

CITY OF TORONTO

ACCESSIBILITY UPGRADES

9119-19- 0612 / IBI 122260
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

GROUP 08
SEQ 13



ISSUES		
No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-01-21
B	90% SUBMISSION	2021-04-12
C	ISSUED FOR PERMIT	2021-04-12
D	ISSUED FOR TENDER	2021-07-23

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 08

NOT FOR CONSTRUCTION

ISSUED FOR TENDER

PROJECT NO: 9119-19- 0612 / IBI 122260	
DATE: 2021-07-23	
SHEET NUMBER G08-013-G0001	ISSUE D

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G0002	DRAWING LIST AND BUILDING CODE MATRIX

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E2102	POWER & SYSTEMS PLAN 2ND FLOOR

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Project Management Office
Metro Hall Toronto, ON
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CONSULTANTS

SEAL

PRIME CONSULTANT

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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:
9119-19- 0612 / IBI 122260

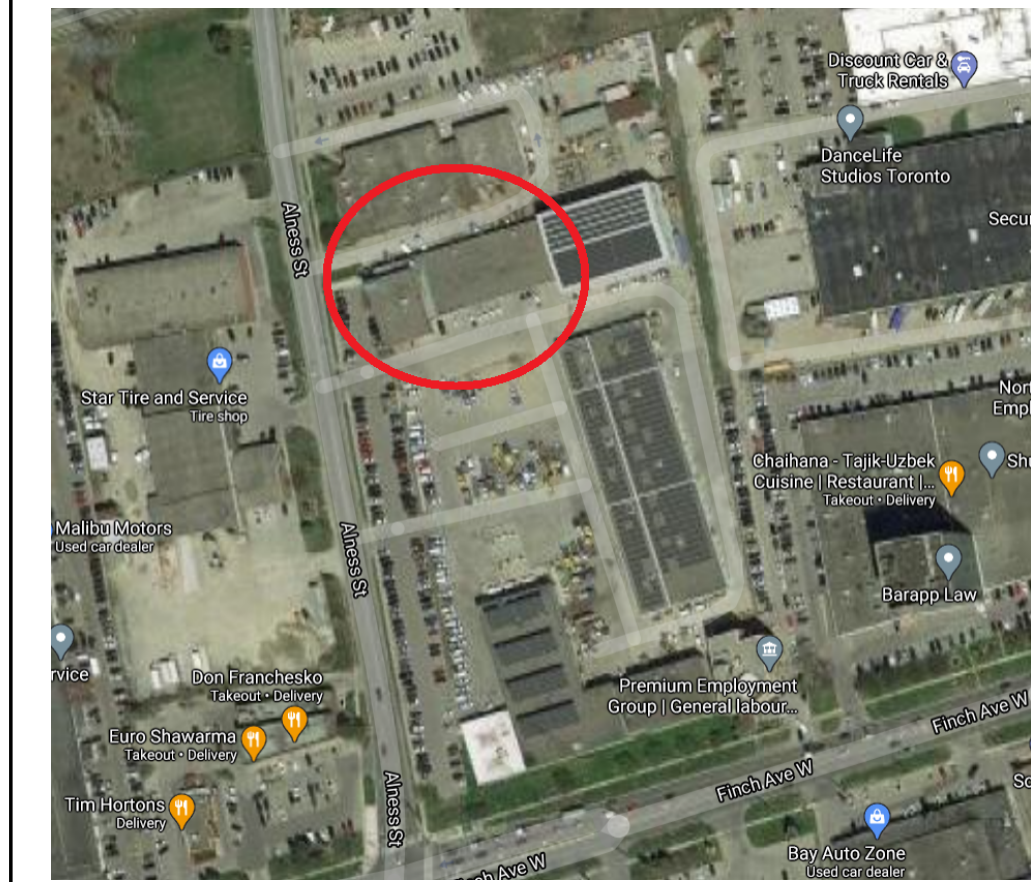
DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
DRAWING LIST AND
BUILDING CODE MATRIX

SHEET NUMBER G08-013-G0002	ISSUE D
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Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620				Name of Project 1026 FINCH AVE W - ACCESSIBILITY UPGRADES Location 1026 FINCH AVE W NORTH YORK, ON M3J 2E2			
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9			OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		REMARKS	
1.	PROJECT DESCRIPTION <input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration			<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input checked="" type="checkbox"/> PART 3 1.1.2. [A]		<input type="checkbox"/> PART 9 1.1.2. [A] & 9.10.1.3.
2.	MAJOR OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANIES SUBSIDIARY OCCUPANCY(S)			3.1.2.1. (1)	9.10.2.	EXISTING NO CHANGE	
3.	BUILDING AREA (m²) EXISTING - 688 NEW - 0 TOTAL - 688			1.4.1.2. [A]	1.4.1.2. [A]		
4.	GROSS AREA (m²) EXISTING - 1212.6 NEW - 0 TOTAL - 1212.6			1.4.1.2. [A]	1.4.1.2. [A]	EXISTING NO CHANGE	
5.	NUMBER OF STOREYS ABOVE GRADE - 2 BELOW GRADE -			1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.		
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1			3.2.2.10. & 3.2.5.	9.10.20.		
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE			3.2.2.67.	9.10.2.		
8.	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED			3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX	EXISTING NO CHANGE	
9.	STANDPIPE REQUIRED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO STANDPIPE PROVIDED <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.2.9.	N/A	EXISTING NO CHANGE	
10.	FIRE ALARM REQUIRED <input type="checkbox"/> YES <input type="checkbox"/> NO FIRE ALARM PROVIDED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			3.2.4.	9.10.18.	EXISTING NO CHANGE	
11.	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO			3.2.5.7.	N/A	EXISTING NO CHANGE	
12.	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.2.6.	N/A		
13.	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH			3.2.2.67.	9.10.6.	EXISTING NO CHANGE	
14.	MEZZANINE (S) AREA m² N/A			3.2.1.1. (3) - (8)	9.10.4.1.		
15.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING			3.1.17.	4.9.13.	EXISTING NO CHANGE	
1ST FLOOR: OCCUPANCY _____ LOAD _____ PERSONS							
2ND FLOOR: OCCUPANCY _____ LOAD _____ PERSONS							
MEZZANINE FLOOR: OCCUPANCY _____ LOAD _____ PERSONS							
16.	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)			3.8.	9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE	
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			3.3.1.2 & 3.3.1.19	9.10.1.3.(4)		
18a.	REQUIRED FIRE	HORIZONTAL ASSEMBLIES	LISTED DESIGN NO.	3.2.2.67.	9.10.8.		
RESISTANCE RATING (FRR)		FRR (HOURS)	OR DESCRIPTION (SB-2)	& 3.2.1.4.	9.10.9.		
	FLOORS	NO CHANGE					
	ROOF	NO CHANGE					
	MEZZANINE	N/A					

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		REMARKS	
18b.	REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SB-2)						SB-2 TABLE 2.1.1.				
		FLOORS NO CHANGE												
		ROOF NO CHANGE								SB-2 TABLE 2.1.1.				
		MEZZANINE												
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS												3.2.3.	9.10.14.	EXISTING NO CHANGE
WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLAZING	NON-COMB. CONST.				
	NORTH				-	0	-	-	-	-				
	SOUTH					-	0	-	-	-				
	EAST					-	0	-	-	-				
	WEST					-	0	-	-	-				
20. PLUMBING FIXTURE REQUIREMENTS												OBC REFERENCE		
MALE / FEMALE COUNT @ _____ % / _____ % EXISTING NO CHANGE										<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9				
EXCEPT AS NOTED OTHERWISE										OCCUPANT LOAD	OBC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED	
MAJOR OCCUPANCY _____										84 MALE	3.7.4.7.	5	6	3.7.4.7.
										41 FEMALE	3.7.4.7.	3	4	3.7.4.7.
21. EXITS/ ACCESS TO EXIT-												EXISTING NO CHANGE		
22. OTHER (DESCRIBE) -														
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building										OBC REFERENCE		REMARKS	
11.1	EXISTING BUILDING CLASSIFICATION:		DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)							11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N				
11.2	ALTERATION TO EXISTING BUILDING IS:		BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>							11.3.3.1. 11.3.3.2.				
11.3	REDUCTION IN PERFORMANCE LEVEL:		STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:							<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.			
11.4	COMPENSATING CONSTRUCTION:		STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:							<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6			
11.5	COMPLIANCE ALTERNATIVES PROPOSED:		<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)							11.5.1				



2 KEY MAP

A1201 Scale: NTS



PHOTO 01 - MAIN ENTRANCE, EXISTING CURB RAMP

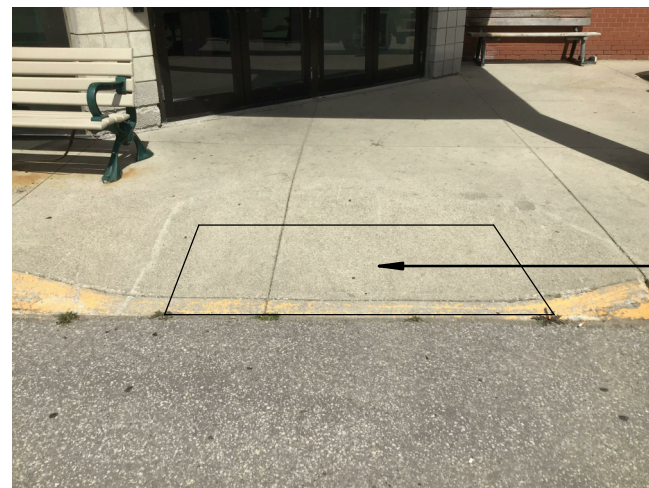


PHOTO 02 - EXISTING ENTRANCE / EXIT, EXISTING CURB RAMP



PHOTO 03 - PROPOSED ACCESSIBLE PARKING SPACE

EXISTING CHAIN LINK FENCE

MAIN ENTRANCE/ EXIT

EXISTING CHAIN LINK FENCE

EXISTING FOLDING PICNIC TABLE

REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR DETAILS

EXISTING CONCRETE WHEEL STOPPERS

EXISTING CONCRETE WALKWAY

TA-2a

610

550

2000

550

1760

SITE VERIFY

EXISTIG WOOD FENCE

EXISTIG CONCRETE CURB

EXISTING ASPHALT

EXISTING PARKING

CONCRETE SIDEWALK

ALNESS ST.

EXISTING ASPHALT PAVING

EXISTING LANDSCAPE

EXISTING SMALL VEHICLE GARAGE

EXISTING TWO STOREY FINCH YARD - BUILDING D

PORTABLE WASHROOM TRIALER TO BE PLACED BETWEEN GARAGE DOORS. THIS AREA HAS THE ELECTRICAL AND WATER SUPPLY CONNECTIONS NEARBY

EXISTING CONCRETE WALKWAY TO REMAIN

ENTRANCE / EXIT

EXISTING ASPHALT DRIVEWAY

EXISTING PLANTER

SITE LEGEND



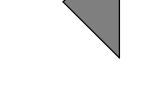
NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



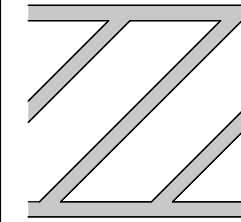
ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



EXISTING MAIN ENTRANCE



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701



DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
- 2 CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO DETAIL 1/D1402.

CLIENT

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ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19-0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

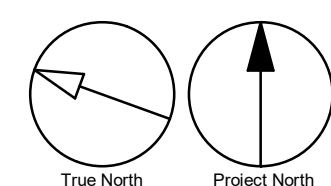
SHEET TITLE
SITE PLAN - PROPOSED

SHEET NUMBER

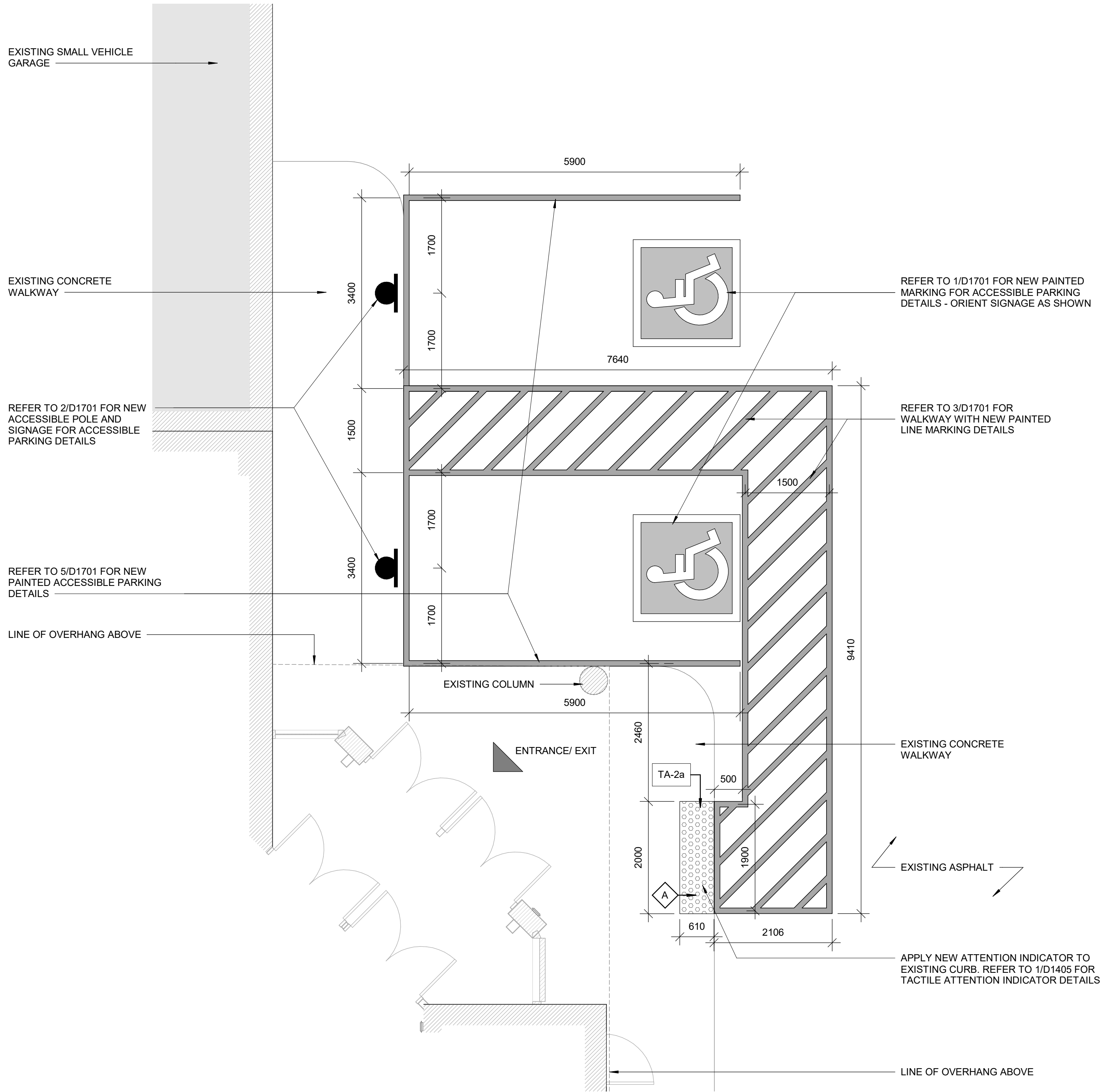
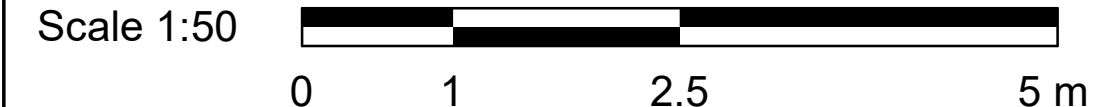
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ISSUE

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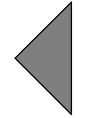
SITE LEGEND



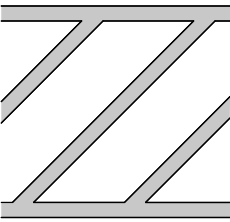
NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701

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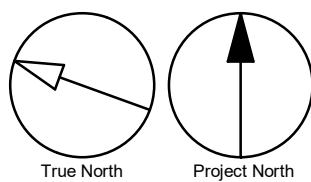
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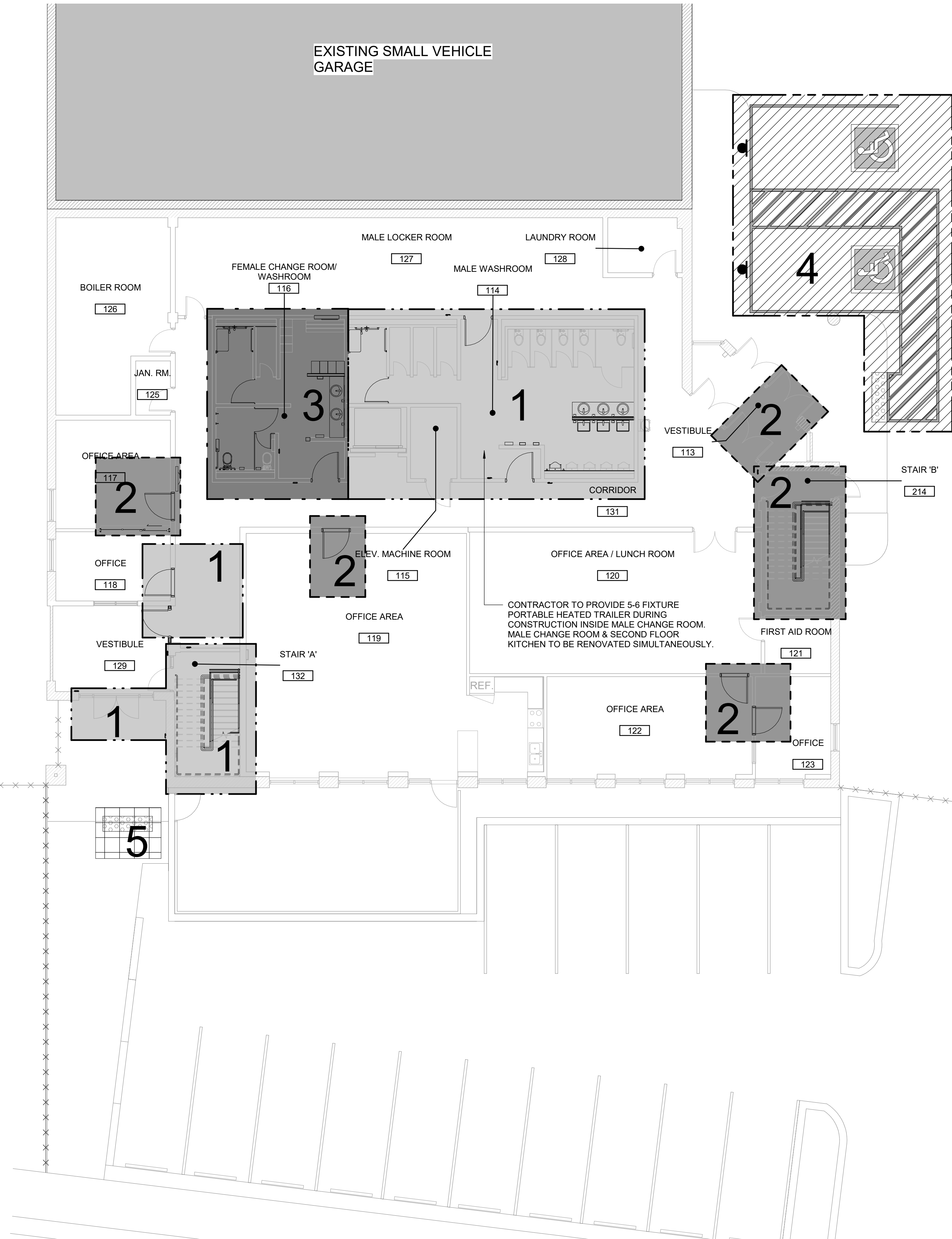
SHEET TITLE
**SITE PLAN - PROPOSED
PARKING**

SHEET NUMBER
G08-013-A1202

ISSUE
D



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CONSTRUCTION STAGING LEGEND

- STAGE 1
- STAGE 2
- STAGE 3
- STAGE 4
- STAGE 5

STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.
- PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

NOTE: WORK IN THE SECOND FLOOR UNIVERSAL WASHROOM AND WOMEN'S WASHROOMS TO BE COMPLETED PRIOR TO THE GROUND FLOOR WASHROOMS WORK

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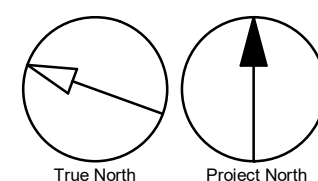
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DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE

**FIRST FLOOR STAGING
PLAN**

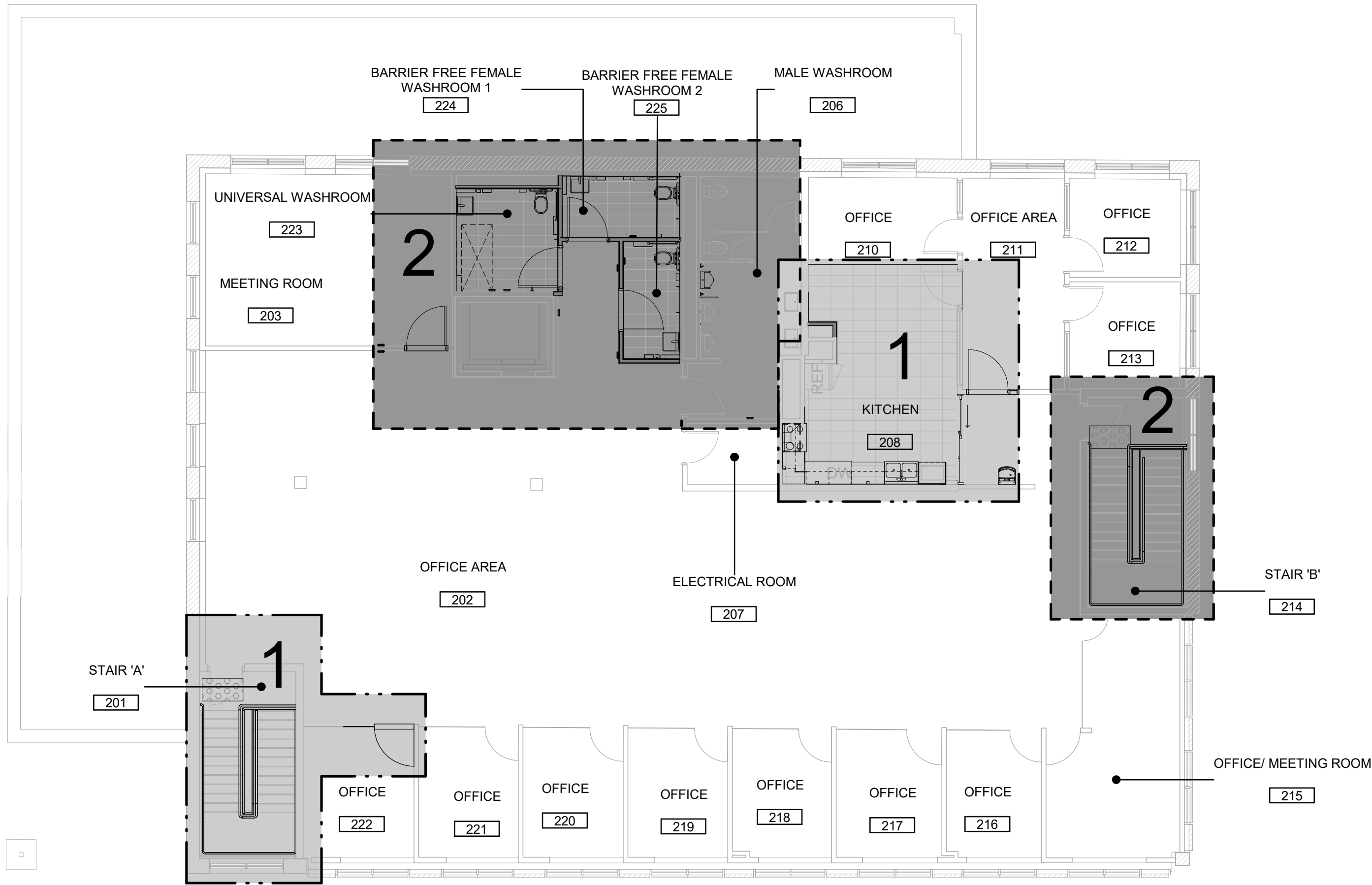
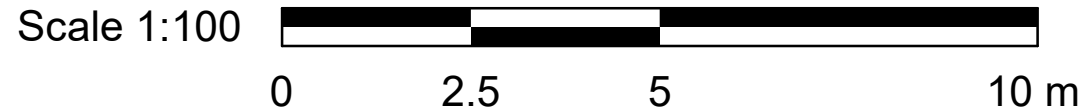
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G08-013-A2011	D



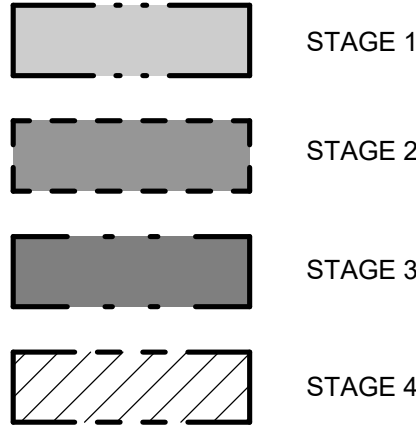
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CONSTRUCTION STAGING LEGEND



STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.
- PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

NOTE: WORK IN THE SECOND FLOOR UNIVERSAL WASHROOM AND WOMEN'S WASHROOMS TO BE COMPLETED PRIOR TO THE GROUND FLOOR WASHROOMS WORK

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CONSULTANTS

SEAL

PRIME CONSULTANT



PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
S. HOUT

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

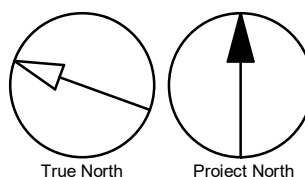
SHEET TITLE
**SECOND FLOOR
STAGING PLAN**

SHEET NUMBER

G08-013-A2021

ISSUE

D



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PHOTO 01 - DEMOLISH AND DISPOSE OF GLASS PARTITION, GLASS DOOR AND HARDWARE. PATCH AND PAINT WALL, CEILING AND FLOOR TO MATCH EXISTING



PHOTO 02 - RELOCATE FURNITURE & MILLWORK. G.C. TO COORDINATE WITH OWNER



PHOTO 03 - APPLIANCES TO BE RELOCATED TO NEW KITCHEN. G.C. TO COORDINATE WITH OWNER



REMOVE AND DISPOSE EXISTING TILE TO RECEIVE NEW TILES



PHOTO 05- EXISTING ACCESSIBLE STALL DOOR IN MALE WASHROOM



PHOTO 06- EXISTING ACCESSIBLE STALL FEMALE WASHROOM

CUT EXISTING FLOOR AND CEILING TO PROVIDE ACCESS TO EXISTING DRAINAGE AND WATER PIPES. EXACT LOCATION TO BE VERIFIED ON SITE

APPLIANCES TO BE RELOCATED TO NEW KITCHEN 208 REFER TO A2421

REMOVE AND DISPOSE EXISTING TILE TO RECEIVE NEW TILES

REMOVE AND DISPOSE EXISTING TILE TO RECEIVE NEW TILES

RELOCATE EXISTING LIGHT SWITCH TO ACCOMMODATE DOOR WIDENING. NEW LIGHT SWITCH TO BE MOUNTED AT 1050MM AFF. REFER TO ELECTRICAL DRAWINGS

REMOVE EXISTING CONTROLS AND HANDRAILS FROM ELEVATOR CABIN
EXISTING BULKHEAD AND CEILING ABOVE TO REMAIN

REMOVE EXISTING BFPB

CUT EXISTING FLOOR AND CEILING TO PROVIDE ACCESS TO EXISTING DRAINAGE AND WATER PIPES. EXACT LOCATION TO BE VERIFIED ON SITE

REMOVE AND DISPOSE OF GLASS PARTITION, GLASS DOOR AND HARDWARE. PATCH AND PAINT WALL, CEILING AND FLOOR TO MATCH EXISTING
EXISTING GLASS DOOR HANDLE AND HINGES TO REMAIN - REFER TO A6011

RELOCATE FURNITURE & MILLWORK

REMOVE AND DISPOSE OF GLASS PARTITION, GLASS DOOR AND HARDWARE. PATCH AND PAINT WALL, CEILING AND FLOOR TO MATCH EXISTING



PHOTO 07 -EXISTING FEMALE WASHROOM. EXISTING PLUMBING FIXTURES AND ACCESSORIES TO BE REMOVED



PHOTO 08 -EXISTING FEMALE WASHROOM. EXISTING WALL FIXTURES TO BE REMOVED



PHOTO 09 -EXISTING MALE WASHROOM BFPB



PHOTO 10 -EXISTING MALE WASHROOM BFPB



PHOTO 11 -EXISTING BULKHEAD AND CEILING TO REMAIN

DEMOLITION KEY LEGEND

----- EXISTING TO BE DEMOLISHED
- - - - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
// // // EXISTING EXTERIOR WALL TO REMAIN
===== EXISTING PARTITION TO REMAIN

EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED

EXISTING DOOR TO REMAIN

DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE EXISTING ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AS IDENTIFIED IN THE ELECTRICAL DRAWINGS. RE-ROUTE MECHANICAL & ELECTRICAL AS REQUIRED.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, PAINT, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
4	REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME IF REQUIRED. PATCH AND FILL AS REQUIRED. REFER TO DETAIL D1002 AND D1002
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
10	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND HANDRAIL POST BASE. PATCH AND MAKE GOOD ALL SURFACES.
28	REMOVE EXISTING WASHROOM ACCESSORIES AND PREPARE WALL SURFACE FOR NEW ACCESSORIES. PATCH, REPAIR AND MAKE GOOD EXISTING WALL AND WALL FINISHES.
30	CURTAIN WALL, GLAZING, EXTERIOR DOOR AND HARDWARE TO BE REMOVED.
34	REMOVE EXISTING DRINKING FOUNTAIN TO ACCOMMODATE NEW DRINKING FOUNTAIN.

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

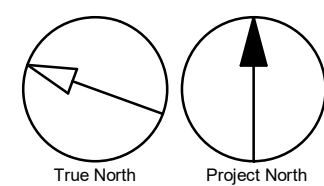
PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260
DRAWN BY:
A. KVASNIUK
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
S. HOUT
APPROVED BY:
E. FENUTA

SHEET TITLE
**SECOND FLOOR
DEMOLITION PLAN**

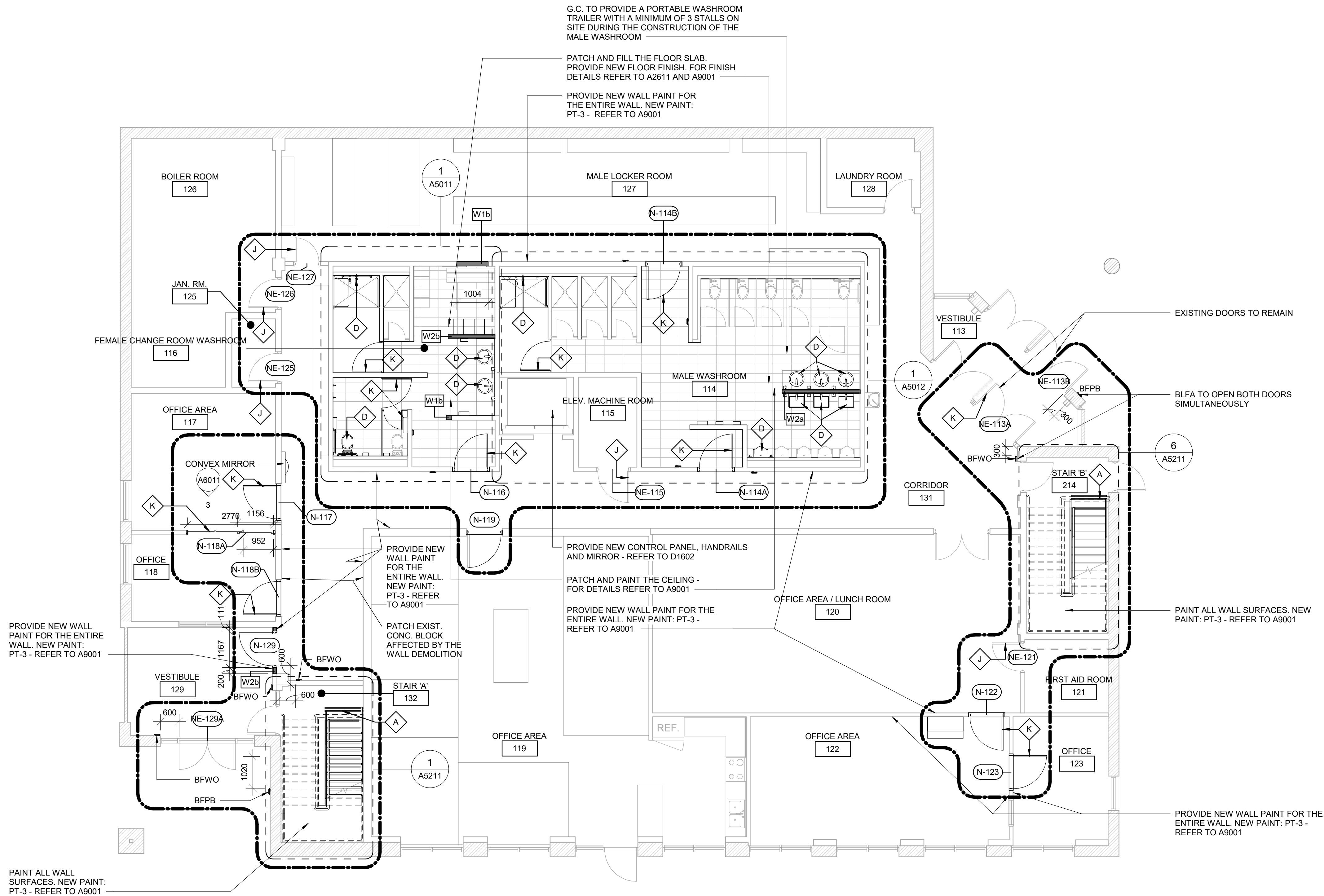
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CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR
NEW HARDWARE
- DASHED AREA INDICATES
AREA OF WORK

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO DETAIL 1/D1402.
D	INSTALL NEW PLUMBING FIXTURES AND WASHROOM ACCESSORIES - REFER TO DETAIL D1201.
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1003 AND SPECS FOR DOOR TYPE AND DOOR HARDWARE.

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PROJECT TITLE
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ACCESSIBILITY UPGRADES**

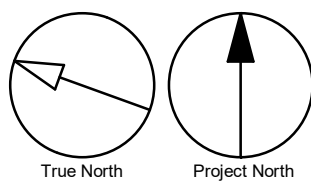
PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**FIRST FLOOR
PROPOSED PLAN**

SHEET NUMBER G08-013-A2411	ISSUE D
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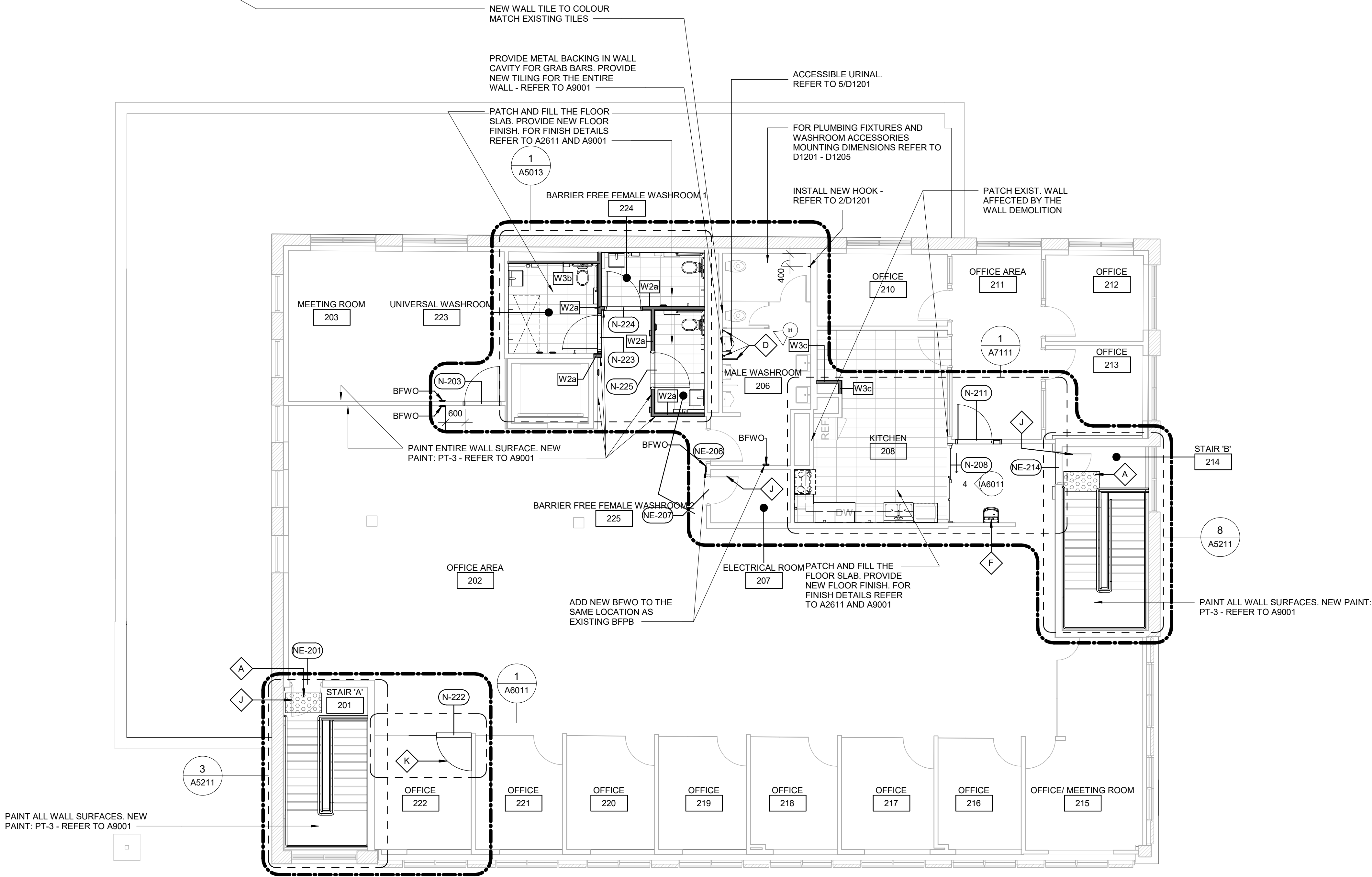


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PHOTO 01 - MALE WASHROOM-EXISTING WALL TILE



CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR
NEW HARDWARE
- DASHED AREA INDICATES
AREA OF WORK

CONSTRUCTION GENERAL NOTES

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- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION |
|----|--|
| A | INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO DETAIL 1/D1402. |
| D | INSTALL NEW PLUMBING FIXTURES AND WASHROOM ACCESSORIES - REFER TO DETAIL D1201. |
| F | INSTALL DRINKING FOUNTAIN - REFER TO DETAIL 5/D1301. |
| J | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |
| K | INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1003 AND SPECS FOR DOOR TYPE AND DOOR HARDWARE. |

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TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY:
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CHECKED BY:
S. HOUT

PROJECT MGR:
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APPROVED BY:
E. FENUTA

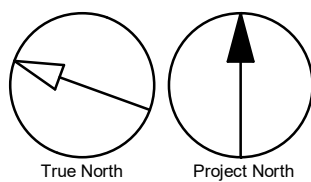
SHEET TITLE
**SECOND FLOOR
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SHEET NUMBER

G08-013-A2421

ISSUE

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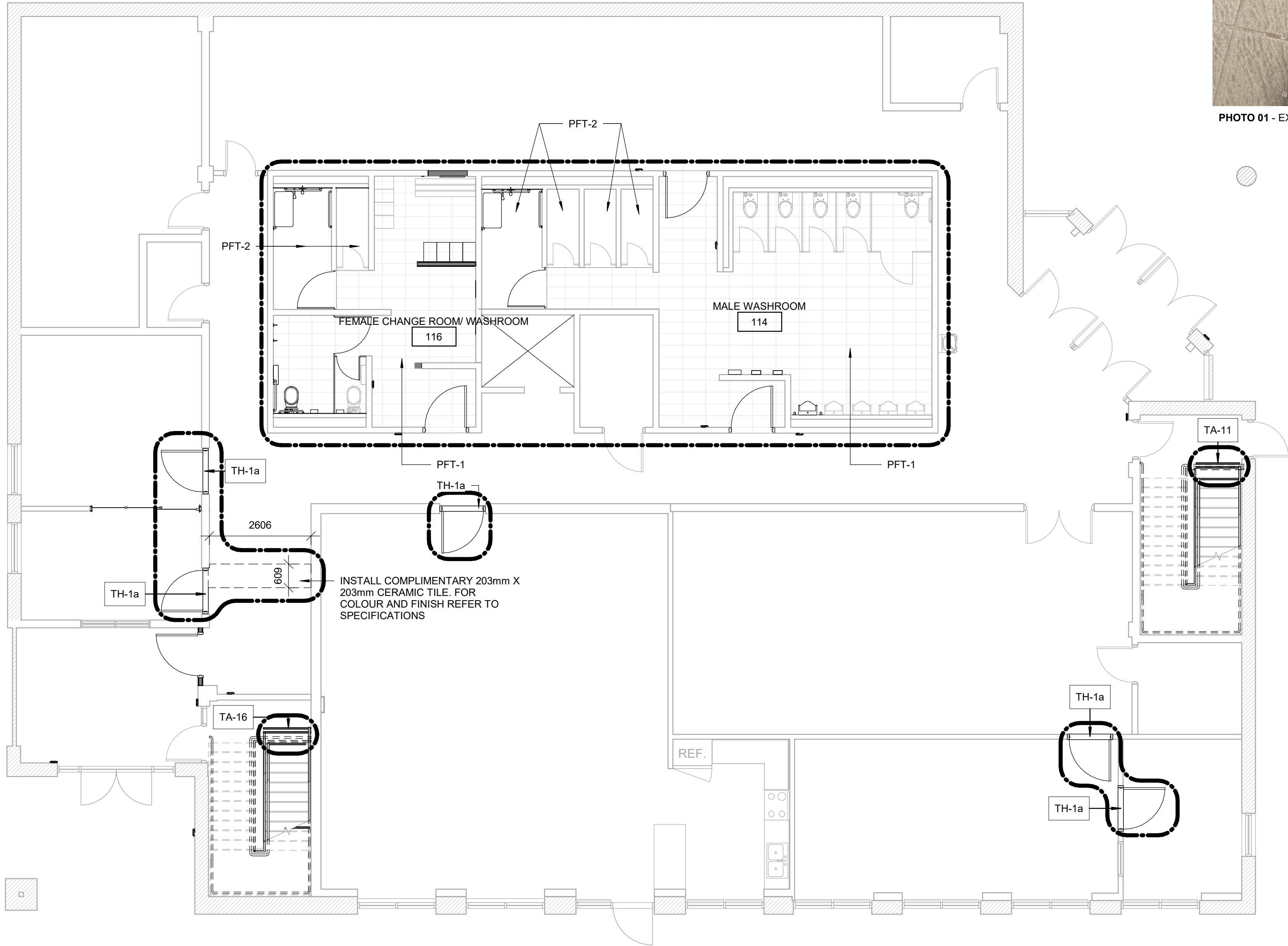
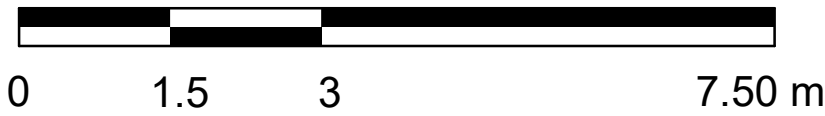
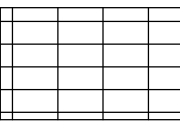


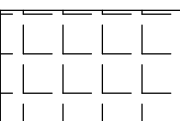
PHOTO 01 - EXISTING FLOOR TILE



FLOOR FINISHES LEGEND



PORCELAIN TILE



FLOOR FINISH TO MATCH EXISTING
REFER TO ROOM FINISH SCHEDULE



DASHED AREA INDICATES
AREA OF WORK

FLOOR FINISH GENERAL NOTES

- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- 2 CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
- 3 CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- 4 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- 5 PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
- 6 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- 7 MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

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PROJECT TITLE

**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:

9119-19- 0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

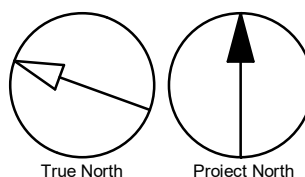
**FIRST FLOOR FINISH
PLAN**

SHEET NUMBER

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ISSUE

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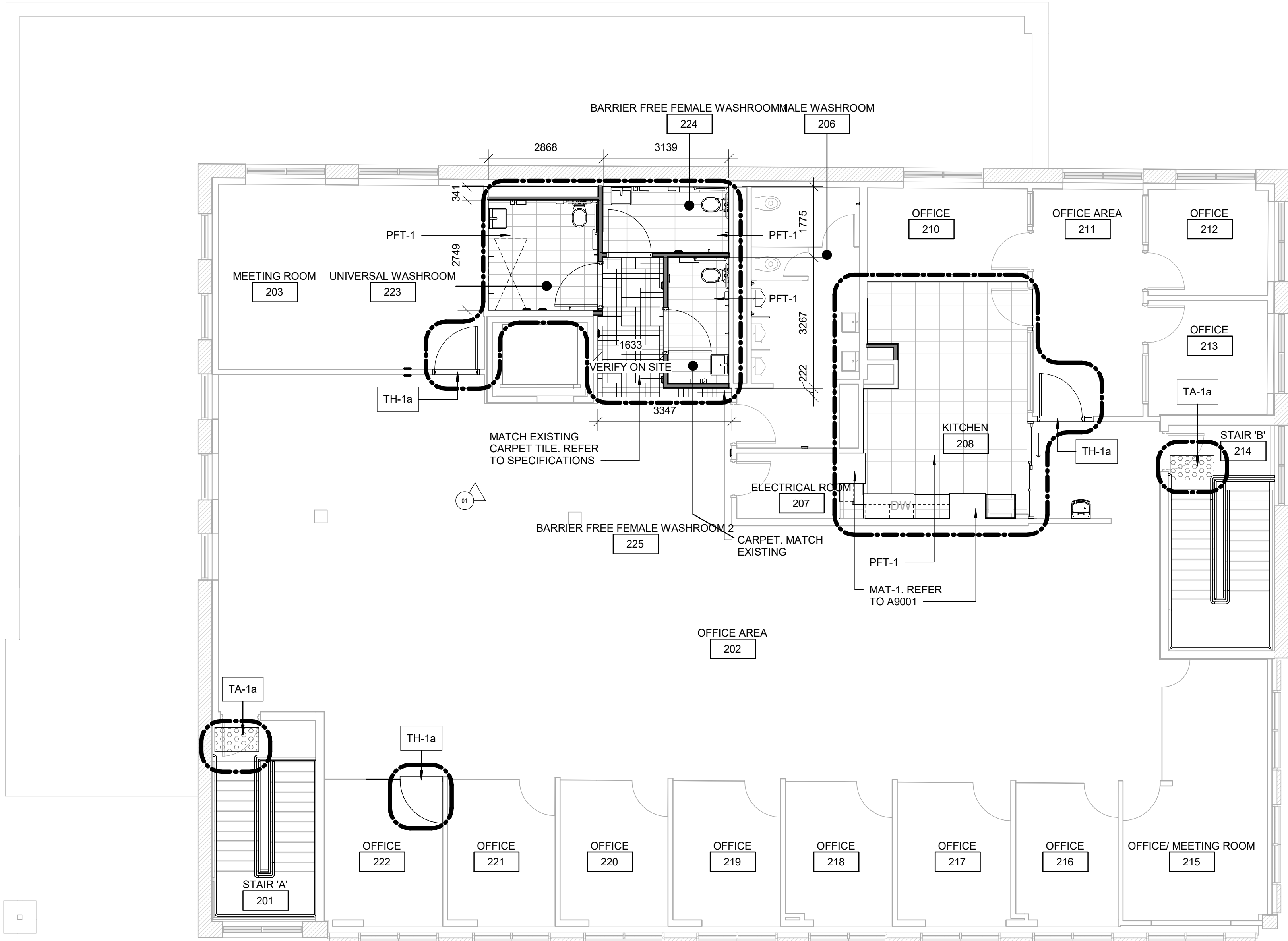
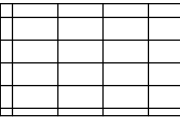
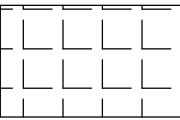



PHOTO 01 - EXISTING CARPET TILE OF THE OFFICE AREA

FLOOR FINISHES LEGEND

- 

PORCELAIN TILE
- 

FLOOR FINISH TO MATCH EXISTING
REFER TO ROOM FINISH SCHEDULE
- 

DASHED AREA INDICATES
AREA OF WORK

FLOOR FINISH GENERAL NOTES

- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
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- 4 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
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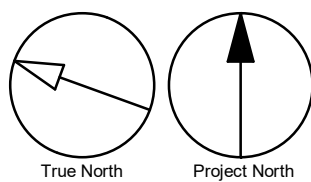
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**SECOND FLOOR FINISH
PLAN**

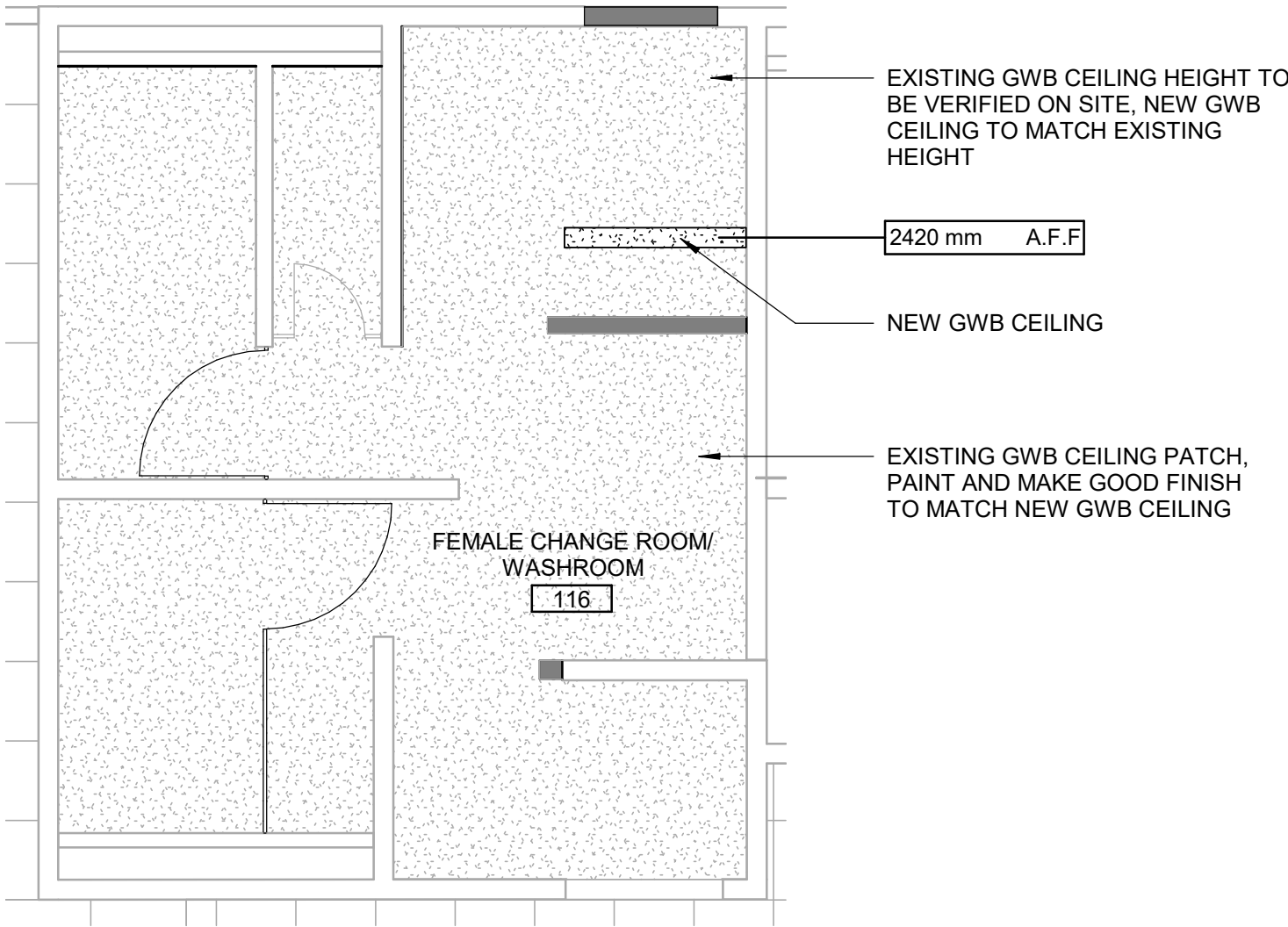
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G08-013-A2621

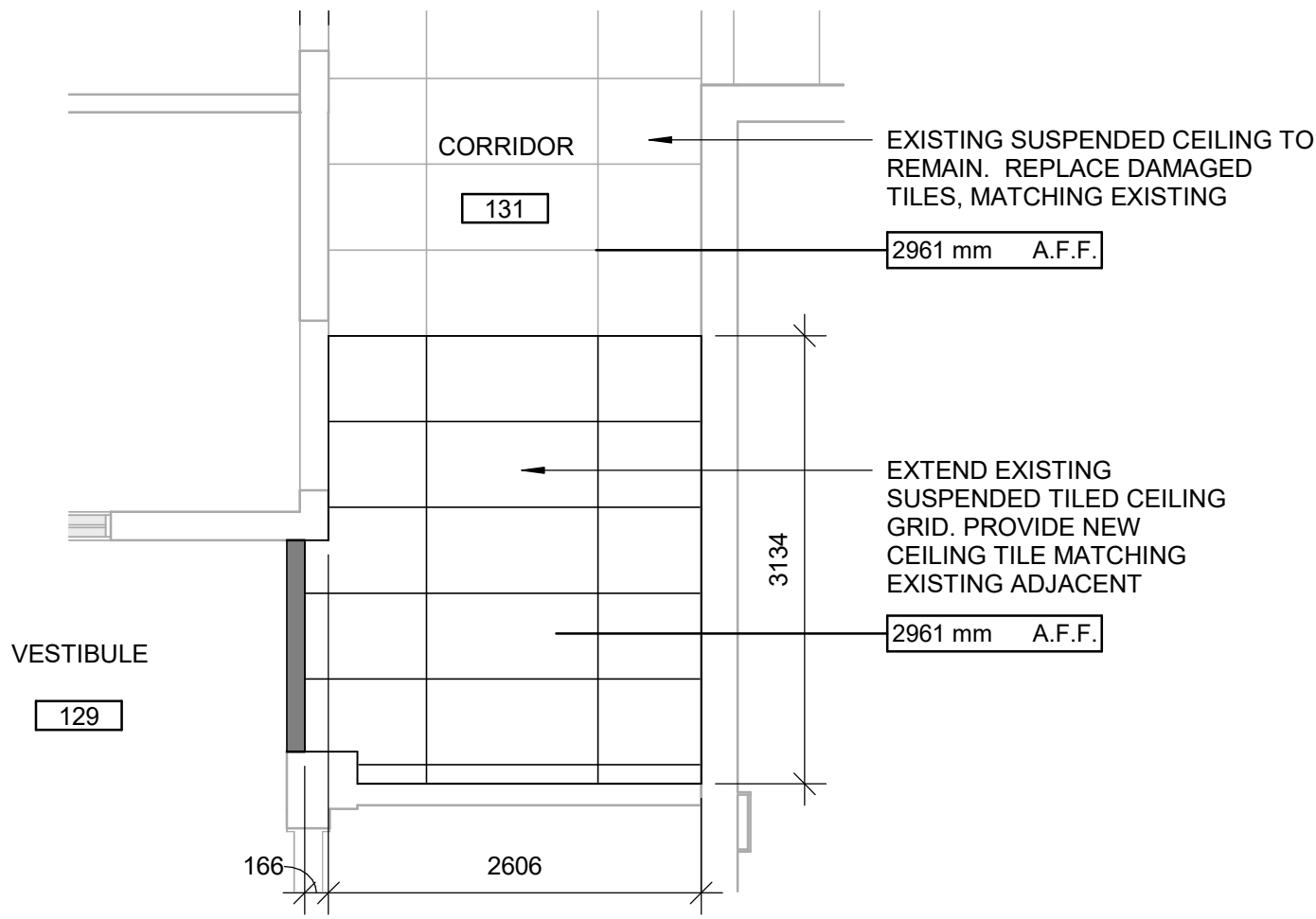
ISSUE

D





1 FIRST FLOOR-PROPOSED RCP - FEMALE CHANGE ROOM/ WASHROOM
A2811 / Scale: 1 : 50



2 FIRST FLOOR-PROPOSED RCP - VESTIBULE
A2811 / Scale: 1 : 50

CEILING LEGEND

SUSPENDED METAL GRID AND LAY-IN ACOUSTIC TILE SIZE TO MATCH EXISTING

GYPSUM BOARD CEILING AND BULKHEAD

CEILING GENERAL NOTES

- 1 FOR LOCATION OF ELECTRICAL FIXTURES INCLUDING EXIT SIGNS. REFER TO ELECTRICAL DRAWINGS.
- 2 FOR LOCATION & TYPE OF MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS.
- 3 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

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Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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No.	DESCRIPTION	DATE
A	90% SUBMISSION	2021-04-12
B	ISSUED FOR PERMIT	2021-04-12
C	ISSUED FOR TENDER	2021-07-23

CONSULTANTS

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ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE

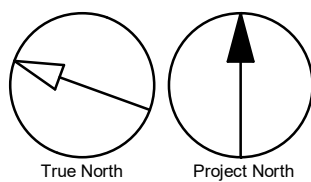
**FIRST FLOOR
REFLECTED CEILING
PLAN**

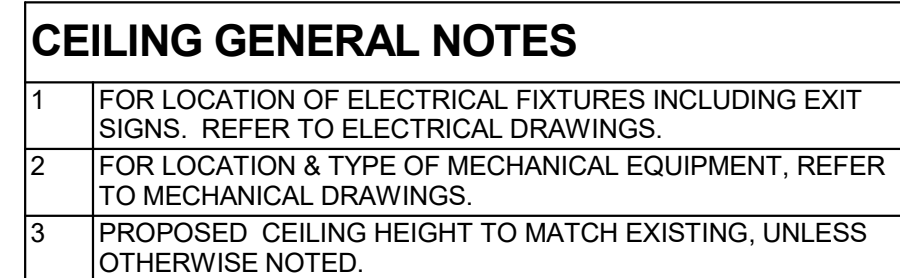
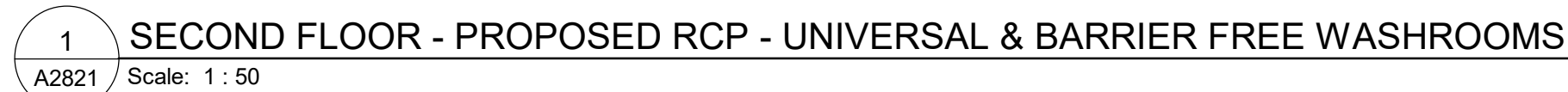
SHEET NUMBER

G08-013-A2811

ISSUE

C





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ISSUES		
No.	DESCRIPTION	DATE
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D	ISSUED FOR TENDER	2021-07-23

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PRIME CONSULTANT

PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

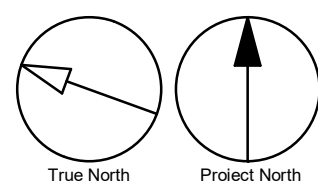
PROJECT NO:
9119-19- 0612 / IBI 122260

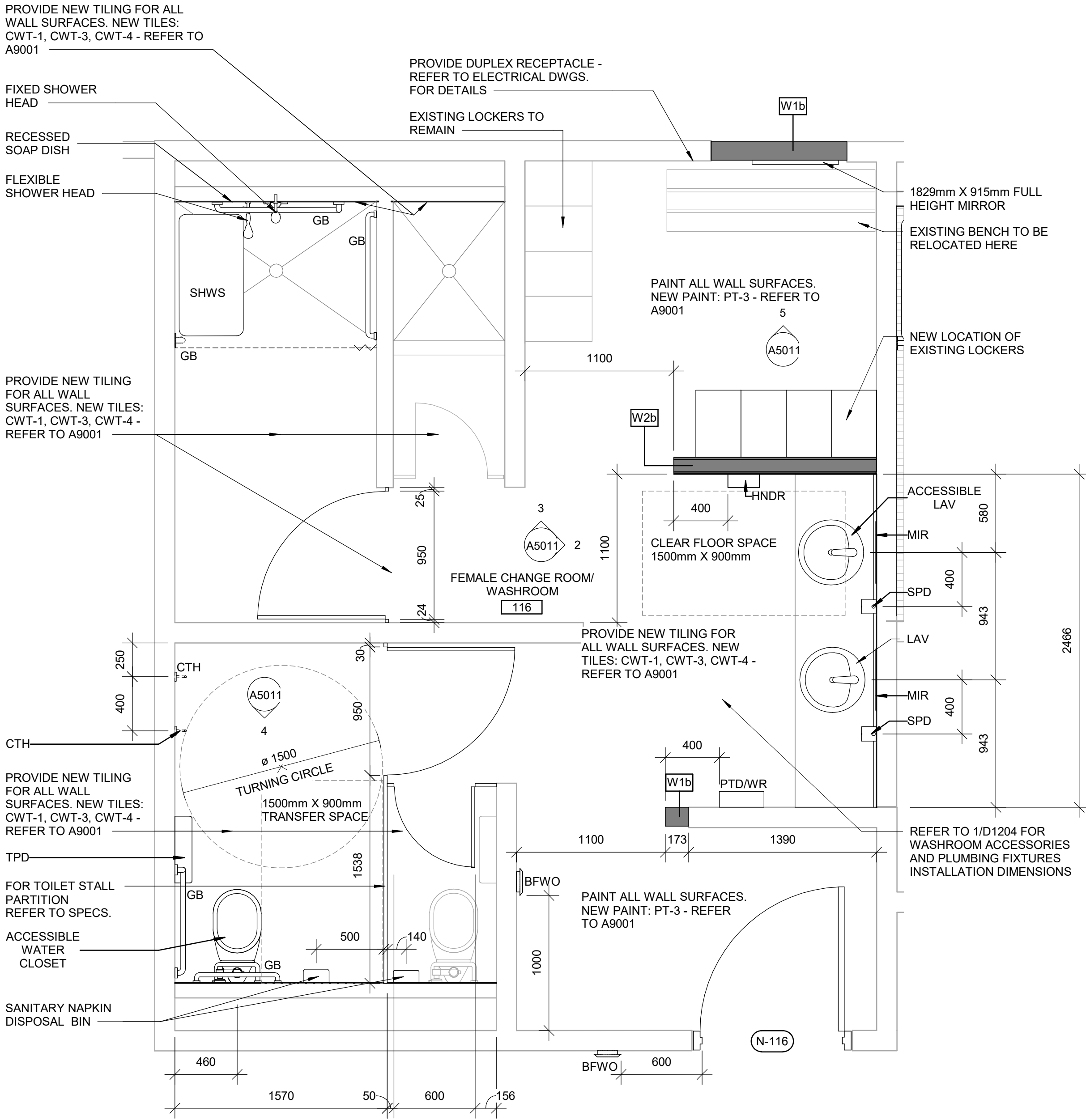
DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE

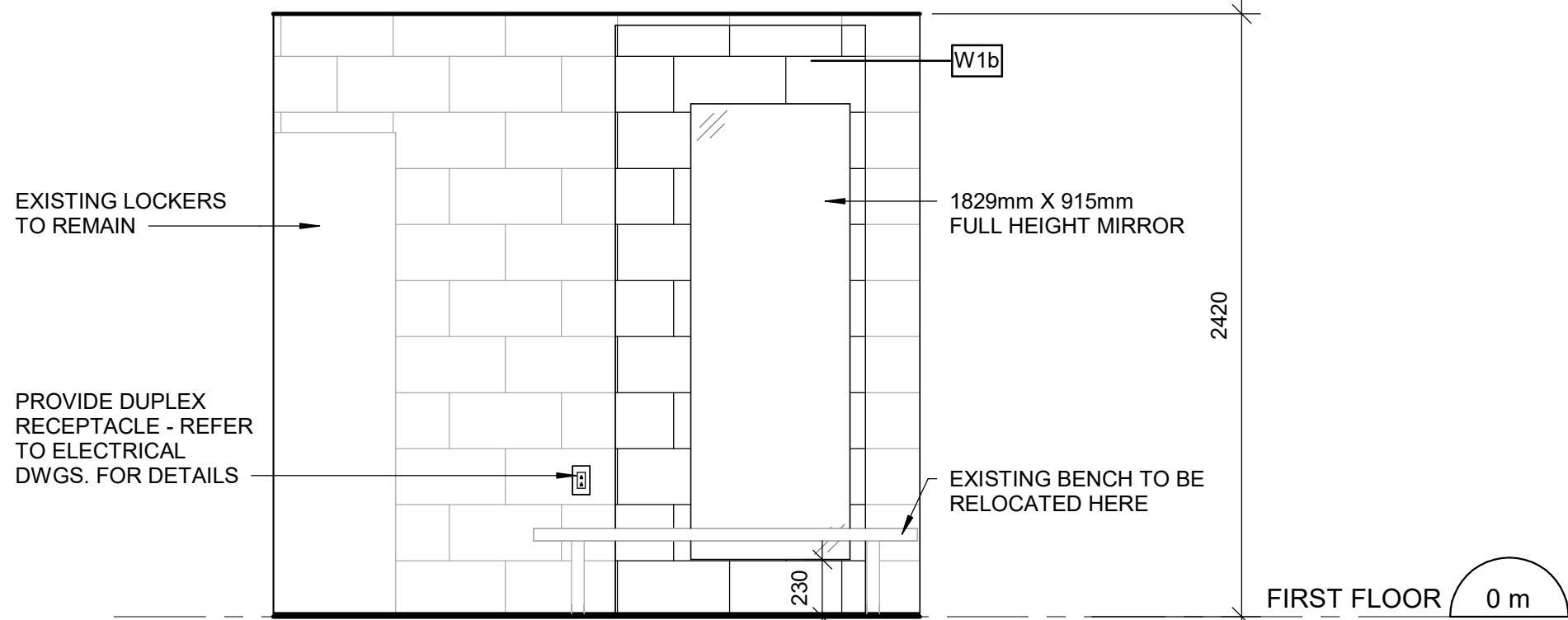
SECOND FLOOR
REFLECTED CEILING
PLAN

SHEET NUMBER
G08-013-A2821

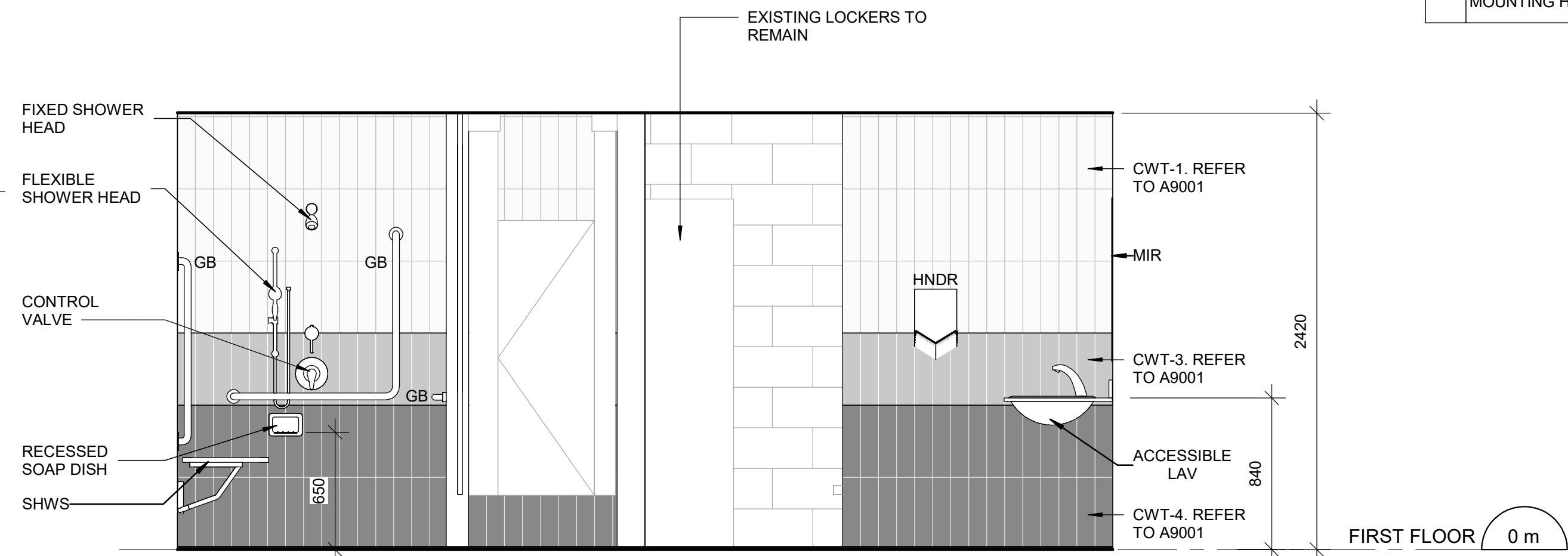
ISSUE
D



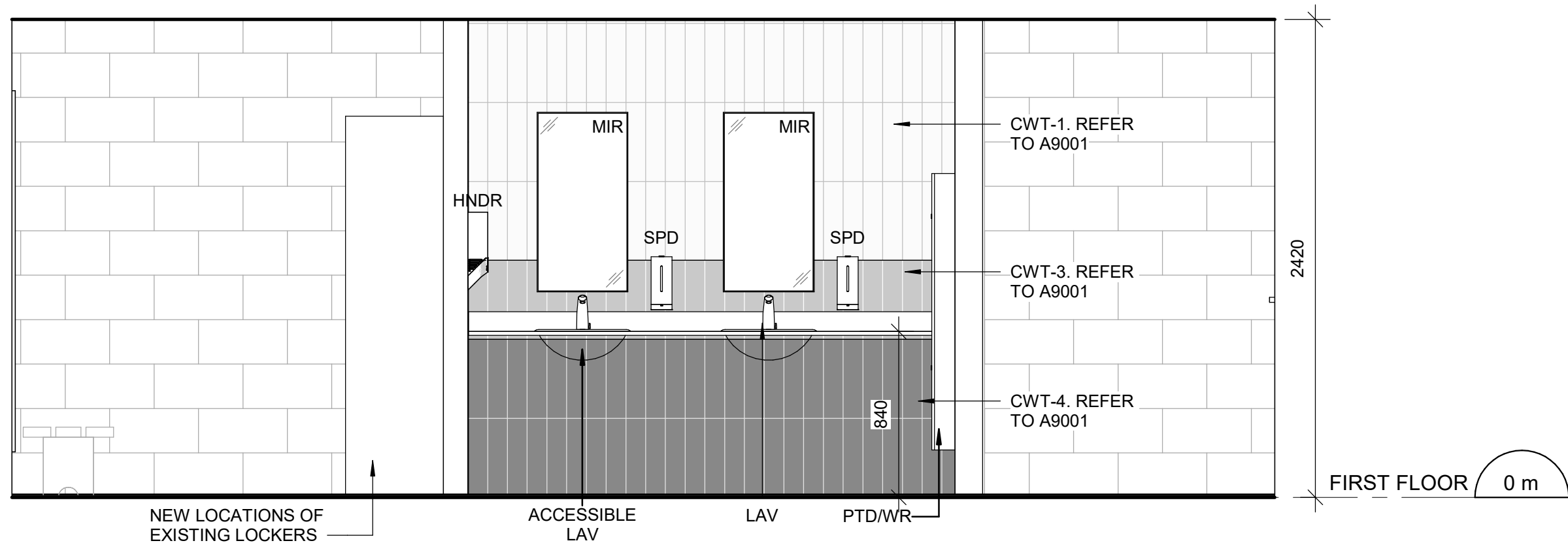
1 FIRST FLOOR-FEMALE CHANGE REOOM/ WASHROOM - PLAN
A5011 Scale: 1 : 25



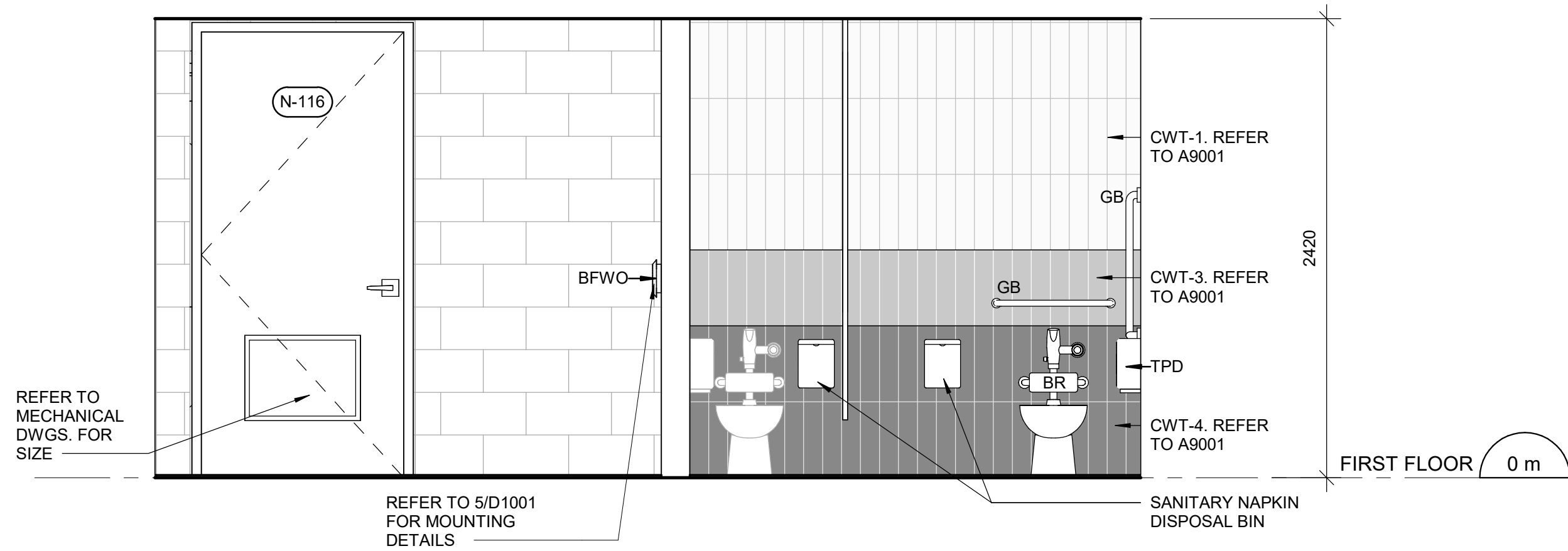
5 FIRST FLOOR - FEMALE WASHROOM ELEVATION 5
A5011 Scale: 1 : 25



3 FIRST FLOOR - FEMALE WASHROOM ELEVATION 2
A5011 Scale: 1 : 25



2 FIRST FLOOR - FEMALE WASHROOM ELEVATION 1
A5011 Scale: 1 : 25



4 FIRST FLOOR - FEMALE WASHROOM ELEVATION 4
A5011 Scale: 1 : 25

CONSTRUCTION KEY LEGEND

	EXISTING PARTITION TO REMAIN
	NEW PARTITION REFER TO PARTITION SCHEDULE
	EXISTING DOOR TO REMAIN
	NEW DOOR AND/ OR NEW HARDWARE

WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.
3	REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS.
4	REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS.
5	REFER TO 2/D1201 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS.
6	REFER TO 1/D1201 FOR ACCESSIBLE SHOWER ACCESSORIES MOUNTING HEIGHTS.

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Project Management Office
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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:

9119-19-0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

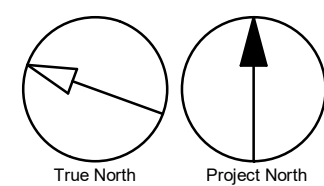
GROUND FLOOR
FEMALE WASHROOM
PLANS AND ELEVATIONS

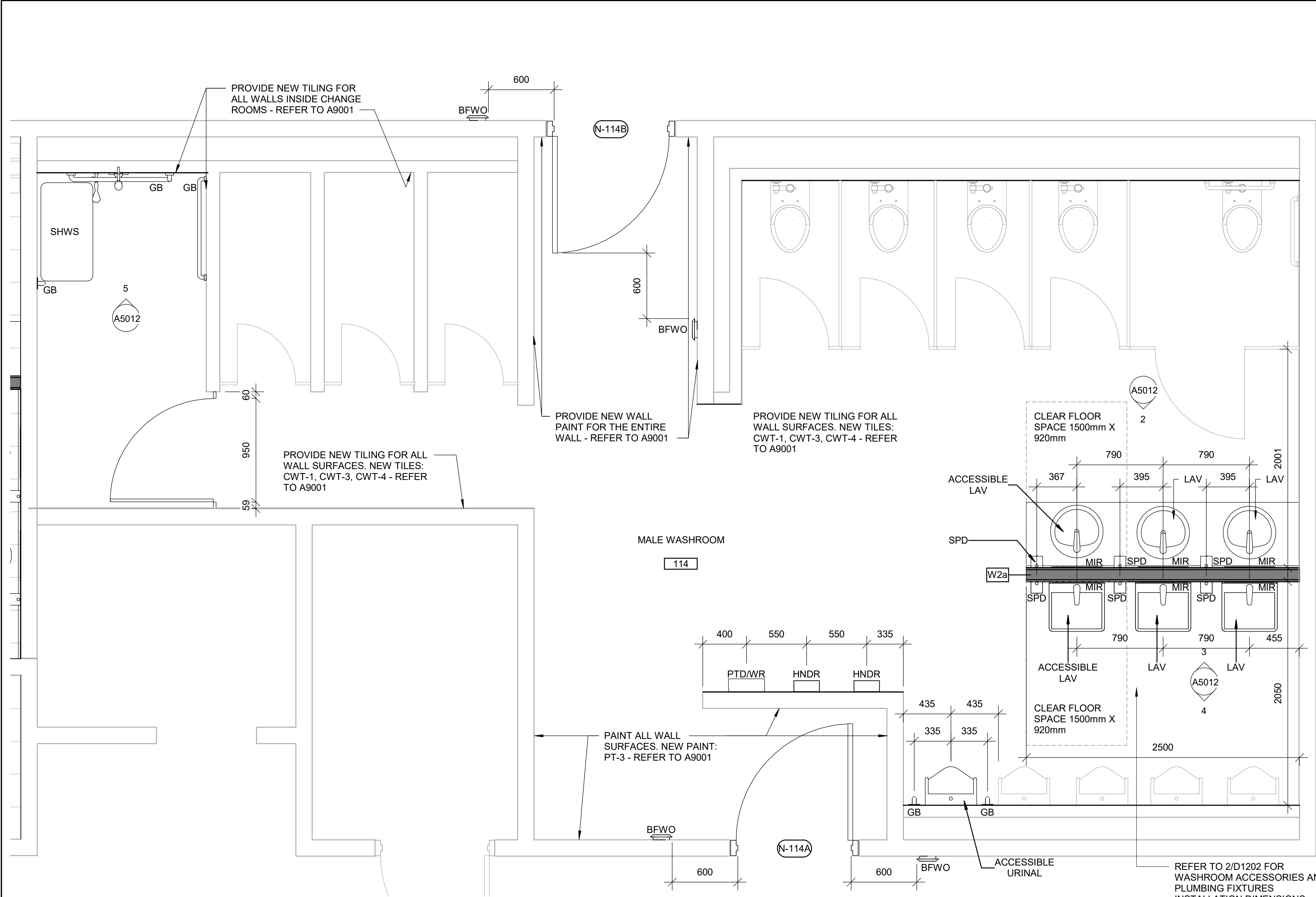
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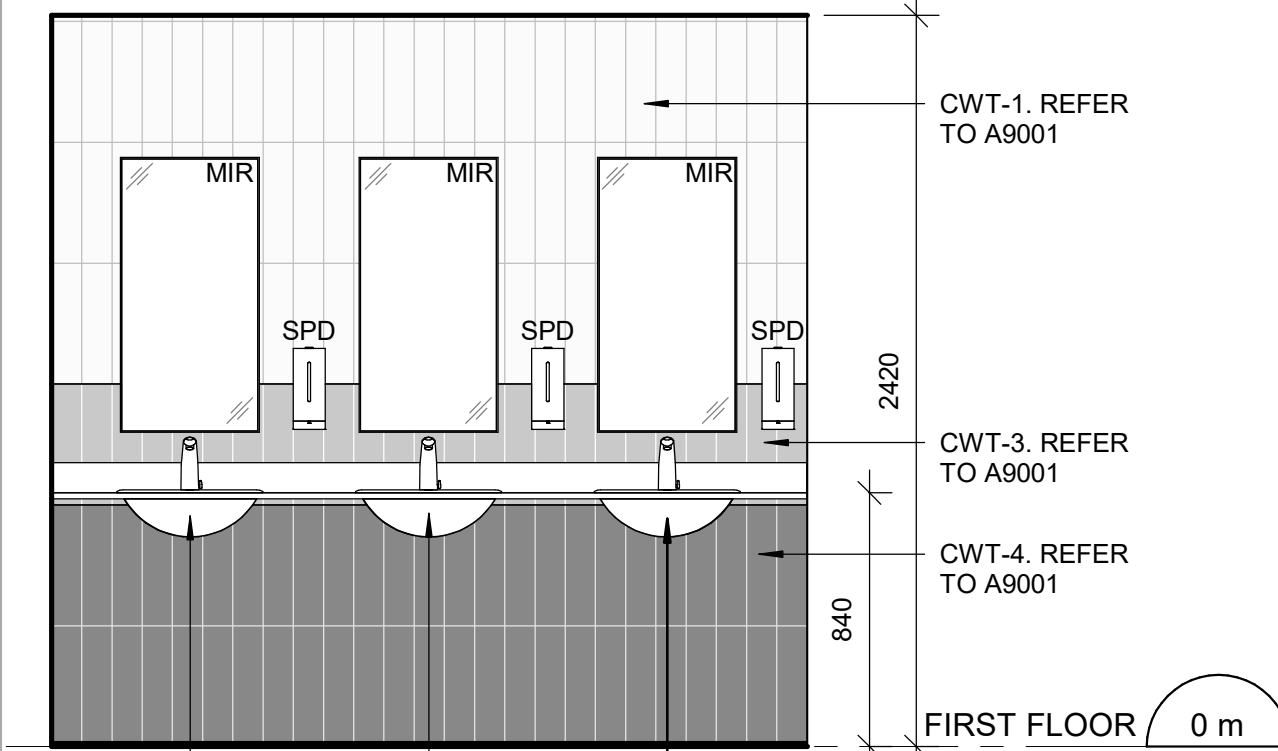
ISSUE

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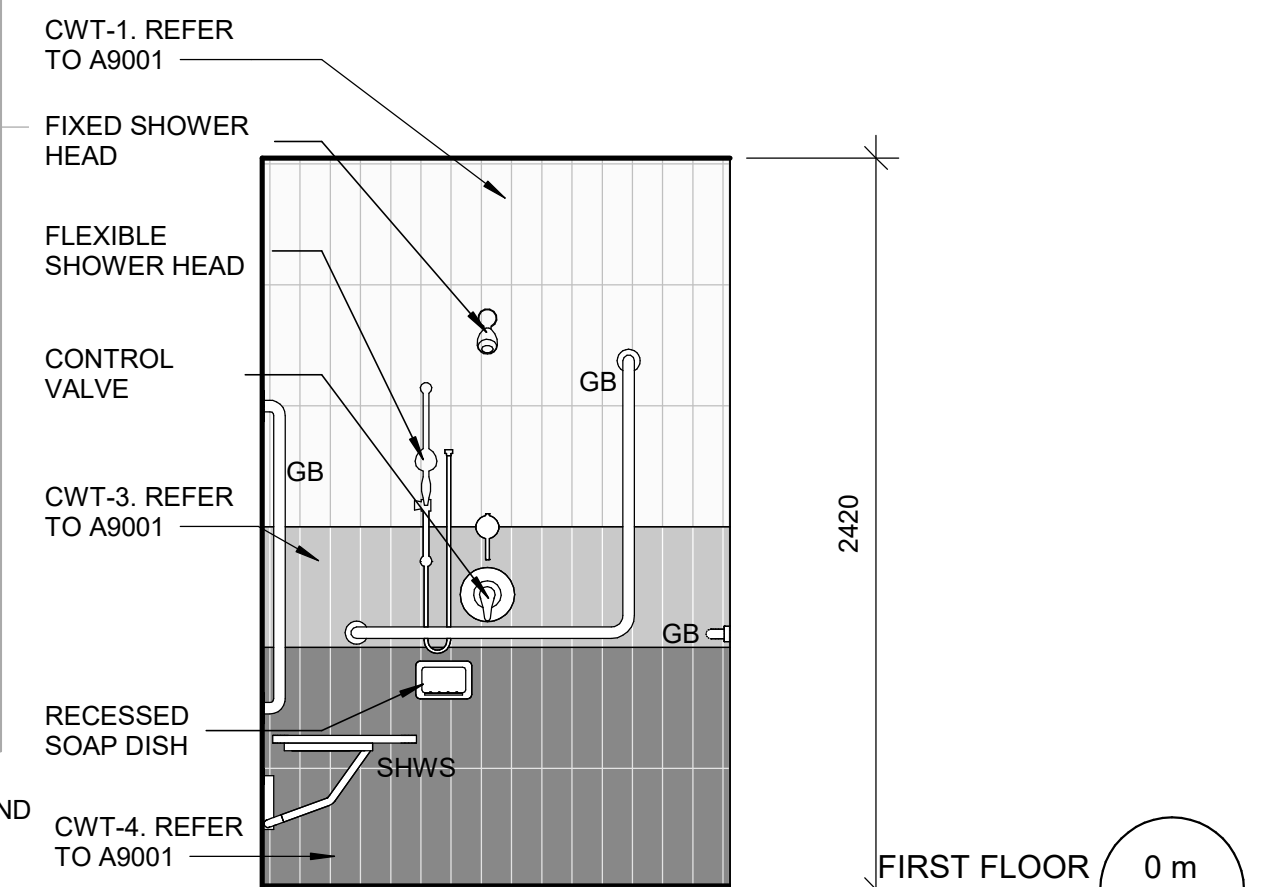




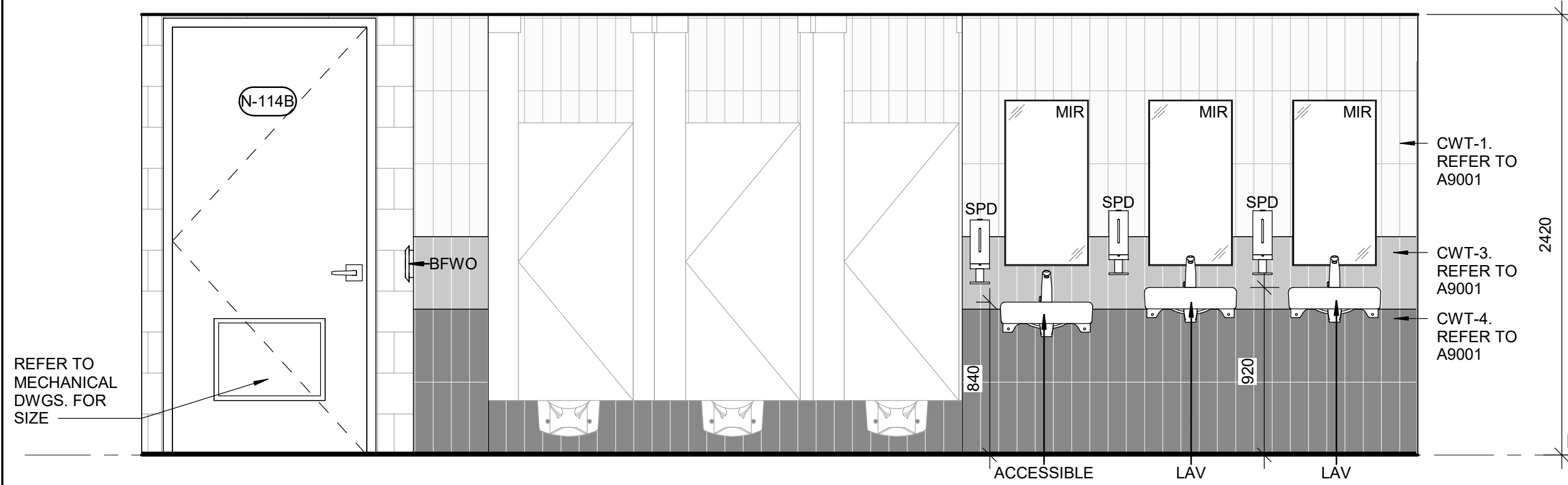
1 FIRST FLOOR-MALE WASHROOM - PLAN
A5012 Scale: 1 : 25



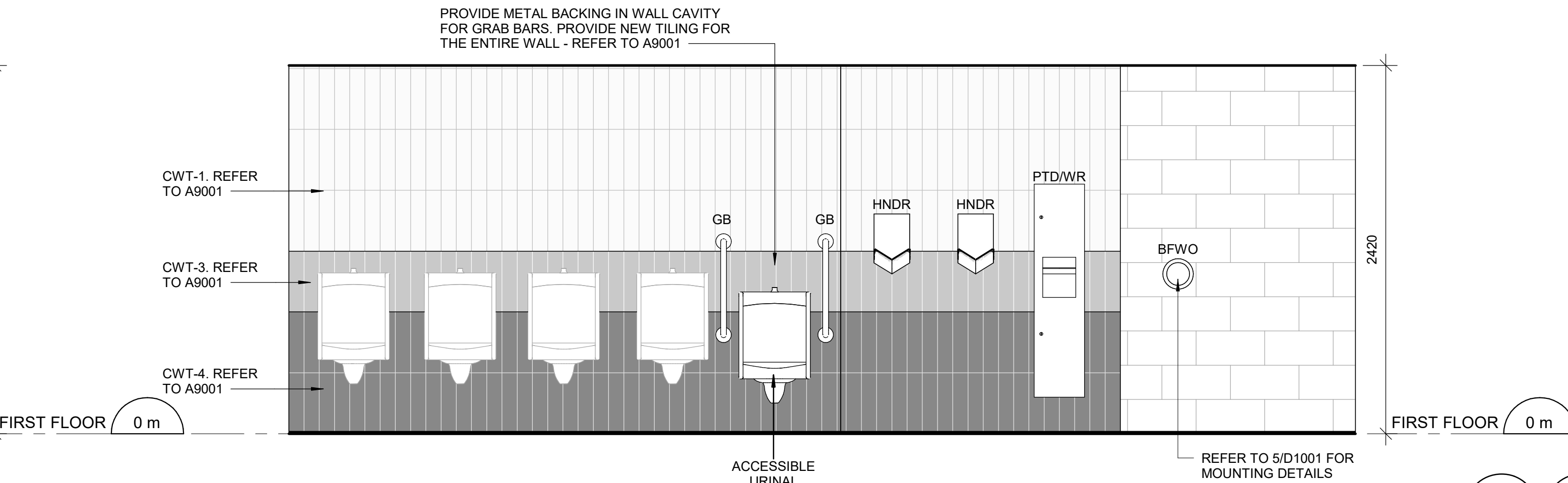
2 FIRST FLOOR - MALE WASHROOM ELEVATION 2
A5012 Scale: 1 : 25



5 FIRST FLOOR - MALE WASHROOM ACCESSIBLE SHOWER ELEVATION
A5012 Scale: 1 : 25



3 FIRST FLOOR - MALE WASHROOM ELEVATION 3
A5012 Scale: 1 : 25



4 FIRST FLOOR - MALE WASHROOM ELEVATION 4
A5012 Scale: 1 : 25

CONSTRUCTION KEY LEGEND

EXISTING PARTITION TO REMAIN

NEW PARTITION
REFER TO PARTITION SCHEDULE

WASHROOM GENERAL NOTES	
NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.
3	REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS.
4	REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS.
5	REFER TO 2/D1201 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS.
6	REFER TO 1/D1201 FOR ACCESSIBLE SHOWER ACCESSORIES MOUNTING HEIGHTS.
7	REFER TO 4/D1201 FOR ACCESSIBLE URINAL AND URINAL ACCESSORIES MOUNTING HEIGHTS.

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PRIME CONSULTANT	

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ibigroup.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:
9119-19-0612 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
S. HOUT

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

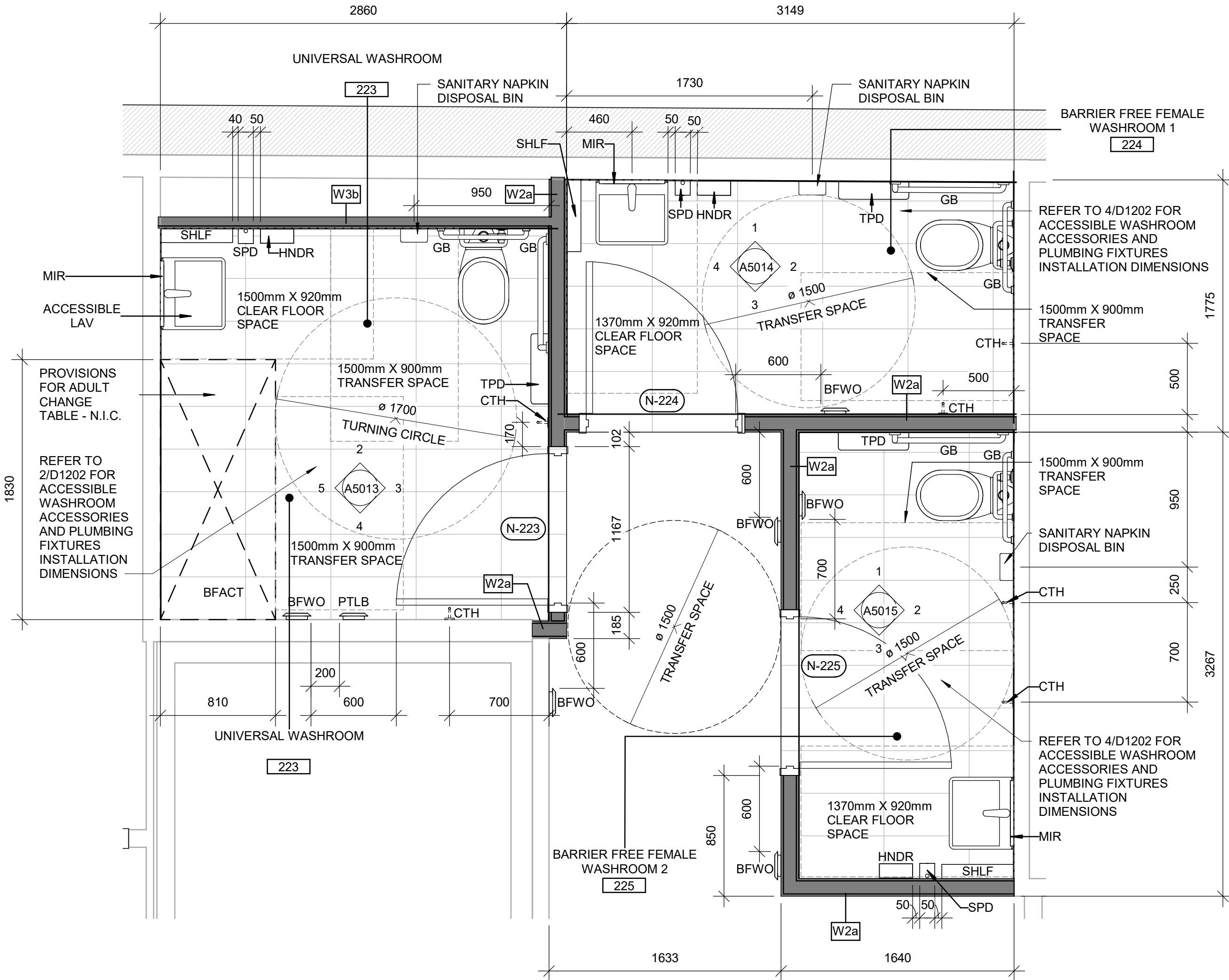
GROUND FLOOR MALE
WASHROOM PLAN AND
ELEVATIONS

SHEET NUMBER

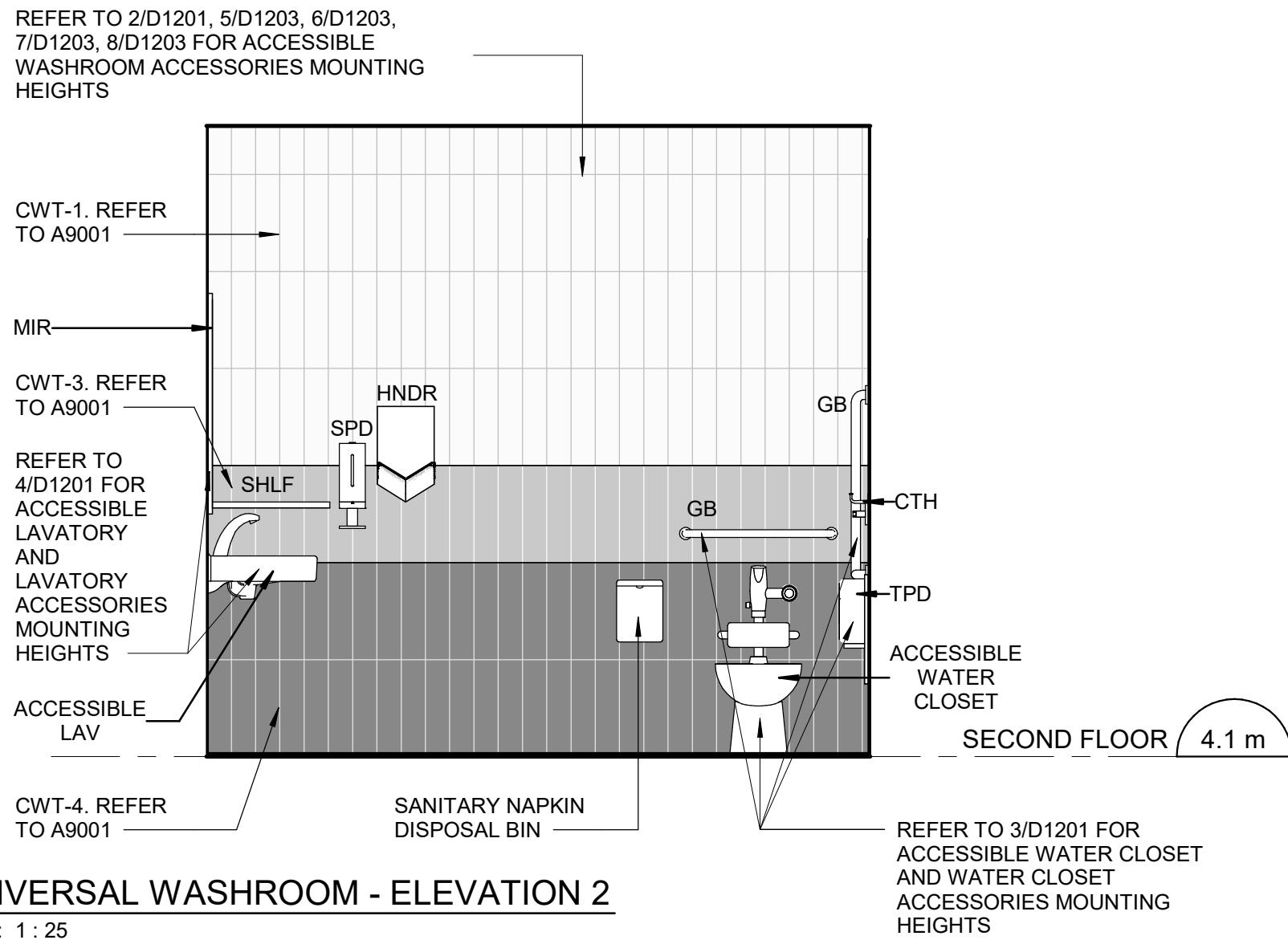
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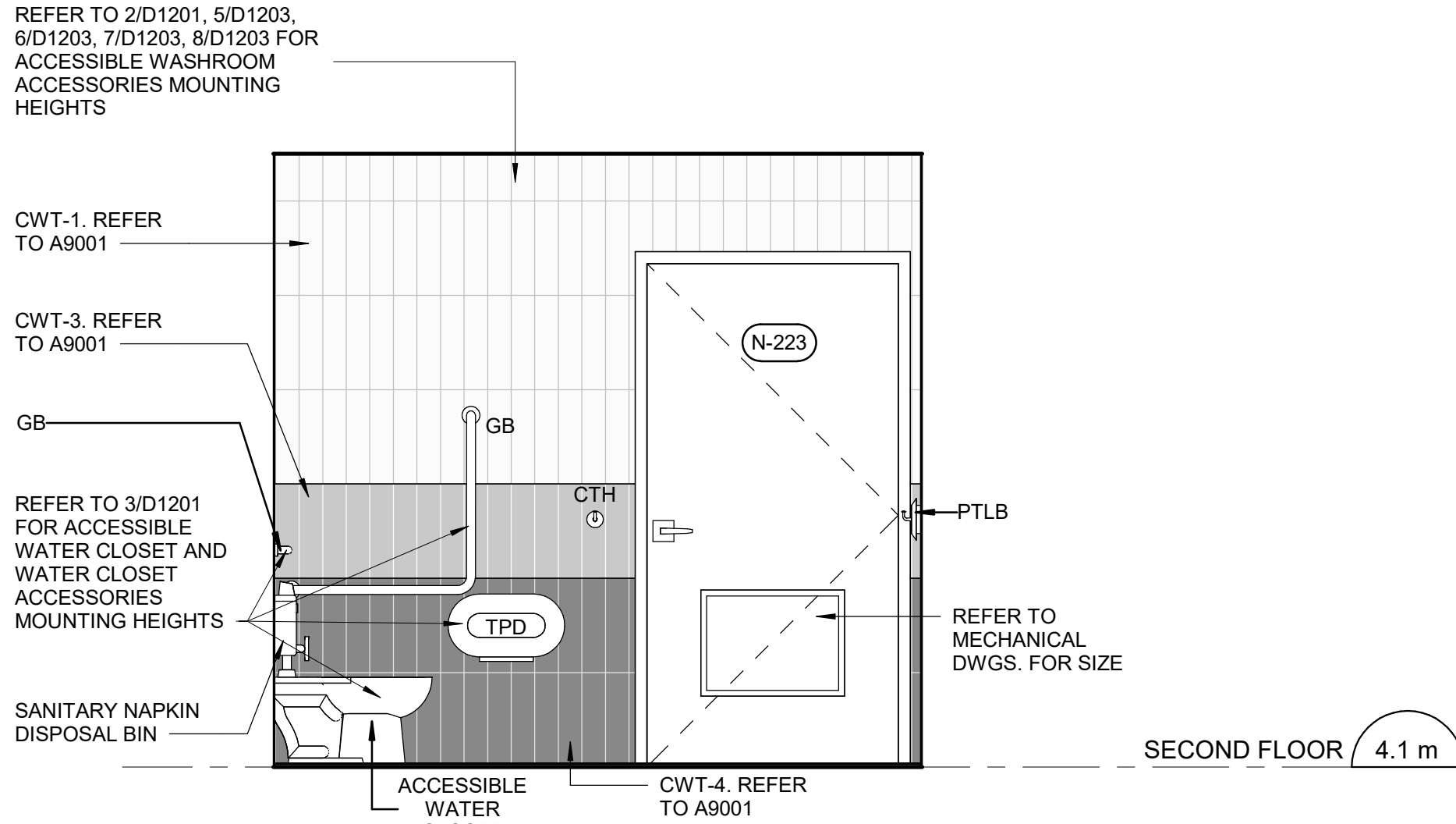
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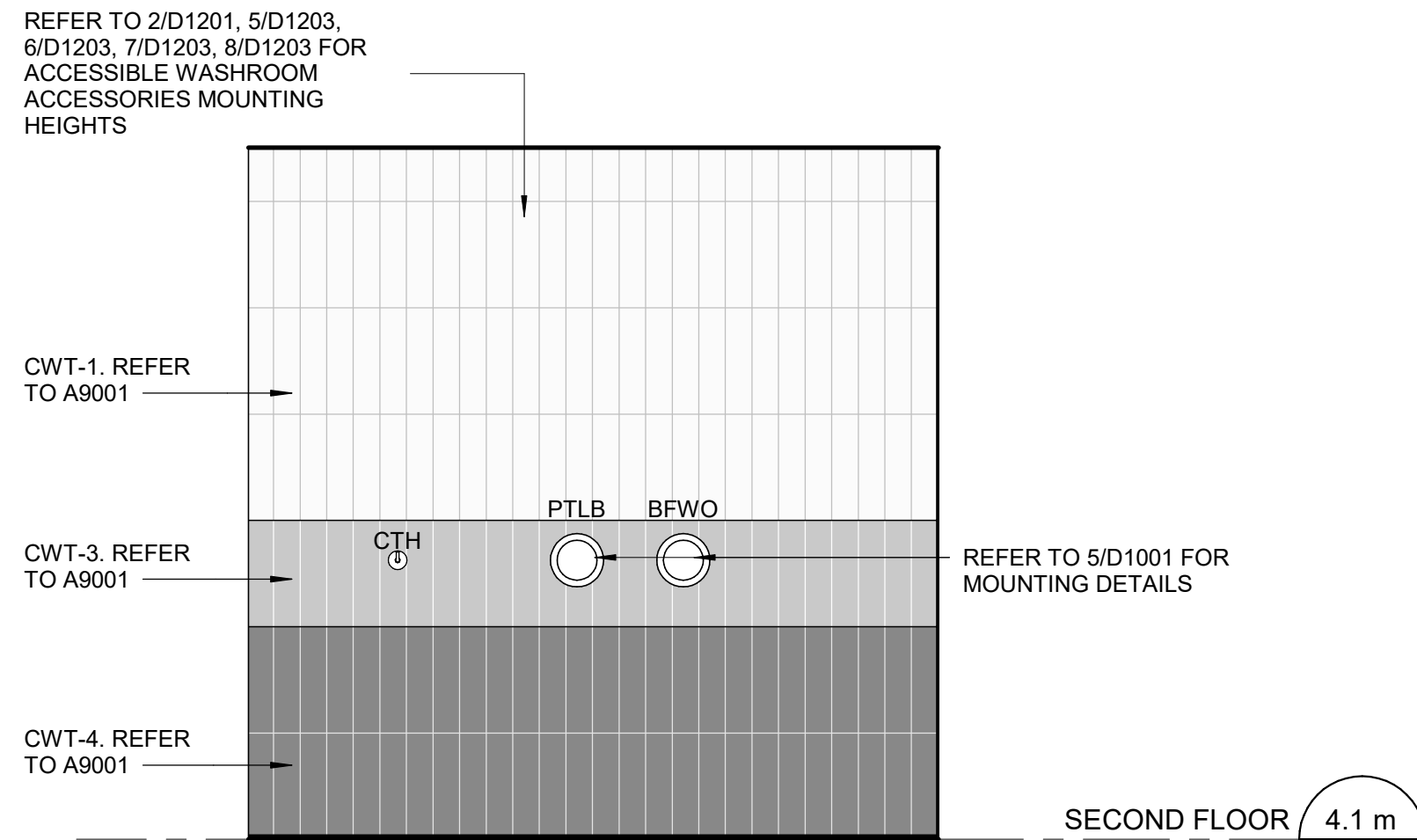
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A5013 Scale: 1:25



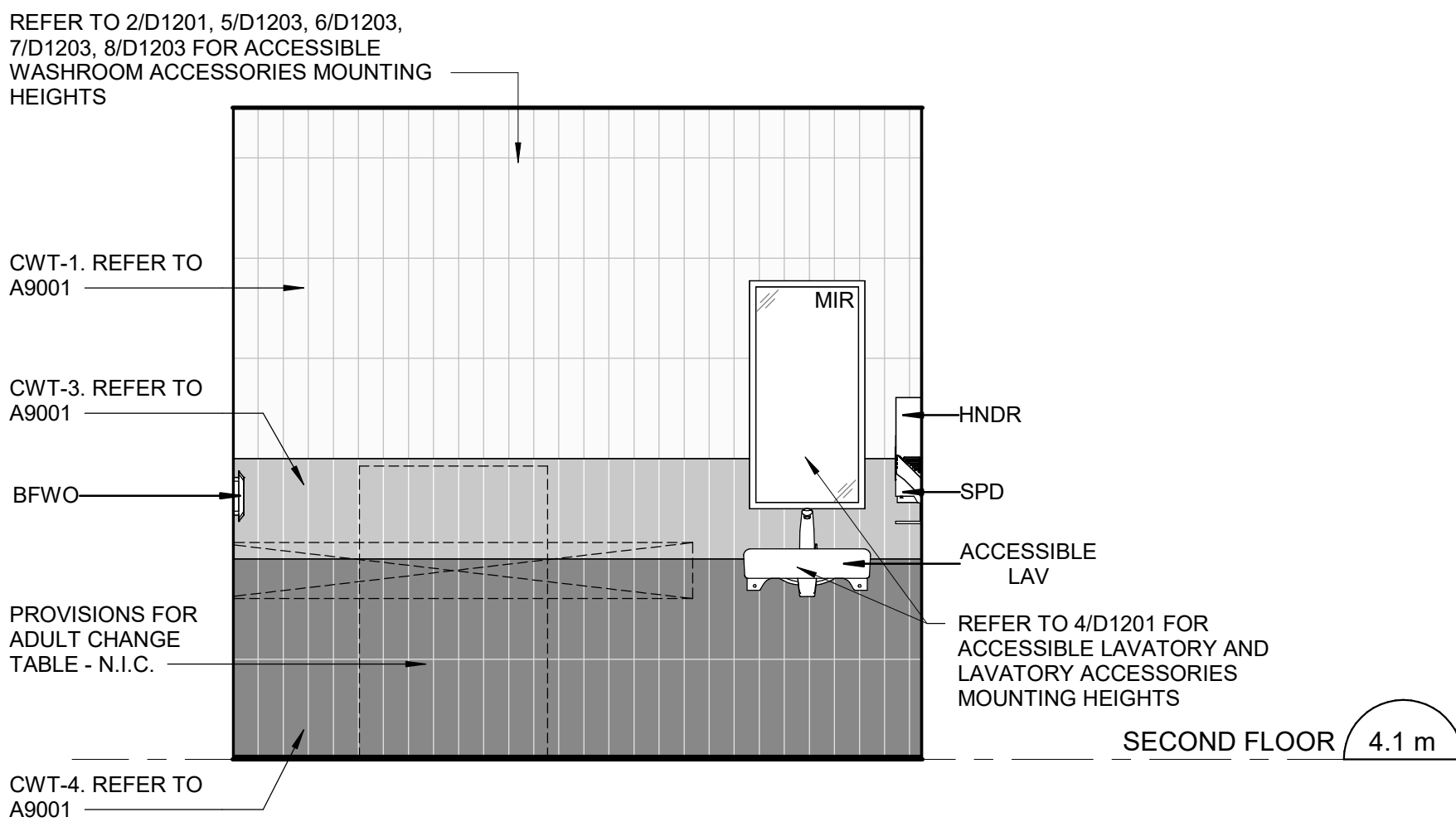
2 UNIVERSAL WASHROOM - ELEVATION 2
A5013 Scale: 1:25



3 UNIVERSAL WASHROOM - ELEVATION 3
A5013 Scale: 1:25



4 UNIVERSAL WASHROOM - ELEVATION 4
A5013 Scale: 1:25



5 UNIVERSAL WASHROOM - ELEVATION 5
A5013 Scale: 1:25

CONSTRUCTION KEY LEGEND

- EXISTING PARTITION TO REMAIN
- NEW PARTITION
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR
NEW HARDWARE

WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19-0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

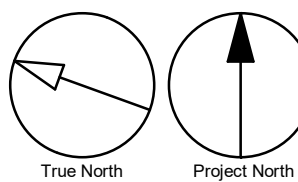
**SECOND FLOOR
WASHROOM PLANS AND
ELEVATIONS**

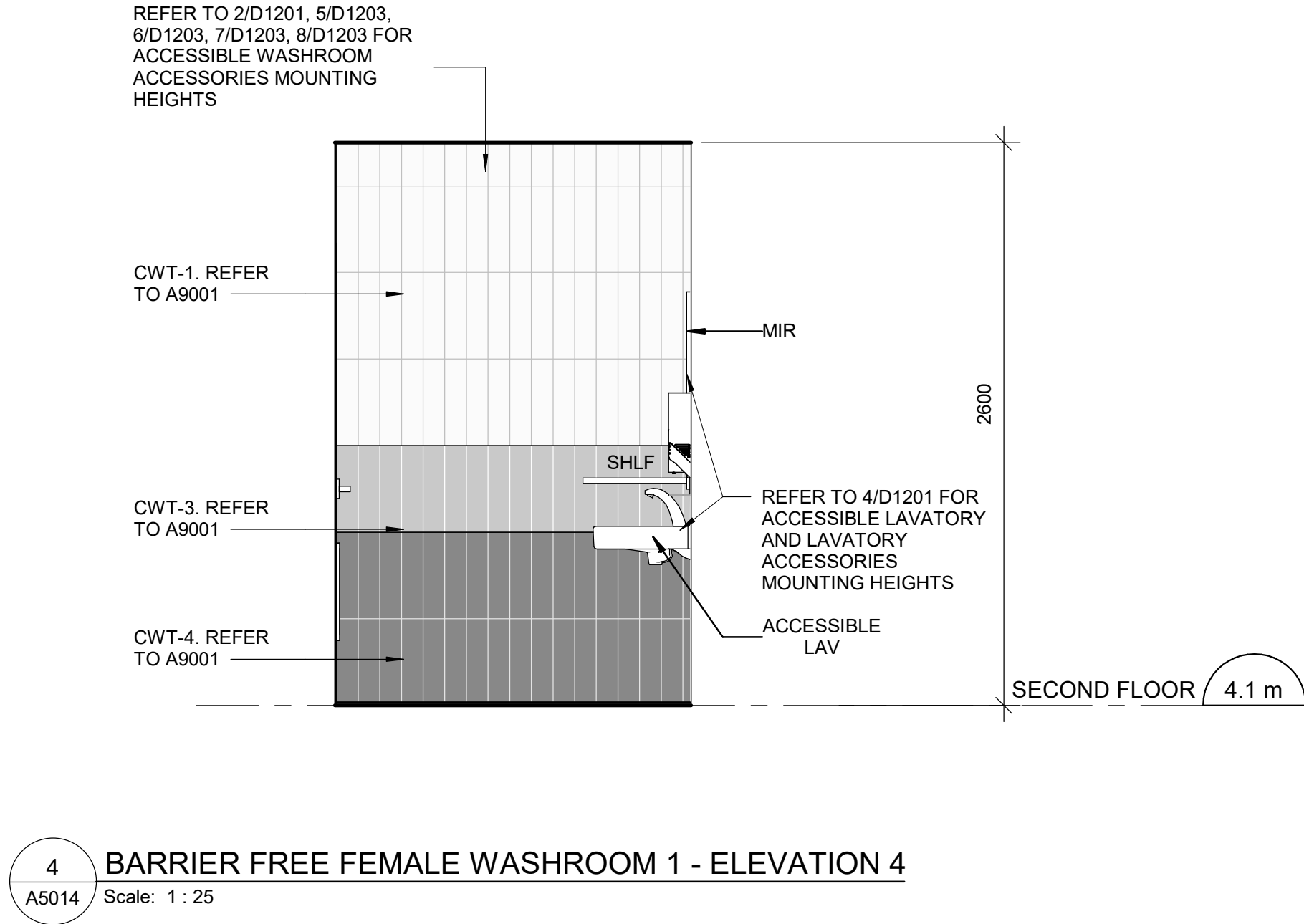
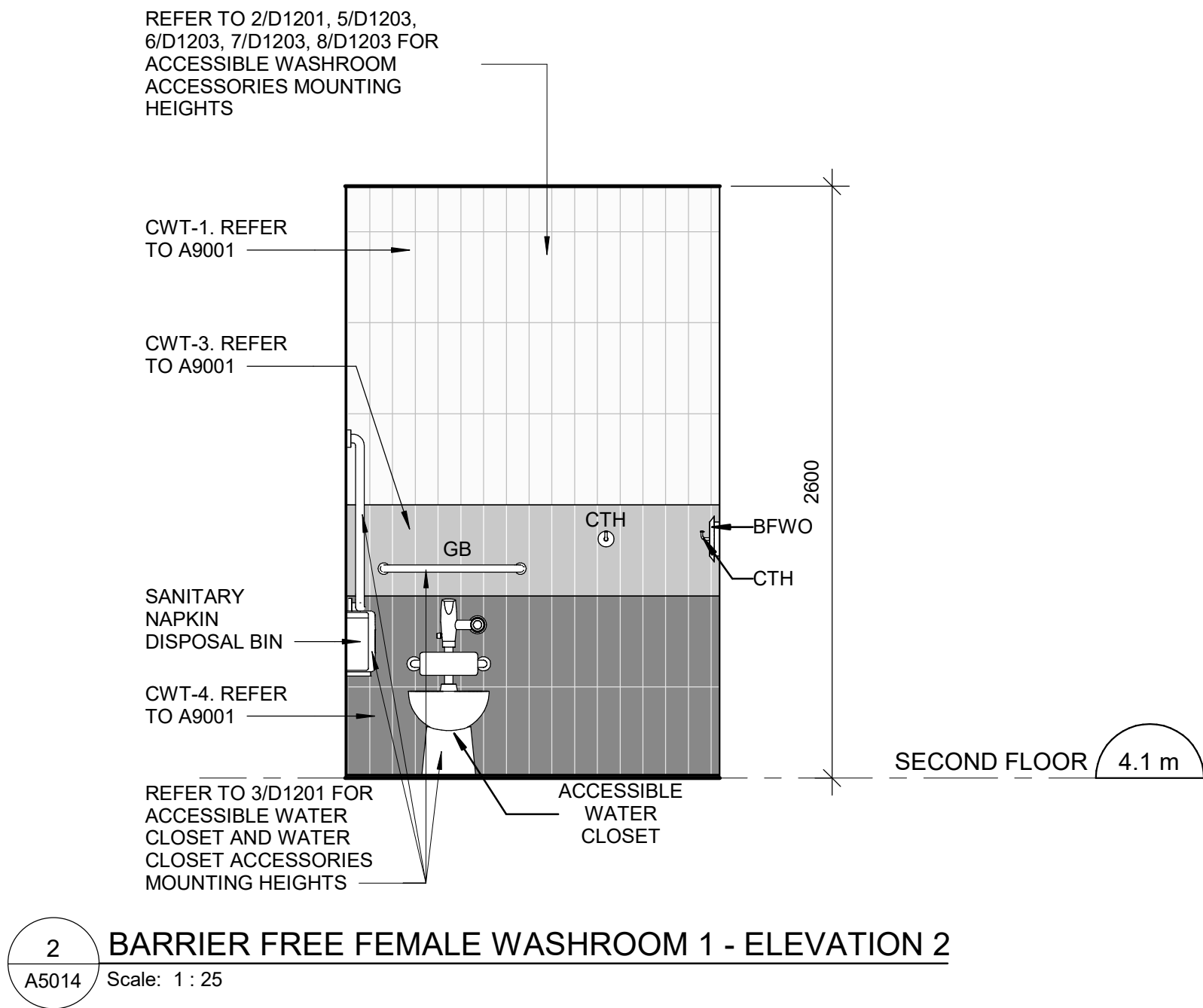
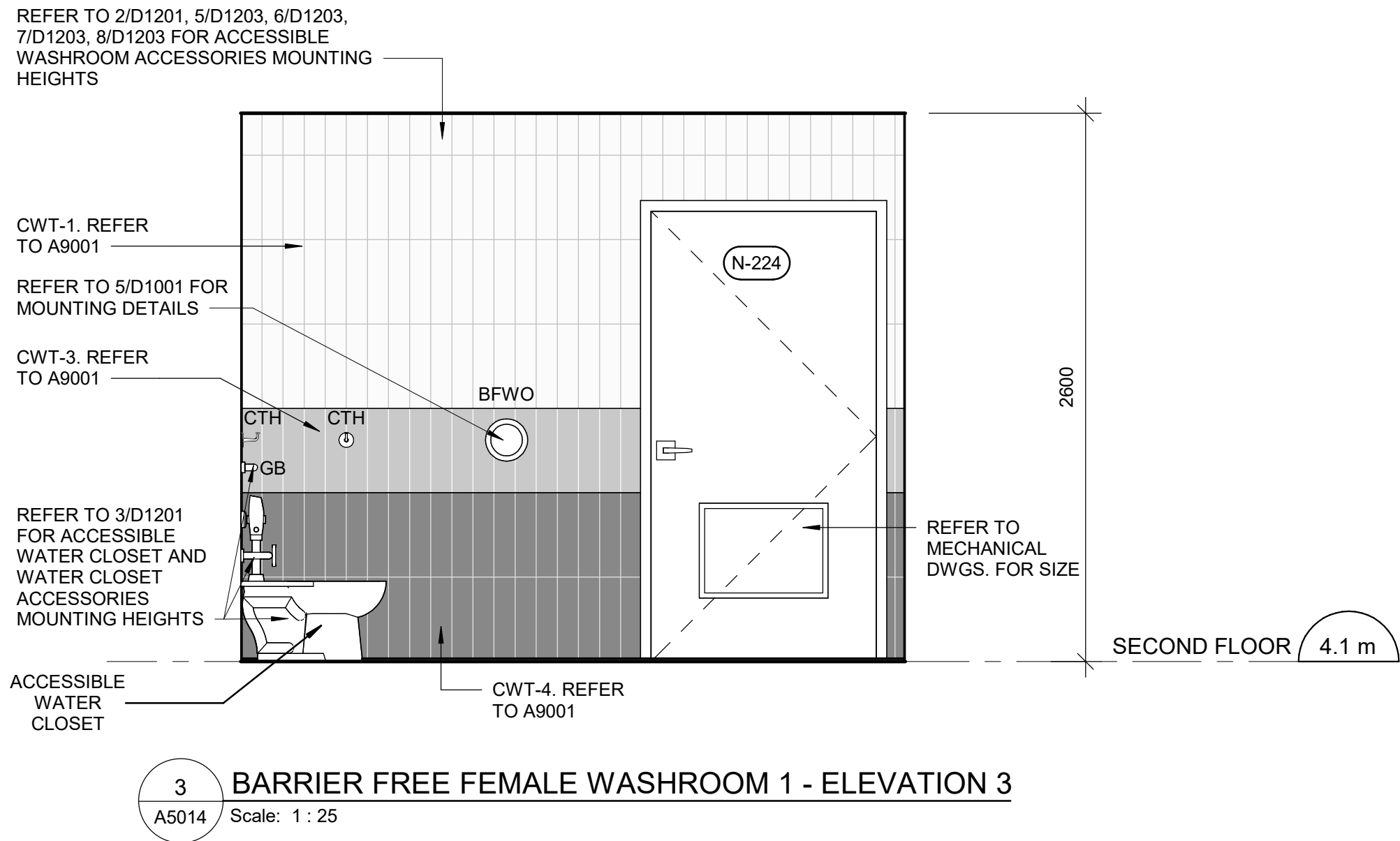
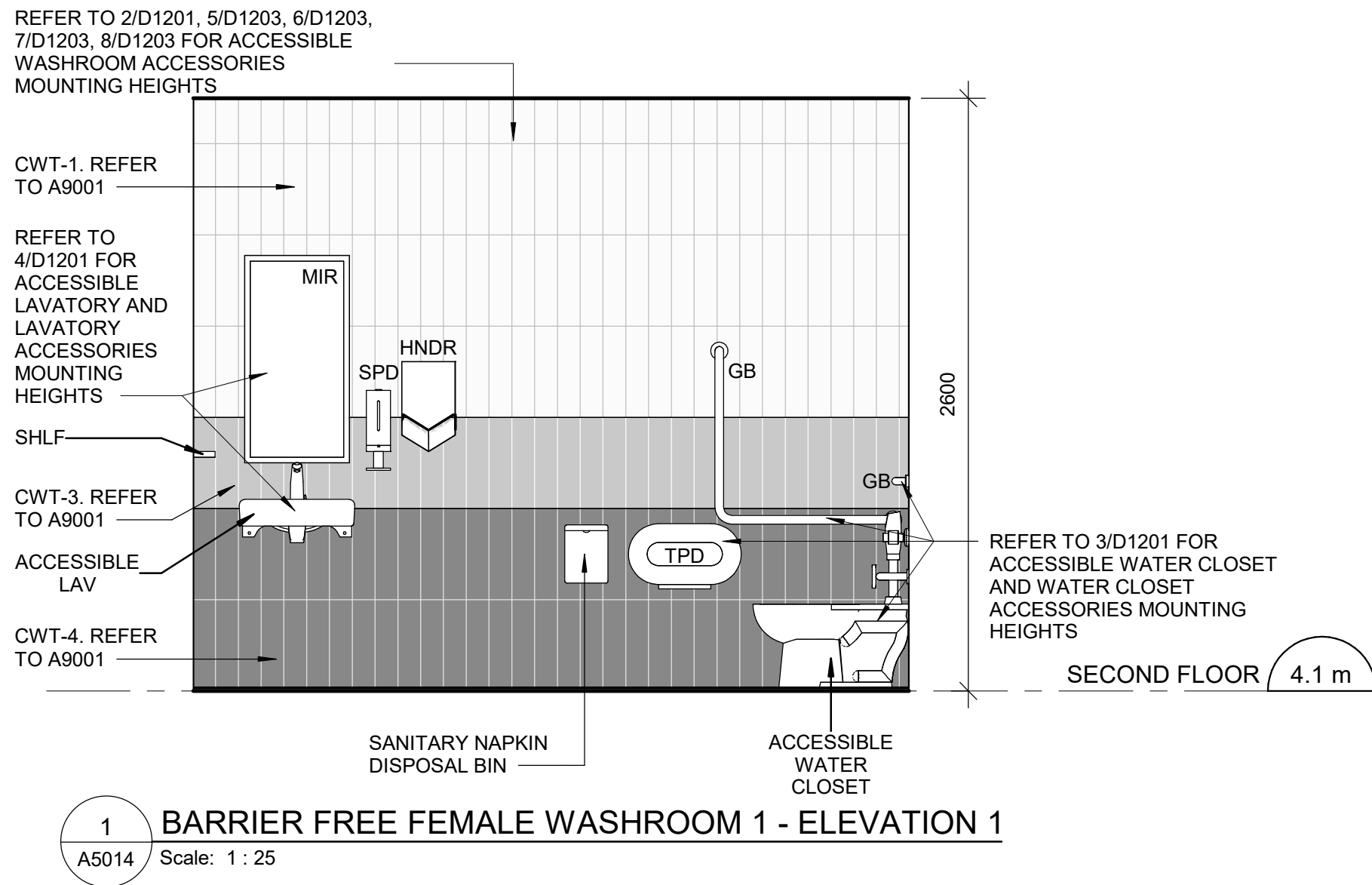
SHEET NUMBER

G08-013-A5013

ISSUE

D





WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:

9119-19-0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

BARRIER FREE
WASHROOM 1 -
ELEVATIONS

SHEET NUMBER

G08-013-A5014

ISSUE

D

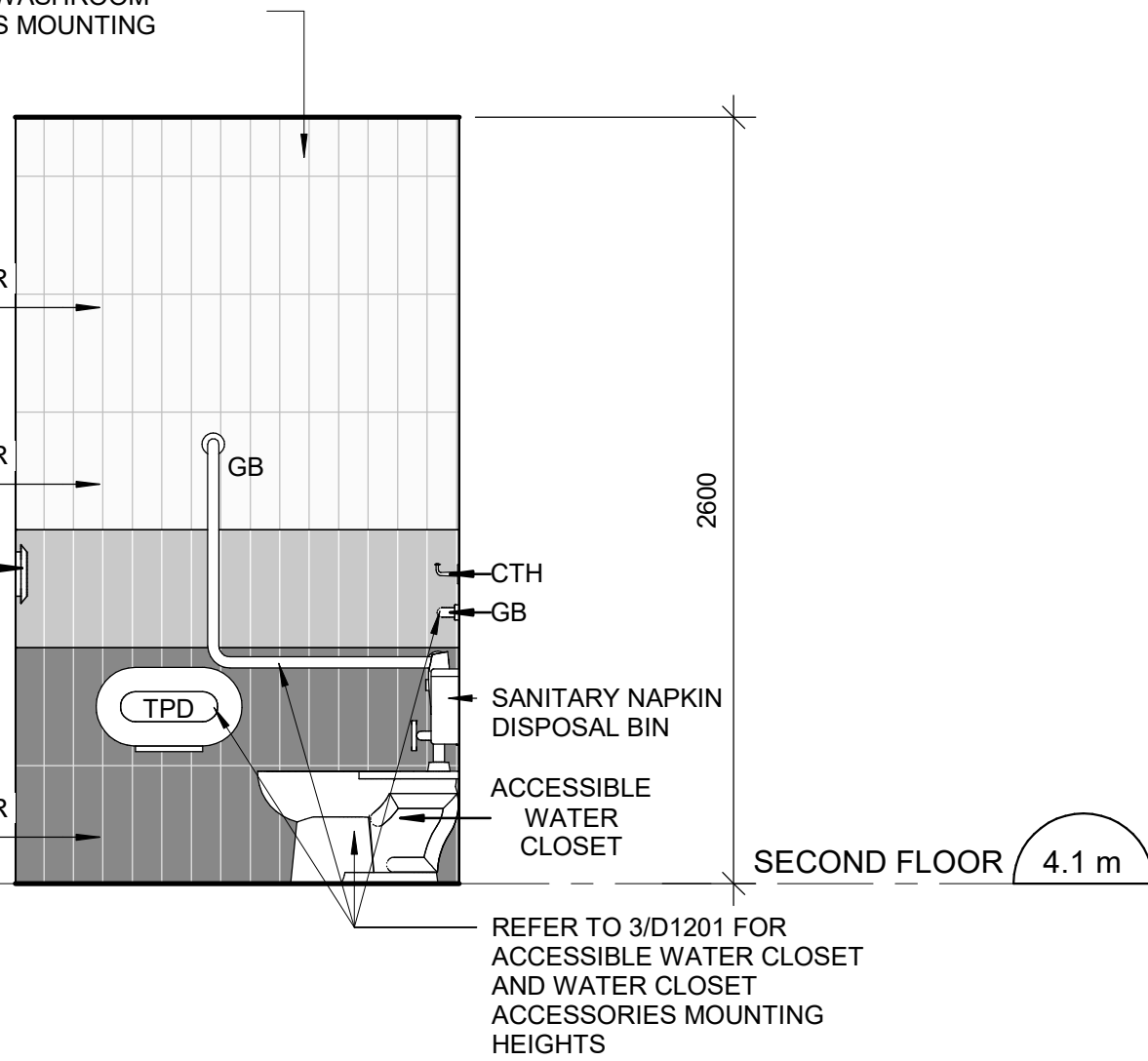
REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS

CWT-1, REFER TO A9001

CWT-3, REFER TO A9001

BFWO

CWT-4, REFER TO A9001



1 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 1
A5015 Scale: 1 : 25

REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS

CWT-1, REFER TO A9001

GB

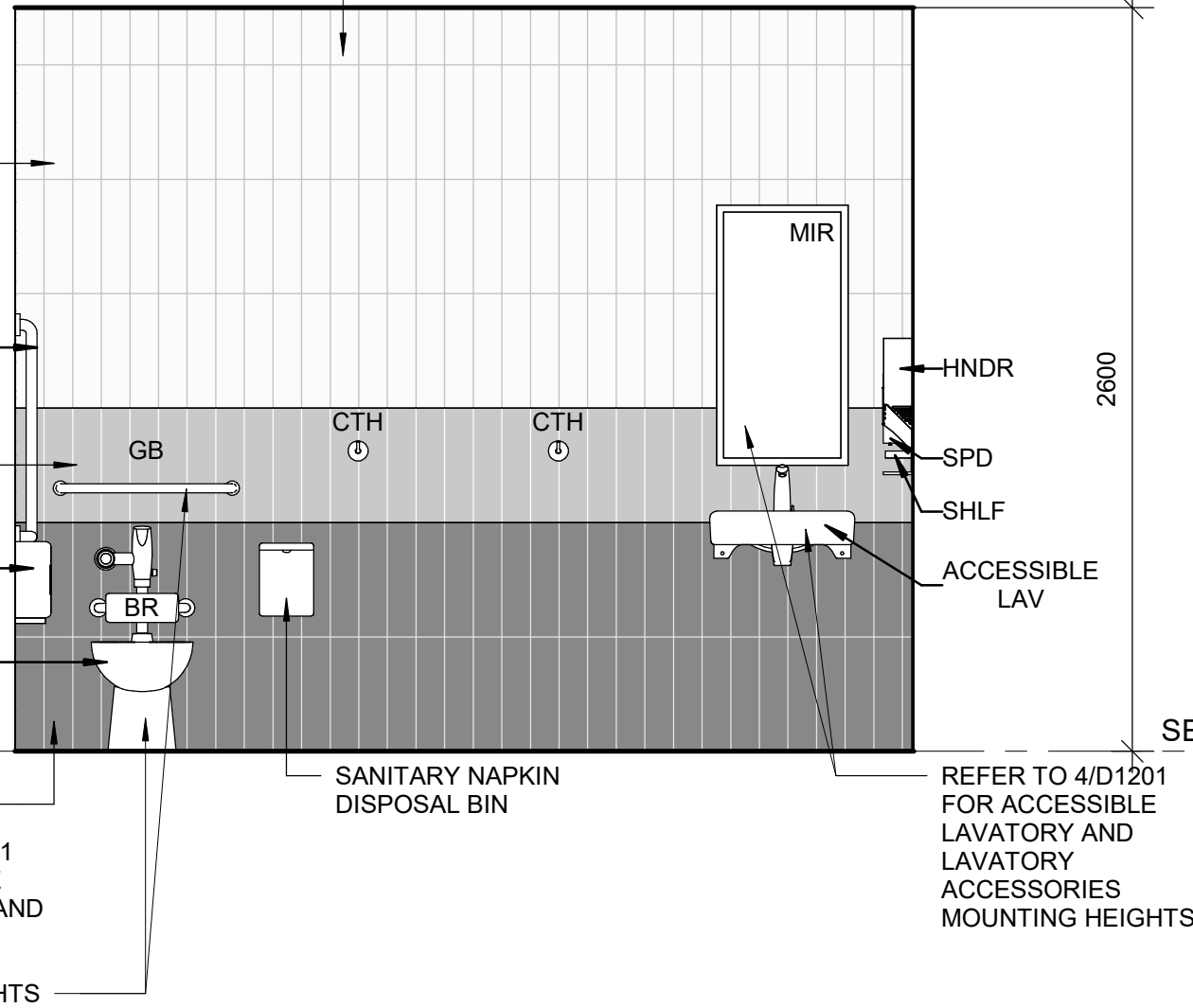
CWT-3, REFER TO A9001

TPD

ACCESSIBLE WATER CLOSET

CWT-4, REFER TO A9001

REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS



2 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 2
A5015 Scale: 1 : 25

REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHT

CWT-1, REFER TO A9001

MIR

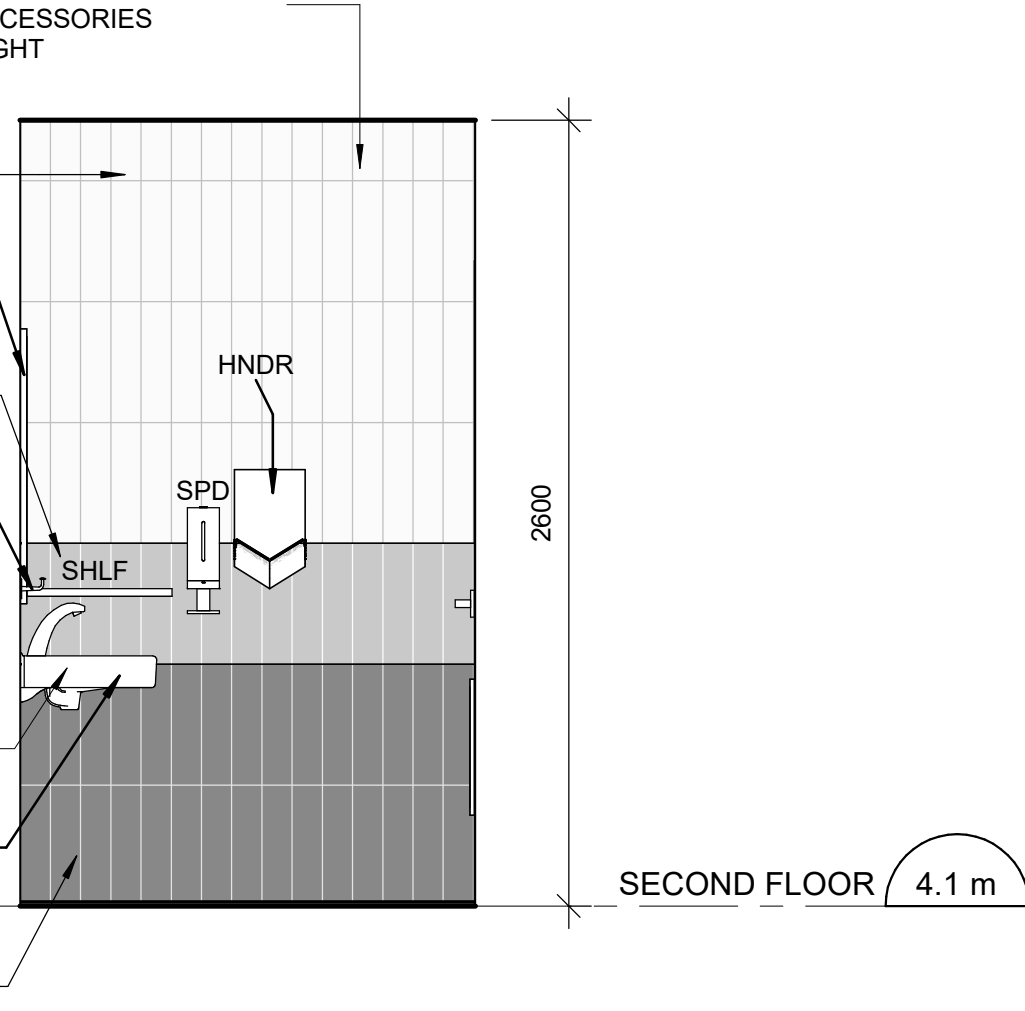
CWT-3, REFER TO A9001

CTH

REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS

ACCESSIBLE LAV

CWT-4, REFER TO A9001



3 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 3
A5015 Scale: 1 : 25

REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS

CWT-1, REFER TO A9001

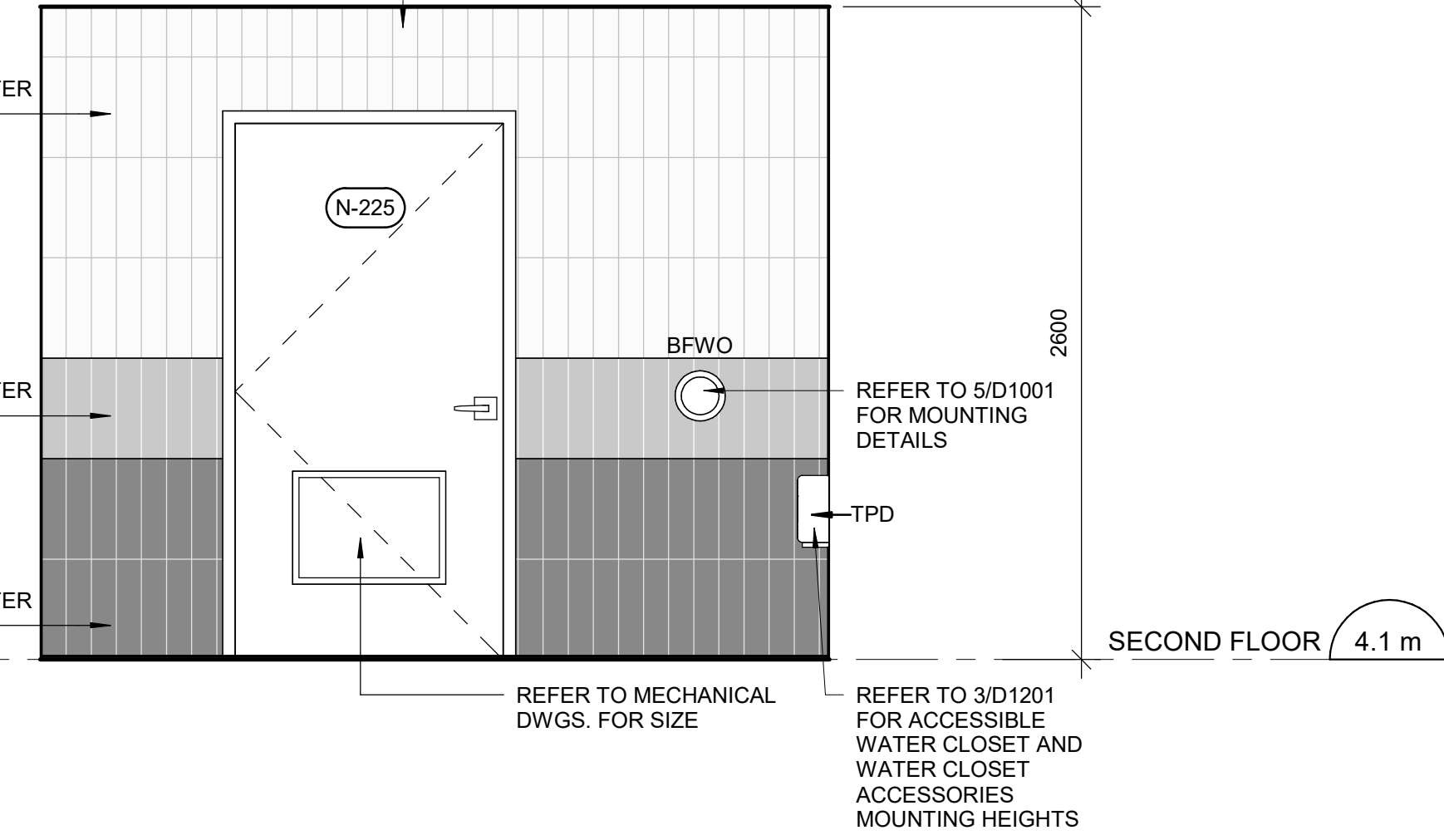
CWT-3, REFER TO A9001

CWT-4, REFER TO A9001

REFER TO 5/D1001 FOR MOUNTING DETAILS

REFER TO MECHANICAL DWGS. FOR SIZE

REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS



4 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 4
A5015 Scale: 1 : 25

WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

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PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19-0612 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
S. HOUT

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

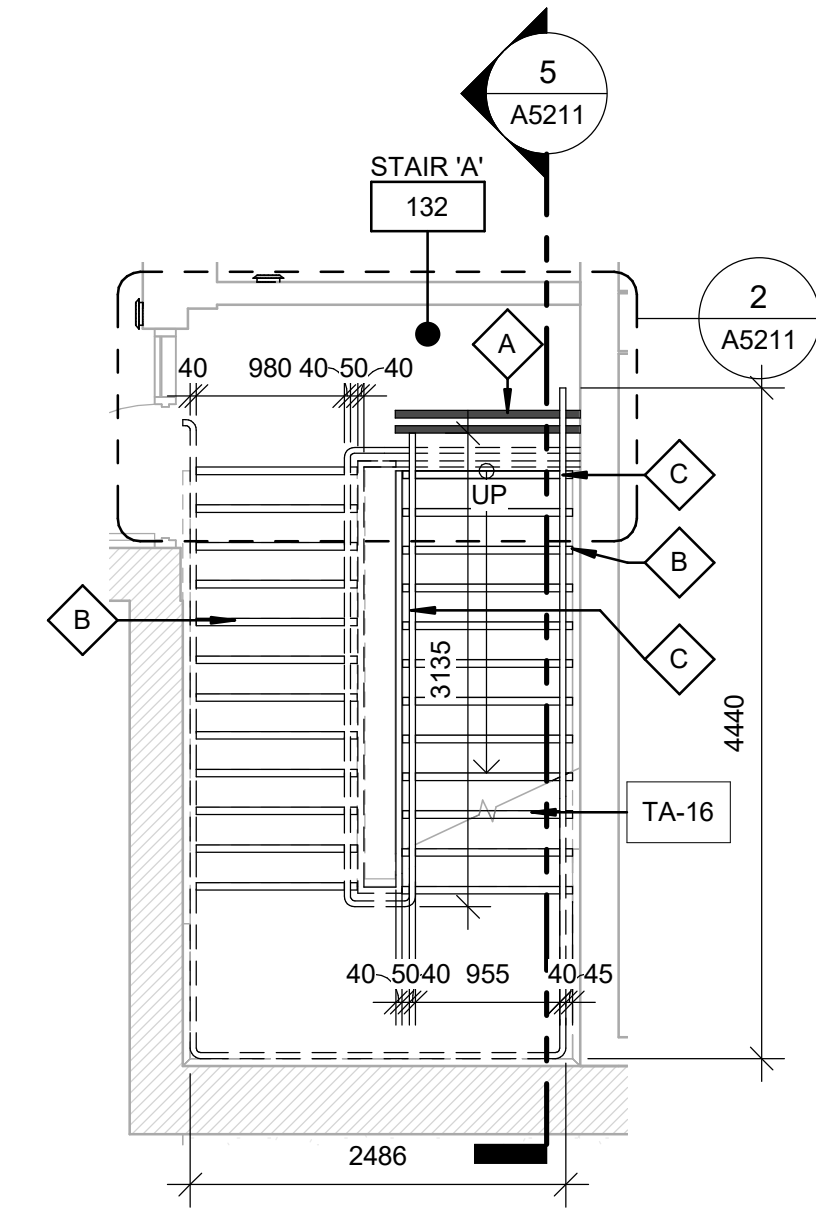
SHEET TITLE
**BARRIER FREE
WASHROOM 2 -
ELEVATIONS**

SHEET NUMBER

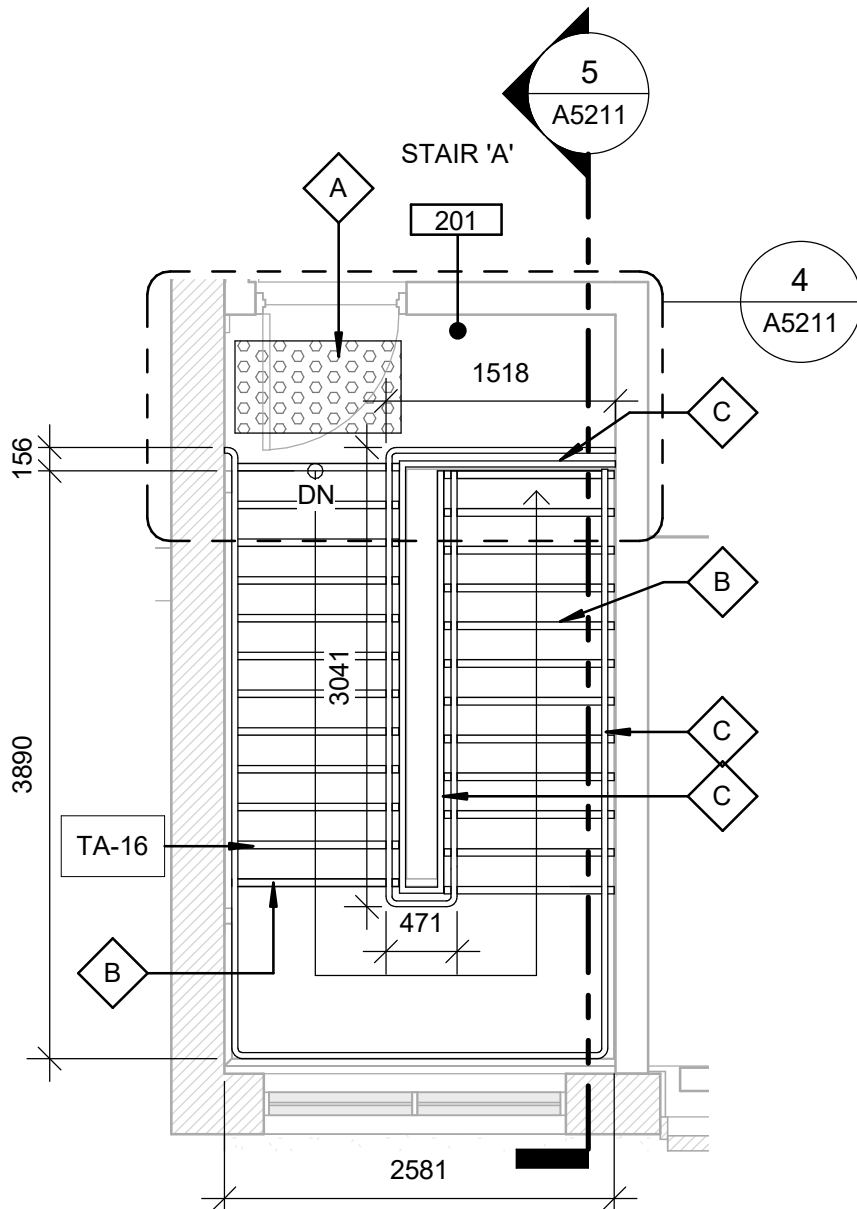
G08-013-A5015

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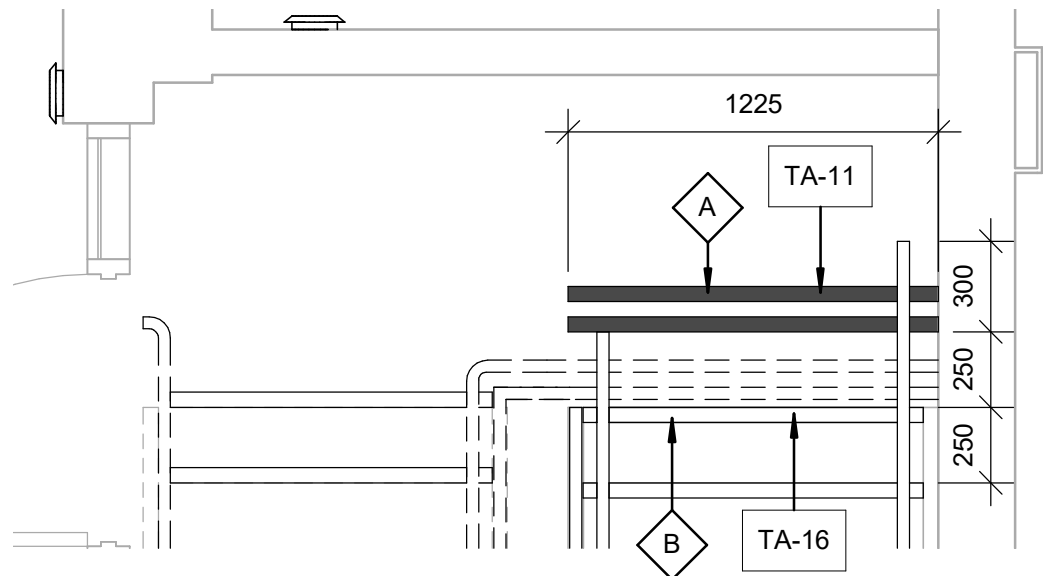
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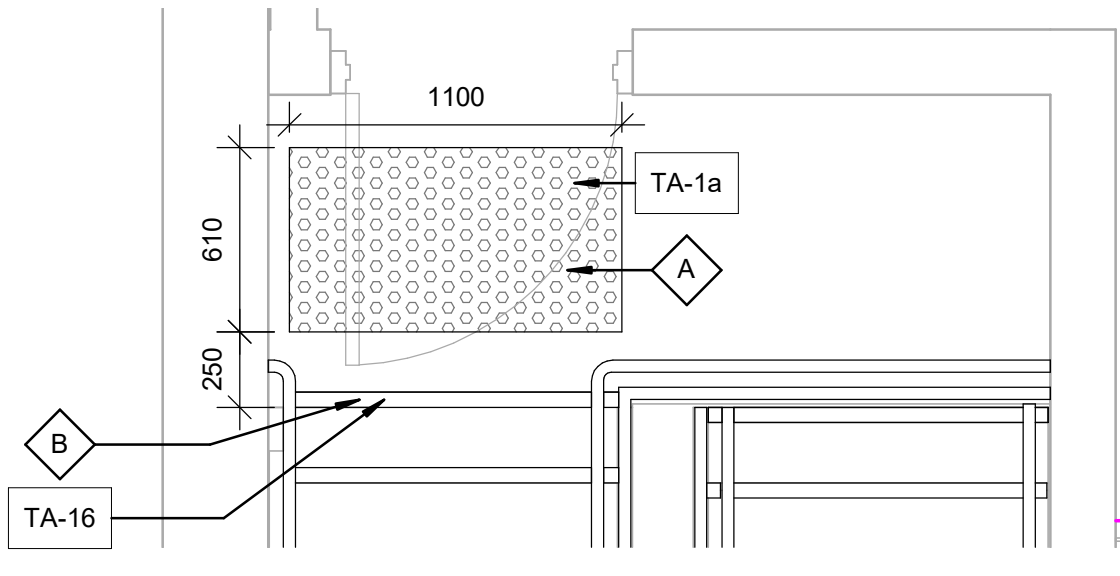
1 STAIR A - FIRST FLOOR STAIR PLAN
Scale: 1 : 50



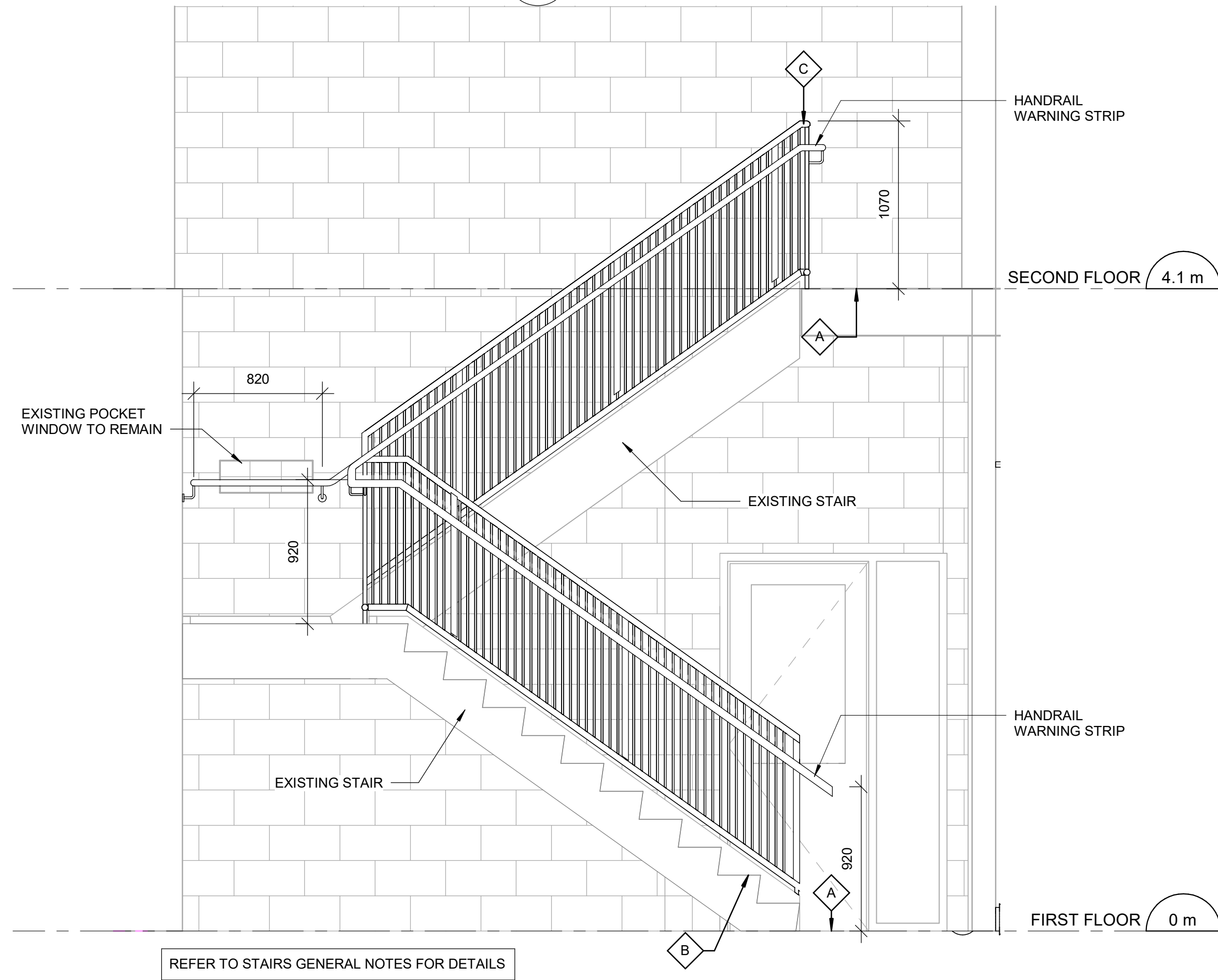
3 STAIR A - SECOND FLOOR STAIR PLAN
Scale: 1 : 50



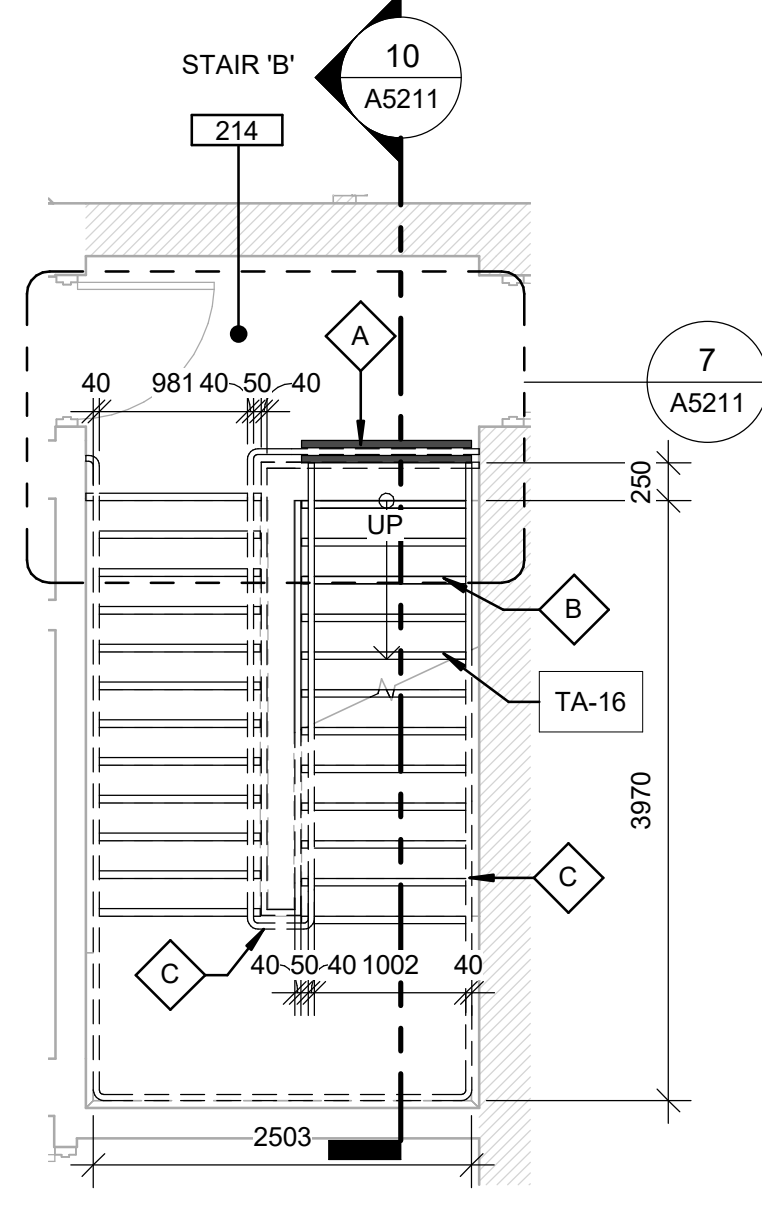
2 STAIR A - BOTTOM
Scale: 1 : 25



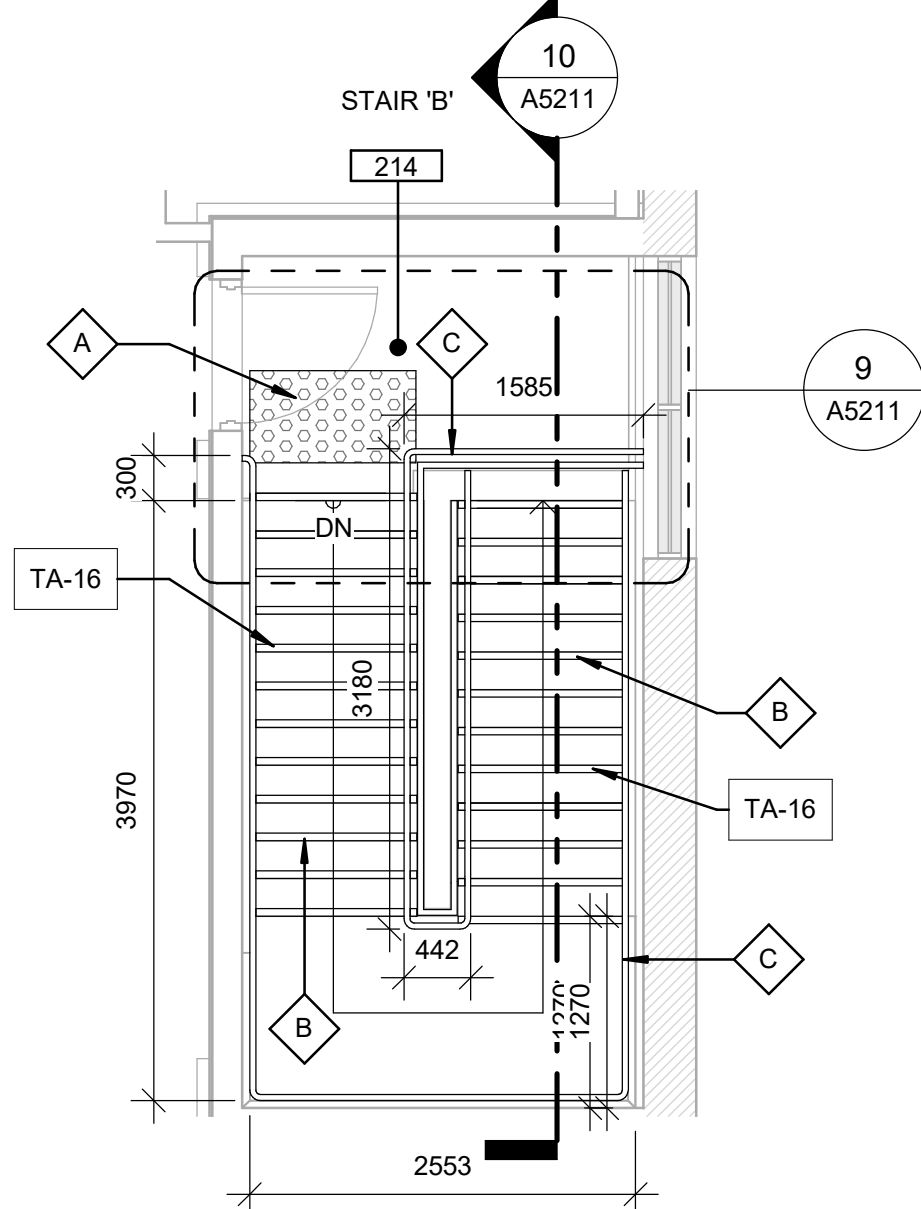
4 STAIR A - TOP
Scale: 1 : 25



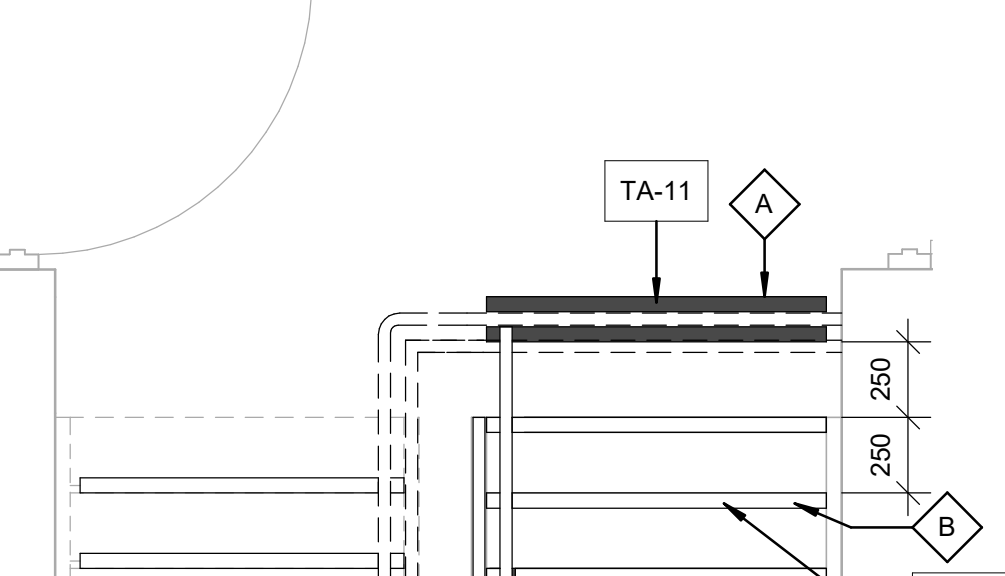
5 STAIR A - SECTION
Scale: 1 : 25



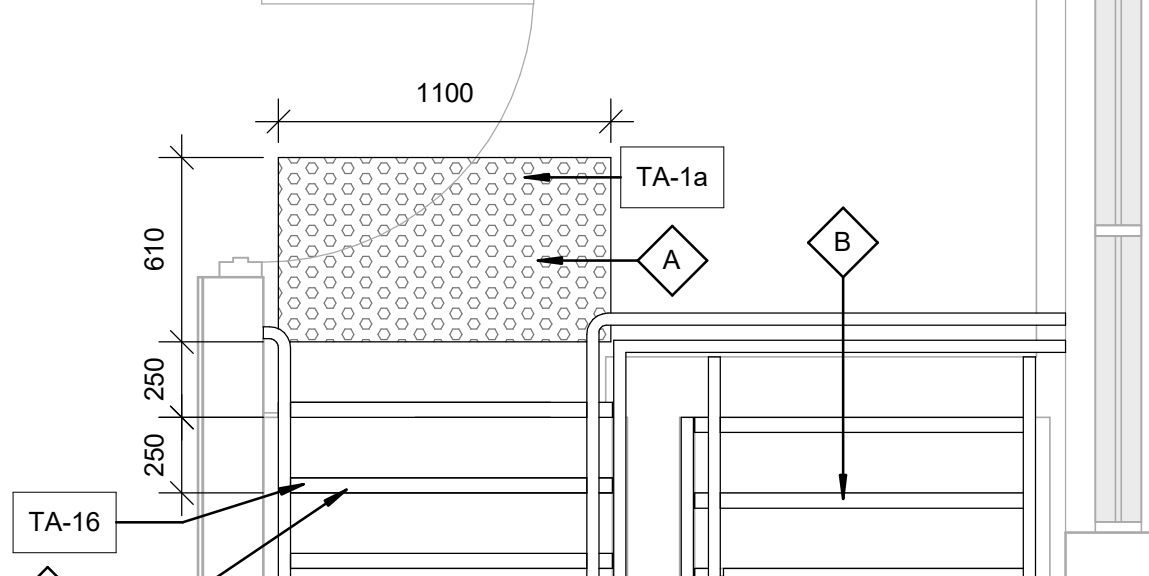
6 STAIR B - FIRST FLOOR STAIR PLAN
Scale: 1 : 50



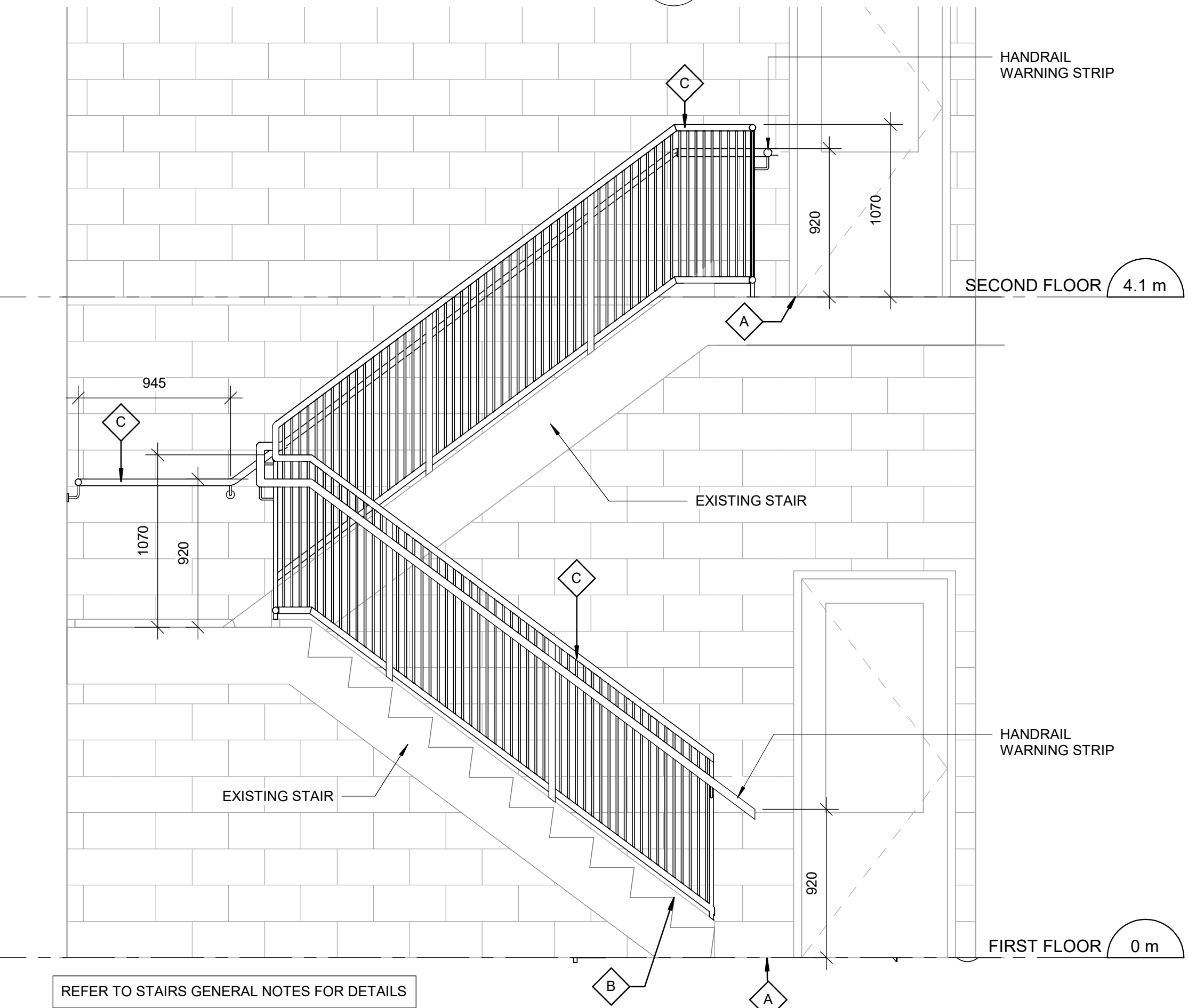
8 STAIR B - SECOND FLOOR STAIR PLAN
Scale: 1 : 50



7 STAIR B - BOTTOM
Scale: 1 : 25



9 STAIR B - TOP
Scale: 1 : 25



10 STAIR B - SECTION
Scale: 1 : 25

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO DETAIL 1/D1402.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO DETAIL 1/D1402.
C	INSTALL NEW GUARDRAIL AND HANDRAIL - REFER TO DETAILS 1/D1401 TO 3/D1401.

CONSTRUCTION GENERAL NOTES

1	NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
2	REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
3	REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

STAIRS GENERAL NOTES

NO	DESCRIPTION
1	REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS.
2	REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS.
3	REFER TO 4/D1405 FOR FLAT STAIR NOSING (TA-16) DETAILS.
4	REFER TO 3/D1401 & 2/D1402 FOR HANDRAIL AND GUARD MOUNTING HEIGHTS AND DETAILS.
5	REFER TO 8/D1405 FOR THE HANDRAIL WARNING STRIP DETAILS.

CLIENT

CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-01-21
B	90% SUBMISSION	2021-04-12
C	ISSUED FOR PERMIT	2021-04-12
D	ISSUED FOR TENDER	2021-07-23

CONSULTANTS

SEAL

PRIME CONSULTANT

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Toronto, ON M9W 0C9, Canada
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ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19-0612 / IBI 122260

DRAWN BY:
A. CHI, R. CHEN

CHECKED BY:
S. HOUT

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

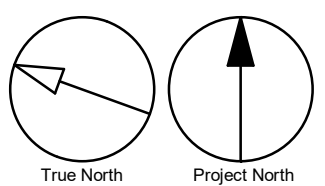
SHEET TITLE
**STAIR PLANS, BUILDING
CORES**

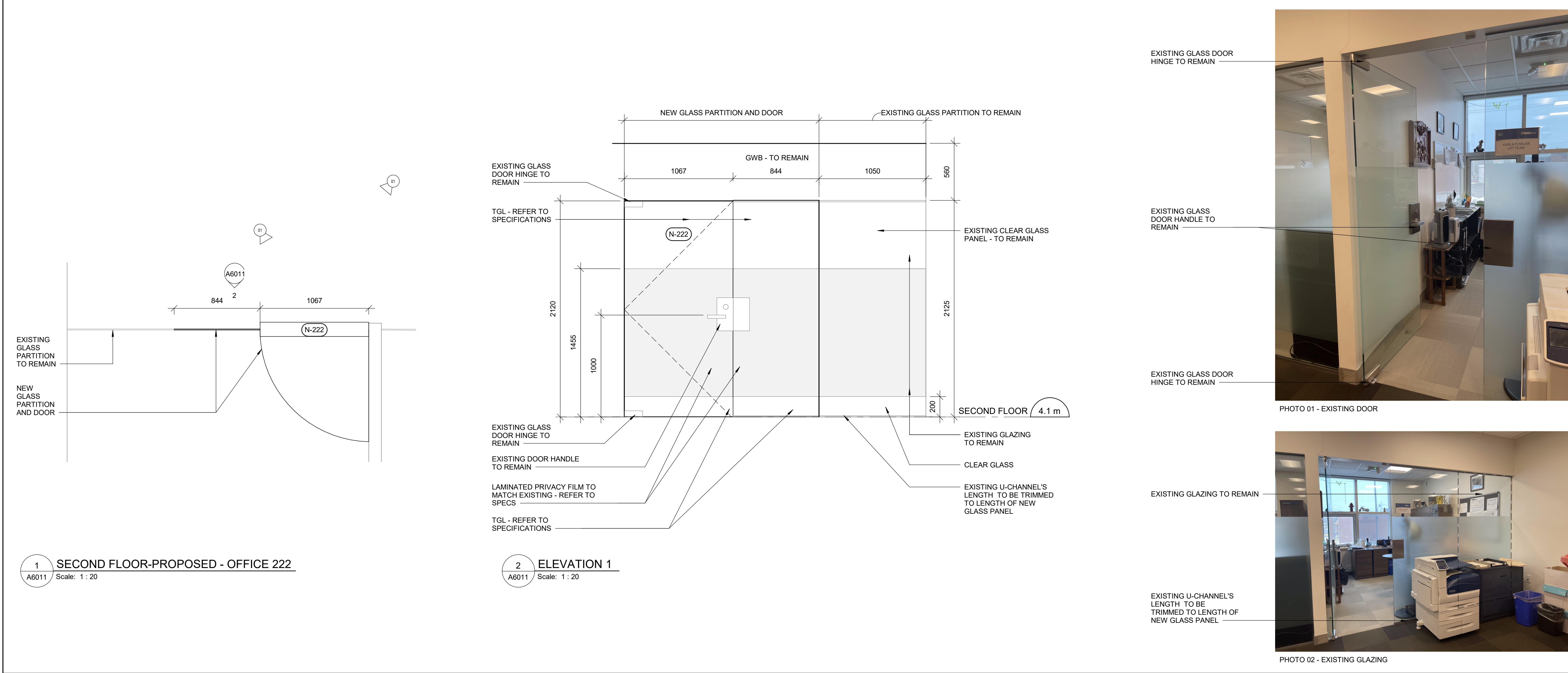
SHEET NUMBER

G08-013-A5211

ISSUE

D





ISSUES		
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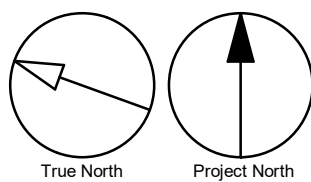
PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

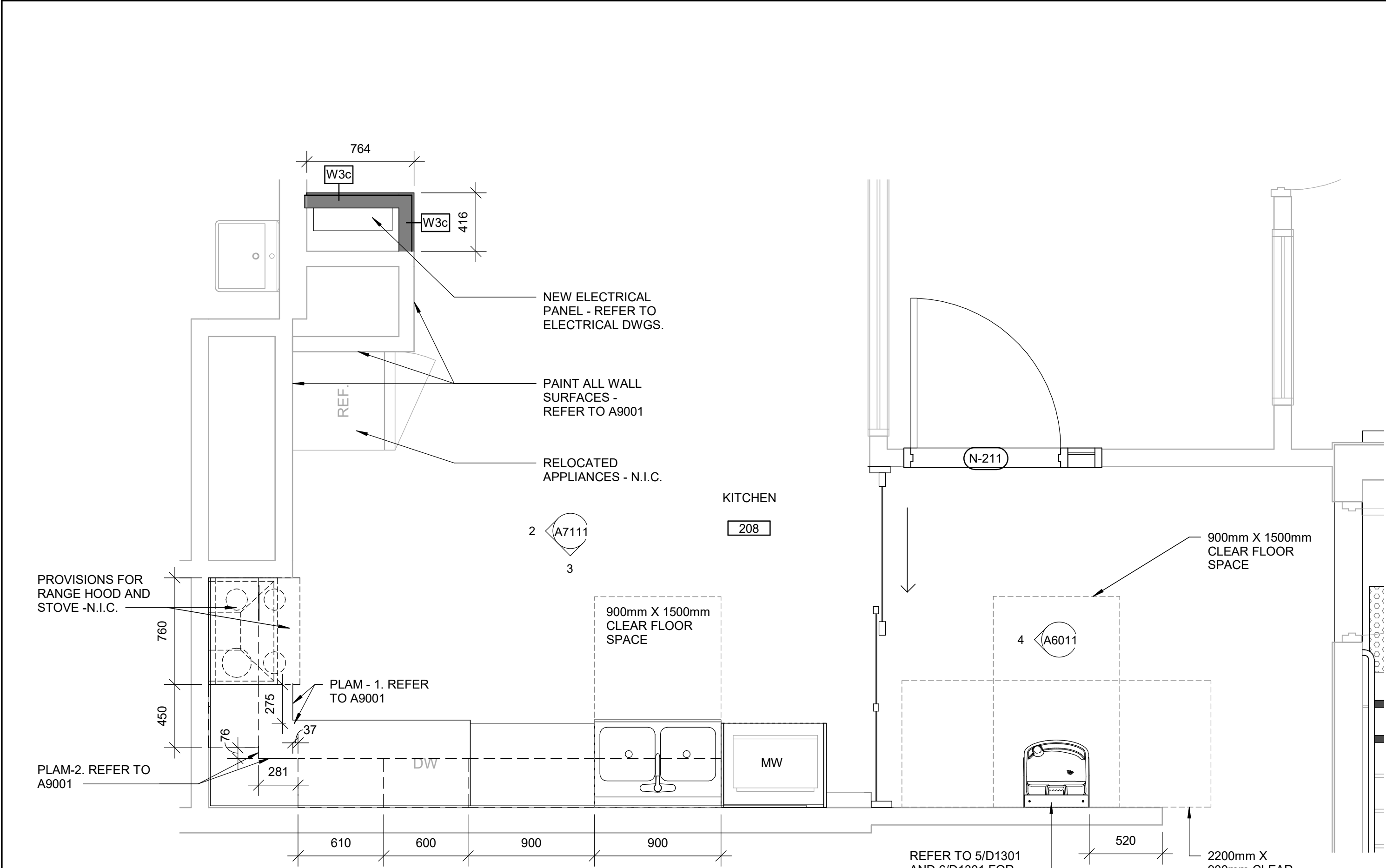
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**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19-0612 / IBI 122260
DRAWN BY:
A. KVASNIUK
PROJECT MGR:
F. BOLOURIAN
CHECKED BY:
S. HOUT
APPROVED BY:
E. FENUTA

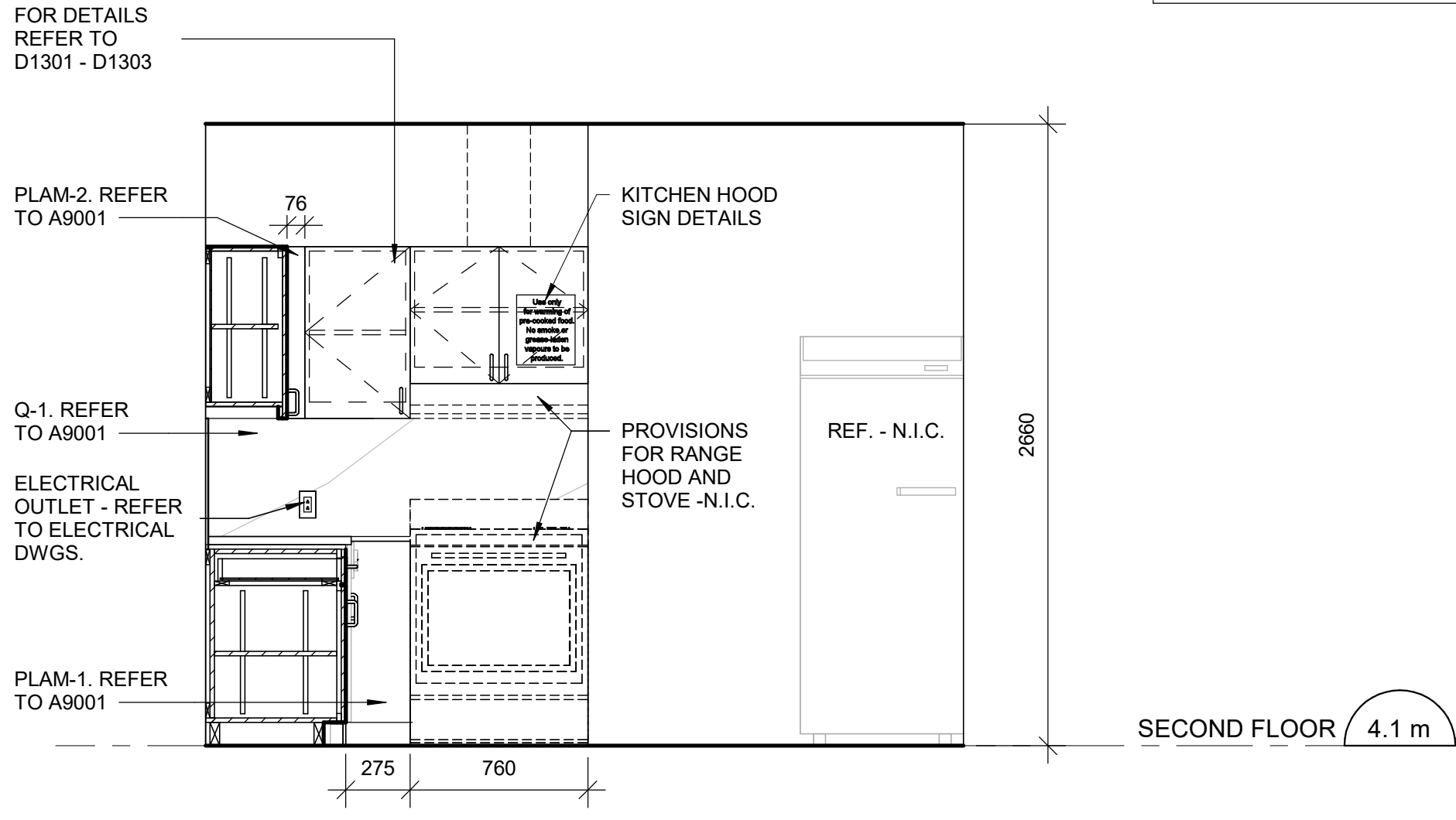
SHEET TITLE
INTERIOR ELEVATIONS

SHEET NUMBER
G08-013-A6011
ISSUE
D

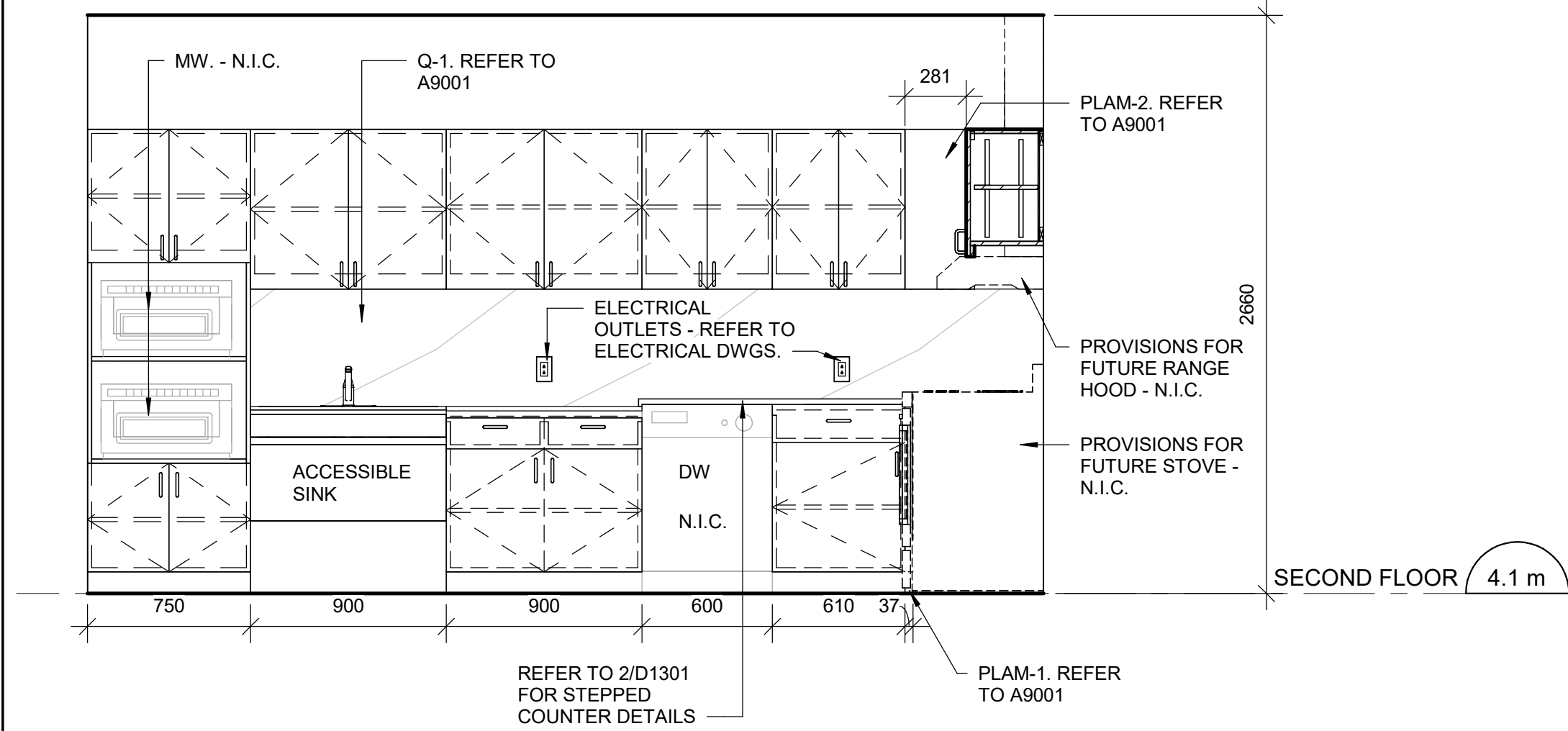




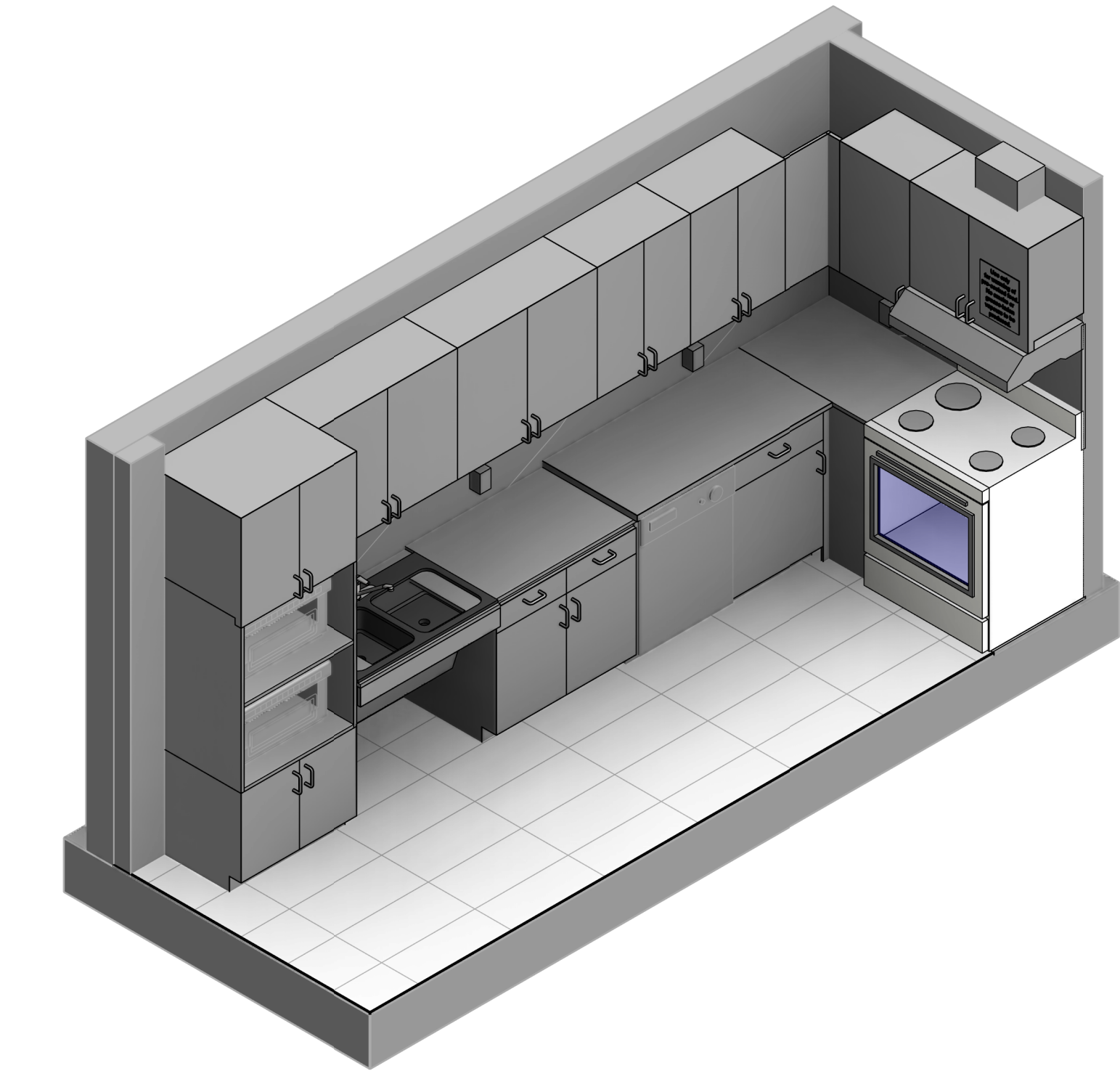
1 SECOND FLOOR KITCHEN PLAN
A7111 Scale: 1 : 25



2 SECOND FLOOR KITCHEN - ELEVATION 2
A7111 Scale: 1 : 25



3 SECOND FLOOR KITCHEN - ELEVATION 3
A7111 Scale: 1 : 25



4 SECOND FLOOR KITCHEN AXONOMETRIC
A7111 Scale:

CONSTRUCTION KEY LEGEND	
	EXISTING PARTITION TO REMAIN
	NEW PARTITION REFER TO PARTITION SCHEDULE
	EXISTING DOOR TO REMAIN
	NEW DOOR AND/ OR NEW HARDWARE

CLIENT

CITY OF TORONTO

Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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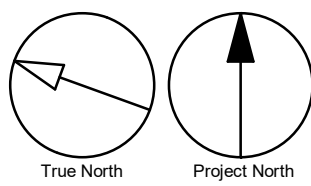
PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO: 9119-19-0612 / IBI 122260	
DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
SECOND FLOOR
KITCHEN - ENLARGED
PLAN AND ELEVATIONS

SHEET NUMBER G08-013-A7111	ISSUE D
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2024-07-23 9:37:34 AM

DOOR SCHEDULE																
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS	
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTOL DEVICE	BFAO	PANIC DEVICE			
FIRST FLOOR																
N-114A	MALE WASHROOM	A(L)	1067	2350	45	HM	PT3	<-->	HM	PT3		*		NA		
N-114B	MALE WASHROOM	A(L)	1067	2350	45	HM	PT3	<-->	HM	PT3		*		NA		
N-116	FEMALE CHANGE ROOM/ WASHROOM	A(L)	1067	2350	45	HM	PT3	<-->	HM	PT3		*		NA		
N-117	OFFICE AREA	C	1067	2310	45	HM	PT3	TGL	HM	PT3	*			NA		
N-118A	OFFICE	S1	1156	2134	45	ALUMN	ANOD	TGL	ALUMN	ANOD				NA	NEW DOOR TO HAVE A LOCKSET ON BOTH SIDES	
N-118B	OFFICE	C	1067	2310	45	HM	PT3	TGL	HM	PT3	*			NA		
N-119	OFFICE AREA	C	1067	2135	45	HM	PT3	TGL	HM	PT3	*			NA	EXISTING KEY PAD TO REMAIN	
N-122	OFFICE AREA / LUNCH ROOM	C	1067	2130	45	HM	PT3	TGL	HM	PT3	*			NA	EXISTING KEY PAD TO REMAIN	
N-123	OFFICE	C	1067	2130	45	HM	PT3	TGL	HM	PT3				NA		
N-129	CORRIDOR	F	1067	2135	45	HM	PT3	GWG	HM	PT3		*		45		
NE-113A	CORRIDOR	FF	890	2300	45	HM	PT3	GWG	EXIST	EXIST		*		45	FRAME TO REMAIN, NEW FIRE RATED DOOR PANELS TO BE PROVIDED WITH NEW HARDWARE AND ADO TO OPEN BOTH DOORS SIMULTANEOUSLY	
NE-113B	VESTIBULE	EXIST	890	2300	45	EXIST	EXIST	EXIST	EXIST	EXIST	*	*		NA	EXISTING KEY PAD TO REMAIN, PROVIDE NEW BFAO	
NE-115	ELEV. MACHINE ROOM	EXIST	995	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-121	FIRST AID ROOM	EXIST	905	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-125	JAN. RM.	EXIST	915	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-126	CORRIDOR	EXIST	915	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-127	CORRIDOR	EXIST	765	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-129A	VESTIBULE	EXIST	1910	3000	45	EXIST	EXIST	EXIST	EXIST	EXIST	*	*		EXIST	EXISTING KEY PAD TO REMAIN, PROVIDE NEW BFAO	
NE-129B	CORRIDOR	FF	850	2350	45	HM	PT3	GWG	EXIST	EXIST		*		45	FRAME TO REMAIN, NEW FIRE RATED DOOR PANELS TO BE PROVIDED WITH NEW HARDWARE AND ADO TO OPEN BOTH DOORS SIMULTANEOUSLY	
SECOND FLOOR																
N-203	OFFICE AREA	D	1067	2311	45	WD	VNR	TGL	WD	PT3		*		NA		
N-208	KITCHEN	S1	1156	2134	45	ALUMN	ANOD	TGL	ALUMN	ANOD				NA		
N-211	OFFICE AREA	As	1067	2340	45	HM	PT3	TGL	HM	PT3	*			NA		
N-222	OFFICE AREA	K	1067	2120	13	TGL	<-->	TGL	<-->	<-->				NA	EXISTING GLASS DOOR HINGES AND LATCH SET TO REMAIN	
N-223	UNIVERSAL WASHROOM	A(L)	1067	2135	45	HM	PT3	<-->	HM	PT3		*		NA		
N-224	BARRIER FREE FEMALE WASHROOM 1	A(L)	1067	2135	45	HM	PT3	<-->	HM	PT3		*		NA		
N-225	BARRIER FREE FEMALE WASHROOM 2	A(L)	1067	2135	45	HM	PT3	<-->	HM	PT3		*		NA		
NE-201	OFFICE AREA	EXIST	900	2345	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-206	OFFICE AREA	EXIST	980	2315	45	EXIST	EXIST	EXIST	EXIST	EXIST		*		EXIST	EXISTING DOOR TO REMAIN, PROVIDE NEW BFAO	
NE-207	OFFICE AREA	EXIST	850	2340	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-214	OFFICE AREA	EXIST	900	2345	45	EXIST	EXIST	EXIST	EXIST	EXIST	*			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, EXISTING KEY PAD TO REMAIN	

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT FOR INFORMATION PURPOSES ONLY. NEW DOOR HEIGHTS TO MATCH SITE CONFIRMED EXISTING DOOR HEIGHTS.
2	REFER TO ELECTRICAL DRAWINGS FOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND SPECIFICATION FOR ADDITIONAL INFORMATION ON DOOR HARDWARE.
4	WHERE DOORS ARE BEING WIDENED, REPAINT AFFECTED PAINTED WALL SURFACES WITH PT-3.


DOOR ABBREVIATIONS	
*	DENOTES YES
ALUM	ALUMINUM
ANOD	ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFWO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
EXIST	EXISTING
FBM	FINGER BIOMETRIC
GWB	GYPSUM WALL BOARD
GWG	GEORGIAN WIRE GLASS
HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
ITGL	INSULATED TEMPERED (SAFETY) GLASS
KP	KEY PAD
OBM	OCULAR BIOMETRIC
PF	PRE FINISHED
PLAM	PLASTIC LAMINATE
PT	PAINT
SIM	SIMILAR
SS	STAINLESS STEEL
TGL	TEMPERED GLASS
WD	WOOD

ROOM FINISH SCHEDULE																		
ROOM NUMBER	ROOM NAME	FLOOR		BASE		CEILING								HEIGH T	NOTES			
		MAT.	FIN.	MAT.	FIN.	NORTH		EAST		SOUTH		WEST						
						MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.					
FIRST FLOOR																		
114	MALE WASHROOM	EXIST, CONC	PFT-1, PFT-2	CWT-4	CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST/GWB	PT-2	2420		
116	FEMALE CHANGE ROOM/ WASHROOM	EXIST, CONC	PFT-1, PFT-2	CWT-4	CWT-4	EXIST, CONC	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST/GWB	PT-2	2420		
120	OFFICE AREA / LUNCH ROOM	EXIST	EXIST	EXIST, RUBBER	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
122	OFFICE AREA	EXIST	EXIST	EXIST, RUBBER	EXIST, PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
123	OFFICE	EXIST	EXIST	EXIST, RUBBER	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
127	MALE LOCKER ROOM	EXIST	EXIST	EXIST, RUBBER	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST, CMU	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
129	VESTIBULE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST, GWB	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
131	CORRIDOR	EXIST	EXIST, CERAMIC TILE	EXIST, CERAMIC TILE TO MATCH EXIST.	EXIST, CERAMIC TILE TO MATCH EXIST.	EXIST	EXIST, PT-3	EXIST	EXIST, PT-3	EXIST	PT-3	EXIST, GWB	EXIST, PT-3	EXIST, SUSPENDED TILED CEILING	EXIST, SUSPENDED TILE CEILING	2960.5	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION	
SECOND FLOOR																		
202	OFFICE AREA	EXIST	EXIST, CARPET TO MATCH EXIST	EXIST, CARPET TO MATCH EXIST.	EXIST, CARPET TO MATCH EXIST.	EXIST, GWB	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST, SUSPENDED TILED CEILING	EXIST, SUSPENDED TILE CEILING	2680	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION	
203	MEETING ROOM	EXIST	EXIST	EXIST, CARPET TO MATCH EXIST.	EXIST, CARPET TO MATCH EXIST.	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
206	MALE WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST, PORCELAIN TILE TO MATCH EXIST.	EXIST	EXIST	EXIST	EXIST	
208	KITCHEN	EXIST, CONC	PFT-1, MAT-1	N/A	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST, GWB	Q-1, PLAM-1, PLAM-2, PT-3	EXIST, GWB	Q-1, PLAM-1, PLAM-2, PT-3	EXIST, SUSPENDED TILED CEILING	EXIST, SUSPENDED TILE CEILING	2660	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION	
223	UNIVERSAL WASHROOM	EXIST, CONC	PFT-1	CWT-4	CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CTW-3, CWT-4	EXIST, GWB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	GWB	PT-2	2600		
224	BARRIER FREE FEMALE WASHROOM 1	EXIST, CONC	PFT-1	CWT-4	CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CTW-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	PT-2	2600		
225	BARRIER FREE FEMALE WASHROOM 2	EXIST, CONC	PFT-1	CWT-4	CWT-4	GWB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CTW-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	PT-2	2600		

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EWf-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIOAL FINISH	3/8"		MIRAGE	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	40"X70"		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PFT-2	PORCELAIN FLOOR TILE	TAUPE	MATTE	50mm X 50mm (2"X2")	ROC BASIC	STONE TILE	SHOWER FLOOR TILE
PFT-3	PORCELAIN FLOOR TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	GC TO PROVIDE SAMPLE FOR APPROVAL. TILE ENTIRE FLOOR AREA INDUCATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS LOWERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS UPPERS
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILINGS
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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ISSUES

No.	DESCRIPTION	DATE
A	50% SUBMISSION	2021-01-21
B	90% SUBMISSION	2021-04-12
C	ISSUED FOR PERMIT	2021-04-12
D	ISSUED FOR TENDER	2021-07-23

CONSULTANTS

SEAL

PRIME CONSULTANT



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PROJECT TITLE

CITY OF TORONTO

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SHEET TITLE

DOOR AND ROOM FINISH

SCHEDULE

SHEET NUMBER

G08-013-A9001

ISSUE

D

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SCALE CHECK