



THE REGIONAL MUNICIPALITY OF YORK

YORK REGION ADMINISTRATIVE CENTRE
ARCHITECTURAL AND ENGINEERING SERVICES

INTERIOR FIT-UP OF 4TH FLOOR
YORK REGION ADMINISTRATIVE CENTRE
TENDER NO.: RFTC-652-22
ISSUED FOR TENDER: JUNE 13, 2022
17250 YONGE STREET
NEWMARKET, ONTARIO

LIST OF DRAWING

ARCHITECTURAL

- A001 LIST OF DRAWINGS, CONSULTANT LIST, MATRIX
A002 A SCOPE OF WORK - AREA 'A'
A002 B SCOPE OF WORK - AREA 'B'
A002 C SCOPE OF WORK - AREA 'C'
A002 D SCOPE OF WORK - AREA 'D'
A002 E SCOPE OF WORK - AREA 'E'
A003 SITE PLAN WITH DISPOSAL ROUTE
A100 DEMOLITION PLAN - AREA 'A'
A101 DEMOLITION PLAN - AREA 'B'
A102 DEMOLITION PLAN - AREA 'C'
A103 CEILING DEMOLITION PLAN - AREA 'A'
A104 CEILING DEMOLITION PLAN - AREA 'B'
A105 CEILING DEMOLITION PLAN - AREA 'C'
A200 PARTITION PLAN - AREA 'A'
A201 PARTITION PLAN - AREA 'B'
A202 PARTITION PLAN - AREA 'C'
A300 REFLECTED CEILING PLAN - AREA 'A'
A301 REFLECTED CEILING PLAN - AREA 'B'
A302 REFLECTED CEILING PLAN - AREA 'C'
A303 REFLECTED CEILING PLAN 3RD FL - AREA 'A'
A304 REFLECTED CEILING PLAN 3RF FL - AREA 'B'
A305 REFLECTED CEILING PLAN 3RD FL- AREA 'C'
A400 FURNITURE PLAN - AREA 'A'
A401 FURNITURE PLAN - AREA 'B'
A402 FURNITURE PLAN - AREA 'C'
A500 FINISHES PLAN - AREA 'A'
A501 FINISHES PLAN - AREA 'B'
A502 FINISHES PLAN - AREA 'C'
A503 FINISHES PLAN - AREA 'E' (CORRIDOR SPACE)
A600 DETAILS
A601 DETAILS
A602 DETAILS
A700 DEMOLITION PLAN (WASHROOMS)
A701 CEILING DEMOLITION PLAN (WASHROOMS)
A702 PARTITION PLAN (WASHROOMS)
A703 REFLECTED CEILING PLAN (WASHROOMS)
A704 FINISHES PLAN (WASHROOMS)
A705 ELEVATION (WASHROOMS)
A800 ELEVATIONS - MEN'S W/R
A801 ELEVATIONS - WOMAN'S W/R
A802 - DETAILS - WASHROOMS

STRUCTURAL

- S100 GENERAL NOTES & TYPICAL DETAILS
S200 PARTIAL 4TH FLOOR PLAN AREA 'A'
S201 PARTIAL 4TH FLOOR PLAN AREA 'B'
S202 PARTIAL 4TH FLOOR PLAN AREA 'C'
S300 SECTIONS

MECHANICAL

- M-100 MECHANICAL LEGEND AND EQUIPMENT SCHEDULE
M-101 SCHEMATIC DIAGRAM
M-102 MECHANICAL DETAILS
M-200 PARTIAL 3RD FLOOR CEILING SPACE AREA 'A' MECHANICAL DEMOLITION PLAN
M-201 PARTIAL 3RD FLOOR CEILING SPACE AREA 'B' MECHANICAL DEMOLITION PLAN
M-202 PARTIAL 3RD FLOOR CEILING SPACE AREA 'C' MECHANICAL DEMOLITION PLAN
M-203 PARTIAL 4TH FLOOR AREA 'A' HVAC DEMOLITION PLAN
M-204 PARTIAL 4TH FLOOR AREA 'B' HVAC DEMOLITION PLAN
M-205 PARTIAL 4TH FLOOR AREA 'C' HVAC DEMOLITION PLAN
M-206 PARTIAL 3RD FLOOR AREA 'A' MECHANICAL NEW LAYOUT
M-207 PARTIAL 3RD FLOOR AREA 'B' MECHANICAL NEW LAYOUT
M-208 PARTIAL 3RD FLOOR AREA 'C' MECHANICAL NEW LAYOUT
M-209 PARTIAL 4TH FLOOR AREA 'A' HVAC NEW LAYOUT
M-210 PARTIAL 4TH FLOOR AREA 'B' HVAC NEW LAYOUT
M-211 PARTIAL 4TH FLOOR AREA 'C' HVAC NEW LAYOUT
M-300 PARTIAL 4TH FLOOR AREA 'A' PLUMBING & FIRE PROTECTION DEMOLITION PLAN
M-301 PARTIAL 4TH FLOOR AREA 'B' PLUMBING & FIRE PROTECTION DEMOLITION PLAN
M-302 PARTIAL 4TH FLOOR AREA 'C' PLUMBING & FIRE PROTECTION DEMOLITION PLAN
M-303 PARTIAL 4TH FLOOR AREA 'A' PLUMBING & FIRE PROTECTION NEW LAYOUT
M-304 PARTIAL 4TH FLOOR AREA 'B' PLUMBING & FIRE PROTECTION NEW LAYOUT
M-305 PARTIAL 4TH FLOOR AREA 'C' PLUMBING & FIRE PROTECTION NEW LAYOUT
M-306 4TH FLOOR WASHROOMS MECHANICAL DEMOLITION PLAN
M-307 4TH FLOOR WASHROOMS MECHANICAL NEW LAYOUT
M-400 PARTIAL 4TH FLOOR AREA 'A' HYDRONIC NEW LAYOUT
M-401 PARTIAL 4TH FLOOR AREA 'B' HYDRONIC NEW LAYOUT
M-402 PARTIAL 4TH FLOOR AREA 'C' HYDRONIC NEW LAYOUT
M-500 PARTIAL 4TH FLOOR AREA 'A' CONTROLS LAYOUT
M-501 PARTIAL 4TH FLOOR AREA 'B' CONTROLS LAYOUT
M-502 PARTIAL 4TH FLOOR AREA 'C' CONTROLS LAYOUT

ELECTRICAL

- TE-0.1: DRAWING LIST AND ELECTRICAL LEGEND
TE-0.2: ELECTRICAL DETAILS
TE-0.3: ELECTRICAL DETAILS
TE-0.4: ELECTRICAL DETAILS
TE-4.1A: 4TH FLOOR LIGHTING AND FIRE ALARM LAYOUT (PART A)
TE-4.1B: 4TH FLOOR LIGHTING AND FIRE ALARM LAYOUT (PART B)
TE-4.1C: 4TH FLOOR LIGHTING AND FIRE ALARM LAYOUT (PART C)
TE-4.2A: 4TH FLOOR POWER AND SYSTEMS LAYOUT (PART A)
TE-4.2B: 4TH FLOOR POWER AND SYSTEMS LAYOUT (PART B)
TE-4.2C: 4TH FLOOR POWER AND SYSTEMS LAYOUT (PART B)
TE-4.3A: 4TH FLOOR LIGHTING AND FIRE ALARM DEMOLITION LAYOUT (PART A)
TE-4.3B: 4TH FLOOR LIGHTING AND FIRE ALARM DEMOLITION LAYOUT (PART B)
TE-4.3C: 4TH FLOOR LIGHTING AND FIRE ALARM DEMOLITION LAYOUT (PART C)
TE-4.4A: 4TH FLOOR POWER AND SYSTEMS DEMOLITION LAYOUT (PART A)
TE-4.4B: 4TH FLOOR POWER AND SYSTEMS DEMOLITION LAYOUT (PART B)
TE-4.4C: 4TH FLOOR POWER AND SYSTEMS DEMOLITION LAYOUT (PART C)
TE-4.5: 4TH FLOOR WASHROOMS LIGHTING AND FIRE ALARM LAYOUT
TE-4.6: 4TH FLOOR WASHROOMS POWER AND SYSTEMS LAYOUT
TE-4.7: 4TH FLOOR WASHROOMS LIGHTING AND FIRE ALARM DEMOLITION LAYOUT
TE-4.8: 4TH FLOOR WASHROOMS POWER AND SYSTEMS DEMOLITION LAYOUT

COMMUNICATION

- TC-0.1-DRAWING LIST, LEGEND, ABBREVIATIONS, LEGENDS AND DETAILS
TC-4.1A-4TH FLOOR COMMUNICATIONS LAYOUT (PART A)
TC-4.1B-4TH FLOOR COMMUNICATIONS LAYOUT (PART B)
TC-4.1C-4TH FLOOR COMMUNICATIONS LAYOUT (PART C)

CONSULTANTS

ARCHITECT

G. BRUCE STRATTON ARCHITECTS
#300-225 RICHMOND STREET W
TORONTO, ON M5V 1W2
416-351-8145

MECHANICAL

GPY + ASSOCIATES ENGINEERING INC.
90C CENTRUM DRIVE, SUITE 6
MARKHAM, ONTARIO L3R 8C5
905-475-3138

ELECTRICAL/COMMUNICATION

SMITH + ANDERSEN
647-943-7636

STRUCTURAL

LEA CONSULTING LTD
416-572-1785

LIST OF DRAWINGS/
CONSULTANTS

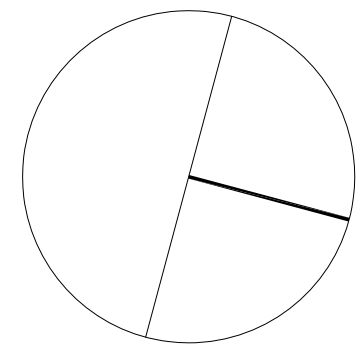

SHEET NUMBER:


A001

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146





PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

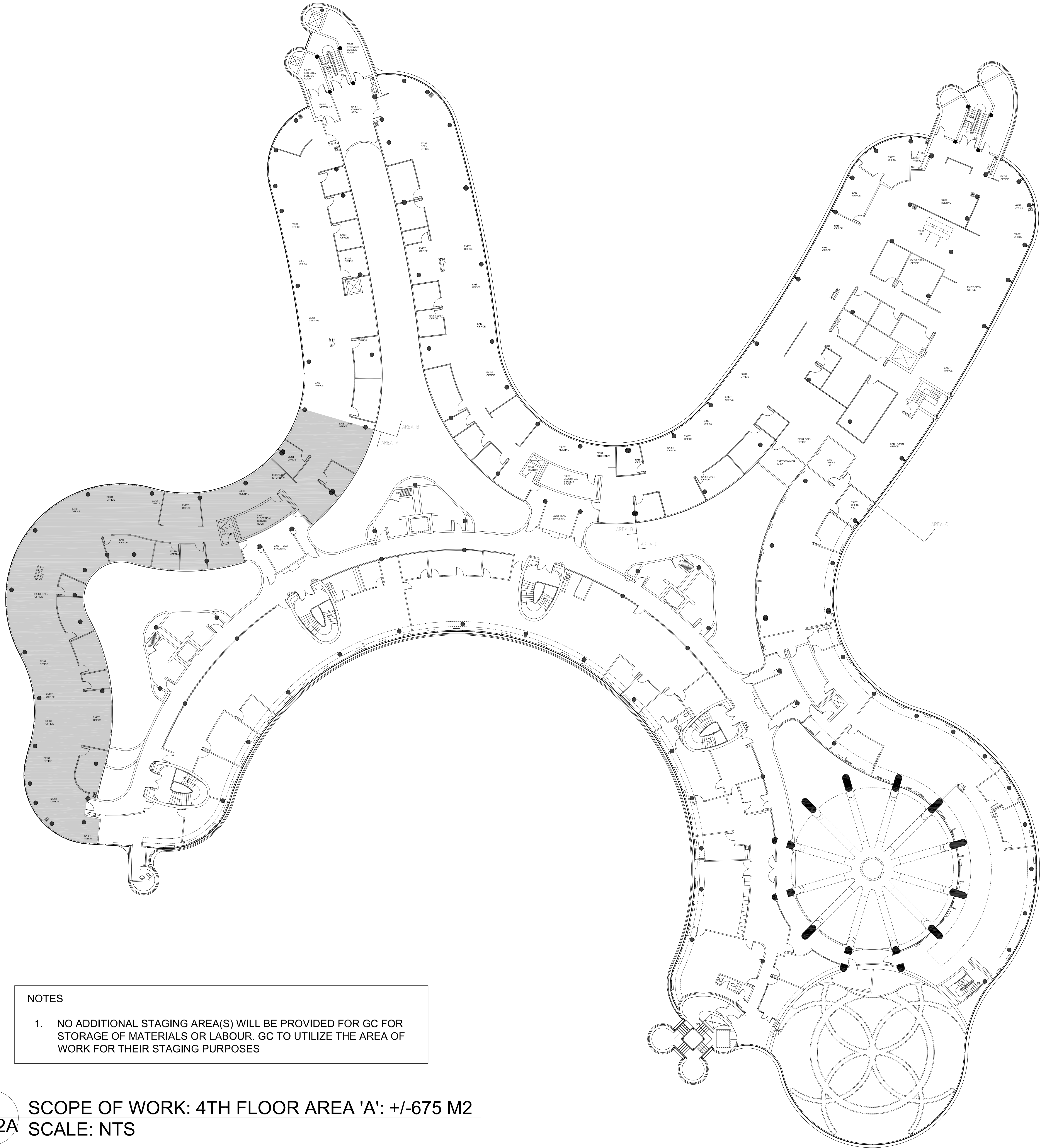
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

LIST OF DRAWINGS/
CONSULTANTS

SHEET NUMBER:

A001



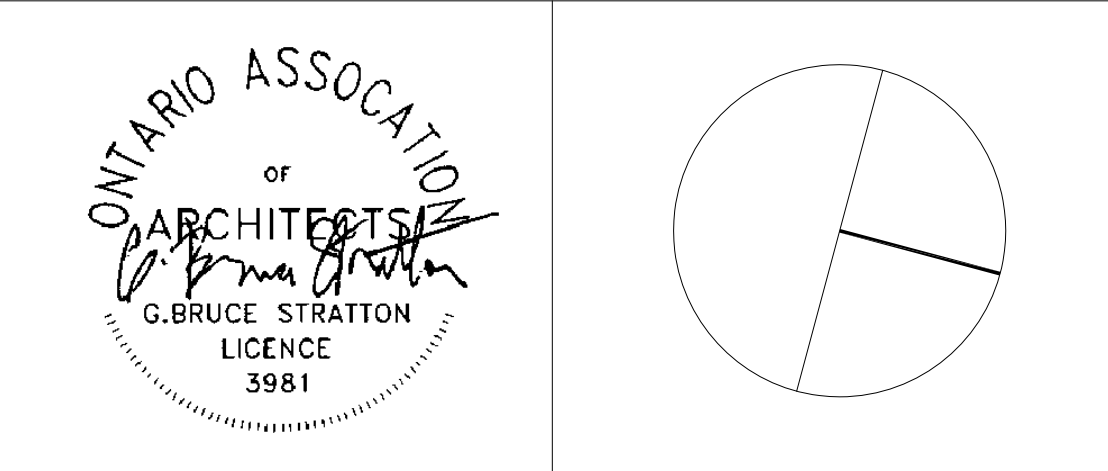
NOTES

1. NO ADDITIONAL STAGING AREA(S) WILL BE PROVIDED FOR GC FOR STORAGE OF MATERIALS OR LABOUR. GC TO UTILIZE THE AREA OF WORK FOR THEIR STAGING PURPOSES

1 SCOPE OF WORK: 4TH FLOOR AREA 'A': +/-675 M2
A002A SCALE: NTS

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects
217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT: BUILDING & FACILITIES
FLOOR: 4TH
BASE DATE: 01-01-2022
PROJECT:

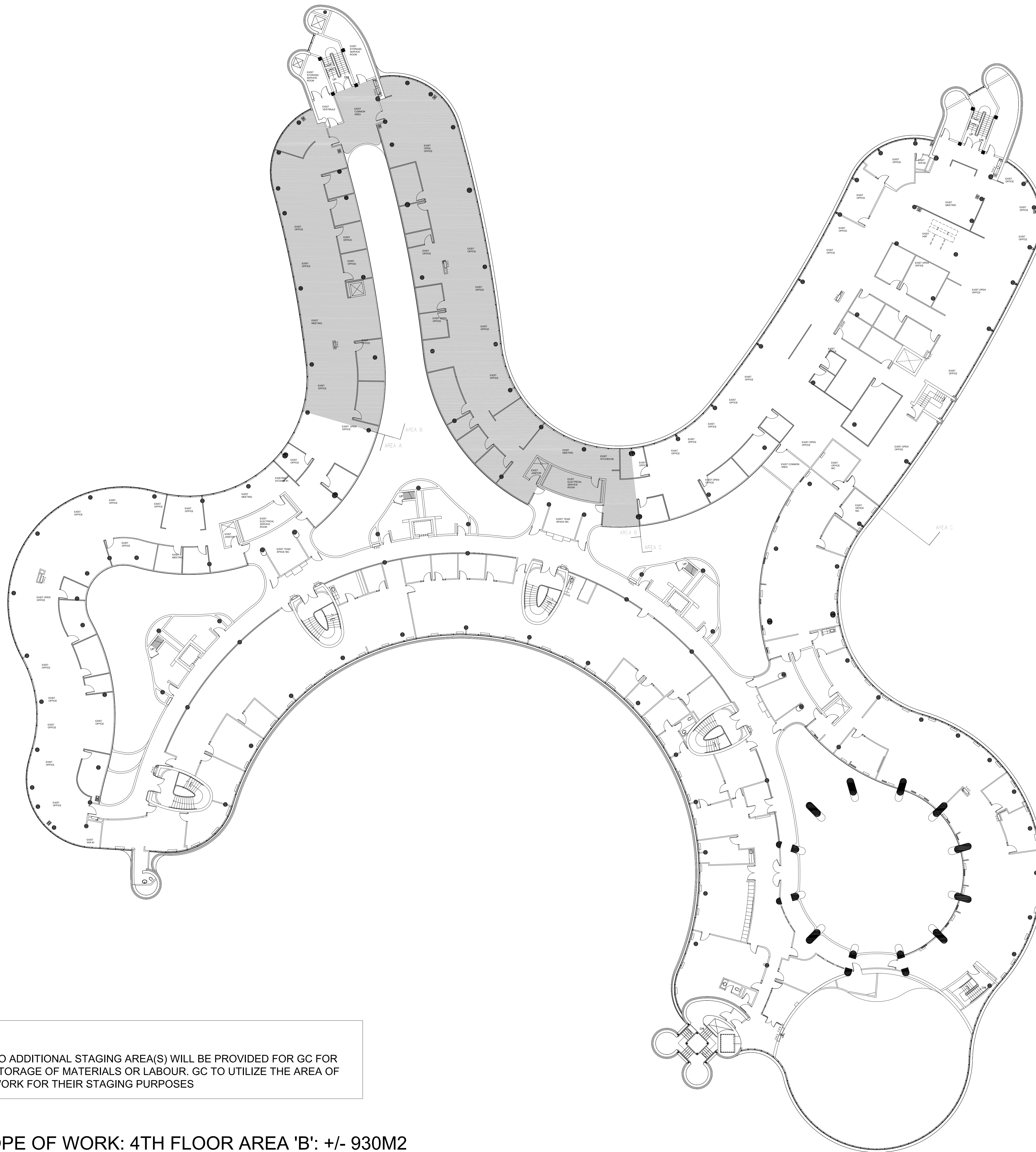
TENDER # RFTC-652-22

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

SCOPE OF WORK
AREA 'A'

SHEET NUMBER:
A002 A



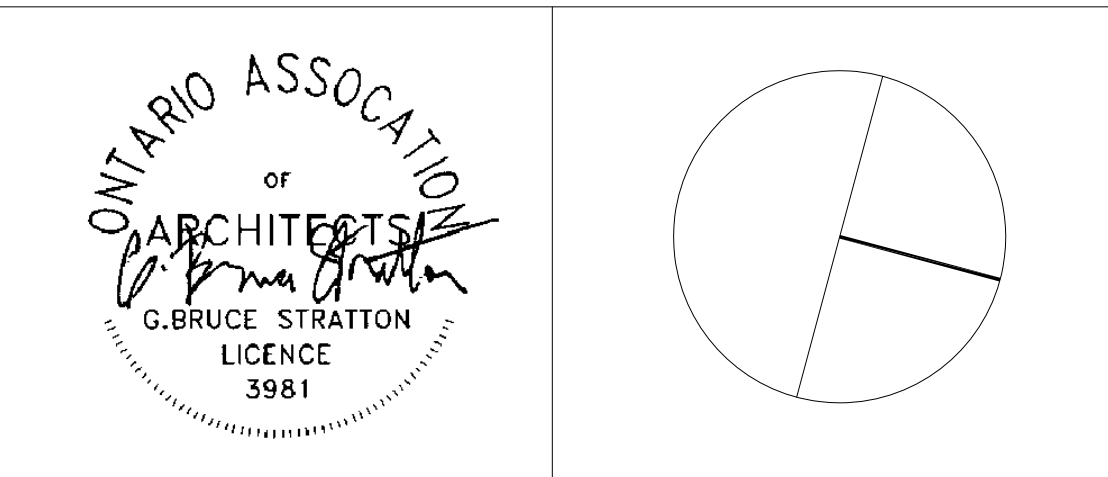
NOTES

1. NO ADDITIONAL STAGING AREA(S) WILL BE PROVIDED FOR GC FOR STORAGE OF MATERIALS OR LABOUR. GC TO UTILIZE THE AREA OF WORK FOR THEIR STAGING PURPOSES

1 SCOPE OF WORK: 4TH FLOOR AREA 'B': +/- 930M2
A002B SCALE: NTS

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects
217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT: BUILDING & FACILITIES
FLOOR: 4TH
BASE DATE: 01-01-2022
PROJECT:

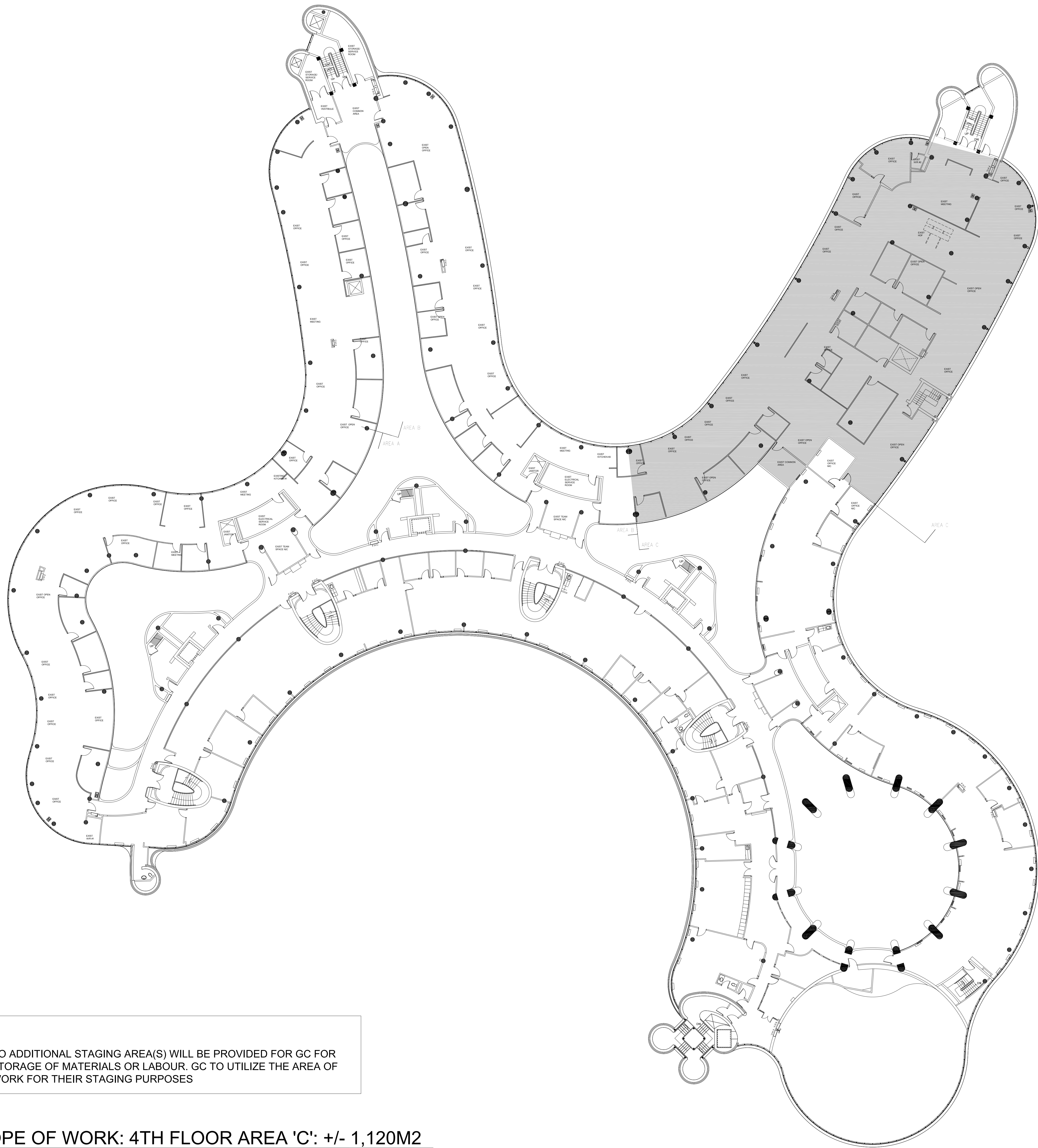
TENDER # RFTC-652-22

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

SCOPE OF WORK
AREA 'B'

SHEET NUMBER:
A002 B



NOTES

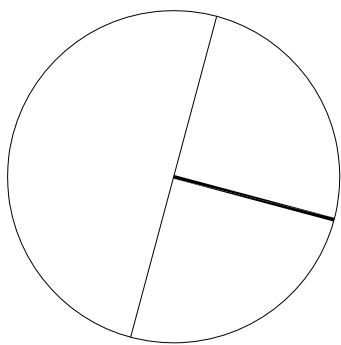
1. NO ADDITIONAL STAGING AREA(S) WILL BE PROVIDED FOR GC FOR STORAGE OF MATERIALS OR LABOUR. GC TO UTILIZE THE AREA OF WORK FOR THEIR STAGING PURPOSES

1 SCOPE OF WORK: 4TH FLOOR AREA 'C': +/- 1,120M2
A002C SCALE: NTS

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

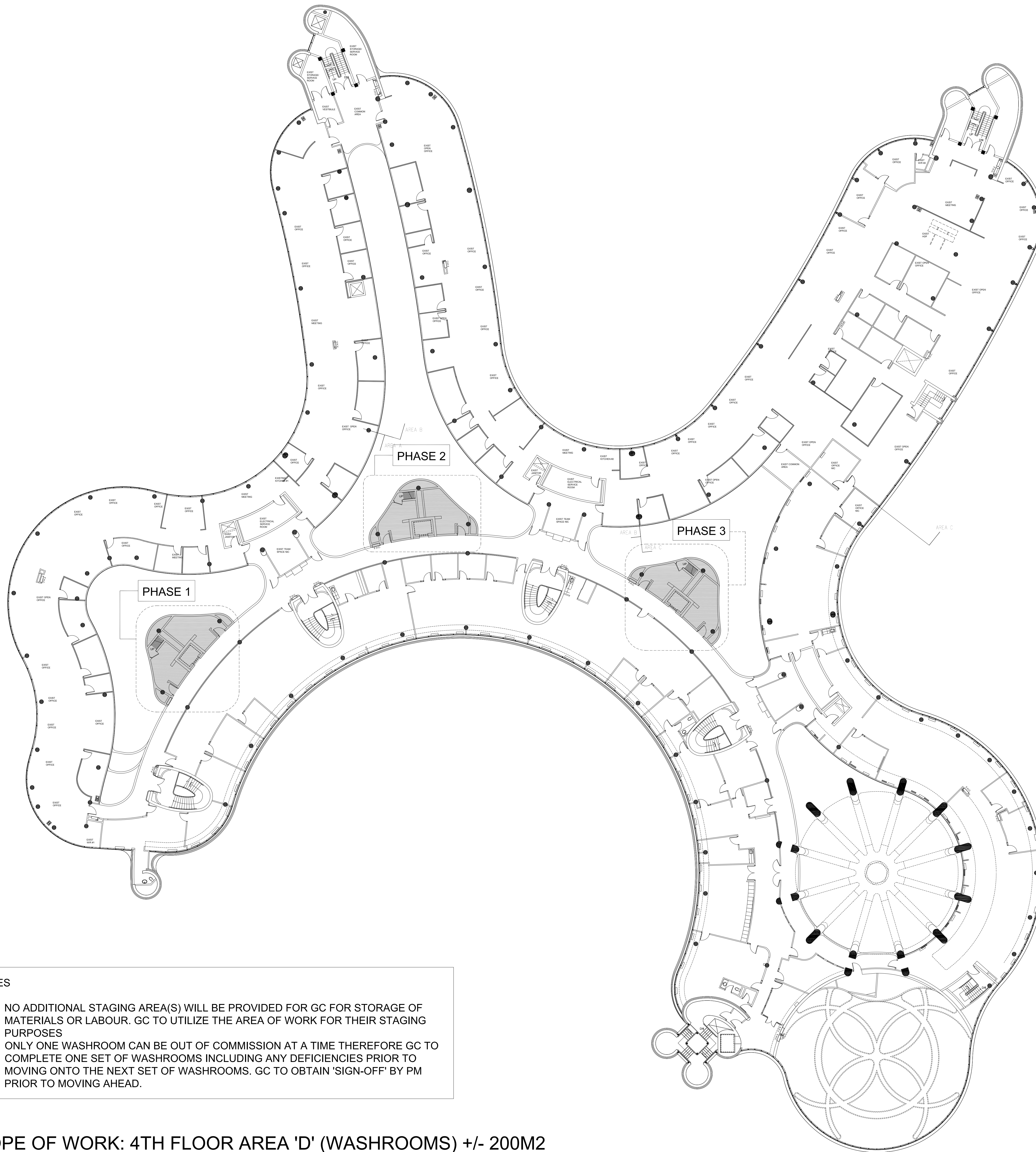
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

SCOPE OF WORK
AREA 'C'

SHEET NUMBER:

A002 C



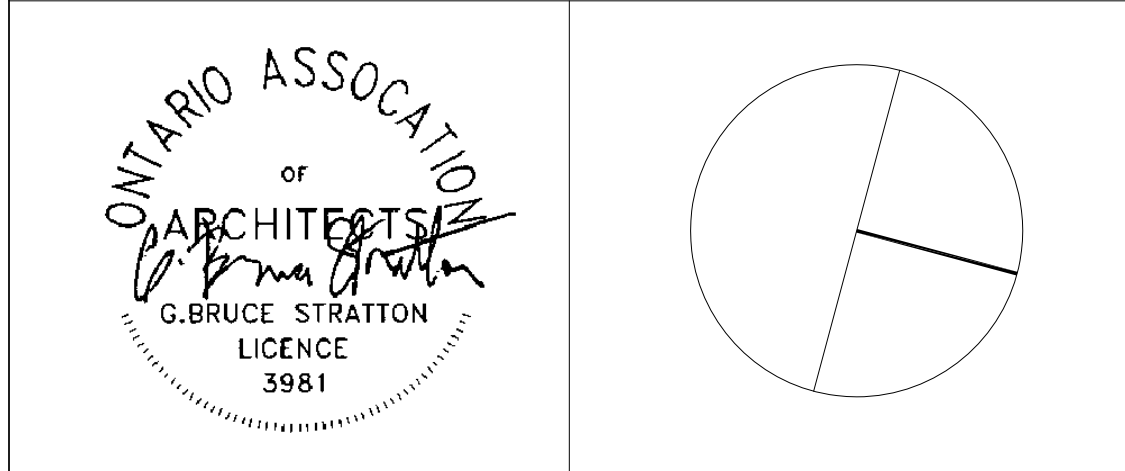
NOTES

1. NO ADDITIONAL STAGING AREA(S) WILL BE PROVIDED FOR GC FOR STORAGE OF MATERIALS OR LABOUR. GC TO UTILIZE THE AREA OF WORK FOR THEIR STAGING PURPOSES
2. ONLY ONE WASHROOM CAN BE OUT OF COMMISSION AT A TIME THEREFORE GC TO COMPLETE ONE SET OF WASHROOMS INCLUDING ANY DEFICIENCIES PRIOR TO MOVING ONTO THE NEXT SET OF WASHROOMS. GC TO OBTAIN 'SIGN-OFF' BY PM PRIOR TO MOVING AHEAD.

1 SCOPE OF WORK: 4TH FLOOR AREA 'D' (WASHROOMS) +/- 200M2
A002D SCALE: NTS

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects
217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT: BUILDING & FACILITIES
FLOOR: 4TH
BASE DATE: 01-01-2022
PROJECT:

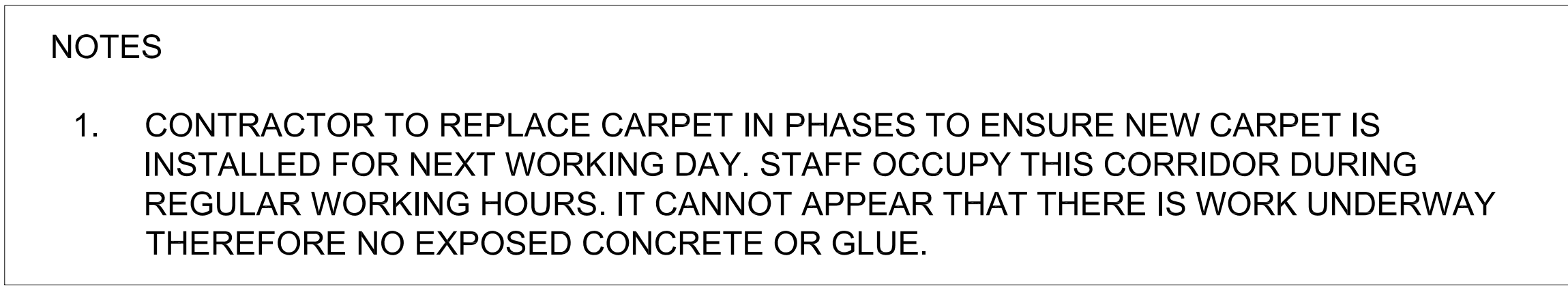
TENDER # RFTC-652-22

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

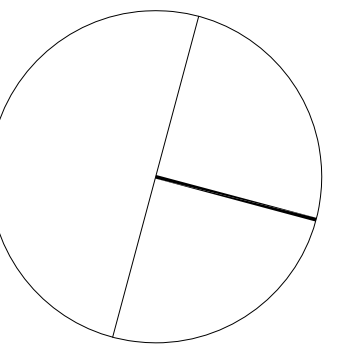
SCOPE OF WORK
AREA 'D'

SHEET NUMBER:
A002 D



SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

PROJECT:

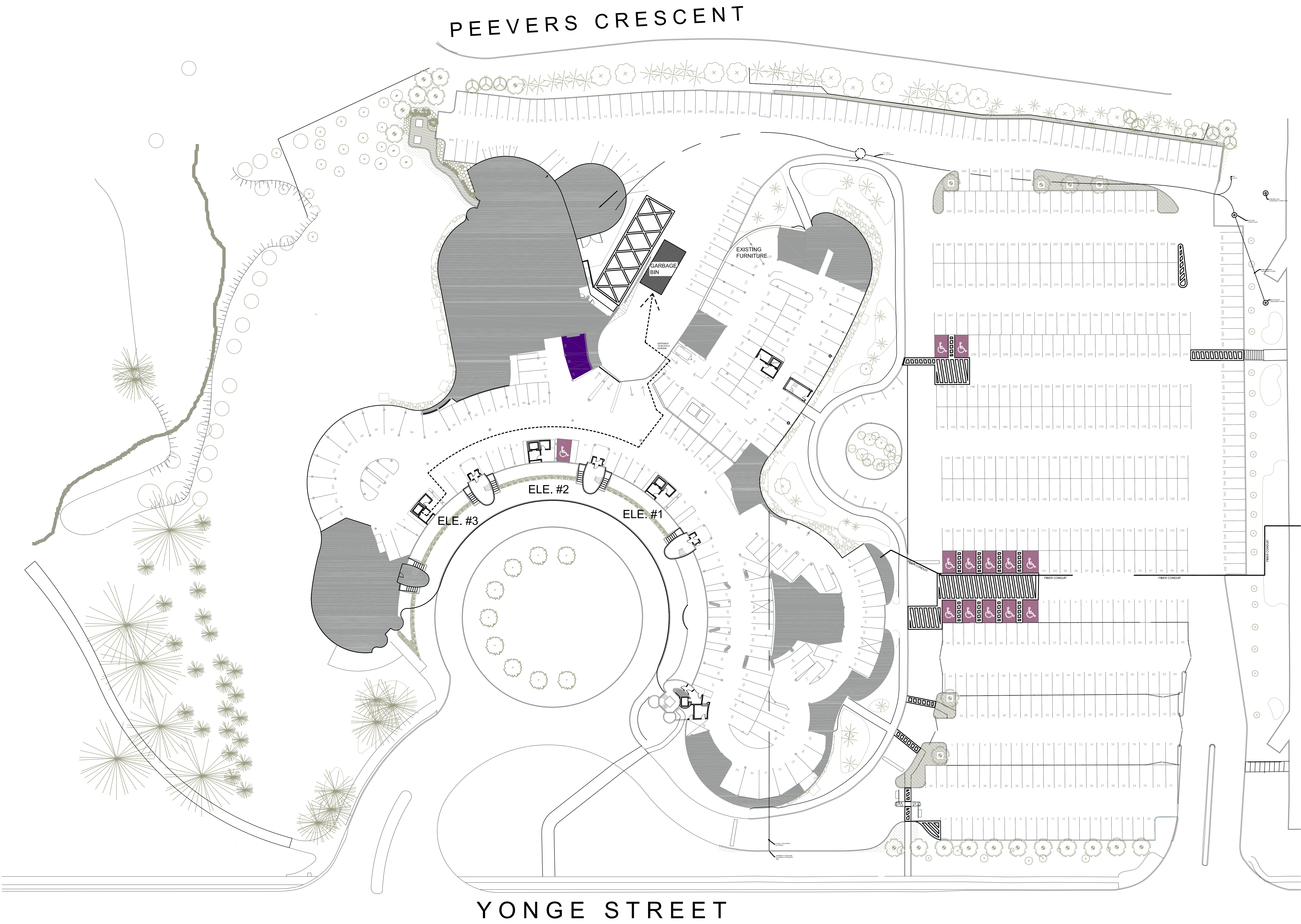
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SHEET TITLE:

SCOPE OF WORK AREA 'E'

SHEET NUMBER:

NUMBER: A002 E



PEEVERS CRESCENT

YONGE STREET

1
A003 DISPOSAL ROUTE
SCALE: NTS

GENERAL NOTES: DISPOSAL PLAN

1. DEMOLITION OF MATERIAL AND DEBRIS TO BE REMOVED OFF SITE USING APPROPRIATE WASTE DISPOSAL BINS AS DESIGNATED BY PROJECT PM.
2. USE HEAVY-WEIGHT BLANKETS TO PREVENT MIGRATION OF DUST DURING TRANSPORTATION OF MATERIALS
3. MAINTAIN UNOBSTRUCTED EGRESS PATH OF TRAVEL OF THIS ROUTE AT ALL TIMES
4. GC TO USE ELEVATOR#3 FOR THE TRANSPORTATION OF DEMOLITION MATERIALS TO THE BASEMENT LEVEL WHERE THE GARBAGE BINS ARE TO BE LOCATED.
5. GC TO INFORM YORK REGION PM WHERE ELEVATOR TARPES ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
6. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
7. CONTRACTOR TO ENSURE BY 7AM THE NEXT BUSINESS DAY THAT THE ROUTE TO THE GARBAGE BIN HAS BEEN CLEANED OTHERWISE THE CONTRACTOR WILL BE BILLED FOR CLEAN UP BY YORK REGION CLEANING STAFF

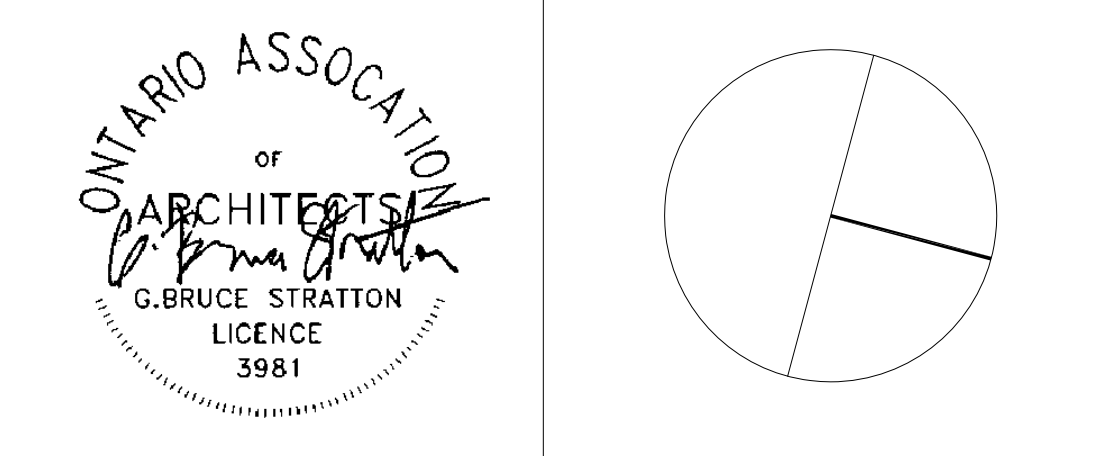
LEGEND:

DENOTES DISPOSAL ROUTE: GARBAGE TO BE TRANSPORTED DOWN ELEVATOR #3 TO THE UNDERGROUND PARKING LEVEL TO GARBAGE BINS LOCATED OUTSIDE

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT: BUILDING & FACILITIES
FLOOR: 4TH
BASE DATE: 01-01-2022
PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

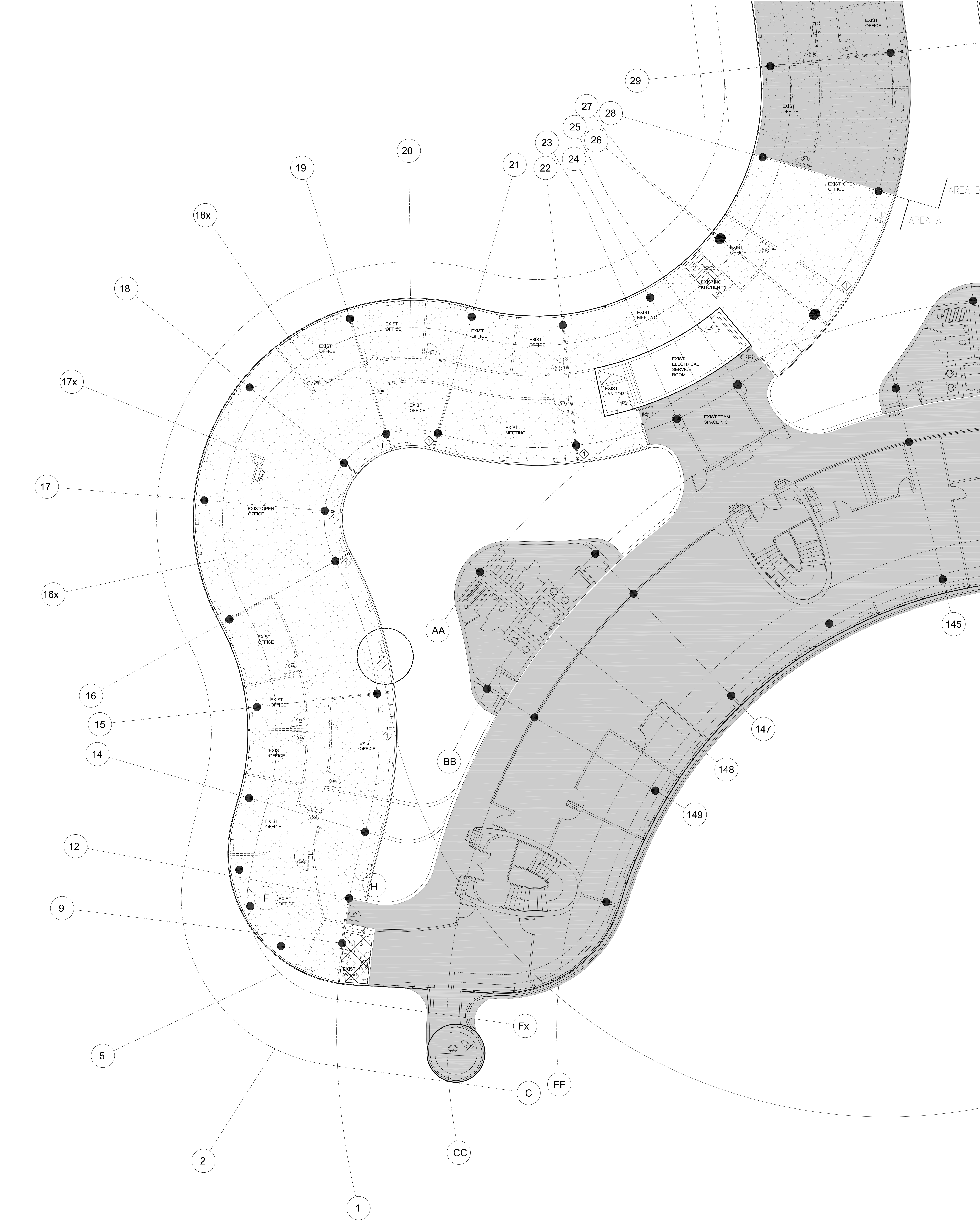
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

DISPOSAL ROUTE

SHEET NUMBER:

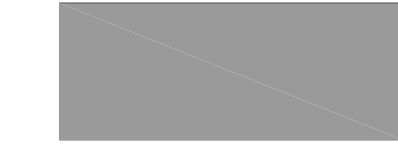
A003



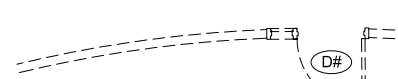
GENERAL DEMOLITION NOTES

1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
2. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #3' ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TARPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
3. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
4. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE
5. WITHIN THE SCOPE OF WORK, THE CONTRACTOR IS TO REMOVE AND DISPOSE OF EXISTING WINDOW COVERINGS ON THE ATRIUM SIDE ONLY. EXTERIOR WALL WINDOW COVERINGS TO REMAIN.
6. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
7. GC TO PROVIDE 2HR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GC TO ALLOW FOR UP TO 250 OPENINGS AT 200MM WIDE OF FLOOR SLAB PENETRATIONS RELATED TO REMOVAL OF FAN COIL UNITS. REFER TO STRUCTURAL ENGINEERS DWGS (D1/S100) FOR TYPICAL FIRESTOP DETAIL
8. GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF THIRD FLOOR GYPSUM BULK-HEAD CEILING WHERE UPTO 400 FAN COIL UNITS ARE BEING REMOVED FROM THE 4TH FLOOR AND CAPPED OFF IN THE SECOND FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
9. REFER TO A103 FOR FULL EXTENT OF CARPET REMOVAL AND INSTALLATION OF NEW CARPET IN COMMON AREA 'E'.
10. REMOVAL OF ALL FLOORING INCLUDES EXISTING FLOORING THAT MAY EXTEND UNDER MILLWORK CABINETS

LEGEND:



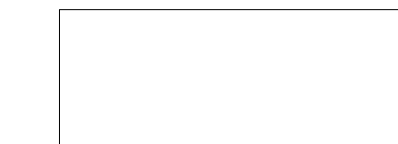
DENOTES AREA OUTSIDE THE CURRENT SCOPE



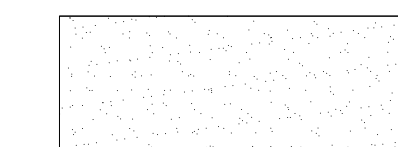
EXISTING GYPSUM WALLS & BAFFLING ABOVE, DOORS & SIDELIGHTS AND FRAMES TO BE REMOVED. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE



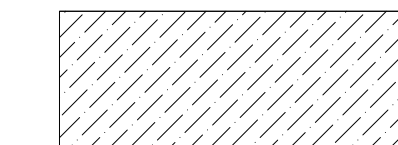
EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN



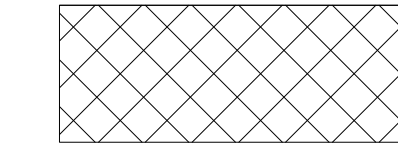
EXISTING FLOOR TO REMAIN



EXISTING CARPET TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL



EXISTING VINYL FLOORING TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL



EXISTING PORCELAIN TILE FLOOR TO BE REMOVED INCLUDING GROUT TO EXPOSE FLOOR SLAB. PREP FLOOR TO RECEIVE NEW FINISH



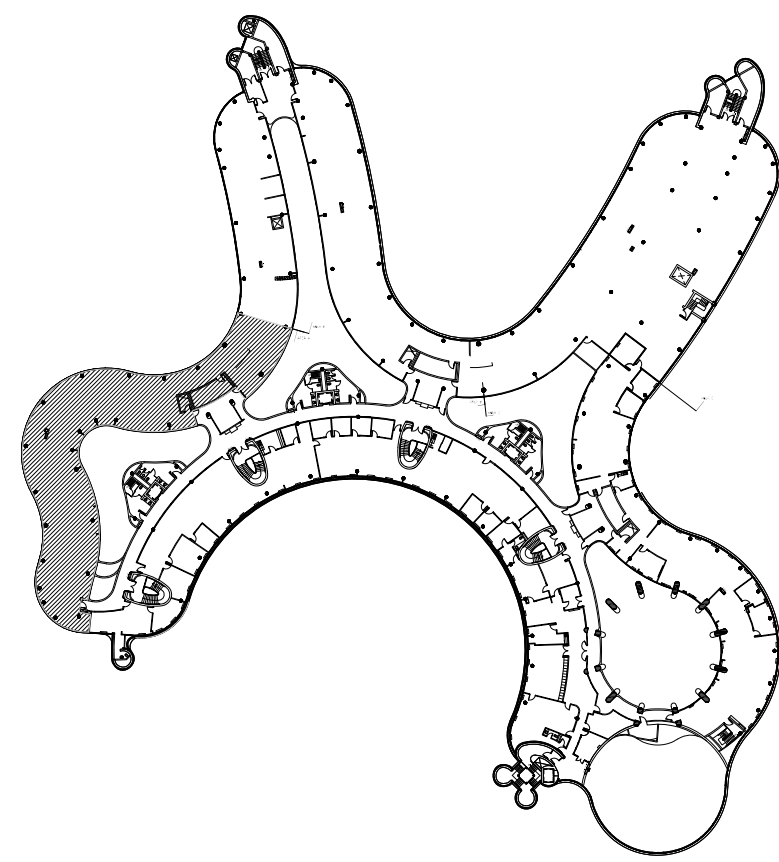
FAN COIL REMOVAL. REFER TO MECHANICAL ENGINEERS DRAWING M-200 & M-201 FOR EXTENT OF REMOVAL. ALLOW FOR EXTENSIVE PATCH/REPAIR OF 3RD FLOOR CEILING WHERE PARTIAL REMOVAL OF GYPSUM CEILING IS REQUIRED TO ALLOW FOR CAPPING-OFF OF PIPES TIED TO 4TH FLOOR FAN COIL REMOVAL

KEYNOTES:

1. REMOVE EXISTING GYPSUM WALL FIN AND GLAZING (ALLOW FOR 30 LOCATIONS WHERE THIS OCCURS). PATCH/REPAIR WALL REINSTATE MILLWORK LEDGE (TOP AND BOTTOM) BY FITTING NEW AND EXISTING MILLWORK SILLS TOGETHER. ALLOW FOR +/- 1000 LINEAR MM NEW MILLWORK PER FIN LOCATION MAKE GOOD ALL SURFACES - WALL TO RECEIVE NEW PAINT FINISH AND NEW MILLWORK TO RECEIVE STAIN TO MATCH EXISTING. NOTE: GC TO ALLOW FOR AN ARTICULATING BOOM LIFT INTENDED FOR INTERIOR CONSTRUCTION WORK TO ENABLE ACCESS TO THE FOURTH STORY TO CAULK THE GAP BETWEEN THE GLAZING AFTER FIN IS REMOVED.
2. REMOVE EXISTING KITCHEN #1 & #2 INCLUDING UPPER AND LOWER MILLWORK CABINETS AND PLUMBING FIXTURES. REFER TO ENGINEERS DRAWINGS FOR M&E SPECIFIC DEMOLITION
3. DEMOLISH EXISTING WASHROOM #1 INCLUDING TOILET AND VANITY, EXISTING PORCELAIN TILE FLOOR, EXISTING PORCELAIN BASE, WALL MIRROR, WALL ACCESSORIES INCLUDING SOAP DISPENSER, LIGHT VALANCE. REFER TO M&E DWGS FOR EXTENT OF ENGINEERS DEMOLITION RELATED TO WASHROOM #1
4. NO WORK BEING DONE TO EXISTING WASHROOM #2 AND ADJACENT OFFICES UNLESS NOTED OTHERWISE.
5. REMOVE EXISTING HIGH-DENSITY FILING AND FLOOR TRACK. TURN OVER TO YORK REGION. GC TO ALLOW FOR ON-SITE/OFF-SITE STORAGE (TRANSPORTATION WITHIN A 10-MILE RADIUS) AS INSTRUCTED BY YORK REGION PM
6. ALLOW FOR 300 SQ.FT. OF CARPET REPLACEMENT IN OFFICES SHOWN TO FACILITATE REMOVAL OF EXIST RAD/INSTALL OF NEW. SHIFT EXISTING FURNITURE AS NECESSARY. TARP AND PROTECT ALL FURNITURE. RESET ALL FURNITURE POST CONSTRUCTION



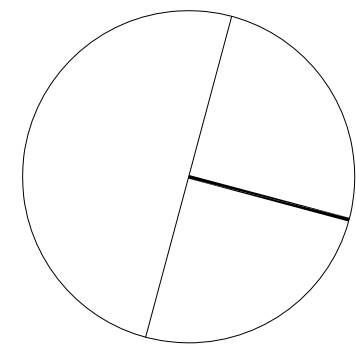
TYPICAL SITE CONDITION AFTER REMOVAL OF WALL FIN. REFER TO KEYNOTE #1



SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

TENDER # RFTC-652-22

YORK REGION

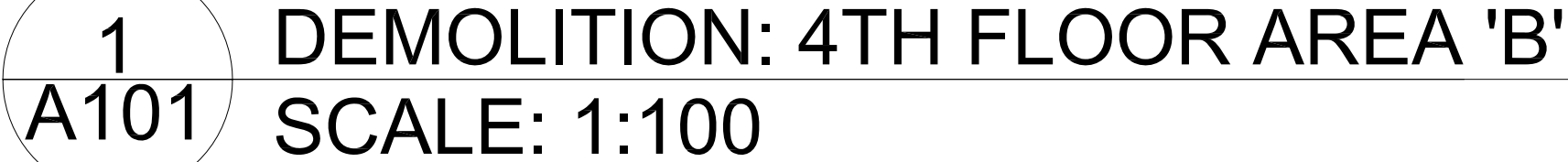
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	AS SHOWN
DRAWN BY:	SK
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

DEMOLITION PLAN
AREA 'A'

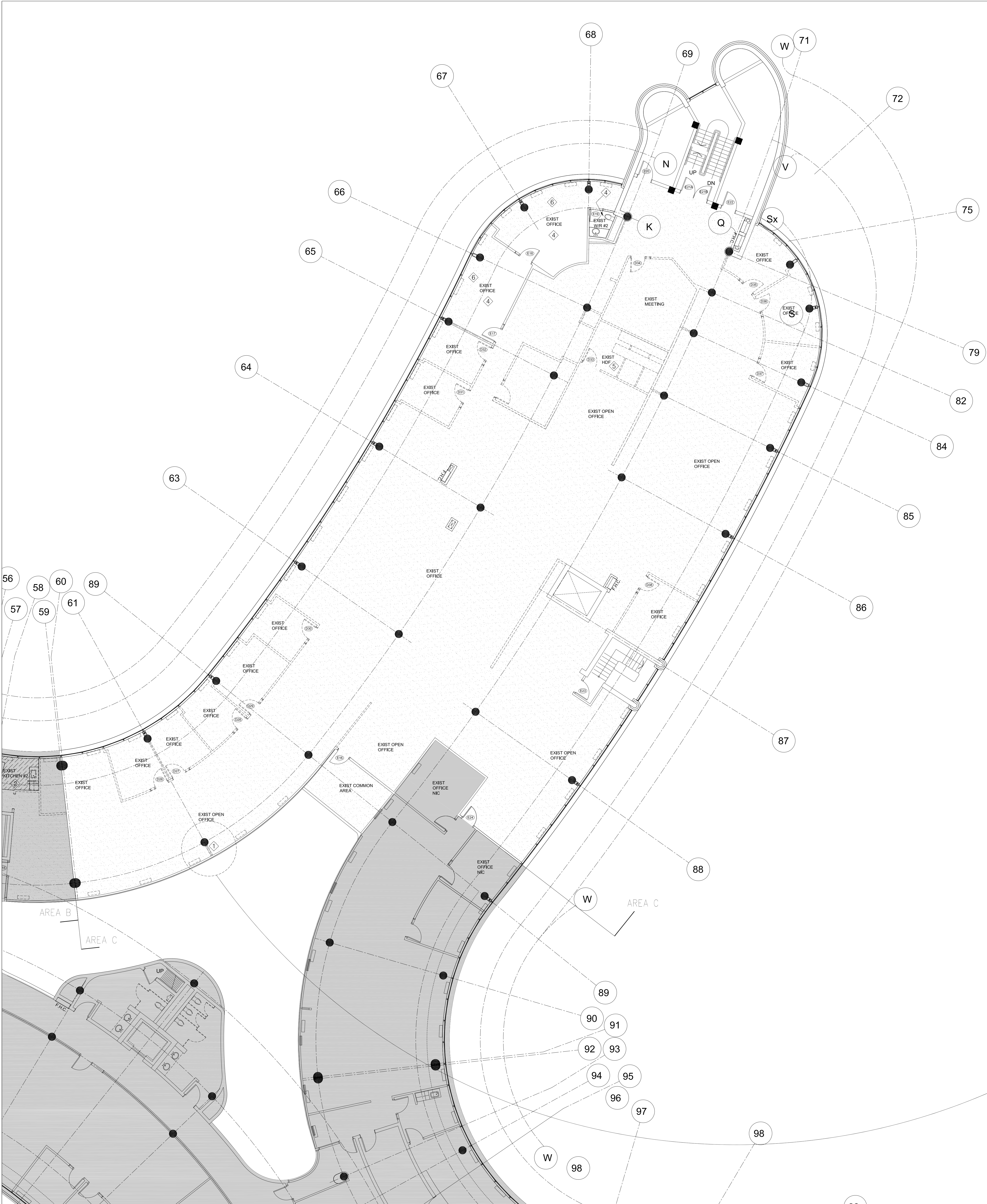
SHEET NUMBER:
A100

1
A100 DEMOLITION: 4TH FLOOR AREA 'A'
SCALE: 1:100



- TYPICAL SITE CONDITION AFTER
REMOVAL OF WALL FIN. REFER TO
KEYNOTE #1

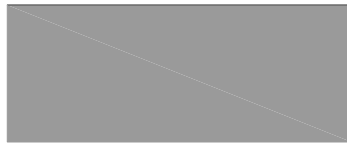




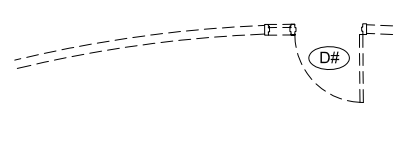
GENERAL DEMOLITION NOTES

1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
2. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #3' ONLY. GO TO INFORM YORK REGION PM WHERE ELEVATOR TARPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
3. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
4. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE
5. WITHIN THE SCOPE OF WORK, THE CONTRACTOR IS TO REMOVE AND DISPOSE OF EXISTING WINDOW COVERINGS ON THE ATRIUM SIDE ONLY. EXTERIOR WALL WINDOW COVERINGS TO REMAIN.
6. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
7. GO TO PROVIDE 2HR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GO TO ALLOW FOR UP TO 1200 OPENINGS AT 200MM WIDE OF FLOOR SLAB PENETRATIONS RELATED TO REMOVAL OF FAN COIL UNITS. REFER TO STRUCTURAL ENGINEERS DWGS (D1/S100) FOR TYPICAL FIRESTOP DETAIL
8. GO TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF THIRD FLOOR GYPSUM BULKHEAD CEILING WHERE UPTO 400 FAN COIL UNITS ARE BEING REMOVED FROM THE 4TH FLOOR AND CAPPED OFF IN THE SECOND FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
9. REFER TO A103 FOR FULL EXTENT OF CARPET REMOVAL AND INSTALLATION OF NEW CARPET IN COMMON AREA 'E'
10. REMOVAL OF ALL FLOORING INCLUDES EXISTING FLOORING THAT MAY EXTEND UNDER MILLWORK CABINETS

LEGEND:



DENOTES AREA OUTSIDE THE CURRENT SCOPE



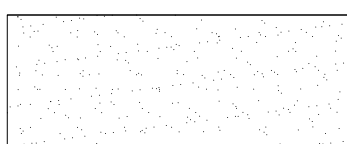
EXISTING GYPSUM WALLS & BAFFLING ABOVE, DOORS & SIDELIGHTS AND FRAMES TO BE REMOVED. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE



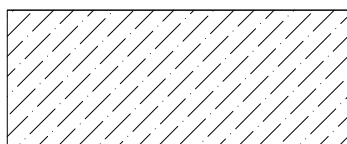
EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN



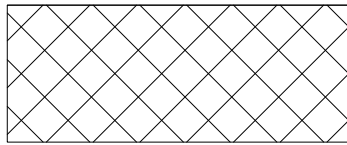
EXISTING FLOOR TO REMAIN



EXISTING CARPET TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL



EXISTING VINYL FLOORING TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL



EXISTING PORCELAIN TILE FLOOR TO BE REMOVED INCLUDING GROUT TO EXPOSE FLOOR SLAB. PREP FLOOR TO RECEIVE NEW FINISH



FAN COIL REMOVAL. REFER TO MECHANICAL ENGINEERS DRAWING M-200 & M-201 FOR EXTENT OF REMOVAL. ALLOW FOR EXTENSIVE PATCH/REPAIR OF 3RD FLOOR CEILING WHERE PARTIAL REMOVAL OF GYPSUM CEILING IS REQUIRED TO ALLOW FOR CAPPING-OFF OF PIPES TIED TO 4TH FLOOR FAN COIL REMOVAL

KEYNOTES:

1

REMOVE EXISTING GYPSUM WALL FIN AND GLAZING (ALLOW FOR 30 LOCATIONS WHERE THIS OCCURS). PATCH/REPAIR WALL REINSTATE MILLWORK LEDGE BY FITTING NEW AND EXISTING MILLWORK SILLS TOGETHER. ALLOW FOR +/- 1200MM NEW MILLWORK PER FIN LOCATION MAKE GOOD ALL SURFACES - WALL TO RECEIVE NEW PAINT FINISH AND NEW MILLWORK TO RECEIVE STAIN TO MATCH EXISTING. NOTE: GO TO ALLOW FOR AN ARTICULATING BOOM LIFT INTENDED FOR INTERIOR CONSTRUCTION WORK TO ENABLE ACCESS TO THE FOURTH STORY TO CAULK THE GAP BETWEEN THE GLAZING AFTER FIN IS REMOVED.

2

REMOVE EXISTING KITCHEN #1 & #2 INCLUDING UPPER AND LOWER MILLWORK CABINETS AND PLUMBING FIXTURES. REFER TO ENGINEERS DRAWINGS FOR M&E SPECIFIC DEMOLITION

3

DEMOLISH EXISTING WASHROOM #1 INCLUDING TOILET AND VANITY, EXISTING PORCELAIN TILE FLOOR, EXISTING PORCELAIN BASE, WALL MIRROR, WALL ACCESSORIES INCLUDING SOAP DISPENSER, LIGHT VALANCE. REFER TO M&E DWGS FOR EXTENT OF ENGINEERS DEMOLITION RELATED TO WASHROOM #1

4

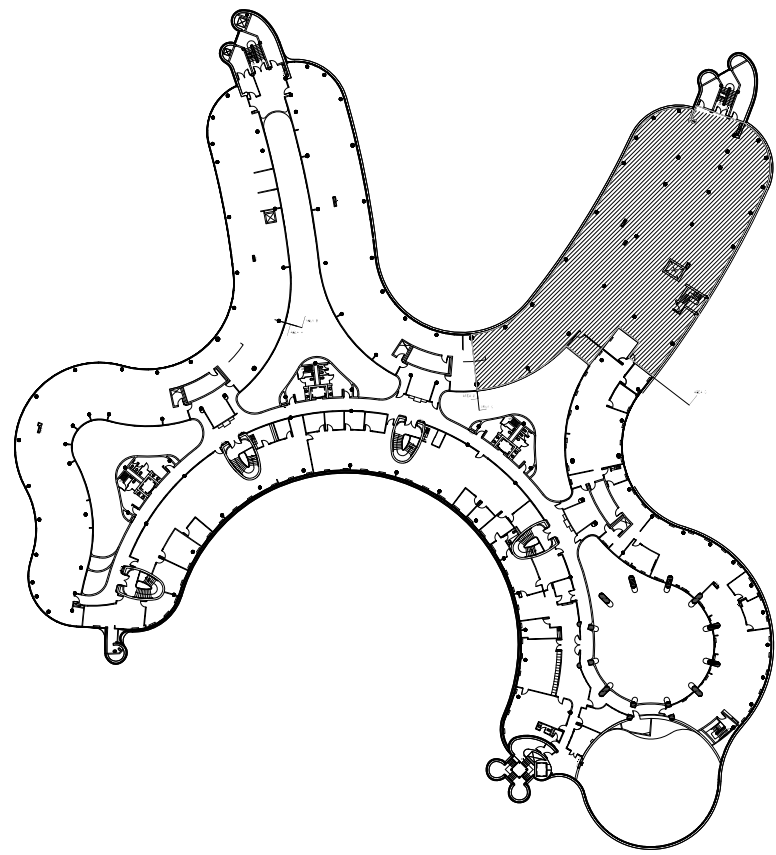
EXISTING WASHROOM #2 TO REMAIN. NO NEW WORK TO OCCUR.

5

REMOVE EXISTING HIGH-DENSITY FILING AND FLOOR TRACK. TURN OVER TO YORK REGION. GO TO ALLOW FOR ON-SITE/OFF-SITE STORAGE (TRANSPORTATION WITHIN A 10-MILE RADIUS) AS INSTRUCTED BY YORK REGION PM



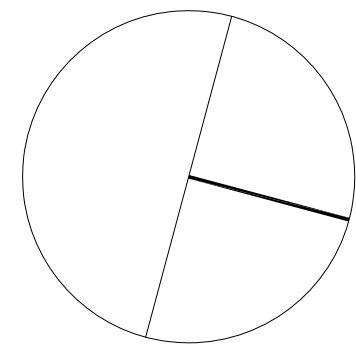
TYPICAL SITE CONDITION AFTER REMOVAL OF WALL FIN. REFER TO KEYNOTE #1



SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

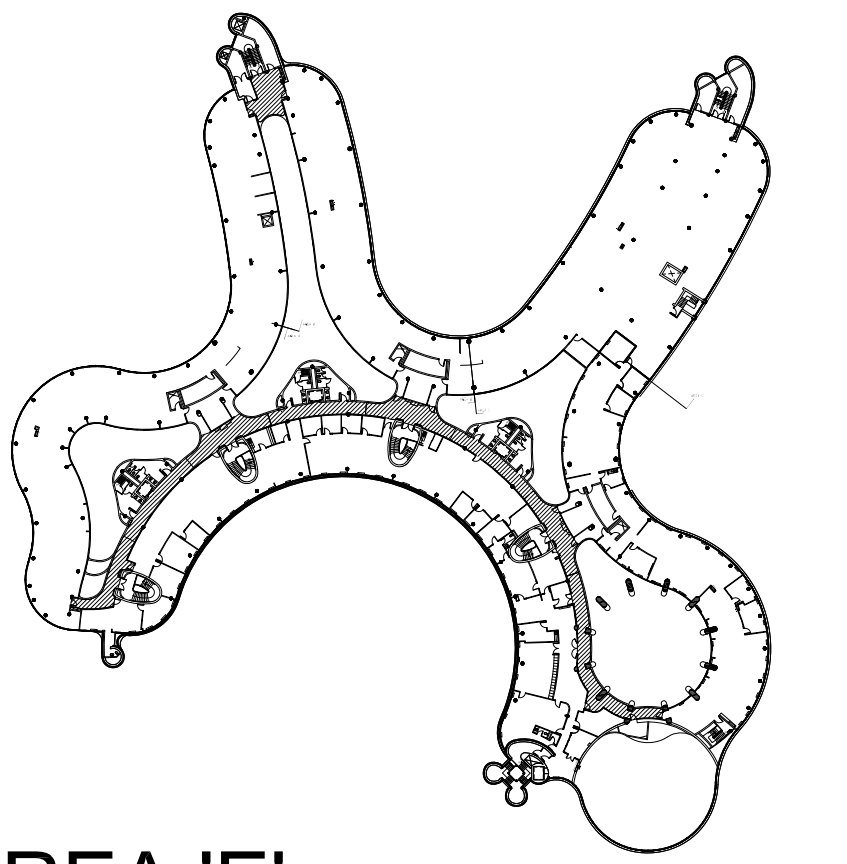
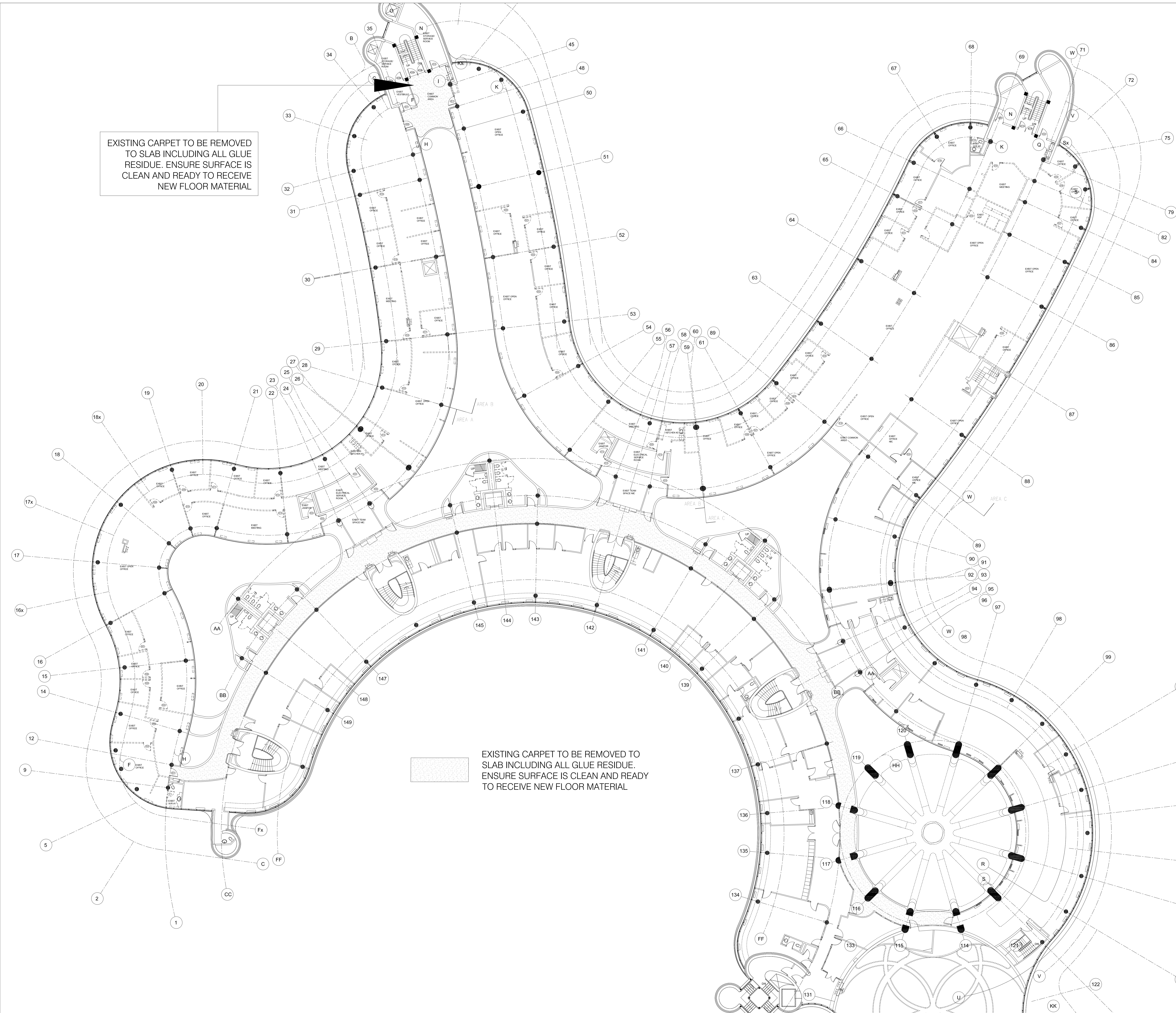
DEMOLITION PLAN
AREA 'C'

SHEET NUMBER:

A102

1
A102

DEMOLITION: 4TH FLOOR AREA 'C'
SCALE: 1:100

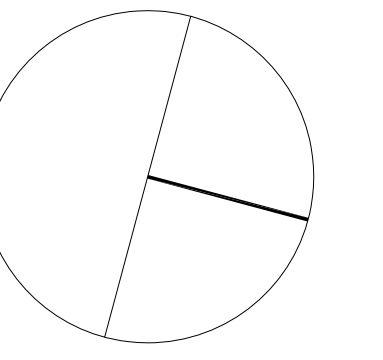


AREA 'E'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

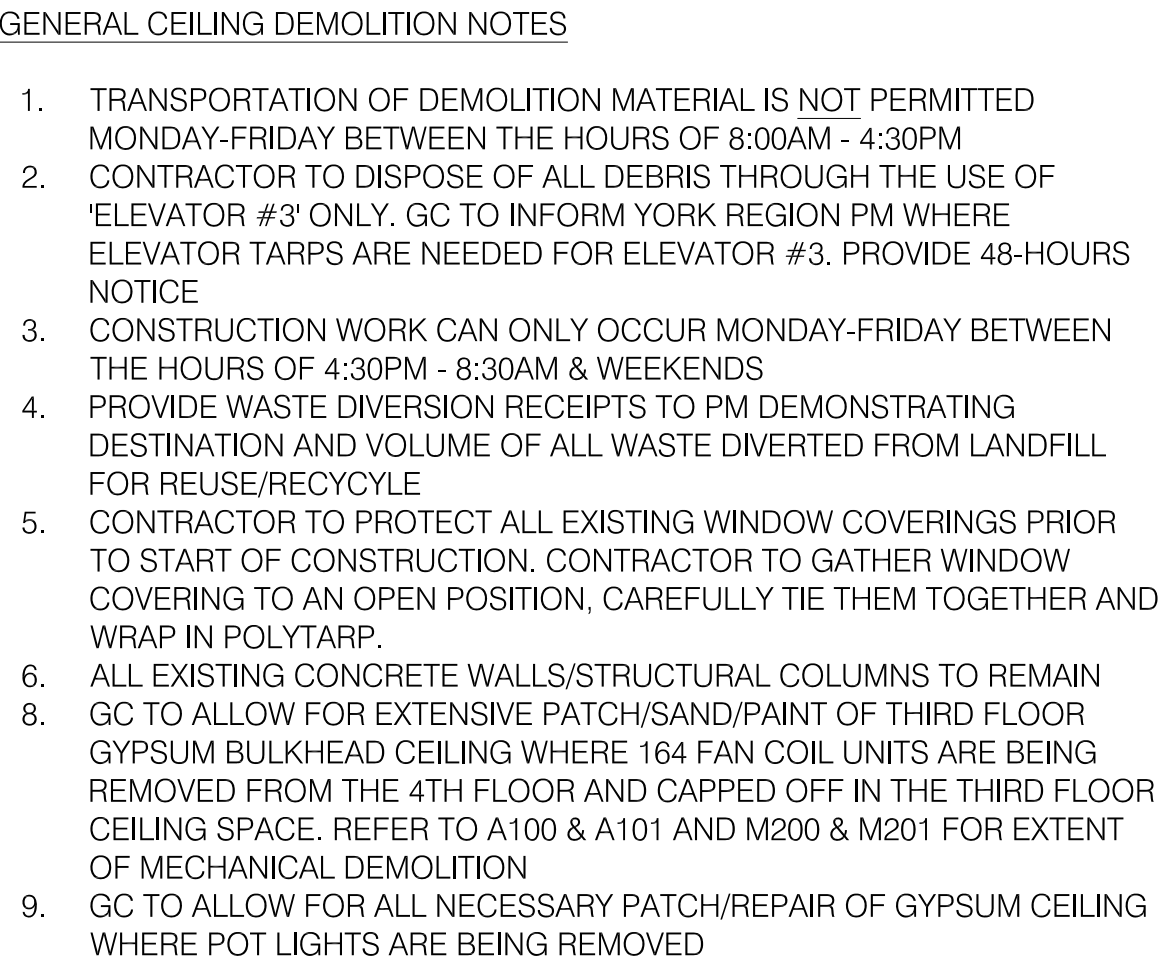
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

DEMOLITION PLAN AREA 'E'

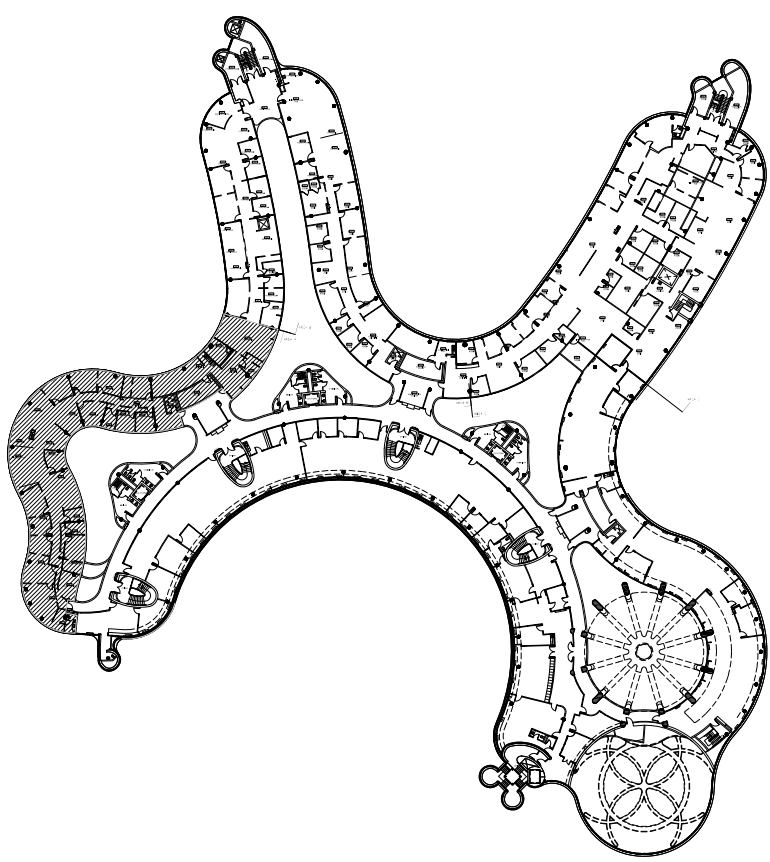
SHEET NUMBER:

A103



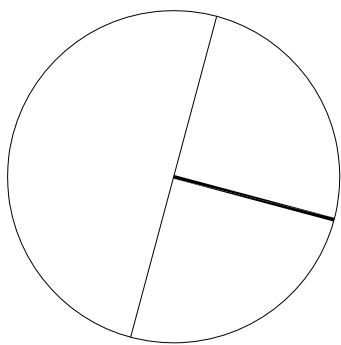
EXISTING EXPOSED CEILING TO REMAIN

EXISTING GYPSUM CEILING TO REMAIN EXCEPT WHERE NEW 8" LINEAR LED LIGHTS ARE BEING INSTALLED. THE CURRENT OPENING MAY BE TOO TIGHT TO ACCOMMODATE THE NEW 8" LINEARS. GC TO ALLOW FOR MODIFICATION TO EXISTING BULKHEADS AS REQUIRED - INCLUDING MAKE GOOD/ PATCH, PRIME, PAINT



SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMITTENDER

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

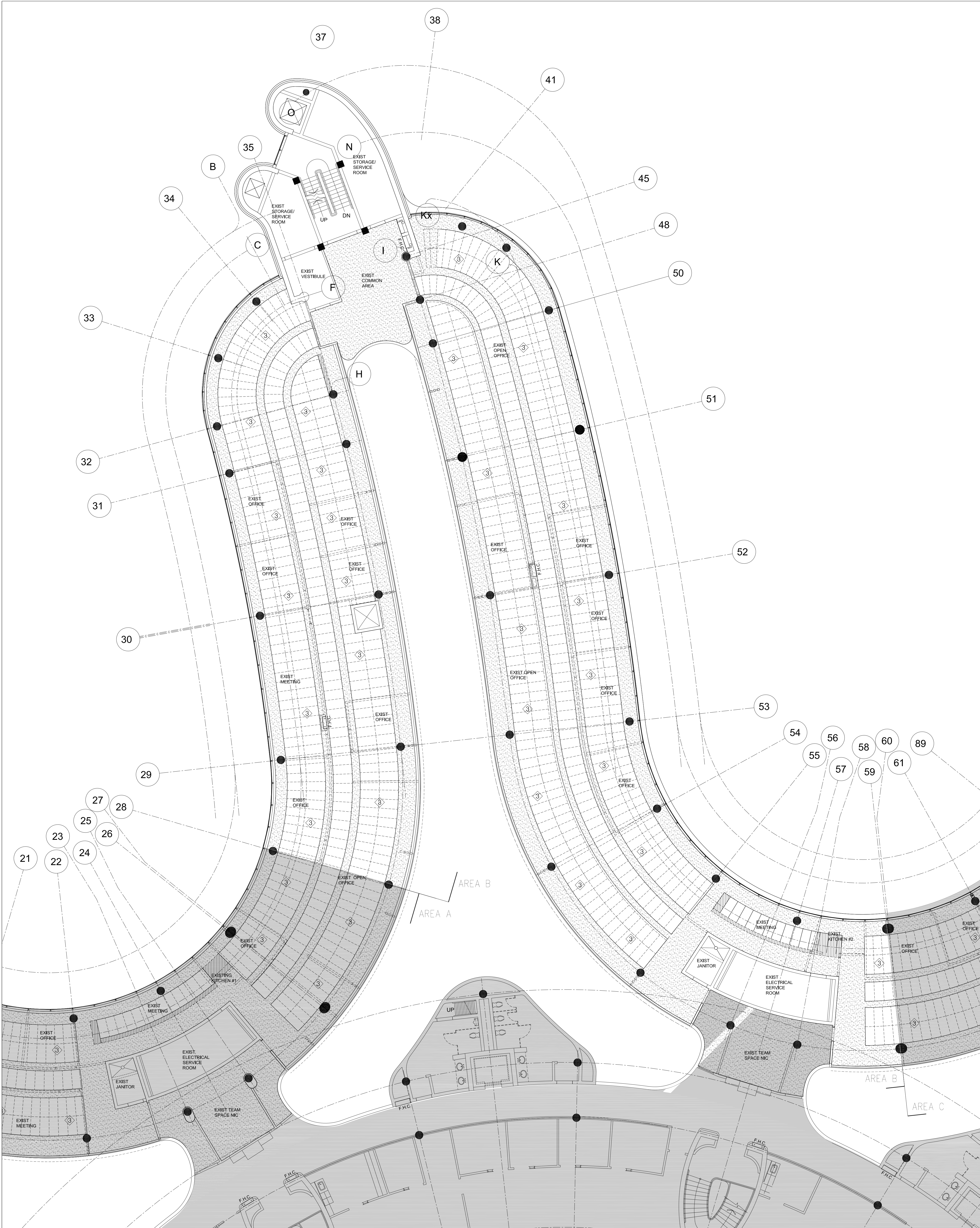
CEILING DEMO
PLAN: (AREA 'A')

SHEET NUMBER

ER: **A103**

1
A103

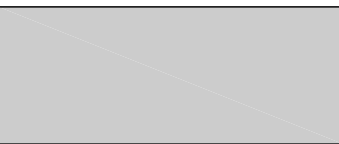
CEILING DEMOLITION: 4TH FLOOR AREA 'A'
SCALE: 1:100



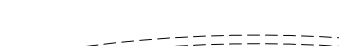
GENERAL CEILING DEMOLITION NOTES

1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
2. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #3 ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TARPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE.
3. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
4. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE
5. CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERING TO AN OPEN POSITION, CAREFULLY TIE THEM TOGETHER AND WRAP IN POLYTARP.
6. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
8. GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF THIRD FLOOR GYPSUM BULKHEAD CEILING WHERE 164 FAN COIL UNITS ARE BEING REMOVED FROM THE 4TH FLOOR AND CAPPED OFF IN THE THIRD FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
9. GC TO ALLOW FOR ALL NECESSARY PATCH/REPAIR OF GYPSUM CEILING WHERE POT LIGHTS ARE BEING REMOVED

LEGEND:



DENOTES AREA OUTSIDE THE CURRENT SCOPE



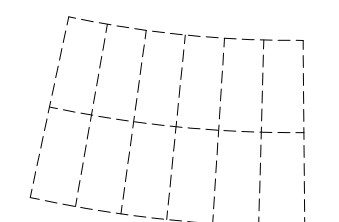
EXISTING WALLS TO REMAIN



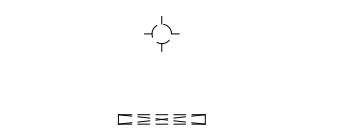
EXISTING WALLS TO REMAIN



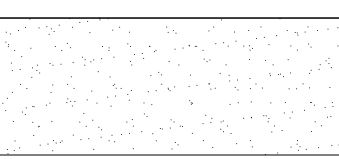
EXISTING WALLS TO REMAIN



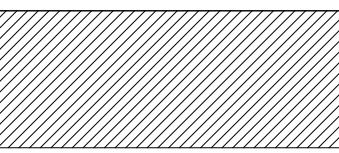
ENTIRE EXISTING ACOUSTIC CEILING INCLUDING ACOUSTIC TILES AND GRID TO BE REMOVED. REFER TO ENGINEERS DRAWINGS FOR EXTENT OF DEMOLITION AS IT RELATES TO LIGHTING, HVAC AND LIFE SAFETY



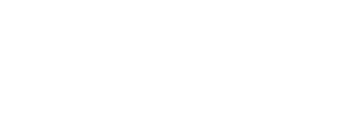
LIGHTING DEMOLITION. GC TO ALLOW FOR ALL NECESSARY PATCH/REPAIR OF GYPSUM CEILING WHERE POT LIGHTS ARE BEING REMOVED



EXISTING GYPSUM CEILING TO REMAIN EXCEPT WHERE NEW 8' LINEAR LED LIGHTS ARE BEING INSTALLED. THE CURRENT OPENING MAY BE TOO TIGHT TO ACCOMMODATE THE NEW 8' LINEARS. GC TO ALLOW FOR MODIFICATION TO EXISTING BULKHEADS AS REQUIRED - INCLUDING MAKE GOOD/ PATCH, PRIME, PAINT



REMOVE GYPSUM CEILING AND ACOUSTIC CEILING/GRID AS SHOWN



EXISTING EXPOSED CEILING TO REMAIN

KEYNOTES:



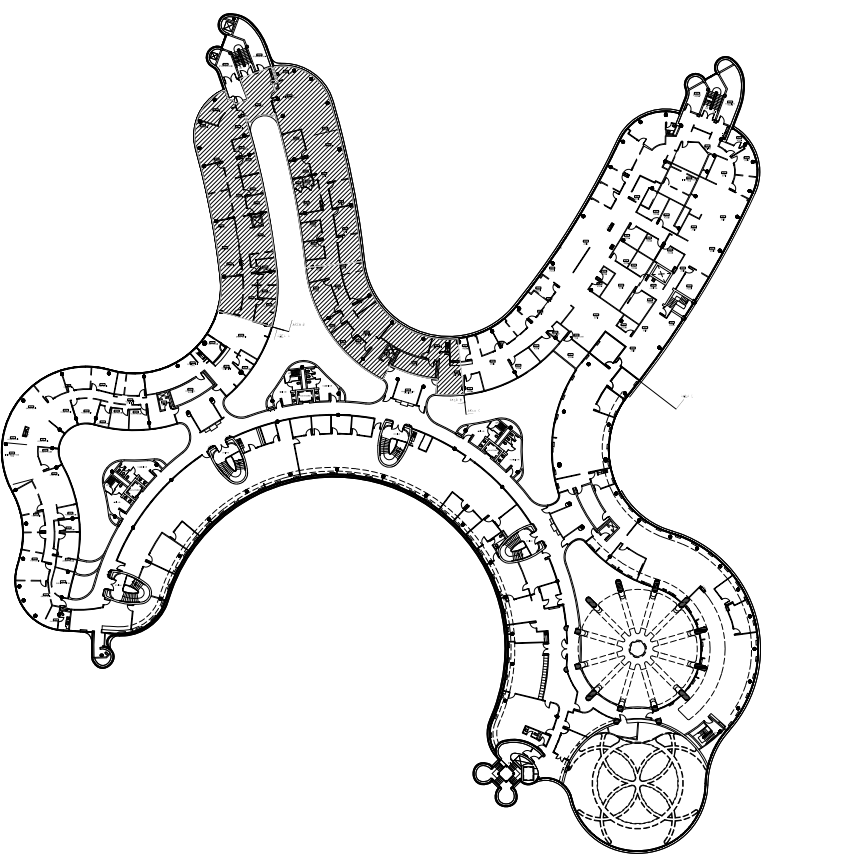
CUTBACK EXISTING GYPSUM CEILING AS REQUIRED (APPROX. 200X3700/SITE VERIFY) TO ACCOMMODATE NEW ACOUSTIC CEILING TILE AND GRID IN MEETING ROOM 4-88



REMOVE SIGN (BLUE DEPARTMENT SIGN) AT THIS LOCATION. MAKE GOOD/PATCH, PRIME PAINT SURFACE.



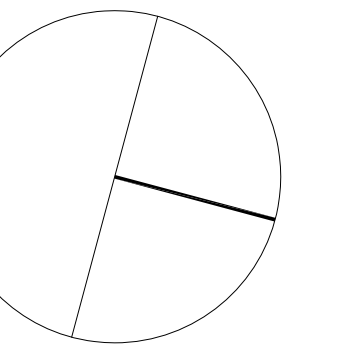
EXISTING GYPSUM CEILING TO REMAIN EXCEPT WHERE NEW 8' LINEAR LED LIGHTS ARE BEING INSTALLED. THE CURRENT OPENING MAY BE TOO TIGHT TO ACCOMMODATE THE NEW 8' LINEARS. GC TO ALLOW FOR MODIFICATION TO EXISTING BULKHEADS AS REQUIRED - INCLUDING MAKE GOOD/ PATCH, PRIME, PAINT



SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

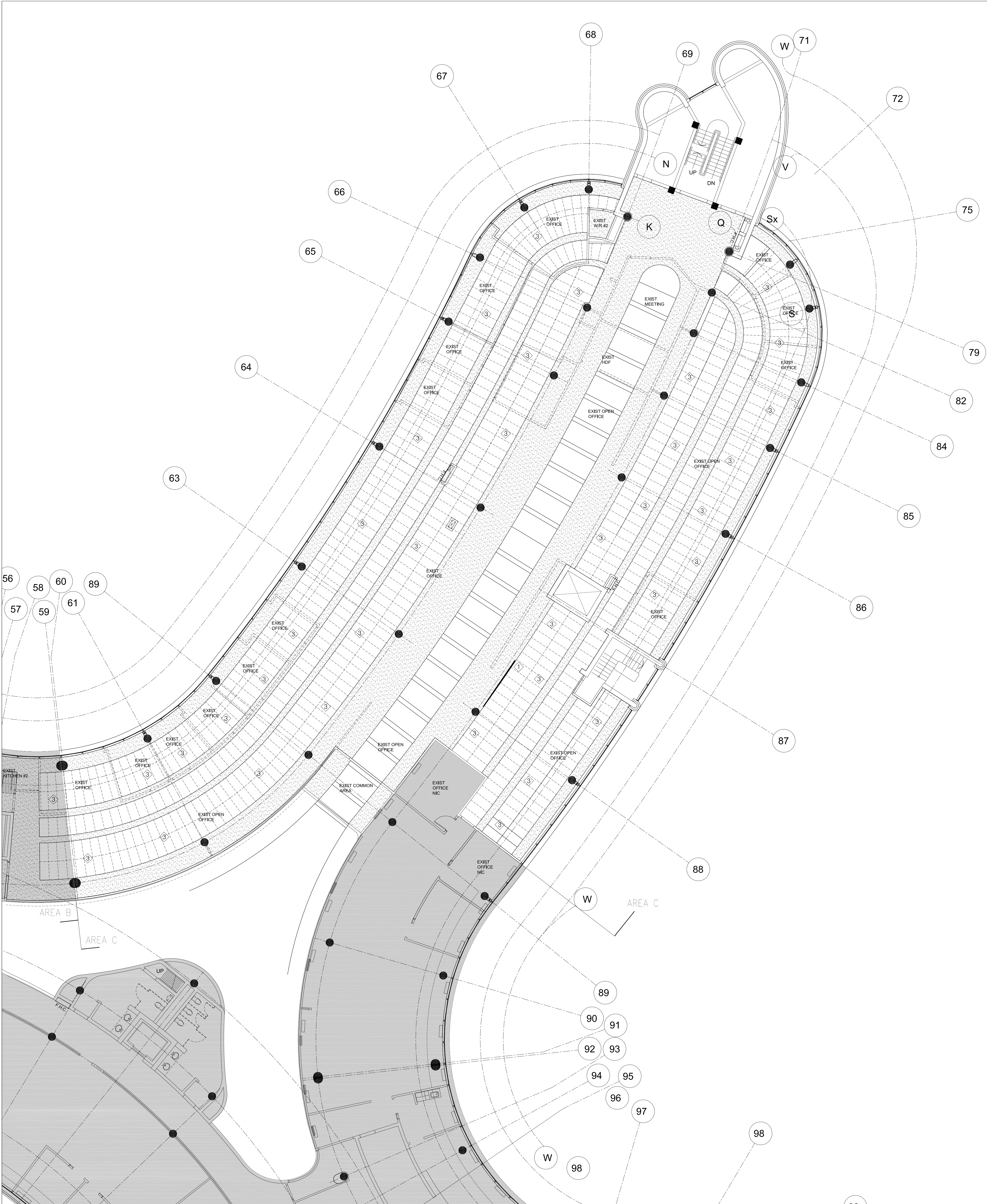
CEILING DEMO
PLAN: AREA 'B'

SHEET NUMBER:

A104

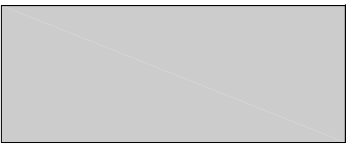
1
A104

CEILING DEMOLITION: 4TH FLOOR AREA 'B'
SCALE: 1:100

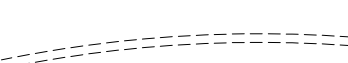


- GENERAL CEILING DEMOLITION NOTES
1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
 2. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #3 ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TAPPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
 3. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
 4. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE
 5. CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERING TO AN OPEN POSITION, CAREFULLY TIE THEM TOGETHER AND WRAP IN POLYTARP.
 6. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
 7. GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF THIRD FLOOR GYPSUM BULKHEAD CEILING WHERE 164 FAN COIL UNITS ARE BEING REMOVED FROM THE 4TH FLOOR AND CAPPED OFF IN THE THIRD FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
 8. GC TO ALLOW FOR ALL NECESSARY PATCH/REPAIR OF GYPSUM CEILING WHERE POT LIGHTS ARE BEING REMOVED

LEGEND:



DENOTES AREA OUTSIDE THE CURRENT SCOPE



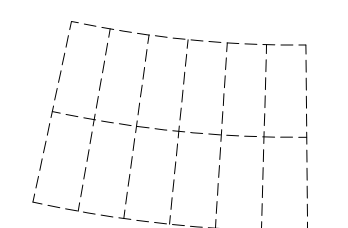
EXISTING WALLS TO REMAIN



EXISTING WALLS TO REMAIN



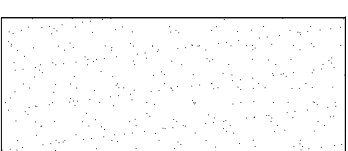
EXISTING WALLS TO REMAIN



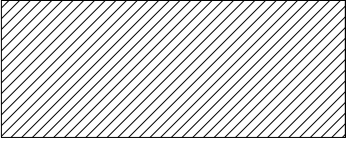
ENTIRE EXISTING ACOUSTIC CEILING INCLUDING ACOUSTIC TILES AND GRID TO BE REMOVED. REFER TO ENGINEER'S DRAWINGS FOR EXTENT OF DEMOLITION AS IT RELATES TO LIGHTING, HVAC AND LIFE SAFETY



LIGHTING DEMOLITION. GC TO ALLOW FOR ALL NECESSARY PATCH/REPAIR OF GYPSUM CEILING WHERE POT LIGHTS ARE BEING REMOVED



EXISTING GYPSUM CEILING TO REMAIN EXCEPT WHERE NEW 8' LINEAR LED LIGHTS ARE BEING INSTALLED. THE CURRENT OPENING MAY BE TOO TIGHT TO ACCOMMODATE THE NEW 8' LINEARS. GC TO ALLOW FOR MODIFICATION TO EXISTING BULKHEADS AS REQUIRED - INCLUDING MAKE GOOD/ PATCH, PRIME, PAINT



REMOVE GYPSUM CEILING AND ACOUSTIC CEILING/GRID AS SHOWN



EXISTING EXPOSED CEILING TO REMAIN

KEYNOTES:



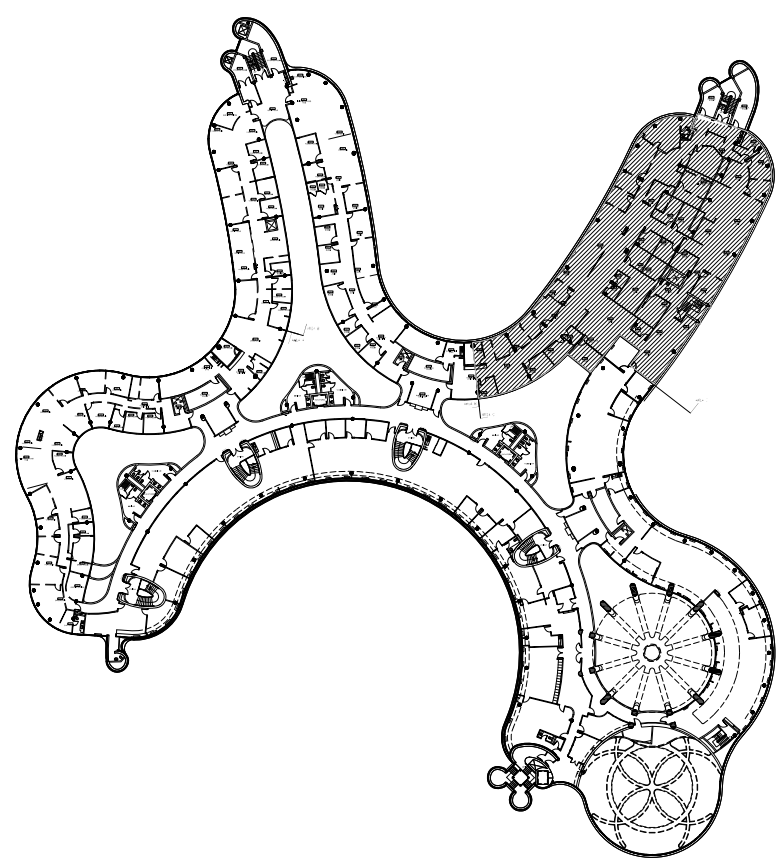
OUTBACK EXISTING GYPSUM CEILING AS REQUIRED (APPROX. 200X3700/SITE VERIFY) TO ACCOMMODATE NEW ACOUSTIC CEILING TILE AND GRID IN MEETING ROOM 4-88



REMOVE SIGN (BLUE DEPARTMENT SIGN) AT THIS LOCATION. MAKE GOOD/PATCH, PRIME PAINT SURFACE.



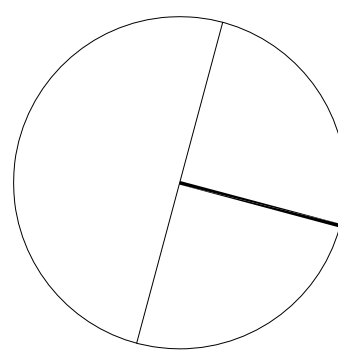
EXISTING GYPSUM CEILING TO REMAIN EXCEPT WHERE NEW 8' LINEAR LED LIGHTS ARE BEING INSTALLED. THE CURRENT OPENING MAY BE TOO TIGHT TO ACCOMMODATE THE NEW 8' LINEARS. GC TO ALLOW FOR MODIFICATION TO EXISTING BULKHEADS AS REQUIRED - INCLUDING MAKE GOOD/ PATCH, PRIME, PAINT



SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

CEILING DEMO
PLAN: (AREA 'C')

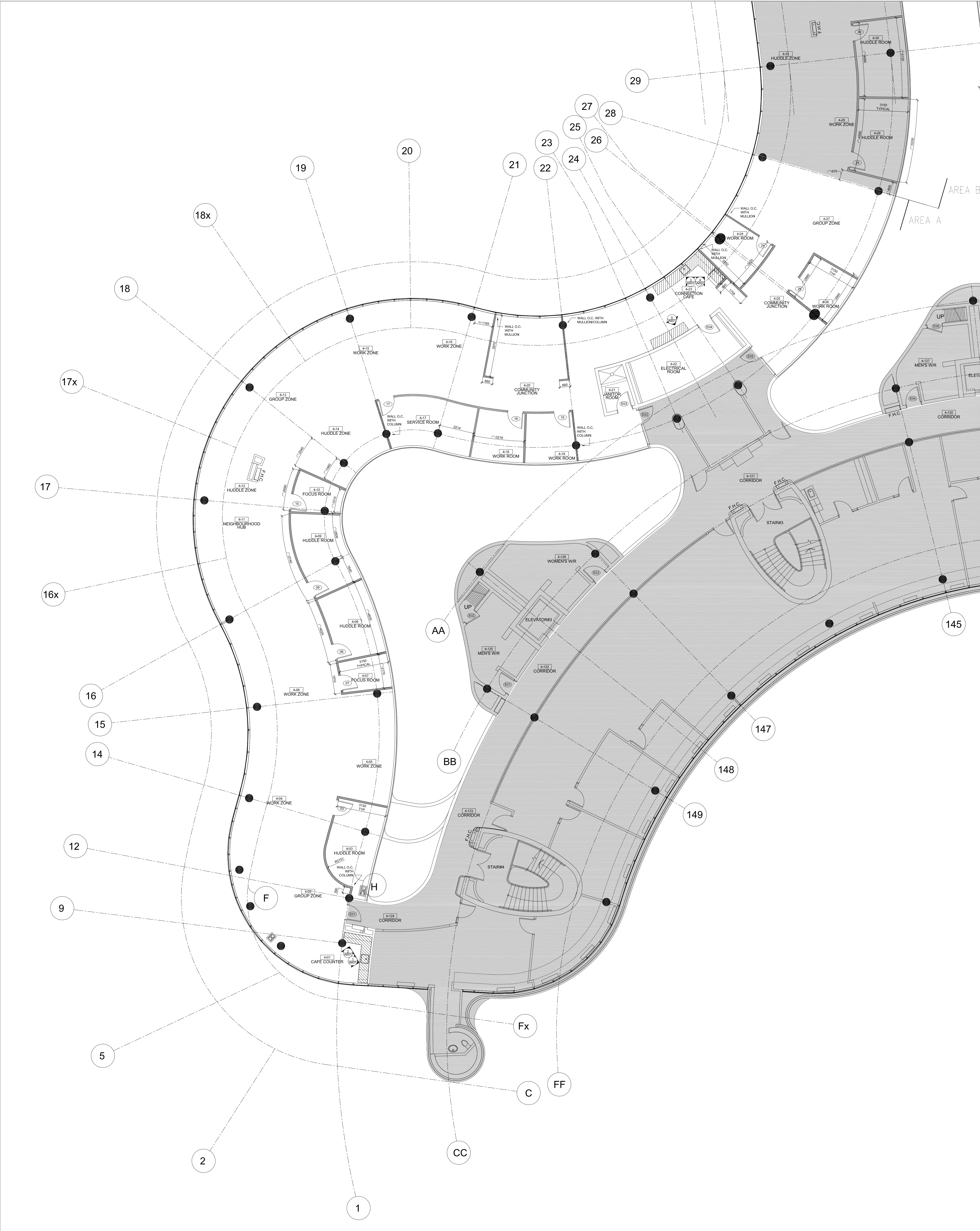
SHEET NUMBER:

A105

1

A105

CEILING DEMOLITION: 4TH FLOOR AREA 'C'
SCALE: 1:100



- GENERAL PARTITION NOTES
1. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
 2. CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERING TO AN OPEN POSITION. CAREFULLY TIE THEM TOGETHER AND WRAP IN POLYTARP.
 3. ALL EXISTING CONCRETE WALLS TO REMAIN
 4. GC TO PROVIDE 2HR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GC TO ALLOW FOR UP TO 600 100MM WIDE FLOOR SLAB PENETRATIONS RELATED TO REMOVAL OF FAN COIL UNITS. REFER TO STRUCTURAL ENGINEERS DWGS (D1/S100) FOR TYPICAL FIRESTOP DETAIL.
 5. GC TO ALLOW FOR EXTENSIVE PATCHES/PAINT OF THIRD FLOOR GYPSUM BULKHEAD CEILING WHERE FAN COIL UNITS ARE BEING REMOVED FROM THE 4TH FLOOR AND CAPPED OFF IN THE THIRD FLOOR CEILING SPACE. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR EXTENT OF DEMOLITION
 6. GC TO CHALKLINE ALL NEW TEKNION FURNITURE WALLS FOR SIGNOFF BY YORK REGION PRIOR TO THE INSTALL OF RIGID BATT INSULATION IN PLENUM SPACE
 7. GC TO CHALKLINE ALL NEW GYPSUM WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL
 8. REFER TO 2/A601 FOR TYPICAL INFILL DETAIL WHERE ALL NEW WALLS MEET GLAZING
 9. REFER TO DOOR HARDWARE SCHEDULE ON A601 DRAWING

LEGEND:

■ DENOTES AREA OUTSIDE OF CURRENT SCOPE

— EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

P-1 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO 200MM PAST FINISHED CEILING (STC RATING 45 - UL U407). GYP WALL CW 12MM GYP ON BOTH SIDES OF 90MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY. INFILL WALL CAVITY WITH INSULATION BATTS FULL HEIGHT OF WALL. PROVIDE 50MM RIGID INSULATION BATTS C/W FOIL BOTH SIDES FROM 200MM ABOVE FINISHED CEILING TO U/S OF CONCRETE SLAB ABOVE. ALL BAFFLE JOINTS TO BE TAPED. FRICTION FIT W/FSK

P-2 PARTITION TYPE DENOTES NEW ALTOS WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING. NEW ALTOS WALL SUPPLIED BY CLIENT INSTALLED BY GC. GC TO CARRY PRE-QUALIFIED ALTOS INSTALLER. PROVIDE 50MM RIGID INSULATION BATTS C/W FOIL BOTH SIDES FROM ABOVE FINISHED CEILING TO U/S OF CONCRETE SLAB ABOVE. ALL BAFFLE JOINTS TO BE TAPED. FRICTION FIT W/FSK

**GC'S PRE-QUALIFIED FURNITURE INSTALLER TO CONSULT WITH CLIENT FOR EXACT PLACEMENT OF ALTOS WALLS. DO NOT REFERENCE ARCHITECTURAL DRAWINGS ALONE FOR PRECISE LAYOUT WITHOUT CLIENT INPUT

P-3 NEW 1-HOUR SHAFT WALL ASSEMBLY (UL U415/STC 45) FROM FLOOR SLAB TO CONCRETE SLAB ABOVE. ASSEMBLY C/W 25MM THICK GYPSUM LINEAR PANEL (UL TYPE SLX) GYPSUM ON ONE SIDE OF 50MM CH STUDS, 20ga. MSG, SPACED 400MM O.C. AND 16MM THICK GYPSUM BOARD (UL TYPE SCX) INFILL WALL CAVITY WITH 38MM GLASS FIBRE BATT INSULATION FULL HEIGHT OF WALL.

NEW MILLWORK

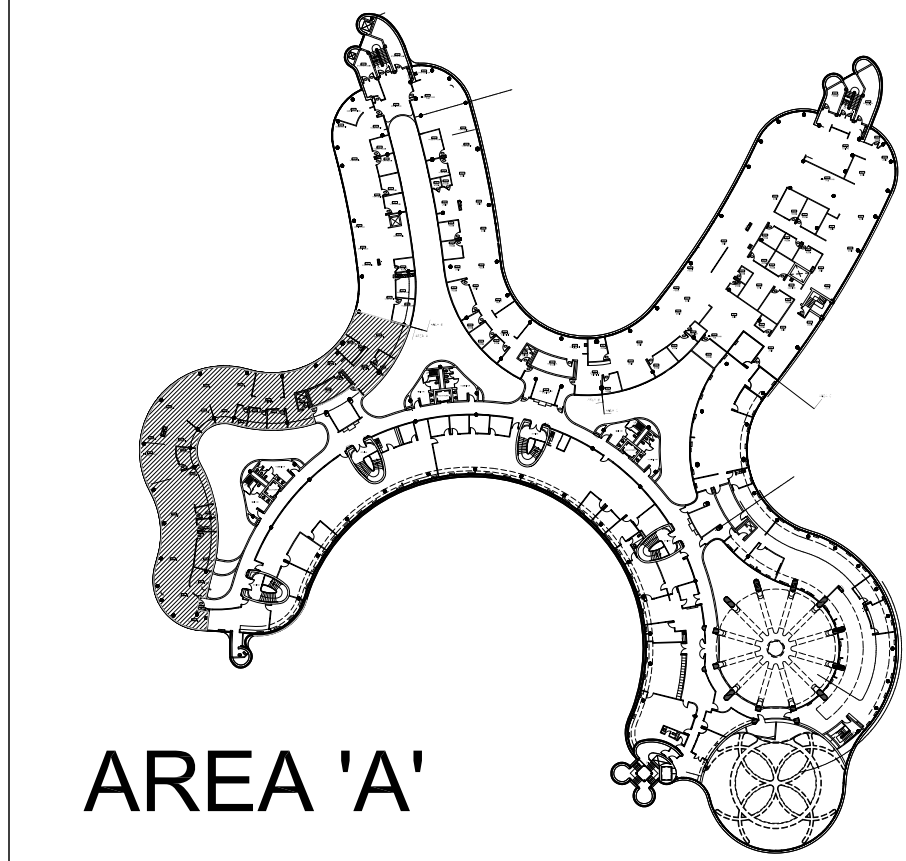
NEW 350X250 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEERS DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE

NEW 500X300 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEERS DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE

KEYNOTES:

GC TO CHALK-LINE THE SHAFT LOCATIONS ON SITE FOR REVIEW BY PM, ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO CUTTING SLAB. DO NOT PROCEED WITH CUTTING OF SLAB UNTIL WRITTEN INSTRUCTION IS PROVIDED BY PRIME CONSULTANT

ALLOW FOR GAP INFILL WHERE TEKNION WALLS MEET INSIDE PERIMETER WALL. REFER TO DETAIL 2/A600

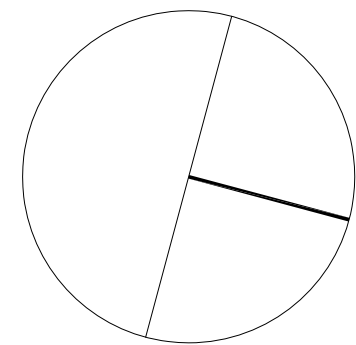


AREA 'A'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

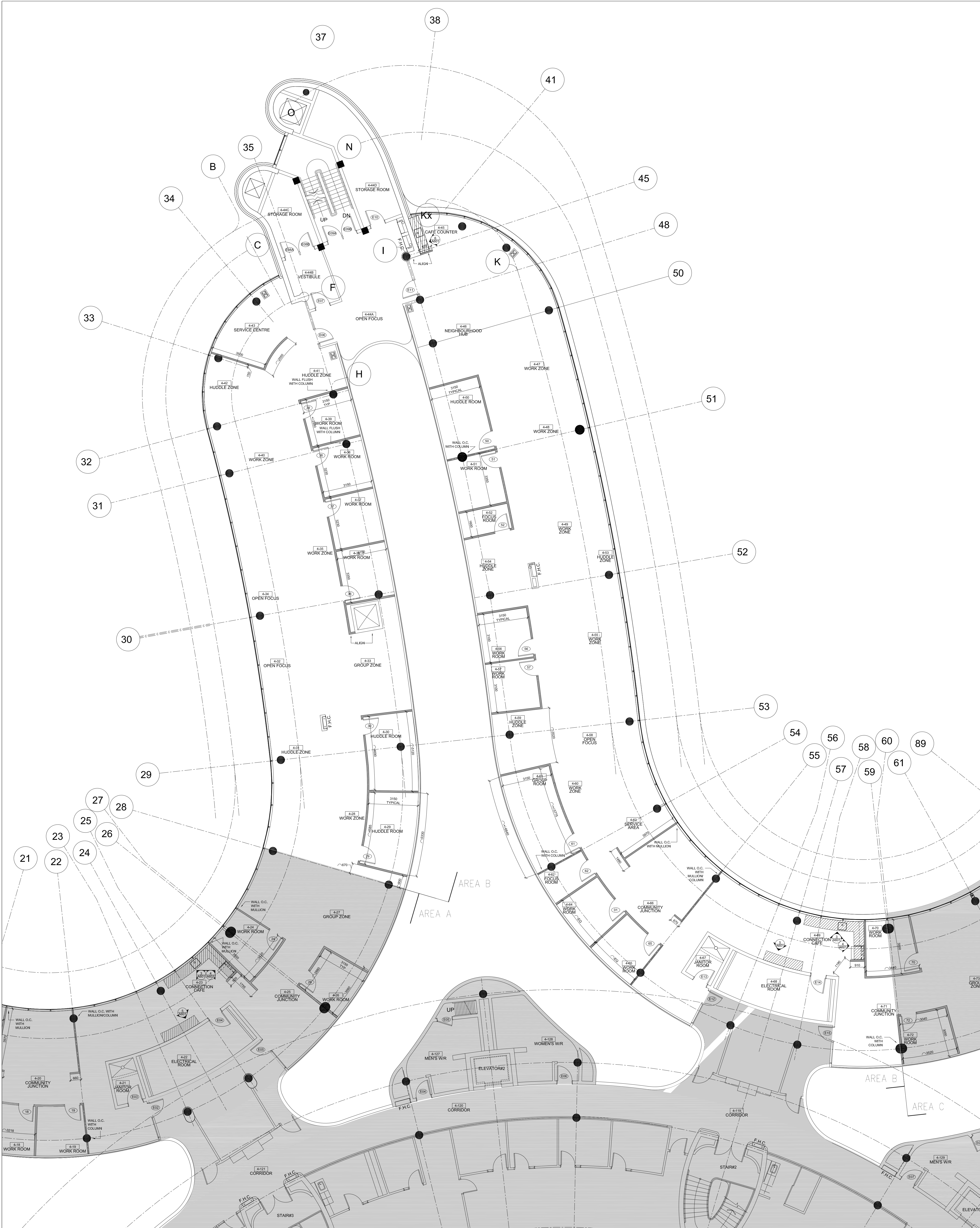
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTITION PLAN
AREA 'A'

SHEET NUMBER:

A200



- GENERAL PARTITION NOTES
1. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
 2. CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERING TO AN OPEN POSITION, CAREFULLY TIE THEM TOGETHER AND WRAP IN POLYTARP.
 3. ALL EXISTING CONCRETE WALLS TO REMAIN
 4. GC TO PROVIDE 2HR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GC TO ALLOW FOR UP TO 600 100MM WIDE FLOOR SLAB PENETRATIONS RELATED TO REMOVAL OF FAN COIL UNITS. REFER TO STRUCTURAL ENGINEERS DWGS (D1/S100) FOR TYPICAL FIRE STOP DETAIL.
 5. GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF THIRD FLOOR GYPSUM BULKHEAD CEILING WHERE FAN COIL UNITS ARE BEING REMOVED FROM THE 4TH FLOOR AND CAPPED OFF IN THE THIRD FLOOR CEILING SPACE. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR EXTENT OF DEMOLITION
 6. GC TO CHALKLINE ALL NEW TEKNIUM FURNITURE WALLS FOR SIGNOFF BY YORK REGION PRIOR TO THE INSTALL OF RIGID BATT INSULATION IN PLENUM SPACE
 7. GC TO CHALKLINE ALL NEW GYPSUM WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL
 8. REFER TO 2/A601 FOR TYPICAL INFILL DETAIL WHERE ALL NEW WALLS MEET GLAZING
 9. REFER TO DOOR HARDWARE SCHEDULE ON A601 DRAWING

LEGEND:

■ DENOTES AREA OUTSIDE OF CURRENT SCOPE

— EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

P-1 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO 200MM PAST FINISHED CEILING (STC RATING 45 - UL U407). GYP WALL C/W 12MM GYP ON BOTH SIDES OF 90MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY. INFILL WALL CAVITY WITH INSULATION BATTS FULL HEIGHT OF WALL. PROVIDE 50MM RIGID INSULATION BATTS C/W FOIL BOTH SIDES FROM 200MM ABOVE FINISHED CEILING TO U/S OF CONCRETE SLAB ABOVE. ALL BAFFLE JOINTS TO BE TAPED. FRICTION FIT W/FSK

P-2 PARTITION TYPE DENOTES NEW ALTOS WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING. NEW ALTOS WALL SUPPLIED BY CLIENT INSTALLED BY GC. GC TO CARRY PRE-QUALIFIED ALTOS INSTALLER. PROVIDE 50MM RIGID INSULATION BATTS C/W FOIL BOTH SIDES FROM ABOVE FINISHED CEILING TO U/S OF CONCRETE SLAB ABOVE. ALL BAFFLE JOINTS TO BE TAPED. FRICTION FIT W/FSK

**GC'S PRE-QUALIFIED FURNITURE INSTALLER TO CONSULT WITH CLIENT FOR EXACT PLACEMENT OF ALTOS WALLS. DO NOT REFERENCE ARCHITECTURAL DRAWINGS ALONE FOR PRECISE LAYOUT WITHOUT CLIENT INPUT

P-3 NEW 1-HOUR SHAFT WALL ASSEMBLY (UL U415/STC 45) FROM FLOOR SLAB TO CONCRETE SLAB ABOVE. ASSEMBLY C/W 25MM THICK GYPSUM LINEAR PANEL (UL TYPE SLX) GYPSUM ON ONE SIDE OF 50MM CH STUDS, 20ga. MSG, SPACED 400MM O.C. AND 16MM THICK GYPSUM BOARD (UL TYPE SCX) INFILL WALL CAVITY WITH 38MM GLASS FIBRE BATT INSULATION FULL HEIGHT OF WALL.

■ NEW MILLWORK

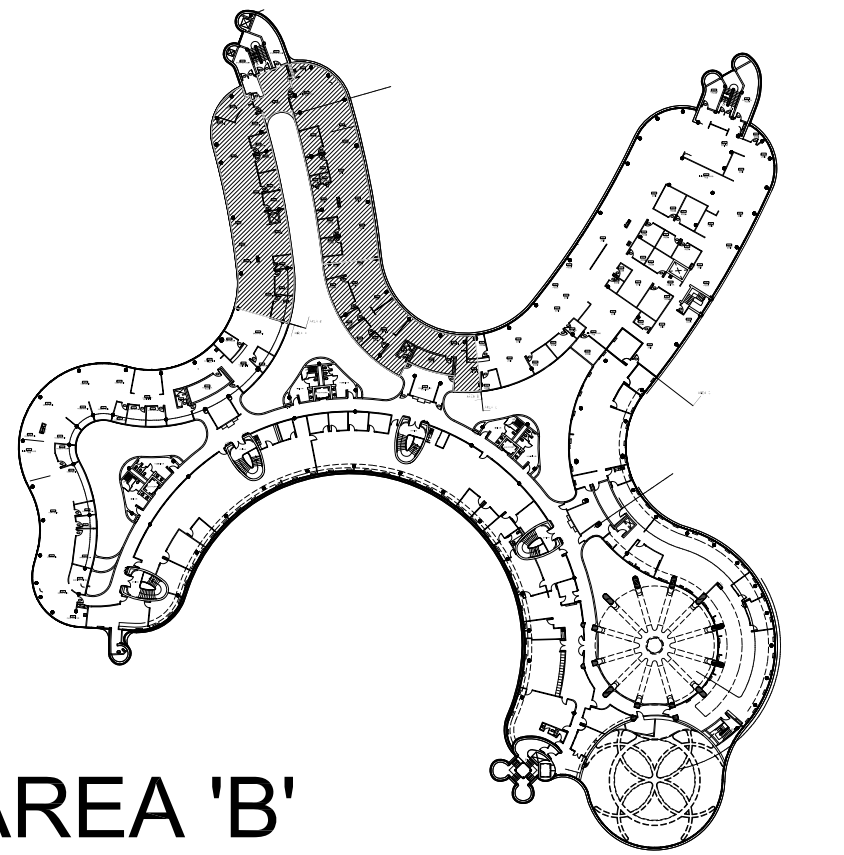
■ NEW 350X250 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEERS DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE

■ NEW 500X300 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEERS DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE

KEYNOTES:

① GC TO CHALK-LINE THE SHAFT LOCATIONS ON SITE FOR REVIEW BY PM, ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO CUTTING SLAB. DO NOT PROCEED WITH CUTTING OF SLAB UNTIL WRITTEN INSTRUCTION IS PROVIDED BY PRIME CONSULTANT

② ALLOW FOR GAP INFILL WHERE TEKNIUM WALLS MEET INSIDE PERIMETER WALL. REFER TO DETAIL 2/A600

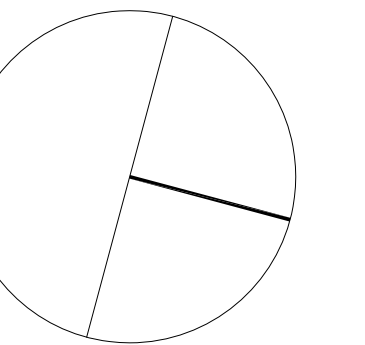


AREA 'B'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

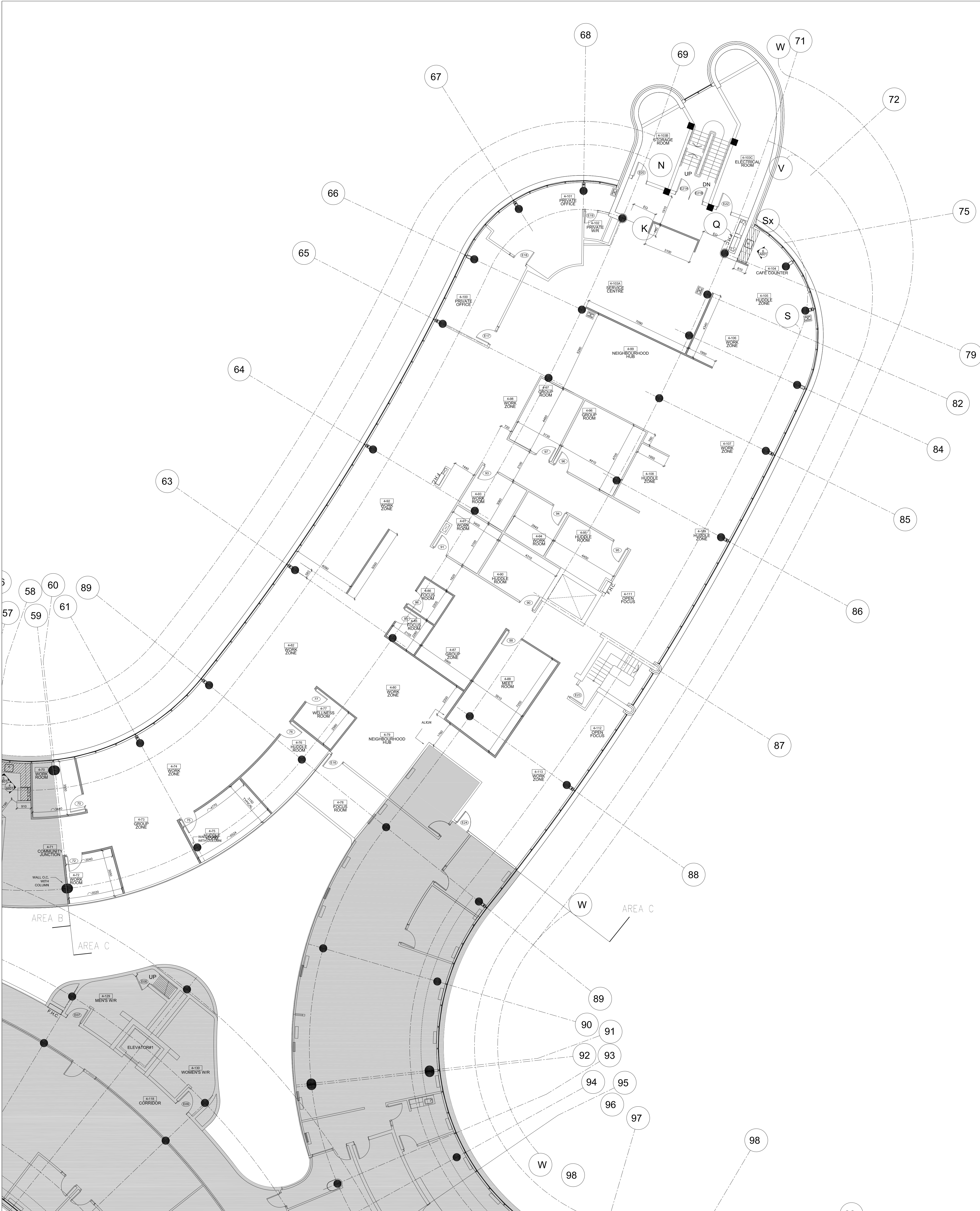
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTITION PLAN AREA 'B'

SHEET NUMBER:

A201



GENERAL PARTITION NOTES

- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
- CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERING TO AN OPEN POSITION. CAREFULLY TIE THEM TOGETHER AND WRAP IN POLYTARP.
- ALL EXISTING CONCRETE WALLS TO REMAIN
- GC TO PROVIDE 2HR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GC TO ALLOW FOR UP TO 600 100MM WIDE FLOOR SLAB PENETRATIONS RELATED TO REMOVAL OF FAN COIL UNITS. REFER TO STRUCTURAL ENGINEERS DWGS (D1/S100) FOR TYPICAL FIRESTOP DETAIL.
- GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF THIRD FLOOR GYPSUM BULKHEAD CEILING WHERE FAN COIL UNITS ARE BEING REMOVED FROM THE 4TH FLOOR AND CAPPED OFF IN THE THIRD FLOOR CEILING SPACE. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR EXTENT OF DEMOLITION
- GC TO CHALKLINE ALL NEW TEKMON FURNITURE WALLS FOR SIGNOFF BY YORK REGION PRIOR TO THE INSTALL OF RIGID BATT INSULATION IN PLENUM SPACE
- GC TO CHALKLINE ALL NEW GYPSUM WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL
- REFER TO 2/A601 FOR TYPICAL INFILL DETAIL WHERE ALL NEW WALLS MEET GLAZING
- REFER TO DOOR HARDWARE SCHEDULE ON A601 DRAWING

LEGEND:

DENOTES AREA OUTSIDE OF CURRENT SCOPE

EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

P-1 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO 200MM PAST FINISHED CEILING (STC RATING 45 - UL U407). GYP WALL C/W 12MM GYP ON BOTH SIDES OF 90MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY. INFILL WALL CAVITY WITH INSULATION BATTS FULL HEIGHT OF WALL. PROVIDE 50MM RIGID INSULATION BATTS C/W FOIL BOTH SIDES FROM ABOVE FINISHED CEILING TO U/S OF CONCRETE SLAB ABOVE. ALL BAFFLE JOINTS TO BE TAPED. FRICTION FIT W/ FSK

P-2 PARTITION TYPE DENOTES NEW ALTOS WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING. NEW ALTOS WALL SUPPLIED BY CLIENT INSTALLED BY GC. GC TO CARRY PRE-QUALIFIED ALTOS INSTALLER. PROVIDE 50MM RIGID INSULATION BATTS C/W FOIL BOTH SIDES FROM ABOVE FINISHED CEILING TO U/S OF CONCRETE SLAB ABOVE. ALL BAFFLE JOINTS TO BE TAPED. FRICTION FIT W/ FSK

P-3 NEW 1-HOUR SHAFT WALL ASSEMBLY (UL U415/STC 45) FROM FLOOR SLAB TO CONCRETE SLAB ABOVE. ASSEMBLY C/W 25MM THICK GYPSUM LINEAR PANEL (UL TYPE SLX) GYPSUM ON ONE SIDE OF 50MM CH STUDS, 20ga. MSG, SPACED 400MM O.C. AND 16MM THICK GYPSUM BOARD (UL TYPE SCX) INFILL WALL CAVITY WITH 38MM GLASS FIBRE BATT INSULATION FULL HEIGHT OF WALL.

NEW MILLWORK

NEW 350X250 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEERS DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE

NEW 500X300 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEERS DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE

KEYNOTES:

GC TO CHALKLINE THE SHAFT LOCATIONS ON SITE FOR REVIEW BY PM, ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO CUTTING SLAB. DO NOT PROCEED WITH CUTTING OF SLAB UNTIL WRITTEN INSTRUCTION IS PROVIDED BY PRIME CONSULTANT

ALLOW FOR GAP INFILL WHERE TEKMON WALLS MEET INSIDE PERIMETER WALL. REFER TO DETAIL 2/A600

AREA 'C'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146

York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

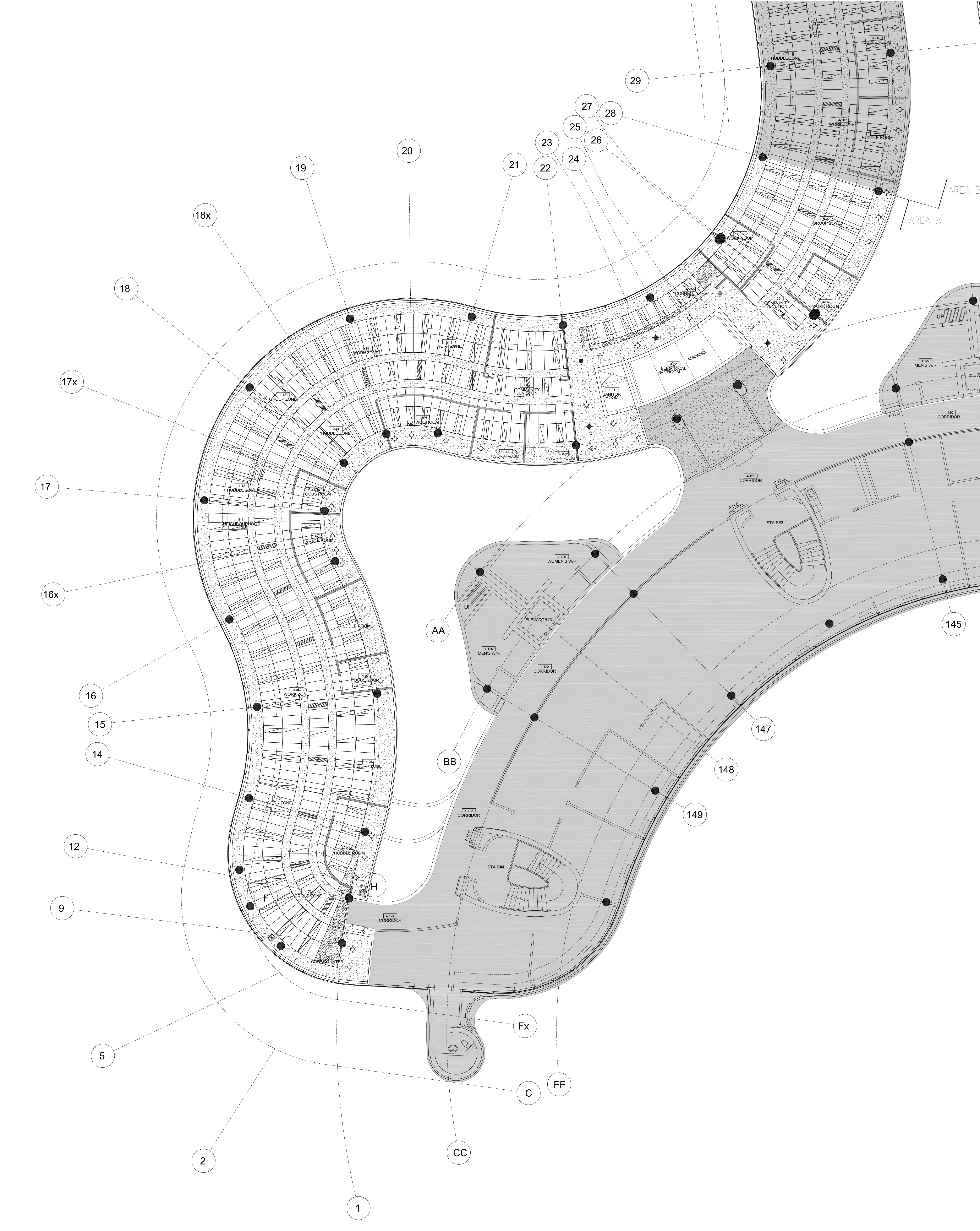
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTITION PLAN AREA 'C'

SHEET NUMBER:

A202

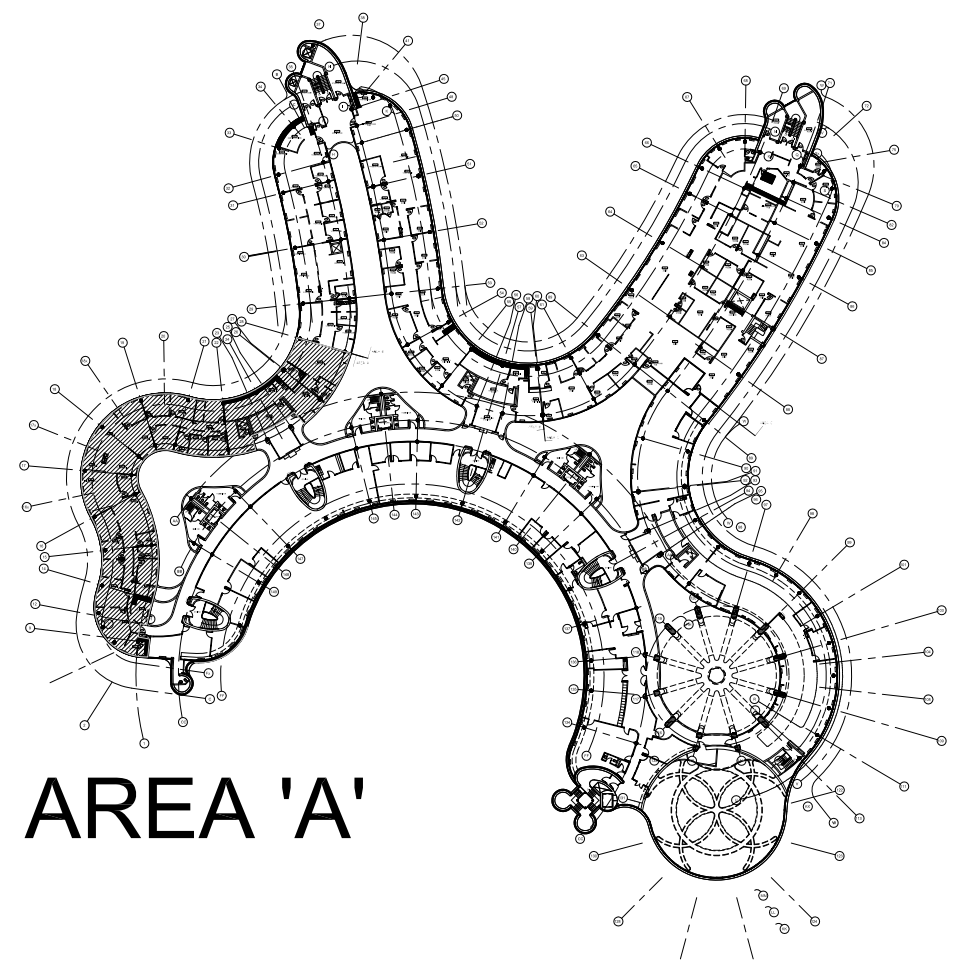


GENERAL NOTES_RCP

1. CONSULT WITH THE ARCHITECT PRIOR TO THE START OF WORK WHERE AMBIGUITY EXISTS BETWEEN THE DRAWINGS AND SITE CONDITIONS
2. GC TO COMMUNICATE WITH ARCHITECT, THE CEILING DESIGN INTENT PRIOR TO SUPPLY/INSTALL
3. ARCHITECT TO APPROVE GRID LAYOUT PRIOR TO INSTALLATION OF ACOUSTIC CEILING TILE
4. PATCH, REPAIR, PAINT ALL EXISTING BULKHEADS AND GYPSUM CEILINGS THROUGHOUT THE SCOPE OF WORK THAT HAVE BEEN DAMAGED AS A RESULT OF DEMOLITION
5. EXISTING BULKHEADS TO BE REPAIRED HAVE A 300MM EDGE TO BE INCLUDED IN PATCH/REPAIR/PAINT WORK
6. ALL DIFFUSERS TO BE CUSTOM FRAMED WITH T-BAR GRID AND FIT WITHIN THE ITS RESPECTIVE LOCATION AS SHOWN ON PLAN
7. FINAL CEILING GRID PATTERN TO BE COORDINATED WITH CONSULTANT ON SITE
8. CONSULTANT SIGN-OFF ON GRID PATTERN DESIGN PRIOR TO SUPPLY/INSTALL OF T-BAR GRID
9. CONSULTANT SIGN-OFF ON GRID LAYOUT PRIOR TO SUPPLY/INSTALL OF ACOUSTIC CEILING TILE
10. CONTRACTOR TO PROVIDE A MOCK-UP SECTION OF T-BAR CEILING WITH DUCTWORK AND LIGHT FIXTURES INSTALLED TO ENSURE ALL EQUIPMENT ABOVE T-BAR CEILING FITS. GENERAL CONTRACTOR TO BEAR ALL COSTS IF MODIFICATIONS OF THE CEILING ARE REQUIRED
11. PRIOR TO COMMENCING THE INSTALL OF THE NEW T-BAR CEILING GC IS TO SITE VERIFY THAT THE PLENUM SPACE IS HIGH ENOUGH TO ACCOMMODATE THE NEW MECHANICAL/ELECTRICAL SERVICES LOCATED IN PLENUM SPACE. GC TO CREATE 'MOCK-UP' AND DEMONSTRATE TO CLIENT REQUIRED CLEARANCE SPACE IN PLENUM CAN BE ACHIEVED PRIOR TO INSTALL OF DROP CEILING.
12. HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF CONCRETE SLAB ABOVE +/-3300MM. GC TO SITE VERIFY PRIOR TO THE START OF WORK
13. PATCH/REPAIR/PAINT EXISTING GYPSUM CEILINGS WHERE EXISTING POT LIGHTS ARE BEING REMOVED
14. REFER TO ELECTRICAL ENGINEER'S DRAWINGS/SPECS FOR LOCATION/SPECIFICATION OF ALL NEW AND EXISTING LIGHT FIXTURES. ARCHITECT'S DRAWINGS RELATED TO NEW/EXISTING LIGHTING IS FOR REFERENCE ONLY.

LEGEND:

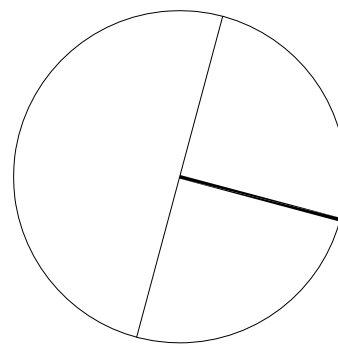
- DENOTES AREA OUTSIDE OF CURRENT SCOPE OF WORK
- DENOTES ROOM NAME/NUMBER
- DENOTES CEILING FINISH TAG
- EXISTING WALLS
- P-1 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC
- P-2 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC
- P-3 PARTITION TYPE . REFER TO A200 & A201 FOR SPEC
- ACT 1. NEW CUSTOM CUT ACOUSTIC CEILING AND T-BAR GRID. REFER TO SPEC PACKAGE FOR DETAILED SPECIFICATION
- EXISTING GYPSUM CEILING TO REMAIN. PATCH AND REPAIR/PAINT ALL GYPSUM CEILINGS INCLUDING GYPSUM BULKHEADS THAT HAVE BEEN DAMAGED AS A RESULT OF PRIOR DEMOLITION
- NEW GYPSUM CEILING. MATCH CEILING HEIGHT TO THAT OF EXISTING ADJACENT GYPSUM CEILINGS. SITE VERIFY WITH ARCHITECT PRIOR TO THE START OF WORK.
- ◆ NEW LED LINEAR AND POT. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR SPEC
- EXISTING LIGHTS



SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**REFLECTED CEILING
PLAN
AREA 'A'**

SHEET NUMBER:

A300

1
A300

REFLECTED CEILING PLAN: 4TH FLOOR AREA 'A'
SCALE: 1:100



- ### EXISTING LIGHTS



A circle with a center point. A radius is drawn from the center to the circumference. A chord is drawn perpendicular to the radius, bisecting it. This chord divides the circle into two segments: a larger segment on the left and a smaller segment on the right.

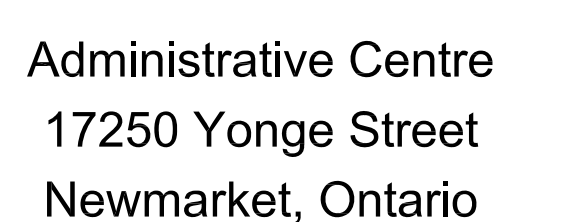
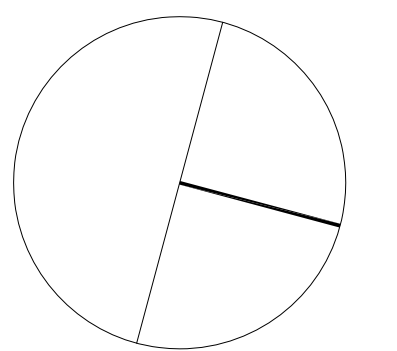




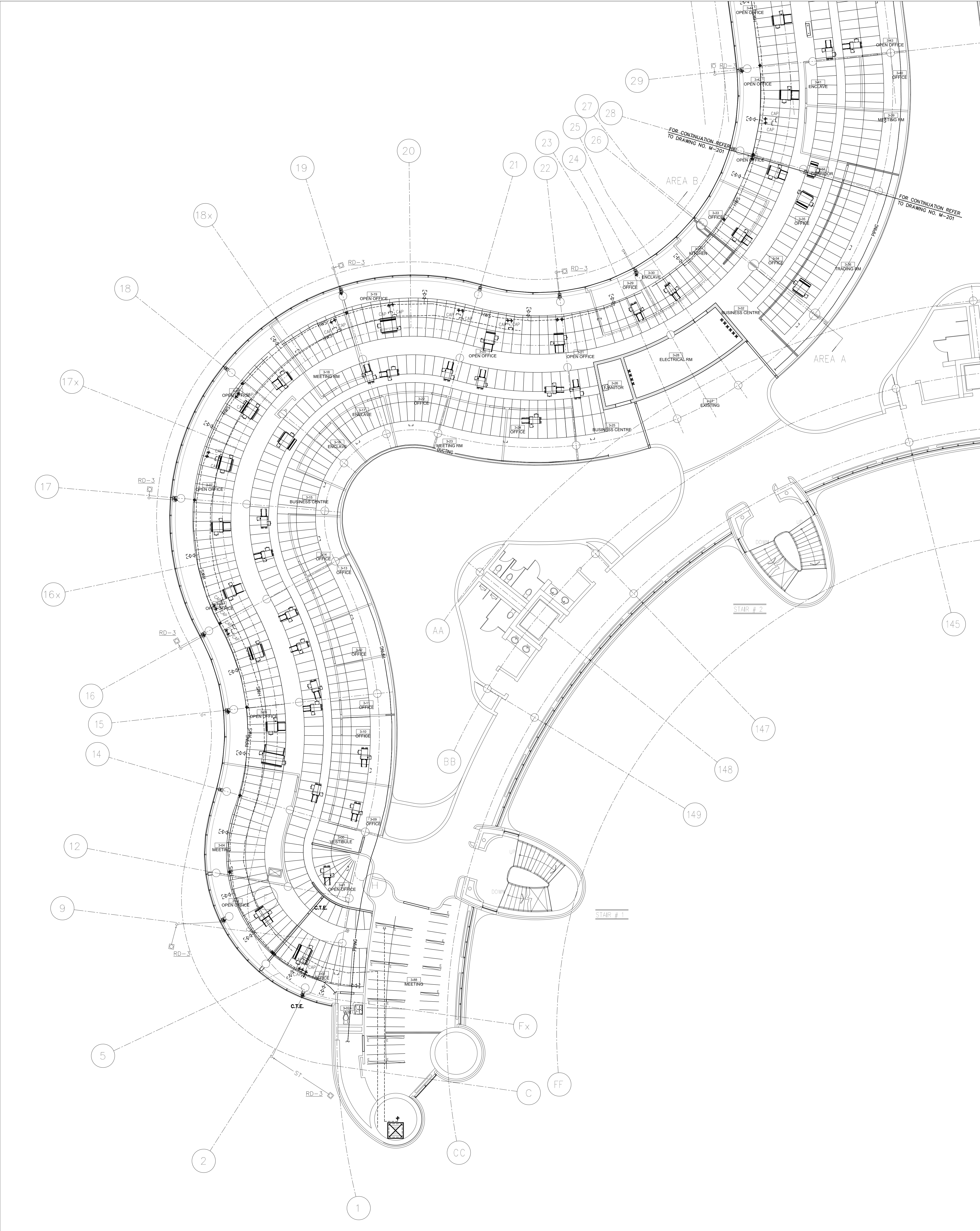
- KEYNOTES:
- ALLOW FOR OPENING IN GYPSUM CEILING 1220X3660MM TO ACCOMMODATE 610X1220MM ACOUSTIC CEILING. REFER TO DETAIL 4/A600



217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



NUMBER: **A302**



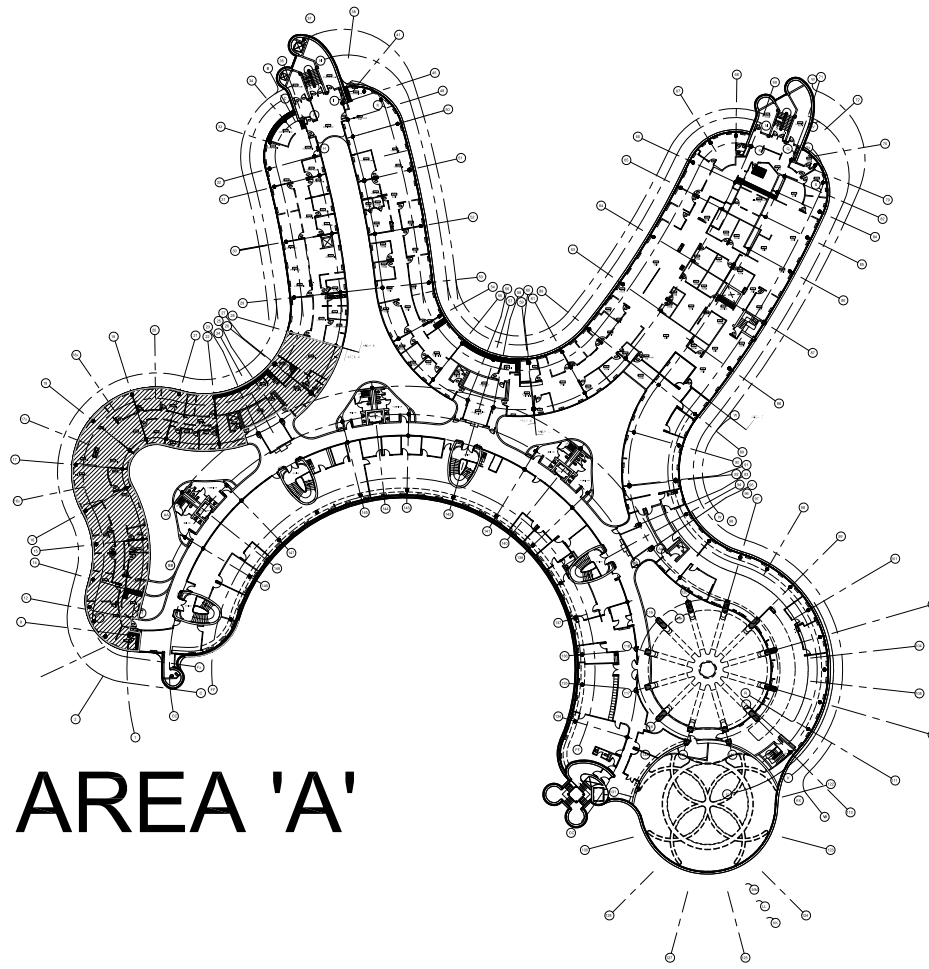
- GENERAL NOTES_RCP**
1. CONSULT WITH THE ARCHITECT PRIOR TO THE START OF WORK WHERE AMBIGUITY EXISTS BETWEEN THE DRAWINGS AND SITE CONDITIONS
 2. GC TO COMMUNICATE WITH ARCHITECT, THE CEILING DESIGN INTENT PRIOR TO SUPPLY/INSTALL
 3. ARCHITECT TO APPROVE GRID LAYOUT PRIOR TO INSTALLATION OF ACOUSTIC CEILING TILE
 4. THIS DRAWING TO BE READ WITH MECHANICAL ENGINEER'S TEDNER/CONSTRUCTION DRAWINGS

LEGEND:

■ DENOTES AREA OUTSIDE OF CURRENT SCOPE OF WORK

— EXISTING WALLS

NOTE: THE GC IS TO ALLOW FOR EXTENSIVE PATCH REPAIR WORK TO THE 3RD FLOOR CEILING SPACE WHERE MECHANICAL WORK IS OCCURRING IN CONJUNCTION WITH THE 4TH FLOOR PROJECT. THERE WILL BE UP TO 250 OPENINGS THAT ARE REQUIRED TO BE CAPPED FROM BELOW INCLUDING GYPSUM PATCH, REPAIR, PRIME AND PAINT WORK. IT IS RECOMMENDED THAT THE GC FAMILIARIZE THEMSELVES WITH THE MECHANICAL DRAWINGS AND SUBSEQUENT ARCHITECTURAL WORK AS WELL AS VISIT THE 3RD FLOOR SPACE PRIOR TO PROJECT TENDER. READ THIS DRAWING WITH MECHANICAL ENGINEER'S TENDER DRAWINGS.

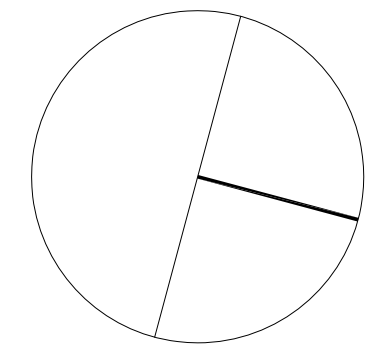


AREA 'A'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	AS SHOWN
DRAWN BY:	SK
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

**REFLECTED CEILING
PLAN 3RD FLOOR
AREA 'A'**

SHEET NUMBER:
A303



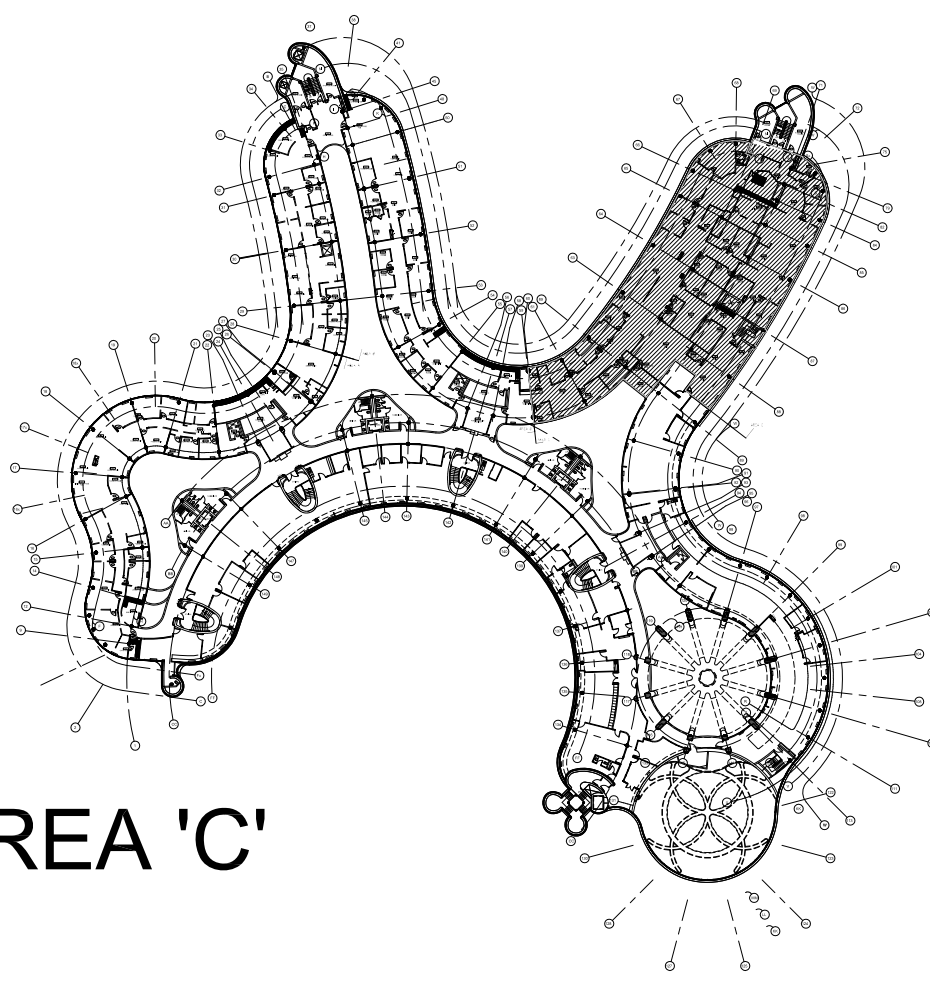
- GENERAL NOTES_RCP**
1. CONSULT WITH THE ARCHITECT PRIOR TO THE START OF WORK WHERE AMBIGUITY EXISTS BETWEEN THE DRAWINGS AND SITE CONDITIONS
 2. GC TO COMMUNICATE WITH ARCHITECT, THE CEILING DESIGN INTENT PRIOR TO SUPPLY/INSTALL
 3. ARCHITECT TO APPROVE GRID LAYOUT PRIOR TO INSTALLATION OF ACOUSTIC CEILING TILE
 4. THIS DRAWING TO BE READ WITH MECHANICAL ENGINEER'S TENDER/CONSTRUCTION DRAWINGS

LEGEND:

DENOTES AREA OUTSIDE OF CURRENT SCOPE OF WORK

EXISTING WALLS

NOTE: THE GC IS TO ALLOW FOR EXTENSIVE PATCH REPAIR WORK TO THE 3RD FLOOR CEILING SPACE WHERE MECHANICAL WORK IS OCCURRING IN CONJUNCTION WITH THE 4TH FLOOR PROJECT. THERE WILL BE UP TO 250 OPENINGS THAT ARE REQUIRED TO BE CAPPED FROM BELOW INCLUDING GYPSUM PATCH, REPAIR, PRIME AND PAINT WORK. IT IS RECOMMENDED THAT THE GC FAMILIARIZE THEMSELVES WITH THE MECHANICAL DRAWINGS AND SUBSEQUENT ARCHITECTURAL WORK AS WELL AS VISIT THE 3RD FLOOR SPACE PRIOR TO PROJECT TENDER. READ THIS DRAWING WITH MECHANICAL ENGINEER'S TENDER DRAWINGS.

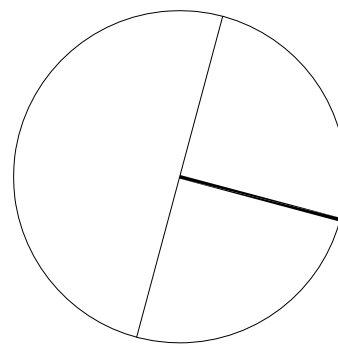


AREA 'C'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

TENDER # RFTC-652-22

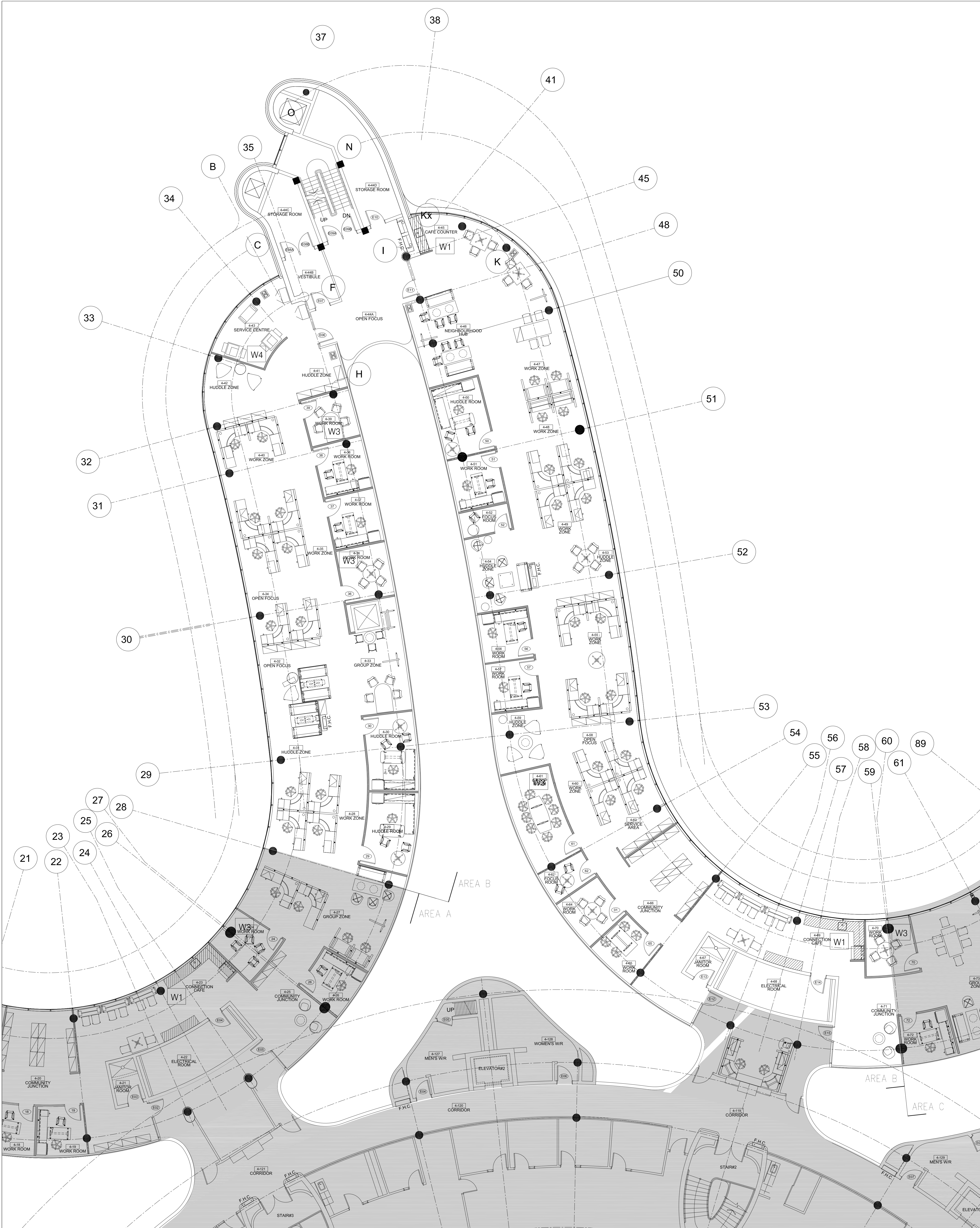
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	AS SHOWN
DRAWN BY:	SK
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

REFLECTED CEILING
PLAN 3RD FLOOR
AREA 'C'

SHEET NUMBER:
A305





GENERAL NOTES_FURNITURE, POWER SECURITY & COMMUNICATION

1. FURNITURE BY OWNER
2. A400 SERIES DWGS ARE FOR LOCATION & COORDINATION PURPOSES ONLY TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S/COMMUNICATION DRAWINGS & SPECIFICATIONS
3. GC TO REMOVE ONLY THE BLINDS - FROM INTERIOR PERIMETER SIDE - THAT INTERFERE WITH INSTALLATION OF NEW ALTOS AND GYPSUM WALLS.
4. GC TO SUPPLY/INSTALL NEW FRIDGE & MICROWAVE AS PER SPEC
5. GC TO ACCOUNT FOR A 20-DAY WORK SUSPENSION PERIOD FOR THE INSTALLATION OF FURNITURE BY TEKNION FURNITURE INSTALLER. ONCE FURNITURE HAS BEEN INSTALLED GC TO REMOBILIZE AND MAKE ALL NECESSARY DATA CONNECTIONS TO SYSTEMS FURNITURE
6. INSTALLATION OF ELECTRICAL RECEPTACLES LOCATED ON ALTOS WALLS TO BE INSTALLED BY TEKNION INSTALLER AND COORDINATED BY GC. FINAL TERMINATION OF ELECTRICAL AND DATA RECEPTACLES BY GENERAL CONTRACTOR
7. WHERE ALTOS WALLS ARE INSTALLED. GC TO INSTALL THERMOSTATS ON 12" OF SECTION ON THE LATCH-SIDE OF THE DOOR
8. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FULL SCOPE OF WORK AS IT RELATES TO POWER/VOICE/DATA.
9. EXACT LOCATION OF CONNECTRAC FOR MEETING ROOMS TO BE DETERMINED ON SITE WITH PROJECT MANAGER

LEGEND:



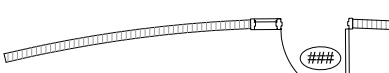
DENOTES AREA OUTSIDE THE SCOPE OF WORK



DENOTES ROOM NAME/NUMBER



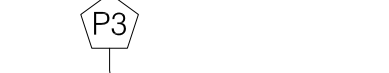
EXISTING WALLS



P-1 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC



P-2 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC



P-3 PARTITION TYPE . REFER TO A200 SERIES DRAWINGS FOR SPEC



NEW 350X250 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEER'S DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE



NEW 500X300 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEER'S DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE

KEYNOTES:



GC TO SHIFT EXISTING FURNITURE AND PROTECT WITH TARP TO FACILITATE THE REMOVAL OF EXISTING/INSTALLATION OF NEW RADIS IN OFFICES 4-100 & 4-101. RESET FURNITURE POST CONSTRUCTION

WASTE RECEPTACLES

GC TO SUPPLY/INSTALL WASTE RECEPTACLES AS FOLLOWS:

KITCHEN WASTE STATION

- ONE 23 GAL WASTE AND LID/SUM JIM #3540-60-B & #SP42189
- ONE 23 GAL RECYCLING AND LID/SUM JIM #3540-BLU & #SP42189
- ONE 23 GAL ORGANICS AND LID/SUM JIM #3540-GRN & #SP42189

LARGE MEETING ROOM

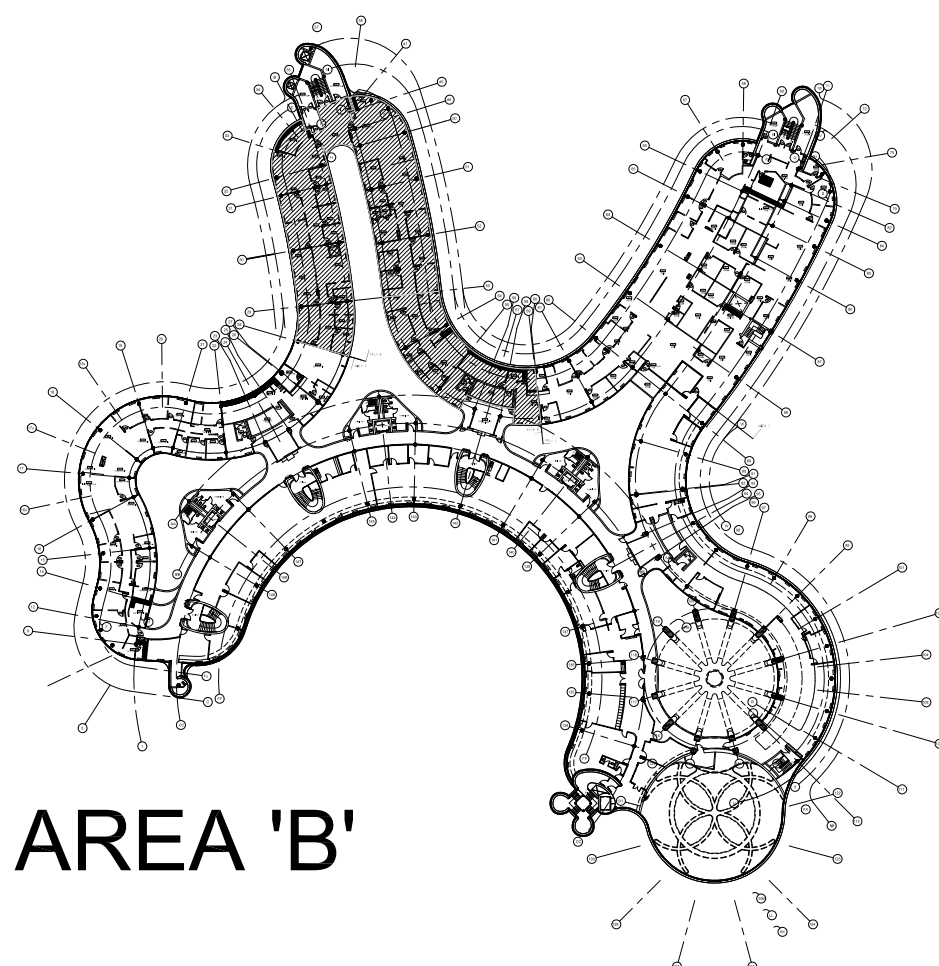
- ONE 23 GAL WASTE AND LID/SUM JIM #3540-60-B & #SP42189
- ONE 23 GAL RECYCLING AND LID/SUM JIM #3540-BLU & #SP42189
- ONE 23 GAL ORGANICS AND LID/SUM JIM #3540-GRN & #SP42189

SMALL MEETING ROOMS AND ENCLAVES

- ONE SOFT WASTE RECEPTACLE/SWISH #2956-BK
- ONE SOFT RECYCLING RECEPTACLE/SWISH #2956-BLU

SERVICE ROOM

- ONE 23 GAL RECYCLING AND LID/SUM JIM #3540-BLU & #SP42189

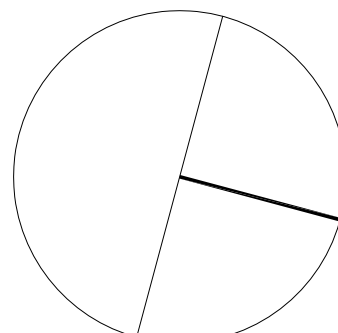


AREA 'B'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

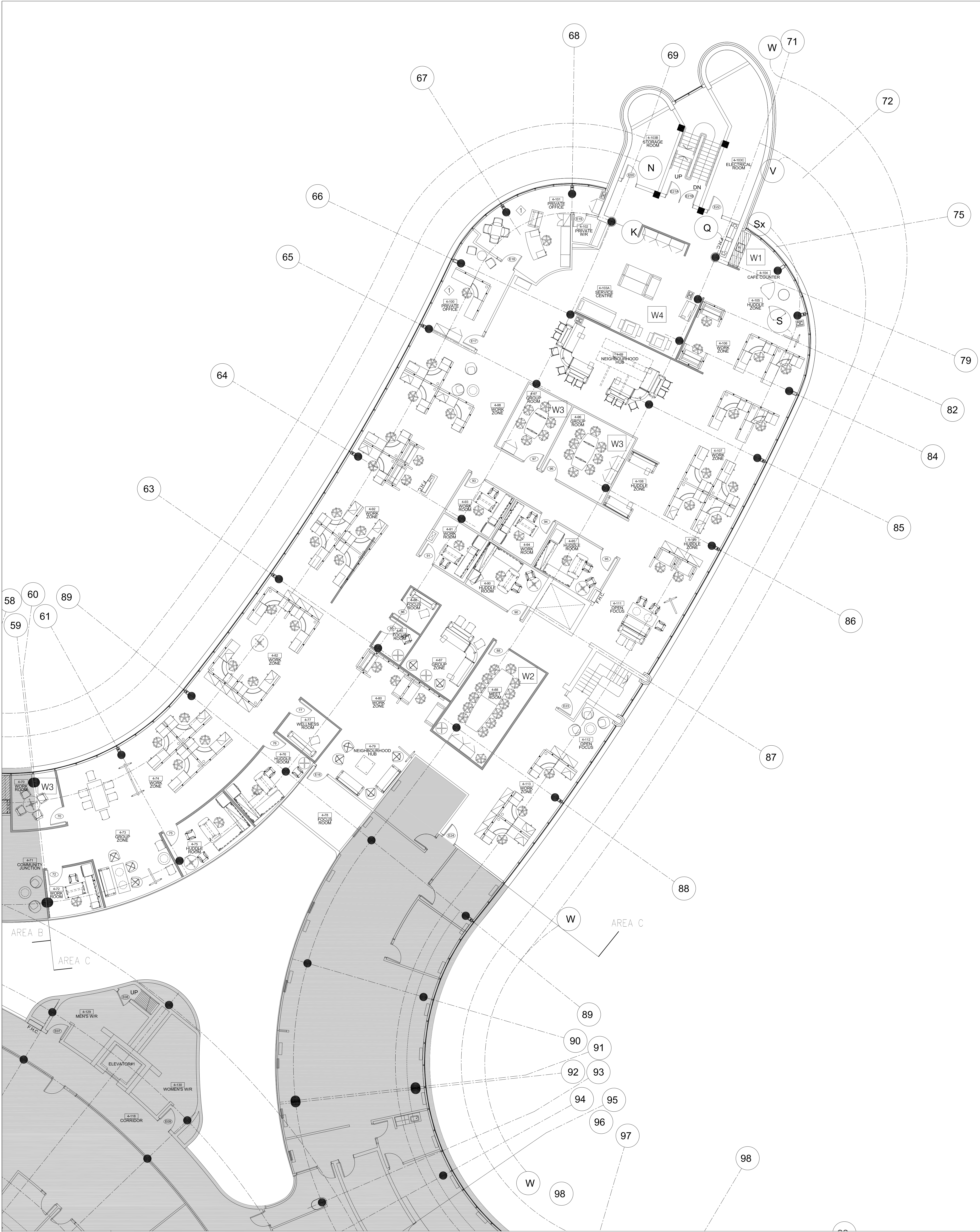
FURNITURE PLAN
AREA 'B'

SHEET NUMBER:

A401

1
A401

FURNITURE PLAN: 4TH FLOOR AREA 'B'
SCALE: 1:100



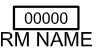
GENERAL NOTES, FURNITURE, POWER SECURITY & COMMUNICATION

1. FURNITURE BY OWNER
2. A400 SERIES DWGS ARE FOR LOCATION & COORDINATION PURPOSES ONLY TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S/COMMUNICATION DRAWINGS & SPECIFICATIONS
3. GC TO REMOVE ONLY THE BLINDS - FROM INTERIOR PERIMETER SIDE - THAT INTERFERE WITH INSTALLATION OF NEW ALTOS AND GYPSUM WALLS.
4. GC TO SUPPLY/INSTALL NEW FRIDGE & MICROWAVE AS PER SPEC
5. GC TO ACCOUNT FOR A 20-DAY WORK SUSPENSION PERIOD FOR THE INSTALLATION OF FURNITURE BY TEKNION FURNITURE INSTALLER. ONCE FURNITURE HAS BEEN INSTALLED GC TO REMOBILIZE AND MAKE ALL NECESSARY DATA CONNECTIONS TO SYSTEMS FURNITURE
6. INSTALLATION OF ELECTRICAL RECEPTACLES LOCATED ON ALTOS WALLS TO BE INSTALLED BY TEKNION INSTALLER AND COORDINATED BY GC. FINAL TERMINATION OF ELECTRICAL AND DATA RECEPTACLES BY GENERAL CONTRACTOR
7. WHERE ALTOS WALLS ARE INSTALLED, GC TO INSTALL THERMOSTATS ON 12" OF SECTION ON THE LATCH-SIDE OF THE DOOR
8. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FULL SCOPE OF WORK AS IT RELATES TO POWER/VOICE/DATA.
9. EXACT LOCATION OF CONNECTRAC FOR MEETING ROOMS TO BE DETERMINED ON SITE WITH PROJECT MANAGER

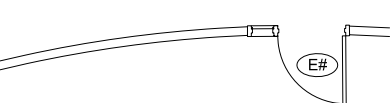
LEGEND:



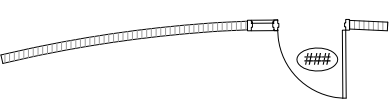
DENOTES AREA OUTSIDE THE SCOPE OF WORK



DENOTES ROOM NAME/NUMBER



P-1 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC



P-2 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC



P-3 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC



NEW 350X250 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEERS DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE



NEW 500X300 DUCT SHAFT LOCATION. REFER TO NEW PARTITION TYPE P3 FOR WALL SPEC. COORDINATE WITH MECHANICAL AND STRUCTURAL ENGINEERS DRAWINGS. EXACT PLACEMENT OF SHAFT TO BE COORDINATED ON SITE

KEYNOTES:



GC TO SHIFT EXISTING FURNITURE AND PROTECT WITH TARP TO FACILITATE THE REMOVAL OF EXISTING INSTALLATION OF NEW RADS IN OFFICES 4-100 & 4-101. RESET FURNITURE POST CONSTRUCTION

WASTE RECEPTACLES

GC TO SUPPLY/INSTALL WASTE RECEPTACLES AS FOLLOWS:

KITCHEN WASTE STATION

- ONE 23 GAL WASTE AND LID/SLIM JIM #3540-60-B & #SP42189
- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189
- ONE 23 GAL ORGANICS AND LID/SLIM JIM #3540-GRN & #SP42189

LARGE MEETING ROOM

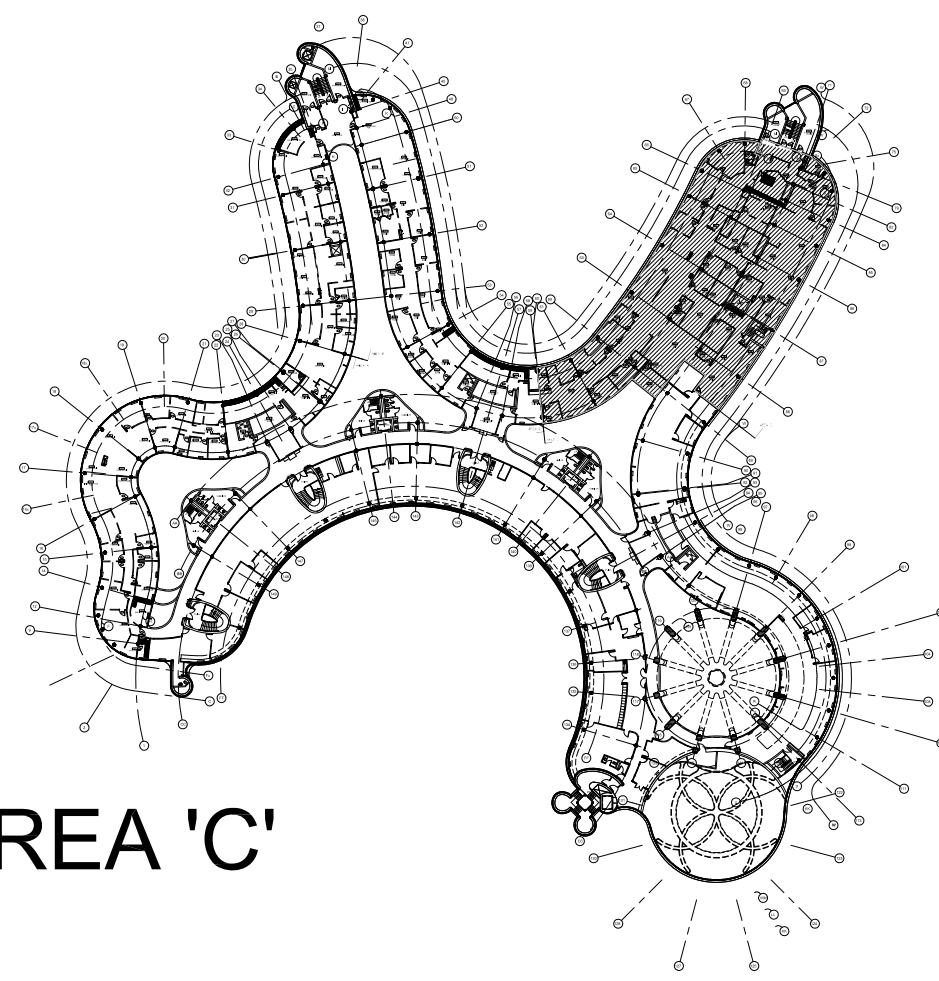
- ONE 23 GAL WASTE AND LID/SLIM JIM #3540-60-B & #SP42189
- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189
- ONE 23 GAL ORGANICS AND LID/SLIM JIM #3540-GRN & #SP42189

SMALL MEETING ROOMS AND ENCLAVES

- ONE SOFT WASTE RECEPTACLE/SWISH #2956-BK
- ONE SOFT RECYCLING RECEPTACLE/SWISH #2956-BLU

SERVICE ROOM

- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189

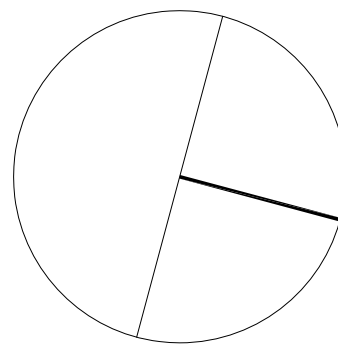


AREA 'C'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

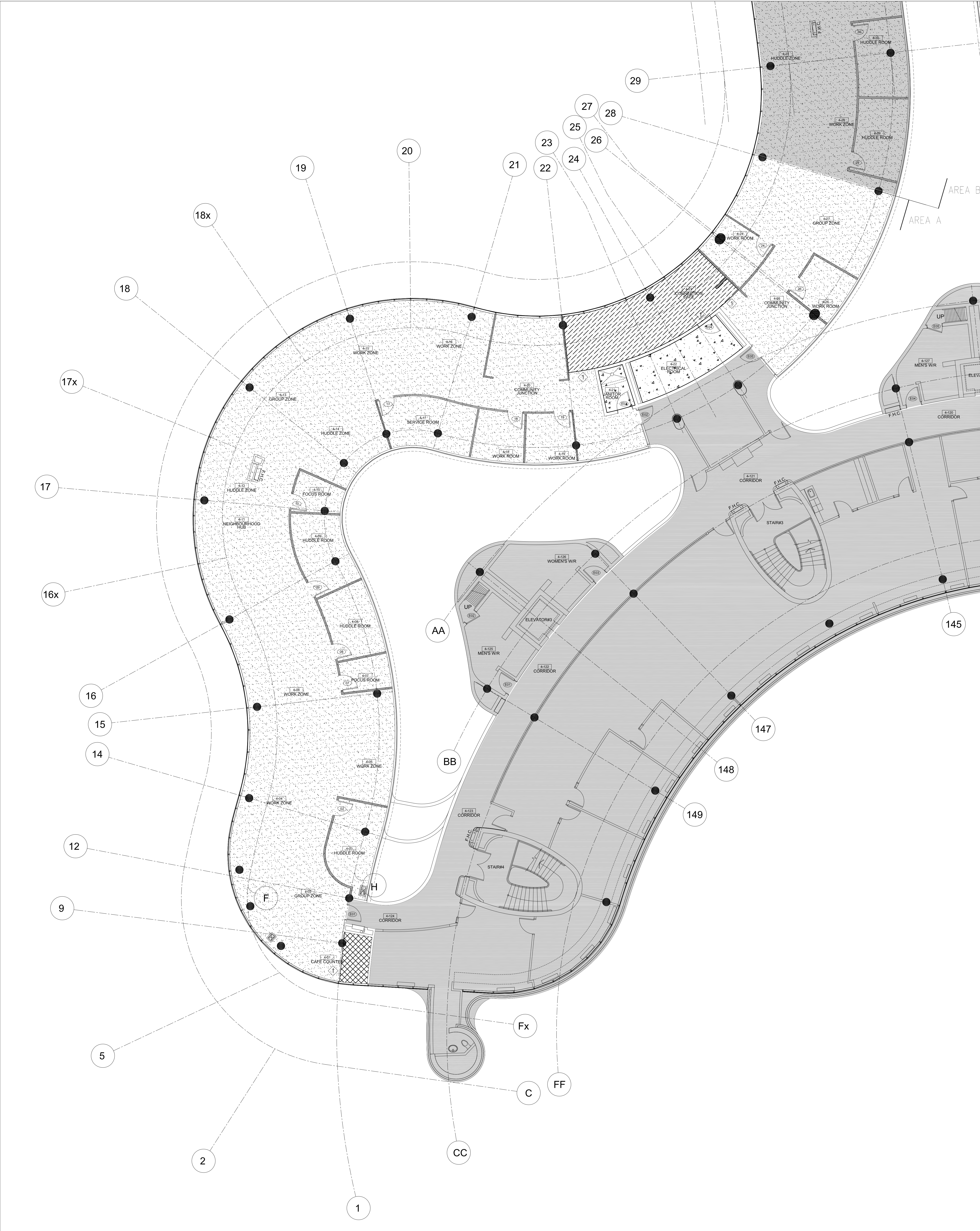
FURNITURE PLAN
AREA 'C'

SHEET NUMBER:

A402

1
A402

FURNITURE PLAN: 4TH FLOOR AREA 'C'
SCALE: 1:100



FINISHES NOTES:

- GC TO REMOVE THOSE BLINDS THAT INTERFERE WITH INSTALLATION OF NEW WALLS.
- ALL ADHESIVES, SEALANTS, PAINTS, COATINGS, FLOORING AND WOOD PRODUCTS ARE TO BE LOW-EMITTING AND SHALL MEET THE REQUIREMENTS OF REGION STANDARD SECTION 01 61 00. SHOP DRAWINGS AND/OR PRODUCT DATA SHEETS IDENTIFYING THE PRODUCT'S EMISSIONS AND VOC CONTENT SHALL BE SUBMITTED TO THE REGION'S PROJECT MANAGER FOR REVIEW PRIOR TO INSTALLATION OR APPLICATION. PRODUCTS THAT HAVE NOT BEEN APPROVED ARE TO BE REMOVED FROM THE SITE. CONTRACTORS MUST PROVIDE SAMPLES/SUBMITTALS (OR PRODUCT CUT SHEET WHERE APPLICABLE) FOR APPROVAL BEFORE PLACING ORDERS. IT SHALL BE THE GC'S RESPONSIBILITY TO ENSURE THIS REQUIREMENT HAS BEEN MET.
- INSPECT CONCRETE SLAB AND EXISTING FLOORING IN ALL AREAS WHERE FLOORING IS TO BE REMOVED, AND REPLACED WITH NEW, AND ALLOW FOR ANY FLOOR PREPARATION THAT MAY BE REQUIRED TO MAKE FLOOR READY TO RECEIVE NEW FINISH. REPAIR, LEVEL AND PROVIDE A SMOOTH TROWEL FINISH AS REQUIRED.
- WHERE VINYL SHEET FLOORING MEETS CARPET, CONTRACTOR TO FEATHER FLOOR WITH THIN SET CEMENT, APPROX. 2'-0".
- WHERE CARPET EDGES MEET PORCELAIN TILE AND OR VINYL FLOOR, SUPPLY AND INSTALL A SS SCHLUTER (SCHIENE) METAL TRANSITION.
- WHERE VINYL FLOORING IS SPECIFIED, AREA TO RECEIVE APPLIED BASE AS SPECIFIED
- ALL NEW FLOORING FINISH CHANGES SHALL OCCUR AT CENTER LINE OF DOOR
- WHERE NEW DOOR OPENING HAS BEEN MADE AT AN EXISTING WALL, EXTEND/PROVIDE NEW OR EXISTING FLOOR FINISH (BOTH SIDES OF OPENING WHERE APPLICABLE) WHICH IS NOTED TO REMAIN. TO CENTER LINE OF DOOR. ALLOW FOR NEW TO MATCH EXISTING. ALL FLOOR FINISH CHANGES MUST OCCUR AT CENTER LINE OF DOOR.
- IT IS THE DESIGN INTENT OF THE PROJECT THAT ALL NEW AND EXISTING GYPSUM WALLS AND ALL EXISTING CONCRETE PARTITIONS TO BE FINISHED WITH PT1 (EXCEPT FOR AREAS WHERE ACCENT PAINTS ARE NOTED OR SHOWN).
- ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS SHALL RECEIVE NEW PAINT FINISH (PT4). ALLOW FOR PATCHING AND SURFACE PREPARATION AND MAKE READY TO RECEIVE NEW PRIMER, AS REQUIRED, AND PAINT FINISH.
- APPLY (1) PRIMER COAT ON ALL NEW AND EXIST GYPSUM WALLS AND ALL EXISTING CONCRETE WALL SURFACES. AND (2) FINISH COATS OF PREMIUM QUALITY PAINT
- PROVIDE PAINT DRAW-DOWN SUBMITTALS TO ARCHITECT FOR APPROVAL BEFORE PROCEEDING.
- PAINTING CONTRACTOR TO ENSURE ALL EXISTING AND NEW SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS PRIOR TO APPLICATION OF FINISHES. BY APPLYING FINISH CONTRACTOR ACCEPTS CONDITIONS OF SURFACE. ALLOW FOR PATCHING OR ADVISE GC BEFORE PROCEEDING.
- ALL REVEALS TO RECEIVE PAINT FINISH TO MATCH ADJACENT WALL. FILL ANY GAPS WITH CAULKING (DAP OR EQUIVALENT) BEFORE APPLYING FINISH.
- ALL PAINTS SHALL BE LOW VOC.
- REPAIR, PATCH AND MAKE GOOD ALL AREAS, DRYWALL, SURFACES AND FINISHES ETC WHERE DEMOLITION HAS OCCURRED AND MAKE READY TO RECEIVE NEW FINISHES AS SPECIFIED.
- AT NEW, RELOCATED AND EXISTING DOORS AND FRAMES NOTED OR SHOWN TO RECEIVE NEW PAINT FINISH. FINISH BOTH SIDES OF OPENING AS SPECIFIED. U.N.O.. PROVIDE LIGHT SANDING BETWEEN COATS AT DOOR FACES. EDGES AND FRAMES TO ENSURE A COMPLETELY SMOOTH FINAL FINISH. EXITING BASE BUILDING STAIRWELLS, STORAGE, SERVICE, UTILITY (ETC) DOORS SHALL RECEIVE NEW PAINT FINISH. U.N.O.. ON TENANT SIDE ONLY. DO NOT PAINT TEKNION ALTOS WALLS AND ASSOCIATED DOORS/FRAMES. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.
- AT ANY EXISTING OR RELOCATED DOORS AND FRAMES, CONTRACTOR SHALL ENSURE ALL SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS OR PENETRATIONS PRIOR TO APPLICATION OF FINISH. REPAIR, PATCH OR FILL AS REQUIRED OR ADVISE GC BEFORE PROCEEDING. BY APPLYING FINISH, CONTRACTOR ACCEPTS CONDITION OF SURFACE.
- AS IT APPLIES, PROVIDE SPECIFIED PAINT FINISHES ON BOTH SIDES OF ALL NEW AND EXISTING SOLID WOOD CORE AND HOLLOW METAL DOORS. TO INCLUDE CLOSETS, STORAGE.
- AND UTILITY ROOMS. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.
- SPECIAL NOTE: PAINTING CONTRACTOR SHALL ENSURE THAT NEW PAINT FINISHES SPECIFIED (LATEX) CAN BE SUCCESSFULLY APPLIED TO THE EXISTING PAINT TYPE. REVIEW ANY RELEVANT SITE CONDITIONS WITH ARCHITECT BEFORE PROCEEDING.
- PAINTING SCOPE OF WORK SHALL INCLUDE: WHEREVER IDENTIFIED ON PLAN OR NOT. ALL NEW AND EXISTING DRYWALL PARTITIONS: ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS; COLUMNS: CONCRETE WALLS: ALL METAL DOORS: ALL DRYWALL SURFACES AND BULKHEADS AT PERIMETER OF FLOOR AND THROUGHOUT. TO THE UNDERSIDE OF CEILING, ALL UNLESS OTHERWISE NOTED.
- ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATIONS FOR GENERAL CONDITIONS, MATERIALS AND WORKMANSHIP.
- FLOORING CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE TO DRYWALL PARTITIONS AND WOOD DOORS AND FRAMES RESULTING FROM THEIR FLOORING INSTALLATION AND SHOULD ALLOW PAINT/FINISH TOUCH-UPS.
- GC TO SUBMIT TO THE ARCHITECT SAMPLE SUBMITTALS FOR REVIEW FOR ALL FINISHES PRIOR TO SUPPLY/INSTALL. FAILURE TO DO SO WILL RESULT IN REVISIONS TO INCORRECT WORK AT GC EXPENSE INCLUDING ALL TIME, MATERIAL AND LABOUR TO CORRECT THE ISSUE
- ALTERNATIVE MATERIAL WILL NOT BE CONSIDERED WHERE THE GC FAILED TO PROVIDE SUBMITTALS AND ORDER MATERIALS IN A TIMELY MATTER.

LEGEND:

■ DENOTES AREA OUTSIDE THE SCOPE OF WORK

■ DENOTES ROOM NAME/NUMBER

— EXISTING WALLS

P-1 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC

P-2 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC

P-3 PARTITION TYPE . REFER TO A200 SERIES DRAWINGS FOR SPEC

■ EXISTING FLOORING TO REMAIN

■ NEW CARPET TILE (CP-1) - SPEC SECTION 09 68 13
W/ NEW RUBBER BASE (RB) AT ALL NEW AND EXISTING WALLS
WITHIN THE SCOPE OF WORK. REFER TO SPEC SECTION 09 65 00
FOR RUBBER BASE SPECIFICATION

■ NEW RESILIENT SHEET FLOOR (RS-1) - SPEC SECTION 09 65 00
W/ NEW RUBBER BASE (RB) AT ALL NEW AND EXISTING WALLS
WITHIN THE SCOPE OF WORK. REFER TO SPEC SECTION 09 65 00
FOR RUBBER BASE SPECIFICATION

■ NEW PORCELAIN TILE FLOOR (TL-2)
REFER TO SPEC SECTION 09 30 00 FOR TILE SPECIFICATION
PROVIDE SAMPLE FOR ARCHITECT REVIEW PRIOR TO
SUPPLY/INSTALL
GROUT COLOUR: TO LATER SPEC BY ARCHITECT

PT1: TYPICAL FIELD PAINT COLOUR FOR ALL NEW EXISTING GYPSUM AND
CONCRETE WALLS UNLESS NOTED OTHERWISE. GC TO PROVIDE DRAW
DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
REFER TO SPEC SECTION 09 91 00 FOR PAINT COLOUR

PT2: DOOR FRAME PAINT FOR ALL NEW AND EXISTING DOORS. GC TO PROVIDE
DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
REFER TO SPEC SECTION 09 91 00 FOR PAINT COLOUR

NOTE: PT2 DOES NOT APPLY TO ALTOS DOOR FRAMES SUPPLIED BY TEKNION
FURNITURE.

PT3: ACCENT WALL COLOUR
GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
REFER TO SPEC SECTION 09 91 00 FOR PAINT COLOUR

PT4: GYPSUM CEILING PAINT COLOUR. ALL NEW AND EXIST
GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
REFER TO SPEC SECTION 09 91 00 FOR PAINT COLOUR

SUPPLY/INSTALL NEW INTERIOR WINDOW FILM 3M PRIVACY CONTROL ILLUMINA. PROVIDE
SUBMITTAL FOR REVIEW BY ARCHITECT PRIOR TO SUPPLY/INSTALL. REFER TO SPEC
SECTION 10 95 00 FOR EXACT SPEC. ALLOW FOR +/-510M2

KEYNOTES:

① WHERE CARPET EDGES MEET PORCELAIN TILE AND OR VINYL FLOOR, SUPPLY AND INSTALL
SS SCHLUTER (SCHIENE) STAINLESS STEEL TRANSITION. GC TO PROVIDE ARCHITECT WITH
SUBMITTAL FOR REVIEW PRIOR TO SUPPLY/INSTALL OF TRANSITIONS. GC TO SITE VERIFY HEIGHT
OF FLOOR MATERIAL AND ORDER TRANSITION APPROPRIATE FOR APPLICATION.

② WHERE CONCRETE EDGES MEET PORCELAIN TILE AND OR VINYL FLOOR, SUPPLY AND INSTALL
SS SCHLUTER (SCHIENE) STAINLESS STEEL TRANSITION. GC TO PROVIDE ARCHITECT WITH
SUBMITTAL FOR REVIEW PRIOR TO SUPPLY/INSTALL OF TRANSITIONS. GC TO SITE VERIFY HEIGHT
OF FLOOR MATERIAL AND ORDER TRANSITION APPROPRIATE FOR APPLICATION.

③ ALLOW FOR 300 SQ.FT. OF CARPET REPLACEMENT IN OFFICES SHOWN TO
FACILITATE REMOVAL OF EXIST RAD/INSTALL OF NEW. SHIFT EXISTING FURNITURE
AS NECESSARY. TARP AND PROTECT ALL FURNITURE. RESET ALL FURNITURE POST
CONSTRUCTION

AREA 'A'

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146

York Region

PROPERTY SERVICES

TENDER # RFTC-652-22

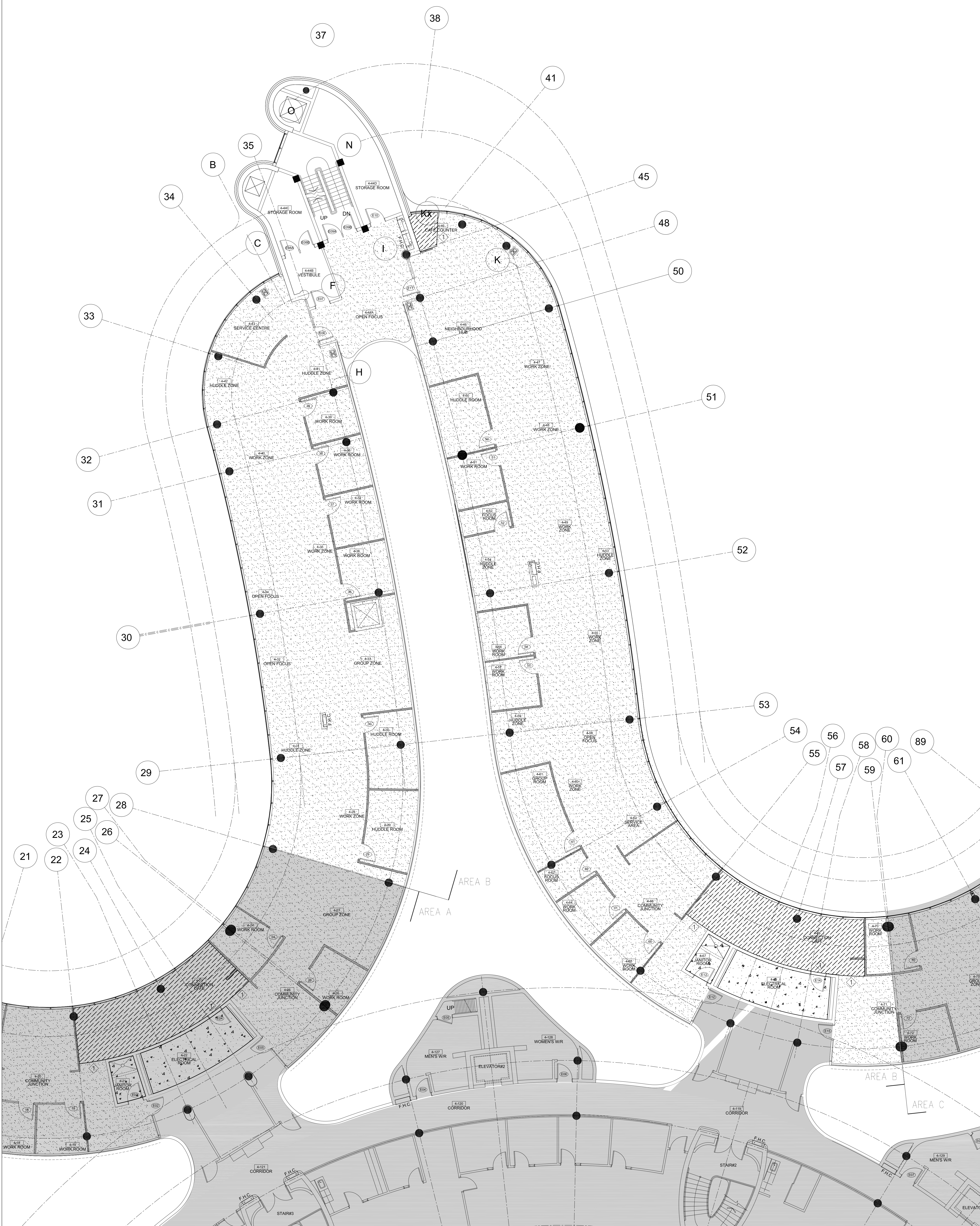
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

FINISHES PLAN AREA 'A'

SHEET NUMBER:

A500



1
A501

FINSIHES PLAN: 4TH FLOOR AREA 'B'
SCALE: 1:100

- FINISHES NOTES:
- GC TO REMOVE THOSE BLINDS THAT INTERFERE WITH INSTALLATION OF NEW WALLS.
 - ALL ADHESIVES, SEALANTS, PAINTS, COATINGS, FLOORING AND WOOD PRODUCTS ARE TO BE LOW-EMITTING AND SHALL MEET THE REQUIREMENTS OF REGION STANDARD SECTION 01 61 00. SHOP DRAWINGS AND/OR PRODUCT DATA SHEETS IDENTIFYING THE PRODUCTS EMISSIONS AND VOC CONTENT SHALL BE SUBMITTED TO THE REGION'S PROJECT MANAGER FOR REVIEW PRIOR TO INSTALLATION OR APPLICATION. PRODUCTS THAT HAVE NOT BEEN APPROVED ARE TO BE REMOVED FROM THE SITE.
 - CONTRACTORS MUST PROVIDE SAMPLES/SUBMITTALS (OR PRODUCT CUT SHEET WHERE APPLICABLE) FOR APPROVAL BEFORE PLACING ORDERS. IT SHALL BE THE GC'S RESPONSIBILITY TO ENSURE THIS REQUIREMENT HAS BEEN MET.
 - INSPECT CONCRETE SLAB AND EXISTING FLOORING IN ALL AREAS WHERE FLOORING IS TO BE REMOVED, AND REPLACED WITH NEW, AND ALLOW FOR ANY FLOOR PREPARATION THAT MAY BE REQUIRED TO MAKE FLOOR READY TO RECEIVE NEW FINISH. REPAIR, LEVEL AND PROVIDE A SMOOTH TROWEL FINISH AS REQUIRED.
 - WHERE VINYL SHEET FLOORING MEETS CARPET, CONTRACTOR TO FEATHER FLOOR WITH THIN SET CEMENT, APPROX. 2'-0".
 - WHERE CARPET EDGES MEET PORCELAIN TILE AND OR VINYL FLOOR, SUPPLY AND INSTALL A SS SCHLUTER (SCIENIE) METAL TRANSITION.
 - WHERE VINYL FLOORING IS SPECIFIED, AREA TO RECEIVE APPLIED BASE AS SPECIFIED
 - ALL NEW FLOORING FINISH CHANGES SHALL OCCUR AT CENTER LINE OF DOOR
 - WHERE NEW DOOR OPENING HAS BEEN MADE AT AN EXISTING WALL, EXTEND/PROVIDE NEW OR EXISTING FLOOR FINISH (BOTH SIDES OF OPENING WHERE APPLICABLE) WHICH IS NOTED TO REMAIN, TO CENTER LINE OF DOOR. ALLOW FOR NEW TO MATCH EXISTING. ALL FLOOR FINISH CHANGES MUST OCCUR AT CENTER LINE OF DOOR.
 - IT IS THE DESIGN INTENT OF THE PROJECT THAT ALL NEW AND EXISTING GYPSUM WALLS AND ALL EXISTING CONCRETE PARTITIONS TO BE FINISHED WITH PT1 (EXCEPT FOR AREAS WHERE ACCENT PAINTS ARE NOTED OR SHOWN).
 - ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS SHALL RECEIVE NEW PAINT FINISH (PT4). ALLOW FOR PATCHING AND SURFACE PREPARATION AND MAKE READY TO RECEIVE NEW PRIMER, AS REQUIRED, AND PAINT FINISH.
 - APPLY (1) PRIMER COAT ON ALL NEW AND EXIST GYPSUM WALLS AND ALL EXISTING CONCRETE WALL SURFACES AND (2) FINISH COATS OF PREMIUM QUALITY PAINT.
 - PROVIDE PAINT DRAW-DOWN SUBMITTALS TO ARCHITECT FOR APPROVAL BEFORE PROCEEDING.
 - PAINTING CONTRACTOR TO ENSURE ALL EXISTING AND NEW SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS PRIOR TO APPLICATION OF FINISHES. BY APPLYING FINISH CONTRACTOR ACCEPTS CONDITIONS OF SURFACE. ALLOW FOR PATCHING OR ADVISE GC BEFORE PROCEEDING.
 - ALL REVEALS TO RECEIVE PAINT FINISH TO MATCH ADJACENT WALL. FILL ANY GAPS WITH CAULKING (DAP OR EQUIVALENT) BEFORE APPLYING FINISH.
 - ALL PAINTS SHALL BE LOW VOC.
 - REPAIR, PATCH AND MAKE GOOD ALL AREAS, DRYWALL, SURFACES AND FINISHES ETC WHERE DEMOLITION HAS OCCURRED AND MAKE READY TO RECEIVE NEW FINISHES AS SPECIFIED.
 - AT NEW, RELOCATED AND EXISTING DOORS AND FRAMES NOTED OR SHOWN TO RECEIVE NEW PAINT FINISH, FINISH BOTH SIDES OF OPENING AS SPECIFIED, U.N.O.. PROVIDE LIGHT SANDING BETWEEN COATS AT DOOR FACES. EDGES AND FRAMES TO ENSURE A COMPLETELY SMOOTH FINAL FINISH. EXITING BASE BUILDING STAIRWELLS, STORAGE, SERVICE, UTILITY (ETC) DOORS SHALL RECEIVE NEW PAINT FINISH, U.N.O. ON TENANT SIDE ONLY. DO NOT PAINT TEKNION ALTOS WALLS AND ASSOCIATED DOORS/FRAMES. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.
 - AT ANY EXISTING OR RELOCATED DOORS AND FRAMES, CONTRACTOR SHALL ENSURE ALL SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS OR PENETRATIONS PRIOR TO APPLICATION OF FINISH. REPAIR, PATCH OR FILL AS REQUIRED OR ADVISE GC BEFORE PROCEEDING. BY APPLYING FINISH, CONTRACTOR ACCEPTS CONDITION OF SURFACE.
 - AS IT APPLIES, PROVIDE SPECIFIED PAINT FINISHES ON BOTH SIDES OF ALL NEW AND EXISTING SOLID WOOD CORE AND HOLLOW METAL DOORS. TO INCLUDE CLOSETS, STORAGE.
 - AND UTILITY ROOMS. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.
 - SPECIAL NOTE: PAINTING CONTRACTOR SHALL ENSURE THAT NEW PAINT FINISHES SPECIFIED (LATEX) CAN BE SUCCESSFULLY APPLIED TO THE EXISTING PAINT TYPE. REVIEW ANY RELEVANT SITE CONDITIONS WITH ARCHITECT BEFORE PROCEEDING.
 - PAINTING SCOPE OF WORK SHALL INCLUDE: WHEREVER IDENTIFIED ON PLAN OR NOT, ALL NEW AND EXISTING DRYWALL PARTITIONS: ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS; COLUMNS; CONCRETE WALLS; ALL METAL DOORS; ALL DRYWALL SURFACES AND BULKHEADS AT PERIMETER OF FLOOR AND THROUGHOUT, TO THE UNDERSIDE OF CEILING, ALL UNLESS OTHERWISE NOTED.
 - ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATIONS FOR GENERAL CONDITIONS, MATERIALS AND WORKMANSHIP.
 - FLOORING CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE TO DRYWALL PARTITIONS AND WOOD DOORS AND FRAMES RESULTING FROM THEIR FLOORING INSTALLATION AND SHOULD ALLOW PAINT/FINISH TOUCH-UPS.
 - GO TO SUBMIT TO THE ARCHITECT SAMPLE SUBMITTALS FOR REVIEW FOR ALL FINISHES PRIOR TO SUPPLY/INSTALL. FAILURE TO DO SO WILL RESULT IN REVISIONS TO INCORRECT WORK AT GC EXPENSE INCLUDING ALL TIME, MATERIAL AND LABOUR TO CORRECT THE ISSUE.
 - ALTERNATIVE MATERIAL WILL NOT BE CONSIDERED WHERE THE GC FAILED TO PROVIDE SUBMITTALS AND ORDER MATERIALS IN A TIMELY MATTER.

LEGEND:

■ DENOTES AREA OUTSIDE THE SCOPE OF WORK

□ DENOTES ROOM NAME/NUMBER

— EXISTING WALLS

P-1 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC

P-2 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC

P-3 PARTITION TYPE. REFER TO A200 SERIES DRAWINGS FOR SPEC

■ EXISTING FLOORING TO REMAIN

■ NEW CARPET TILE (CP-1) - SPEC SECTION 09 68 13
W/ NEW RUBBER BASE (RB) AT ALL NEW AND EXISTING WALLS
WITHIN THE SCOPE OF WORK. REFER TO SPEC SECTION 09 65 00
FOR RUBBER BASE SPECIFICATION

■ NEW RESILIENT SHEET FLOOR (RS-1) - SPEC SECTION 09 65 00
W/ NEW RUBBER BASE (RB) AT ALL NEW AND EXISTING WALLS
WITHIN THE SCOPE OF WORK. REFER TO SPEC SECTION 09 65 00
FOR RUBBER BASE SPECIFICATION

■ NEW PORCELAIN TILE FLOOR (TL-2)
REFER TO SPEC SECTION 09 30 00 FOR TILE SPECIFICATION
PROVIDE SAMPLE FOR ARCHITECT REVIEW PRIOR TO
SUPPLY/INSTALL
GROUT COLOUR: TO LATER SPEC BY ARCHITECT

PT1: TYPICAL FIELD PAINT COLOUR FOR ALL NEW EXISTING GYPSUM AND
CONCRETE WALLS UNLESS NOTED OTHERWISE. GC TO PROVIDE DRAW
DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
REFER TO SPEC SECTION 09 91 00 FOR PAINT COLOUR

PT2: DOOR FRAME PAINT FOR ALL NEW AND EXISTING DOORS. GC TO PROVIDE
DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
REFER TO SPEC SECTION 09 91 00 FOR PAINT COLOUR

NOTE: PT2 DOES NOT APPLY TO ALTOS DOOR FRAMES SUPPLIED BY TEKNION
FURNITURE.

PT3: ACCENT WALL COLOUR
GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
REFER TO SPEC SECTION 09 91 00 FOR PAINT COLOUR

PT4: GYPSUM CEILING PAINT COLOUR. ALL NEW AND EXIST
GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
REFER TO SPEC SECTION 09 91 00 FOR PAINT COLOUR

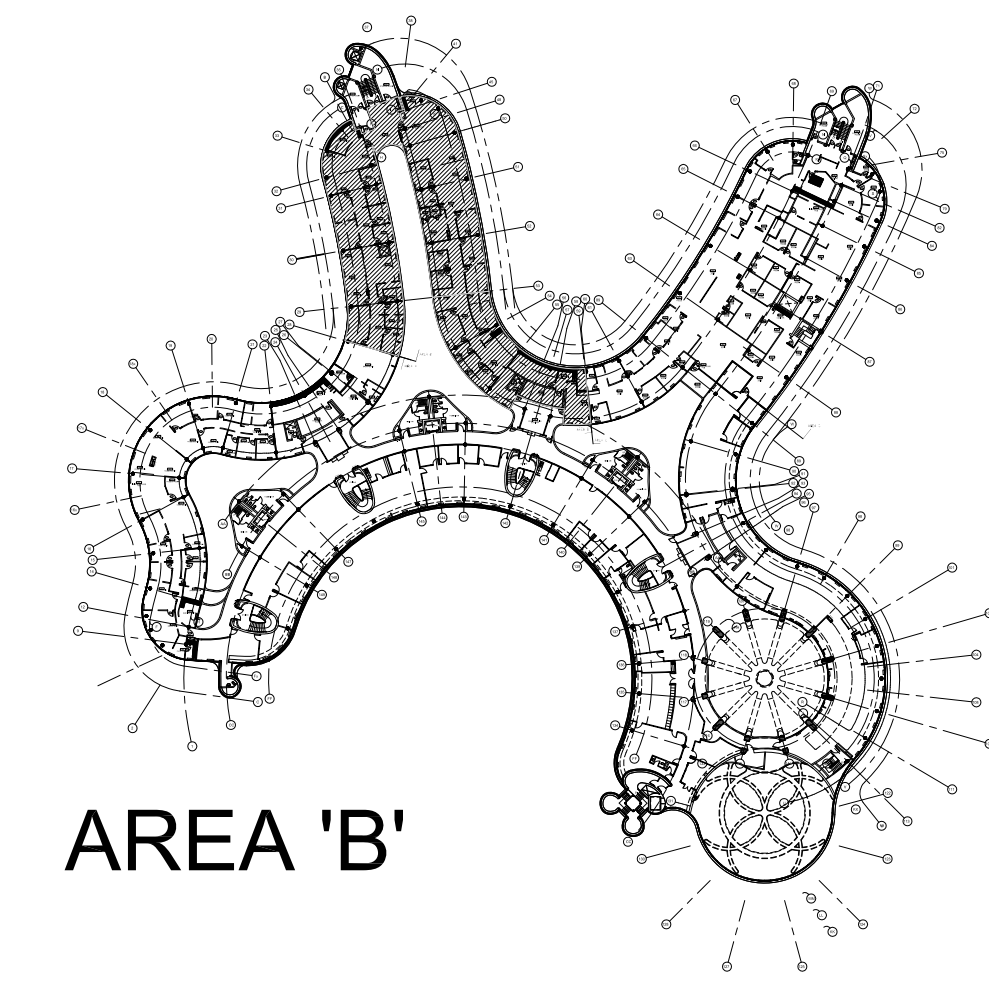
SUPPLY/INSTALL NEW INTERIOR WINDOW FILM 3M PRIVACY CONTROL ILLUMINA. PROVIDE
SUBMITTAL FOR REVIEW BY ARCHITECT PRIOR TO SUPPLY/INSTALL. REFER TO SPEC
SECTION 10 95 00 FOR EXACT SPEC. ALLOW FOR +/-510M2

KEYNOTES:

① WHERE CARPET EDGES MEET PORCELAIN TILE AND OR VINYL FLOOR, SUPPLY AND INSTALL
SS SCHLUTER (SCIENIE) STAINLESS STEEL TRANSITION. GC TO PROVIDE ARCHITECT WITH
SUBMITTAL FOR REVIEW PRIOR TO SUPPLY/INSTALL OF TRANSITIONS. GC TO SITE VERIFY HEIGHT
OF FLOOR MATERIAL AND ORDER TRANSITION APPROPRIATE FOR APPLICATION.

② WHERE CONCRETE EDGES MEET PORCELAIN TILE AND OR VINYL FLOOR, SUPPLY AND INSTALL
SS SCHLUTER (SCIENIE) STAINLESS STEEL TRANSITION. GC TO PROVIDE ARCHITECT WITH
SUBMITTAL FOR REVIEW PRIOR TO SUPPLY/INSTALL OF TRANSITIONS. GC TO SITE VERIFY HEIGHT
OF FLOOR MATERIAL AND ORDER TRANSITION APPROPRIATE FOR APPLICATION.

③ ALLOW FOR 300 SQ.FT. OF CARPET REPLACEMENT IN OFFICES SHOWN TO
FACILITATE REMOVAL OF EXIST RAD/INSTALL OF NEW. SHIFT EXISTING FURNITURE
AS NECESSARY. TARP AND PROTECT ALL FURNITURE. RESET ALL FURNITURE POST
CONSTRUCTION

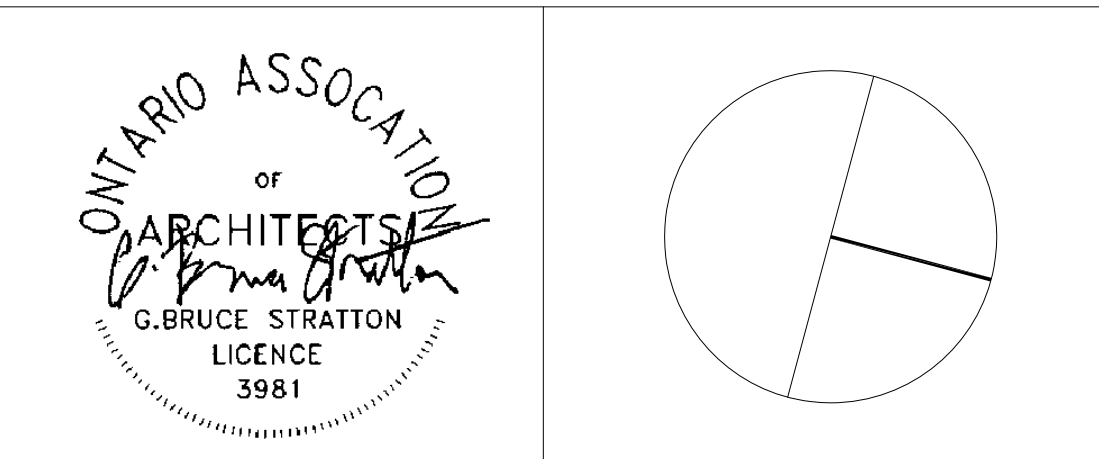


AREA 'B'

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	AS SHOWN
DRAWN BY:	SK
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

FINISHES PLAN AREA 'B'

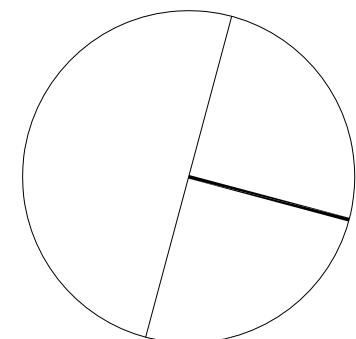
SHEET NUMBER:
A501



ALLOW FOR 300 SQ.FT. OF CARPET REPLACEMENT IN OFFICES SHOWN TO FACILITATE REMOVAL OF EXIST RAD/INSTALL OF NEW. SHIFT EXISTING FURNITURE AS NECESSARY. TARP AND PROTECT ALL FURNITURE. RESET ALL FURNITURE POST CONSTRUCTION



217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

FINISHES PLAN AREA 'C'

BER: **A502**



G.Bruce Stratton Architects

ONTARIO ASSOCIATION
OF
ARCHITECTS
G. BRUCE STRATTON
LICENCE
3981



PROPERTY SERVICES

PROJECT:

TENDER # RFTC-652-22

YORK REGION

SCALE: AS SHOWN

DRAWN BY: SK

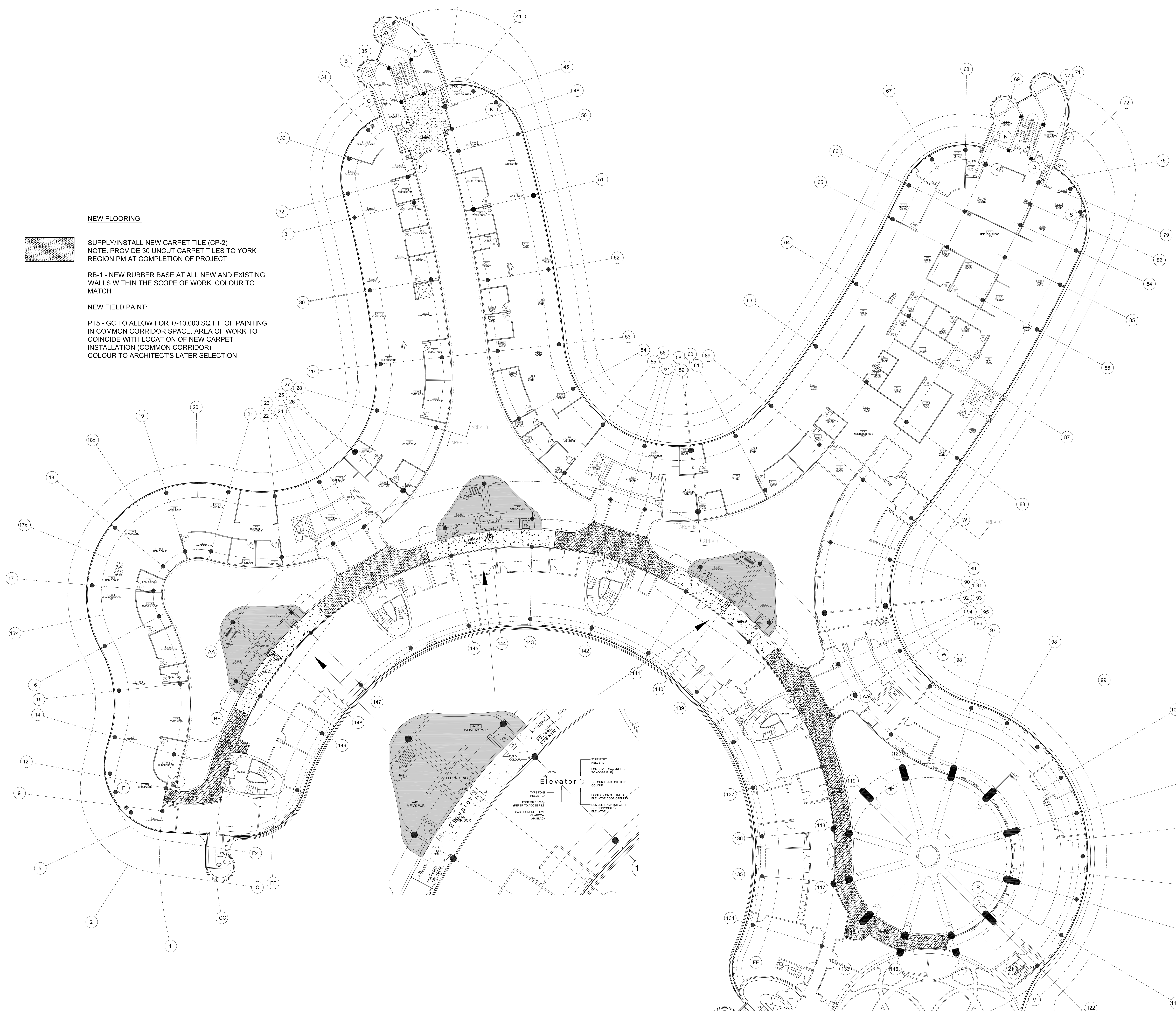
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

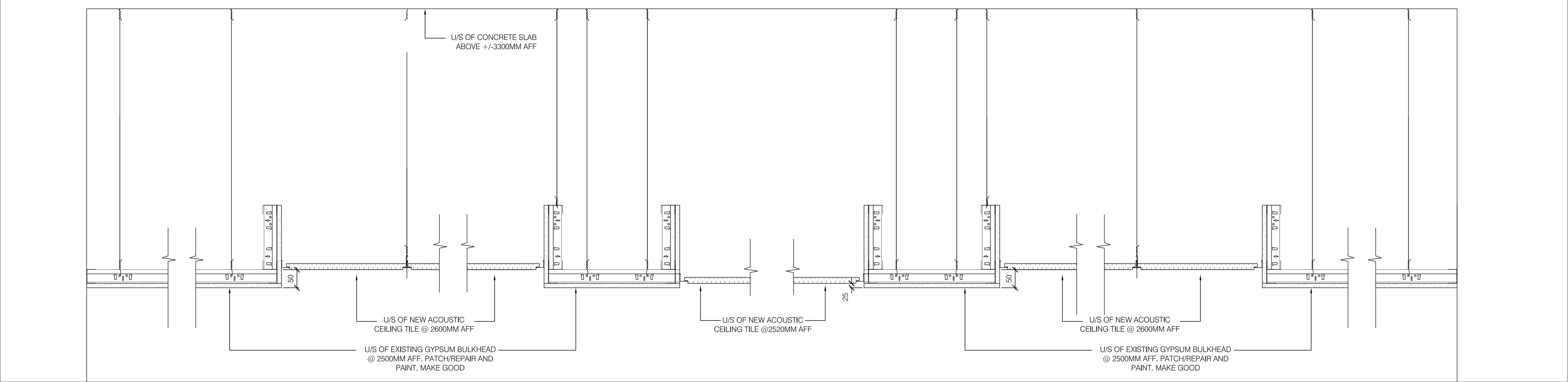
FINISHES PLAN AREA 'E'

	SHEET NUMBER:
--	---------------

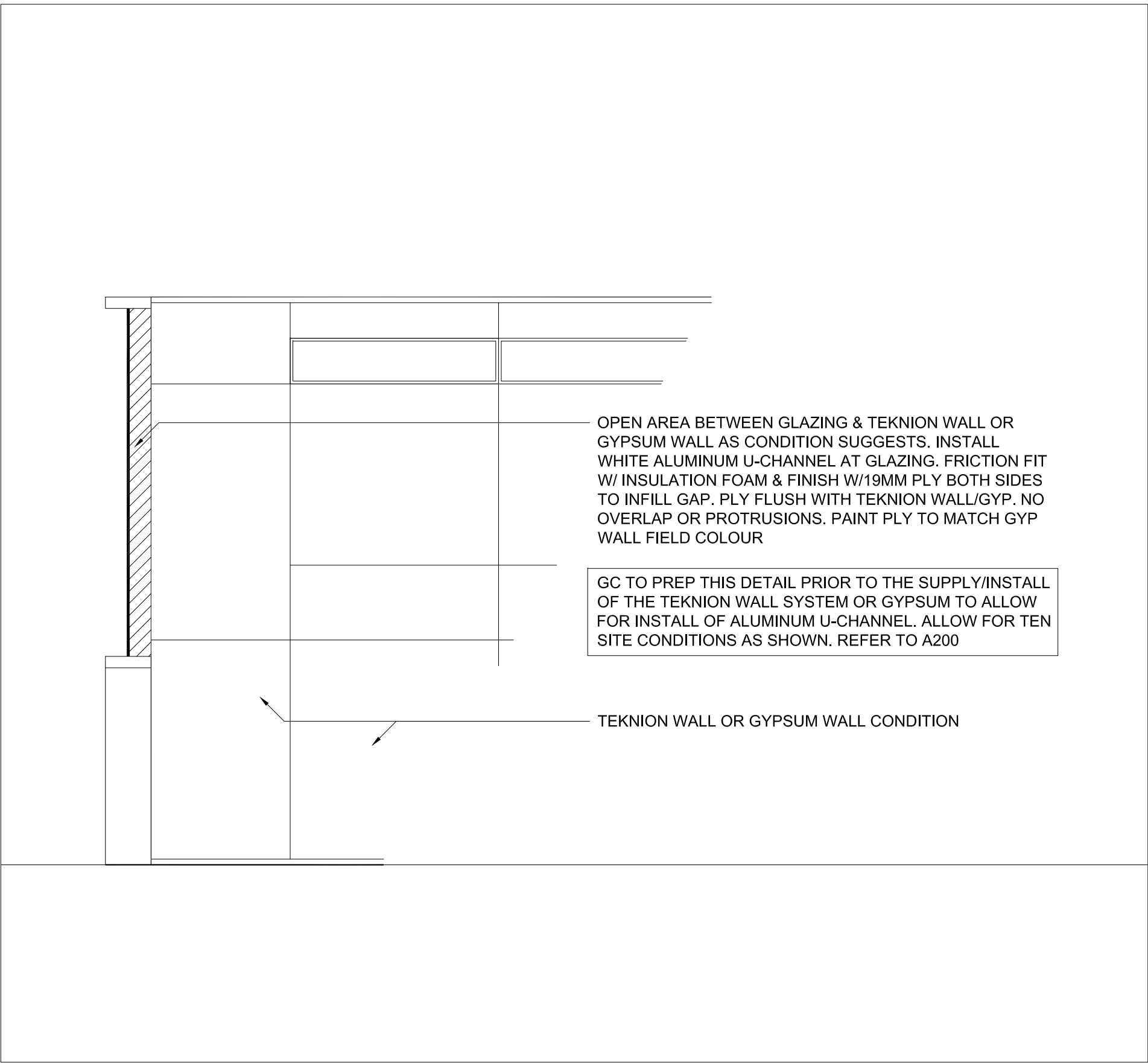
NUMBER: **A503**



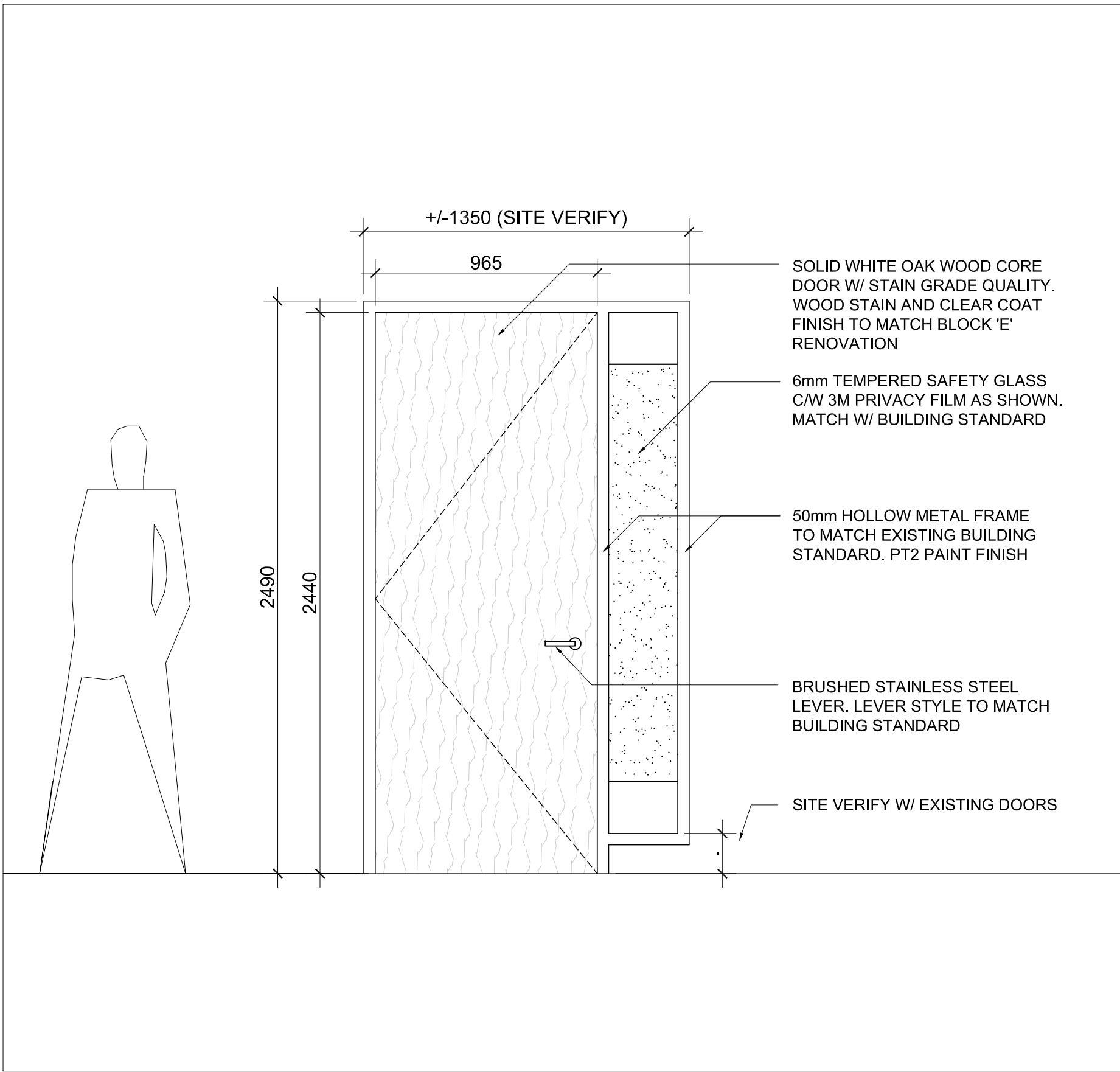
1 FINISHES PLAN: 4TH FLOOR AREA 'E'
A503 SCALE: 1:100



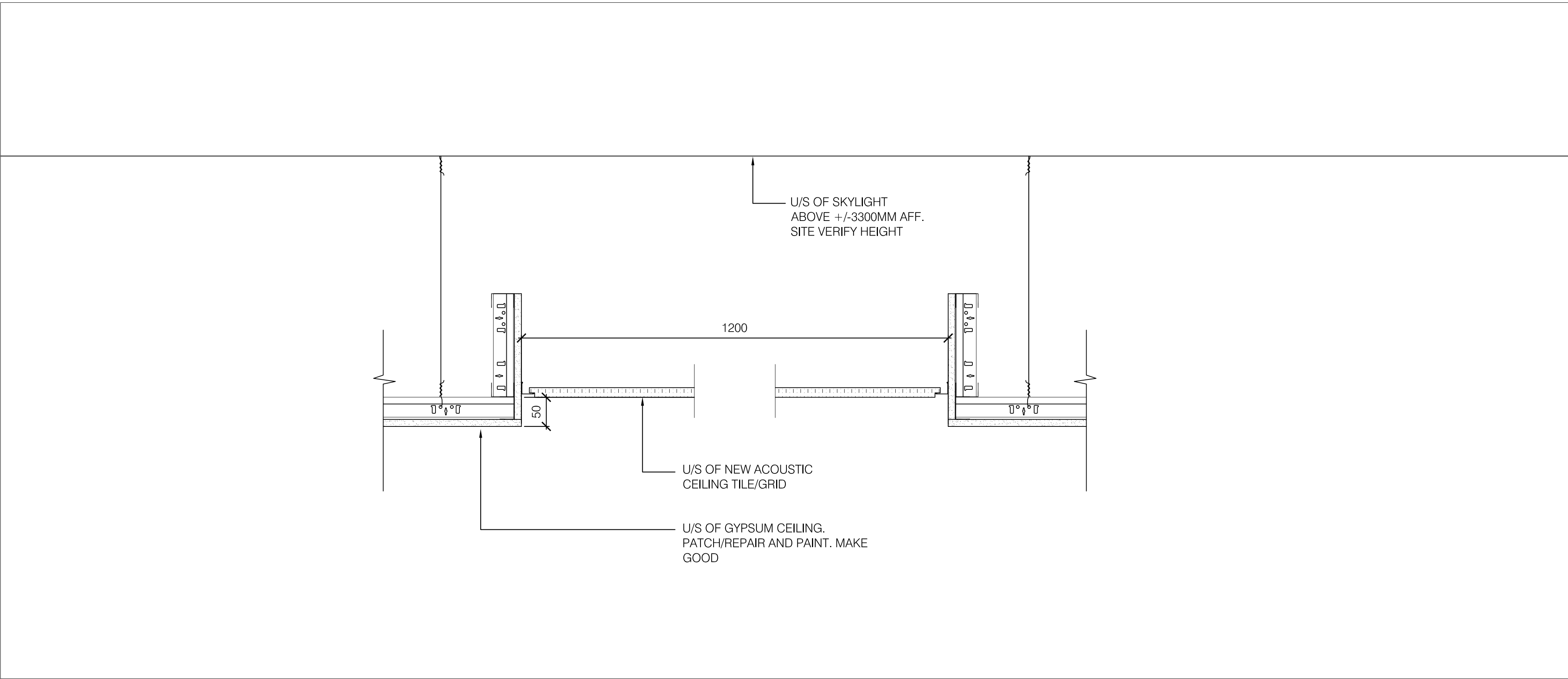
1
A600 SECTION: CEILING DETAIL
SCALE:NTS



2
A600 SECTION: TYPICAL ALTOS WALL AT GLAZING
SCALE: NTS



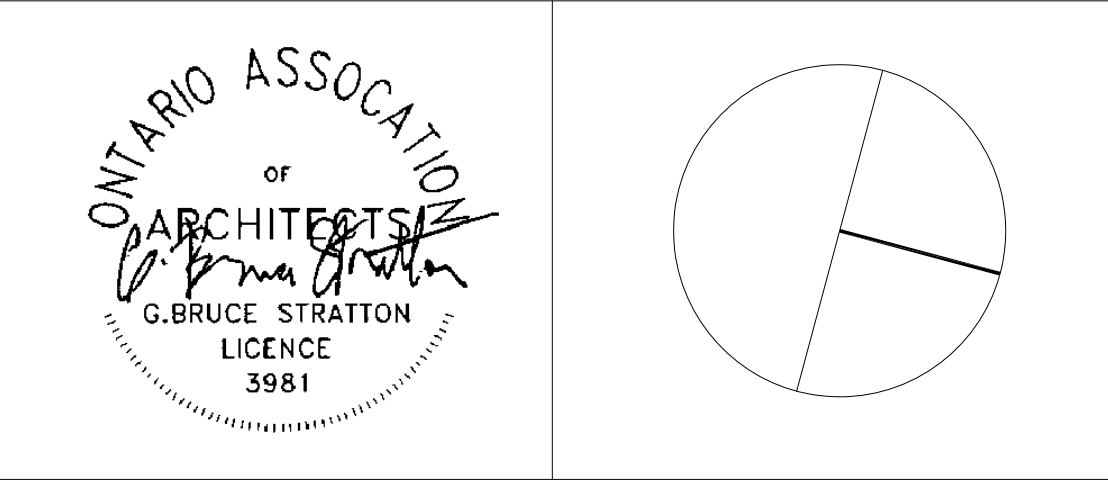
3
A600 ELEVATION: DOOR TYPE 'A' (DOORS: 90, 91, 93, 94, 95, 96, 97)
SCALE: NTS



4
A600 DETAIL: CEILING FEATURE MEET ROOM 4-88
SCALE: NTS

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects
217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

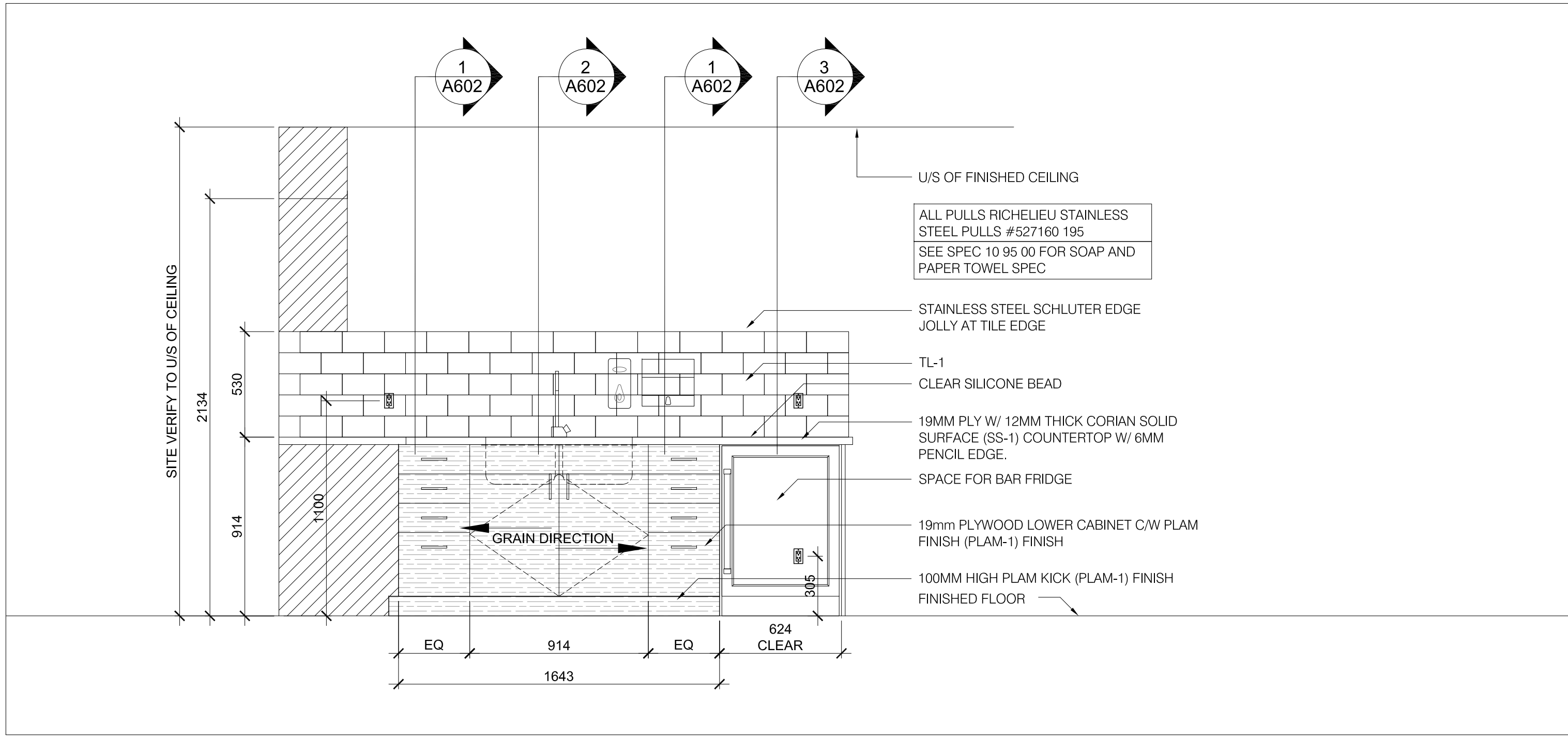
TENDER # RFTC-652-22

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

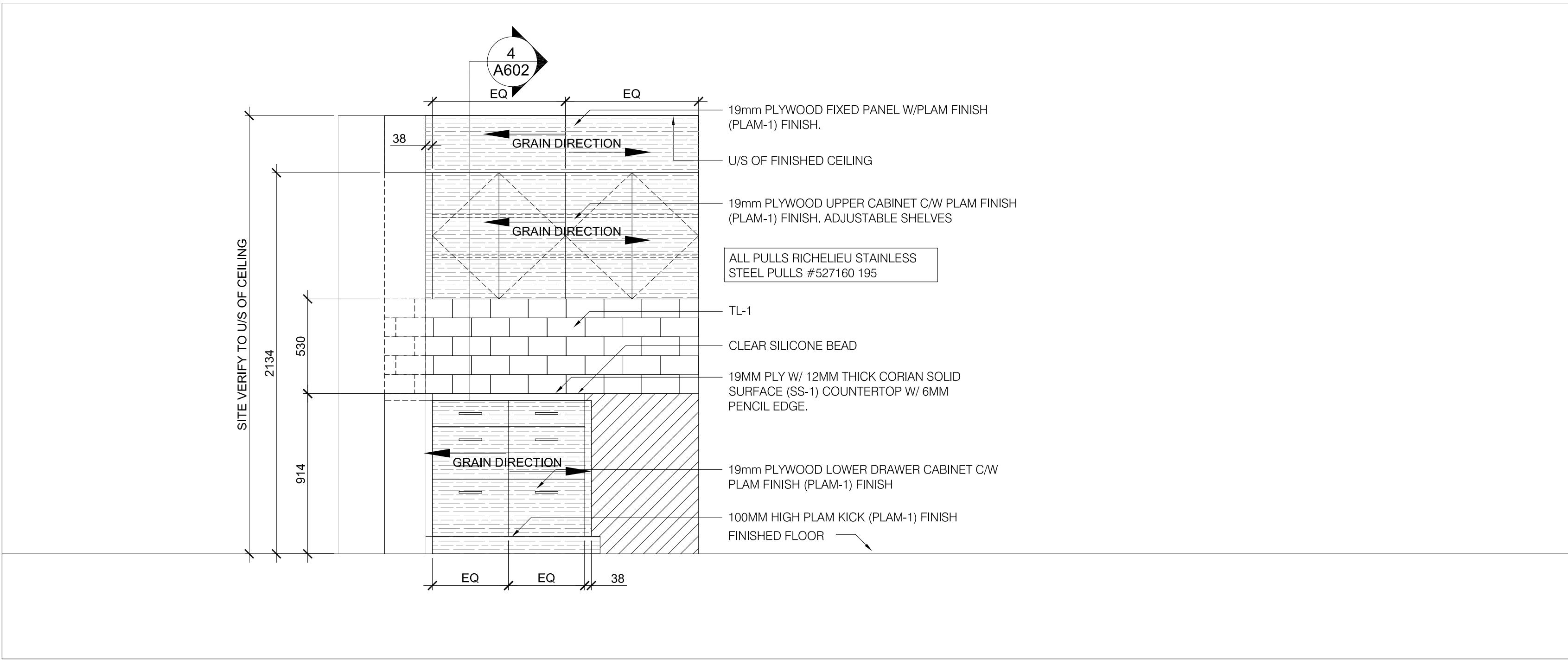
SCALE:	AS SHOWN
DRAWN BY:	SK
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

DETAILS

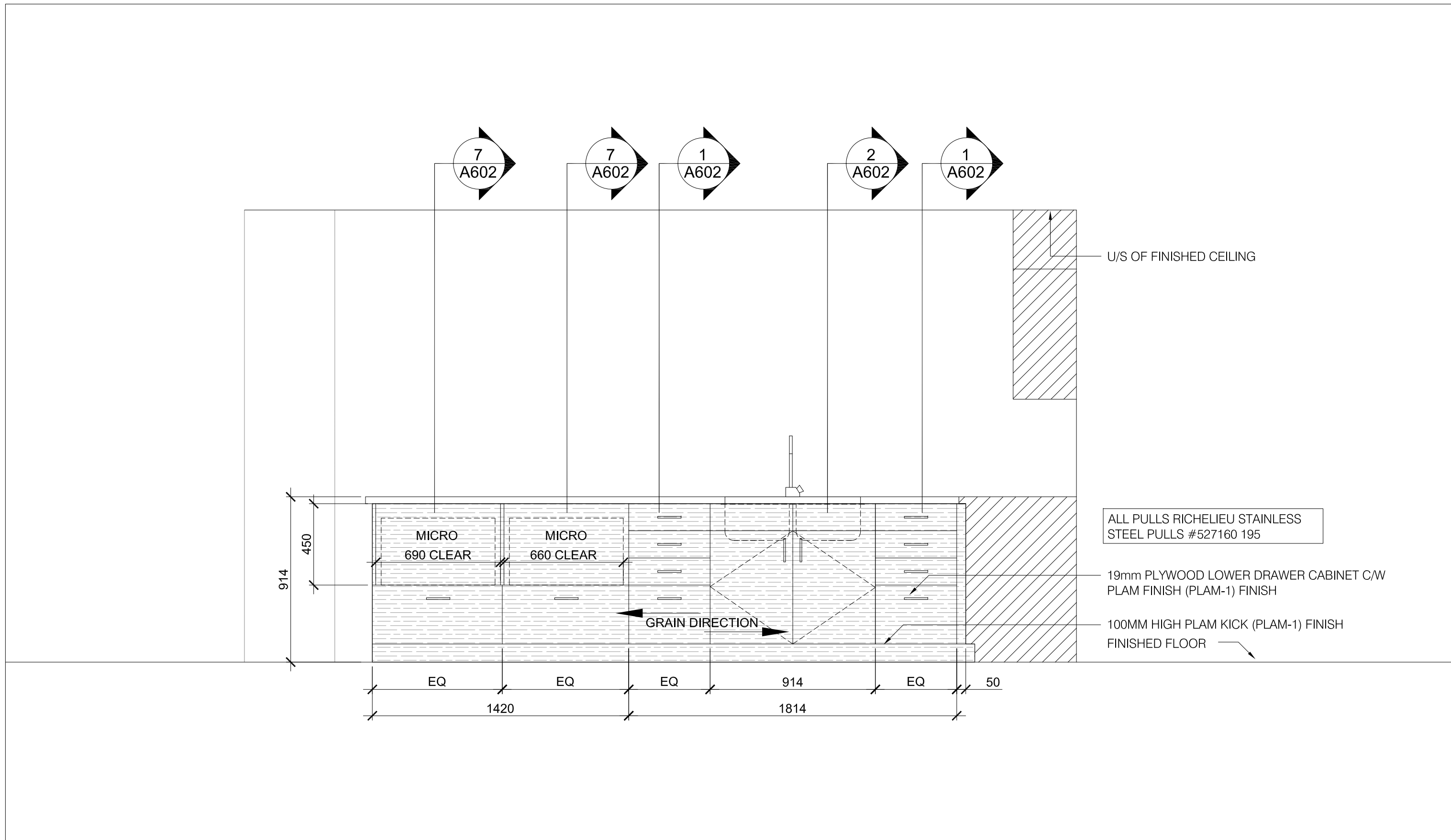
SHEET NUMBER:
A600



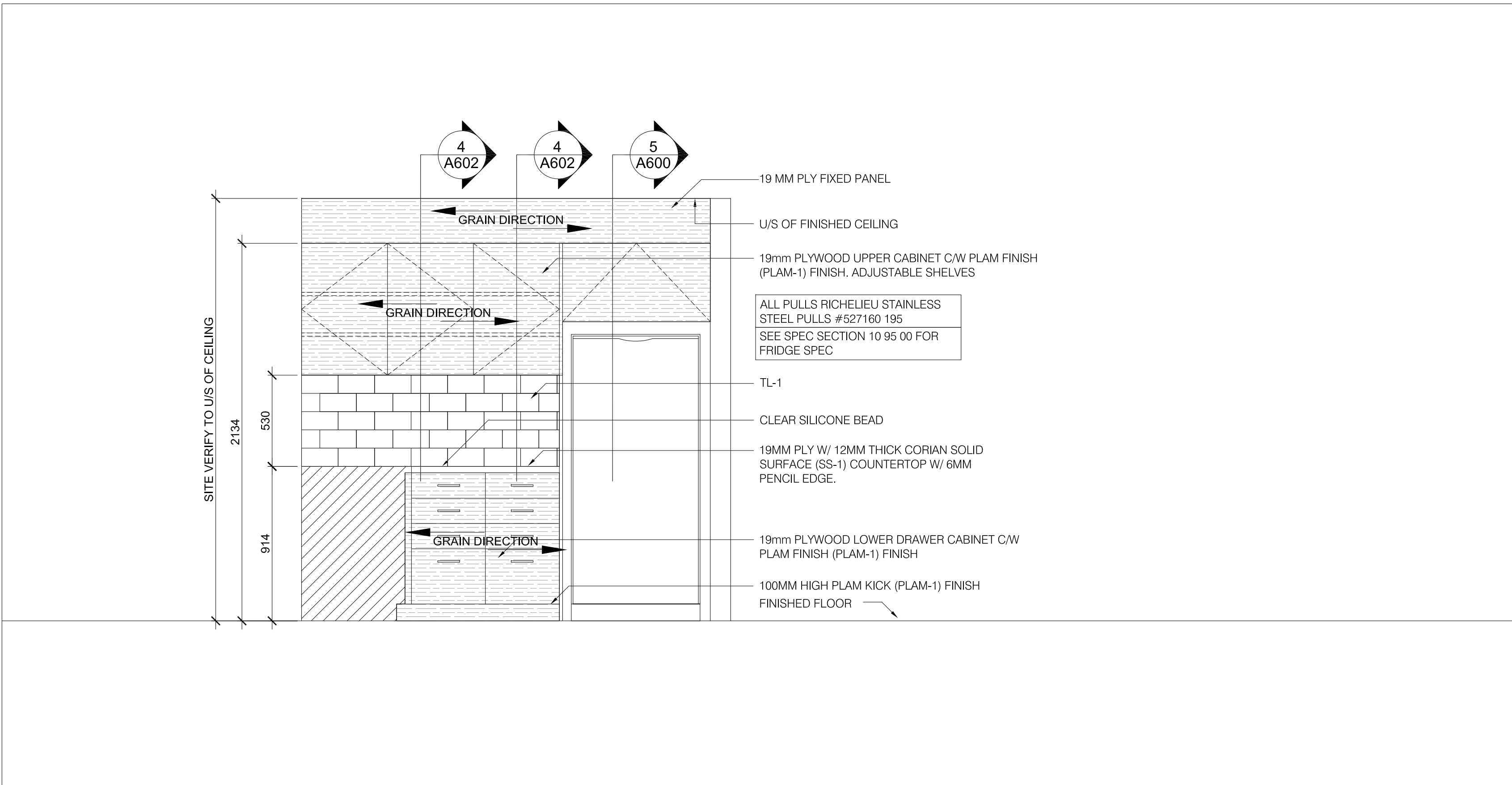
1
A601 ELEVATION: CAFE COUNTER 4-01
SCALE: NTS



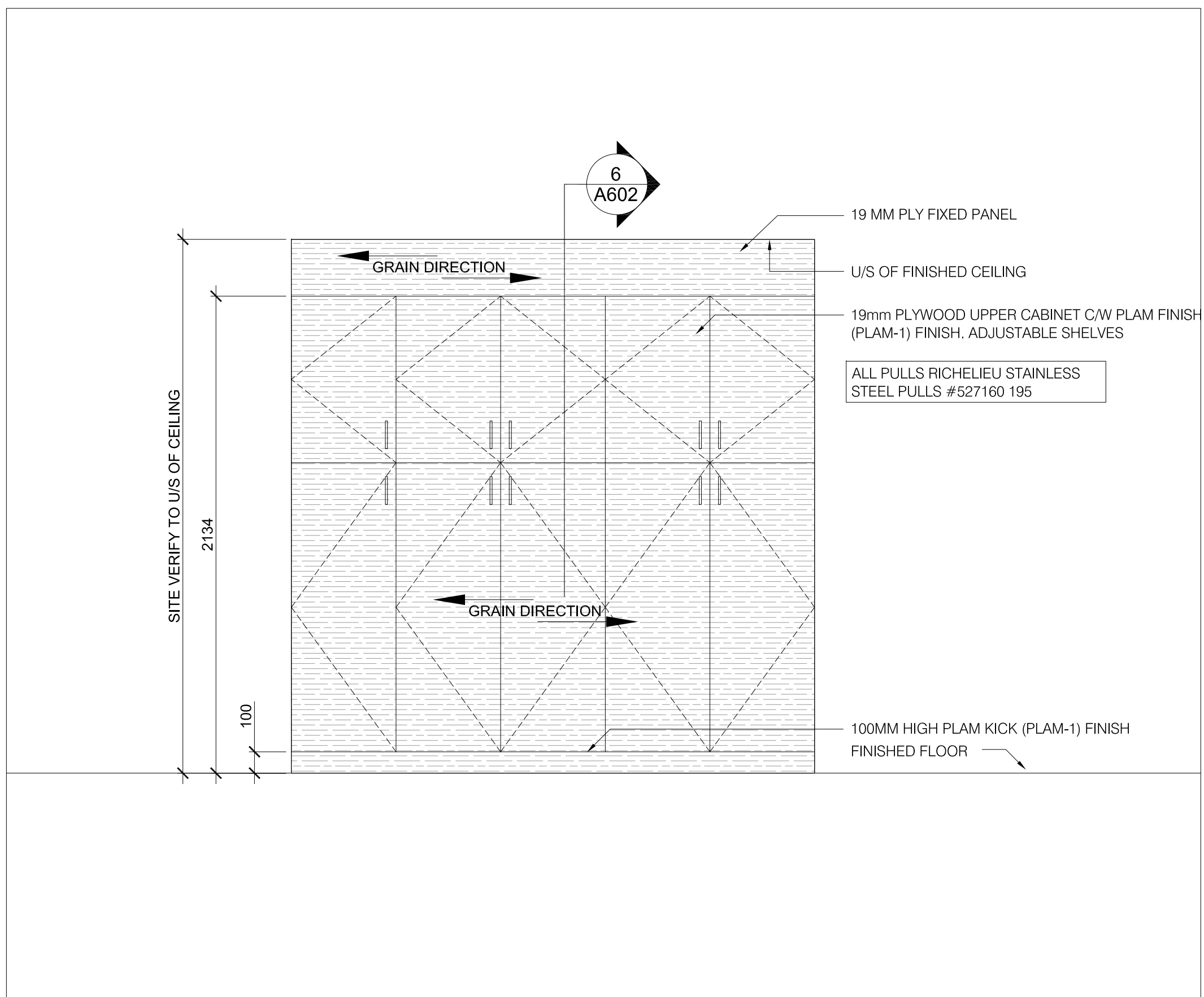
2
A601 ELEVATION: CAFE COUNTER 4-01
SCALE: NTS



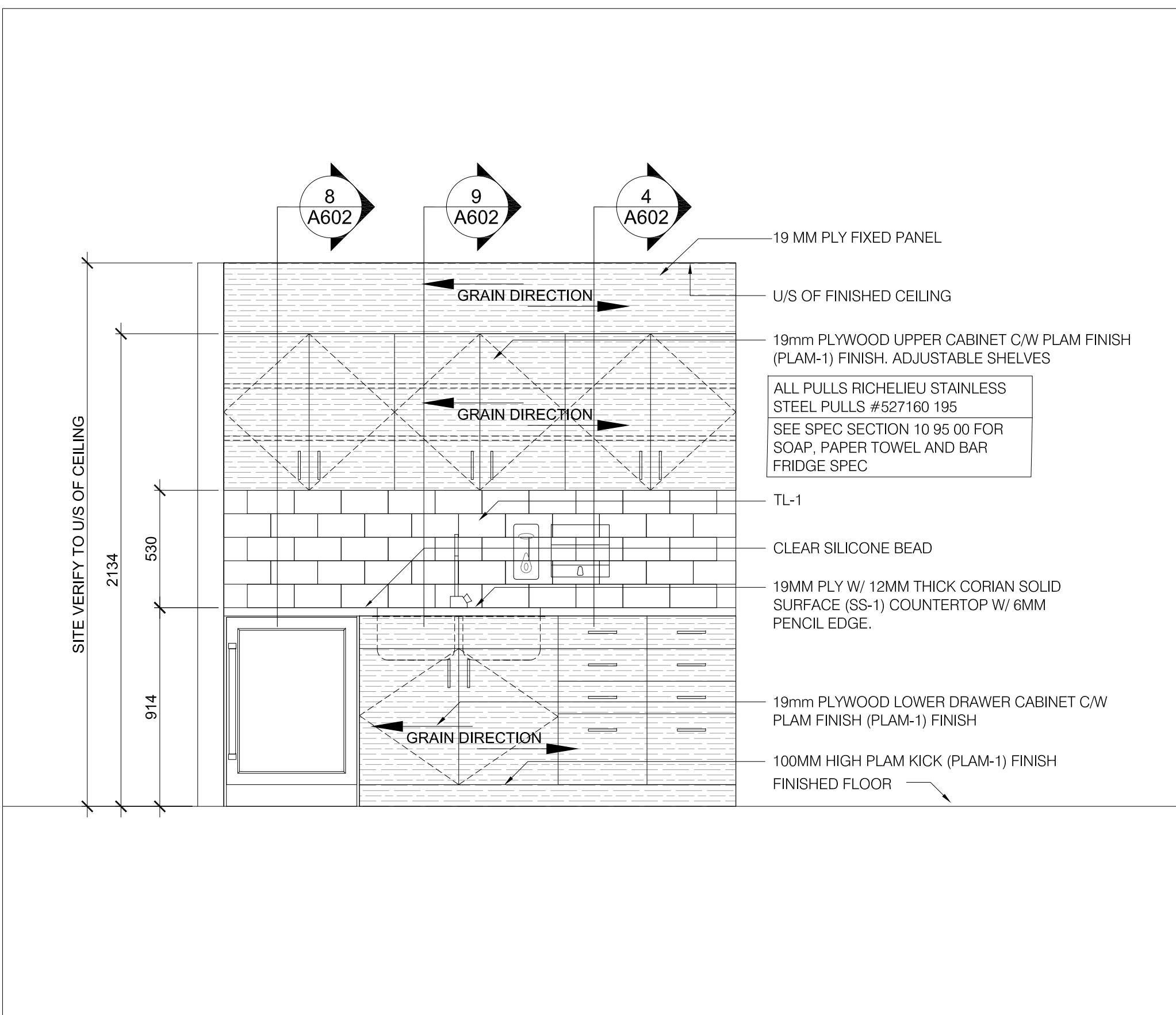
3
A601 ELEVATION: CONNECTION CAFE 4-33
SCALE: NTS



4
A601 ELEVATION: CONNECTION CAFE 4-33
SCALE: NTS



5
A601 ELEVATION: CONNECTION CAFE 4-33
SCALE: NTS

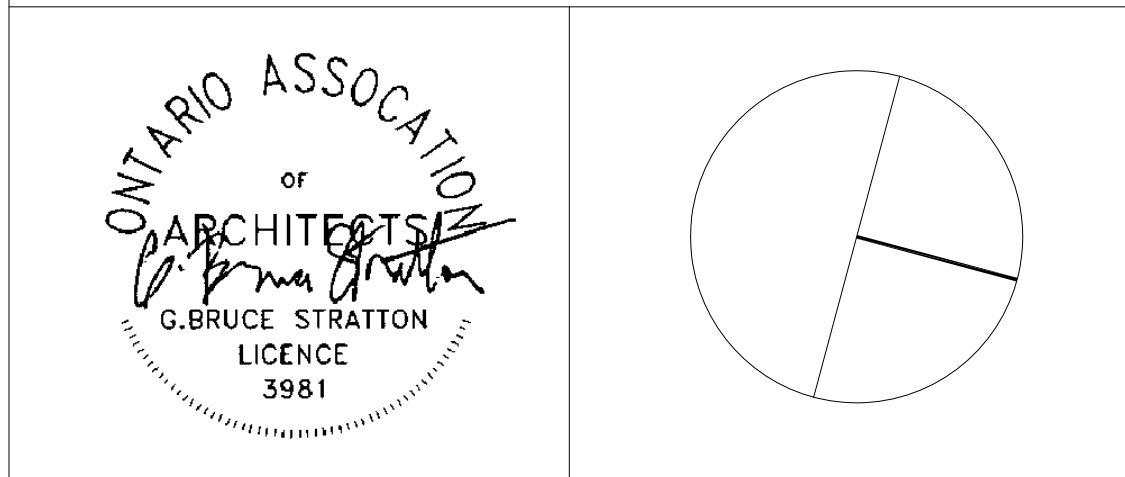


6
A601 ELEVATION: CAFE COUNTER 4-45
SCALE: NTS

- MILLWORK NOTES
- GC TO SUBMIT HARDWARE SPECIFICATIONS TO ARCHITECT FOR APPROVAL PRIOR TO SUPPLY/INSTALL
 - SITE VERIFY ALL DIMENSION PRIOR TO CONSTRUCTION/INSTALLATION OF MILLWORK
 - GC TO PROVIDE SAMPLES OF ALL MILLWORK FINISHES INCLUDING VENEERS, PLASTIC LAMINATES, HARDWARE, SOLID SURFACE ETC. PRIOR TO THE CONSTRUCTION/INSTALLATION ON ANY MILLWORK
 - INTERIOR OF ALL MILLWORK TO MATCH EXTERIOR FINISH. WHITE INTERIOR MELAMINE AND/OR WHITE PLASTIC LAMINATE WILL NOT BE ACCEPTED
 - UNLESS NOTED ON DRAWINGS, REFER TO SPECIFICATIONS FOR COMPLETE FINISH SPECS
 - ALL WOOD GRAIN AS SPECIFIED FOR MILLWORK TO RUN IN A VERTICAL DIRECTION UNLESS NOTES OTHERWISE ON DRAWINGS
 - DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT FOR DESIGN SPECIFIC QUESTIONS
 - REFER TO MECHANICAL ENGINEER'S DWGS FOR SINK AND FAUCET SPEC
 - GC TO SUPPLY DETAILED SHOPS OF ALL MILLWORK FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL
 - REFER TO MILLWORK SPEC SECTION FOR FINISHES SPECIFICATION
 - NO ADDED UREA FORMALDEHYDE IN MILLWORK. 100% FSC CERTIFIED WOOD FOR ALL WOOD PRODUCT
 - PLAM-1: MANUFACTURER: NEVAMAR #WK0017T VENERABLE OLD OAK. PROVIDE SAMPLE PRIOR TO SUPPLY/INSTALL
 - SOLID SURFACE (SS-1): CORIAN TERRA SILVER BIRCH. PROVIDE SAMPLE PRIOR TO SUPPLY/INSTALL

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects
217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

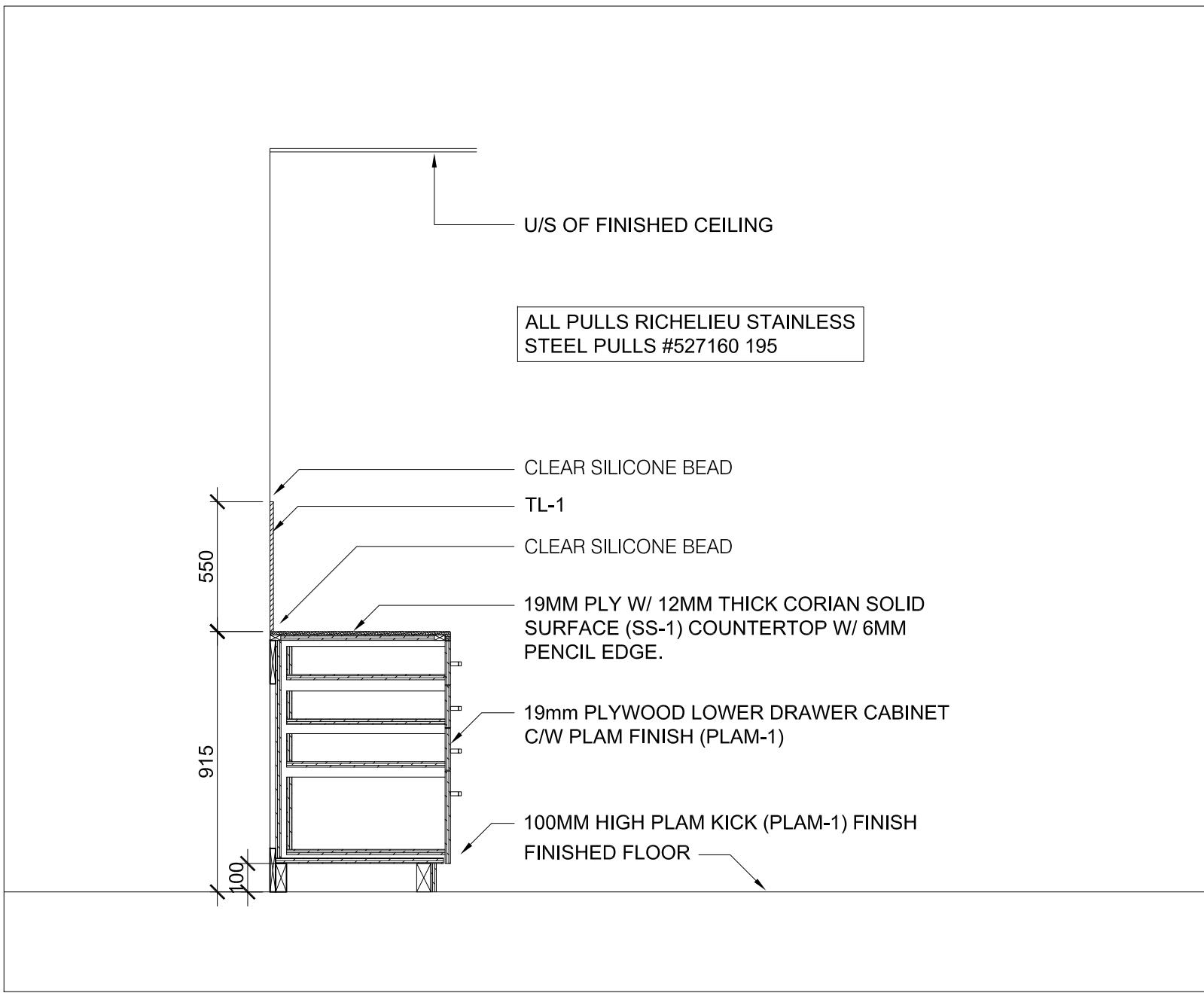
DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

TENDER # RFTC-652-22

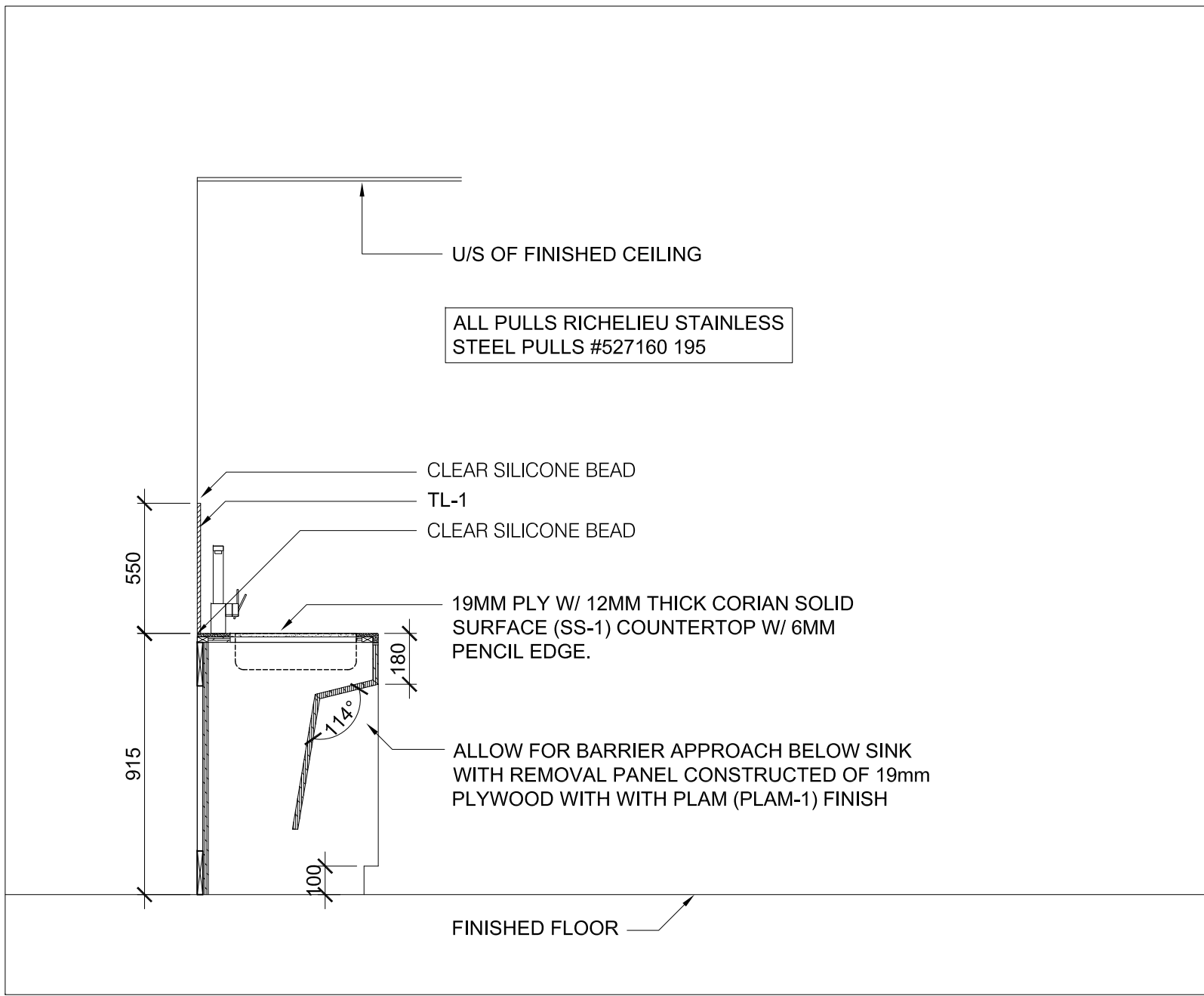
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	AS SHOWN
DRAWN BY:	SK
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

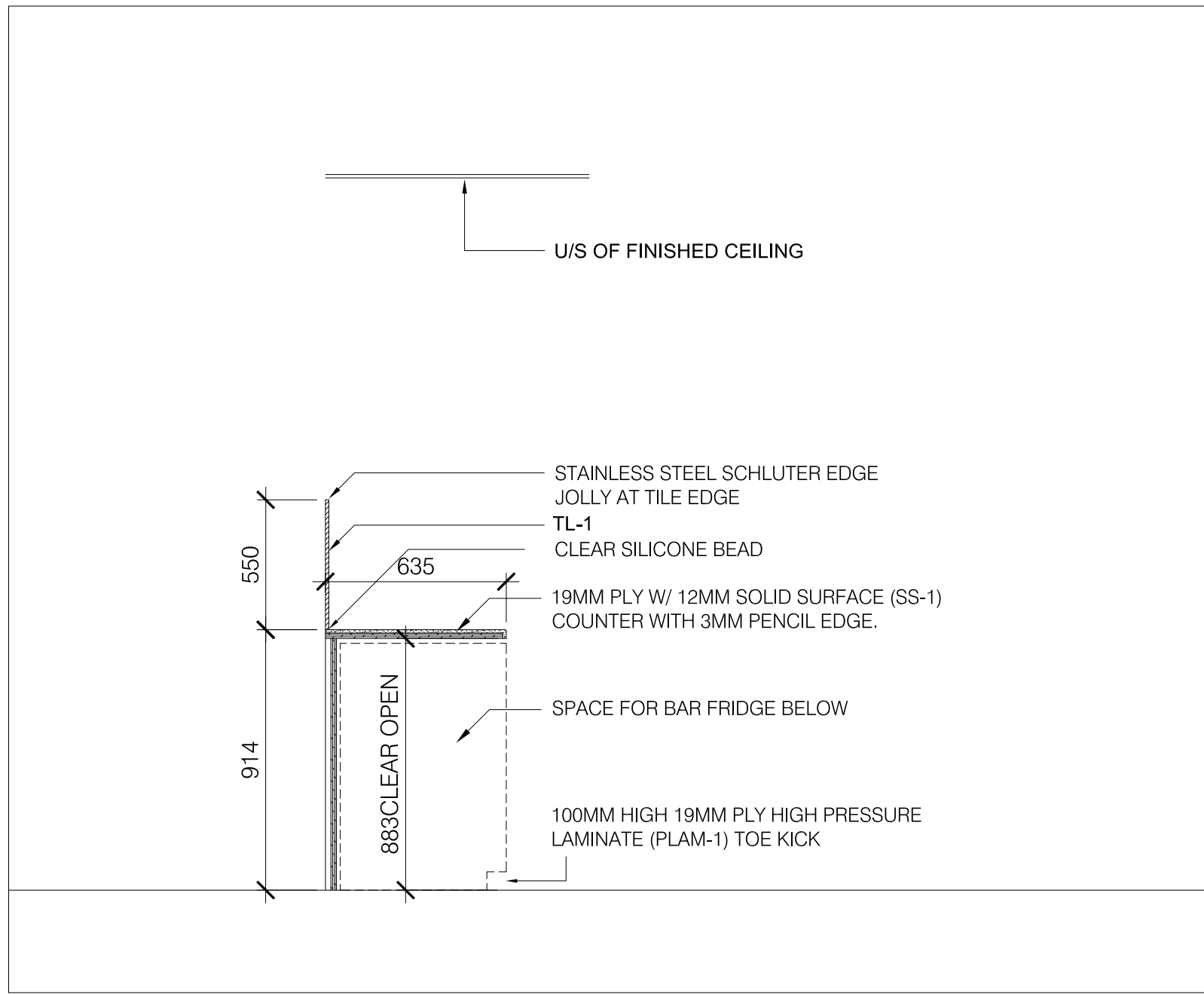
DETAILS
SHEET NUMBER:
A601



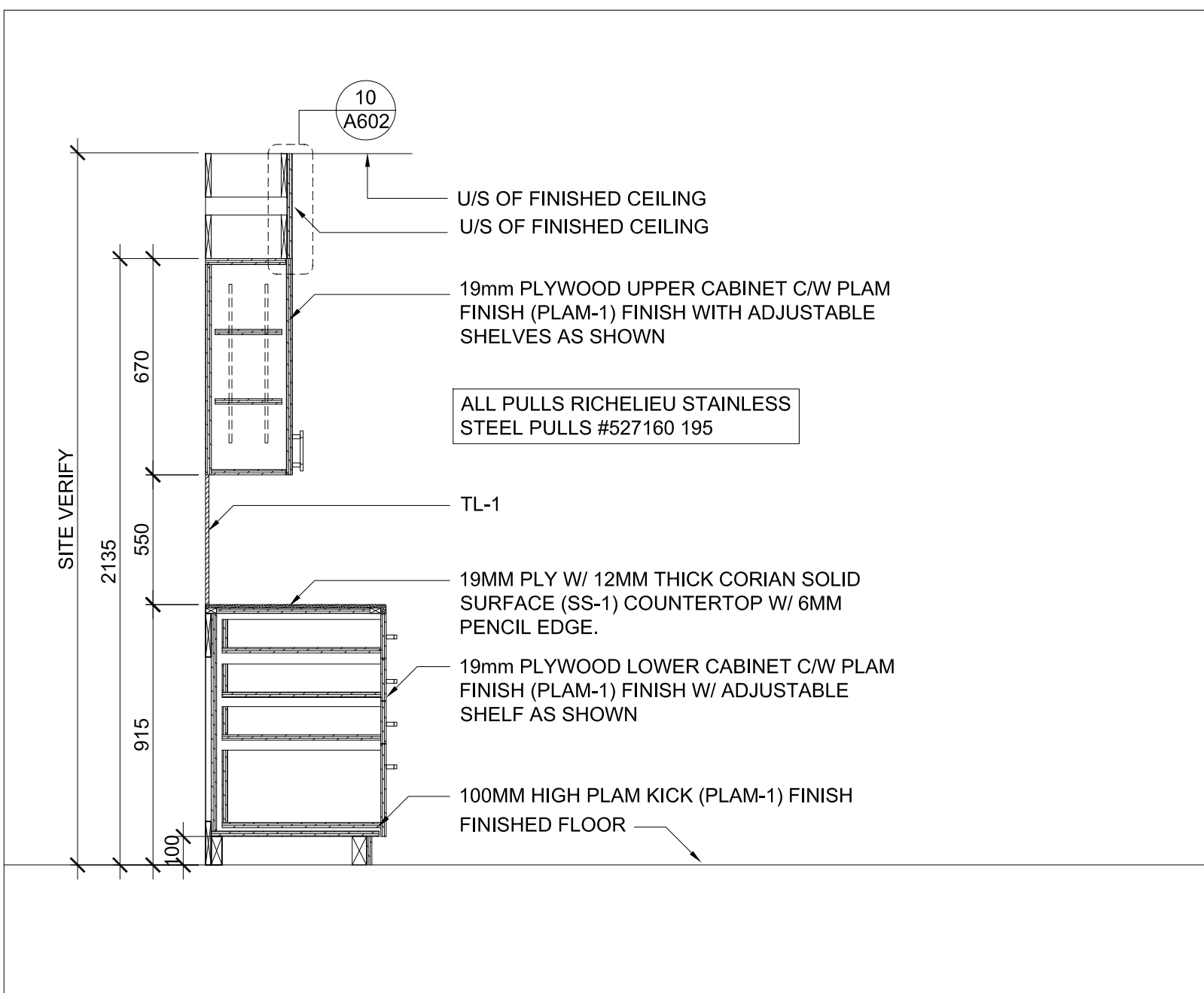
1
A602 SECTION
SCALE: NTS



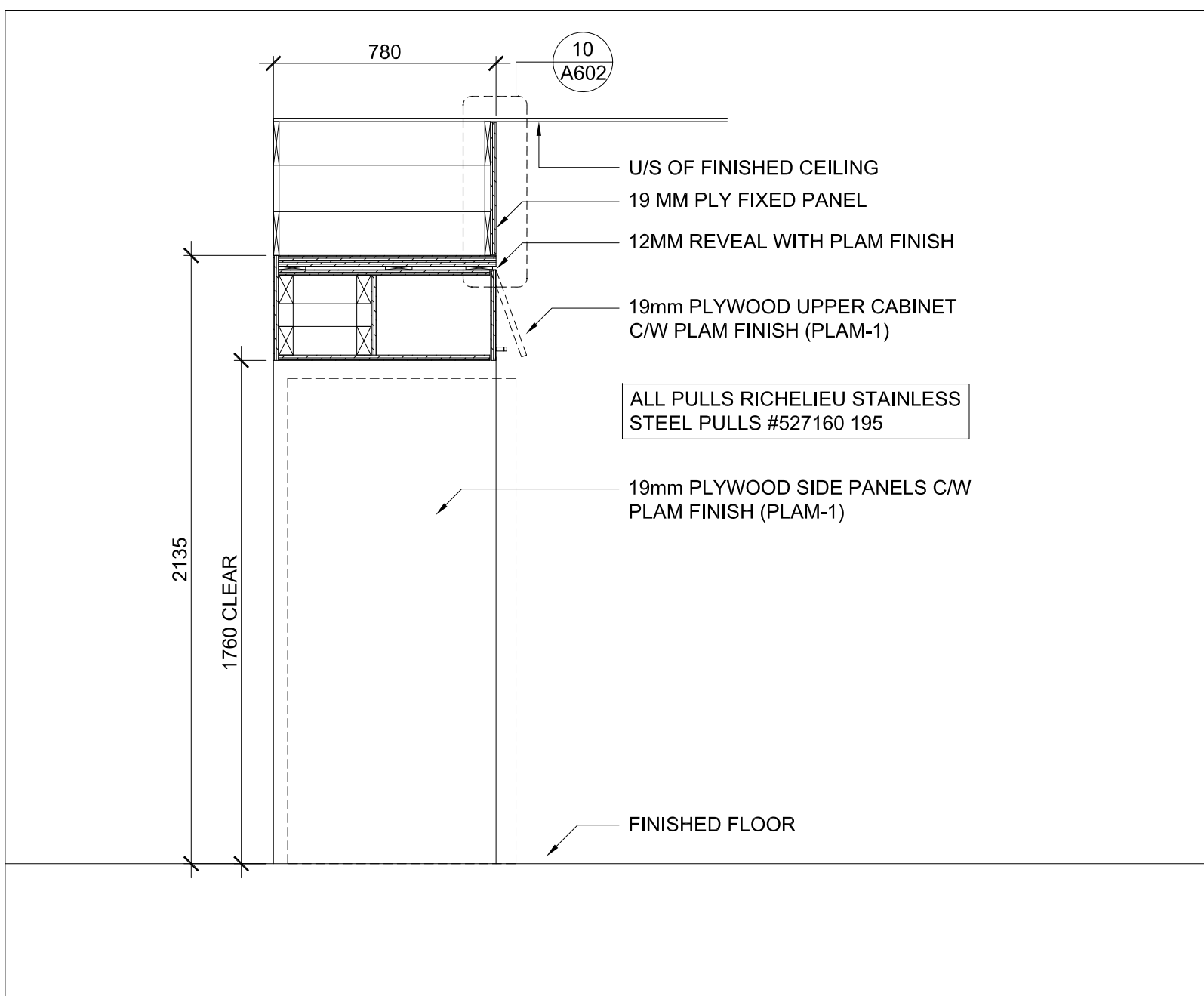
2
A602 SECTION
SCALE: NTS



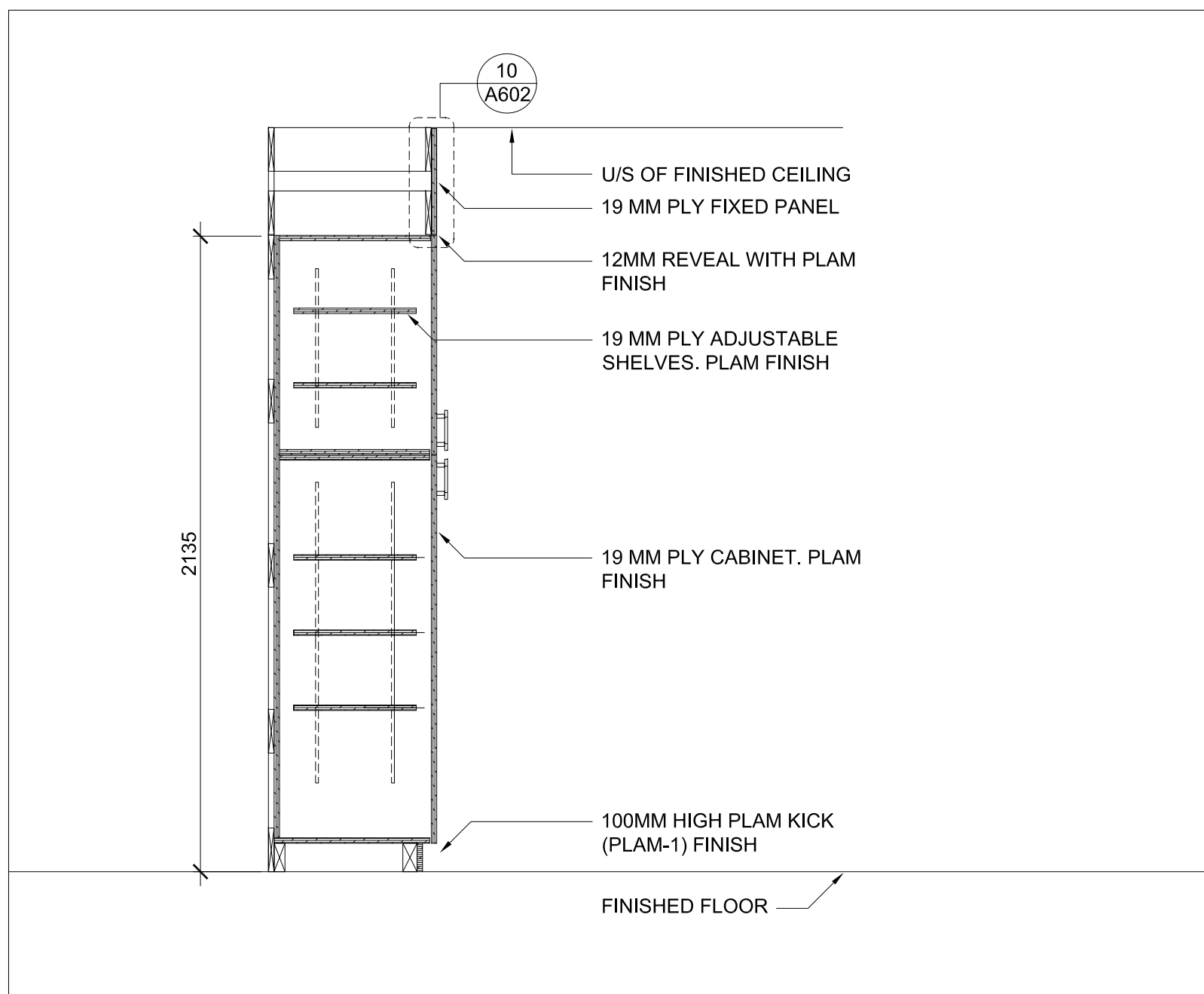
3
A602 SECTION
SCALE: NTS



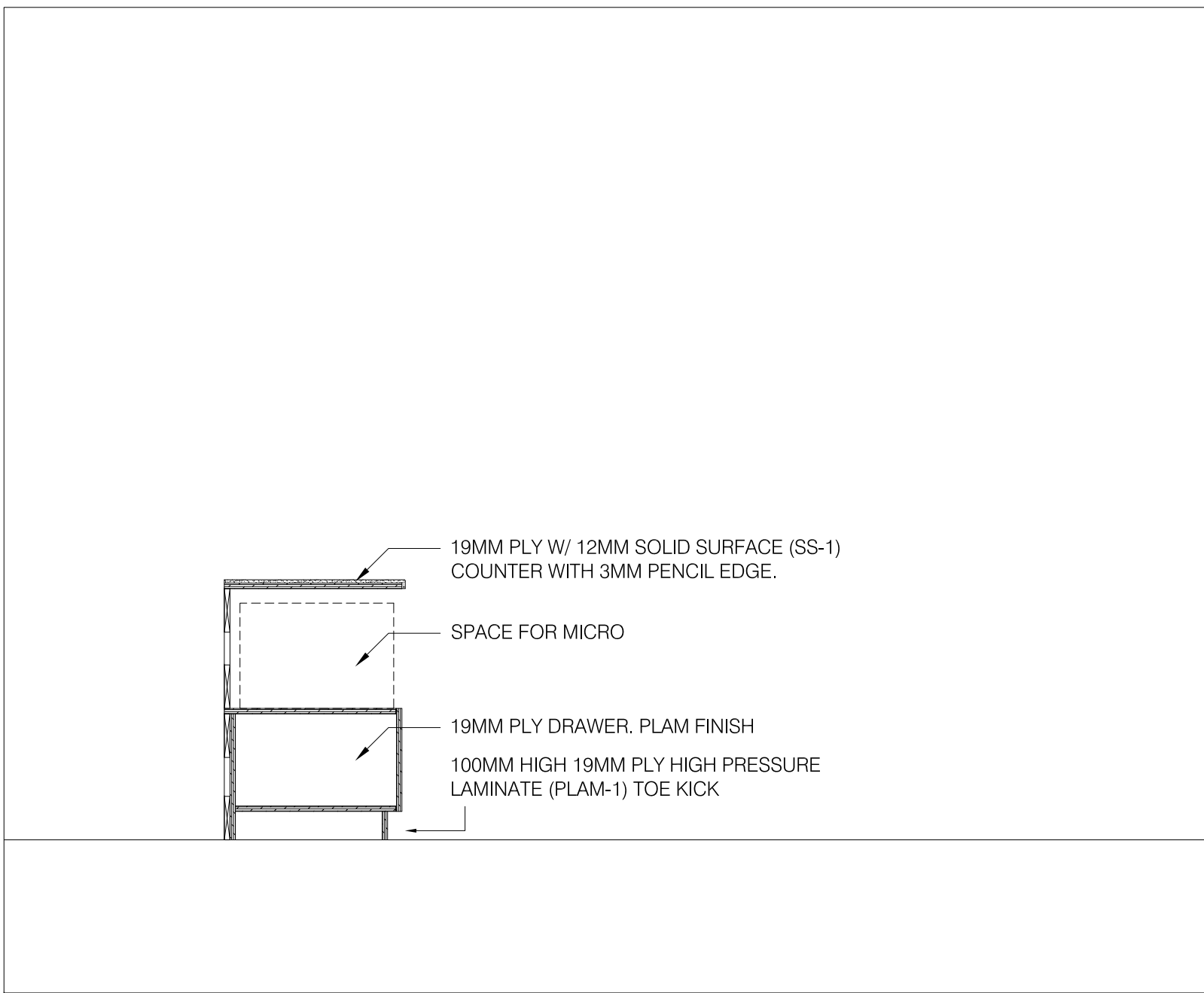
4
A602 SECTION
SCALE: NTS



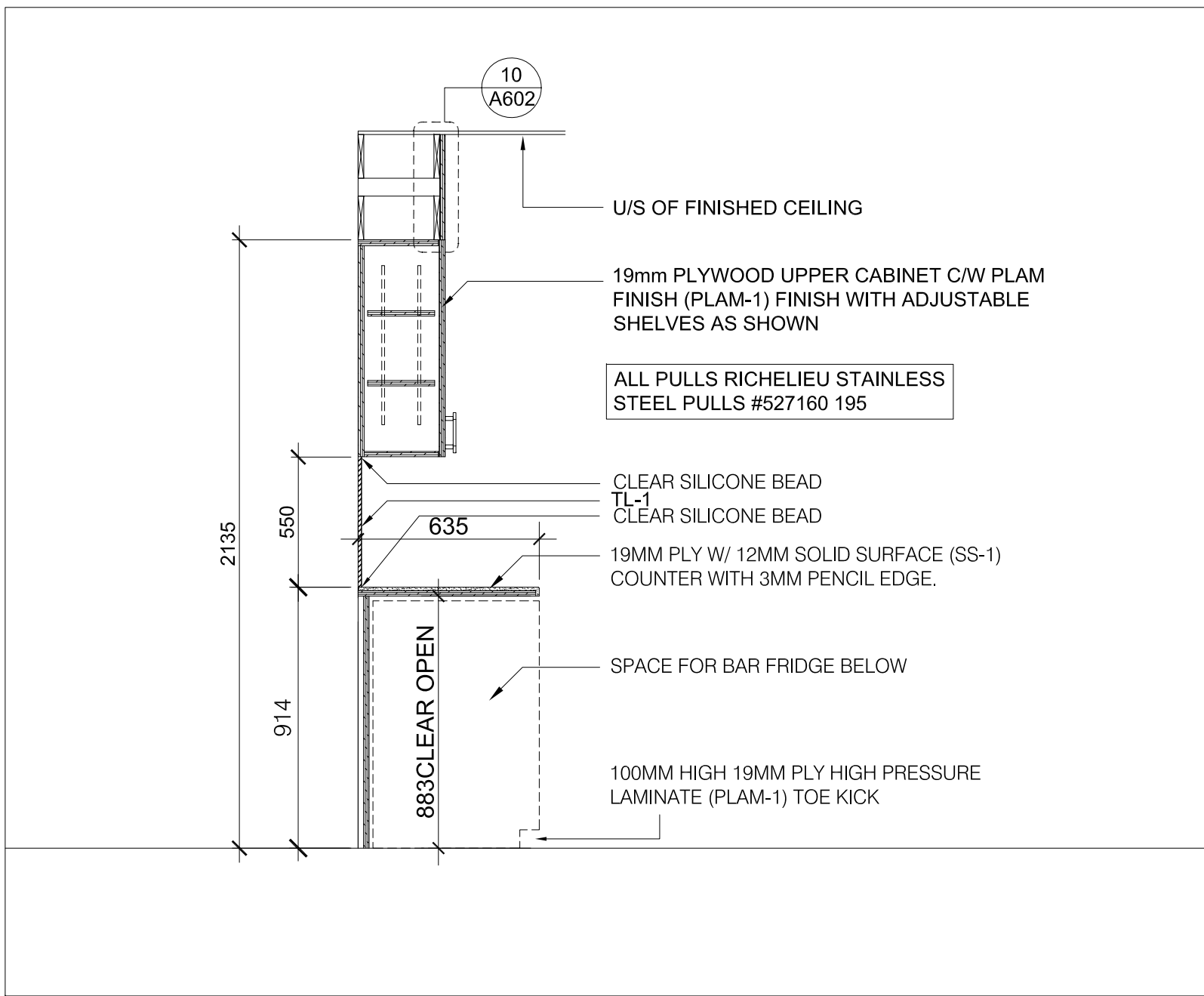
5
A602 SECTION
SCALE: NTS



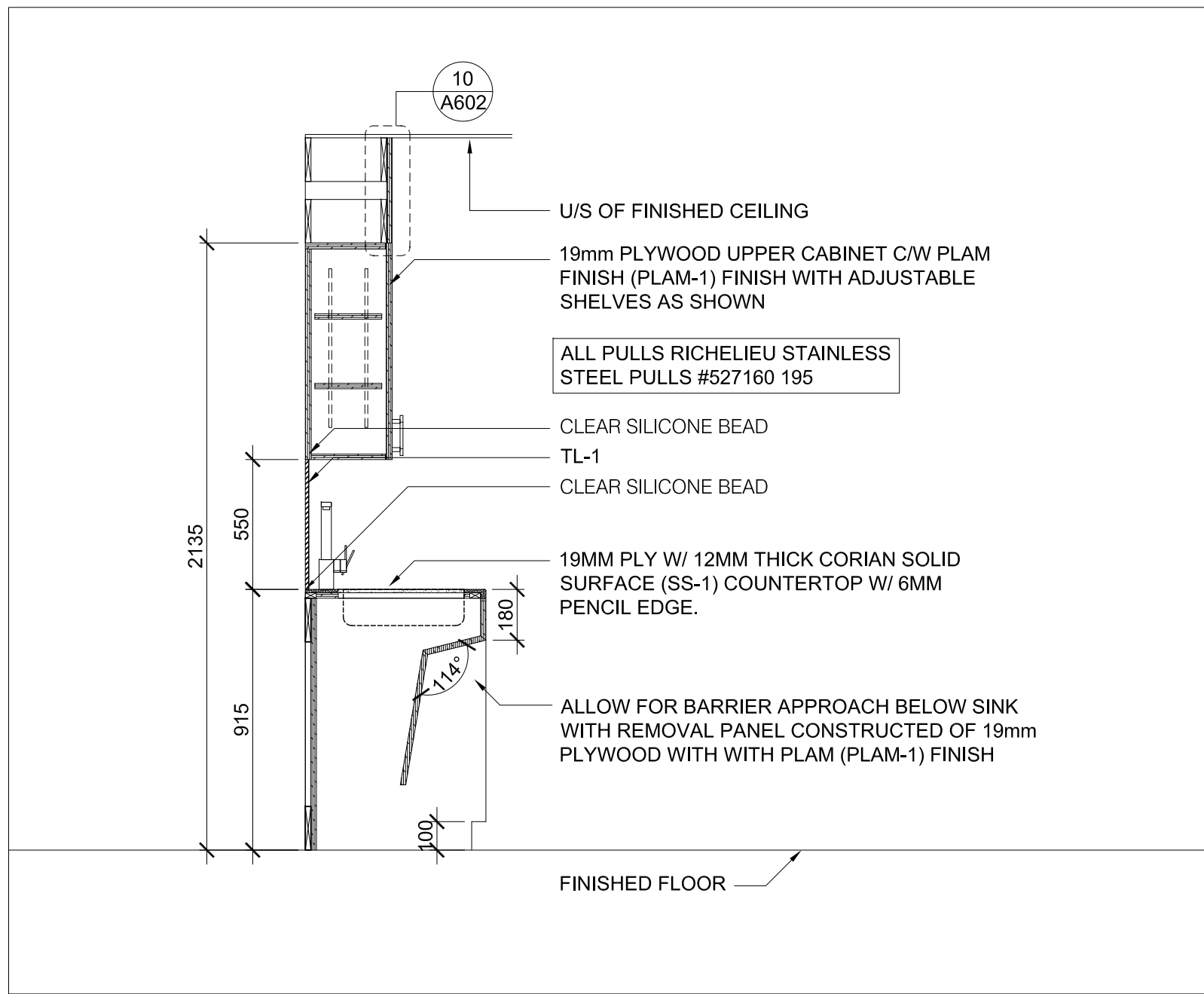
6
A602 SECTION
SCALE: NTS



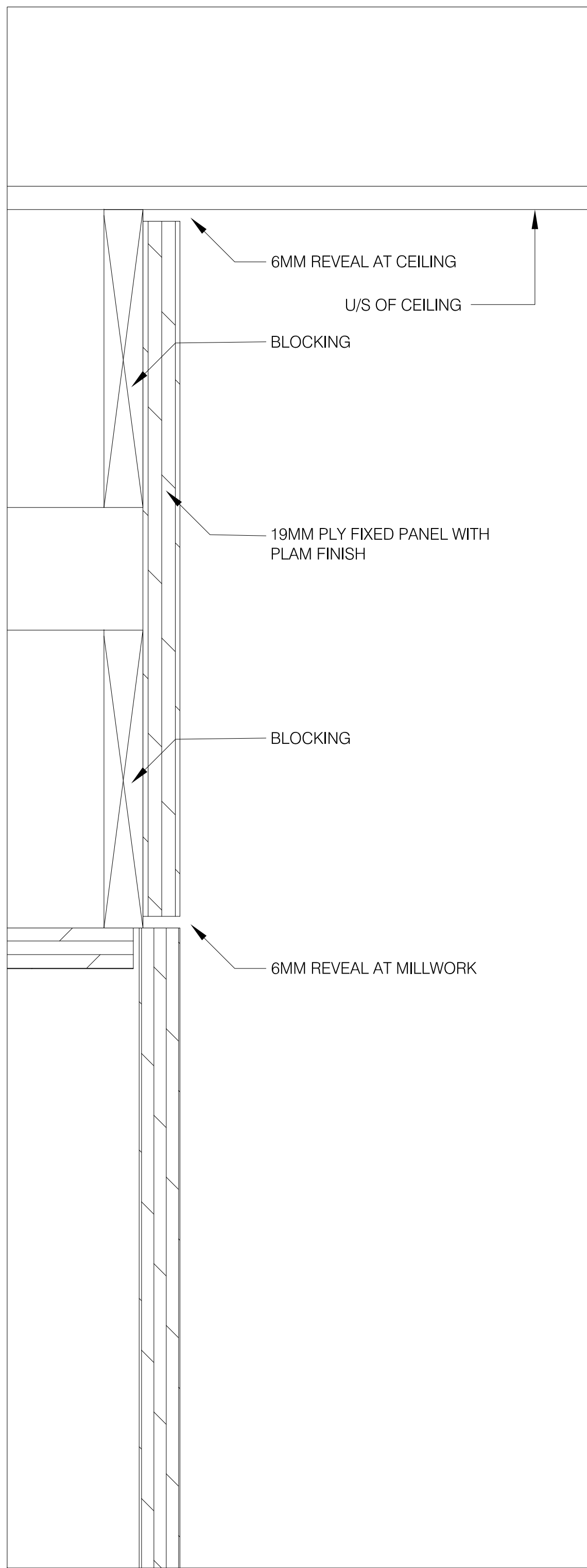
7
A602 SECTION
SCALE: NTS



8
A602 SECTION
SCALE: NTS



9
A602 SECTION
SCALE: NTS



10
A602 SECTION - FIXED PANEL
SCALE: NTS

MILLWORK NOTES

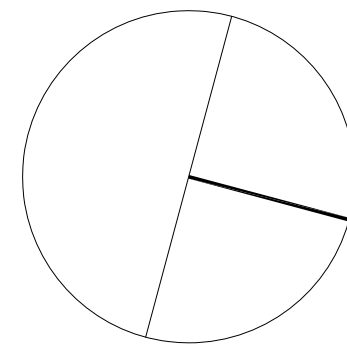
- GC TO SUBMIT HARDWARE SPECIFICATIONS TO ARCHITECT FOR APPROVAL PRIOR TO SUPPLY/INSTALL
- SITE VERIFY ALL DIMENSION PRIOR TO CONSTRUCTION/INSTALLATION OF MILLWORK
- GC TO PROVIDE SAMPLES OF ALL MILLWORK FINISHES INCLUDING VENEERS, PLASTIC LAMINATES, HARDWARE, SOLID SURFACE ETC. PRIOR TO THE CONSTRUCTION/INSTALLATION ON ANY MILLWORK
- INTERIOR OF ALL MILLWORK TO MATCH EXTERIOR FINISH. WHITE INTERIOR MELAMINE AND/OR WHITE PLASTIC LAMINATE WILL NOT BE ACCEPTED
- UNLESS NOTED ON DRAWINGS, REFER TO SPECIFICATIONS FOR COMPLETE FINISH SPECS
- ALL WOOD GRAIN AS SPECIFIED FOR MILLWORK TO RUN IN A VERTICAL DIRECTION UNLESS NOTES OTHERWISE ON DRAWINGS

- DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT FOR DESIGN SPECIFIC QUESTIONS
- REFER TO MECHANICAL ENGINEER'S DWGS FOR SINK AND FAUCET SPEC
- GC TO SUPPLY DETAILED SHOPS OF ALL MILLWORK FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL
- REFER TO MILLWORK SPEC SECTION FOR FINISHES SPECIFICATION
- NO ADDED UREA FORMALDEHYDE IN MILLWORK. 100% FSC CERTIFIED WOOD FOR ALL WOOD PRODUCT
- PLAM-1, MANUFACTURER: NEVAMAR #W00177 VENERABLE OLD OAK. PROVIDE SAMPLE PRIOR TO SUPPLY/INSTALL
- SOLID SURFACE (SS-1): CORIAN TERRA SILVER BIRCH. PROVIDE SAMPLE PRIOR TO SUPPLY/INSTALL

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

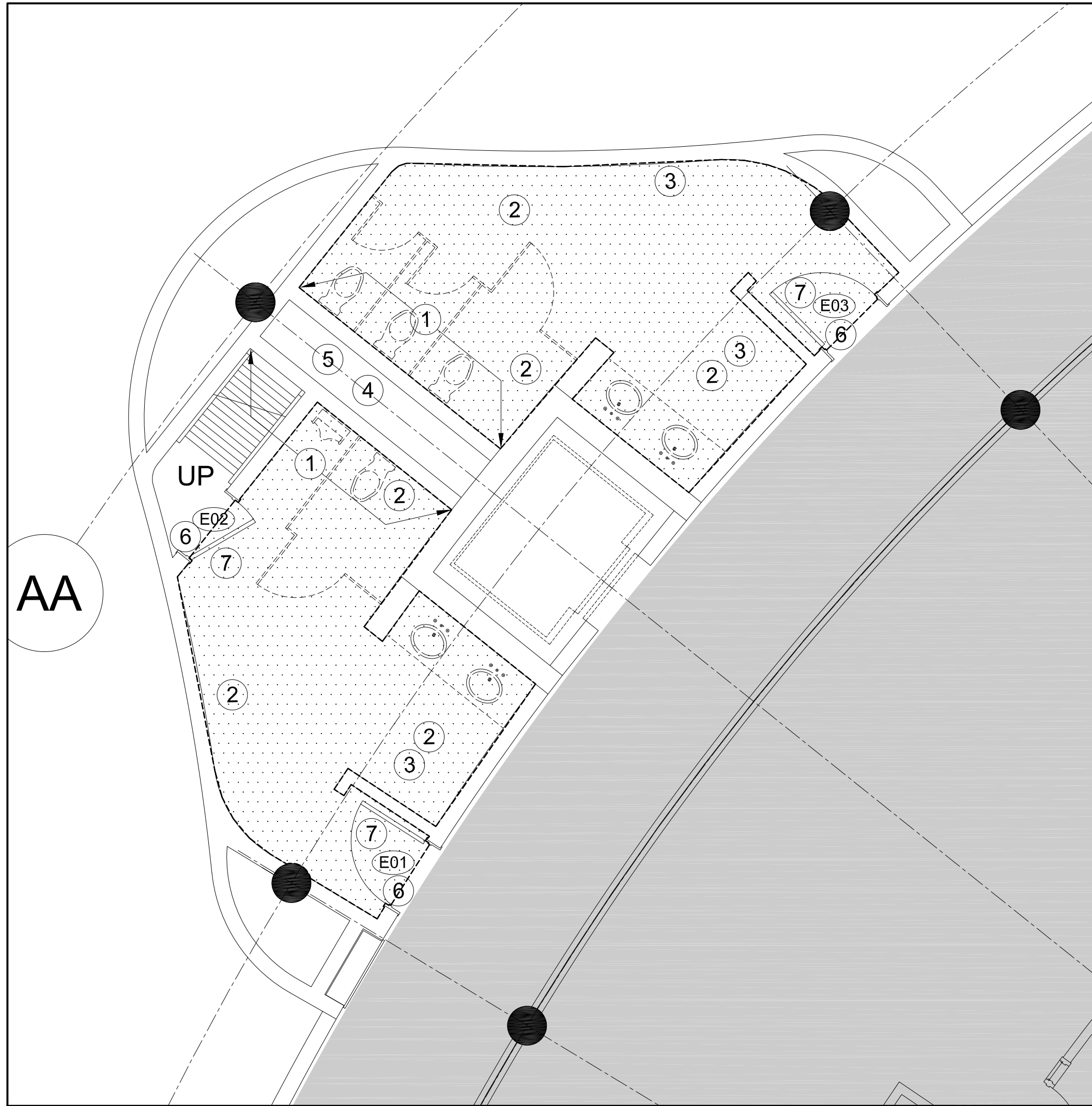
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

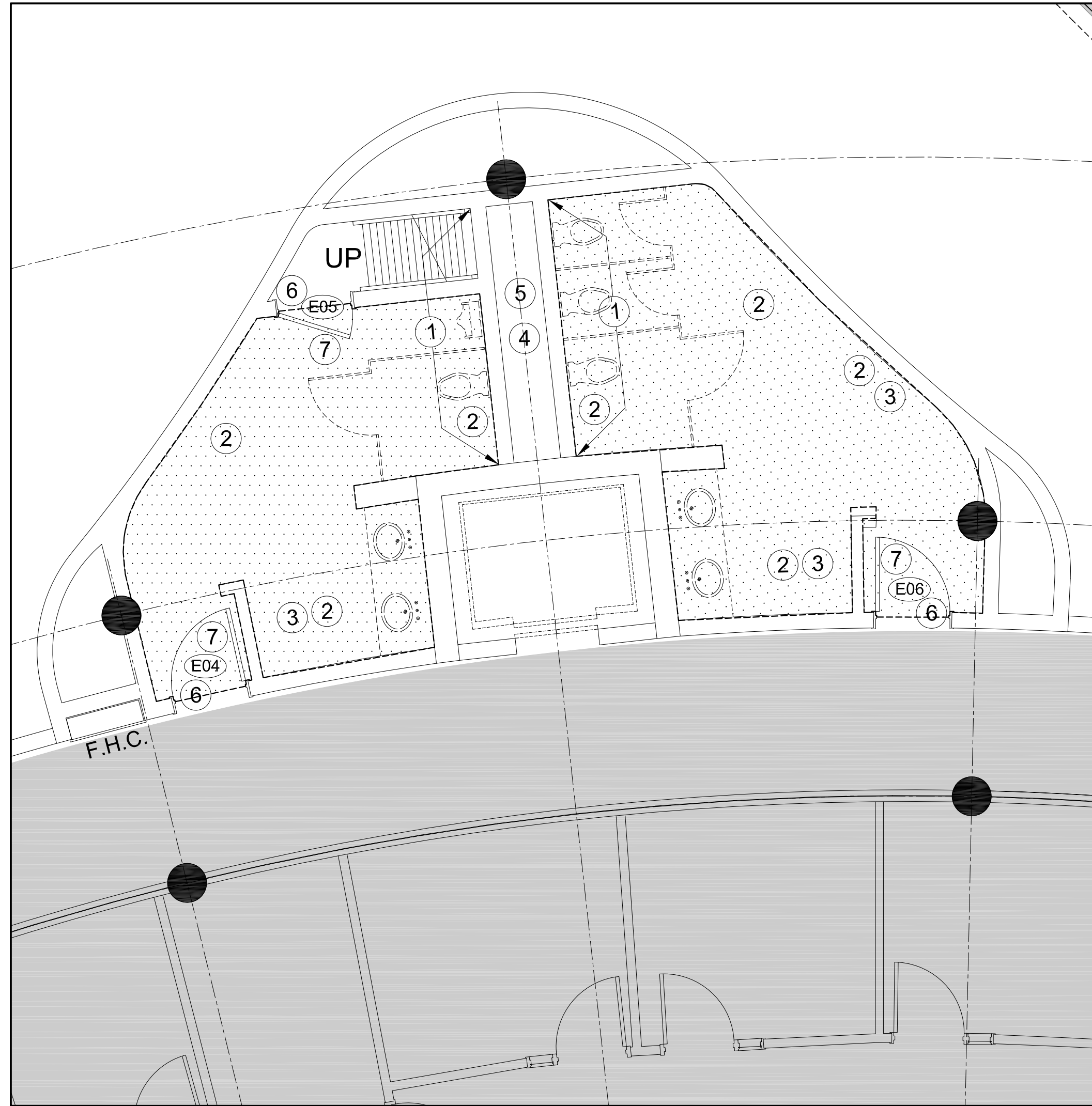
DETAILS

SHEET NUMBER:

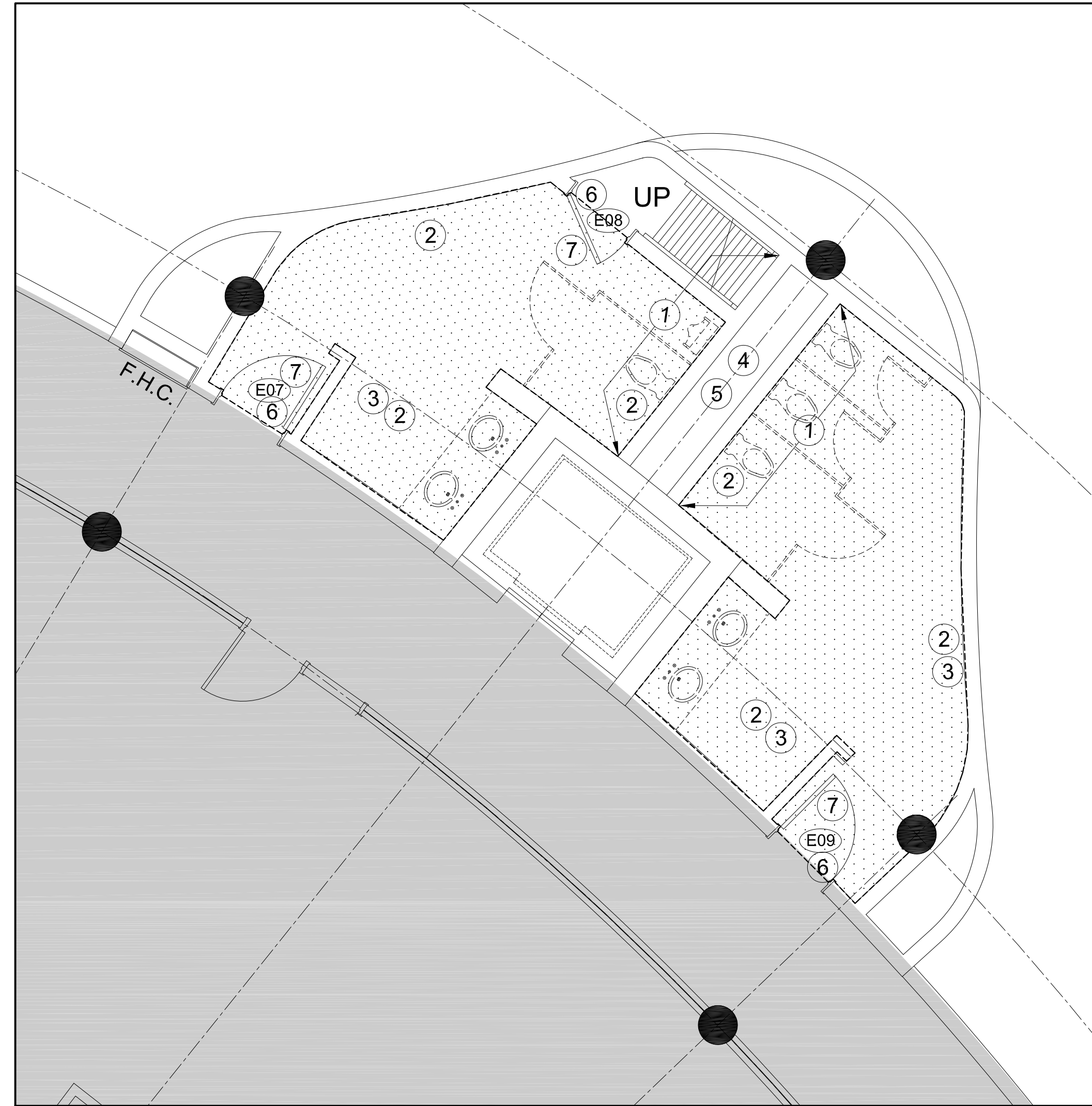
A602



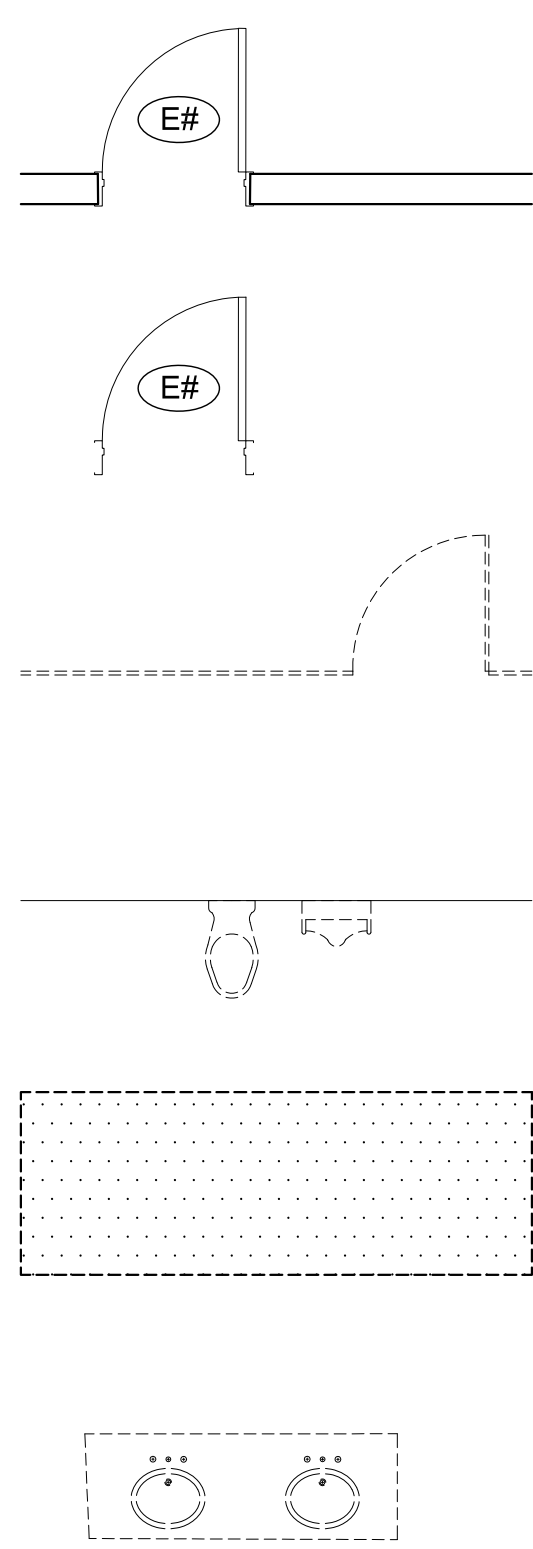
1
A700 DEMOLITION PLAN:
SCALE - 1:50



2
A700 DEMOLITION PLAN:
SCALE - 1:50



3
A700 DEMOLITION PLAN:
SCALE - 1:50



LEGEND:

EXISTING GYPSUM AND CONCRETE WALLS, DOORS, DOOR FRAMES TO REMAIN. REFER TO BELOW FOR FURTHER DIRECTION REGARDING EXISTING DOORS

EXISTING WOOD DOORS (E01, E02, E03, E04, E05, E06) TO BE REMOVED, REFINISHED AND REINSTALLED.

REMOVE EXISTING WASHROOM PARTITIONS AND ATTACHMENTS. PATCH/REPAIR WALLS/FLOORS/CEILINGS WHERE DAMAGE HAS OCCURRED AS A RESULT OF DEMO/REMOVAL. DIVERT FROM LANDFILL AND RECYCLE

REMOVE EXISTING PLUMBING FIXTURES AND ACCESSORIES INCLUDING TOILETS, URINALS, GRAB BARS, DISPENSER/DISPOSAL UNITS. CONSULT WITH YORK REGION PM FOR STORAGE OF DISPENSER/DISPOSAL UNITS

REMOVE EXISTING PORCELAIN TILE AND GROUT FROM ALL FLOOR AND ALL WALL SURFACES ENSURING ALL SURFACES ARE CLEAN AND READY TO RECEIVE NEW FINISHES

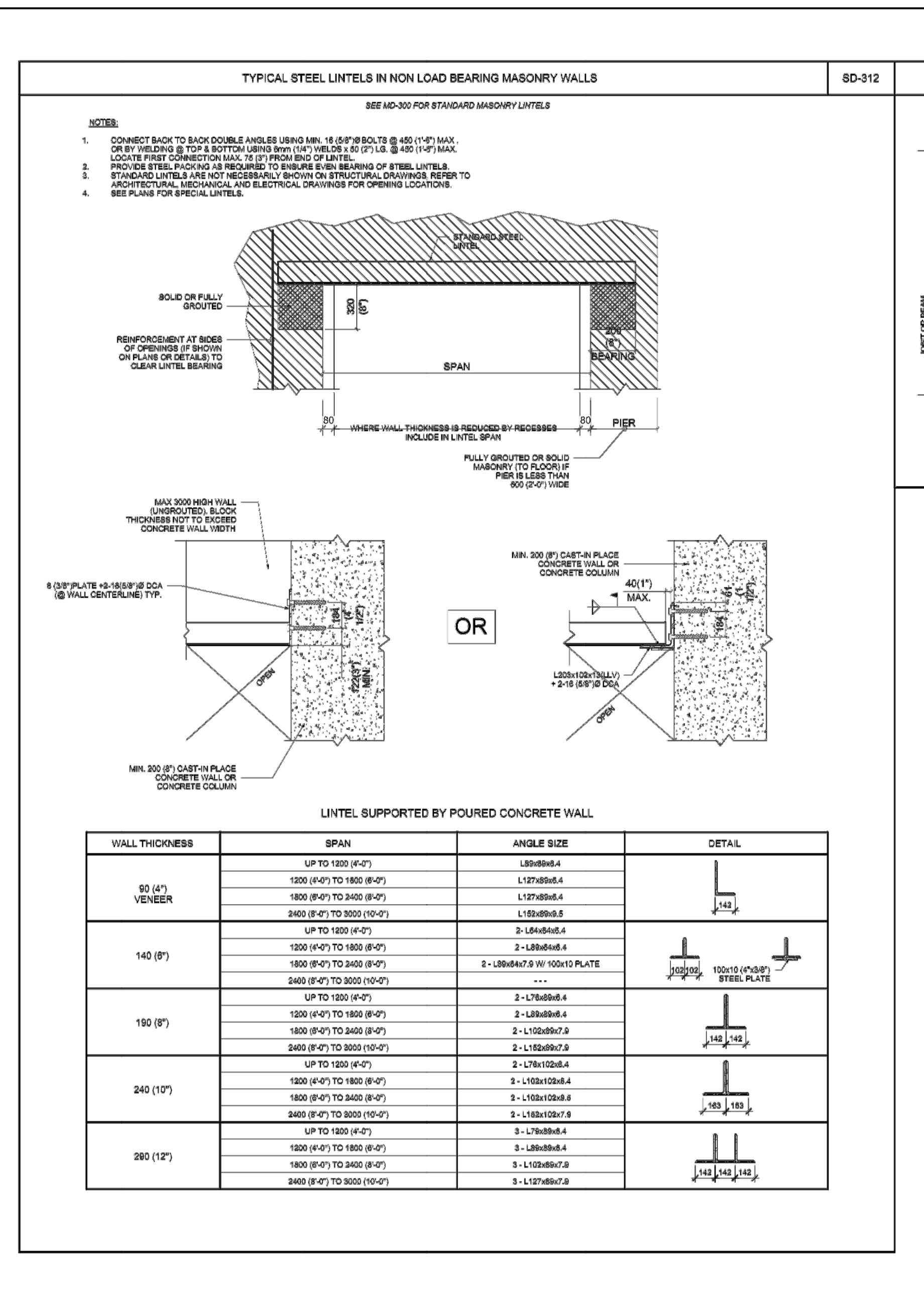
REMOVE EXISTING MILLWORK AND SINK. REMOVE ALL STRUCTURAL SUPPORT FOR MILLWORK COUNTER. REFER TO MECH ENG DWGS FOR PLUMBING RELATED DEMO WORK

DEMOLITION NOTES

- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
- CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #3 ONLY. CONTRACTOR TO PROTECT INTERIOR WALLS OF ELEVATOR #3 WITH HEAVY-WEIGHT ELEVATOR GRADE DROP-CLOTHES
- TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
- ALL EXISTING CONCRETE WALLS TO REMAIN
- REMOVE EXISTING GRAB BARS LOCATED IN ALL BARRIER-FREE STALLS
- YORK REGION BUILDING OPERATION'S SOLID WASTE MANAGEMENT POLICY REQUIRES THAT THE CONTRACTOR TRACK WASTE DIVERSION ON AN EXCEL FORM TO BE PROVIDED BY THE PROJECT MANAGER THEREFORE CONTRACTOR MUST DOCUMENT AND PRESENT TO THE OWNER THE DESTINATION AND VOLUME OF ALL WASTE FOR LEED ADMINISTRATIVE PURPOSES.
- REMOVE ALL EXIST DISPOSAL/DISPENSER UNITS FROM WALLS. PATCH/REPAIR WALLS WHERE DAMAGE HAS OCCURRED AS A RESULT OF REMOVAL/DEMOLITION. RETURN ALL DISPOSAL/DISPENSER UNITS TO THE YORK REGION PM
- PATCH/REPAIR/SAND/MAKE GOOD ALL EXISTING GYPSUM & CONCRETE WALLS POST DEMOLITION AND PRIOR TO THE START OF NEW WORK.
- REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL & ELECTRICAL SCOPE OF WORK AS IT RELATED TO DEMOLITION

KEYNOTE

- REMOVE PORTION OF EXISTING WALL AS SHOWN TO +/- 1200MM AFF FOR ACCESS TO AND REMOVAL OF EXISTING STRUCTURAL SUPPORT OF WALL MOUNTED PLUMBING FIXTURES. PATCH/REPAIR FLOOR AS REQUIRED. SUPPLY/INSTALL NEW FIXTURE CARRIERS AS SPECIFIED IN MECHANICAL ENGINEER'S DWGS. REINSTATE NEW WALL AS PER ARCHITECTURAL A200 DWG. ALLOW FOR STEEL LINTEL SUPPORT TO SPAN WIDTH OF OPENING. REFER TO 4/A700 FOR LINTEL SUPPORT
- INFILL HOLES, REPAIR & PATCH BLOCK WALLS WHERE REMOVAL OF EXISTING WALL TILE OCCURS. ALLOW FOR UPTO 500 SQ.FT. OF PATCH/REPAIR IN EACH WASHROOM.
- INFILL HOLES, REPAIR & PATCH BLOCK WALLS WHERE REMOVAL OF EXISTING WASHROOM ACCESSORIES OCCURS INCLUDING REMOVAL OF BABY CHANGE TABLES AND NAPKIN DISPENSERS
- CLEAN OUT ALL DEBRIS WITHIN THE WALL CHASE THAT SEPARATES THE MALE AND FEMALE WASHROOM
- GC TO CARRY FIRE STOPPING FOR 50 ADDITIONAL OPENINGS AT THE LOCATION OF THE WALL SHAFT FOR ALL THREE SETS OF WASHROOMS
- REMOVE EXISTING STAINLESS STEEL FLOOR TRANSITION
- REMOVE ALL EXISTING DOORS IN/AT WASHROOMS. SAND, REFINISH TO MATCH BUILDING STANDARD, REINSTALL

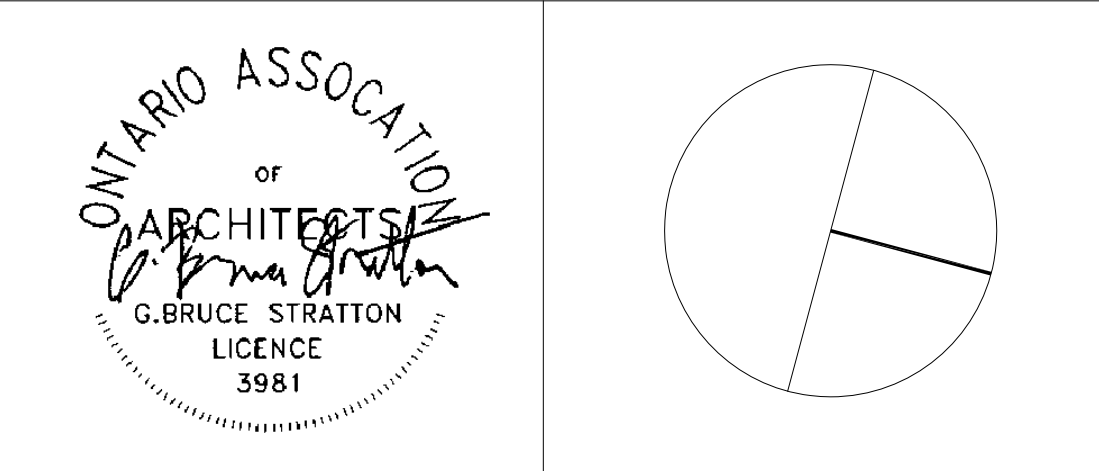


4
A700 LINTEL SCHEDULE

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

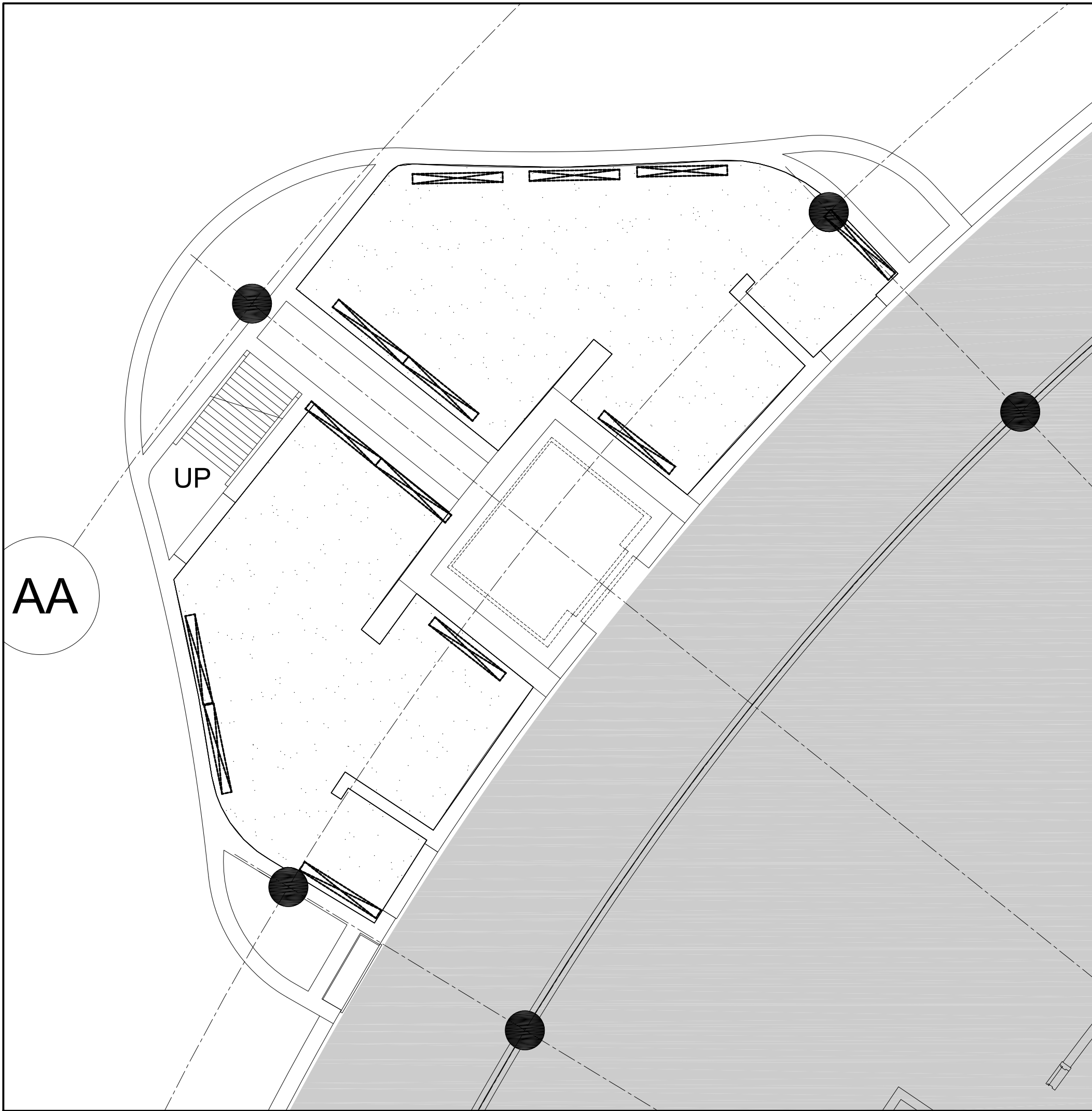
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

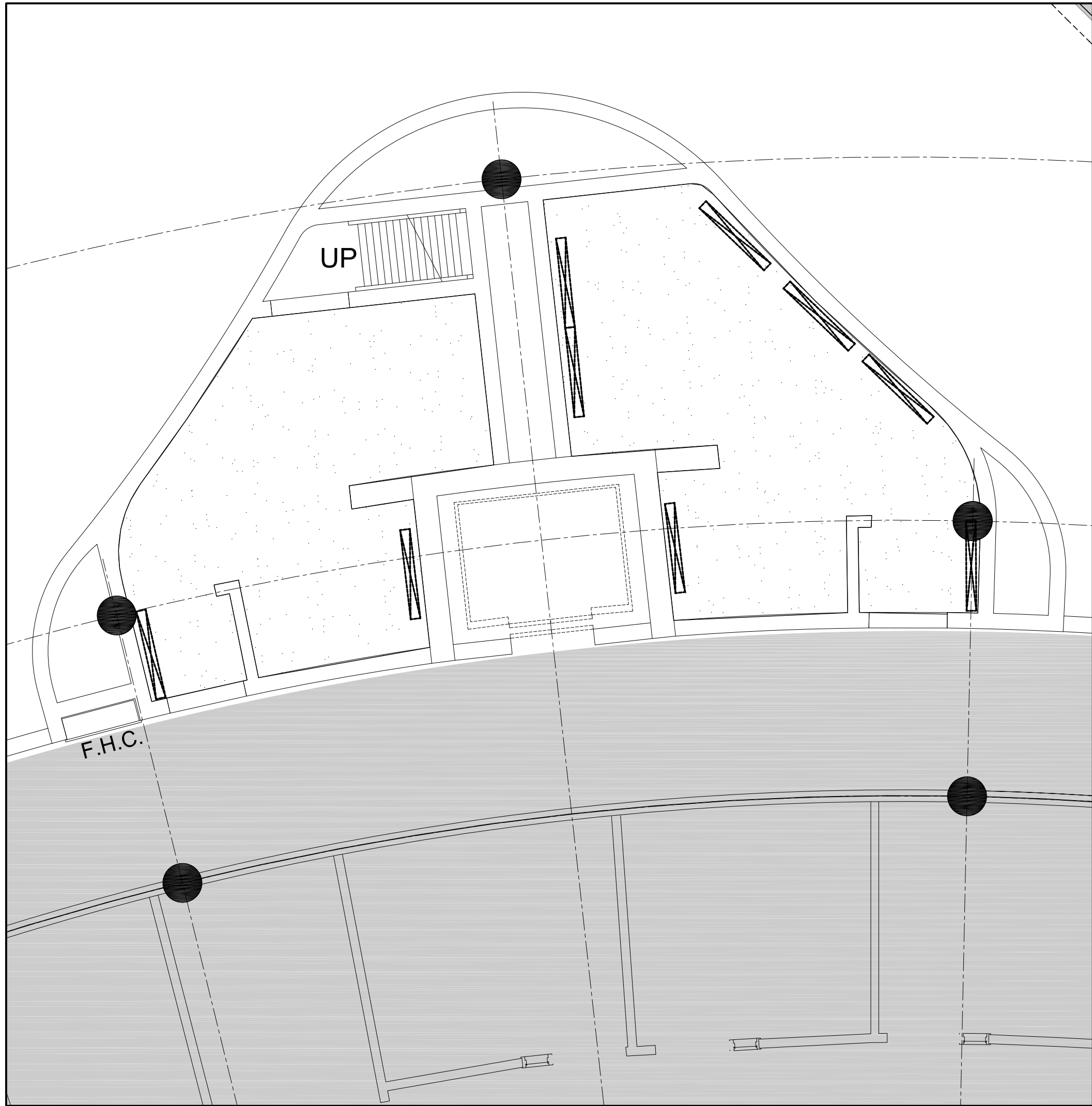
DEMOLITION PLAN

SHEET NUMBER:

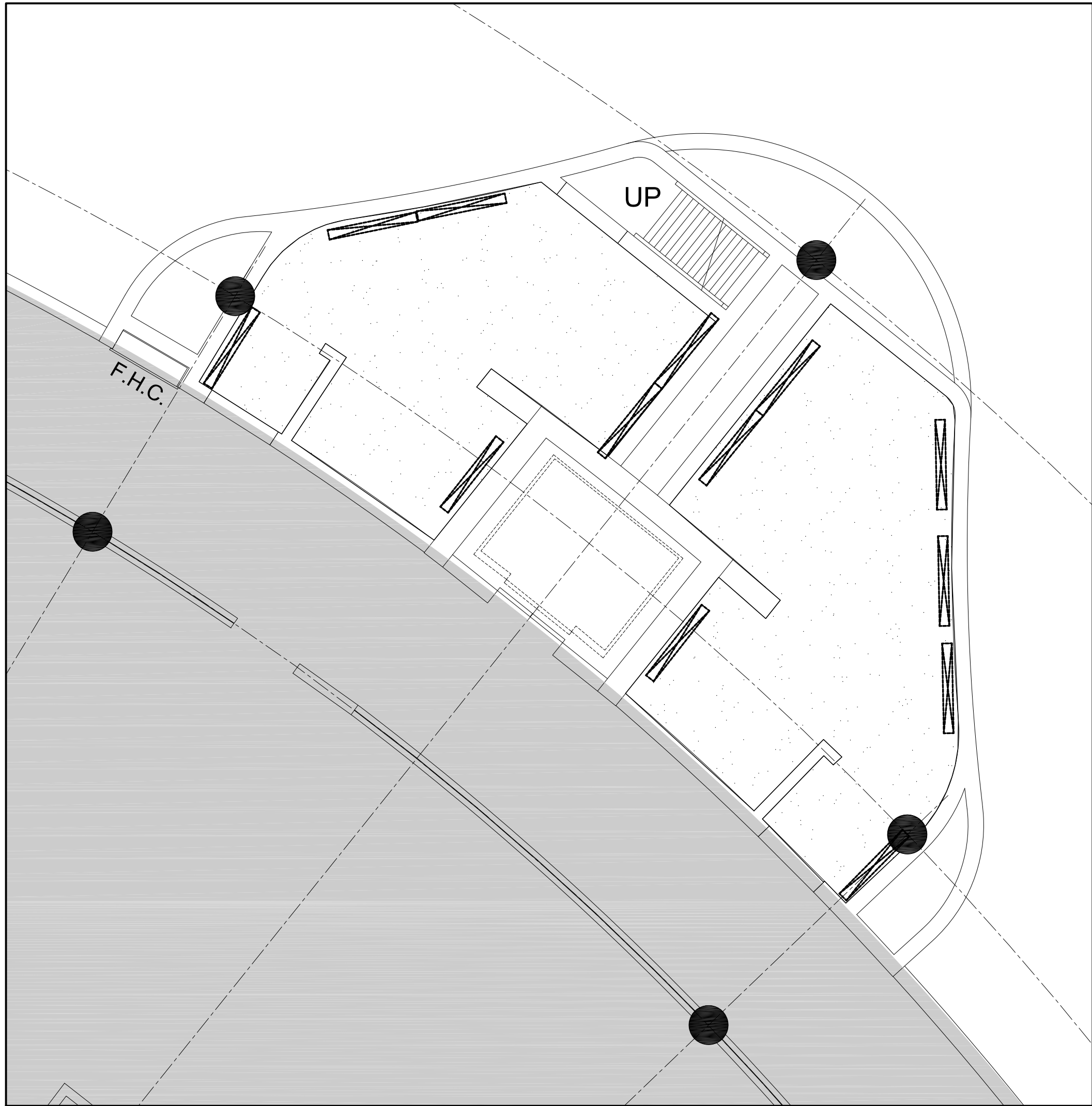
A700



1
A701 CEILING DEMOLITION PLAN:
SCALE - 1:50



2
A701 CEILING DEMOLITION PLAN:
SCALE - 1:50



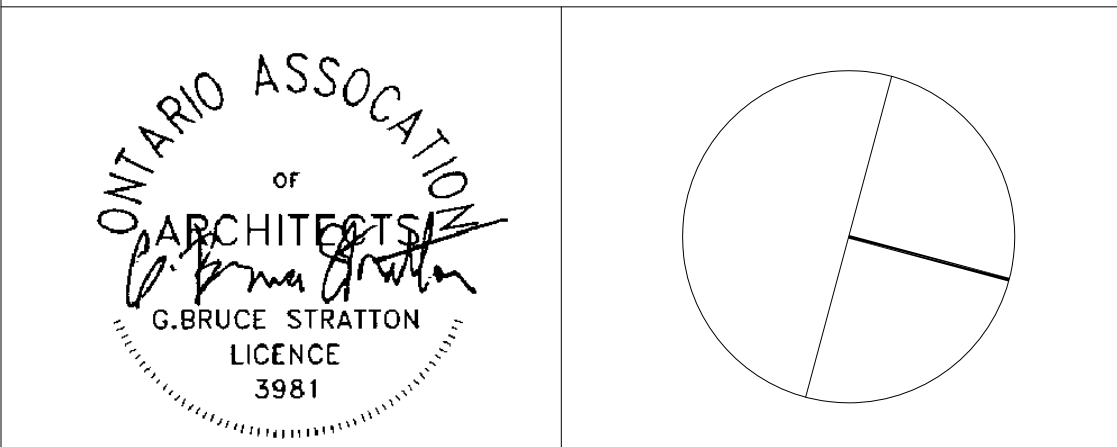
3
A701 CEILING DEMOLITION PLAN:
SCALE - 1:50

LEGEND:	
	EXISTING GYPSUM AND CONCRETE WALLS, DOORS AND FRAMES TO REMAIN
	EXISTING GYPSUM CEILING TO REMAIN. PATCH, SAND, PAINT.
	REMOVE EXISTING LINEAR COVE LIGHTING. PATCH/REPAIR CEILING WHERE POT LIGHTS ARE BEING REMOVED. SAND/FINISH/PAINT CEILING TO MATCH.

- CEILING DEMOLITION NOTES
- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
 - CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #1 ONLY. CONTRACTOR TO PROTECT INTERIOR WALLS OF ELEVATOR #1 WITH HEAVY-WEIGHT ELEVATOR GRADE DROP-CLOTHES
 - TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
 - ALL EXISTING CONCRETE WALLS TO REMAIN
 - REMOVE EXISTING GRAB BARS LOCATED IN ALL BARRIER-FREE STALLS
 - CONTRACTOR MUST DOCUMENT AND PRESENT TO THE OWNER THE DESTINATION AND VOLUME OF ALL WASTE FOR LEED ADMINISTRATIVE PURPOSES.
 - YORK REGION BUILDING OPERATION'S SOLID WASTE MANAGEMENT POLICY REQUIRES THAT THE CONTRACTOR TRACK WASTE DIVERSION ON AN EXCEL FORM TO BE PROVIDED BY THE PROJECT MANAGER
 - REMOVE ALL EXIST DISPOSAL/DISPENSER UNITS FROM WALL. PATCH/REPAIR WALLS WHERE DAMAGE HAS OCCURRED AS A RESULT OF REMOVAL/DEMOLITION. RETURN ALL DISPOSAL/DISPENSER UNITS TO THE YORK REGION PM
 - PATCH/REPAIR/SAND/MAKE GOOD ALL EXISTING GYPSUM & CONCRETE WALLS POST DEMOLITION AND PRIOR TO THE START OF NEW WORK.
 - REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL & ELECTRICAL SCOPE OF WORK AS IT RELATED TO DEMOLITION
 - PATCH/REPAIR CEILING WHERE POT LIGHTS ARE BEING REMOVED. SAND/FINISH/PAINT CEILING TO MATCH.

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects
217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

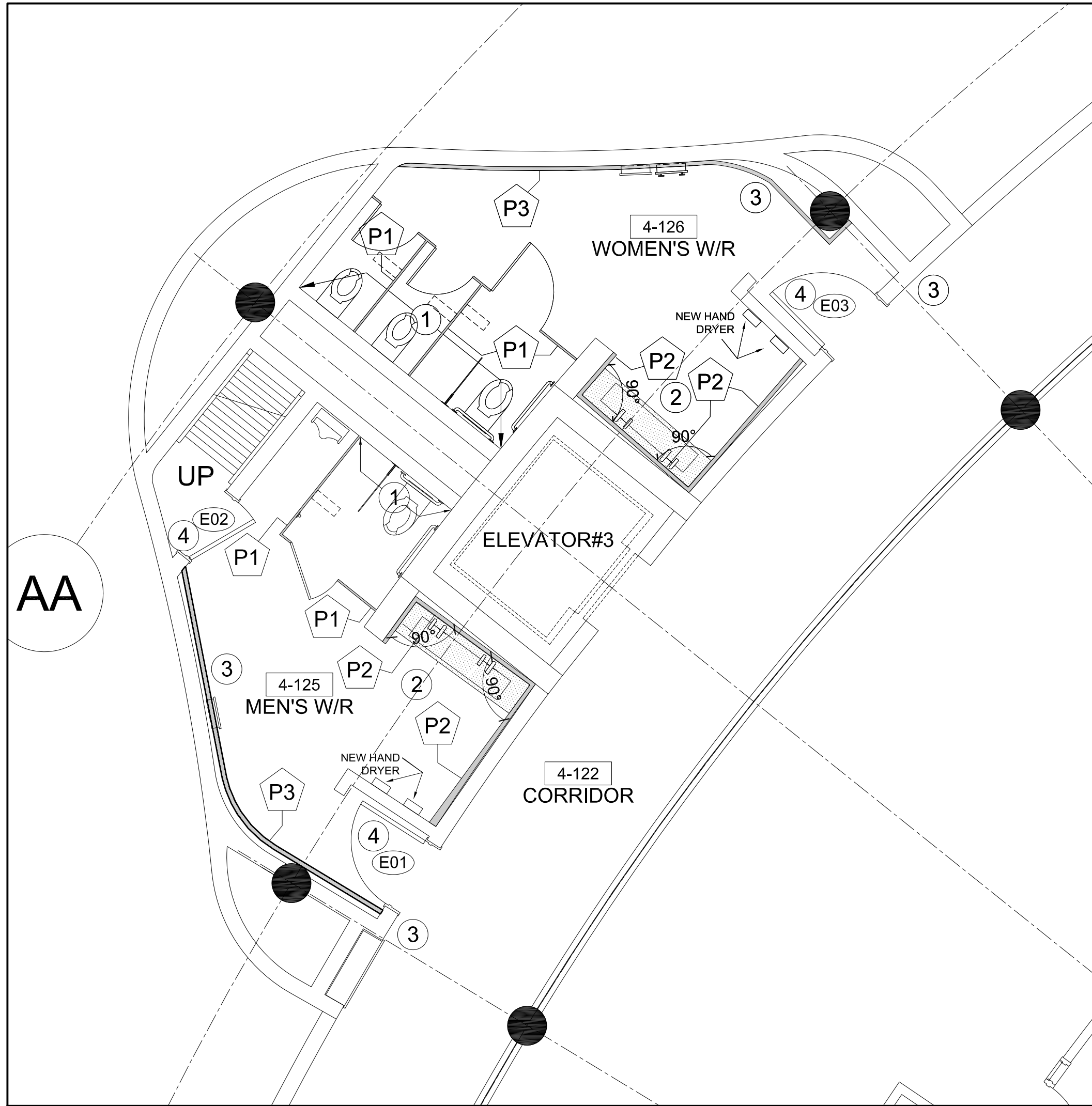
TENDER # RFTC-652-22

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

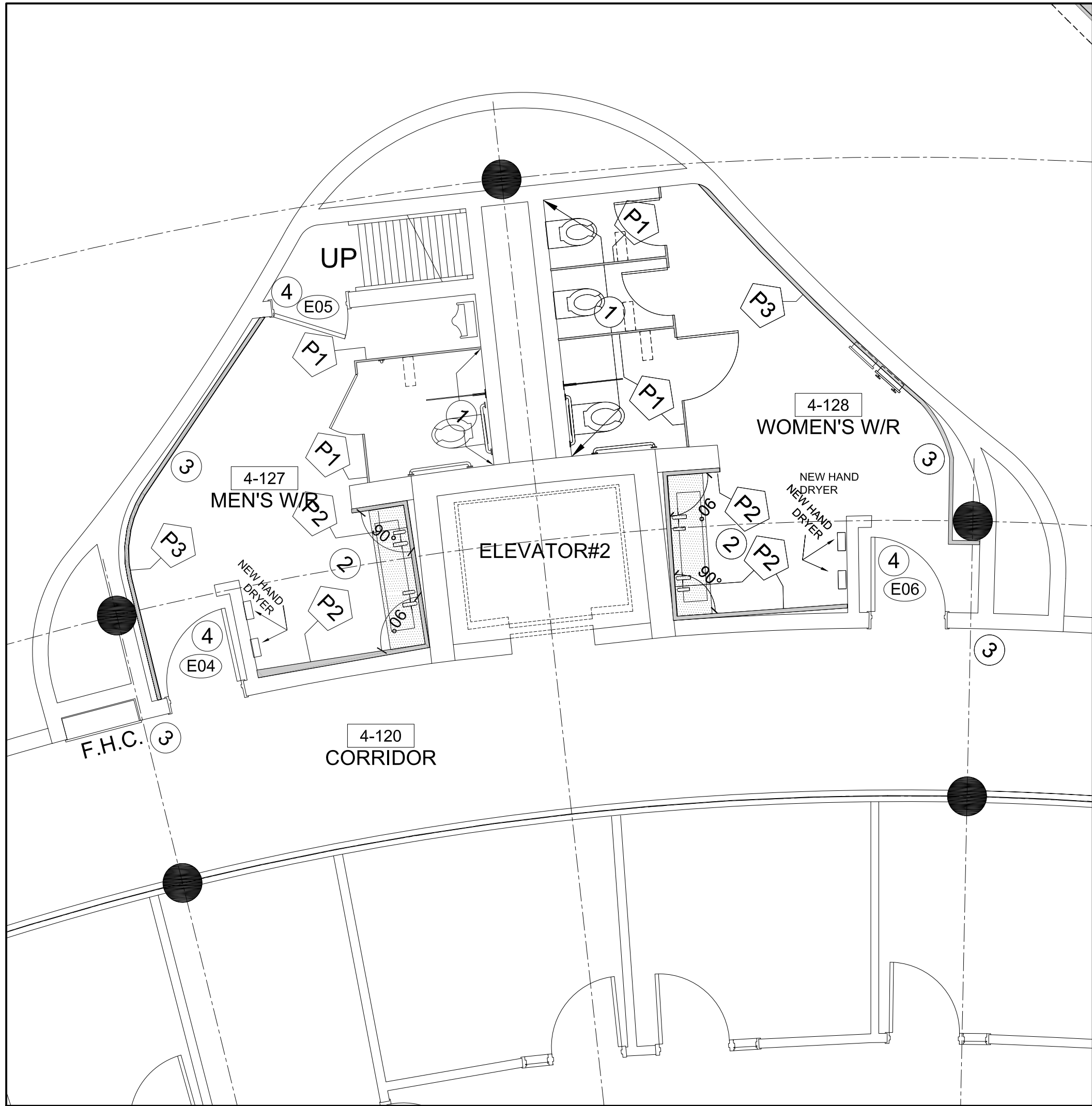
SCALE:	AS SHOWN
DRAWN BY:	SK
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

CEILING
DEMOLITION
PLAN

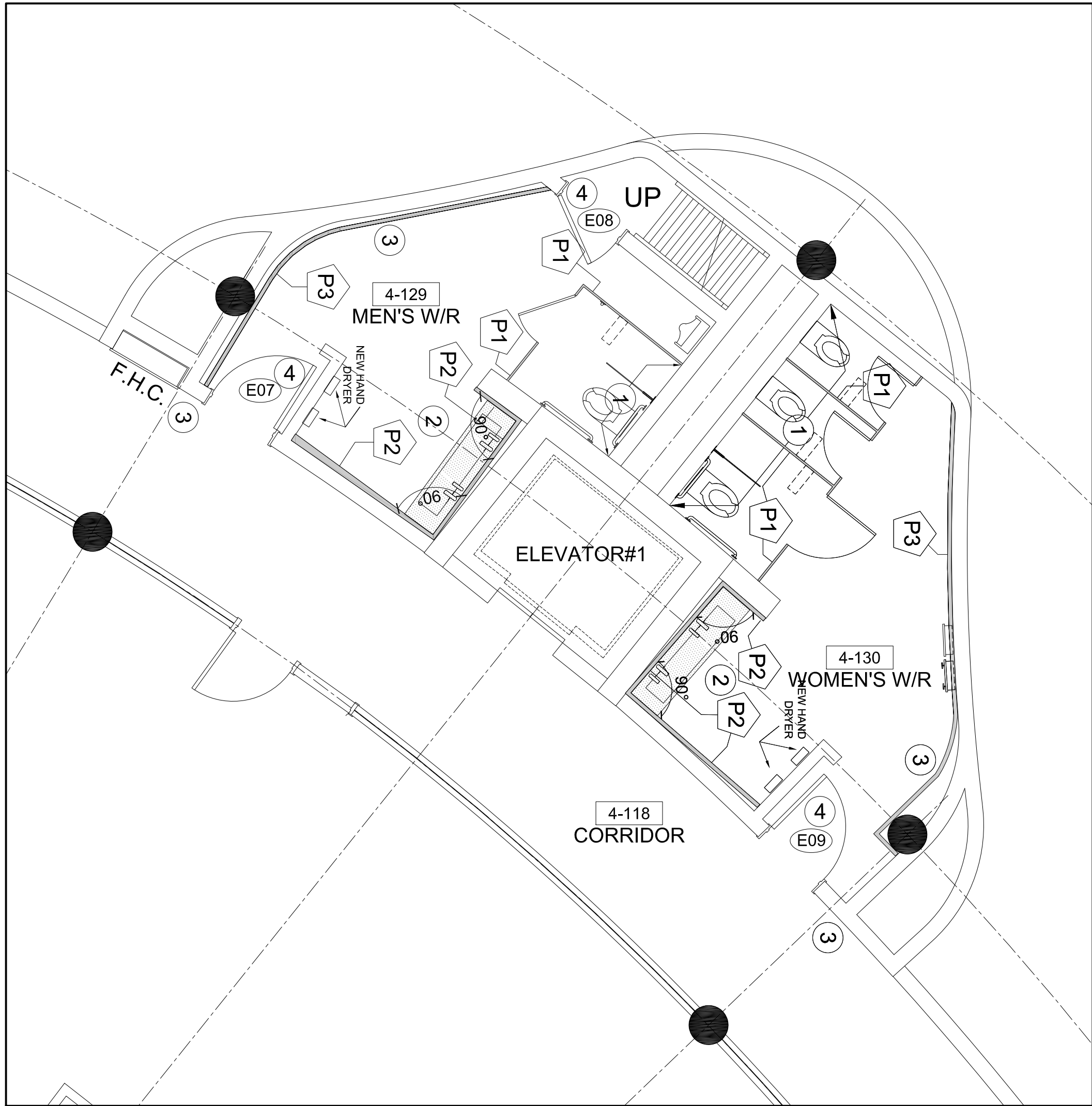
SHEET NUMBER:
A701



1
A702 PARTITION PLAN:
SCALE - 1:50



2
A702 PARTITION PLAN:
SCALE - 1:50



3
A702 PARTITION PLAN:
SCALE - 1:50

000000

RM NAME

EXISTING GYPSUM AND CONCRETE WALLS, DOOR FRAMES TO REMAIN.

EXISTING DOORS E1, E2, E3, E4, E5, E6, E7 & E8 TO BE REMOVED & REFINISHED OFF SITE. SAND AND RESTAIN TO MATCH EXISTING (TWO OR MORE COATS OF STAIN AS REQUIRED TO ACHIEVE MATCH). REMOVE/DISGARD STAINLESS STEEL KICK PRIOR TO REFINISH. SUPPLY/INSTALL NEW STAINLESS STEEL KICK BOTH SIDES OF DOOR TO MATCH PREVIOUS. INSTALL TO DOOR POST REFURBISH

P1

NEW HADRIAN ELITE FLOOR MOUNT TOILET PARTITION

1626MM HIGH DOORS AND PANELS MOUNTED 150MM FROM FINISHED FLOOR. ANTI-GRAFITI ELITE POWDER COAT FINISH-WHITE#541 W/ 'NO-SIGHTLINE SOLUTION'. COMPLETE HARDWARE PACKAGE STAINLESS STEEL WITH ALL BARRIER-FREE FEATURES AND SAFETY RELEASE HATCHES. INSTALLATION OF HADIAN PARTITIONS MUST RESPECT AODA FLOOR CLEARANCES. CHALK-LINE FLOOR AND PROVIDE DETAILED HADRIAN SHOPS PRIOR TO SUPPLY/INSTALL. GC TO ALLOW FOR WOOD BLOCKING IN WALL CAVITY FOR RIGID INSTALLATION. PATCH/REPAIR/MAKEGOOD/PAINT WALLS AS REQUIRED.

P2

P-2 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING. GYP WALL C/W 16MM DENS GLASS ON SINGLE SIDE OF 40MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY.

P3

P-3 PARTITION TYPE DENOTES NEW FURRED CURVED GYPSUM WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING C/W 12MM GYP ON ONE SIDE OF 64MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY. BURY THE CABLE FOR THE AUTOMATIC PUSH BUTTON. REFER TO DETAIL #/A60

NEW CUSTOM VANITY

DENOTES NEW CUSTOM VANITY BY ARDEC GROUP .REFER TO MECHANICAL ENGINEER'S DWGS FOR SPEC. GC TO PROVIDE SHOP DRAWINGS FROM ARDEC GROUP FOR ARCH REVIEW PRIOR TO SUPPLY/INSTALL. SITE VERIFY ALL DIMENSIONS. CONTACT LANCE SMITH 905-648-3809 FOR TENDER & SHOPS

NEW PLUMBING FIXTURES

DENOTES NEW PLUMBING FIXTURES. REFER TO MECHANICAL ENGINEER'S DRAWING FOR NEW PLUMBING SPECS AND DIRECTION

PARTITION NOTES

1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM

2. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #1 ONLY. CONTRACTOR TO PROTECT INTERIOR WALLS OF ELEVATOR #1 WITH HEAVY-WEIGHT ELEVATOR GRADE DROP-CLOTHES

3. CONTRACTOR MUST PROTECT THE ELEVATOR CAB WHEN IN USE OR RISK REPAIR COST FOR DAMAGE

4. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS

5. CONTRACTOR MUST DOCUMENT AND PRESENT TO THE OWNER THE DESTINATION AND VOLUME OF ALL WASTE FOR LEED ADMINISTRATIVE PURPOSES.

6. YORK REGION BUILDING OPERATION'S SOLID WASTE MANAGEMENT POLICY REQUIRES THAT THE CONTRACTOR TRACK WASTE DIVERSION ON AN EXCEL FORM TO BE PROVIDED BY THE PROJECT MANAGER THEREFORE CONTRACTOR MUST DOCUMENT AND PRESENT TO THE OWNER THE DESTINATION AND VOLUME OF ALL WASTE FOR LEED ADMINISTRATIVE PURPOSES.

7. ALL EXISTING CONCRETE WALLS TO REMAIN

8. PATCH/REPAIR/SAND/MAKE GOOD ALL EXISTING GYPSUM & CONCRETE WALLS POST DEMOLITION AND PRIOR TO THE START OF NEW WORK.

9. REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL & ELECTRICAL SCOPE OF WORK AS IT RELATED TO NEW WORK

10. GC TO ALLOW FOR STEEL BLOCKING IN PLENUM SPACE FOR STRUCTURAL SUPPORT OF CEILING MOUNTED WASHROOM PARTITIONS. PATCH/REPAIR/MAKEGOOD/PAINT FLAT FINISH CEILING AS REQUIRED

11. TILESETTER TO BE PRESENT AT CONSTRUCTION START-UP MEETING TO DISCUSS DESIGN INTENT AND EXPECTATION WITH RESPECT TO TILE CUTTING, SUPPLY AND INSTALL. ELEVATIONS SHOWN ON A600 SERIES DWGS ARE REPRESENTATIVE OF DESIGN INTENT

KEYNOTE

1. PATCH/REPAIR OPENING AFTER INSTALL OF NEW FIXTURE CARRIERS. REINSTATE NEW WALL/ALLOW FOR STEEL LINTEL SUPPORT TO SPAN WIDTH OF OPENING. REFER TO 4/A702 FOR LINTEL SCHEDULE. ALLOW FOR 12MM GYPSUM TO BE SECURED TO STEEL STUDS. PATCH/MAKE GOOD TO RECEIVE NEW WALL TILE

2. FUR WALLS ON ALL THREE SIDES OF VANITY TO 'SQUARE-OFF' OPENING FOR EASE OF VANITY MEASURE/INSTALL

3. PATCH REPAIR ALL SURFACES (WALLS/CEILINGS) WHERE TOUCHLESS DOOR OPERATORS ARE BEING INSTALLED. BOTH INSIDE AND OUTSIDE THE WASHROOM ENTRANCE FOR ALL 4TH FLOOR WASHROOMS

4. REMOVE ALL EXISTING DOORS IN/AT WASHROOMS. SAND, REFINISH TO MATCH BUILDING STANDARD, REINSTALL

ITEM	DESCRIPTION	QUANTITY	UNIT
1	STEEL LINTEL	1.00	M
2	STEEL STUD	1.00	M
3	STEEL STUD	1.00	M
4	STEEL STUD	1.00	M
5	STEEL STUD	1.00	M
6	STEEL STUD	1.00	M
7	STEEL STUD	1.00	M
8	STEEL STUD	1.00	M
9	STEEL STUD	1.00	M
10	STEEL STUD	1.00	M
11	STEEL STUD	1.00	M
12	STEEL STUD	1.00	M
13	STEEL STUD	1.00	M
14	STEEL STUD	1.00	M
15	STEEL STUD	1.00	M
16	STEEL STUD	1.00	M
17	STEEL STUD	1.00	M
18	STEEL STUD	1.00	M
19	STEEL STUD	1.00	M
20	STEEL STUD	1.00	M

4
A702 PARTITION PLAN:
STEEL LINTEL

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects
217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146

York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES
FLOOR: 4TH
BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

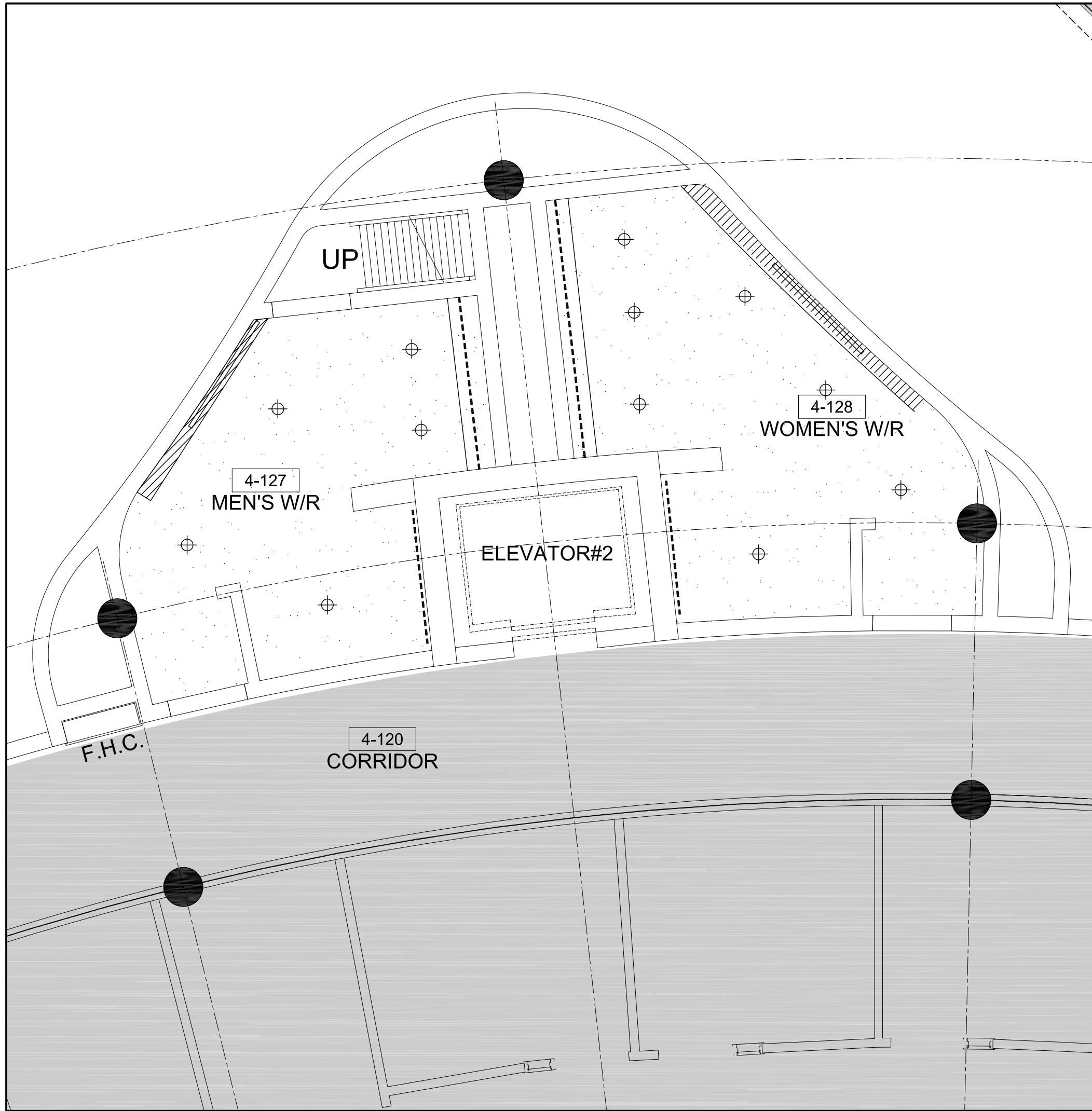
SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

PARTITION PLAN

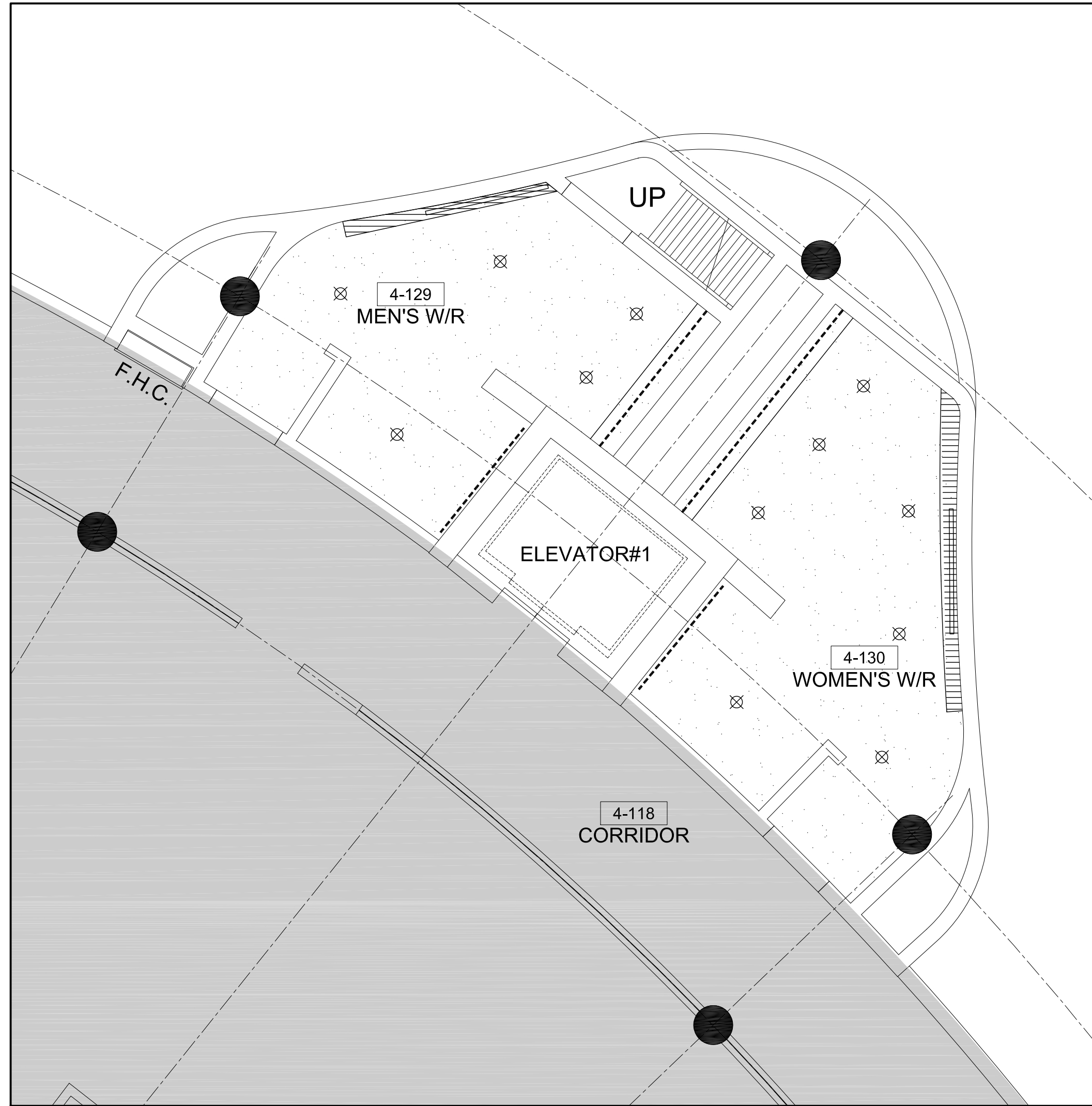
SHEET NUMBER:
A702



1
A703 REFLECTED CEILING PLAN: 4-125 & 4-126
SCALE - 1:50



2
A703 REFLECTED CEILING PLAN: 4-127 & 4-128
SCALE - 1:50



3
A703 REFLECTED CEILING PLAN: 4-129 & 4-130
SCALE - 1:50

LEGEND:

EXISTING GYPSUM AND CONCRETE WALLS, DOOR FRAMES TO REMAIN

EXISTING GYPSUM CEILING TO REMAIN. PATCH, SAND, PAINT.

INFILL EXISTING COVE AREA AS SHOWN WITH 12MM GYPSUM SO THAT NEW GYPSUM CEILING MATCHES HEIGHT OF EXISTING GYPSUM CEILING FOR FLUSH/SEAMLESS FINISH. PATCH, SAND, PAINT FLAT FINISH

NEW LED COVE LIGHTING

NEW LINEAR SLOT DIFFUSER. 1830MM LENGTH\ REFER TO 4/A703 FOR DETAIL/SPEC

NEW LED POT LIGHT

REFLECTED CEILING PLAN NOTES

- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
- REFER TO MECHANICAL/ELECTRICAL DWGS FOR ENGINEERING WORK/DIRECTION/SPECIFICATION

CUSTOM FLOW LINEAR SLOT DIFFUSER BY PRICE INDUSTRIES OR EQUAL. PROVIDE SPEC SHEET FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL TYPE 41 - ANGULAR FRAME

Type 41 - Angular Frame Drywall (ceiling, wall)

Drywall cut at 45° to match diffuser flange

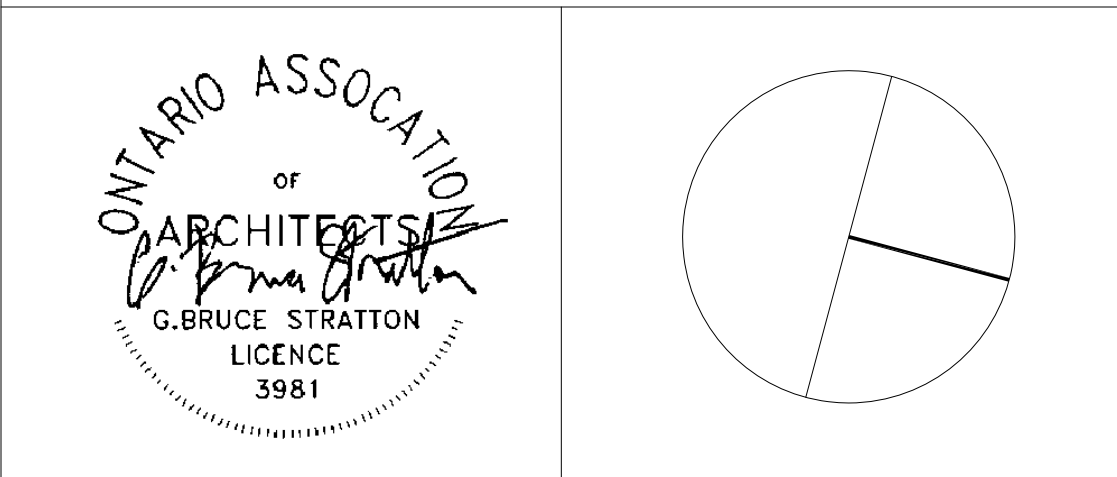
For continuous, 1 slot application.

4
A703 REFLECTED CEILING PLAN: 3-92 & 3-93
SCALE - 1:50

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region

PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	4TH
BASE DATE:	01-01-2022
PROJECT:	

TENDER # RFTC-652-22

YORK REGION

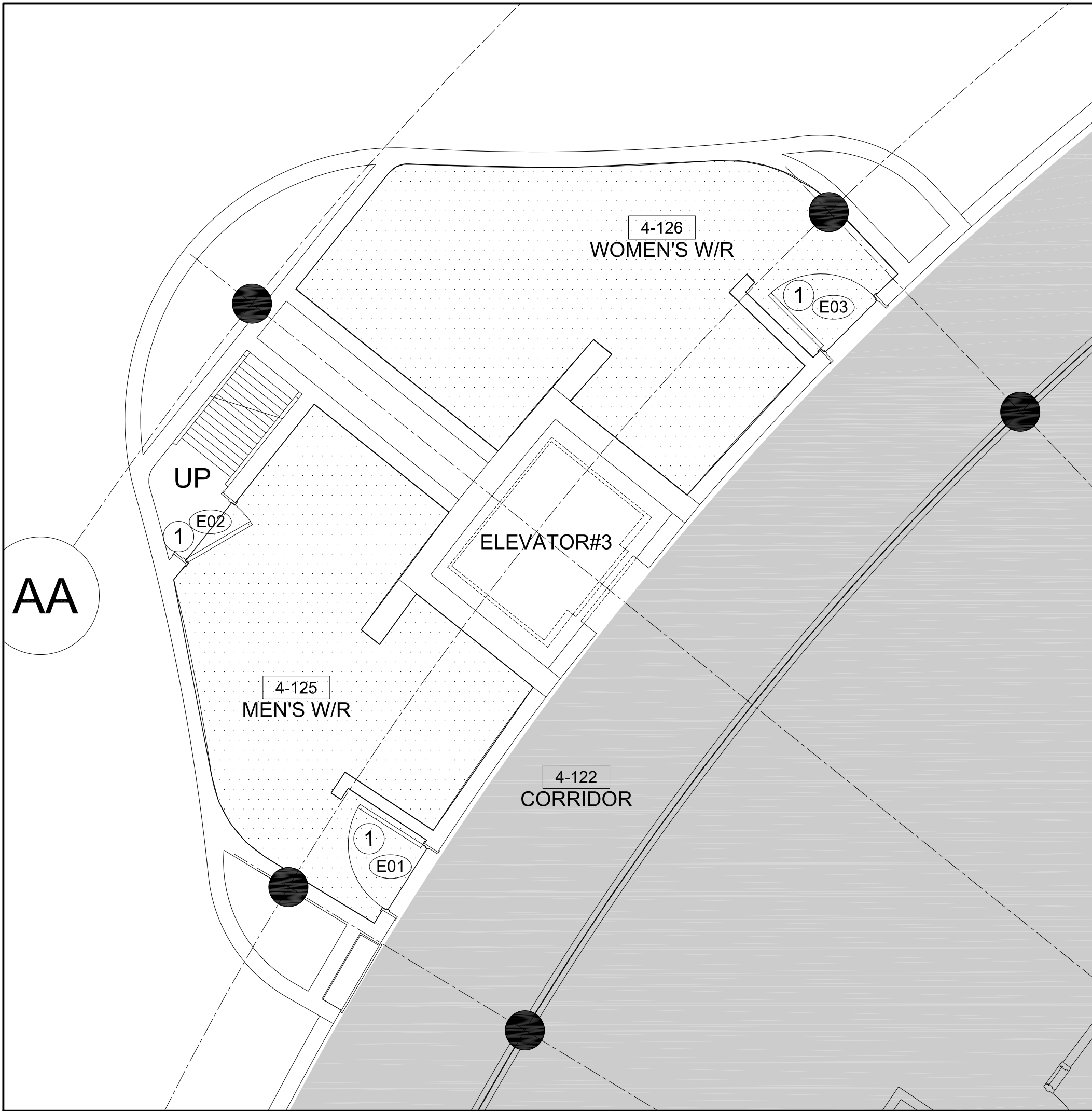
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	AS SHOWN
DRAWN BY:	SK
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

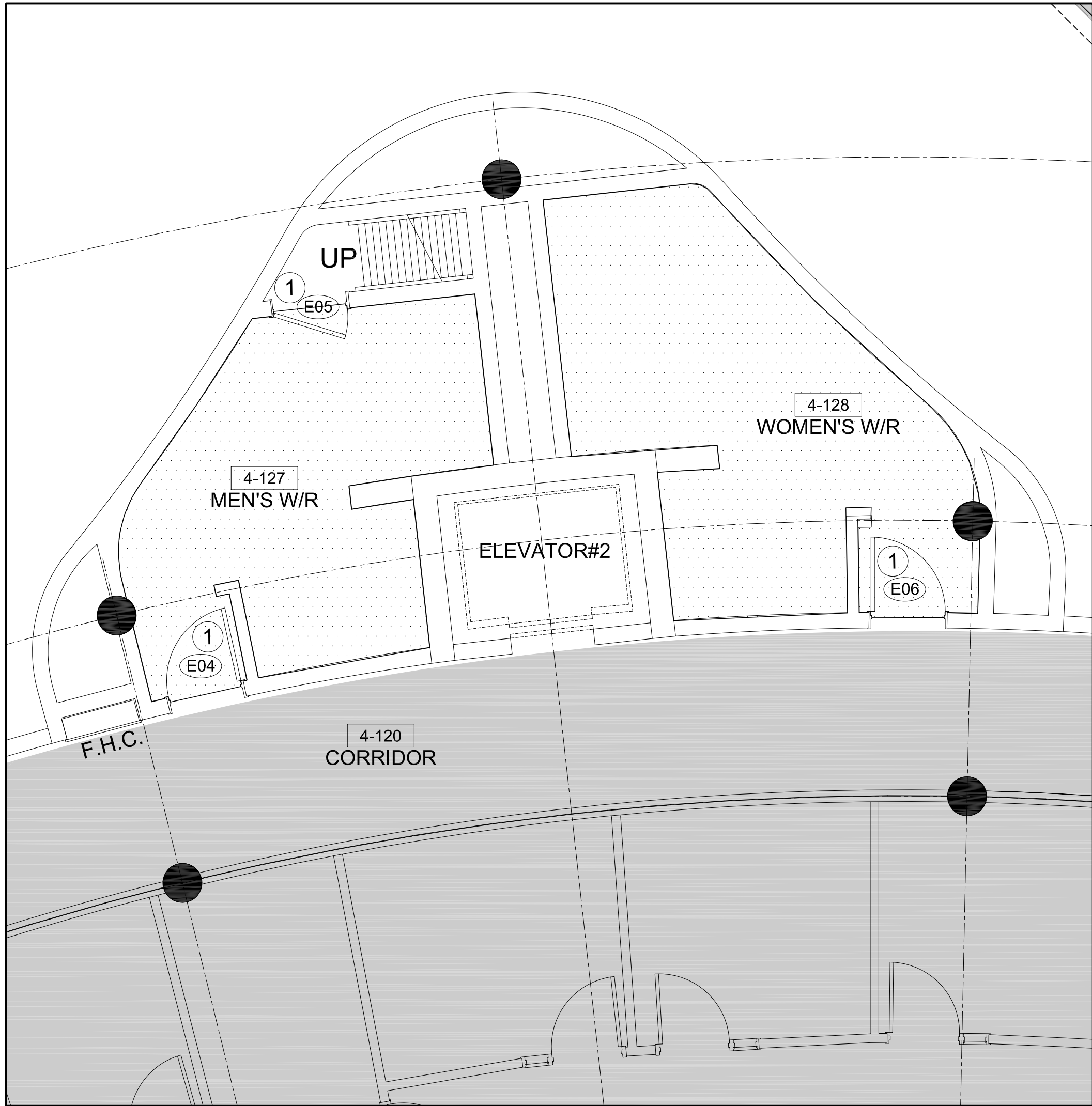
REFLECTED CEILING PLAN

SHEET NUMBER:

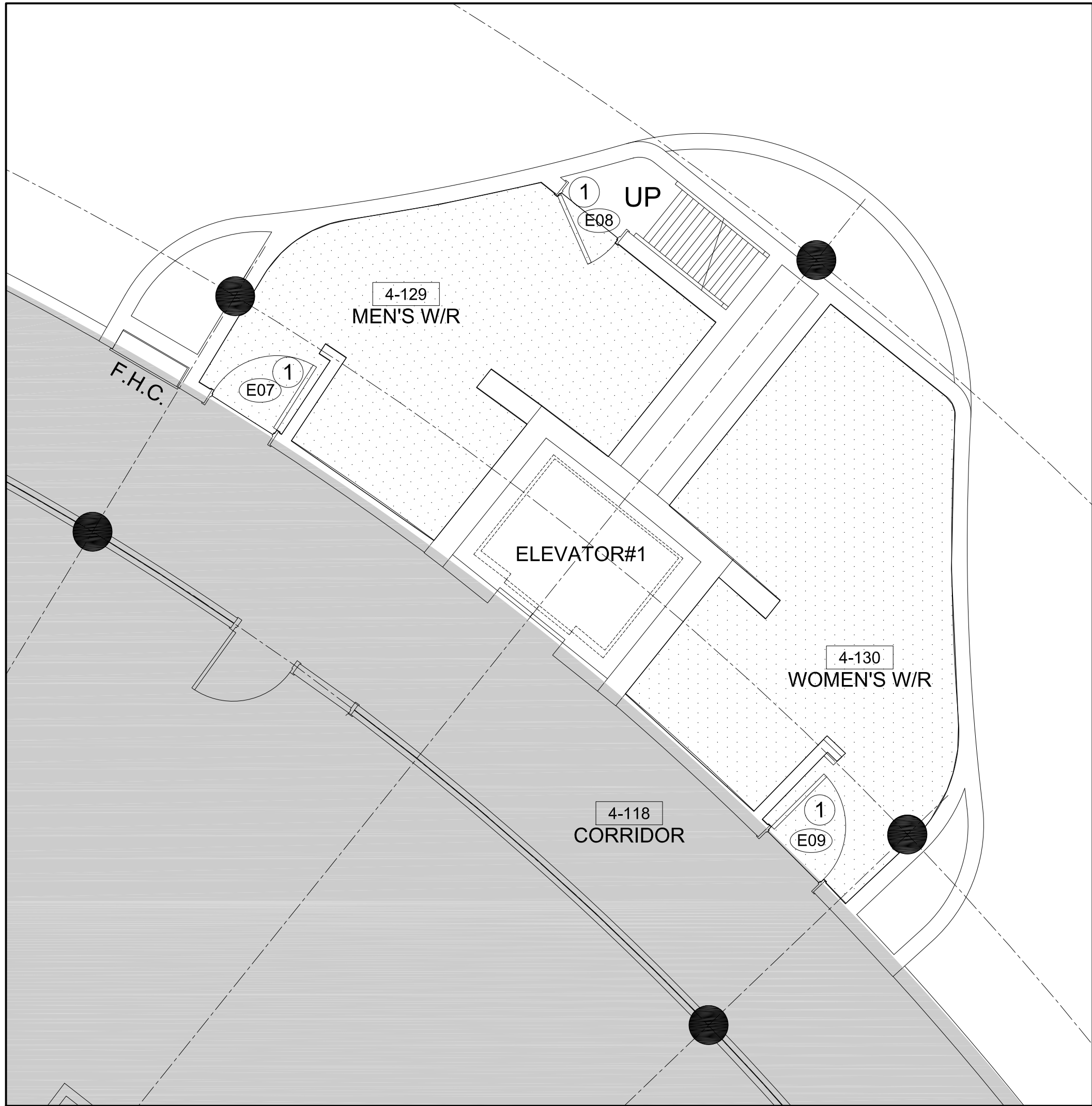
A703



1 FINISHES:
A704 SCALE - 1:50



2 FINISHES:
A704 SCALE - 1:50



3 FINISHES:
A704 SCALE - 1:50

00000

RM NAME

EF

PT4

LEGEND:

DENOTES ROOM NAME/NUMBER

EXISTING GYPSUM AND CONCRETE WALLS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

TL-2 NEW PORCELAIN TILE FLOOR
MANUFACTURER: OLYMPIA TILE
SERIES: MAXSTONE
COLOUR: MEDIUM GREY MATTE
SIZE: 60X120 CM
PROVIDE SAMPLE FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL
GROUT COLOUR: TO LATER SPEC BY ARCHITECT

PT4 - CEILING PAINT COLOUR
BENJAMIN MOORE
COLOUR: DISTANT GREY #OC-68
FINISH: MATTE
PROVIDE DRAWDOWN FOR ARCHITECT REVIEW PRIOR TO SUPPLY/APPLY

FINISHES NOTES

- TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
- CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #3 ONLY. CONTRACTOR TO PROTECT INTERIOR WALLS OF ELEVATOR #3 WITH HEAVY-WEIGHT ELEVATOR GRADE DROP-CLOTHES
- CONTRACTOR MUST PROTECT THE ELEVATOR CAB WHEN IN USE OR RISK REPAIR COST FOR DAMAGE
- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
- CONTRACTOR MUST DOCUMENT AND PRESENT TO THE OWNER THE DESTINATION AND VOLUME OF ALL WASTE FOR LEED ADMINISTRATIVE PURPOSES.
- YORK REGION BUILDING OPERATION'S SOLID WASTE MANAGEMENT POLICY REQUIRES THAT THE CONTRACTOR TRACK WASTE DIVERSION ON AN EXCEL FORM TO BE PROVIDED BY THE PROJECT MANAGER
- REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL & ELECTRICAL SCOPE OF WORK AS IT RELATED TO NEW WORK

KEYNOTE

1 PAINT DOOR FRAME. COLOUR TO MATCH EXIST. SEMI-GLOSS
PROVIDE DRAWDOWN FOR ARCHITECT REVIEW PRIOR TO SUPPLY/APPLY

CONTINUOUS STAINLESS STEEL EDGE BY SCHLUTER SYSTEMS - QUADREC (E) VERIFY CORRECT HEIGHT REQUIREMENT WITH HT. OF PORCELAIN TILE
PROVIDE SHOP DRAWING FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL

PORCELAIN TILE. VERIFY TILE THICKNESS

PORCELAIN TILE. VERIFY TILE THICKNESS

SUBSTRATE

NOTE: ALLOW FOR CONTINUOUS STAINLESS STEEL SCHLUTER EDGE AT ALL EXPOSED CORNERS. APPROXIMATELY 40 EXPOSED CORNERS IN TOTAL. CONTINUOUS/NO BREAKS

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146

YORK REGION

PROPERTY SERVICES

DEPARTMENT:

BUILDING & FACILITIES

FLOOR:

4TH

BASE DATE:

01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

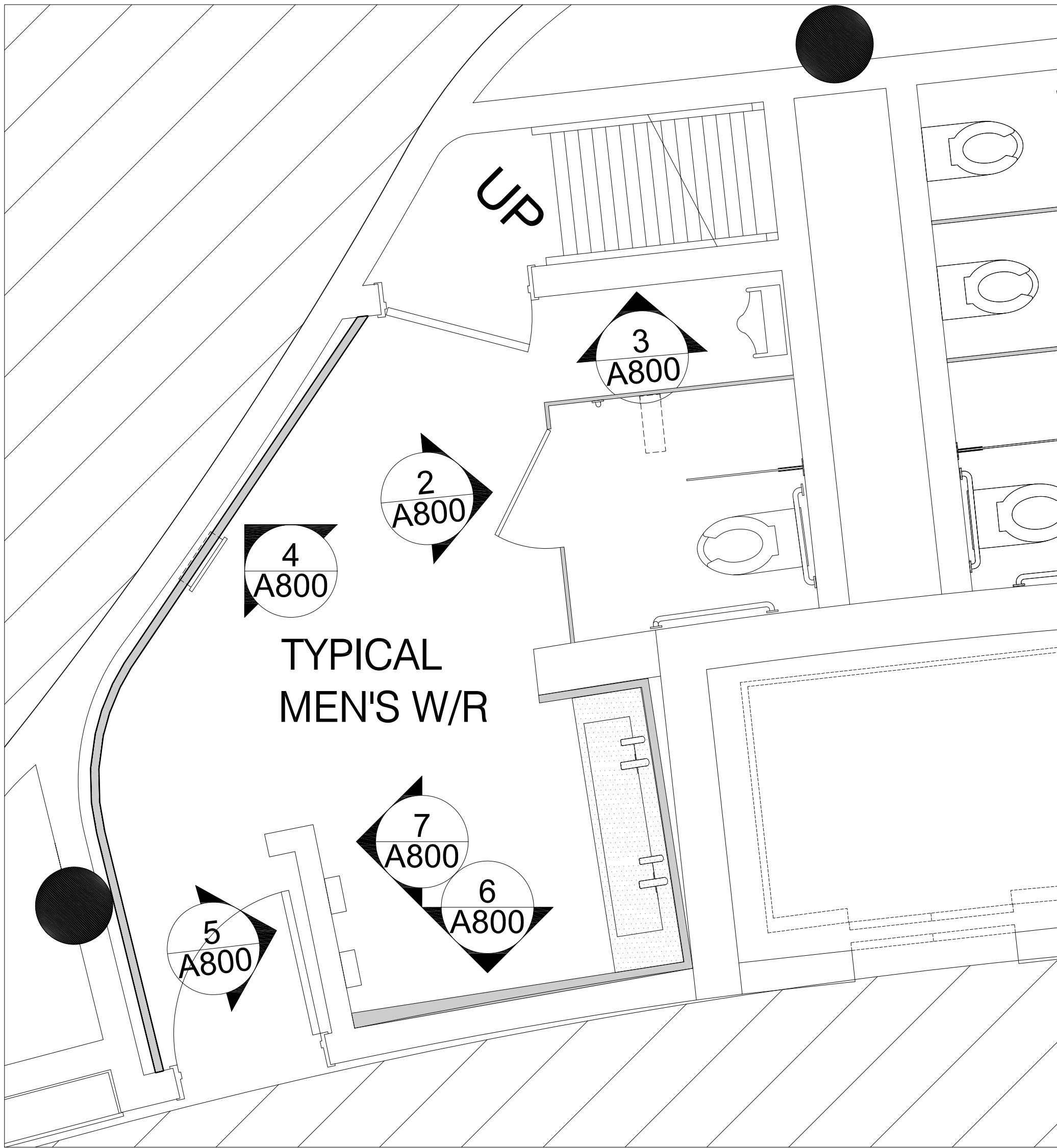
DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

FINISHES

SHEET NUMBER: A704



1 PLAN: TYPICAL MEN'S WASHROOM
SCALE - 1:25

WASHROOM ACCESSORIES LEGEND

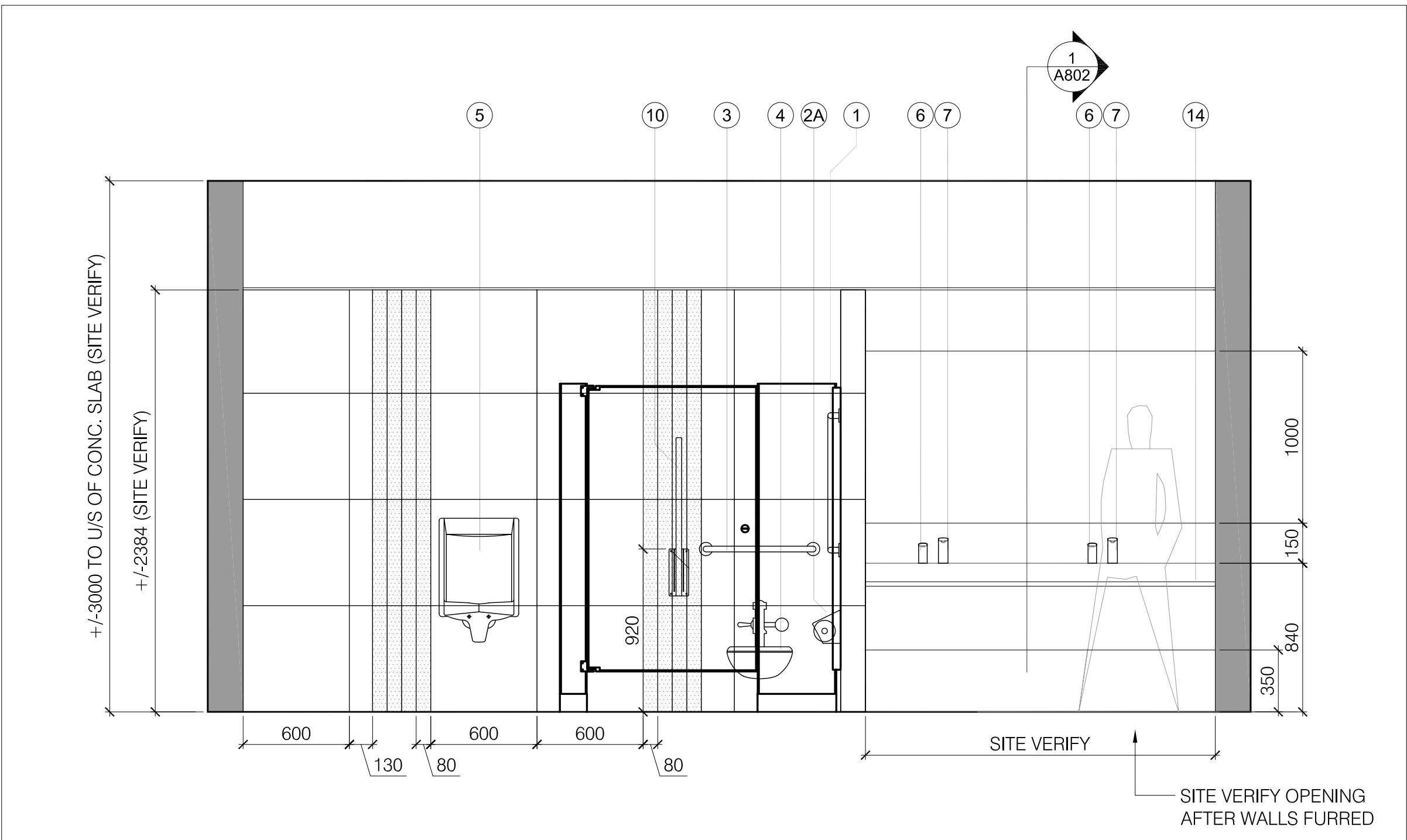
- 1 STAINLESS STEEL GRAB BAR, FROST L-SHAPED 1003-NP 30X30 1-1/2" DIA.
- 2A TOILET PAPER DISPENSER (AODA), FROST DOUBLE ROLL W/ HOOD #158S
- 2B TOILET PAPER DISPENSER, SWISH 884 - BLACK
- 3 STAINLESS STEEL GRAB BAR, 24" FROST 1001-NP 1-1/2" DIA.
- 4 BF WATER CLOSET (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 5 URINAL (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 6 DECK-MOUNT SOAP DISPENSER (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 7 DECK-MOUNT SENSOR TAP (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 8 N/A
- 9 COAT/PURSE HOOK, RICHELIEU CONTEMPORARY STAINLESS STEEL HOOK - 1483, PRODUCT # RH1483011170, DISCUSS EXACT PLACEMENT WITH ARCHITECT PRIOR TO SUPPLY/INSTALL (ALLOW FOR 24 HOOKS IN TOTAL), DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.
- 10 FLIP UP SAFETY RAIL, FROST STAINLESS STEEL 1055-S - WALL BRACKET IN WHITE
- 11 RECESSED DOUBLE NAPKIN VENDOR, FROST 615-5 - STAINLESS STEEL. DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.
- 12 N/A
- 13 N/A
- 14 MONOLITH SINK BASIN (CORIAN - COLOUR TLS) W/ STAINLESS STEEL PIPESKIRT, CONTACT LANCE SMITH WITH ARDEC GROUP - 905-648-3809 /lance.smith@ardecgroup.com
- 15 FLIP-UP SHELF, FROST STAINLESS STEEL CODE 955 (OR EQUAL), ALLOW FOR A TOTAL OF 12 FLIP-UP SHELVES, DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.
- 16 DYSON HU02 WHITE. DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.
- 17 DISPOSAL UNIT - FROST 337: STAINLESS STEEL. DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.

FIELD TILE (TL-3)
MANUFACTURER: OLYMPIA TILE
TILE SERIES: COLORS SERIES
COLOR: WHITE MATTE
SIZE: 60CM X 60CM TILE CUT TO SUIT ELEVATION DWGS
PROVIDE SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO SUPPLY/INSTALL

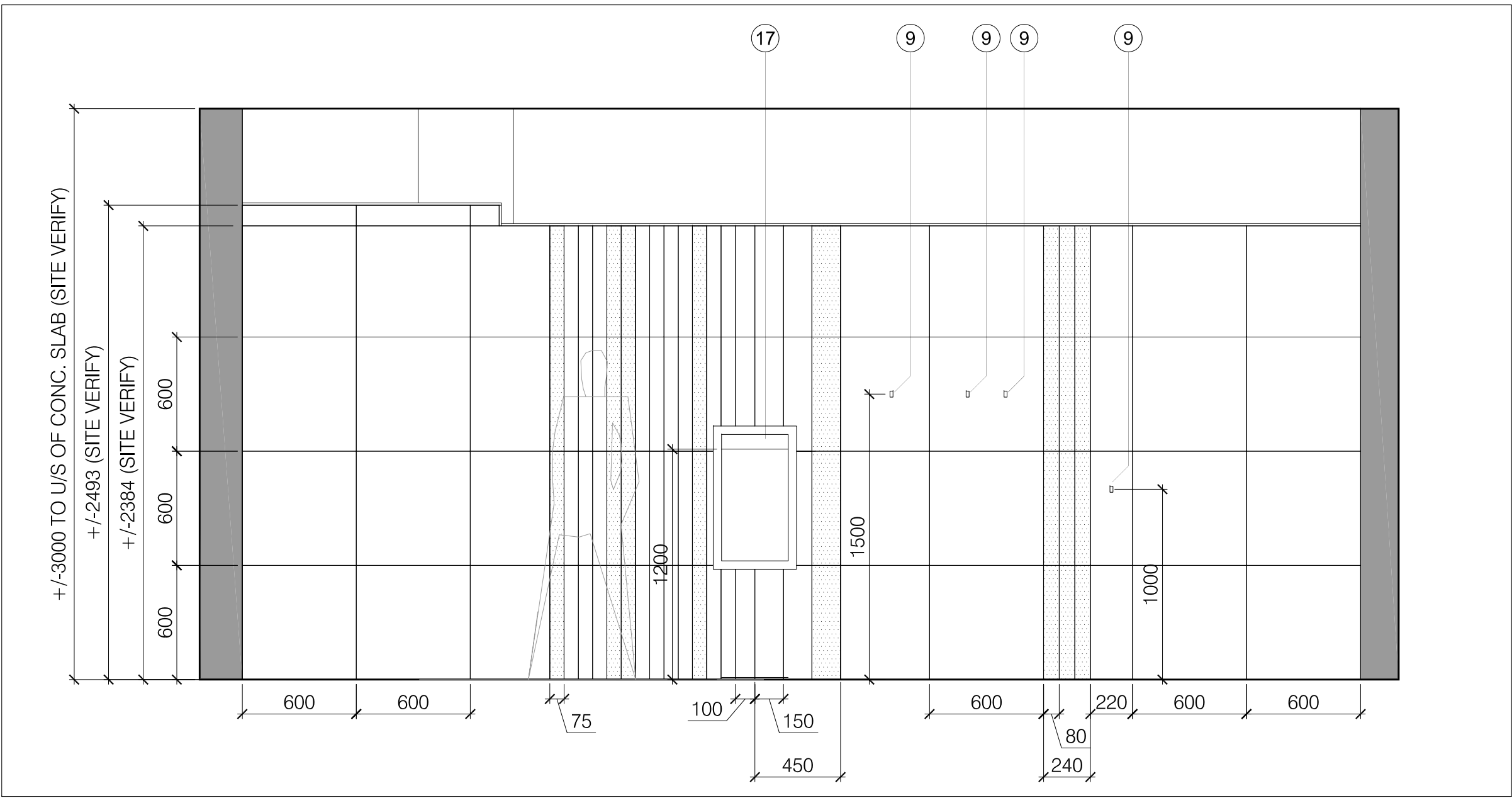
ACCENT TILE (TL-4)
MANUFACTURER: OLYMPIA TILE
TILE SERIES: COLORS SERIES
COLOR: BLUE MATTE
SIZE: 60CM X 60CM TILE CUT TO SUIT ELEVATION DWGS
PROVIDE SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO SUPPLY/INSTALL

NOTES

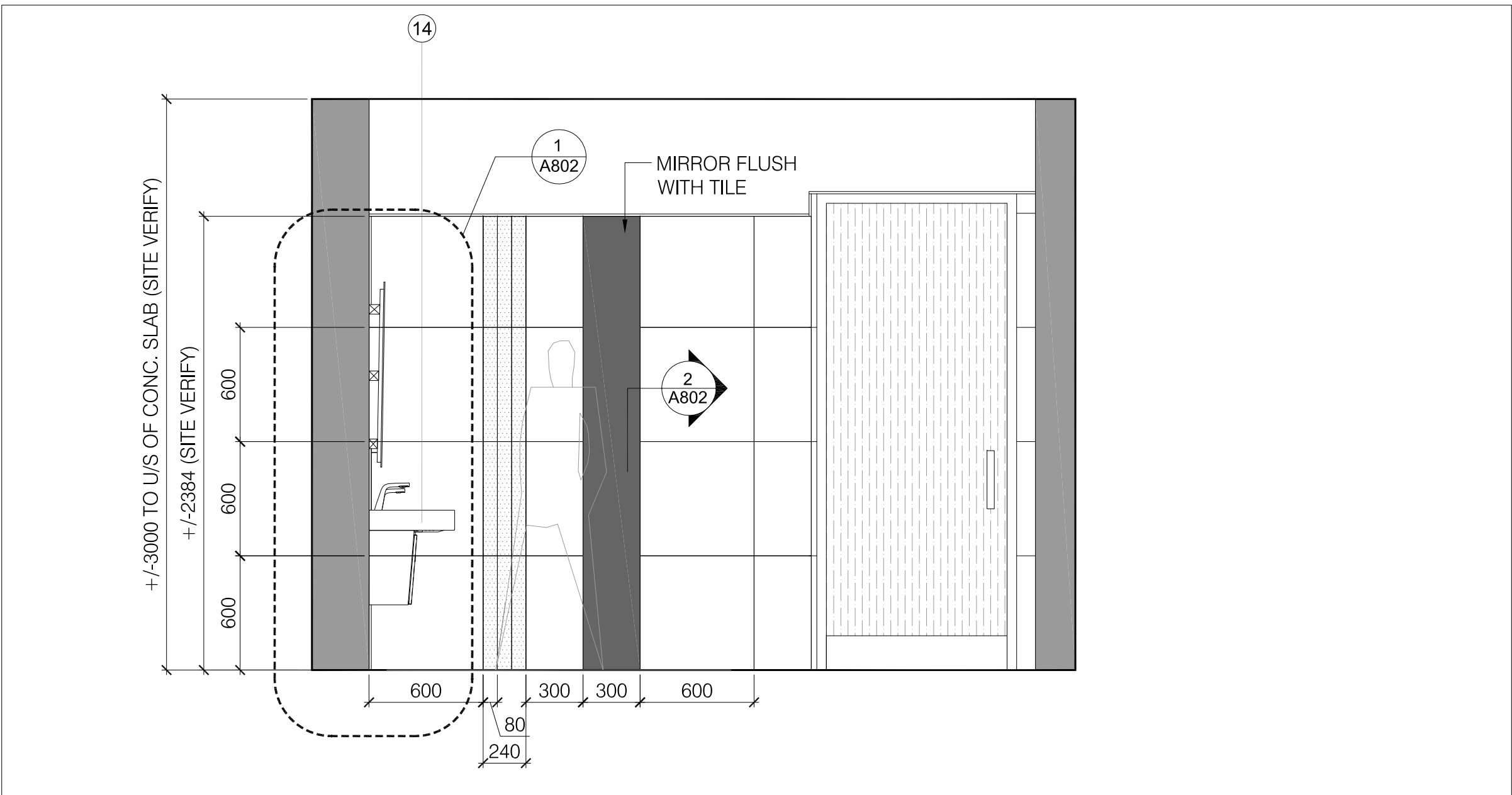
1. PROVIDE ADEQUATE BRACING IN WALL CAVITY FOR SUPPORT OF WASHROOM ACCESSORIES AND FIXTURES. PATCH/REPAIR WALL AS REQ'D
2. ALLOW FOR 1% SLOPE TO DRAIN WHERE DRAIN HAS BEEN SPECIFIED ON MECHANICAL DRAWINGS
3. PROVIDE WATERPROOF MEMBRANE BETWEEN TILE AND SUBFLOOR
4. REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR PLUMBING RELATED FIXTURE SPECS
5. REFER TO ELECTRICAL ENGINEER'S SPECS FOR POWER, LIGHTING AND LIFE SAFETY SPECIFICATION
6. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MILLWORK, FIXTURES AND ACCESSORIES PRIOR TO SUPPLY/INSTALL
7. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MIRRORS AND BACK-PAINTED GLASS TO ENSURE DESIGN INTENT IS BEING MET
8. GCS TILE LAYER TO MEET ON SITE WITH ARCHITECT TO DISCUSS INSTALLATION OF TILE PRIOR TO THE START OF WORK. IT IS UNDERSTOOD THAT THE TILER WILL HAVE TO CUT TILE ON SITE TO SUIT EXACT SITE CONDITIONS & ARCHITECT'S DESIGN
9. LOCATION OF FIXTURES (TOILETS & URINALS) DOES NOT CHANGE FROM EXISTING



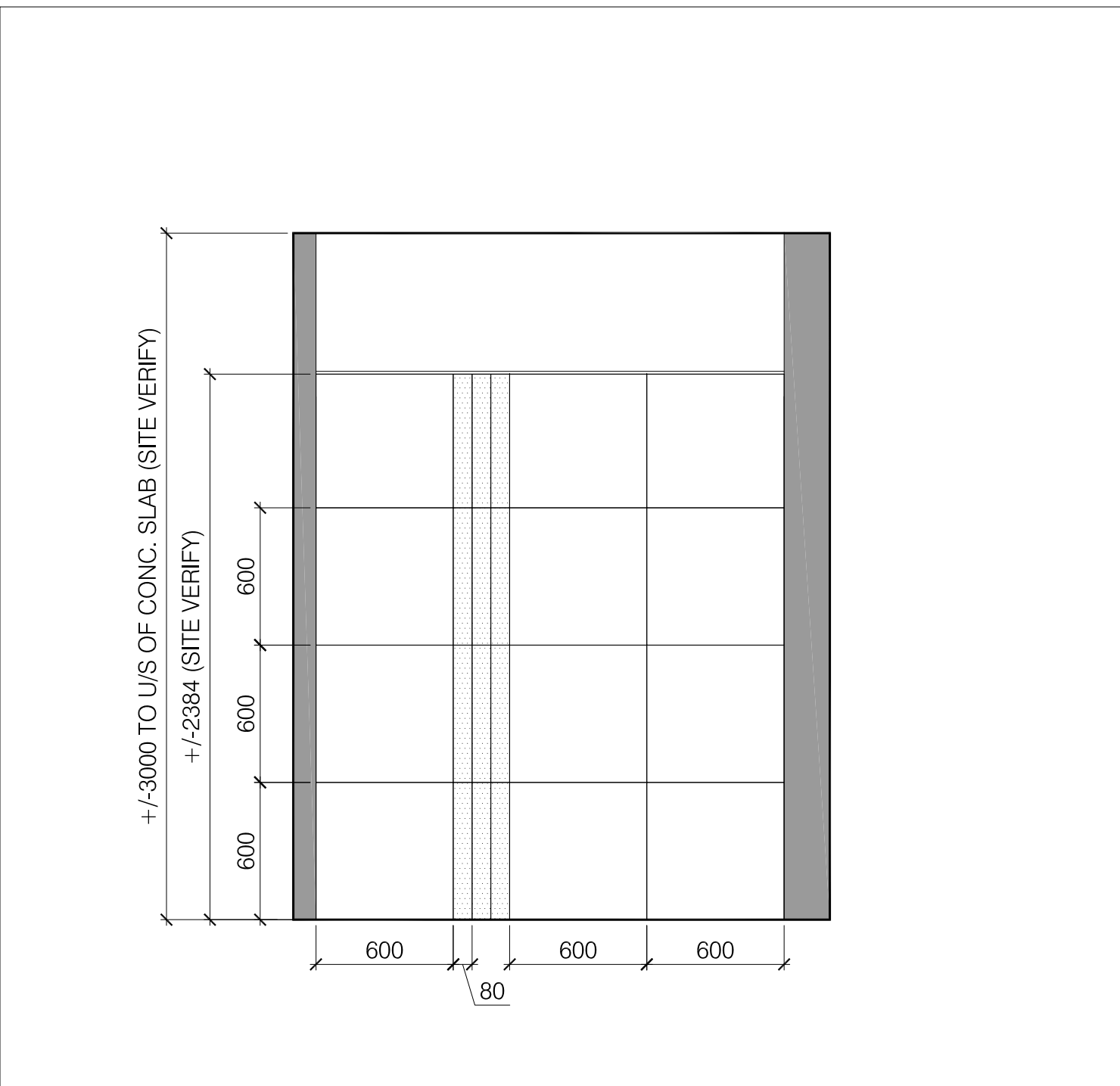
2 ELEVATION: TYP MEN'S W/R
SCALE - 1:25



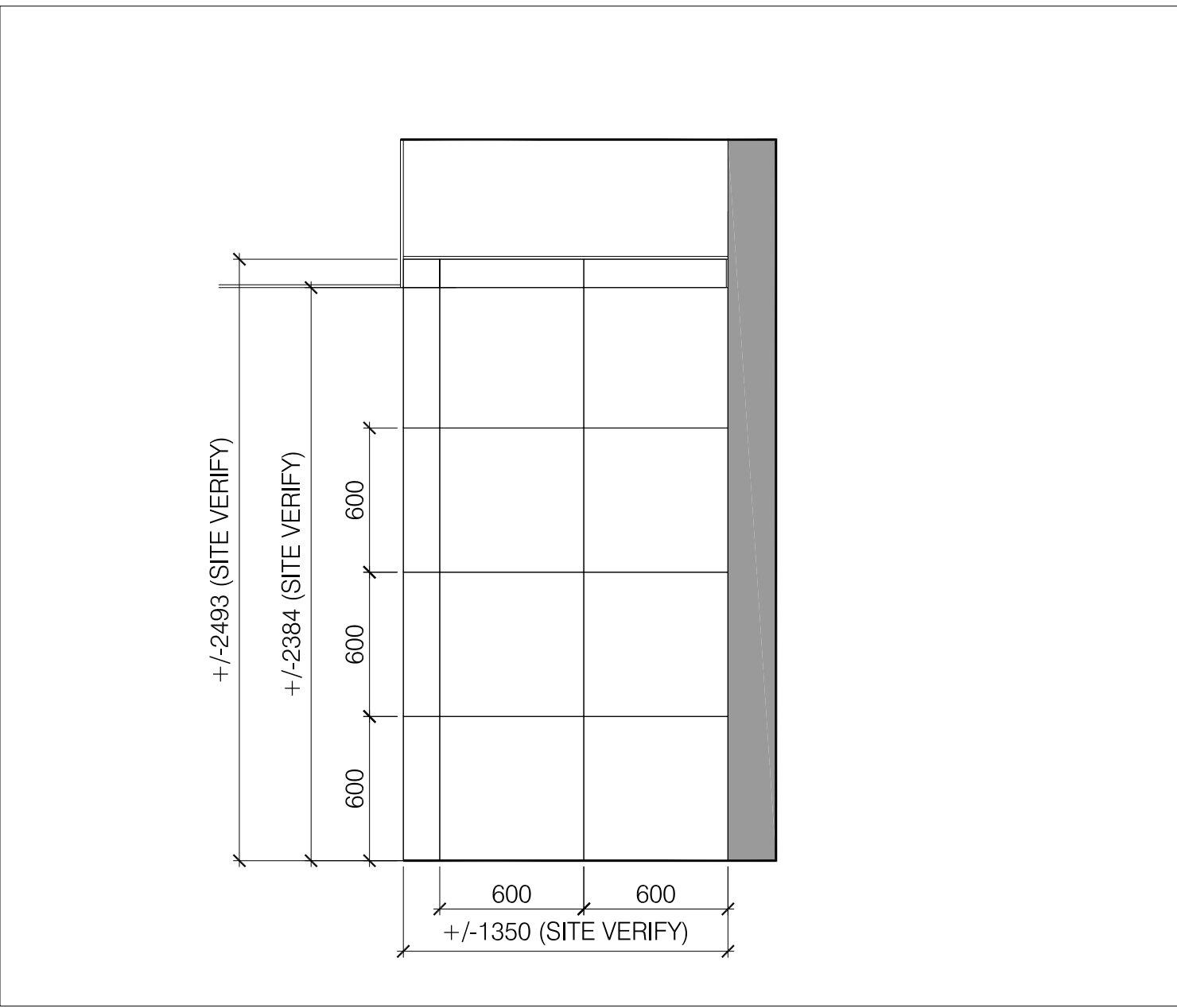
4 ELEVATION: TYP MEN'S W/R
SCALE - 1:25



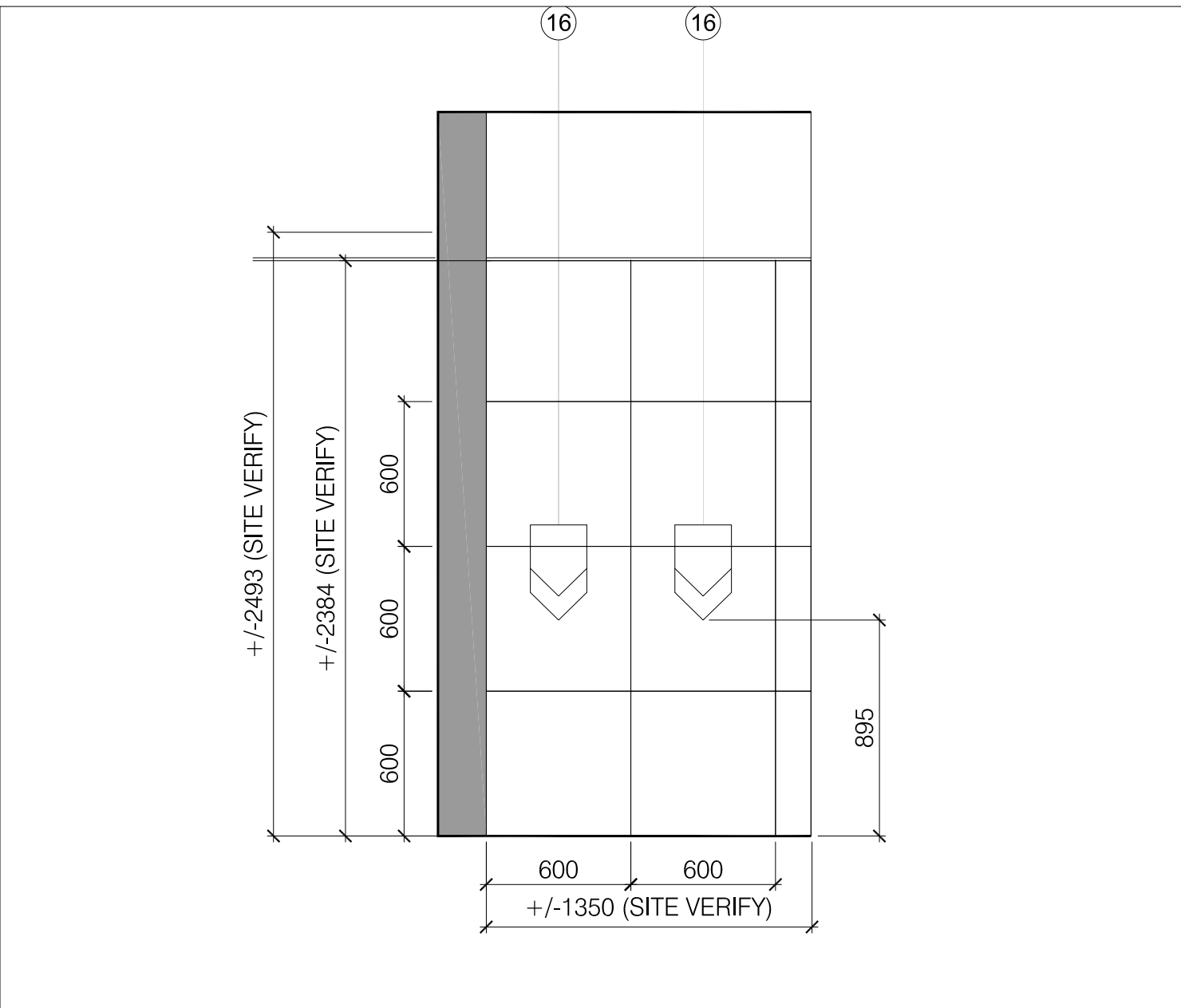
6 ELEVATION: TYP MEN'S W/R
SCALE - 1:25



3 ELEVATION: TYP MEN'S W/R
SCALE - 1:25



5 ELEVATION: TYP MEN'S W/R
SCALE - 1:25

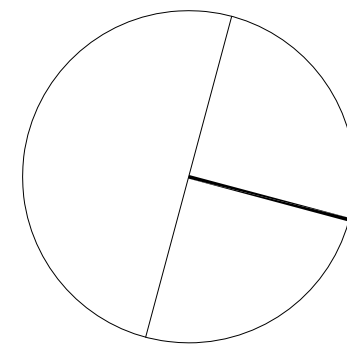


7 ELEVATION: TYP MEN'S W/R
SCALE - 1:25

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

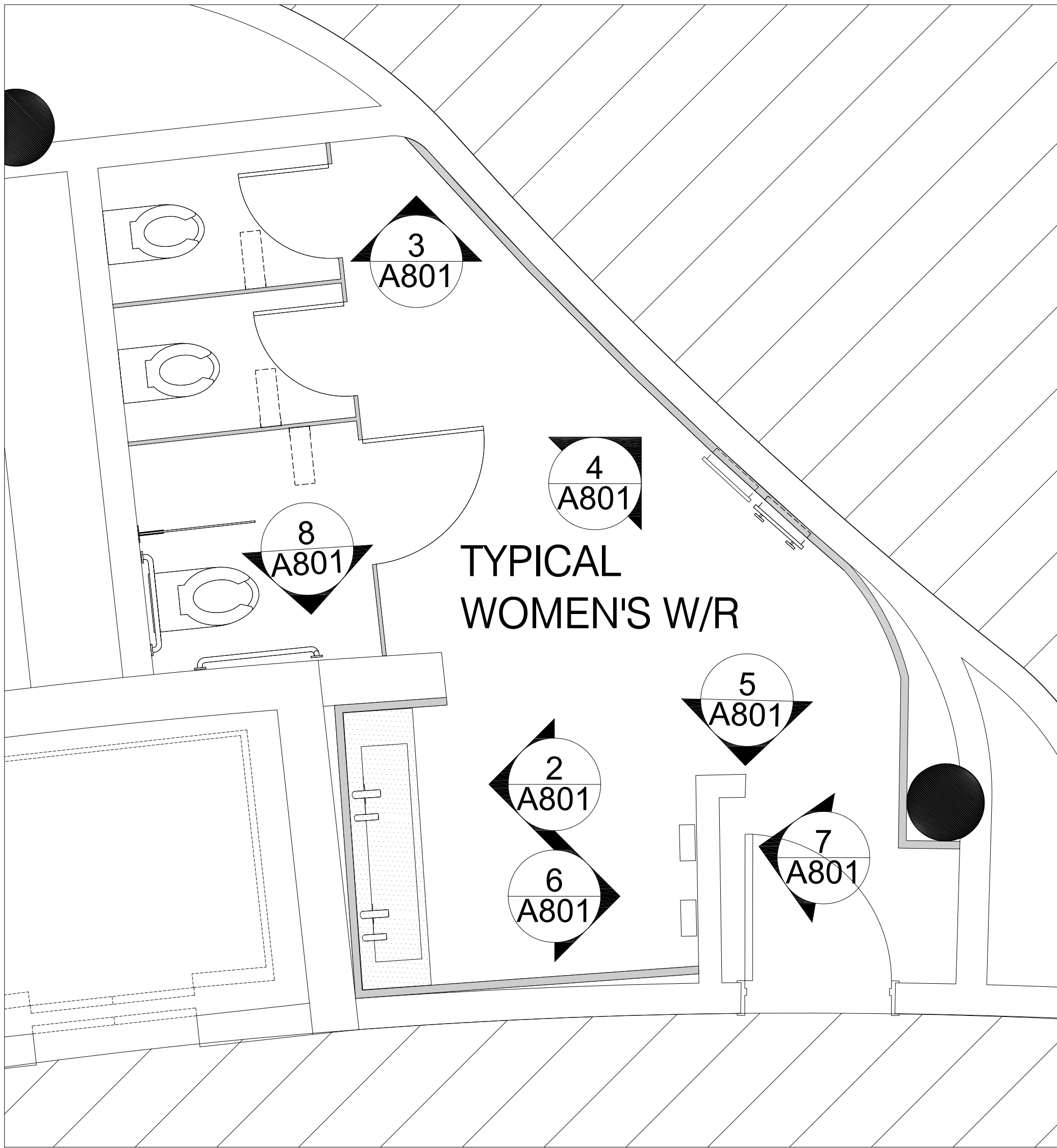
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

MEN'S W/R
ELEVATIONS

SHEET NUMBER:

A800



1 PLAN: TYPICAL WOMEN'S WASHROOM
A800 SCALE - 1:25

WASHROOM ACCESSORIES LEGEND

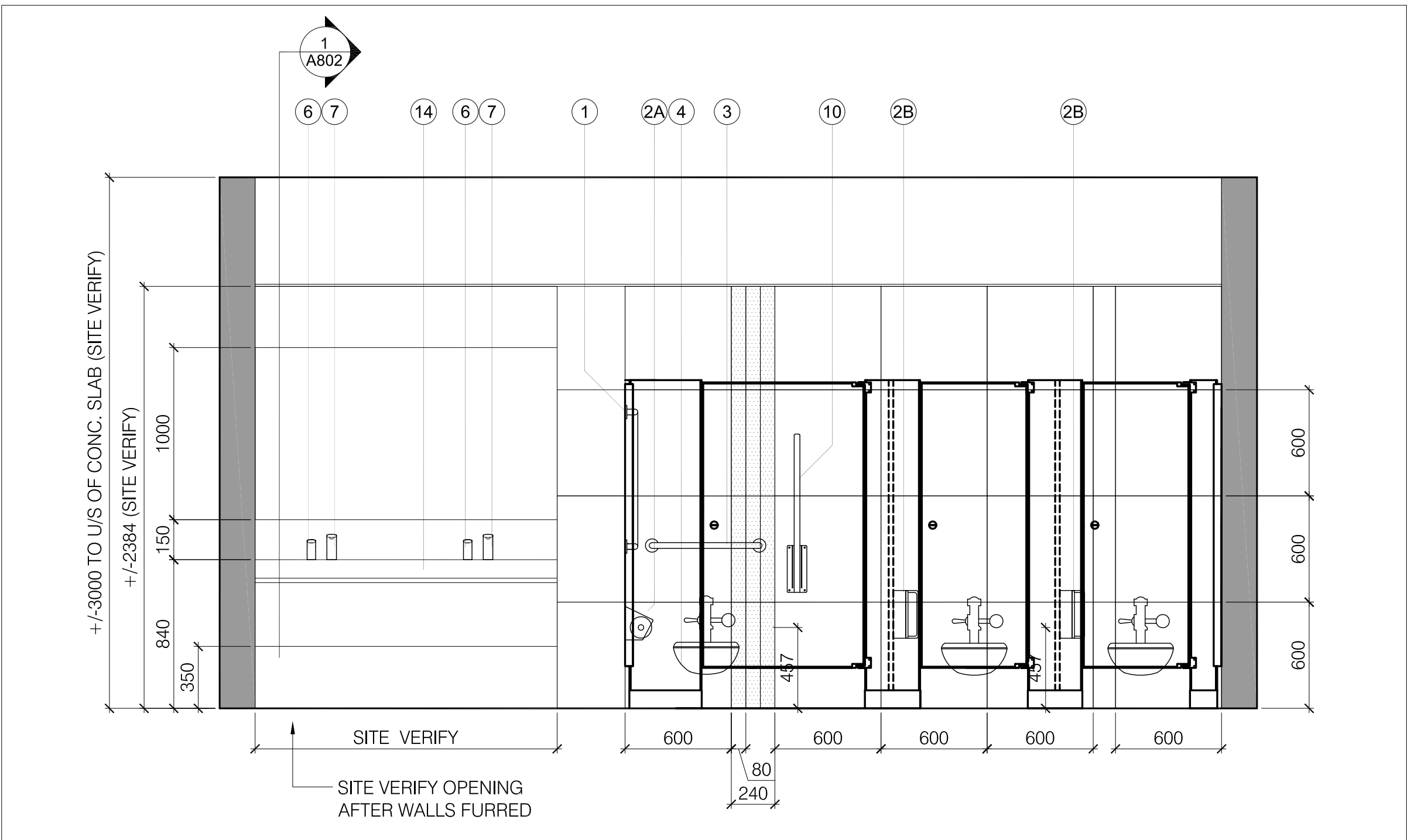
- 1 STAINLESS STEEL GRAB BAR, FROST L-SHAPED 1003-NP 30X30 1-1/2" DIA.
- 2A TOILET PAPER DISPENSER (AODA), FROST DOUBLE ROLL W/ HOOD #158S
- 2B TOILET PAPER DISPENSER, SWISH 884 - BLACK
- 3 STAINLESS STEEL GRAB BAR, 24" FROST 1001-NP 1-1/2" DIA.
- 4 BF WATER CLOSET (REFER TO MECH/ELEC ENGINEERS DWGS FOR SPEC/DIRECTION)
- 5 URINAL (REFER TO MECH/ELEC ENGINEERS DWGS FOR SPEC/DIRECTION)
- 6 DECK-MOUNT SOAP DISPENSER (REFER TO MECH/ELEC ENGINEERS DWGS FOR SPEC/DIRECTION)
- 7 DECK-MOUNT SENSOR TAP (REFER TO MECH/ELEC ENGINEERS DWGS FOR SPEC/DIRECTION)
- 8 N/A
- 9 COAT/PURSE HOOK, RICHELIEU CONTEMPORARY STAINLESS STEEL HOOK - 1483, PRODUCT # RH1483011170, DISCUSS EXACT PLACEMENT WITH ARCHITECT PRIOR TO SUPPLY/INSTALL (ALLOW FOR 24 HOOKS IN TOTAL), DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.
- 10 FLIP UP SAFETY RAIL, FROST STAINLESS STEEL 1055-S - WALL BRACKET IN WHITE
- 11 RECESSED DOUBLE NAPKIN VENDOR, FROST 615-S - STAINLESS STEEL, DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.
- 12 N/A
- 13 N/A
- 14 MONOLITH SINK BASIN (CORIAN - COLOUR T/L5) W/ STAINLESS STEEL PIPESKIRT, CONTACT LANCE SMITH WITH ARDEC GROUP - 905-648-3809 /lance.smith@ardecgroup.com
- 15 FLIP-UP SHELF, FROST STAINLESS STEEL CODE 955 (OR EQUAL), ALLOW FOR A TOTAL OF 12 FLIP-UP SHELVES, DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.
- 16 DYSON HU02 WHITE, DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.
- 17 DISPOSAL UNIT - FROST 337; STAINLESS STEEL, DETERMINE EXACT PLACEMENT WITH ARCHITECT ON SITE.

FIELD TILE (TL-3)
MANUFACTURER: OLYMPIA TILE
TILE SERIES: COLORS SERIES
COLOR: WHITE MATTE
SIZE: 60CM X 60CM TILE CUT TO SUIT ELEVATION DWGS
PROVIDE SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO SUPPLY/INSTALL

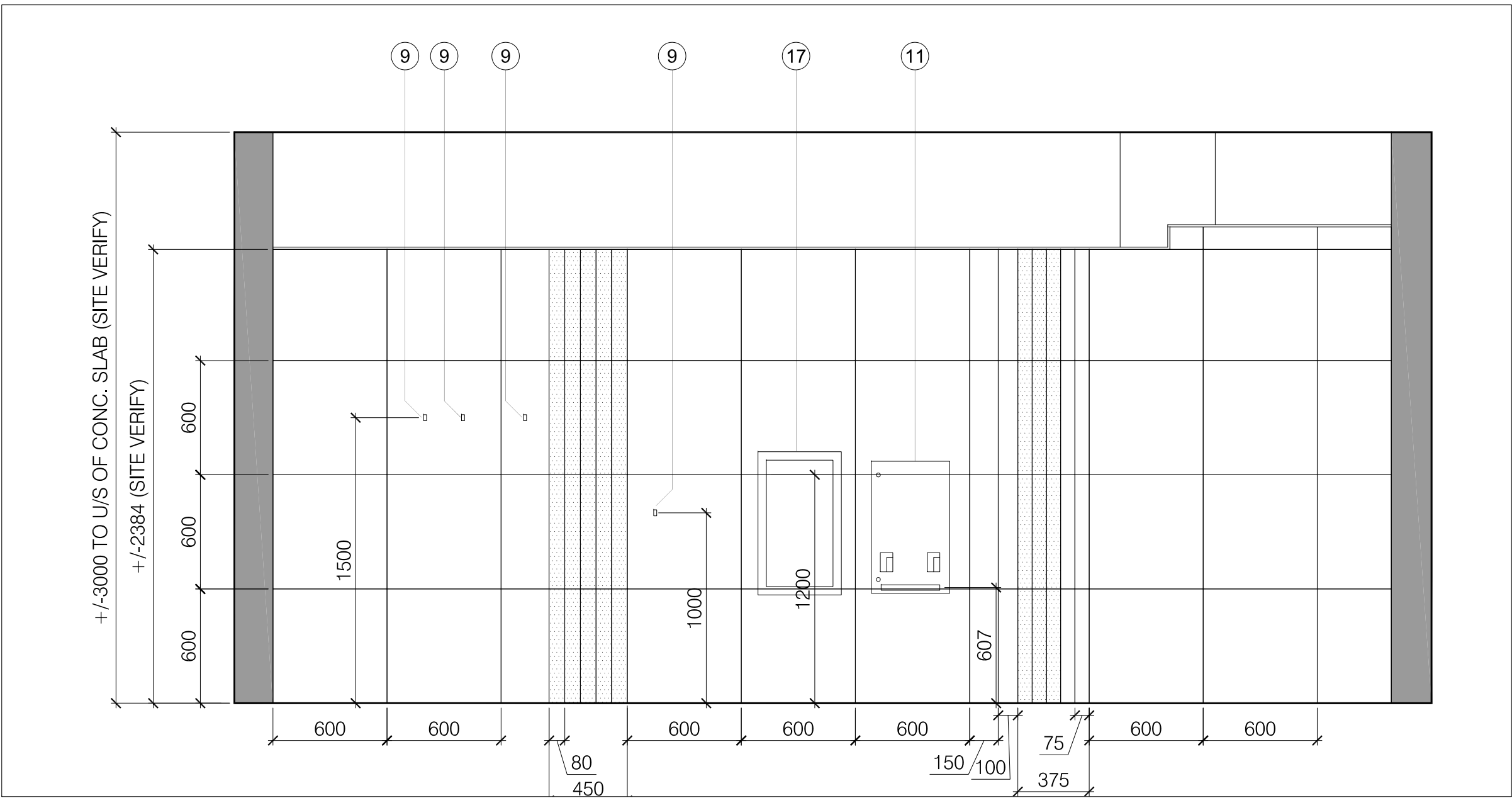
ACCENT TILE (TL-4)
MANUFACTURER: OLYMPIA TILE
TILE SERIES: COLORS SERIES
COLOR: BLUE MATTE
SIZE: 60CM X 60CM TILE CUT TO SUIT ELEVATION DWGS
PROVIDE SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO SUPPLY/INSTALL

NOTES

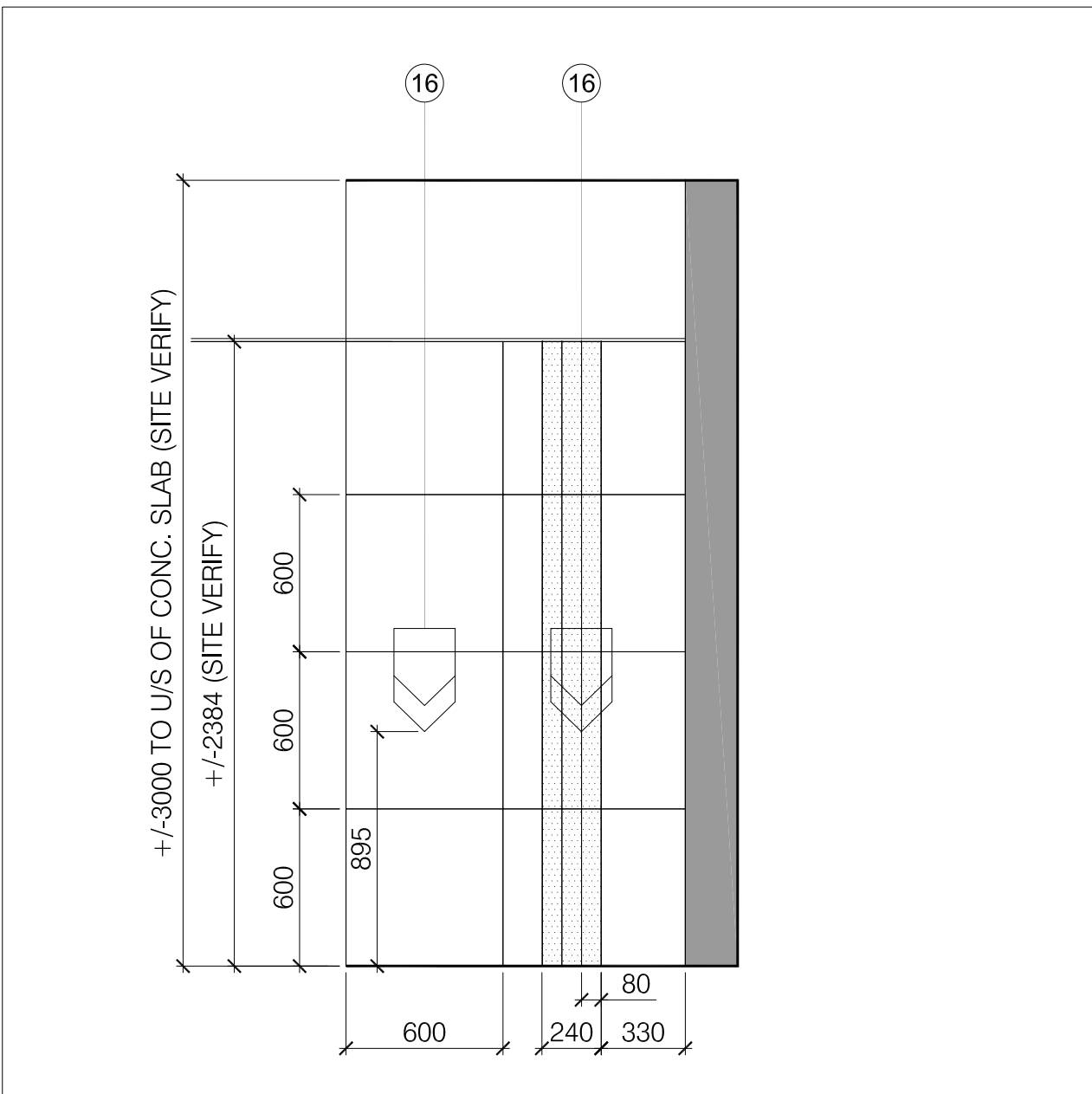
1. PROVIDE ADEQUATE BRACING IN WALL CAVITY FOR SUPPORT OF WASHROOM ACCESSORIES AND FIXTURES, PATCH/REPAIR WALL AS REQ'D
2. ALLOW FOR 1% SLOPE TO DRAIN WHERE DRAIN HAS BEEN SPECIFIED ON MECHANICAL DRAWINGS
3. PROVIDE WATERPROOF MEMBRANE BETWEEN TILE AND SUBFLOOR
4. REFER TO MECHANICAL ENGINEERS DRAWINGS FOR PLUMBING RELATED FIXTURE SPECS
5. REFER TO ELECTRICAL ENGINEERS SPECS FOR POWER, LIGHTING AND LIFE SAFETY SPECIFICATION
6. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MILLWORK, FIXTURES AND ACCESSORIES PRIOR TO SUPPLY/INSTALL
7. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MIRRORS AND BACK-PAINTED GLASS TO ENSURE DESIGN INTENT IS BEING MET
8. GO'S TILE LAYER TO MEET ON SITE WITH ARCHITECT TO DISCUSS INSTALLATION OF TILE PRIOR TO THE START OF WORK. IT IS UNDERSTOOD THAT THE TILER WILL HAVE TO CUT TILE ON SITE TO SUIT EXACT SITE CONDITIONS & ARCHITECT'S DESIGN
9. LOCATION OF FIXTURES (TOILETS & URINALS) DOES NOT CHANGE FROM EXISTING



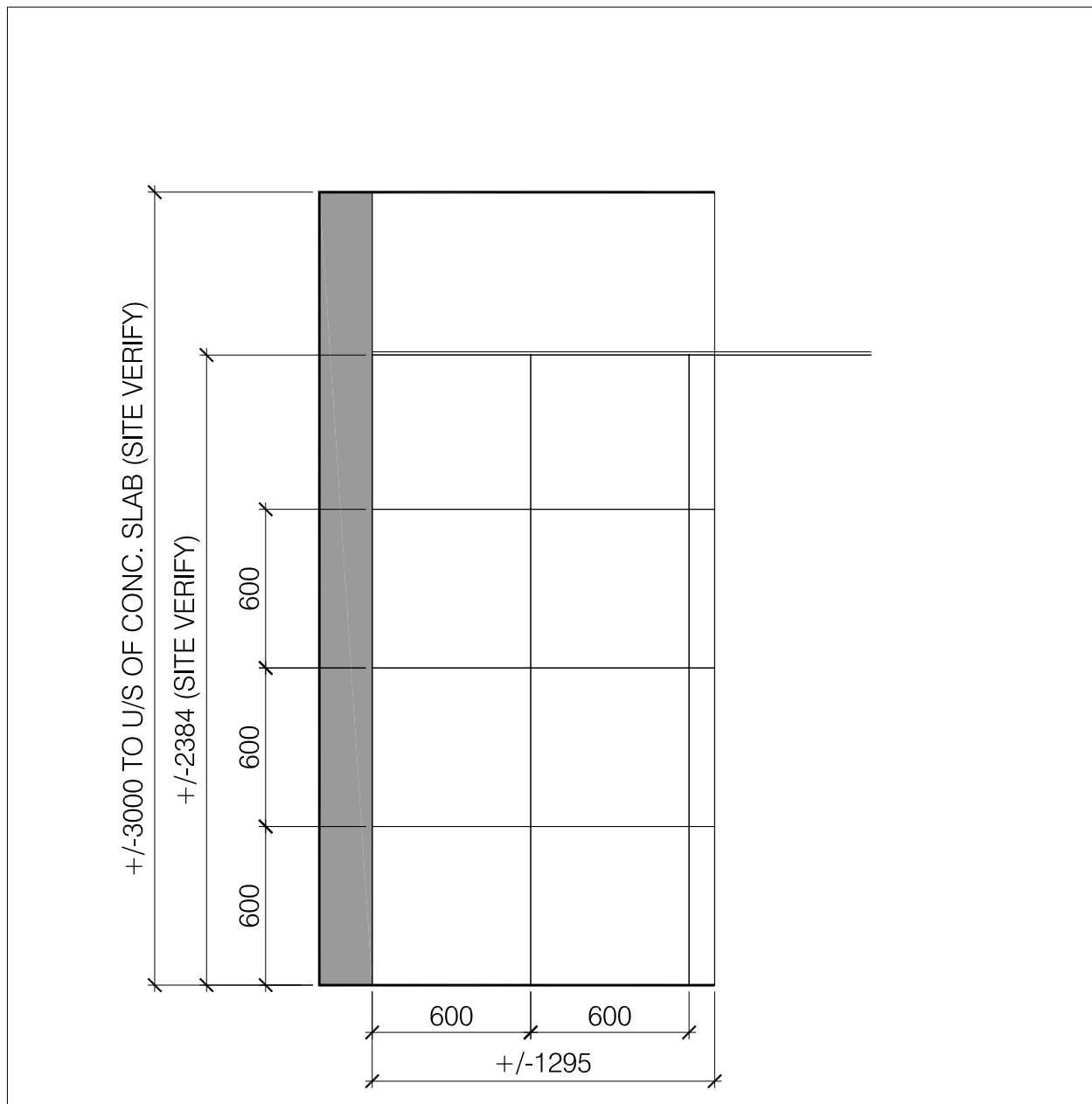
2 ELEVATION:TYP WOMEN'S W/R
A801 SCALE - 1:25



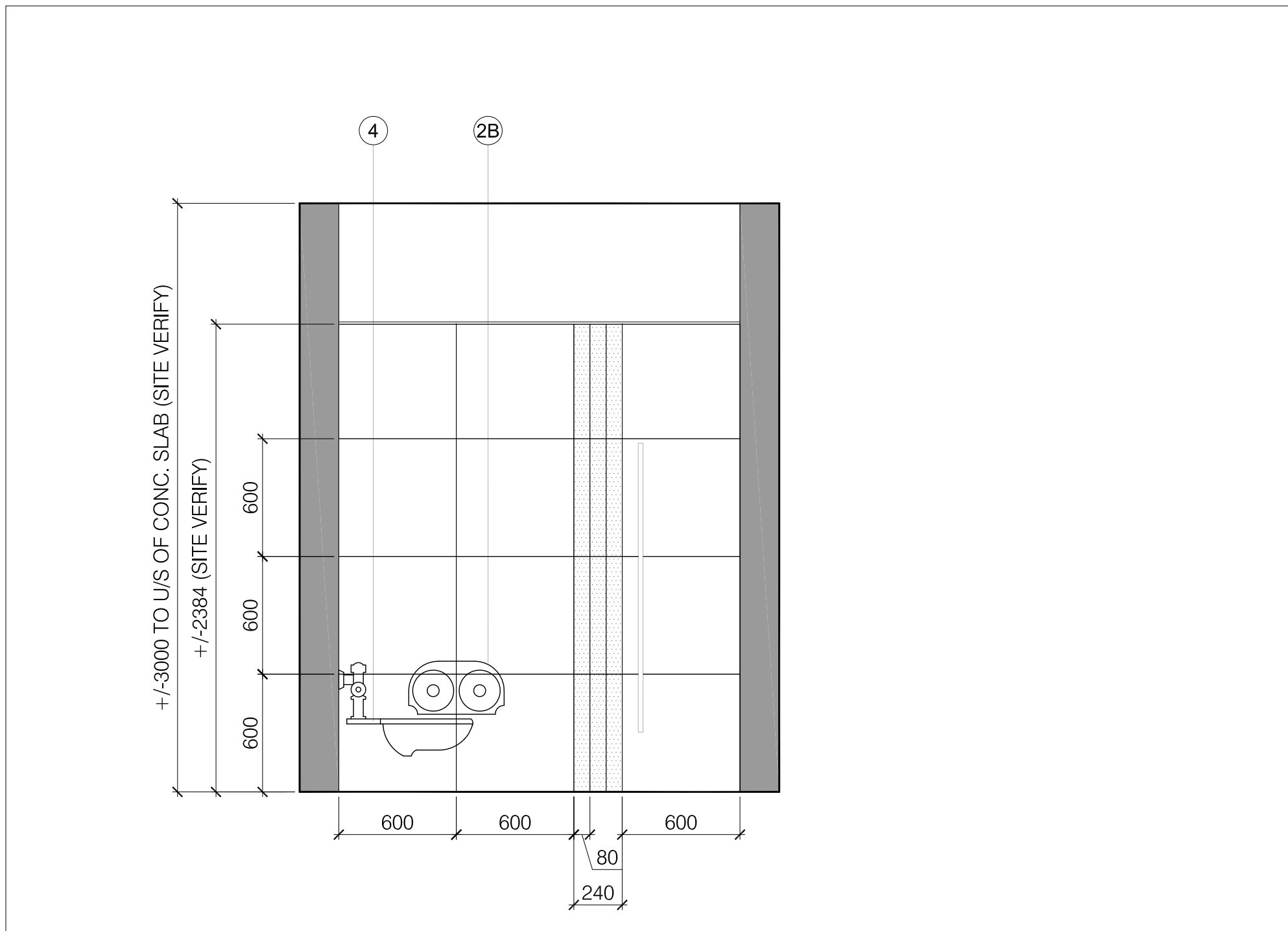
4 ELEVATION:TYP WOMEN'S W/R
A801 SCALE - 1:25



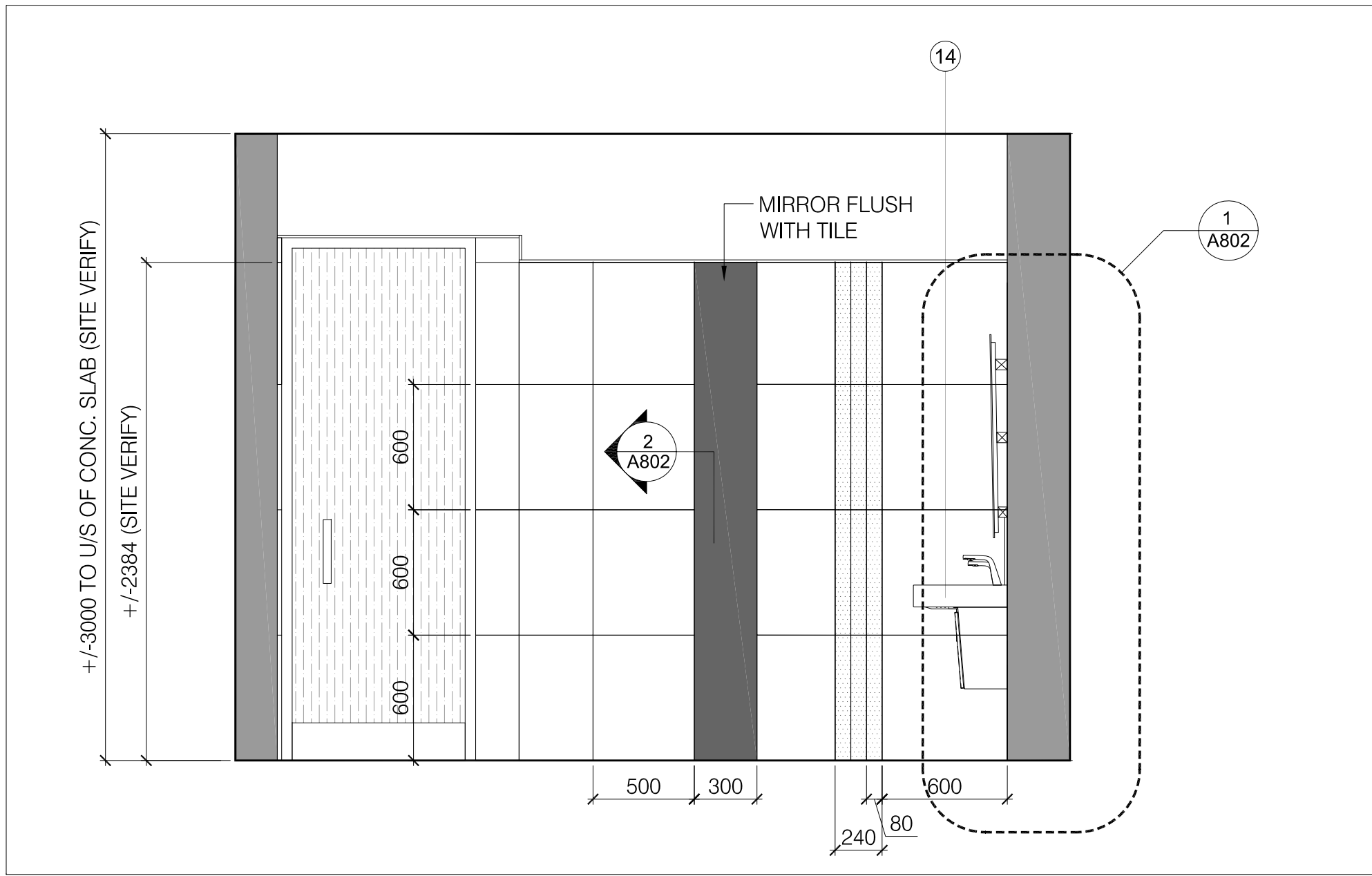
6 ELEVATION:TYP WOMEN'S W/R
A801 SCALE - 1:25



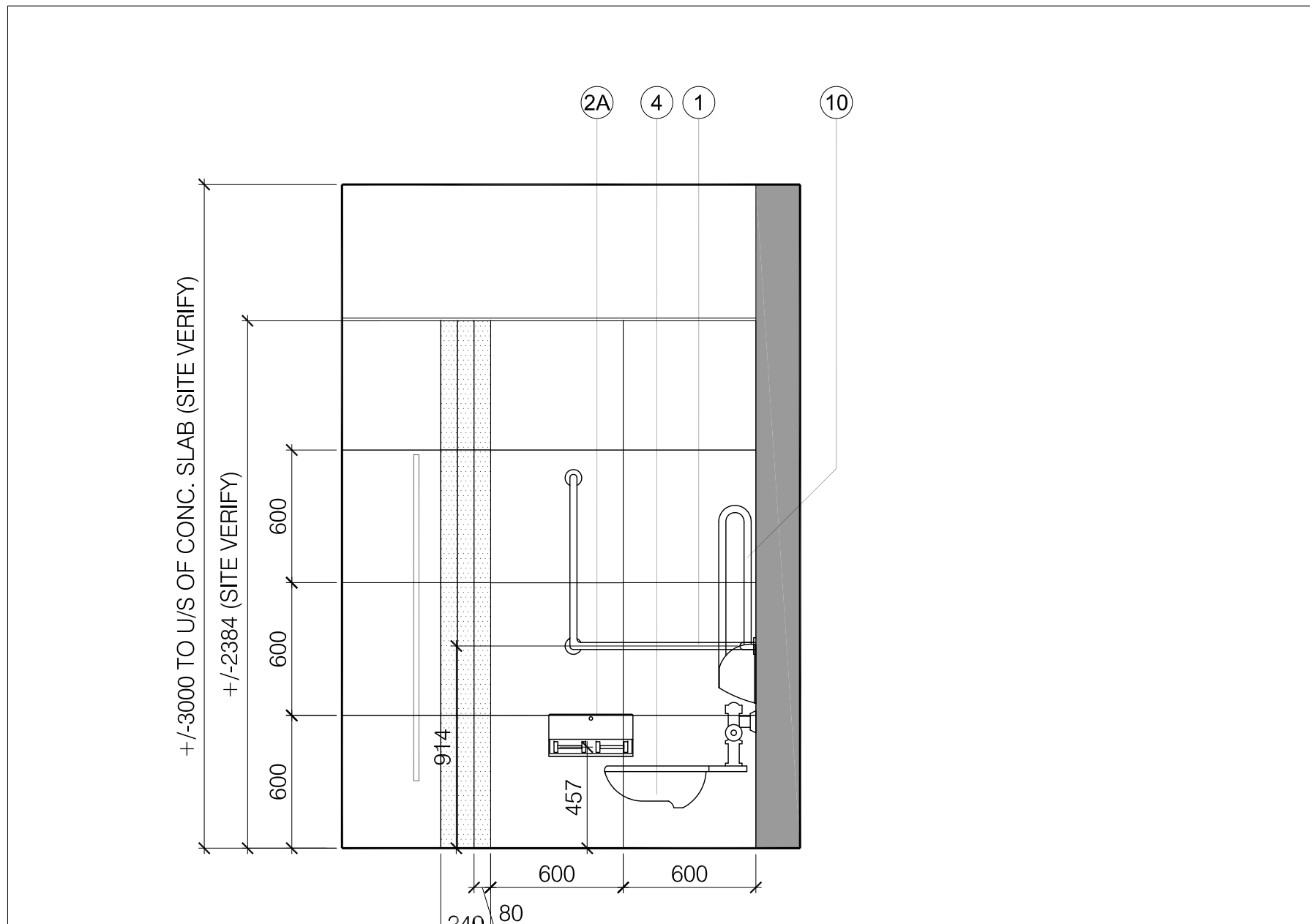
7 ELEVATION:TYP WOMEN'S W/R
A801 SCALE - 1:25



3 ELEVATION:TYP WOMEN'S W/R
A801 SCALE - 1:25



5 ELEVATION:TYP WOMEN'S W/R
A801 SCALE - 1:25

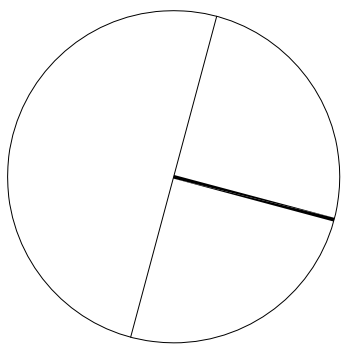


8 ELEVATION:TYP WOMEN'S W/R
A801 SCALE - 1:25

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

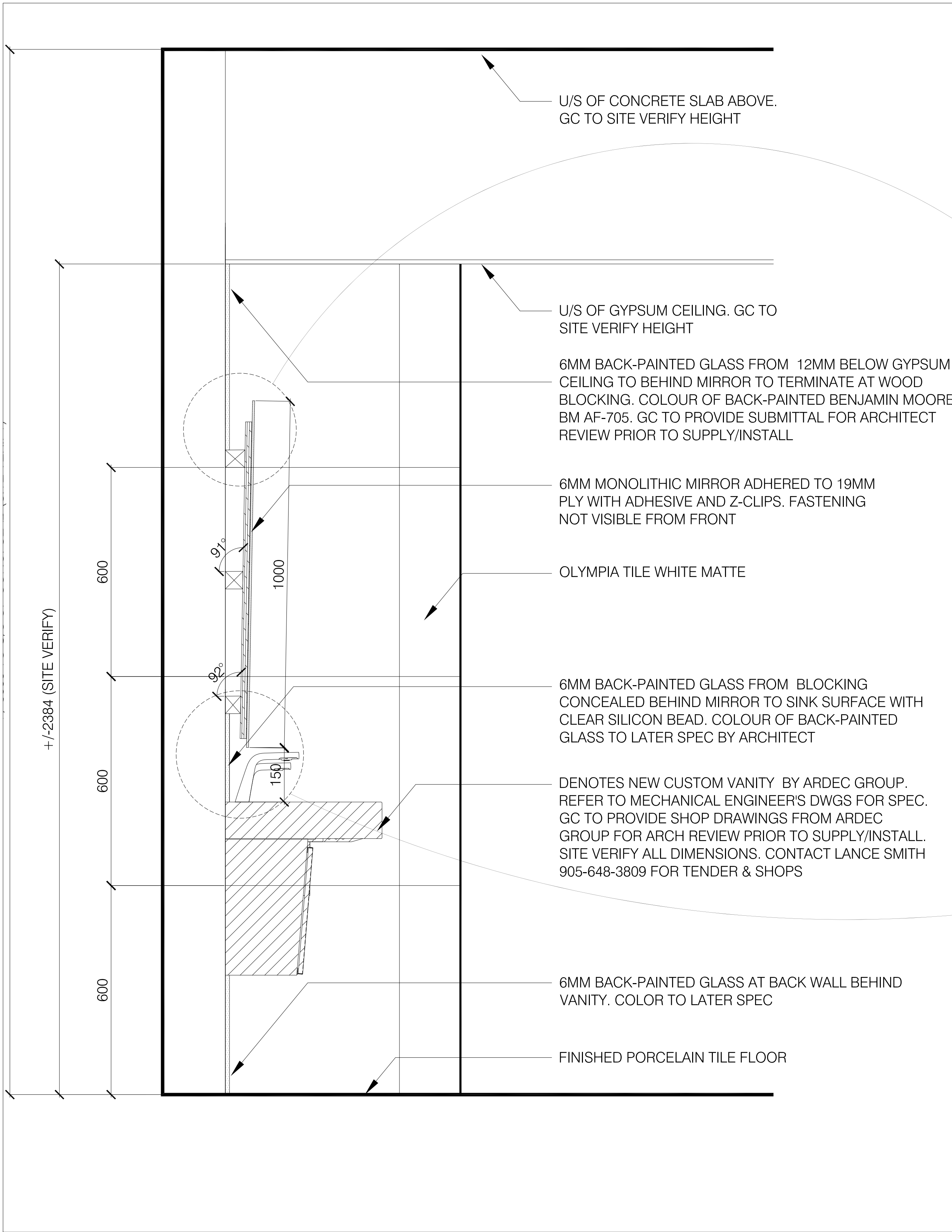
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

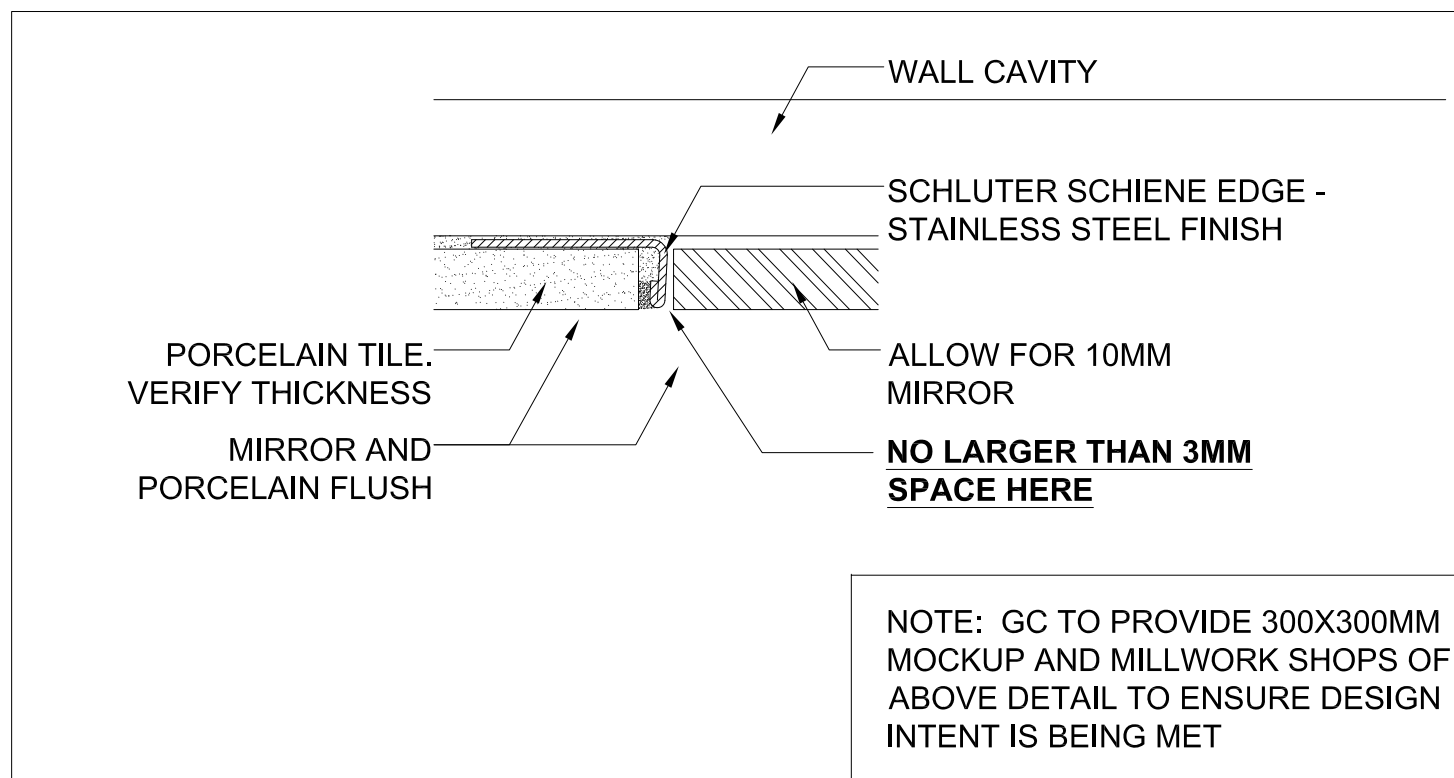
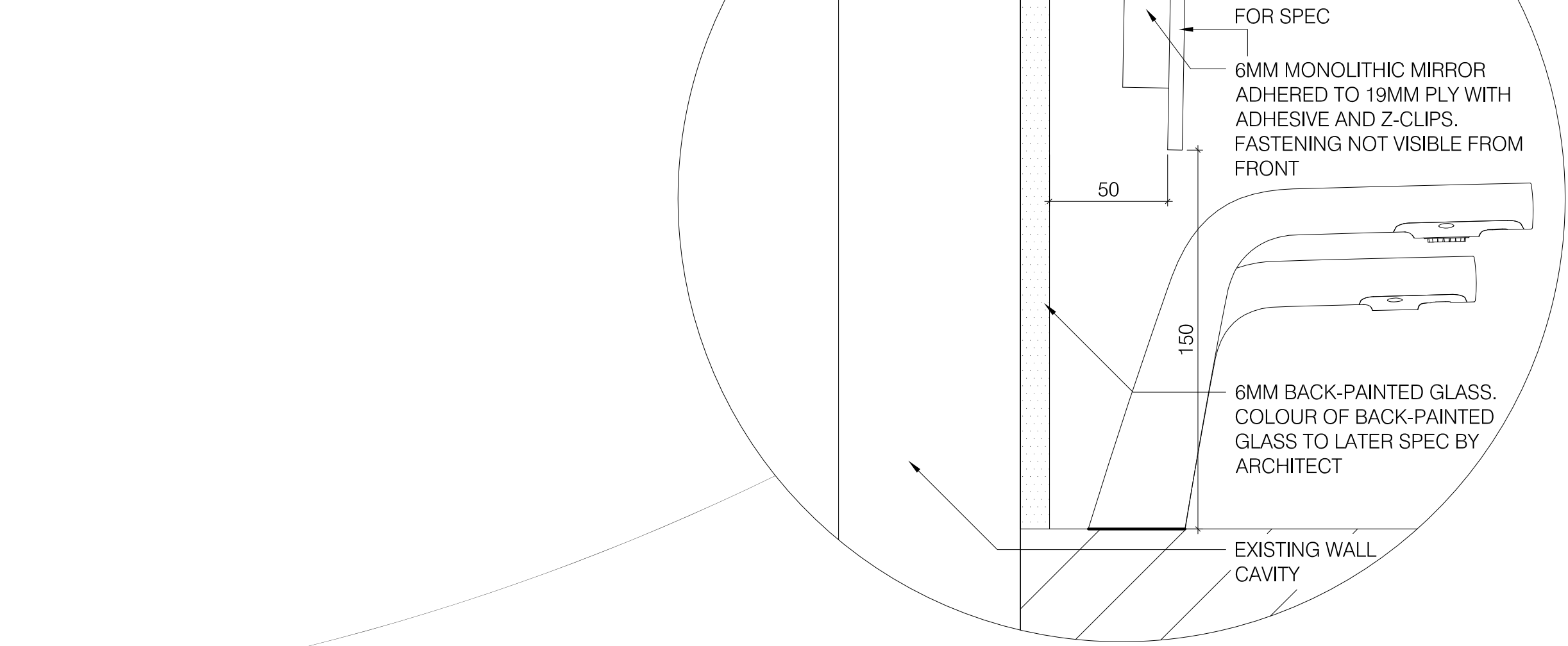
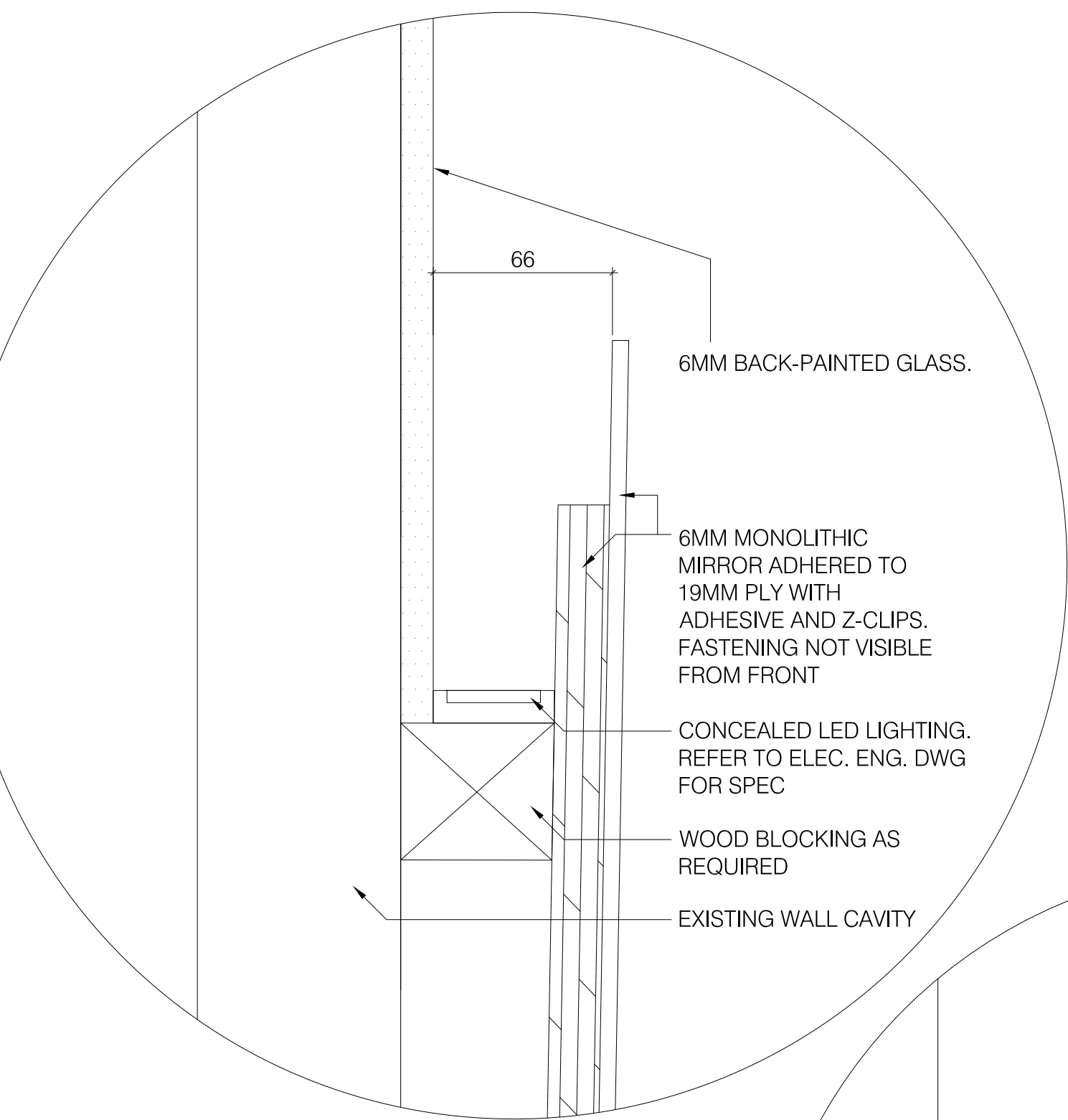
WOMEN'S W/R
ELEVATIONS

SHEET NUMBER:

A801



1 SECTION: TYPICAL WASHROOM VANITY
SCALE - NTS

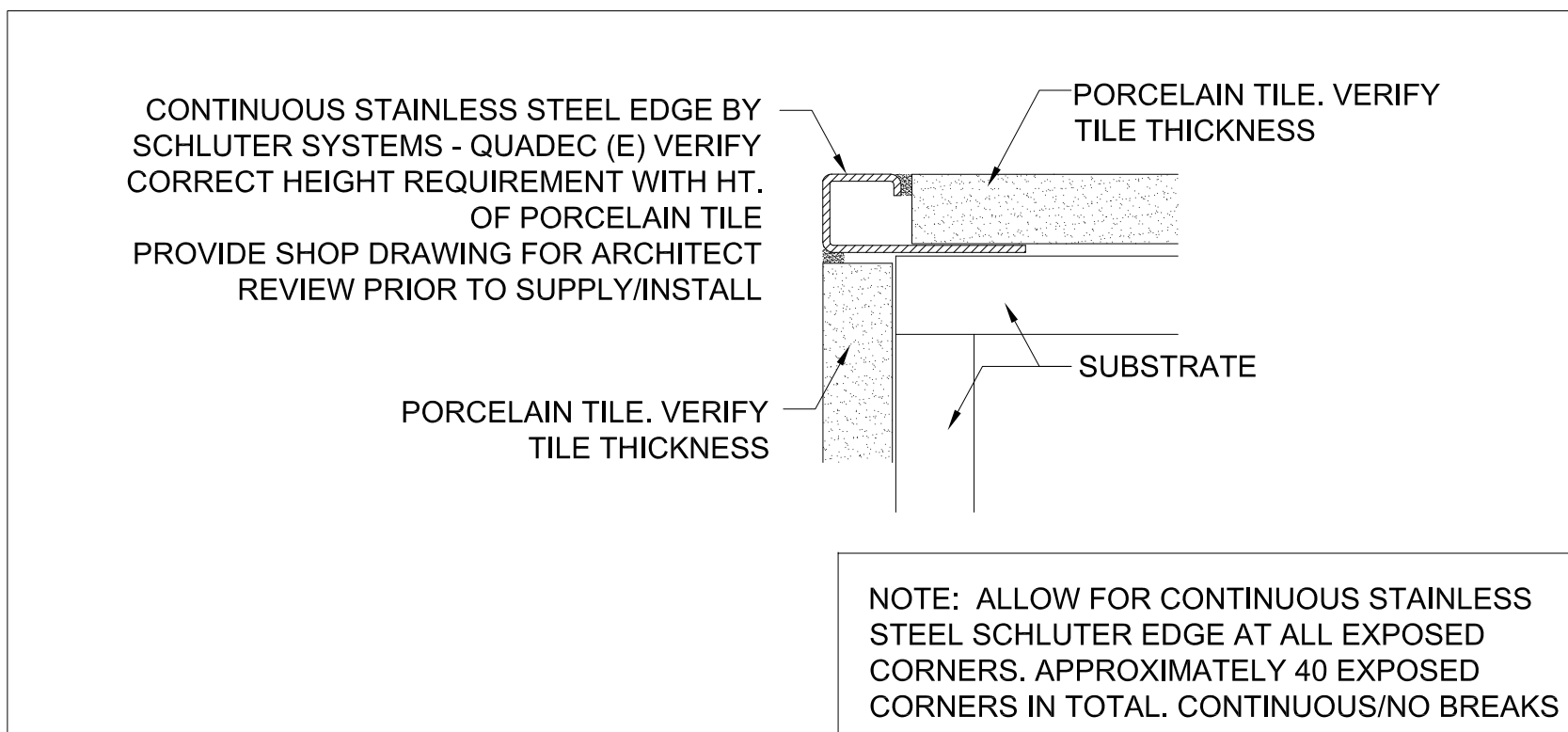


2 DETAIL: MIRROR AT PORCELAIN TILE
SCALE - NTS

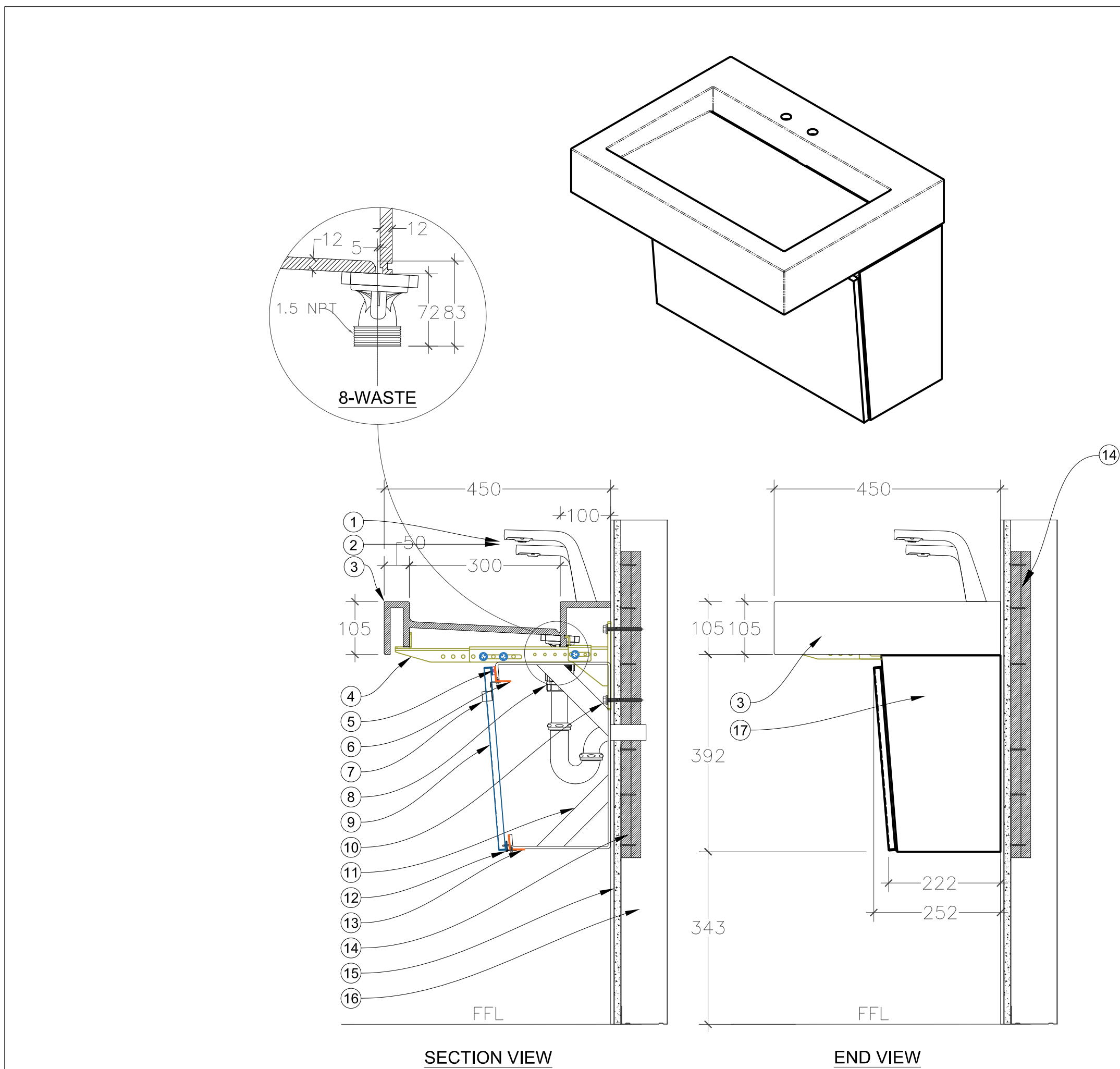
TILE SERIES: COLORS SERIES
COLOR: BLUE MATTE
SIZE: 60CM X 60CM TILE CUT TO SUIT ELEVATION DWGS
PROVIDE SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO SUPPLY/INSTALL.

NOTES

1. PROVIDE ADEQUATE BRACING IN WALL CAVITY FOR SUPPORT OF WASHROOM ACCESSORIES AND FIXTURES. PATCH/REPAIR WALL AS REQ'D
2. ALLOW FOR 1% SLOPE TO DRAIN WHERE DRAIN HAS BEEN SPECIFIED ON MECHANICAL DRAWINGS
3. PROVIDE WATERPROOF MEMBRANE BETWEEN TILE AND SUBFLOOR
4. REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR PLUMBING RELATED FIXTURE SPECS
5. REFER TO ELECTRICAL ENGINEER'S SPECS FOR POWER, LIGHTING AND LIFE SAFETY SPECIFICATION
6. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MILLWORK, FIXTURES AND ACCESSORIES PRIOR TO SUPPLY/INSTALL
7. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MIRRORS AND BACK-PAINTED



3 DETAIL: CONTINUOUS STAINLESS STEEL EDGE AT PORCELAIN TILE
SCALE - NTS



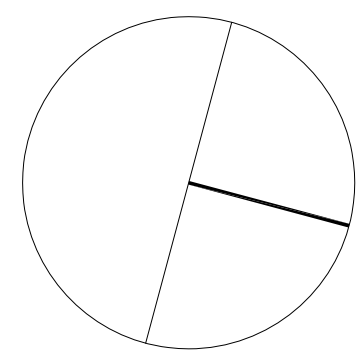
4 SECTION: TYPICAL WASHROOM VANITY BY ARDEC
SCALE - NTS

Product Key			
#	Description	Material / Type	QTY
1	Faucet	Lovair Ribbon	1 Per User
2	Soap Dispenser	Lovair Ribbon	1 Per User
3	Maxi Slab Vanity	Lovair	Custom
4	Ardec Adjustable Bracket	Metal Powder Coated White	2 Per 500mm
5	Pipe Skirt Door Magnets	Earth Magnets	2 Per Panel
6	Pipe Skirt Top Rail	Metal Power Coated Black	1 Per Panel
7	Optional Pipe Skirt Door Lock	Not Specified	1 Per Panel
8	Lovair Waste Funnel (1.5 NPT)	ABS Plastic	1 Per User
9	Pipe Skirt Door / Front Panel	Stainless Steel	1 Per 1000mm
10	Bolts For Mounting Adjustable Bracket	5/16" x 2-1/2" Lag Bolts/Washer	2 Per Bracket
11	Pipe Skirt Bracket	Metal Power Coated Black	2 Per Panel
12	Pipe Skirt Door Hinge	Stainless Steel	1 Per Panel
13	Pipe Skirt Bottom Rail	Metal Power Coated Black	1 Per Panel
14	Blocking In Wall	Double 3/4" Waterproof Fireproof / Plywood	Not Included
15	Wall Cladding	As Per Customer	Not Included
16	Wall Structure	As Per Customer	Not Included
17	Optional Pipe Skirt End Panels	Stainless Steel	As Required

SUBMISSION	DATE	DESCRIPTION
1	11-04-2021	ISSUED FOR FEASIBILITY REVIEW
2	11-25-2021	ISSUED FOR FEASIBILITY REVIEW
3	12-14-2021	ISSUED FOR FEASIBILITY REVIEW
4	12-20-2021	ISSUED FOR FEASIBILITY REVIEW
5	01-22-2022	ISSUED FOR FINAL REVIEW
6	03-14-2022	ISSUED FOR 60% REVIEW
7	04-27-2022	ISSUED FOR 80% REVIEW
8	05-31-2022	ISSUED FOR 97% REVIEW
9	06-13-2022	ISSUED FOR PERMIT/TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 4TH

BASE DATE: 01-01-2022

PROJECT:

TENDER # RFTC-652-22

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

DETAILS

SHEET NUMBER:

A802