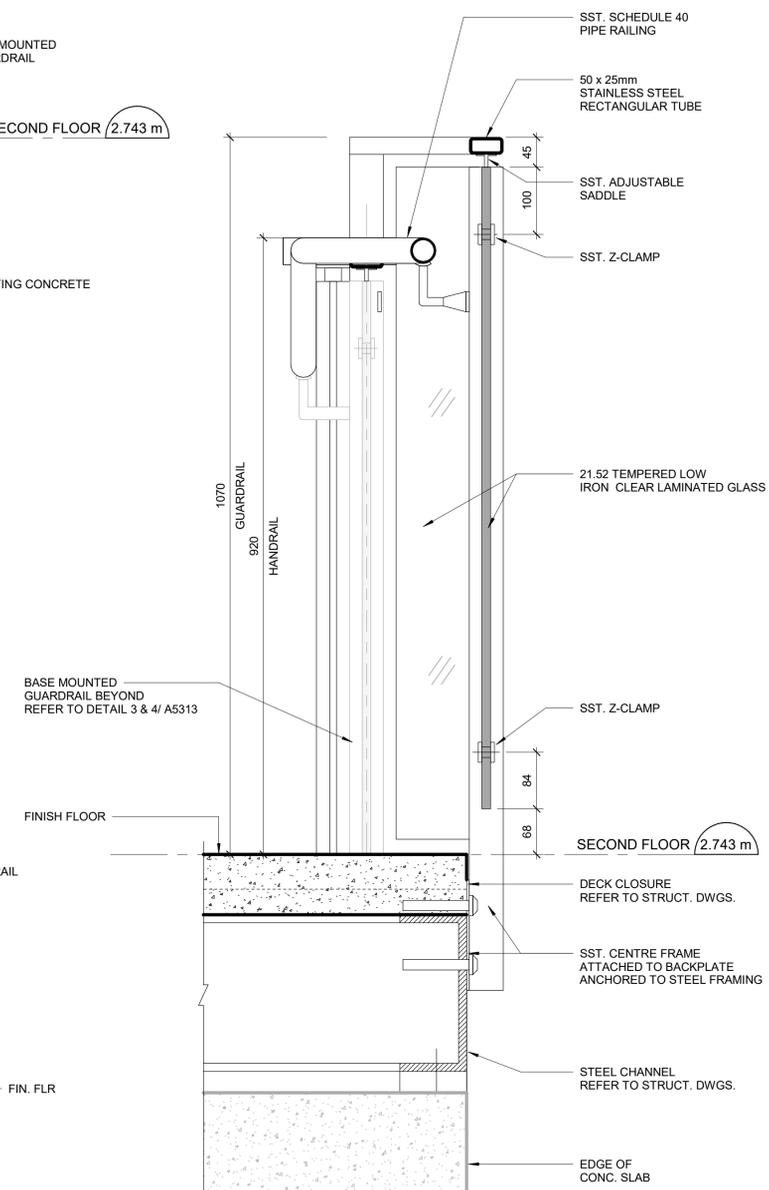


2 POOL LOOKOUT LANDING
 A5313 Scale: 1 : 20

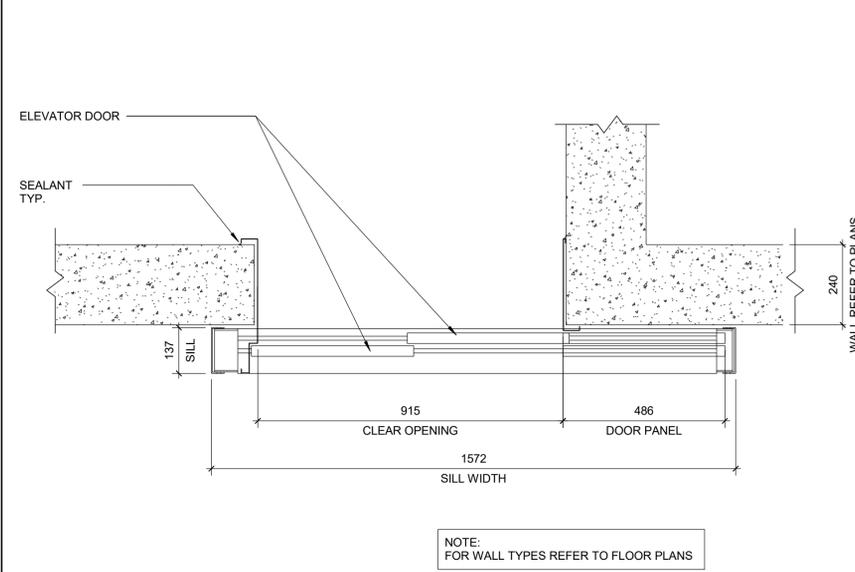
NOTE:
 CONTRACTOR TO SUBMIT SHOP DRAWINGS STAMPED BY A P. ENG REGISTERED IN THE PROVINCE OF ONTARIO, FOR RAILINGS AND GLASS FOR APPROVAL BY ARCHITECT
 RAILINGS TO BE DESIGNED PER OBC CLAUSE 4.1.5.14.(1)(A)



6 PARTIAL ELEVATION
 A5313 Scale: 1 : 25

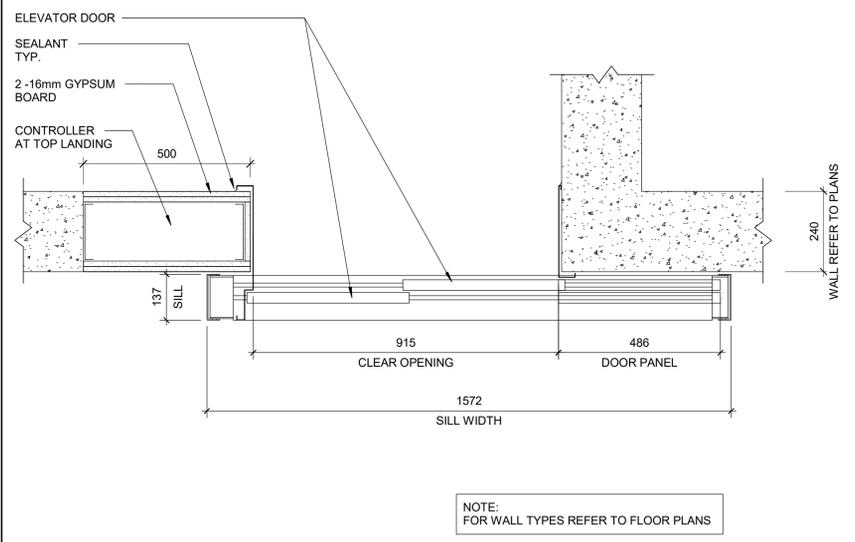


5 NEW LANDING AND GUARDRAIL DETAIL
 A5313 Scale: 1 : 5



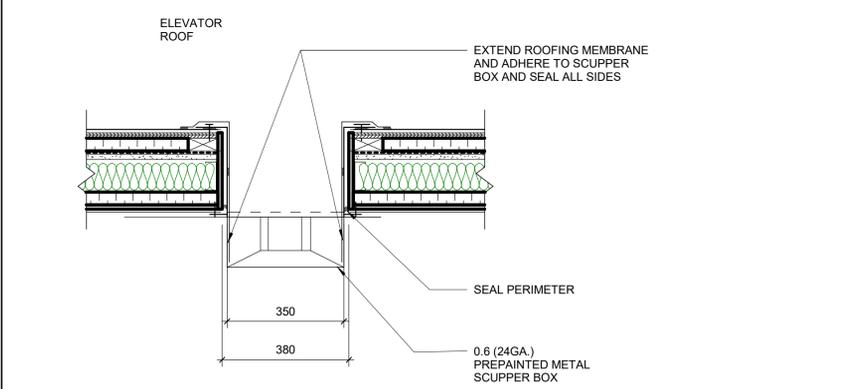
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A5314 Scale: 1 : 10

NOTE:
FOR WALL TYPES REFER TO FLOOR PLANS

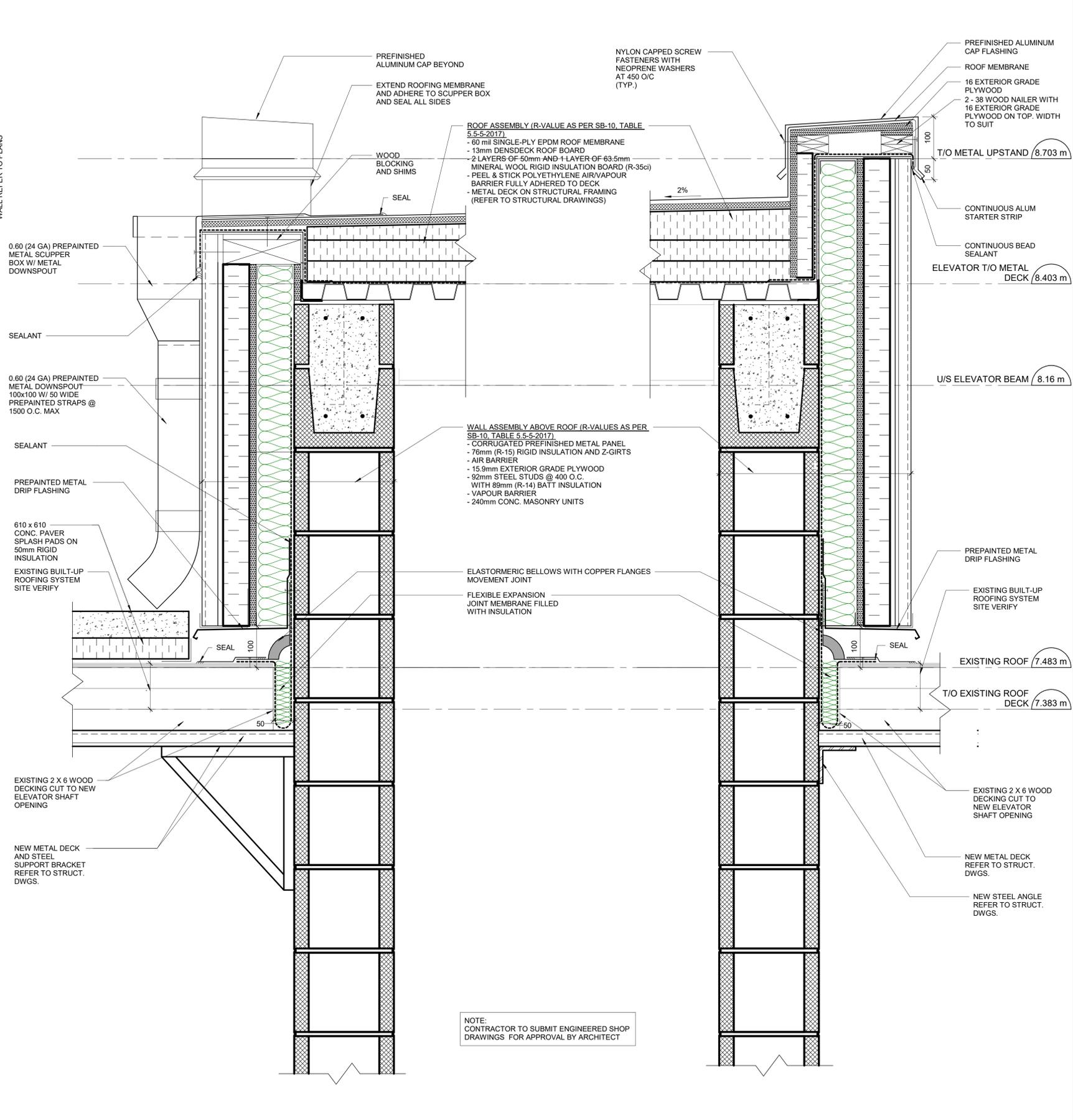


2 JAMB DETAIL AT TOP LANDING
A5314 Scale: 1 : 10

NOTE:
FOR WALL TYPES REFER TO FLOOR PLANS



3 SCUPPER PLAN DETAIL
A5314 Scale: 1 : 10



NOTE:
CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS FOR APPROVAL BY ARCHITECT

4 ROOF SCUPPER - OPTION 1
A5314 Scale: 1 : 5

5 ROOF PARAPET - OPTION 1
A5314 Scale: 1 : 5

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PROJECT TITLE
**CITY OF TORONTO
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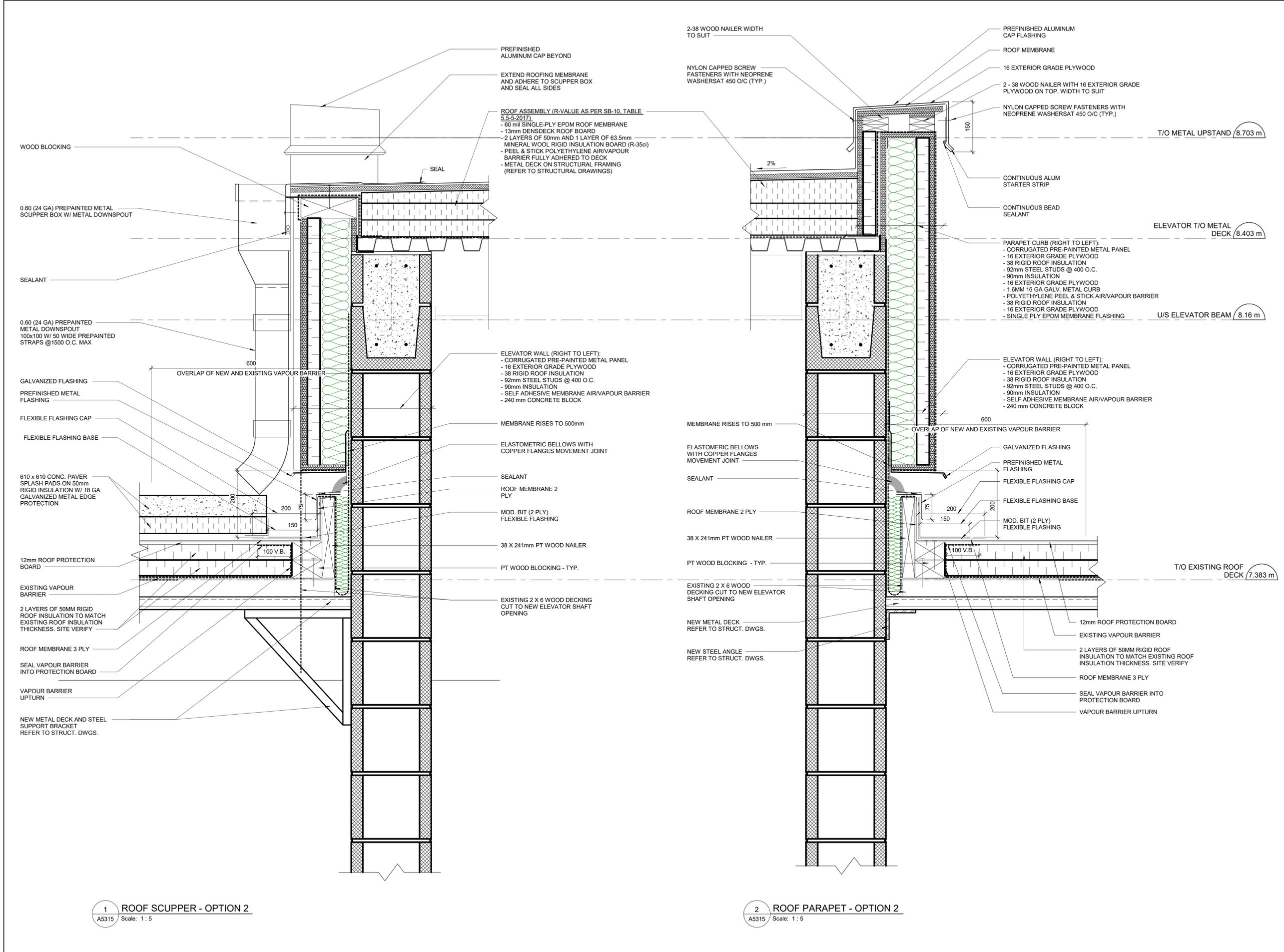
PROJECT ADDRESS
**WEST SCARBOROUGH
COMMUNITY CENTER
313 PHARMACY AVE.**

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY: D. VENTURANZA	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
ELEVATOR DETAILS

SHEET NUMBER G28-184-A5314	ISSUE A
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PROJECT TITLE
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PROJECT ADDRESS
**WEST SCARBOROUGH
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 313 PHARMACY AVE.**

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
ELEVATOR DETAILS

SHEET NUMBER G28-184-A5315	ISSUE A
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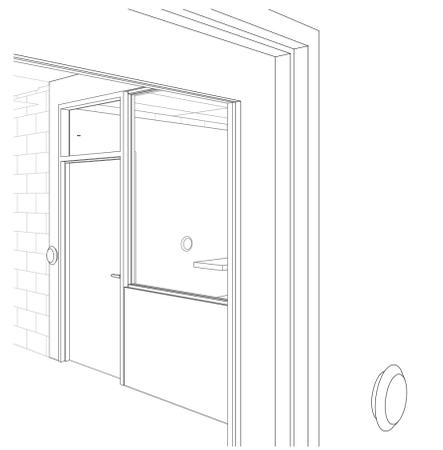
PROJECT TITLE
**CITY OF TORONTO
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PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTER
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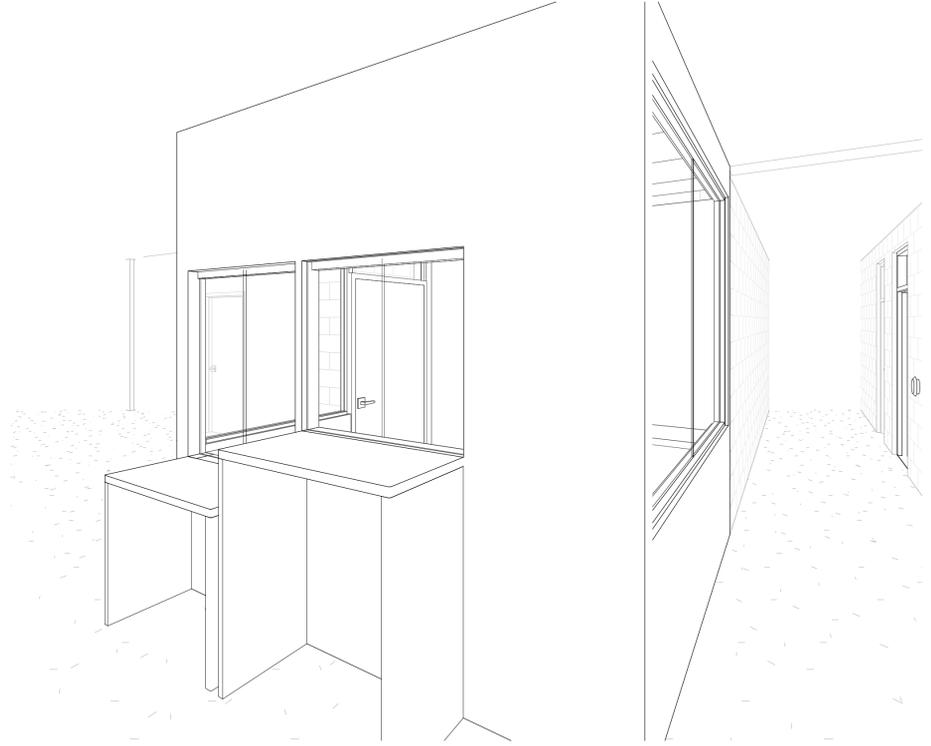
PROJECT NO:
 9119-19-0162 / IBI 122260
 DRAWN BY:
M. LATOSZEK
 PROJECT MGR:
F. BOLOURIAN
 CHECKED BY:
L. BANDIERA
 APPROVED BY:
E. FENUTA

SHEET TITLE
**RECEPTION DESK
 MILLWORK SECTION
 DETAILS PERSPECTIVES**

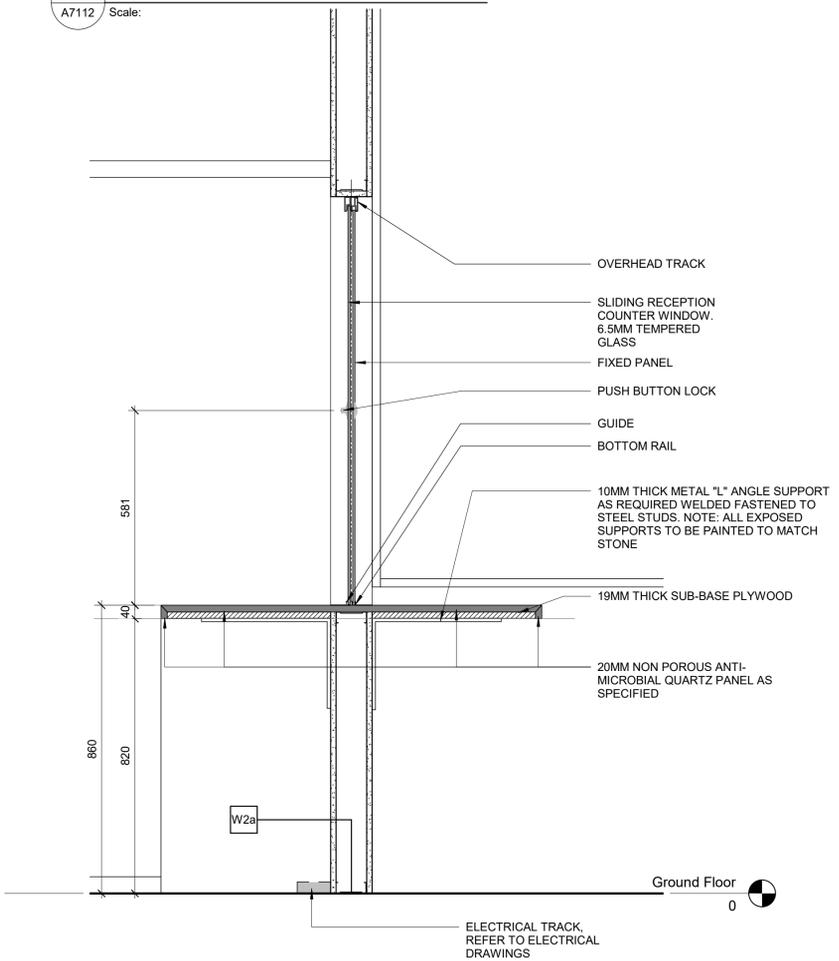
SHEET NUMBER
G28-184-A7112
 ISSUE
B



1 RECEPTION DESK PARAMETRIC VIEW 1
 A7112 Scale:



2 RECEPTION DESK PARAMETRIC VIEW 2
 A7112 Scale:



3 TYP. SECTION DETAIL @ WINDOW PASSTHROUGHS
 A7112 Scale: 1 : 10



4 RECEPTION DESK PARAMETRIC VIEW 3
 A7112 Scale:

NOTE: SUPPLY, INSTALLATION AND CONNECTION OF FURNITURE IS N.I.C. PROVISION OF POWER/TEL/DATA IS IN CONTRACT. REFER TO ELECTRICAL DRAWINGS FOR REQUIREMENTS

NOTE: GC TO PROVIDE SHOP DRAWINGS STAMPED BY A STRUCTURAL ENGINEER

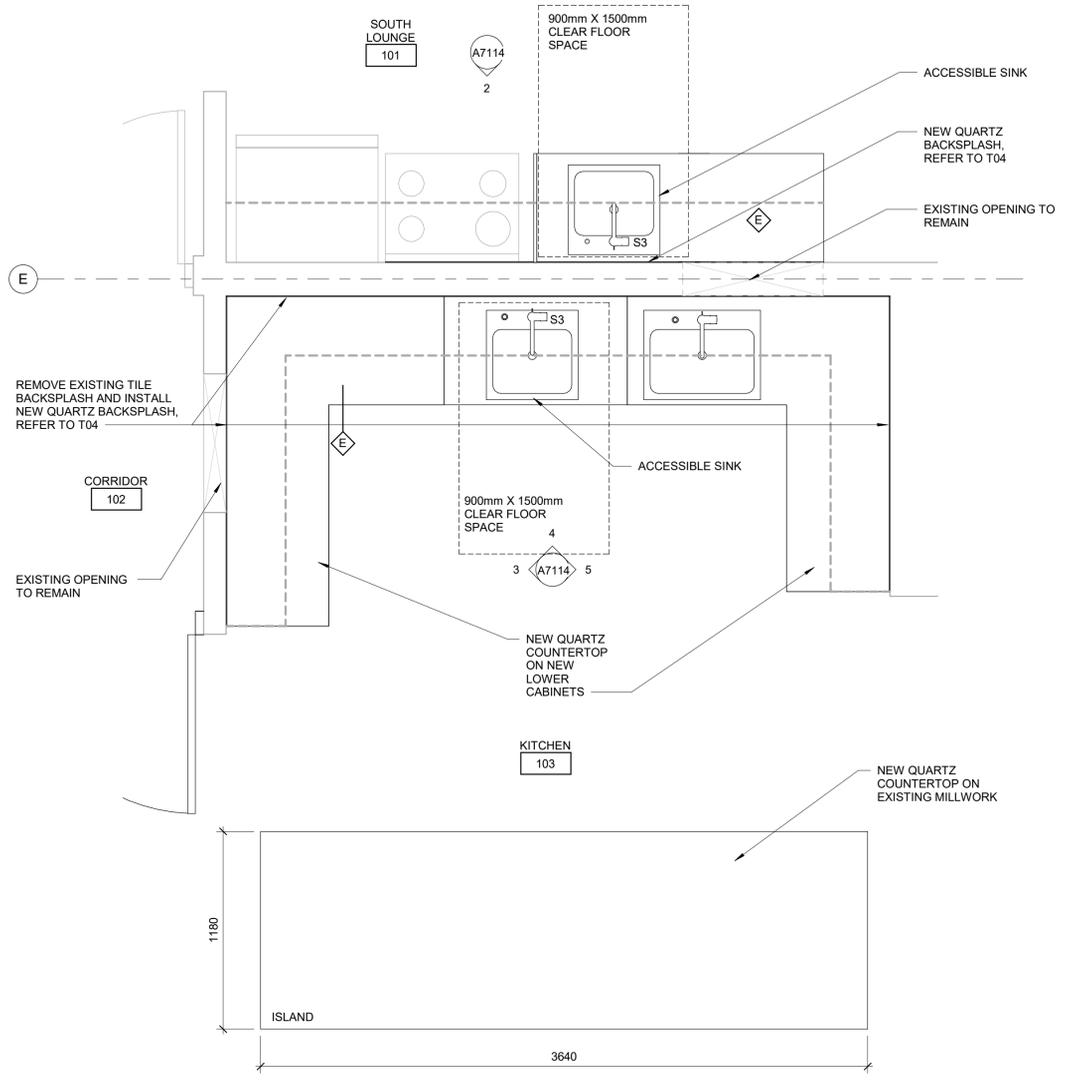
CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
E	CONSTRUCT NEW KITCHEN MILLWORK. REFER TO MILLWORK DETAILS 1/D1301, 2/D1301, 3/D1301, 4/D1301, 1/D1302, 2/D1302, 3/D1302, 4/D1302, 5/D1302, 6/D1302, 8/D1302.

KITCHEN GENERAL NOTES	
NO	DESCRIPTION
1	REFER TO 1/D1301, 2/D1301 & 5/D1302 FOR ACCESSIBLE SINK DETAILS AND MOUNTING HEIGHT.
2	REFER TO 1/D1301, 2/D1301, 2/D1302 & 6/D1302 FOR DETAILS OF CABINETS WITH DRAWERS.
3	REFER TO 1/D1301, 2/D1301, 1/D1302 & 4/D1302 FOR DETAILS WITH MICROWAVE AND DISHWASHER.
4	REFER TO 8/D1302 FOR TYP. BUILT-UP NOSING DOOR COUNTER TOP DETAILS.

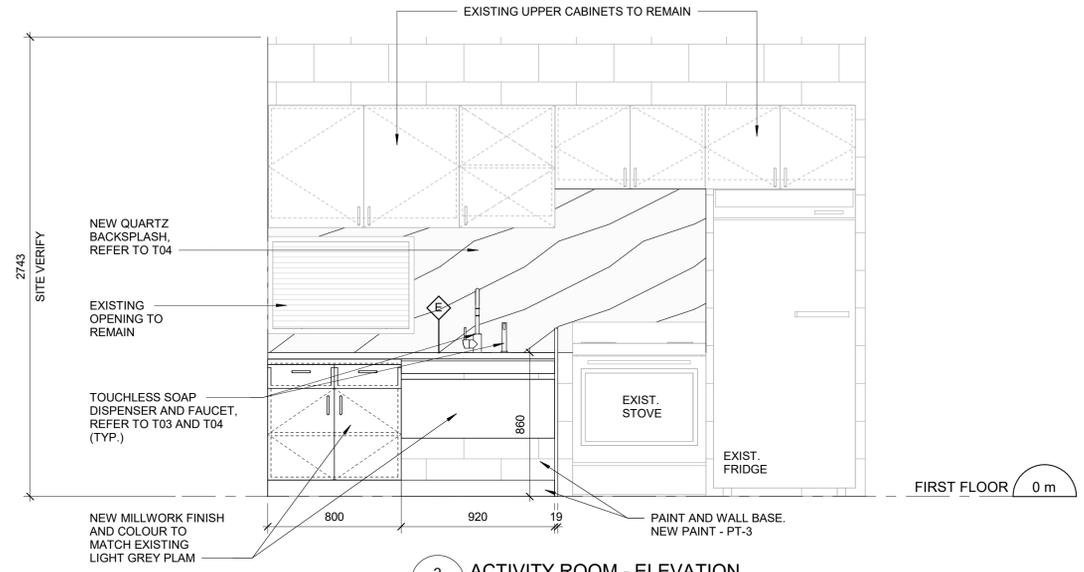
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Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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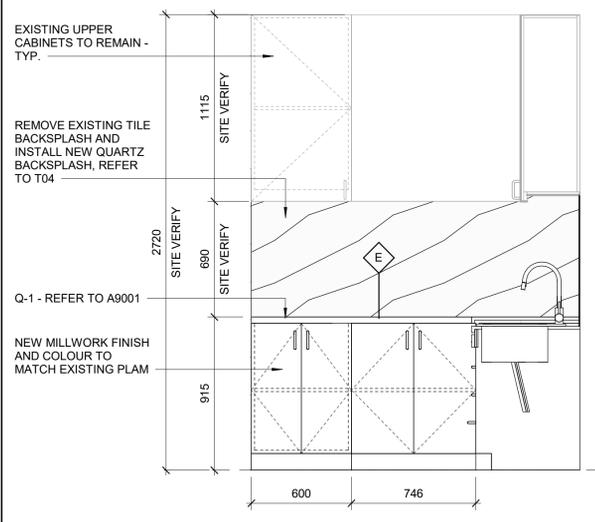
ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01



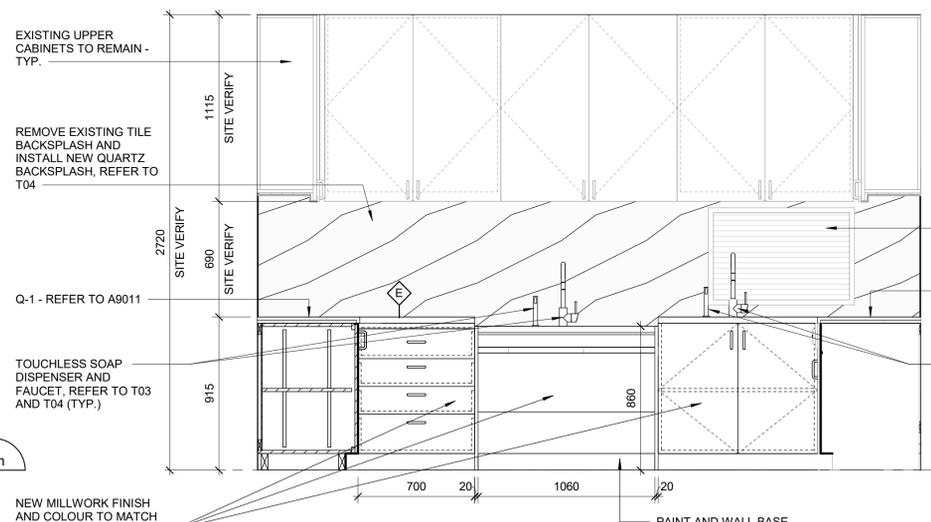
1 FIRST FLOOR-PROPOSED - KITCHEN AND SOUTH LOUNGE MILLWORK
A7114 Scale: 1:20



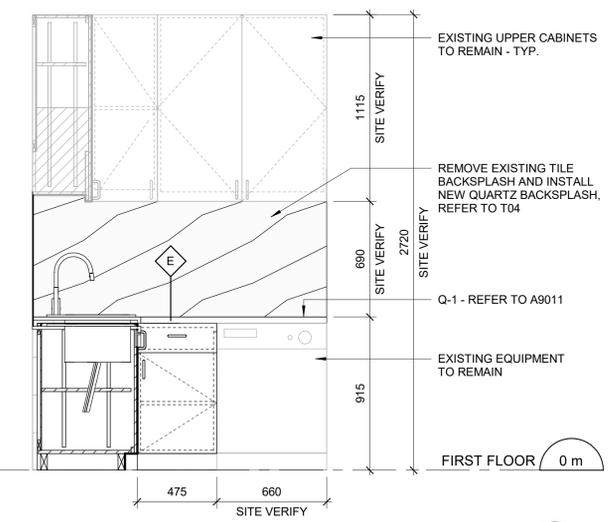
2 ACTIVITY ROOM - ELEVATION
A7114 Scale: 1:20



3 KITCHEN - ELEVATION 1
A7114 Scale: 1:20



4 KITCHEN - ELEVATION 2
A7114 Scale: 1:20



5 KITCHEN - ELEVATION 3
A7114 Scale: 1:20

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PROJECT TITLE
CITY OF TORONTO ACCESSIBILITY UPGRADES

PROJECT ADDRESS
**WEST SCARBOROUGH COMMUNITY CENTER
313 PHARMACY AVE.**

PROJECT NO:
9119-19-0162 / IBI 122260

DRAWN BY:
M.LATOSZEK

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F.BOLOURIAN

APPROVED BY:
E.FENUTA

SHEET TITLE
KITCHEN MILLWORK PLANS AND ELEVATIONS

SHEET NUMBER
G28-184-A7114

ISSUE
C

2023-01-30 12:48:05 PM

BIM 360/1122260 - CoT_TAU Upgrades R2020/122260-TAU-28-184-313PHRMCY-A-R20.rvt

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
E	CONSTRUCT NEW KITCHEN MILLWORK. REFER TO MILLWORK DETAILS 1/D1301, 2/D1301, 3/D1301, 4/D1301, 1/D1302, 2/D1302, 3/D1302, 4/1302, 5/D1302, 6/D1302, 8/D1302.

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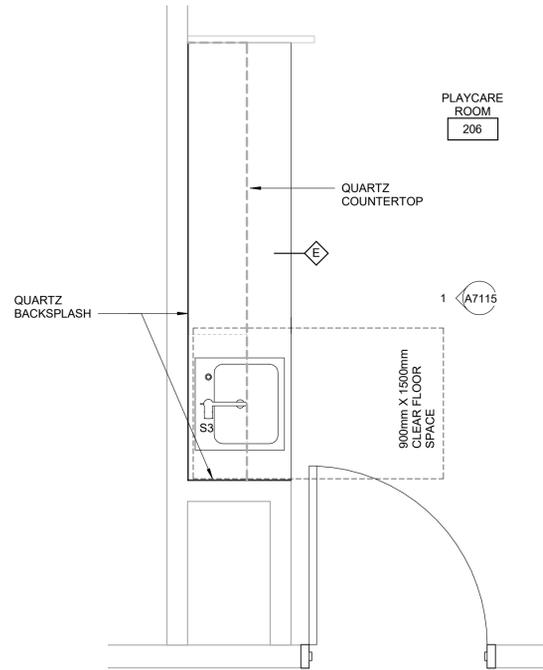
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 Project Management Office
 Metro Hall Toronto, ON
 M5V 3C6

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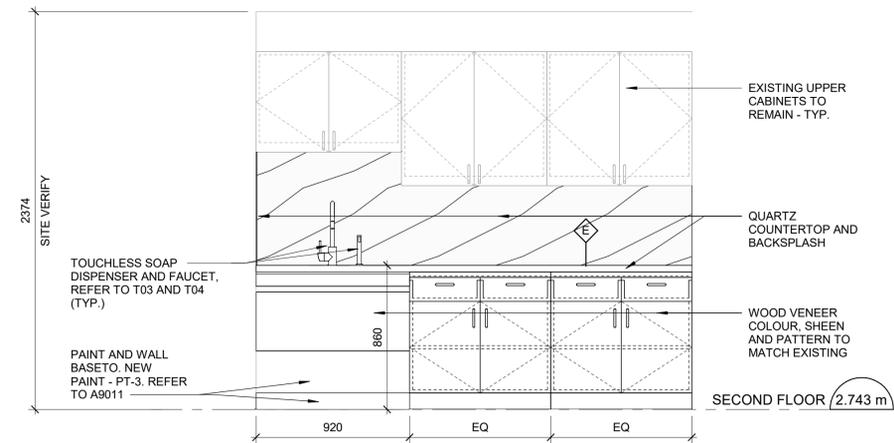
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ISSUES

No.	DESCRIPTION	DATE
A	90% SUBMISSION	2022-01-04
B	ISSUED FOR TENDER	2022-11-01



2 SECOND FLOOR-PROPOSED - PLAYCARE ROOM MILLWORK
 A7115 Scale: 1 : 20



1 PLAYCARE ROOM MILLWORK - ELEVATION
 A7115 Scale: 1 : 20

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PROJECT TITLE
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 ACCESSIBILITY UPGRADES

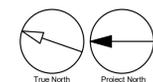
PROJECT ADDRESS
 WEST SCARBOROUGH
 COMMUNITY CENTER
 313 PHARMACY AVE.

PROJECT NO:
 9119-19-0162 / IBI 122260

DRAWN BY: M.LATOSZEK	CHECKED BY: L. BANDIERA
PROJECT MGR: F.BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
 KITCHEN MILLWORK
 PLANS AND ELEVATION

SHEET NUMBER G28-184-A7115	ISSUE B
--------------------------------------	-------------------



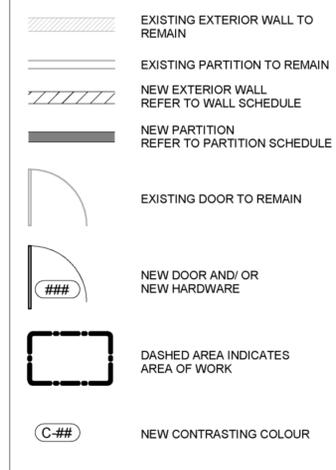
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ISSUES

No.	DESCRIPTION	DATE
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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

CONSTRUCTION KEY LEGEND

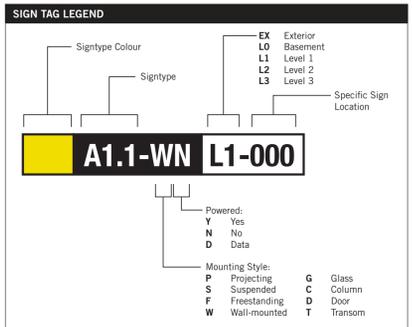


CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

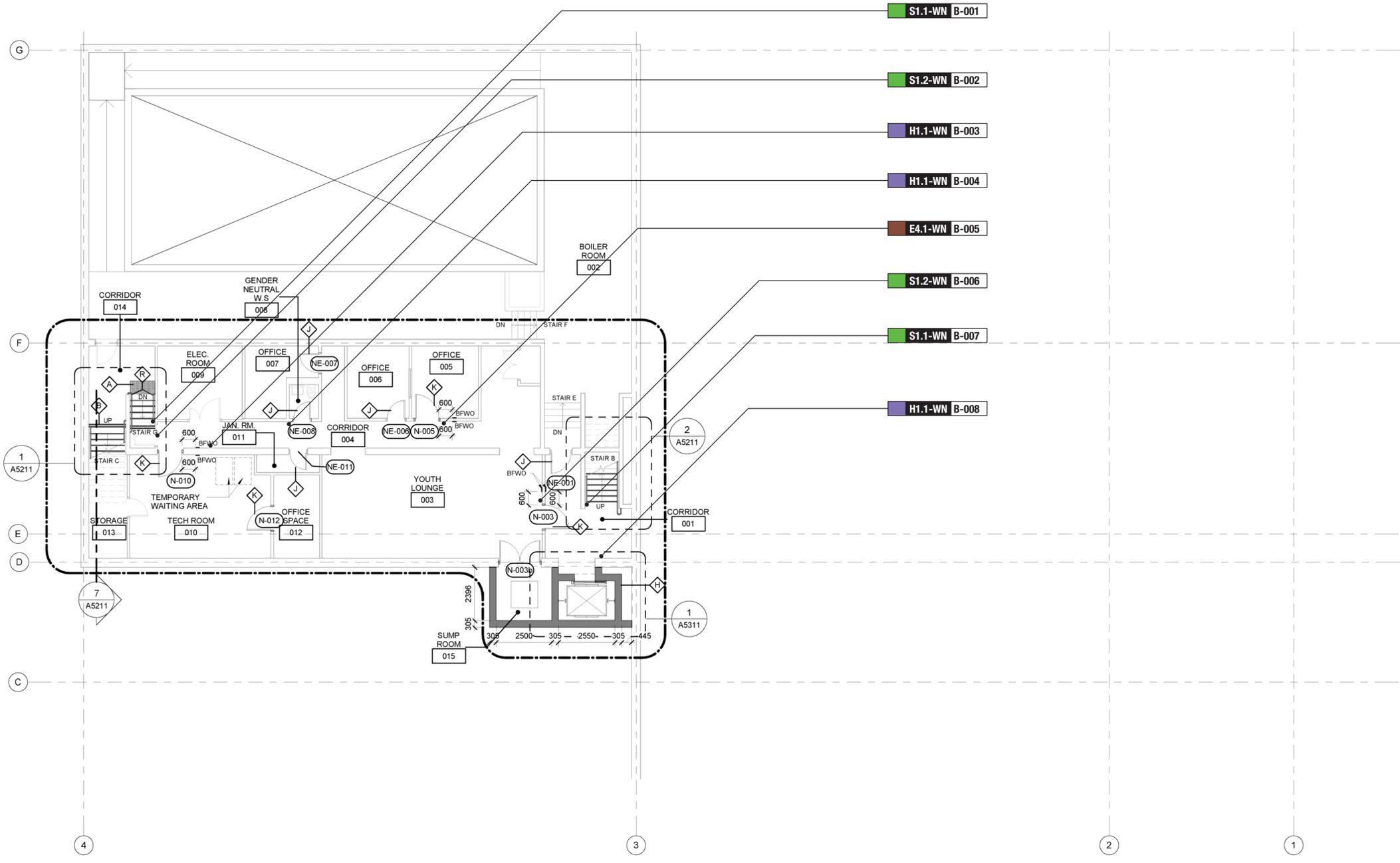
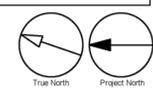
CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
H	INSTALL NEW ELEVATOR CONTROLS AND INTERIOR CABIN - REFER TO TYPICAL DETAIL 1/D1602, 2/D1602, 3/D1603 AND 4/D1604.
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 2/D1401, 3/D401.



SIGN TAG LEGEND

B LX-000	Directional	H LX-000	Amenity	G LX-000	Inside Stair ID
E LX-000	Room ID	J LX-000	Entrance	S LX-000	Stair ID



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 ibigroup.com

PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 WEST SCARBOROUGH
 COMMUNITY CENTRE
 313 PHARMACY AVE

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

DRAWN BY: M. LOW
CHECKED BY: C.D. SCHNOBB
PROJECT MGR: R. DALY
APPROVED BY:

SHEET TITLE
 SIGNAGE & WAYFINDING
 DETAILS
 BASEMENT FLOOR LOCATION PLAN

SHEET NUMBER
 G28-184-A8000
ISSUE
 D

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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
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C	ISSUED FOR TENDER	2022-11-01

CONSTRUCTION KEY LEGEND

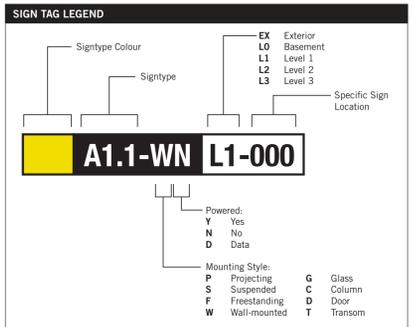
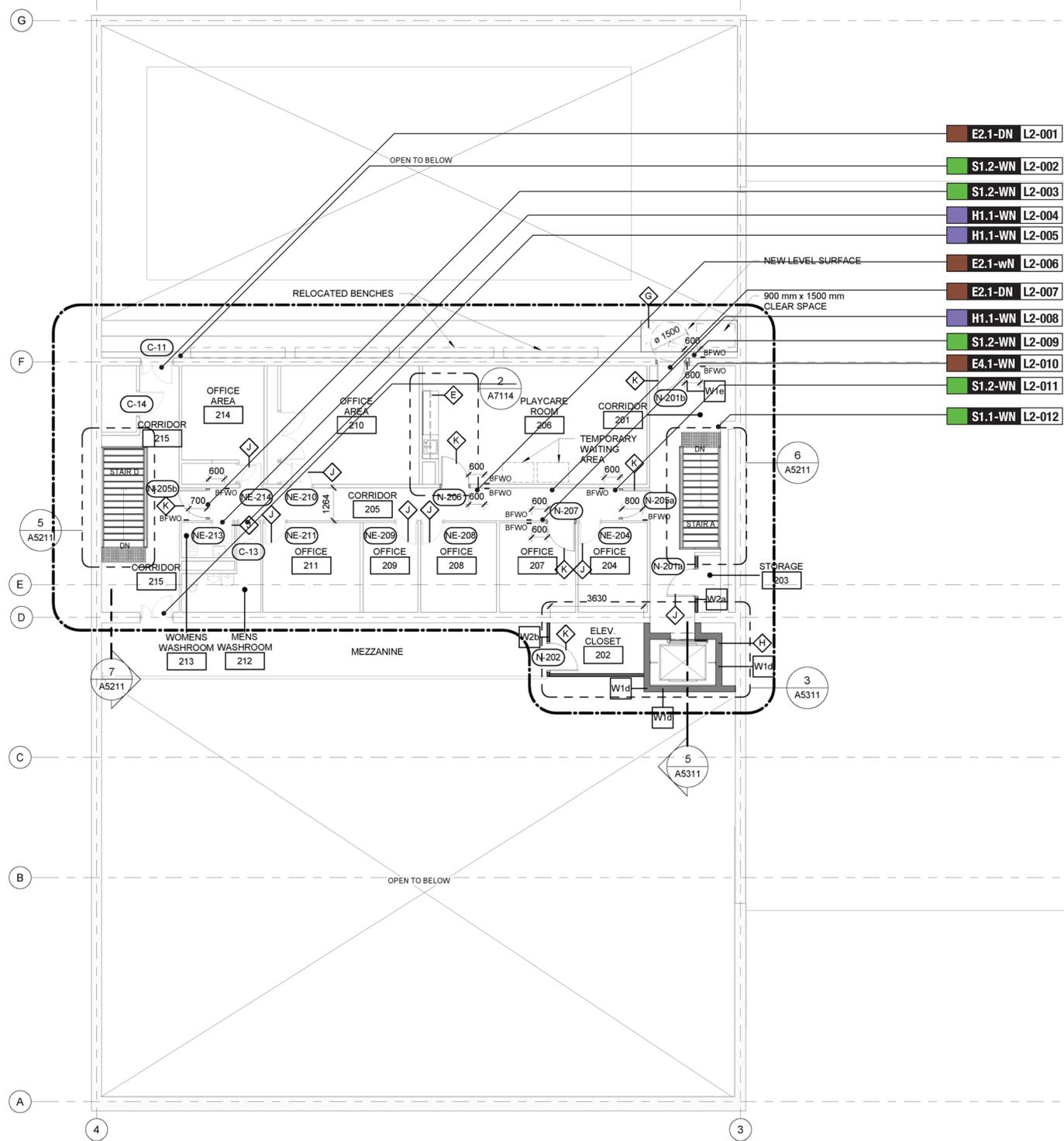
-  EXISTING EXTERIOR WALL TO REMAIN
-  EXISTING PARTITION TO REMAIN
-  NEW EXTERIOR WALL REFER TO WALL SCHEDULE
-  NEW PARTITION REFER TO PARTITION SCHEDULE
-  EXISTING DOOR TO REMAIN
-  NEW DOOR AND/OR NEW HARDWARE
-  DASHED AREA INDICATES AREA OF WORK
-  NEW CONTRASTING COLOUR

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON - REFER TO ELECTRICAL DRAWINGS. FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REPAINT ENTIRE WALL AFTER WALL-MOUNTED HANDRAIL REPLACEMENT - UNLESS OTHERWISE NOTED. COLOUR AND FINISH TO MATCH EXISTING

CONSTRUCTION KEY NOTES

NO.	DESCRIPTION
E	CONSTRUCT NEW KITCHEN MILLWORK - REFER TO MILLWORK DETAILS 1/D1301, 2/D1301, 3/D1301, 4/D1301, 1/D1302, 2/D1302, 3/D1302, 4/1302, 5/D1302, 6/D1302, 7/D1302, 8/D1302 AND 3/D1303.
G	INSTALL NEW CONCRETE STAIR AND LANDING - REFER TO DETAILS 1/D1402, 2/D1402 AND 4/D1402.
H	INSTALL NEW ELEVATOR CONTROLS AND INTERIOR CABIN - REFER TO TYPICAL DETAIL 1/D1602, 2/D1602, 3/D1603 AND 4/D1604.
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



SIGN TAG LEGEND

 B LX-000 Directional	 H LX-000 Amenity	 G LX-000 Inside Stair ID
 E LX-000 Room ID	 J LX-000 Entrance	 S LX-000 Stair ID

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PROJECT TITLE
**CITY OF TORONTO
 ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**WEST SCARBOROUGH
 COMMUNITY CENTRE
 313 PHARMACY AVE**

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

DRAWN BY:
M. LOW

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
**SIGNAGE & WAYFINDING
 DETAILS
 SECOND FLOOR LOCATION PLAN**

SHEET NUMBER
G28-184-A8020

ISSUE
D

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
S1.1	B	001	Stair ID - Inside Stairwell	Floor B Braille Stairwell G 014 Braille	
S1.2	B	002	Stair ID - Corridor Side	[stair picto] Floor B Braille Stairwell G 014 Braille	
H1.1	B	003	Amenity ID	[temporary waiting area picto] Temporary Waiting Area Braille	
H1.1	B	004	Amenity ID	[universal washroom picto] Washroom Braille	
E4	B	005	Insert Holder		
S1.2	B	006	Stair ID - Corridor Side	[stair picto] Floor B Braille Stairwell B 001 Braille	
S1.1	B	007	Stair ID - Inside Stairwell	Floor B Braille Stairwell B 001 Braille	
H1.1	B	008	Amenity ID	[elevator picto] Elevator Braille	
S1.4	L1	001	Stair ID - Exterior Door	[stairs picto] Floor 1 Braille Stairwell D 132 Braille	
E2.1	L1	002	Room ID	Pool Braille	
S1.2	L1	003	Stair ID - Corridor Side	[stair picto] Floor 1 Braille Stairwell D 132 Braille	

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	14
E2.2	Line Room ID	0
E4	Insert Holder	2
H1.1	Amenity ID	15
H2.1	Projecting Amenity ID	3
J4.2	Accessible Entrance ID - Exterior	1
S1.1	Stair ID - Inside Stairwell	6
S1.2	Stair ID - Corridor Side	10
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	2
Total		53

CLIENT

CITY OF TORONTO



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TORONTO, ON
M5V 3C6

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No.	DESCRIPTION	DATE
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B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
WEST SCARBOROUGH
COMMUNITY CENTRE
313 PHARMACY AVE

PROJECT NO:
9119 - 19 - 0162 / IBI 122260

DRAWN BY:
M.LOW

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER
G28-184-A8100

ISSUE
D

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
S1.1	L1	004	Stair ID - Inside Stairwell	[stair picto] Floor 1 Braille Stairwell D 132 Braille	
H1.1	L1	005	Amenity ID	[universal accessible changeroom picto] Changeroom Braille	
S1.4	L1	006	Stair ID - Exterior Door	[stairs picto] Floor 1 Braille Stairwell C 131 Braille	
H1.1	L1	007	Amenity ID	[universal accessible changeroom picto] Changeroom Braille	
S1.1	L1	008	Stair ID - Inside Stairwell	Floor 1 Braille Stairwell C 131 Braille	
S1.2	L1	009	Stair ID - Corridor Side	[stairs picto] Floor 1 Braille Stairwell C 131 Braille	
H1.1	L1	010	Amenity ID	[universal accessible changeroom picto] Changeroom Braille	
E2.1	L1	011	Room ID	Pool Braille	
S1.2	L1	012	Stair ID - Corridor Side	[stairs picto] Floor 1 Braille Stairwell B 124 Braille	
H1.1	L1	013	Amenity ID	[universal accessible changeroom picto] Changeroom Braille	
S1.1	L1	014	Stair ID - Inside Stairwell	Floor 1 Braille Stairwell B 124 Braille	

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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
WEST SCARBOROUGH
COMMUNITY CENTRE
313 PHARMACY AVE

PROJECT NO:
9119 - 19 - 0162 / IBI 122260

DRAWN BY:
M.LOW

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER
G28-184-A8101

ISSUE
D

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
S1.2	L1	015	Stair ID - Corridor Side	[stairs picto] Floor 1 Braille Stairwell B 124 Braille	
H1.1	L1	016	Amenity ID	[universal accessible changeroom picto] Changeroom Braille	
E2.1	L1	017	Room ID	Conference Room	
E2.1	L1	018	Room ID	Gym Braille	
H1.1	L1	019	Amenity ID	[elevator picto] Elevator Braille	
J4.2	L1	020	Accessible Entrance ID - Exterior	[accessible picto] Entrance Braille	
H2.1	L1	021	Projecting Amenity ID	[accessible men picto] Men	[accessible men picto] Men
H1.1	L1	022	Amenity ID	[accessible men picto] Men Braille	
E2.1	L1	023	Room ID	Activity Room 1 Braille	
H1.1	L1	024	Amenity ID	[accessible women picto] Women Braille	
H2.1	L1	025	Projecting Amenity ID	[accessible women picto] Women	[accessible women picto] Women
E2.1	L1	026	Room ID	Activity Room 2 Braille	
E2.1	L1	027	Room ID	South Lounge Braille	
E2.1	L1	028	Room ID	Print Room Braille	
E2.1	L1	029	Room ID	Activity Room 2 Braille	
H2.1	L1	030	Projecting Amenity ID	[universal accessible washroom picto] Washroom	[universal accessible washroom picto] Washroom
H1.1	L1	031	Amenity ID	[universal accessible washroom picto] Washroom Braille	
E2.1	L1	032	Room ID	South Lounge Braille	
E2.1	L1	033	Room ID	Kitchen Braille	
J4.2	L1	034	Accessible Entrance ID - Exterior	[accessible picto] Entrance Braille	
E2.1	L2	001	Room ID	Grandstand Braille	

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PROJECT TITLE
 CITY OF TORONTO
 ACCESSIBILITY UPGRADES

PROJECT ADDRESS
 WEST SCARBOROUGH
 COMMUNITY CENTRE
 313 PHARMACY AVE

PROJECT NO:
 9119 - 19 - 0162 / IBI 122260
DRAWN BY:
 M.LOW
CHECKED BY:
 C.D. SCHNOBB
PROJECT MGR:
 R. DALY
APPROVED BY:

SHEET TITLE
 SIGNAGE & WAYFINDING
 DETAILS
 MESSAGE SCHEDULE

SHEET NUMBER
 G28-184-A8102
ISSUE
 D

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A		SIDE B	
				MESSAGE (English)	MESSAGE (English)	MESSAGE (English)	MESSAGE (English)
S1.2	L2	002	Stair ID - Corridor Side	[stairs picto] Floor 2 Braille Stairwell D 215 Braille			
S1.2	L2	003	Stair ID - Corridor Side	Floor 2 Braille Stairwell D 215 Braille			
H1.1	L2	004	Amenity ID	[accessible women picto] Women Braille			
H1.1	L2	005	Amenity ID	[accessible men picto] Men Braille			
E2.1	L2	006	Room ID	Playcare Braille			
E2.1	L2	007	Room ID	Grandstand Braille			
H1.1	L2	008	Amenity ID	[temporary waiting area picto] Temporary Waiting Area Braille			
S1.2	L2	009	Stair ID - Corridor Side	[stairs picto] Floor 2 Braille Stairwell A 201 Braille			
E4	L2	010	Insert Holder				
S1.2	L2	011	Stair ID - Corridor Side	[stairs picto] Floor 2 Braille Stairwell A 201 Braille			
S1.1	L2		Stair ID - Inside Stairwell	Floor 2 Braille Stairwell A 201 Braille			

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No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01

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PROJECT TITLE
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PROJECT ADDRESS
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PROJECT NO:
 9119 - 19 - 0162 / IBI 122260

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PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE
 SIGNAGE & WAYFINDING
 DETAILS
 MESSAGE SCHEDULE

SHEET NUMBER
G28-184-A8103

ISSUE
D

DOOR SCHEDULE

DOOR NO.	LOCATION	TYPE	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
			PRIMARY DOOR WIDTH 1	SECONDARY LEAF WIDTH 2	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFPB/BFVO/ BFAO	PANIC DEVICE		
BASEMENT																
N-001	CORRIDOR	C	915		2135	45	HM	PT-3	GWG	HM	PT-3				45	
N-003	YOUTH LOUNGE	B	1067		2135	45	HM	PT-3	GWG	HM	PT-3				45	
N-003b	SUMP ROOM	BB(L)	915	915	2135	45	HM	PT-3	GWG	HM	PT-3				45	
N-005	OFFICE	A(L)	1067		2050	45	HM	PT-3	<->	HM	PT-3		YES		45	COLOUR TO MATCH N-003
N-010	TECH ROOM	B(L)	1067		2050	45	HM	PT-3	TGL	HM	PT-3		YES		45	
N-012	OFFICE SPACE	A	1067		2050	45	HM	PT-3	<->	HM	PT-3				NA	
NE-001	BOILER ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-006	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-007	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-008	GENDER NEUTRAL W.S	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-011	JAN. RM.	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
FIRST FLOOR																
C-1	KITCHEN	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-2	OFFICE AREA	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-3	WOMEN'S W.S.	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-4	MEN'S W.S.	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-5	COMMON SPACE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-6	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-7	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-8	POOL	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-9	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-17	GYM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-18	GYM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
N-101a	SOUTH LOUNGE	At	1067		2135	45	IHM	PT-3	<->	IHM	PT-3		YES	YES	NA	OPENING HEIGHT 2985mm, INSULATED METAL PANEL ABOVE DOOR
N-103a	KITCHEN	B	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES		45	
N-103b	KITCHEN	B	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES		45	
N-110	BARRIER FREE W.S.	A	915		2135	45	HM	PT-3	<->	HM	PT-3		YES		45	
N-113	OFFICE	Bt	1067		2135	45	HM	PT-3	TGL	HM	PT-3		YES		NA	OPENING HEIGHT 2650mm, METAL INFILL PANEL ABOVE DOOR. PT-3 COLOUR TO MATCH EXISTING GRAY DOOR PAINT
N-119	RECEPTION	At	1067		2135	45	HM	PT-3	TGL	HM	PT-3		YES		NA	
N-119b	COMMON SPACE	C	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES	YES	45	
N-120	ACTIVITY ROOM I	Bt	1067		2135	45	HM	PT-3	TGL	HM	PT-3		YES		NA	OPENING HEIGHT 2650mm, METAL INFILL PANEL ABOVE DOOR
N-120a	ACTIVITY ROOM I	Fts	1067		2135	45	AL	ANOD	ITGL	AL	ANOD			YES	NA	REFER TO ELEVATION ON A5111
N-121	ACTIVITY ROOM II	At	1067		2135	45	HM	PT-3	TGL	HM	PT-3		YES		NA	OPENING HEIGHT 2650mm, METAL INFILL PANEL ABOVE DOOR
N-121a	ACTIVITY ROOM II	Fts	1067		2135	45	AL	ANOD	ITGL	AL	ANOD			YES	NA	
N-122	CONFERENCE ROOM	Fts	1067		2135	45	AL	ANOD	ITGL	AL	ANOD			YES	NA	REFER TO ELEVATION ON A5111
N-123	GYM	GG	950	950	2135	45	HM	PT-3	GWG	HM	PT-3		YES	YES	45	
N-123a	CORRIDOR	C	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES	YES	45	
N-125a	GYM	AA	950	950	2135	45	HM	PT-3	<->	HM	PT-3		YES	YES	NA	
N-125b	GYM	AA	950	950	2135	45	HM	PT-3	<->	HM	PT-3		YES	YES	NA	
N-126a	UNIVERSAL WASHRM & CHANGE RM.	A(L)	1067		2135	45	HM	PT-3	<->	HM	PT-3		YES		45	
N-126b	UNIVERSAL WASHRM & CHANGE RM.	A(L)	1067		2135	45	HM	PT-3	<->	HM	PT-3		YES		45	
N-127	JANITOR'S	A(L)	965		2185	45	HM	PT-3	<->	HM	PT-3				60	
N-128a	GENDER NEUTRAL CHANGE RM.	A(L)	1067		2135	45	HM	PT-3	<->	HM	PT-3		YES		45	
N-128d	WASHROOM 1	A(L)	915		2135	45	HM	PT-3	<->	HM	PT-3				NA	
N-128e	WASHROOM 2	A(L)	915		2135	45	HM	PT-3	<->	HM	PT-3				NA	
N-128f	ACCESSIBLE STALL	A(L)	1067		2135	45	HM	PT-3	<->	HM	PT-3		YES		NA	
N-128g	CHANGE ROOM VESTIBULE	A(L)	1067		2135	45	HM	PT-3	<->	HM	PT-3		YES		NA	
N-128h	CHANGE ROOM VESTIBULE	A(L)	1067		2135	45	HM	PT-3	<->	HM	PT-3				NA	
N-133a	POOL	A	1067		2135	45	HM	PT-3	<->	IHM	PT-3		YES	YES	NA	
N-133b	CHANGE ROOM VESTIBULE	A(L)	1067		2135	45	HM	PT-3	<->	HM	PT-3		YES		45	
N-133c	CORRIDOR	B	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES	YES	45	
N-134	STORAGE	A	965		2135	45	HM	PT-3	<->	HM	PT-3				NA	
NE-101	SOUTH LOUNGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-105	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-107	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-108a	PRINT ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-108b	PRINT ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-108c	PRINT ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-111	JANITOR'S RM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-115a	VESTIBULE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3		YES		EXIST	NEW WIRELESS BFPB
NE-115b	VESTIBULE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3		YES		EXIST	NEW WIRELESS BFPB
NE-127	JANITOR'S	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-136	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
SECOND FLOOR																
C-11	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-13	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
C-14	STORAGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS, REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
C-15	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	COLOUR CONTRASTING IMPROVEMENTS
N-201a	ELEV. LOBBY	C	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES		45	
N-201b	CORRIDOR	Bt	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES	YES	45	OPENING HEIGHT 2445mm, METAL INFILL PANEL ABOVE DOOR
N-202	ELEV. CLOSET	A	1067		2135	45	HM	PT-3	<->	HM	PT-3				45	
N-205a	CORRIDOR	Bt	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES	YES	45	OPENING HEIGHT 2445mm, METAL INFILL PANEL ABOVE DOOR
N-205b	CORRIDOR	Bt	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES	YES	45	OPENING HEIGHT 2445mm, METAL INFILL PANEL ABOVE DOOR
N-206	PLAYCARE ROOM	B(L)	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES		45	OPENING HEIGHT 2445mm, METAL INFILL PANEL ABOVE DOOR
N-207	OFFICE	B(L)	1067		2135	45	HM	PT-3	GWG	HM	PT-3		YES		45	OPENING HEIGHT 2445mm, METAL INFILL PANEL ABOVE DOOR. PT-3 COLOUR TO MATCH EXISTING GRAY DOOR PAINT
NE-204	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-208	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-209	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-210	OFFICE AREA	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-211	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-213	WOMENS WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-214	OFFICE AREA	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE

DOOR SCHEDULE GENERAL NOTES

- DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED.
- REFER TO ELECTRICAL DRAWINGS FOR DOOR CARD READER LOCATION ON EXISTING DOORS.
- REFER TO DOOR HARDWARE SCHEDULE AND TO THE SPECIFICATIONS FOR A COMPLETE SET OF DOOR HARDWARE.

ABBREVIATIONS

*	DENOTES YES
ACT	ACOUSTICAL CEILING TILE
ALUM	ALUMINUM
ANOD	ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFVO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
CS	CONCRETE SEALER
EXIST	EXISTING
EXP	EXPOSED
FBM	FINGER BIOMETRIC
GWB	GYPSUM WALL BOARD
GWG	GEORGIAN WIRE GLASS
HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
ITGL	INSULATED TEMPERED (SAFETY) GLASS
KP</	

ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-09-23
B	90% SUBMISSION	2022-01-04
C	ISSUED FOR TENDER	2022-11-01
D	ADDENDUM 1	2022-11-04

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SHEET TITLE		
ROOM FINISH SCHEDULE		

SHEET NUMBER		ISSUE	
G28-184-A9011		D	

ABBREVIATIONS

* ACT	ALUM	ALUMINUM	ANODIZED	BFAO	BARRIER-FREE AUTOMATIC OPENER	BFPB	BARRIER-FREE PUSH BUTTON	BFWO	BARRIER-FREE WAVE TO OPEN	CR	CARD READER	CS	CONCRETE SEALER	CS	EXISTING	EXP	EXPOSED	FBM	FINGER BIOMETRIC	GWB	GYP/SJM WALL BOARD	GWG	GEORGIAN WIRE GLASS	HM	HOLLOW METAL	IHM	INSULATED HOLLOW METAL	ITGL	INSULATED TEMPERED (SAFETY) GLASS	KP	KEY PAD	OBM	OCULAR BIOMETRIC	PF	PRE FINISHED	PLAM	PLASTIC LAMINATE	PT	PAINT	SIM	SIMILAR	SS	STAINLESS STEEL	TGL	TEMPERED GLASS	TRZ	TERRAZZO	VNR	VENEER	WD	WOOD
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ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR		BASE		NORTH		EAST		SOUTH		WEST		CEILING			REMARKS
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT	
BASEMENT																	
001	CORRIDOR	EXIST	TRZ	EXIST	TRZ	EXIST	PT-3	EXIST	PT-3	CONC, GB	PT-3	CONC	PT-3	EXIST, GB	PT-3	MATCH EXIST.	APPLIES TO ELEVATOR FLOOR AND CEILING ONLY
003	YOUTH LOUNGE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST, CONC	PT-3	EXIST	EXIST	EXIST	
004	CORRIDOR	EXIST	EXIST, PFT-4	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	PT-3	EXIST, GB	PT-3	MATCH EXIST.	MATCH EXISTING FLOOR TILE SIZE (300mm X 450mm)	
005	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	ACT	PF	2300			
006	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	ACT	PF	2300			
010	TECH ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST		
012	OFFICE SPACE	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST		
015	SUMP ROOM	CONC.	CS	CONC.	CONC.	CONC.	CONC.	CONC.	CONC.	CONC.	CONC.	CONC.	CONC.	CONC.	CONC.	CONC.	CS - CONC. SEALER. REFER TO SPECIFICATIONS
FIRST FLOOR																	
101	SOUTH LOUNGE	EXIST	EXIST, MAT-1	EXIST	EXIST, PT-3	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	PT-3, Q-1	EXIST	EXIST	EXIST
102	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST
103	KITCHEN	EXIST	EXIST, MAT-1	EXIST	EXIST, PT-3	EXIST	EXIST	EXIST	PT-3, Q-1	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST
108	PRINT ROOM	EXIST	EXIST	EXIST, RB-1	EXIST, PT-3	GB	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	ACT	EXIST, PREF	2647		
110	BARRIER FREE W.S.	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	ACT	PF	2500		
113	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST
119	COMMON SPACE	EXIST	EXIST	EXIST	EXIST	EXIST, GB	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST
119A	RECEPTION	EXIST	EXIST	RB-1	MATCH EXIST.	GB	PT-1	GB	PT-1	GB	PT-1	GB	PT-1	ACT	PF	2850	
120	ACTIVITY ROOM I	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST
121	ACTIVITY ROOM II	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST
122	CONFERENCE ROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST
123	CORRIDOR	EXIST/CONC.	VCT-1	EXIST, RB-1	EXIST, PT-3	EXIST, GB	PT-3	EXIST, GB	PT-3	EXIST, GB, CONC	PT-3	EXIST, GB, CONC	PT-3	EXP, GB	PT-3	MATCH EXIST.	
123b	EXIT STAIR	EXIST	VCT-1	EXIST, RB-1	EXIST, PT-3	GB	PT-3	EXIST	PT-3	GB	PT-3	EXIST, CONC, GB	PT-3	EXP	PT-3	EXIST	
125	GYM	EXIST	EXIST, VCT-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST
126	UNIVERSAL WASHRM & CHANGE RM.	EXIST	PFT-1, PFT-2	CWT-4	CWT-4	GB	CWT-1, CWT-3, CWT-4	EXIST, GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXP	PT-3	2550	
127	JANITOR'S	EXIST	EXIST	EXIST/GB	RB-1	EXIST	PT-3	GB	PT-3	EXIST	PT-3	GB	PT-3	EXP	PT-3	2550	
128a	GENDER NEUTRAL CHANGE RM.	EXIST	PFT-1	CWT-4	CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST, GB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST, GB	CWT-1, CWT-3, CWT-4	EXP	PT-3	2550	
128b	GENDER NEUTRAL CHANGE RM.	EXIST	PFT-1, PFT-2	CWT-4	CWT-4	GB	CWT-1, CWT-3, CWT-4	EXIST, GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXP	PT-3	2550	
128c	CHANGE ROOM VESTIBULE	EXIST	PFT-1	CWT-4	CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	EXP	PT-3	2550	
128d	WASHROOM 1	EXIST	PFT-1	CWT-4	CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	EXP	PT-3	2550	
128e	WASHROOM 2	EXIST	PFT-1	CWT-4	CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	EXP	PT-3	2550	
128f	ACCESSIBLE STALL	EXIST	PFT-1, PFT-2	CWT-4	CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	GB	CWT-1, CWT-3, CWT-4	EXP	PT-3	2550	
133	POOL	EXIST	PFT-5, PFT-6	PWB-1	PWB-1	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST, CONC	PT-3	EXIST	EXIST	EXIST	EXIST
134	STORAGE	EXIST	EXIST	EXIST, RB-1	EXIST, PT-3	EXIST	PT-3	EXIST	PT-3	GB	PT-3	EXIST	PT-3	EXIST, ACT	EXIST, PREF	2647	
SECOND FLOOR																	
001c	ELEV. LOBBY	EXIST, CONC	VCT-1	RB-1	MATCH EXIST.	EXIST	PT-1	GB	PT-1	EXIST	PT-1	EXIST, CONC	PT-1	EXIST, GB	PT-2	MATCH EXIST.	
201	CORRIDOR	EXIST	EXIST	EXIST, RB-1	MATCH EXIST.	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	GB	PT-3	EXIST	EXIST	EXIST	
201A	POOL DECK	EXIST CONC/NEW CONC	EFC-1	EXIST	EXIST	GB	PT-3	EXIST	PT-3	CMU	PT-3	GB	PT-3	EXIST	EXIST	EXIST	
202	ELEV. CLOSET	EXIST	CS	EXIST, RB-1	RB-1	GB	PT-3	EXIST	PT-3	CMU	PT-3	GB	PT-3	GB	PT-2	2400	FIRE RATED WALLS AND CEILING. CS - CONC. SEALER. REFER TO SPECIFICATIONS
205	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	
206	PLAYCARE ROOM	EXIST	EXIST, MAT-1	EXIST, RB-1	MATCH EXIST.	EXIST	PT-3, Q-1	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	
207	OFFICE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
215	CORRIDOR	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	

ROOM FINISH KEY SCHEDULE

ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EFC-1	EPOXY FLOOR COATING	RAL 7030 STONE GREY	NON SLIP GRIT TEXTURE		SIKAFLOOR MORRITEXT BROADCAST SYSTEM	SIKA	
EM-1	EXTERNAL MITRE	905744 DARK BLUE	ANTI SLIP	75mm X 75mm (3" x 3")	SPORTS POOL	ACEPOOL	
ERA-1	EXTERNAL RADIAL ANGLE	905578 DARK BLUE	ANTI SLIP	244mm X 42mm (9.7" X 1.7")	SPORTS POOL	ACEPOOL	
ERA-2	EXTERNAL RADIAL ANGLE	905494 WHITE	ANTI SLIP	244mm X 42mm (9.7" X 1.7")	SPORTS POOL	ACEPOOL	
IM-1	INTERNAL MITRE	905729 DARK BLUE	ANTI SLIP	75mm X 75mm (3" x 3")	SPORTS POOL	ACEPOOL	
IRA-1	INTERNAL RADIAL ANGLE	905547 DARK BLUE	ANTI SLIP	244mm X 42mm (9.7" X 1.7")	SPORTS POOL	ACEPOOL	
IRA-2	INTERNAL RADIAL ANGLE	905603 WHITE	ANTI SLIP	244mm X 42mm (9.7" X 1.7")	SPORTS POOL	ACEPOOL	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 600 mm (12"X24")	MEETS DCOF	D9EMOTION	
PFT-2	PORCELAIN FLOOR TILE	MID GREY UNGLAZ	MATTE	50mm X 50mm (2"X2")	SHOWER FLOOR TILE	STONE TILE	
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PFT-5	PORCELAIN FLOOR TILE	901899 MOSAICO BLANCO	ANTI SLIP	317mm X 317mm (12.5" X 12.5")	PUBLIC RECREATIONAL AND PRIVATE POOL	ACEPOOL	25mm X 25mm (1"X1") - ONE MOSAIC PIECE
PFT-6	PORCELAIN FLOOR TILE	902994 MASAICO AZUL OSCURO	ANTI SLIP	317mm X 317mm (12.5" X 12.5")	PUBLIC RECREATIONAL AND PRIVATE POOL	ACEPOOL	25mm X 25mm (1"X1") - ONE MOSAIC PIECE
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS UPPERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS LOWERS
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
PWB-1	PORCELAIN WALL BASE	904006 DARK BLUE	ANTI SLIP	119mm X 244mm (4.7" X 9.7")	SPORTS POOL	ACEPOOL	
Q-1	QUARTZ	5151 EMPIRA WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS
RB-1	RUBBER WALL BASE	MATCH EXISTING	MATCH EXISTING	4" HIGH		JOHNSONITE	
REM-1	ROUND EXTERNAL MITRE	905624 DARK BLUE	ANTI SLIP	R 42mm	SPORTS POOL	ACEPOOL	
RIM-1	ROUND INTERNAL MITRE	905611 DARK BLUE	ANTI SLIP	R 33mm	SPORTS POOL	ACEPOOL	
TRZ	TERRAZZO	MATCH EXISTING BEIGE	N/A	AS SPECIFIED IN DRAWINGS	CAMO-03 TERRAZZO	MARBLE TREND	FIRST FLOOR AND BASEMENT ELEVATOR ENTRY FLOOR
TRZ(a)	TERRAZZO	MATCH EXISTING BEIGE	MATTE	AS SPECIFIED IN DRAWINGS	CAMO-03 TERRAZZO	MARBLE TREND	TERRAZZO ACCENT FLOORING
VCT-1	VINYL COMPOSITE TILE	MATCH EXISTING BEIGE	MATTE	305mm X 305mm (12"x12")	iQ Granit COLLECTION	TARKETT CANADA	SECOND FLOOR, ELEVATOR ENTRY FLOOR
VNR-1	WOOD VENEER	MAPLE	MATCH EXISTING	AS SPECIFIED IN DRAWINGS	V018 NATURAL	NEW LEAF VENEERS	SECOND FLOOR PLAY ROOM KITCHEN MILLWORK

NOTE:
 - PROVIDE NEW PAINT ON BOTH SIDES OF THE WALL TO MATCH THE EXISTING FINISHES AND COLOURS UNLESS OTHERWISE SPECIFIED IN THE DRAWINGS OR IN ROOM FINISH SCHEDULE
 - PROVIDE PAINT TO BASEBOARDS FOR ALL WALLS AND ROOMS WHERE NEW WALLS OR DEMOLITION WORK IS BEING CARRIED OUT.