

THE REGIONAL MUNICIPALITY OF YORK

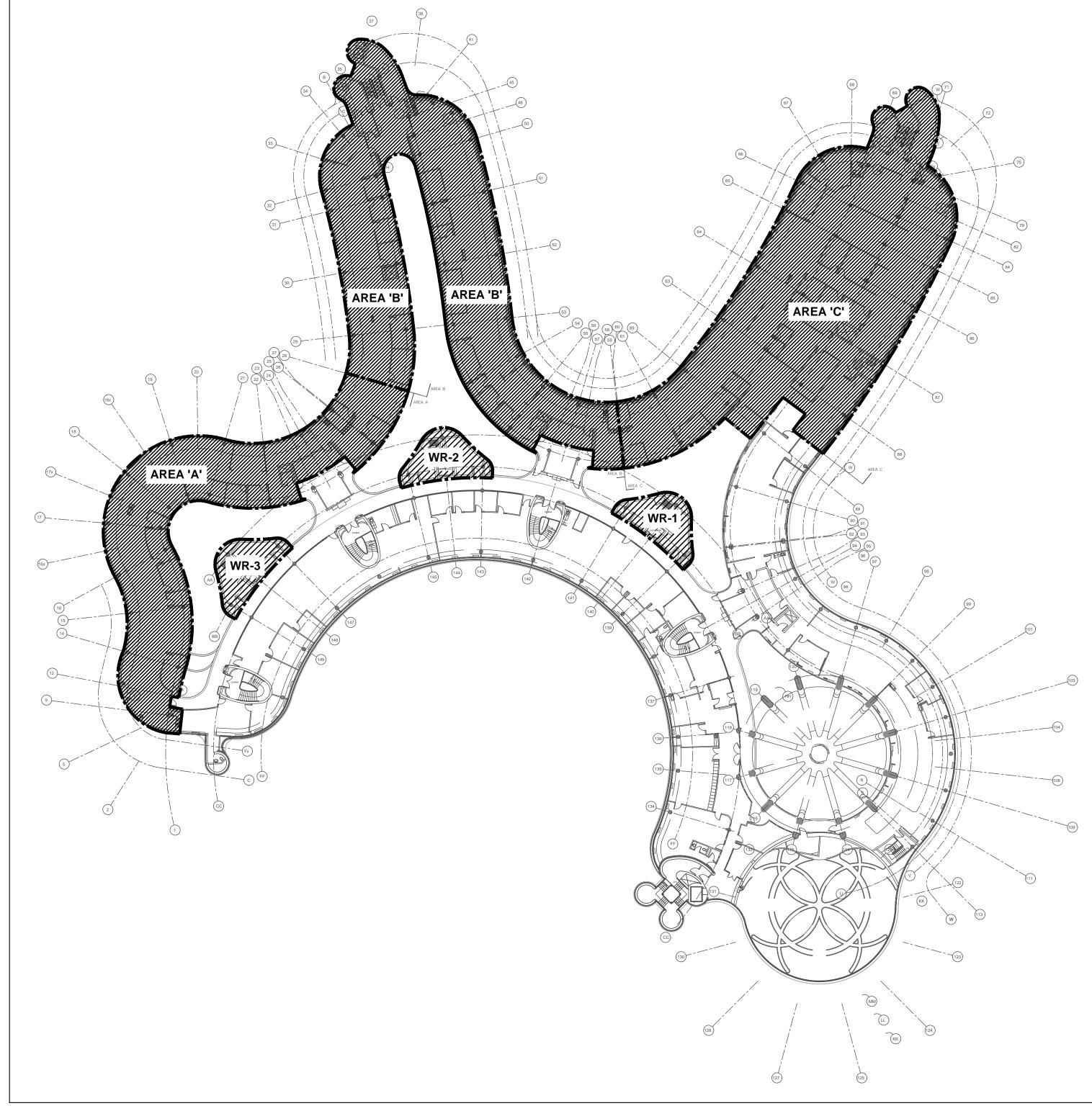
YORK REGION ADMINISTRATIVE CENTRE

INTERIOR FIT-UP OF 4TH FLOOR, BLOCK A, B, D & E

17250 YONGE STREET - 4TH FLOOR NEWMARKET, ONTARIO L3Y 4W5

CONTENT ISSUED FOR DATE FILE No.

MECHANICAL DRAWINGS ISSUED FOR CONSTRUCTION NOVEMBER 18, 2022 GPY-9907



SCOPE OF WORK -

GPY+ ASSOCIATES ENGINEERING INC.

MECHANICAL CONSULTING ENGINEERS

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	HORIZONTAL FAN COIL UNIT SCHEDULE BASIS OF DESIGN: JOHNSON CONTR CONTACT INFO: MR. ISAAC MUI OFFICE: (905) 747–3768 / MOBILE: (905) 747–3768 / MO											38-9464																		
							AIR FLOW				CHILLE	D WA	TER C	OIL					HOT	WATER	COIL (R	E-HEAT)				ELECTR	ICAL			
TAG	MFG.	MODEL NO.	(CFM) /FAN SPEED H:HIGH	ESP ("wc)		<u>F)</u>	(BT	011)	(°F)	L.W.T. (°F)	FLOW (GPM)	FLUID P.D	NO. ROWS	E.A.T. DB	L.A.T.	SENSIBLE CAPACITY	E.W.T. (°F)	L.W.T. (*F)	FLOW (GPM)	FLUID P.D	NO. ROWS	FAN (HP)		AMPS	VOLTS/PH/HZ	WEIGHT (LB)	QUANTITY			
			M:MEDIUM		DB	WB	TOTAL	SENS.			()	(FTwG)		(°F)	(°F)	(BTUH)			()	(FTwG)		(, , ,	MSCP							
FCU-16, 17, 19, 21, 22, 25-28, 40, 43, 46-50, 65-67, 69-73, 75-78, 80, 81, 87, 89, 93 & 96	JOHNSON CONTROLS	FHP-D03	246/H	0.38	80	67	7924	6054	47	59.0	1.2	3.47	4	70	97.1	6586	140.0	120.1	0.7	1.09	1	1/4	0.88/15.0	0.70	208/1/60	43	34			
FCU-2, 3, 11, 13, 14, 18, 20, 23, 24, 29-31, 33-36, 39, 41, 42, 44, 51-53, 55-61, 63, 64, 68, 74, 82, 83, 85, 88, 90-92, 98, 101, 103, 104, 117	JOHNSON CONTROLS	FHP-D06	395/H	0.50	80	67	12864	9734	47	58.9	2.2	1.54	4	70	95.9	11346	140.0	120.1	1.10	0.59	1	1/4	1.50/15.0	1.20	208/1/60	81	46			
FCU-1, 4-10, 12, 15, 32, 37, 38, 45, 54, 62, 79, 84, 86, 94, 95, 97, 99, 100, 102, 105, 106-116, 118-127	JOHNSON CONTROLS	FHP-D08	501/H	0.38	80	67	16994	12594	47	59.3	2.8	6.38	4	70	96.1	14416	140.0	120.1	1.4	1.19	1	1/4	1.50/15.0	1.20	208/1/60	97	47			

FAN COIL UNITS SHALL BE PROVIDED WITH SINGLE POWER LOCATION. 18 GAUGE CABINET. 3-SPEED (LOW. MEDIUM. AND HIGH) FAN WITH RELAY AND TRANSFORMER. ECM MOTOR, INTEGRAL GALVANIZED DRAIN PAN (FOR COIL & VALVING), MANUAL AIR VENT, VIBRATION ISOLATORS, DISCONNECT, CONDENSATE OVERFLOW SWITCH, LAMACOID LABEL, REAR RETURN AIR WITH MERV-13 FILTERS, AND CONTROL BOX c/w TERMINAL STRIP CONTAINING 2 WIRE CONNECTIONS FOR POWER AND 3 CONTROL WIRE CONNECTIONS, WHICH WHEN A SIGNAL IS APPLIED TO, ONE OF THE 3 CONNECTIONS TURNS THE FAN TO HIGH (OPTIONAL ONLY), MEDIUM (OCCUPIED MODE) OR LOW SPEED (UNOCCUPIED MODE OR HIGH HUMIDITY). ALL FAN COIL UNITS SHALL BE LOW PROFILE TYPE - MAXIMUM HEIGHT SHALL BE 270mm.

NOTES (FOR MECHANICAL CONTRACTOR):

- MECHANICAL CONTRACTOR SHALL PROVIDE ALL ACCESSORIES AND INSTALL COMPLETE HVAC SYSTEM INCLUDING ALL CONTROL WIRING AND DEVICES: CONDENSATE OVERFLOW SWITCH, COOLING ACTUATOR INPUT, MOTOR SPEED CONTROL, ROOM AIR TEMPERATURE, AND DISCHARGE AIR TEMPERATURE. ALL FAN COIL UNITS AND SENSORS SHALL BE WIRED TO BMS.
- . DISCONNECTS SHALL BE SUPPLIED BY OWNER (REFER TO SCHEDULE); AND INSTALLED AND WIRED BY ELECTRICAL CONTRACTOR COORDINATE WITH PROJECT MANAGER AND ELECTRICAL CONTRACTOR. . PROVIDE 25mm CHILLED WATER SUPPLY AND RETURN PIPING WITH ISOLATION VALVES c/w MODULATING 2-WAY CONTROL VALVE AND ACTUATOR ON SUPPLY PIPING AND CIRCUIT SETTER ON CHILLED WATER RETURN PIPING — REFER TO DETAILS. NOTE: PIPING NOT SHOWN ON HVAC DRAWINGS FOR CLARITY. PROVIDE TIE-INS (HOT-TAPS) AS REQUIRED. . PROVIDE 20mm HEATING WATER SUPPLY AND RETURN PIPING WITH ISOLATION VALVES c/w MODULATING 2-WAY CONTROL VALVE AND ACTUATOR ON SUPPLY PIPING AND CIRCUIT SETTER ON HEATING WATER RETURN PIPING — REFER TO DETAILS. NOTE: PIPING NOT SHOWN ON HVAC DRAWINGS FOR CLARITY. PROVIDE TIE-INS (HOT-TAPS) AS REQUIRED. PROVIDE CONDENSATE (GRAVITY) DRAIN PIPING TO EXISTING STORM DRAIN/ CONDENSATE MAIN IN CEILING SPACE.
- PROVIDE CONDENSATE OVERFLOW SWITCH ON FAN COIL DRAIN PAN WIRED TO BMS. . THE BASE BUILDING CONTROLS CONTRACTOR SHALL PROVIDE NEW DELTA THERMOSTATS MODEL EZNF-X c/w LIGHTING CONTROL BUTTON, CO2 SENSOR, AND HUMIDITY SENSOR. THERMOSTAT SHALL MAINTAIN SPACE TEMPERATURE OF 22°C (WINTER)/23.5°C (SUMMER) AND MAXIMUM RELATIVE HUMIDITY OF 60%RH. IF RELATIVE HUMIDITY REACHES A SETPOINT HIGHER THAN 60%, THE FAN COIL UNIT SHALL OPERATE AT LOW SPEED UNTIL RELATIVE HUMIDITY DROPS TO 50%RH. DURING
- UNOCCUPIED MODE, THERMOSTAT SHALL MAINTAIN A MINIMUM OF 15°C AND A MAXIMUM OF 29.5°C; BUSINESS CENTER SHALL BE AT 23.5°C. BASE BUILDING CONTROLS CONTRACTOR TO PROVIDE ALL LOW VOLTAGE CONTROL WIRING. . PROVIDE TEMPERATURE SENSOR ON DISCHARGE AIR DUCT AND WIRE READING TO BMS. PROVIDE NEW BAS CONTROLLER ALONG WITH CENTRAL HUB. COORDINATE WITH BASE BUILDING CONTROLS CONTRACTOR.
- I. ENSURE THAT ALL ACCESS AND CLEARANCE REQUIREMENTS ARE PROVIDED COORDINATE WITH PROJECT MANAGER AND ALL OTHER TRADES. EXACT LOCATION OF FAN COIL UNIT, DUCTWORK, CONDENSATE DRAINAGE, AND PIPING SHALL BE DETERMINED ON SITE WITH NEW AND EXISTING SERVICES AND EXISTING STRUCTURAL.
- 11. FILTER RACK SHALL BE SECURELY MOUNTED AT RETURN AIR SIDE OF FAN COIL UNIT. FRESH AIR DUCT TO BE INDIRECTLY TERMINATED AT FILTER LOCATION. 12. FILTER FOR FAN COIL UNIT SHALL BE LIMITED TO NOMINAL SIZES LISTED BELOW:
- 1. 31" x 10.5" x 1" FOR MODEL FHP-D06 2. 19" x 10.5" x 1" FOR MODEL FHP-D03 & 2 SETS FOR MODEL FHP-D08

			F	FRESH	AIR	SUP	PLY F.	AN SCHED	ULE		BASIS OF DESIGN: GREENHECK
TAG	SERVICE	TYPE	AIRFLOW (CFM)	EXT. S.P. (IN WC)	FLA (A)	WATTS	FAN RPM	ELEC. DATA	WEIGHT (LBS.)	BASIS OF DESIGN	REMARKS
<u>SF-1</u>	BLOCK 'A'	IN-LINE	800	0.7	7.1	451	1090	115V/1PH/60Hz	59	GREENHECK CSP-A1300	C/W SPEED CONTROLLER FOR BALANCING.
<u>SF-2</u>	BLOCK 'D'	IN-LINE	600	0.7	3.3	400	1579	115V/1PH/60Hz	39	GREENHECK CSP-A780	C/W SPEED CONTROLLER FOR BALANCING.
<u>SF-3</u>	BLOCK 'D'	IN-LINE	800	0.7	7.1	451	1090	115V/1PH/60Hz	59	GREENHECK CSP-A1300	C/W SPEED CONTROLLER FOR BALANCING.
<u>SF-4</u>	BLOCK 'E'	IN-LINE	800	0.7	7.1	451	1090	115V/1PH/60Hz	59	GREENHECK CSP-A1300	C/W SPEED CONTROLLER FOR BALANCING.
<u>SF-5</u>	BLOCK 'E'	IN-LINE	750	0.7	7.1	420	1065	115V/1PH/60Hz	59	GREENHECK CSP-A1300	C/W SPEED CONTROLLER FOR BALANCING.

UNIT-MOUNTED VARIABLE SPEED CONTROLLER IS SUPPLIED FOR AIR BALANCING PURPOSE. VARIABLE SPEED CONTROLLER TO BE SUPPLIED AND INSTALLED BY MECHANICAL TRADES. PROVIDE NEOPRENE VIBRATION ISOLATION KIT C/W ALL NECESSARY MOUNTING HARDWARE AS REQUIRED. FAN TO BE INTERLOCKED WITH EXISTING BAS.

> ACCESS PANEL MIFAB MDW SERIES DRYWALL BEAD ACCESS PANEL MDW SERIES 16 GAGE SATIN COAT STEEL DOOR AND 16 GAGE SATIN COAT STEEL FRAME. GALVANIZED DRYWALL TAPING BEAD. FINISH TO BE POWDER WHITE COAT

ر کا	
<i>₹</i>	RETURN/EXHAUST AIR DUCT UP
1	RETURN/EXHAUST AIR DUCT DOWN.
	EXISTING LIGHT TROFFER DIFFUSER
0	NEW RETURN AIR GRILLE
2 2 2	NEW SUPPLY AIR DUCTWORK
	ACOUSTICALLY LINED DUCTWORK
	EXISTING DUCTWORK TO REMAIN.
X // X	EXISTING DUCTWORK / EQUIPMENT TO BE REMOVED
	FLEXIBLE DUCT COMPLETE WITH SPIN-ON
(T)	NEW THERMOSTAT
<u>(T)</u>	EXISTING THERMOSTAT
⊕ ⊕R	RELOCATED THERMOSTAT
7 7	ACOUSTICALLY LINED TRANSFER AIR DUCT
(2)	DRAWING NOTES
	EXISTING / NEW VAV BOX
<u> </u>	NEW ROUND SUPPLY AIR DIFFUSER
M	NEW SQUARE
	SUPPLY AIR DIFFUSER LINEAR SLOT DIFFUSER
<u>}</u> ₩	DUCT MOUNTED SUPPLY AIR GRILLE
<u> </u>	DUCT CAP
// RE	REMOVE
	NEW BALANCING DAMPER
F.H.C.	EXISTING FIRE HOSE CABINET
o'N'	NEW UPRIGHT TYPE SPRINKLER HEAD
•'N'	NEW PENDANT TYPE SPRINKLER HEAD
₩ EX	REMOVE EXISTING SPRINKLER HEAD
EX	EXISTING SPRINKLER HEAD TO REMAIN
© 'N'	NEW FULLY CONCEAL SPRINKLER HEAD
9	
Ş-·—S	DOMESTIC COLD WATER
<u> </u>	DOMESTIC HOT WATER
SAN —	NEW SANITARY PIPE
<i>→ ∨ →</i>	NEW SANITARY VENT PIPE
*	PIPE UP, PIPE DOWN
co co	CLEANOUT
C A B	A-MINIMUM AIR QUANTITY B-MAXIMUM AIR QUANTITY C-VAV BOX SIZE
A C	A-SIZE OF DIFFUSER/GRILLE/REGISTER B-AIR QUANTITY (CFM) C-TYPE OF DIFFUSER/GRILLE/REGISTER

MECHANICAL LEGEND

SYMBOL

DESCRIPTION

SUPPLY AIR DUCT UP

SUPPLY AIR DUCT DOWN

		DIFFUSER SCHEDULE	BASIS OF DESIGN: E.H. PRICE EQUAL IN: METALAIRE, NAILOR, TITUS
REF.	MODEL No.	DESCRIPTION	REMARKS
A	SCDA	600MMX600MM SQUARE CONE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR 'T' BAR OR DRYWALL MOUNTING. C/W VOLUME DAMPER AT DIFFUSER NECK	B12 WHITE POWDER COAT FINISH
В	530D	45° DEFLECTION EXHAUST AIR GRILLE, FIXED LOUVERS, 3/4" BLADE SPACING, C/W OPPOSED BLADE DAMPER, FRONT BLADES PARALLEL TO LONG DIMENSION. SUITABLE FOR DRYWALL MOUNTING	B12 WHITE POWDER COAT FINISH
С	80 SERIES	RETURN AIR GRILLE 12x12x12 EGGCRATE, ALUMINUM CONSTRUCTION, SUITABLE FOR T-BAR CEILING MOUNTING. SIZES AS INDICATED ON DRAWING.	B12 WHITE POWDER COAT FINISH
D	SCDA	500MMX500MM SQUARE CONE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR 'T' BAR OR DRYWALL MOUNTING. C/W VOLUME DAMPER AT DIFFUSER NECK	B12 WHITE POWDER COAT FINISH
E	SCDA	300MMX300MM SQUARE CONE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR 'T' BAR OR DRYWALL MOUNTING. C/W VOLUME DAMPER AT DIFFUSER NECK	B12 WHITE POWDER COAT FINISH
F		ARCHITECTURAL PLENUM SLOT DIFFFUSER. DIFFUSER BY ARCHITECTURAL DIVISION. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.	COLOUR SHALL BE SELECTED BY ARCHITECT/ INTERIOR DESIGNER
G	AS	ADJUSTA-SLOT, 1 SLOT - 4 FEET LONG, 1" SLOT WIDTH, CONCEALED MOUNTING FRAME, HORIZONTAL AIR PATTERN, C/W 4FT LONG STRAIGHT ENGINEERED PLENUM (CFP) WITH CABLE OPERATED DAMPER (VCR8EC) MOUNTED AT DIFFUSER NECK. PROVIDE SIGHT BAFFLE ON ALL INACTIVE AIR SLOTS.	B12 WHITE POWDER COAT FINISH

	WALLFIN HEATER SCHEDULE BASIS OF DESIGN: RITTLING EQUAL IN: ENG. AIR, STERLING										
AG	TYPE	MODEL	ENCLOSURE (mm) (LxHxW)	TUBE SIZE DIA (mm)				SUPPLY WATER TEMP. (*C)		AVERAGE WATER TEMPERATURE (°C)	WALLFIN ELEMENT LENGTH (mm)
-1	HYDRONIC	SIBG5-3/4C,4-1/4,48	750x500x140	20	2	995	0.18	60	48.9	54.5	1000
-2	HYDRONIC	SIBG5-3/4C,4-1/4,48	500x500x140	20	2	995	0.18	60	48.9	54.5	750
OTES	•										

- REFER TO FLOOR PLANS FOR QUANTITIES OF WALL-FIN ELEMENTS.
- . HEATING CAPACITIES BASED ON ENTERING AIR TEMPERATURE OF 18°C.
- 3. REFER TO MECHANICAL DETAILS FOR VALVING ARRANGEMENTS.
- PROVIDE RITTLING SIBG 750mm LONG (MAX.) ARCHITECTURAL TYPE ENCLOSURE CABINETS (16 GAUGE) FOR 108mmx108mm WALL-FIN HEATING ELEMENTS AND EXPOSED PIPE c/w SLOPED TOP, PENCIL-PROOF GRILLE, AND CUSTOMIZED ANGLES BETWEEN CABINETS TO MAINTAIN CONTINUOUS RUN ALONG CURVED PERIMETER WALL FROM COLUMN TO COLUMN. PROVIDE ALL REQUIRED ACCESSORIES AND FITTINGS TO FACILITATE INSTALLATION IN CURVED PERIMETER WALL. CABINETS SHALL ONLY END WHERE THERE IS A RAIN WATER LEADER BEHIND PERIMETER COLUMN AND WHERE IT INTERSECTS WITH ALTOS PARTITIONS, PROVIDE END CAPS ON ENCLOSURE NEAR WALL. ENCLOSURE CABINETS SHALL BE ACCESSIBLE AT ALL TIMES. COORDINATE LENGTHS OF CABINETS ON SITE WITH EXISTING SITE CONDITIONS — LENGTH OF CABINETS, WHERE IT IS INSTALLED, SHALL BE BE NO MORE THAN HALF THE WIDTH OF GLAZING FROM MULLION TO MULLION. CABINET LENGTHS ALONG CURVED WALLS TO BE SITE MEASURED TO AVOID GAPS BETWEEN CABINET AND WALL. WHERE GAPS DO EXIST THAT ARE GREATER THAN 1/2" WIDE CONTRACTOR SHALL PROVIDE IN-FILL PLATE TO CLOSE OFF GAP. IN-FILL PLATES SHALL BE POWDER COATED TO MATCH RAD ENCLOSURE. PROVIDE SAMPLE OF CABINET TO OWNER FOR THEIR REVIEW AND APPROVAL; UPON RECEIPT OF WRITTEN APPROVAL, SHOP DRAWINGS MAY BE SUBMITTED TO MECHANICAL ENGINEER AND ARCHITECT.
- REUSE EXISTING 20mm HEATING PIPING LOCATED AT LOW LEVEL. ALL VALVES SHALL BE CONCEALED WITHIN CABINETS.
- PROVIDE MODULATING 2-WAY CONTROL VALVE WITH STATUS INDICATION FOR HEATING WATER SUPPLY PIPE AND CIRCUIT BALANCING VALVE FOR HEATING WATER RETURN PIPE c/w ISOLATION

PLUMBING FIXTURE PIPING SCHEDULE								
	WATER S	SUPPLY		VENT				
FIXTURE TYPE	нот	COLD	DRAIN					
S.S. KITCHEN SINK	1/2"ø	1/2"ø	1-1/2 " ø	1-1/4"ø				
LAVATORY	1/2"ø	1/2"ø	1-1/2"ø	1-1/4"ø				
WATER CLOSET (FLUSH VALVE)	_	1"ø	3"ø	1-1/2 " ø				
URINAL (FLUSH VALVE)	_	1"ø	3"ø	1-1/2"ø				
FLOOR / HUB DRAIN	_	_	2"ø	1-1/2 " ø				

NOTES:

- 1. PROVIDE TRAP PRIMER LINES AND TRAP PRIMERS FOR ALL FLOOR DRAINS.
- 2. ALL PIPING SHALL BE CONCEALED WITHIN WALLS 3. PROVIDE SHOCK STOPS ON HOT/COLD WATER SUPPLIES TO ALL FIXTURE GROUPS.
- 4. ALL VENTING SHALL CONFIRM TO OBC PART 7. INCREASE VENT SIZING AS REQUIRED WHERE TOTAL VENT LENGTH EXCEEDS SIZES LISTED ABOVE.
- 5. CONTRACTOR TO THOROUGHLY INSPECT THE SITE TO DETERMINE LOCATION OF EXISTING PIPING OF SUFFICIENT SIZE, AND EXTEND NEW VENT PIPING TO THIS LOCATION.
- 6. PROVIDE ISOLATION VALVES ON INCOMING PLUMBING PIPING. 7. ALL FLOOR DRAINS, FUNNEL FLOOR DRAINS, AND STANDING WASTE PIPES SHALL BE PRIMED.

M-100	MECHANICAL LEGEND AND EQUIPMENT SCHEDULE	N.T.S
M-101	SCHEMATIC DIAGRAM	N.T.S.
M-102	SCHEMATIC DIAGRAM	N.T.S.
M-103	SCHEMATIC DIAGRAM	N.T.S.
M-104	MECHANICAL DETAILS	N.T.S.
M-200	PARTIAL 3RD FLOOR CEILING SPACE AREA 'A' — MECHANICAL DEMOLITION PLAN	1:100
M-201	PARTIAL 3RD FLOOR CEILING SPACE AREA 'B' — MECHANICAL DEMOLITION PLAN	1:100
M-202	PARTIAL 3RD FLOOR CEILING SPACE AREA 'C' — MECHANICAL DEMOLITION PLAN	
M-203	PARTIAL 4TH FLOOR AREA 'A' — HVAC DEMOLITION PLAN	1:100
M-204	PARTIAL 4TH FLOOR AREA 'B' — HVAC DEMOLITION PLAN	1:100
M-205	PARTIAL 4TH FLOOR AREA 'C' — HVAC DEMOLITION PLAN	1:100
M-206	PARTIAL 3RD FLOOR AREA 'A' — MECHANICAL NEW LAYOUT	1:100
M-207	PARTIAL 3RD FLOOR AREA 'B' — MECHANICAL NEW LAYOUT	1:100
M-208	PARTIAL 3RD FLOOR AREA 'C' — MECHANICAL NEW LAYOUT	1:100
M-209	PARTIAL 4TH FLOOR AREA 'A' — HVAC NEW LAYOUT	1:100
M-210	PARTIAL 4TH FLOOR AREA 'B' — HVAC NEW LAYOUT	1:100
M-211	PARTIAL 4TH FLOOR AREA 'C' — HVAC NEW LAYOUT	1:100
M-300	PARTIAL 4TH FLOOR AREA 'A' — PLUMBING & FIRE PROTECTION DEMOLITION PLAN	1:100
M-301	PARTIAL 4TH FLOOR AREA 'B' — PLUMBING & FIRE PROTECTION DEMOLITION PLAN	1:100
M-302	PARTIAL 4TH FLOOR AREA 'C' — PLUMBING & FIRE PROTECTION DEMOLITION PLAN	1:100
M-303	PARTIAL 4TH FLOOR AREA 'A' — PLUMBING & FIRE PROTECTION NEW LAYOUT	1:100
M-304	PARTIAL 4TH FLOOR AREA 'B' — PLUMBING & FIRE PROTECTION NEW LAYOUT	1:100
M-305	PARTIAL 4TH FLOOR AREA 'C' — PLUMBING & FIRE PROTECTION NEW LAYOUT	1:100
M-306	4TH FLOOR WASHROOMS — MECHANICAL DEMOLITION PLAN	as noted
M-307	4TH FLOOR WASHROOMS — MECHANICAL NEW LAYOUT	as noted
M-400	PARTIAL 4TH FLOOR AREA 'A' — HYDRONIC NEW LAYOUT	1:100

DRAWING LIST

DESCRIPTION

SCALE

PLUMBING FIXTURE SPEFICATIONS

- 'L-1' SHALL BE LOVAIR MONOLITH BASIN C/W TWO (2) SETS OF LOVAIR RIBBON SERIES (LR010 RIBBON SOAP DISPENSER, L-R-020 RIBBON SENSOR TAP, FINISH TO BE STAINLESS STEEL. * FOR EXACT SIZE AND COLOUR OF BASIN. REFER TO ARCHITECTURAL DRAWINGS. *LAVATORY SHALL ONLY BE INSTALLED BY LOVAIR TRAINED PERSONNEL. *P-TRAP SHALL BE HEAVY CAST BRASS ADJUSTABLE TRAP WITH CLEANOUT PLUG ON THE BOTTOM OF THE TRAP. * FAUCET, HAND SOAP DISPENSER TO BE INSTALLED BY MECHANICAL TRADES AND ELECTRICAL CONNECTION BY DIV. 16. INSTALLATION SHALL
- ONLY PROCEED WITH YORK REGION'S PM APPROVAL & DIRECTIONS. * TWO (2) SETS OF TEMPERATURE MIXING VALVE TO SERVE EACH FAUCETS; LAWLER #570-86820, POINT OF USE AND MASTER CONTROLLED FIXTURES, THERMOSTATIC MASTER WATER MIXING CONTROL VALVE, NICKEL PLATED FINISH, LEAD FREE BRASS BODY CONSTRUCTION, TO ADJUST THE MIXED OUTLET TEMPERATURE OF THE VALVE, REMOVE THE CAP TO GAIN ACCESS TO THE ADJUSTING SPINDLE. THE SPINDLE SHOULD BE ROTATED-CLOCKWISE TO REDUCE THE TEMPERATURE, COUNTER-CLOCKWISE TO INCREASE THE TEMPERATURE UNTIL THE DESIRED SET POINT IS REACHED, THE TEMPERATURE IS ADJUSTED WITH THE HELP OF SPINDLE, 3/8" MNPT (9.5 MM) INLET, 3/8" MNPT (9.5 MM) OUTLET. INTERNAL CHECKS. ASSE 1070 APPROVED CERTIFIED TO CSA B125.3 FOR ASSE 1070 APPLICATIONS, 95-115°F OUTLET WATER TEMPERATURE RANGE, OFFERS CHOICE OF TEMPERATURE SETTINGS FROM 95° THROUGH 115°F., 125 PSI MAX HYDROSTATIC PRESSURE, ±20% PRESSURE VARIATION, 3 GPM (11 LPM) TEMPERED FLOWRATE @ 5 PSI PRESSURE DROP, 7 GPM FLOWRATE @ 45 PSI." * PROVIDE ISOLATION VALVES FOR BOTH HOT & COLD WATER PIPING FOR EACH FAUCET. ISOLATION VALVE SHALL BE "DAHL" BALL MINI
- <u>'WC-1'</u> WALL HUNG TOILET VITREOUS CHINA FOR FLUSH VALVE EXPOSED NO TOUCH HARDWIRED AMERICAN STANDARD AFWALL MILLENNIUM FLOWISE ELONGATED #3351101.020 HET TOILET, VITREOUS CHINA WITH EVERCLEAN ANTIMICROBIAL SURFACE WHICH INHIBITS THE GROWTH OF STAIN AND ODOR CAÜSING BACTERIA MOLD AND MILDEW, ELONGATED BOWL, WHITE FINISH, WALL HUNG, SIPHON JET FLUSH ACTION, OPERATES IN THE RANGE OF 4.2 L TO 6 L (1.1 US GAL TO 1.6 US GAL) PER FLUSH, CONDENSATE CHANNEL, 305 MM X 254 MM (12" X 10") WATER SURFACE, SIPHON JET FLUSH ACTION, CONDENSATE CHANNEL, ELONGATED BOWL, 54 MM (2-1/8") FULLY GLAZED INTERNAL TRAPWAY. TOILET SEAT NOT INCLUDED. 38 MM (1-1/2") DIA. TOP SPUD. CENTOCO #500STSCC.001 TOILET SEAT, HEAVY DUTY, FOR ELONGATED BOWL, OPEN FRONT, SOLID PLASTIC. LESS COVER. STAINLESS STEEL CHECK HINGES, METAL FLAT WASHERS STAINLESS STEEL POSTS AND NUTS. AMERICAN STANDARD SELECTRONIC #606B.121, EXPOSED FLUSH VALVE FOR TOP SPUD TOILET. POLISHED CHROME FINISH, 4.8 L (1.28 US GAL) PER FLUSH, SELF-CLEANING BRASS PISTON WITH INTEGRAL WIPER SPRING PREVENTS CLOGGING, PROXIMITY FLUSH VALVE WITH PROGRAMMABLE, MULTI-FUNCTION INFRARED SENSOR, TRUE MECHANICAL OVER-RIDE BUTTON, 1" IPS BAK-CHEK ANGLE STOP, FLUSH TUBE FOR 292 MM (11-1/2") ROUGH-IN, OUTLET INCLUDES 38 MM (1-1/2") VACUUM BREAKER FOR BACK-FLOW PREVENTION, CHROME PLATE ONLY REQUIRED WHEN FOWER SUPPLY MUST BE INSTALLED FROM THE FRONT, AC POWERED (HARD WIRED). AMERICAN STANDARD #PK00.HAC, HARDWIRED HARDWIRED AC - POWER KIT, INCLUDES 10' LONG EXTENSION CABLE. WATTS #ISCA-101-M11 SINGLE HORIZONTAL ADJUSTABLE TOILET CARRIER, MOUNTED ON CONCRETE FLOOR, ALL EPOXY COATED CAST IRON FITTING, ADJUSTABLE ABS SLIDE NIPPLE WITH INTEGRAL TEST CAP AND NEOPRENE BOWL GASKET, WASTED PLATED HARDWARE, CHROME CAP NUTS, TILING FRAME, 102 MM (4") NO HUB WASTE, 51 MM (2") NO HUB VENT, 158.8 KG (350 LBS) STATIC LOAD. 305 MM (12") FINISHED METAL STUD WALL TO BACK OF PIPE SPACE. CHAMPION MI-X SERIES #MI-XHUB DRAIN COUPLING, COUPLING, NO-HUB, TYPE 304 AISI STAINLESS STEEL BAND, TYPE 304 AISI STAINLESS STEEL EYELET, ELASTOMERIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564. TYPE 304 AISI STAINLESS STEEL SHIELD: PAINTED RED FOR EASY IDENTIFICATION. TESTED TO MAINTAIN 15 PSI MAXIMUM LINE PRESSURE AT 80 INCH LB MIN TO 100 INCH LB MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY IAPMO TO COMPLY TO FM 1680-1989 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 10"). THEY ARE TESTED AND CERTIFIED TO ASTM C1540-2011 STANDARD, PER OSHPD CODE APPLICATION NOTICE 5-311.9 REVISED 6/29/2011, SIGNED BY PAUL COLEMAN; SECTION I (A) STATES THAT: "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1680, CLASS I, BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE
- <u>'WC-2'</u> WALL HUNG TOILET VITREOUS CHINA FOR FLUSH VALVE EXPOSED NO TOUCH HARDWIRED AMERICAN STANDARD AFWALL MILLENNIUM FLOWISE ELONGATED #3351101.020 HET TOILET, VITREOUS CHINA WITH EVERCLEAN ANTIMICROBIAL SURFACE WHICH INHIBITS THE GROWTH OF STAIN AND ODOR CAUSING BACTERIA MOLD AND MILDEW, ELONGATED BOWL, WHITE FINISH, WALL HUNG, SIPHON JET FLUSH ACTION, OPERATES IN THE RANGE OF 4.2 L TO 6 L (1.1 US GAL TO 1.6 US GAL) PER FLUSH, CONDENSATE CHANNEL, 305 MM X 254 MM (12" X 10") WATER SURFACE, SIPHON JET FLUSH ACTION, CONDENSATE CHANNEL, ELONGATED BOWL, 54 MM (2-1/8") FULLY GLAZED INTERNAL TRAPWAY, TOILET SEAT NOT INCLUDED, 38 MM (1-1/2") DIA. TOP SPUD. CENTOCO #500STSCC.001 TOILET SEAT, HEAVY DUTY, FOR ELONGATED BOWL, OPEN FRONT, SOLID PLASTIC, LESS COVER, STAINLESS STEEL CHECK HINGES, METAL FLAT WASHERS STAINLESS STEEL POSTS AND NUTS. AMERICAN STANDARD SELECTRONIC #606B.121, EXPOSED FLUSH VALVE FOR TOP SPUD TOILET, POLISHED CHROME FINISH, 4.8 L (1.28 US GAL) PER FLUSH, SELF-CLEANING BRASS PISTON WITH INTEGRAL WIPER SPRING PREVENTS CLOGGING, PROXIMITY FLUSH VALVE WITH PROGRAMMABLE, MULTI-FUNCTION INFRARED SENSOR, TRUE MECHANICAL OVER-RIDE BUTTON. 1" IPS BAK-CHEK ANGLE STOP, FLUSH TUBE FOR 292 MM (11-1/2") ROUGH-IN, OUTLET INCLUDES 38 MM (1-1/2") VACUUM BREAKER FOR BACK-FLOW PREVENTION, CHROME PLATE ONLY REQUIRED WHEN FOWER SUPPLY MUST BE INSTALLED FROM THE FRONT, AC POWERED (HARD WIRED). AMERICAN STANDARD #PKOO.HAC, HARDWIRED HARDWIRED AC - POWER KIT, INCLUDES 10' LONG EXTENSION CABLE. WATTS #ISCA-101-M11 SINGLE HORIZONTAL ADJUSTABLE TOILET CARRIER, MOUNTED ON CONCRETE FLOOR, ALL EPOXY COATED CAST IRON FITTING, ADJUSTABLE ABS SLIDE NIPPLE WITH INTEGRAL TEST CAP AND NEOPRENE BOWL GASKET, WASTED PLATED HARDWARE, CHROME CAP NUTS, TILING FRAME, 102 MM (4") NO HUB WASTE, 51 MM (2") NO HUB VENT, 158.8 KG (350 LBS) STATIC LOAD. 305 MM (12") FINISHED METAL STUD WALL TO BACK OF PIPE SPACE. CHAMPION MI-X SÉRIES #MI-XHUB DRAIN COUPLING. COUPLING. NO-HUB, TYPE 304 AISI STAINLESS STEEL BAND, TYPE 304 AISI STAINLESS STEEL EYELET, ELASTOMERIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564, TYPE 304 AISI STAINLESS STEEL SHIELD; PAINTED RED FOR EASY IDENTIFICATION, TESTED TO MAINTAIN 15 PSI MAXIMUM LINE PRESSURE AT 80 INCH LB MIN TO 100 INCH LB MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY IAPMO TO COMPLY TO FM 1680-1989 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 10"). THEY ARE TESTED AND CERTIFIED TO ASTM C1540-2011 STANDARD. PER OSHPD CODE APPLICATION NOTICE 5-311.9 REVISED 6/29/2011, SIGNED BY PAUL COLEMAN; SECTION I (A) STATES THAT: "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1680, CLASS I, BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE

- WALL HUNG URINAL FOR FLUSHOMETER EXPOSED NO TOUCH HARDWIRED
- AMERICAN STANDARD WASHBROOK FLOWISE #6590.001.020 URINAL, VITREOUS CHINA, OPERATES IN THE RANGE OF 0.5 L TO 3.8 L (0.125 US GAL TO 1.0 US GAL) PER FLUSH, WALL HUNG, EXTENDED SIDES FOR PRIVACY, WASHDOWN ACTION, WASHBROOK FLOWISE, FLUSHING RIM, 19 MM (3/4") DIA. TOP SPUD, ELONGATED RIM, INTEGRAL P-TRAP, OUTLET CONNECTION 51 MM (2"), 2 WALL HANGERS, #7301242-100 CHROME PLATED, NON-METALLIC STRAINER, WHITE FINISH. SLOAN ROYAL (SINGLE FLUSH SIDE MOUNT) #ROYAL (SINGLE FLUSH SIDE MOUNT) 186-0.125 SFSM HW. EXPOSED FLUSHOMETER FOR TOP SPUD URINAL. 0.5 L (0.125 US GAL) FACTORY SET FLOW. QUIET ACTION 'PERMEX' DIAPHRAGM TYPE WITH DUAL FILTER BY-PASS, INFRARED SENSOR, CIRCUITRY, TRUE MECHANICAL OVER-RIDE BUTTON, SCREWDRIVER BAK-CHEK ANGLE STOP WITH FREE-SPINNING V.P. STOP CAP, FLUSH TUBE FOR 292 MM (11-1/2") ROUGH-IN, HIGH PRESSURE VACUUM BREAKER. SLOAN #EAF-37, BOX MOUNT HARDWIRED TRANSFORMER, 120 VAC/ 6 VDC. WATTS #CA-321 FIXTURE CARRIER, MOUNTED ON CONCRETE FLOOR, STEEL HANGER PLATE, HEAVY GAUGE EPOXY COATED STEEL OFFSET UPRIGHTS WITH WELDED FEET SUPPORTS. FOR ONE UNIT: 102 MM (4") FOR TWO TO SIX UNITS IN A ROW: 152 MM (6") FINISHED METAL STUD WALL TO BACK OF PIPE SPACE. WATTS #WUCO URINAL WALL ACCESS CLEANOUT, TWO (2) PIECE EXPANDABLE PLUG WITH 102 MM (4") DIAMETER STAINLESS STEEL ACCESS COVER, SECURED WITH VANDAL PROOF STAINLESS STEEL SCREW. CHAMPION MI-X SERIES #MI-XHUB DRAIN COUPLING, COUPLING, NO-HUB, TYPE 304 AISI STAINLESS STEEL BAND, TYPE 304 AISL STAINLESS STEEL EYELET, ELASTOMÉRIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564, TYPE 304 AISL STAINLESS STEEL SHIELD; PAINTED RED FOR EASY IDENTIFICATION, TESTED TO MAINTAIN 15 PSI MAXIMUM LINE PRESSURE AT 80 INCH LB MIN TO 100 INCH LB MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY IAPMO TO COMPLY TO FM 1680-1989 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 10"). THEY ARE TESTED AND CERTIFIED TO ASTM C1540-2011 STANDARD. PER OSHPD CODE APPLICATION NOTICE 5-311.9 REVISED 6/29/2011, SIGNED BY PAUL COLEMAN; SECTION I (A) STATES THAT: "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1680, CLASS I, BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE ACCEPTABLE

M-401 PARTIAL 4TH FLOOR AREA 'B' - HYDRONIC NEW LAYOUT

M-402 PARTIAL 4TH FLOOR AREA 'C' - HYDRONIC NEW LAYOUT

M-500 PARTIAL 4TH FLOOR AREA 'A' - CONTROLS LAYOUT

M-501 PARTIAL 4TH FLOOR AREA 'B' - CONTROLS LAYOUT

M-502 | PARTIAL 4TH FLOOR AREA 'C' - CONTROLS LAYOUT

UNDER COUNTER SINK - SINGLE HANDLE FAUCET - POINT OF USE THERMOSTATIC WATER MIXING VALVE FRANKE COMMERCIAL #UCS6805P-1 SINGLE BOWL UNDER COUNTER SINK, 511 MM (20-1/8") WIDE X 460 MM (18-1/8") LONG X 127 MM (5") HIGH DEEP, COUNTER MOUNTED, NO LEDGE, GRADE 18-10 18 GA. (1.2 MM) TYPE 304 STAINLESS STEEL, SATIN FINISH RIM AND BOWLS, MOUNTING KIT PROVIDED, FULLY UNDERCOATED TO REDUCE CONDENSATION AND RESONANCE, 3-1/2" (89 MM) CRUMB CUP WASTE ASSEMBLY AMERICAN STANDARD COLONY PRO #7074100.002 SINGLE HANDLE FAUCET, POLISHED CHROME FINISH, ESCUTCHEON FOR MOUNTING ON 203 MM (8") CENTERS, WASHERLESS 40MM CERAMIC DISC VALVE CARTRIDGES, AERATOR OUTLET, 220 MM (8-11/16") PROJECTION REACH, TWO-FUNCTION PULL-DOWN SPRAY WITH NYLON HOSE AND TWO INTEGRAL CHECK VALVES. FAUCET CAN BE MOUNTED WITH OR WITHOUT SUPPLIED ESCUTCHEON OR HANDSPRAY LAWLER #570-86820, POINT OF USE THERMOSTATIC WATER MIXING VALVE, NICKEL PLATED BRONZE BODY, TEMPERATURE ADJUSTING SPINDLE, 10 MM (3/8") INLETS AND OUTLET FNPT CONNECTIONS. INTEGRAL CHECKS. OFFER TEMPERATURE RANGE BETWEEN 35 °C (95 °F) AND 46 °C (114.8 °F). SET VALVE TEMPERATURE AT 46 °C (114.8 °F). PROVIDE TEE, ADAPTORS AND FLEX. COPPER TUBING TO SUIT INSTALLATION. PROVIDE TEMPERED WATER TO HOT SIDE OF FAUCET. MCGUÍRE #LFBV170 FAUCET SUPPLIES, CHROME PLATED FINISH POLISHED BRASS, COMMERCIAL DUTY 1/4 TURN BALL VALVE ANGLE STOPS, 13 MM (1/2") I.D. INLET X 127 MM (5") HORIZONTAL EXTENSION TUBES, CONVERTIBLE 1/4 TURN/LOOSE KEY HANDLES, ESCUTCHEON AND FLEXIBLE COPPER RISERS. MCGUIRE #8912CB P-TRAP, HEAVY CAST BRASS ADJUSTABLE BODY, WITH SLIP NUT, 38 MM (1-1/2") SIZE, BOX FLANGE AND SEAMLESS TUBULAR WALL BEND. MCGUIRE PROWRAP #PW2000 SANITARY COVERING VANDAL-RESISTANT, FLEXIBLE SEAMLESS MOULDED CLOSED-CELL PVC RESIN, FORMULATED WITH ANTI-MICROBIAL ADDITIVE TO LIMIT THE GROWTH OF FUNGUS AND BACTERIA, TO EXPOSED PIPING (TO PROTECT AGAINST HEAT/CONTUSIONS) AS PER LOCAL CODES.

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



Markham, Ontario

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com



L3R 8C5



PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: 4TH FLOOR: BASE DATE: 01-01-2022

PROJECT:

1:100

1:100

1:100

1:100

1:100

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

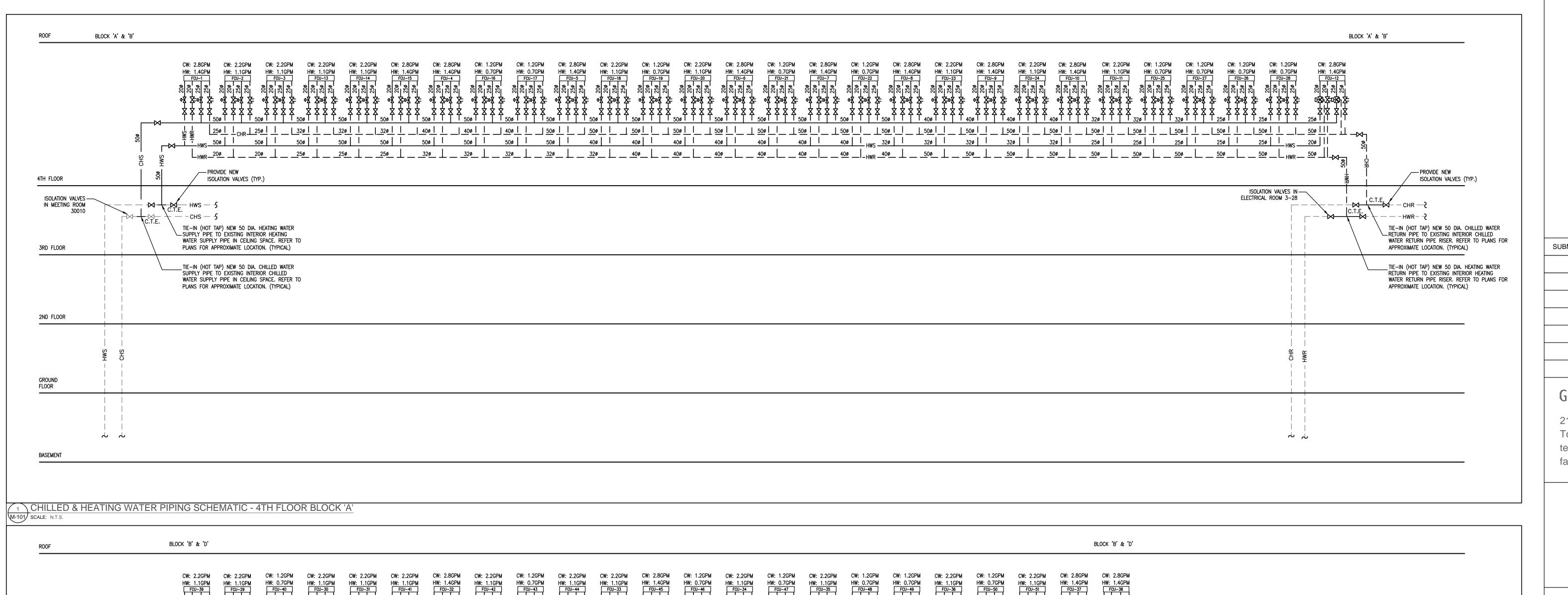
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S.P.R./G.G. DRAWN BY:

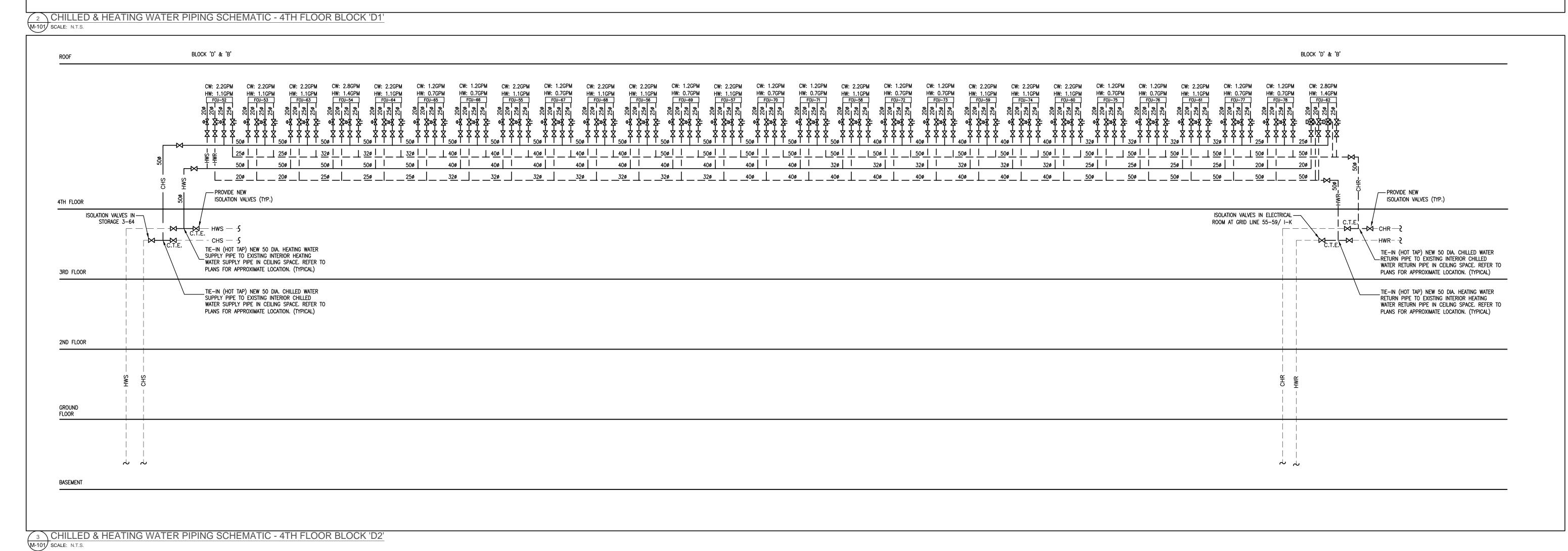
MUNICIPALITY OF YORK SUBMITTED TO:

SHEET TITLE:

MECHANICAL LEGEND, SCHEDULE & DRAWING LIST



BLOCK 'B' & 'D'	BLOCK 'B' & 'D'
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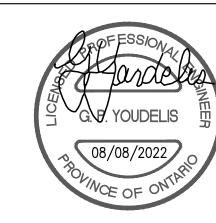
G.Bruce Stratton Architects

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Markham, Ontario

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com



L3R 8C5



PROPERTY SERVICES

BUILDING & FACILITIES 4TH FLOOR: 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: NOT TO SCALE

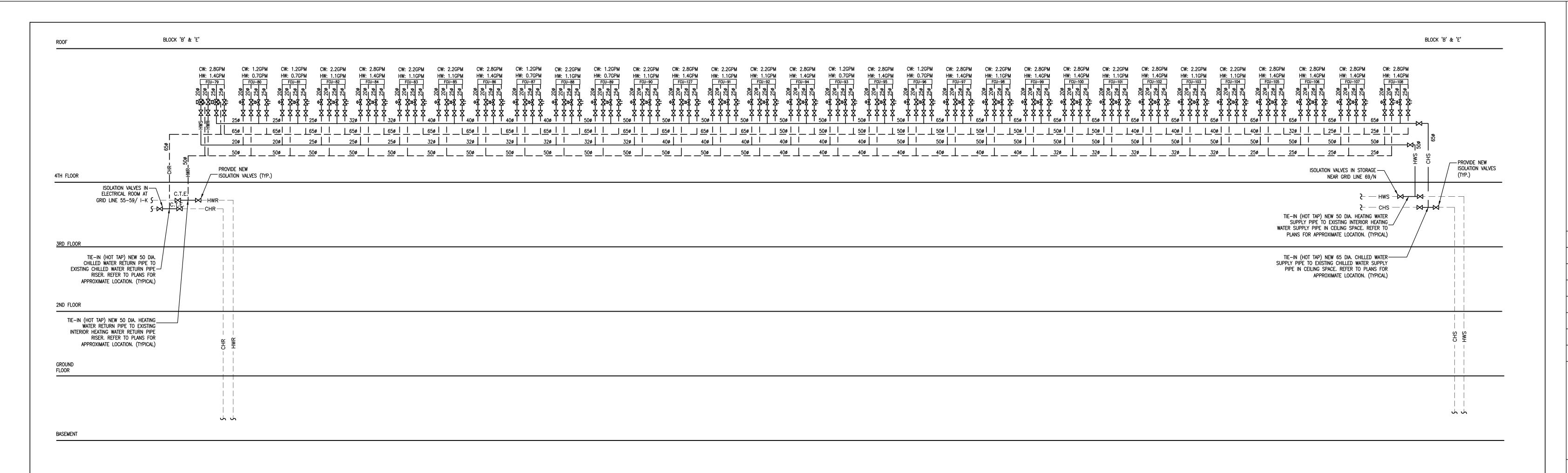
S.P.R./G.G. DRAWN BY:

MUNICIPALITY OF YORK SUBMITTED TO:

SHEET TITLE:

SCHEMATIC DIAGRAM

SHEET NUMBER:



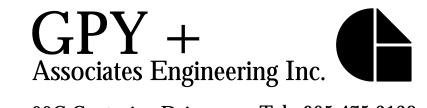
HILLED & HEATING WATE LE: N.T.S.	R PIPING SCHEMATIC - 4TH FLOOR BLOCK 'E1'	
L. 14.1.0.		
	BLOCK 'E' & 'B'	BLOCK 'E' & 'B'
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ROOM NEAR (VES IN STORAGE————————————————————————————————————	ISOLATION VALVES IN ELECTRICAL RM— AT GRID LINE 94/71-S
	- CHS $-$ S	
	TIE—IN (HOT TAP) NEW 50 DIA. HEATING WATER SUPPLY PIPE TO EXISTING INTERIOR HEATING	TIE—IN (HOT TAP) NEW 65 DIA. CHILLED WATER RETURN PIPE TO EXISTING CHILLED WATER RETURN
OOR	WATER SUPPLY PIPE IN CEILING SPACE. REFER TO PLANS FOR APPROXIMATE LOCATION. (TYPICAL)	PIPE RISER. REFER TO PLANS FOR APPROXIMATE LOCATION. (TYPICAL)
	TIE—IN (HOT TAP) NEW 65 DIA. CHILLED WATER SUPPLY PIPE TO EXISTING CHILLED WATER SUPPLY	TIE-IN (HOT TAP) NEW 50 DIA. HEATING WATER
	PIPE IN CEILING SPACE. REFER TO PLANS FOR	RETURN PIPE TO EXISTING INTERIOR HEATING WATER RETURN PIPE RISER. REFER TO PLANS FOR
	APPROXIMATE LOCATION. (TYPICAL)	APPROXIMATE LOCATION. (TYPICAL)
OR .		
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2 CHILLED & HEATING WATER PIPING SCHEMATIC - 4TH FLOOR BLOCK 'E2' SCALE: N.T.S.

SUBMISSION	DATE	DESCRIPTION
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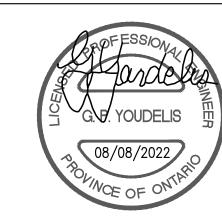
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L3R 8C5



PROPERTY SERVICES

BUILDING & FACILITIES 4TH FLOOR: 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

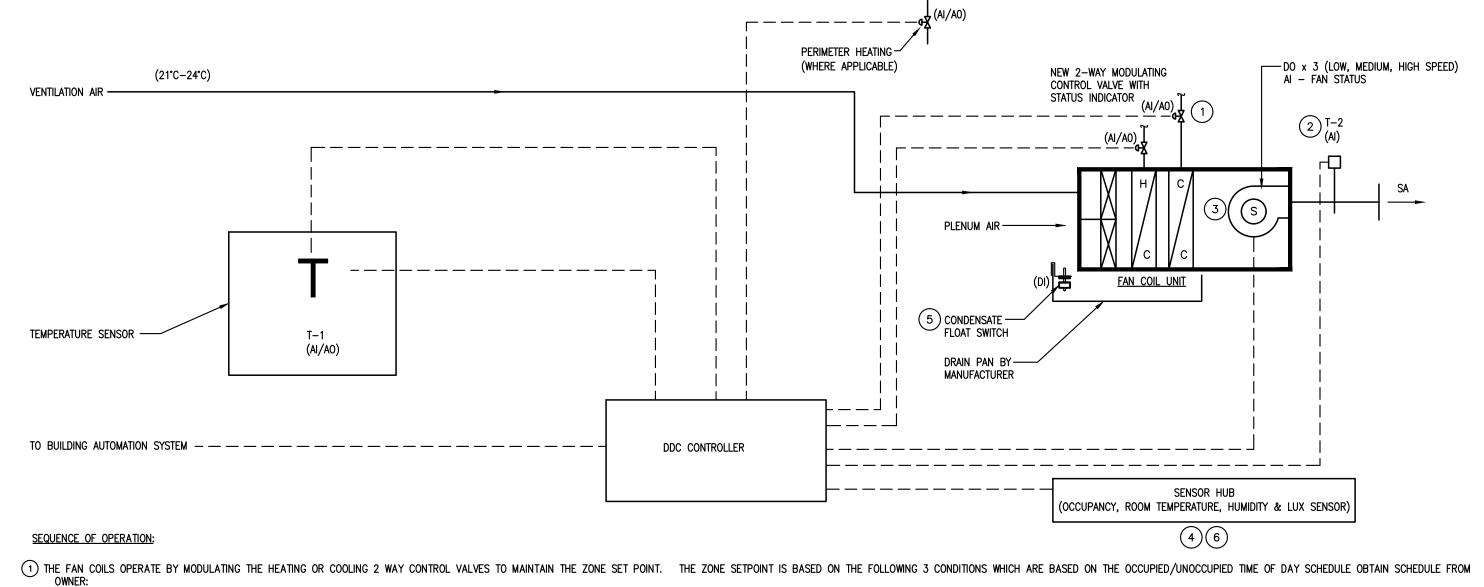
Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: NOT TO SCALE

SHEET TITLE:

S.P.R./G.G. MUNICIPALITY OF YORK

SCHEMATIC DIAGRAM



OWNER:

a. <u>UNOCCUPIED MODE</u>: WHEN THE TIME OF DAY SCHEDULE IS INACTIVE, THE FAN COIL UNIT IS OFF. IF THE SPACE TEMPERATURE RISES ABOVE THE UNOCCUPIED COOLING SETPOINT (INITIALLY SET AT 26°C, ADJUSTABLE), THE FAN COIL UNIT IS STARTED AND OPERATES ON LOW SPEED. THE CHILLED WATER CONTROL VALVE IS MODULATE FULLY OPEN AND REMAINS OPEN UNTIL THE ZONE TEMPERATURE DROPS BELOW THE UNOCCUPIED HEATING SETPOINT OF 16°C (ADJUSTABLE), THE PERIMETER HEATING CONTROL VALVE IS FULLY MODULATED OPEN TO RAISE THE ZONE TEMPERATURE UNTIL THE ZONE TEMPERATURE IS AT LEAST 1°C ABOVE THE UNOCCUPIED HEATING SET POINT. THE FAN COIL FAN

b. OCCUPIED MODE: THE OCCUPIED MODE IS ACTIVE WHEN THE TIME OF DAY SCHEDULE IS ACTIVE AND THERE HAS BEEN MOTION DETECTED FROM THE CEILING MOUNTED SENSOR HUB WITHIN THE LEAST 30 MINUTES (ADJUSTABLE). DURING THE OCCUPIED MODE, THE FAN COIL UNIT IS ON AND HEATING AND COOLING VALVE ARE MODULATED TO MAINTAIN THE ZONE TEMPERATURE TO THE SETPOINT. IN WINTER, THE ZONE SETPOINT IS 22°C AND 24.0°C IN SUMMER (ADJUSTABLE). THE HEATING AND COOLING VALVES ARE SEQUENCE TO PREVENT HEATING AND COOLING AT THE SAME TIME.

C. OCCUPIED STANDBY MODE: THE OCCUPIED STANDBY MODE IS ACTIVE WHEN THE TIME OF DAY SCHEDULE IS ACTIVE AND THERE HAS BEEN NO MOTION DETECTED FROM THE CEILING MOUNTED SENSOR HUB FOR AT LEAST 30 MINUTES (ADJUSTABLE). DURING OCCUPIED STANDBY, THE FAN COIL

2 SUPPLY AIR DISCHARGE TEMPERATURE SENSOR FROM FAN COIL DISCHARGE IS MONITOR AND THE DATA IS TRENDED.

3 IF THE FAN STATUS DOES NOT MATCH THE FAN CONTROL, AN ALARM IS GENERATED AT THE BAS.

(4) SENSOR HUB MONITORS THE RELATIVE HUMIDITY LEVELS AND THE DATA IS TRENDED.

(5) CONDENSATE OVERFLOW SWITCH AND LEAK DETECTOR SENDS ALARMS TO BMS WHEN WATER IS DETECTED. THE ASSOCIATED FAN COIL UNIT IS STOPPED AND THE CONTROLS VALVES ARE FULLY CLOSED WHEN SENSORS ARE ACTIVATED.

(6) SENSOR HUB MONITORS OCCUPANCY STATUS OF THE ZONE AND THE DATA IS TRENDED.

THERMOSTAT MANUAL CONTROL OPERATION ("ON" & "OFF" BUTTONS):

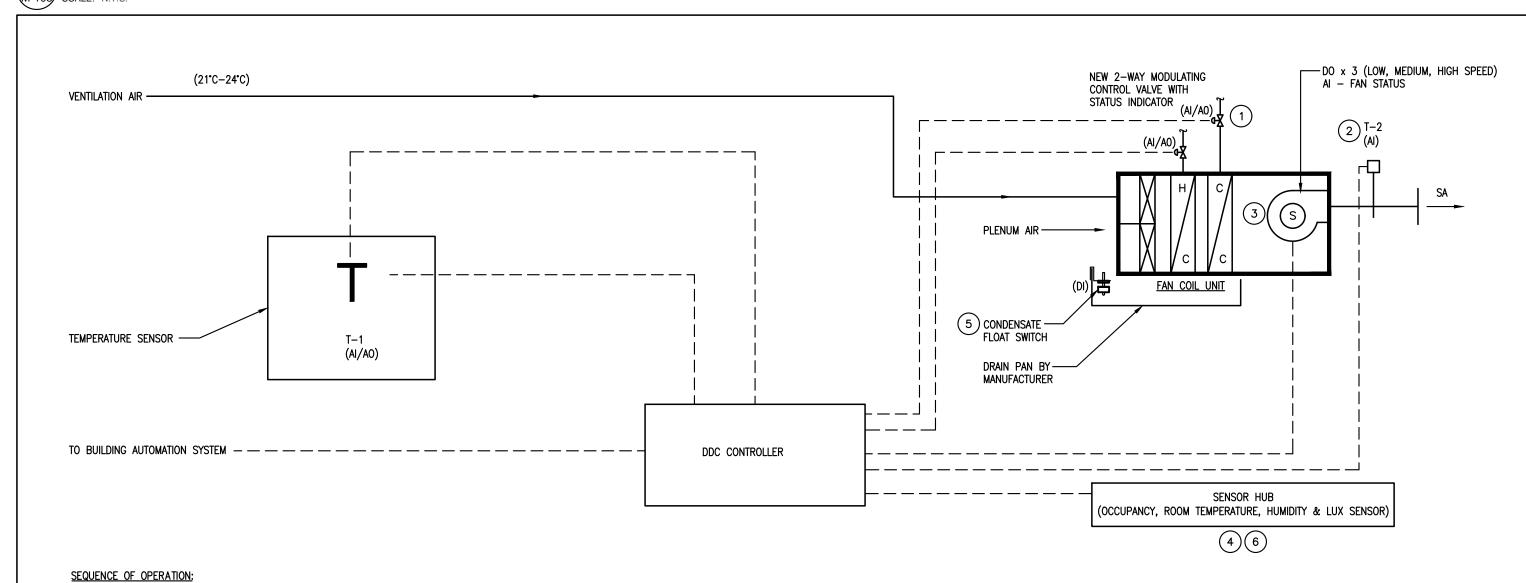
1. "ON" BUTTON: PRESS ONCE, ACTIVATES LIGHTING & FAN COIL UNIT. FAN COIL UNIT WILL OPERATE IN OCCUPIED STATE, AND WILL CONDITION SPACE AT OCCUPIED SPACE TEMPERATURE SET FOR 1 HOUR WITHIN THE CORRESPONDING ZONE.

2. "ON" BUTTON: PRESS AGAIN WITHIN THE 1 HOUR TIME FRAME, RESETS THE 1 HOUR COUNTDOWN FOR THE CORRESPONDING ZONE.

3. "OFF" BUTTON: PRESS ONCE, REVERTS FAN COIL UNIT BACK TO UNOCCUPIED STATE MODE AND MAINTAIN THE UNOCCUPIED SPACE TEMPERATURE SET. TURNS LIGHTING OFF AFTER 30 SECONDS.

FAN COIL UNITS WITH COOLING/ HEATING, AND PERIMETER HEATING (WHERE APPLICABLE)

UNIT IS ON AND THE SPACE TEMPERATURE IS ALLOWED TO FLOAT BEYOND THE REGULVAR OCCUPIED ZONE SET POINT SETTING BY 2°C (ADJUSTABLE)



1 THE FAN COILS OPERATE BY MODULATING THE HEATING AND COOLING 2 WAY CONTROL VALVES TO MAINTAIN THE ZONE SET POINT. THE ZONE SETPOINT IS BASED ON THE FOLLOWING 3 CONDITIONS WHICH ARE BASED ON THE OCCUPIED/UNOCCUPIED TIME OF DAY SCHEDULE OBTAIN SCHEDULE FROM OWNER.

a. <u>Unoccupied mode</u>: When the time of day schedule is inactive, the fan coil unit is off. If the space temperature rises above the unoccupied cooling setpoint (initially set at 26°C, adjustable), the fan coil unit is started and operates on low speed. The chilled water control valve is modulated fully open and remains open until the zone temperature drops below the night cooling set point by more than 1°C (adjustable). At this time, the cooling valve is closed and the fan is stopped.

b. <u>Occupied mode</u>: The occupied mode is active when the time of day schedule is active and there has been motion detected from the ceiling mounted sensor hub within the least 30 minutes (adjustable). During the occupied mode, the fan coil unit is on and the heating and cooling valves are modulated to maintain the zone temperature to the setpoint. In winter, the zone setpoint is 22°C and 24.0°C in summer (adjustable).

c. OCCUPIED STANDBY MODE: THE OCCUPIED STANDBY MODE IS ACTIVE WHEN THE TIME OF DAY SCHEDULE IS ACTIVE AND THERE HAS BEEN NO MOTION DETECTED FROM THE CEILING MOUNTED SENSOR HUB FOR AT LEAST 30 MINUTES (ADJUSTABLE). DURING OCCUPIED STANDBY, THE FAN COIL UNIT IS ON AND THE SPACE TEMPERATURE IS ALLOWED TO FLOAT BEYOND THE REGULVAR OCCUPIED ZONE SET POINT SETTING BY 2°C (ADJUSTABLE)

2 SUPPLY AIR DISCHARGE TEMPERATURE SENSOR FROM FAN COIL DISCHARGE IS MONITOR AND THE DATA IS TRENDED.

(3) IF THE FAN STATUS DOES NOT MATCH THE FAN CONTROL, AN ALARM IS GENERATED AT THE BAS.

(4) SENSOR HUB MONITORS THE RELATIVE HUMIDITY LEVELS AND THE DATA IS TRENDED.

5 CONDENSATE OVERFLOW SWITCH AND LEAK DETECTOR SENDS ALARMS TO BMS WHEN WATER IS DETECTED. THE ASSOCIATED FAN COIL UNIT IS STOPPED AND THE CONTROLS VALVES ARE FULLY CLOSED WHEN SENSORS ARE ACTIVATED.

3. "OFF" BUTTON: PRESS ONCE, REVERTS FAN COIL UNIT BACK TO UNOCCUPIED STATE MODE AND MAINTAIN THE UNOCCUPIED SPACE TEMPERATURE SET. TURNS LIGHTING OFF AFTER 30 SECONDS.

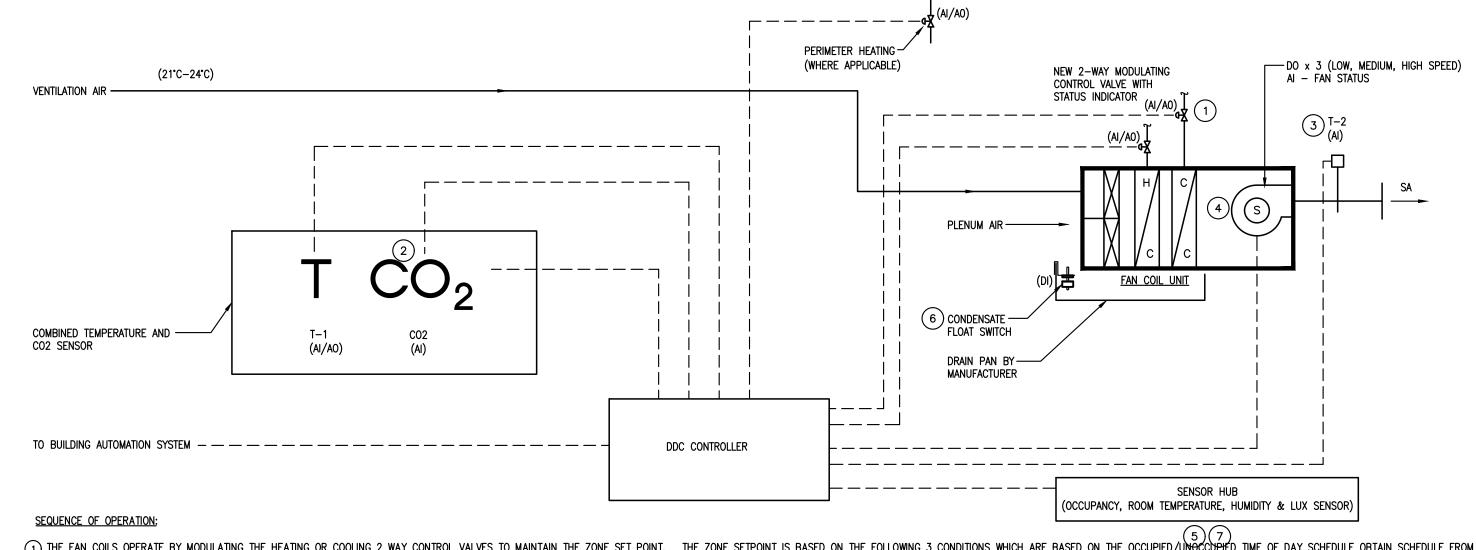
6 SENSOR HUB MONITORS OCCUPANCY STATUS OF THE ZONE AND THE DATA IS TRENDED.

THERMOSTAT MANUAL CONTROL OPERATION ("ON" & "OFF" BUTTONS):

1. "ON" BUTTON: PRESS ONCE, ACTIVATES LIGHTING & FAN COIL UNIT. FAN COIL UNIT. FAN COIL UNIT WILL OPERATE IN OCCUPIED STATE, AND WILL CONDITION SPACE AT OCCUPIED SPACE TEMPERATURE SET FOR 1 HOUR WITHIN THE CORRESPONDING ZONE.

2. "ON" BUTTON: PRESS AGAIN WITHIN THE 1 HOUR TIME FRAME, RESETS THE 1 HOUR COUNTDOWN FOR THE CORRESPONDING ZONE.

4 FAN COIL UNITS WITH COOLING/ HEATING (INTERIOR ZONES)
M-103 SCALE: N.T.S.



1 THE FAN COILS OPERATE BY MODULATING THE HEATING OR COOLING 2 WAY CONTROL VALVES TO MAINTAIN THE ZONE SET POINT. THE ZONE SETPOINT IS BASED ON THE FOLLOWING 3 CONDITIONS WHICH ARE BASED ON THE OCCUPIED/UNOCCUPIED TIME OF DAY SCHEDULE OBTAIN SCHEDULE FROM OWNER:

a. <u>UNOCCUPIED MODE:</u> WHEN THE TIME OF DAY SCHEDULE IS INACTIVE, THE FAN COIL UNIT IS OFF. IF THE SPACE TEMPERATURE RISES ABOVE THE UNOCCUPIED COOLING SETPOINT (INITIALLY SET AT 26°C, ADJUSTABLE), THE FAN COIL UNIT IS STARTED AND OPERATES ON LOW SPEED. THE CHILLED WATER CONTROL VALVE IS MODULATE FULLY OPEN AND REMAINS OPEN UNTIL THE ZONE TEMPERATURE DROPS BELOW THE UNOCCUPIED HEATING SETPOINT OF 16°C (ADJUSTABLE), THE PERIMETER HEATING CONTROL VALVE IS FULLY MODULATED OPEN TO RAISE THE ZONE TEMPERATURE UNTIL THE ZONE TEMPERATURE IS AT LEAST 1°C ABOVE THE UNOCCUPIED HEATING SET POINT. THE FAN COIL FAN REMAINS OFF.

b. OCCUPIED MODE: THE OCCUPIED MODE IS ACTIVE WHEN THE TIME OF DAY SCHEDULE IS ACTIVE AND THERE HAS BEEN MOTION DETECTED FROM THE CEILING MOUNTED SENSOR HUB WITHIN THE LEAST 30 MINUTES (ADJUSTABLE). DURING THE OCCUPIED MODE, THE FAN COIL UNIT IS ON AND HEATING AND COOLING VALVE ARE MODULATED TO MAINTAIN THE ZONE TEMPERATURE TO THE SETPOINT. IN WINTER, THE ZONE SETPOINT IS 22°C AND 24.0°C IN SUMMER (ADJUSTABLE). THE HEATING AND COOLING VALVES ARE SEQUENCE TO PREVENT HEATING AND COOLING AT THE SAME TIME.

C. OCCUPIED STANDBY MODE: THE OCCUPIED STANDBY MODE IS ACTIVE WHEN THE TIME OF DAY SCHEDULE IS ACTIVE AND THERE HAS BEEN NO MOTION DETECTED FROM THE CEILING MOUNTED SENSOR HUB FOR AT LEAST 30 MINUTES (ADJUSTABLE). DURING OCCUPIED STANDBY, THE FAN COIL UNIT IS ON AND THE SPACE TEMPERATURE IS ALLOWED TO FLOAT BEYOND THE REGULVAR OCCUPIED ZONE SET POINT SETTING BY 2°C (ADJUSTABLE)

2) THE CO2 SENSOR (REFER TO DRAWINGS FOR CO2 SENSOR LOCATIONS AND QUANTITY) SENDS A SIGNAL TO THE BMS AND THE DATA IS TRENDED.

3 SUPPLY AIR DISCHARGE TEMPERATURE SENSOR FROM FAN COIL DISCHARGE IS MONITOR AND THE DATA IS TRENED.

4 IF THE FAN STATUS DOES NOT MATCH THE FAN CONTROL, AN ALARM IS GENERATED AT THE BAS.

(5) SENSOR HUB MONITORS THE RELATIVE HUMIDITY LEVELS AND THE DATA IS TRENDED.

6 CONDENSATE OVERFLOW SWITCH AND LEAK DETECTOR SENDS ALARMS TO BMS WHEN WATER IS DETECTED. THE ASSOCIATED FAN COIL UNIT IS STOPPED AND THE CONTROLS VALVES ARE FULLY CLOSED WHEN SENSORS ARE ACTIVATED.

(7) SENSOR HUB MONITORS OCCUPANCY STATUS OF THE ZONE AND THE DATA IS TRENDED.

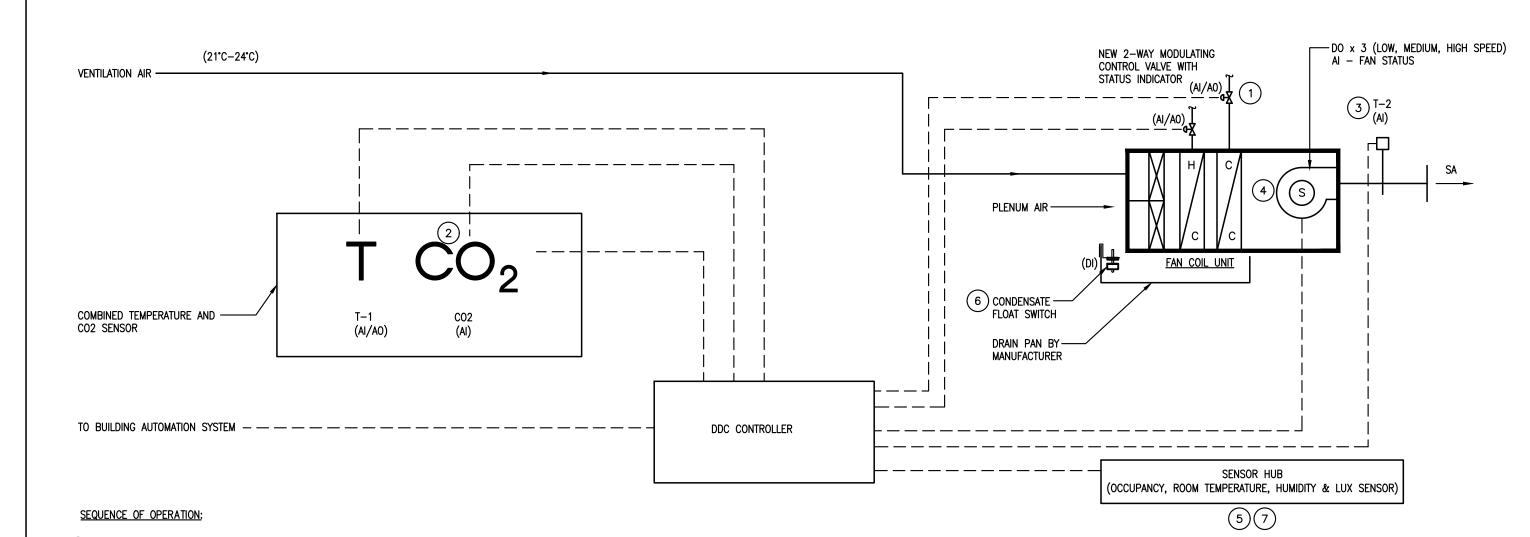
THERMOSTAT MANUAL CONTROL OPERATION ("ON" & "OFF" BUTTONS):

1. "ON" BUTTON: PRESS ONCE, ACTIVATES LIGHTING & FAN COIL UNIT. FAN COIL UNIT WILL OPERATE IN OCCUPIED STATE, AND WILL CONDITION SPACE AT OCCUPIED SPACE TEMPERATURE SET FOR 1 HOUR WITHIN THE CORRESPONDING ZONE.

2. "ON" BUTTON: PRESS AGAIN WITHIN THE 1 HOUR TIME FRAME, RESETS THE 1 HOUR COUNTDOWN FOR THE CORRESPONDING ZONE.

3. "OFF" BUTTON: PRESS ONCE, REVERTS FAN COIL UNIT BACK TO UNOCCUPIED STATE MODE AND MAINTAIN THE UNOCCUPIED SPACE TEMPERATURE SET. TURNS LIGHTING OFF AFTER 30 SECONDS.

TAN COIL UNITS WITH COOLING/ HEATING, CO2 SENSOR AND PERIMETER HEATING (WHERE APPLICABLE)



THE FAN COILS OPERATE BY MODULATING THE HEATING AND COOLING 2 WAY CONTROL VALVES TO MAINTAIN THE ZONE SET POINT. THE ZONE SETPOINT IS BASED ON THE FOLLOWING 3 CONDITIONS WHICH ARE BASED ON THE OCCUPIED/UNOCCUPIED TIME OF DAY SCHEDULE OBTAIN SCHEDULE FROM OWNER:

a. <u>Unoccupied mode</u>; when the time of day schedule is inactive, the fan coil unit is off. If the space temperature rises above the unoccupied cooling setpoint (initially set at 26°C, adjustable), the fan coil unit is started and operates on low speed. The chilled water control valve is modulated fully open and remains open until the zone temperature drops below the night cooling set point by more than 1°C (adjustable). At this time, the cooling valve is closed and the fan is stopped.

b. <u>Occupied mode</u>: the occupied mode is active when the time of day schedule is active and there has been motion detected from the ceiling mounted sensor hub within the least 30 minutes (adjustable). During the occupied mode, the fan coil unit is on and the heating and cooling valves are modulated to maintain the zone temperature to the setpoint. In winter, the zone setpoint is 22°C and 24.0°C in summer (adjustable).

c. <u>Occupied Standby mode</u>: the occupied standby mode is active when the time of day schedule is active and there has been no motion detected from the ceiling mounted sensor hub for at least 30 minutes (adjustable). During occupied standby, the fan coil

UNIT IS ON AND THE SPACE TEMPERATURE IS ALLOWED TO FLOAT BEYOND THE REGULVAR OCCUPIED ZONE SET POINT SETTING BY 2°C (ADJUSTABLE)

2) THE CO2 SENSOR (REFER TO DRAWINGS FOR CO2 SENSOR LOCATIONS AND QUANTITY) SENDS A SIGNAL TO THE BMS AND THE DATA IS TRENDED.

3 SUPPLY AIR DISCHARGE TEMPERATURE SENSOR FROM FAN COIL DISCHARGE IS MONITOR AND THE DATA IS TRENED.

(4) IF THE FAN STATUS DOES NOT MATCH THE FAN CONTROL, AN ALARM IS GENERATED AT THE BAS.

(5) SENSOR HUB MONITORS THE RELATIVE HUMIDITY LEVELS AND THE DATA IS TRENDED.

6 CONDENSATE OVERFLOW SWITCH AND LEAK DETECTOR SENDS ALARMS TO BMS WHEN WATER IS DETECTED. THE ASSOCIATED FAN COIL UNIT IS STOPPED AND THE CONTROLS VALVES ARE FULLY CLOSED WHEN SENSORS ARE ACTIVATED.

7 SENSOR HUB MONITORS OCCUPANCY STATUS OF THE ZONE AND THE DATA IS TRENDED.

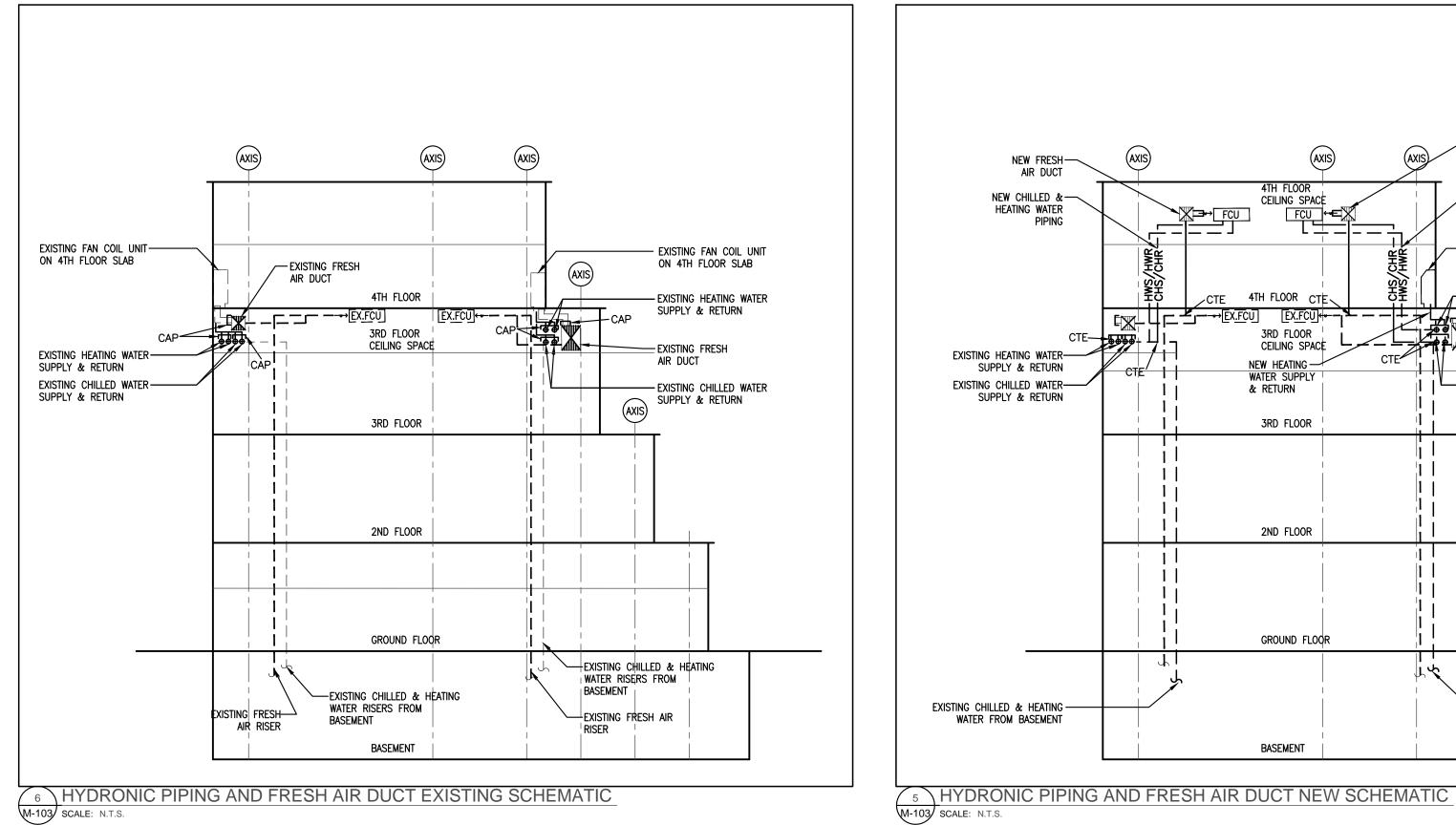
THERMOSTAT MANUAL CONTROL OPERATION ("ON" & "OFF" BUTTONS):

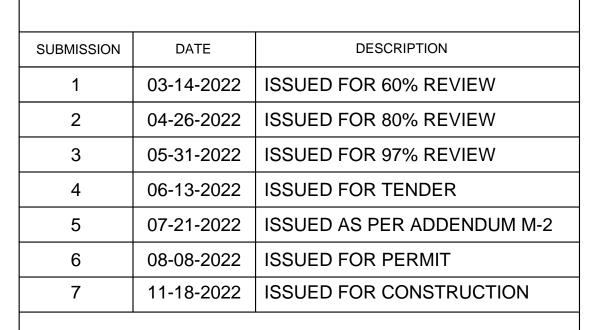
1. "ON" BUTTON: PRESS ONCE, ACTIVATES LIGHTING & FAN COIL UNIT. FAN COIL UNIT WILL OPERATE IN OCCUPIED STATE, AND WILL CONDITION SPACE AT OCCUPIED SPACE TEMPERATURE SET FOR 1 HOUR WITHIN THE CORRESPONDING ZONE.

2. "ON" BUTTON: PRESS AGAIN WITHIN THE 1 HOUR TIME FRAME, RESETS THE 1 HOUR COUNTDOWN FOR THE CORRESPONDING ZONE.

3. "OFF" BUTTON: PRESS ONCE, REVERTS FAN COIL UNIT BACK TO UNOCCUPIED STATE MODE AND MAINTAIN THE UNOCCUPIED SPACE TEMPERATURE SET. TURNS LIGHTING OFF AFTER 30 SECONDS.

2 FAN COIL UNITS WITH COOLING/ HEATING & CO2 SENSOR (INTERIOR ZONES)
M-103 SCALE: N.T.S.





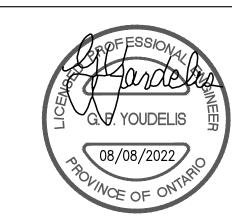
G.Bruce Stratton Architects

217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



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Fax: 866 853 3732
email: engineering
@gpyengineering.com



L3R 8C5



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

WALL FIN CABINET

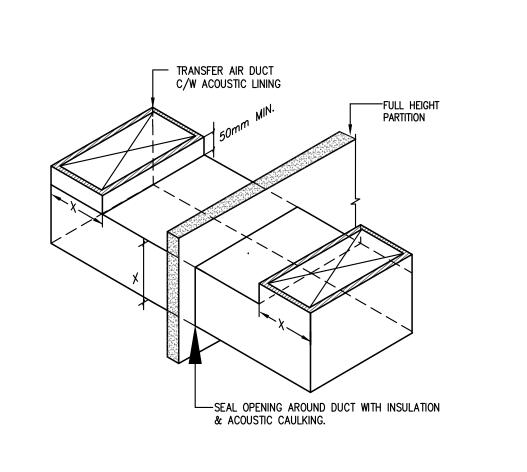
EXISTING CHILLED & HEATING

WATER FROM BASEMENT

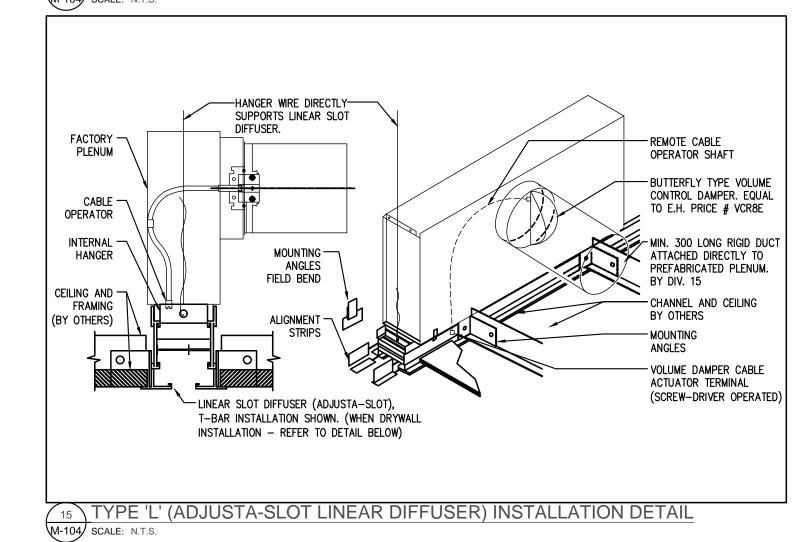
DRAWN BY:	S.P.R./G.G.
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

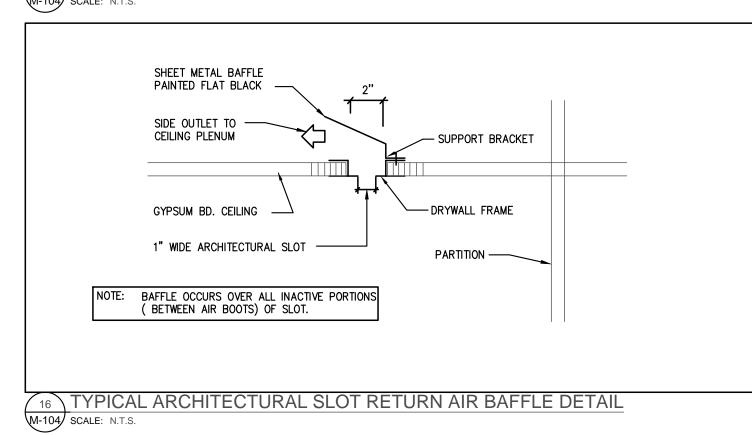
SCHEMATIC DIAGRAM

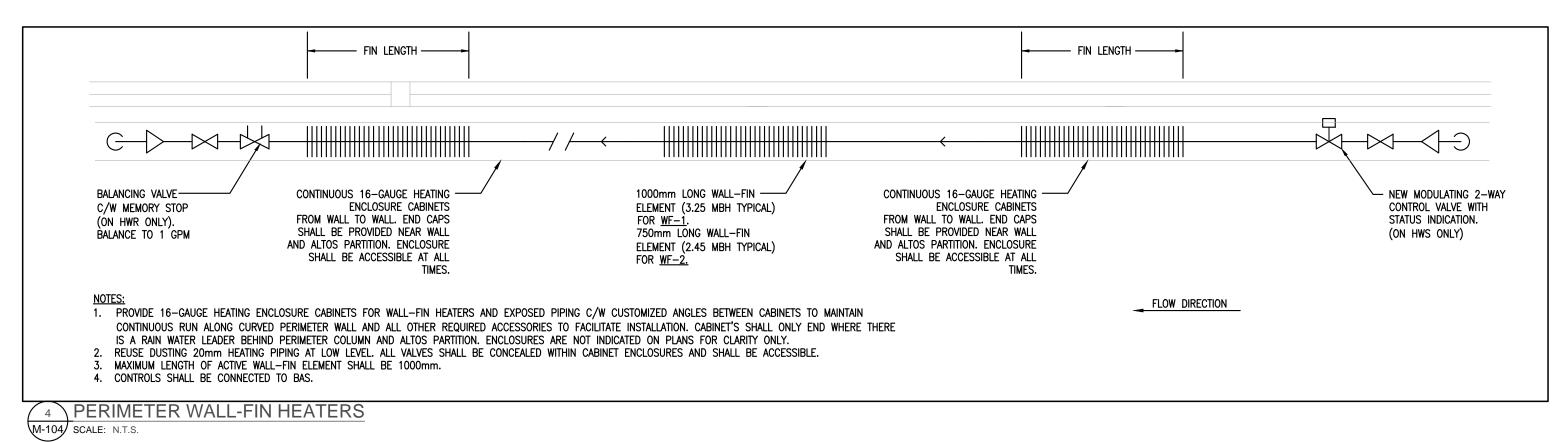
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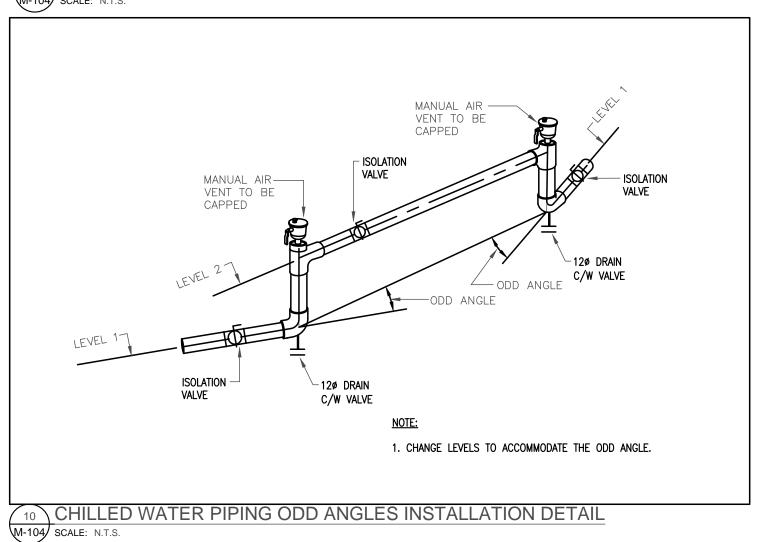


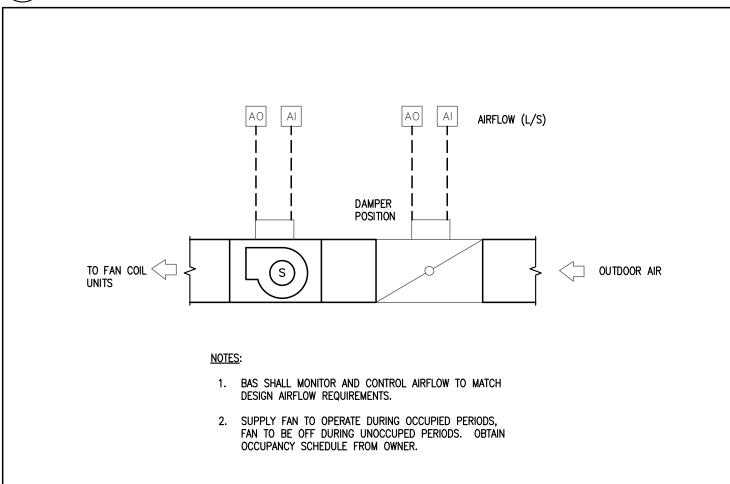
14 ACOUSTIC TRANSFER AIR DUCT INSTALLATION DETAIL
W-104 SCALE: N.T.S.

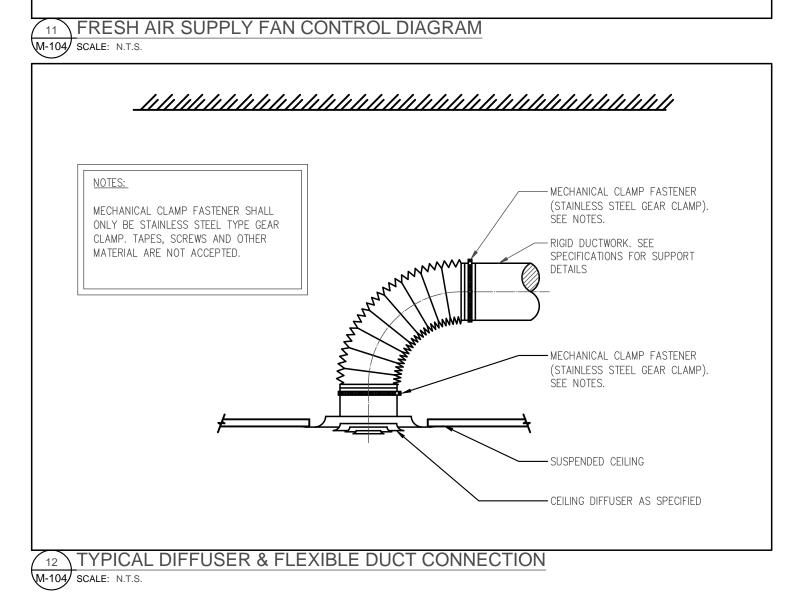


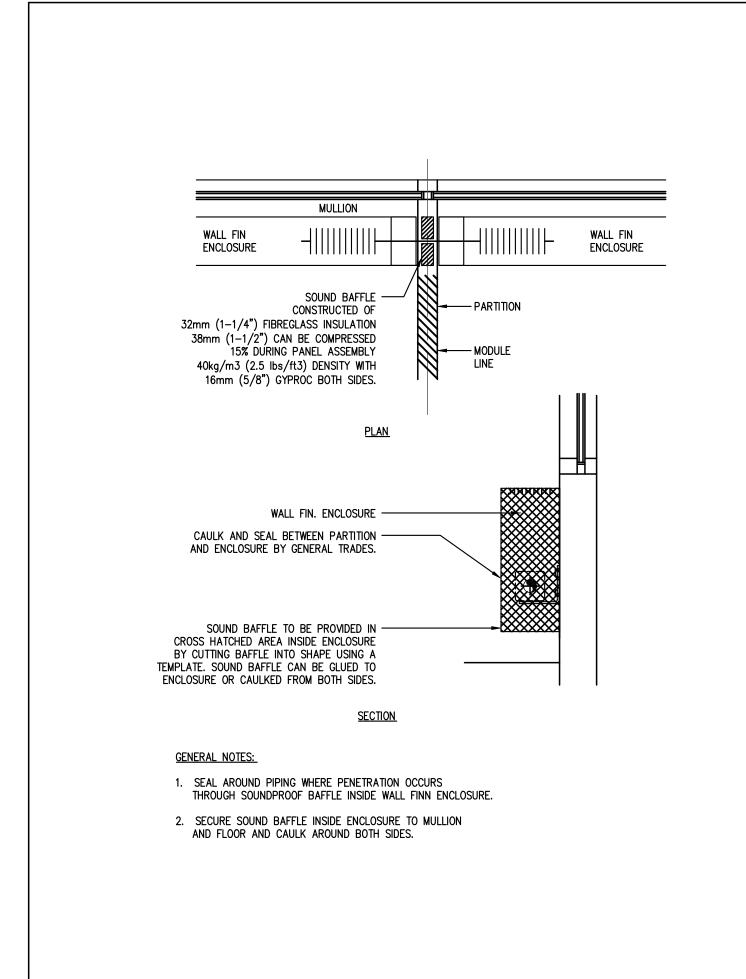




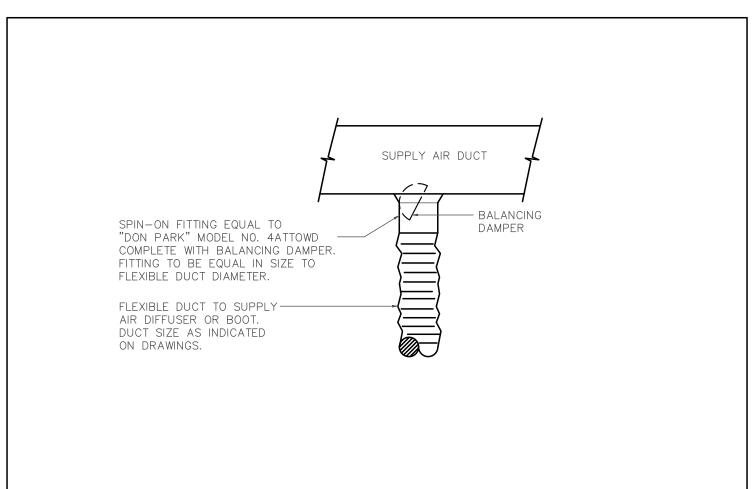


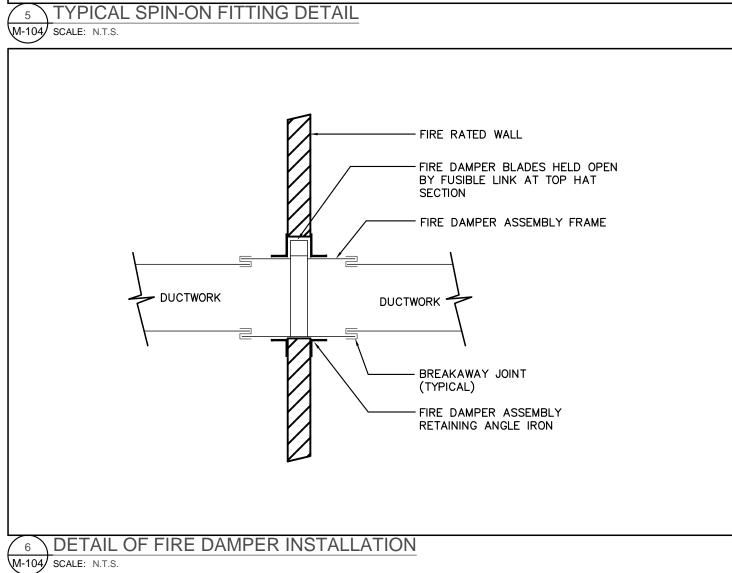


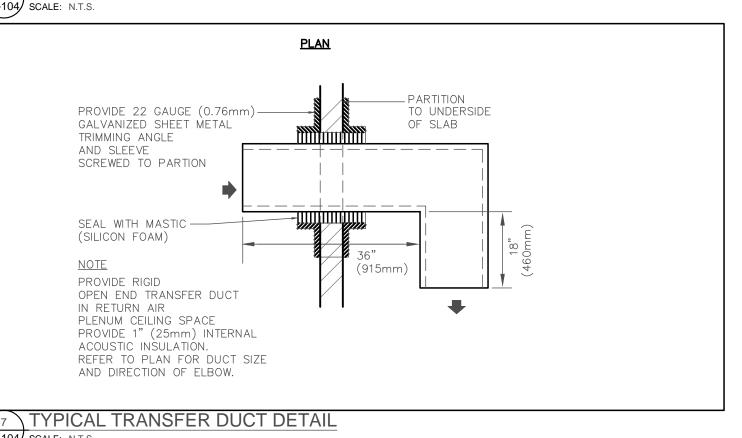


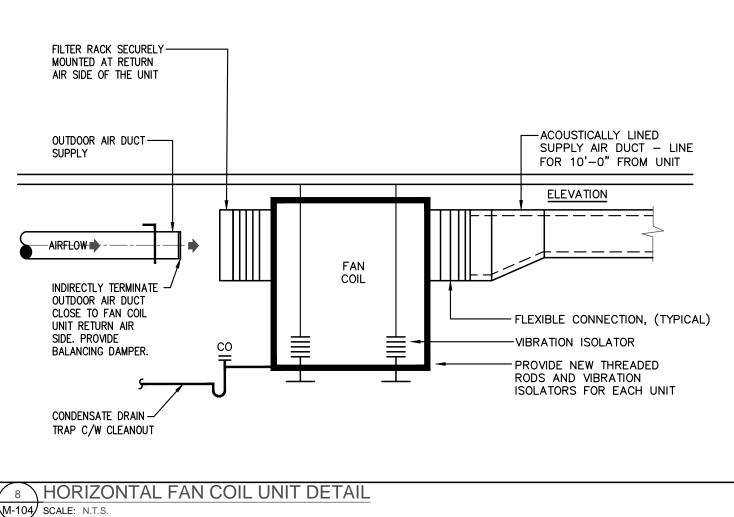


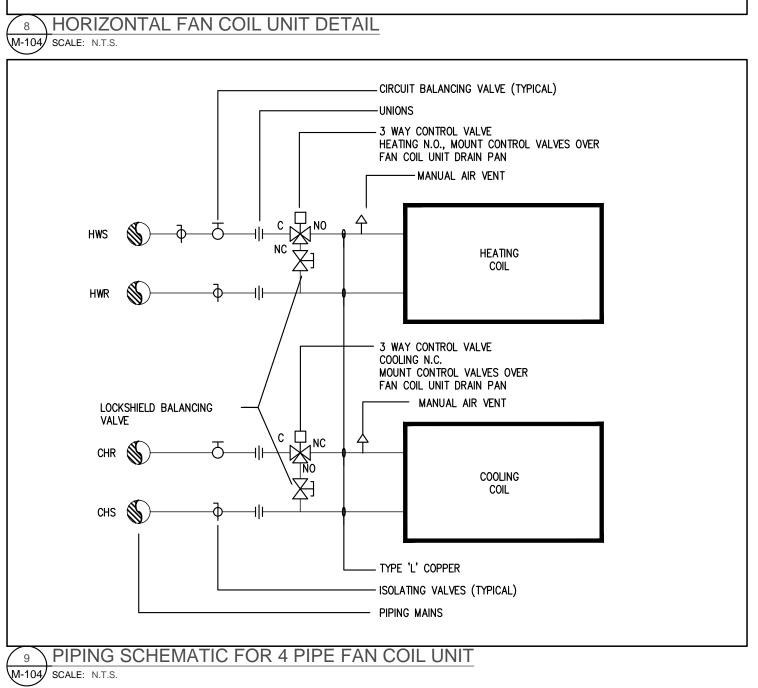
WALL FINN ENCLOSURE SOUND BAFFLE AT DEMISING WALLS
M-104 SCALE: N.T.S.

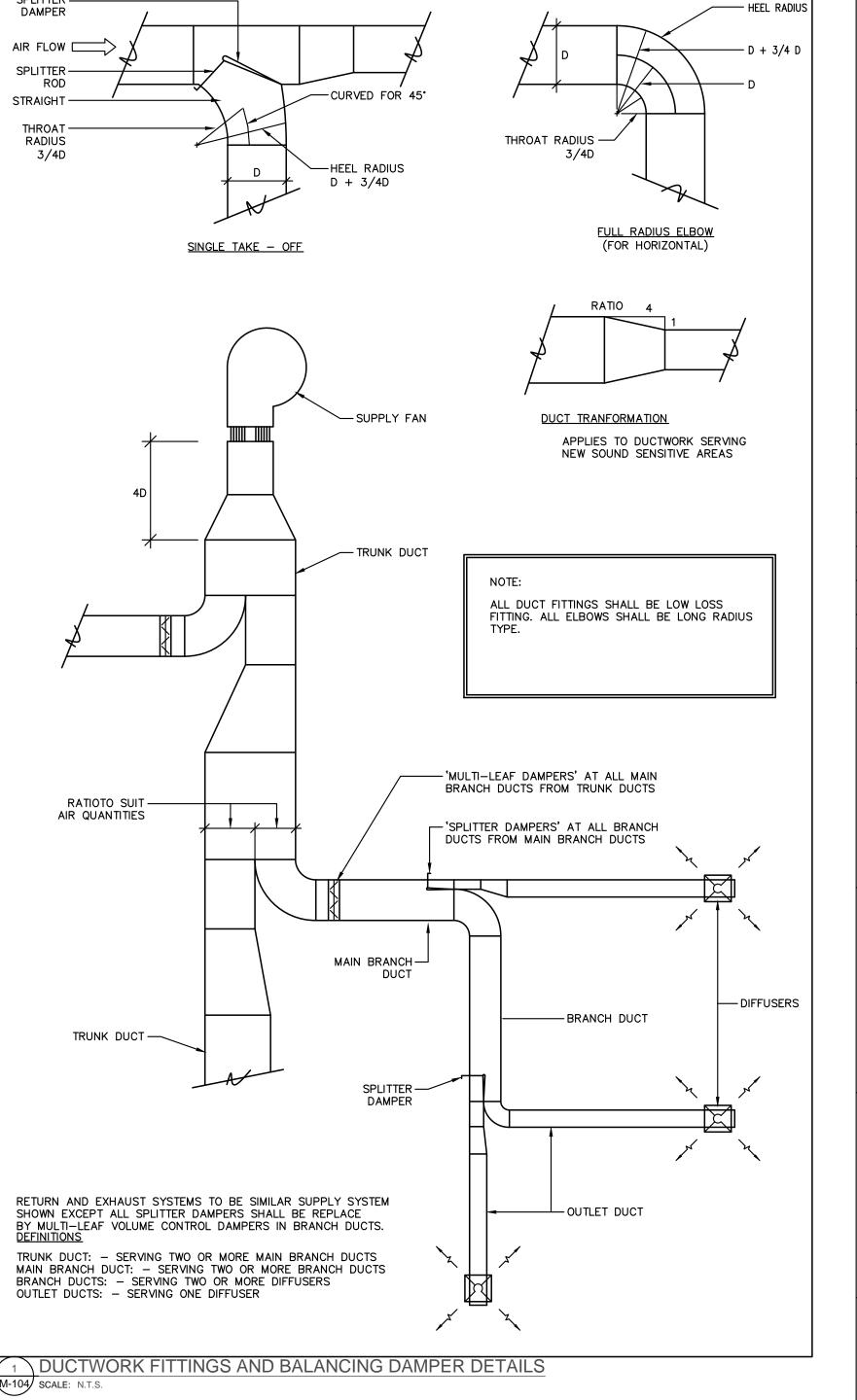


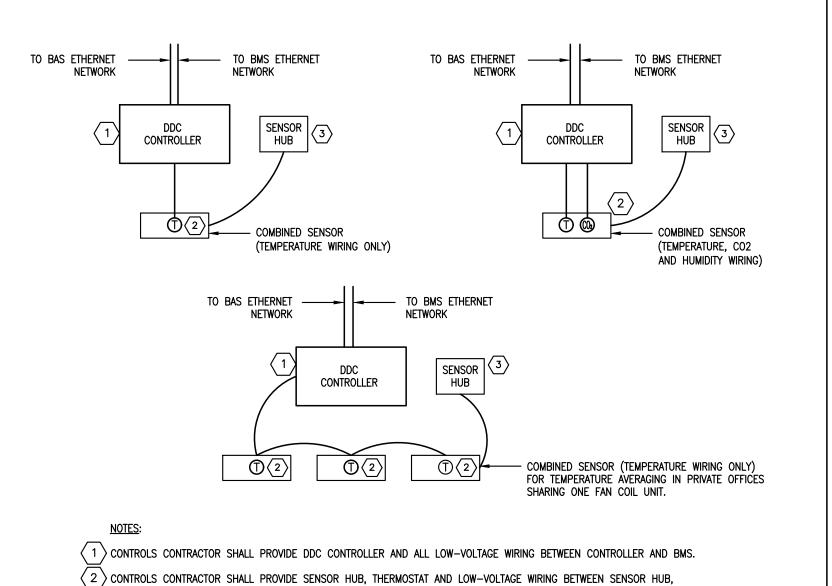








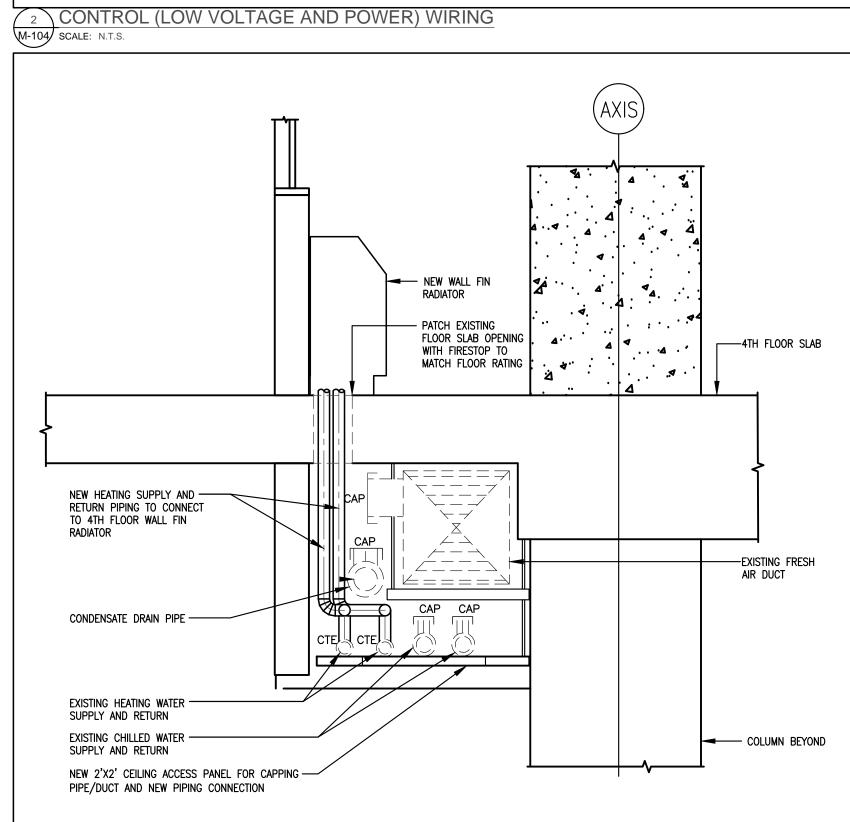




OCCUPANCY STATUS VIA SENSOR HUB.

CONTROL CONTRACTOR SHALL PROVIDE ALL POWER AND CONTROL WIRING AS REQUIRED FOR A COMPLETE AND OPERATIONAL BAS CONTROL SYSTEM. THREE DEDICATED 15 AMP CIRCUITS HAVE BEEN PROVIDED FOR CONTROL SYSTEM POWER WIRING. REFER TO ELECTRICAL DRAWINGS FOR LOCATIONS OF ELECTRICAL PANELS AND DEDICATED CIRCUITS ASSIGNED TO THE BAS CONTROL SYSTEM.

THERMOSTAT (TEMPERATURE AND CO2 WHERE INDICATED ON HVAC PLANS) AND DDC CONTROLLER.



3 FLOOR MOUNTED WALL FIN DETAIL M-104 SCALE: N.T.S.

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146







PROPERTY SERVICES

	DEPARTMENT:	BUILDING & FACILITIES
	FLOOR:	4TH
	BASE DATE:	01-01-2022
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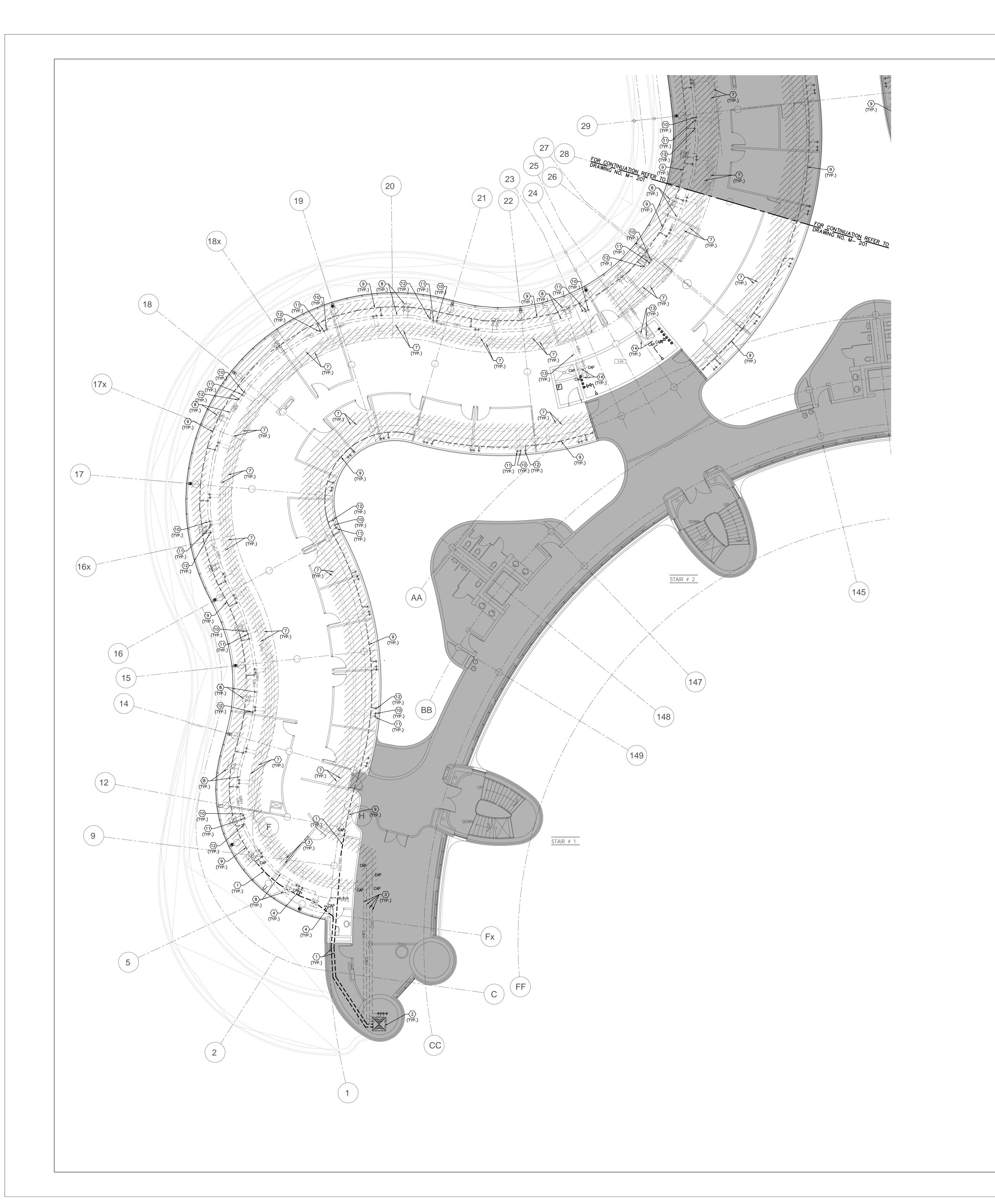
PROJECT #9907

PROJECT:

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

DRAWN BY:	S.P.R./G.G.
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	



- 1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION. 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
- 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
- 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF
- 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED. 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD. 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE
- TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC)
 SHALL BE DEMOLISHED AND REMOVED FROM SITE. 9. PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE THIRD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK.
- 10. CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON THIRD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS 11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

DRAWING NOTES

- EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN. EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN
- HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- 4) CUT BACK AND CAP EXISTING OUTDOOR AIR SUPPLY DUCT IN CEILING SPACE OF THIS FLOOR. CONTRACTOR TO CHECK/VERIFY EXACT LOCATION OF DUCTWORK ON SITE. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED.
- CUT BACK AND CAP EXISTING CHILLED WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)
- CUT BACK AND CAP EXISTING HEATING WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENING REMOVE EXISTING INACTIVE (NOT IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE THAT IS
- REMOVE ASSOCIATED PIPE BRANCHES, VALVES, INSULATION, HANGERS & SUPPORTS (ONLY FOR BLOCK 'A', 'B' & 'D') EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE WITH CAPPED & VALVE BRANCH PIPING THAT WILL SERVE THE NEW WALL FIN RADS ON THE 4TH FLOOR TO REMAIN AS IS. (TYPICAL)

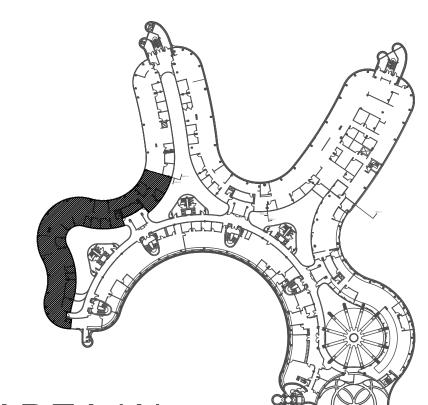
SERVICE THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR.

- REMOVE EXISTING ABANDONED (NOT IN USE) OUT DOOR AIR DUCTWORK IN CEILING SPACE THAT IS SERVING THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED DUCT SUPPORTS & HANGERS. (ONLY FOR BLOCK
- REMOVE EXISTING CHILLED WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR—MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- REMOVE EXISTING HEATING WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR—MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- REMOVE EXISTING OUTDOOR AIR SUPPLY BRANCH DUCT IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR—MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED.
- 1 (3) DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING AS SHOWN. (14) DISCONNECT AND CAP EXISTING CHILLED WATER RETURN PIPING AS SHOWN.

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

EXISTING OUTDOOR AIR INSPECTION

MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



BMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
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6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

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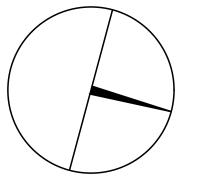


Markham, Ontario

L3R 8C5

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com







PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: 4TH FLOOR: 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

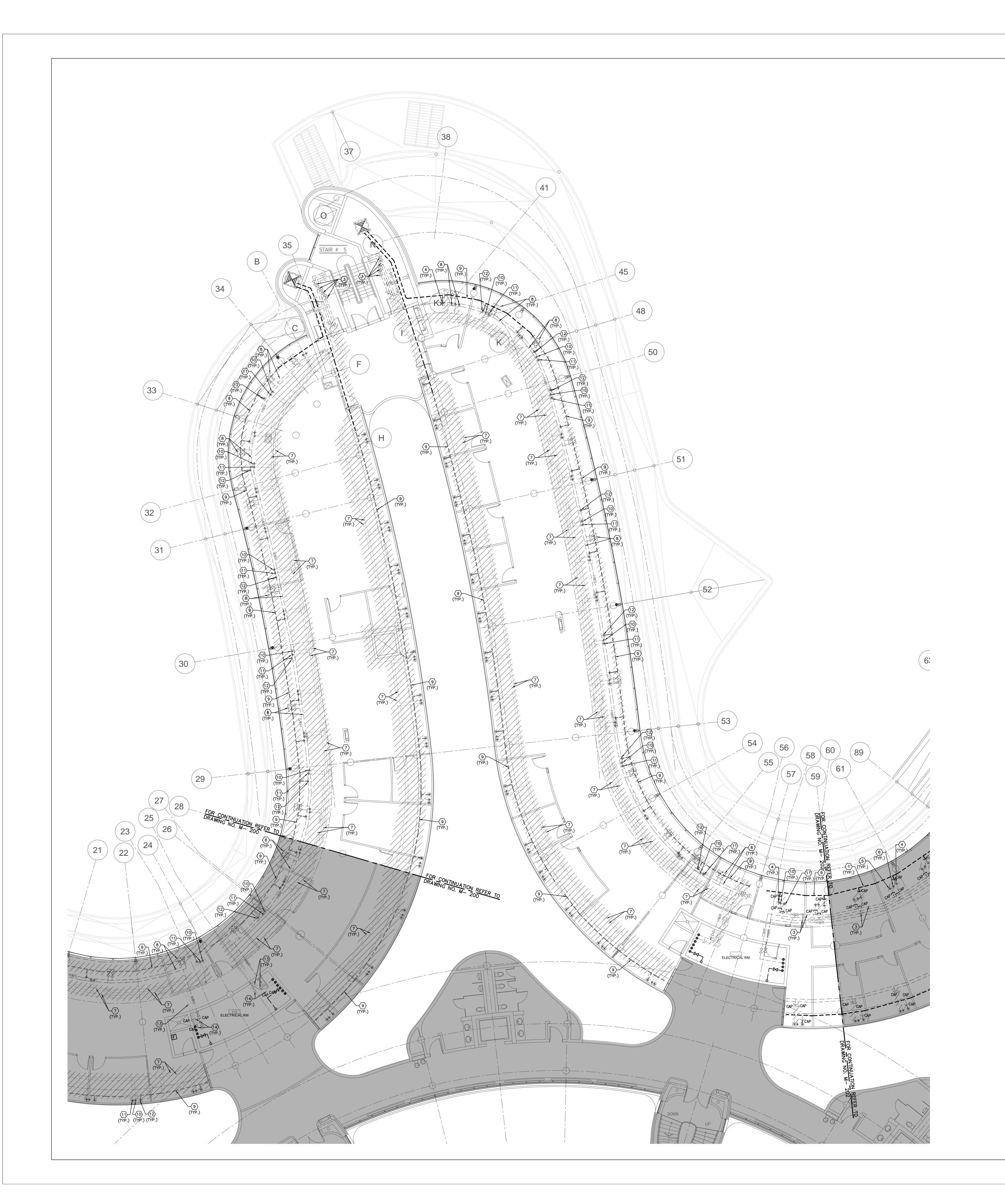
Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

S.P.R./G.G.

MUNICIPALITY OF YORK

PARTIAL 3RD FLOOR CEILING SPACE AREA 'A' MECHANICAL DEMOLITION PLAN



- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

 ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK
- 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.

 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
- 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
- 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.
 REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED,
- CAPPED, AND MADE GOOD.

 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.
- PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE THIRD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK.
 CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON THIRD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS DAY.

11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

DRAWING NOTES

- EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.

 EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING
- EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- CUT BACK AND CAP EXISTING OUTDOOR AIR SUPPLY DUCT IN CEILING SPACE OF THIS FLOOR. CONTRACTOR TO CHECK/VERIFY EXACT LOCATION OF DUCTWORK ON SITE. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- CUT BACK AND CAP EXISTING CHILLED WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)
- CUT BACK AND CAP EXISTING HEATING WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)
- REMOVE EXISTING INACTIVE (NOT IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE THAT IS SERVICE THE FLOOR—MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED PIPE BRANCHES, VALVES, INSULATION, HANGERS & SUPPORTS (ONLY FOR BLOCK 'A', 'B' & 'D')
- (8) EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE WITH CAPPED & VALVE BRANCH PIPING THAT WILL SERVE THE NEW WALL FIN RADS ON THE 4TH FLOOR TO REMAIN AS IS. (TYPICAL)
- REMOVE EXISTING ABANDONED (NOT IN USE) OUT DOOR AIR DUCTWORK IN CEILING SPACE THAT IS SERVING THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED DUCT SUPPORTS & HANGERS. (ONLY FOR BLOCK 'A', 'B' & 'D')
- REMOVE EXISTING CHILLED WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR—MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS
- REMOVE EXISTING HEATING WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR—MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- REMOVE EXISTING OUTDOOR AIR SUPPLY BRANCH DUCT IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR—MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED.
- DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING AS SHOWN.

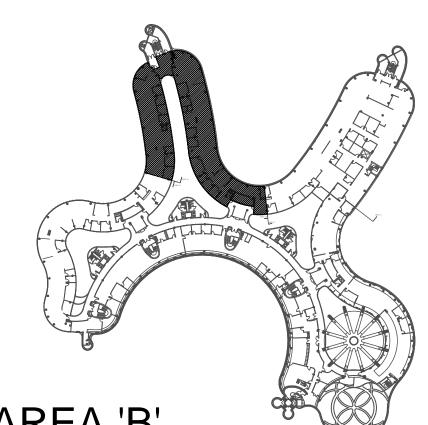
 (14) DISCONNECT AND CAP EXISTING CHILLED WATER RETURN PIPING AS SHOWN.

NOTE

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

EXISTING OUTDOOR AIR INSPECTION

MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



AREA 'B'

BMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146

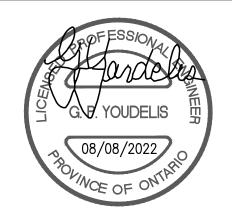


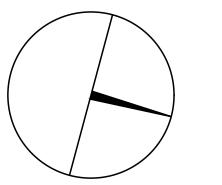
Markham, Ontario

L3R 8C5

sociates Engine

Tel: 905 475 3138
Fax: 866 853 3732
email: engineering
@gpyengineering.com







PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

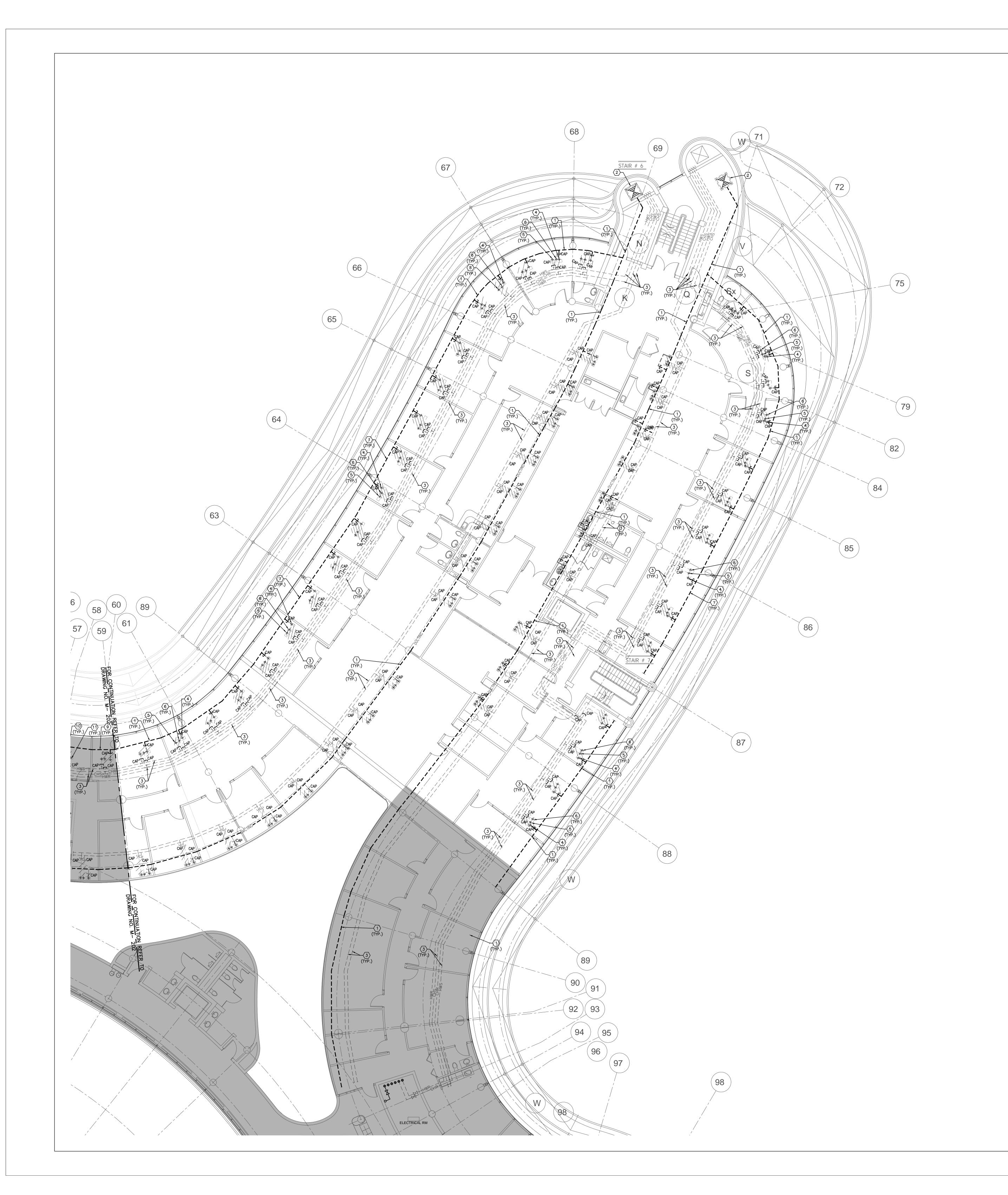
VN BY: S.P.R./G.G.

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'B'
MECHANICAL DEMOLITION
PLAN

SHEET NUMBER:



- 1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION. 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING
 CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK
- 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
- 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.
- REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED. 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD. 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE

TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY

- OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE. 9. PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE THIRD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK. 10. CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON THIRD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS
- 11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

DRAWING NOTES

- EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN. EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- 4) CUT BACK AND CAP EXISTING OUTDOOR AIR SUPPLY DUCT IN CEILING SPACE OF THIS FLOOR. CONTRACTOR TO CHECK/VERIFY EXACT LOCATION OF DUCTWORK ON SITE.
- PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED.

CUT BACK AND CAP EXISTING CHILLED WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENING

AS REQUIRED. (TYPICAL) CUT BACK AND CAP EXISTING HEATING WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR, PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENING

AS REQUIRED. (TYPICAL)

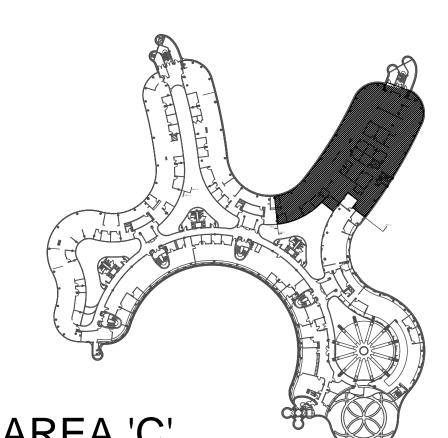
- REMOVE EXISTING INACTIVE (NOT IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE THAT IS SERVICE THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED PIPE BRANCHES, VALVES, INSULATION, HANGERS & SUPPORTS (ONLY FOR BLOCK 'A', 'B' & 'D')
- EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE WITH CAPPED & VALVE BRANCH PIPING THAT WILL SERVE THE NEW WALL FIN RADS ON THE 4TH FLOOR TO REMAIN AS IS. (TYPICAL)
- REMOVE EXISTING ABANDONED (NOT IN USE) OUT DOOR AIR DUCTWORK IN CEILING SPACE THAT IS SERVING THE FLOOR-MOUNTED FAN COIL UNITS TO BE DEMOLISHED ON THE 4TH FLOOR. REMOVE ASSOCIATED DUCT SUPPORTS & HANGERS. (ONLY FOR BLOCK
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- REMOVE EXISTING HEATING WATER SUPPLY AND RETURN BRANCH PIPING IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR—MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED. (TYPICAL)
- REMOVE EXISTING OUTDOOR AIR SUPPLY BRANCH DUCT IN CEILING SPACE OF THIS FLOOR SERVING THE DEMOLISHED FLOOR—MOUNTED FAN COIL UNITS ON THE 4TH FLOOR. PROVIDE FIRE—STOPPING AND SEALED OFF ALL FLOOR OPENINGS AS REQUIRED.
- DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING AS SHOWN.

(14) DISCONNECT AND CAP EXISTING CHILLED WATER RETURN PIPING AS SHOWN.

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

EXISTING OUTDOOR AIR INSPECTION

MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



AILA C		
BMISSION	DATE	DESCRIPTION
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2	04-26-2022	ISSUED FOR 80% REVIEW
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7	11-18-2022	ISSUED FOR CONSTRUCTION

G.Bruce Stratton Architects

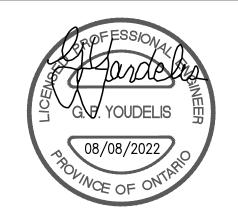
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146

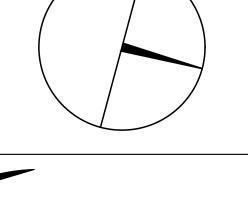




Markham, Ontario L3R 8C5

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com





York Region

PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: FLOOR: 4TH 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

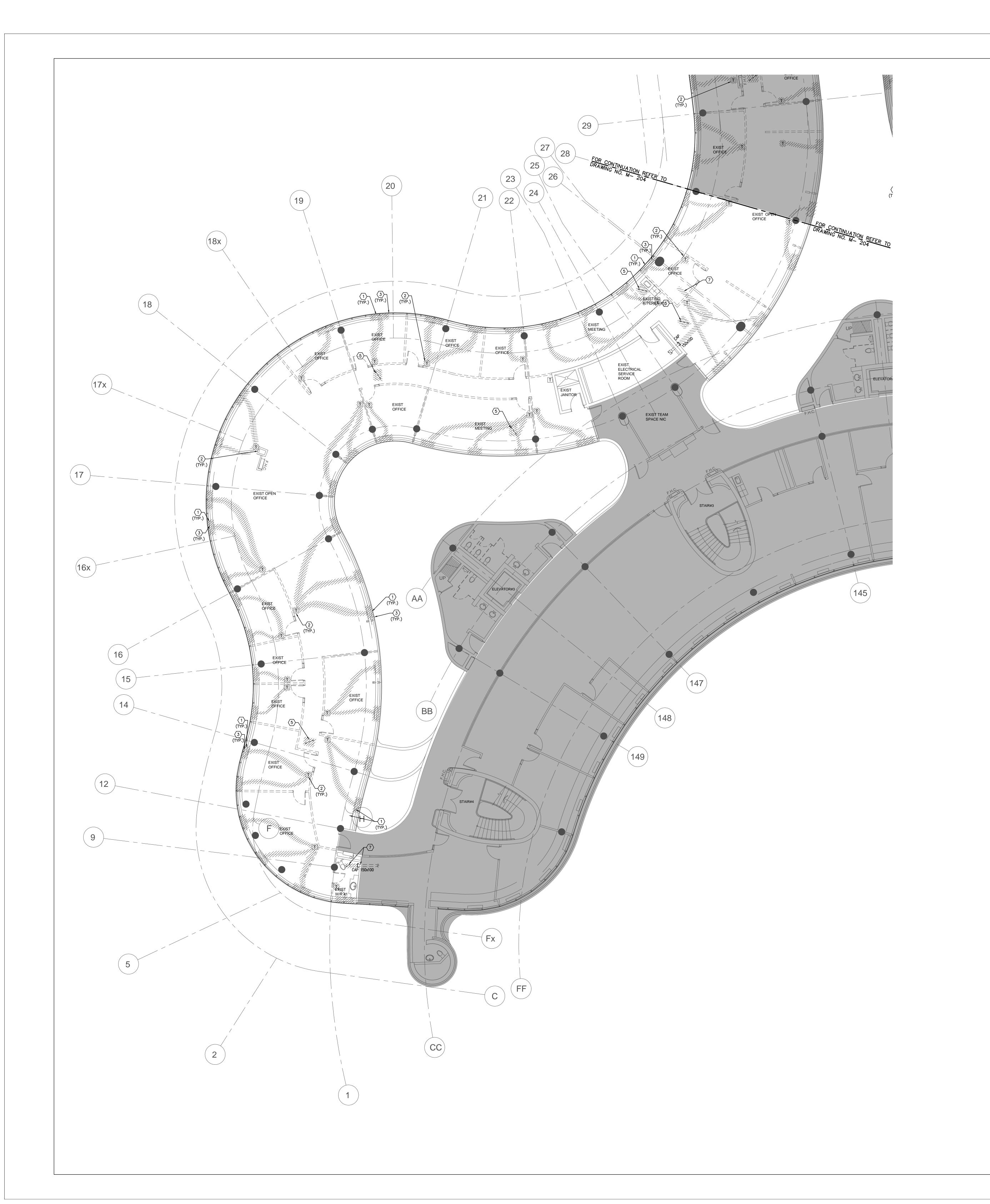
SCALE: 1:100m

S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR AREA 'C' MECHANICAL DEMOLITION PLAN



CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.

WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL
ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.

ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.

DRAWING NOTES

- EXISTING FLOOR-MOUNTED FAN COIL UNIT TO BE REMOVED AND DISPOSE OFF-SITE.
 REMOVE AND CAP OUTDOOR AIR SUPPLY DUCT BACK IN 3RD FLOOR CEILING SPACE.
 REMOVE AND CUT BACK HEATING SUPPLY/RETURN WATER PIPES AND CHILLED
 SUPPLY/RETURN WATER PIPES BACK TO 3RD FLOOR CEILING SPACE AND CAP. PROVIDE
 FIRE-STOPPING AND SEALED ALL FLOOR OPENING DUE TO REMOVAL OF DUCTWORK &
 PIPES AS REQUIRED. (TYPICAL)
- REMOVE EXISTING TEMPERATURE SENSOR C/W ASSOCIATED CONTROL WIRING AND TURN OVER THE TEMPERATURE SENSOR TO THE OWNER. (TYPICAL)

 REMOVE EXISTING DELTA BAS CONTROLLER IN CEILING SPACE OF THIS FLOOR
- REMOVE EXISTING DELTA BAS CONTROLLER IN CEILING SPACE OF THIS FLOOR CONNECTED TO EXISTING FAN COIL UNITS. REMOVE ALL ASSOCIATED CONTROL WIRING AND TURN OVER DELTA BAS CONTROLLER TO OWNER. (TYPICAL)

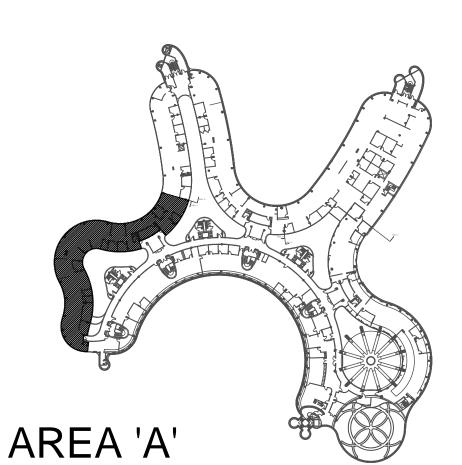
 MECHANICAL CONTRACTOR IDENTIFY AND PROTECT CONTROL WIRING SERVING OTHER FLOORS DURING DEMOLITION.
- EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.
- EXISTING RETURN AIR GRILLE TO BE REMOVED AND DISPOSE OFFSITE. (TYPICAL)

 REMOVE EXISTING EXHAUST FAN IN CEILING SPACE C/W ASSOCIATED CONTROLS.
- REMOVE EXISTING EXHAUST FAN IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, GRILLES & DUCTWORK.
- REMOVE EXISTING EXHAUST GRILLES & CUTBACK ASSOCIATED DUCTWORK IN CEILING SPACE AND CAP AS SHOWN.

 8 EXISTING EXHAUST GRILLES AND ASSOCIATED DUCTWORK TO REMAIN.

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING. CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C.. CONTRACTOR SHALL COORDINATOR WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO



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6	08-08-2022	ISSUED FOR PERMIT

11-18-2022 ISSUED FOR CONSTRUCTION

G.Bruce Stratton Architects

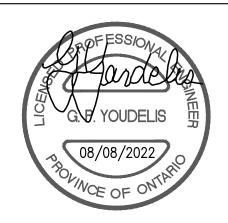
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



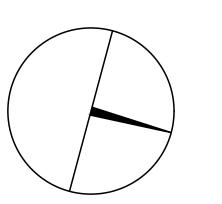
Markham, Ontario

Associates Enginee
90C Centurian Drive
Unit 6

Tel: 905 475 3138
Fax: 866 853 3732
email: engineering
@gpyengineering.com



L3R 8C5





PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

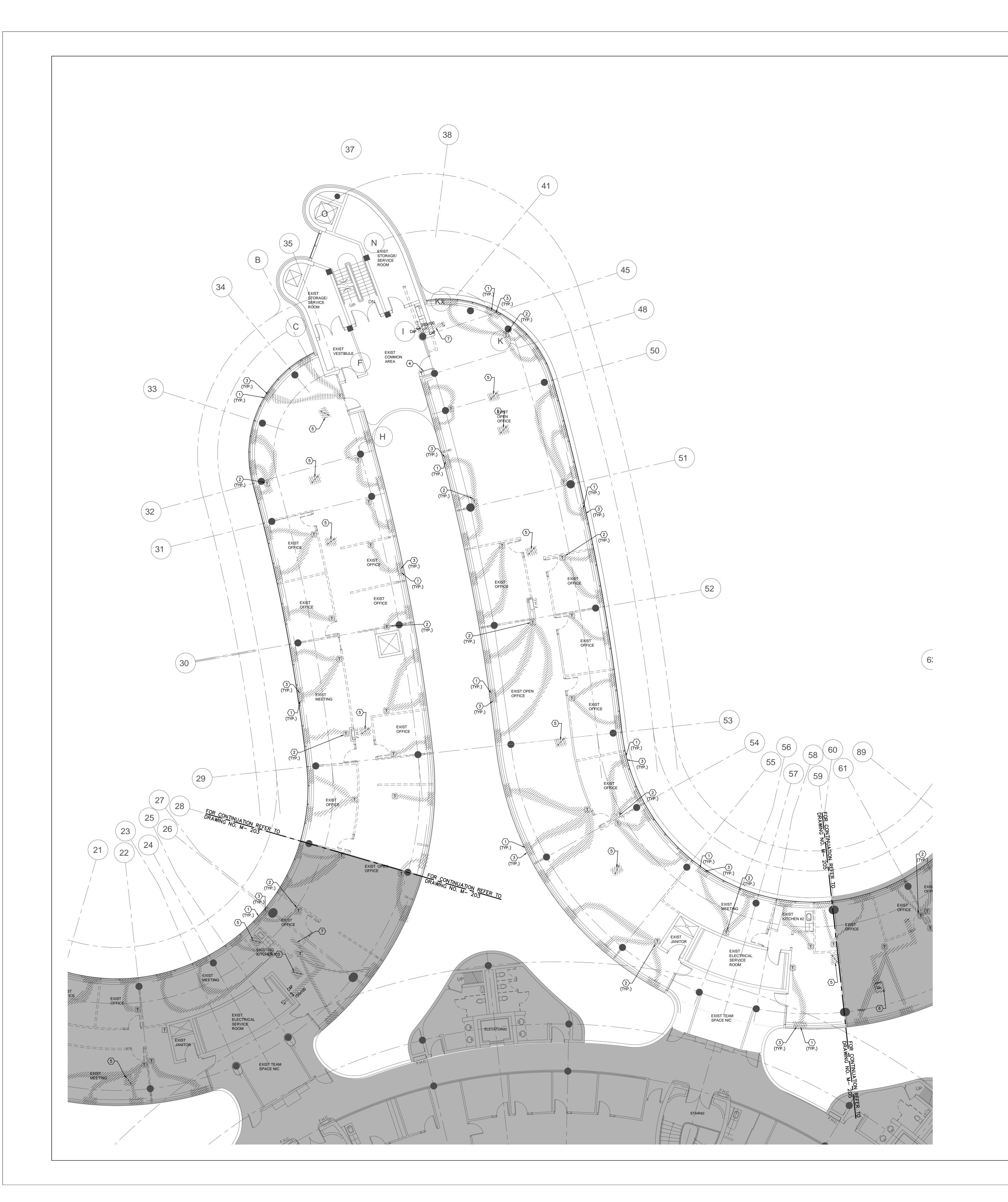
RAWN BY: S.P.R./G.G.

BMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'A'
HVAC DEMOLITION PLAN

SHEET NUMBER:



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN. 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL

4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF

6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.
REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.

7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD. 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY

SHALL BE DEMOLISHED AND REMOVED FROM SITE.

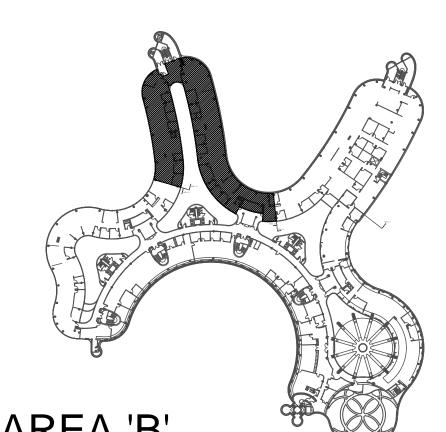
OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC)

DRAWING NOTES

- EXISTING FLOOR-MOUNTED FAN COIL UNIT TO BE REMOVED AND DISPOSE OFF-SITE. REMOVE AND CAP OUTDOOR AIR SUPPLY DUCT BACK IN 3RD FLOOR CEILING SPACE. REMOVE AND CUT BACK HEATING SUPPLY/RETURN WATER PIPES AND CHILLED SUPPLY/RETURN WATER PIPES BACK TO 3RD FLOOR CEILING SPACE AND CAP. PROVIDE FIRE-STOPPING AND SEALED ALL FLOOR OPENING DUE TO REMOVAL OF DUCTWORK & PIPES AS REQUIRED. (TYPICAL)
- REMOVE EXISTING TEMPERATURE SENSOR C/W ASSOCIATED CONTROL WIRING AND TURN OVER THE TEMPERATURE SENSOR TO THE OWNER. (TYPICAL)
- REMOVE EXISTING DELTA BAS CONTROLLER IN CEILING SPACE OF THIS FLOOR CONNECTED TO EXISTING FAN COIL UNITS. REMOVE ALL ASSOCIATED CONTROL WIRING AND TURN OVER DELTA BAS CONTROLLER TO OWNER. (TYPICAL) MECHANICAL CONTRACTOR IDENTIFY AND PROTECT CONTROL WIRING SERVING OTHER FLOORS DURING DEMOLITION.
- EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.
- (5) EXISTING RETURN AIR GRILLE TO BE REMOVED AND DISPOSE OFFSITE. (TYPICAL)
- REMOVE EXISTING EXHAUST FAN IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, GRILLES & DUCTWORK.
- REMOVE EXISTING EXHAUST GRILLES & CUTBACK ASSOCIATED DUCTWORK IN CEILING SPACE AND CAP AS SHOWN. (8) EXISTING EXHAUST GRILLES AND ASSOCIATED DUCTWORK TO REMAIN.

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING. CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C.. CONTRACTOR SHALL COORDINATOR WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO

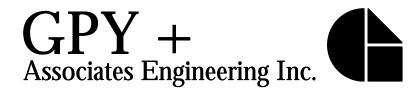


4KE	: A 'B'
MISSION	DATE

BMISSION	DATE	DESCRIPTION
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G.Bruce Stratton Architects

217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146

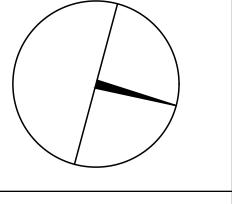




Markham, Ontario L3R 8C5

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com







PROPERTY SERVICES

BUILDING & FACILITIES 4TH FLOOR: 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

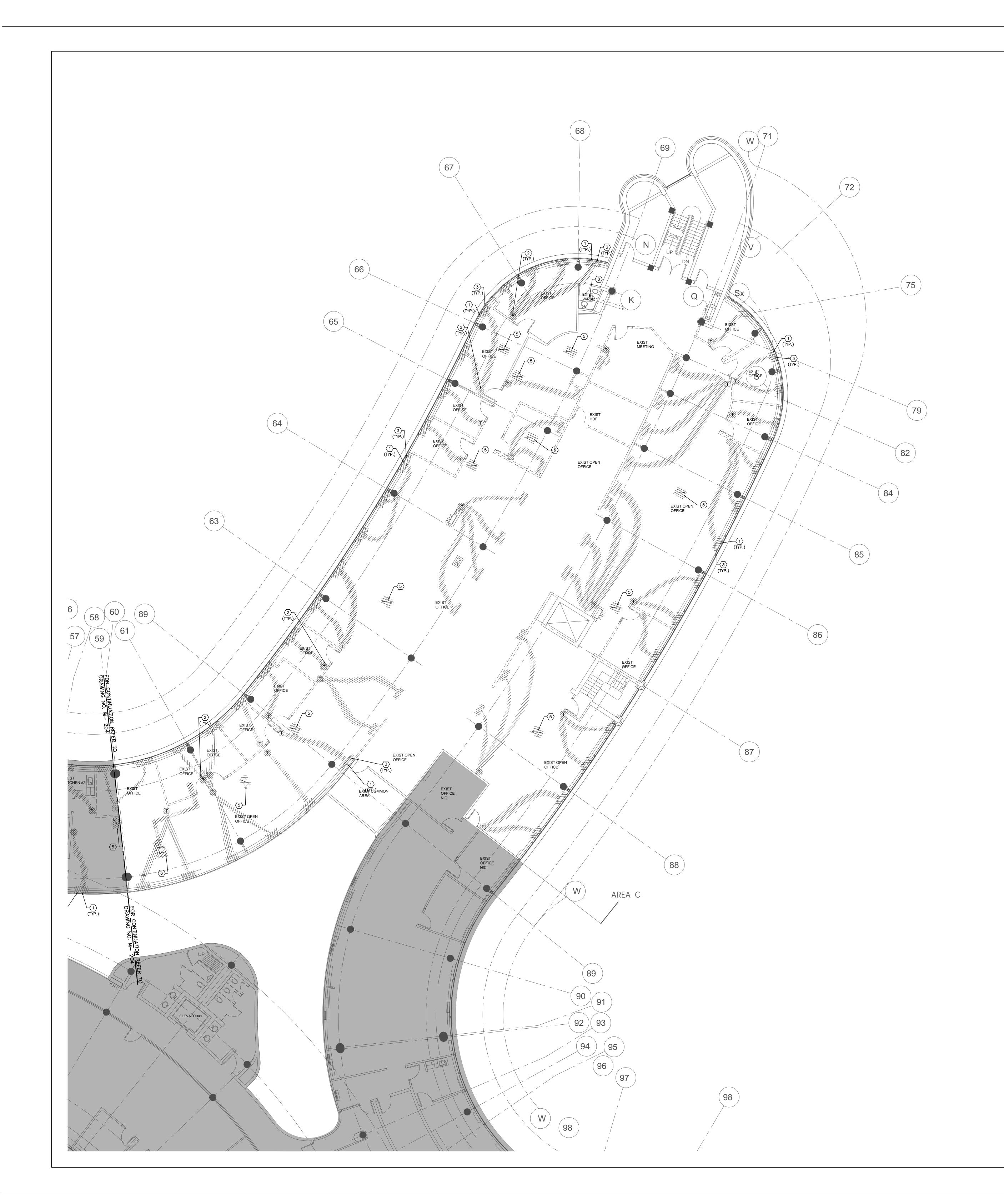
SCALE: 1:100m

S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'B' **HVAC DEMOLITION PLAN**



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN. 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL

4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF

6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.

 ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD. 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY

SHALL BE DEMOLISHED AND REMOVED FROM SITE.

OTHER TRADES. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC)

DRAWING NOTES

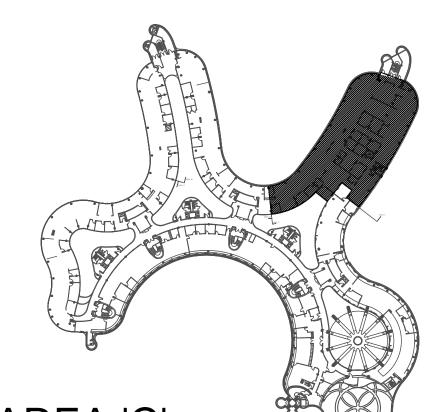
- EXISTING FLOOR-MOUNTED FAN COIL UNIT TO BE REMOVED AND DISPOSE OFF-SITE. REMOVE AND CAP OUTDOOR AIR SUPPLY DUCT BACK IN 3RD FLOOR CEILING SPACE. REMOVE AND CUT BACK HEATING SUPPLY/RETURN WATER PIPES AND CHILLED SUPPLY/RETURN WATER PIPES BACK TO 3RD FLOOR CEILING SPACE AND CAP. PROVIDE FIRE-STOPPING AND SEALED ALL FLOOR OPENING DUE TO REMOVAL OF DUCTWORK & PIPES AS REQUIRED. (TYPICAL)
- REMOVE EXISTING TEMPERATURE SENSOR C/W ASSOCIATED CONTROL WIRING AND TURN OVER THE TEMPERATURE SENSOR TO THE OWNER. (TYPICAL)
- REMOVE EXISTING DELTA BAS CONTROLLER IN CEILING SPACE OF THIS FLOOR CONNECTED TO EXISTING FAN COIL UNITS. REMOVE ALL ASSOCIATED CONTROL WIRING AND TURN OVER DELTA BAS CONTROLLER TO OWNER. (TYPICAL)
 MECHANICAL CONTRACTOR IDENTIFY AND PROTECT CONTROL WRING SERVING OTHER FLOORS DURING DEMOLITION.
- EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.
- 5) EXISTING RETURN AIR GRILLE TO BE REMOVED AND DISPOSE OFFSITE. (TYPICAL)
- REMOVE EXISTING EXHAUST FAN IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, GRILLES & DUCTWORK.
- REMOVE EXISTING EXHAUST GRILLES & CUTBACK ASSOCIATED DUCTWORK IN CEILING SPACE AND CAP AS SHOWN. (8) EXISTING EXHAUST GRILLES AND ASSOCIATED DUCTWORK TO REMAIN.

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR

SHALL COORDINATOR WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

CUTTING/PATCHING. CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C.. CONTRACTOR

MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.



BMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

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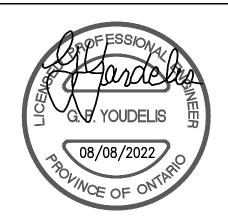
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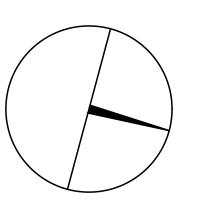
GPY +
Associates Engineering Inc.

Markham, Ontario

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com



L3R 8C5





PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: 4TH FLOOR: 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

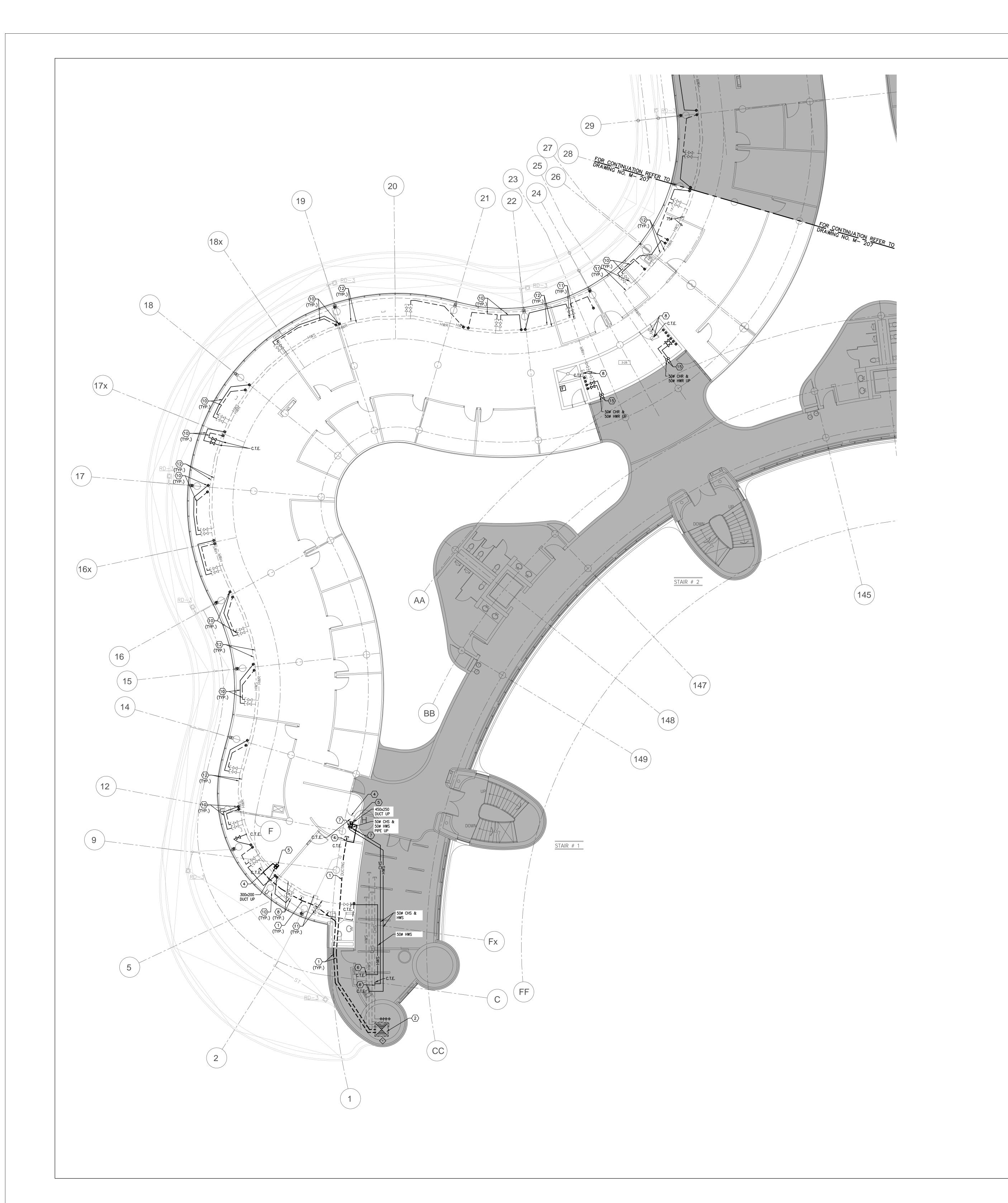
SCALE: 1:100m

S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'C' **HVAC DEMOLITION PLAN**



CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

 ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.

4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS

PANELS/DOORS AS REQUIRED.

7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MEADE GOOD.

8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.

PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE THIRD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK.
 CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON THIRD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS DAY.
 DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE

DRAWING NOTES

(1) EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)

DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.

EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)

CONNECT NEW OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION.

Shall penetration. Provide an allowance for floor slab cutting/drilling as

REQUIRED. FOR CONTINUATION REFER TO DRAWING NO. M-206 & M-207.

PROVIDE NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES AND CONNECT TO EXISTING INTERIOR CHILLED WATER SUPPLY & HATING WATER SUPPLY AT THIS APPROXIMATE LOCATION. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.

RUN NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES UP TO 4TH FLOOR. FOR CONTINUATION REFER TO DRAWING NO. M-400, M-401 & M-402. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.

PROVIDE PIPE SUPPORT AND FIRE STOPPING AT FLOOR PENETRATIONS.

(8) CONNECT EXISTING VALVED HOT WATER RETURN PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

CONNECT EXISTING VALVED HOT WATER SUPPLY PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON

PROVIDE NEW 20¢ HEATING WATER SUPPLY/RETURN PIPE AND CONNECT TO EXISTING SERVICES. EXTEND NEW HEATING WATER SUPPLY/RETURN PIPE UP TO 4TH FLOOR AND CONNECT TO NEW FLOOR MOUNTED WALL FIN HEATER. PROVIDE NEW FLOOR SLAB OPENINGS FOR HEATING SUPPLY & RETURN PIPES. ENSURE PIPES ARE WITHIN WALL FIN ENCLOSURE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/ DRILLING/ FIRE—STOPPING AS REQUIRED. (TYPICAL)

PROVIDE NEW 200 BY-PASS LINE BETWEEN HEATING SUPPLY AND RETURN PIPE C/W EOL BY-PASS ACTUATOR WITH 2-WAY VALVE. BY-PASS ACTUATOR SHALL BE INTERLOCKED WITH BUILDING AUTOMATION SYSTEM.

(12) EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE TO REMAIN. (TYPICAL)

PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)

(14) INSTALL NEW HEATING WATER SUPPLY AND RETURN PIPING C/W INSULATION. SIZES OF

INSTALL NEW HEATING WATER SUPPLY AND RETURN PIPING C/W INSULATION. SIZES OF NEW HEATING PIPING SHALL MATCH EXISTING HEATING PIPING SIZES. NEW HEATING PIPING SHALL BE SCHEDULE 40 BLACK STEEL. VICTAULIC PIPE FITTINGS ARE PERMITTED IN ACCESSIBLE SPACES ONLY. PROVIDE NEW PIPE HANGERS AS REQUIRED. INSTALL NEW HEATING PIPING TIGHT TO EXISTING SLAB AND BEAMS TO ALLOW FOR FUTURE HVAC EQUIPMENT/ TERMINAL UNITS/ DUCTWORK/ DIFFUSERS INSTALLATIONS.

NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES FROM 4TH FLOOR. EXTEND AND CONNECT TO EXISTING INTERIOR CHILLED WATER RETURN AND HEATING WATER RETURN PIPE RISERS. EXACT CONNECTION TO BE VERIFIED ON SITE. PROVIDE PIPE SUPPORT AND FIRE—STOPPING AT FLOOR PENETRATIONS. PROVIDE ISOLATION

VALVES & VALVED DRAIN PLUG WITH CHAIN.

CONNECT NEW HOT WATER RETURN PIPE TO EXISTING PERIMETER HEATING WATER RETURN AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.

CONNECT NEW HOT WATER SUPPLY PIPE TO EXISTING PERIMETER HEATING WATER SUPPLY AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

(18) CONNECT OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION. PROVIDE BALANCING DAMPER ON NEW BRANCH DUCTWORK & EXISTING

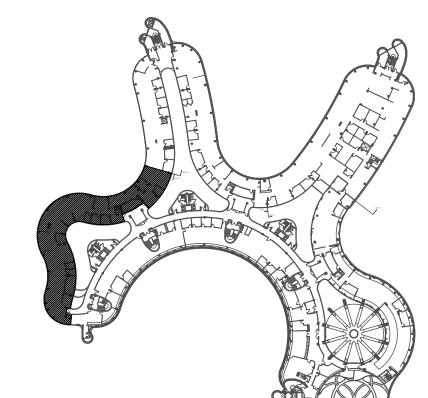
DUCTWORK AS SHOWN. BALANCE TO AIR QUANTITY AS INDICATED. (TYPICAL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

FINAL AIR BALANCING NOTE

PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW



AREA 'A

BMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
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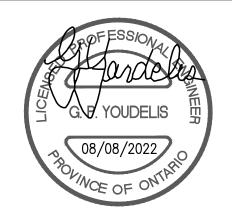


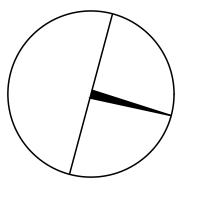
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90C Centurian Drive

Tel: 905 475 3138
Fax: 866 853 3732
email: engineering
@gpyengineering.com







PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

WN BY: S.P.R./G.G.

BMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'A'
MECHANICAL NEW LAYOUT

SHEET NUMBER:



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION. 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

PANELS/DOORS AS REQUIRED.

5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.

REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS

7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MEADE GOOD. 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.

9. PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE THIRD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK. 10. CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON THIRD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS 11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE

DRAWING NOTES

EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)

DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN. EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN

HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)

CONNECT NEW OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION. NEW OUTDOOR AIR SUPPLY DUCT UP TO 4TH FLOOR, PROVIDE FIRE DAMPER AT FLOOR SLAB PENETRATION. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRILLING AS

REQUIRED. FOR CONTINUATION REFER TO DRAWING NO. M-206 & M-207. PROVIDE NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES AND CONNECT TO EXISTING INTERIOR CHILLED WATER SUPPLY & HATING WATER SUPPLY AT THIS APPROXIMATE LOCATION. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.

RUN NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES UP TO 4TH FLOOR. FOR CONTINUATION REFER TO DRAWING NO. M-400, M-401 & M-402. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. PROVIDE PIPE SUPPORT AND FIRE STOPPING AT FLOOR PENETRATIONS.

CONNECT EXISTING VALVED HOT WATER RETURN PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

CONNECT EXISTING VALVED HOT WATER SUPPLY PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON

(10) PROVIDE NEW 200 HEATING WATER SUPPLY/RETURN PIPE AND CONNECT TO EXISTING SERVICES. EXTEND NEW HEATING WATER SUPPLY/RETURN PIPE UP TO 4TH FLOOR AND CONNECT TO NEW FLOOR MOUNTED WALL FIN HEATER. PROVIDE NEW FLOOR SLAB OPENINGS FOR HEATING SUPPLY & RETURN PIPES. ENSURE PIPES ARE WITHIN WALL FIN ENCLOSURE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/ DRILLING/ FIRE—STOPPING AS REQUIRED. (TYPICAL)

PROVIDE NEW 200 BY-PASS LINE BETWEEN HEATING SUPPLY AND RETURN PIPE C/W EOL BY-PASS ACTUATOR WITH 2-WAY VALVE. BY-PASS ACTUATOR SHALL BE INTERLOCKED WITH BUILDING AUTOMATION SYSTEM.

(12) EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE TO REMAIN.

(13) PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)

INSTALL NEW HEATING WATER SUPPLY AND RETURN PIPING C/W INSULATION. SIZES OF NEW HEATING PIPING SHALL MATCH EXISTING HEATING PIPING SIZES. NEW HEATING PIPING SHALL BE SCHEDULE 40 BLACK STEEL. VICTAULIC PIPE FITTINGS ARE PERMITTED IN ACCESSIBLE SPACES ONLY. PROVIDE NEW PIPE HANGERS AS REQUIRED. INSTALL NEW HEATING PIPING TIGHT TO EXISTING SLAB AND BEAMS TO ALLOW FOR FUTURE HVAC EQUIPMENT/ TERMINAL UNITS/ DUCTWORK/ DIFFUSERS INSTALLATIONS.

15) NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES FROM 4TH FLOOR. EXTEND AND CONNECT TO EXISTING INTERIOR CHILLED WATER RETURN AND HEATING WATER RETURN PIPE RISERS. EXACT CONNECTION TO BE VERIFIED ON SITE. PROVIDE PIPE SUPPORT AND FIRE-STOPPING AT FLOOR PENETRATIONS. PROVIDE ISOLATION

VALVES & VALVED DRAIN PLUG WITH CHAIN. CONNECT NEW HOT WATER RETURN PIPE TO EXISTING PERIMETER HEATING WATER RETURN AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.

MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

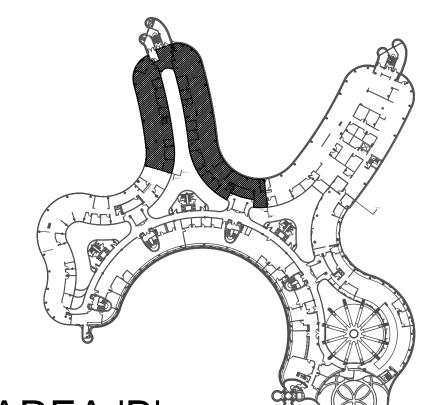
CONNECT NEW HOT WATER SUPPLY PIPE TO EXISTING PERIMETER HEATING WATER SUPPLY AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

CONNECT OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION. PROVIDE BALANCING DAMPER ON NEW BRANCH DUCTWORK & EXISTING DUCTWORK AS SHOWN. BALANCE TO AIR QUANTITY AS INDICATED. (TYPICAL)

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

FINAL AIR BALANCING NOTE

PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK,
INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW



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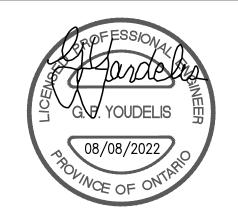


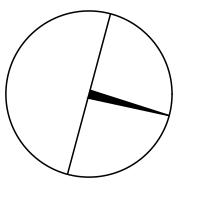
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Tel: 905 475 3138 Fax: 866 853 3732 email: engineering

@gpyengineering.com







PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: 4TH FLOOR: 01-01-2022 BASE DATE: PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

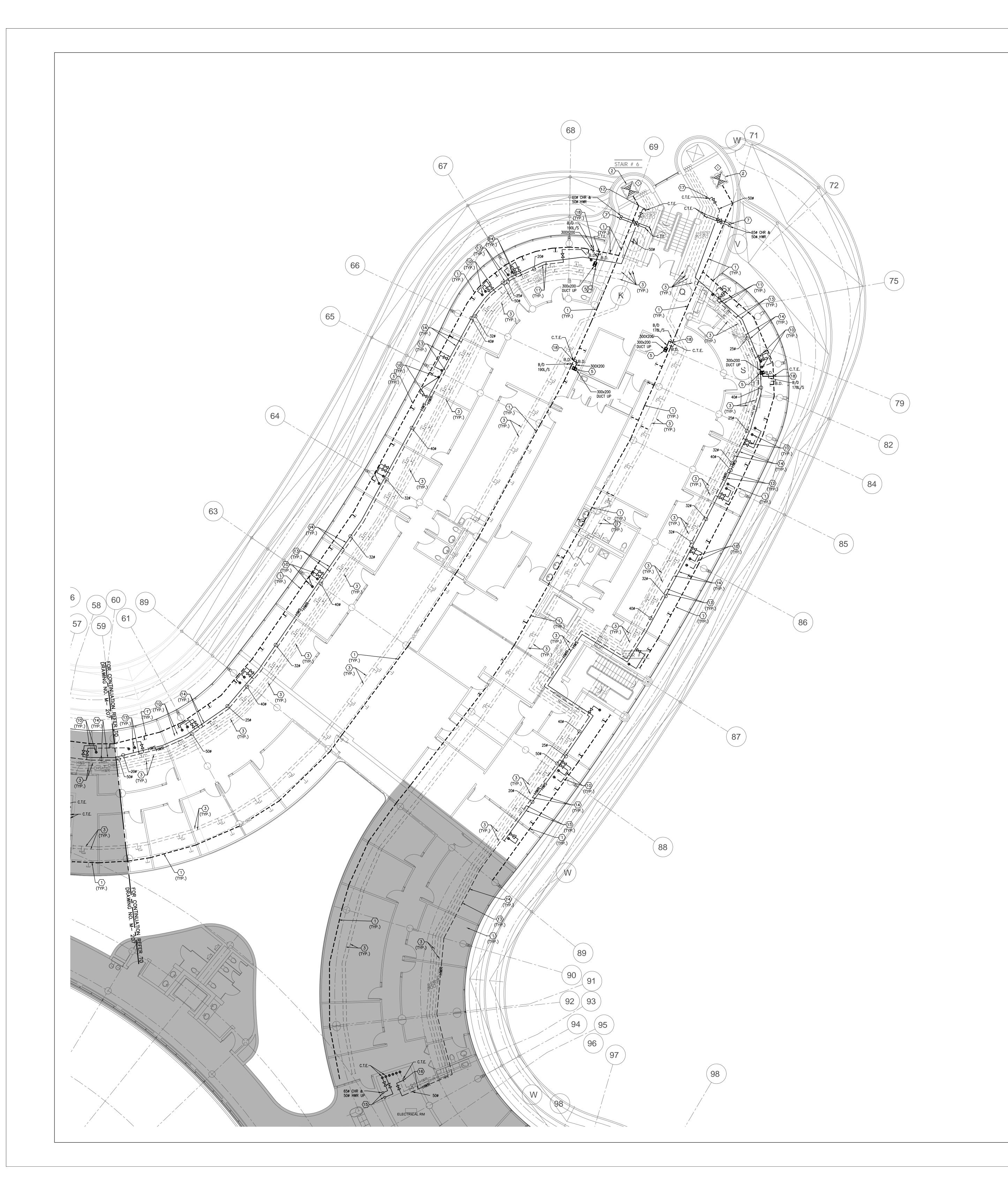
SCALE: 1:100m

S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR AREA 'B' MECHANICAL NEW LAYOUT



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING
 CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK

IS DECLINED.

OUT OF THE PROPERTY 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL

4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC. 5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO

6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED. 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED,

FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF

CAPPED, AND MEADE GOOD. 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE. 9. PROVIDE NECESSARY PROTECTIONS FOR ALL WORKSTATIONS, FURNITURE, PARTITION WALL, FLOORING AND WINDOWS ON THE THIRD FLOOR PRIOR TO COMMENCEMENT OF ANY WORK.

10. CONTRACTOR SHALL REMOVE ALL PROTECTIONS USED ON THIRD FLOOR AS NOTED ABOVE AND CLEAN THE SPACES AS REQUIRED BEFORE THE START OF EACH REGULAR BUSINESS 11. DRAWING NOTE NO. 9 (PROTECTION) & NOTE NO. 10 (REMOVAL & CLEAN-UP) SHALL BE

DRAWING NOTES

EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)

DONE REPEATEDLY FOR THE DURATION OF WORK PERIOD.

EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.

EXISTING ACTIVE (IN USE) MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)

CONNECT NEW OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION. NEW OUTDOOR AIR SUPPLY DUCT UP TO 4TH FLOOR, PROVIDE FIRE DAMPER AT FLOOR SLAB PENETRATION. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRILLING AS

REQUIRED. FOR CONTINUATION REFER TO DRAWING NO. M-206 & M-207. PROVIDE NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES AND CONNECT TO EXISTING INTERIOR CHILLED WATER SUPPLY & HATING WATER SUPPLY AT THIS APPROXIMATE LOCATION. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES &

VALVED DRAIN PLUG WITH CHAIN. RUN NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES UP TO 4TH FLOOR. FOR CONTINUATION REFER TO DRAWING NO. M-400, M-401 & M-402. MAKE GOOD INSULATION. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. PROVIDE PIPE SUPPORT AND FIRE STOPPING AT FLOOR PENETRATIONS.

CONNECT EXISTING VALVED HOT WATER RETURN PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

CONNECT EXISTING VALVED HOT WATER SUPPLY PIPE TO EXISTING SERVICES AS SHOWN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON

(10) PROVIDE NEW 200 HEATING WATER SUPPLY/RETURN PIPE AND CONNECT TO EXISTING SERVICES. EXTEND NEW HEATING WATER SUPPLY/RETURN PIPE UP TO 4TH FLOOR AND CONNECT TO NEW FLOOR MOUNTED WALL FIN HEATER. PROVIDE NEW FLOOR SLAB OPENINGS FOR HEATING SUPPLY & RETURN PIPES. ENSURE PIPES ARE WITHIN WALL FIN ENCLOSURE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/ DRILLING/ FIRE—STOPPING AS REQUIRED. (TYPICAL)

PROVIDE NEW 200 BY-PASS LINE BETWEEN HEATING SUPPLY AND RETURN PIPE C/W EOL BY-PASS ACTUATOR WITH 2-WAY VALVE. BY-PASS ACTUATOR SHALL BE INTERLOCKED WITH BUILDING AUTOMATION SYSTEM.

(12) EXISTING NEWLY INSTALLED MAIN HEATING SUPPLY AND RETURN PIPE TO REMAIN.

73> PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)

INSTALL NEW HEATING WATER SUPPLY AND RETURN PIPING C/W INSULATION. SIZES OF NEW HEATING PIPING SHALL MATCH EXISTING HEATING PIPING SIZES. NEW HEATING PIPING SHALL BE SCHEDULE 40 BLACK STEEL. VICTAULIC PIPE FITTINGS ARE PERMITTED IN ACCESSIBLE SPACES ONLY. PROVIDE NEW PIPE HANGERS AS REQUIRED. INSTALL NEW HEATING PIPING TIGHT TO EXISTING SLAB AND BEAMS TO ALLOW FOR FUTURE HVAC EQUIPMENT/ TERMINAL UNITS/ DUCTWORK/ DIFFUSERS INSTALLATIONS.

NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES FROM 4TH FLOOR. EXTEND AND CONNECT TO EXISTING INTERIOR CHILLED WATER RETURN AND HEATING WATER RETURN PIPE RISERS. EXACT CONNECTION TO BE VERIFIED ON SITE. PROVIDE PIPE SUPPORT AND FIRE-STOPPING AT FLOOR PENETRATIONS. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN.

CONNECT NEW HOT WATER RETURN PIPE TO EXISTING PERIMETER HEATING WATER RETURN AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

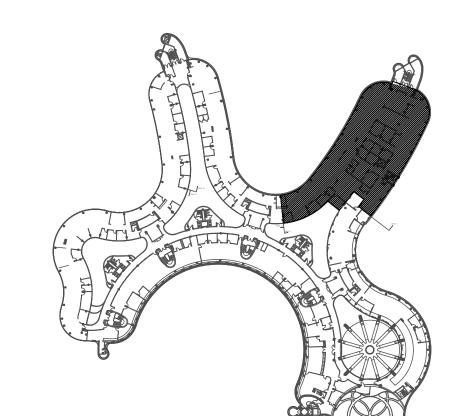
CONNECT NEW HOT WATER SUPPLY PIPE TO EXISTING PERIMETER HEATING WATER SUPPLY AS SHOWN. PROVIDE ISOLATION VALVES & VALVED DRAIN PLUG WITH CHAIN. MAKE GOOD INSULATION AS REQUIRED. EXACT CONNECTION TO BE VERIFIED ON SITE.

CONNECT OUTDOOR AIR SUPPLY DUCT TO EXISTING DUCTWORK AND MAKE GOOD INSULATION. PROVIDE BALANCING DAMPER ON NEW BRANCH DUCTWORK & EXISTING DUCTWORK AS SHOWN. BALANCE TO AIR QUANTITY AS INDICATED. (TYPICAL)

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

FINAL AIR BALANCING NOTE

PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW



MISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-33-2022	ISSUED ASPERNIONERM-5
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

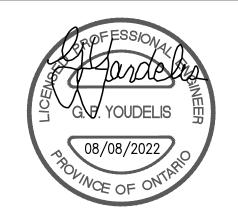
G.Bruce Stratton Architects

217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146

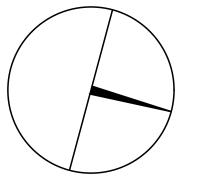


90C Centurian Drive

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering Markham, Ontario



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@gpyengineering.com



PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: 4TH FLOOR: 01-01-2022 BASE DATE: PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

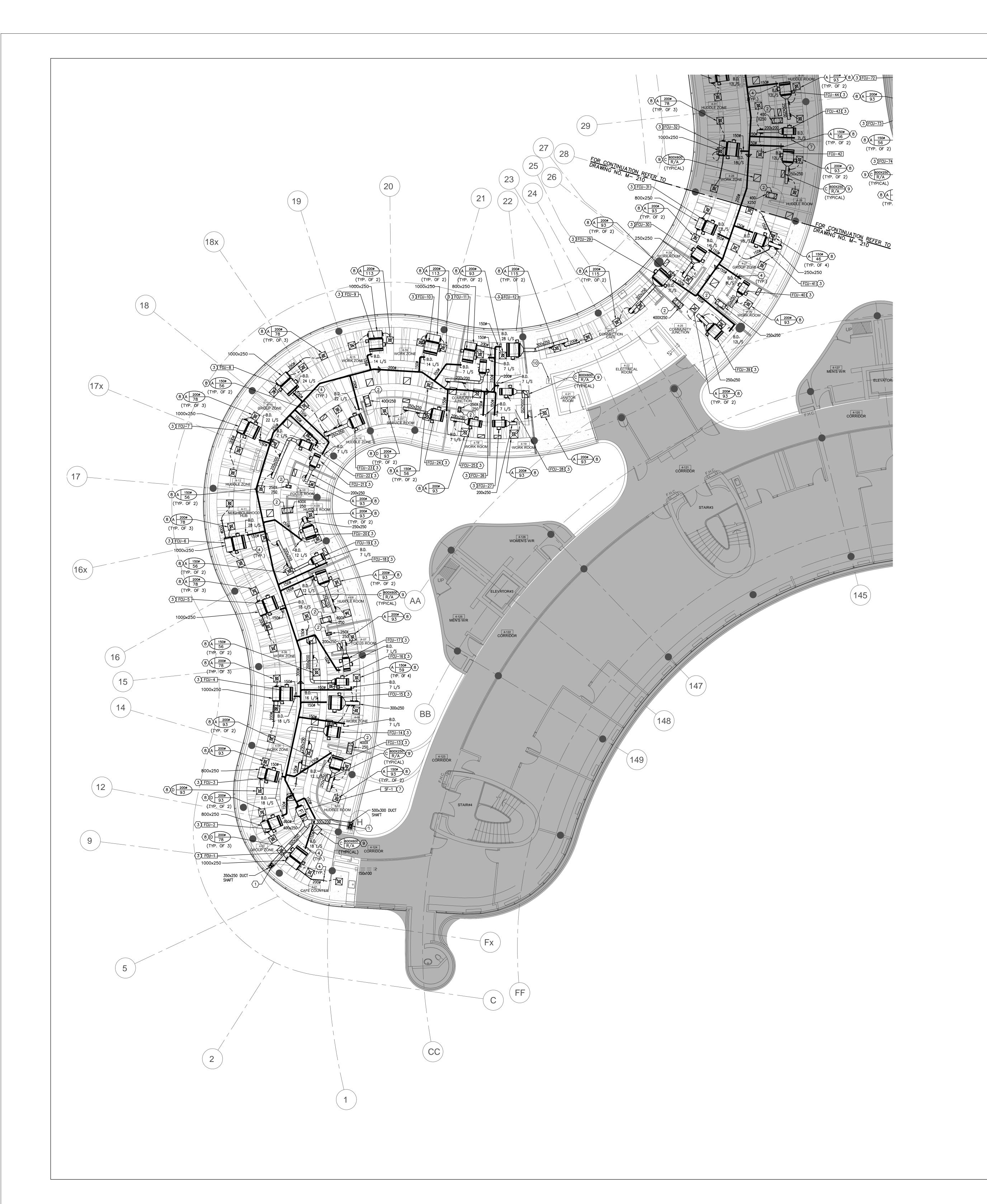
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S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR AREA 'C' MECHANICAL NEW LAYOUT



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION. 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING
CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC. . PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO

FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF 6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS

PANELS/DOORS AS REQUIRED. 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD. 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE.

9. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". EXACT LOCATION TO BE COORDINATED ON SITE WITH THE ARCHITECT. (TYPICAL FOR ALL)

FOR DETAILS. (TYPICAL)

DRAWING NOTES

- NEW OUTDOOR AIR SUPPLY DUCT FROM THIRD FLOOR C/W FIRE DAMPER. NEW RETURN AIR TRANSFER DUCT. SIZE AS INDICATED. REFER TO DETAIL NO. 14/M-104
- PROVIDE NEW FAN COIL UNIT IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, ISOLATORS AND SUPPLY/RETURN AIR DUCTWORK. REFER TO M-100 SERIES FOR SPECIFICATIONS & DETAILS. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. (TYPICAL)
- NEW OPEN-ENDED OUTDOOR AIR SUPPLY DUCT C/W BALANCING DAMPER. DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. BALANCE TO AIR QUANTITIES AS INDICATED. ALL FRESH AIR DUCT SHALL BE ROUND DUCT AS SHOWN. BALANCING DAMPER SHALL BE LOCATED ABOVE T-BAR CEILING. (TYPICAL)
- PROVIDE NEW LINEAR SLOT DIFFUSER C/W PLENUM BOX. DIFFUSER SHALL HAVE A CABLE OPERATED DAMPER MOUNTED ON NECK. BALANCE TO AIR QUANTITY AS INDICATED. REFER TO DRAWING NO. M-100 & 15/M-104 FOR SPECIFICATIONS AND

PROVIDE 1" WIDE ARCHITECTURAL SLOT FOR RETURN AIR. RETURN SLOT SHALL HAVE SIGHT BAFFLE ABOVE. COORDINATE EXACT LOCATION ON SITE WITH THE ARCHITECT.

- PROVIDE FRESH AIR SUPPLY FAN IN CEILING SPACE C/W ASSOCIATED UNIT-MOUNTED SPEED CONTROLLER, HANGERS, SUPPORTS, ISOLATORS AND DUCTWORK. FAN TO BE INTERLOCKED WITH EXISTING BAS. REFER TO DRAWING NO. M-100 & M-104 FOR
- REFER TO DRAWING NO. M-100 & 12/M-104 FOR SPECIFICATIONS AND DETAILS.

PROVIDE NEW SQUARE CONE DIFFUSER AND BALANCE TO AIR QUANTITY AS INDICATED.

PROVIDE NEW RETURN AIR GRILLES. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL) (10) EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING. CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

FINAL AIR BALANCING NOTE

1 > PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW

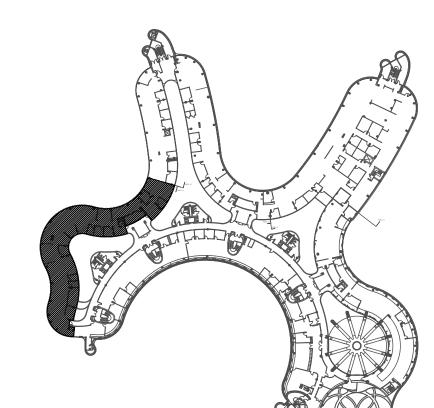
FAN COIL UNIT NOTES

PRIOR TO FAN COIL UNIT INSTALLATION, CONTRACTOR TO PROVIDE A MOCK-UP OF THE HORIZONTAL FAN COIL UNIT FOR YORK REGION'S PM & CONSULTANT'S REVIEW AND COMMENTS. INSTALLATION OF FAN COIL UNIT SHALL NOT PROCEED WITHOUT APPROVAL FROM YORK REGION'S PM & CONSULTANTS.

CONTRACTOR TO ENSURE NEW FAN COIL UNIT FILTER RACK IS SECURELY ATTACHED AT THE RETURN AIR SIDE OF THE UNIT. OPEN-ENDED OUTDOOR AIR SUPPLY DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. REFER TO DETAIL NO. 8/M-103.

3. FILTER RACK SHALL BE SIZE TO ACCEPT FILTER SIZES AS PER JOHNSON'S CONTROLS FILTER SIZE GUIDE BELOW:

3.1 FHP-D03 (1/2 TON) FILTER SIZE: 19"x10.5"x1" 3.2 FHP-D06 (1 TON) FILTER SIZE: 31"x10.5"x1" 3.3 FHP-D08 (1-1/4 TON) FILTER SIZE: 2 SETS OF 19"x10.5"x1"



BMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



Markham, Ontario

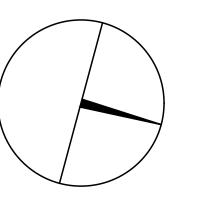
90C Centurian Drive

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering

@gpyengineering.com



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PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: FLOOR: 4TH 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

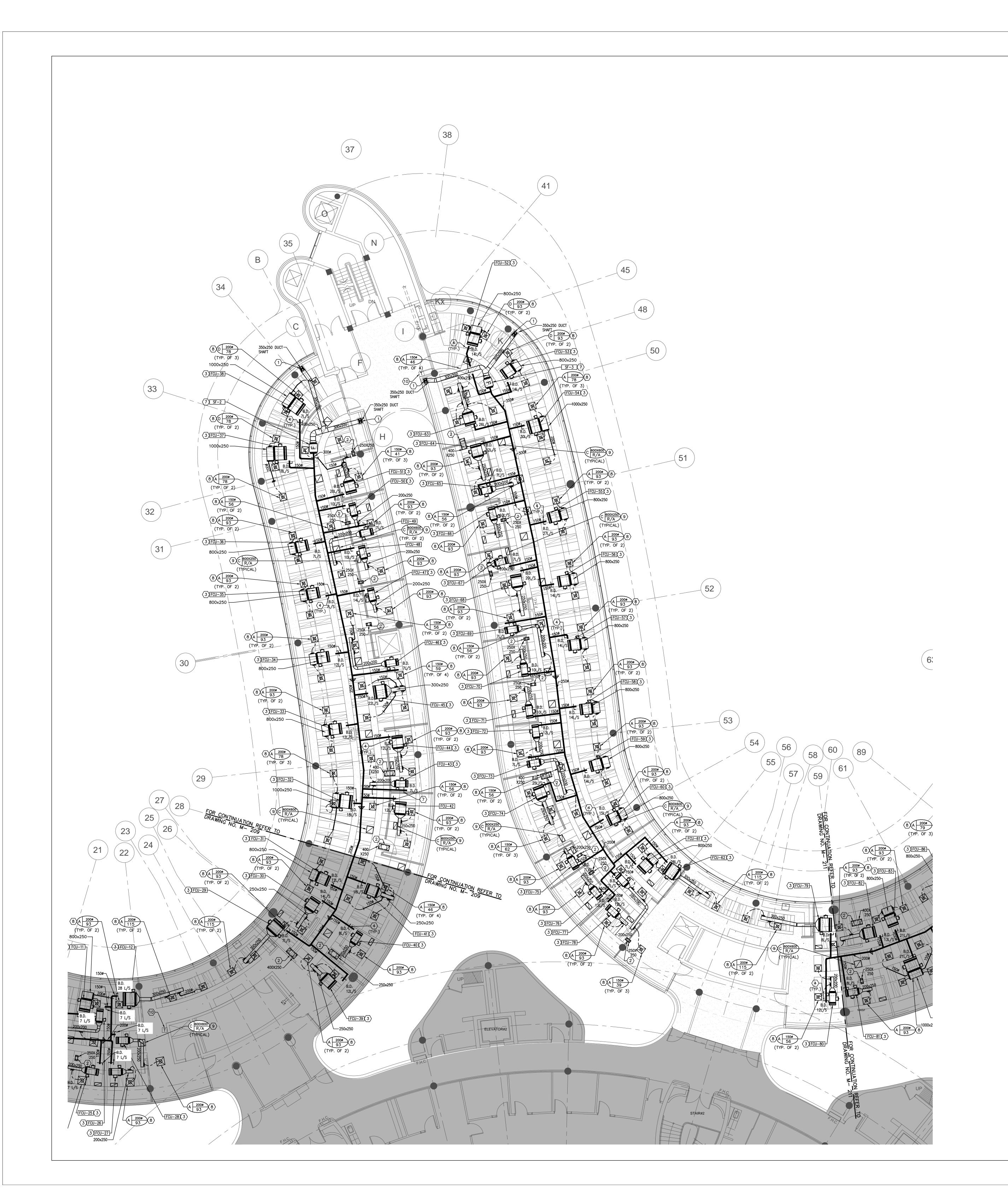
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S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'A' **HVAC NEW LAYOUT**



CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.

REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS

PANELS/DOORS AS REQUIRED.
7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC)

9. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". EXACT LOCATION TO BE COORDINATED ON SITE WITH THE ARCHITECT. (TYPICAL FOR ALL)

SHALL BE DEMOLISHED AND REMOVED FROM SITE.

DRAWING NOTES

- NEW OUTDOOR AIR SUPPLY DUCT FROM THIRD FLOOR C/W FIRE DAMPER.

 NEW RETURN AIR TRANSFER DUCT. SIZE AS INDICATED. REFER TO DETAIL NO. 14/M-104
- FOR DETAILS. (TYPICAL)

 3 PROVIDE NEW FAN COIL UNIT IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, ISOLATORS AND SUPPLY/RETURN AIR DUCTWORK. REFER TO M-100 SERIES FOR SPECIFICATIONS & DETAILS. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. (TYPICAL)
- NEW OPEN-ENDED OUTDOOR AIR SUPPLY DUCT C/W BALANCING DAMPER. DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. BALANCE TO AIR QUANTITIES AS INDICATED. ALL FRESH AIR DUCT SHALL BE ROUND DUCT AS
- SHOWN. BALANCING DAMPER SHALL BE LOCATED ABOVE T-BAR CEILING. (TYPICAL)

 PROVIDE NEW LINEAR SLOT DIFFUSER C/W PLENUM BOX. DIFFUSER SHALL HAVE A CABLE OPERATED DAMPER MOUNTED ON NECK. BALANCE TO AIR QUANTITY AS INDICATED. REFER TO DRAWING NO. M-100 & 15/M-104 FOR SPECIFICATIONS AND DETAILS. (TYPICAL)
- SIGHT BAFFLE ABOVE. COORDINATE EXACT LOCATION ON SITE WITH THE ARCHITECT.

 PROVIDE FRESH AIR SUPPLY FAN IN CEILING SPACE C/W ASSOCIATED UNIT-MOUNTED SPEED CONTROLLER, HANGERS, SUPPORTS, ISOLATORS AND DUCTWORK. FAN TO BE INTERLOCKED WITH EXISTING BAS. REFER TO DRAWING NO. M-100 & M-104 FOR

PROVIDE 1" WIDE ARCHITECTURAL SLOT FOR RETURN AIR. RETURN SLOT SHALL HAVE

- PROVIDE NEW SQUARE CONE DIFFUSER AND BALANCE TO AIR QUANTITY AS INDICATED.

 REFER TO DRAWING NO. M-100 & 12/M-104 FOR SPECIFICATIONS AND DETAILS.
- PROVIDE NEW RETURN AIR GRILLES. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)
- EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO

NOTE

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING. CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

FINAL AIR BALANCING NOTE

PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW

FAN COIL UNIT NOTES

1. PRIOR TO FAN COIL UNIT INSTALLATION, CONTRACTOR TO PROVIDE A MOCK-UP OF THE HORIZONTAL FAN COIL UNIT FOR YORK REGION'S PM & CONSULTANT'S REVIEW AND COMMENTS. INSTALLATION OF FAN COIL UNIT SHALL NOT PROCEED WITHOUT APPROVAL FROM YORK REGION'S PM & CONSULTANTS.

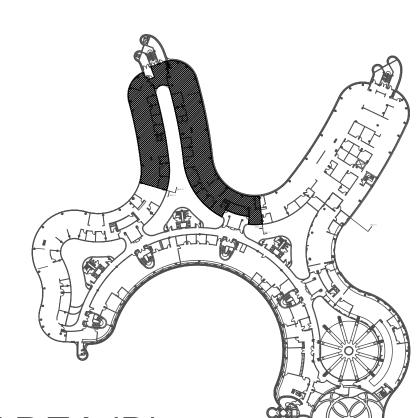
2. CONTRACTOR TO ENSURE NEW FAN COIL UNIT FILTER RACK IS SECURELY ATTACHED AT THE RETURN AIR SIDE OF THE UNIT. OPEN—ENDED OUTDOOR AIR SUPPLY DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. REFER TO DETAIL NO. 8/M—103.

FILTER RACK SHALL BE SIZE TO ACCEPT FILTER SIZES AS PER JOHNSON'S CONTROLS FILTER SIZE GUIDE BELOW:

3.1 FHP-D03 (1/2 TON) FILTER SIZE: 19"x10.5"x1"

3.2 FHP-D06 (1 TON) FILTER SIZE: 31"x10.5"x1"

3.3 FHP-D08 (1-1/4 TON) FILTER SIZE: 2 SETS OF 19"x10.5"x1"



AREA 'B

BMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
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6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

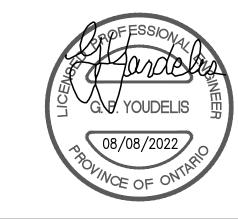
G.Bruce Stratton Architects

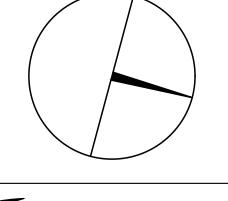
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



Y + iates Engineering In

90C Centurian Drive Unit 6 Markham, Ontario L3R 8C5 Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com







PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

S.P.R./G.G.

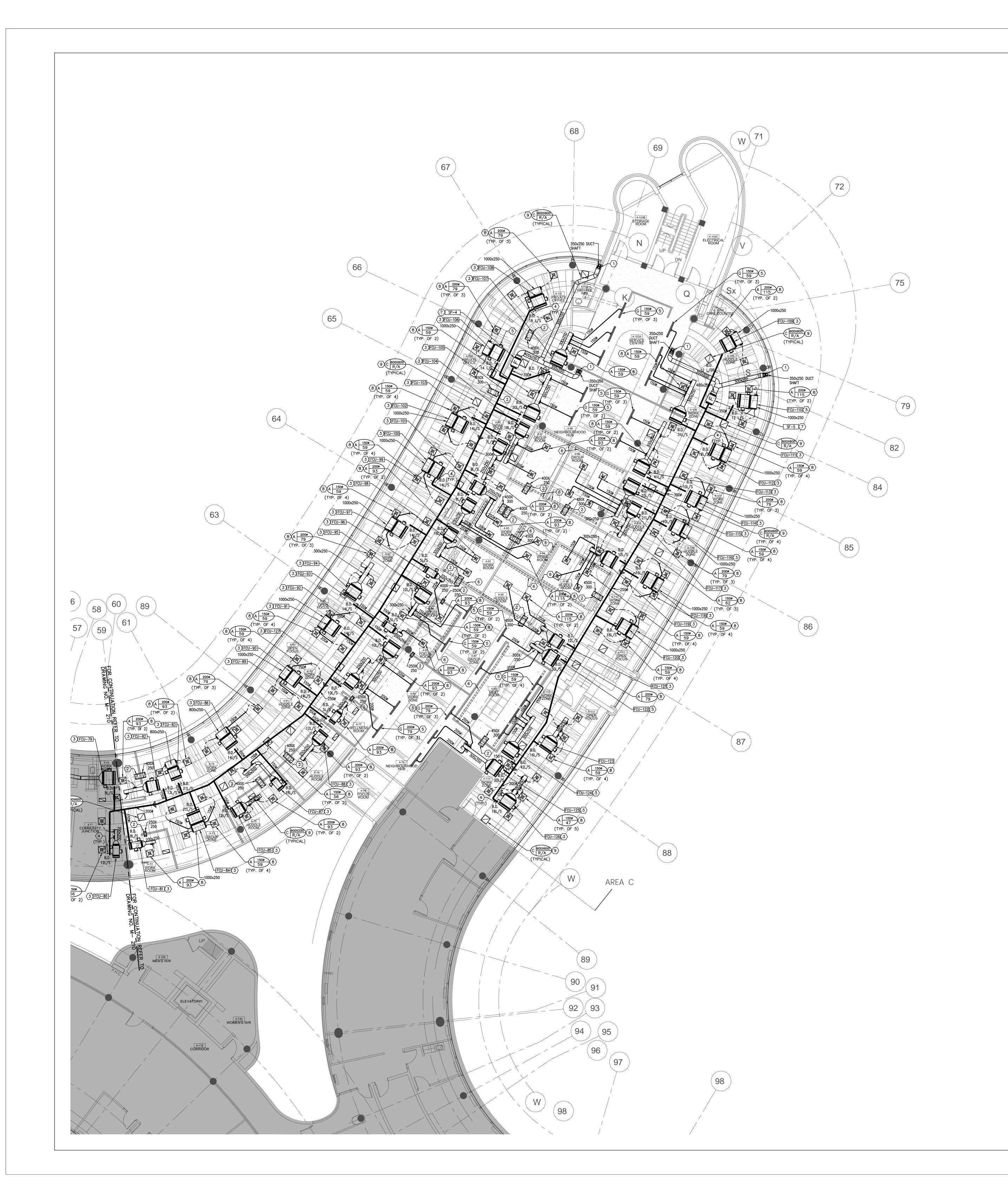
MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'B' HVAC NEW LAYOUT

HEET NUMBER:

MBER: -210



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION. 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING
CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL 4. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

5. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF

6. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS

PANELS/DOORS AS REQUIRED. 7. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD. 8. CONTROLS CONTRACTOR SHALL SAFELY AND CAREFULLY REMOVE EXISTING SPACE TEMPERATURE SENSORS AND RETURN TO OWNER FOR SPARE PARTS. REMOVAL OF SPACE TEMPERATURE SENSORS SHALL BE DONE BY CONTROLS CONTRACTOR ONLY, NOT BY ANY

OTHER TRADERS. ALL OTHER EXISTING CONTROLS (CONTROLLERS, CONTROL VALVES, ETC) SHALL BE DEMOLISHED AND REMOVED FROM SITE. 9. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". EXACT LOCATION TO BE COORDINATED ON SITE WITH THE ARCHITECT. (TYPICAL FOR ALL)

FOR DETAILS. (TYPICAL)

DRAWING NOTES

- NEW OUTDOOR AIR SUPPLY DUCT FROM THIRD FLOOR C/W FIRE DAMPER. NEW RETURN AIR TRANSFER DUCT. SIZE AS INDICATED. REFER TO DETAIL NO. 14/M-104
- PROVIDE NEW FAN COIL UNIT IN CEILING SPACE C/W ASSOCIATED CONTROLS, HANGERS, SUPPORTS, ISOLATORS AND SUPPLY/RETURN AIR DUCTWORK. REFER TO M-100 SERIES FOR SPECIFICATIONS & DETAILS. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. (TYPICAL)
- NEW OPEN-ENDED OUTDOOR AIR SUPPLY DUCT C/W BALANCING DAMPER. DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. BALANCE TO AIR QUANTITIES AS INDICATED. ALL FRESH AIR DUCT SHALL BE ROUND DUCT AS SHOWN. BALANCING DAMPER SHALL BE LOCATED ABOVE T—BAR CEILING. (TYPICAL)
- PROVIDE NEW LINEAR SLOT DIFFUSER C/W PLENUM BOX. DIFFUSER SHALL HAVE A CABLE OPERATED DAMPER MOUNTED ON NECK. BALANCE TO AIR QUANTITY AS INDICATED. REFER TO DRAWING NO. M-100 & 15/M-104 FOR SPECIFICATIONS AND DETAILS. (TYPICAL)
- PROVIDE FRESH AIR SUPPLY FAN IN CEILING SPACE C/W ASSOCIATED UNIT-MOUNTED SPEED CONTROLLER, HANGERS, SUPPORTS, ISOLATORS AND DUCTWORK. FAN TO BE INTERLOCKED WITH EXISTING BAS. REFER TO DRAWING NO. M-100 & M-104 FOR

PROVIDE 1" WIDE ARCHITECTURAL SLOT FOR RETURN AIR. RETURN SLOT SHALL HAVE SIGHT BAFFLE ABOVE. COORDINATE EXACT LOCATION ON SITE WITH THE ARCHITECT.

REFER TO DRAWING NO. M-100 & 12/M-104 FOR SPECIFICATIONS AND DETAILS.

PROVIDE NEW SQUARE CONE DIFFUSER AND BALANCE TO AIR QUANTITY AS INDICATED.

PROVIDE NEW RETURN AIR GRILLES. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL) (10) EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO

ALL MECHANICAL WORKS INVOLVED IN 3RD FLOOR SHALL BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING. CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

FINAL AIR BALANCING NOTE

1 > PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW

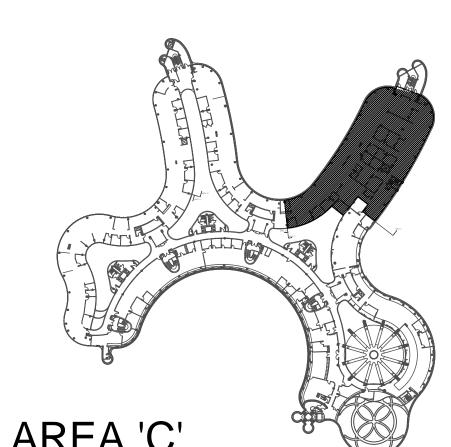
FAN COIL UNIT NOTES

PRIOR TO FAN COIL UNIT INSTALLATION, CONTRACTOR TO PROVIDE A MOCK-UP OF THE HORIZONTAL FAN COIL UNIT FOR YORK REGION'S PM & CONSULTANT'S REVIEW AND COMMENTS. INSTALLATION OF FAN COIL UNIT SHALL NOT PROCEED WITHOUT APPROVAL FROM YORK REGION'S PM & CONSULTANTS.

CONTRACTOR TO ENSURE NEW FAN COIL UNIT FILTER RACK IS SECURELY ATTACHED AT THE RETURN AIR SIDE OF THE UNIT. OPEN-ENDED OUTDOOR AIR SUPPLY DUCT SHALL BE INDIRECTLY TERMINATED CLOSE TO RETURN AIR SIDE OF FAN COIL UNIT. REFER TO DETAIL NO. 8/M-103.

FILTER RACK SHALL BE SIZE TO ACCEPT FILTER SIZES AS PER JOHNSON'S CONTROLS FILTER SIZE GUIDE BELOW:

3.1 FHP-D03 (1/2 TON) FILTER SIZE: 19"x10.5"x1" 3.2 FHP-D06 (1 TON) FILTER SIZE: 31"x10.5"x1" 3.3 FHP-D08 (1-1/4 TON) FILTER SIZE: 2 SETS OF 19"x10.5"x1"



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7	11-18-2022	ISSUED FOR CONSTRUCTION

G.Bruce Stratton Architects

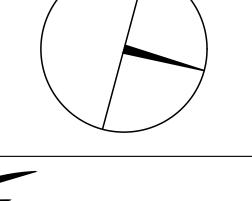
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



90C Centurian Drive Markham, Ontario L3R 8C5

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com







PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: FLOOR: 4TH 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

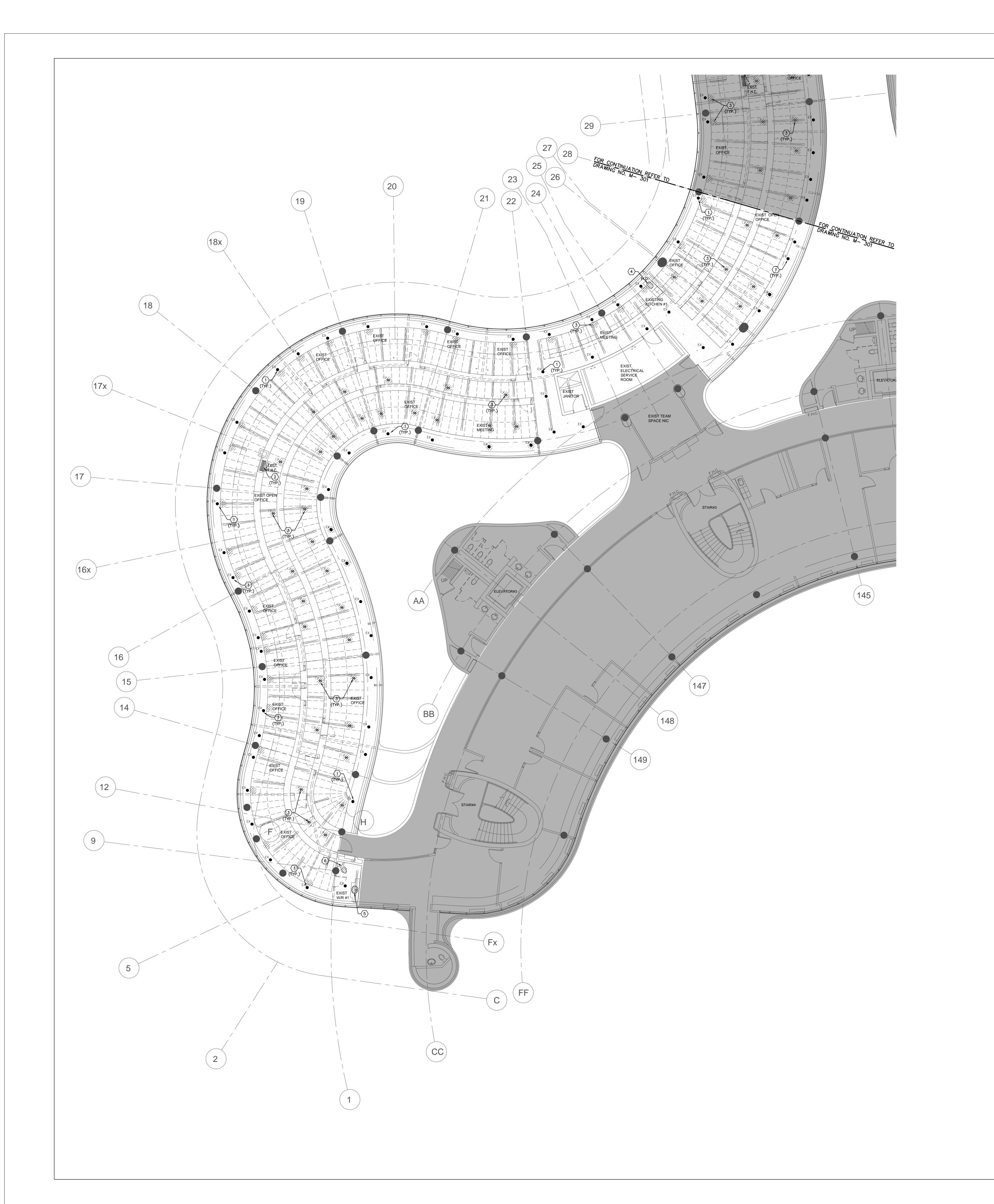
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S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'C' **HVAC NEW LAYOUT**



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

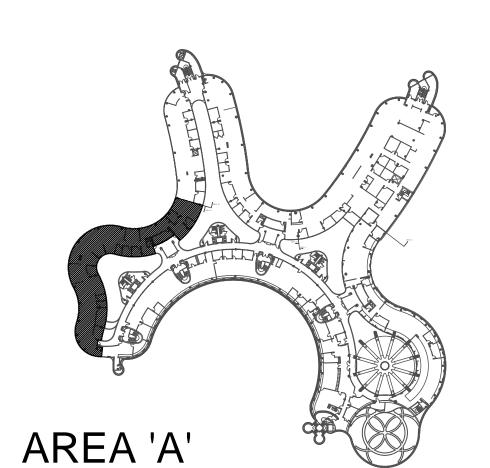
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- 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
- 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
- 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED. 6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
- 7. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7.00AM TO 3.00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
- 8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
- 9. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED. 10. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED,
- SEALED, CAPPED, AND MADE GOOD. 11. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
- 12. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.

DRAWING NOTES

- (1) EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- 2 EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL) 3 EXISTING SPRINKLER HEAD TO BE REMOVED. CAP ASSOCIATED SPRINKLER PIPE AS REQUIRED. (TYPICAL)
- REMOVE EXISTING SINK C/W ASSOCIATED FAUCET. EXISTING PLUMBING & SANITARY DRAIN PIPING TO REMAIN AND MODIFY TO SUIT INSTALLATION OF NEW SINK. (TYPICAL)
- EXISTING LAVATORY C/W ASSOCIATED FAUCET AND P-TRAP TO BE REMOVED. EXISTING PLUMBING & SANITARY DRAINAGE PIPING TO REMAIN FOR INSTALLATION OF NEW PLUMBING FIXTURE.
- EXISTING WATER CLOSET C/W FLUSH VALVE, CARRIER & FLOOR FLANGE TO BE REMOVED. PLUMBING LINES & SANITARY VENT PIPING TO BE REMOVED, CUT BACK AND CAP IN CEILING SPACE. SANITARY DRAIN PIPING TO BE REMOVED AND CAP ON FLOOR BELOW. PATCH UP EXISTING FLOOR OPENING AS REQUIRED.
- (7) EXISTING PLUMBING FIXTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)

NOTES

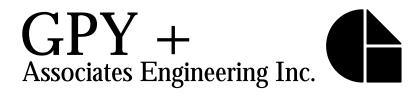
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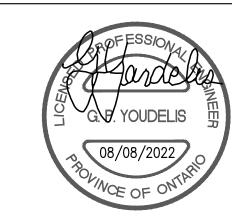
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146

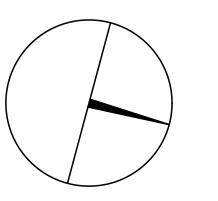




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Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com







PROPERTY SERVICES

BUILDING & FACILITIES 4TH FLOOR: 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

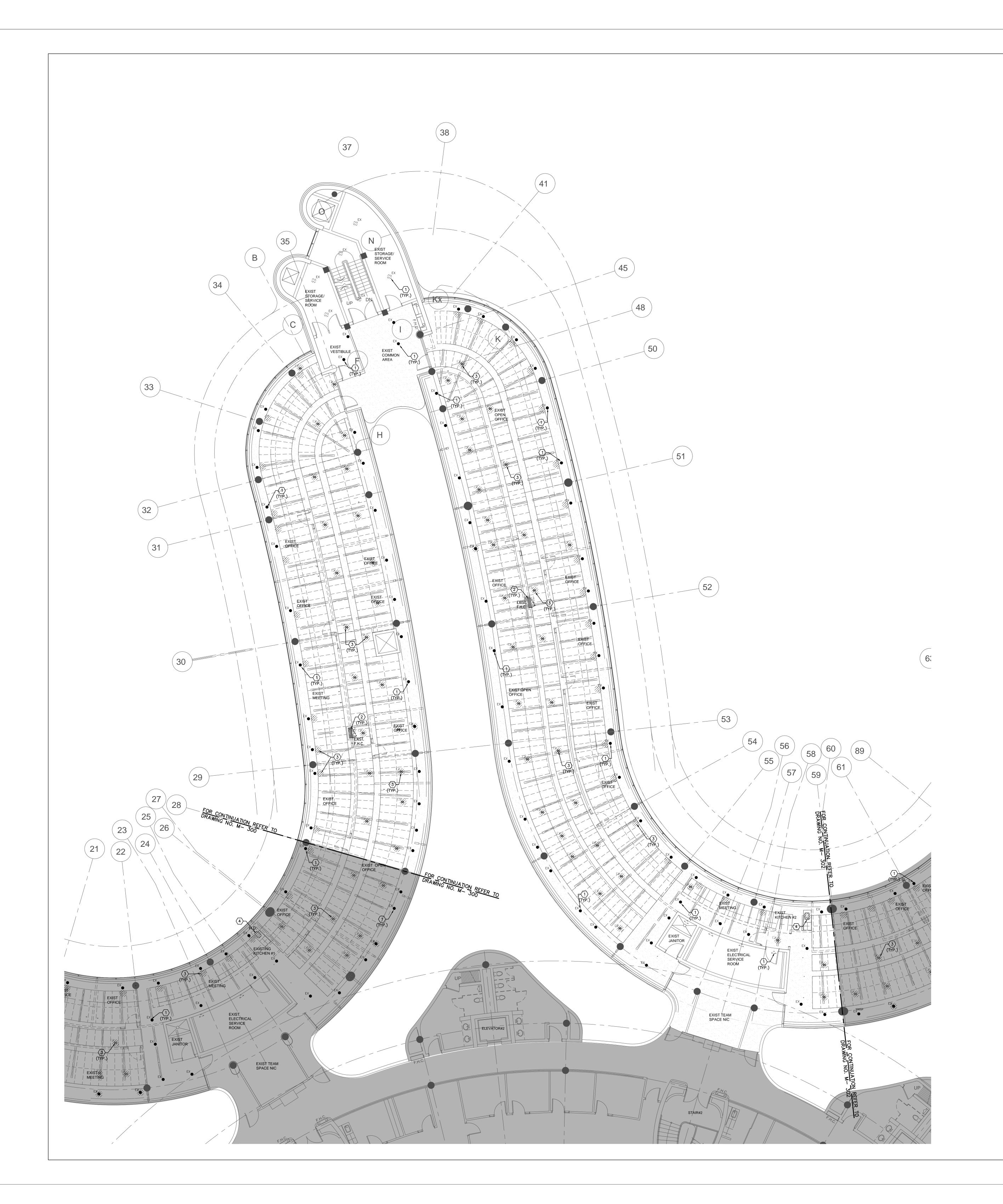
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S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'A' PLUMBING & FIRE PROTECTION **DEMOLITION PLAN**



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

- 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS DECLINED.
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- 6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED. 7. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL—UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7.00AM TO 3.00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING—UP OF THE SPRINKLER
- SYSTEM WITHIN THE AREA OF WORK. 8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
- 9. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE
- 10. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
- 11. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

12. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.

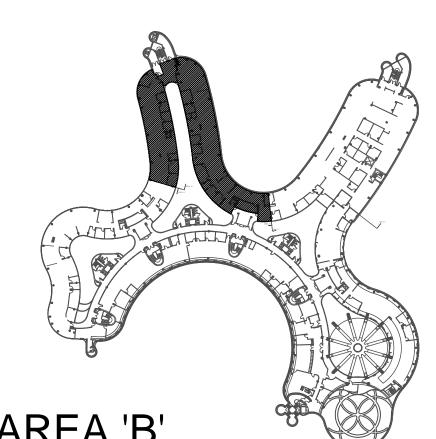
DRAWING NOTES

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- 2 EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL) 3 EXISTING SPRINKLER HEAD TO BE REMOVED. CAP ASSOCIATED SPRINKLER PIPE AS REQUIRED. (TYPICAL)
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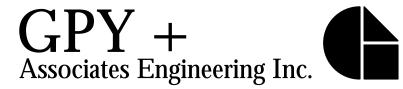
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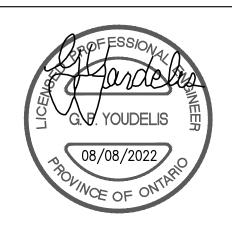
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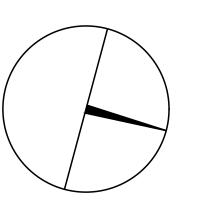
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



Markham, Ontario L3R 8C5

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com







PROPERTY SERVICES

BUILDING & FACILITIES 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

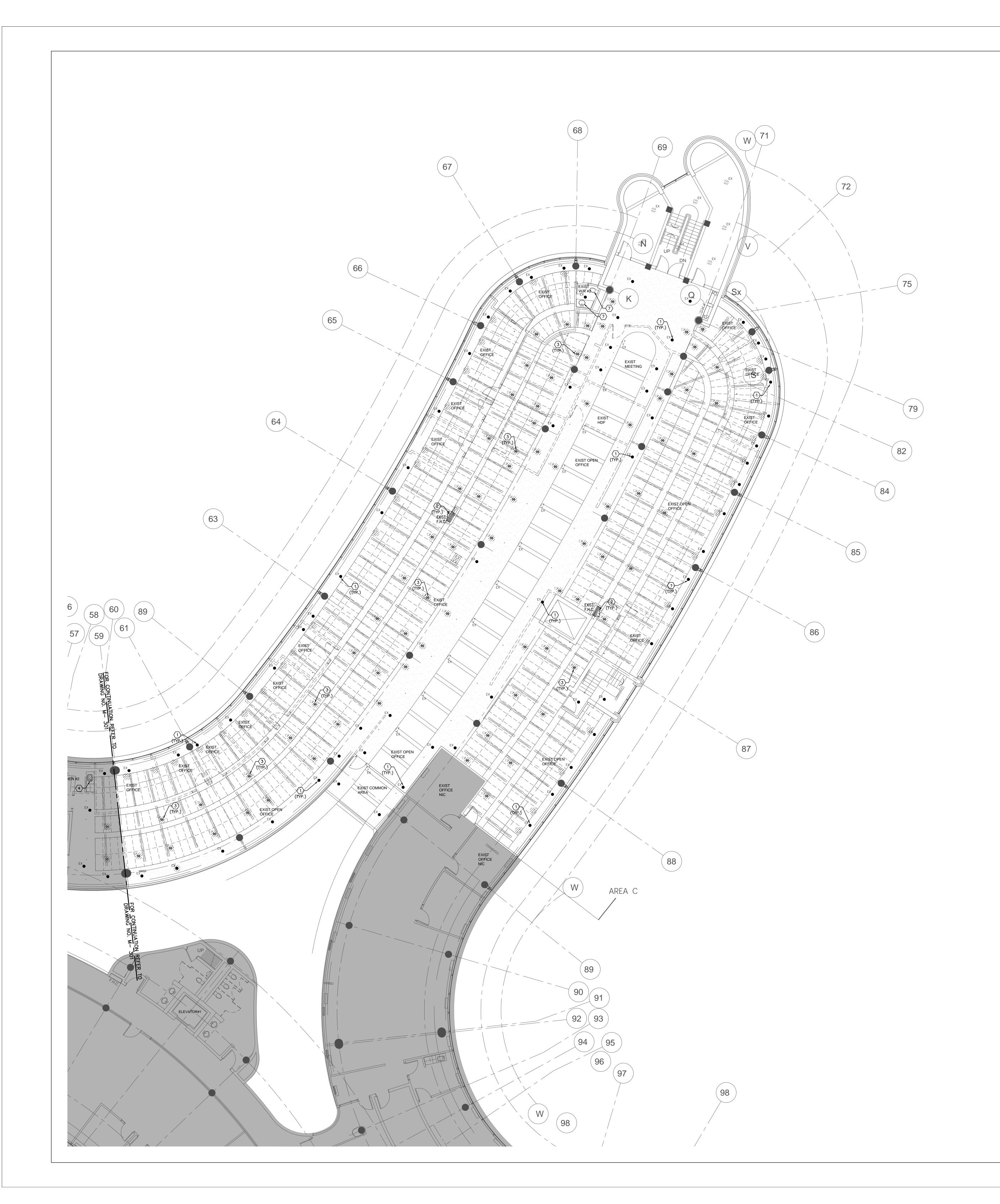
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S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'B' PLUMBING & FIRE PROTECTION DEMOLITION PLAN



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

- 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS DECLINED.
- 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
- 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
- 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED. 6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
- 7. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL—UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7.00AM TO 3.00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING—UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
- 8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
- 9. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
- SEALED, CAPPED, AND MADE GOOD. 11. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

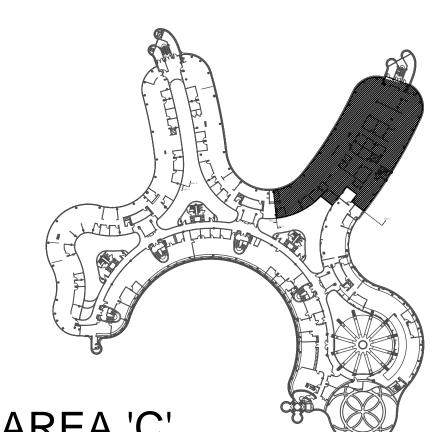
10. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED,

12. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.

DRAWING NOTES

- (1) EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- 2 EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL) 3 EXISTING SPRINKLER HEAD TO BE REMOVED. CAP ASSOCIATED SPRINKLER PIPE AS REQUIRED. (TYPICAL)
- REMOVE EXISTING SINK C/W ASSOCIATED FAUCET. EXISTING PLUMBING & SANITARY DRAIN PIPING TO REMAIN AND MODIFY TO SUIT INSTALLATION OF NEW SINK. (TYPICAL)
- EXISTING LAVATORY C/W ASSOCIATED FAUCET AND P-TRAP TO BE REMOVED. EXISTING PLUMBING & SANITARY DRAINAGE PIPING TO REMAIN FOR INSTALLATION OF NEW PLUMBING FIXTURE.
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- (7) EXISTING PLUMBING FIXTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.



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G.Bruce Stratton Architects

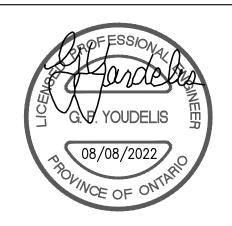
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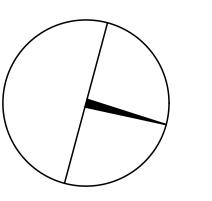
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PROPERTY SERVICES

BUILDING & FACILITIES 4TH 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

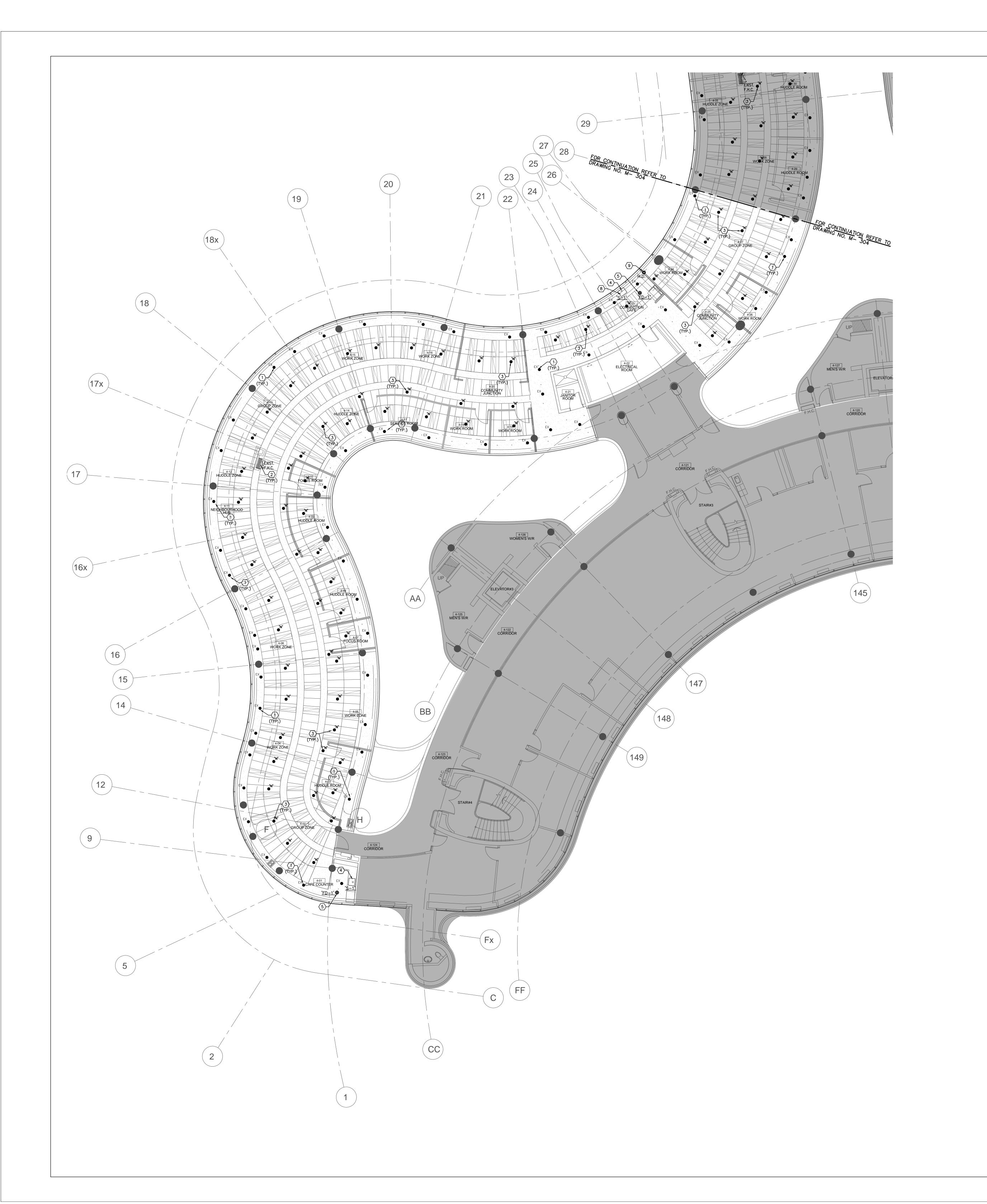
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S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'C' PLUMBING & FIRE PROTECTION DEMOLITION PLAN



CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

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8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

9. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE

10. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.

11. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

12. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.13. ALL SPRINKLER HEAD CONNECTIONS SHALL BE HARD PIPED. FLEXIBLE PIPING CONNECTION IS NOT ACCEPTABLE.

DRAWING NOTES

1) EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)

ACCESS PANELS/DOORS AS REQUIRED.

2 EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)

3 PROVIDE NEW PENDANT SPRINKLER HEAD. (TYPICAL)

PROVIDE NEW SINK 'S-1' C/W ASSOCIATED FAUCET, MODIFY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW SINK. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)

PROVIDE NEW 500 FLOOR DRAIN <u>'FD-1'</u> C/W ASSOCIATED SANITARY DRAIN PIPING. CONNECT NEW SANITARY DRAIN PIPE TO NEAREST EXISTING SANITARY LINE IN CEILING SPACE ON FLOOR BELOW. (TYPICAL)

6 PROVIDE NEW SEMI-RECESSED SPRINKLER HEAD. (TYPICAL)

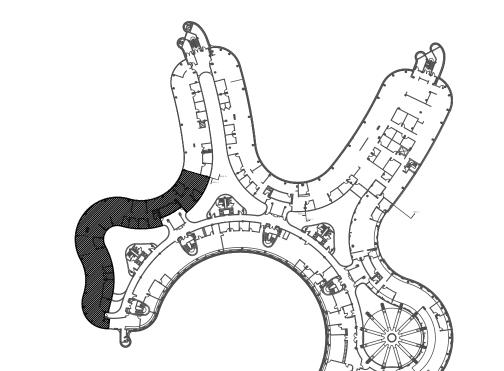
7 EXISTING PLUMBING FIXTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)

PROVIDE AN ALLOWANCE TO EXTEND EXISTING HOT & COLD WATER PIPING, VENT PIPING & SANITARY DRAIN ON FLOOR BELOW FROM DEMOLISHED SINK TO NEW LOCATION OF NEW SINK.

PROVIDE NEW HUB DRAIN IN CEILING SPACE AND CONNECT TO NEAREST SANITARY DRAIN PIPING AT THIS APPROXIMATE LOCATION.

NOTES

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AREA 'A

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6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

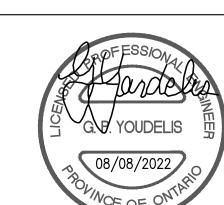
G.Bruce Stratton Architects

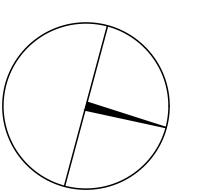
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



Y + ntes Engineering Inc.

Unit 6
Markham, Ontario
L3R 8C5





Tel: 905 475 3138 Fax: 866 853 3732

email: engineering @gpyengineering.com



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

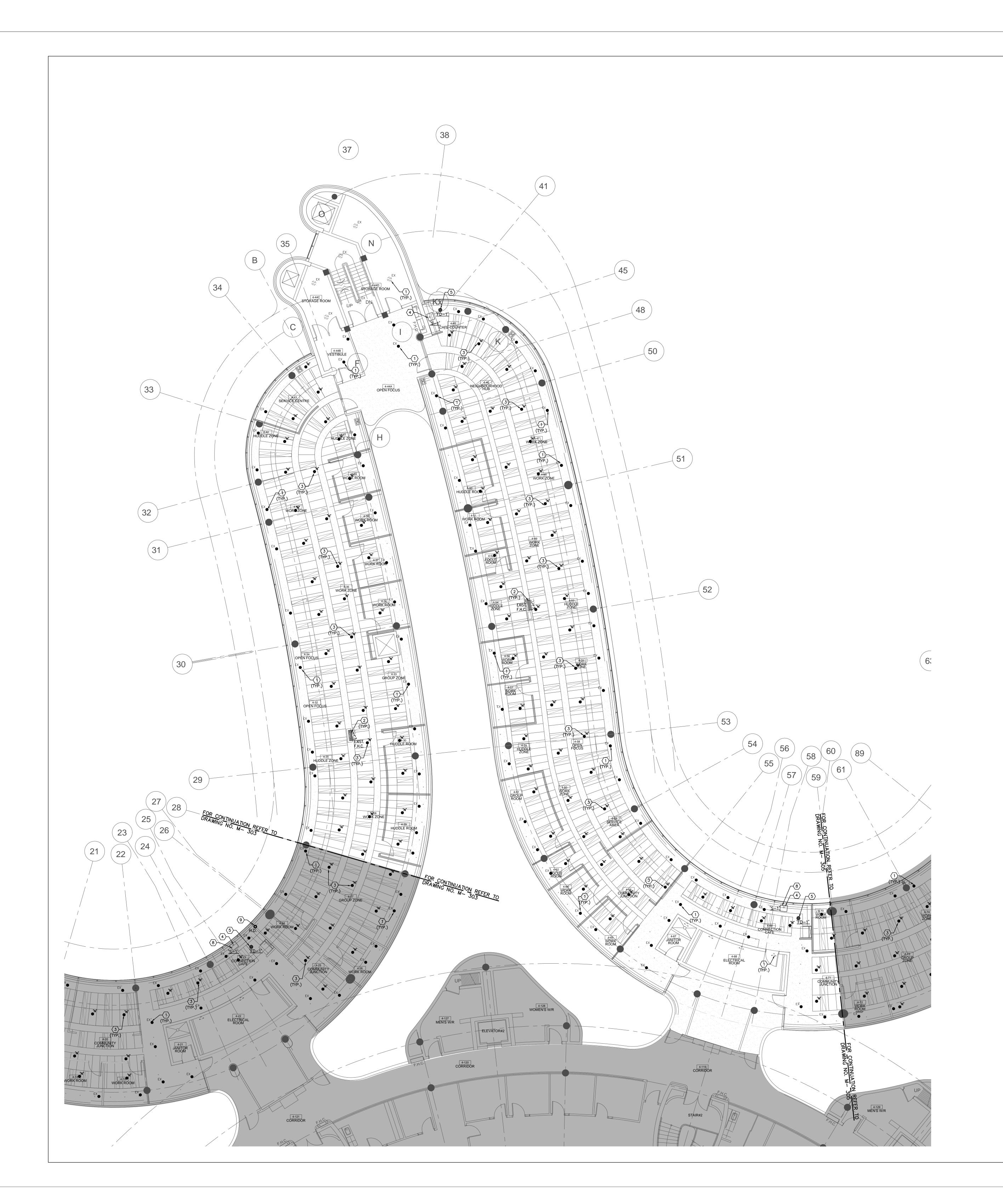
S.P.R./G.G.

BMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'A'
PLUMBING & FIRE PROTECTION
NEW LAYOUT

SHEET NUMBER:



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION. 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS DECLINED.

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.

4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED. 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.

6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.

7. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL—UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7.00AM TO 3.00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING—UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.

8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS. 9. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE

10. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.

11. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

12. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13. 13.ALL SPRINKLER HEAD CONNECTIONS SHALL BE HARD PIPED. FLEXIBLE PIPING CONNECTION IS NOT ACCEPTABLE.

DRAWING NOTES

(1) EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)

ACCESS PANELS/DOORS AS REQUIRED.

2 EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL) 3 PROVIDE NEW PENDANT SPRINKLER HEAD. (TYPICAL)

PROVIDE NEW SINK 'S-1' C/W ASSOCIATED FAUCET, MODIFY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW SINK. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)

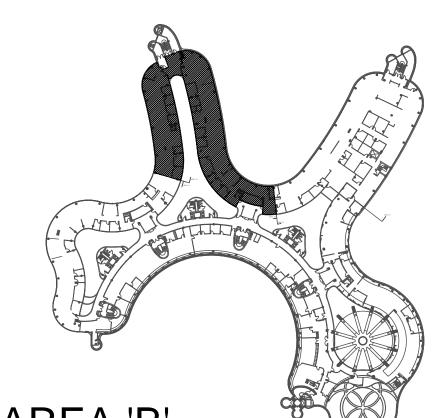
PROVIDE NEW 50Ø FLOOR DRAIN 'FD-1' C/W ASSOCIATED SANITARY DRAIN PIPING.
CONNECT NEW SANITARY DRAIN PIPE TO NEAREST EXISTING SANITARY LINE IN CEILING SPACE ON FLOOR BELOW. (TYPICAL)

(6) PROVIDE NEW SEMI-RECESSED SPRINKLER HEAD. (TYPICAL) (7) EXISTING PLUMBING FIXTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL)

PROVIDE AN ALLOWANCE TO EXTEND EXISTING HOT & COLD WATER PIPING, VENT PIPING & SANITARY DRAIN ON FLOOR BELOW FROM DEMOLISHED SINK TO NEW LOCATION OF NEW PROVIDE NEW HUB DRAIN IN CEILING SPACE AND CONNECT TO NEAREST SANITARY DRAIN PIPING AT THIS APPROXIMATE LOCATION.

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.



AREA 'B'	
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JBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
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7	11-18-2022	ISSUED FOR CONSTRUCTION

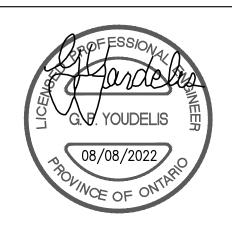
G.Bruce Stratton Architects

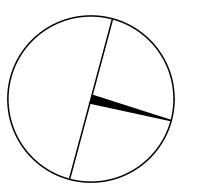
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



Markham, Ontario L3R 8C5

Tel: 905 475 3138 Fax: 866 853 3732 email: engineering @gpyengineering.com







PROPERTY SERVICES

BUILDING & FACILITIES 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

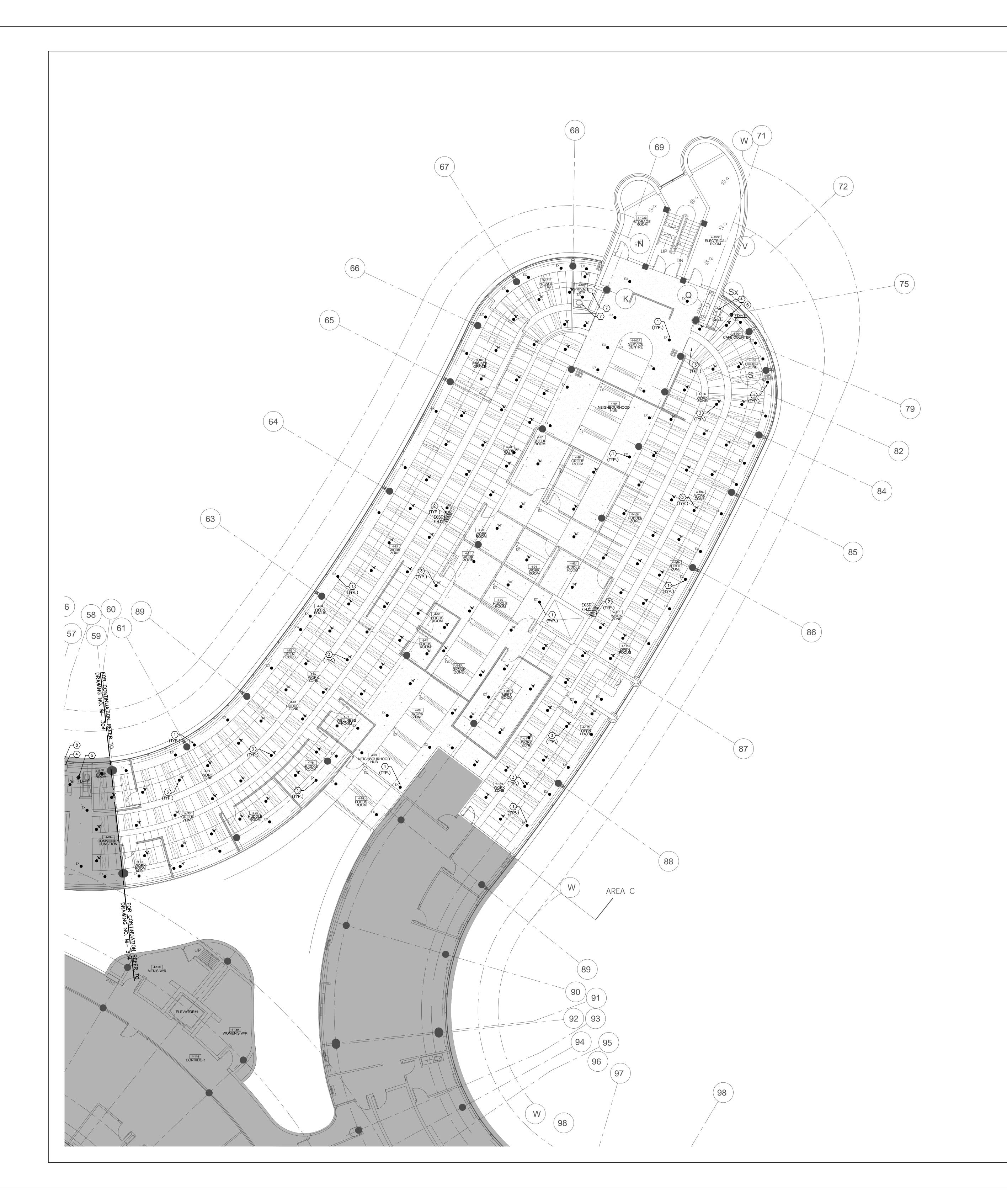
SCALE: 1:100m

S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'B' PLUMBING & FIRE PROTECTION **NEW LAYOUT**



1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

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- 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED. 6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
- 7. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL—UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7.00AM TO 3.00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING—UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
- 8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
- 9. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED. 10. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED,
- SEALED, CAPPED, AND MADE GOOD. 11. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
- 12. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13. 13.ALL SPRINKLER HEAD CONNECTIONS SHALL BE HARD PIPED. FLEXIBLE PIPING CONNECTION IS NOT ACCEPTABLE.

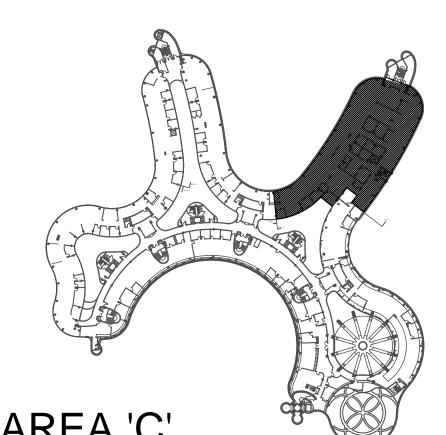
- (1) EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- 2 EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL) 3 PROVIDE NEW PENDANT SPRINKLER HEAD. (TYPICAL)
- PROVIDE NEW SINK 'S-1' C/W ASSOCIATED FAUCET, MODIFY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW SINK. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)

DRAWING NOTES

- PROVIDE NEW 500 FLOOR DRAIN 'FD-1' C/W ASSOCIATED SANITARY DRAIN PIPING.
 CONNECT NEW SANITARY DRAIN PIPE TO NEAREST EXISTING SANITARY LINE IN CEILING SPACE ON FLOOR BELOW. (TYPICAL)
- 6 PROVIDE NEW SEMI-RECESSED SPRINKLER HEAD. (TYPICAL)
- (7) EXISTING PLUMBING FIXTURE C/W ASSOCIATED PIPING TO REMAIN. (TYPICAL) PROVIDE AN ALLOWANCE TO EXTEND EXISTING HOT & COLD WATER PIPING, VENT PIPING & SANITARY DRAIN ON FLOOR BELOW FROM DEMOLISHED SINK TO NEW LOCATION OF NEW
- PROVIDE NEW HUB DRAIN IN CEILING SPACE AND CONNECT TO NEAREST SANITARY DRAIN PIPING AT THIS APPROXIMATE LOCATION.

NOTES

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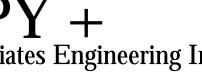
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SUBMISSION	DATE	DESCRIPTION
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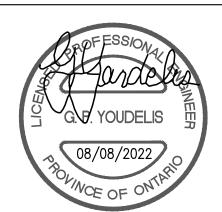
G.Bruce Stratton Architects

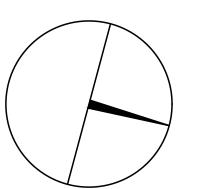
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146





Markham, Ontario L3R 8C5





Tel: 905 475 3138 Fax: 866 853 3732 email: engineering

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PROPERTY SERVICES

BUILDING & FACILITIES 4TH FLOOR: 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

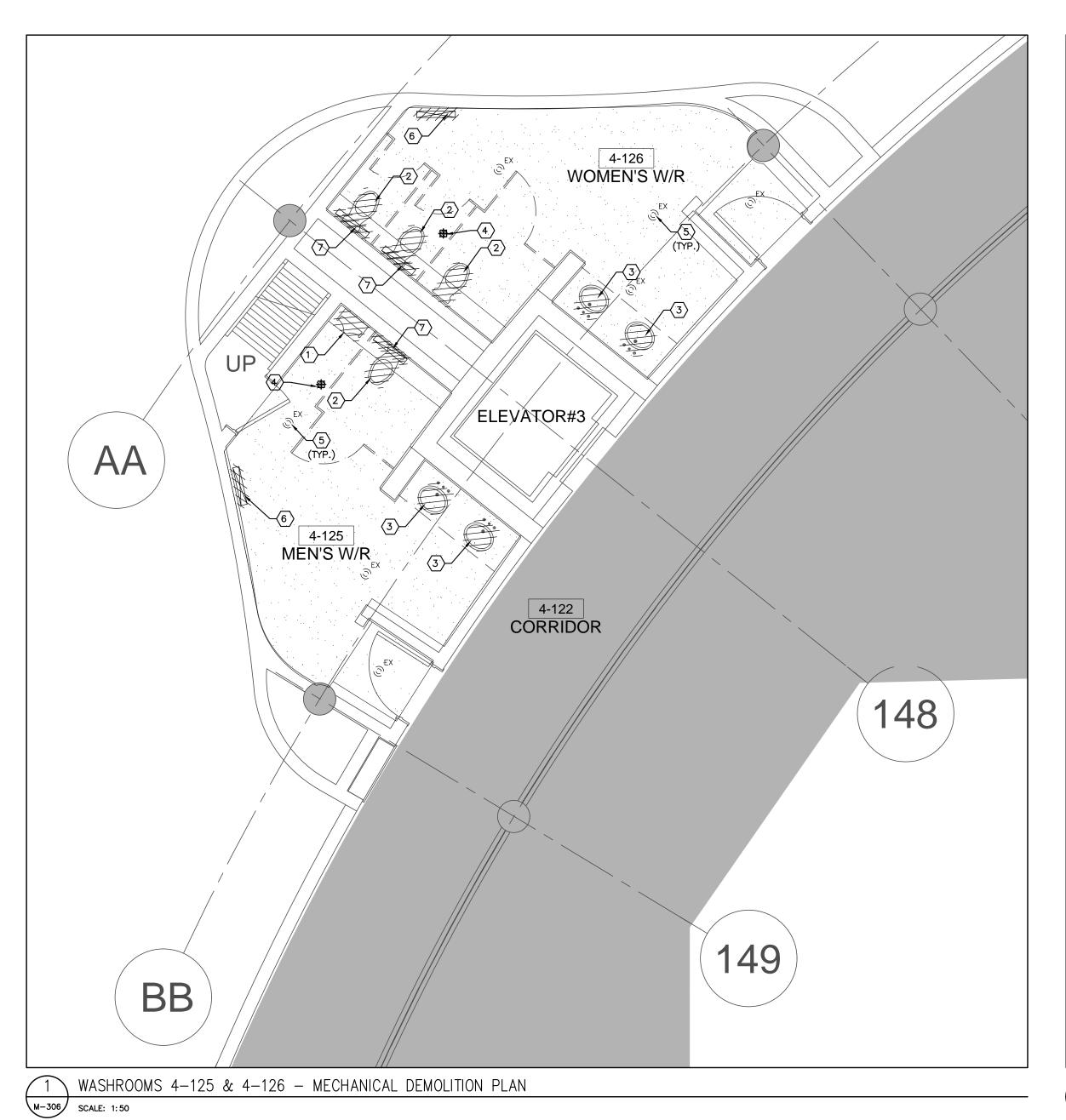
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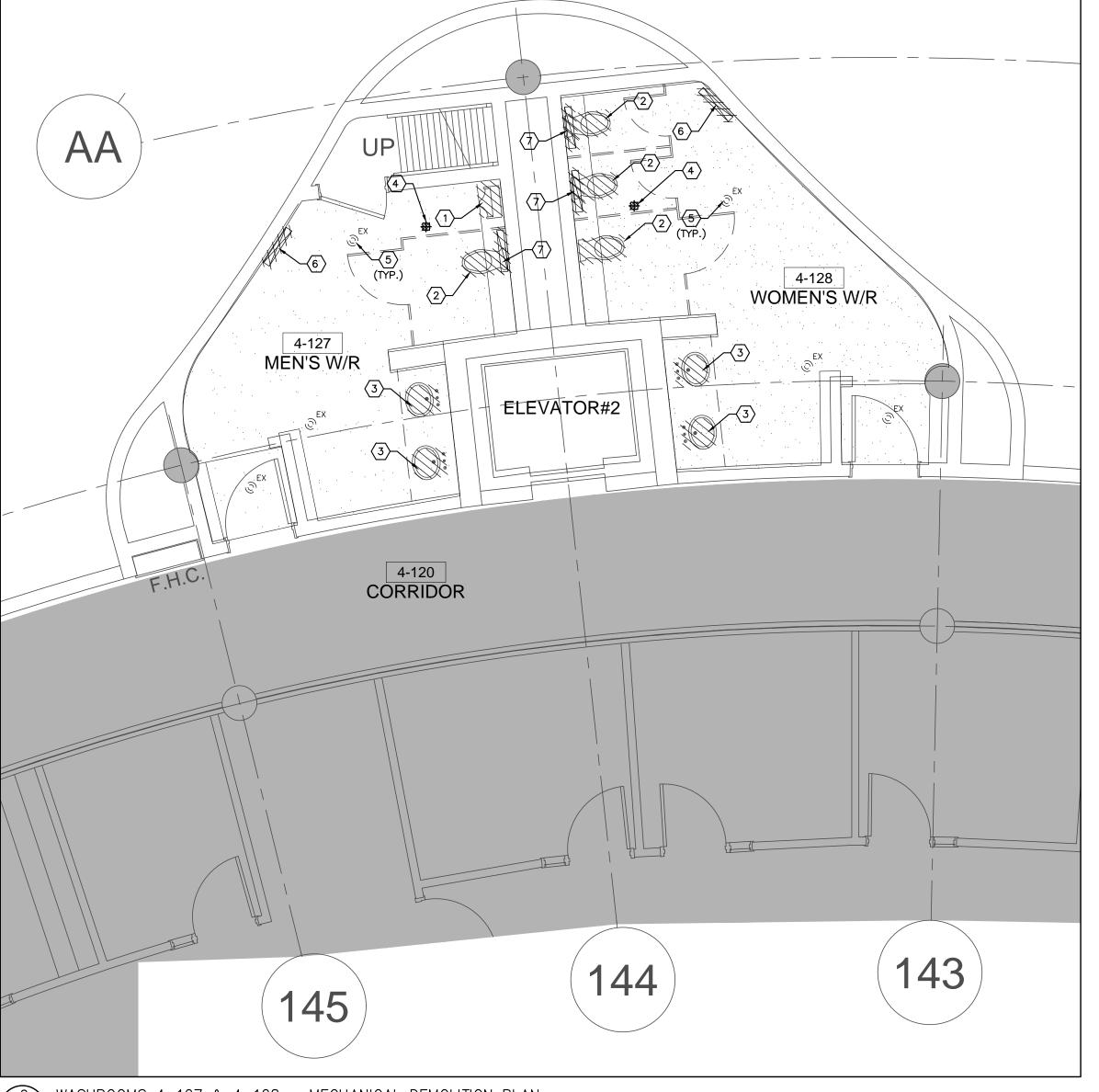
S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

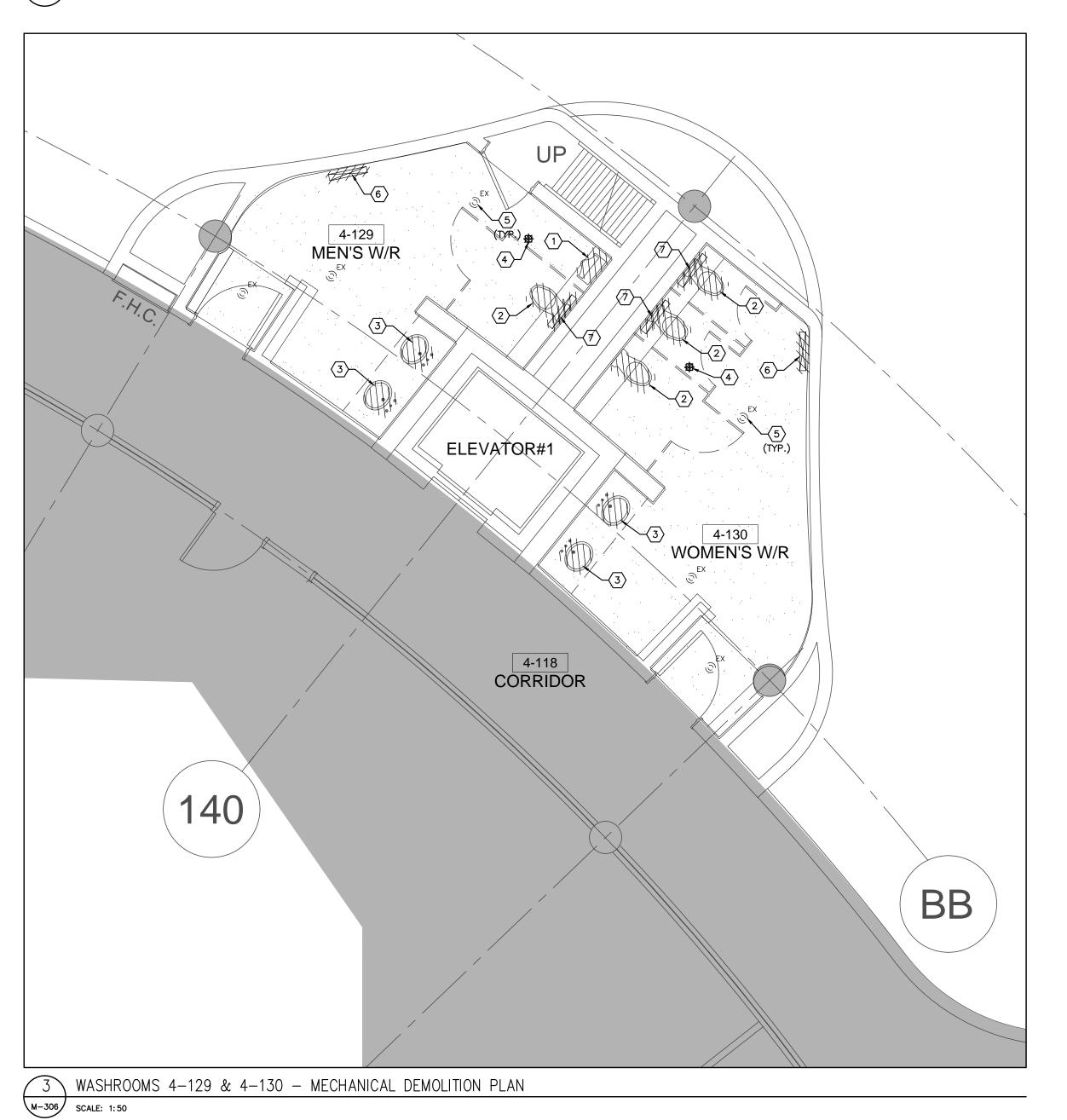
PARTIAL 4TH FLOOR AREA 'C' PLUMBING & FIRE PROTECTION **NEW LAYOUT**





WASHROOMS 4-127 & 4-128 - MECHANICAL DEMOLITION PLAN

SCALE: 1:50



GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
- ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.

 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL
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 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
- ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.

 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
- 6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
- PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE
- ACCESS PANELS/DOORS AS REQUIRED.

 9. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

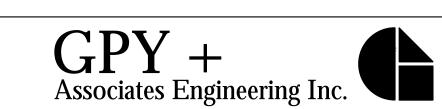
DRAWING NOTES

- EXISTING URINAL C/W ASSOCIATED FLUSH VALVE TO BE REMOVED. EXISTING PLUMBING PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. REPLACE EXISTING COPPER DRAIN PIPING INSIDE SHAFT WITH NEW PVC PIPE AND PROVIDE ROUGH—IN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- 2) EXISTING WATER CLOSET C/W ASSOCIATED FLUSH VALVE, FLOOR FLANGE AND CARRIER TO BE REMOVED. EXISTING PLUMBING & DRAINAGE PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- (3) EXISTING LAVATORY C/W ASSOCIATED FAUCET TO BE REMOVED. EXISTING PLUMBING & DRAINAGE PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- EXISTING FLOOR DRAIN TO BE REMOVED. EXISTING DRAINAGE PIPING TO REMAIN FOR NEW FLOOR DRAIN INSTALLATION. (TYPICAL)
- 5 EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- EXISTING SUPPLY AIR GRILLES TO BE REMOVED. EXISTING CONNECTED DUCTWORK TO REMAIN FOR INSTALLATION OF NEW SUPPLY AIR SLOT. (TYPICAL)
- EXISTING EXHAUST AIR GRILLES TO BE REMOVED. EXISTING CONNECTED DUCTWORK TO REMAIN FOR INSTALLATION OF NEW EXHAUST GRILLES. (TYPICAL)

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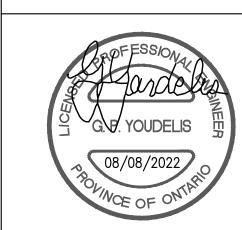
G.Bruce Stratton Architects

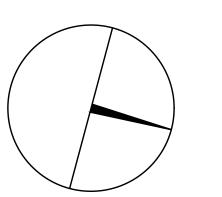
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145



facsimile: 416.351.8146

90C Centurian Driv Unit 6 Markham, Ontario L3R 8C5 Tel: 905 475 3138
Fax: 866 853 3732
email: engineering
@gpyengineering.com







PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE:

DRAWN BY: S.P.R./G.G.

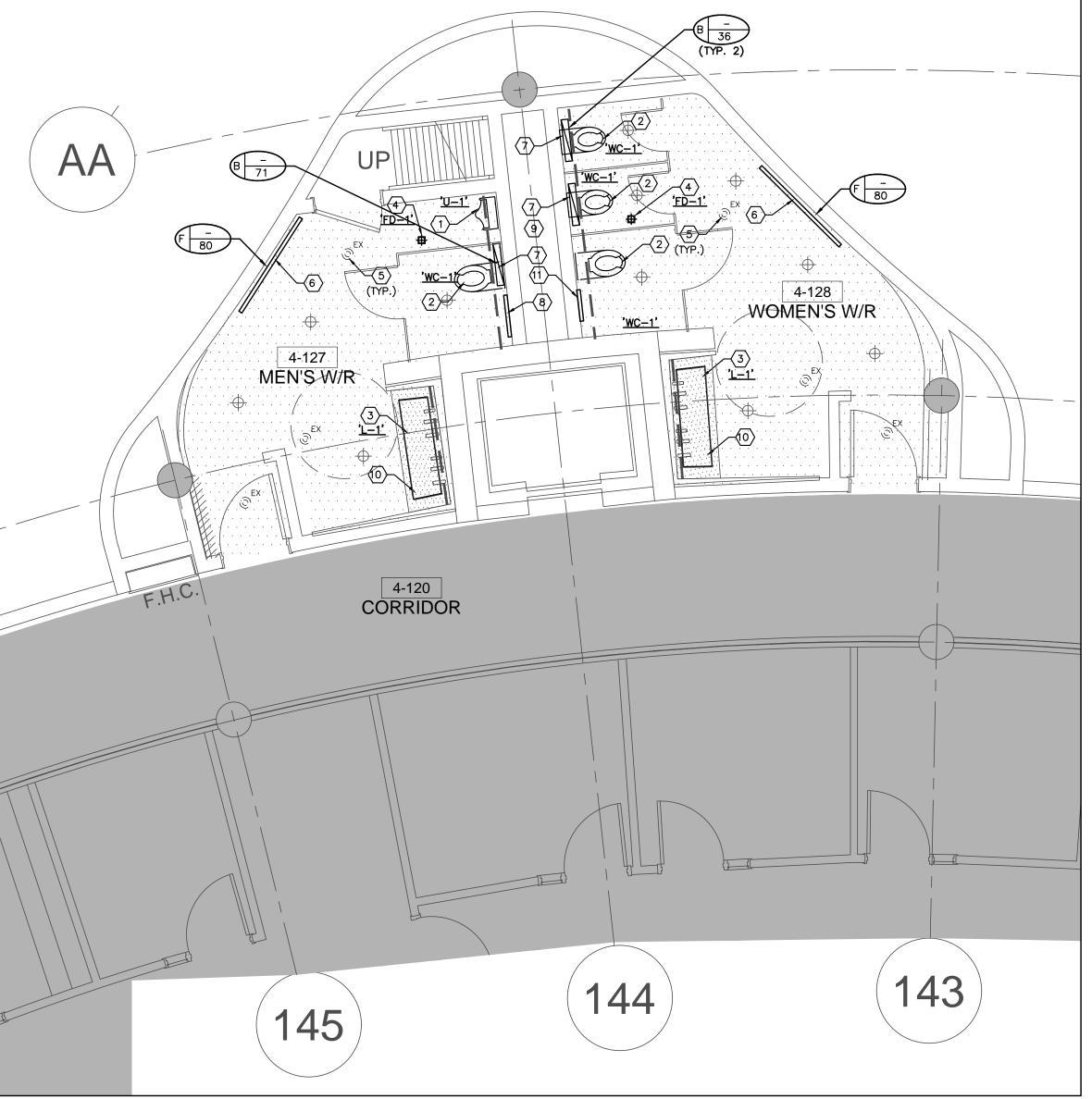
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

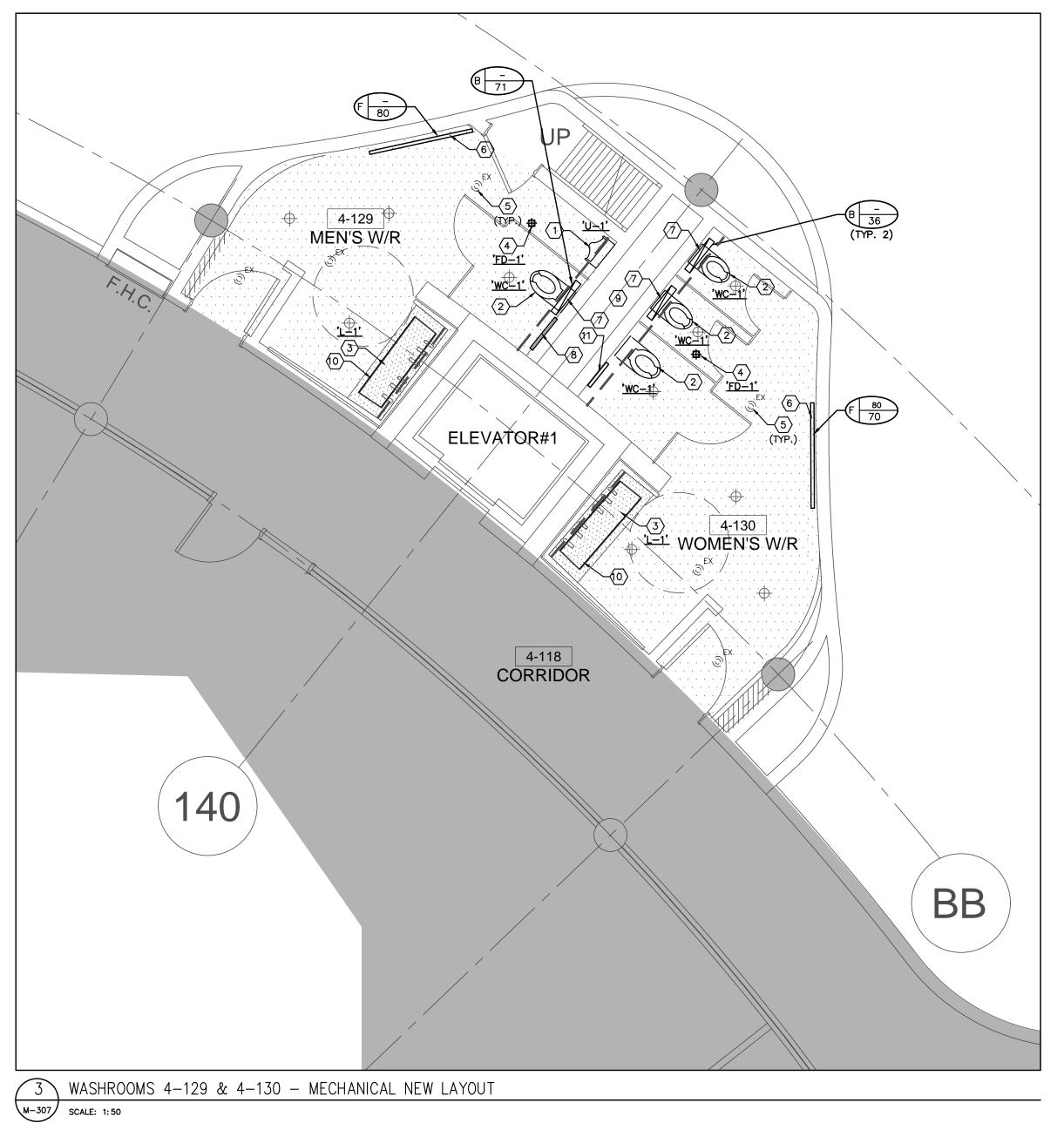
4TH FLOOR WASHROOMS
MECHANICAL
DEMOLITION PLAN

SHEET NUMBER:





2 WASHROOMS 4-127 & 4-128 - MECHANICAL NEW LAYOUT



GENERAL NOTES

- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION. 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY
- 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES. 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
- 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED. 6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
- 7. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE
- 8. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED. 9. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL

10. PROVIDE NEW ISOLATION VALVES FOR ALL PLUMBING FIXTURES.

DRAWING NOTES

- PROVIDE NEW URINAL '<u>U-1'</u> C/W ASSOCIATED FLUSH VALVE AND PIPING.
 MODIFY/EXTEND EXISTING COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY VENT
 PIPING TO SUIT INSTALLATION OF NEW FIXTURE. PROVIDE NEW CLEAN-OUT. (TYPICAL)
- 2 PROVIDE NEW WATER CLOSET 'WC-1' C/W ASSOCIATED FLUSH VALVE, CARRIER AND PIPING. MODIFY/EXTEND EXISTING COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY VENT PIPING TO SUIT INSTALLATION OF NEW FIXTURE. PROVIDE NEW FLOOR FLANGE AND GASKETS AS REQUIRED. (TYPICAL)
- PROVIDE NEW LAVATORY 'L-1' C/W ASSOCIATED FAUCET AND SOAP DISPENSER.

 MODIFY/EXTEND EXISTING HOT & COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY
 VENT PIPING TO SUIT INSTALLATION OF NEW FIXTURE. PROVIDE NEW SHUT-OFF VALVES AND P-TRAP. P-TRAP SHALL BE ADJUSTABLE AND HAVE CLEANOUT PLUG ON THE BOTTOM OF THE TRAP. (TYPICAL). LAVATORY SHALL BE ONLY INSTALLED BY LOVAIR TRAINED PERSONNEL. FAUCET AND HAND SOAP DISPENSER TO BE INSTALLED BY MECHANICAL TRADES AND ELECTRICAL CONNECTION BY DIV. 16. (SEE ADDITIONAL NOTES
- PROVIDE NEW FLOOR DRAIN <u>'FD-1'</u> C/W BODY & ADJUSTABLE STRAINER COVER AND CONNECT TO EXISTING DRAIN PIPING. FLOOR DRAIN TO BE FLUSHED MOUNT WITH NEW FINISH FLOOR LEVEL. SIZE OF FLOOR DRAIN SAME AS EXISTING. (TYPICAL)
- 5 EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- NEW ARCHITECTURAL PLENUM SLOT DIFFUSER, MODIFY/EXTEND EXISTING DUCTWORK TO SUIT INSTALLATION OF NEW DIFFUSER. RE-BALANCE TO NEW AIR QUANTITY AS INDICATED. SLOT DIFFUSER BY ARCHITECTURAL DIVISION (TYPICAL)
- PROVIDE NEW TYPE 'B' EXHAUST AIR GRILLES C/W FACE ADJUSTABLE BALANCING DAMPER. PRIOR TO ORDERING, VERIFY EXACT SIZE OF GRILLE WITH DUCT FLANGE ON SITE. MODIFY/EXTEND EXISTING DUCTWORK AS REQUIRED. (TYPICAL)
- PROVIDE NEW 600x600 ACCESS PANEL ON WALL FOR ACCESSING MECHANICAL CHASE AREA FOR MAINTENANCE PURPOSES. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. EXACT LOCATION TO BE VERIFIED ON SITE. (TYPICAL)
- PROVIDE A SEPARATE PRICE FOR REPLACEMENT OF ALL SANITARY PIPING BACK TO SANITARY RISERS WITHIN THE MECHANICAL CHASE AREA. PRICE TO INCLUDE PROVIDING ADDITIONAL 6 METERS OF PIPING.
- PROVIDE NEW HOT & COLD WATER HOSE BIBB UNDER LAVATORY PROVIDE NEW 300x450 ACCESS PANEL ON WALL FOR MECHANICAL SERVICES. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. EXACT LOCATION TO BE VERIFIED ON SITE. (4 PCS PER WOMEN'S WASHROOM). ACCESS PANEL SHALL BE POWDER WHITE COATED.

PRIOR TO INSTALLATION OF LAVATORY FAUCET AND SOAP DISPENSER, CONTRACTOR SHALL PROVIDE A SKETCH SHOWING PIPING ARRANGEMENT, WRING ROUTING AND CLEARANCES FOR ACCESSING EQUIPMENT FOR MAINTENANCE OR SERVICING. THE SKETCH SHALL BE SUBMITTED TO YORK REGION'S PM FOR REVIEW AND APPROVAL. WORK SHALL NOT PROCEED WITHOUT YORK REGION'S PM APPROVAL AND DIRECTIONS.

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1	03-14-2022	ISSUED FOR 60% REVIEW
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G.Bruce Stratton Architects

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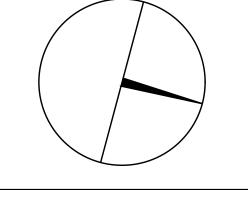




90C Centurian Drive Markham, Ontario L3R 8C5









PROPERTY SERVICES

BUILDING & FACILITIES DEPARTMENT: FLOOR: 4TH 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: AS NOTED

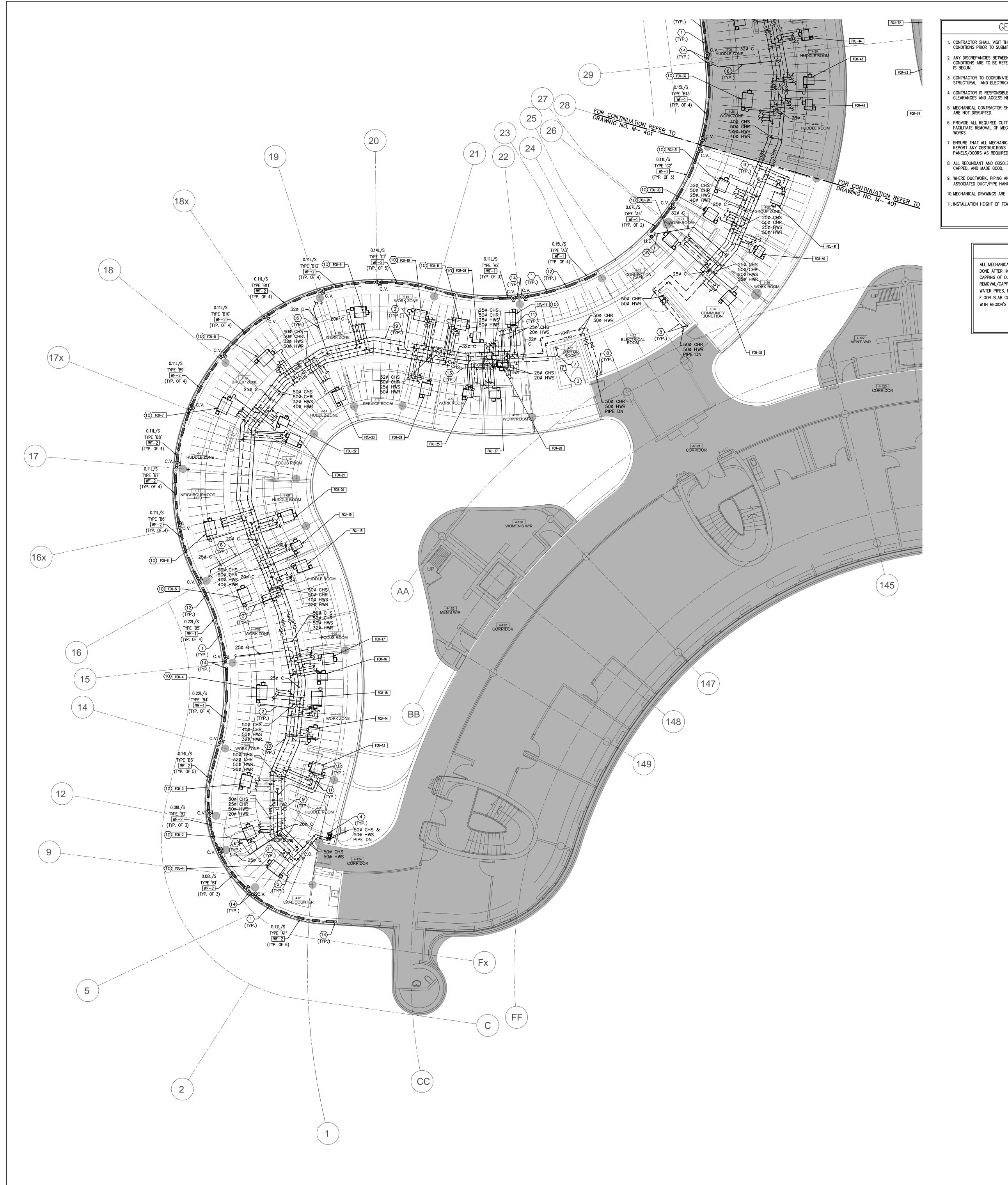
SHEET TITLE:

S.P.R./G.G.

MUNICIPALITY OF YORK

4TH FLOOR WASHROOMS MECHANICAL

NEW LAYOUT



- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

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- 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.
 REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS
- PANELS/DOORS AS REQUIRED.

 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED,
- WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
 INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". (TYPICAL FOR ALL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

DRAWING NOTES

- NEW FLOOR MOUNTED WALL—FIN CABINET RADIATOR C/W ENCLOSURE. PROVIDE NEW HEATING WATER PIPE AND CONNECT TO NEW/EXISTING HEATING WATER PIPE IN THIRD FLOOR CEILING SPACE. REFER TO DETAIL NO. 3 & 4/M—104. (TYPICAL)

 PROVIDE NEW CONDENSATE DRAIN C/W P—TRAP TO SERVE FAN COIL UNIT AND EXTEND
- NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.

AS SHOWN. SIZE PIPE AS INDICATED. (TYPICAL)

- DROP NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING SERVICES. REFER TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
- > INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIE TO HUB DRAIN NEAR SINK
 > CONNECT NEW CONDENSATE DRAIN PIPE TO EXISTING STORM DRAIN PIPING IN CEILING
- SPACE AT THIS APPROXIMATE LOCATION. PIPE SHALL BE CONNECTED VERTICALLY. (TYPICAL)

 TERMINATE NEW CONDENSATE DRAIN PIPE AT EXISTING JANITOR'S SINK. PROVIDE FLOOD
- SENSOR IN JAN. CLOSET. (TYPICAL).

 B) DROP NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISER AT ELECTRICAL ROOM. REFER
- TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.

 PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)
- AS POSSIBLE. PROVIDE UNIT SUPPORTS AS REQUIRED. (TYPICAL)

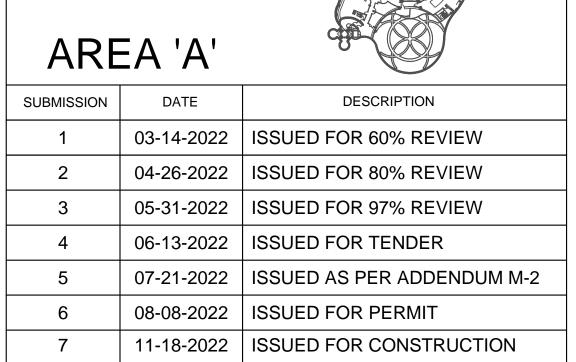
 PROVIDE NEW 25¢ CHILLED WATER SUPPLY/RETURN WATER PIPE & 20¢ HEATING WATER SUPPLY/ RETURN PIPE TO NEW FAN COIL UNIT C/W ISOLATION VALVE, BALANCING

NEW FAN COIL UNIT IN CEILING SPACE. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH

- SUPPLY/ RETURN PIPE TO NEW FAN COIL UNIT C/W ISOLATION VALVE, BALANCING VALVE, CONTROL VALVE AND CONTROL WIRING. (TYPICAL)
- NEW WALL FIN RAD ENCLOSURE SHALL BE CONTINUOUS FROM WALL TO WALL. PROVIDE END CAPS NEAR WALL AS REQUIRED. ENCLOSURE SHALL HAVE ACCESS PANEL WHERE CONTROL VALVES ARE LOCATED. ENCLOSURE SHALL BE ACCESSIBLE AT ALL TIMES.

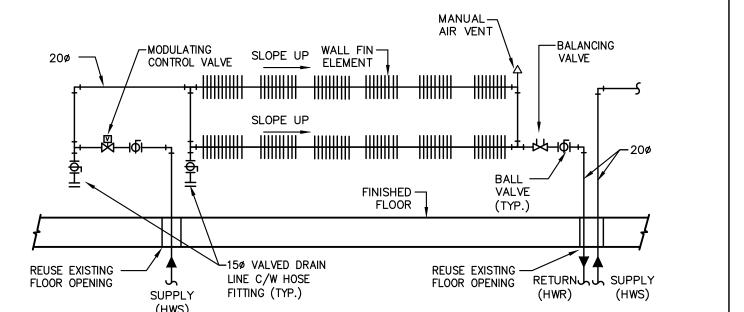
 AT EACH CHANGE OF DIRECTION ON CHILLED WATER PIPING CONTRACTOR TO PROVIDE.
- AT EACH CHANGE OF DIRECTION ON CHILLED WATER PIPING CONTRACTOR TO PROVIDE OFFSET AS PER MECHANICAL DETAIL NO. 10/M-104. (TYPICAL)
- NEW 200 HEATING SUPPLY/RETURN PIPE FROM NEW/EXISTING HEATING SUPPLY/RETURN PIPE MAIN LOCATED IN THIRD FLOOR CEILING SPACE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/ DRILLING/ FIRE—STOPPING AS REQUIRED. CONTRACTOR TO ENSURE ALL PIPING ARE ENCLOSED WITHIN RAD ENCLOSURE. PROVIDE ALL NECESSARY
- ENSURE ALL PIPING ARE ENCLOSED WITHIN RAD ENCLOSURE. PROVIDE ALL NE FITTING/PIPE EXTENSION AS REQUIRED.

15) INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIPE TO HUB DRAIN NEAR SINK

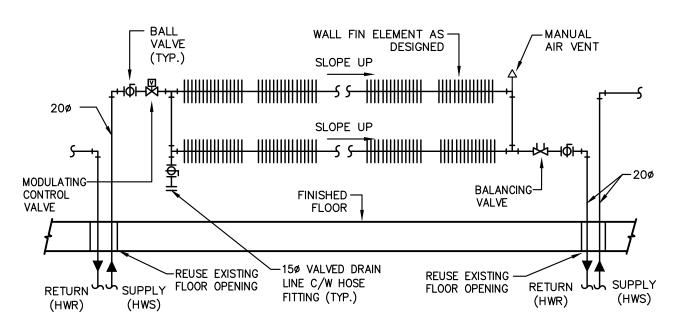


G.Bruce Stratton Architects

217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146

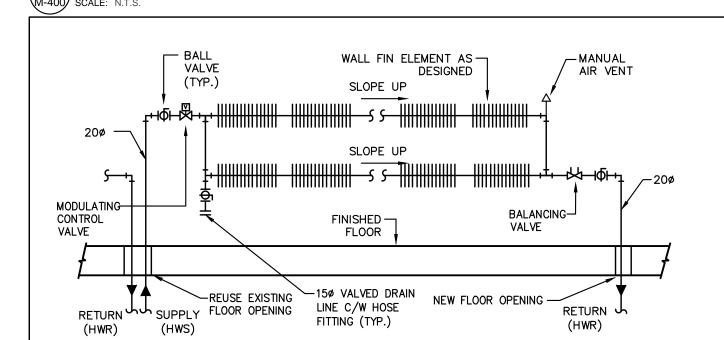


TYPE 'A1 TO A4' WALL FIN RADIATION PIPING SCHEMATIC
M-400 SCALE: N.T.S.

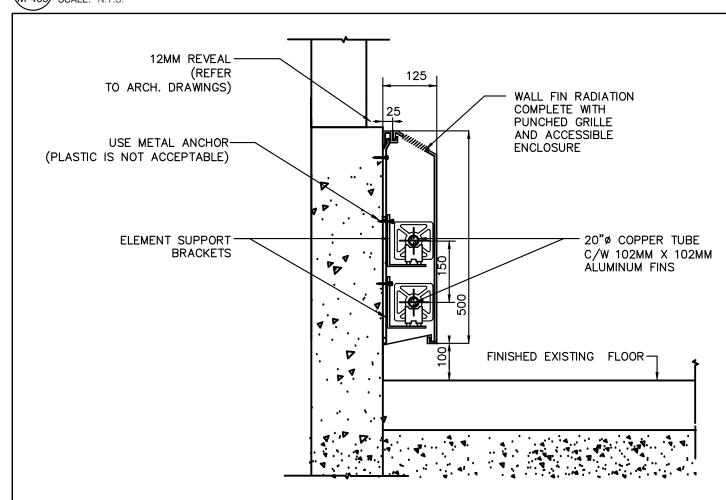


TYPE 'B1' TO 'B12' WALL FIN RADIATION PIPING SCHEMATIC

M-400 SCALE: N.T.S.



3 TYPE 'C1' & 'C2' WALL FIN RADIATION PIPING SCHEMATIC
M-400 SCALE: N.T.S.

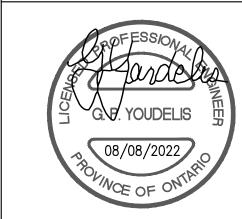


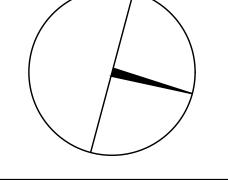
4 DOUBLE WALL FIN RADIATION DETAIL
M-400 SCALE: N.T.S.



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Tel: 905 475 3138
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email: engineering
@gpyengineering.com







PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

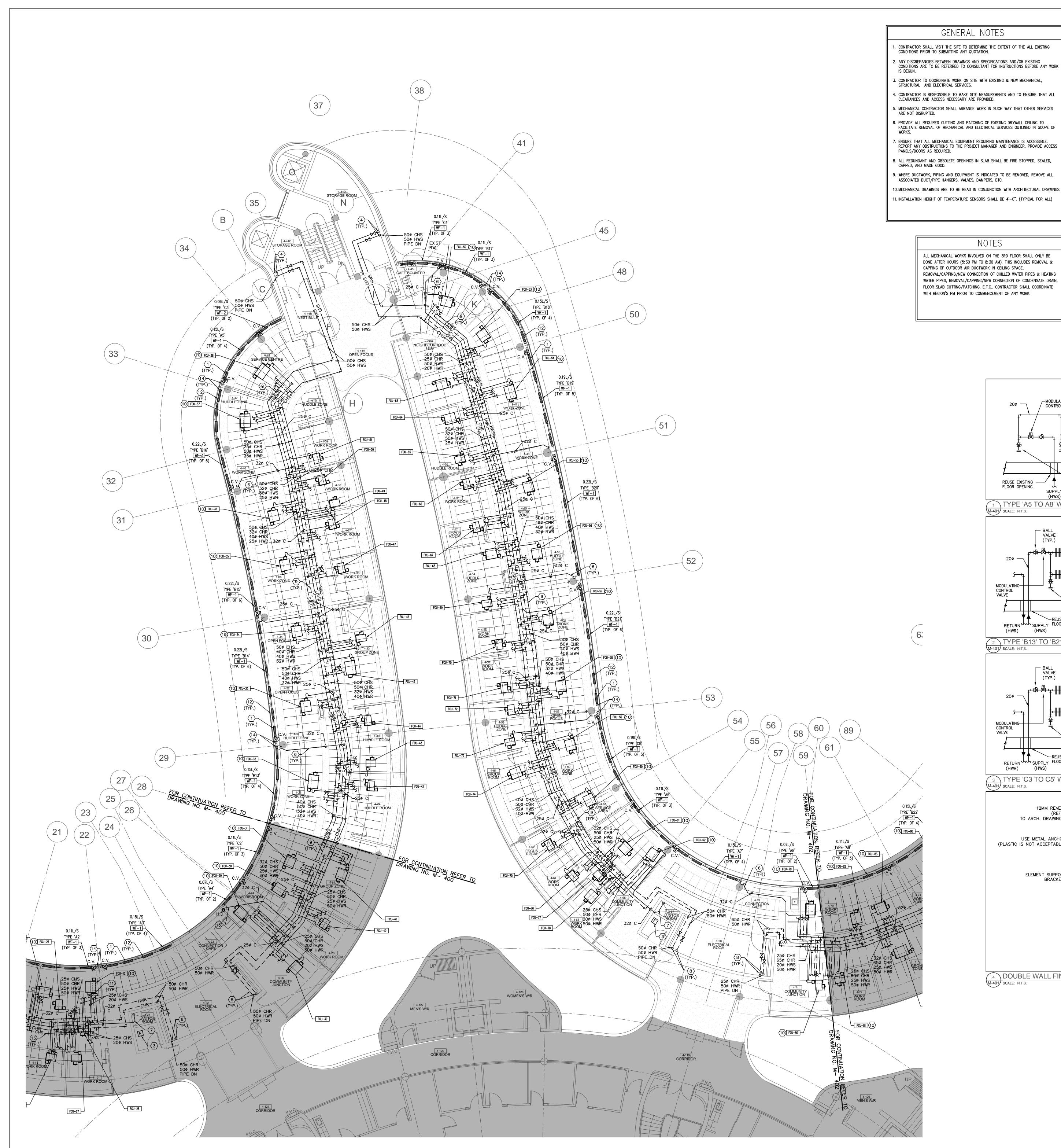
DRAWN BY: S.P.R./G.G.

BMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR
AREA 'A'
HYDRONIC NEW LAYOUT

SHEET NUMBER:



- 1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
- 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
- 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
- 6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF
- 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS
- 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED,
- ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC. 10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. 11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". (TYPICAL FOR ALL)

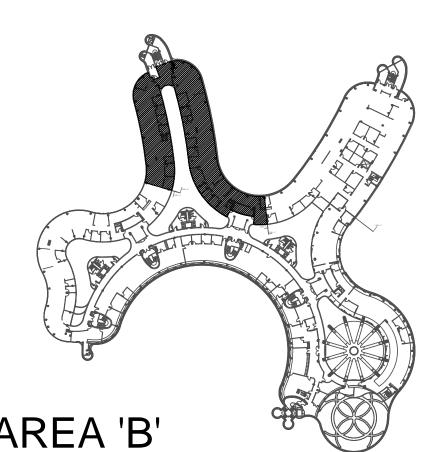
ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

DRAWING NOTES

- NEW FLOOR MOUNTED WALL-FIN CABINET RADIATOR C/W ENCLOSURE. PROVIDE NEW HEATING WATER PIPE AND CONNECT TO NEW/EXISTING HEATING WATER PIPE IN THIRD FLOOR CEILING SPACE. REFER TO DETAIL NO. 3 & 4/M-104. (TYPICAL)
- AS SHOWN. SIZE PIPE AS INDICATED. (TYPICAL) NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL

PROVIDE NEW CONDENSATE DRAIN C/W P-TRAP TO SERVE FAN COIL UNIT AND EXTEND

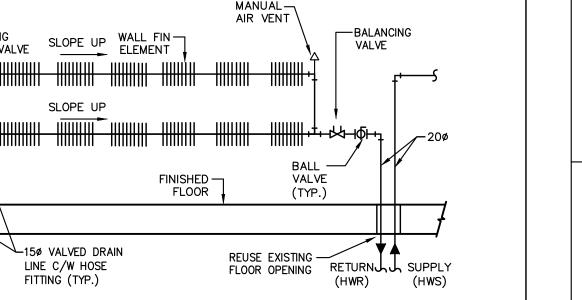
- WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
- DROP NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING SERVICES. REFER TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
- INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIE TO HUB DRAIN NEAR SINK CONNECT NEW CONDENSATE DRAIN PIPE TO EXISTING STORM DRAIN PIPING IN CEILING
- SPACE AT THIS APPROXIMATE LOCATION. PIPE SHALL BE CONNECTED VERTICALLY. TERMINATE NEW CONDENSATE DRAIN PIPE AT EXISTING JANITOR'S SINK. PROVIDE FLOOD
- SENSOR IN JAN. CLOSET. (TYPICAL). DROP NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISER AT ELECTRICAL ROOM. REFER
- TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)
- NEW FAN COIL UNIT IN CEILING SPACE. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. PROVIDE UNIT SUPPORTS AS REQUIRED. (TYPICAL) PROVIDE NEW 250 CHILLED WATER SUPPLY/RETURN WATER PIPE & 200 HEATING WATER
- SUPPLY/ RETURN PIPE TO NEW FAN COIL UNIT C/W ISOLATION VALVE, BALANCING VALVE, CONTROL VALVE AND CONTROL WIRING. (TYPICAL)
- NEW WALL FIN RAD ENCLOSURE SHALL BE CONTINUOUS FROM WALL TO WALL. PROVIDE END CAPS NEAR WALL AS REQUIRED. ENCLOSURE SHALL HAVE ACCESS PANEL WHERE CONTROL VALVES ARE LOCATED. ENCLOSURE SHALL BE ACCESSIBLE AT ALL TIMES.
- AT EACH CHANGE OF DIRECTION ON CHILLED WATER PIPING CONTRACTOR TO PROVIDE OFFSET AS PER MECHANICAL DETAIL NO. 10/M-104. (TYPICAL)
- 4 NEW 200 HEATING SUPPLY/RETURN PIPE FROM NEW/EXISTING HEATING SUPPLY/RETURN PIPE MAIN LOCATED IN THIRD FLOOR CEILING SPACE. PROVIDE AN ALLOWANCE FOR
- FLOOR SLAB CUTTING/ DRILLING/ FIRE-STOPPING AS REQUIRED. CONTRACTOR TO ENSURE ALL PIPING ARE ENCLOSED WITHIN RAD ENCLOSURE. PROVIDE ALL NECESSARY FITTING/PIPE EXTENSION AS REQUIRED.
- 15) Indirectly terminate New Condensate Drain Pipe to Hub Drain Near Sink



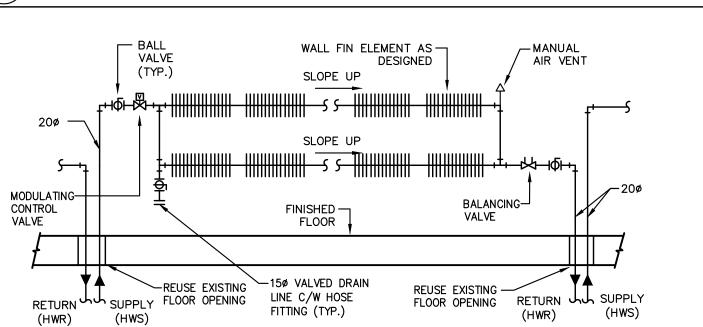
SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

G.Bruce Stratton Architects

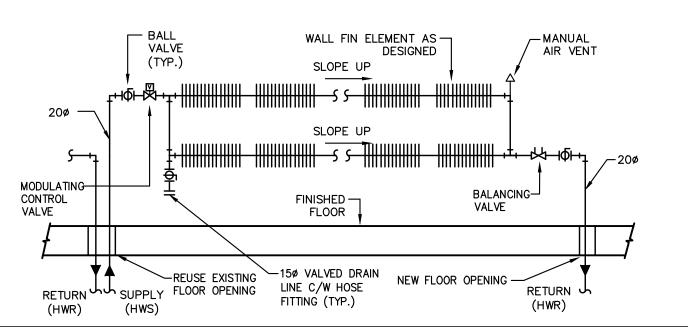
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



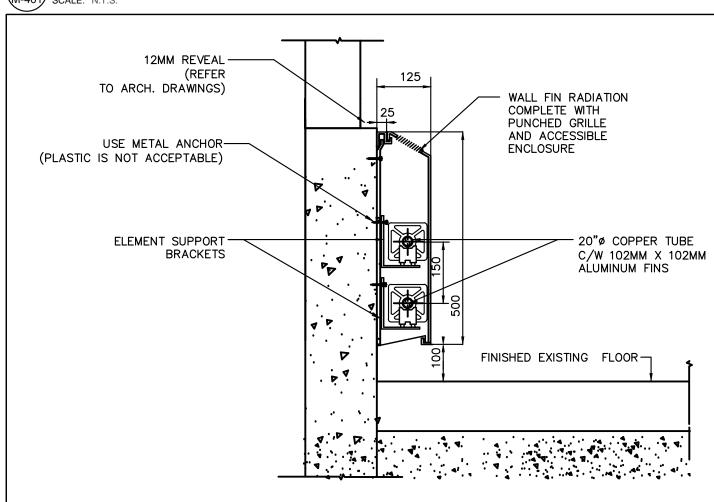
TYPE 'A5 TO A8' WALL FIN RADIATION PIPING SCHEMATIC
M-401 SCALE: N.T.S.



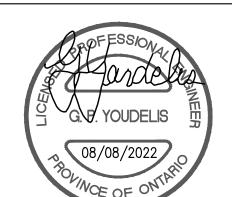
TYPE 'B13' TO 'B21' WALL FIN RADIATION PIPING SCHEMATIC
M-401 SCALE: N.T.S.

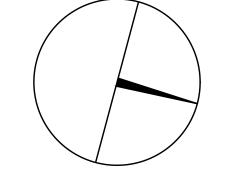


3 TYPE 'C3 TO C5' WALL FIN RADIATION PIPING SCHEMATIC
M-401 SCALE: N.T.S.



4 DOUBLE WALL FIN RADIATION DETAIL
M-401 SCALE: N.T.S.





Tel: 905 475 3138 Fax: 866 853 3732



PROPERTY SERVICES

BUILDING & FACILITIES FLOOR: 01-01-2022 BASE DATE: PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

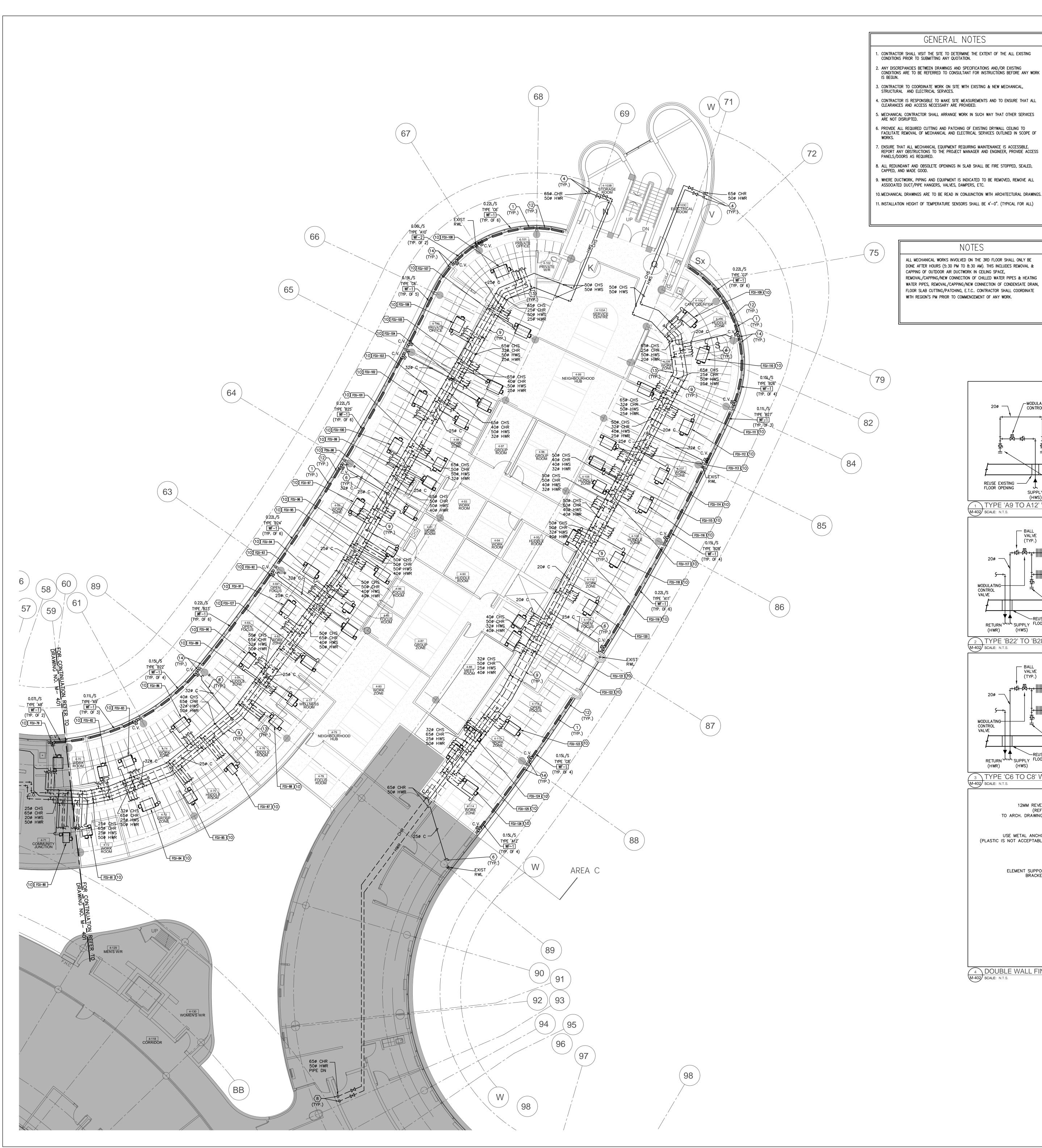
SCALE: 1:100m

S.P.R./G.G. DRAWN BY:

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'B' HYDRONIC NEW LAYOUT



DRAWING NOTES

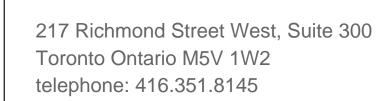
- 1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
- 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL,

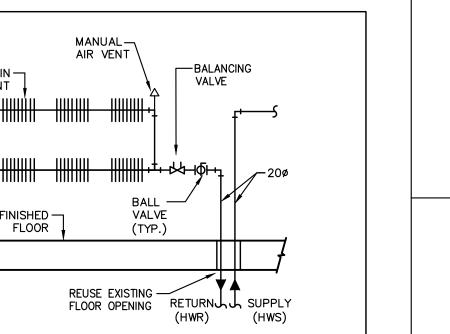
- 6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO
- 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.
- 9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
- 10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS. 11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". (TYPICAL FOR ALL)

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING NEW FLOOR MOUNTED WALL-FIN CABINET RADIATOR C/W ENCLOSURE. PROVIDE NEW HEATING WATER PIPE AND CONNECT TO NEW/EXISTING HEATING WATER PIPE IN THIRD FLOOR CEILING SPACE. REFER TO DETAIL NO. 3 & 4/M-104. (TYPICAL)

PROVIDE NEW CONDENSATE DRAIN C/W P-TRAP TO SERVE FAN COIL UNIT AND EXTEND

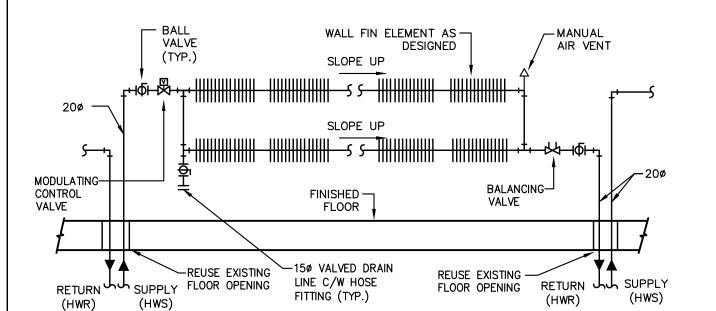
- AS SHOWN. SIZE PIPE AS INDICATED. (TYPICAL) NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL
- WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
- DROP NEW CHILLED WATER SUPPLY & HEATING WATER SUPPLY PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING SERVICES. REFER TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE.
- INDIRECTLY TERMINATE NEW CONDENSATE DRAIN PIE TO HUB DRAIN NEAR SINK
- CONNECT NEW CONDENSATE DRAIN PIPE TO EXISTING STORM DRAIN PIPING IN CEILING SPACE AT THIS APPROXIMATE LOCATION. PIPE SHALL BE CONNECTED VERTICALLY.
- TERMINATE NEW CONDENSATE DRAIN PIPE AT EXISTING JANITOR'S SINK. PROVIDE FLOOD SENSOR IN JAN. CLOSET. (TYPICAL). DROP NEW CHILLED WATER RETURN & HEATING WATER RETURN PIPES DOWN TO 3RD FLOOR CEILING SPACE AND CONNECT TO EXISTING RISER AT ELECTRICAL ROOM. REFER
- TO 3RD FLOOR MECHANICAL NEW LAYOUT. EXACT LOCATION TO BE CONFIRMED ON SITE. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)
- NEW FAN COIL UNIT IN CEILING SPACE. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. PROVIDE UNIT SUPPORTS AS REQUIRED. (TYPICAL) PROVIDE NEW 250 CHILLED WATER SUPPLY/RETURN WATER PIPE & 200 HEATING WATER
- SUPPLY/ RETURN PIPE TO NEW FAN COIL UNIT C/W ISOLATION VALVE, BALANCING VALVE, CONTROL VALVE AND CONTROL WIRING. (TYPICAL) NEW WALL FIN RAD ENCLOSURE SHALL BE CONTINUOUS FROM WALL TO WALL. PROVIDE
- END CAPS NEAR WALL AS REQUIRED. ENCLOSURE SHALL HAVE ACCESS PANEL WHERE CONTROL VALVES ARE LOCATED. ENCLOSURE SHALL BE ACCESSIBLE AT ALL TIMES.
- AT EACH CHANGE OF DIRECTION ON CHILLED WATER PIPING CONTRACTOR TO PROVIDE OFFSET AS PER MECHANICAL DETAIL NO. 10/M-104. (TYPICAL)
- NEW 200 HEATING SUPPLY/RETURN PIPE FROM NEW/EXISTING HEATING SUPPLY/RETURN PIPE MAIN LOCATED IN THIRD FLOOR CEILING SPACE. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/ DRILLING/ FIRE-STOPPING AS REQUIRED. CONTRACTOR TO ENSURE ALL PIPING ARE ENCLOSED WITHIN RAD ENCLOSURE. PROVIDE ALL NECESSARY
- FITTING/PIPE EXTENSION AS REQUIRED. 15) Indirectly terminate New Condensate Drain Pipe to Hub Drain Near Sink



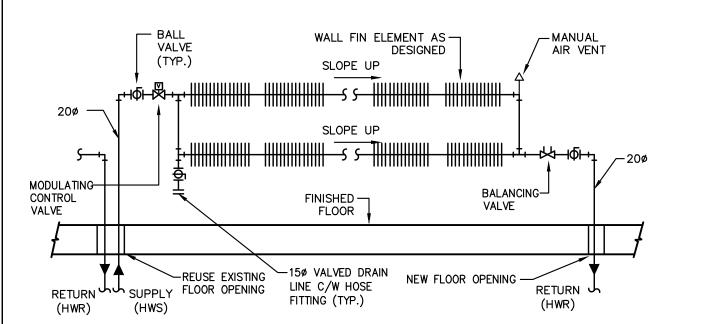


TYPE 'A9 TO A12' WALL FIN RADIATION PIPING SCHEMATIC
M-402 SCALE: N.T.S.

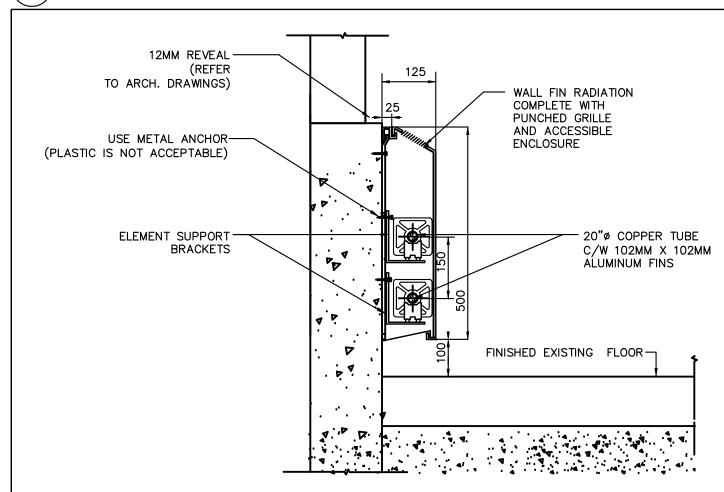
15ø VALVED DRAIN LINE C/W HOSE FITTING (TYP.)



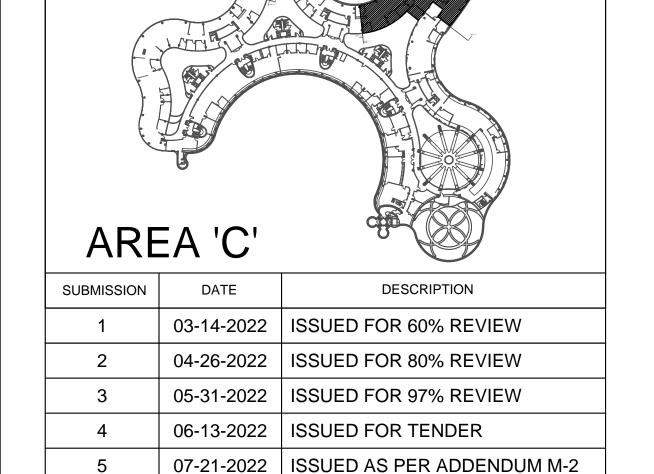
TYPE 'B22' TO 'B28' WALL FIN RADIATION PIPING SCHEMATIC
M-402 SCALE: N.T.S.



3 TYPE 'C6 TO C8' WALL FIN RADIATION PIPING SCHEMATIC SCALE: N.T.S.



4 DOUBLE WALL FIN RADIATION DETAIL
M-402 SCALE: N.T.S.



08-08-2022 | ISSUED FOR PERMIT

11-18-2022 | ISSUED FOR CONSTRUCTION

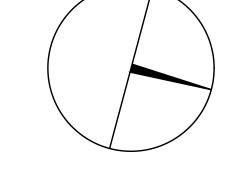
G.Bruce Stratton Architects

facsimile: 416.351.8146

08/08/2022

Tel: 905 475 3138 Fax: 866 853 3732







PROPERTY SERVICES

BUILDING & FACILITIES FLOOR: 01-01-2022 BASE DATE:

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

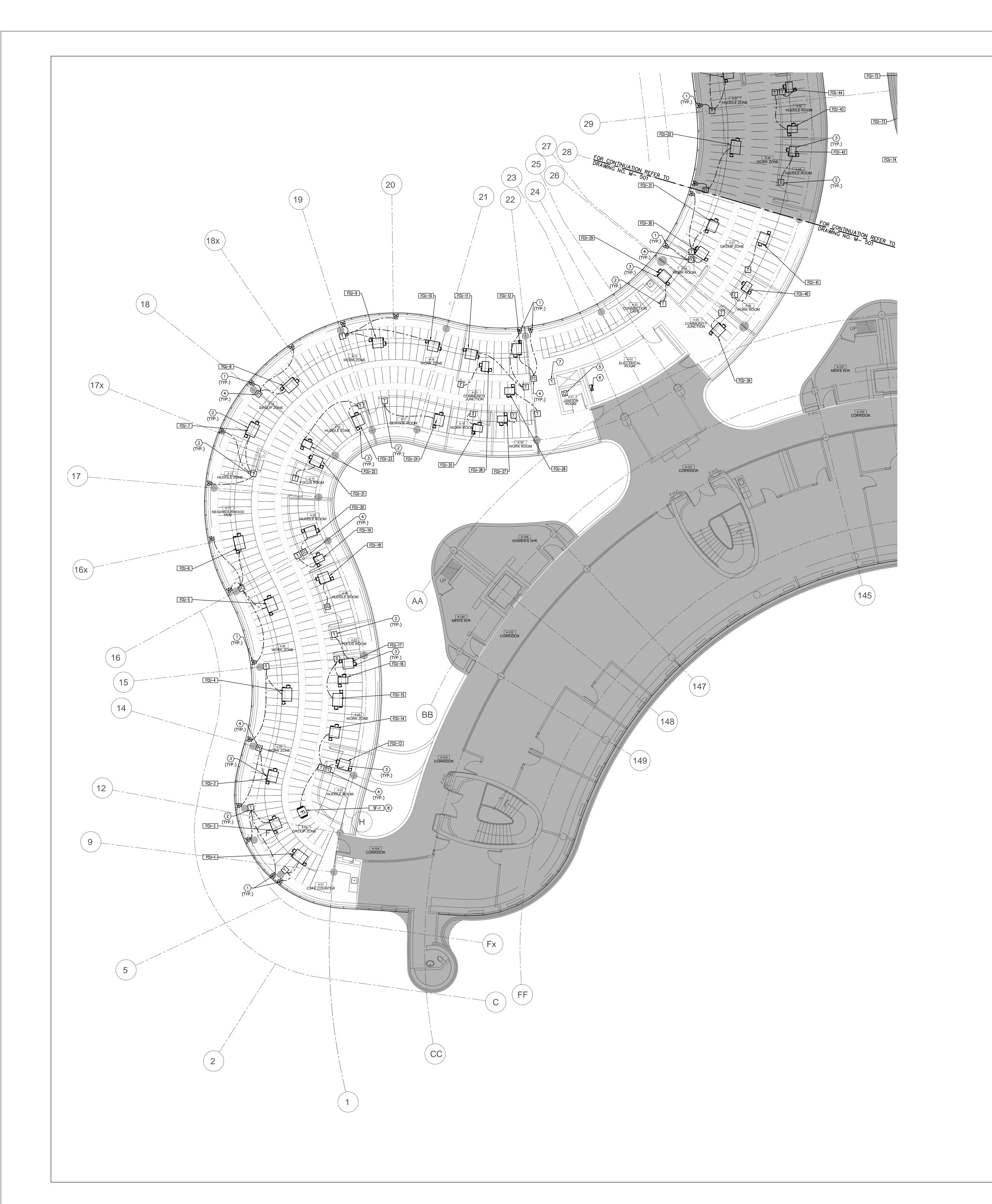
SCALE: 1:100m

S.P.R./G.G. DRAWN BY:

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'B' HYDRONIC NEW LAYOUT



CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

 ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.

CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
 MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.

 PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.
REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS
PANELS/DOORS AS REQUIRED.

8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.

9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

NOTES

11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". (TYPICAL FOR ALL)

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

DRAWING NOTES

- NEW CONTROL VALVE FOR PERIMETER RADIATOR. CONTROL VALVE SHALL BE CONNECTED TO ASSOCIATED CONTROLLER AS SHOWN. (TYPICAL)

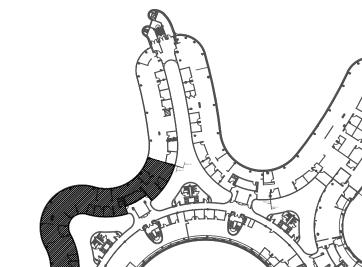
 NEW TEMPERATURE SENSOR. PROVIDE CONTROL WIRING AS REQUIRED. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)
- CONTROL WIRING AND TRANSFORMER AS REQUIRED. CONTROLLER SHALL BE INSTALLED INSIDE FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER. (TYPICAL)

 AND DEMONSTRATINGS SENSOR WITH CO. SENSOR PROVIDE CONTROL WIRING FYACT

NEW FAN COIL UNIT, PROVIDE NEW BAS CONTROLLER IN CEILING SPACE. PROVIDE

- NEW TEMPERATURE SENSOR WITH CO₂ SENSOR. PROVIDE CONTROL WIRING. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)

 NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL
- NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
- DIV. 16.
- EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.
 NEW FRESH AIR SUPPLY FAN, INTERLOCK FAN TO ASSOCIATED CONTROLLER & BMS



AREA 'A

SUBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
5	07-21-2022	ISSUED AS PER ADDENDUM M-2
6	08-08-2022	ISSUED FOR PERMIT
7	11-18-2022	ISSUED FOR CONSTRUCTION

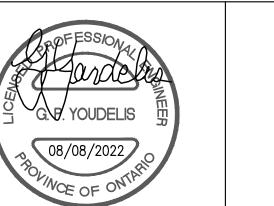
G.Bruce Stratton Architects

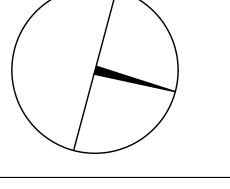
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146



Tel: 905 475 3138 Fax: 866 853 3732

Unit 6 Markham, Ontario L3R 8C5





email: engineering @gpyengineering.com



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

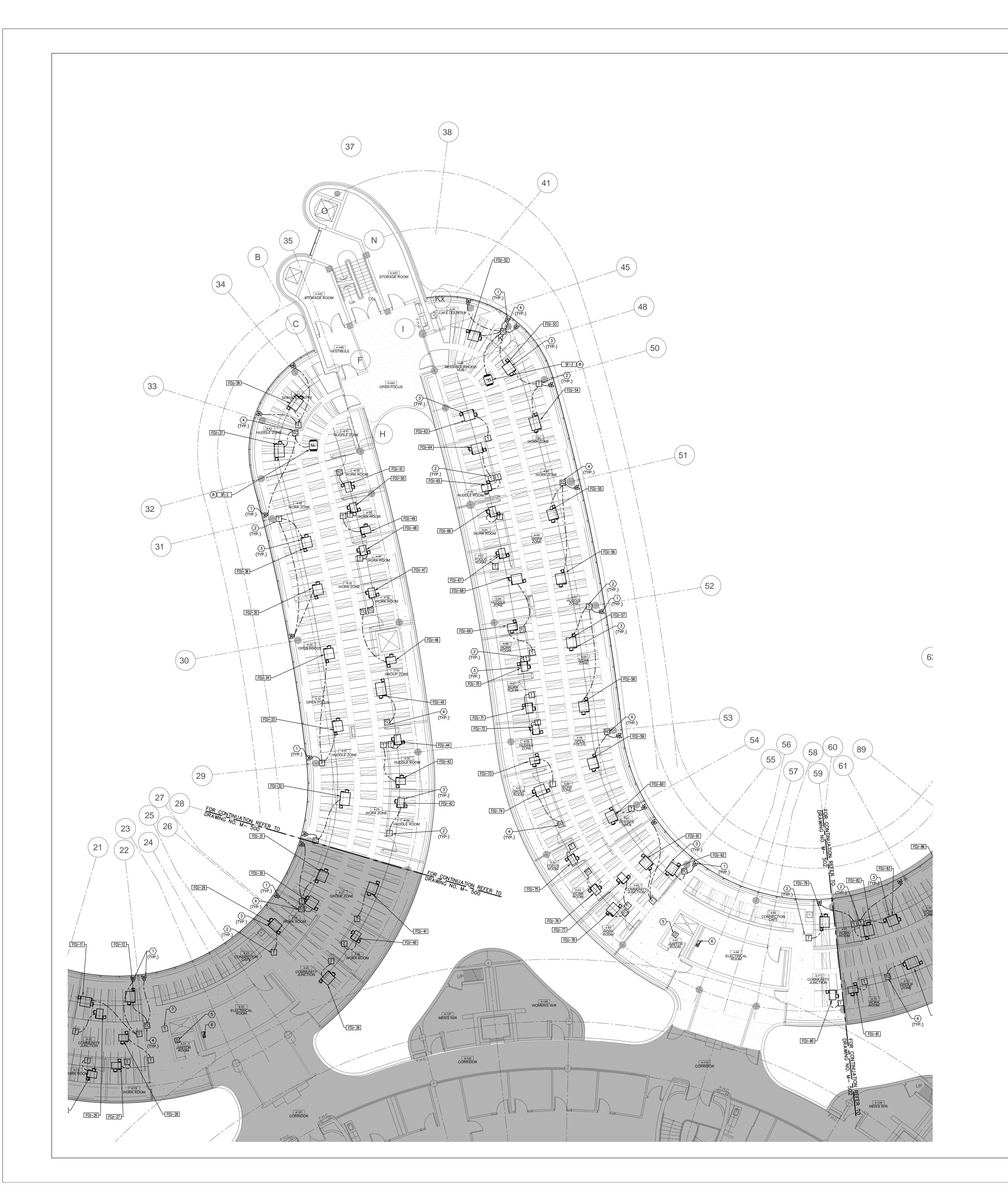
AWN BY: S.P.R./G.G.

MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'A' CONTROLS LAYOUT

SHEET NUMBER:



CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

 ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.

STRUCTURAL AND ELECTRICAL SERVICES.

4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.

MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
 PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.

8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". (TYPICAL FOR ALL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 3RD FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

DRAWING NOTES

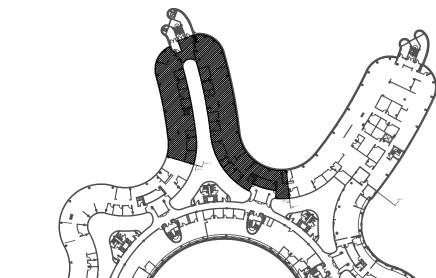
- NEW CONTROL VALVE FOR PERIMETER RADIATOR. CONTROL VALVE SHALL BE CONNECTED TO ASSOCIATED CONTROLLER AS SHOWN. (TYPICAL)

 NEW TEMPERATURE SENSOR. PROVIDE CONTROL WIRING AS REQUIRED. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)
- CONTROL WIRING AND TRANSFORMER AS REQUIRED. CONTROLLER SHALL BE INSTALLED INSIDE FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER. (TYPICAL)

NEW FAN COIL UNIT, PROVIDE NEW BAS CONTROLLER IN CEILING SPACE. PROVIDE

- NEW TEMPERATURE SENSOR WITH CO₂ SENSOR. PROVIDE CONTROL WIRING. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)

 NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
- 6 NEW CONTROLS PANEL IN ELECTRICAL ROOM BY CONTROLS CONTRACTOR. POWER BY
- EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.
- (8) NEW FRESH AIR SUPPLY FAN, INTERLOCK FAN TO ASSOCIATED CONTROLLER & BMS



AREA 'B

UBMISSION	DATE	DESCRIPTION
1	03-14-2022	ISSUED FOR 60% REVIEW
2	04-26-2022	ISSUED FOR 80% REVIEW
3	05-31-2022	ISSUED FOR 97% REVIEW
4	06-13-2022	ISSUED FOR TENDER
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G.Bruce Stratton Architects

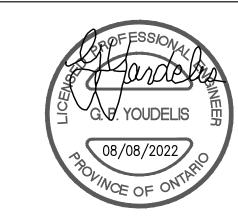
217 Richmond Street West, Suite 300 Toronto Ontario M5V 1W2 telephone: 416.351.8145 facsimile: 416.351.8146

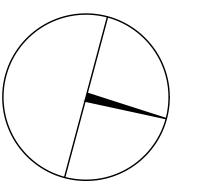




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Tel: 905 475 3138
Fax: 866 853 3732
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@gpyengineering.com







PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

AWN BY: S.P.R./G.G.

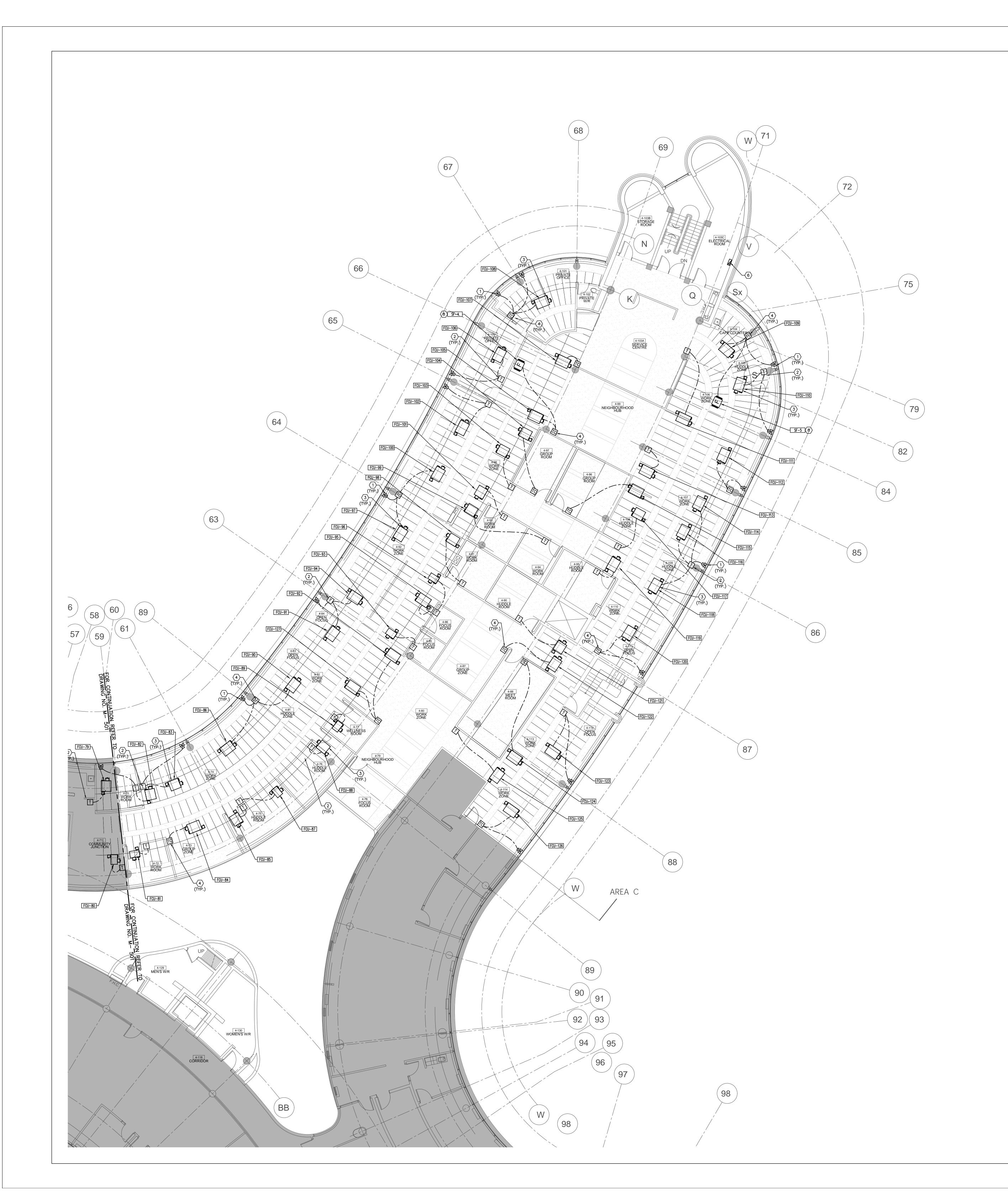
IBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'B' CONTROLS LAYOUT

SHEET NUMBER:

MBER: -501



- CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
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- MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
 PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
- 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE.
 REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS
 PANELS/DOORS AS REQUIRED.
- 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
- 10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

 11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0". (TYPICAL FOR ALL)

NOTES

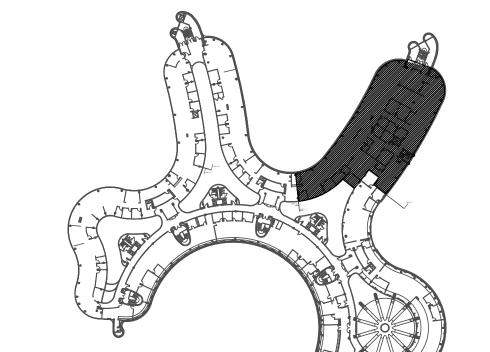
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- NEW CONTROL VALVE FOR PERIMETER RADIATOR. CONTROL VALVE SHALL BE CONNECTED TO ASSOCIATED CONTROLLER AS SHOWN. (TYPICAL)

 NEW TEMPERATURE SENSOR. PROVIDE CONTROL WIRING AS REQUIRED. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)
- NEW FAN COIL UNIT, PROVIDE NEW BAS CONTROLLER IN CEILING SPACE. PROVIDE CONTROL WRING AND TRANSFORMER AS REQUIRED. CONTROLLER SHALL BE INSTALLED INSIDE FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER. (TYPICAL)
- NEW TEMPERATURE SENSOR WITH CO₂ SENSOR. PROVIDE CONTROL WIRING. EXACT LOCATION TO BE CONFIRMED ON SITE WITH THE ARCHITECT. (TYPICAL)
- NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
- 6 NEW CONTROLS PANEL IN ELECTRICAL ROOM BY CONTROLS CONTRACTOR. POWER BY DIV. 16.

 7 EXISTING AVERAGING TEMPERATURE SENSOR FOR THIS FLOOR C/W CONTROL WIRING TO REMAIN.
- 8 NEW FRESH AIR SUPPLY FAN, INTERLOCK FAN TO ASSOCIATED CONTROLLER & BMS



AREA 'C

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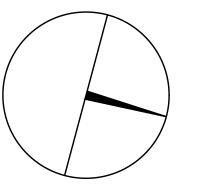




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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

PROJECT #9907

YORK REGION

Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE: 1:100m

AWN BY: S.P.R./G.G.

ITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 4TH FLOOR AREA 'C' CONTROLS LAYOUT

SHEET NUMBER: