



PH 01: NE-001



PH 02: NE-001



PH 03: NE-002



PH 04: NE-002



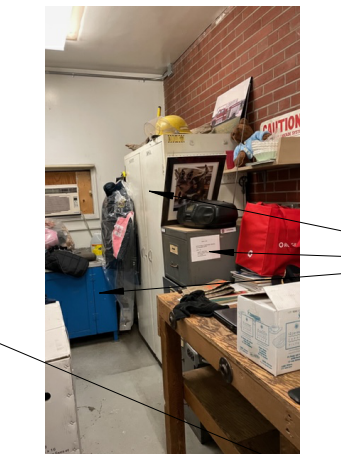
PH 07: NE-004



PH 08: NE-004



PH 19: WORKBENCH TO BE REMOVED



PH 20: STORAGE CABINETS AND MISC. ITEMS TO BE REMOVED

MULTIPLE MISC. ITEMS TO BE REMOVED OR RELOCATED AS PER CLIENT REQUEST FROM STORAGE AREA PRIOR TO DEMOLITION.

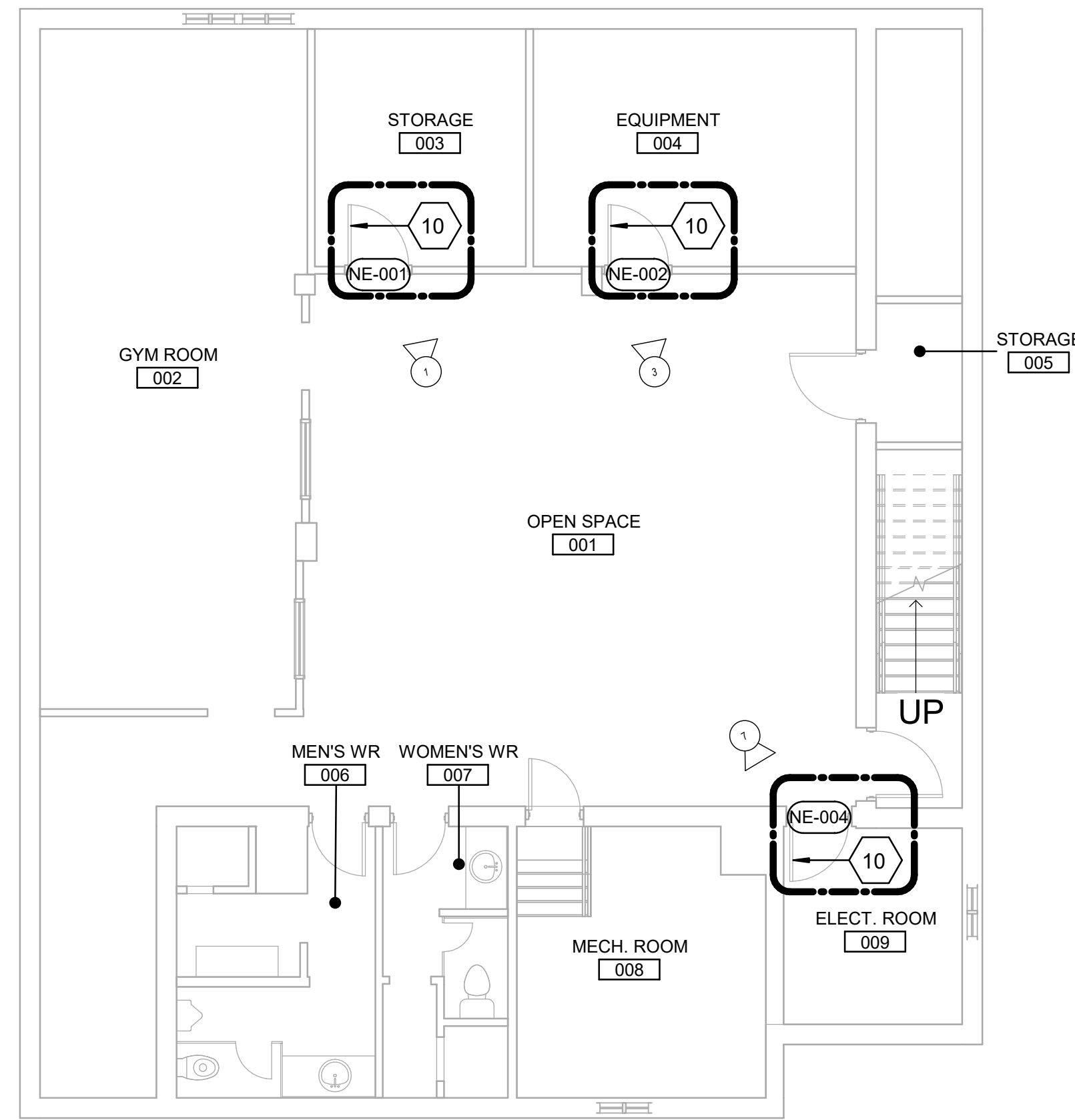
REMOVE AND DISPOSE OF WORK BENCH. REMOVE AND DISCONNECT ALL EQUIPMENT AND ELECTRONICS FROM BENCH PRIOR TO REMOVAL. STAFF MAY ADVISE TO DISPOSE OF RELOCATE BENCH ELSEWHERE INSIDE FIRE HALL. COORDINATE WITH STAFF PRIOR TO REMOVAL.

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- ===== EXISTING EXTERIOR WALL TO REMAIN
- ===== EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

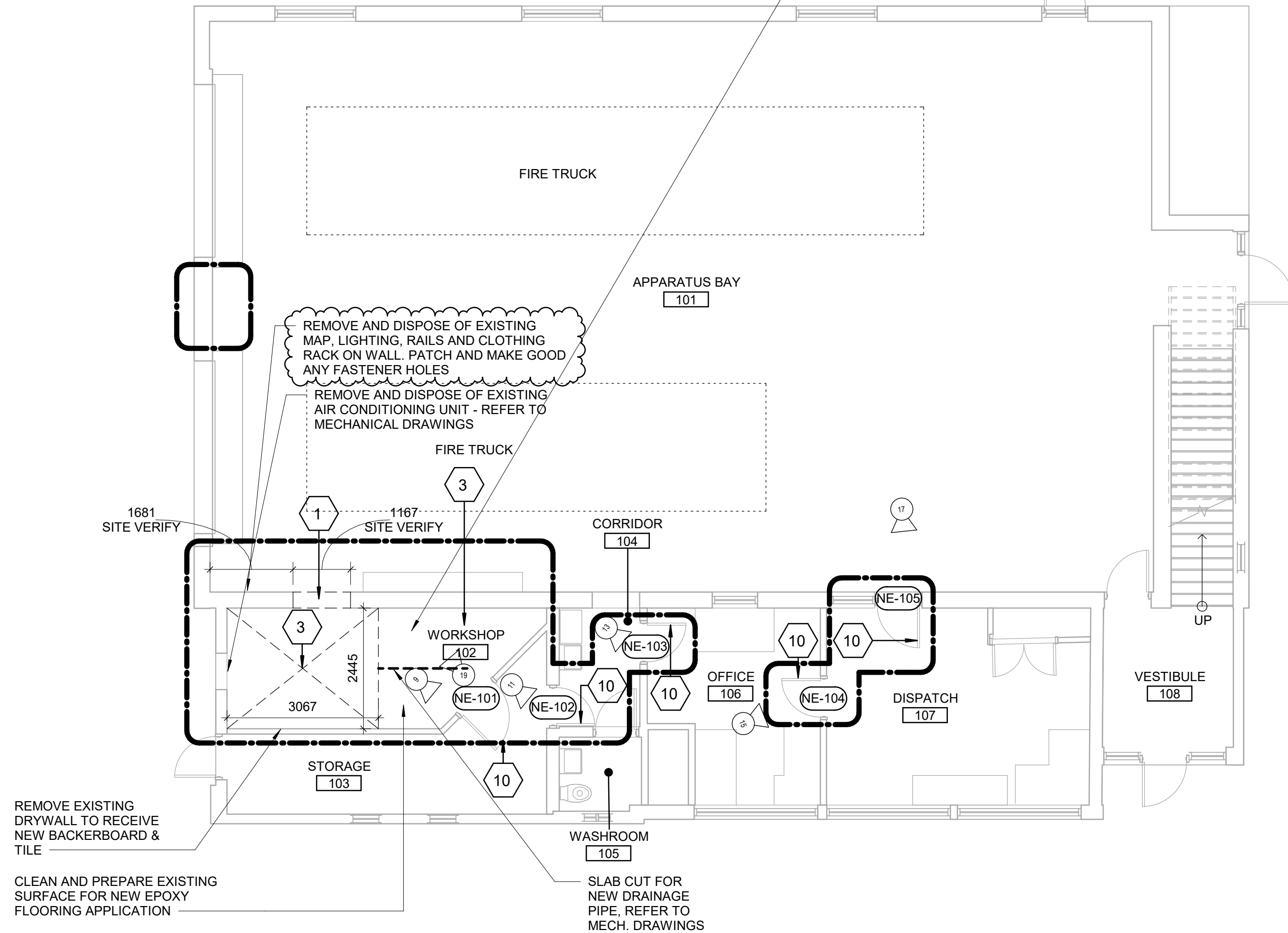
DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE OR TO EXTENT SHOWN. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.



1 BASEMENT - DEMOLITION PLAN

A2101 Scale: 1 : 75



2 FIRST FLOOR - DEMOLITION PLAN

A2101 Scale: 1 : 75



PH 09: NE-101 REMOVE PAD LOCK AND LATCHES. MAKE GOOD DOOR AND FRAME SURFACES



PH 10: NE-101



PH 11: NE-102



PH 12: NE-102



PH 13: NE-103



PH 14: NE-103



PH 15: NE-104



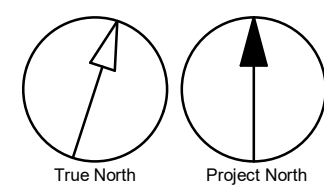
PH 16: NE-104



PH 17: NE-001



PH 18: NE-001



CLIENT

CITY OF TORONTO

Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-9-23
B	90% SUBMISSION	2022-01-04
D	ISSUED FOR TENDER	2022-11-01
C	ADDENDUM 2	2023-01-11

CONSULTANTS

SEAL

PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO.224
1313 WOODBINE AVE.

PROJECT NO:

9119-19-0162/ IBI 122260

DRAWN BY:

A. HOLDER

CHECKED BY:

K. TILAHUN

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

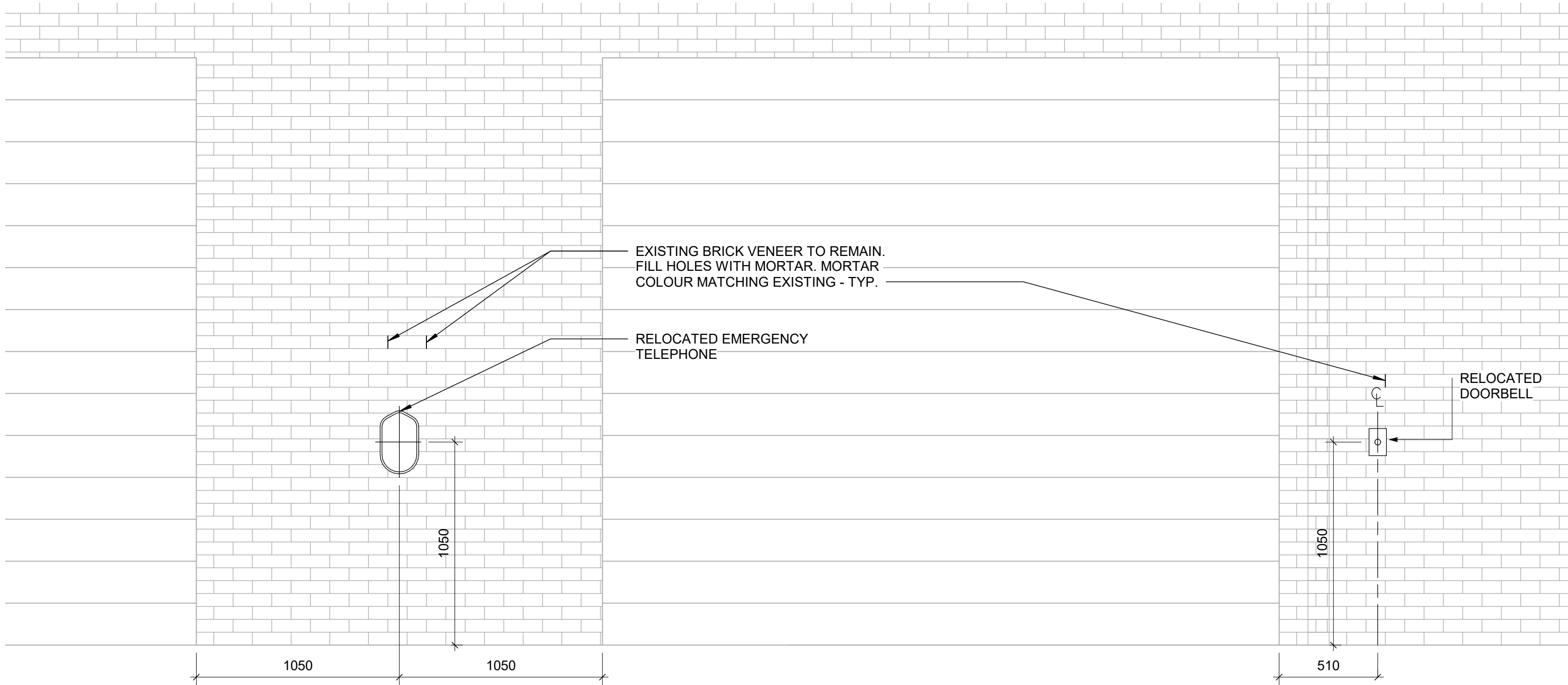
BASEMENT & FIRST
FLOOR DEMOLITION
PLAN

SHEET NUMBER

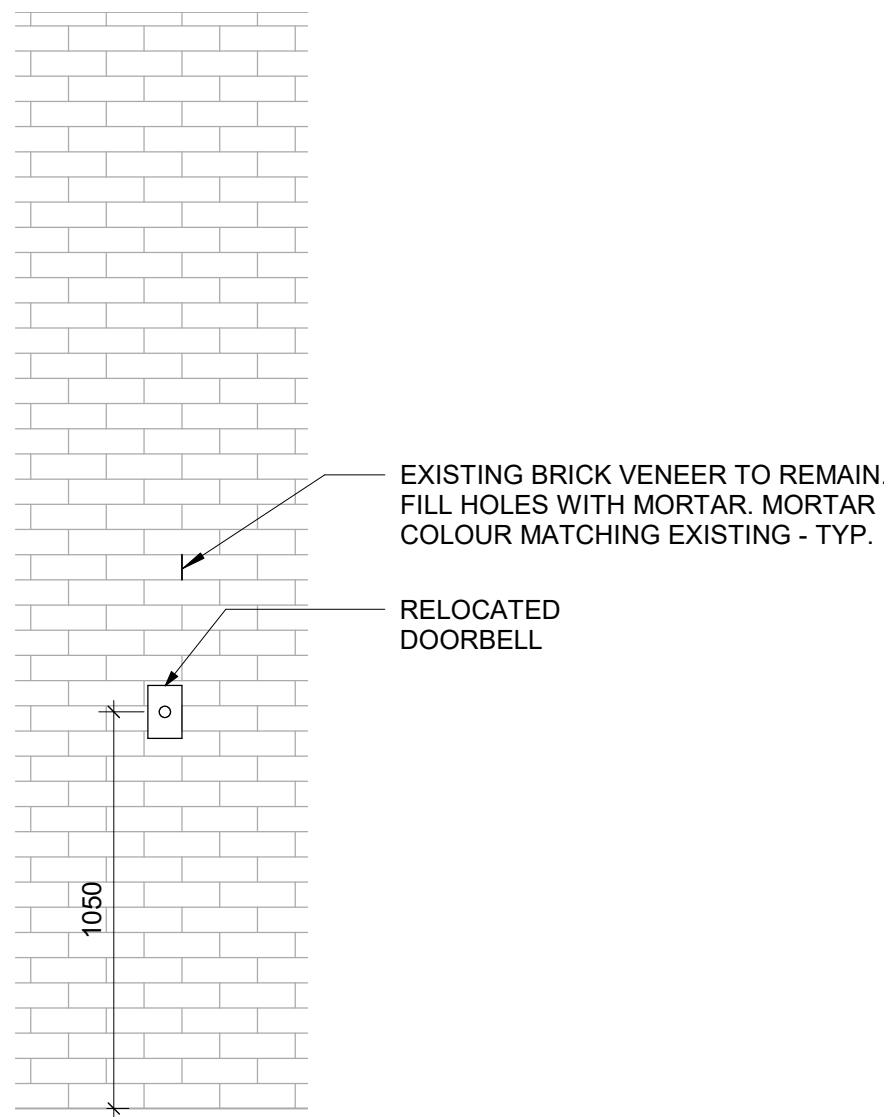
G28-41-A2101

ISSUE

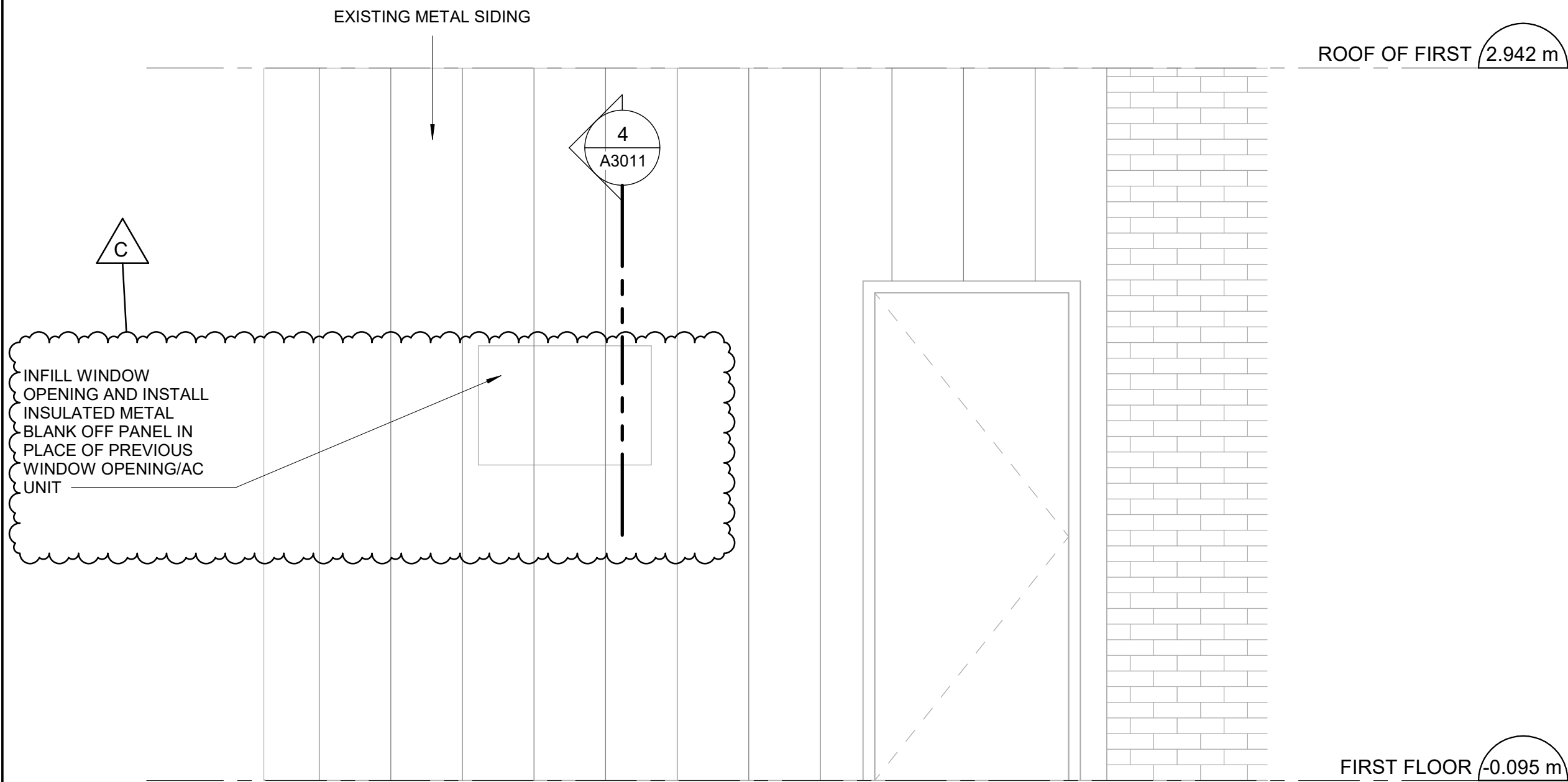
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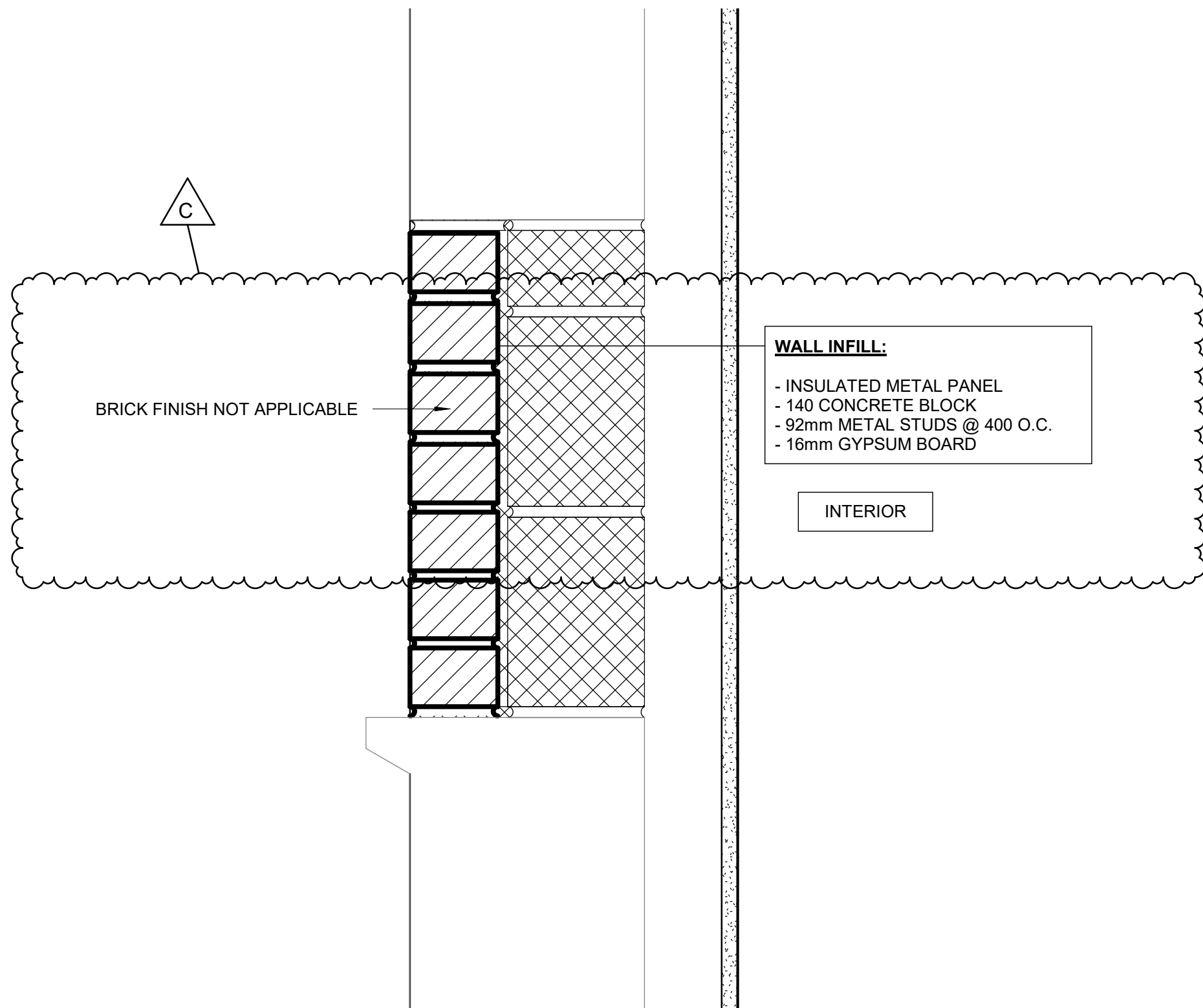
1 PROPOSED ELEVATION FOR RELOCATED PHONE
A3011 Scale: 1 : 20



2 PROPOSED ELEVATION FOR RELOCATED DOORBELL
A3011 Scale: 1 : 20



3 PROPOSED ELEVATION - PATCH OF EXST. WINDOW
A3011 Scale: 1 : 20



4 PROPOSED SECTION - PATCH OF EXST. WINDOW
A3011 Scale: 1 : 5

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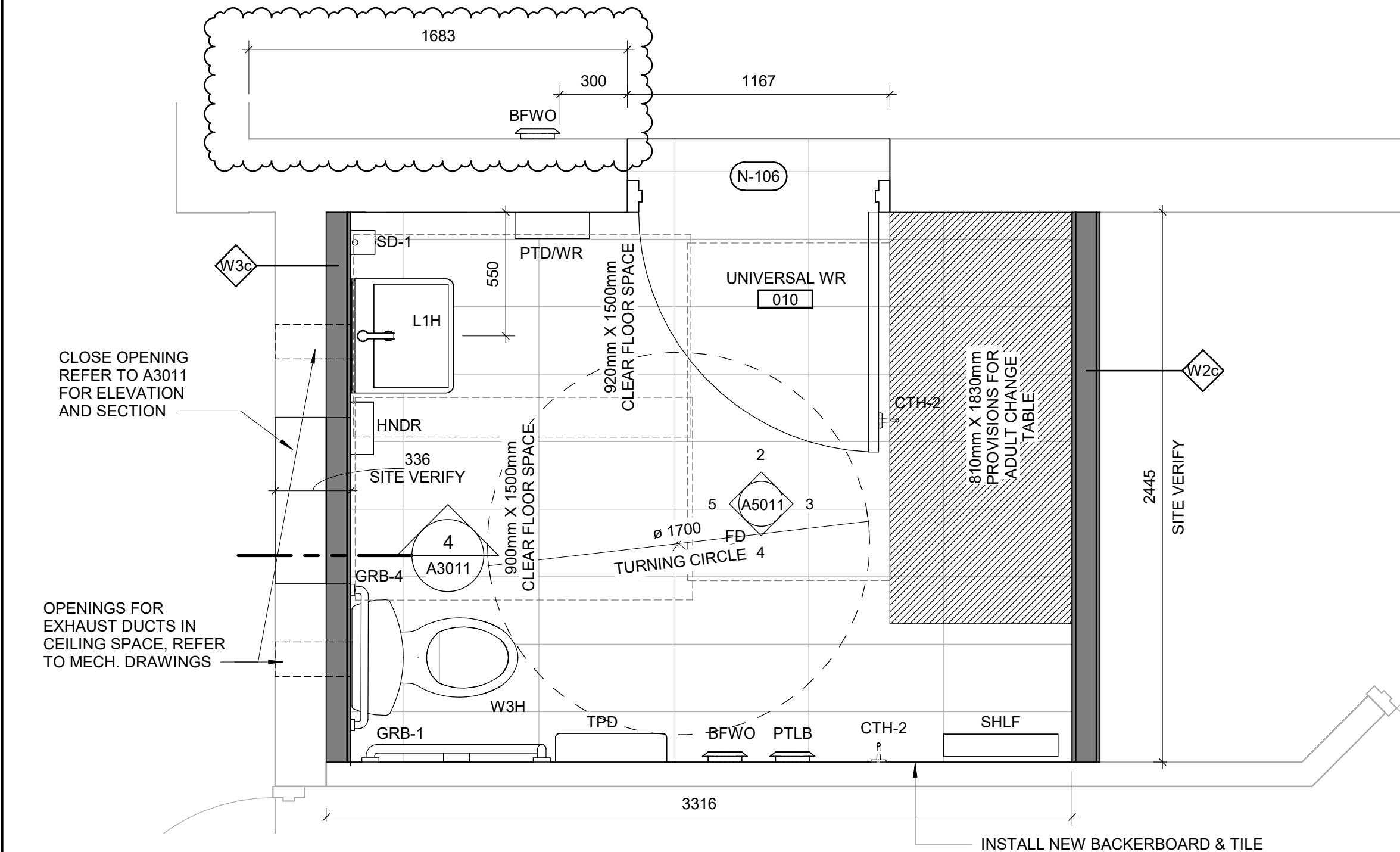
PROJECT NO:
9119-19-0162/ IBI 122260

DRAWN BY: A. HOLDER	CHECKED BY: K. TILAHUN
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

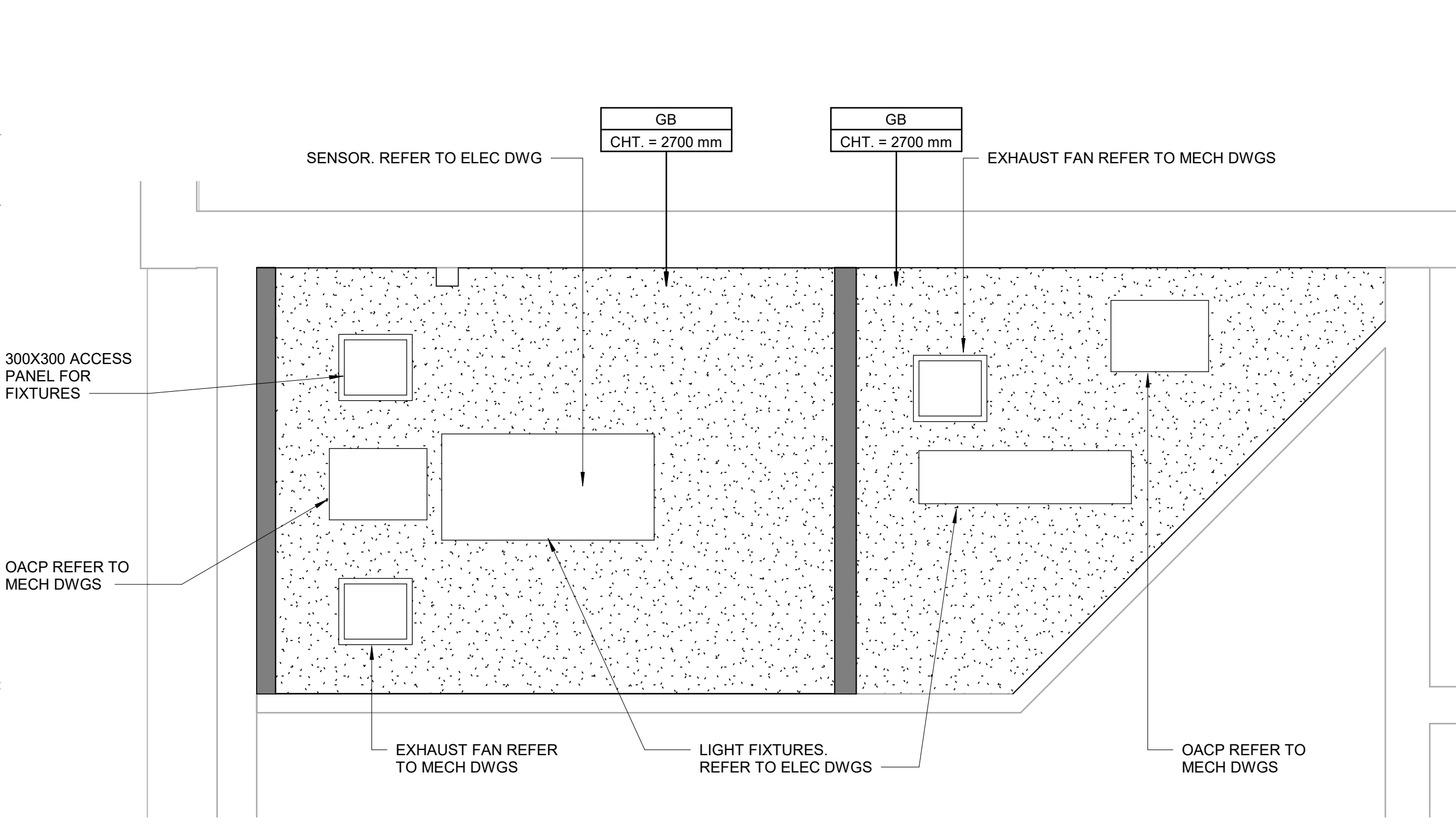
SHEET TITLE

BUILDING ELEVATIONS

SHEET NUMBER	ISSUE
G28-41-A3011	D



1 UNIVERSAL WASHROOM - ENLARGED PLAN
A5011 Scale: 1 : 20



6 UNIVERSAL WASHROOM AND WORKSHOP - RCP
A5011 Scale: 1 : 25

- WASHROOM GENERAL NOTES**
- 1 ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE LOWERED. REFER TO 2/D1201, 4/D1201.
 - 2 ALL WASHROOM ACCESSORIES TO BE INSTALLED AFTER SPECIFIED FINISH HAS BEEN APPLIED. NEW SOAP COLLECTORS TO BE ADDED TO ALL SOAP DISPENSERS. REFER TO 2/D1201.

- CEILING GENERAL NOTES**
- 1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

- UNIVERSAL WASHROOM GENERAL NOTES**
- 1 MOISTURE RESISTANT GYPSUM BOARD TO BE PROVIDED IN ALL WASHROOMS AND LOCKER ROOMS
 - 2 PROVIDE WALL REINFORCEMENT TO SUPPORT FUTURE ADULT CHANGE TABLE MINIMUM LOAD OF 1.33 KN AND POWER OUTLET

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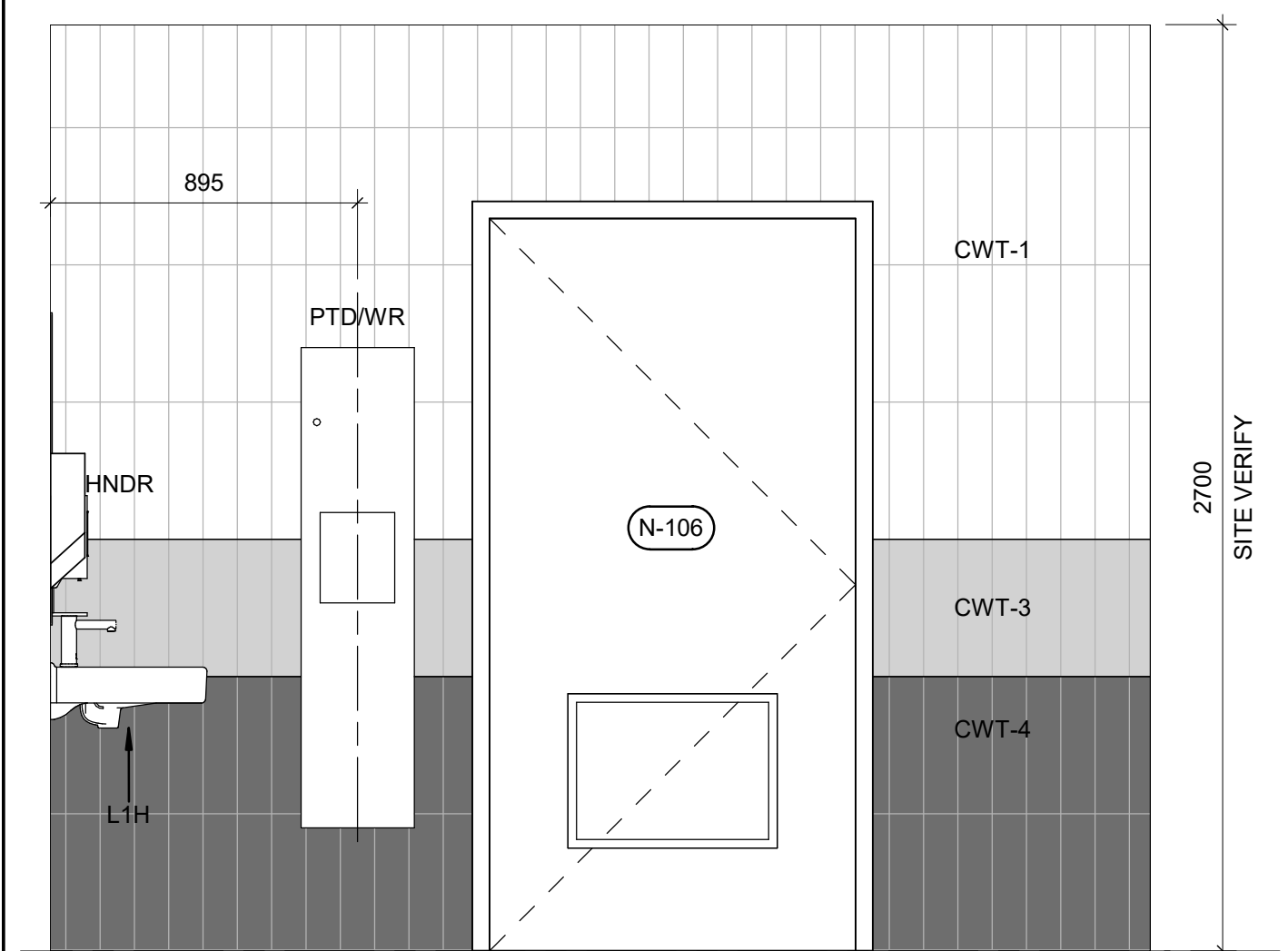
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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

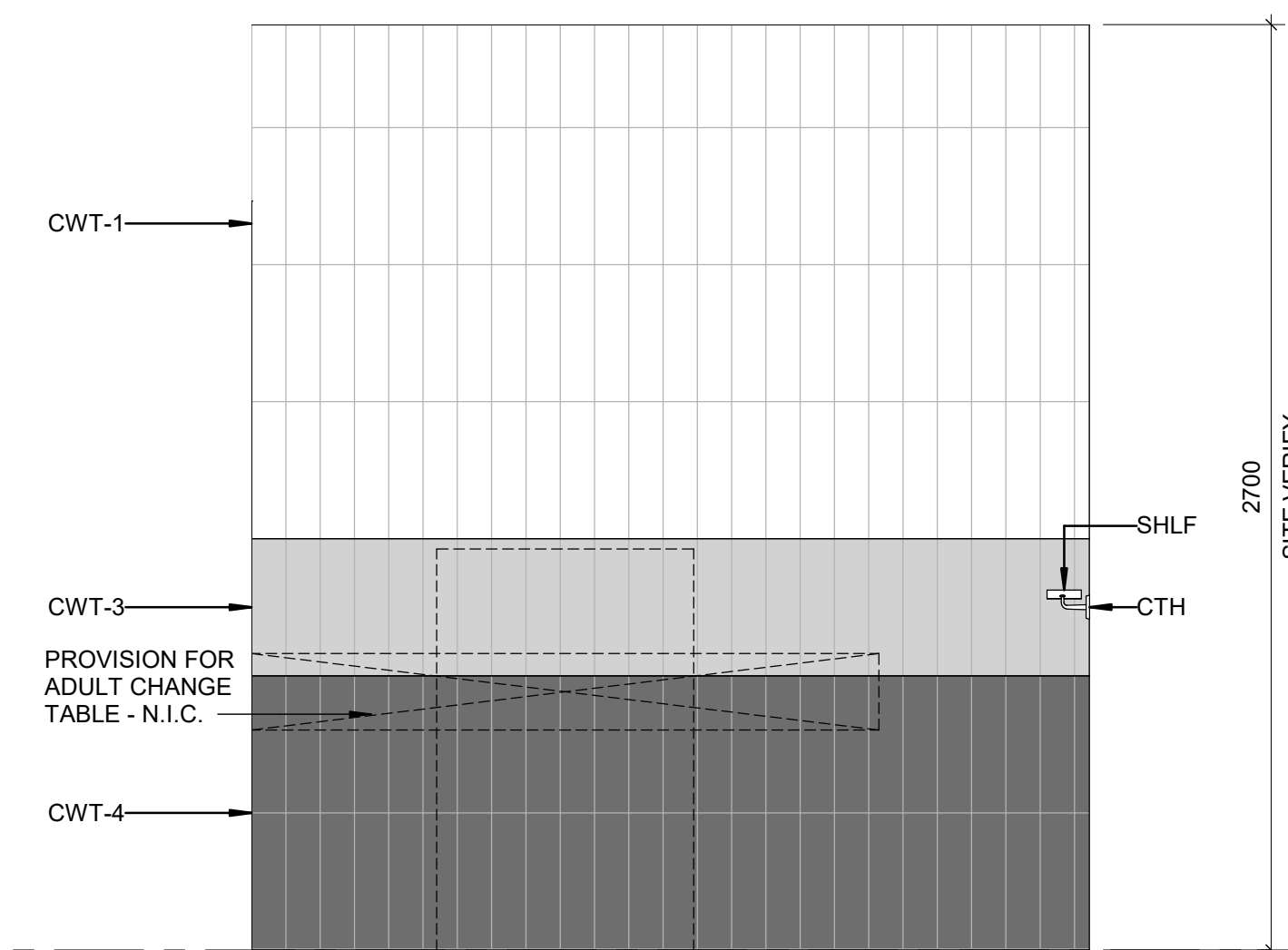
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**FIRE HALL NO.224
1313 WOODBINE AVE.**

PROJECT NO:
9119-19-0162/ IBI 122260
DRAWN BY:
A. HOLDER
PROJECT MGR:
F. BOLOURIAN
SHEET TITLE
**WASHROOM
PLANS/ELEVATIONS**

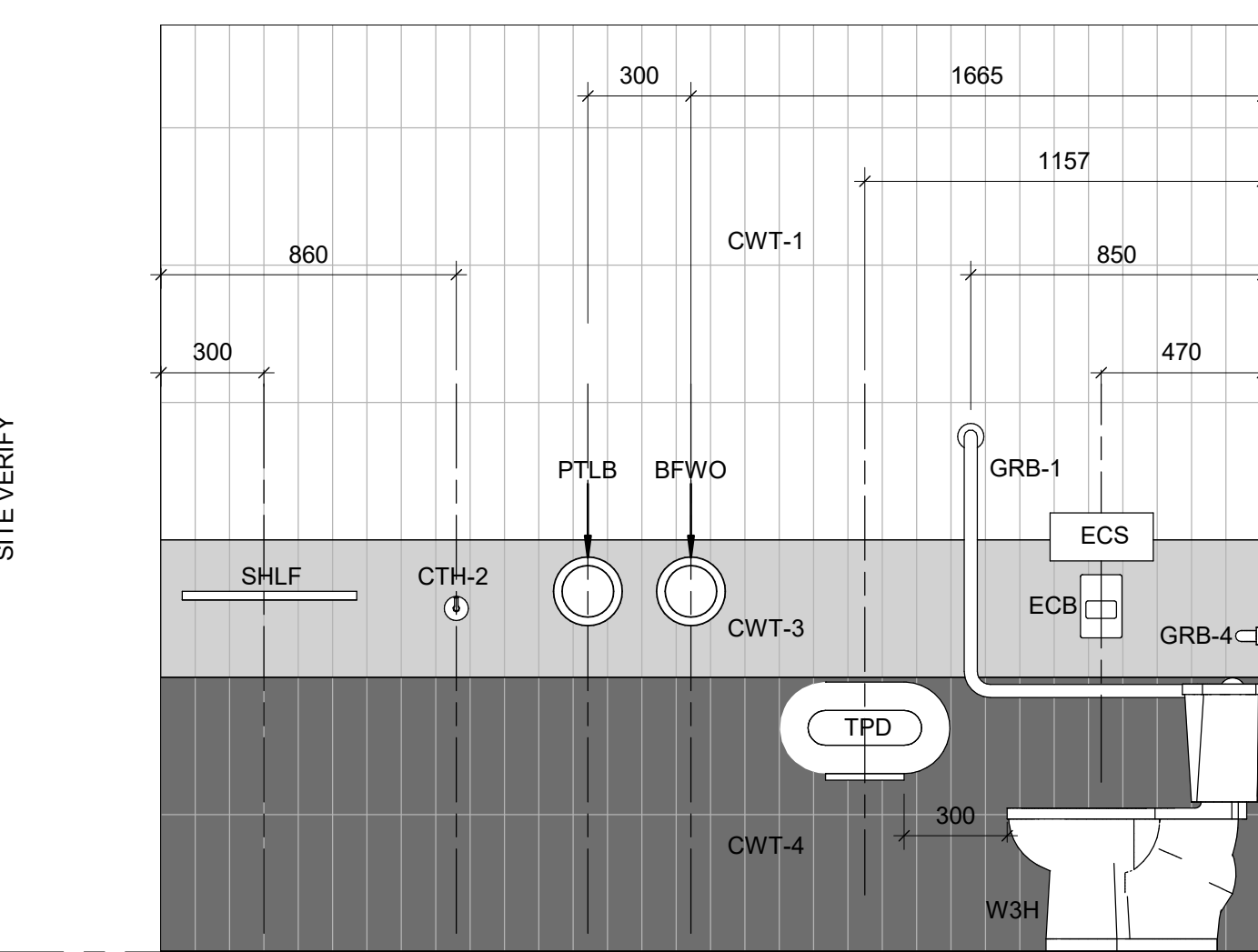
CHECKED BY:
K. TILAHUN
APPROVED BY:
E. FENUITA
SHEET NUMBER
G28-41-A5011
ISSUE
C



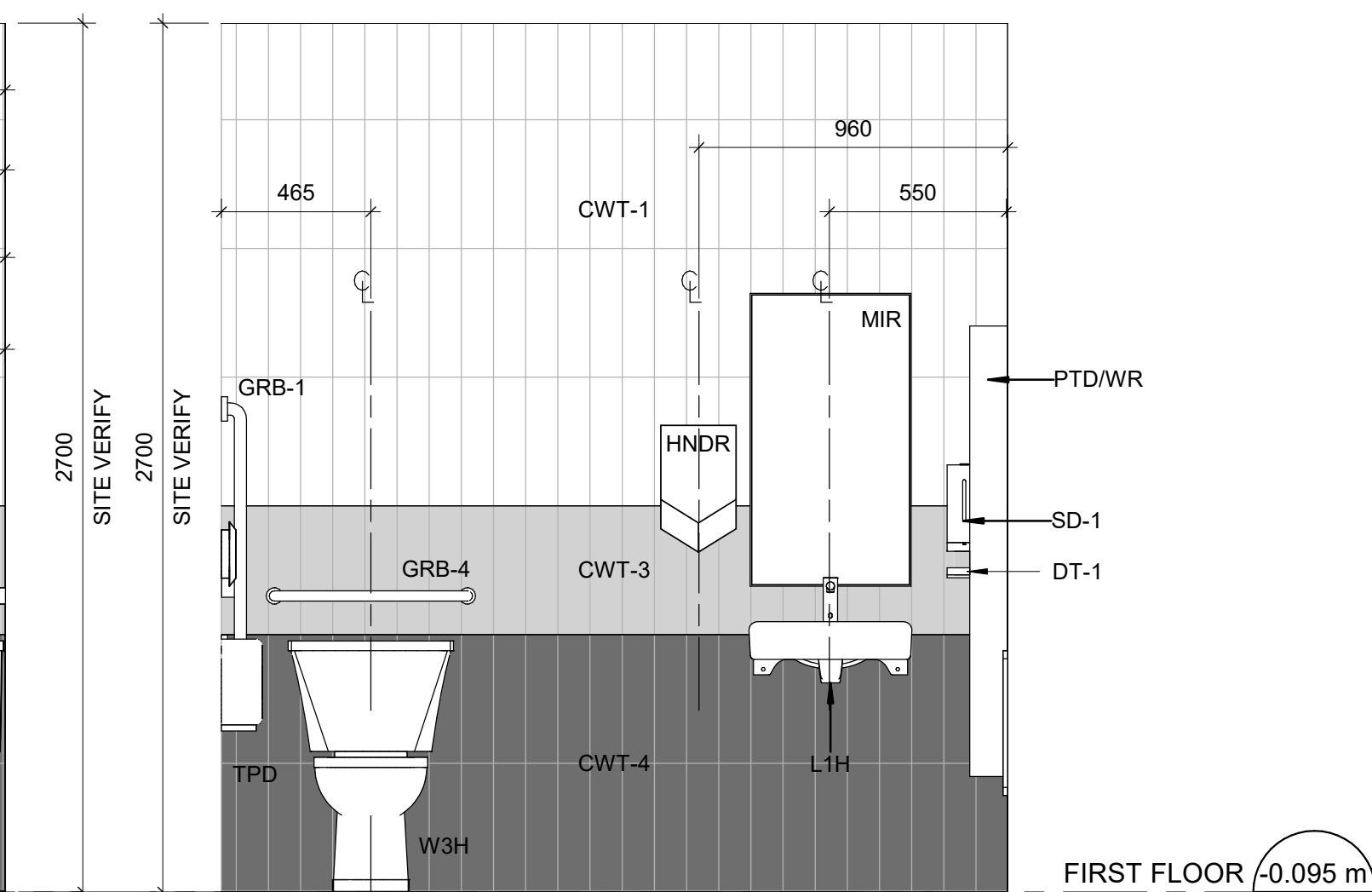
2 UNIVERSAL WR - ELEVATION 2
A5011 Scale: 1 : 20



3 UNIVERSAL WR - ELEVATION 3
A5011 Scale: 1 : 20



4 UNIVERSAL WR - ELEVATION 4
A5011 Scale: 1 : 20



5 UNIVERSAL WR - ELEVATION 5
A5011 Scale: 1 : 20

