

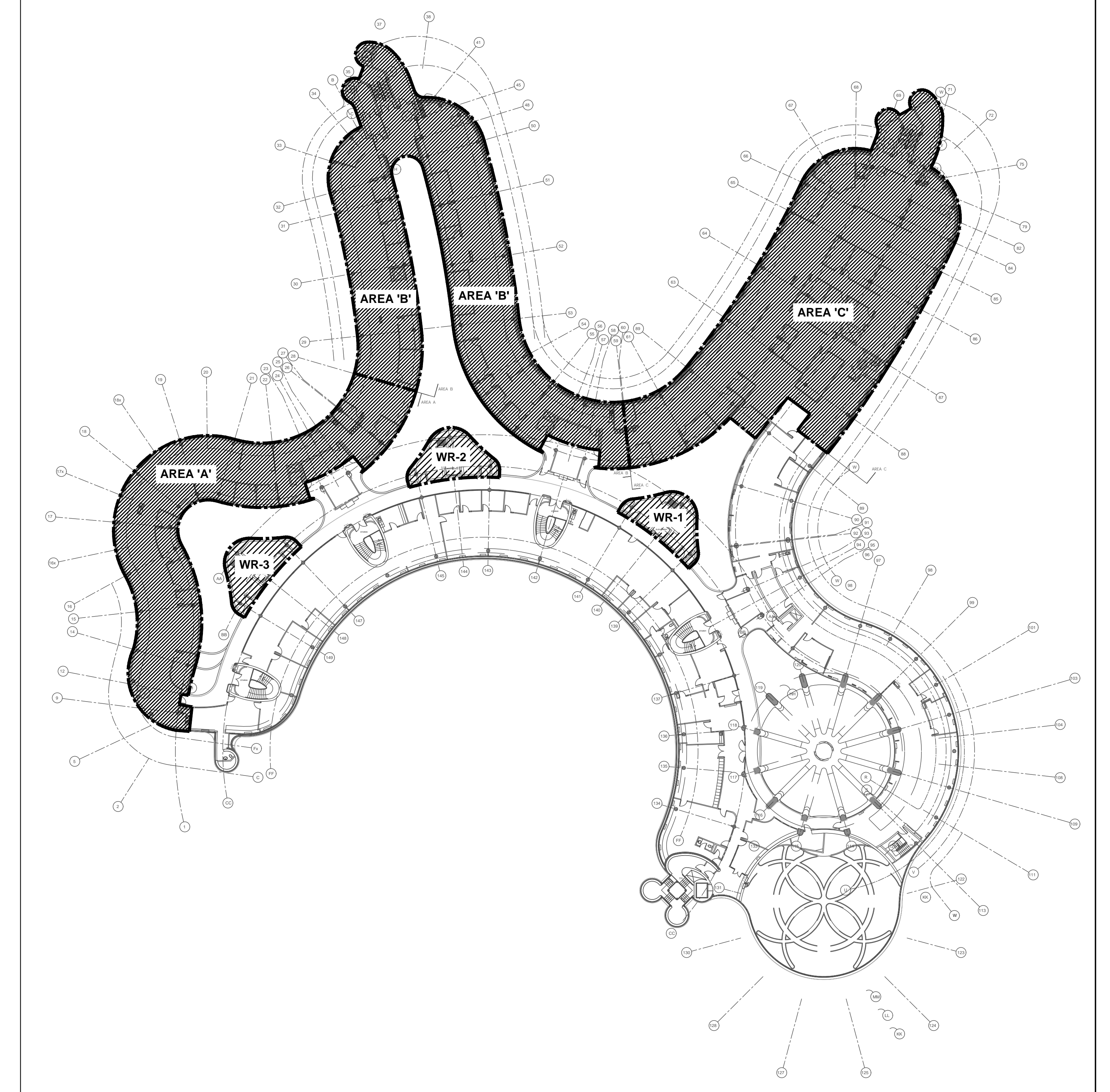


THE REGIONAL MUNICIPALITY OF YORK

YORK REGION ADMINISTRATIVE CENTRE

INTERIOR FIT-UP OF 4TH FLOOR, BLOCK A, B, D & E

17250 YONGE STREET - 4TH FLOOR
NEWMARKET, ONTARIO L3Y 4W5



SCOPE OF WORK - 

CONTENT	ISSUED FOR	DATE	FILE No.
MECHANICAL DRAWINGS	ISSUED FOR CONSTRUCTION	NOVEMBER 18, 2022	GPY-9907

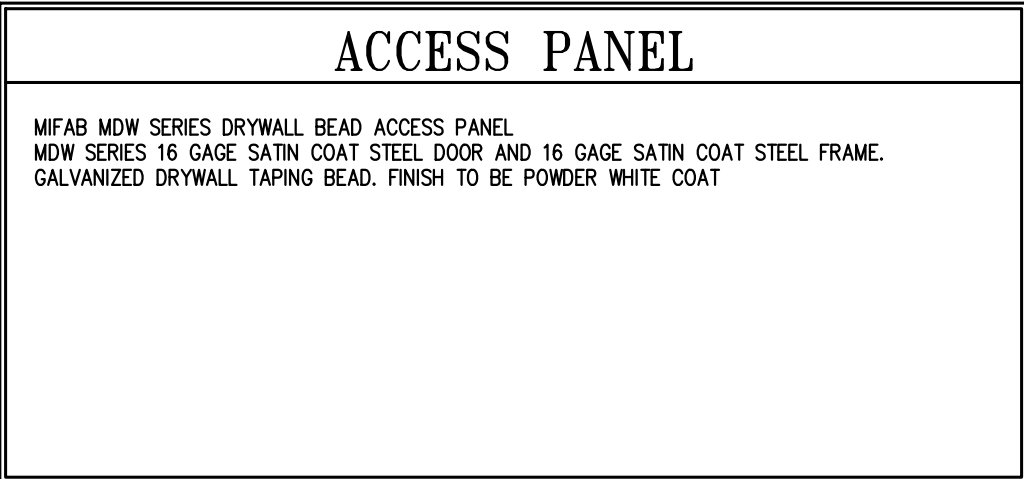
GPY+ ASSOCIATES ENGINEERING INC.
MECHANICAL CONSULTING ENGINEERS

90C Centurian Drive, Unit #6,
Markham, Ontario, L3R 8C5
TEL: (905) 475-3138, FAX: 1(866) 853-3732

E-mail: engineering@gpyengineering.com

HORIZONTAL FAN COIL UNIT SCHEDULE																BASIS OF DESIGN: JOHNSON CONTROLS CONTACT INFO: MR. ISAAC MEE OFFICE: (416) 745-3700 / MOBILE: (416) 538-9464												
TAG	MFG.	MODEL NO.	AIR FLOW (CFM) FAN SPEED HIGH MEDIUM LOW	ESP (INCHES)	CHILLED WATER COIL					HOT WATER COIL (RE-HEAT)					ELECTRICAL				WEIGHT (LB)	QUANTITY								
					E.A.T. (°C)	CAPACITY (BTU/H)	E.W.T. (°F)	L.W.T. (°F)	FLOW (GPM)	FLOID P/D (TAGS)	E.A.T. (°C)	L.S.B. (°F)	SENSIBLE CAPACITY (BTU/H)	E.W.T. (°F)	L.W.T. (°F)	FLOW (GPM)	FLOID P/D (TAGS)	NO. FAN (HP)			VCA/ MCA	AMPS	VOLTS/PH/Hz					
FCU-16, 17, 19, 21, 22, 23-26, 40, 43, 45-49, 51, 52, 53, 54, 55-59, 75-76, 80, 81, 82, 83, 84, 85	JOHNSON CONTROLS	FHP-003	246/H	0.38	80	67	7924	6054	47	59.0	1.2	3.47	4	70	97.1	6588	140.0	120.1	0.7	1.09	1	1/4	1.50/15.0	0.70	208/1/60	43	34	
FCU-2, 11, 13, 14, 15, 20, 23, 29-31, 33-35, 39, 41, 42, 44, 51-53, 55-61, 63, 64, 66, 74, 82, 83, 85, 86, 90-92, 96, 101, 103, 104, 117	JOHNSON CONTROLS	FHP-006	395/H	0.50	80	67	12864	9734	47	59.9	2.2	1.54	4	70	95.9	11346	140.0	120.1	1.10	0.59	1	1/4	1.50/15.0	1.20	208/1/60	81	46	
FCU-1, 4, 10, 12, 15, 32, 37, 39, 45, 54, 57, 79, 84, 86, 94, 95, 97, 99, 100, 102, 105, 108-116, 118-127	JOHNSON CONTROLS	FHP-008	501/H	0.38	80	67	16994	12594	47	59.3	2.8	6.38	4	70	96.1	14416	140.0	120.1	1.4	1.19	1	1/4	1.50/15.0	1.20	208/1/60	97	47	
FAN COIL UNITS SHALL BE PROVIDED WITH SINGLE POWER LOCATION, 18 GAUGE CABINET, 3-SPEED (LOW, MEDIUM, AND HIGH) FAN WITH RELAY AND TRANSFORMER, ECM MOTOR, INTEGRAL GROUNDING DRAIN PAN (FOR COIL & VALVING), MANUAL AIR VEIL, VIBRATION ISOLATORS, DISCONNECT, CONDENSATE OVERFLOW SWITCH, LAUNCOIR LABEL, REAR RETURN AIR WITH MERV-13 FILTERS, AND CONTROL BOX. C/W TERMINAL STOP CONTAINING 2 WIRE CONNECTIONS FOR POWER AND 3 CONTROL WIRE CONNECTIONS. MINOR WHEN A SIGNAL IS APPLIED TO ONE OF THE 3 CONNECTIONS TURNING THE FAN TO HIGH (OPTIONAL, ONLY), MEDIUM (OPTIONAL, ONLY), OR LOW SPEED (UNOCCUPIED MODE OR HIGH HUMIDITY). ALL FAN COIL UNITS SHALL BE LOW PROFILE TYPE - MAXIMUM HEIGHT SHALL BE 270mm.																												
NOTES (FOR MECHANICAL CONTRACTOR):																												
1. MECHANICAL CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND INSTALL COMPLETE HVAC SYSTEM INCLUDING ALL CONTROL WIRING AND DEVICES: CONDENSATE OVERFLOW SWITCH, COOLING ACTUATOR INPUT, MOTOR SPEED CONTROL, ROOM AIR TEMPERATURE, AND DISCHARGE AIR TEMPERATURE. ALL FAN COIL UNITS AND SENSORS SHALL BE WIRED TO BMS.																												
2. DISCONNECTS SHALL BE SUPPLIED BY OWNER (REFER TO SCHEDULE), AND INSTALLED AND WIRED BY ELECTRICAL CONTRACTOR - COORDINATE WITH PROJECT MANAGER AND ELECTRICAL CONTRACTOR.																												
3. PROVIDE 50mm CHILLED WATER SUPPLY AND RETURN PIPING WITH ISOLATION VALVES AND ACTUATOR ON SUPPLY PIPING AND CIRCUIT SETTER ON HEATING WATER RETURN PIPING - REFER TO DETAILS, NOTE: PIPING NOT SHOWN ON HVAC DRAWINGS FOR CLARITY, PROVIDE TE-RINGS (NOT-TAPS) AS REQUIRED.																												
4. PROVIDE 20mm HEATING WATER SUPPLY AND RETURN PIPING WITH ISOLATION VALVES AND ACTUATOR ON SUPPLY PIPING AND CIRCUIT SETTER ON HEATING WATER RETURN PIPING - REFER TO DETAILS, NOTE: PIPING NOT SHOWN ON HVAC DRAWINGS FOR CLARITY, PROVIDE TE-RINGS (NOT-TAPS) AS REQUIRED.																												
5. PROVIDE CONDENSATE (GROSS) DRAIN PIPING TO EXISTING STORM DRAIN/ CONCRETE RAIN OR CEILING SPACE.																												
6. PROVIDE CONDENSATE OVERFLOW SWITCH ON FAN COIL DRAIN PAN WIRED TO BMS.																												
7. THE BMS BUILDING CONTROLS CONTRACTOR SHALL PROVIDE NEW BMS, TEMPERATURE MODEL CMV-4 C/W LOGGING CONTROL, BUTTON, CO2 SENSOR, AND HUMIDITY SENSOR. TEMPERATURE SHALL MAINTAIN SPACE TEMPERATURE OF 22°C (WINTER)/23.5°C (SUMMER), AND MAXIMUM RELATIVE HUMIDITY OF 60%RH. A RELATIVE HUMIDITY REACHES A SETPOINT HIGHER THAN 60%RH, THE FAN COIL UNIT SHALL OPERATE AT LOW SPEED UNTIL RELATIVE HUMIDITY DROPS TO 50%RH DURING UNOCCUPIED MODE. TEMPERATURE SHALL MAINTAIN A MINIMUM OF 10% AND A MAXIMUM OF 25%RH. BUSINESS CENTER SHALL BE AT 23.5°C. BMS BUILDING CONTROLS CONTRACTOR TO PROVIDE ALL LOW VOLTAGE CONTROL WIRING.																												
8. PROVIDE TEMPERATURE SENSOR ON DISCHARGE AIR DUCT AND WIRE READING TO BMS.																												
9. PROVIDE NEW BMS CONTROLLER ALONG WITH EXISTING HUB, COORDINATE WITH BMS BUILDING CONTROLS CONTRACTOR.																												
10. ENSURE THAT ALL ACCESS AND CLEARANCE REQUIREMENTS ARE PROVIDED - COORDINATE WITH PROJECT MANAGER AND ALL OTHER TRADES. EXIST LOCATION OF FAN COIL UNIT, DUCTWORK, CONDENSATE DRAINAGE, AND PIPING SHALL BE DETERMINED ON SITE WITH NEW EXISTING SERVICES AND DESIGN STRUCTURING.																												
11. FILTER RACK SHALL BE SECURELY MOUNTED AT RETURN AIR SIDE OF FAN COIL UNIT. FRESH AIR DUCT TO BE INCORRECTLY TERMINATED AT FILTER LOCATION.																												
12. FILTER FOR FAN COIL UNIT SHALL BE LIMITED TO NOMINAL SIZES LISTED BELOW:																												
1. 31" x 10.5" x 1" FOR MODEL FHP-003 & 2 SETS FOR MODEL FHP-008																												
2. 19" x 10.5" x 1" FOR MODEL FHP-003 & 2 SETS FOR MODEL FHP-008																												

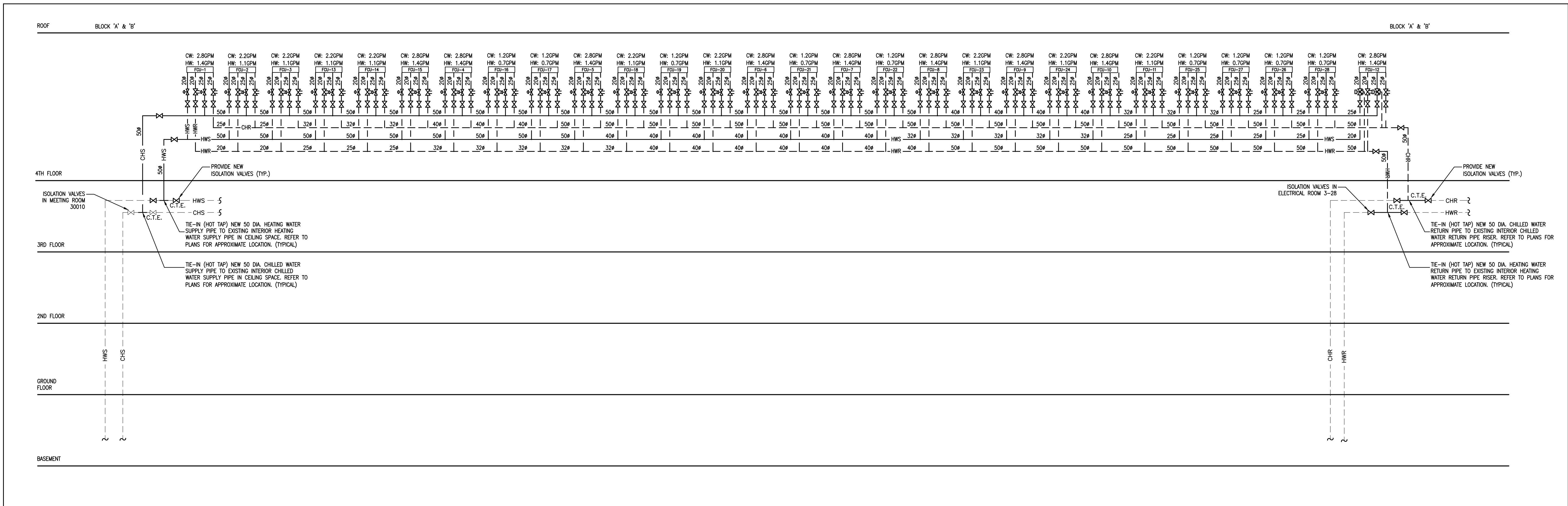
FRESH AIR SUPPLY FAN SCHEDULE										BASIS OF DESIGN: GREENHECK	
TAG	SERVICE	TYPE	AIRFLOW (CFM)	EXT. S.P. (IN. WC)	FLA (A)	WATTS	FAN RPM	ELEC. DATA	WEIGHT (LBS.)	BASIS OF DESIGN	REMARKS
SE-1	BLOCK 'A'	IN-LINE	800	0.7	7.1	451	1090	115V/1PH/60Hz	59	GREENHECK CSP-A1300	C/W SPEED CONTROLLER FOR BALANCING.
SE-2	BLOCK 'D'	IN-LINE	600	0.7	3.3	400	1579	115V/1PH/60Hz	39	GREENHECK CSP-A780	C/W SPEED CONTROLLER FOR BALANCING.
SE-3	BLOCK 'D'	IN-LINE	800	0.7	7.1	451	1090	115V/1PH/60Hz	59	GREENHECK CSP-A1300	C/W SPEED CONTROLLER FOR BALANCING.
SE-4	BLOCK 'E'	IN-LINE	800	0.7	7.1	451	1090	115V/1PH/60Hz	59	GREENHECK CSP-A1300	C/W SPEED CONTROLLER FOR BALANCING.
SE-5	BLOCK 'E'	IN-LINE	750	0.7	7.1	420	1065	115V/1PH/60Hz	59	GREENHECK CSP-A1300	C/W SPEED CONTROLLER FOR BALANCING.
NOTE: 1. UNIT-MOUNTED VARIABLE SPEED CONTROLLER IS SUPPLIED FOR AIR BALANCING PURPOSE. VARIABLE SPEED CONTROLLER TO BE SUPPLIED AND INSTALLED BY MECHANICAL TRADES. 2. PROVIDE RESPONSE VIBRATION ISOLATION C/W ALL NECESSARY MOUNTING HARDWARE AS REQUIRED. 3. FAN TO BE INTERLOCKED WITH EXISTING GAS.											



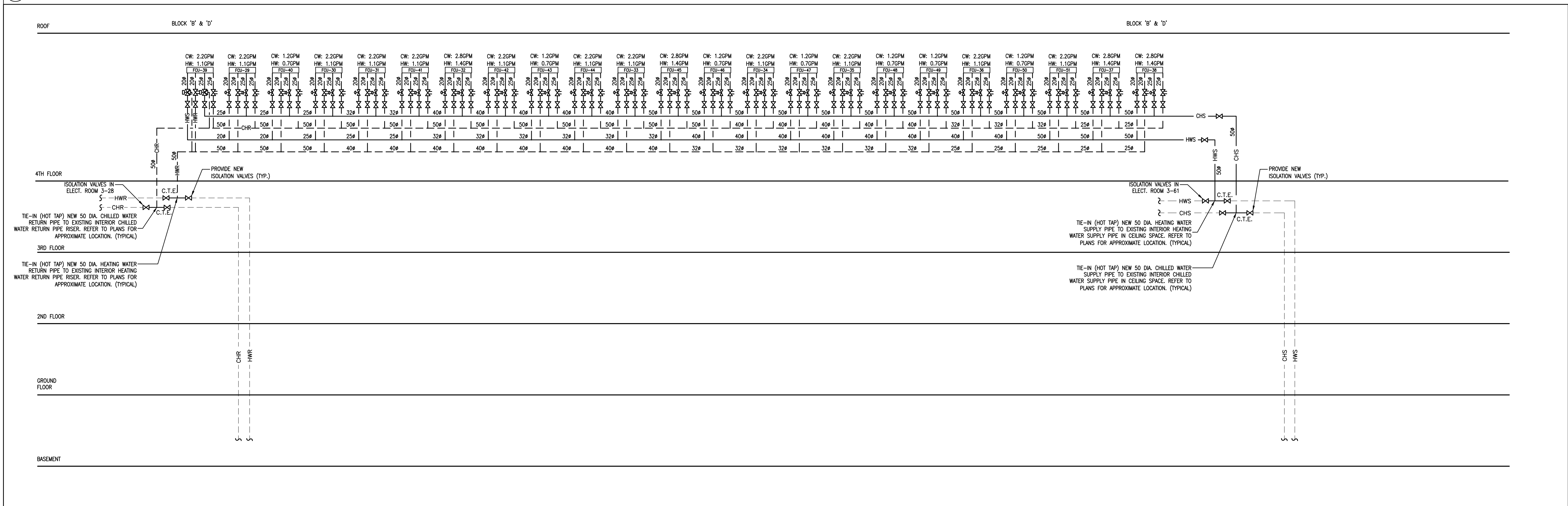
MECHANICAL LEGEND	
SYMBOL	DESCRIPTION
	SUPPLY AIR DUCT UP
	SUPPLY AIR DUCT DOWN
	RETURN/EXHAUST AIR DUCT UP
	RETURN/EXHAUST AIR DUCT DOWN
	EXISTING LIGHT TROFFER DIFFUSER
	NEW RETURN AIR GRILLE
	NEW SUPPLY AIR DUCTWORK
	ACoustically LINED DUCTWORK
	EXISTING DUCTWORK / EQUIPMENT TO BE REMOVED
	FLEXIBLE DUCT
	FLEXIBLE DUCT WITH SPIN-ON
	NEW THERMOSTAT
	EXISTING THERMOSTAT
	ISOLATED THERMOSTAT
	ACoustically LINED TRANSFER AIR DUCT
DRAWING NOTES	
	EXISTING / NEW VAV BOX
	NEW ROUND SUPPLY AIR DIFFUSER
	NEW SQUARE SUPPLY AIR DIFFUSER
	LINEAR SLOT DIFFUSER
	DUCT MOUNTED SUPPLY AIR GRILLE
	DUCT CAP
	REMOVE
	NEW BALANCING DAMPER
	EXISTING FIRE HOSE CABINET
	NEW UPRIGHT FIRE SPRINKLER HEAD
	NEW PENDANT FIRE SPRINKLER HEAD
	REMOVE EXISTING SPRINKLER HEAD
	EXISTING SPRINKLER HEAD TO REMAIN
	NEW FULLY CONCEALED SPRINKLER HEAD
DOMESTIC COLD WATER	
DOMESTIC HOT WATER	
NEW SANITARY PIPE	
NEW SANITARY VENT PIPE	
PIPE UP, PIPE DOWN	
CLEANOUT	
A-MINIMUM AIR QUANTITY B-MAXIMUM AIR QUANTITY C-VAV BOX SIZE	
A-SIZE OF DIFFUSER/GRILLE/REGISTER B-AIR QUANTITY (CFM) C-TYPE OF DIFFUSER/GRILLE/REGISTER	

DIFFUSER SCHEDULE			BASIS OF DESIGN: E.A. PRICE EQUAL IN: METALARE, NAALOR, TITUS	
REF.	MODEL NO.	DESCRIPTION	REMARKS	
A	SCDA	600MMX600MM SQUARE CONE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR 1" BAR OR DRYWALL MOUNTING, C/W VOLUME DAMPER AT DIFFUSER NECK	B12 WHITE POWDER COAT FINISH	
B	53D0	45° DEFLECTION EXHAUST AIR GRILLE, FIXED LOUVERS, 3/4" BLADE SPACING, C/W OPPOSED BLADE DAMPER, FRONT BLADES PARALLEL TO LONG DIMENSION, SUITABLE FOR DRYWALL MOUNTING	B12 WHITE POWDER COAT FINISH	
C	80 SERIES	RETURN AIR GRILLE 12x12x12, EGGSHAPED, ALUMINUM CONSTRUCTION, SUITABLE FOR T-BAR CEILING MOUNTING. SIZES AS INDICATED ON DRAWING.	B12 WHITE POWDER COAT FINISH	
D	SCDA	500MMX500MM SQUARE CONE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR 1" BAR OR DRYWALL MOUNTING, C/W VOLUME DAMPER AT DIFFUSER NECK	B12 WHITE POWDER COAT FINISH	
E	SCDA	300MMX300MM SQUARE CONE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR 1" BAR OR DRYWALL MOUNTING, C/W VOLUME DAMPER AT DIFFUSER NECK	B12 WHITE POWDER COAT FINISH	
F	---	ARCHITECTURAL PLENUM SLOT DIFFUSER, DIFFUSER BY ARCHITECTURAL DIVISION, REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.	COLOUR SHALL BE SELECTED BY ARCHITECT/ INTERIOR DESIGNER	
G	A5	ADJUSTA-SLOT, 1 SLOT - 4 FEET LONG, 1" SLOT WIDTH, CONCEALED MOUNTING FRAME, HORIZONTAL AIR PATTERN, C/W 4FT LONG STRAIGHT ENGINEERED PLENUM (SPF) WITH CABLE OPERATED DAMPER (CORE) MOUNTED AT DIFFUSER NECK. PROVIDE STOP BUTTLE ON ALL INACTIVE AIR SLOTS.	B12 WHITE POWDER COAT FINISH	

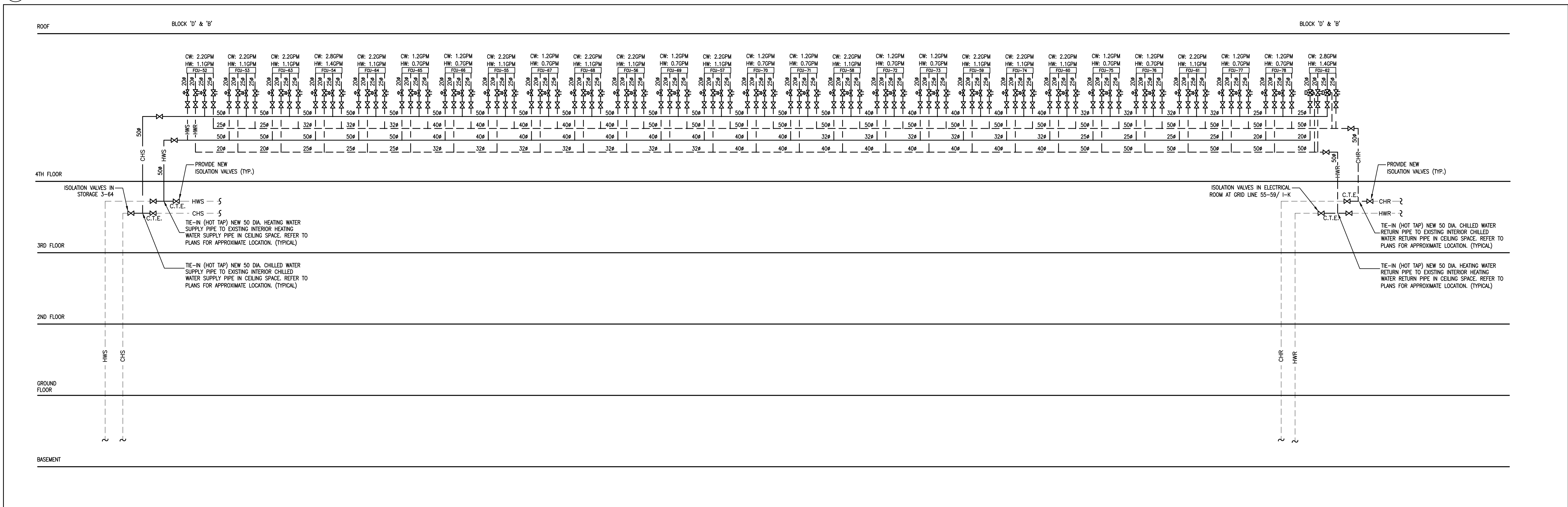
WALLFIN HEATER SCHEDULE										BASIS OF DESIGN: RITLAND EQUAL IN: ENG. AIR, STERLING	
TAG	TYPE	MODEL	ENCLOSURE (mm) (LxHxW)	TUBE SIZE DIA (mm)	NO. OF ROWS	CAPACITY (BTU/FT)	FLOW (GPM/FT)	SUPPLY WATER TEMP. (°C)	RETURN WATER TEMP. (°C)	AVERAGE WATER TEMPERATURE (°C)	WALLFIN ELEMENT LENGTH (mm)
WF-1	HYDRONIC	2865-3/4x2.4-1/4x4	750x500x140	20	2	995	0.18	60	48.9	54.5	1000
WF-2	HYDRONIC	2865-3/4x2.4-1/4x4	500x500x140	20	2	995	0.18	60	48.9	54.5	750
NOTES:											
1. REFER TO FLOOR PLANS FOR QUANTITIES OF WALL-FIN ELEMENTS.											
2. HEATING CAPACITIES BASED ON EXISTING AIR TEMPERATURE OF 18°C.											
3. REFER TO MECHANICAL DETAILS FOR VALVING ARRANGEMENTS.											
4. PROVIDE RITLAND SBR 750mm LONG (MAX.) ARCHITECTURAL TYPE ENCLOSURE CABINETS (16 GAUGE) FOR 100mmx100mm WALL-FIN HEATING ELEMENTS AND EXPOSED PIPE. c/w SLOPED TOP, PENCIL-PROOF GRILL AND CUSTOMIZED MOUNTS TO MAINTAIN CONTAMINANT RINGS ALONG CURVED PERIMETER WALL FROM COLUMN TO COLUMN. PROVIDE ALL REQUIRED ACCESSORIES AND FITTINGS TO FACILITATE INSTALLATION IN CURVED PERIMETER WALL. CABINETS SHALL ONLY BE USED WHERE THERE IS A 30mm WATER LEAKAGE BARRIER PERIMETER COLUMN AND SHALL BE USED WITH ALTO'S PATENTED PROVIDE END CAPS ON ENCLOSURE NEAR WALL ENCLOSURE. PROVIDE ALL ACCESSORIES. ALL THESE CLOSURE LENGTHS OF CABINETS ON SITE WITH THE CLOSING LENGTH OF CABINETS. LENGTH OF CABINETS WHEN IT IS INSTALLED SHALL BE NO MORE THAN 750mm. THE WIDTH OF GRILLING FROM WALL TO WALL. CABINET PROVIDE IN-TILE PLATE TO CLOSE OFF IN-TILE PLATES SHALL BE VALUED CORRESPONDING TO MATCH AND ENCLOSURE. PROVIDE SCHEDULE OF CABINET TO GANER FOR THEIR REVIEW AND APPROVAL. UPON RECEIPT OF WRITTEN APPROVAL, SHOP DRAWINGS WILL BE SUBMITTED TO MECHANICAL, DRAWING AND PROJECT.											
5. REUSE EXISTING 200mm HEATING PIPE LOCATED AT LOW LEVEL. ALL WALLS SHALL BE CONCRETE WITH CONCRETE.											
6. PROVIDE MODULATING 2-WAY CONTROL VALVE WITH STATUS INDICATION FOR HEATING WATER SUPPLY PIPE AND CIRCUIT BALANCING VALVE FOR HEATING WATER RETURN PIPE c/w ISOLATION VALVES.											



1 CHILLED & HEATING WATER PIPING SCHEMATIC - 4TH FLOOR BLOCK 'A'
SCALE: N.T.S.



2 CHILLED & HEATING WATER PIPING SCHEMATIC - 4TH FLOOR BLOCK 'D1'
SCALE: N.T.S.



3 CHILLED & HEATING WATER PIPING SCHEMATIC - 4TH FLOOR BLOCK 'D2'
SCALE: N.T.S.

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

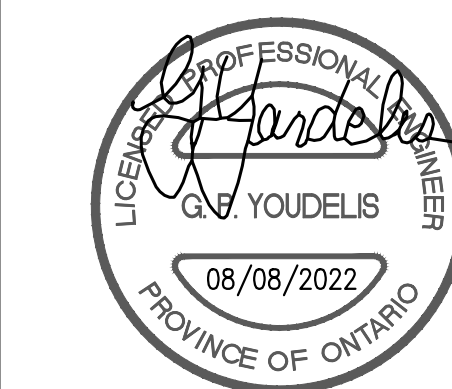
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: NOT TO SCALE

DRAWN BY: S.P.R./G.G.

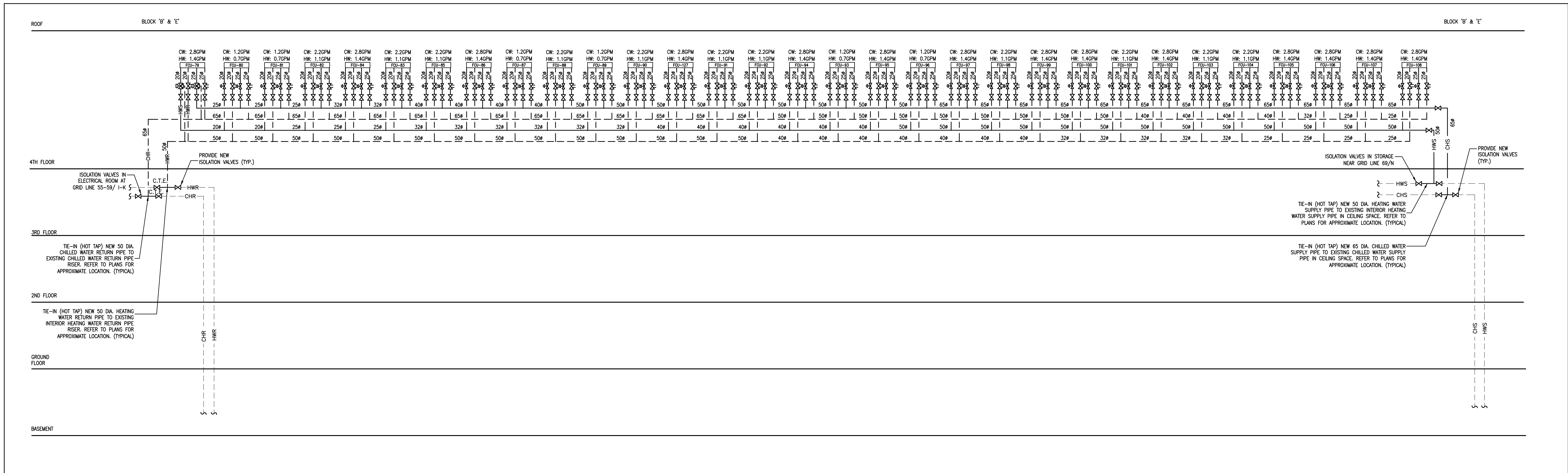
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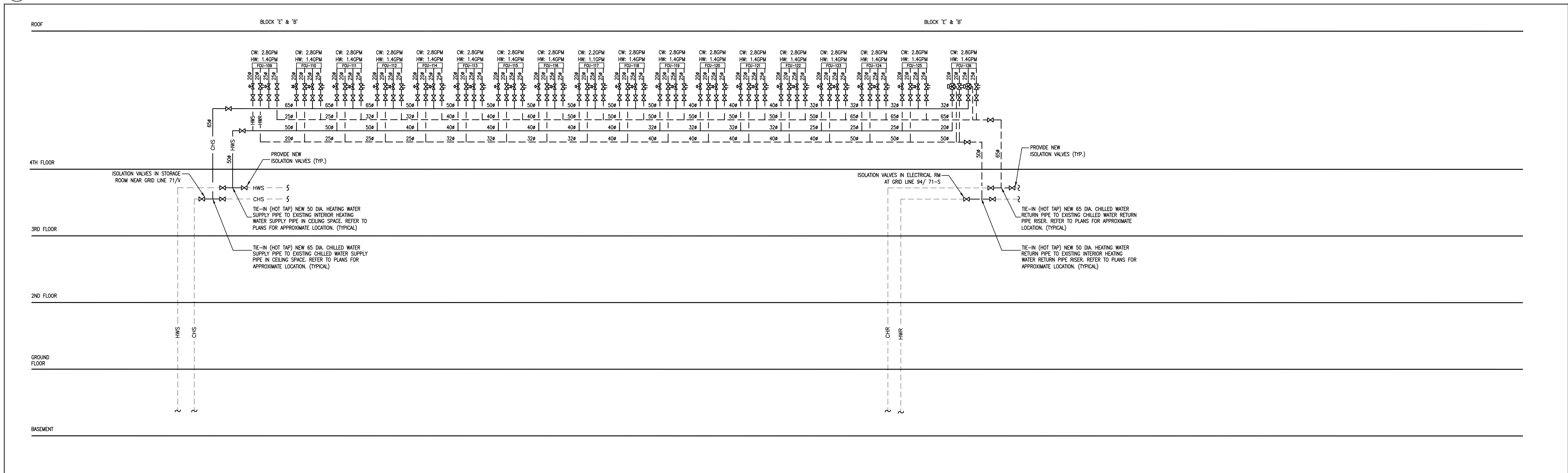
SCHEMATIC DIAGRAM

SHEET NUMBER:

M-101



1 CHILLED & HEATING WATER PIPING SCHEMATIC - 4TH FLOOR BLOCK 'E'1'
SCALE: N.T.S.

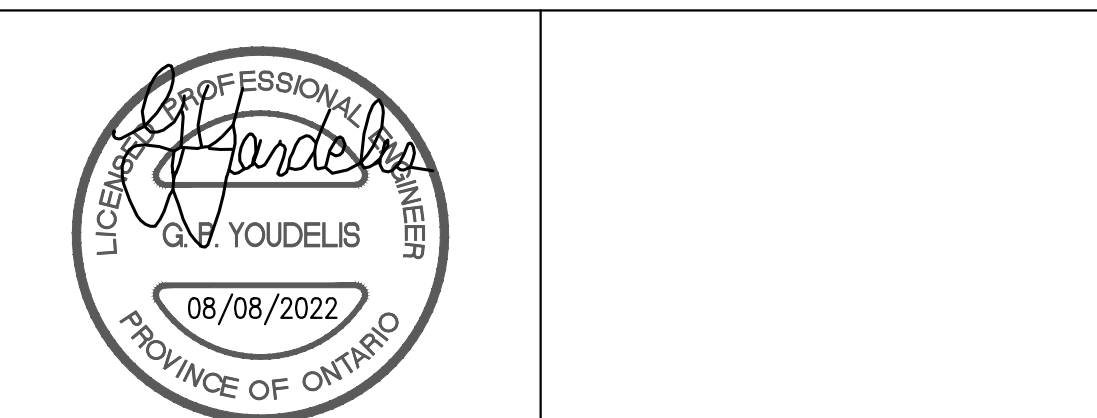


2 CHILLED & HEATING WATER PIPING SCHEMATIC - 4TH FLOOR BLOCK 'E'2'
SCALE: N.T.S.

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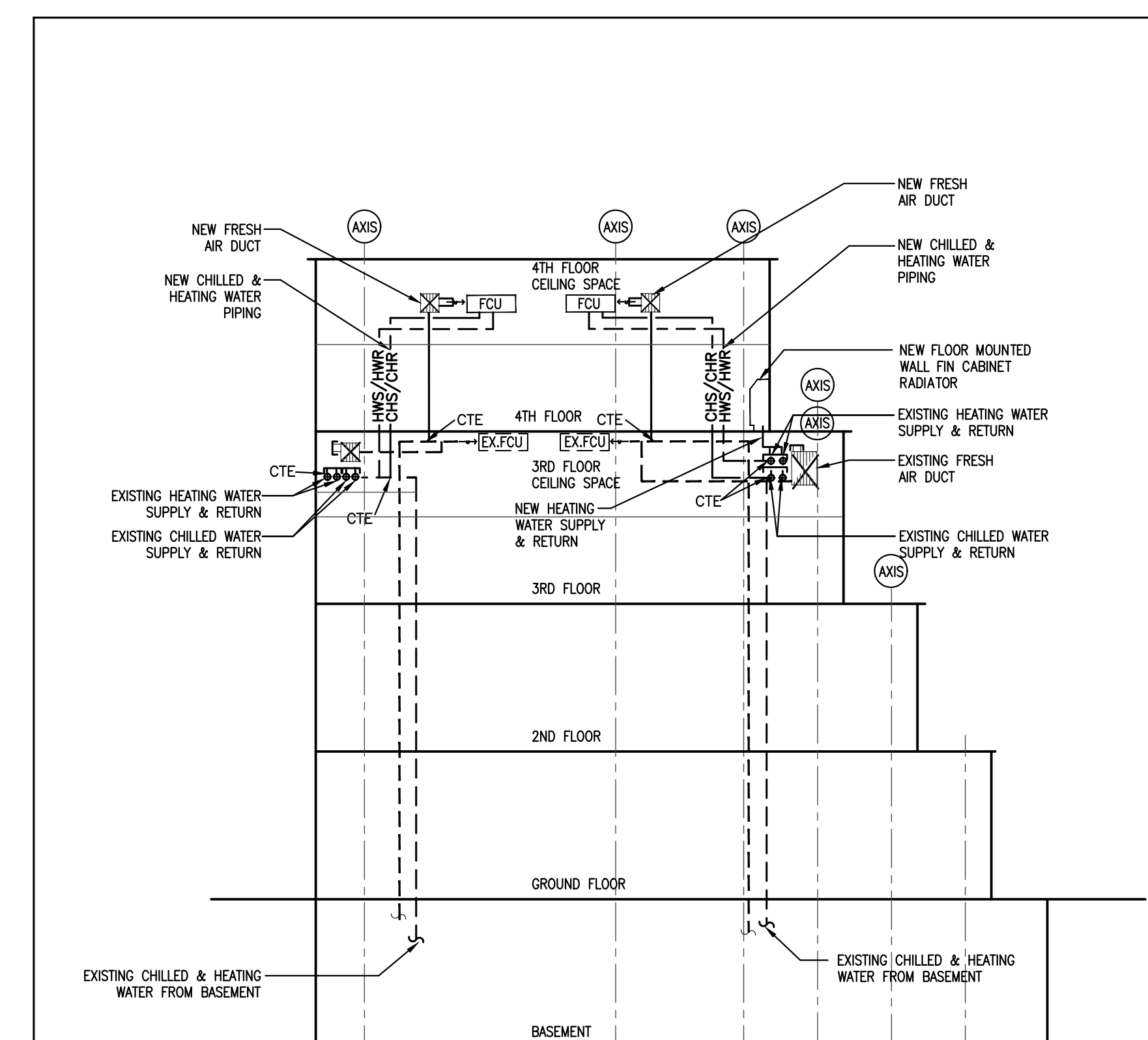
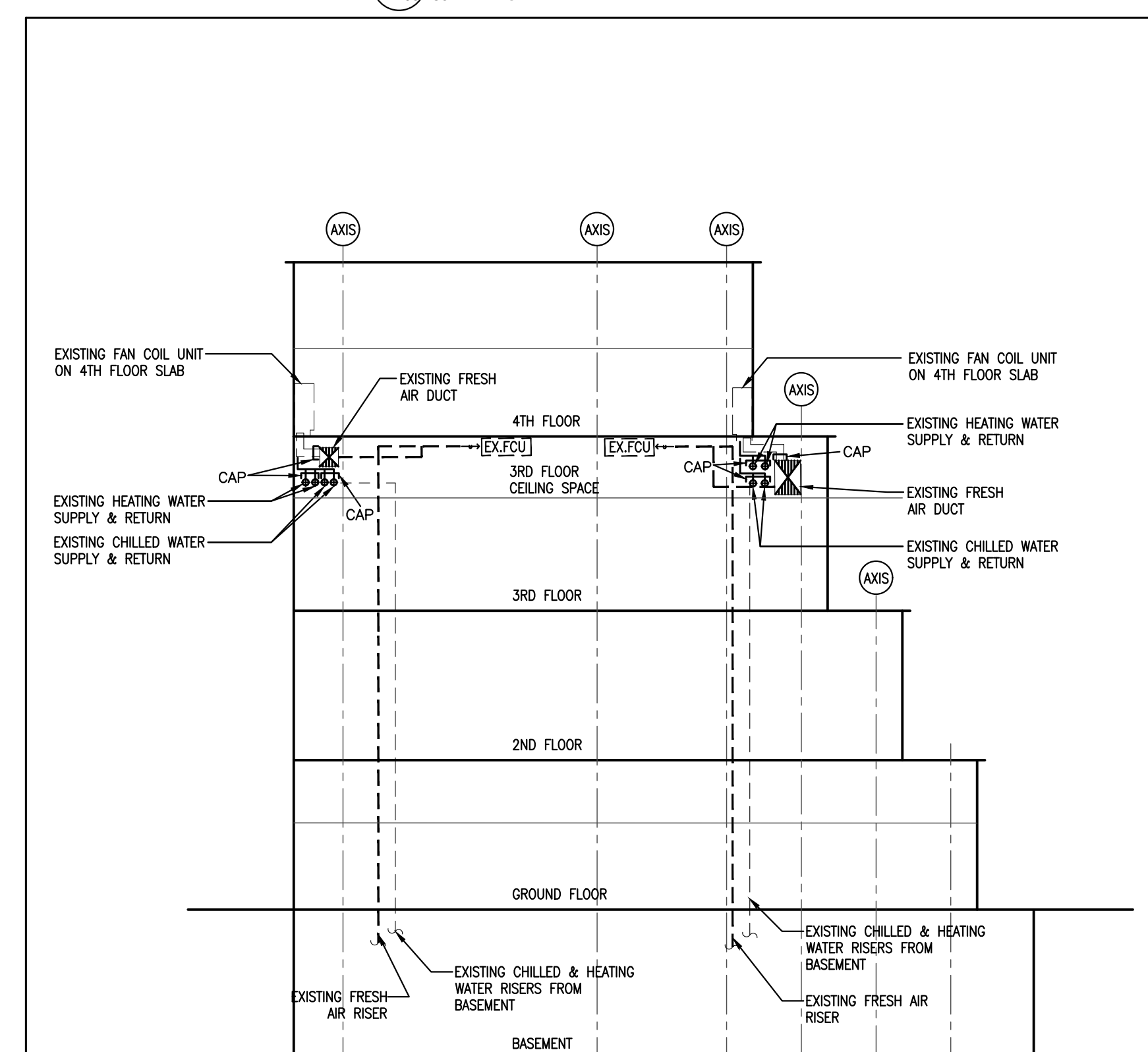
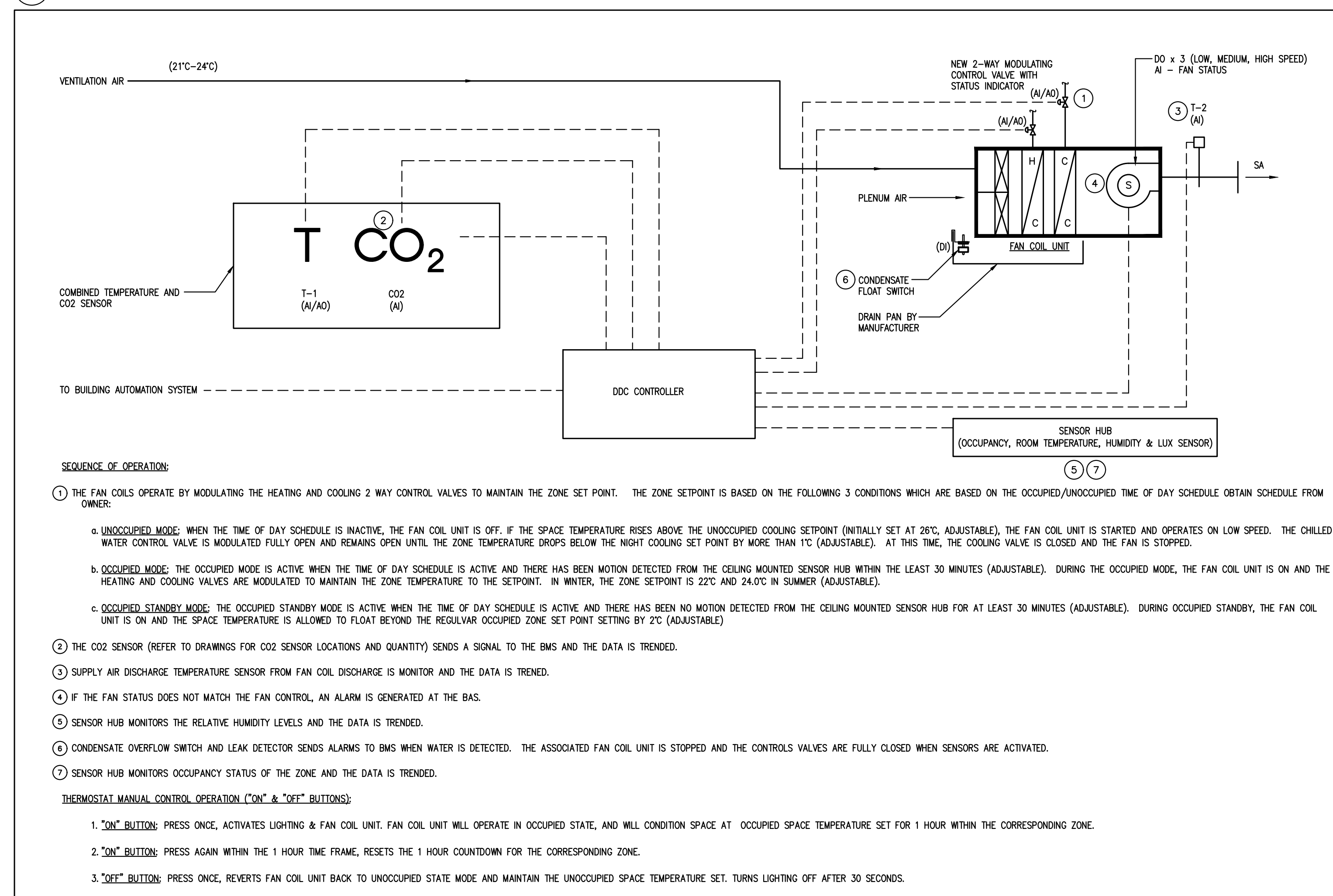
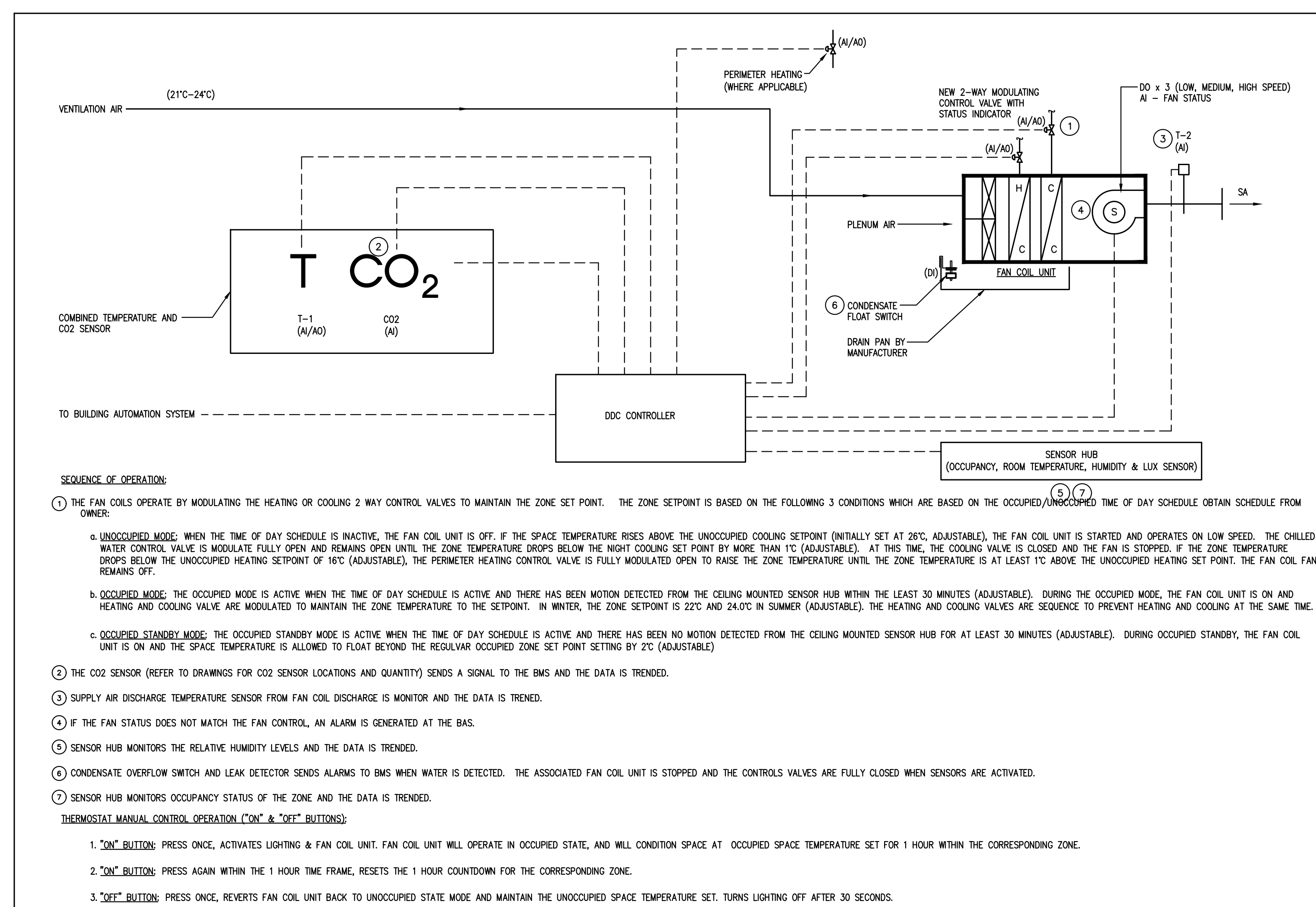
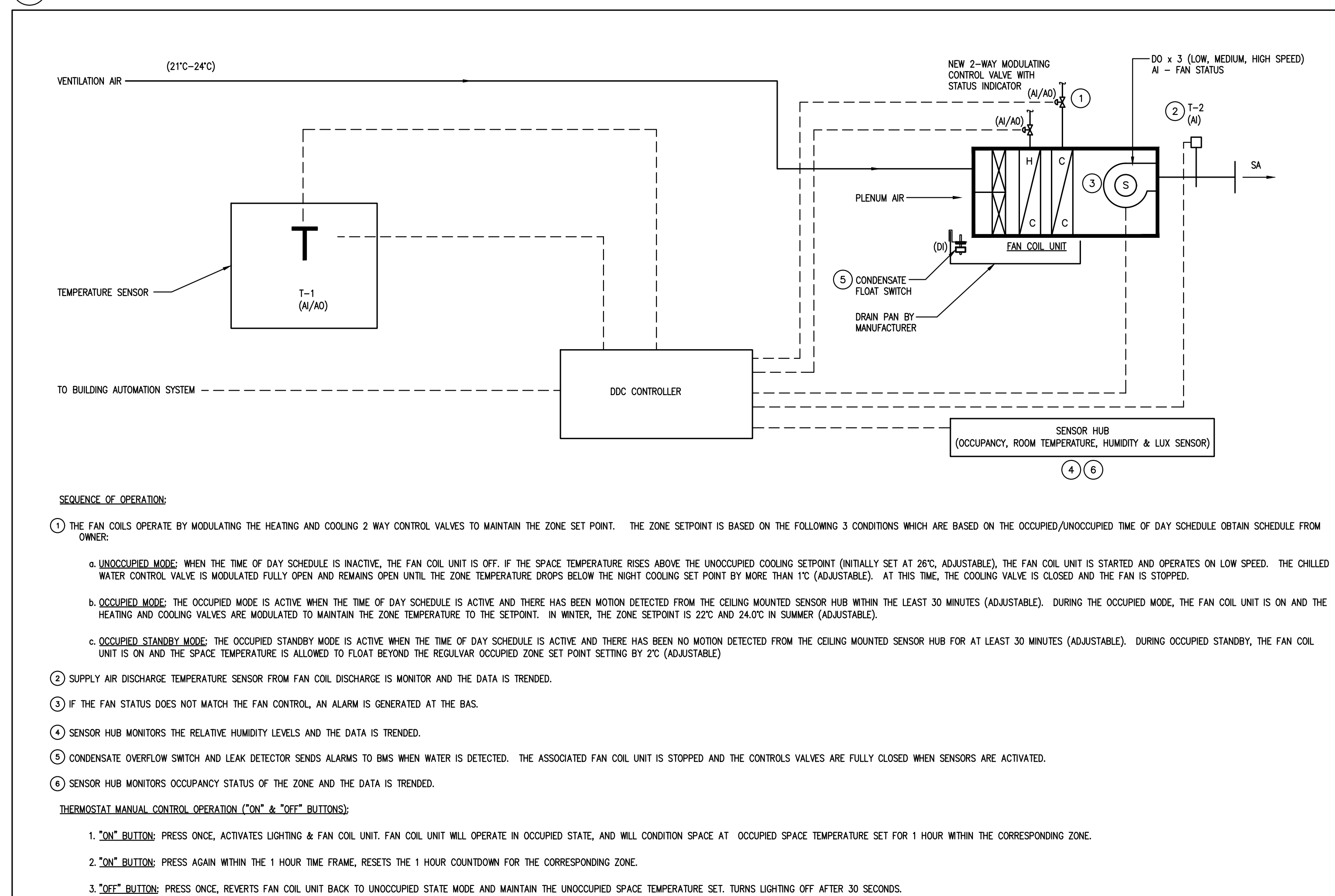
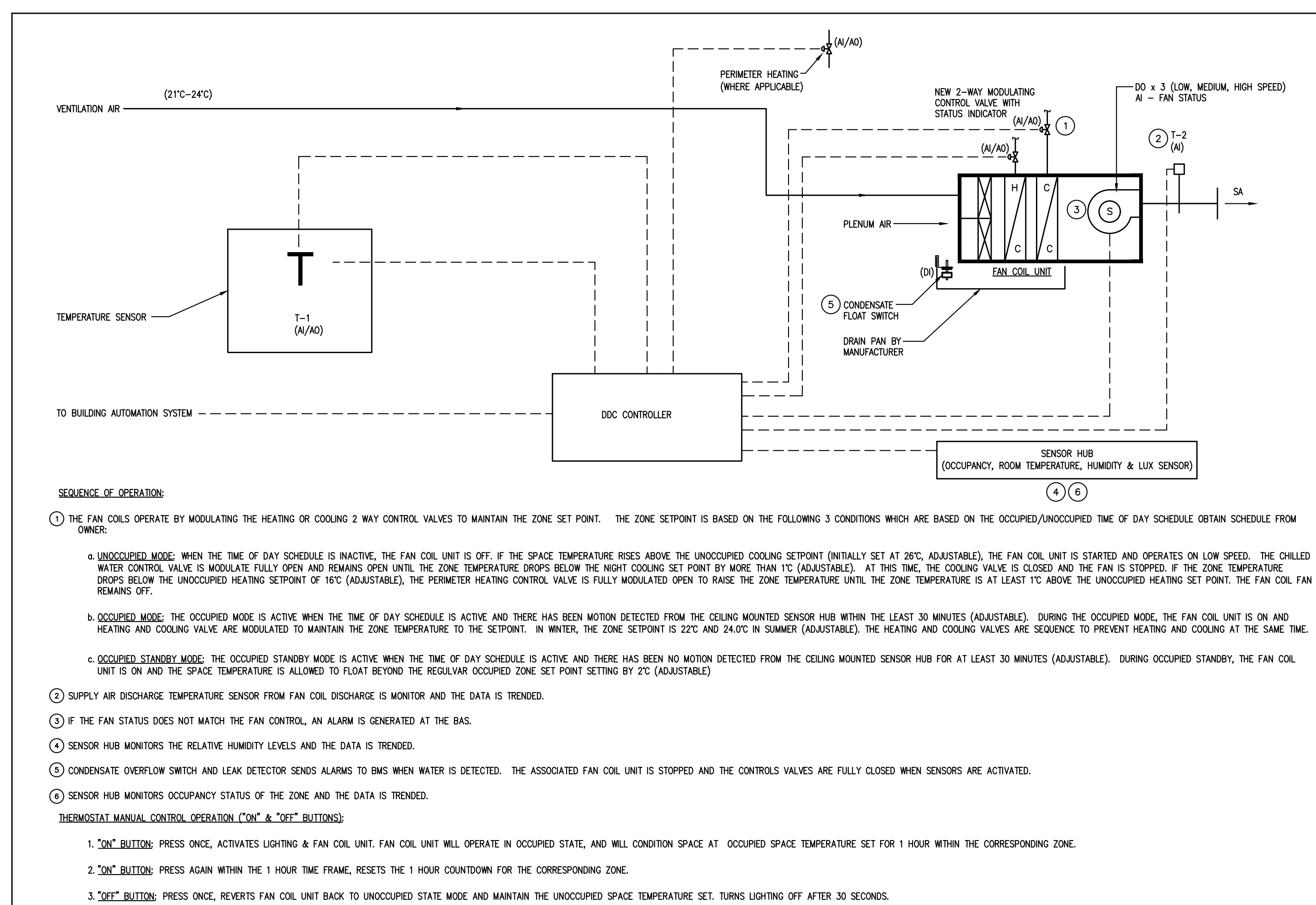
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SHEET TITLE:	

SCHEMATIC DIAGRAM

SHEET NUMBER:
M-102



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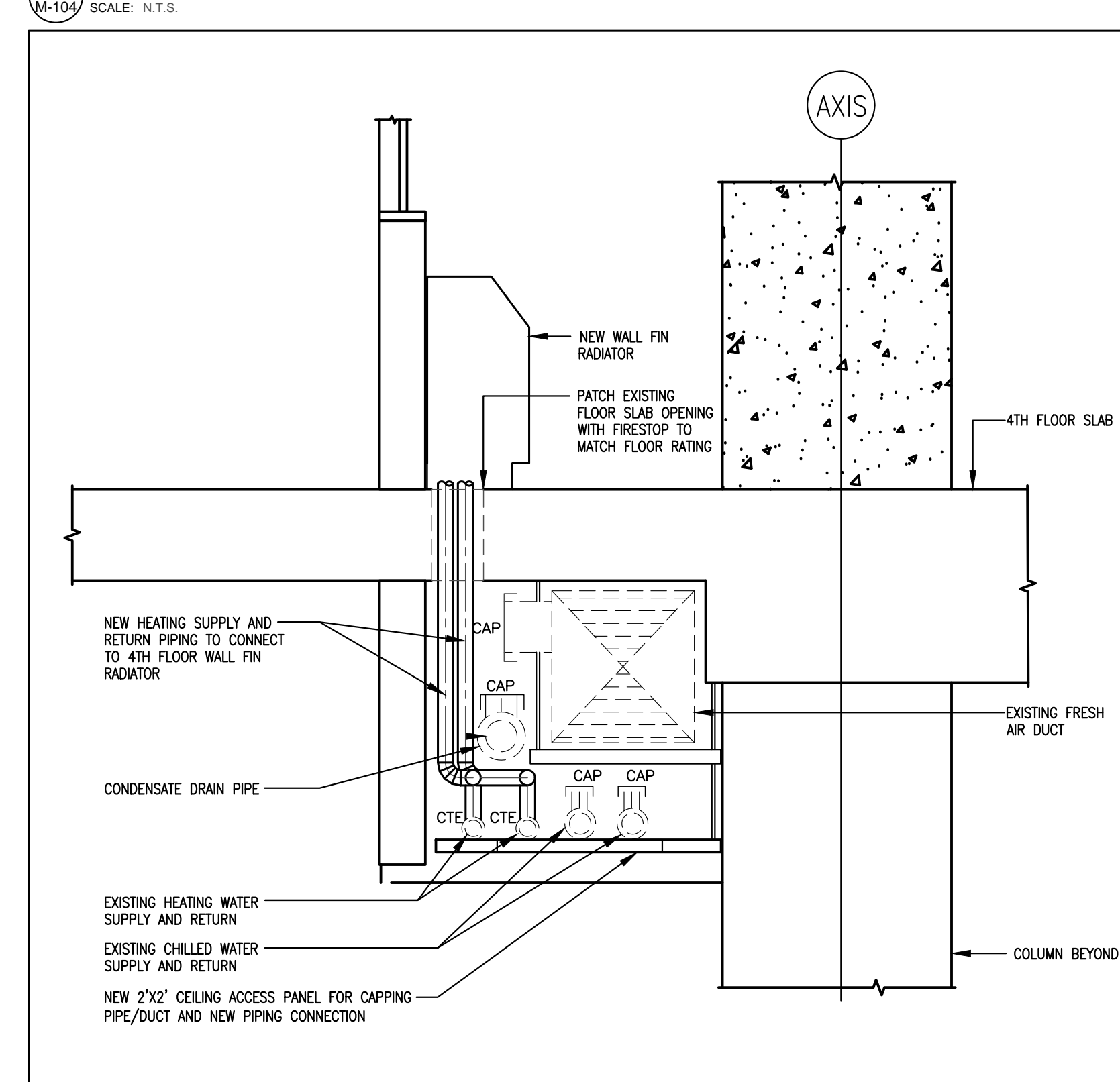
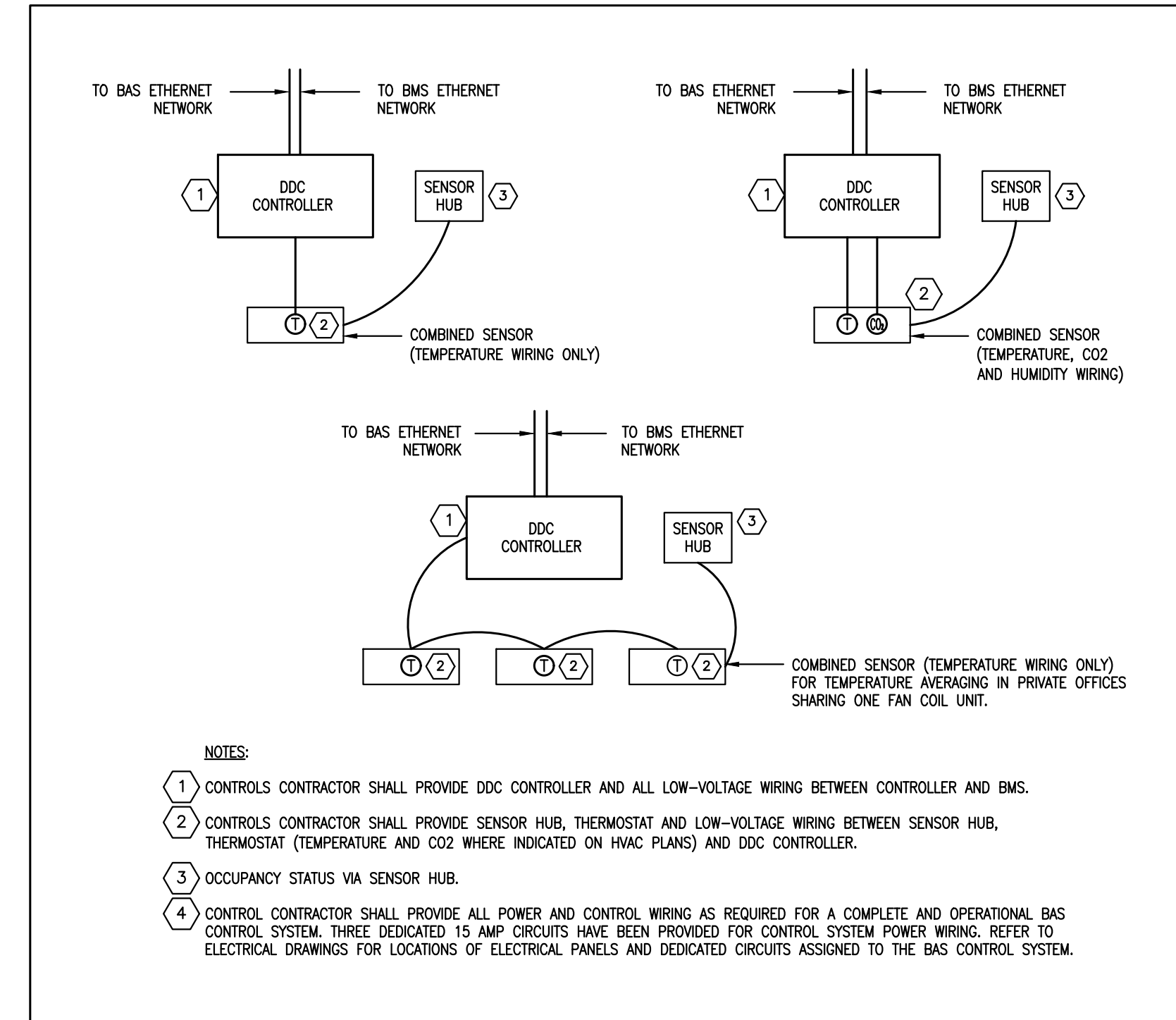
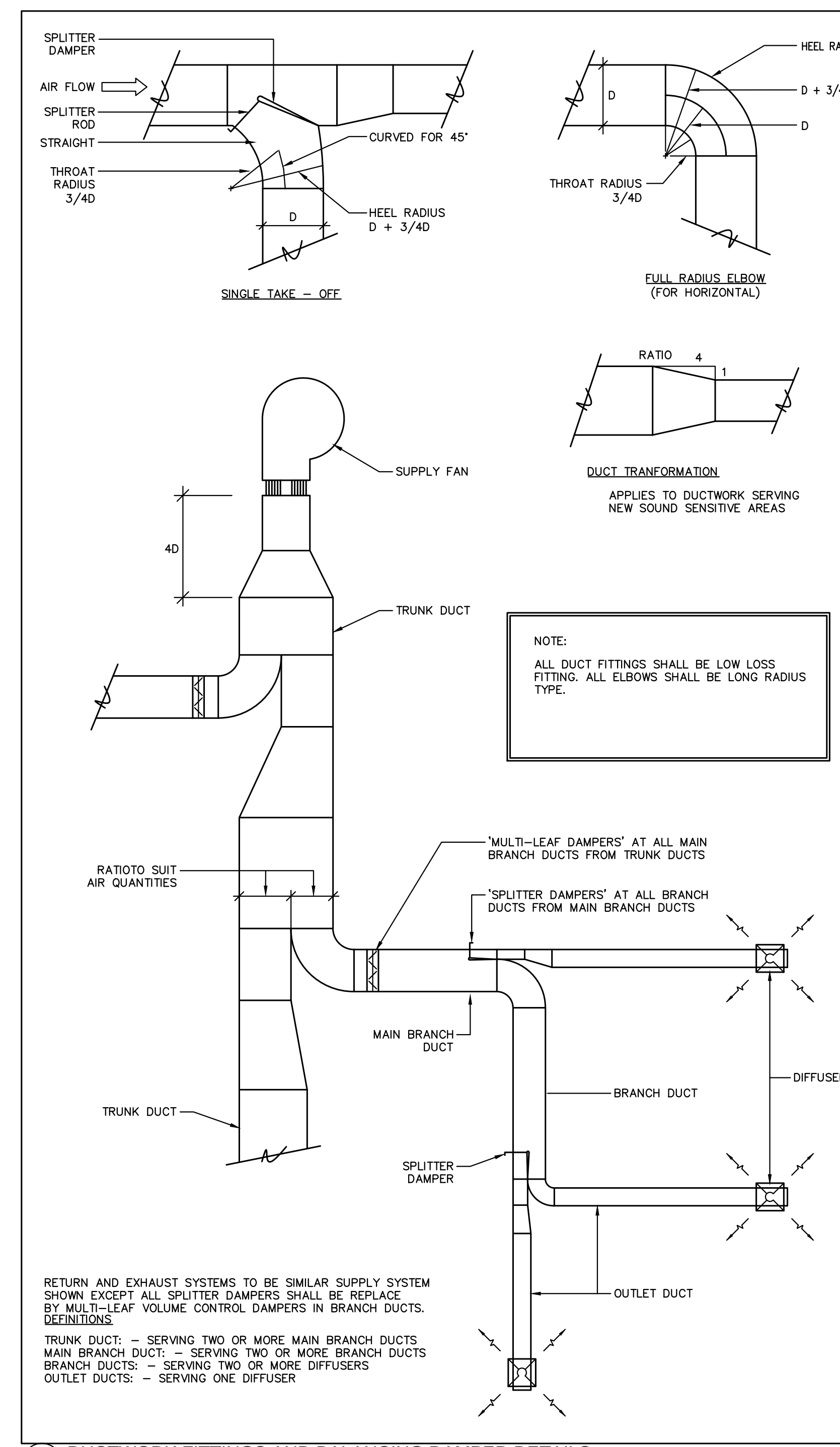
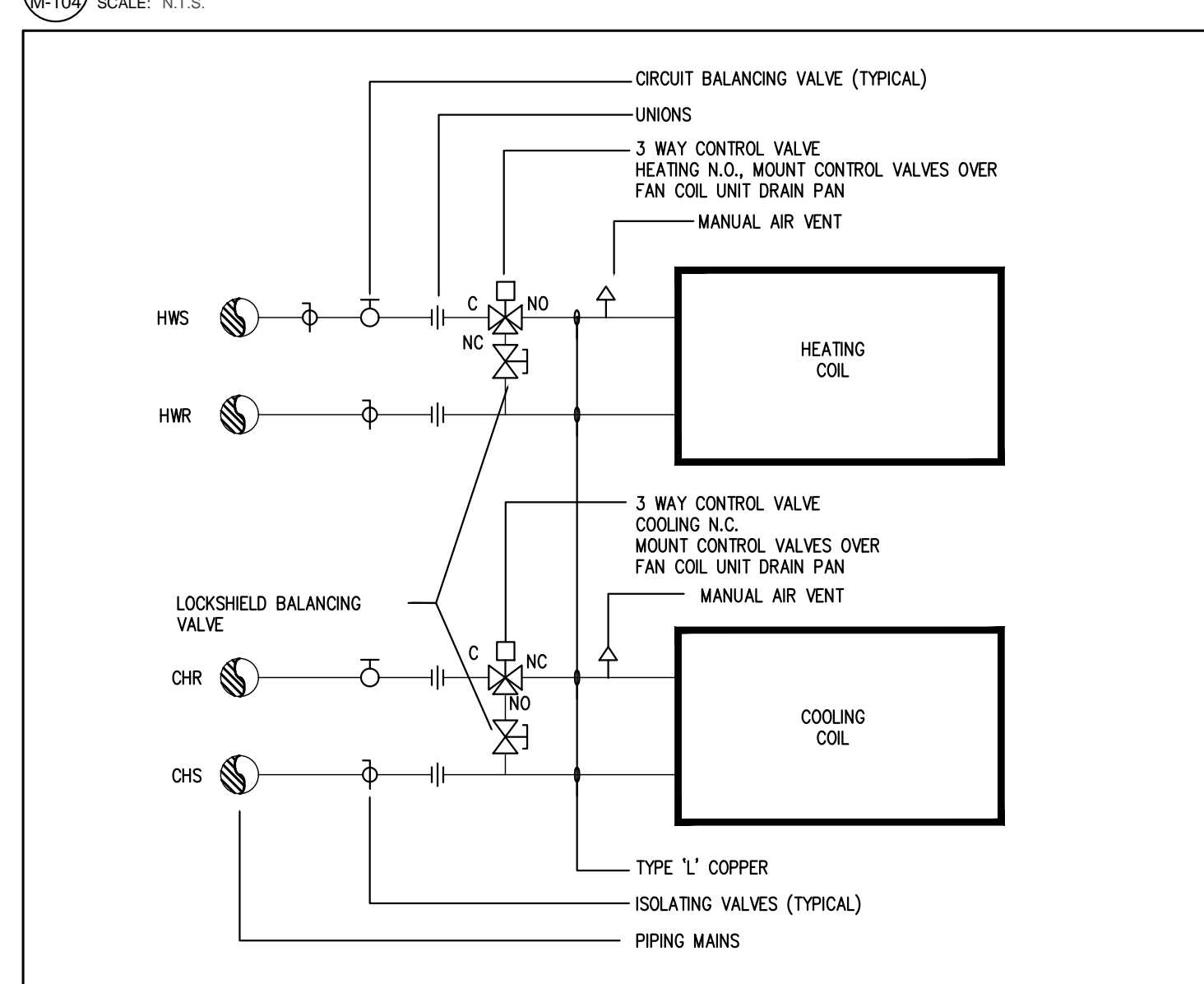
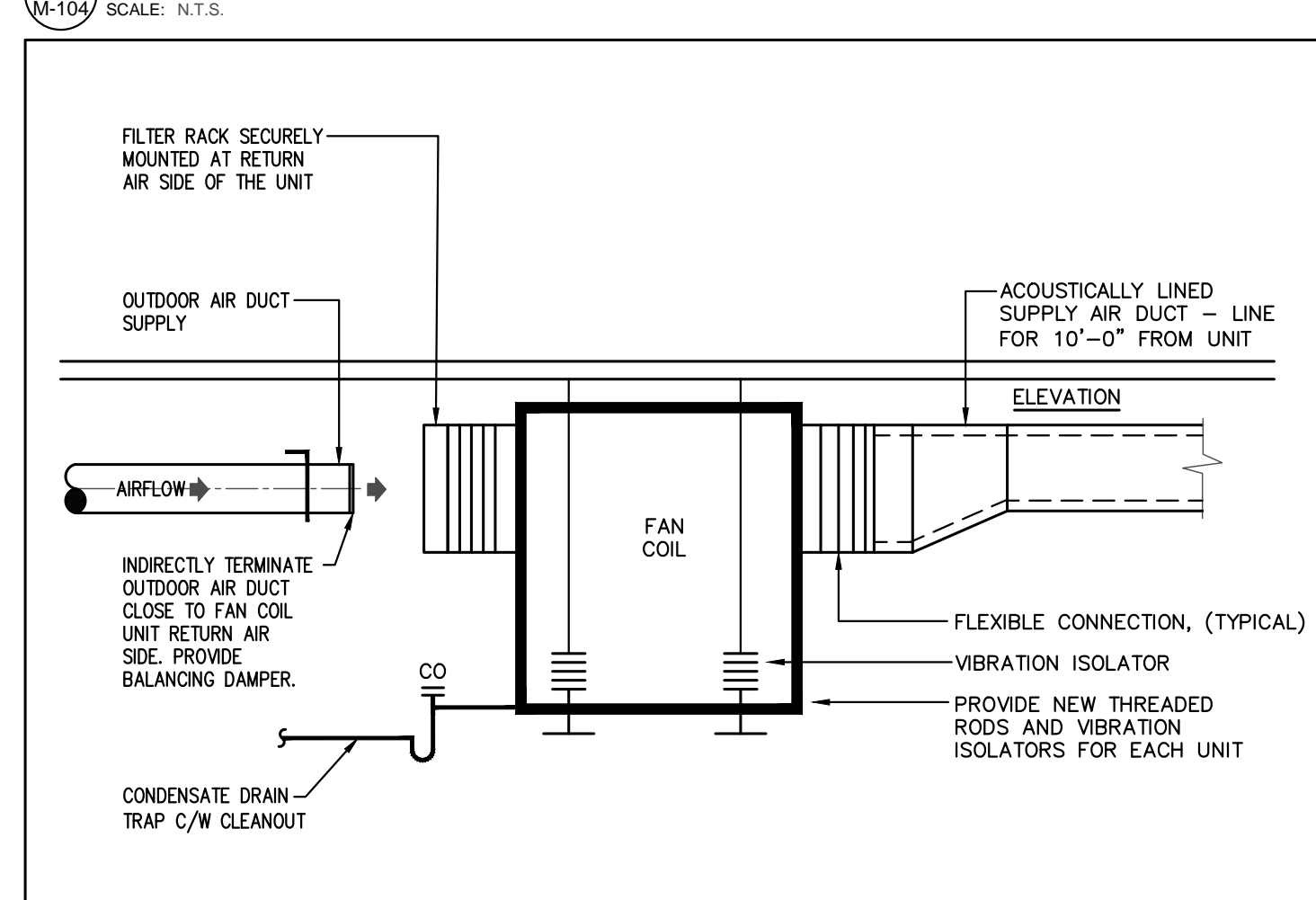
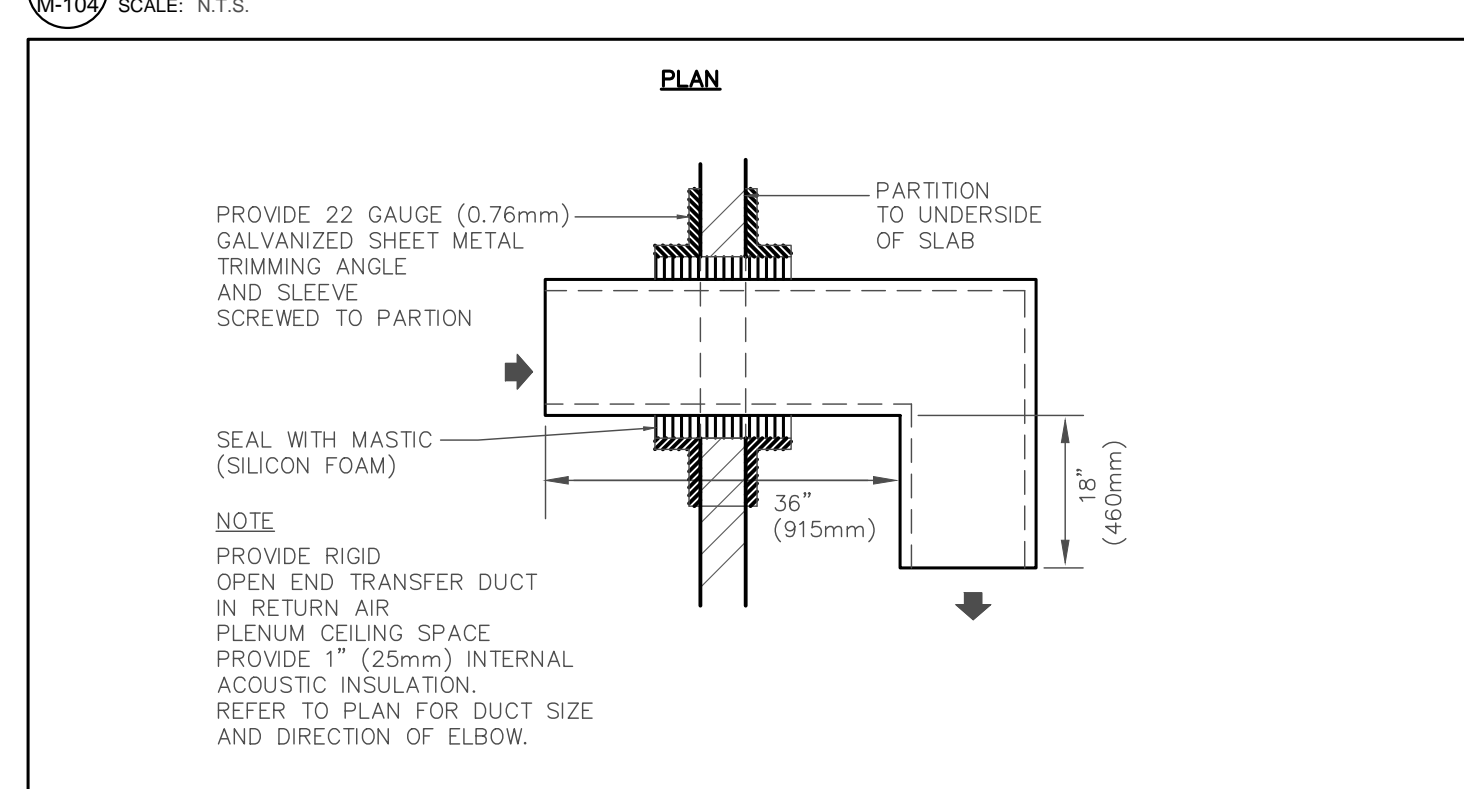
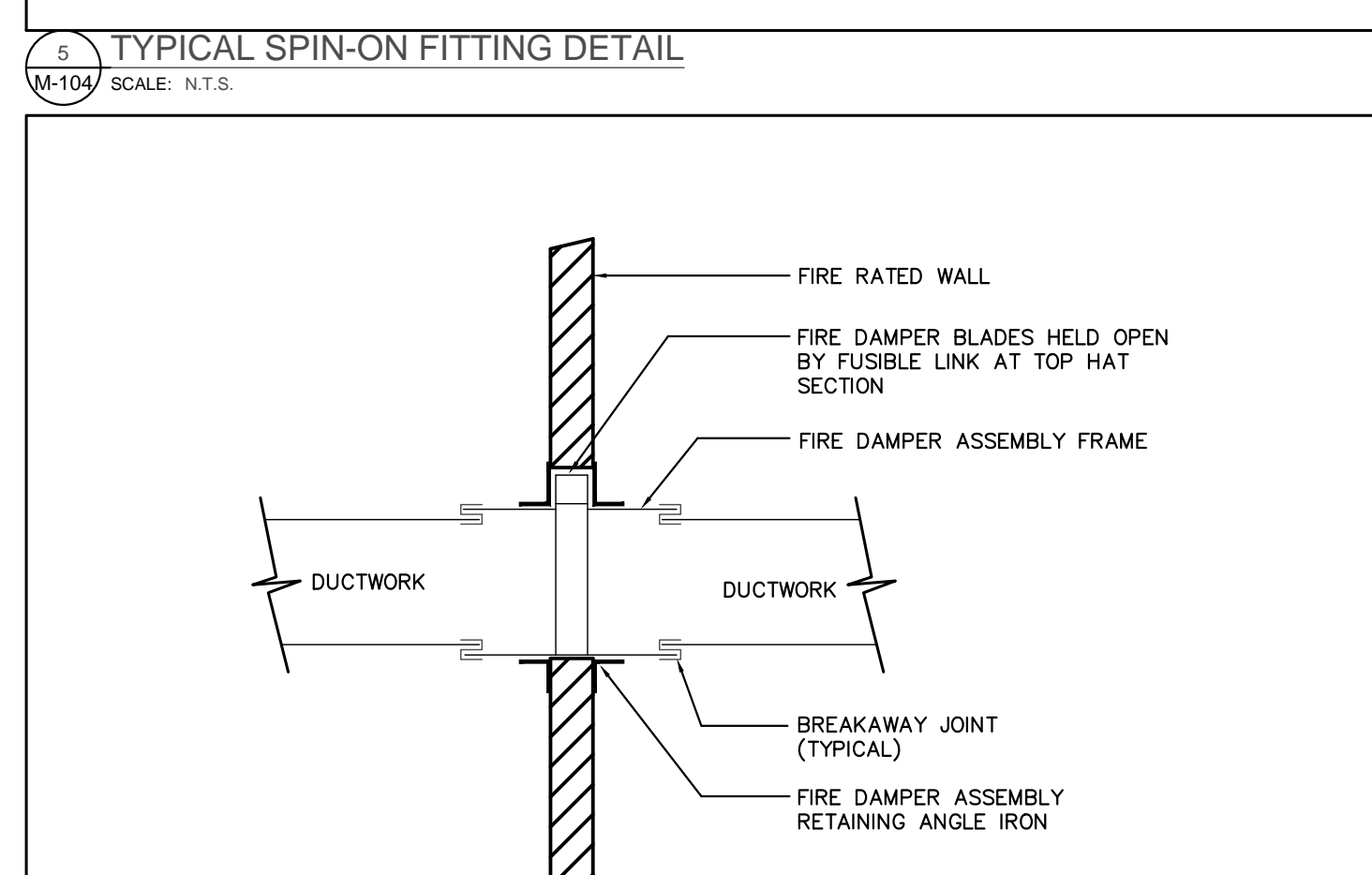
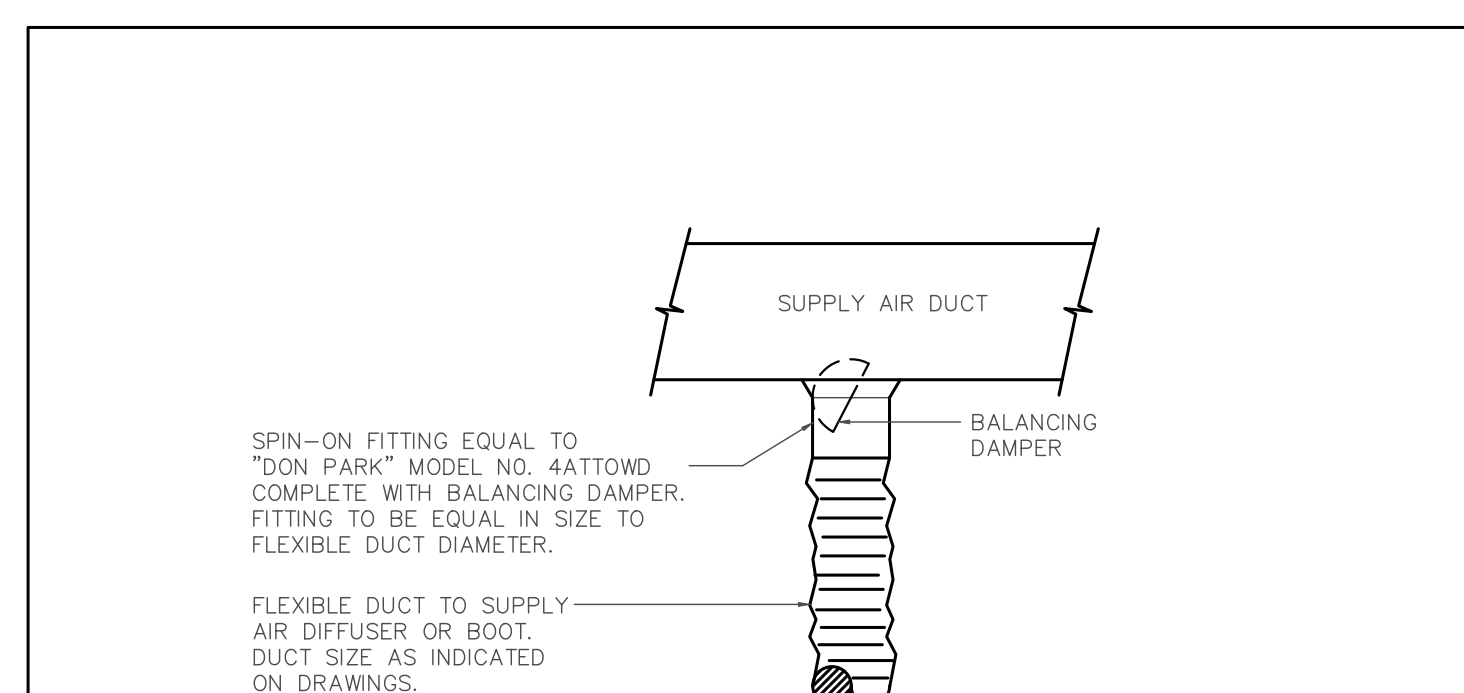
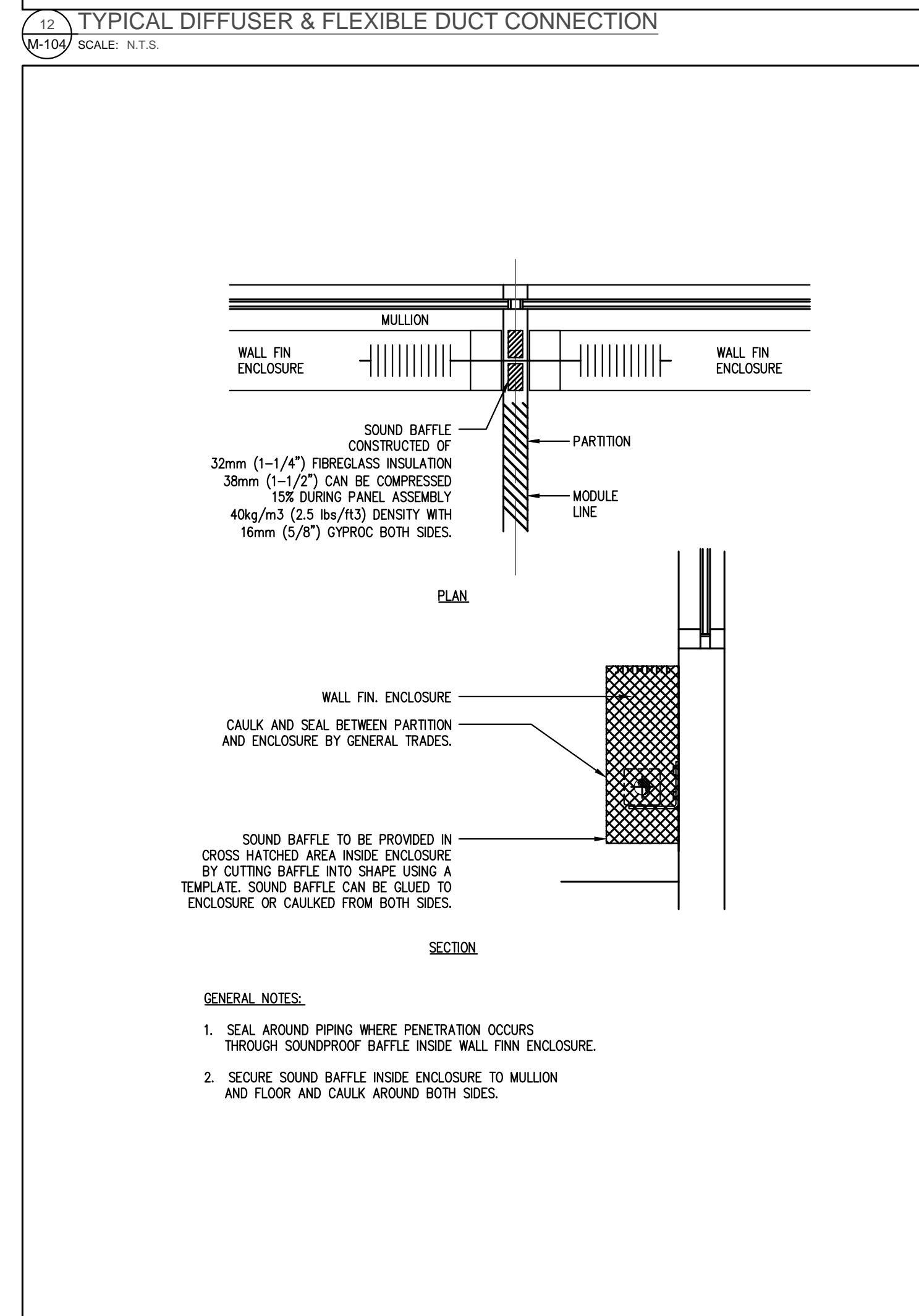
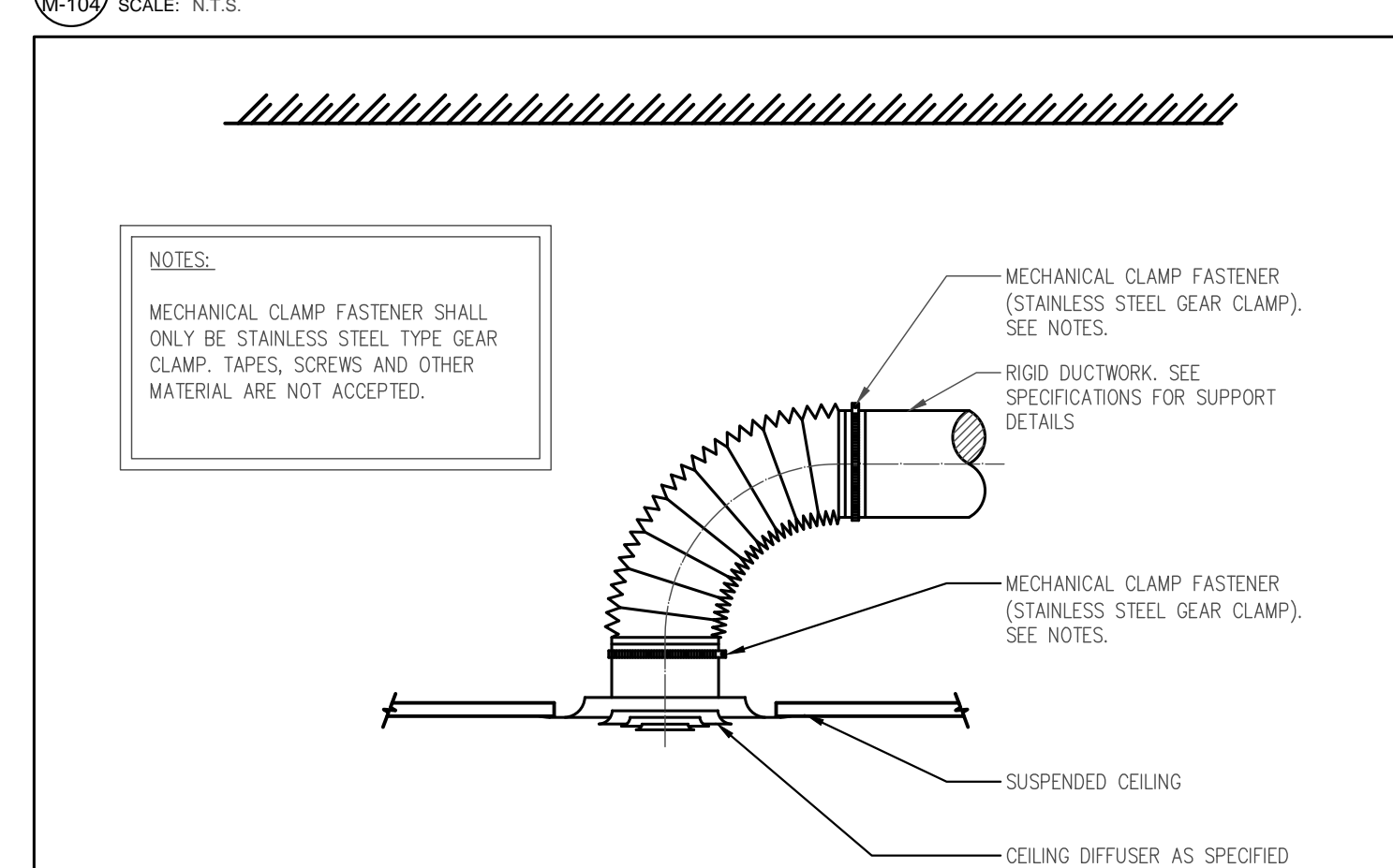
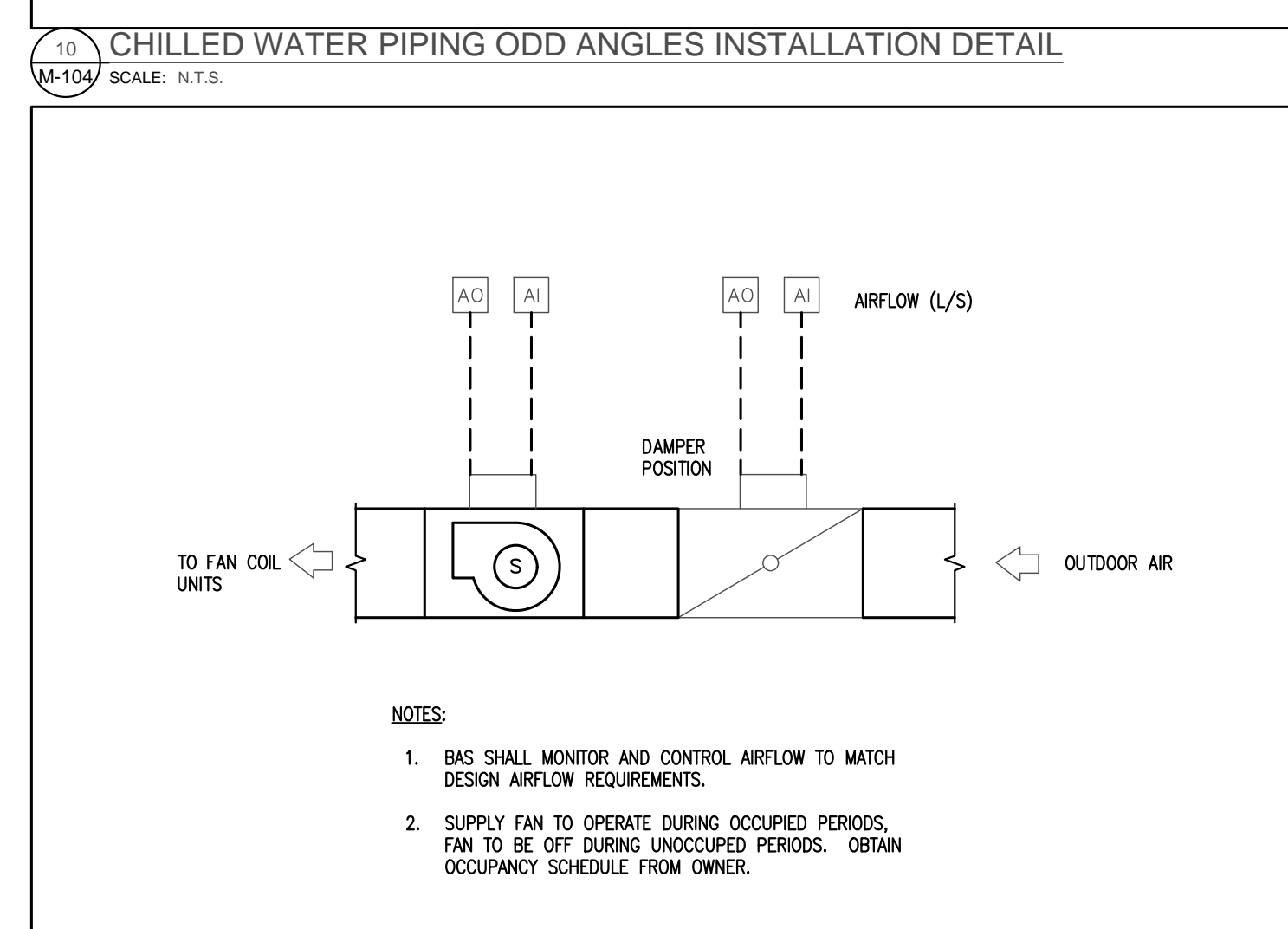
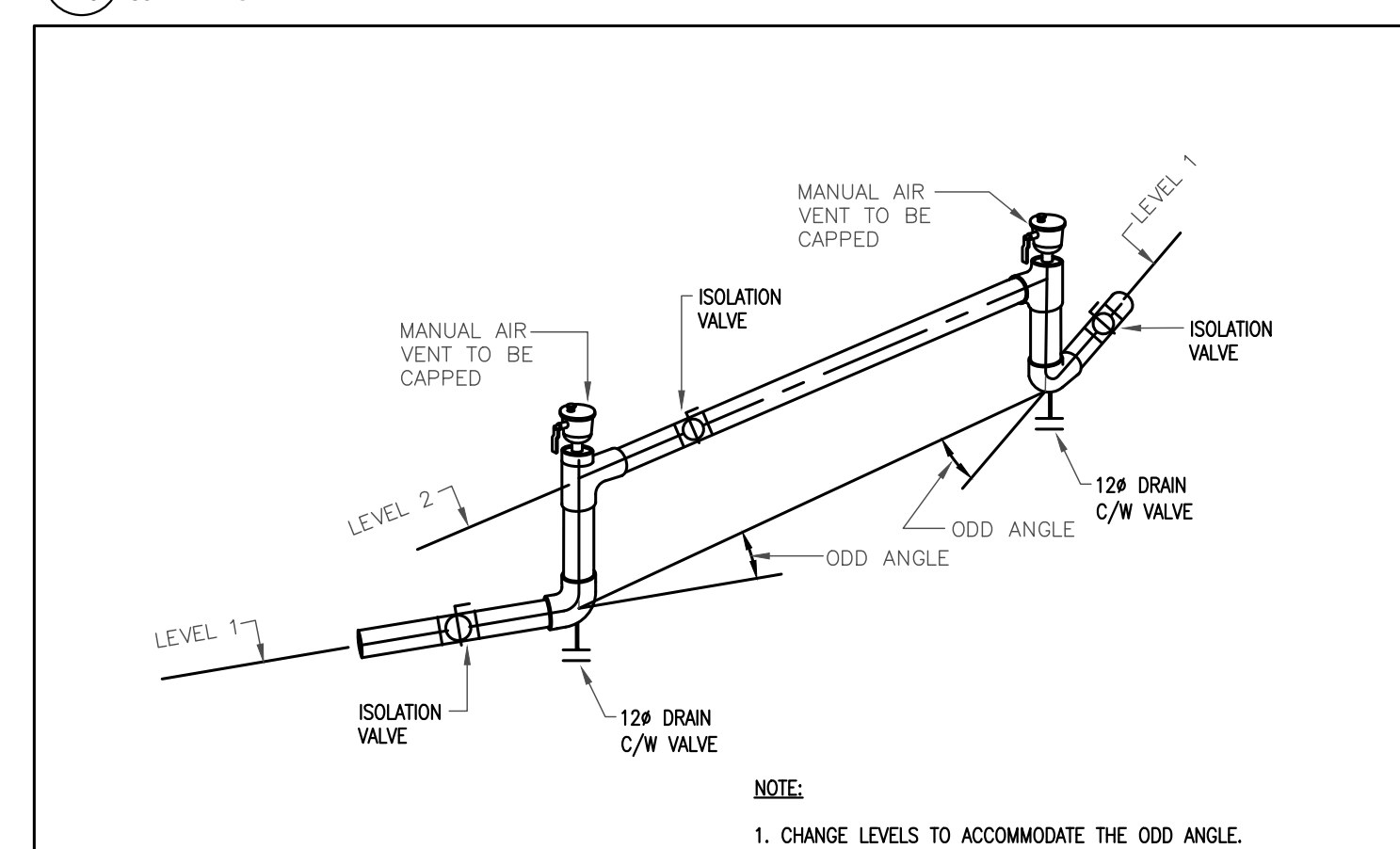
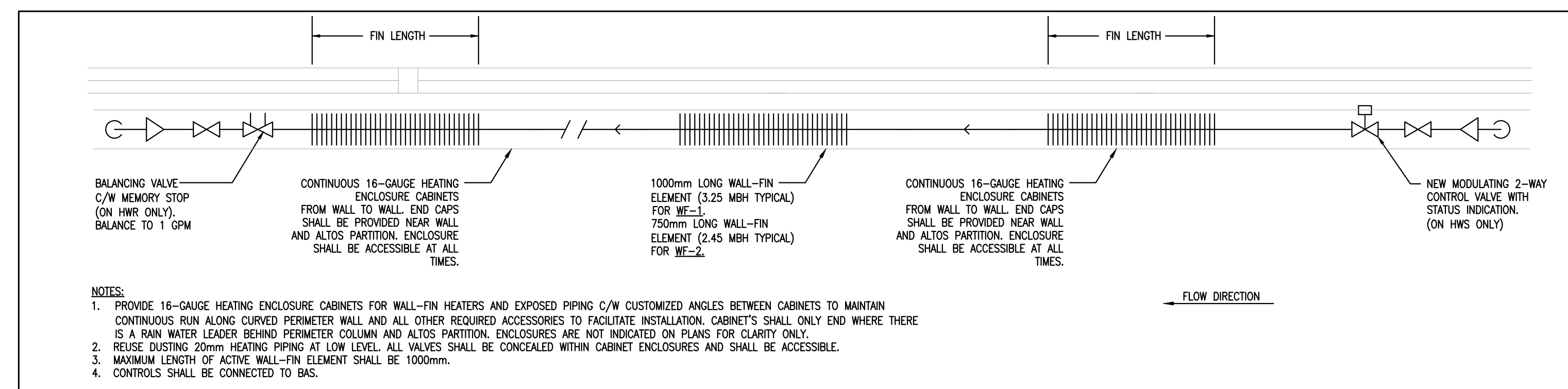
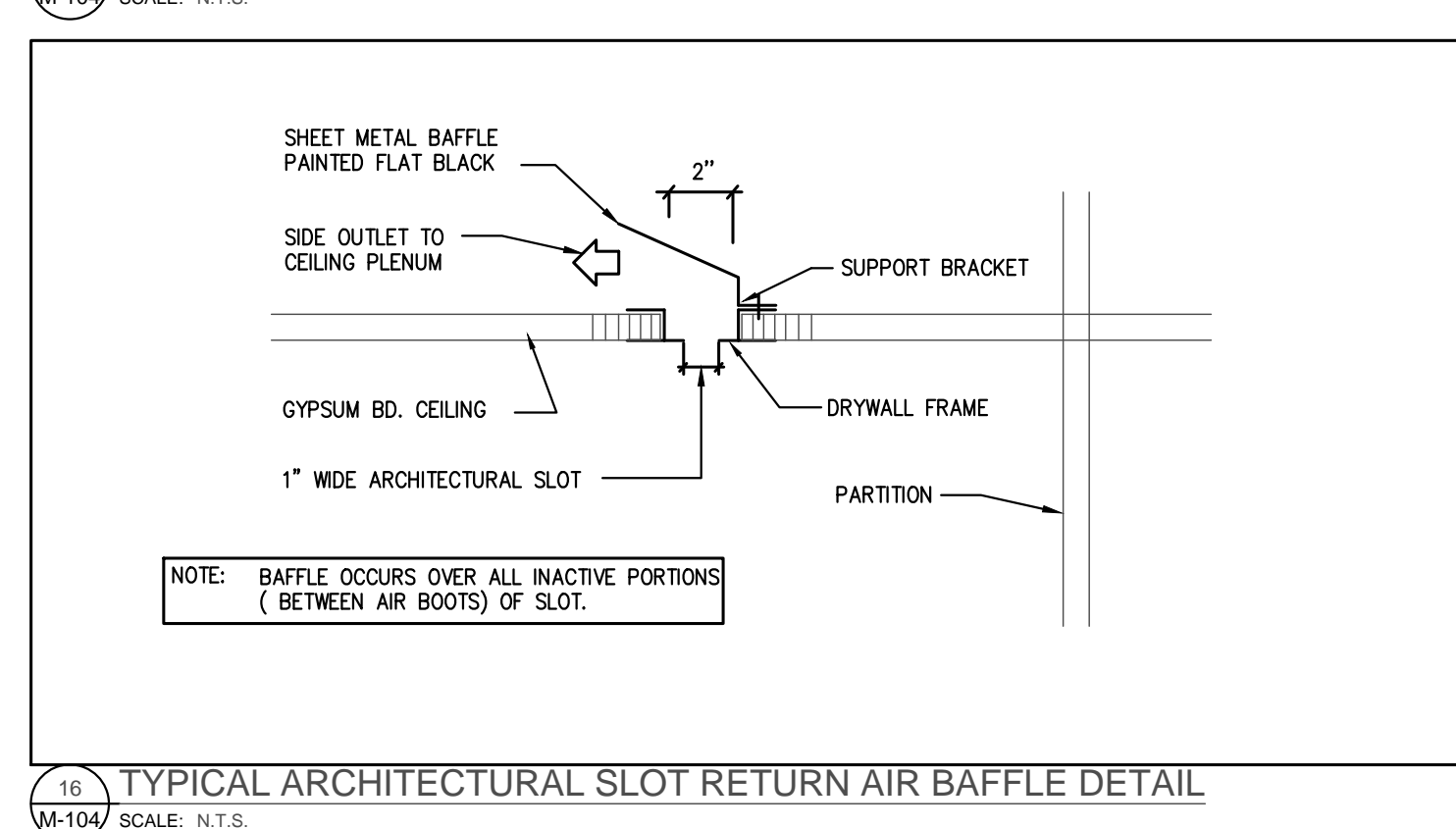
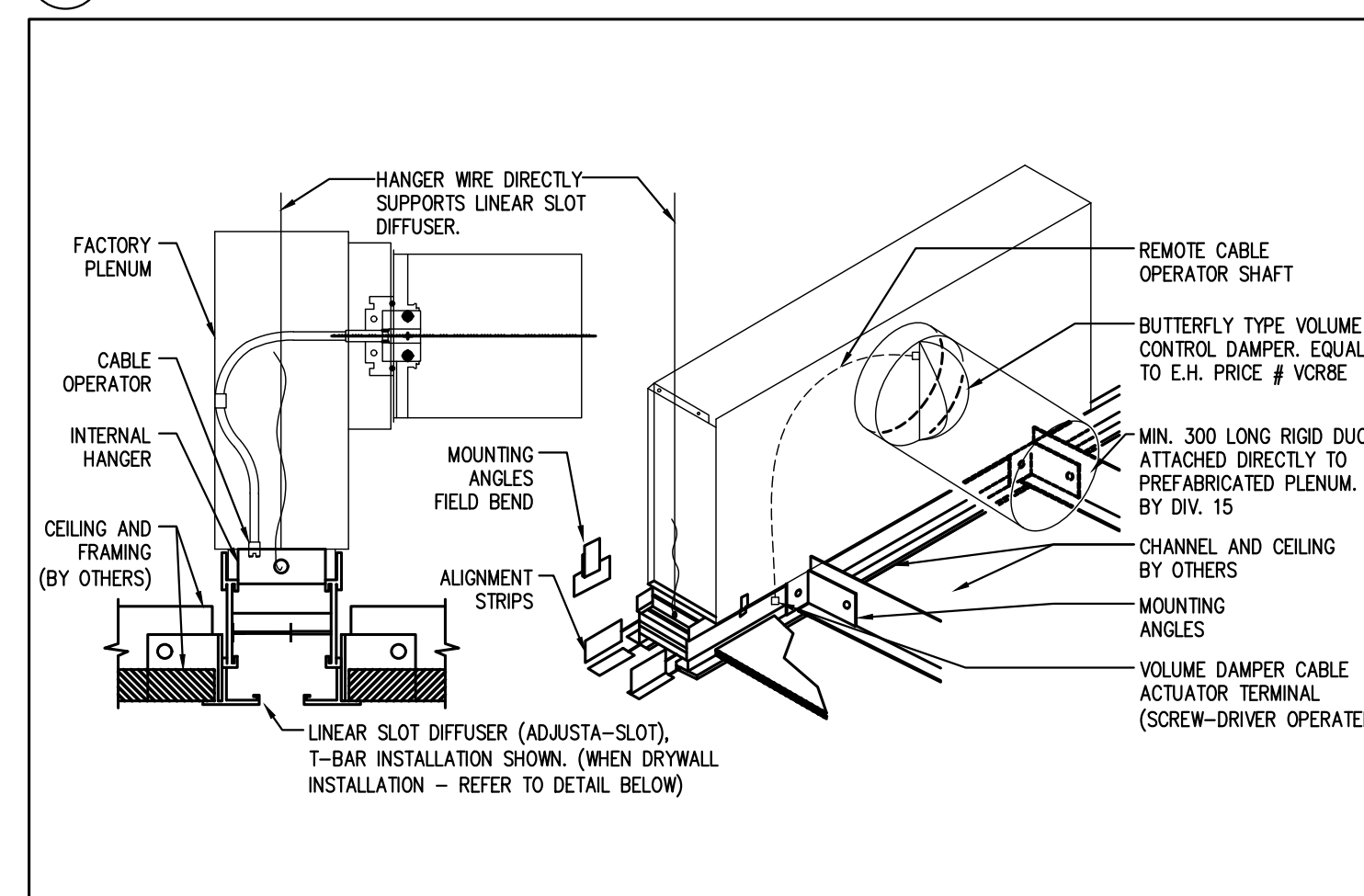
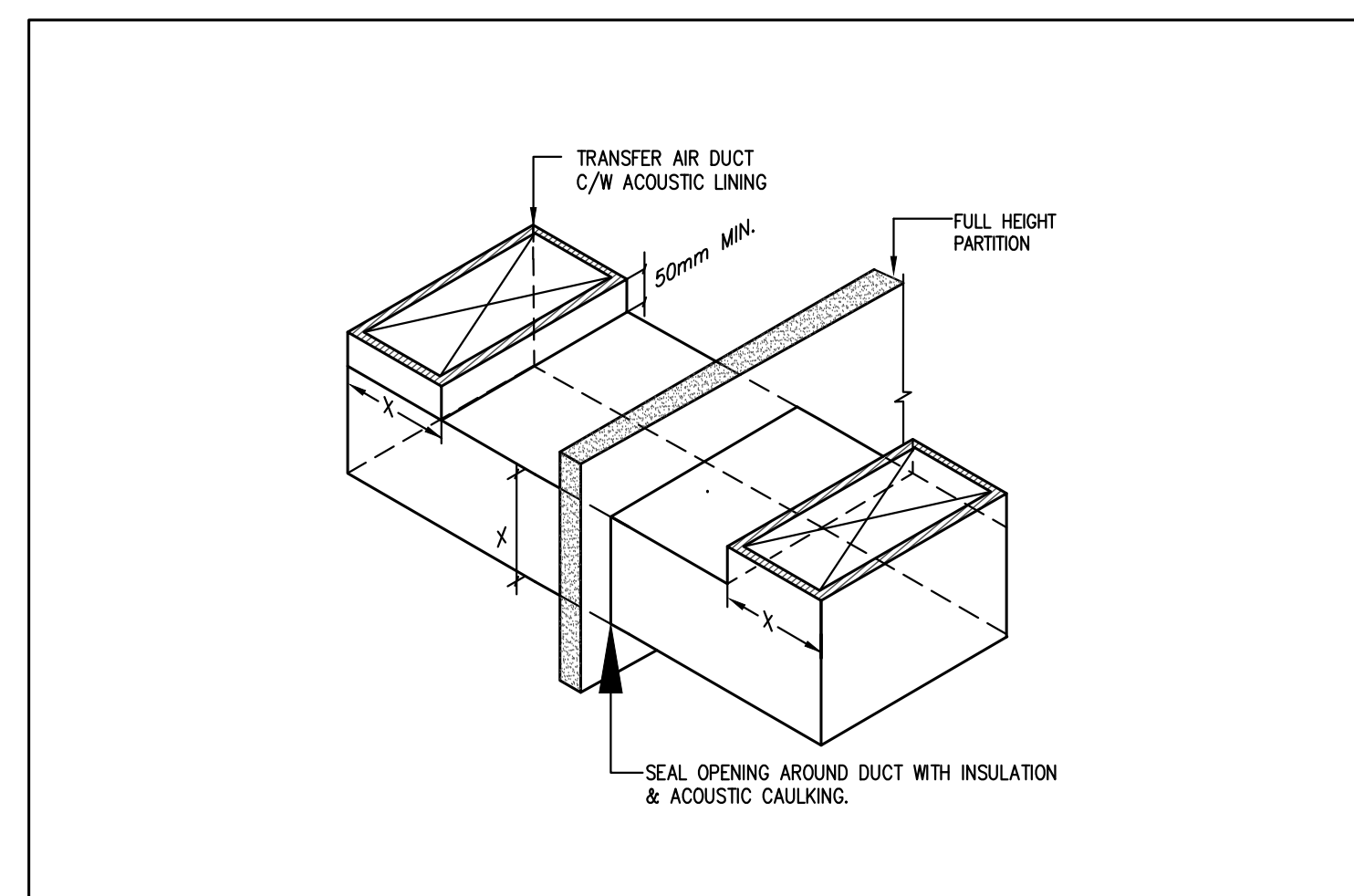
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

SCHEMATIC DIAGRAM

SHEET NUMBER:

NUMBER: **M-103**



SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

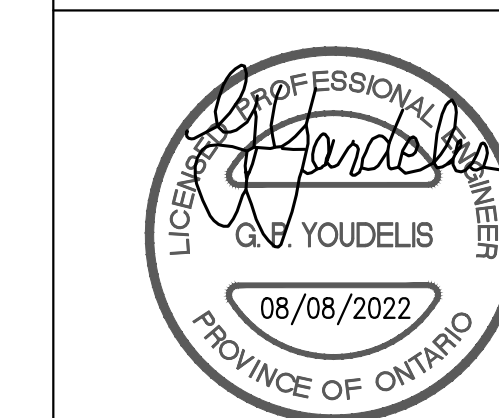
G.Bruce Stratton Architects

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@gpyengineering.com



York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE:	01-01-2022
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PROJECT

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: NOT TO SCALE

DRAWN BY: **S.P.R./G.G.**

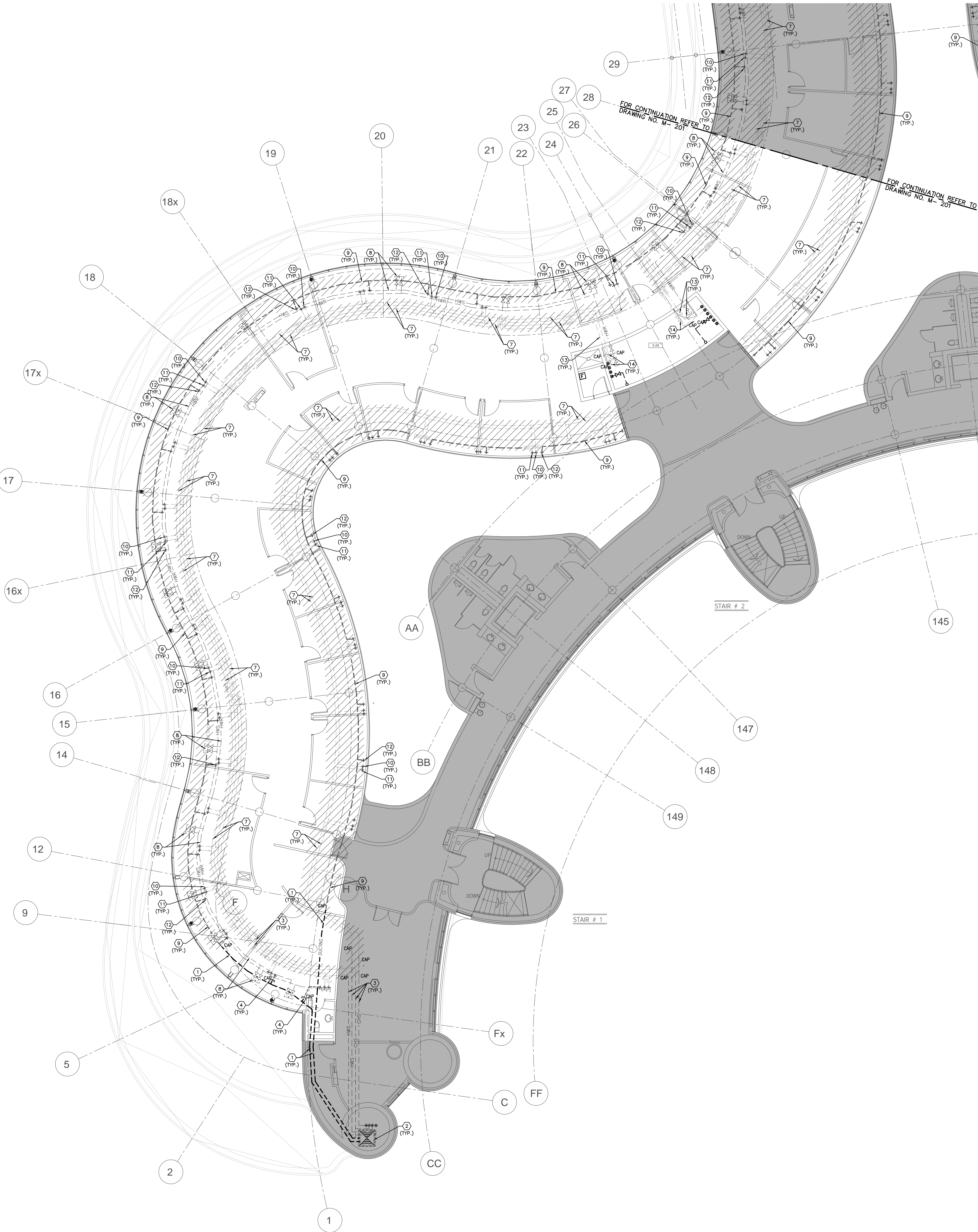
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

MECHANICAL DETAILS

SHEET NUMBER.

M-104



- GENERAL NOTES**
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CARPED, AND MADE GOOD.
 8. CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.
 9. PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE 3RD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK.
 10. CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON 3RD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS DAY.
 11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

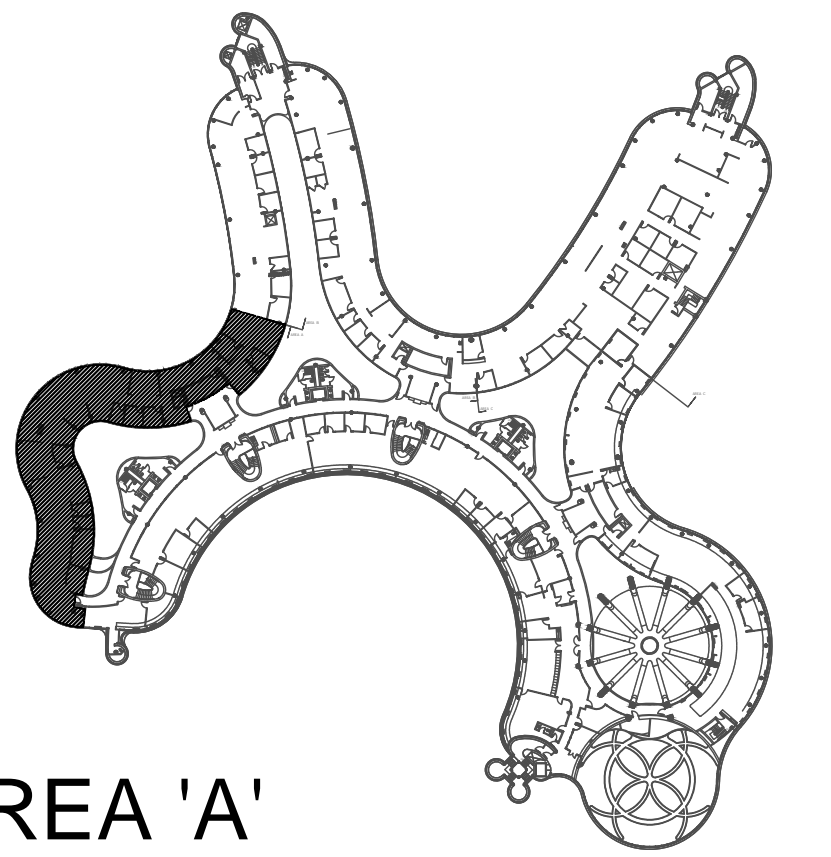
- DRAWING NOTES**
1. EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
 2. EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.
 3. EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
 4. CUT BACK AND CAP EXISTING OUTDOOR AIR SUPPLY DUCT IN CEILING SPACE OF THIS FLOOR. CONTRACTOR TO CHECK/VERIFY EXACT LOCATION OF DUCTWORK ON SITE. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 5. CUT BACK AND CAP EXISTING CHILLED WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 6. CUT BACK AND CAP EXISTING HEATING WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 7. REMOVE EXISTING INACTIVE (NOT IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE THAT IS SERVING THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED PIPE BRANCHES, VALVES, INSULATION, HANGERS & SUPPORTS (ONLY FOR BLOCK 'A', 'B' & 'D').
 8. EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE WITH CARPED & VALVE BRANCH PIPING THAT WILL SERVE THE NEW WALL FAN RAIS ON THE 4TH FLOOR TO REMAIN AS IS. (TYPICAL)
 9. REMOVE EXISTING ABANDONED (NOT IN USE) OUT DOOR AIR DUCTWORK IN CEILING SPACE THAT IS SERVING THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED DUCT SUPPORTS & HANGERS. (ONLY FOR BLOCK 'A', 'B' & 'D').
 10. REMOVE EXISTING CHILLED WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR-MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 11. REMOVE EXISTING HEATING WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR-MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 12. REMOVE EXISTING OUTDOOR AIR SUPPLY BRANCH DUCT IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR-MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 13. DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING AS SHOWN.
 14. DISCONNECT AND CAP EXISTING CHILLED WATER RETURN PIPING AS SHOWN.

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CARPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

EXISTING OUTDOOR AIR INSPECTION

MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CARPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



AREA 'A'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

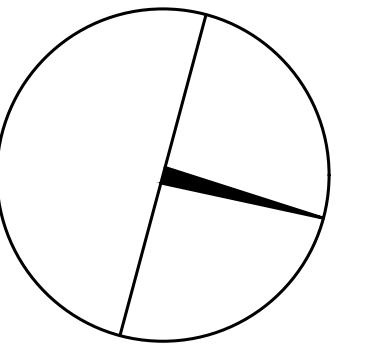
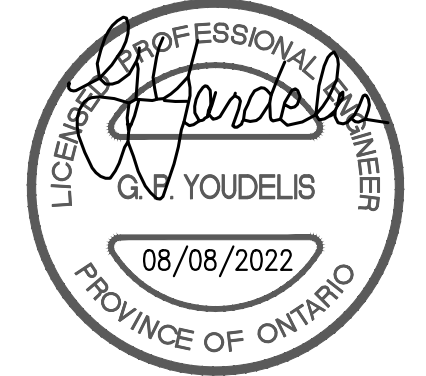
G. Bruce Stratton Architects

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Fax: 866 853 3732
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

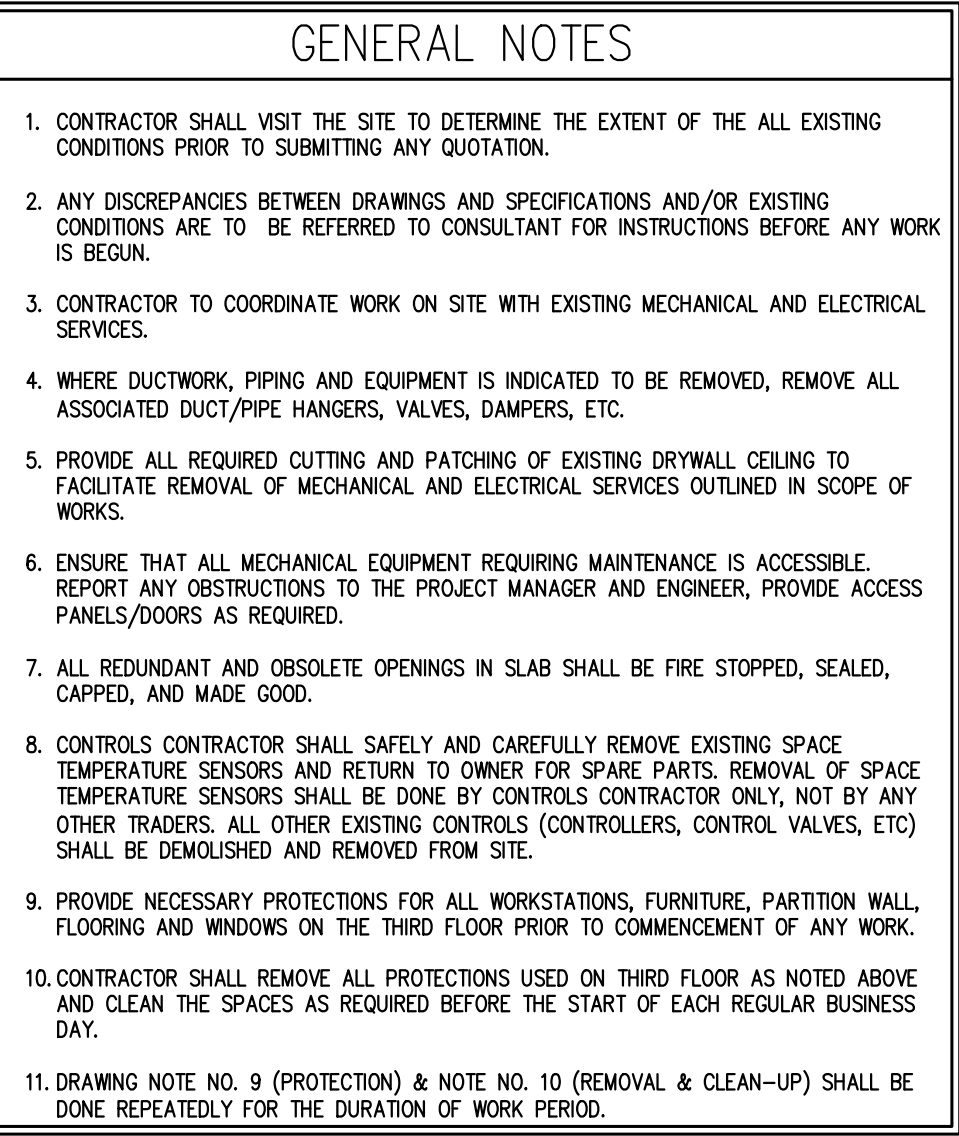
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**PARTIAL 3RD FLOOR CEILING
SPACE AREA 'A'
MECHANICAL DEMOLITION
PLAN**

SHEET NUMBER:

M-200



DRAWING NOTES

- ① EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- ② EXISTING OUTDOOR AIR SUPPLY DUCT RISE TO ROOFMAN.
- ③ EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING/COOLING WATER SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- ④ CUT BACK AND CAP EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR, CONTRACTOR TO PLACE/VERIFY EXACT LOCATION OF DUCTWORK ON SITE. PROVIDE FLOOR-MOUNTED FAN COILS TO BE DEMOLISHED ON 4TH FLOOR. PROVIDE FLOOR-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- ⑤ CUT BACK AND CAP EXISTING CHILLED WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FLOOR-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- ⑥ CUT BACK AND CAP EXISTING HEATING WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FLOOR-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- ⑦ REMOVE EXISTING INACTIVE (NOT IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND EXISTING INACTIVE (NOT IN USE) MAIN CHILLED WATER IN CEILING SPACE. WHAT IS SERVICE THE FLOOR-MOUNTED FAN COILS TO BE DEMOLISHED ON THE 4TH FLOOR. PROVIDE FLOOR-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL) (ONLY FOR BLOCK "A", "B" & "D")
- ⑧ EXISTING NEWLY INSTALLED MAIN HEATING/COOLING WATER SUPPLY WITH CARPETS & FLOORING TO REMAIN. MAIN SERVING THE NEW WALL MOUNTED FAN PADS ON THE 4TH FLOOR TO REMAIN AS IS. (TYPICAL)
- ⑨ REMOVE EXISTING ABANDONED (NOT IN USE) OUT DOOR AIR DUCTWORK IN CEILING SPACE THAT IS SERVING THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED DUCT SUPPORTS & HANGERS. (ONLY FOR BLOCK "A", "B" & "D")
- ⑩ REMOVE EXISTING ASSOCIATED WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR-MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FLOOR-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- ⑪ REMOVE EXISTING HEATING WATER SUPPLY & RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR-MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FLOOR-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- ⑫ REMOVE EXISTING OUTDOOR AIR SUPPLY BRANCH DUCT IN CEILING SPACE OF THIS FLOOR. PROVIDE FLOOR-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- ⑬ DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING AS SHOWN.
- ⑭ DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING AS SHOWN.

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

EXISTING OUTDOOR AIR INSPECTION

1 MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.

1



THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

G. Bruce Stratton Architects

217 Richmond Street West, Suite 300
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Associates Engineering Inc.			
900 Centurian Drive Unit C Markham, Ontario L3R 8C5		Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com	



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

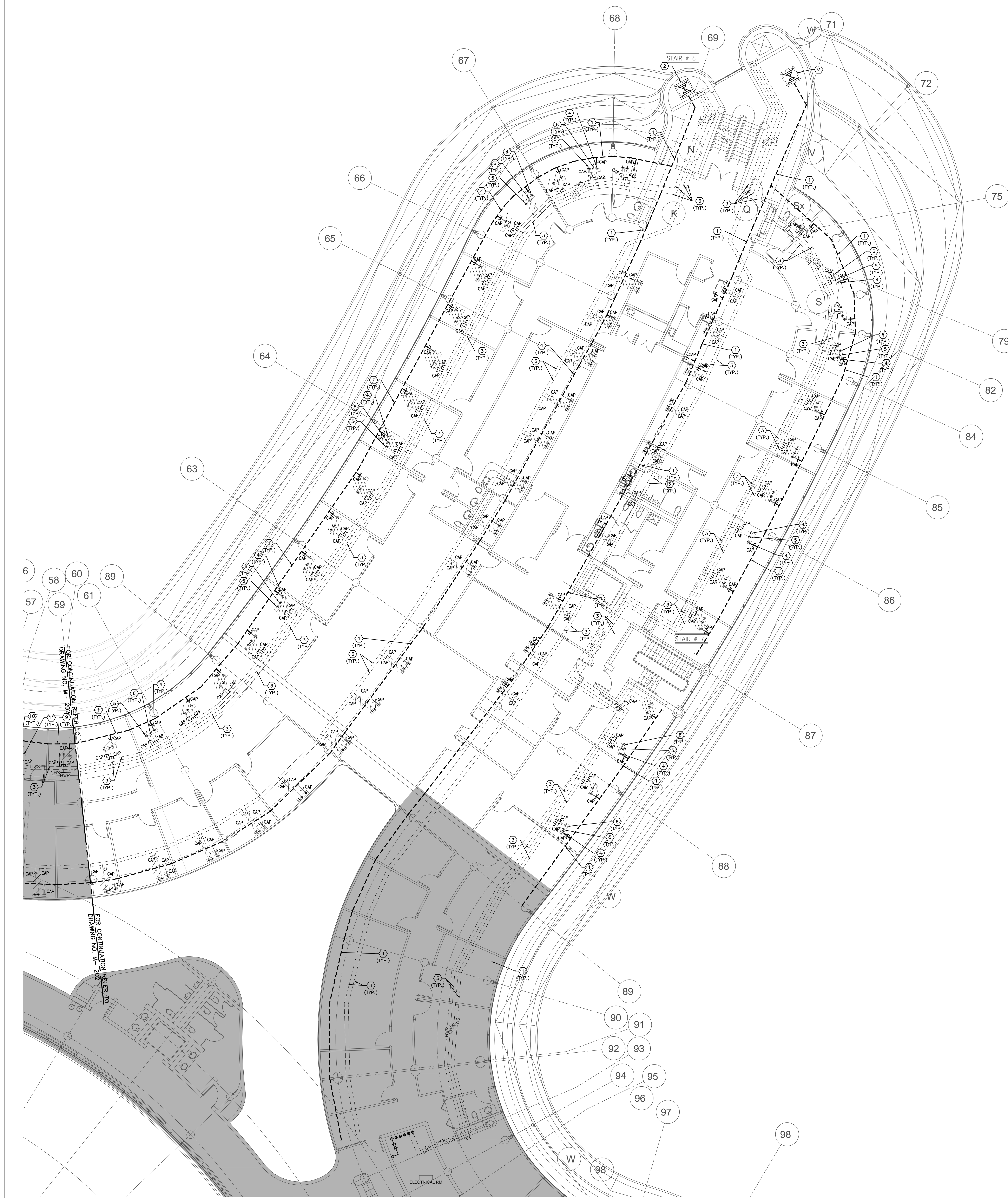
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'B'
MECHANICAL DEMOLITION
PLAN

SHEET NUMBER:

M-201



- ### GENERAL NOTES
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CARPED, AND MADE GOOD.
 8. CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.
 9. PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE 3RD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK.
 10. CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON 3RD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS DAY.
 11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

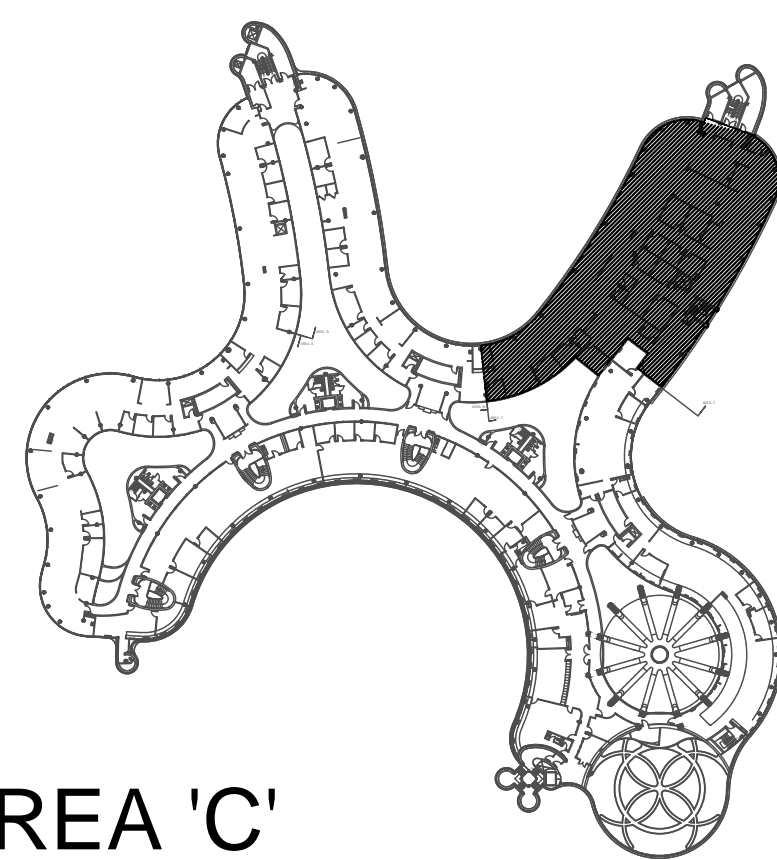
- ### DRAWING NOTES
- ① EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
 - ② EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.
 - ③ EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
 - ④ CUT BACK AND CAP EXISTING OUTDOOR AIR SUPPLY DUCT IN CEILING SPACE OF THIS FLOOR. CONTRACTOR TO CHECK/VERIFY EXACT LOCATION OF DUCTWORK ON SITE. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 - ⑤ CUT BACK AND CAP EXISTING CHILLED WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
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 - ⑦ REMOVE EXISTING INACTIVE (NOT IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE THAT IS SERVING THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED PIPE BRANCHES, VALVES, INSULATION, HANGERS & SUPPORTS (ONLY FOR BLOCK 'A', 'B' & 'D').
 - ⑧ EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE WITH CARPED & VALVE BRANCH PIPING THAT WILL SERVE THE NEW WALL FAN RAIS ON THE 4TH FLOOR TO REMAIN AS IS. (TYPICAL)
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 - ⑪ REMOVE EXISTING HEATING WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR-MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 - ⑫ REMOVE EXISTING OUTDOOR AIR SUPPLY BRANCH DUCT IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR-MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
 - ⑬ DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING AS SHOWN.
 - ⑭ DISCONNECT AND CAP EXISTING CHILLED WATER RETURN PIPING AS SHOWN.

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CARPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

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① MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CARPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



AREA 'C'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
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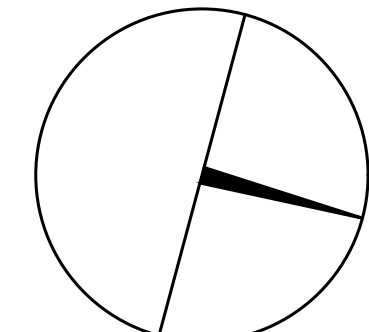
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L3R 8C5

Tel: 905 475 3138
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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

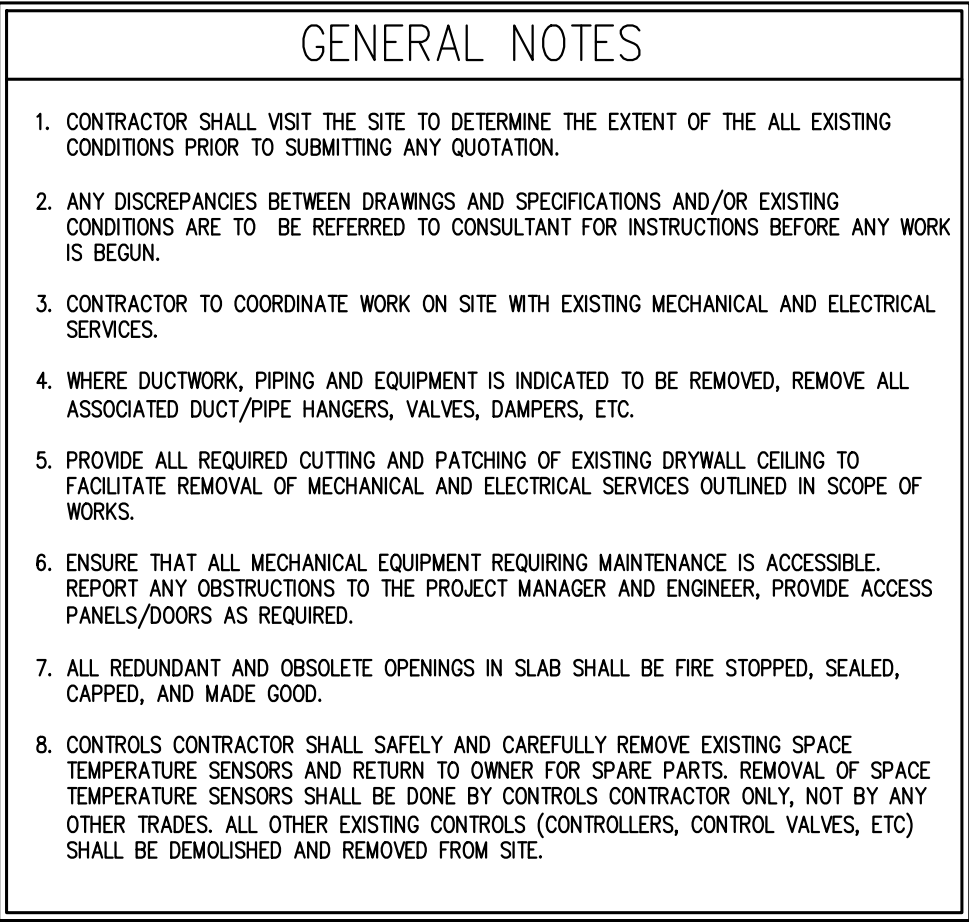
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'C'
MECHANICAL DEMOLITION
PLAN

SHEET NUMBER:

M-202



- | |
|---|
| <p>ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING, CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.</p> |
|---|

- | | |
|---|--|
| 1 | MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING. |
|---|--|



SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

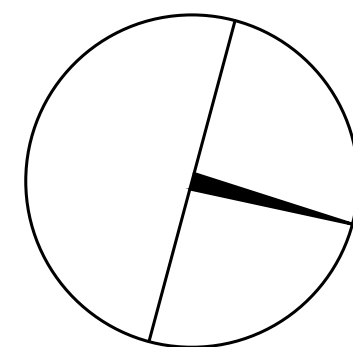
G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146

GPY +
Associates Engineering Inc.

90C Centurian Drive
Unit 6
Markham, Ontario
L3R 8C5

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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'A' HVAC DEMOLITION PLAN

SHEET NUMBER:

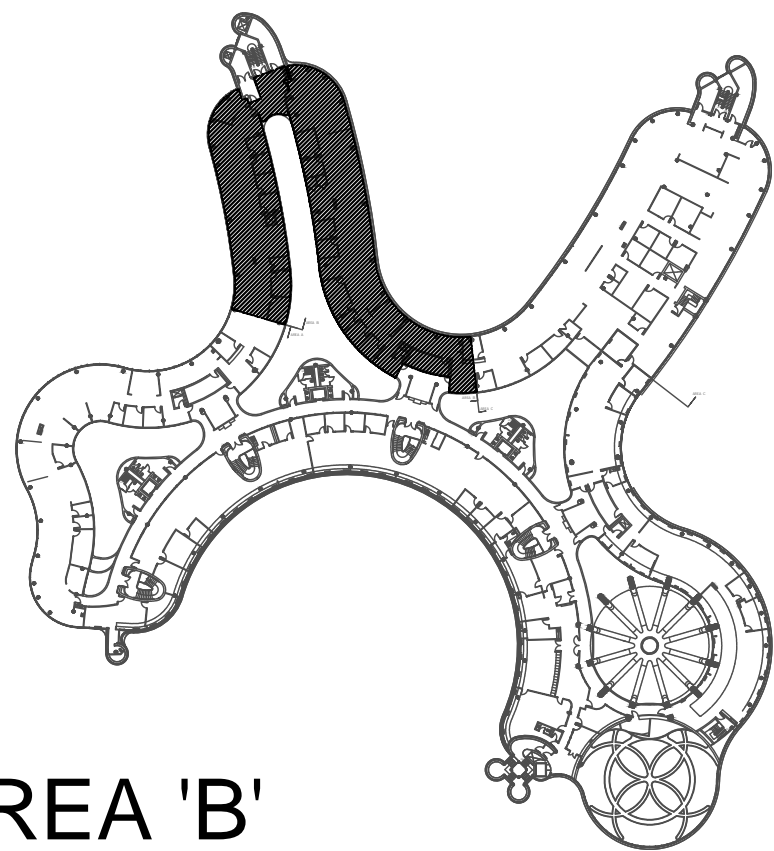
M-203

- GENERAL NOTES
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CARPED, AND MADE GOOD.
 8. CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.

- DRAWING NOTES
- ① EXISTING FLOOR-MOUNTED FAN COIL UNIT TO BE REMOVED AND DISPOSE OFF-SITE. REMOVE AND CAP OUTDOOR AIR SUPPLY DUCT BACK IN 3RD FLOOR CEILING SPACE. REMOVE AND CUT BACK HEATING SUPPLY/RETURN WATER PIPES AND CHILLED WATER PIPES/RETURN WATER PIPES BACK TO 3RD FLOOR CEILING SPACE AND CAP. PROVIDE FIRE-STOPPING AND SEALED ALL FLOOR OPENING DUE TO REMOVAL OF DUCTWORK & PIPES AS REQUIRED. (TYPICAL)
 - ② REMOVE EXISTING TEMPERATURE SENSOR C/W ASSOCIATED CONTROL WIRING AND TURN OVER THE TEMPERATURE SENSOR TO THE OWNER. (TYPICAL)
 - ③ REMOVE EXISTING DELTA BAS CONTROLLER IN CEILING SPACE OF THIS FLOOR. CONNECTED TO EXISTING FAN COIL UNIT. REMOVE ALL ASSOCIATED CONTROL WIRING AND TURN OVER DELTA BAS CONTROLLER TO OWNER. (TYPICAL)
 - ④ EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.
 - ⑤ EXISTING RETURN AIR GRILLE TO BE REMOVED AND DISPOSE OFFSITE. (TYPICAL)
 - ⑥ REMOVE EXISTING EXHAUST FAN IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, GRILLES & DUCTWORK.
 - ⑦ REMOVE EXISTING EXHAUST GRILLES & OUTBACK ASSOCIATED DUCTWORK IN CEILING SPACE AND CAP AS SHOWN.
 - ⑧ EXISTING EXHAUST GRILLES AND ASSOCIATED DUCTWORK TO REMAIN.

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (6:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING, NEW CONNECTING, FLOOR CUTTING/PATCHING, CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

- ① MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CARPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



AREA 'B'

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5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

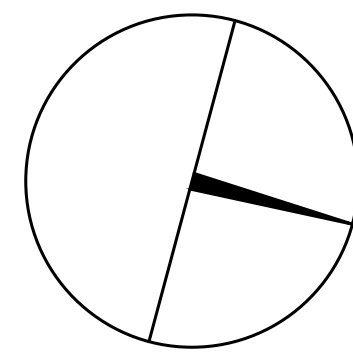
G.Bruce Stratton Architects

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Toronto Ontario M5V 1W2
telephone: 416.351.8145
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L3R 8C5

Tel: 905 475 3138
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

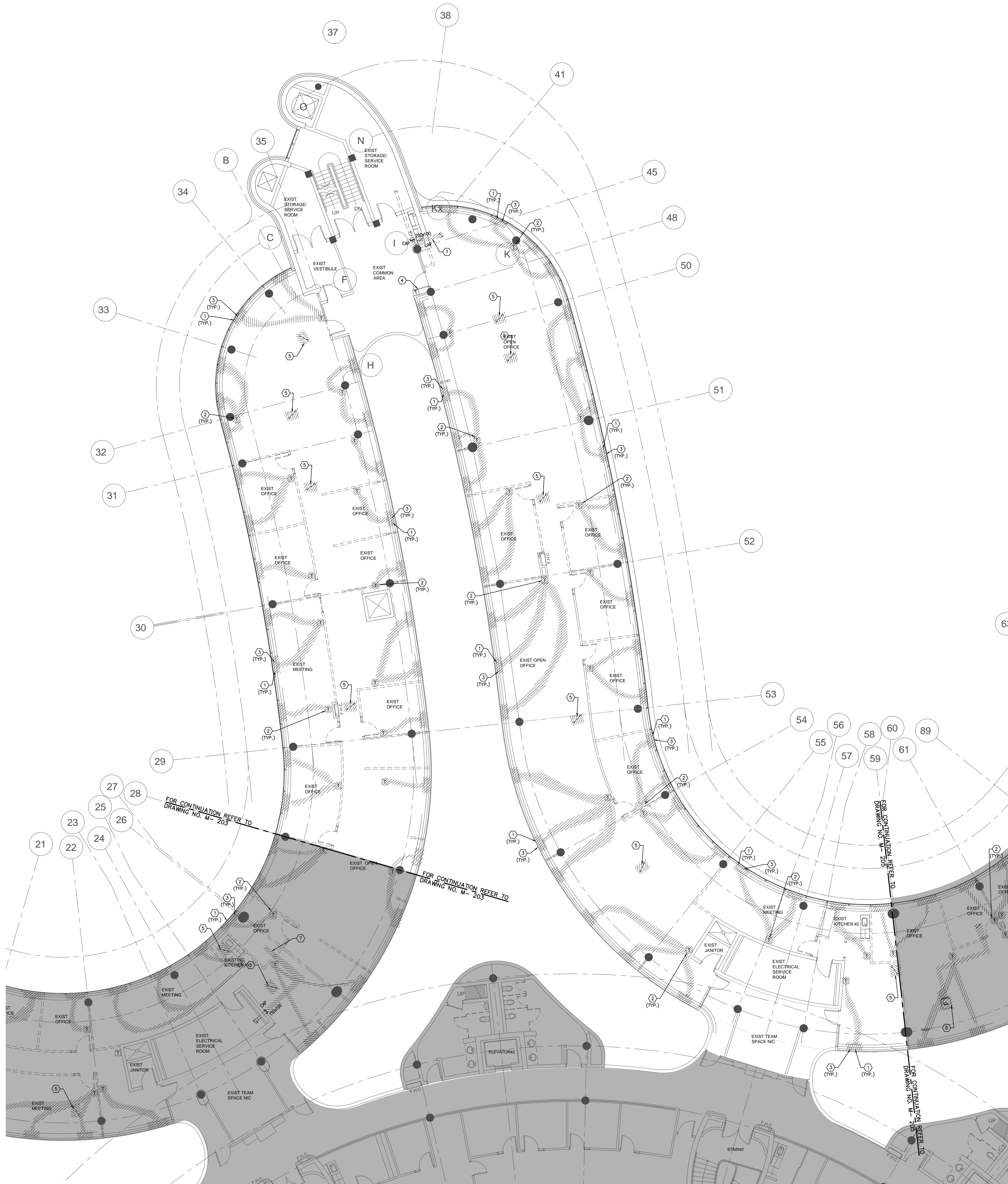
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'B'
HVAC DEMOLITION PLAN

SHEET NUMBER:

M-204

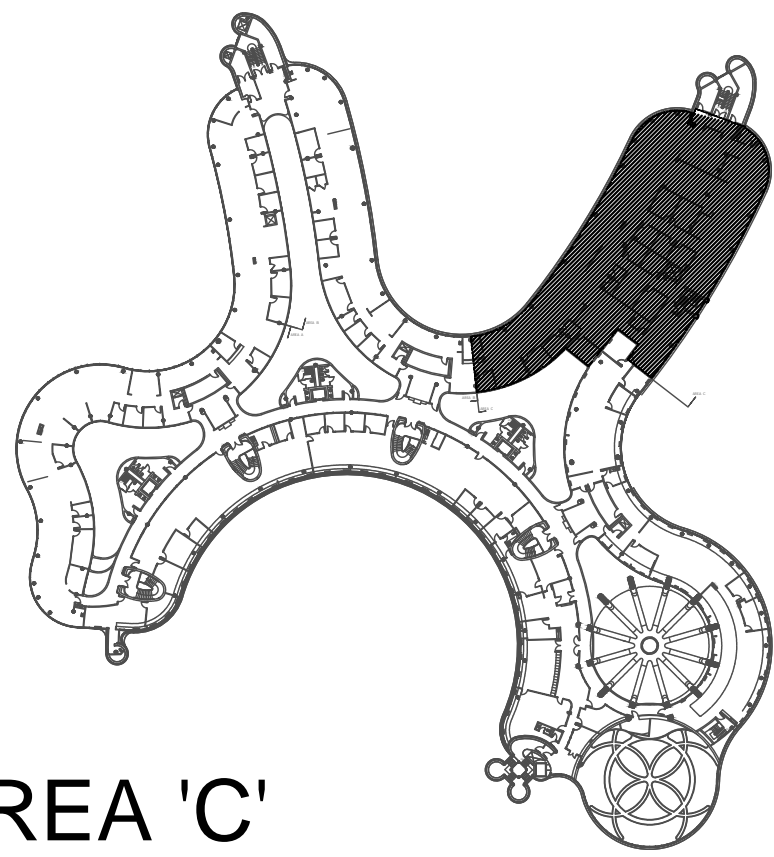


- GENERAL NOTES
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 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 8. CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.

- DRAWING NOTES
- ① EXISTING FLOOR-MOUNTED FAN COIL UNIT TO BE REMOVED AND DISPOSE OFF-SITE. REMOVE AND CAP OUTDOOR AIR SUPPLY DUCT BACK IN 3RD FLOOR CEILING SPACE. REMOVE AND CUT BACK HEATING SUPPLY/RETURN WATER PIPES AND CHILLED SUPPLY/RETURN WATER PIPES BACK TO 3RD FLOOR CEILING SPACE AND CAP. PROVIDE FIRE-STOPPING AND SEALED ALL FLOOR OPENING DUE TO REMOVAL OF DUCTWORK & PIPES AS REQUIRED. (TYPICAL).
 - ② REMOVE EXISTING TEMPERATURE SENSOR C/W ASSOCIATED CONTROL WIRING AND TURN OVER THE TEMPERATURE SENSOR TO THE OWNER. (TYPICAL).
 - ③ REMOVE EXISTING DELTA BAS CONTROLLER IN CEILING SPACE OF THIS FLOOR. CONNECTED TO EXISTING FAN COIL UNIT. REMOVE ALL ASSOCIATED CONTROL WIRING AND TURN OVER DELTA BAS CONTROLLER TO OWNER. (TYPICAL).
 - ④ EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.
 - ⑤ EXISTING RETURN AIR GRILLE TO BE REMOVED AND DISPOSE OFFSITE. (TYPICAL).
 - ⑥ REMOVE EXISTING EXHAUST FAN IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, GRILLES & DUCTWORK.
 - ⑦ REMOVE EXISTING EXHAUST GRILLES & OUTBACK ASSOCIATED DUCTWORK IN CEILING SPACE AND CAP AS SHOWN.
 - ⑧ EXISTING EXHAUST GRILLES AND ASSOCIATED DUCTWORK TO REMAIN.

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (6:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING, CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

- ① MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING DAMPED CONNECTORS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



AREA 'C'

SUBMISSION	DATE	DESCRIPTION
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6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

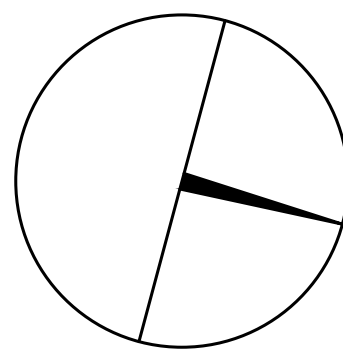
G.Bruce Stratton Architects

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GPY + Associates Engineering Inc.

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L3R 8C5

Tel: 905 475 3138
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email: engineering@gpyengineering.com



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

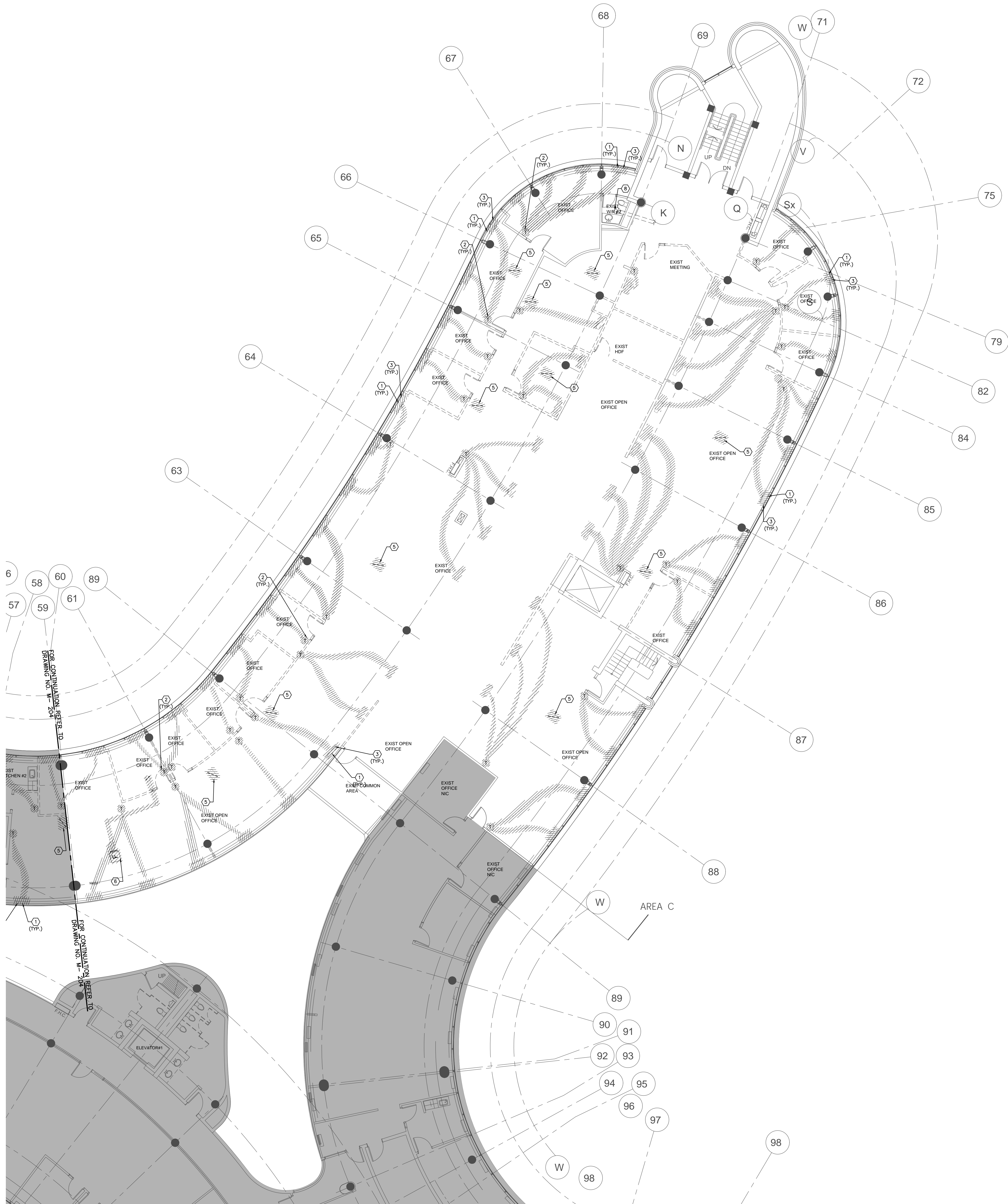
SUBMITTED TO: MUNICIPALITY OF YORK

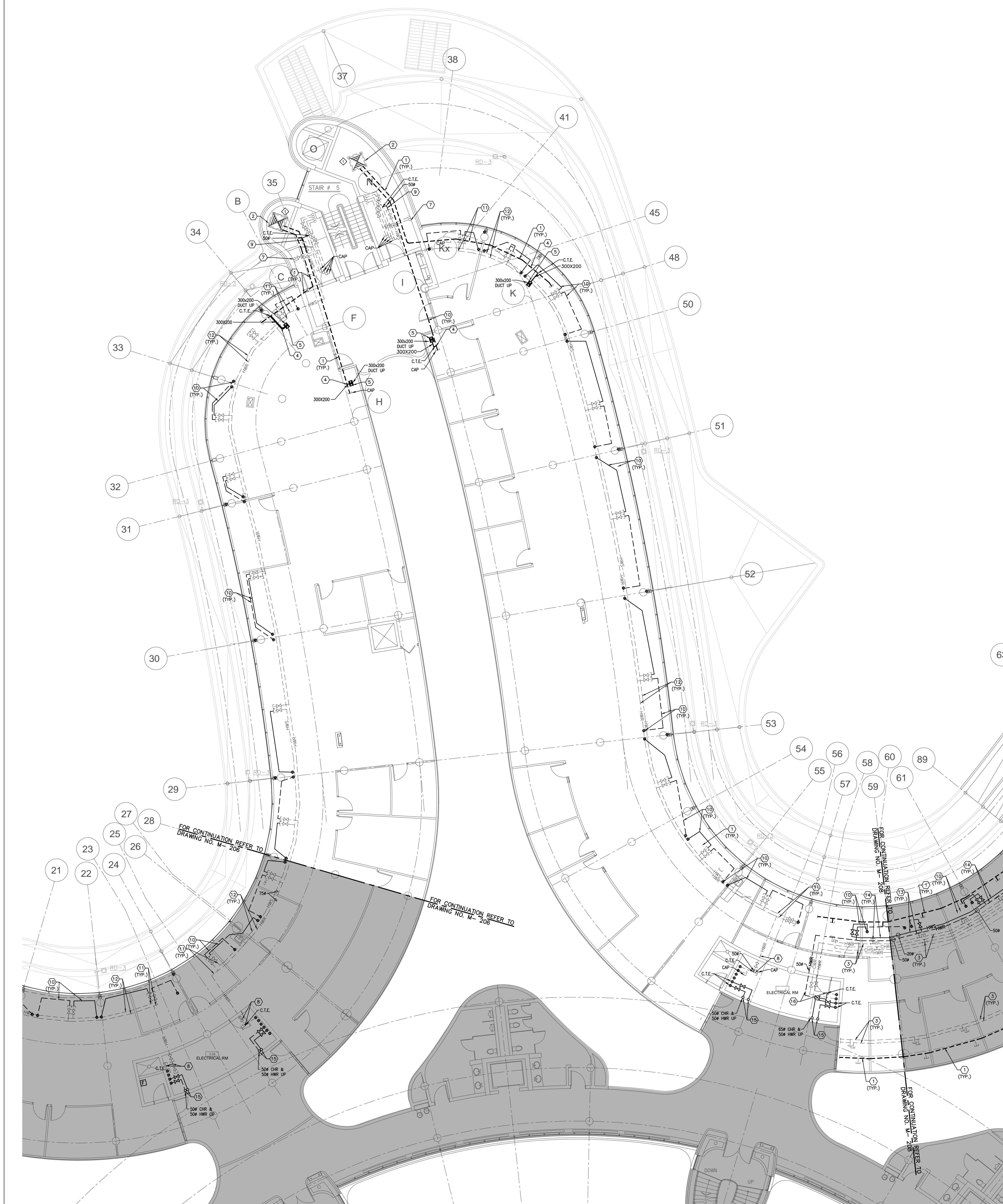
SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'C'
HVAC DEMOLITION PLAN

SHEET NUMBER:

M-205





GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CARPED, AND MADE GOOD.
8. CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.
9. PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE THIRD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK.
10. CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON THIRD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS DAY.
11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

DRAWING NOTES

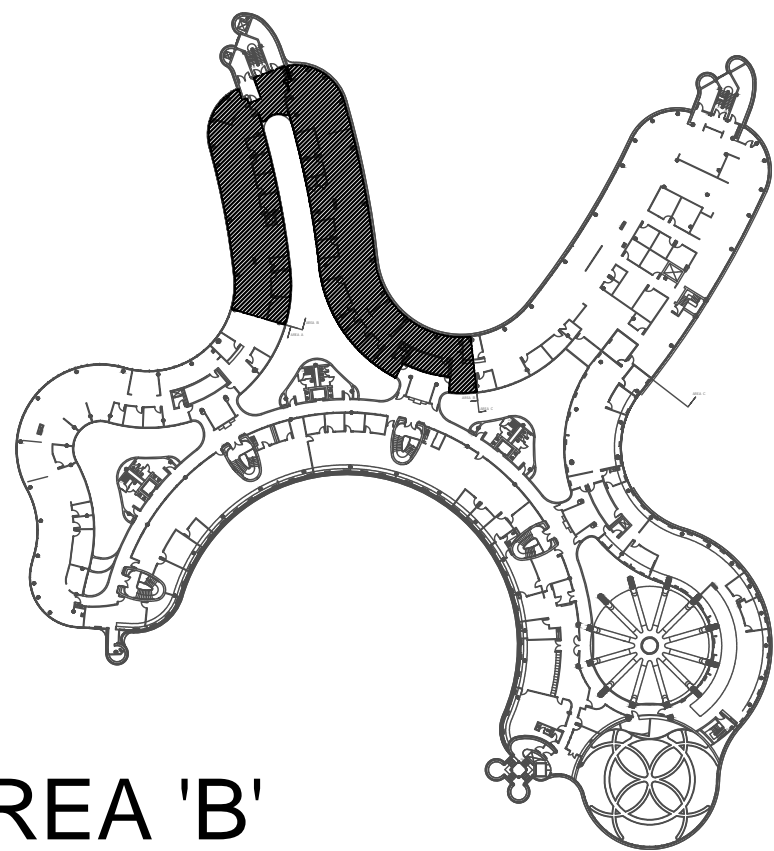
1. EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
2. EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.
3. EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
4. CONNECT NEW OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION.
5. NEW OUTDOOR AIR SUPPLY DUCT UP TO 4TH FLOOR. PROVIDE FIRE DAMPER AT FLOOR SLAB PENETRATION. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRILLING AS REQUIRED. FOR CONTINUATION REFER TO DRAWING NO. M-208 & M-209.
6. PROVIDE NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES AND CONNECT TO EXISTING INTERIOR CHILLED WATER SUPPLY & HEATING WATER SUPPLY AT THIS APPROXIMATE LOCATION. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.
7. RUN NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES UP TO 4TH FLOOR. FOR CONTINUATION REFER TO DRAWING NO. M-208 & M-209. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. PROVIDE PIPE SUPPORT AND FIRE STOPPING AT FLOOR PENETRATIONS.
8. CONNECT EXISTING VALVED HOT WATER RETURN PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.
9. CONNECT EXISTING VALVED HOT WATER SUPPLY PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.
10. PROVIDE NEW 200 HEATING WATER SUPPLY/RETURN PIPE AND CONNECT TO EXISTING SERVICES. EXTEND NEW HEATING WATER SUPPLY/RETURN PIPE UP TO 4TH FLOOR AND CONNECT TO NEW FLOOR MOUNTED WALL FAN HEATER. PROVIDE NEW FLOOR SLAB OPENINGS FOR HEATING SUPPLY & RETURN PIPES. ENSURE PIPES ARE WITHIN WALL FAN ENCLOSURE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRILLING/FIRE-STOPPING AS REQUIRED. (TYPICAL)
11. PROVIDE NEW 200 BY-PASS LINE BETWEEN HEATING SUPPLY AND RETURN PIPE C/W DR. BY-PASS ACTUATOR WITH 2-WAY VALVE. BY-PASS ACTUATOR SHALL BE INTERLOCKED WITH BUILDING AUTOMATION SYSTEM.
12. EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE TO REMAIN. (TYPICAL)
13. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)
14. INSTALL NEW HEATING WATER SUPPLY AND RETURN PIPING C/W INSULATION. SIZES OF NEW HEATING PIPING SHALL MATCH EXISTING HEATING PIPING SIZES. NEW HEATING PIPING SHALL BE SCHEDULE 40 BLACK STEEL. METALLIC PIPE FITTINGS ARE PERMITTED IN ACCESSIBLE SPACES ONLY. PROVIDE NEW PIPE HANGERS AS REQUIRED. INSTALL NEW HEATING PIPING TIGHT TO EXISTING SLAB AND BEAMS TO ALLOW FOR FUTURE HVAC EQUIPMENT/ TERMINAL UNITS/ DUCTWORK/ DIFFUSERS INSTALLATIONS.
15. NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES FROM 4TH FLOOR. EXTEND AND CONNECT TO EXISTING INTERIOR CHILLED WATER RETURN AND HEATING WATER RETURN PIPE RISERS. EXACT CONNECTION TO BE VERIFIED ON SITE. PROVIDE PIPE SUPPORT AND FIRE-STOPPING AT FLOOR PENETRATIONS. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.
16. CONNECT NEW HOT WATER RETURN PIPE TO EXISTING PERIMETER HEATING WATER RETURN AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.
17. CONNECT NEW HOT WATER SUPPLY PIPE TO EXISTING PERIMETER HEATING WATER SUPPLY AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.
18. CONNECT OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION. PROVIDE BALANCING DAMPER ON NEW BRANCH DUCTWORK & EXISTING DUCTWORK AS SHOWN. BALANCE TO AIR QUANTITY AS INDICATED. (TYPICAL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS 15:30 PM TO 8:30 AM. THIS INCLUDES REMOVAL & CARPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE. REMOVAL/CARPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES. REMOVAL/CARPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH RESIDUALS PM PRIOR TO COMMENCEMENT OF ANY WORK.

FINAL AIR BALANCING NOTE

1. PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW



AREA 'B'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
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4	06-31-2022	ISSUED AS PER ADDENDUM M-5
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
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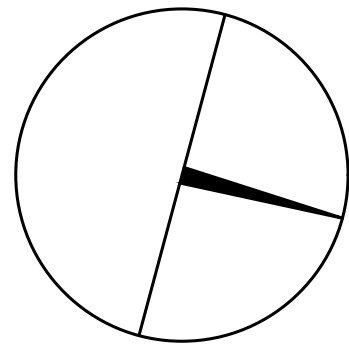
G. Bruce Stratton Architects

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GPY + Associates Engineering Inc.

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Tel: 905 475 3138
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
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SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

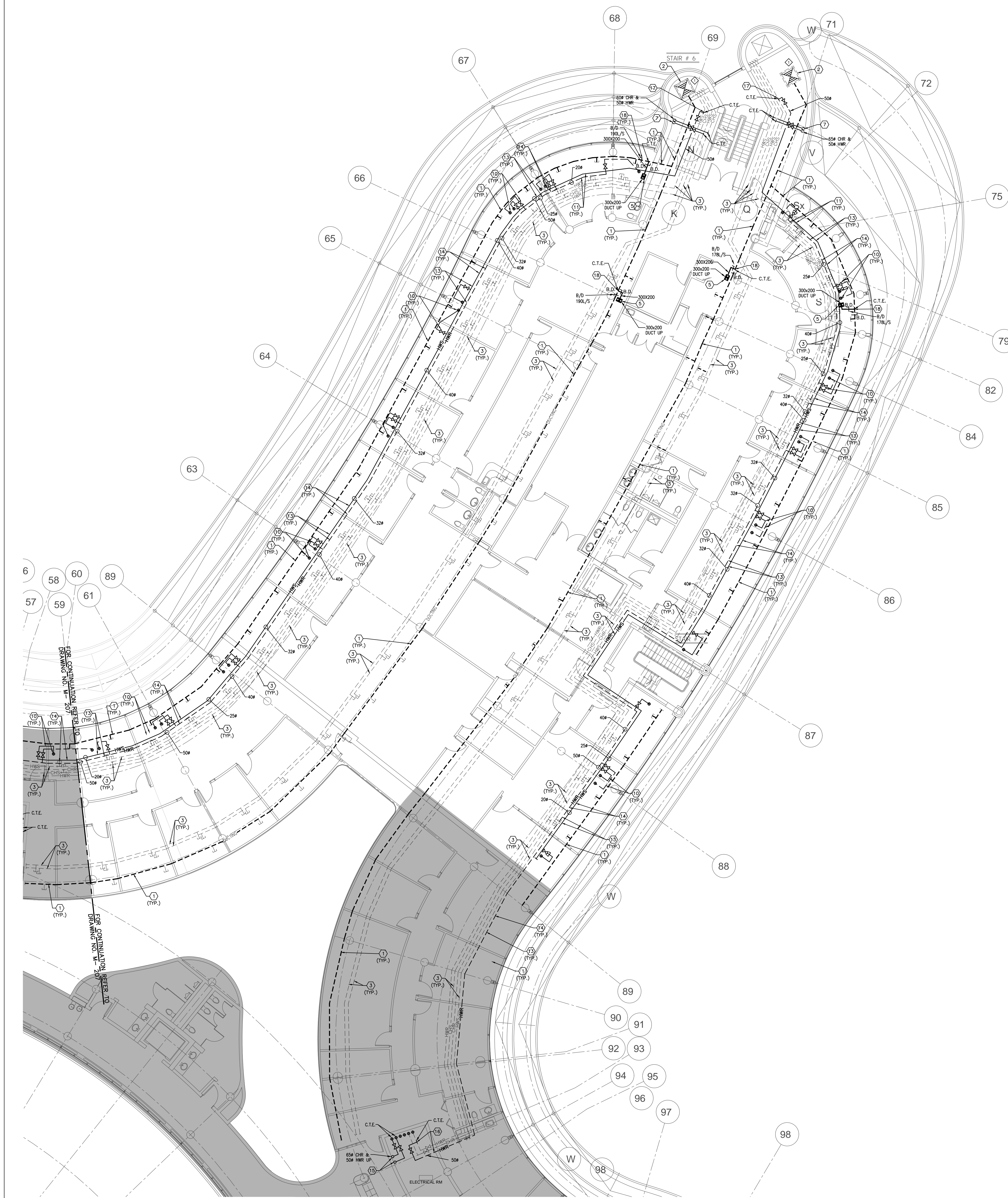
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'B'
MECHANICAL NEW LAYOUT

SHEET NUMBER:

M-207



GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY SUBMITTAL.
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4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CARPED, AND MADE GOOD.
8. CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.
9. PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE 3RD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK.
10. CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON 3RD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS DAY.
11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

DRAWING NOTES

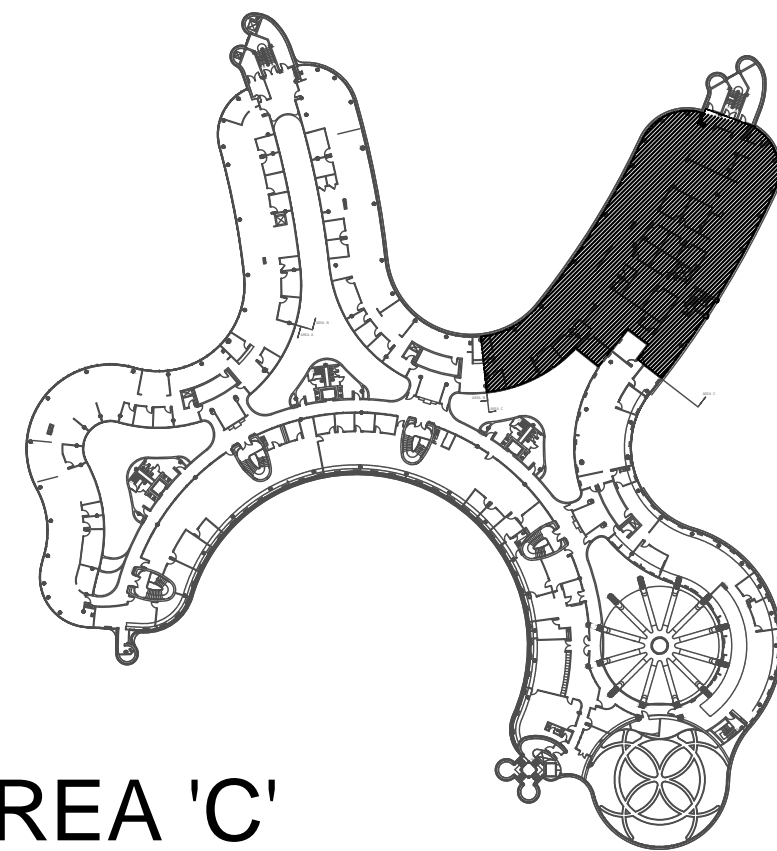
1. EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
2. EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.
3. EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
4. CONNECT NEW OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION.
5. NEW OUTDOOR AIR SUPPLY DUCT UP TO 4TH FLOOR. PROVIDE FIRE DAMPER AT FLOOR SLAB PENETRATION. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRILLING AS REQUIRED. FOR CONTINUATION REFER TO DRAWING NO. M-208 & M-207.
6. PROVIDE NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES AND CONNECT TO EXISTING INTERIOR CHILLED WATER SUPPLY & HEATING WATER SUPPLY AT THIS APPROXIMATE LOCATION. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.
7. RUN NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES UP TO 4TH FLOOR. FOR CONTINUATION REFER TO DRAWING NO. M-208 & M-207. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. PROVIDE PIPE SUPPORT AND FIRE STOPPING AT FLOOR PENETRATIONS.
8. CONNECT EXISTING VALVED HOT WATER RETURN PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.
9. CONNECT EXISTING VALVED HOT WATER SUPPLY PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.
10. PROVIDE NEW 200 HEATING WATER SUPPLY/RETURN PIPE AND CONNECT TO EXISTING SERVICES. EXTEND NEW HEATING WATER SUPPLY/RETURN PIPE UP TO 4TH FLOOR AND CONNECT TO NEW FLOOR MOUNTED WALL FAN HEATER. PROVIDE NEW FLOOR SLAB OPENINGS FOR HEATING SUPPLY & RETURN PIPES. ENSURE PIPES ARE WITHIN WALL FAN ENCLOSURE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRILLING/FIRE-STOPPING AS REQUIRED. (TYPICAL)
11. PROVIDE NEW 200 BYPASS LINE BETWEEN HEATING SUPPLY AND RETURN PIPE C/W EX. BY-PASS ACTUATOR WITH WALL FAN HEATER. BY-PASS ACTUATOR SHALL BE INTERLOCKED WITH BUILDING AUTOMATION SYSTEM.
12. EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE TO REMAIN. (TYPICAL)
13. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)
14. INSTALL NEW HEATING WATER SUPPLY AND RETURN PIPING C/W INSULATION. SIZES OF NEW HEATING PIPING SHALL MATCH EXISTING HEATING PIPING SIZES. NEW HEATING PIPING SHALL BE SCHEDULE 40 BLACK STEEL. METALLIC PIPE FITTINGS ARE PERMITTED IN ACCESSIBLE SPACES ONLY. PROVIDE NEW PIPE HANGERS AS REQUIRED. INSTALL NEW HEATING PIPING TIGHT TO EXISTING SLAB AND BEAMS TO ALLOW FOR FUTURE HVAC EQUIPMENT/ TERMINAL UNITS/ DUCTWORK/ DIFFUSERS INSTALLATIONS.
15. NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES FROM 4TH FLOOR. EXTEND AND CONNECT TO EXISTING INTERIOR CHILLED WATER RETURN AND HEATING WATER RETURN PIPE RISERS. EXACT CONNECTION TO BE VERIFIED ON SITE. PROVIDE PIPE SUPPORT AND FIRE-STOPPING AT FLOOR PENETRATIONS. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.
16. CONNECT NEW HOT WATER RETURN PIPE TO EXISTING PERIMETER HEATING WATER RETURN AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.
17. CONNECT NEW HOT WATER SUPPLY PIPE TO EXISTING PERIMETER HEATING WATER SUPPLY AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.
18. CONNECT OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION. PROVIDE BALANCING DAMPER ON NEW BRANCH DUCTWORK & EXISTING DUCTWORK AS SHOWN. BALANCE TO AIR QUANTITY AS INDICATED (TYPICAL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CARPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE. REMOVAL/CARPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES. REMOVAL/CARPING/NEW CONNECTION OF CONDENSATE DRAIN. FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

FINAL AIR BALANCING NOTE

1. PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW



AREA 'C'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-30-2022	ISSUED AS PER ADDENDUM M-5
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

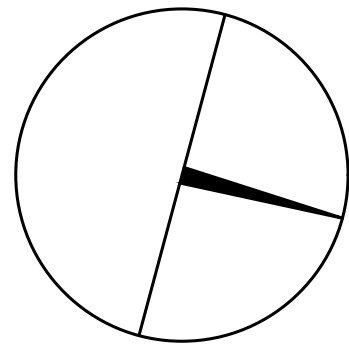
G. Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
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facsimile: 416.351.8146

GPY + Associates Engineering Inc.

90C Centurian Drive
Unit 6
Markham, Ontario
L3R 8C5

Tel: 905 475 3138
Fax: 866 853 3732
email: engineering@gpyengineering.com



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

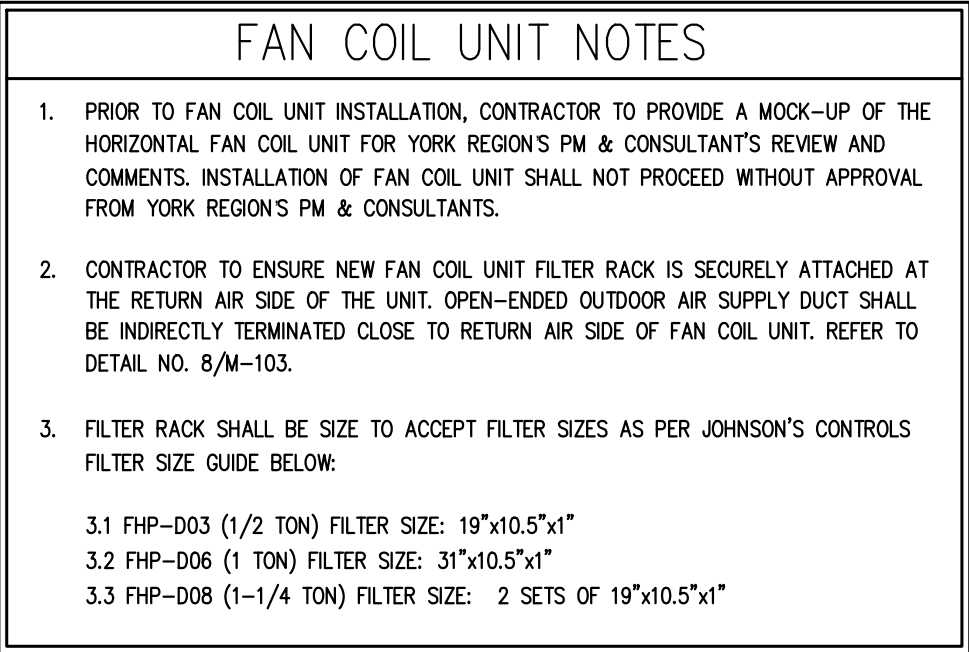
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

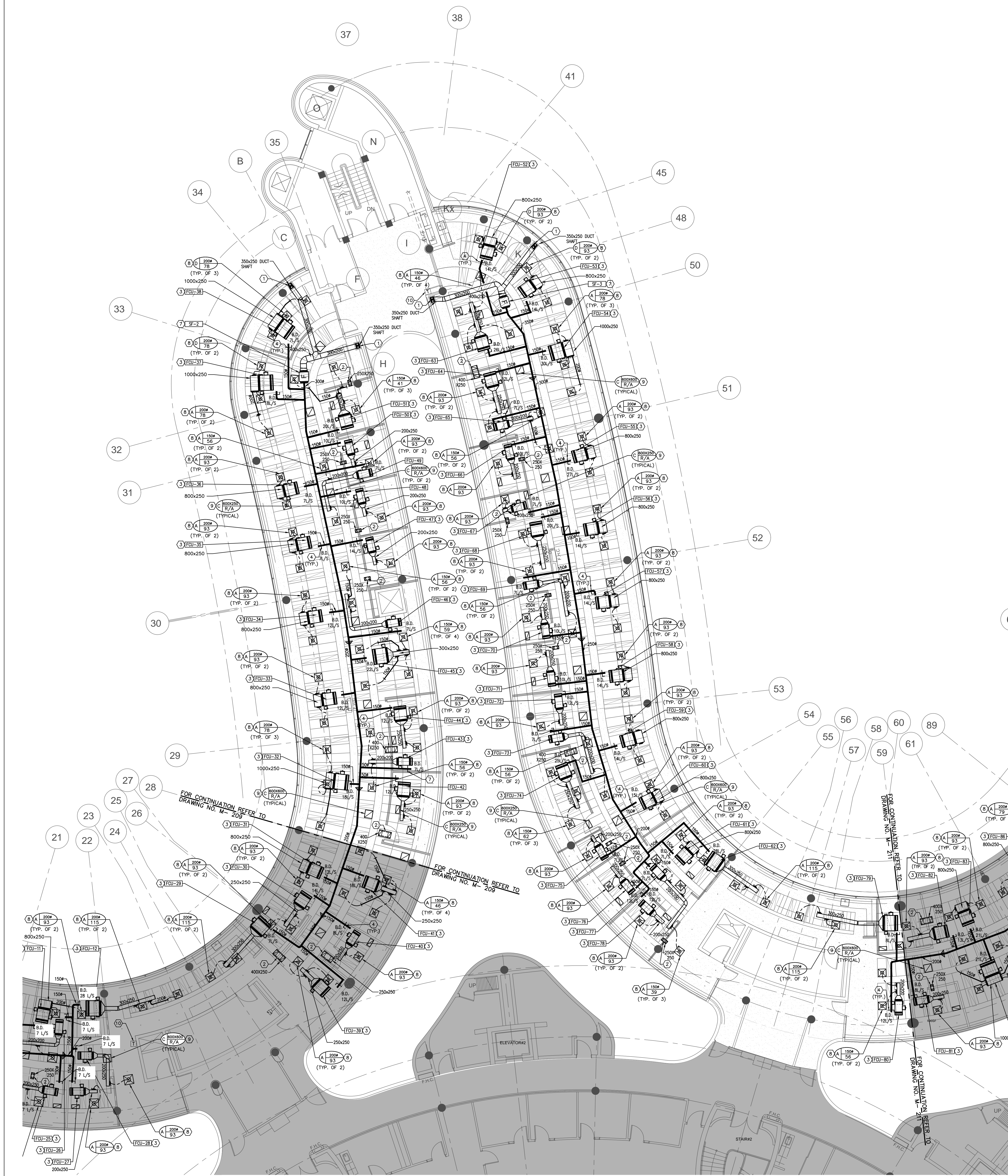
PARTIAL 3RD FLOOR
AREA 'C'
MECHANICAL NEW LAYOUT

SHEET NUMBER:

M-208



SHEET NUMBER:



- ### GENERAL NOTES
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 8. CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.
 9. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". EXACT LOCATION TO BE COORDINATED ON SITE WITH THE ARCHITECT. (TYPICAL FOR ALL)

- ### DRAWING NOTES
1. NEW OUTDOOR AIR SUPPLY DUCT FROM THIRD FLOOR C/W FIRE DAMPER.
 2. NEW RETURN AIR TRANSFER DUCT. SIZE AS INDICATED. REFER TO DETAIL NO. 14/M-104 FOR DETAILS. (TYPICAL)
 3. PROVIDE NEW FAN COIL UNIT IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, ISOLATORS AND SUPPLY/RETURN AIR DUCTWORK. REFER TO M-100 SERIES FOR SPECIFICATIONS & DETAILS. INSTALL UNIT TO CEILING SLAB AS HIGH AS POSSIBLE. (TYPICAL)
 4. NEW OPEN-ENDED OUTDOOR AIR SUPPLY DUCT C/W BALANCING DAMPER. DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. BALANCE TO AIR QUANTITIES AS INDICATED. ALL FRESH AIR DUCT SHALL BE ROUND DUCT AS SHOWN. BALANCING DAMPER SHALL BE LOCATED ABOVE T-BAR CEILING. (TYPICAL)
 5. PROVIDE NEW LINEAR SLOT DIFFUSER C/W PLenum BOX. DIFFUSER SHALL HAVE A CABLE OPERATED DAMPER MOUNTED ON HOOK. BALANCE TO AIR QUANTITY AS INDICATED. REFER TO DRAWING NO. M-100 & 15/M-104 FOR SPECIFICATIONS AND DETAILS. (TYPICAL)
 6. PROVIDE 1" WIDE ARCHITECTURAL SLOT FOR RETURN AIR. RETURN SLOT SHALL HAVE SIGHT BATTLE ABOVE. COORDINATE EXACT LOCATION ON SITE WITH THE ARCHITECT.
 7. PROVIDE FRESH AIR SUPPLY FAN IN CEILING SPACE C/W ASSOCIATED UNIT-MOUNTED SPEED CONTROLLER, HANGERS, SUPPORTS, ISOLATORS AND DUCTWORK. FAN TO BE INTERLOCKED WITH EXISTING BAS. REFER TO DRAWING NO. M-100 & M-104 FOR SPECIFICATIONS & DETAILS.
 8. PROVIDE NEW SQUARE CONE DIFFUSER AND BALANCE TO AIR QUANTITY AS INDICATED. REFER TO DRAWING NO. M-100 & 12/M-104 FOR SPECIFICATIONS AND DETAILS. (TYPICAL)
 9. PROVIDE NEW RETURN AIR GRILLES. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)
 10. EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.

NOTES

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING, CONCRETE/BRICK REMOVING/NEW CONNECTING E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

FINAL AIR BALANCING NOTE

1. PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW.

FAN COIL UNIT NOTES

1. PRIOR TO FAN COIL UNIT INSTALLATION, CONTRACTOR TO PROVIDE A MOCK-UP OF THE HORIZONTAL FAN COIL UNIT FOR YORK REGION'S PM & CONSULTANT'S REVIEW AND COMMENTS. INSTALLATION OF FAN COIL UNIT SHALL NOT PROCEED WITHOUT APPROVAL FROM YORK REGION'S PM & CONSULTANTS.
2. CONTRACTOR TO ENSURE NEW FAN COIL UNIT FILTER RACK IS SECURELY ATTACHED AT THE RETURN AIR SIDE OF THE UNIT. OPEN-ENDED OUTDOOR AIR SUPPLY DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. REFER TO DETAIL NO. 8/M-103.
3. FILTER RACK SHALL BE SIZE TO ACCEPT FILTER SIZES AS PER JOHNSON'S CONTROLS. FILTER SIZE GUIDE BELOW:
3.1 FHP-003 (1/2 TON) FILTER SIZE: 18"x10.5"x1"
3.2 FHP-006 (1 TON) FILTER SIZE: 31"x10.5"x1"
3.3 FHP-008 (1-1/4 TON) FILTER SIZE: 2 SETS OF 18"x10.5"x1"



AREA 'B'


SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION


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email: engineering@gpyengineering.com





PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

PROJECT #9907

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m
DRAWN BY: **S.P.R./G.G.**
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:
**PARTIAL 4TH FLOOR
AREA 'B'
HVAC NEW LAYOUT**

SHEET NUMBER:
M-210

GENERAL NOTES

1.

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDUITING PRIOR TO SUBMITTING ANY QUOTATION.

2.

ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.

3.

CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.

4.

WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

5.

PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

6.

ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.

7.

ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.

8.

CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.

9.

INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". EXACT LOCATION TO BE COORDINATED ON SITE WITH THE ARCHITECT. (TYPICAL FOR ALL)

DRAWING NOTES

1

NEW OUTDOOR AIR SUPPLY DUCT FROM THIRD FLOOR C/W FIRE DAMPER.

2

NEW RETURN AIR TRANSFER DUCT SIZE AS INDICATED. REFER TO DETAIL NO. 14/M-104 FOR DETAILS. (TYPICAL)

3

PROVIDE NEW FAN COIL UNIT IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, ISOLATORS AND SUPPLY/RETURN AIR DUCTWORK. REFER TO M-100 SERIES FOR SPECIFICATIONS & DETAILS. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. (TYPICAL)

4

NEW OPEN-ENDED OUTDOOR AIR SUPPLY DUCT C/W BALANCING DAMPER. DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. BALANCE TO AIR QUANTITIES AS INDICATED. ALL FRESH AIR DUCT SHALL BE ROUND DUCT AS SHOWN. BALANCING DAMPER SHALL BE LOCATED ABOVE T-BAR CEILING. (TYPICAL)

5

PROVIDE NEW LINEAR SLOT DIFFUSER C/W PLENUM BOX. DIFFUSER SHALL HAVE A CABLE OPERATED DAMPER MOUNTED ON HOOK. BALANCE TO AIR QUANTITY AS INDICATED. REFER TO DRAWING NO. M-100 & 15/M-104 FOR SPECIFICATIONS AND DETAILS. (TYPICAL)

6

PROVIDE 1" WIDE ARCHITECTURAL SLOT FOR RETURN AIR. RETURN SLOT SHALL HAVE SIGHT BATTLE ABOVE. COORDINATE EXACT LOCATION ON SITE WITH THE ARCHITECT.

7

PROVIDE FRESH AIR SUPPLY FAN IN CEILING SPACE C/W ASSOCIATED UNIT-MOUNTED SPEED CONTROLLER, HANGERS, SUPPORTS, ISOLATORS AND DUCTWORK. FAN TO BE INTERLOCKED WITH EXISTING BAS. REFER TO DRAWING NO. M-100 & M-104 FOR SPECIFICATIONS & DETAILS.

8

PROVIDE NEW SQUARE GONG DIFFUSER AND BALANCE TO AIR QUANTITY AS INDICATED. REFER TO DRAWING NO. M-100 & 12/M-104 FOR SPECIFICATIONS AND DETAILS. (TYPICAL)

9

PROVIDE NEW RETURN AIR GRILLES. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)

10

EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.

NOTES

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING, CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

FINAL AIR BALANCING NOTE

1

PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW

FAN COIL UNIT NOTES

1.

PRIOR TO FAN COIL UNIT INSTALLATION, CONTRACTOR TO PROVIDE A MOCK-UP OF THE HORIZONTAL FAN COIL UNIT FOR YORK REGION'S PM & CONSULTANT'S REVIEW AND COMMENTS. INSTALLATION OF FAN COIL UNIT SHALL NOT PROCEED WITHOUT APPROVAL FROM YORK REGION'S PM & CONSULTANTS.

2.

CONTRACTOR TO ENSURE NEW FAN COIL UNIT FILTER RACK IS SECURELY ATTACHED AT THE RETURN AIR SIDE OF THE UNIT. OPEN-ENDED OUTDOOR AIR SUPPLY DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. REFER TO DETAIL NO. 8/M-103.

3.

FILTER RACK SHALL BE SIZE TO ACCEPT FILTER SIZES AS PER JOHNSON'S CONTROLS FILTER SIZE GUIDE BELOW:
3.1 FHP-003 (1/2 TON) FILTER SIZE: 19"x10.5"x1"
3.2 FHP-006 (1 TON) FILTER SIZE: 31"x10.5"x1"
3.3 FHP-008 (1-1/4 TON) FILTER SIZE: 2 SETS OF 19"x10.5"x1"

AREA 'C'

1

03-14-2022

ISSUED FOR 60% REVIEW

2

04-26-2022

ISSUED FOR 80% REVIEW

3

05-31-2022

ISSUED FOR 97% REVIEW

4

06-13-2022

ISSUED FOR TENDER

5

07-21-2022

ISSUED AS PER ADDENDUM M-2

6

08-08-2022

ISSUED FOR PERMIT

7

11-18-2022

ISSUED FOR CONSTRUCTION

G. Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
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GPY + Associates Engineering Inc.

90C Centurian Drive
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Tel: 905 475 3138
Fax: 866 853 3732
email: engineering@gpyengineering.com

PROFESSIONAL
ENGINEER
G. YOUDELIS
08/08/2022
PROVINCE OF ONTARIO

YORK REGION

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

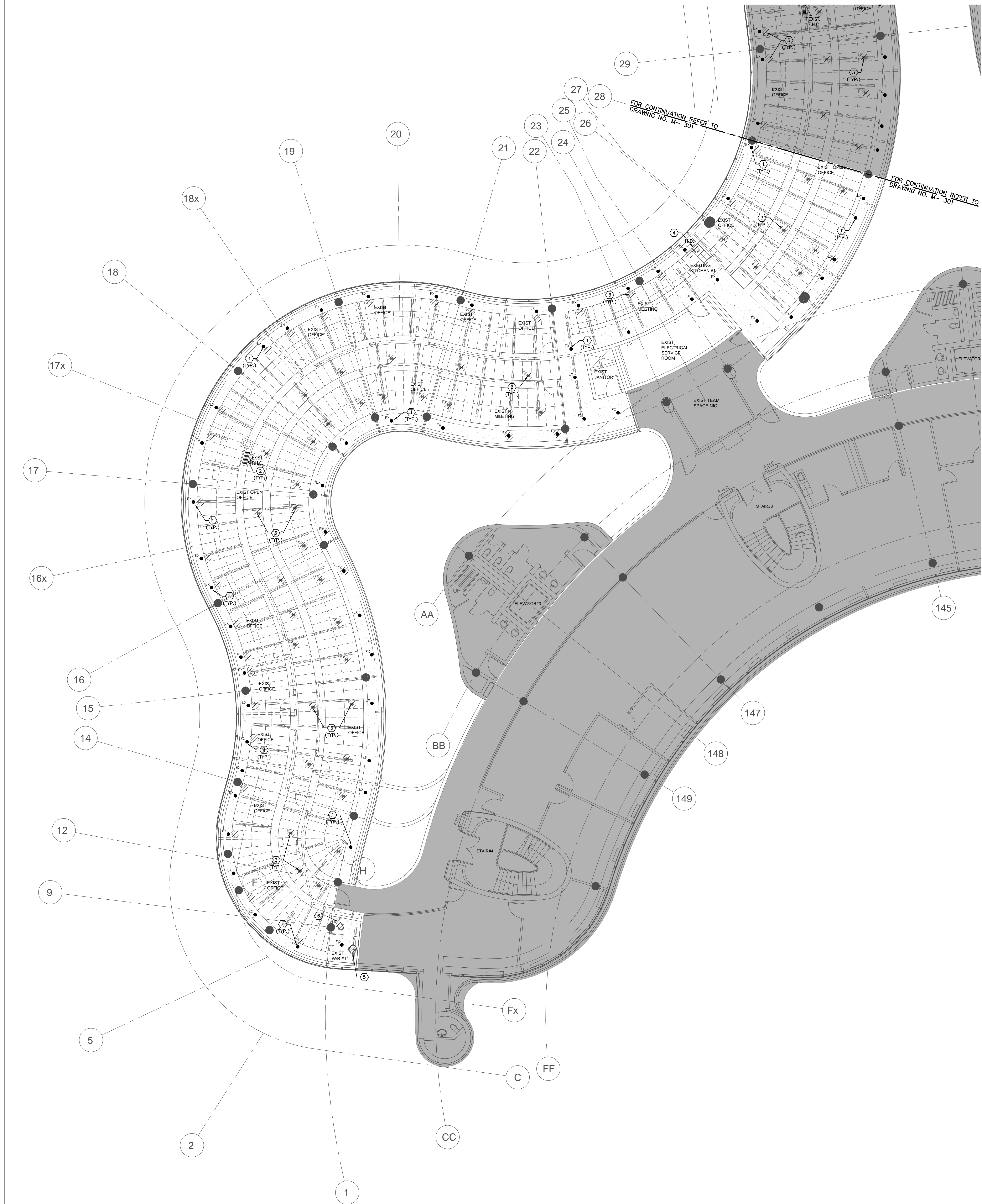
SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE: PARTIAL 4TH FLOOR
AREA 'C'
HVAC NEW LAYOUT

SHEET NUMBER: M-211



- GENERAL NOTES
1.

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2.

ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3.

CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
4.

CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
5.

MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
6.

PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
7.

SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
8.

PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
9.

ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
10.

ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
11.

MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
12.

ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.

- DRAWING NOTES
- ①

EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- ②

EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)
- ③

EXISTING SPRINKLER HEAD TO BE REMOVED. CAP ASSOCIATED SPRINKLER PIPE AS REQUIRED. (TYPICAL)
- ④

REMOVE EXISTING SINK C/W ASSOCIATED FAUCET. EXISTING PLUMBING & SANITARY DRAIN PIPING TO REMAIN AND MODIFY TO SUIT INSTALLATION OF NEW SINK. (TYPICAL)
- ⑤

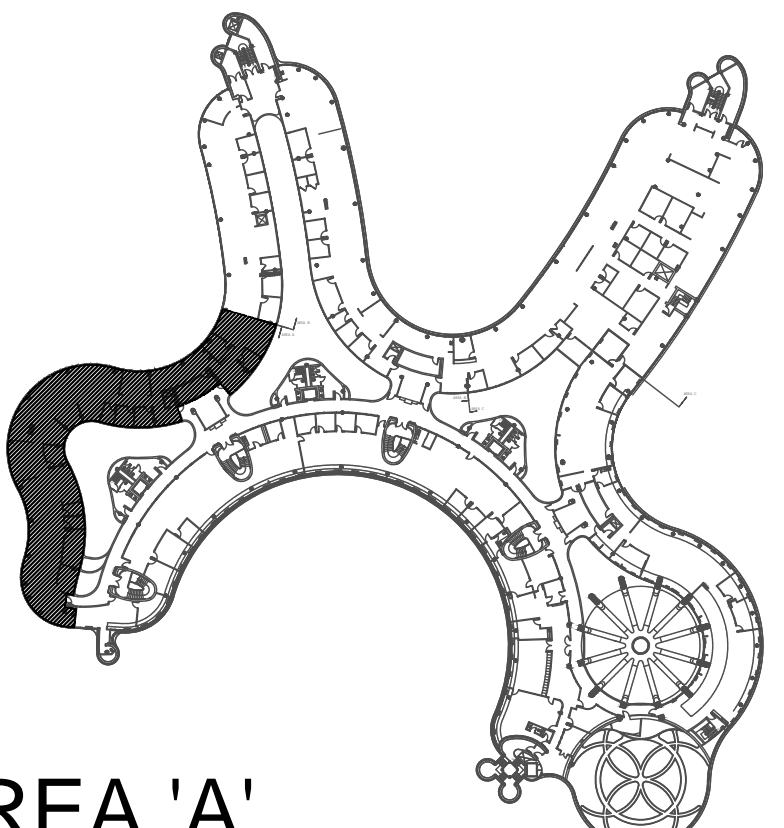
EXISTING LAVATORY C/W ASSOCIATED FAUCET AND P-TRAP TO BE REMOVED. EXISTING PLUMBING & SANITARY DRAINAGE PIPING TO REMAIN FOR INSTALLATION OF NEW PLUMBING FIXTURE.
- ⑥

EXISTING WATER CLOSET C/W FLUSH VALVE, CARRIER & FLOOR FLANGE TO BE REMOVED. PLUMBING LINES & SANITARY VENT PIPING TO BE REMOVED. CUT BACK AND CAP IN CEILING SPACE. SANITARY DRAIN PIPING TO BE REMOVED AND CAP ON FLOOR BELOW. PATCH UP EXISTING FLOOR OPENING AS REQUIRED.
- ⑦

EXISTING PLUMBING FIXTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)

NOTES

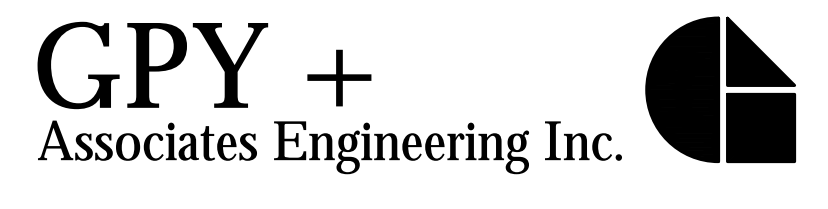
ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/DRAINING NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/DRAINING NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.



AREA 'A'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

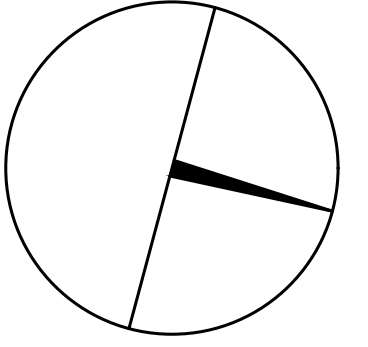

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facsimile: 416.351.8146




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Fax: 866 853 3732
email: engineering@gpyengineering.com





York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

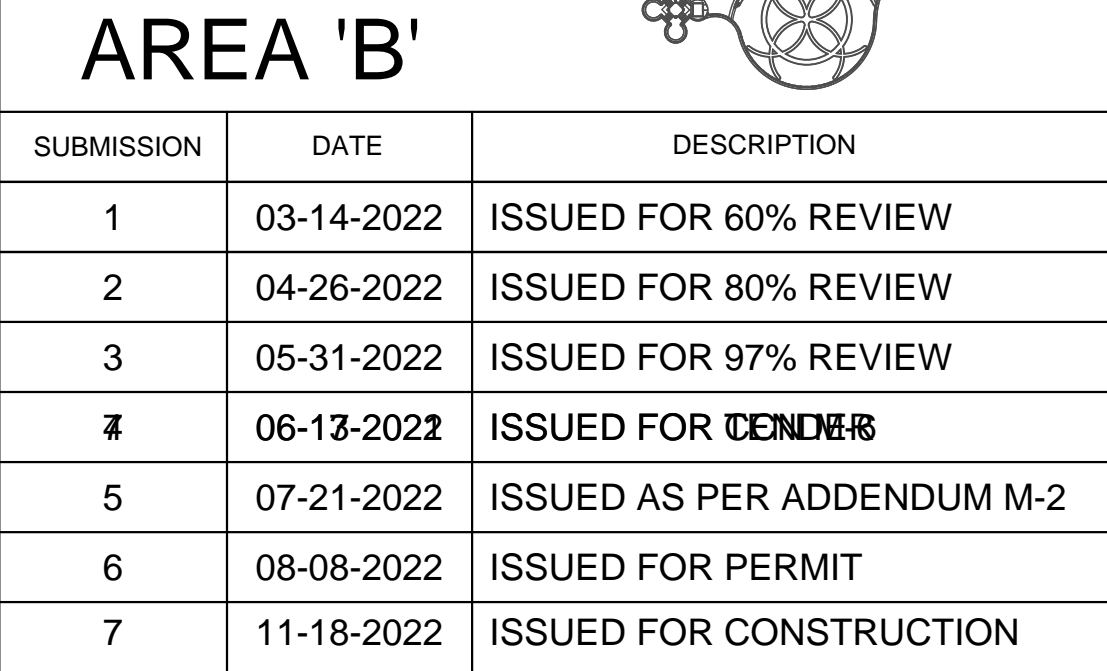
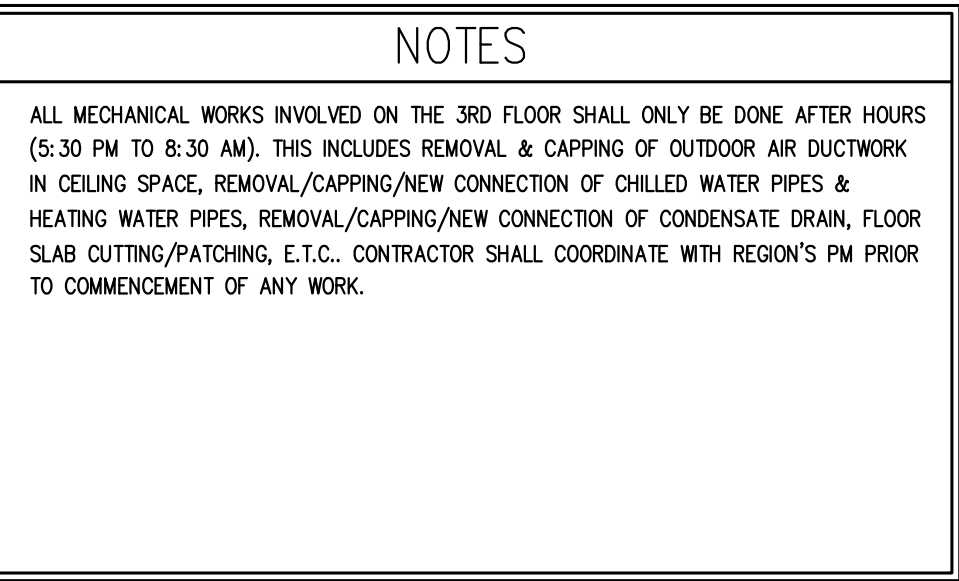
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:



PARTIAL 4TH FLOOR
AREA 'A'
PLUMBING & FIRE PROTECTION
DEMOLITION PLAN


SHEET NUMBER:

M-300



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 <p>GPY + Associates Engineering Inc.</p> <p>900 Centurian Drive Unit C Markham, Ontario L3R 8C5</p>	 <p>Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com</p>
--	---

 York Region	
PROPERTY SERVICES	
DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	
 PROJECT #9907 YORK REGION Administrative Centre 17250 Yonge Street Newmarket, Ontario	
SCALE: 1:100m	
DRAWN BY:	S.P.R./G.G.
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	
 PARTIAL 4TH FLOOR AREA 'B' PLUMBING & FIRE PROTECTION DEMOLITION PLAN	
SHEET NUMBER:	
M-301	

- GENERAL NOTES
1.

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2.

ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3.

CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
4.

CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
5.

MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
6.

PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
7.

SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
8.

PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
9.

ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
10.

ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
11.

MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
12.

ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.

- DRAWING NOTES
- ①

EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- ②

EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)
- ③

EXISTING SPRINKLER HEAD TO BE REMOVED. CAP ASSOCIATED SPRINKLER PIPE AS REQUIRED. (TYPICAL)
- ④

REMOVE EXISTING SINK C/W ASSOCIATED FAUCET. EXISTING PLUMBING & SANITARY DRAIN PIPING TO REMAIN AND MODIFY TO SLAT INSTALLATION OF NEW SINK. (TYPICAL)
- ⑤

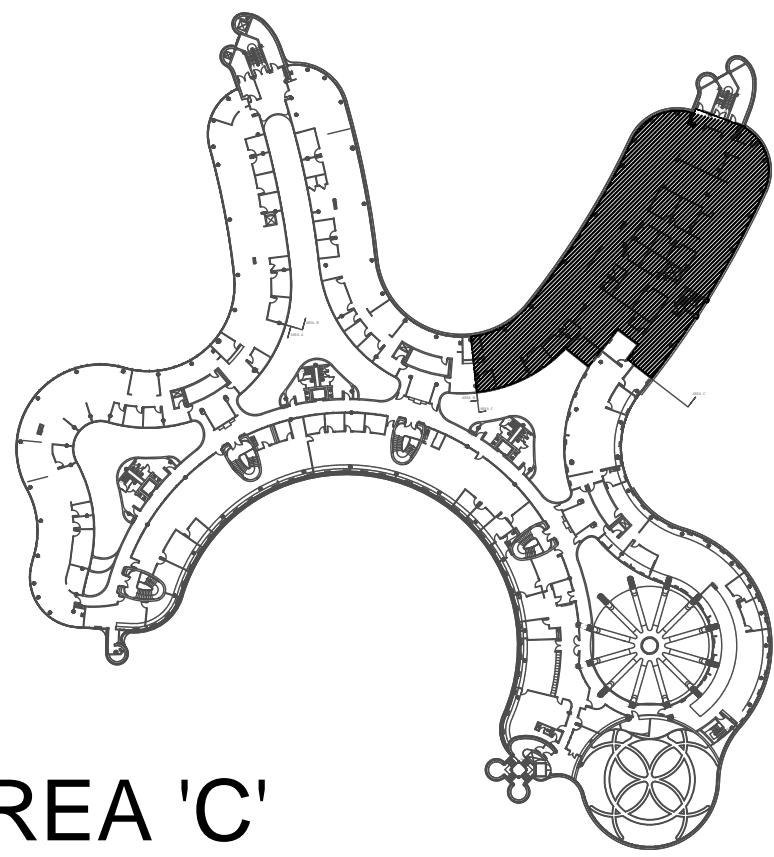
EXISTING LAVATORY C/W ASSOCIATED FAUCET AND P-TRAP TO BE REMOVED. EXISTING PLUMBING & SANITARY DRAINAGE PIPING TO REMAIN FOR INSTALLATION OF NEW PLUMBING FUTURE.
- ⑥

EXISTING WATER CLOSET C/W FLUSH VALVE, CARRIER & FLOOR FLANGE TO BE REMOVED. PLUMBING LINES & SANITARY VENT PIPING TO BE REMOVED. CUT BACK AND CAP IN CEILING SPACE. SANITARY DRAIN PIPING TO BE REMOVED AND CAP ON FLOOR BELOW. PATCH UP EXISTING FLOOR OPENING AS REQUIRED.
- ⑦

EXISTING PLUMBING FUTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CHASING NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CHASING NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.



AREA 'C'		
SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

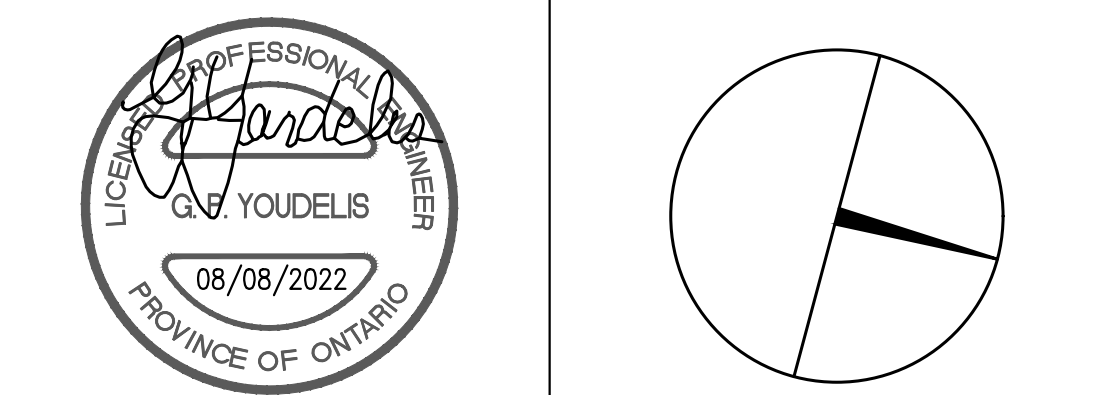
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email: engineering@gpyengineering.com



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

PROJECT #9907

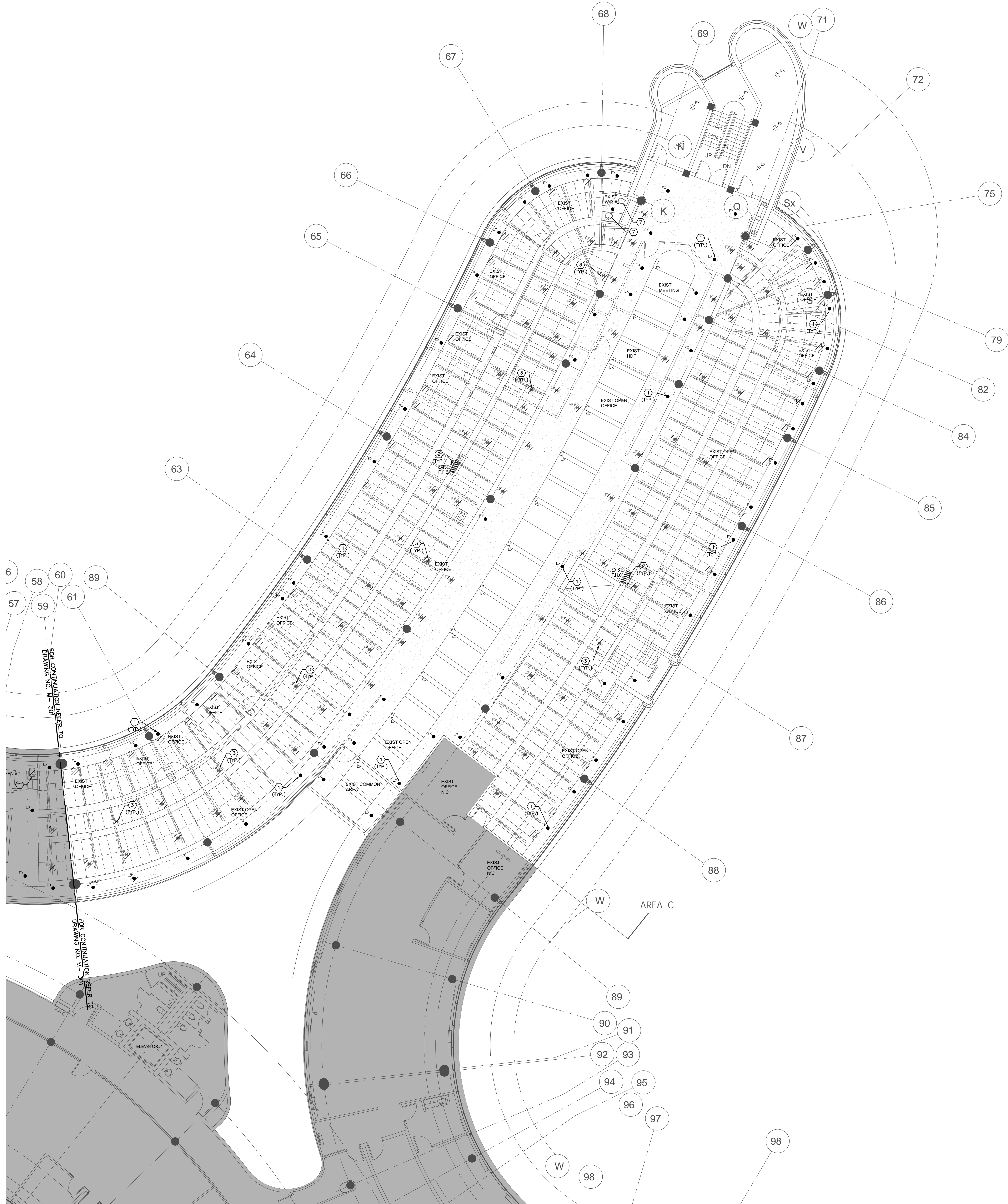
YORK REGION

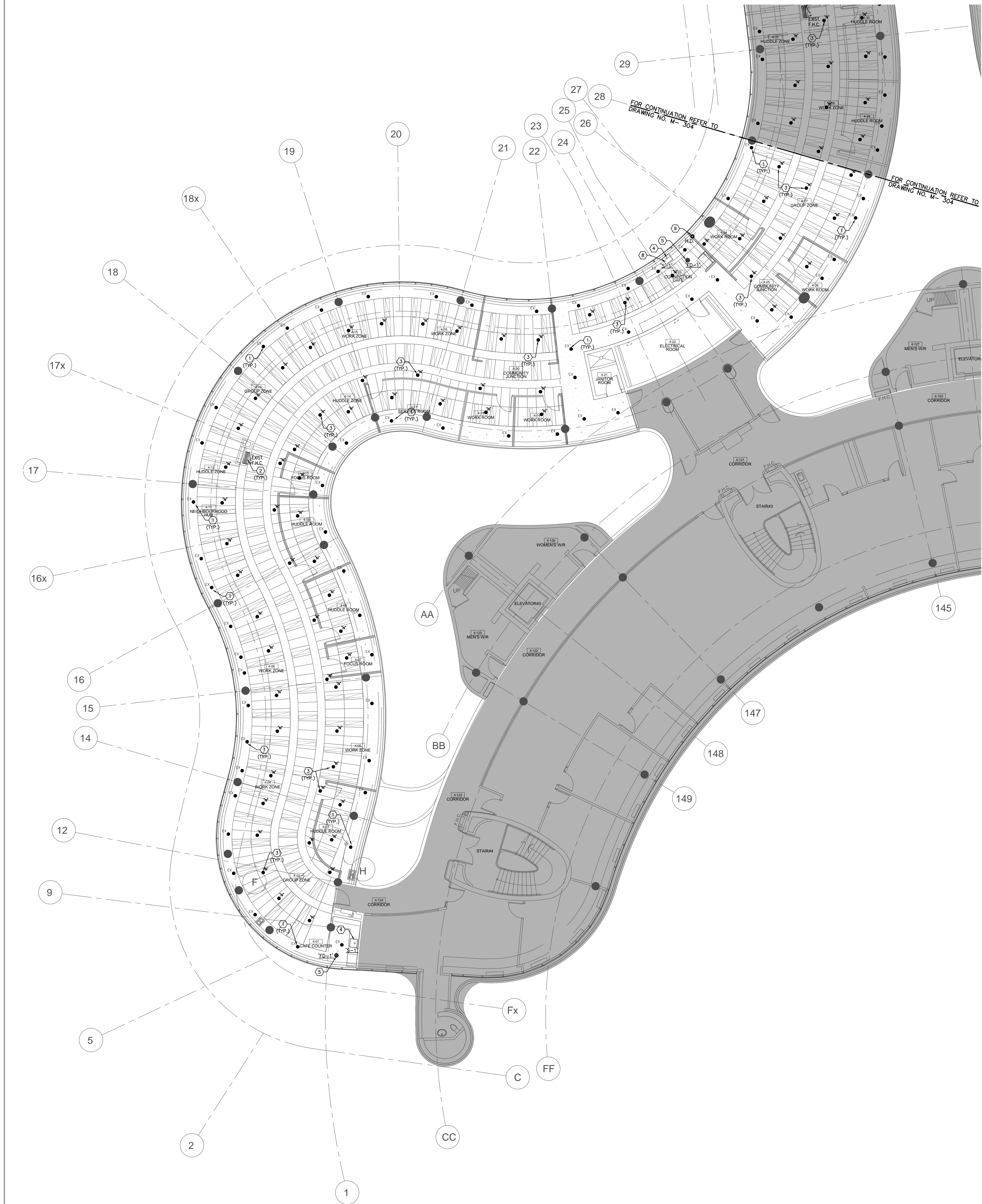
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m
DRAWN BY: S.P.R./G.G.
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'C'
PLUMBING & FIRE PROTECTION
DEMOLITION PLAN

SHEET NUMBER:
M-302





- GENERAL NOTES
1.

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2.

ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3.

CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
4.

CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
5.

MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
6.

PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
7.

SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
8.

PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
9.

ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
10.

ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
11.

MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
12.

ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.
13.

ALL SPRINKLER HEAD CONNECTIONS SHALL BE HARD PIPED. FLEXIBLE PIPING CONNECTION IS NOT ACCEPTABLE.

- DRAWING NOTES
- ①

EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- ②

EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)
- ③

PROVIDE NEW PENDANT SPRINKLER HEAD. (TYPICAL)
- ④

PROVIDE NEW SINK "30-1" C/W ASSOCIATED FAUCET, MOPPY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW SINK. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)
- ⑤

PROVIDE NEW 50A FLOOR DRAIN "10-1" C/W ASSOCIATED SANITARY DRAIN PIPING. CONNECT NEW SANITARY DRAIN PIPE TO NEAREST EXISTING SANITARY LINE IN CEILING SPACE ON FLOOR BELOW. (TYPICAL)
- ⑥

PROVIDE NEW SEMI-RECESSED SPRINKLER HEAD. (TYPICAL)
- ⑦

EXISTING PLUMBING FEATURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)
- ⑧

PROVIDE AN ALLOWANCE TO EXTEND EXISTING HOT & COLD WATER PIPING, VENT PIPING & SANITARY DRAIN ON FLOOR BELOW FROM DEMOLISHED SINK TO NEW LOCATION OF NEW SINK.
- ⑨

PROVIDE NEW HUB DRAIN IN CEILING SPACE AND CONNECT TO NEAREST SANITARY DRAIN PIPING AT THIS APPROXIMATE LOCATION.

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (2:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

AREA 'A'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

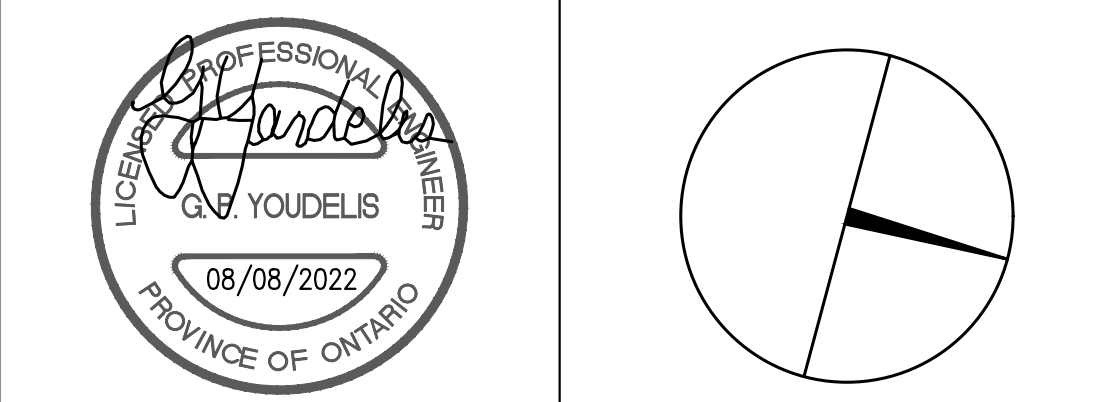
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L3R 8C5

Tel: 905 475 3138
Fax: 866 853 3732
email: engineering@gpyengineering.com



PROPERTY SERVICES

DEPARTMENT:

BUILDING & FACILITIES

FLOOR:

4TH

BASE DATE:

01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY:

S.P.R./G.G.

SUBMITTED TO:

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'A'
PLUMBING & FIRE PROTECTION
NEW LAYOUT

SHEET NUMBER:

M-303

- GENERAL NOTES
1.

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2.

ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3.

CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
4.

CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
5.

MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
6.

PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
7.

SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. WORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
8.

PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
9.

ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
10.

ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
11.

MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
12.

ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.
13.

ALL SPRINKLER HEAD CONNECTIONS SHALL BE HARD PIPED. FLEXIBLE PIPING CONNECTION IS NOT ACCEPTABLE.

- DRAWING NOTES
- ①

EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- ②

EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)
- ③

PROVIDE NEW PENDANT SPRINKLER HEAD. (TYPICAL)
- ④

PROVIDE NEW SINK "30-1" C/W ASSOCIATED FAUCET, MODIFY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW SINK. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)
- ⑤

PROVIDE NEW 50A FLOOR DRAIN "10-1" C/W ASSOCIATED SANITARY DRAIN PIPING. CONNECT NEW SANITARY DRAIN PIPE TO NEAREST EXISTING SANITARY LINE IN CEILING SPACE ON FLOOR BELOW. (TYPICAL)
- ⑥

PROVIDE NEW SEMI-RECESSED SPRINKLER HEAD. (TYPICAL)
- ⑦

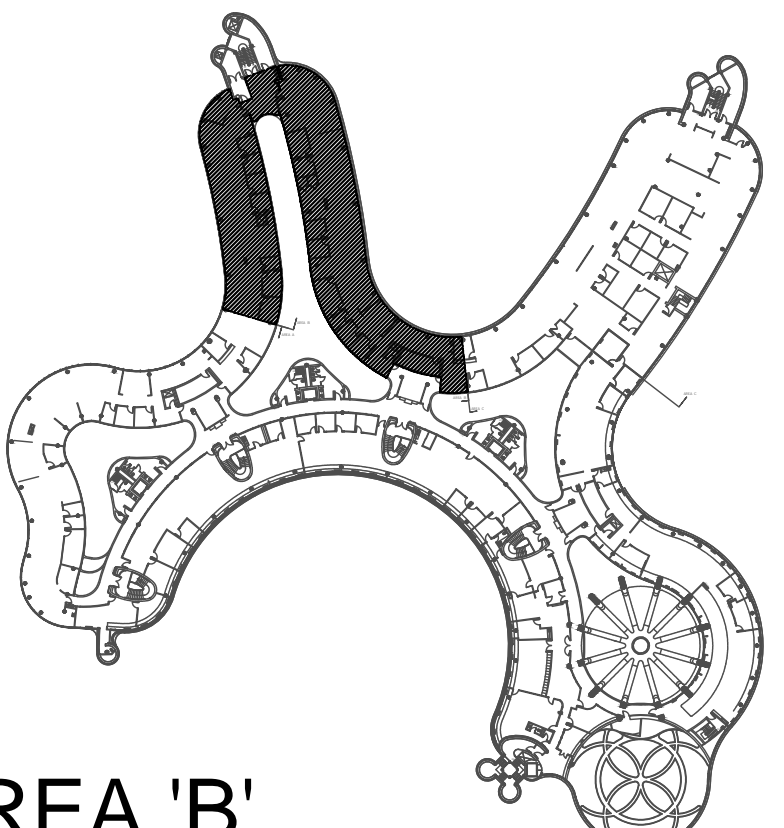
EXISTING PLUMBING FUTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)
- ⑧

PROVIDE AN ALLOWANCE TO EXTEND EXISTING HOT & COLD WATER PIPING VENT PIPING & SANITARY DRAIN ON FLOOR BELOW FROM DEMOLISHED SINK TO NEW LOCATION OF NEW SINK.
- ⑨

PROVIDE NEW HUB DRAIN IN CEILING SPACE AND CONNECT TO NEAREST SANITARY DRAIN PIPING AT THIS APPROXIMATE LOCATION.

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (2:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.



AREA 'B'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

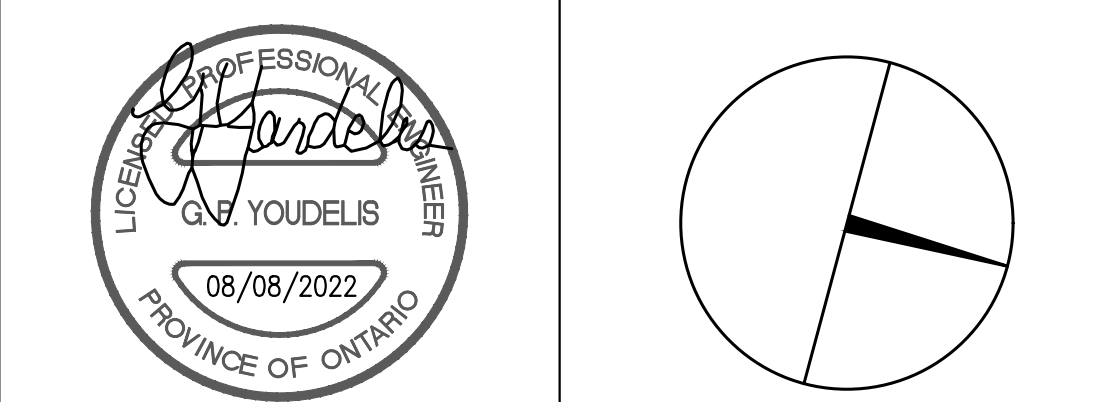
G.Bruce Stratton Architects

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telephone: 416.351.8145
facsimile: 416.351.8146

GPY + Associates Engineering Inc.

90C Centurian Drive
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L3R 8C5

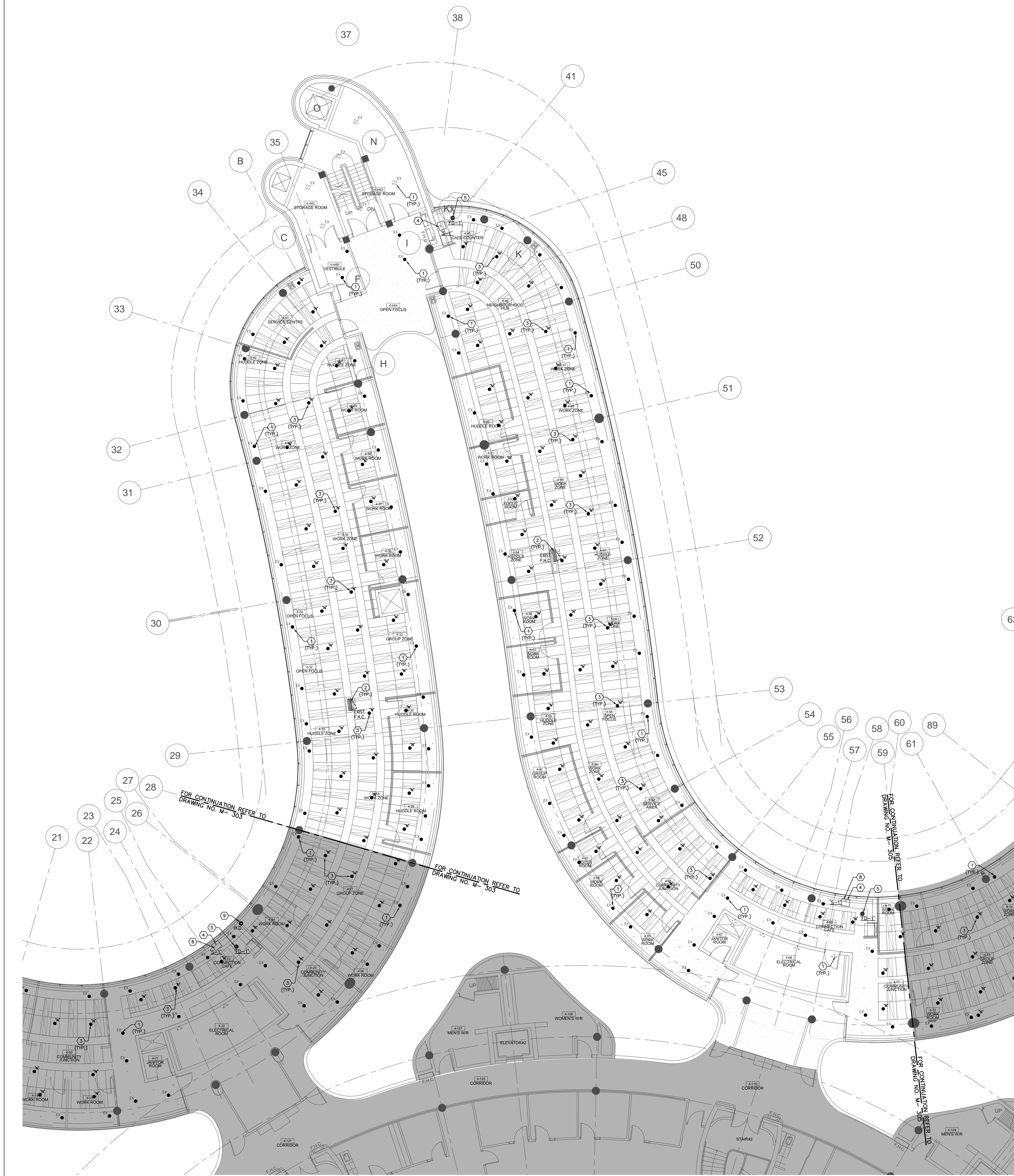
Tel: 905 475 3138
Fax: 866 853 3732
email: engineering@gpyengineering.com





PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	PROJECT #9907 YORK REGION Administrative Centre 17250 Yonge Street Newmarket, Ontario
SCALE:	1:100m
DRAWN BY:	S.P.R./G.G.
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	PARTIAL 4TH FLOOR AREA 'B' PLUMBING & FIRE PROTECTION NEW LAYOUT
SHEET NUMBER:	M-304



- GENERAL NOTES
1.

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2.

ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3.

CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
4.

CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
5.

MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
6.

PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
7.

SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
8.

PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
9.

ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
10.

ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
11.

MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
12.

ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.
13.

ALL SPRINKLER HEAD CONNECTIONS SHALL BE HARD PIPED. FLEXIBLE PIPING CONNECTION IS NOT ACCEPTABLE.

- DRAWING NOTES
- ①

EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- ②

EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)
- ③

PROVIDE NEW PENDANT SPRINKLER HEAD. (TYPICAL)
- ④

PROVIDE NEW SINK "30-1" C/W ASSOCIATED FAUCET, MODIFY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW SINK. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)
- ⑤

PROVIDE NEW 50A FLOOR DRAIN "10-1" C/W ASSOCIATED SANITARY DRAIN PIPING. CONNECT NEW SANITARY DRAIN PIPE TO NEAREST EXISTING SANITARY LINE IN CEILING SPACE ON FLOOR BELOW. (TYPICAL)
- ⑥

PROVIDE NEW SEMI-RECESSED SPRINKLER HEAD. (TYPICAL)
- ⑦

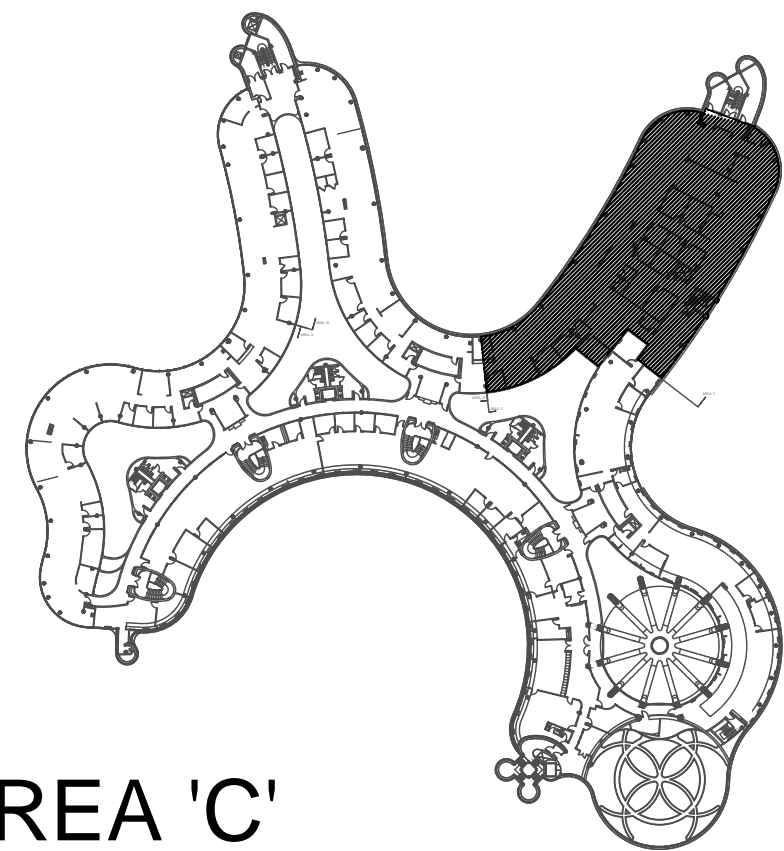
EXISTING PLUMBING FUTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)
- ⑧

PROVIDE AN ALLOWANCE TO EXTEND EXISTING HOT & COLD WATER PIPING, VENT PIPING & SANITARY DRAIN ON FLOOR BELOW FROM DEMOLISHED SINK TO NEW LOCATION OF NEW SINK.
- ⑨

PROVIDE NEW HUB DRAIN IN CEILING SPACE AND CONNECT TO NEAREST SANITARY DRAIN PIPING AT THIS APPROXIMATE LOCATION.

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 9:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.



AREA 'C'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

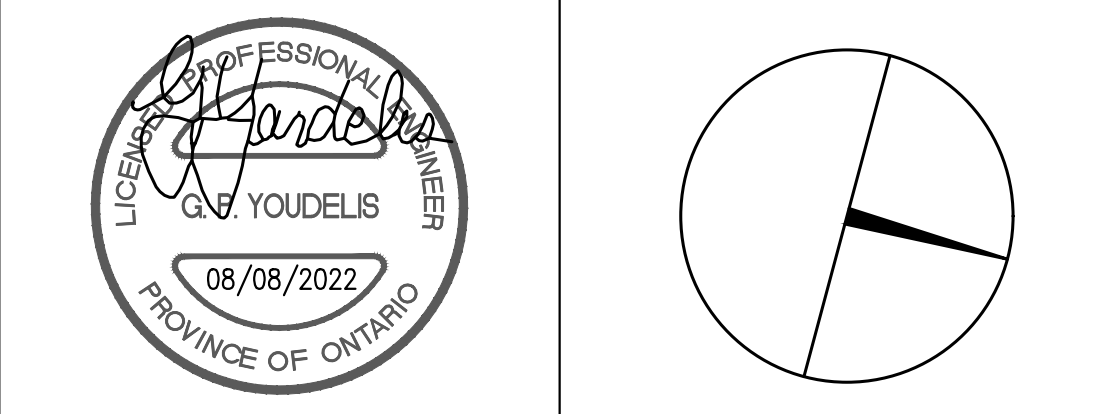
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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	PROJECT #9907 YORK REGION Administrative Centre 17250 Yonge Street Newmarket, Ontario

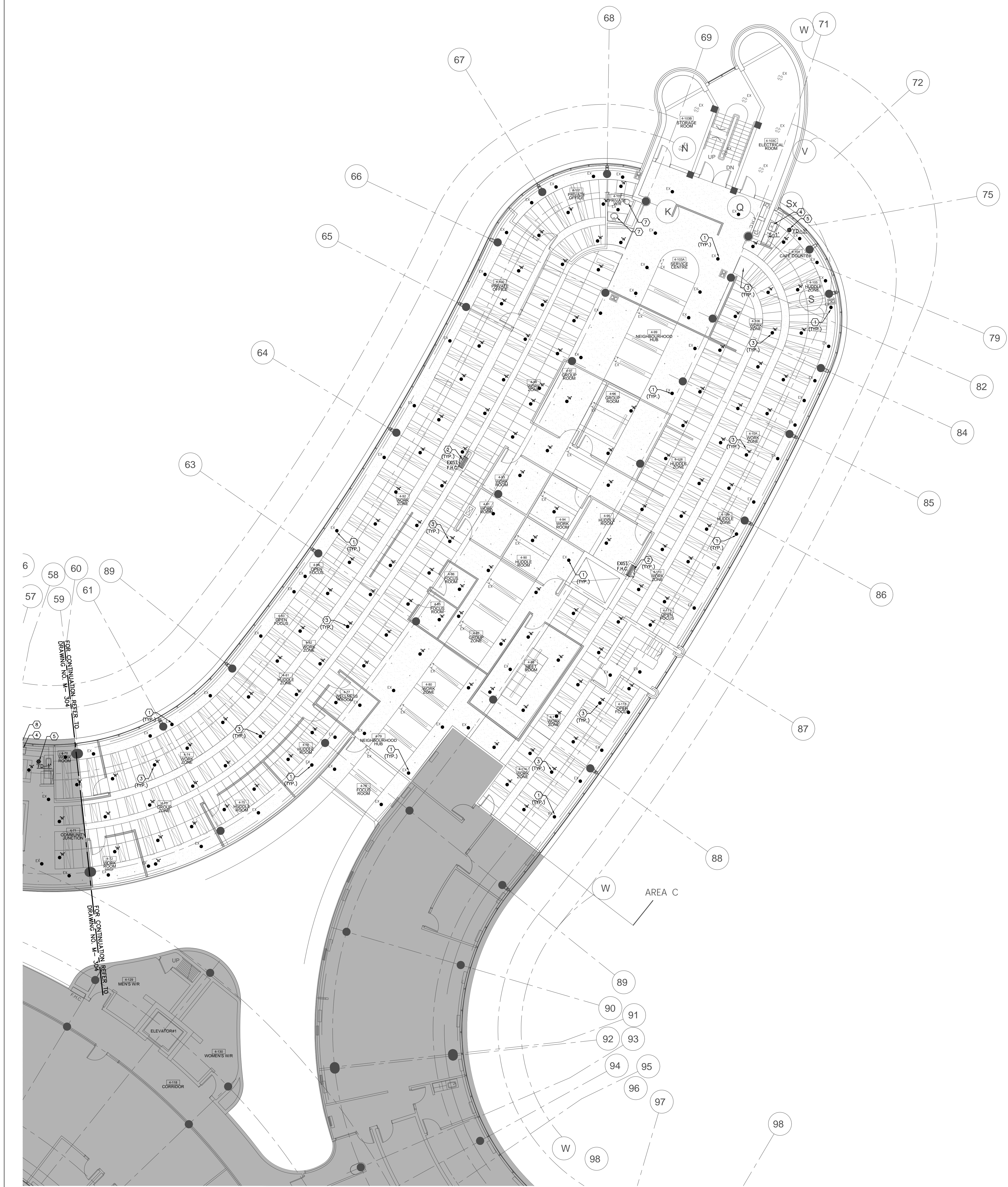
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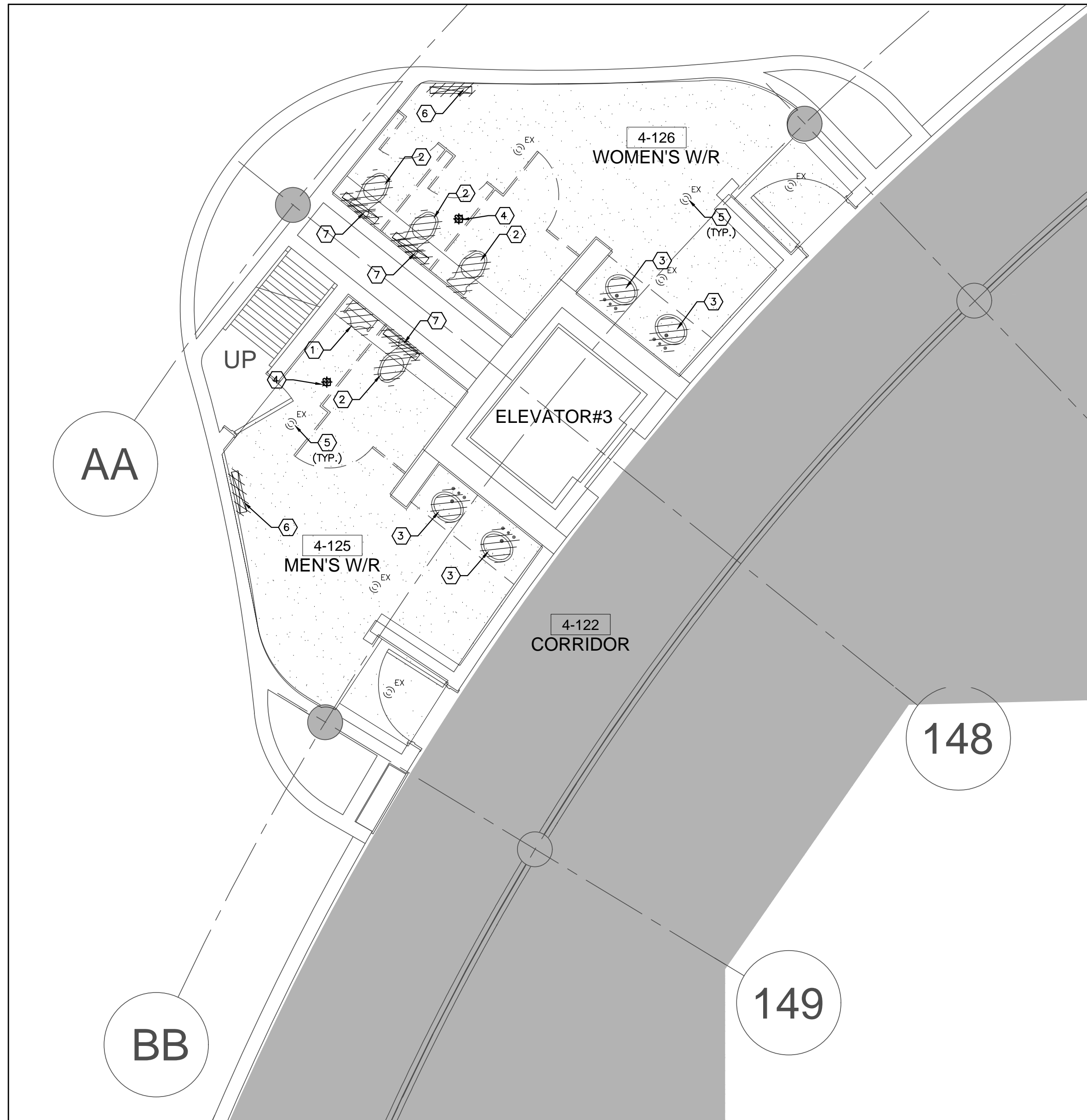
DRAWN BY: S.P.R./G.G.

SUBMITTED TO: MUNICIPALITY OF YORK

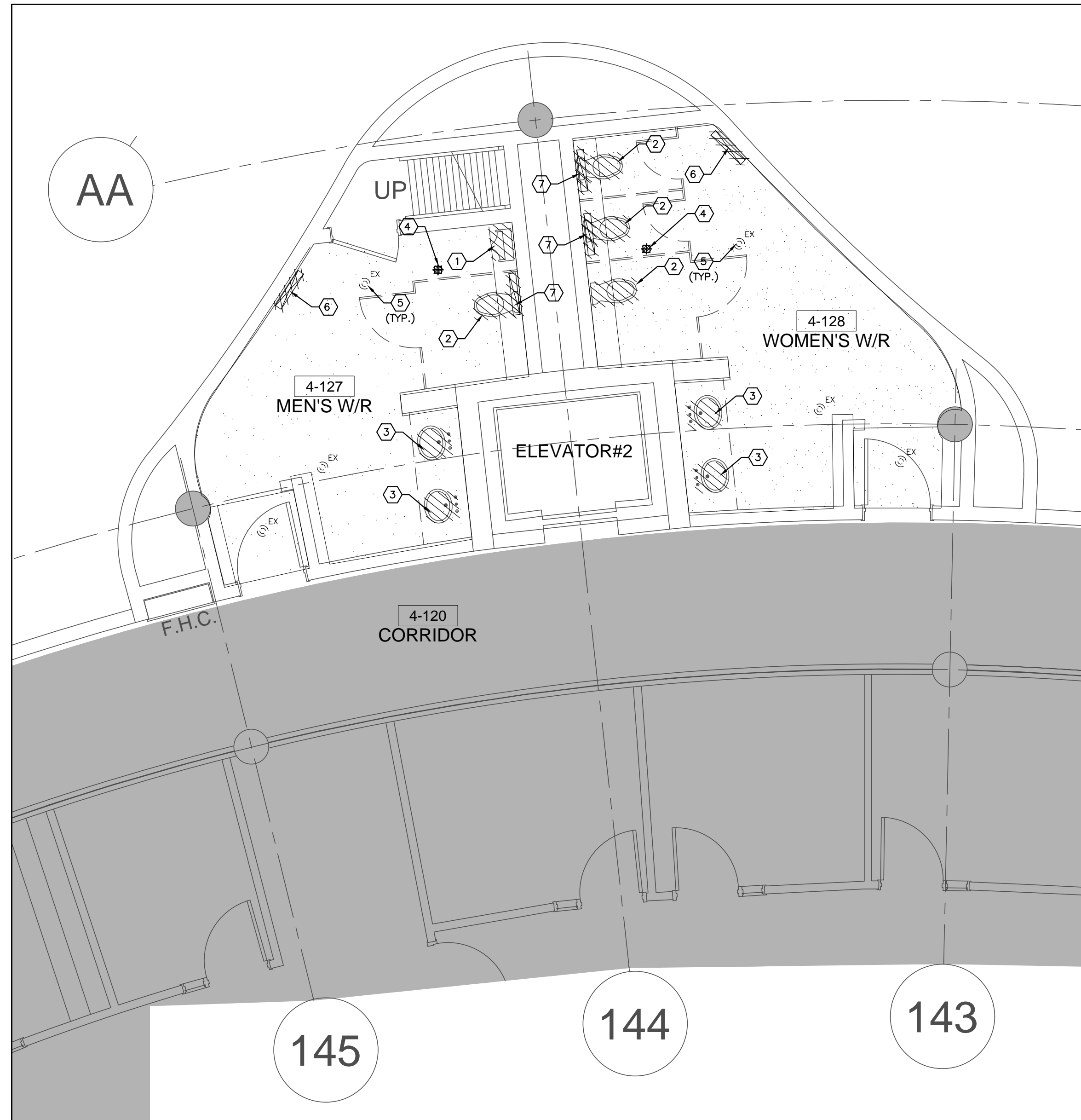
SHEET TITLE: PARTIAL 4TH FLOOR
AREA 'C'
PLUMBING & FIRE PROTECTION
NEW LAYOUT

SHEET NUMBER: M-305

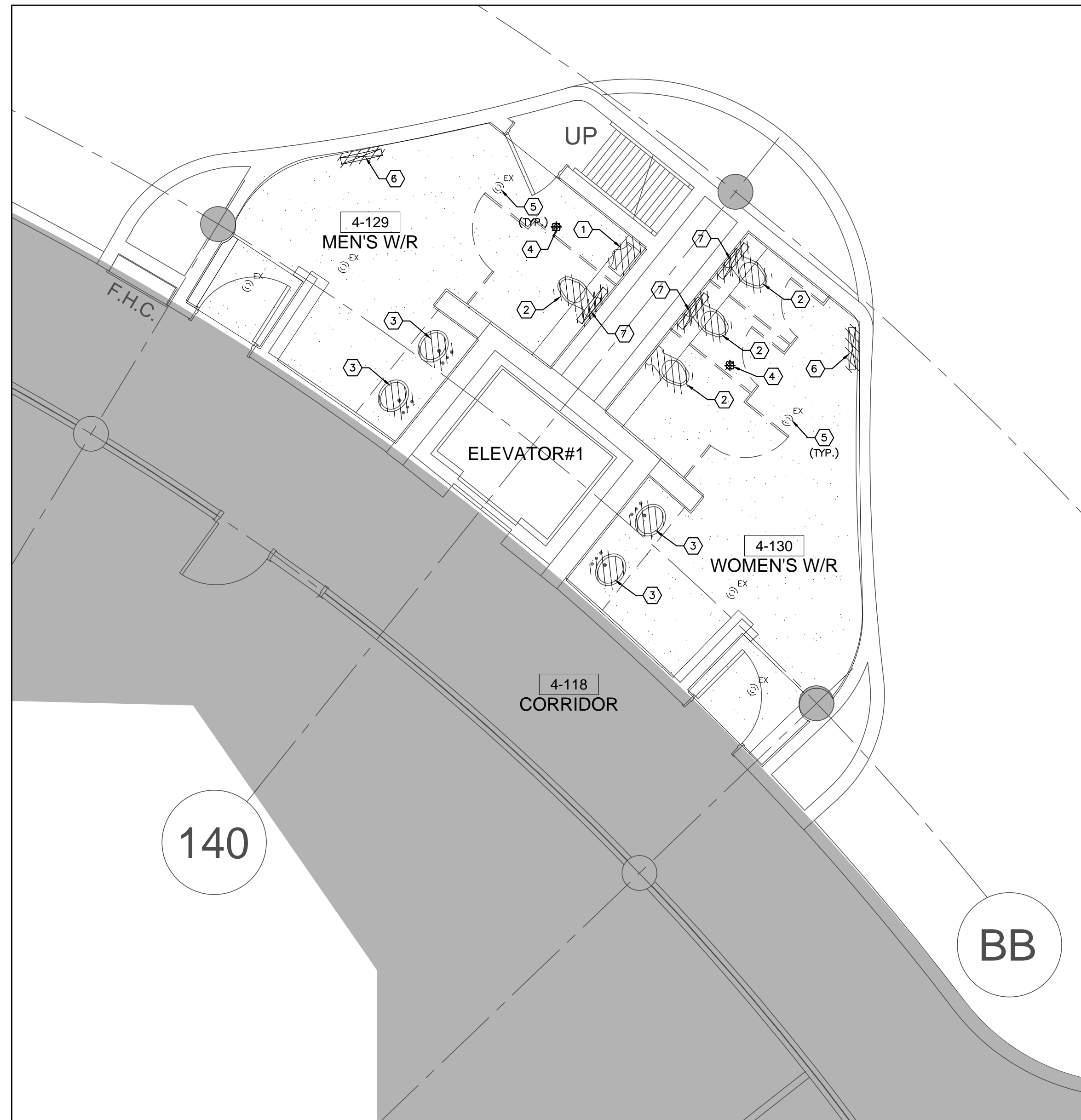




1 WASHROOMS 4-125 & 4-126 - MECHANICAL DEMOLITION PLAN
SCALE: 1:50



2 WASHROOMS 4-127 & 4-128 - MECHANICAL DEMOLITION PLAN
SCALE: 1:50



3 WASHROOMS 4-129 & 4-130 - MECHANICAL DEMOLITION PLAN
SCALE: 1:50

GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
- ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
- CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
- CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
- MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
- PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
- PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
- ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
- MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

DRAWING NOTES

- EXISTING URINAL C/W ASSOCIATED FLUSH VALVE TO BE REMOVED. EXISTING PLUMBING PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. REPLACE EXISTING CORNER DRAIN PIPING INSIDE SHAFT WITH NEW PVC PIPE AND PROVIDE ROUGH-IN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- EXISTING WATER CLOSET C/W ASSOCIATED FLUSH VALVE, FLOOR FLANGE AND CARRIER TO BE REMOVED. EXISTING PLUMBING & DRAINAGE PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- EXISTING LAVATORY C/W ASSOCIATED FAUCET TO BE REMOVED. EXISTING PLUMBING & DRAINAGE PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- EXISTING FLOOR DRAIN TO BE REMOVED. EXISTING DRAINAGE PIPING TO REMAIN FOR NEW FLOOR DRAIN INSTALLATION. (TYPICAL)
- EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- EXISTING SUPPLY AIR GRILLES TO BE REMOVED. EXISTING CONNECTED DUCTWORK TO REMAIN FOR INSTALLATION OF NEW SUPPLY AIR SLOT. (TYPICAL)
- EXISTING EXHAUST AIR GRILLES TO BE REMOVED. EXISTING CONNECTED DUCTWORK TO REMAIN FOR INSTALLATION OF NEW EXHAUST GRILLES. (TYPICAL)

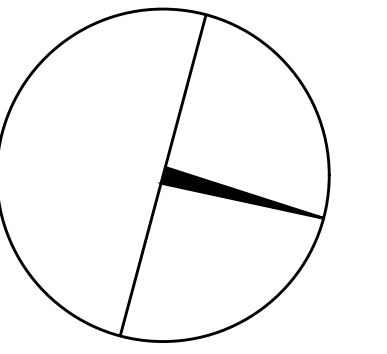
SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:

DRAWN BY: **S.P.R./G.G.**

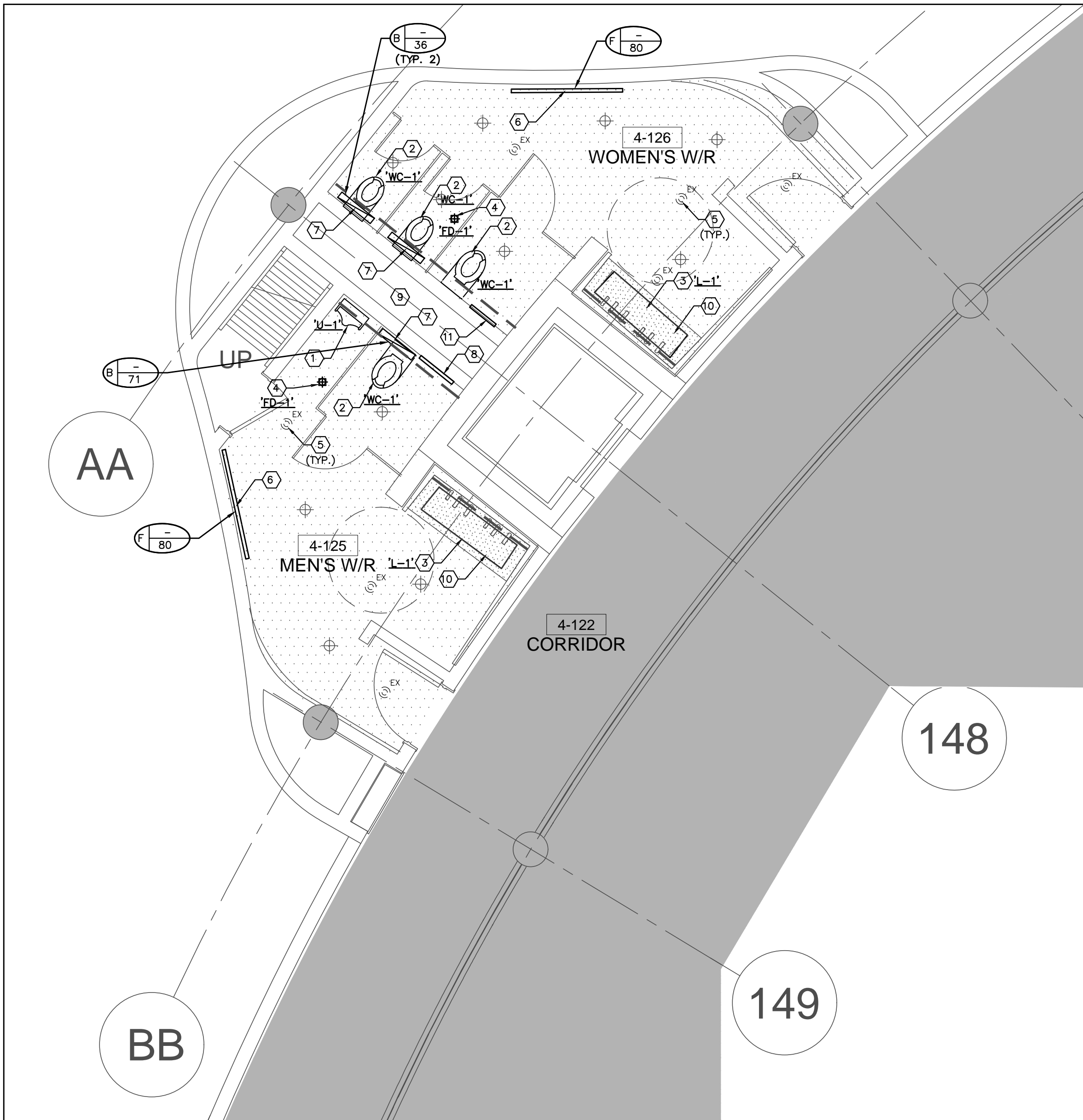
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

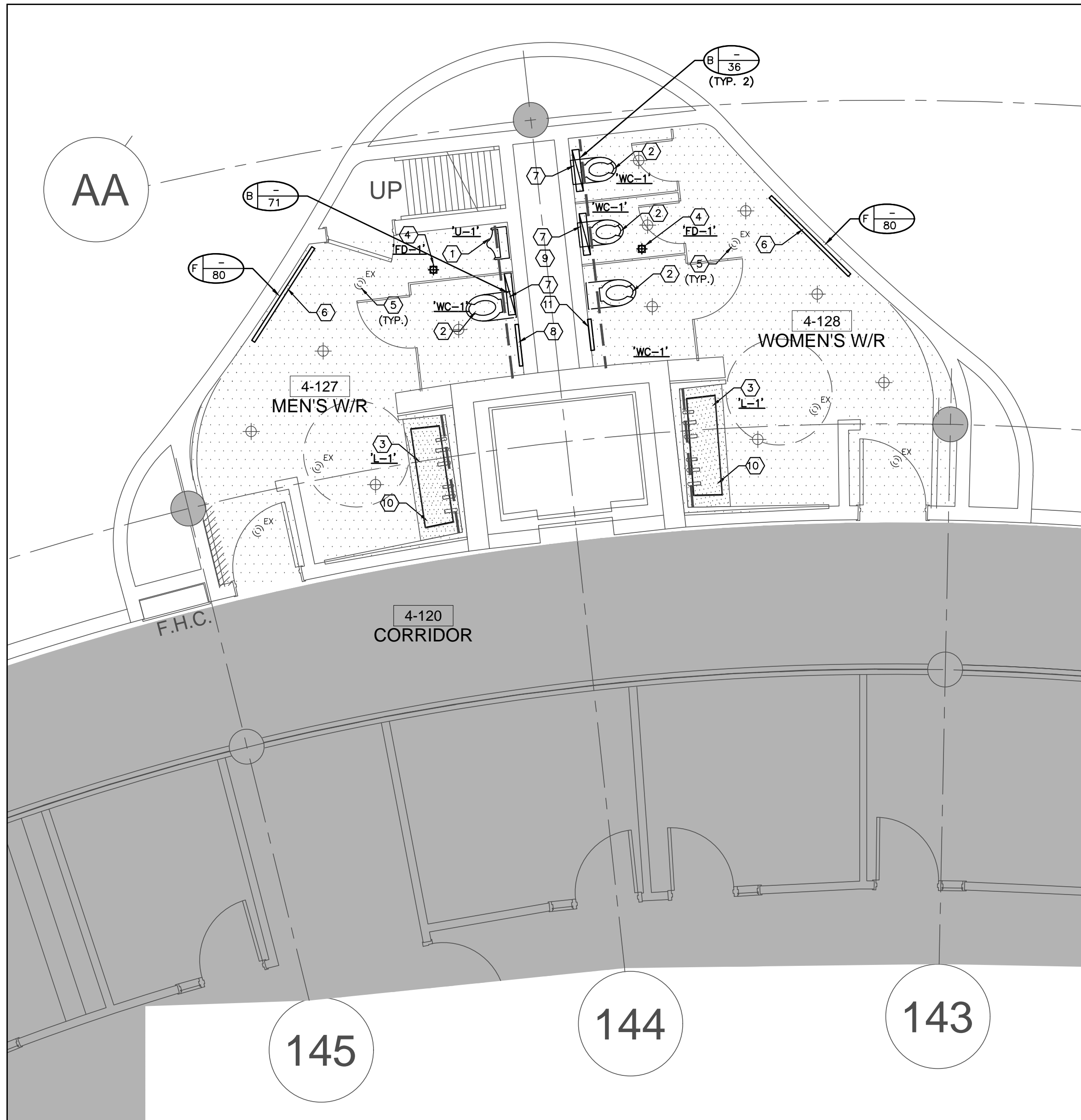
4TH FLOOR WASHROOMS
MECHANICAL
DEMOLITION PLAN

SHEET NUMBER:

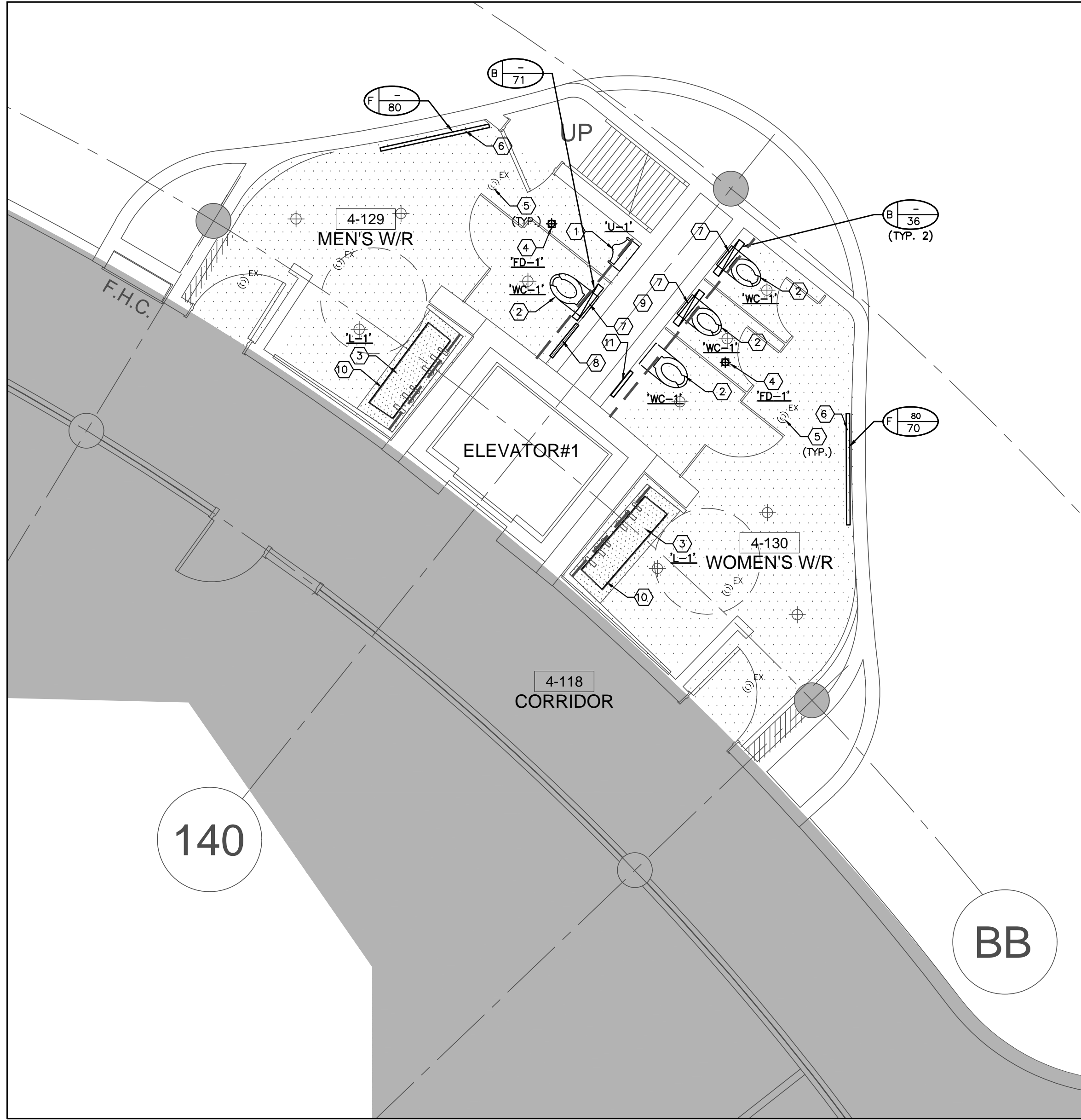
M-306



1 WASHROOMS 4-125 & 4-126 - MECHANICAL NEW LAYOUT
SCALE: 1/32



2 WASHROOMS 4-127 & 4-128 - MECHANICAL NEW LAYOUT
SCALE: 1/32



3 WASHROOMS 4-129 & 4-130 - MECHANICAL NEW LAYOUT
SCALE: 1/32

GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
- ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
- CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
- CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
- MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
- PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
- PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
- ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
- MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
- PROVIDE NEW ISOLATION VALVES FOR ALL PLUMBING FIXTURES.

DRAWING NOTES

- PROVIDE NEW URINAL 1/2" C/W ASSOCIATED FLUSH VALVE AND PIPING. MODIFY/EXTEND EXISTING COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY VENT PIPING TO SAT INSTALLATION OF NEW FIXTURE. PROVIDE NEW CLEAN-OUT. (TYPICAL)
- PROVIDE NEW WATER CLOSET 16" C/W ASSOCIATED FLUSH VALVE, CARRIER AND PIPING. MODIFY/EXTEND EXISTING COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY VENT PIPING TO SAT INSTALLATION OF NEW FIXTURE. PROVIDE NEW CLEAN-OUT. (TYPICAL)
- PROVIDE NEW LAVATORY 1/2" C/W ASSOCIATED FAUCET AND SOAP DISPENSER. MODIFY/EXTEND EXISTING HOT & COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY VENT PIPING TO SAT INSTALLATION OF NEW FIXTURE. PROVIDE NEW SHUT-OFF VALVES AND P-TRAP. P-TRAP SHALL BE ADJUSTABLE AND HAVE CLEANOUT FLUE ON THE BOTTOM OF THE TRAP. (TYPICAL) LAVATORY SHALL BE ONLY INSTALLED BY LOUVER TRAINED PERSONNEL. FAUCET AND HAND SOAP DISPENSER TO BE INSTALLED BY MECHANICAL TRADES AND ELECTRICAL CONNECTION BY DIV. 16. (SEE ADDITIONAL NOTES BELOW)
- PROVIDE NEW FLOOR DRAIN 20" C/W BODY & ADJUSTABLE STRAINER COVER AND CONNECT TO EXISTING DRAIN PIPING. FLOOR DRAIN TO BE FLUSHED MOUNT WITH NEW FINISH FLOOR LEVEL. SIZE OF FLOOR DRAIN SAME AS EXISTING. (TYPICAL)
- EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- NEW ARCHITECTURAL, PLENUM SLOT DIFFUSER. MODIFY/EXTEND EXISTING DUCTWORK TO SUIT INSTALLATION OF NEW DIFFUSER. RE-BALANCE TO NEW AIR QUANTITY AS INDICATED. SLOT DIFFUSER BY ARCHITECTURAL DIVISION (TYPICAL)
- PROVIDE NEW TYPE 'Y' EXHAUST AIR GRILLES C/W FACE ADJUSTABLE BALANCING DAMPER. PRIOR TO ORDERING, VERIFY EXACT SIZE OF GRILLE WITH DUCT FLANGE ON SITE. MODIFY/EXTEND EXISTING DUCTWORK AS REQUIRED. (TYPICAL)
- PROVIDE NEW RINGWALL ACCESS PANEL ON WALL FOR ACCESSING MECHANICAL CHASE. AREA FOR MAINTENANCE PURPOSES. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. EXACT LOCATION TO BE VERIFIED ON SITE. (TYPICAL)
- PROVIDE A SEPARATE PRICE FOR REPLACEMENT OF ALL SANITARY PIPING BACK TO SANITARY RISERS WITHIN THE MECHANICAL CHASE AREA. PRICE TO INCLUDE PROVIDING ADDITIONAL 6 METERS OF PIPING.
- PROVIDE NEW HOT & COLD WATER HOSE BIBB UNDER LAVATORY
- PROVIDE NEW 300x450 ACCESS PANEL ON WALL FOR MECHANICAL SERVICES. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. EXACT LOCATION TO BE VERIFIED ON SITE. 14 PCS PER WOMEN'S WASHROOM. ACCESS PANEL SHALL BE POWDER WHITE COATED.

NOTES

PRIOR TO INSTALLATION OF LAVATORY FAUCET AND SOAP DISPENSER, CONTRACTOR SHALL PROVIDE A SKETCH SHOWING PIPING ARRANGEMENT, WORK ROUTING AND CLEARANCES FOR ACCESSING EQUIPMENT FOR MAINTENANCE OR SERVICING. THE SKETCH SHALL BE SUBMITTED TO YORK REGION'S PM FOR REVIEW AND APPROVAL. WORK SHALL NOT PROCEED WITHOUT YORK REGION'S PM APPROVAL AND DIRECTIONS.

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

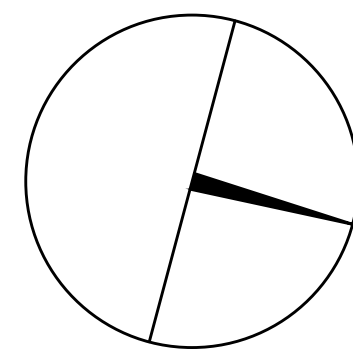
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS NOTED

DRAWN BY: S.P.R./G.G.

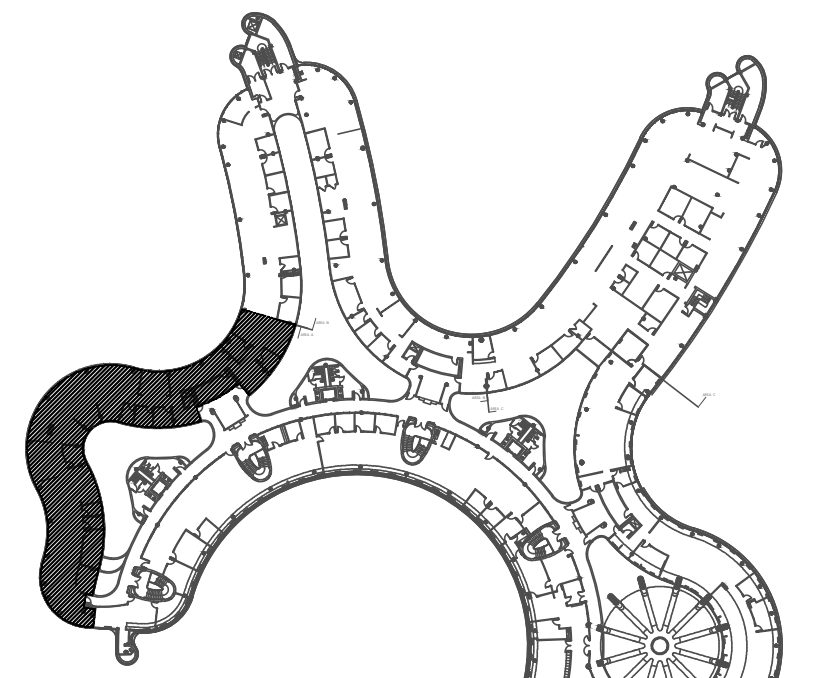
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

4TH FLOOR WASHROOMS
MECHANICAL
NEW LAYOUT

SHEET NUMBER:

M-307



AREA 'A'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

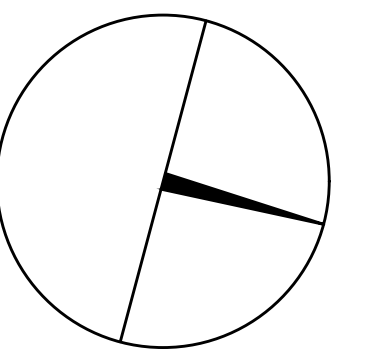
G. Bruce Stratton Architects

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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES
FLOOR: 4TH
BASE DATE: 01-01-2022
PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'A'
HYDRONIC NEW LAYOUT

SHEET NUMBER:

M-400

GENERAL NOTES

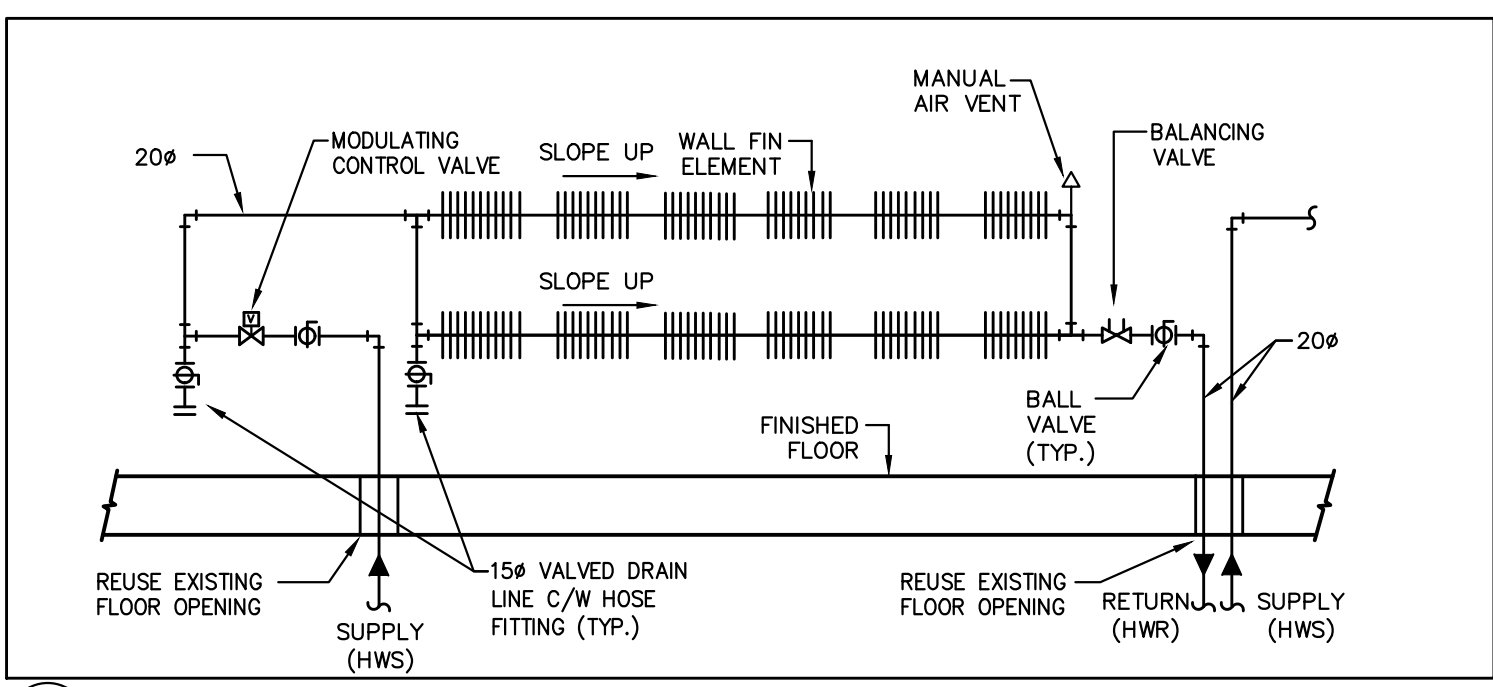
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
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7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND WASH GOOD.
9. WHERE OUTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (8:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR OUTWORK IN CEILING SPACE. REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH REDON'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

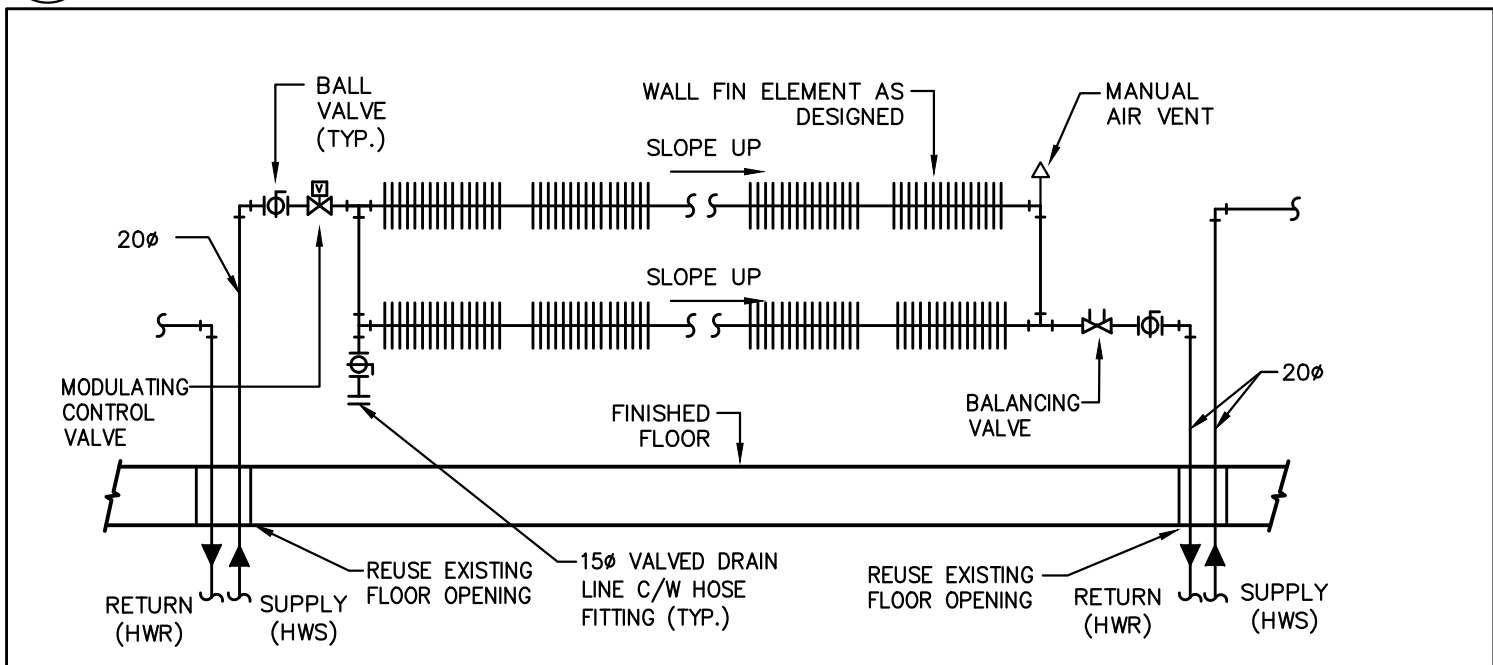
DRAWING NOTES

1. NEW FLOOR MOUNTED WALL-FIN CABINET RADIATOR C/W ENCLASURE. PROVIDE NEW HEATING WATER PIPE AND CONNECT TO NEW EXISTING HEATING WATER PIPE IN THIRD FLOOR CEILING SPACE. REFER TO DETAIL NO. 3 & 4/M-104 (TYPICAL)
2. PROVIDE NEW CONDENSATE DRAIN C/W P-TRAP TO SERVE FAN COIL UNIT AND EXTEND AS SHOWN. SIZE PIPE AS INDICATED. (TYPICAL)
3. NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
4. DROP NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISER AT ELECTRICAL ROOM. REFER TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
5. INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIP TO HUB DRAIN NEAR SINK.
6. CONNECT NEW CONDENSATE DRAIN PIPE TO EXISTING STORM DRAIN PIPING IN CEILING SPACE AT THIS APPROXIMATE LOCATION. PIPE SHALL BE CONNECTED VERTICALLY. (TYPICAL)
7. TERMINATE NEW CONDENSATE DRAIN PIPE AT EXISTING JANITOR'S SINK. PROVIDE FLOOD SENSOR IN JAN. CLOSET. (TYPICAL)
8. DROP NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISER AT ELECTRICAL ROOM. REFER TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
9. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)
10. NEW FAN COIL UNIT IN CEILING SPACE. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. PROVIDE UNIT SUPPORTS AS REQUIRED. (TYPICAL)
11. PROVIDE NEW 25# CHILLED WATER SUPPLY/RETURN WATER PIPE & 20# HEATING WATER SUPPLY/RETURN PIPE TO NEW FAN COIL UNIT C/W ISOLATION VALVE, BALANCING VALVE, CONTROL VALVE AND CONTROL WIRING. (TYPICAL)
12. NEW WALL FIN RAD ENCLASURE SHALL BE CONTIGUOUS FROM WALL TO WALL. PROVIDE TWO CHAIRS NEAR WALL AS REQUIRED. ENCLASURE SHALL HAVE ACCESS PANEL, MODEL CONTROL VALVES ARE LOCATED. ENCLASURE SHALL BE ACCESSIBLE AT ALL TIMES.
13. AT EACH CHANGE OF DIRECTION ON CHILLED WATER PIPING CONTRACTOR TO PROVIDE ELBOWS AS PER MECHANICAL DETAIL NO. 103-M-104 (TYPICAL)
14. NEW 20# HEATING SUPPLY/RETURN PIPE FROM NEW EXISTING HEATING SUPPLY/RETURN PIPE MAIN LOCATED IN THIRD FLOOR CEILING SPACE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING (DRILLING) FIRE-STOPPING AS REQUIRED. CONTRACTOR TO ENSURE ALL PIPING ARE ENCLOSED WITHIN RAD ENCLASURE. PROVIDE ALL NECESSARY FITTING/PIPE EXTENSION AS REQUIRED.
15. INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIPE TO HUB DRAIN NEAR SINK.



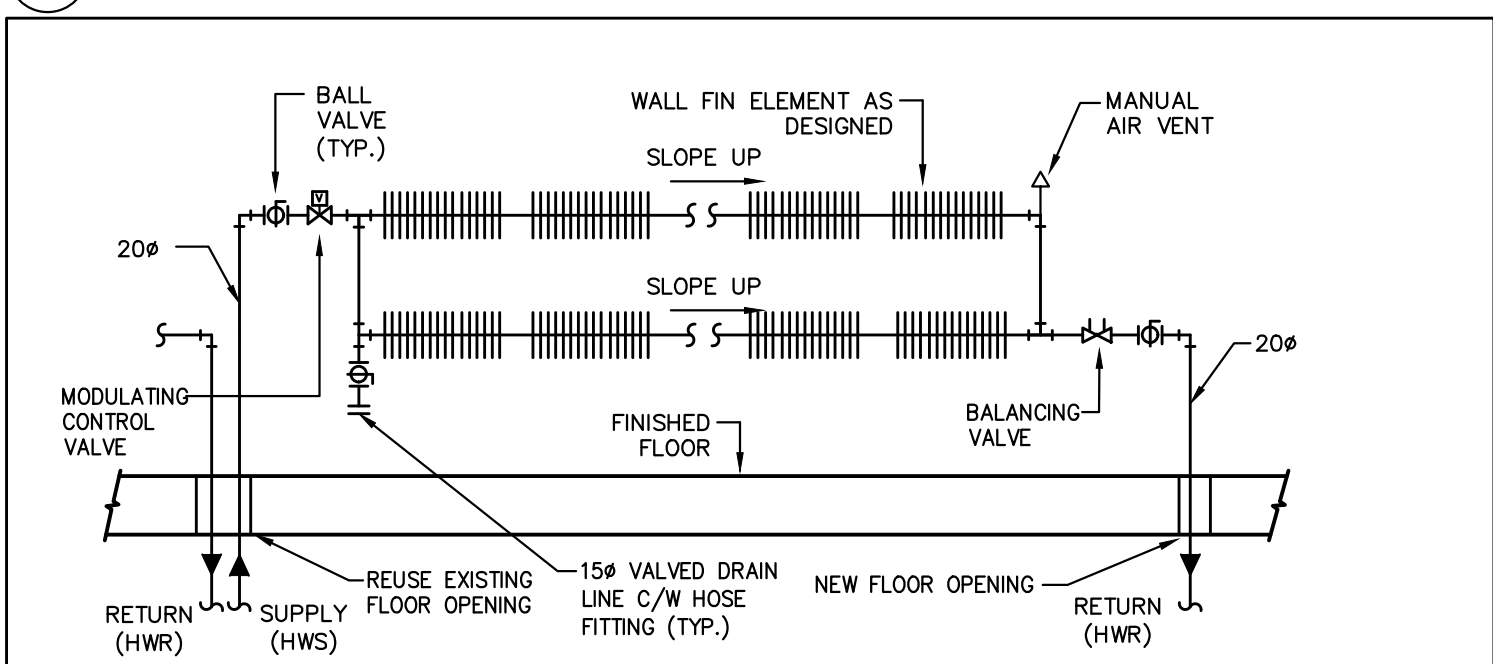
TYPE A1 TO A4' WALL FIN RADIATION PIPING SCHEMATIC

M-400 SCALE: N.T.S.



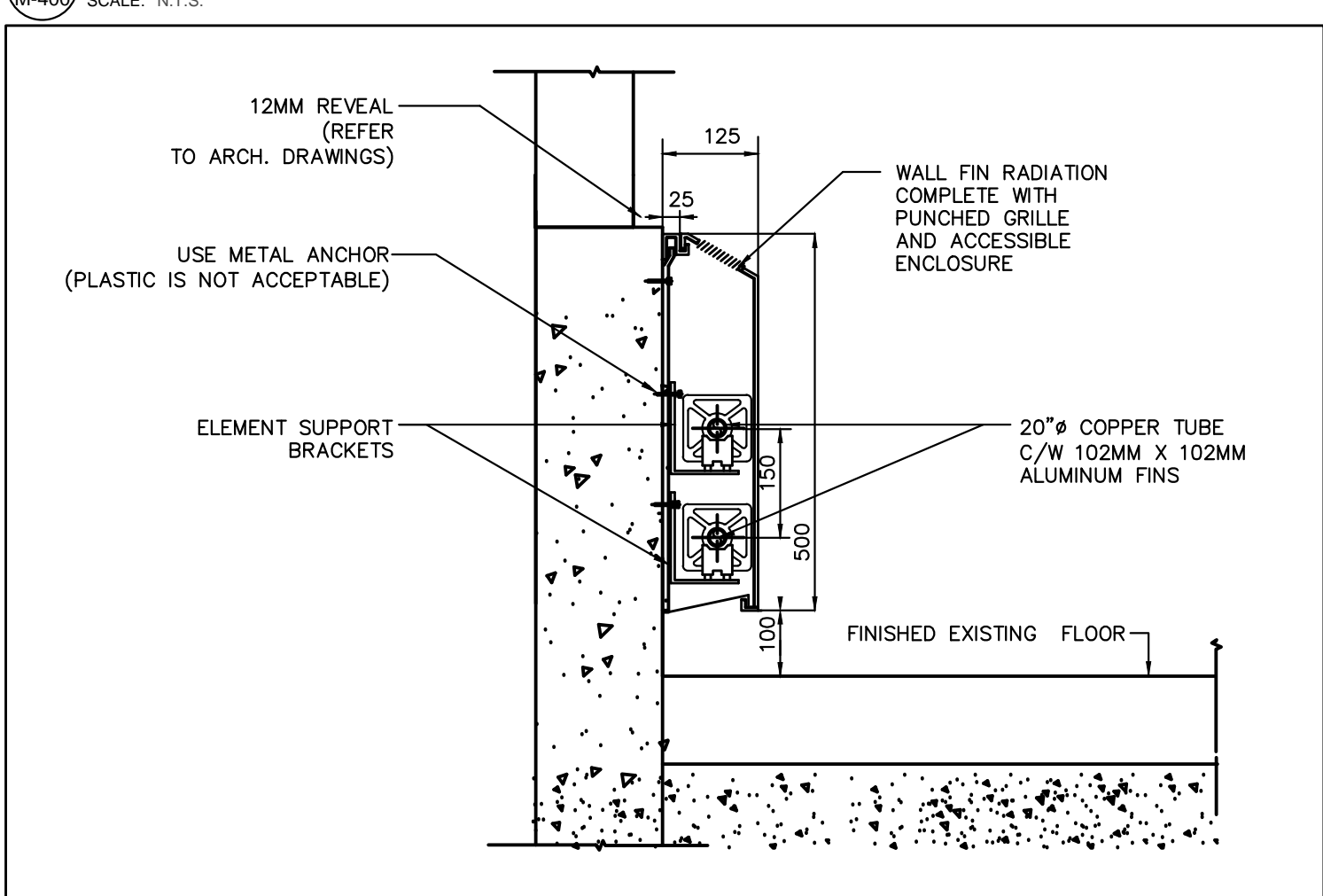
TYPE B1' TO 'B12' WALL FIN RADIATION PIPING SCHEMATIC

M-400 SCALE: N.T.S.



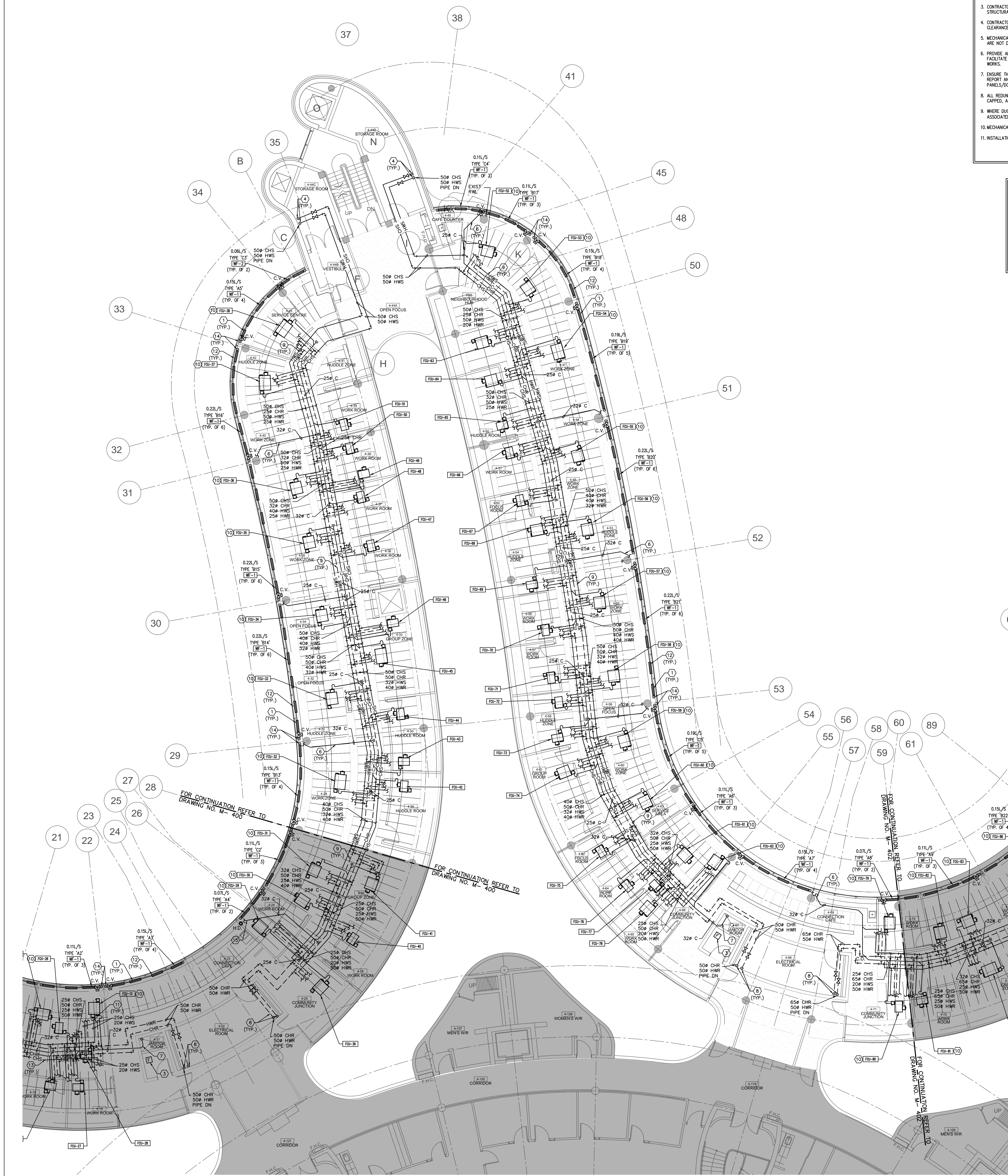
TYPE C1' & 'C2' WALL FIN RADIATION PIPING SCHEMATIC

M-400 SCALE: N.T.S.



DOUBLE WALL FIN RADIATION DETAIL

M-400 SCALE: N.T.S.

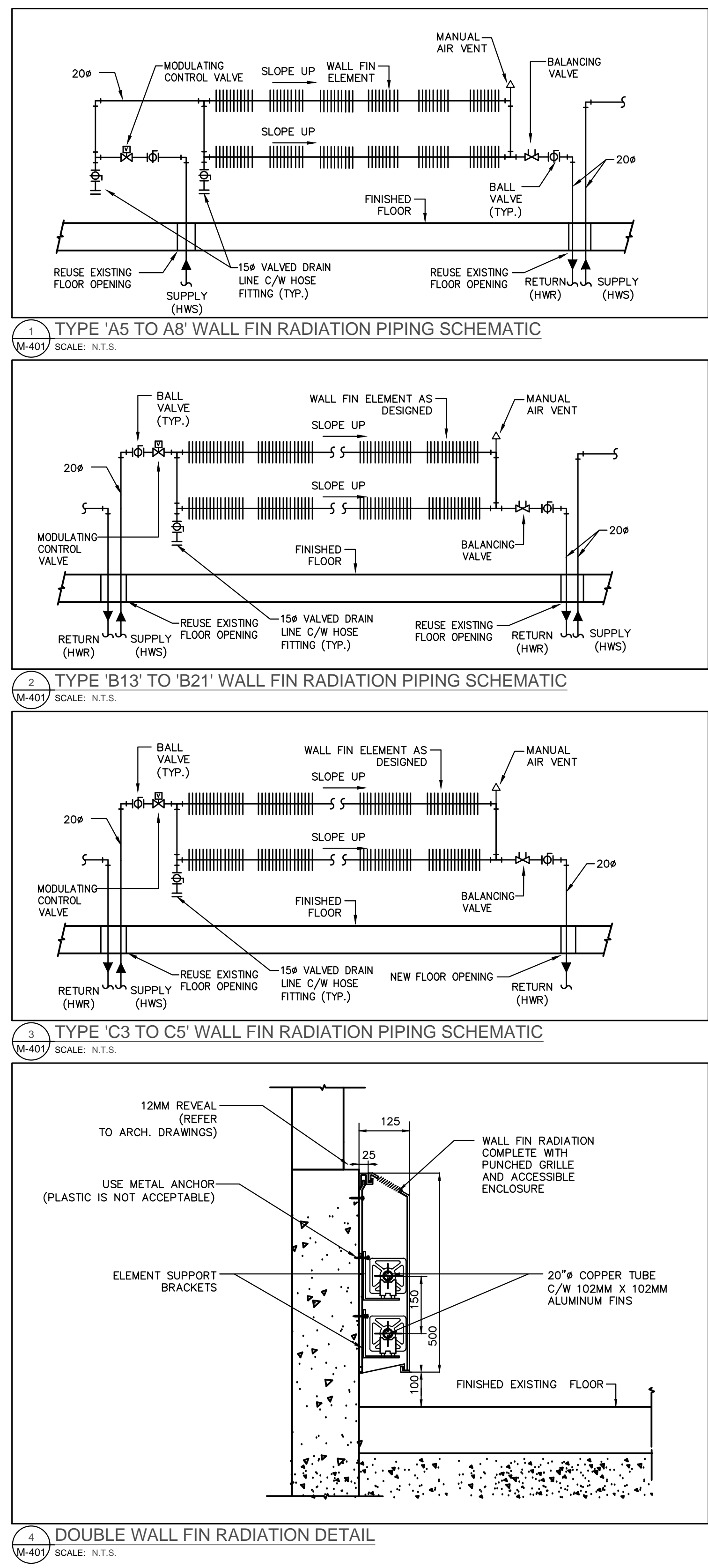


- GENERAL NOTES**
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
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 6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
 11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (3:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR OUTTAKES IN CEILING SPACE. REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, ETC. CONTRACTOR SHALL COORDINATE WITH REDON'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

- DRAWING NOTES**
1. NEW FLOOR MOUNTED WALL-FIN CABINET RADIATOR C/W ENCLOSURE. PROVIDE NEW HEATING WATER PIPE AND CONNECT TO EXISTING HEATING WATER PIPE IN THIRD FLOOR CEILING SPACE. REFER TO DETAIL NO. 3 & 4/M-104 (TYPICAL)
 2. PROVIDE NEW CONDENSATE DRAIN C/W P-TRAP TO SERVE FAN COIL UNIT AND EXTEND AS SHOWN. SIZE PIPE AS INDICATED (TYPICAL)
 3. NEW JANITOR ROOM FLOOR WATER DETECTOR SENSOR. PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
 4. DROP NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISERS AT ELECTRICAL ROOM REFS TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
 5. INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIP TO HUB DRAIN NEAR SINK.
 6. CONNECT NEW CONDENSATE DRAIN PIPE TO EXISTING STORM DRAIN PIPING IN CEILING SPACE AT THIS APPROXIMATE LOCATION. PIPE SHALL BE CONNECTED VERTICALLY (TYPICAL)
 7. TERMINATE NEW CONDENSATE DRAIN PIPE AT EXISTING JANITOR'S SINK. PROVIDE FLOOD SENSOR IN JAN. CLOSET (TYPICAL)
 8. DROP NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISERS AT ELECTRICAL ROOM REFS TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
 9. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES (TYPICAL)
 10. NEW FAN COIL UNIT IN CEILING SPACE. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. PROVIDE UNIT SUPPORTS AS REQUIRED (TYPICAL)
 11. PROVIDE NEW 25# CHILLED WATER SUPPLY/RETURN WATER PIPE & 20# HEATING WATER SUPPLY/RETURN PIPE TO NEW FAN COIL UNIT C/W ISOLATION VALVE, BALANCING VALVE, CONTROL VALVE AND CONTROL WIRING (TYPICAL)
 12. NEW WALL FIN RAD ENCLOSURE SHALL BE CONTIGUOUS FROM WALL TO WALL. PROVIDE TWO (2) CHAS. NEAR WALL AS REQUIRED. ENCLOSURE SHALL HAVE ACCESS PANEL, WIRE CONTROL VALVES ARE LOCATED. ENCLOSURE SHALL BE ACCESSIBLE AT ALL TIMES.
 13. AT EACH CHANGE OF DIRECTION ON CHILLED WATER PIPING CONTRACTOR TO PROVIDE GOSTEST AS PER MECHANICAL DETAIL NO. 103-104/M-104 (TYPICAL)
 14. NEW 20# HEATING SUPPLY/RETURN PIPE FROM NEW EXISTING HEATING SUPPLY/RETURN PIPE MAIN LOCATED IN THIRD FLOOR CEILING SPACE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING (DRILLING) FIRE-STOPPING AS REQUIRED. CONTRACTOR TO ENSURE ALL PIPING ARE ENCLOSED WITHIN RAD ENCLOSURE. PROVIDE ALL NECESSARY FITTING/PIPE EXTENSION AS REQUIRED.
 15. INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIPE TO HUB DRAIN NEAR SINK.



AREA 'B'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

G. Bruce Stratton Architects
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Tel: 905 475 3138
Fax: 866 853 3732
email: engineering@gpyengineering.com

York Region

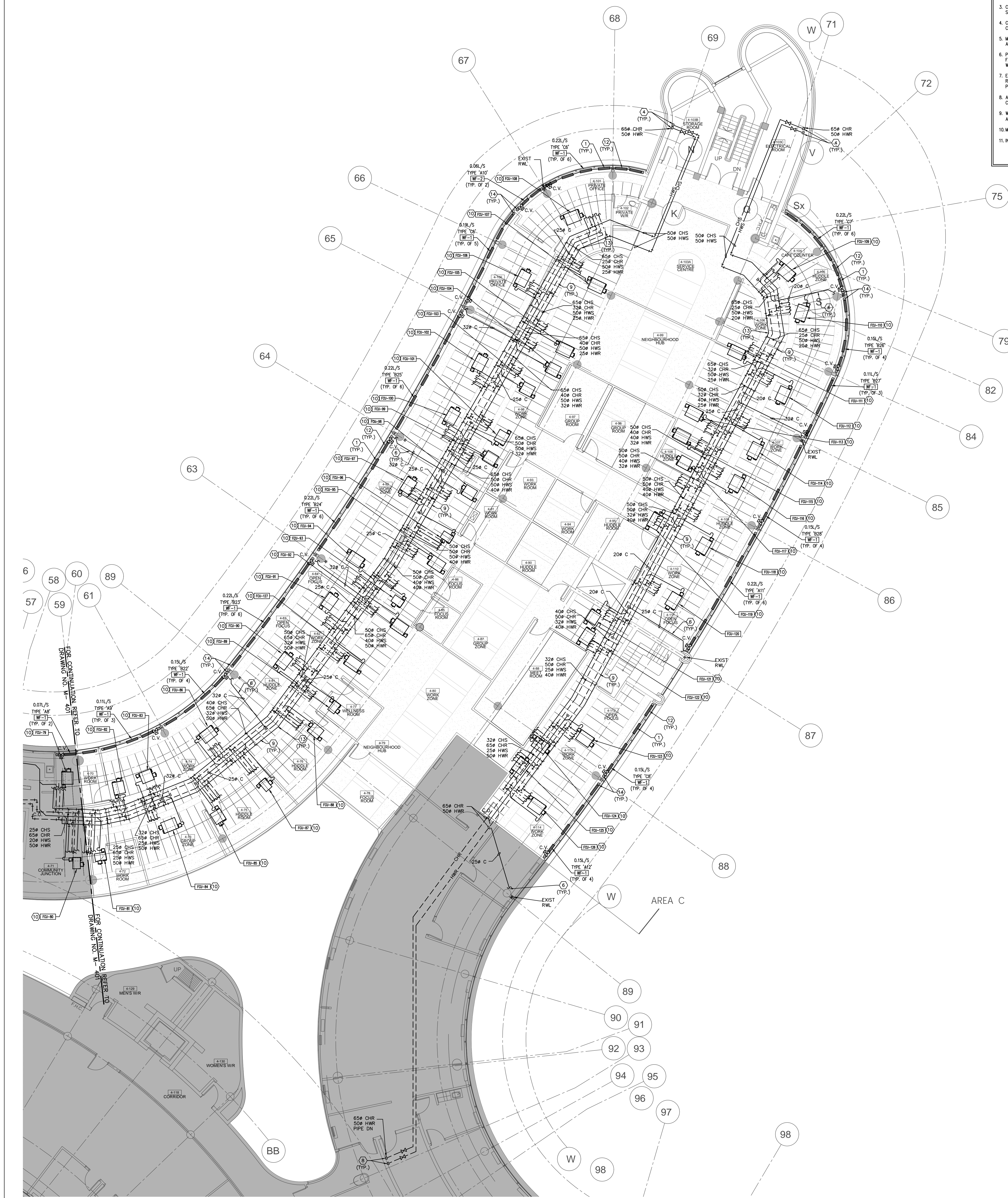
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES
FLOOR: 4TH
BASE DATE: 01-01-2022
PROJECT:

PROJECT #9907

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m
DRAWN BY: **S.P.R./G.G.**
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:
PARTIAL 4TH FLOOR AREA 'B' HYDRONIC NEW LAYOUT
SHEET NUMBER:
M-401

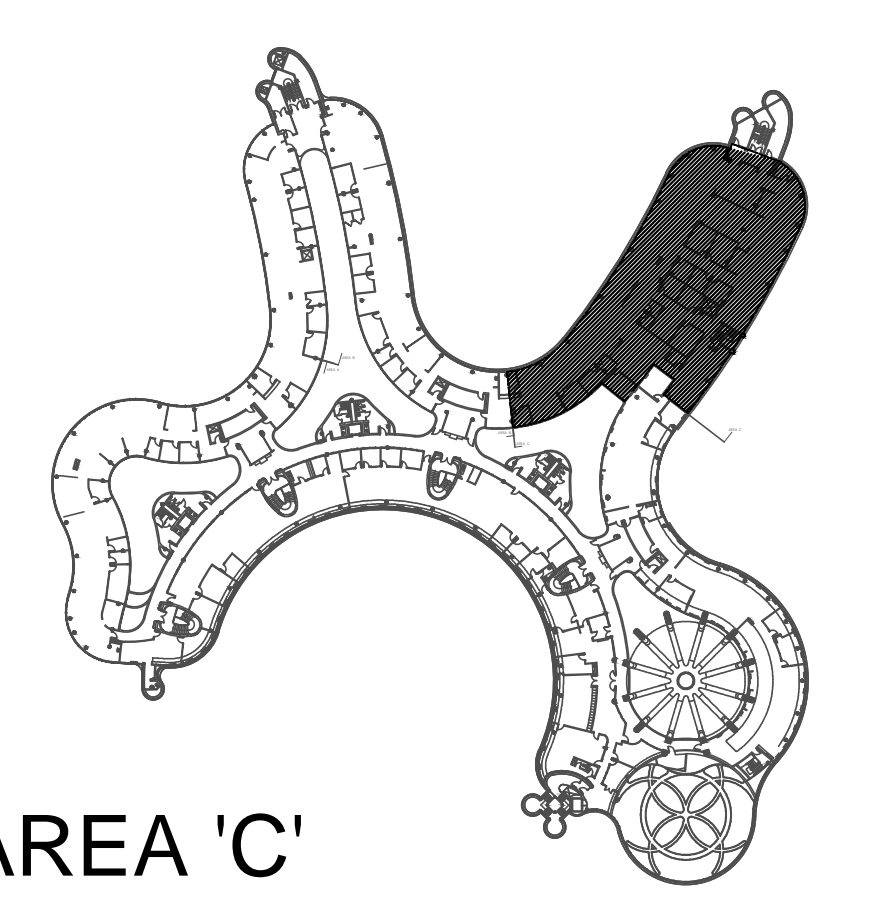
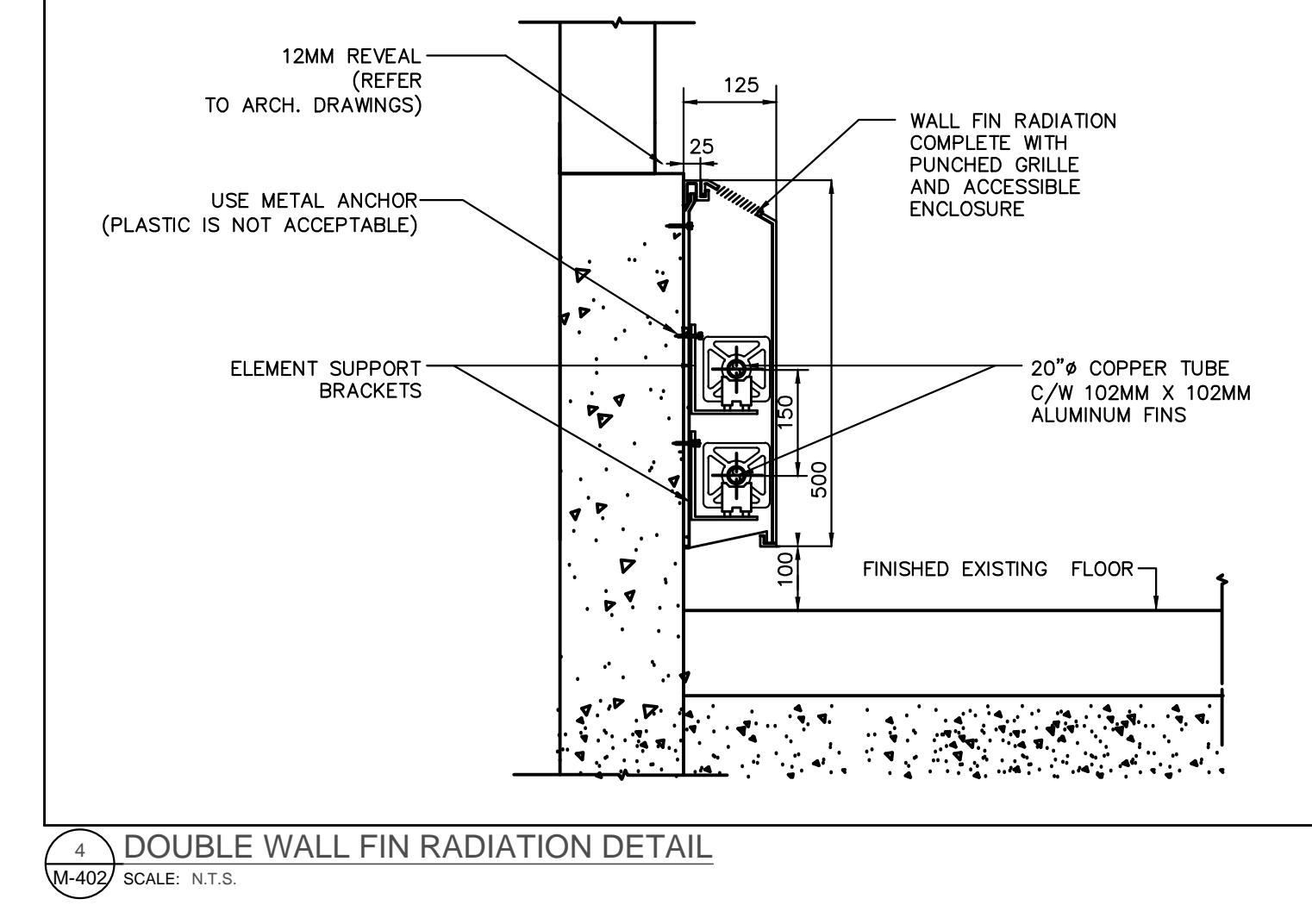
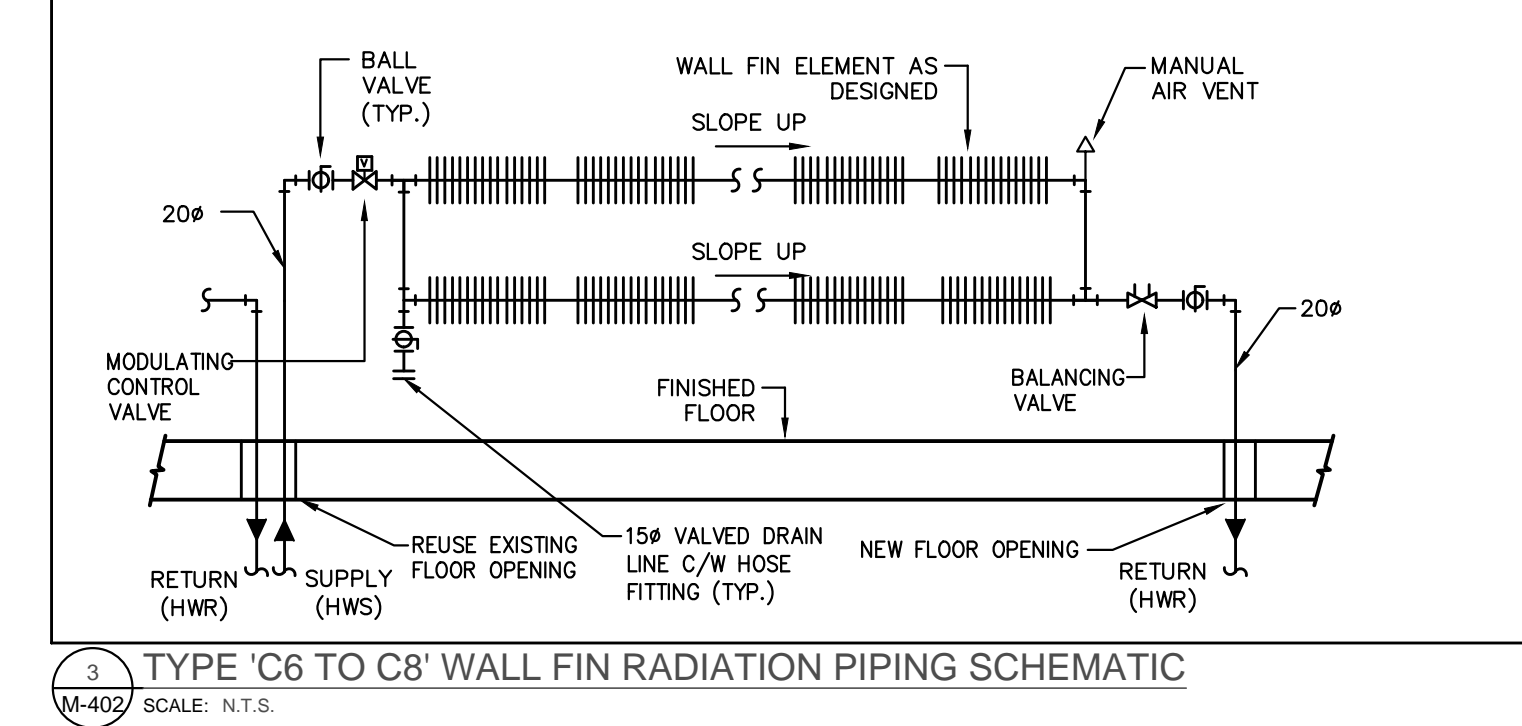
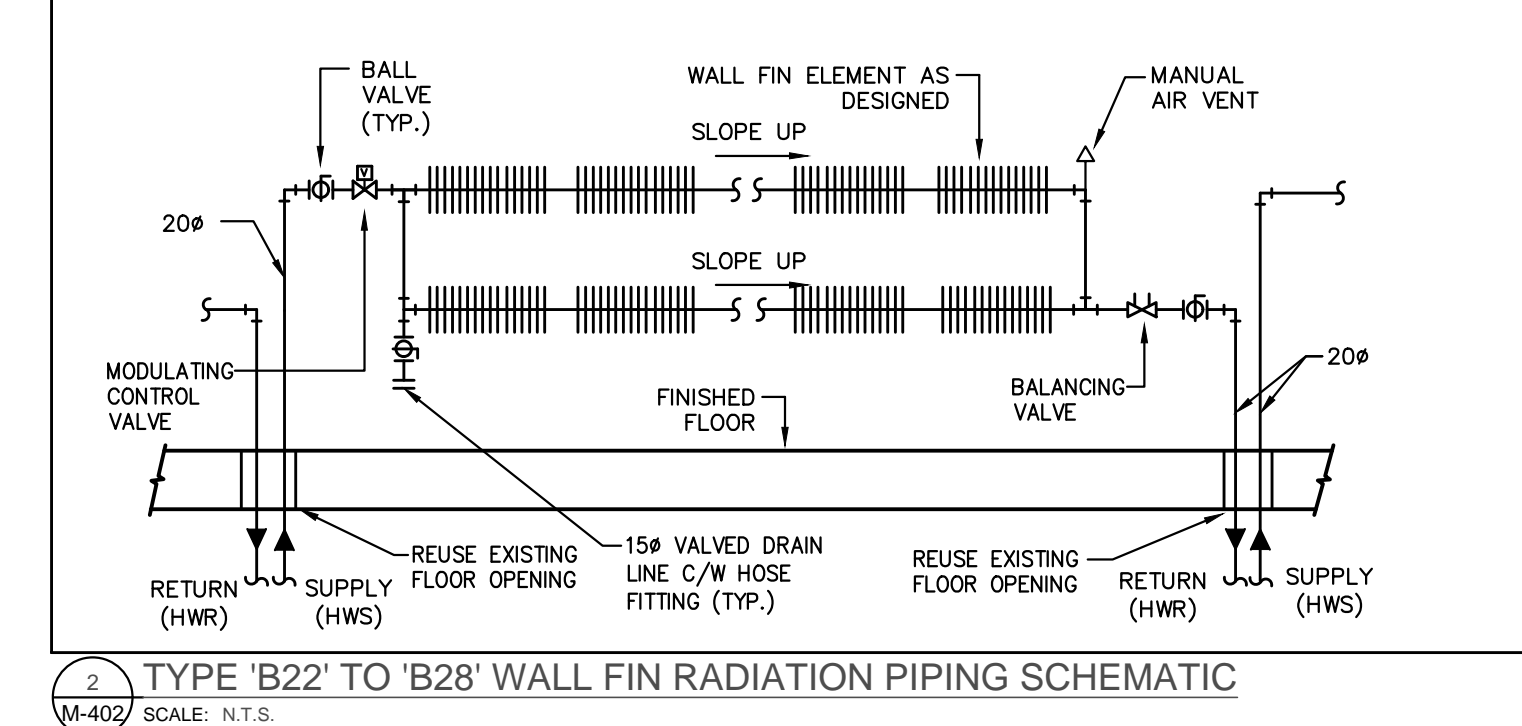
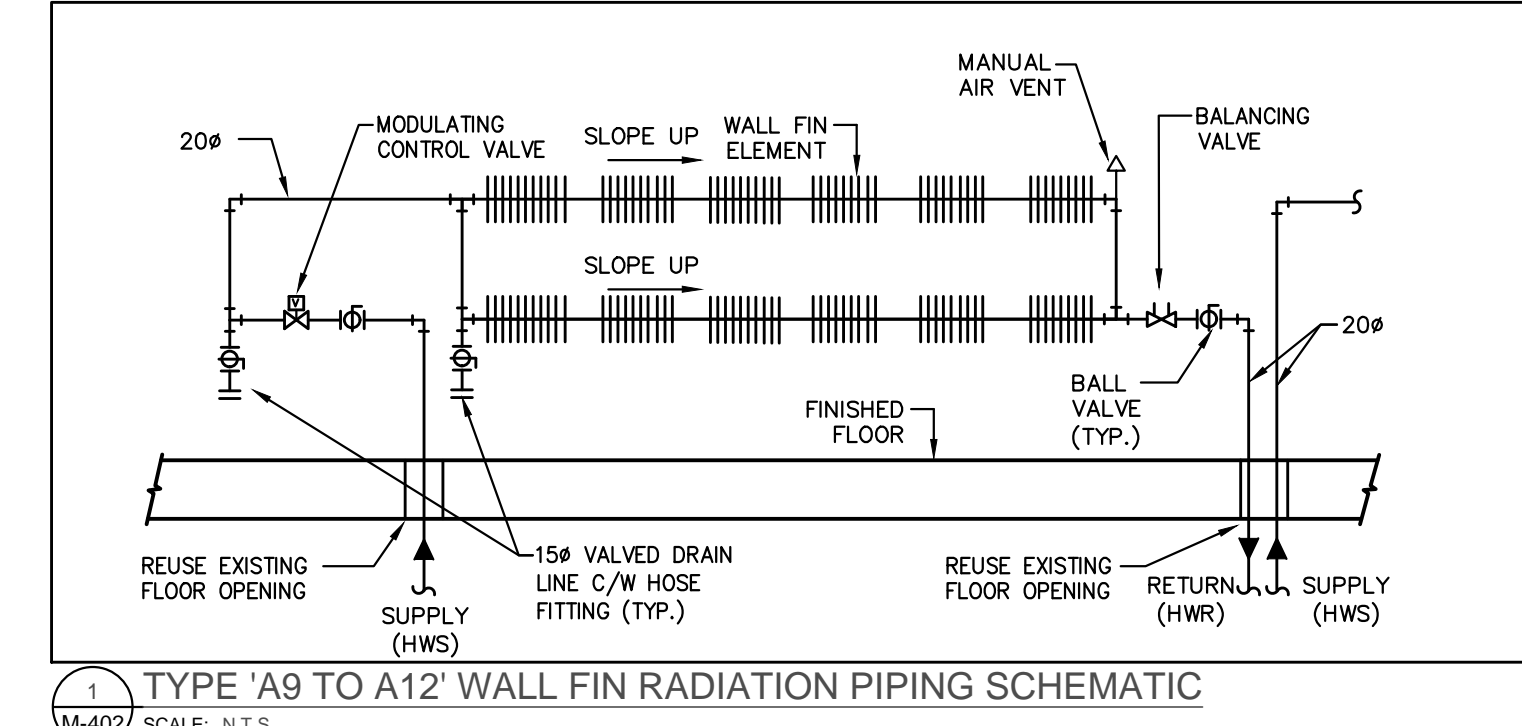


- GENERAL NOTES**
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL, AND ELECTRICAL SERVICES.
 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
 6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
 11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (8:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR OUTTAKES IN CEILING SPACE. REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH REDON'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

- DRAWING NOTES**
1. NEW FLOOR MOUNTED WALL-FIN RADIATOR C/W ENCLOSURE. PROVIDE NEW HEATING WATER PIPE AND CONNECT TO EXISTING HEATING WATER PIPE IN THIRD FLOOR CEILING SPACE. REFER TO DETAIL NO. 3 & 4/M-104 (TYPICAL)
 2. PROVIDE NEW CONDENSATE DRAIN C/W P-TRAP TO SERVE FAN COIL UNIT AND EXTEND AS SHOWN. SIZE PIPE AS INDICATED (TYPICAL)
 3. NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
 4. DROP NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISERS AT ELECTRICAL ROOM. REFER TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
 5. INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIPE TO HUB DRAIN NEAR SINK.
 6. CONNECT NEW CONDENSATE DRAIN PIPE TO EXISTING STORM DRAIN PIPING IN CEILING SPACE AT THIS APPROXIMATE LOCATION. PIPE SHALL BE CONNECTED VERTICALLY (TYPICAL)
 7. TERMINATE NEW CONDENSATE DRAIN PIPE AT EXISTING JANITOR'S SINK. PROVIDE FLOOD SENSOR IN JAN. CLOSET (TYPICAL)
 8. DROP NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISERS AT ELECTRICAL ROOM. REFER TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
 9. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES (TYPICAL)
 10. NEW FAN COIL UNIT IN CEILING SPACE. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. PROVIDE UNIT SUPPORTS AS REQUIRED (TYPICAL)
 11. PROVIDE NEW 25# CHILLED WATER SUPPLY/RETURN WATER PIPE & 20# HEATING WATER SUPPLY/RETURN PIPE TO NEW FAN COIL UNIT C/W ISOLATION VALVE, BALANCING VALVE, CONTROL VALVE AND CONTROL WIRING (TYPICAL)
 12. NEW WALL FIN RADIATOR ENCLOSURE SHALL BE CONTIGUOUS FROM WALL TO WALL. PROVIDE TWO CHAIRS NEAR WALL HAVE ACCESS PANEL. WHERE CONTROL VALVES ARE LOCATED, ENCLOSURE SHALL BE ACCESSIBLE AT ALL TIMES.
 13. AT EACH CHANGE OF DIRECTION ON CHILLED WATER PIPING CONTRACTOR TO PROVIDE LATEST AS FOR MECHANICAL DETAIL NO. 104/M-104 (TYPICAL)
 14. NEW 20# HEATING SUPPLY/RETURN PIPE FROM NEW EXISTING HEATING SUPPLY/RETURN PIPE MAIN LOCATED IN THIRD FLOOR CEILING SPACE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRLING/ FIRE-STOPPING AS REQUIRED. CONTRACTOR TO ENSURE ALL PIPING ARE ENCLOSED WITHIN RAD ENCLOSURE. PROVIDE ALL NECESSARY FITTING/PIPE EXTENSION AS REQUIRED.
 15. INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIPE TO HUB DRAIN NEAR SINK.



AREA 'C'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

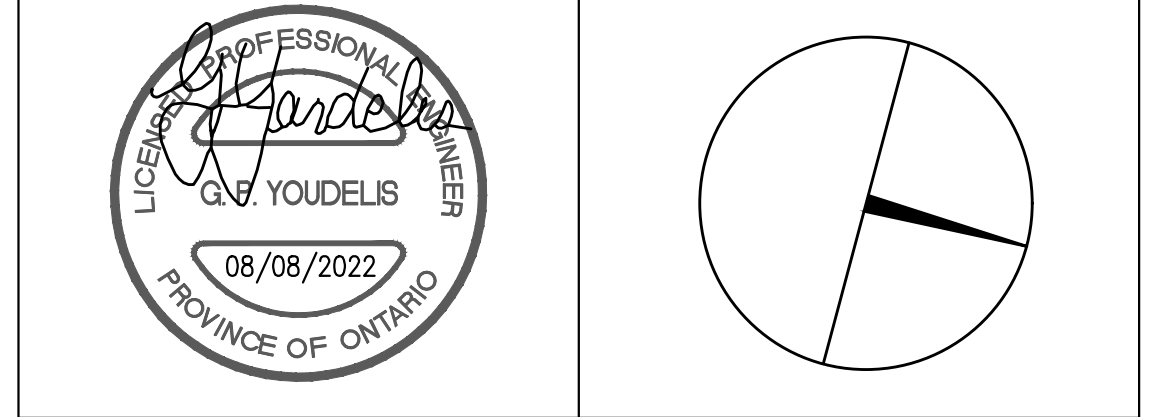
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email: engineering@gpyengineering.com



York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

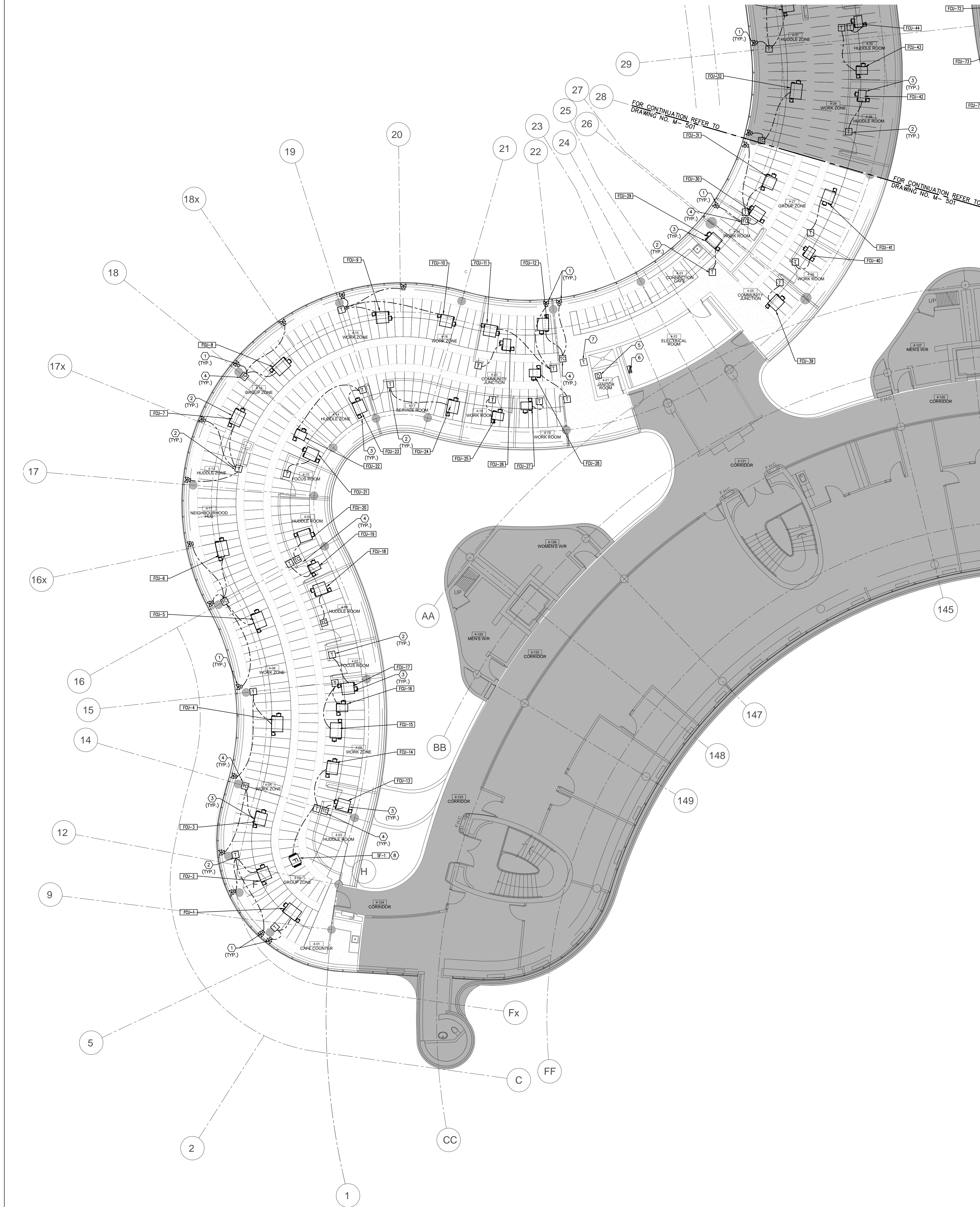
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**PARTIAL 4TH FLOOR
AREA 'B'
HYDRONIC NEW LAYOUT**

SHEET NUMBER:

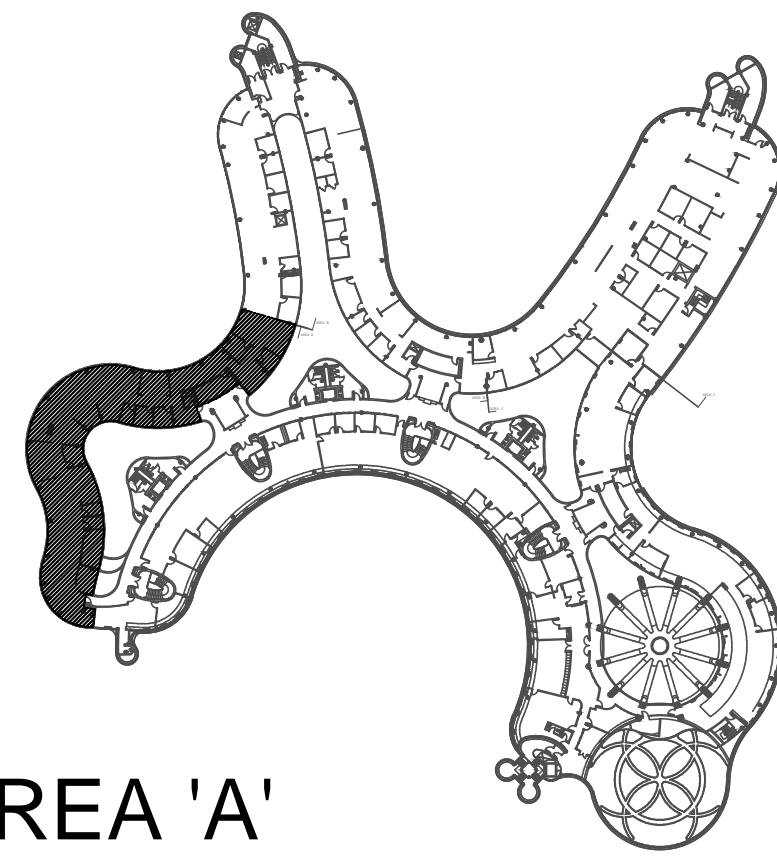
M-402



- GENERAL NOTES**
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
 6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
 11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL)

- NOTES**
- ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

- DRAWING NOTES**
- ① NEW CONTROL VALVE FOR PERIMETER RADIATOR. CONTROL VALVE SHALL BE CONNECTED TO ASSOCIATED CONTROLLER AS SHOWN (TYPICAL).
 - ② NEW TEMPERATURE SENSOR. PROVIDE CONTROL WIRING AS REQUIRED. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT (TYPICAL).
 - ③ NEW FAN COIL UNIT. PROVIDE NEW BAS CONTROLLER IN CEILING SPACE. PROVIDE CONTROL WIRING AND TRANSFORMER AS REQUIRED. CONTROLLER SHALL BE INSTALLED INSIDE FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER (TYPICAL).
 - ④ NEW TEMPERATURE SENSOR WITH CO₂ SENSOR. PROVIDE CONTROL WIRING. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT (TYPICAL).
 - ⑤ NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING. FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
 - ⑥ NEW CONTROLS PANEL IN ELECTRICAL ROOM BY CONTROLS CONTRACTOR. POWER BY DIV. 16.
 - ⑦ EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO BMS.
 - ⑧ NEW FRESH AIR SUPPLY FAN, INTERLOCK FAN TO ASSOCIATED CONTROLLER & BMS.



AREA 'A'

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

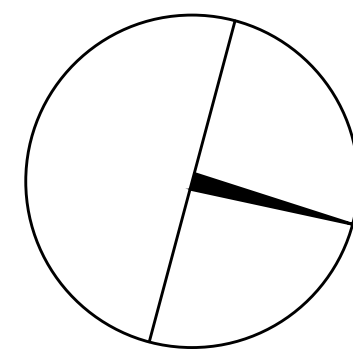
G. Bruce Stratton Architects

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email: engineering
@gpyengineering.com



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

PROJECT #9907

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'A'
CONTROLS LAYOUT

SHEET NUMBER:

M-500

GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL, AND ELECTRICAL SERVICES.

4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.

5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.

6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.

8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.

9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

DRAWING NOTES

① NEW CONTROL VALVE FOR FORCEDCIRCUIT RADIATOR. CONTROL VALVE SHALL BE CONNECTED TO ASSOCIATED CONTROLLER AS SHOWN (TYPICAL)

② NEW TEMPERATURE SENSOR. PROVIDE CONTROL WIRING AS REQUIRED. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)

③ NEW FAN COIL UNIT. PROVIDE NEW BAS CONTROLLER IN CEILING SPACE. PROVIDE CONTROL WIRING AND TRANSFORMER AS REQUIRED. CONTROLLER SHALL BE INSTALLED INSIDE FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER (TYPICAL)

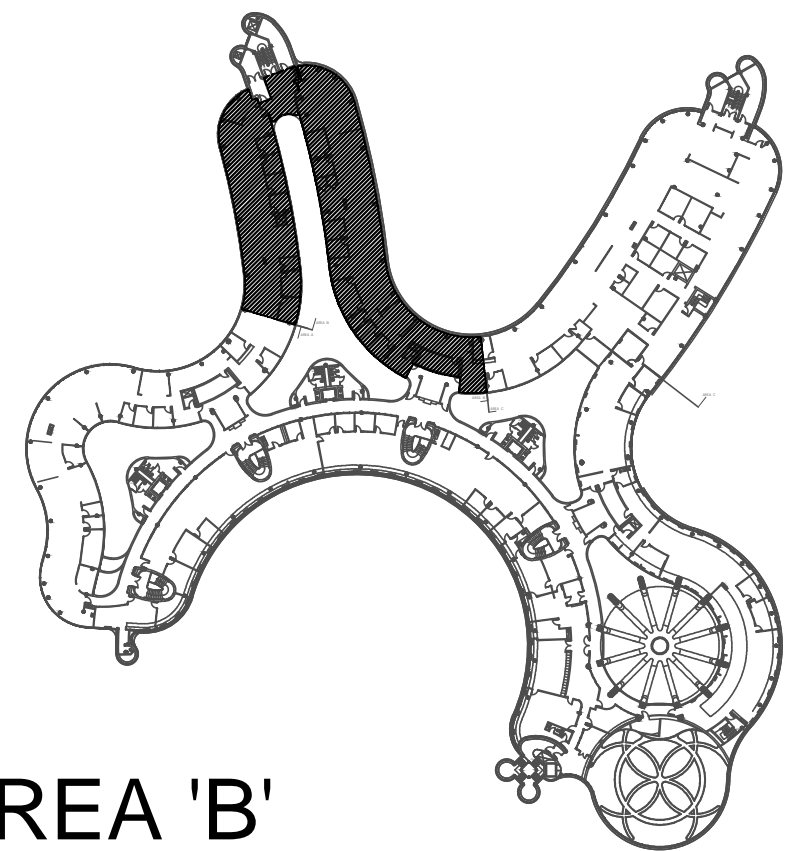
④ NEW TEMPERATURE SENSOR WITH CO₂ SENSOR. PROVIDE CONTROL WIRING. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)

⑤ NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING. FLOOR SLAB CUTTING/PATCHING AS REQUIRED.

⑥ NEW CONTROLS PANEL IN ELECTRICAL ROOM BY CONTROLS CONTRACTOR. POWER BY DIV. 16.

⑦ EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.

⑧ NEW FRESH AIR SUPPLY FAN, INTERLOCK FAN TO ASSOCIATED CONTROLLER & BMS



AREA 'B'

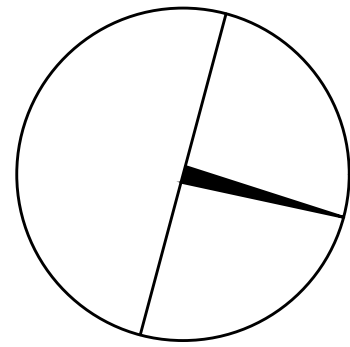

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
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4	06-13-2022	ISSUED FOR TENDER
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6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

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email: engineering@gpyengineering.com





PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	PROJECT #9907 YORK REGION Administrative Centre 17250 Yonge Street Newmarket, Ontario

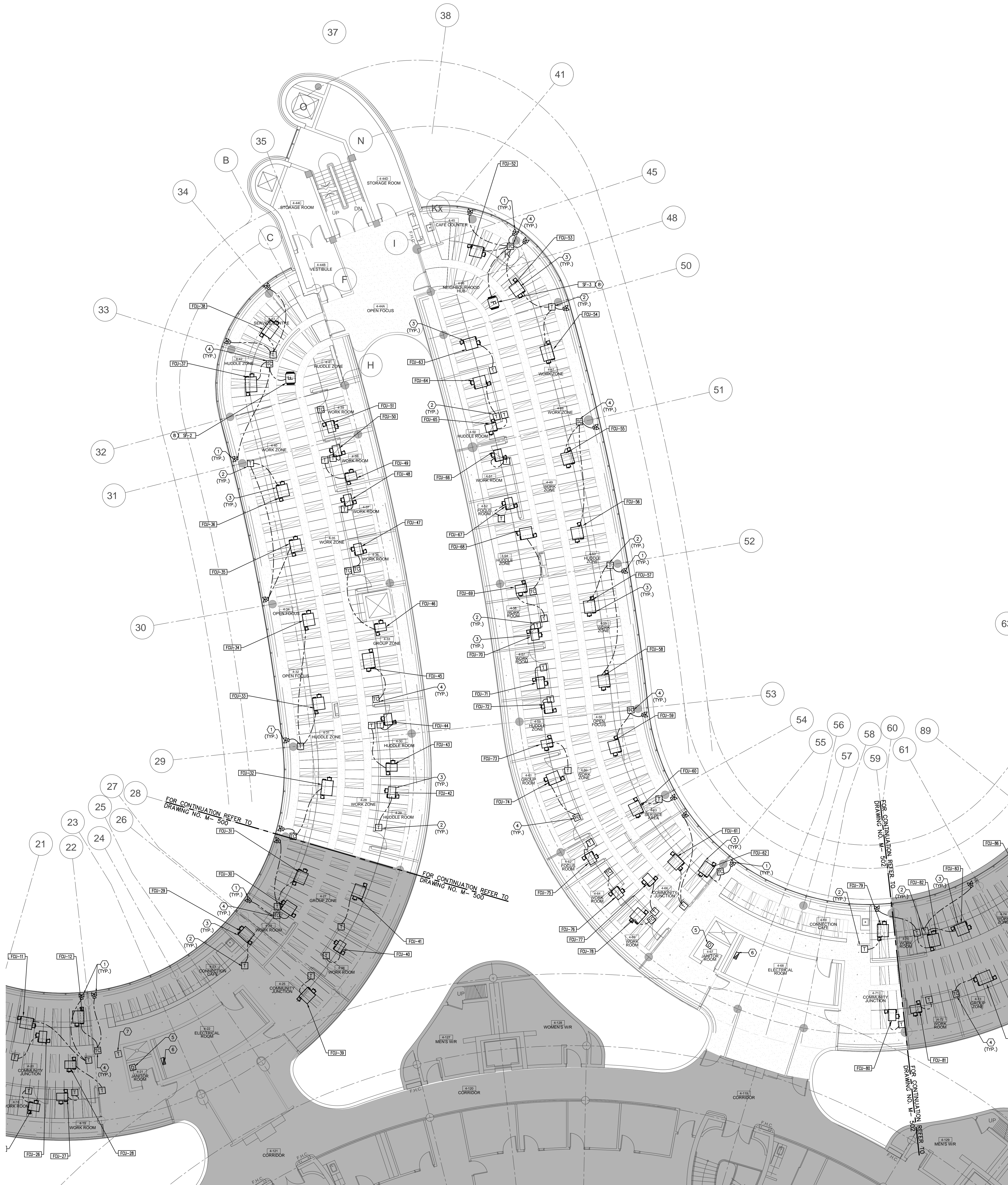
SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE: PARTIAL 4TH FLOOR
AREA 'B'
CONTROLS LAYOUT

SHEET NUMBER: M-501



GENERAL NOTES

1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.

4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.

5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.

6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.

8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.

9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

DRAWING NOTES

① NEW CONTROL VALVE FOR FLOWMETER RADIATOR. CONTROL VALVE SHALL BE CONNECTED TO ASSOCIATED CONTROLLER AS SHOWN. (TYPICAL)

② NEW TEMPERATURE SENSOR. PROVIDE CONTROL WIRING AS REQUIRED. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)

③ NEW FAN COIL UNIT. PROVIDE NEW GAS CONTROLLER IN CEILING SPACE. PROVIDE CONTROL WIRING AND TRANSFORMER AS REQUIRED. CONTROLLER SHALL BE INSTALLED NEAR FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER. (TYPICAL)

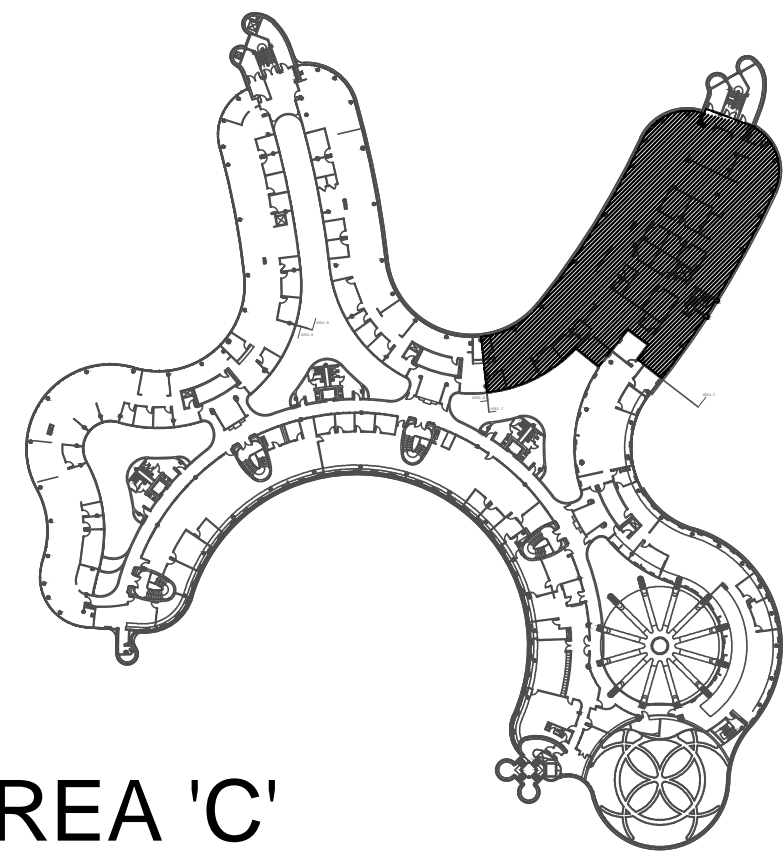
④ NEW TEMPERATURE SENSOR WITH CO₂ SENSOR. PROVIDE CONTROL WIRING. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)

⑤ NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING. FLOOR SLAB CUTTING/PATCHING AS REQUIRED.

⑥ NEW CONTROLS PANEL IN ELECTRICAL ROOM BY CONTROLS CONTRACTOR. POWER BY DIV. 16.

⑦ EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.

⑧ NEW FRESH AIR SUPPLY FAN, INTERLOCK FAN TO ASSOCIATED CONTROLLER & BMS



AREA 'C'

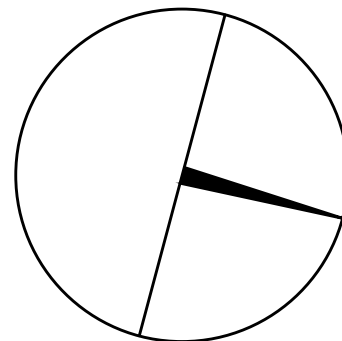

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

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email: engineering@gpyengineering.com





PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	PROJECT #9907 YORK REGION Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE: PARTIAL 4TH FLOOR
AREA 'C'
CONTROLS LAYOUT

SHEET NUMBER: M-502

