

# CITY OF TORONTO ACCESSIBILITY UPGRADES

9119- 19- 0162 / IBI 122260

Fire/EMS HQ & EMS     Station 53  
4330 Dufferin St

GROUP 08  
SEQ 229



ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CITY OF TORONTO  
ACCESSIBILITY UPGRADES  
PROGRAM GROUP 08

PROJECT NO: 9119- 19- 0162 / IBI 122260		
DATE: 2021-10-19		
SHEET NUMBER G08-229-G0001	ISSUE 0	

ISSUED FOR CONSTRUCTION



GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G0001	COVER SHEET
G0002	DRAWING LIST

ARCHITECTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A1201	SITE PLAN
A1202	ENLARGED SITE PLAN - DEMOLITION PLAN
A1203	ENLARGED SITE PLAN - PROPOSED PLAN
A2000	SITE STAGING PLAN
A2001	BASEMENT STAGING PLAN
A2011	FIRST FLOOR STAGING PLAN
A2021	SECOND FLOOR STAGING PLAN
A2031	THIRD FLOOR STAGING PLAN
A2101	BASEMENT DEMOLITION PLAN
A2111	FIRST FLOOR DEMOLITION PLAN PARTIAL PLAN EAST
A2112	FIRST FLOOR DEMOLITION PLAN WEST
A2121	SECOND FLOOR DEMOLITION PLAN EAST
A2122	SECOND FLOOR DEMOLITION PLAN WEST
A2131	THIRD FLOOR DEMOLITION PLAN
A2401	BASEMENT PROPOSED PLAN
A2411	FIRST FLOOR PROPOSED PARTIAL PLAN EAST
A2412	FIRST FLOOR PROPOSED PARTIAL PLAN WEST
A2421	SECOND FLOOR PROPOSED - PARTIAL PLAN EAST
A2422	SECOND FLOOR PROPOSED - PARTIAL PLAN WEST
A2431	THIRD FLOOR PROPOSED PLAN
A2611	FIRST FLOOR FINISH PLAN
A2621	SECOND FLOOR FINISH PLAN
A2631	THIRD FLOOR FINISH PLAN
A2811	REFLECTED CEILING PLANS
A5011	FIRST FLOOR UNIFORM W.C. PLANS/ELEVATIONS
A5012	FIRST FLOOR MULTI STALL WASHROOMS
A5013	FIRS FLOOR PROPOSED MULTI STALL WASHROOMS
A5014	MULTI STALL WASHROOMS SECOND & THIRD FLOORS (TYP)
A5111	ENLARGED ENTRANCE PLANS & ELEVATIONS
A5211	ENLARGED STAIR PLANS & SECTIONS
A5212	ENLARGED STAIR PLANS & SECTIONS
A5311	ELEVATOR PLANS & ELEVATIONS
A5411	THIRD FLOOR WEST RAMP DETAIL
A7111	FIRST FLOOR SECURITY DESK - ENLARGED PLANS/ELEVATIONS
A7112	FIRST FLOOR SECURITY DESK - DETAILS
A7113	FIRST FLOOR KITCHENS - ENLARGED PLANS/ELEVATIONS
A7114	ENLARGED PLANS/ELEVATIONS
A9001	ROOM FINISH SCHEDULE
A9111	DOOR SCHEDULE

A8001 to A8113 - SIGNAGE DRAWINGS \*\*ADDED AFTER  
TENDER - CHANGE TO BE ISSUED

MECHANICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
M0001	MECHANICAL DRAWING LIST
M1102	DEMOLITION PLAN - GROUND FLOOR PARTIAL PLAN EAST
M1103	DEMOLITION PLAN - GROUND FLOOR PARTIAL PLAN WEST
M1104	DEMOLITION PLAN - SECOND FLOOR PARTIAL PLAN EAST
M1105	DEMOLITION PLAN - THIRD FLOOR
M2102	PLUMBING - GROUND FLOOR PARTIAL PLAN EAST
M2103	PLUMBING - GROUND FLOOR PARTIAL PLAN WEST
M2104	PLUMBING - SECOND FLOOR PARTIAL PLAN EAST
M2105	PLUMBING - SECOND FLOOR PARTIAL PLAN WEST
M2106	PLUMBING - THIRD FLOOR
M2301	PLUMBING - ENLARGED PLANS
M3102	DRAINAGE - GROUND FLOOR PARTIAL PLAN EAST
M3103	DRAINAGE - GROUND FLOOR PARTIAL PLAN WEST
M3104	DRAINAGE - SECOND FLOOR PARTIAL PLAN EAST
M3105	DRAINAGE - THIRD FLOOR
M3301	DRAINAGE - ENLARGED PLANS
M4101	FIRE PROTECTION - GROUND FLOOR PARTIAL PLAN EAST
M5101	HVAC - GROUND FLOOR PARTIAL PLAN EAST
M5301	HVAC - ENLARGED PLANS

ELECTRICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
E0000	DRAWING LIST
E1101	ELECTRICAL DEMOLITION PLAN 1ST FLOOR
E1102	ELECTRICAL DEMOLITION ENLARGED PLAN 1ST FLOOR PART 1
E1103	ELECTRICAL DEMOLITION ENLARGED PLAN 1ST FLOOR PART 2
E1104	ELECTRICAL DEMOLITION ENLARGED PLAN 1ST FLOOR PART 3
E1105	ELECTRICAL DEMOLITION PLAN 2ND FLOOR
E1106	ELECTRICAL DEMOLITION ENLARGED PLAN 2ND FLOOR PART 1
E1107	ELECTRICAL DEMOLITION ENLARGED PLAN 2ND FLOOR PART 2
E1108	ELECTRICAL DEMOLITION ENLARGED PLAN 2ND FLOOR PART 3
E1109	ELECTRICAL DEMOLITION 3RD FLOOR
E1110	ELECTRICAL DEMOLITION ENLARGED PLAN 3RD FLOOR PARTIAL PLANS
E2100	POWER & SYSTEMS BASEMENT PLAN
E2101	POWER & SYSTEMS PLAN 1ST FLOOR KEY PLAN
E2103	POWER & SYSTEMS ENLARGED PLAN 1ST FLOOR PART 1
E2104	POWER & SYSTEMS ENLARGED PLAN 1ST FLOOR PART 2
E2105	POWER & SYSTEMS ENLARGED PLAN 1ST FLOOR PART 3
E2106	POWER & SYSTEMS PLAN 2ND FLOOR KEY PLAN
E2107	POWER & SYSTEMS ENLARGED PLAN 2ND FLOOR PART 1
E2108	POWER & SYSTEMS ENLARGED PLAN 2ND FLOOR PART 2
E2109	POWER & SYSTEMS ENLARGED PLAN 2ND FLOOR PART 3
E2110	POWER & SYSTEMS PLAN 3RD FLOOR KEY PLAN
E2111	POWER & SYSTEMS 3RD FLOOR PARTIAL PLANS

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CITY OF TORONTO

 **Toronto**

Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
M5V 3C6

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ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605  100-175 Galaxy Boulevard Toronto, ON M9W OC9 T 416 679 1930 F 416 675 4620						Name of Project FIRE / EMS HQ & EMS STATION 53 ACCESSIBILITY UPGRADES Location 4330 DUFFERIN ST, NORTH YORK, ON M3H 5R9																																			
ITEM						Ontario's 2012 Building Code Data Matrix Part 3 or 9						OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C						REMARKS																							
						<div>1. PROJECT DESCRIPTION<div><div><div><input type="checkbox"/> New</div><div><input type="checkbox"/> Addition</div><div><input type="checkbox"/> CHANGE OF USE</div><div><input checked="" type="checkbox"/> Alteration</div></div><div>PART 11</div><div>11.1 to 11.4</div></div></div>						<div><input checked="" type="checkbox"/> PART 3</div> <div><input type="checkbox"/> PART 9</div>																													
						2. MAJOR OCCUPANCY(S) SUBSIDIARY OCCUPANCY(S)						GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANIES						3.1.2.1. (1)						9.10.2.																	
3. BUILDING AREA (m²)						EXISTING - 7,244.75						NEW -						TOTAL - 7,244.75						1.4.1.2. [A]						1.4.1.2. [A]											
4. GROSS AREA (m²)						EXISTING - 13,634.25						NEW -						TOTAL - 13,634.25						1.4.1.2. [A]						1.4.1.2. [A]											
5. NUMBER OF STOREYS						ABOVE GRADE - 3						BELOW GRADE - 1PARTIAL						1.4.1.2. [A] & 3.2.1.1.						1.4.1.2. [A] & 9.10.4.																	
6. NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1						EXISTING NO CHANGE						3.2.2.10. & 3.2.5.						9.10.20.																							
7. BUILDING CLASSIFICATION -						EXISTING NO CHANGE						3.2.2.67.						9.10.2.																							
8. SPRINKLER SYSTEM PROPOSED						<div><div><div><input type="checkbox"/> ENTIRE BUILDING</div><div><input type="checkbox"/> SELECTED COMPARTMENTS</div><div><input type="checkbox"/> SELECTED FLOOR AREAS</div><div><input type="checkbox"/> BASEMENT</div><div><input checked="" type="checkbox"/> NOT REQUIRED</div></div><div>EXISTING NO CHANGE</div><div><input type="checkbox"/> IN LIEU OF ROOF RATING</div></div>						3.2.2.67 3.2.1.5 3.2.2.17 INDEX						9.10.8.2   INDEX																							
9. STANDPIPE REQUIRED						<div><div><div><input type="checkbox"/> YES</div><div><input type="checkbox"/> NO</div></div><div>EXISTING NO CHANGE</div></div>						3.2.9.						N/A																							
STANDPIPE PROVIDED						<div><div><div><input checked="" type="checkbox"/> YES</div><div><input type="checkbox"/> NO</div></div></div>																																			
10. FIRE ALARM REQUIRED						<div><div><div><input type="checkbox"/> YES</div><div><input type="checkbox"/> NO</div></div><div>EXISTING NO CHANGE</div></div>						3.2.4.						9.10.18.																							
FIRE ALARM PROVIDED						<div><div><div><input checked="" type="checkbox"/> YES</div><div><input type="checkbox"/> NO</div></div></div>																																			
11. WATER SERVICE/SUPPLY IS ADEQUATE						<div><div><div><input checked="" type="checkbox"/> YES</div><div><input type="checkbox"/> NO</div></div><div>EXISTING NO CHANGE</div></div>						3.2.5.7.						N/A																							
12. HIGH BUILDING						<div><div><div><input type="checkbox"/> YES</div><div><input checked="" type="checkbox"/> NO</div></div></div>						3.2.6.						N/A																							
13. CONSTRUCTION RESTRICTIONS						<div><div><div><input type="checkbox"/> COMBUSTIBLE PERMITTED</div><div><input type="checkbox"/> NON-COMBUSTIBLE REQUIRED</div><div><input type="checkbox"/> BOTH</div></div><div>EXISTING NO CHANGE</div></div>						3.2.2.67.						9.10.6.																							
ACTUAL CONSTRUCTION						<div><div><div><input type="checkbox"/> COMBUSTIBLE</div><div><input type="checkbox"/> NON-COMBUSTIBLE</div><div><input type="checkbox"/> BOTH</div></div></div>																																			
14. MEZZANINE (S) AREA m²						N/A						3.2.1.1. (3) - (8)						9.10.4.1.																							
15. OCCUPANT LOAD BASED ON						<div><div><div><input type="checkbox"/> m²/PERSON</div><div>EXISTING NO CHANGE</div></div><div>1ST FLOOR: OCCUPANCY _____ LOAD ____ PERSONS</div><div>2ND FLOOR: OCCUPANCY _____ LOAD ____ PERSONS</div><div>MEZZANINE FLOOR: OCCUPANCY _____ LOAD ____ PERSONS</div></div>						3.1.17.						4.9.13.																							
16. BARRIER FREE DESIGN						<div><div><div><input checked="" type="checkbox"/> YES</div><div><input type="checkbox"/> NO (EXPLAIN)</div></div></div>						3.8.						9.5.2.						ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE																	
17. HAZARDOUS SUBSTANCES						<div><div><div><input type="checkbox"/> YES</div><div><input checked="" type="checkbox"/> NO</div></div></div>						3.3.1.2 & 3.3.1.19						9.10.1.3.(4)																							
18a. REQUIRED FIRE RESISTANCE RATING (FRR)						<div><div>HORIZONTAL ASSEMBLIES FRR (HOURS)</div><div>FLOORS NO CHANGE</div><div>ROOF NO CHANGE</div><div>MEZZANINE N/A</div></div>						<div><div>LISTED DESIGN NO. OR DESCRIPTION (SB-2)</div><div>3.2.2.67. &amp; 3.2.1.4.</div></div>						<div><div>9.10.8. 9.10.9.</div></div>																							

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9								OBC REFERENCE			REMARKS	
									References are to Division B unless noted (A) for Division A or (C) for Division C				
18b.	REQUIRED FIRE  RESISTANCE RATING  (FRR)		FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SB-2)				SB-2 TABLE 2.1.1.				
			FLOORS <u>NO CHANGE</u>										
			ROOF <u>NO CHANGE</u>										
			MEZZANINE						SB-2 TABLE 2.1.1.				
19. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS									3.2.3.		9.10.14.		EXISTING NO CHANGE
WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONG-GLASSING	NON-COMB. CONST.			
NORTH					-	0	-	-	-				
SOUTH					-	0	-	-	-				
EAST					-	0	-	-	-				
WEST					-	0	-	-	-				
20. PLUMBING FIXTURE REQUIREMENTS									-				
											OBC REFERENCE		
MALE / FEMALE COUNT @        % /        %					REMOVING 1 URINAL AND ADDING 1 UNIVERSAL WASHROOM					<input checked="" type="checkbox"/>	PART 3	<input type="checkbox"/>	PART 9
EXCEPT AS NOTED OTHERWISE					OCCUPANT LOAD		OBC TABLE NUMBER		FIXTURES REQUIRED	FIXTURES PROVIDED			
MAJOR OCCUPANCY _____					711 MALE		3.7.4.7.		26	30	3.7.4.7.		
					711 FEMALE		3.7.4.7.		26	34	3.7.4.7.		
21. EXITS/ ACCESS TO EXIT-											EXISTING NO CHANGE		
22. OTHER (DESCRIBE) -													

ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building			OBC REFERENCE	REMARKS
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX:  <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)		11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N	
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>		11.3.3.1. 11.3.3.2.	
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.	
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) BY INCREASE IN OCCUPANT LOAD: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) BY CHANGE OF MAJOR OCCUPANCY: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) PLUMBING: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) SEWAGE SYSTEM: <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)		11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6	
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)		11.5.1	

[illegible][illegible]

SEAL



The seal is circular with a dotted border. Inside the border, the text "ONTARIO ASSOCIATION" is at the top, "2021.10.19" is in the center, "OF" is below the date, "ARCHITECTS" is below "OF", and "MAY KUO" is written in cursive below "ARCHITECTS". At the bottom, the text "LICENCE 7555" is printed.

**PRIME CONSULTANT**

 **IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
[ibigroup.com](http://ibigroup.com)

PROJECT TITLE	CITY OF TORONTO ACCESSIBILITY UPGRADES
---------------	---

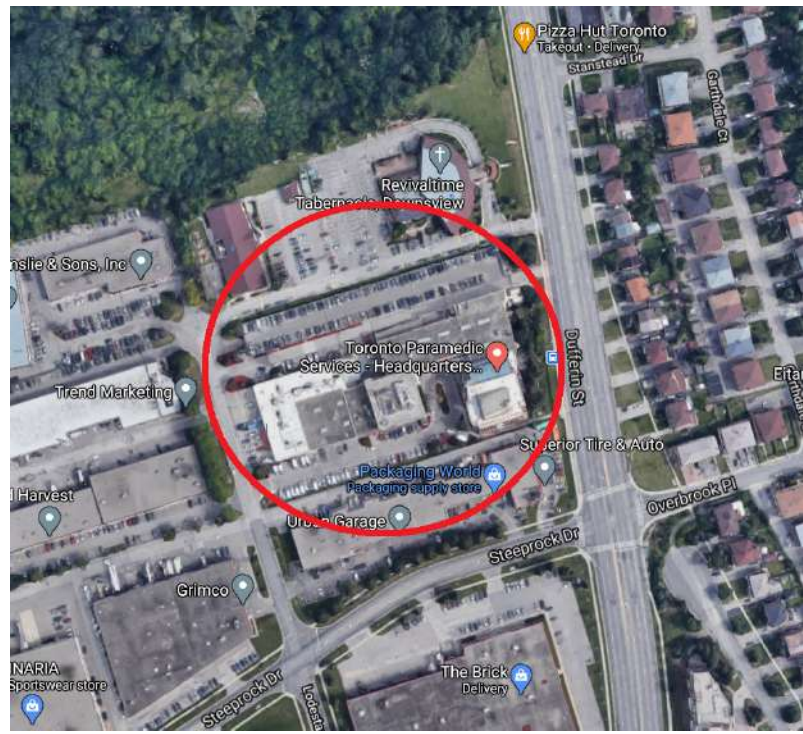
PROJECT ADDRESS

Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO: 9119- 19- 0162 / IBI 122260	
DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE	
DRAWING LIST	
SHEET NUMBER	ISSUE
G08-229-G0002	0





2 KEY MAP  
A1201 Scale: NTS

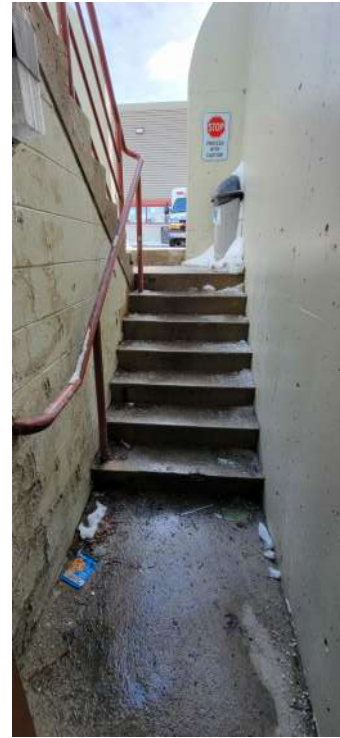


PHOTO 1: STAIRS AT PARKING AREA



PHOTO 2: STAIRS AT PARKING AREA



PHOTO 3: WALKWAY AT ENTRANCE



PHOTO 4: WALKWAY TO THE ENTRANCE SOUTH SIDE



PHOTO 5: WALKWAY SOUTH SIDE

- SITE PLAN GENERAL NOTES**
- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
  - 2 CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
  - 3 VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

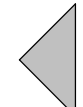


PHOTO 6: WALKWAY TO THE ENTRANCE SOUTH SIDE

**SITE LEGEND**



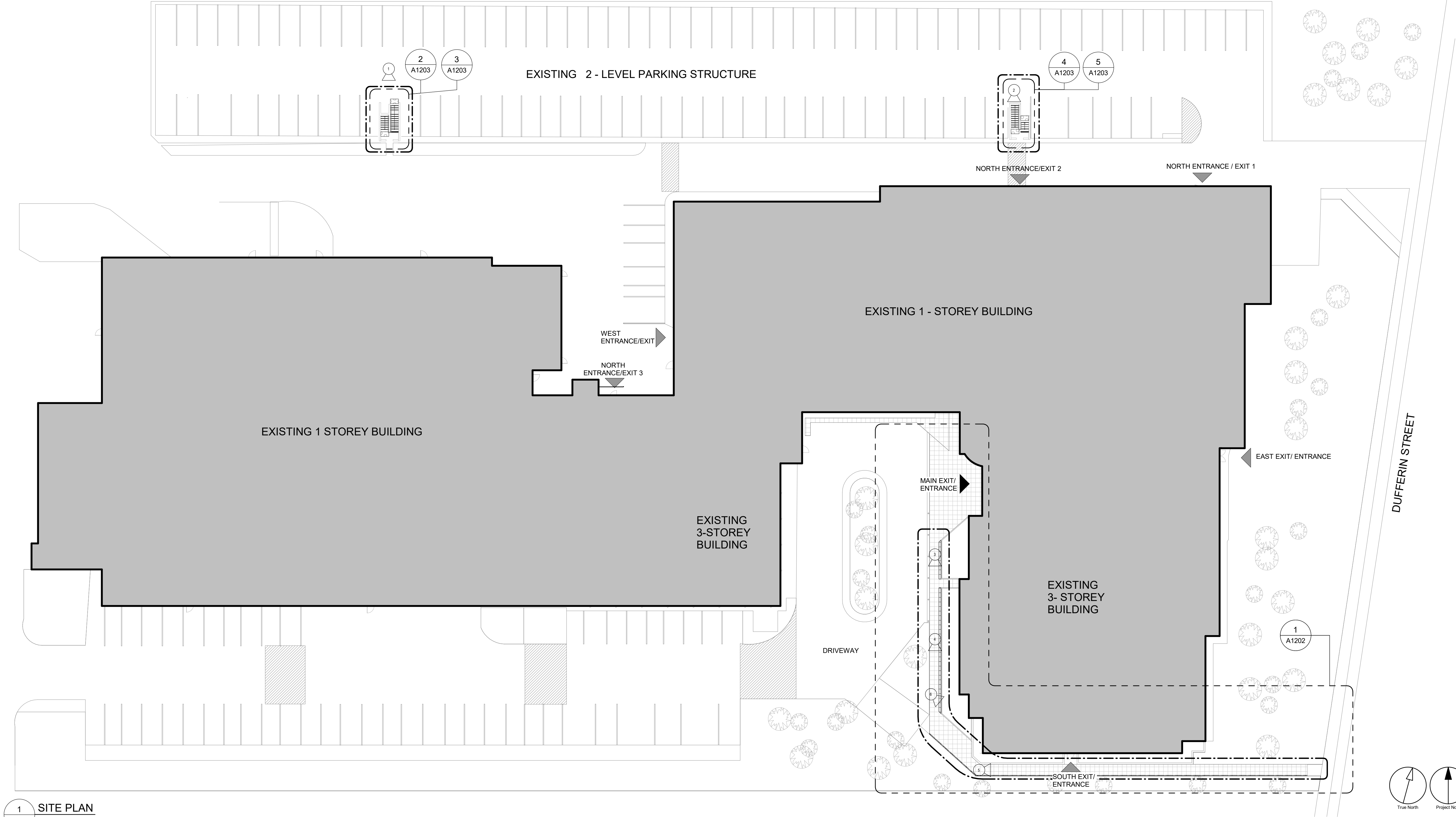
EXISTING MAIN ENTRANCE



EXISTING EXIT TO REMAIN



DASHED AREA INDICATES AREA OF WORK



1 SITE PLAN  
A1201 Scale: 1 : 250

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Project Management Office  
Metro Hall Toronto, ON  
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ISSUES		
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0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY:

**A. BOYNARIAN**

CHECKED BY:

**L. BANDIERA**

PROJECT MGR:

**F. BOLOURIAN**

APPROVED BY:

**E. FENUTA**

SHEET TITLE  
**SITE PLAN**

SHEET NUMBER

**G08-229-A1201**

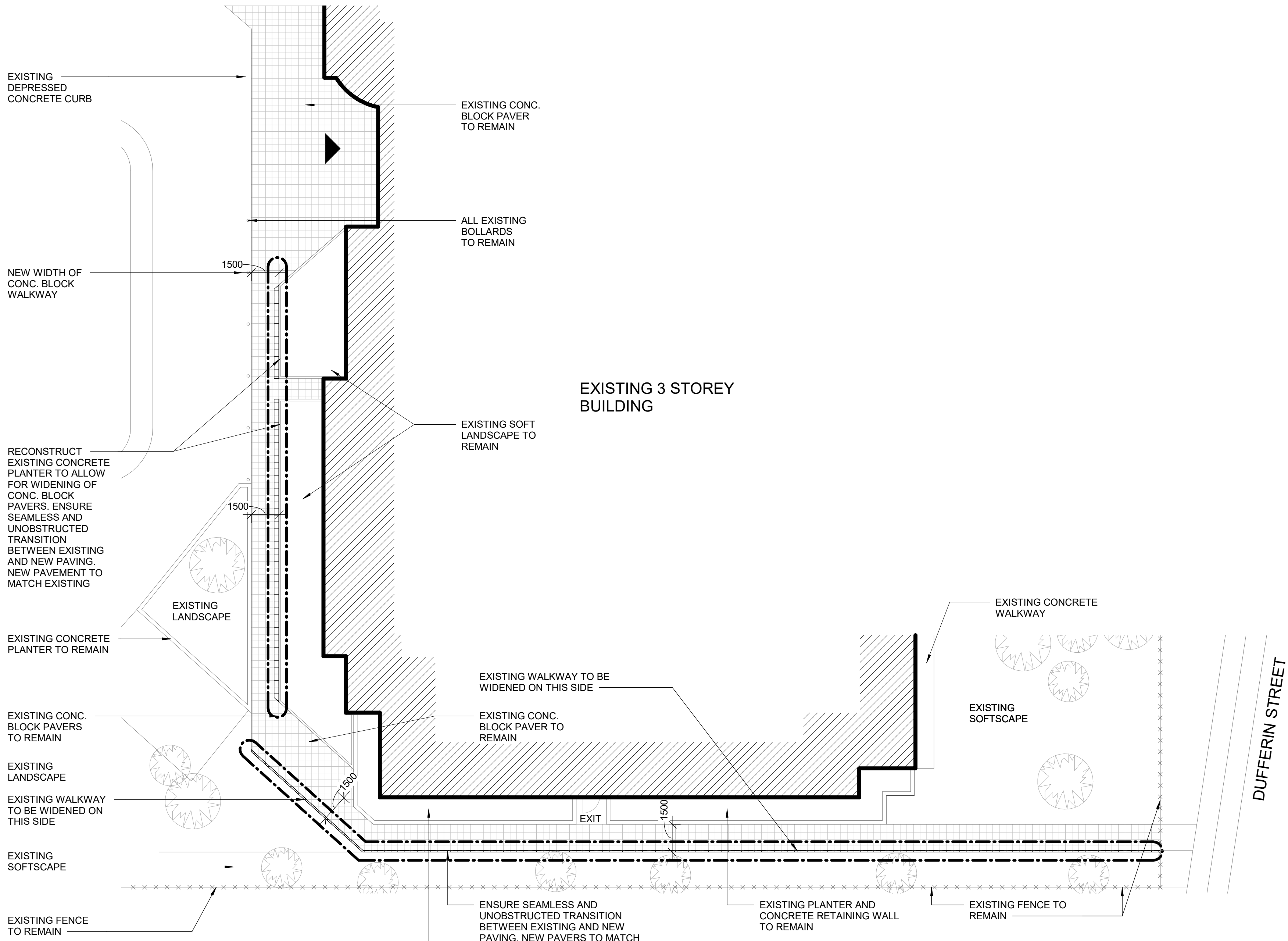
ISSUE

**0**









**SITE LEGEND**

EXISTING MAIN ENTRANCE

DASHED AREA INDICATES AREA OF WORK

**SITE PLAN GENERAL NOTES**

1

SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.

2

CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.

3

VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

**CONSTRUCTION KEY NOTES**

NO

DESCRIPTION

A

INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

B

INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.

**STAIRS GENERAL NOTES**

NO

DESCRIPTION

1

REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS.

2

REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS.

3

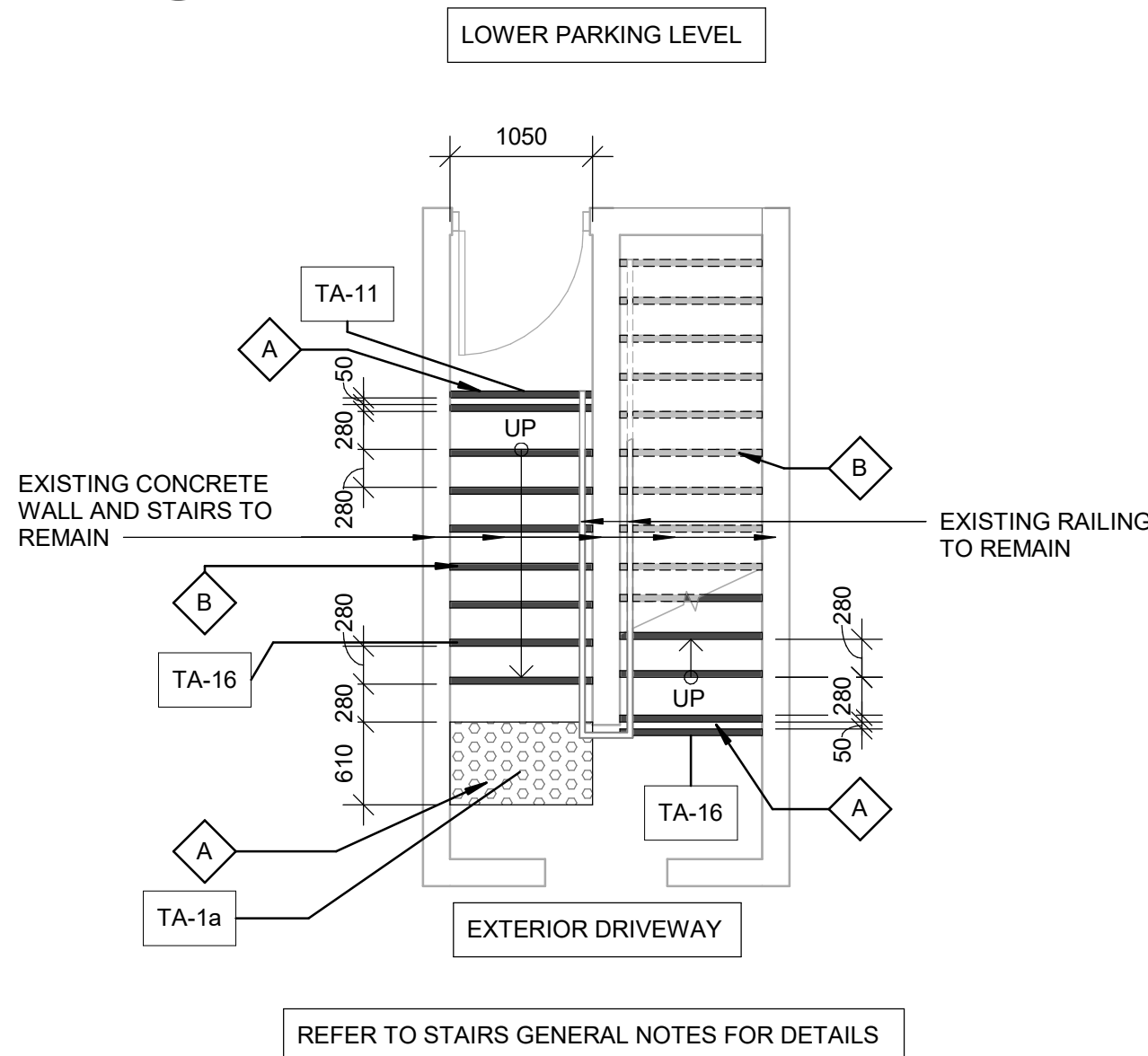
REFER TO 4/D1405 FOR FLAT STAIR NOSING (TA-16) DETAILS.

1

**SITE PLAN - ACCESSIBLE PATHWAY**

A1203

Scale: 1 : 150

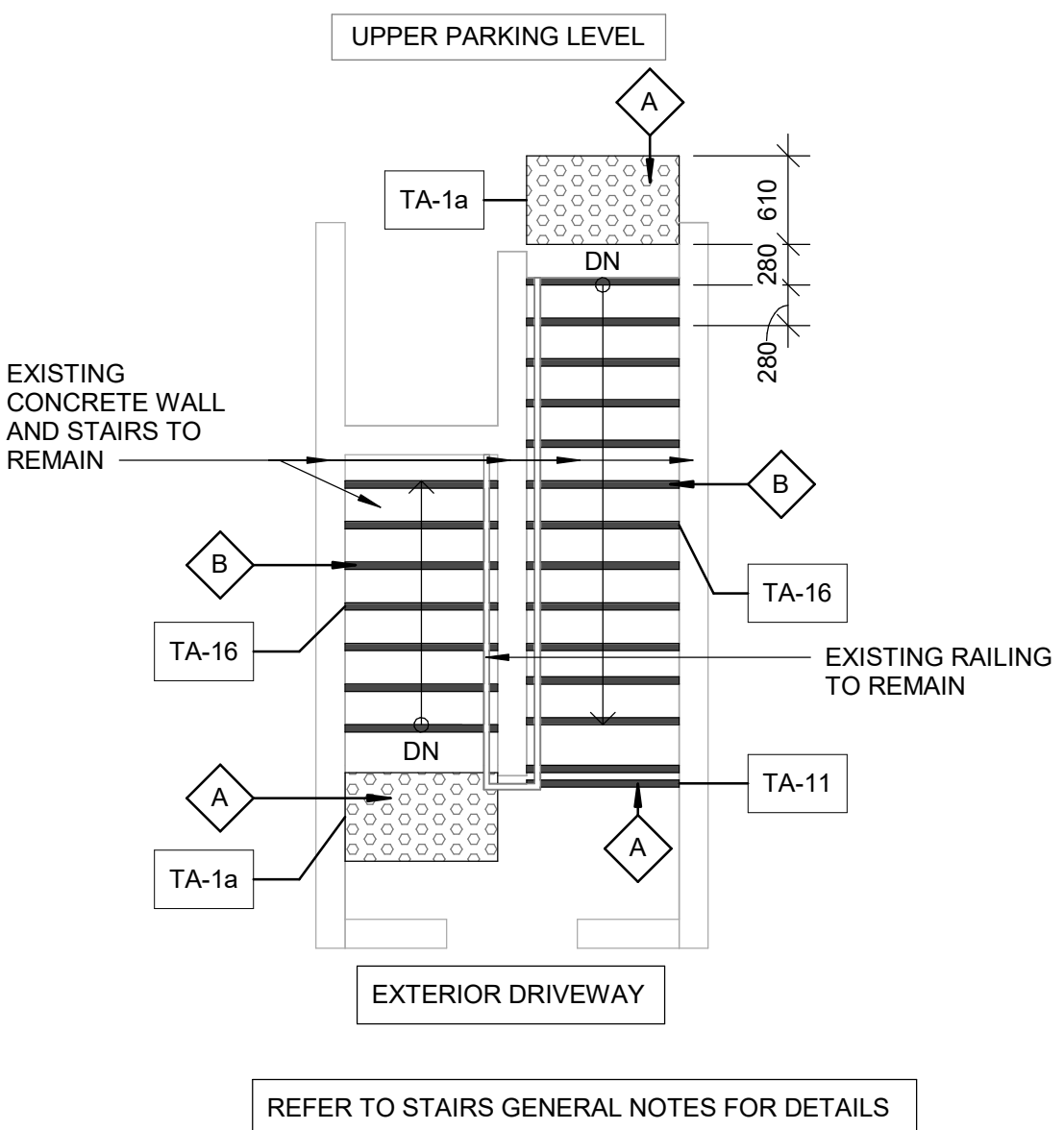


2

**EXT. STAIR 2 - LOWER LEVEL**

A1203

Scale: 1 : 50

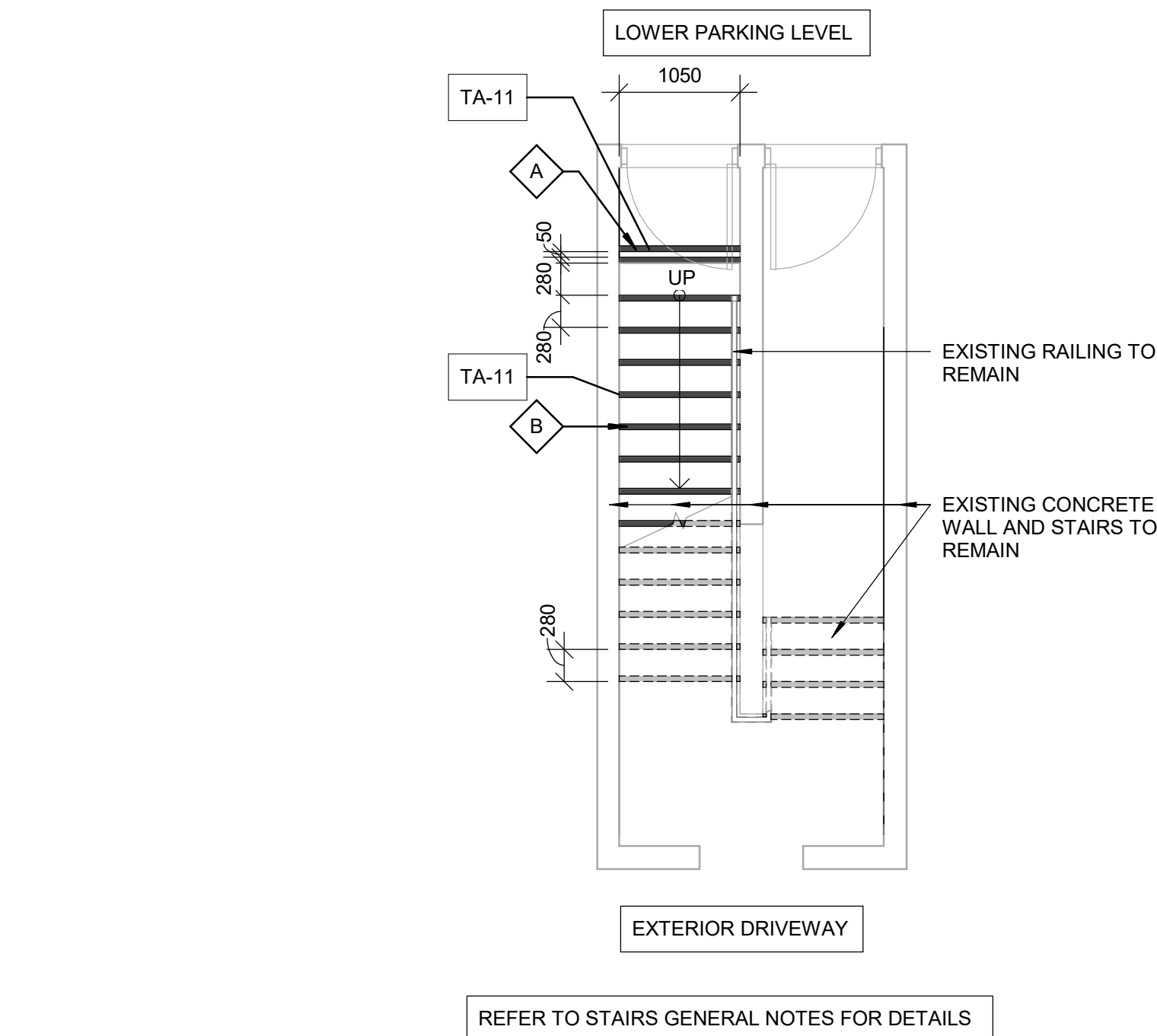


3

**EXT. STAIR 2 - UPPER LEVEL**

A1203

Scale: 1 : 50

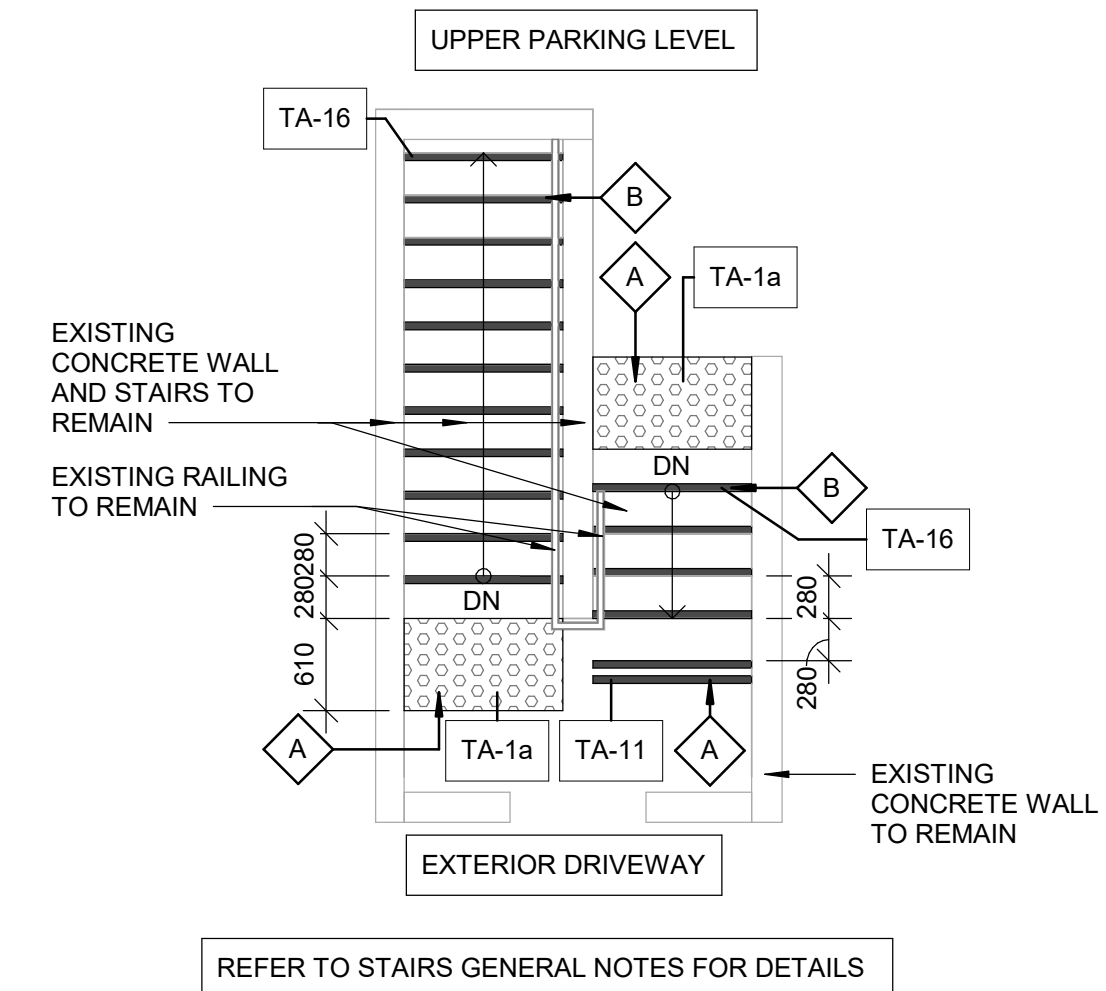


4

**EXT. STAIR 1 - LOWER LEVEL**

A1203

Scale: 1 : 50

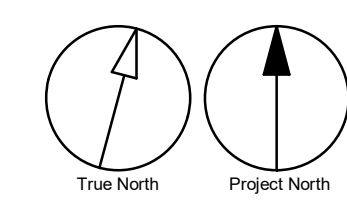


5

**EXT. STAIR 1 - UPPER LEVEL**

A1203

Scale: 1 : 50



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0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

PRIME CONSULTANT

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tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

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9119- 19- 0162 / IBI 122260

DRAWN BY:  
**A. BOYNARIAN**

CHECKED BY:  
**L. BANDIERA**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE

**ENLARGED SITE PLAN -  
PROPOSED PLAN**

SHEET NUMBER

**G08-229-A1203**

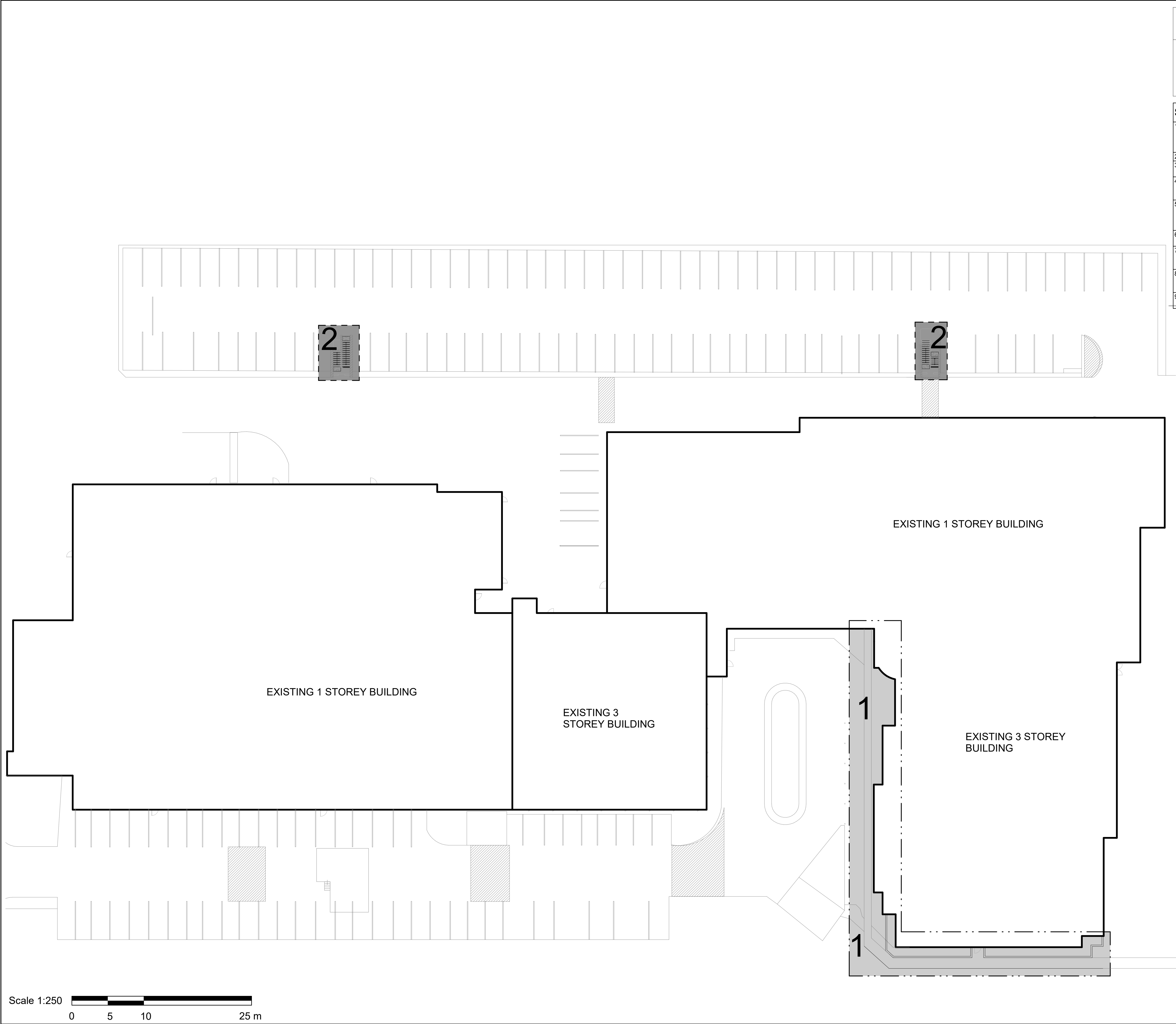
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**CONSTRUCTION STAGING LEGEND**

STAGE 1

STAGE 2

**STAGING GENERAL NOTES**

1

EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.

2

ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.

3

PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.

4

IF EXISTING FIRE ALARM SYSTEM NEEDS TEMPORARILY TO BE INTERRUPTED TO COMPLETE THE WORK A FULL-TIME FIRE WATCH SHALL BE PROVIDED.

5

CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.

6

ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.

7

PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.

8


WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.

9

FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

CLIENT

CITY OF TORONTO



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Project Management Office  
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MSV 3C6

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

A. BOYNARIAN

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUITA

SHEET TITLE

SITE STAGING PLAN

SHEET NUMBER

G08-229-A2000

ISSUE

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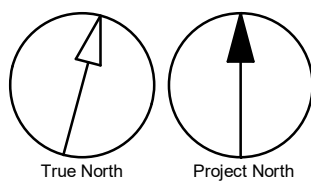
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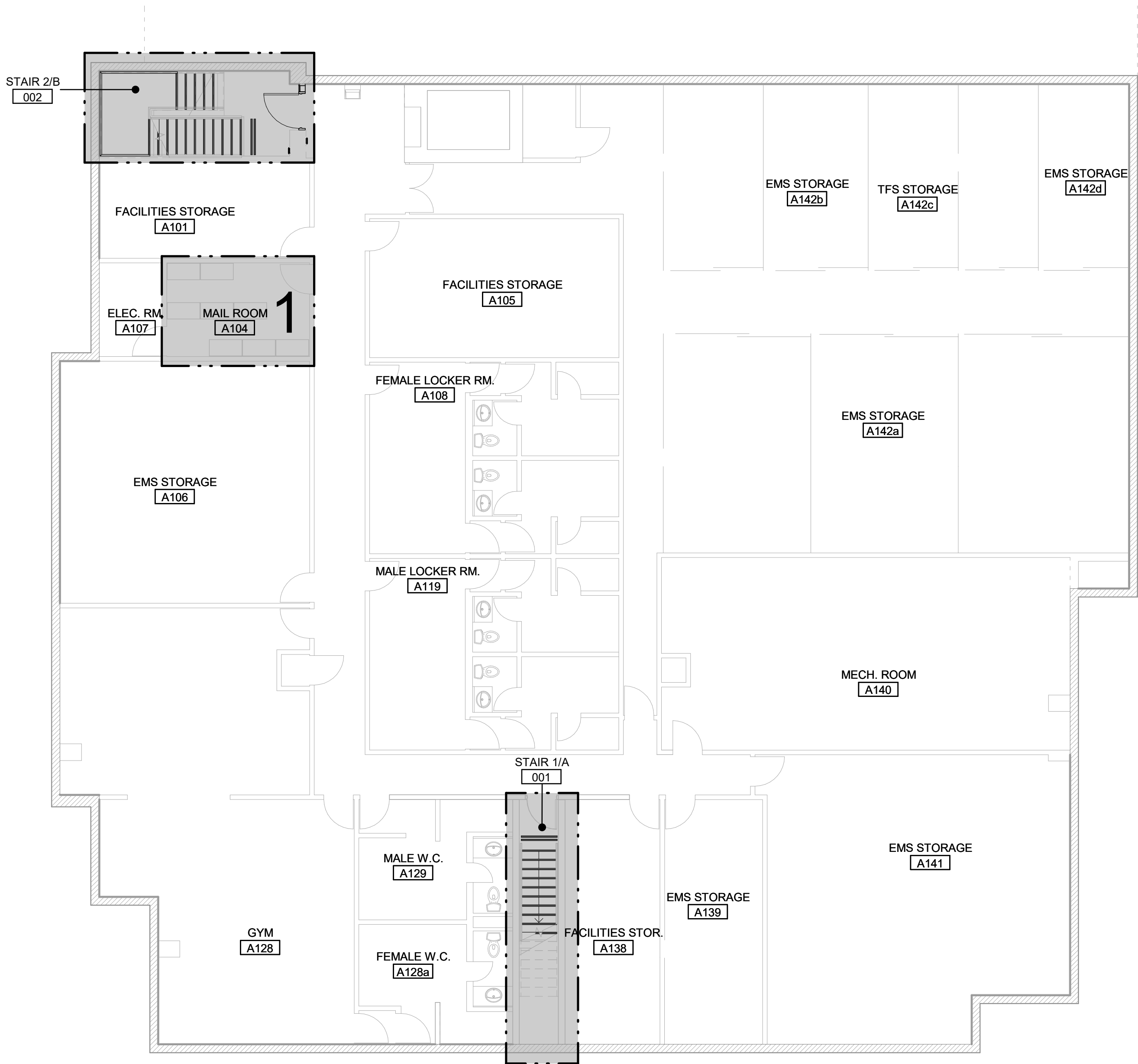
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CONSTRUCTION STAGING LEGEND

## STAGE ##

STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TEMPORARILY TO BE INTERRUPTED TO COMPLETE THE WORK A FULL-TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
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B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
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NOTE: EACH STAIRWELL TO BE COMPLETED AS IT'S OWN STAGE AND EGRESS STAIRWELLS SHALL OVERLAP WITH ONE ANOTHER. REFER TO CONSTRUCTION SCHEDULE FOR EGRESS STAIRWELL STAGING.

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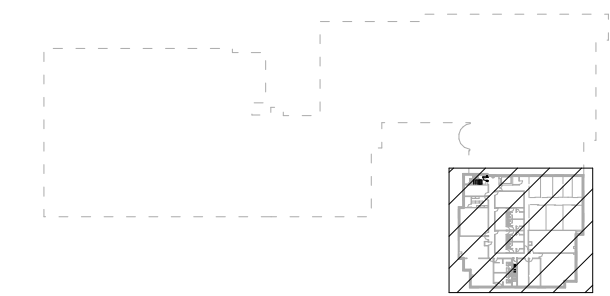
  
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PROJECT TITLE  
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ACCESSIBILITY UPGRADES**

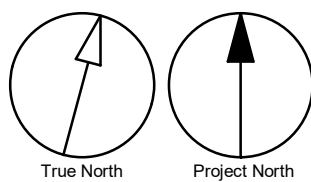
PROJECT ADDRESS  
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Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

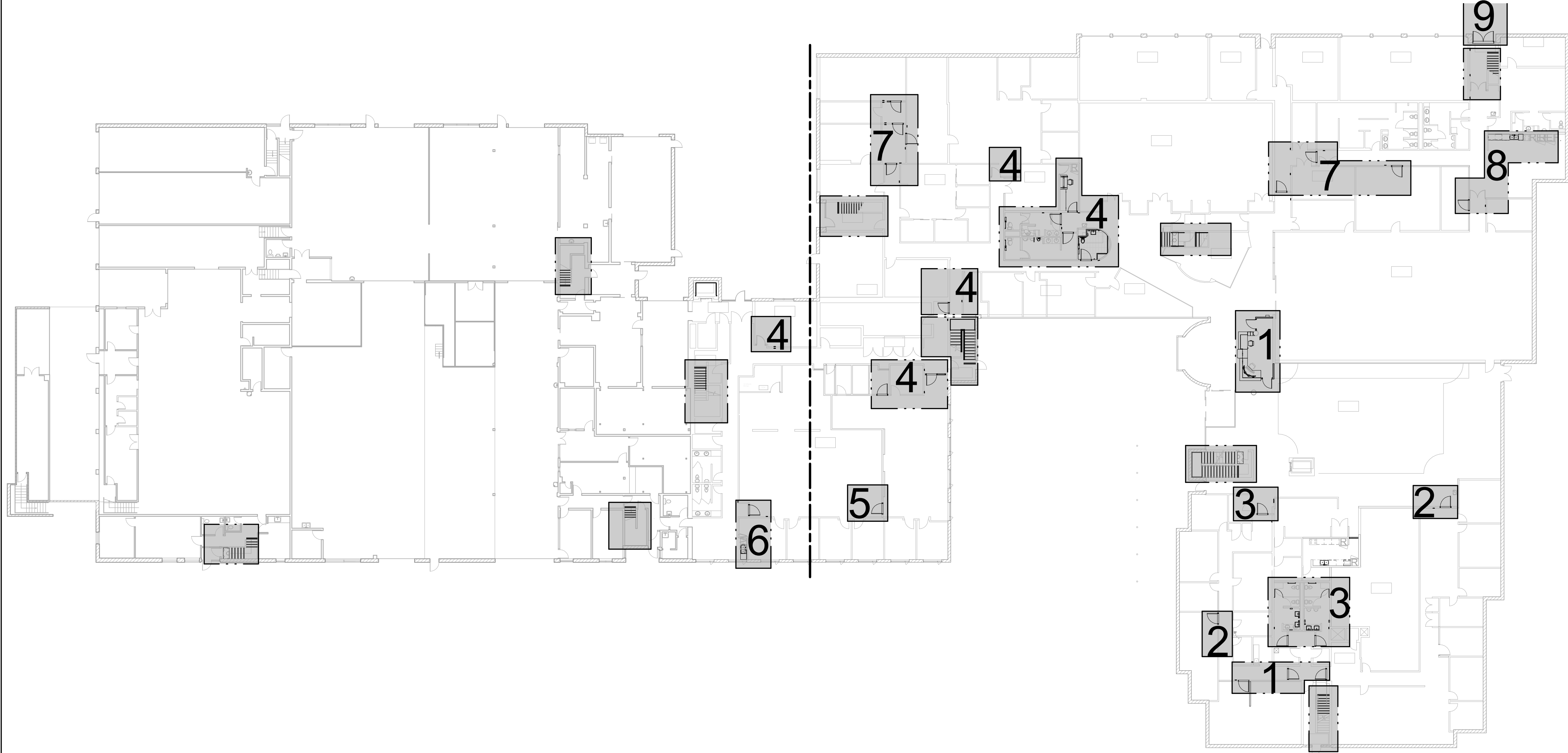
SHEET TITLE  
**BASEMENT STAGING  
PLAN**

SHEET NUMBER <b>G08-229-A2001</b>	ISSUE <b>0</b>
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**CONSTRUCTION STAGING LEGEND**

##

STAGE ##

**STAGING GENERAL NOTES**

1

EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.

2

ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.

3

4

5

6

7

8

9

NOTE: EACH STAIRWELL TO BE COMPLETED AS IT'S OWN STAGE AND EGRESS STAIRWELLS SHALL OVERLAP WITH ONE ANOTHER. REFER TO CONSTRUCTION SCHEDULE FOR EGRESS STAIRWELL STAGING.

CLIENT

CITY OF TORONTO

**Toronto**

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2021.10.19  
OF  
ARCHITECTS  
*May Kuo*  
MAY KUO  
LICENCE  
7555

PRIME CONSULTANT



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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

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PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUITA</b>

SHEET TITLE  
**FIRST FLOOR STAGING  
PLAN**

SHEET NUMBER <b>G08-229-A2011</b>	ISSUE <b>0</b>
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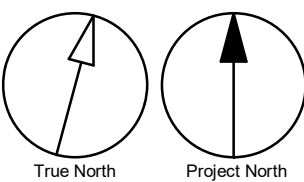
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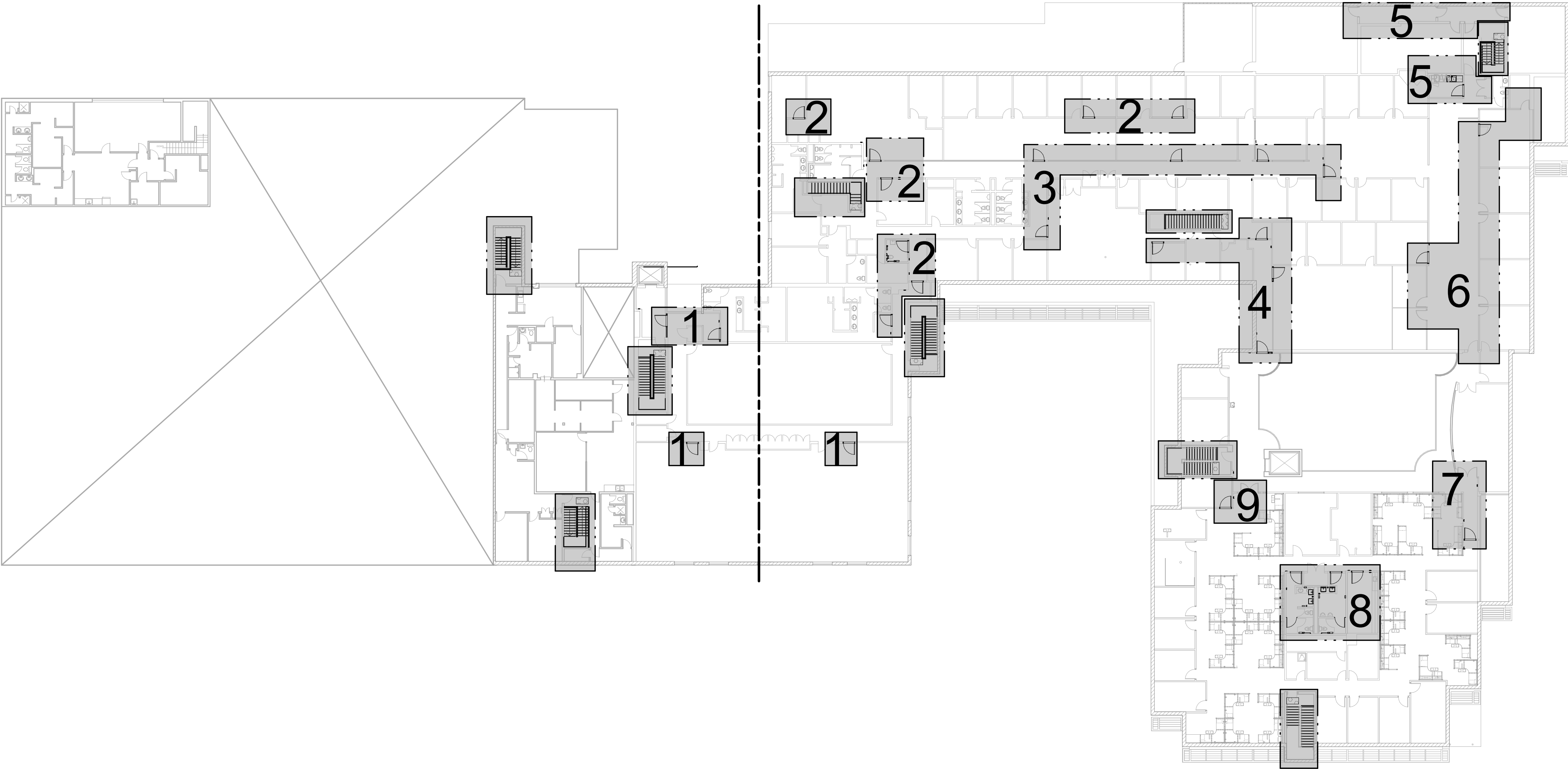
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10

25 m







CONSTRUCTION STAGING LEGEND

## STAGE ##

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tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
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ACCESSIBILITY UPGRADES**

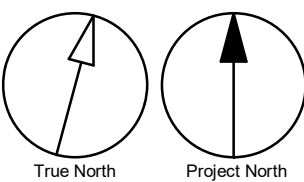
PROJECT ADDRESS  
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Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

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PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUITA</b>

SHEET TITLE  
**SECOND FLOOR  
STAGING PLAN**

SHEET NUMBER <b>G08-229-A2021</b>	ISSUE <b>0</b>
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CONSTRUCTION STAGING LEGEND



STAGING GENERAL NOTES

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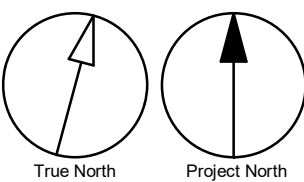
PROJECT ADDRESS  
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Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

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PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

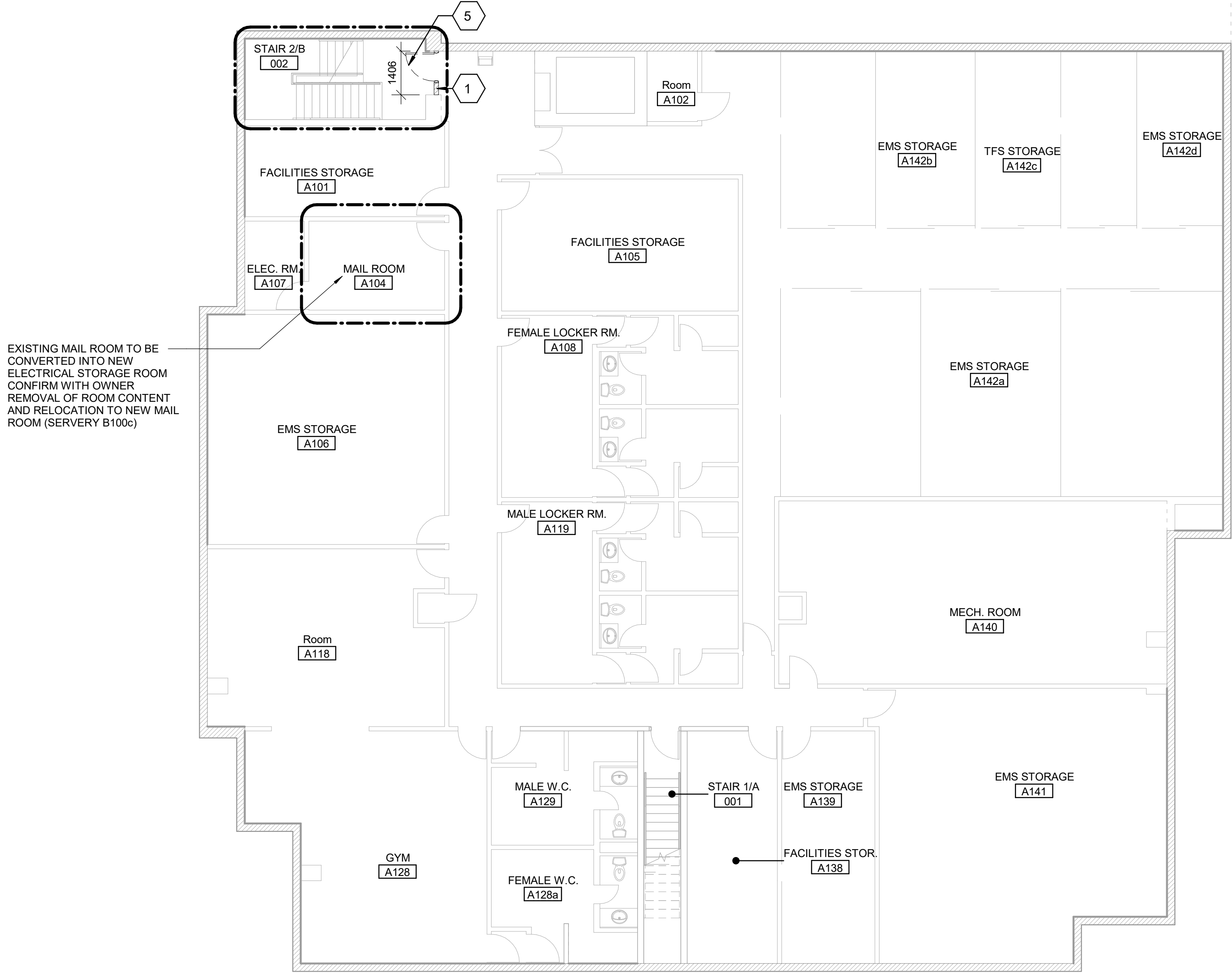
SHEET TITLE  
**THIRD FLOOR STAGING  
PLAN**

SHEET NUMBER <b>G08-229-A2031</b>	ISSUE <b>0</b>
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EXISTING MAIL ROOM TO BE CONVERTED INTO NEW ELECTRICAL STORAGE ROOM. CONFIRM WITH OWNER REMOVAL OF ROOM CONTENT AND RELOCATION TO NEW MAIL ROOM (SERVERY B100c)

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE EXISTING ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AS IDENTIFIED IN THE ELECTRICAL DRAWINGS. RE-ROUTE MECHANICAL & ELECTRICAL AS REQUIRED.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, PAINT, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME IF REQUIRED. PATCH AND FILL AS REQUIRED. REFER TO DETAIL 1/D1002, 2/D1002 AND 1/D2300

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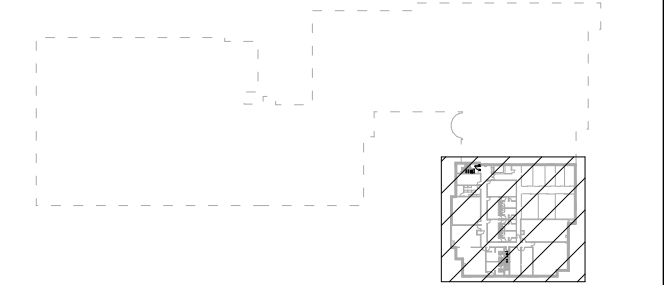
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PROJECT TITLE  
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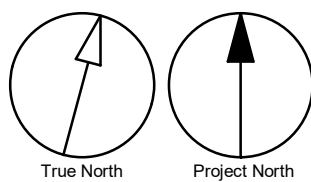
PROJECT ADDRESS  
Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: A. BOYNARIAN	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE  
BASEMENT DEMOLITION  
PLAN

SHEET NUMBER	ISSUE
G08-229-A2101	0



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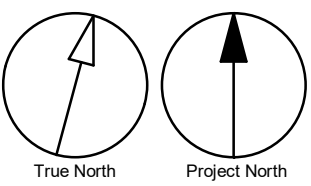


VERTICAL PANELS &  
CABINET TO BE REMOVED.  
COORDINATE WITH  
FURNITURE SUPPLIER —

**PHOTO 8&9: WC B103b&c**

## A photograph of a cluttered office desk. On the desk, there is a white printer, a blue box, a black bag, and various other items. Three arrows point from the top left towards the desk area, highlighting specific objects or areas of interest. The desk is white and has a blue bag on the floor next to it.

**PHOTO 14: EXISTING EMS CACC B102.**



ISSUE

A horizontal bar representing a 15m runway. It is divided into three segments: a black segment from 0 to 3m, a white segment from 3 to 6m, and a black segment from 6 to 15m. The total length is labeled as 15 m.

SCALE CHECK	10mm
-------------	------





NO	DESCRIPTION
5	REMOVE EXISTING DOOR AND FRAME, CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME IF REQUIRED. PATCH AND FILL AS REQUIRED. REFER TO DETAIL 1/D1002, 2/D1002 AND 1/D2300
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE 43001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND HANDRAIL POST BASE. PATCH AND MAKE GOOD ALL SURFACES.

---





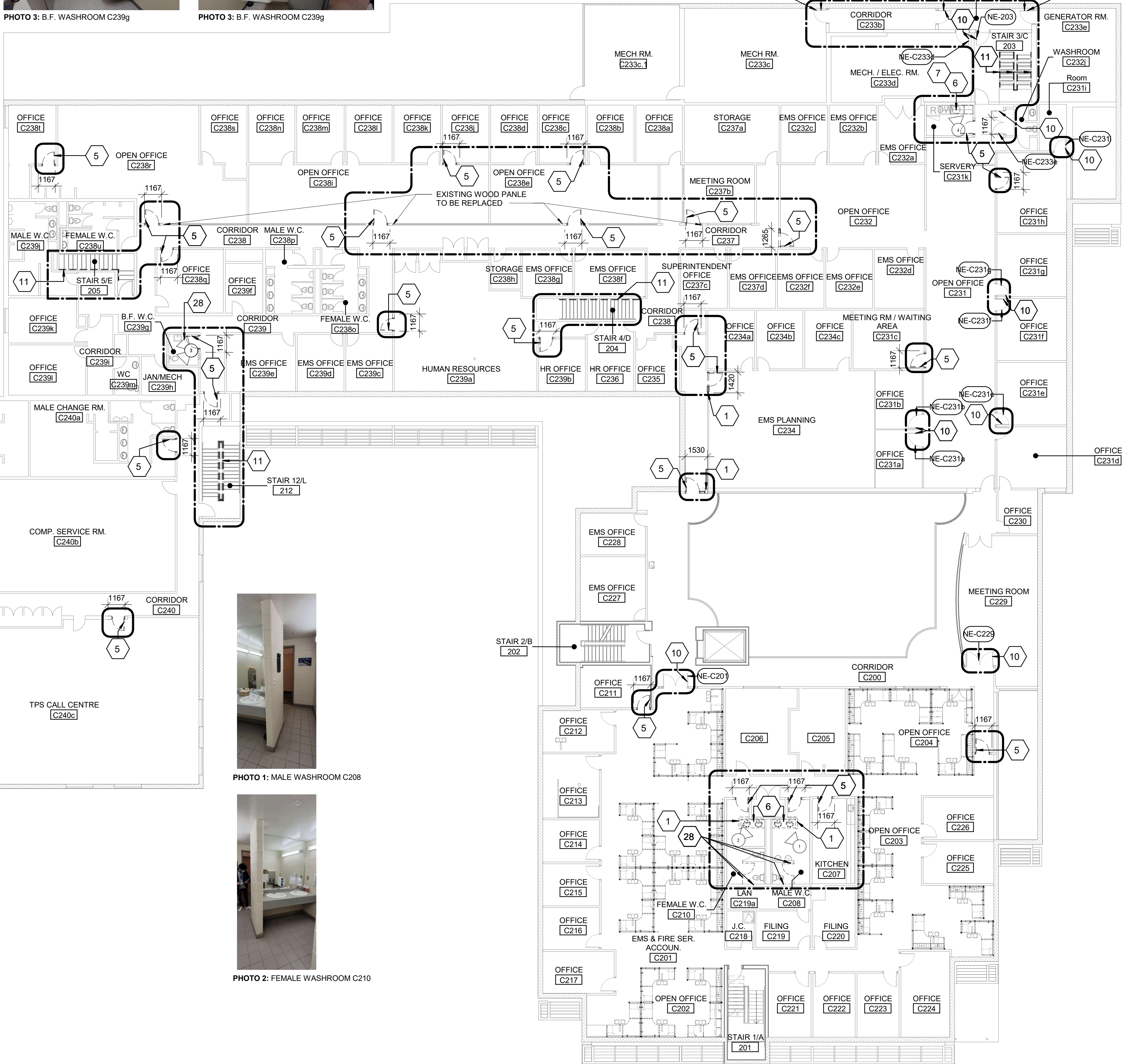
PHOTO 3: B.F. WASHROOM C239g



PHOTO 3: B.F. WASHROOM C239g



PHOTO 4: SENTRY C231k



### DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- - - - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- ////// EXISTING EXTERIOR WALL TO REMAIN
- ===== EXISTING PARTITION TO REMAIN
- - - - - EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- - - - - EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

### DEMOLITION GENERAL NOTES

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NO	DESCRIPTION
1	REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, PAINT, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.
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6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND HANDRAIL POST BASE. PATCH AND MAKE GOOD ALL SURFACES.
28	REMOVE EXISTING WASHROOM ACCESSORIES AND PREPARE WALL SURFACE FOR NEW ACCESSORIES. PATCH, REPAIR AND MAKE GOOD EXISTING WALL AND WALL FINISHES.

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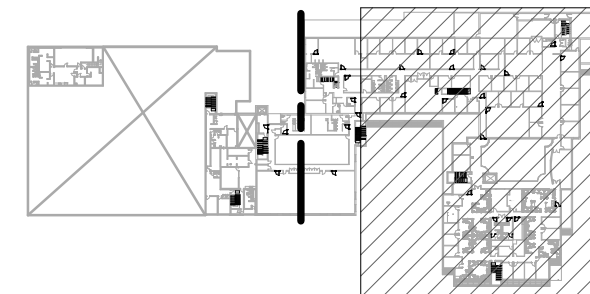
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ISSUES

No.	DESCRIPTION	DATE
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KEYPLAN



CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

A. BOYNARIAN

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

SECOND FLOOR  
DEMOLITION PLAN EAST

SHEET NUMBER

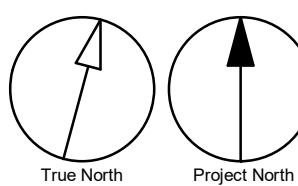
G08-229-A2121

ISSUE

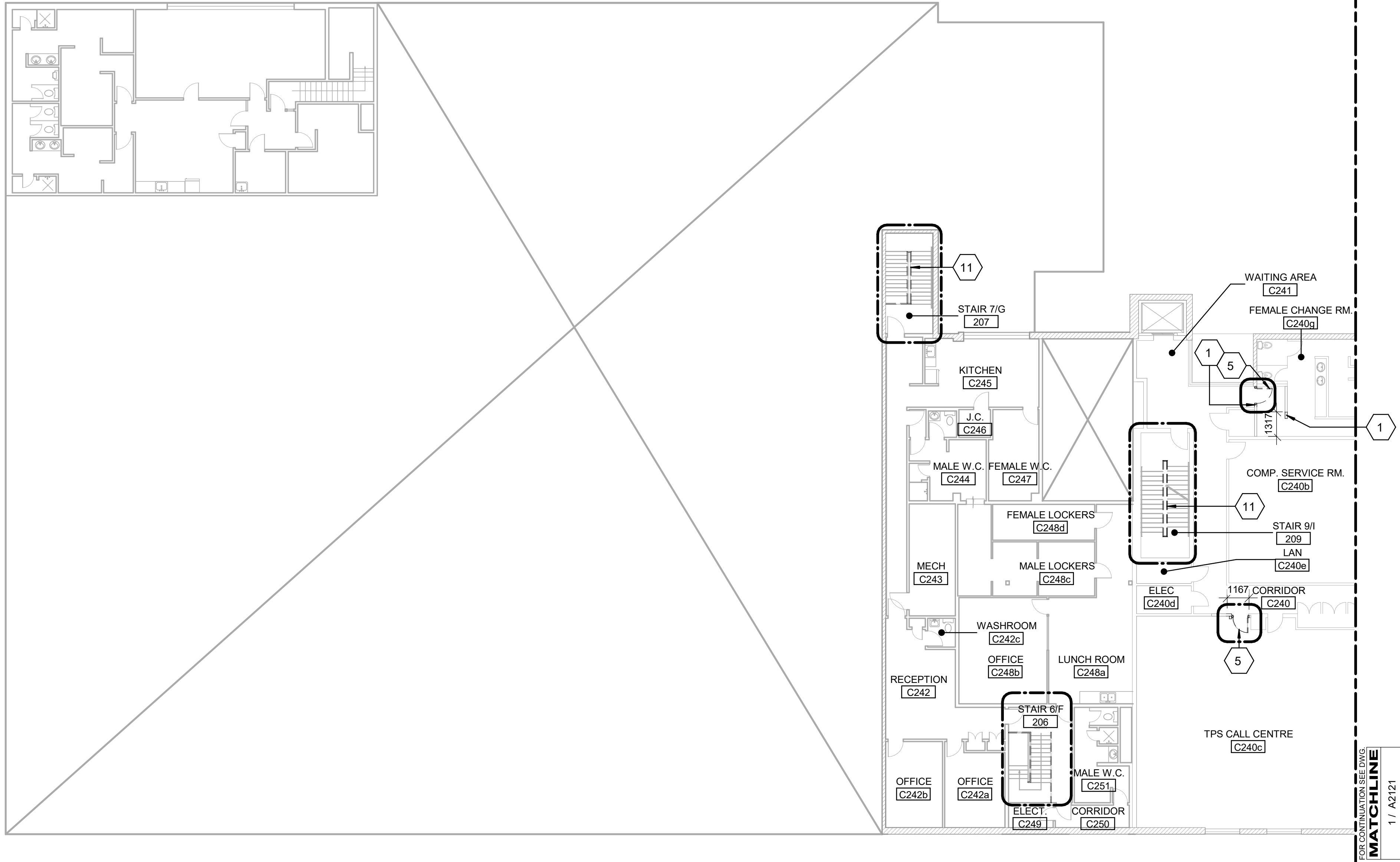
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FOR CONTINUATION SEE DWG.  
MATCHLINE  
1 / A2122

Scale 1:150  
0 3 6 15 m







DEMOLITION KEY LEGEND

EXISTING TO BE DEMOLISHED

EXISTING INTERIOR PARTITION TO BE DEMOLISHED

EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED

EXISTING DOOR TO REMAIN

DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

REMOVE EXISTING ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AS IDENTIFIED IN THE ELECTRICAL DRAWINGS. RE-ROUTE MECHANICAL & ELECTRICAL AS REQUIRED.

REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO

DESCRIPTION

1

REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, PAINT, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.

5

REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME IF REQUIRED. PATCH AND FILL AS REQUIRED. REFER TO DETAIL 1/D1002, 2/D1002 AND 1/D2300

11

REMOVE EXISTING GUARDRAIL, HANDRAIL AND HANDRAIL POST BASE. PATCH AND MAKE GOOD ALL SURFACES.

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Toronto

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No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

KEYPLAN

CONSULTANTS

SEAL

ONTARIO ASSOCIATION

2021.10.19

OF

ARCHITECTS

*May Kuo*

MAY KUO

LICENCE

7555

PRIME CONSULTANT

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY:  
A. BOYNARIAN

CHECKED BY:  
L. BANDIERA

PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
E. FENUTA

SHEET TITLE

SECOND FLOOR  
DEMOLITION PLAN WEST

SHEET NUMBER

G08-229-A2122

ISSUE

0

2021-10-19 4:37:52 PM

Scale 1:150

0

3

6

15 m

C:\Users\shirley.wong\Documents\REVIT2020\122260\TAL-6-229-4330\DRN-A-R20\_shirley.wong\SYAIR.rvt 1/10m 1/1m



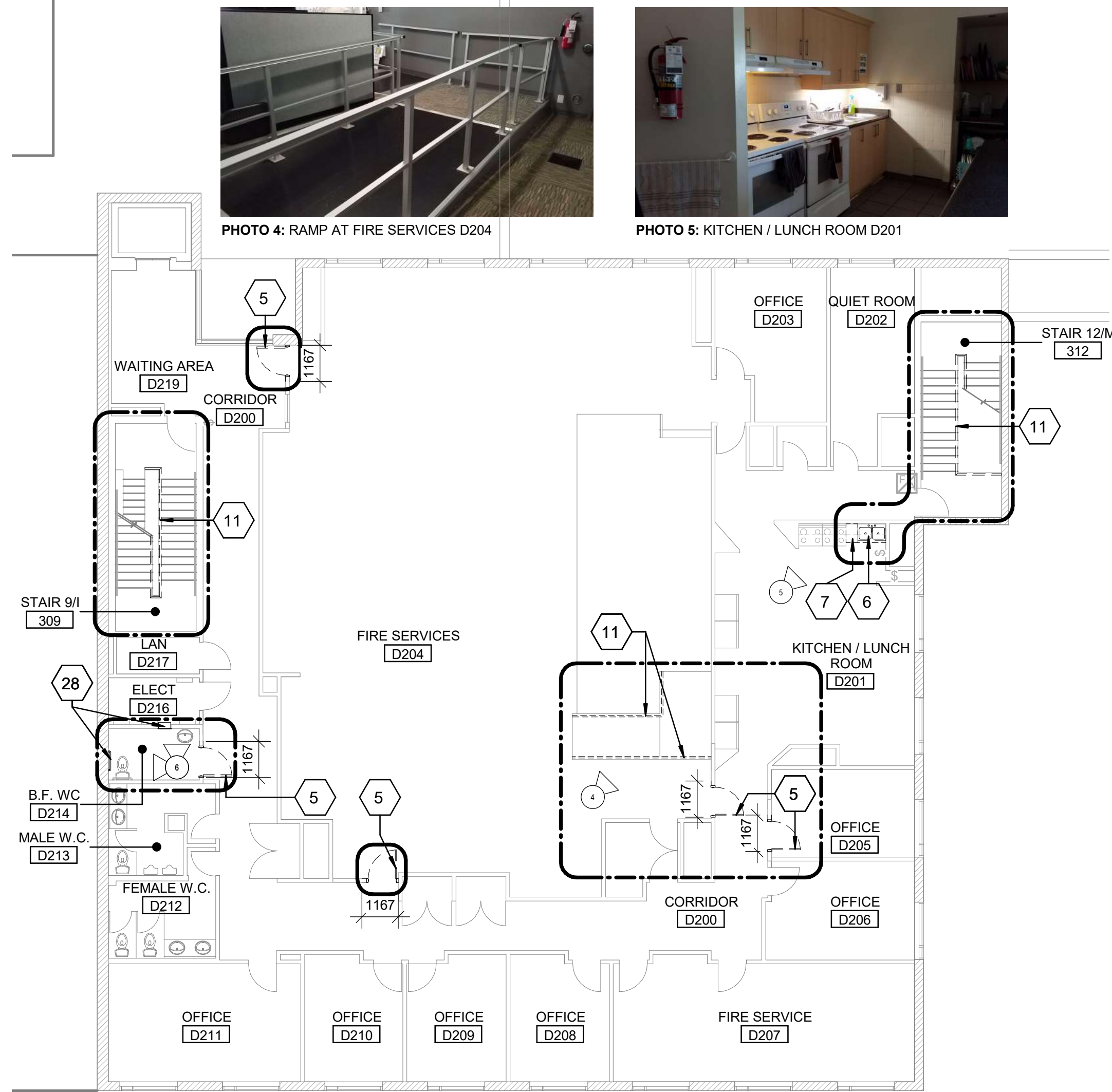


PHOTO 4: RAMP AT FIRE SERVICES D204



PHOTO 5: KITCHEN / LUNCH ROOM D201



PHOTO 6: BARRIER FREE WASHROOM D214

2 THIRD FLOOR-DEMOLITION - ENLARGED PLAN WEST  
A2131 Scale: 1 : 125



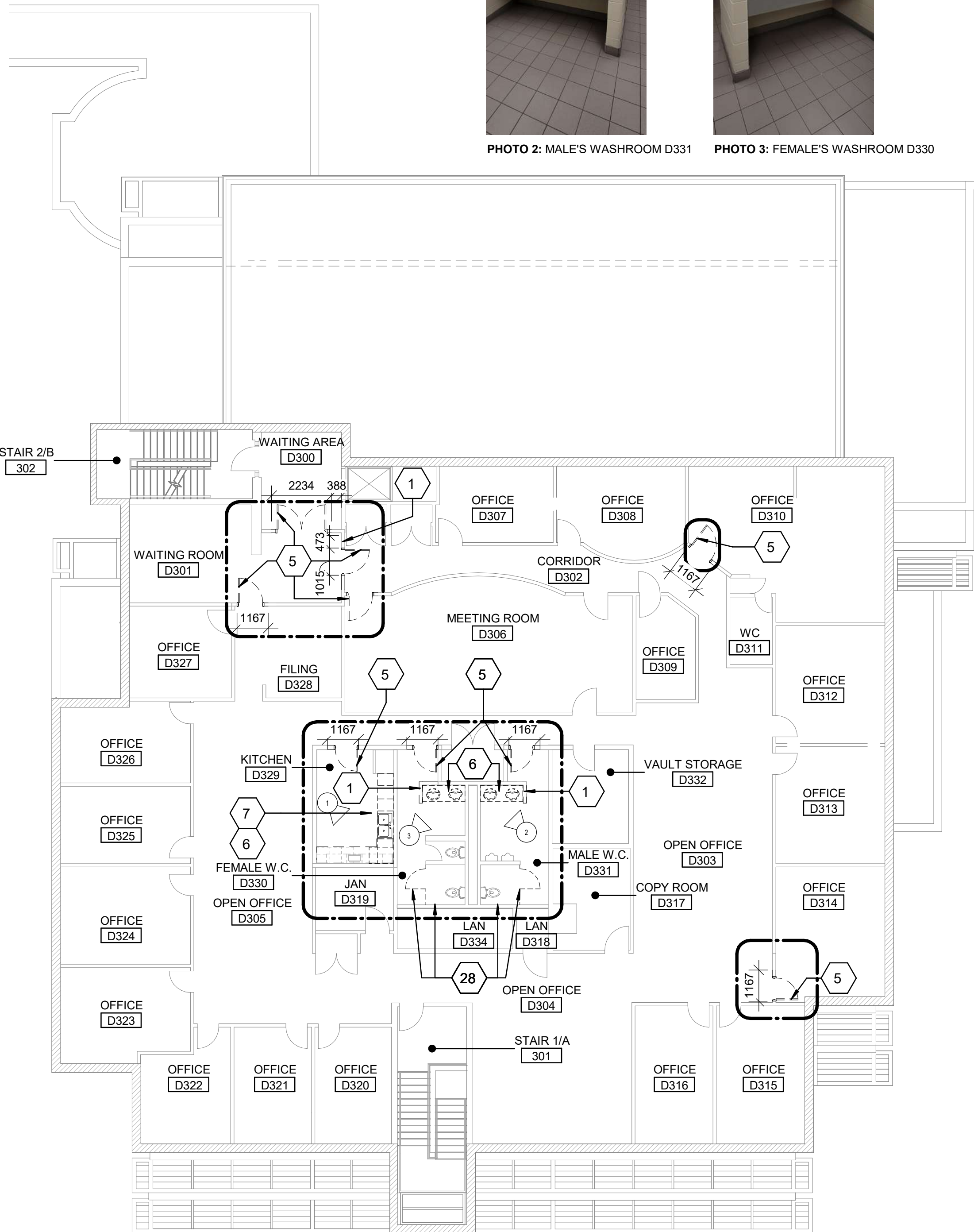
PHOTO 1: KITCHEN D329



PHOTO 2: MALE'S WASHROOM D331



PHOTO 3: FEMALE'S WASHROOM D330



3 THIRD FLOOR-DEMOLITION - ENLARGED PLAN EAST  
A2131 Scale: 1 : 125

### DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- - - - - EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- /// EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

### DEMOLITION GENERAL NOTES

- REMOVE EXISTING ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AS IDENTIFIED IN THE ELECTRICAL DRAWINGS. RE-ROUTE MECHANICAL & ELECTRICAL AS REQUIRED.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

### DEMOLITION KEY NOTES

- | NO | DESCRIPTION   |
|----|---|
| 1  | REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, PAINT, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA. |
| 5  | REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME IF REQUIRED. PATCH AND FILL AS REQUIRED. REFER TO DETAIL 1/D1002, 2/D1002 AND 1/D2300   |
| 6  | REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.   |
| 7  | REMOVE EXISTING MILLWORK.   |
| 11 | REMOVE EXISTING GUARDRAIL, HANDRAIL AND HANDRAIL POST BASE. PATCH AND MAKE GOOD ALL SURFACES.   |
| 28 | REMOVE EXISTING WASHROOM ACCESSORIES AND PREPARE WALL SURFACE FOR NEW ACCESSORIES. PATCH, REPAIR AND MAKE GOOD EXISTING WALL AND WALL FINISHES.   |

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Project Management Office  
Metro Hall Toronto, ON  
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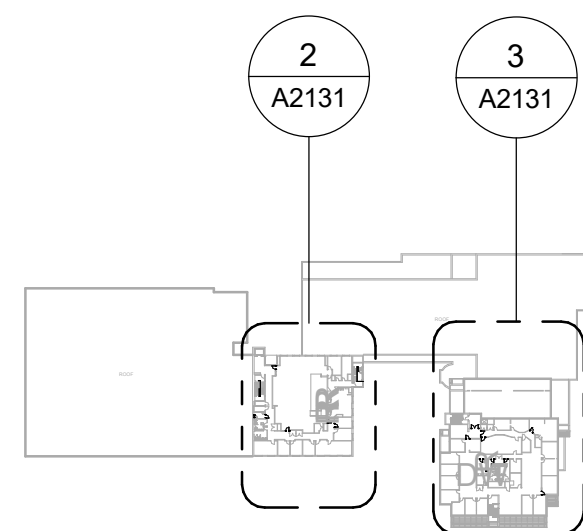
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KEYPLAN



CONSULTANTS

SEAL



PRIME CONSULTANT

**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
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ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY:  
**A. BOYNARIAN**

CHECKED BY:  
**L. BANDIERA**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

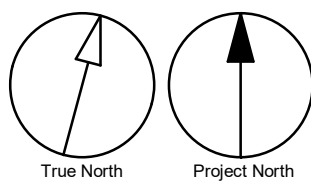
SHEET TITLE  
**THIRD FLOOR  
DEMOLITION PLAN**

SHEET NUMBER

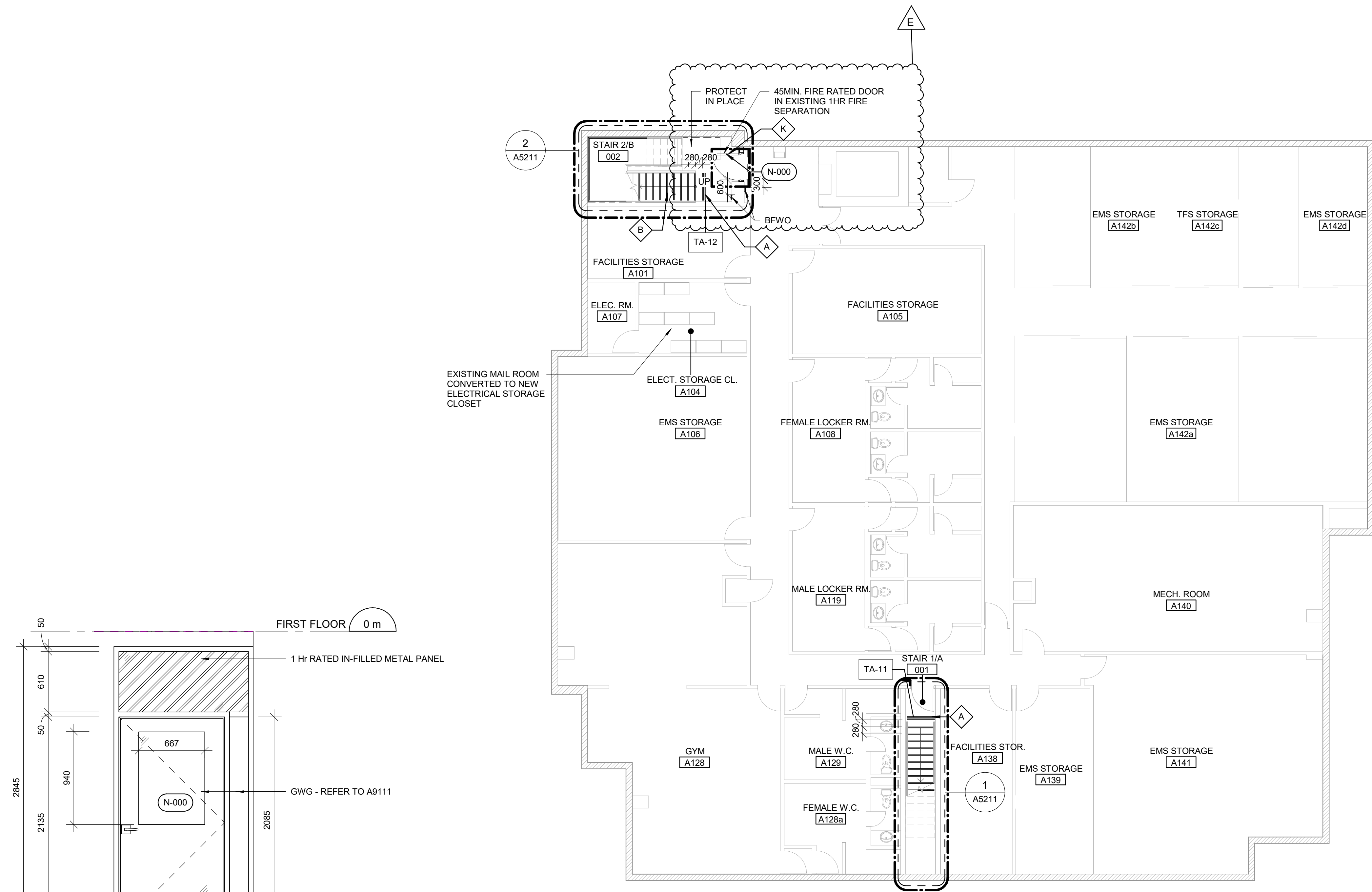
**G08-229-A2131**

ISSUE

**0**







3 DOOR N-000 ELEVATION  
A2401 Scale: 1 : 25

2 BASEMENT PLAN - PARTIAL  
A2401 Scale: 1 : 100

### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

### CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

### CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

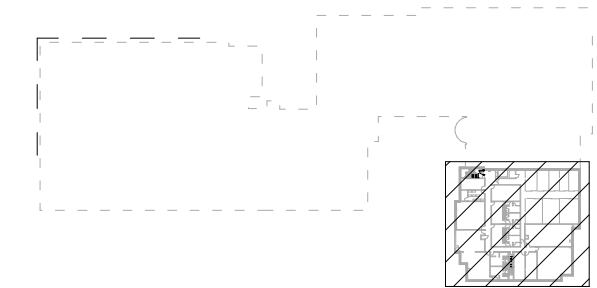
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KEYPLAN



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PRIME CONSULTANT

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY:  
**A. BOYNARIAN**

CHECKED BY:  
**L. BANDIERA**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

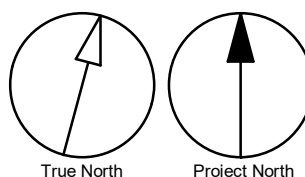
SHEET TITLE  
**BASEMENT PROPOSED  
PLAN**

SHEET NUMBER

**G08-229-A2401**

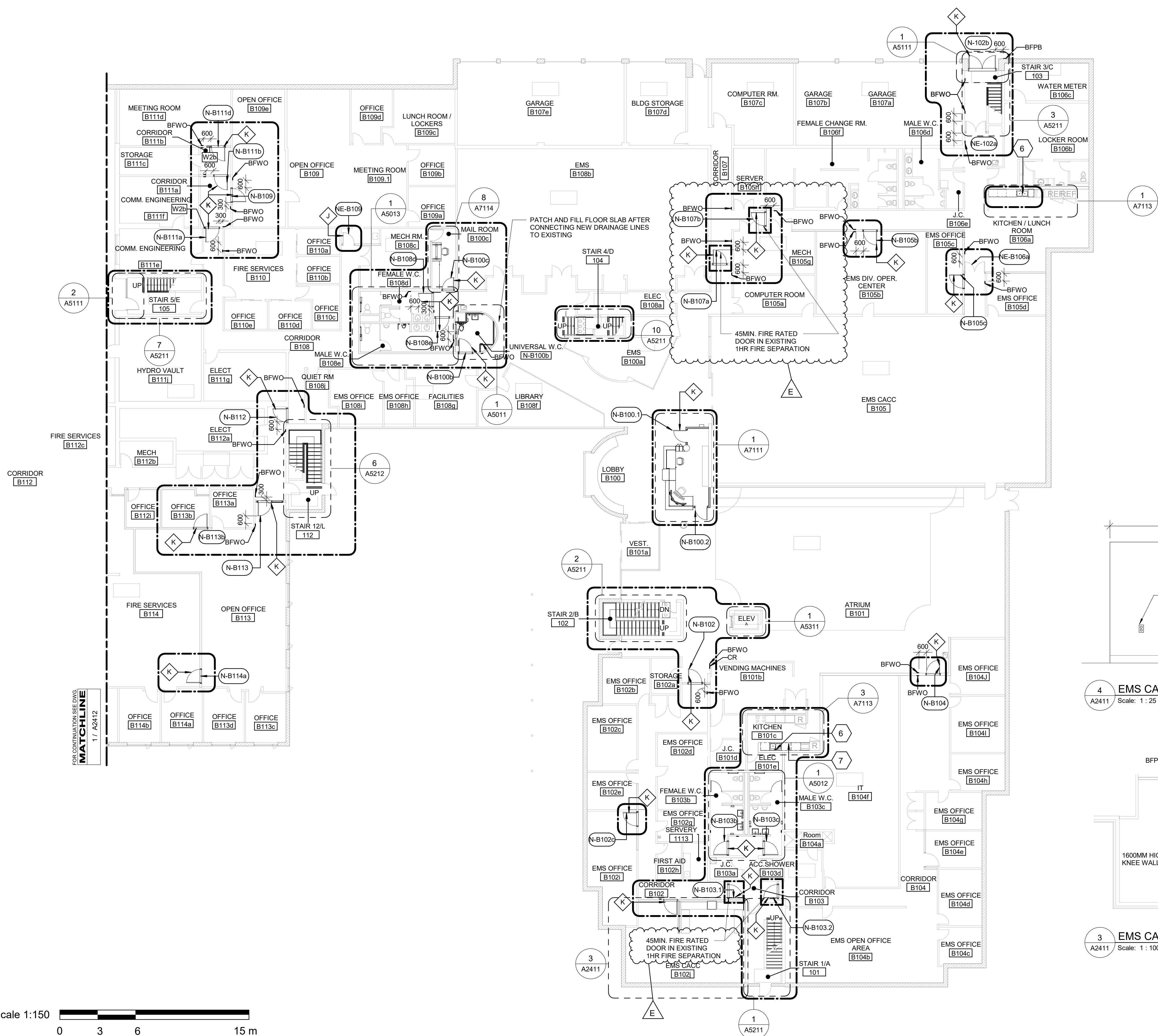
ISSUE

**0**





Scale 1:150  
0 3 6 15 m



### CONSTRUCTION KEY LEGEND

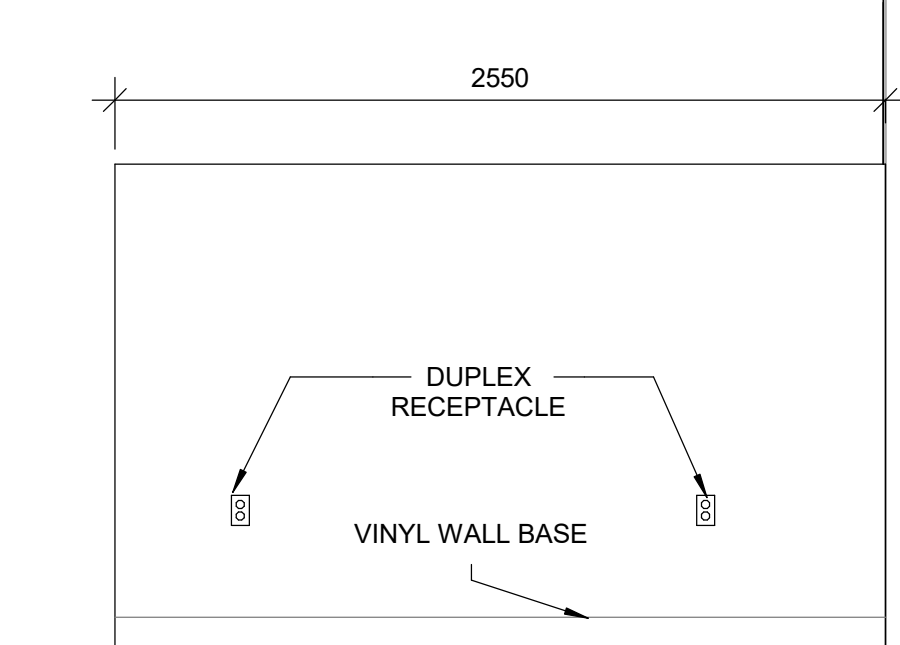
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION  
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR  
NEW HARDWARE
- DASHED AREA INDICATES  
AREA OF WORK

### CONSTRUCTION GENERAL NOTES

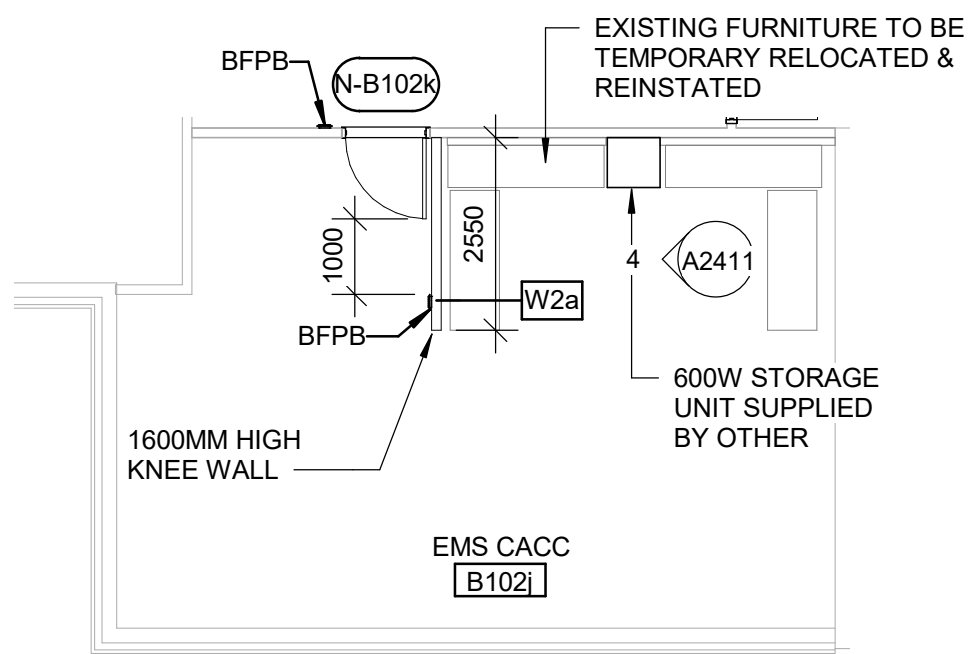
- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT. INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

### CONSTRUCTION KEY NOTES

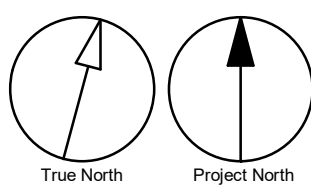
- | NO | DESCRIPTION  |
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| 6  | REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.  |
| 7  | REMOVE EXISTING MILLWORK.  |
| J  | EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |
| K  | INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.                    |



4 EMS CACC ELEVATION  
A2411 Scale: 1 : 25

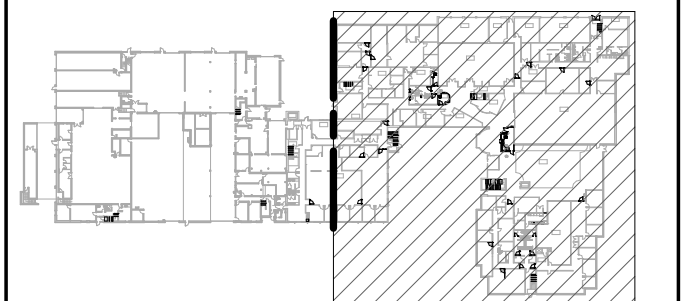


3 EMS CACC ENLARGED PLAN  
A2411 Scale: 1 : 100



ISSUES		
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#### KEYPLAN



#### CONSULTANTS

#### SEAL



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Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

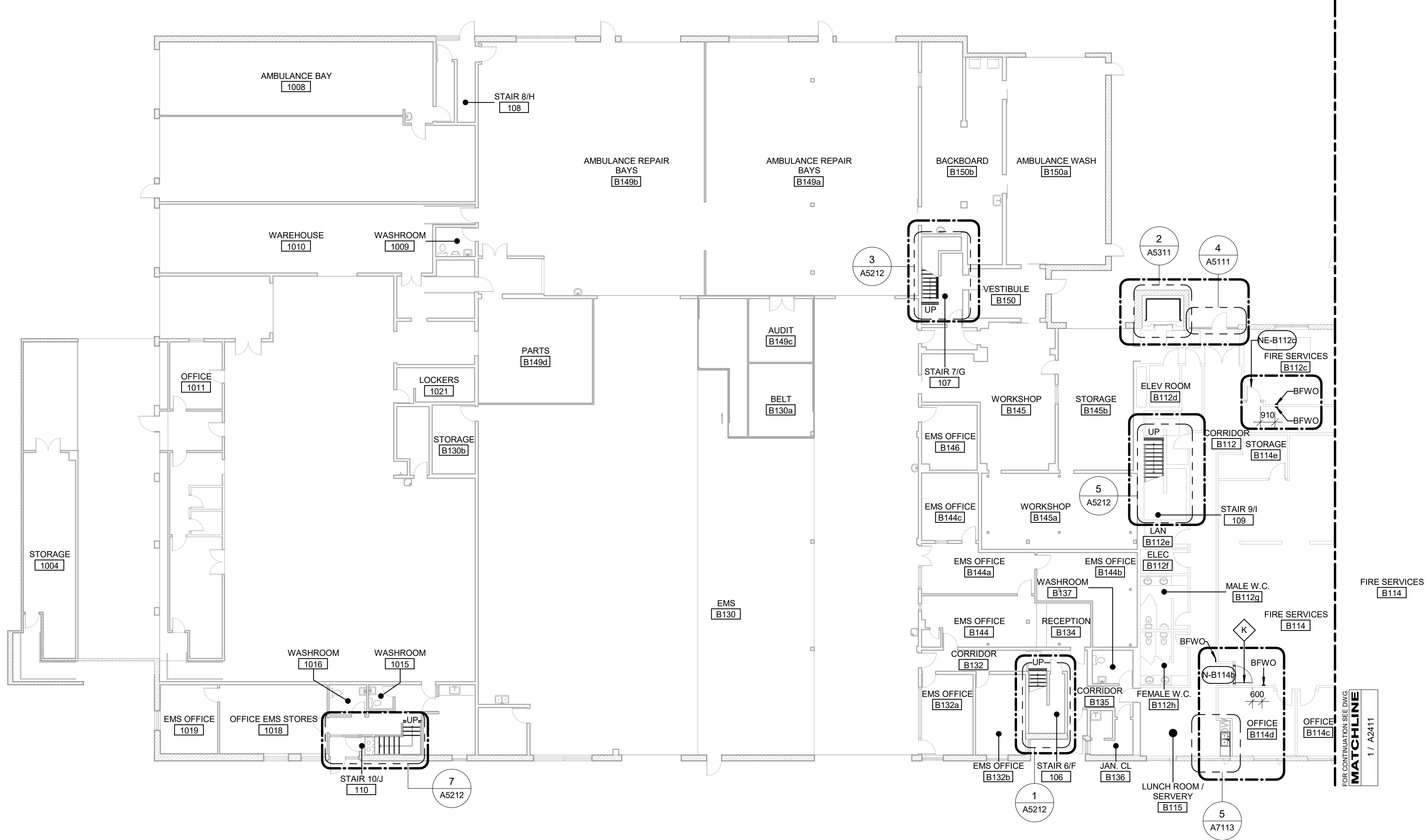
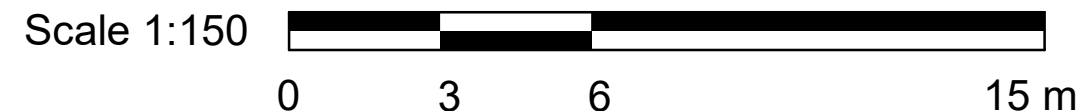
PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260  
DRAWN BY:  
**A. BOYNARIAN**  
PROJECT MGR:  
**F. BOLOURIAN**  
CHECKED BY:  
**L. BANDIERA**  
APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**FIRST FLOOR  
PROPOSED PARTIAL  
PLAN EAST**

SHEET NUMBER  
**G08-229-A2411**  
ISSUE  
**0**





### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

### CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- 3 REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

### CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION   |
|----|---|
| K  | INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

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Project Management Office  
Metro Hall Toronto, ON  
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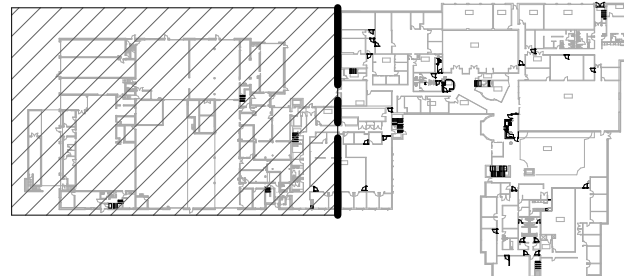
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#### KEYPLAN



#### CONSULTANTS

#### SEAL



#### PRIME CONSULTANT

**IBI GROUP**  
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Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

#### PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

#### PROJECT ADDRESS

**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

#### PROJECT NO:

9119- 19- 0162 / IBI 122260

#### DRAWN BY:

**A. BOYNARIAN**

#### CHECKED BY:

**L. BANDIERA**

#### PROJECT MGR:

**F. BOLOURIAN**

#### APPROVED BY:

**E. FENUITA**

#### SHEET TITLE

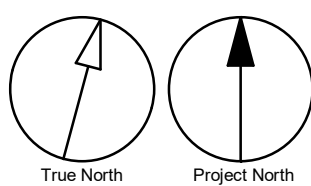
**FIRST FLOOR  
PROPOSED PARTIAL  
PLAN WEST**

#### SHEET NUMBER

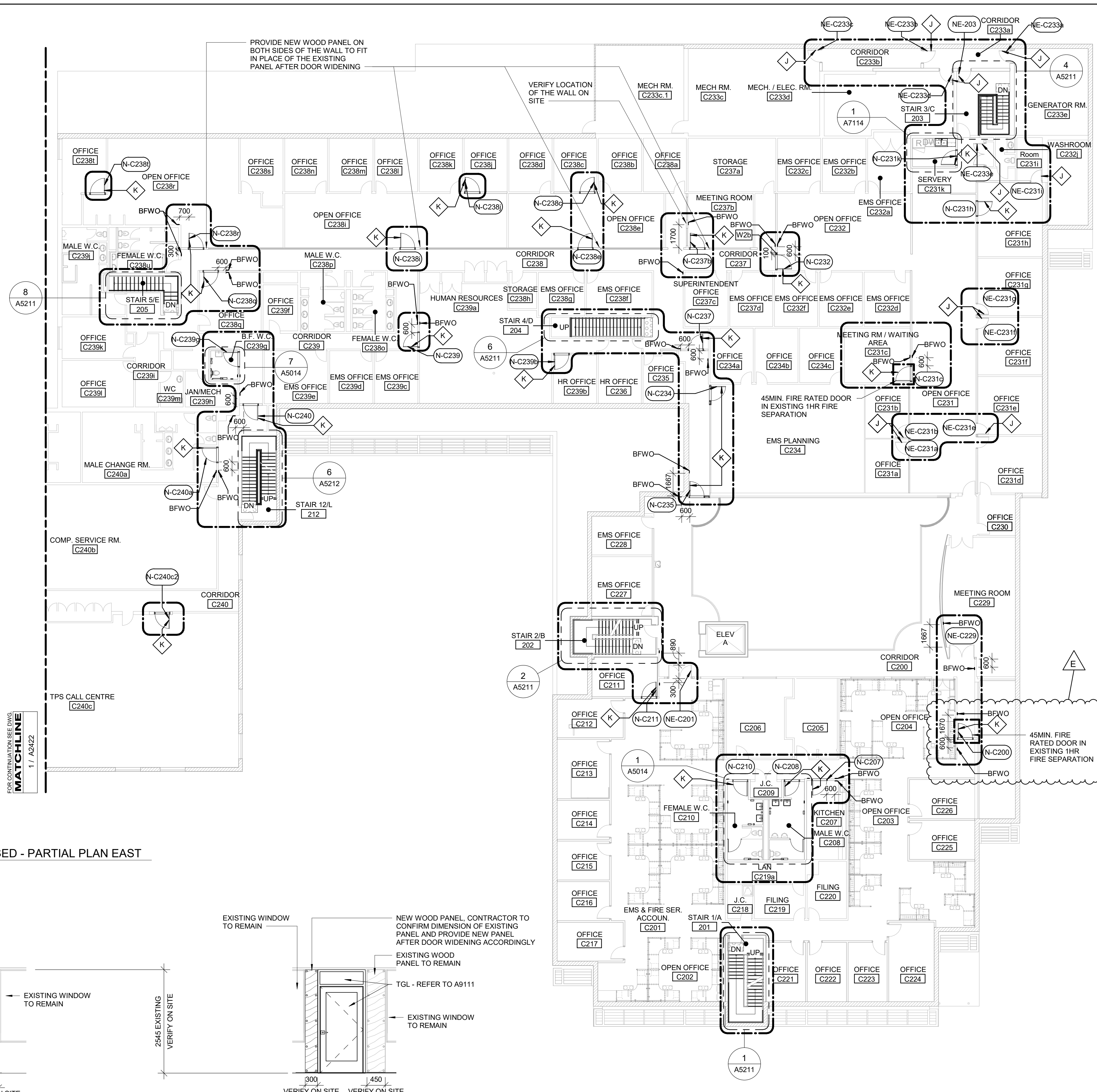
**G08-229-A2412**

#### ISSUE

**0**







**CONSTRUCTION KEY LEGEND**

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

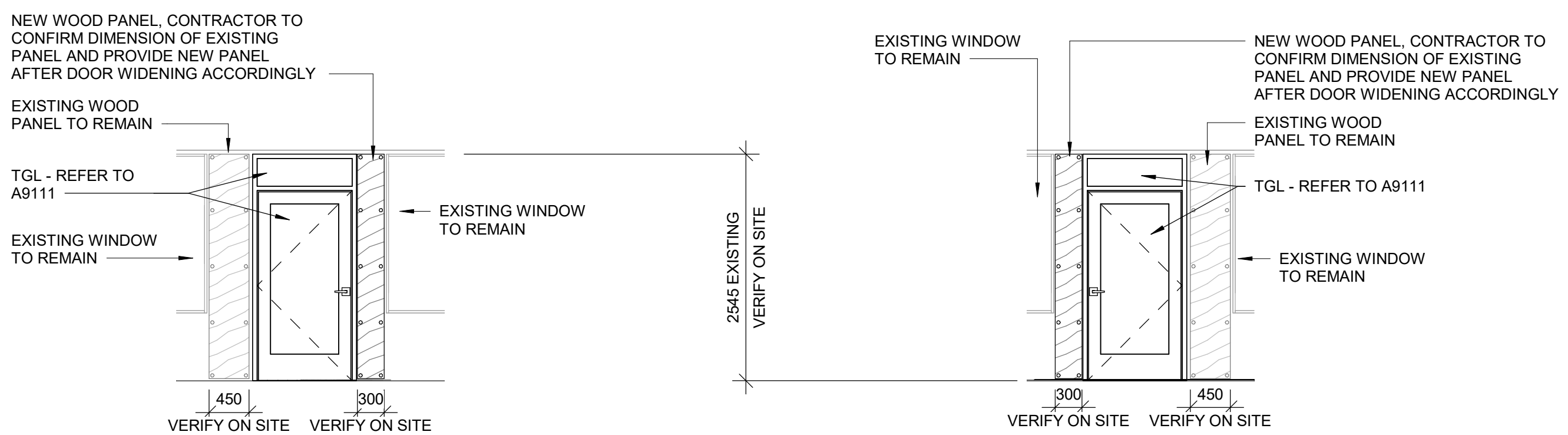
**CONSTRUCTION GENERAL NOTES**

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

**CONSTRUCTION KEY NOTES**

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

1 SECOND FLOOR-PROPOSED - PARTIAL PLAN EAST  
A2421 Scale: 1 : 150



3 TYP. DOOR ELEVATIONS N-C238r, N-C238i & N-C238b  
A2421 Scale: 1 : 50

4 TYP. DOOR ELEVATIONS N-C238e & N-C237  
A2421 Scale: 1 : 50

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Corporate Real Estate Management  
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KEYPLAN

CONSULTANTS

SEAL

PRIME CONSULTANT

IBI GROUP  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
Tel: 416 679 1930 Fax: 416 675 4620  
ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY:  
**A. BOYNARIAN**

CHECKED BY:  
**L. BANDIERA**

PROJECT MGR:  
**F. BOLOURIAN**

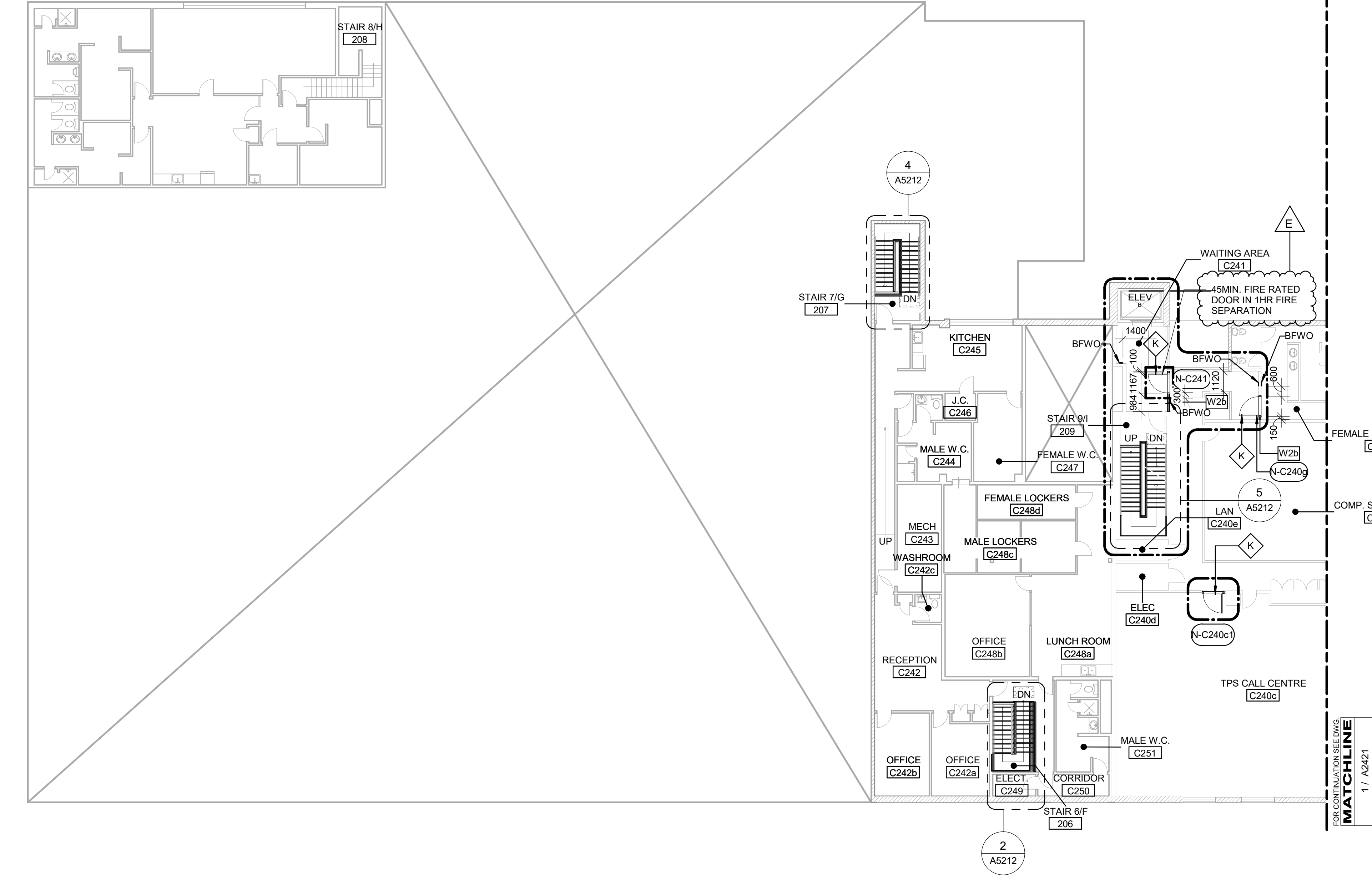
APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**SECOND FLOOR  
PROPOSED - PARTIAL  
PLAN EAST**

SHEET NUMBER  
**G08-229-A2421**

ISSUE  
**0**





CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION  
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR  
NEW HARDWARE
- DASHED AREA INDICATES  
AREA OF WORK

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION   |
|----|---|
| K  | INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

CLIENT

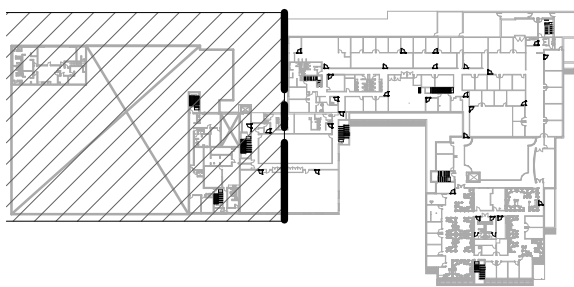
CITY OF TORONTO  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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SEAL



PRIME CONSULTANT



PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

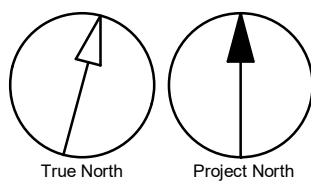
PROJECT ADDRESS  
Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: A. BOYNARIAN	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

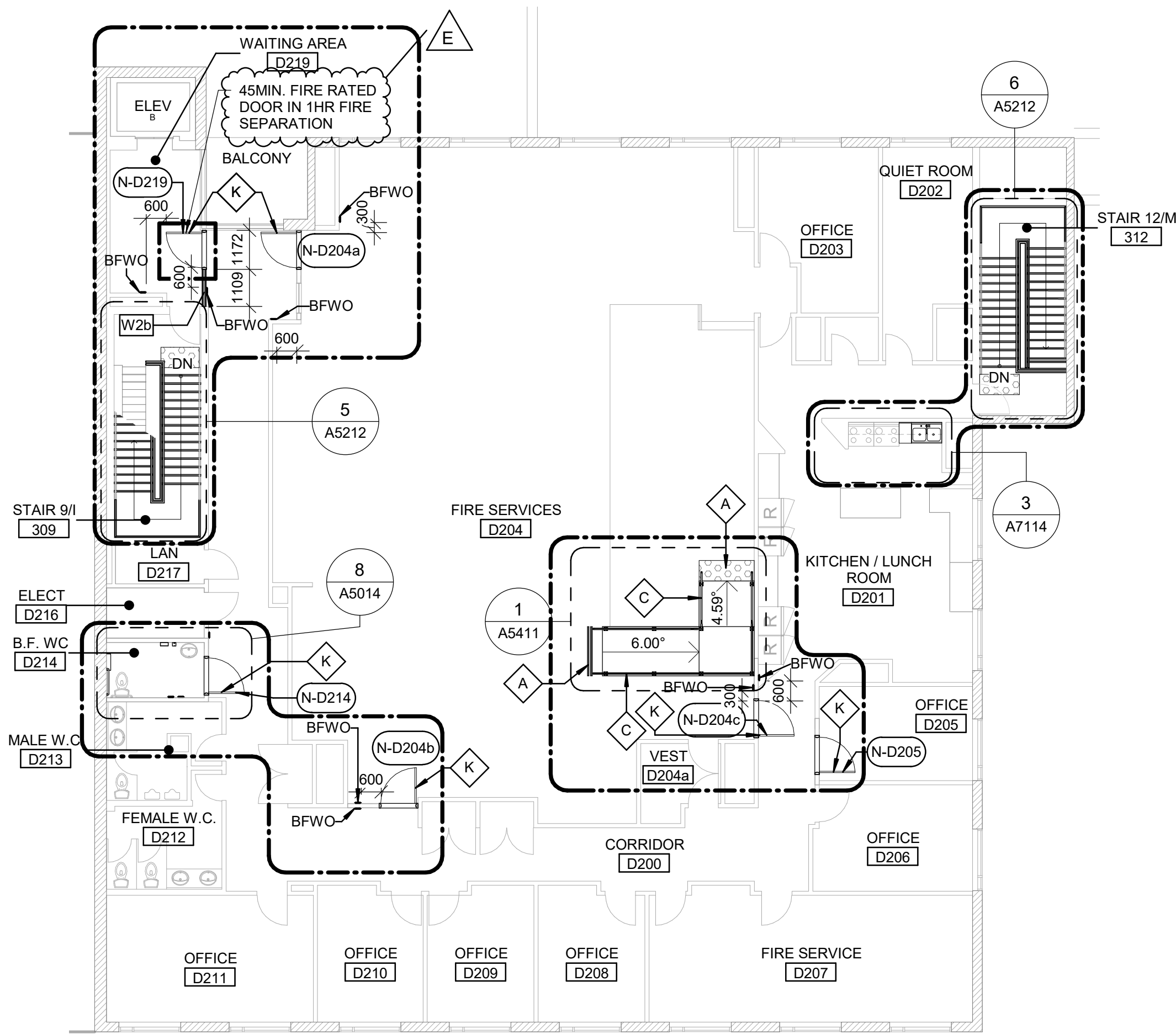
SHEET TITLE  
SECOND FLOOR  
PROPOSED - PARTIAL  
PLAN WEST

SHEET NUMBER G08-229-A2422	ISSUE 0
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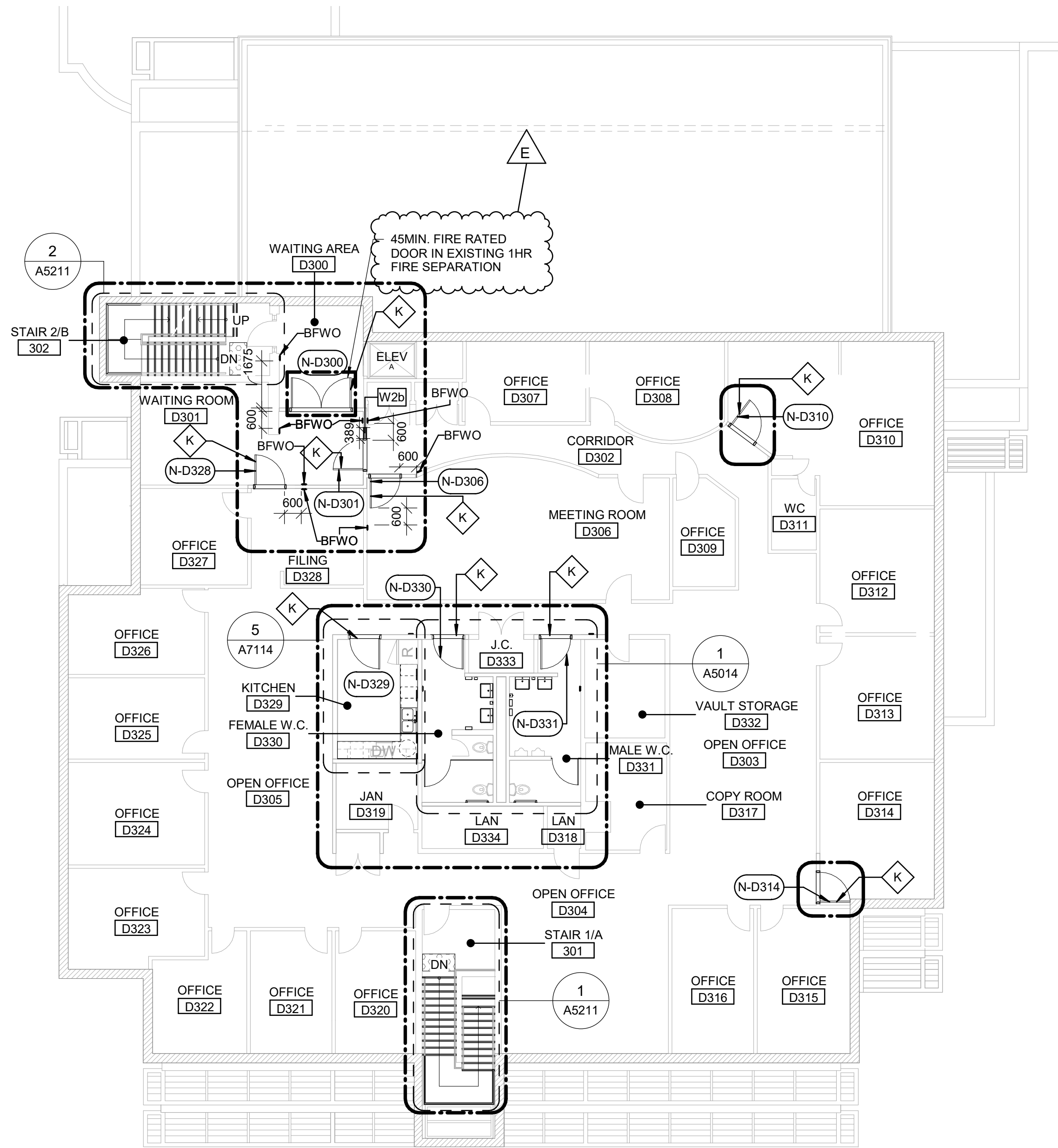


Scale 1:150  
0 3 6 15 m





2 THIRD FLOOR PLAN- PARTIAL WEST  
A2431 Scale: 1 : 125



3 THIRD FLOOR PLAN- PARTIAL EAST  
A2431 Scale: 1 : 125

### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION  
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR  
NEW HARDWARE
- DASHED AREA INDICATES  
AREA OF WORK

### CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

### CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION  |
|----|--|
| A  | INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.          |
| C  | INSTALL NEW GUARDRAIL AND HANDRAIL - REFER TO TYPICAL DETAILS 1/D1401, 2/D1401, 3/D1401, 1/D1403, 5/D1401 AND 6/D1404. |
| K  | INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.      |

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Project Management Office  
Metro Hall Toronto, ON  
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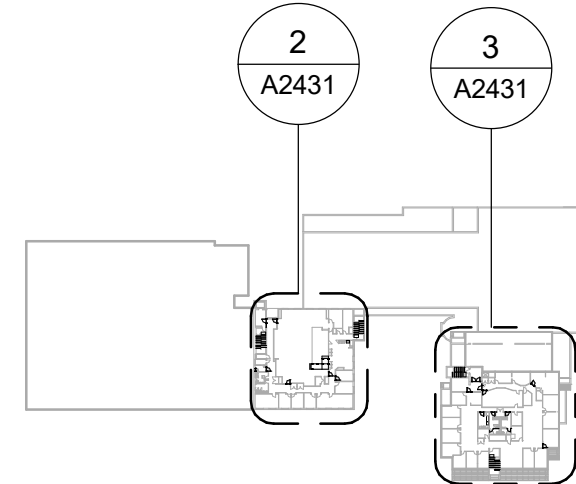
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KEYPLAN



CONSULTANTS

SEAL



PRIME CONSULTANT



**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

**A. BOYNARIAN**

CHECKED BY:

**L. BANDIERA**

PROJECT MGR:

**F. BOLOURIAN**

APPROVED BY:

**E. FENUTA**

SHEET TITLE

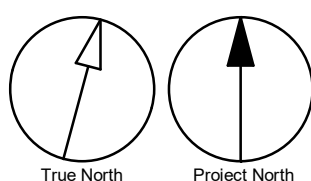
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PROPOSED PLAN**

SHEET NUMBER

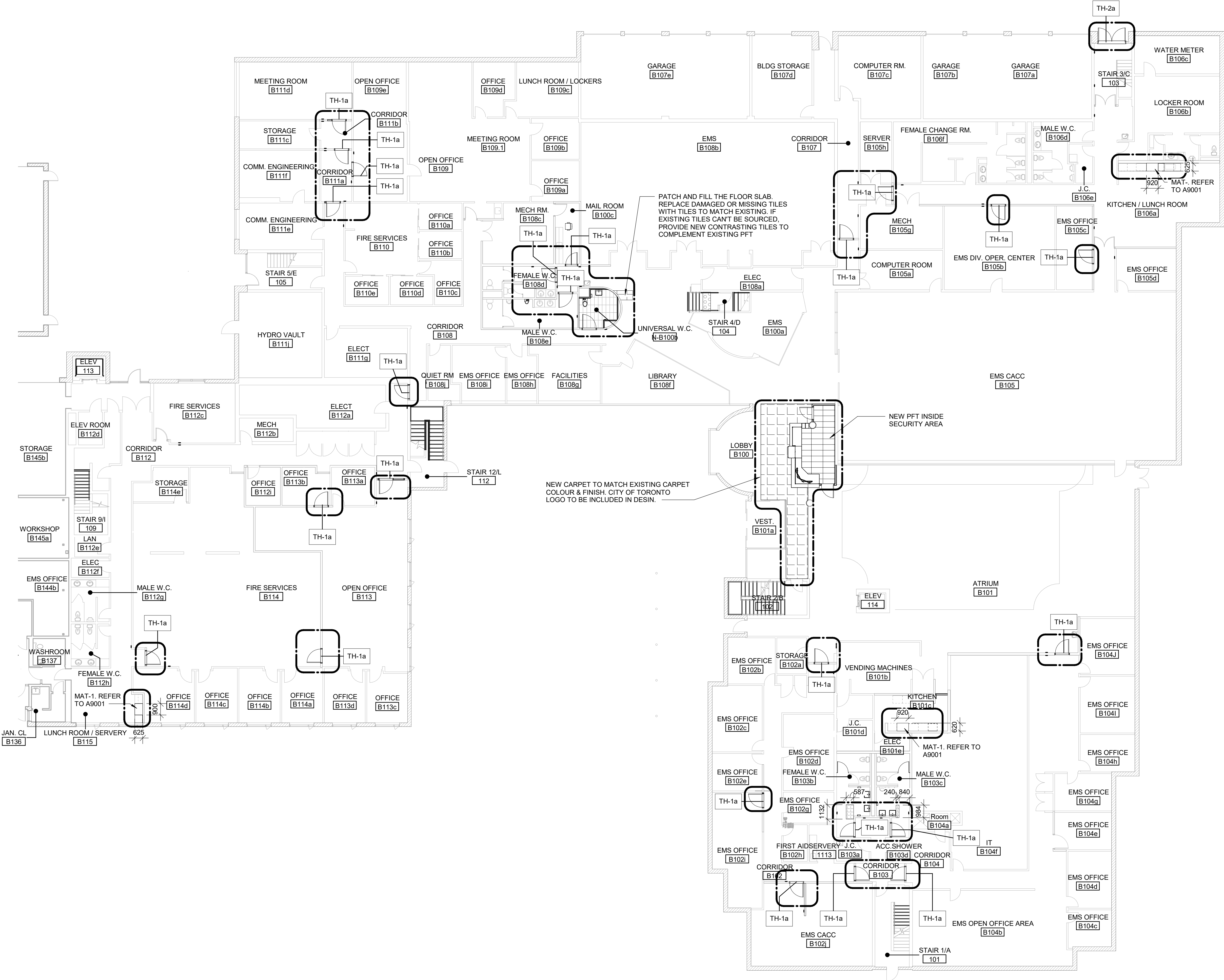
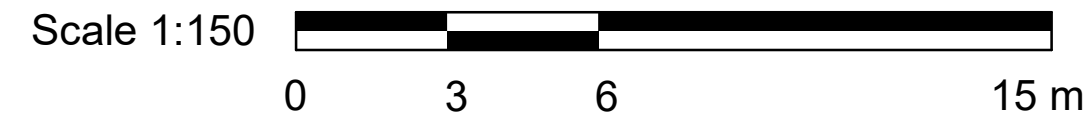
**G08-229-A2431**

ISSUE

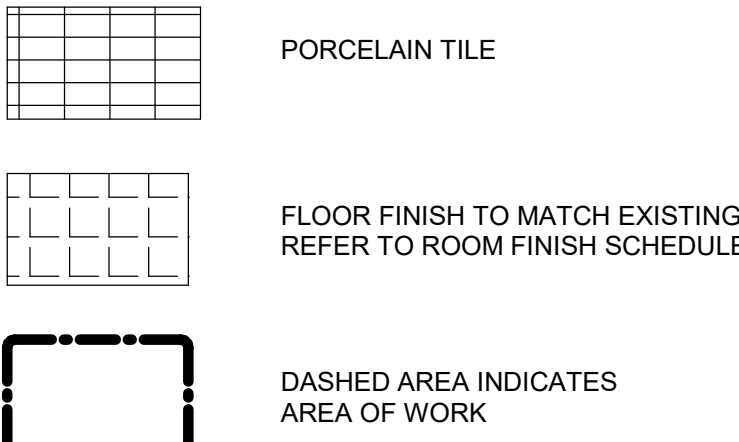
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### FLOOR FINISHES LEGEND



### FLOOR FINISH GENERAL NOTES

- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- 2 CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- 3 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- 4 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- 5 MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

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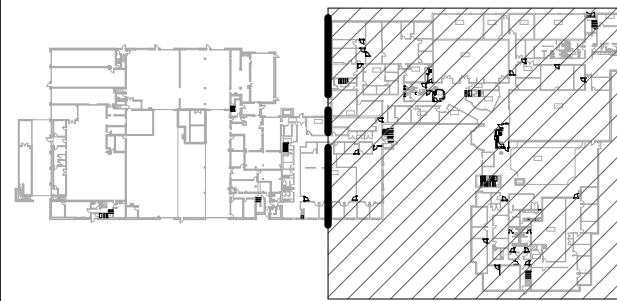
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SEAL



PRIME CONSULTANT



PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

**A. BOYNARIAN**

CHECKED BY:

**L. BANDIERA**

PROJECT MGR:

**F. BOLOURIAN**

APPROVED BY:

**E. FENUTA**

SHEET TITLE

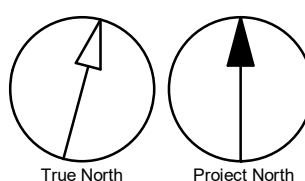
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SHEET NUMBER

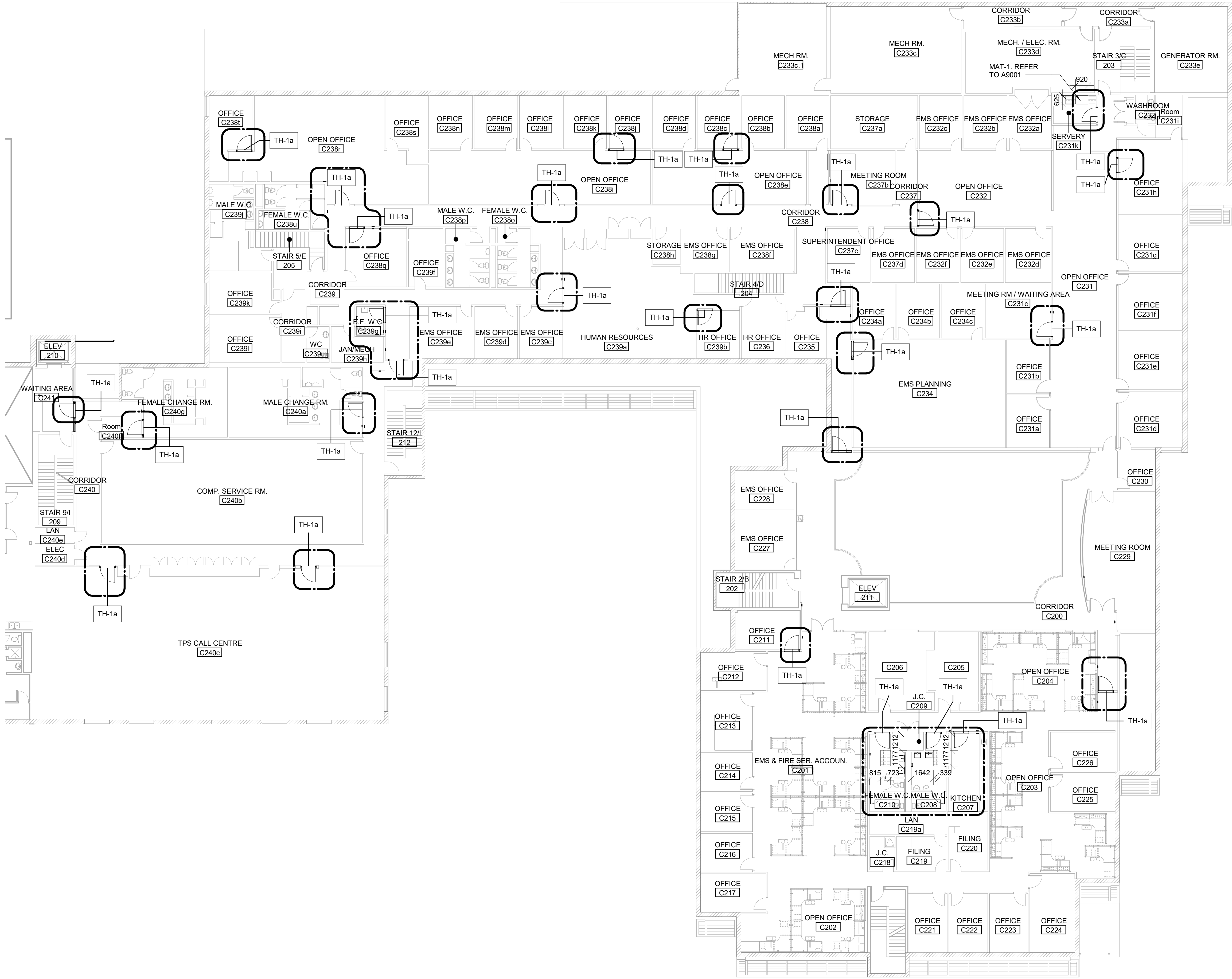
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ISSUE

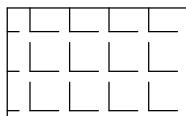
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FLOOR FINISHES LEGEND



FLOOR FINISH TO MATCH EXISTING  
REFER TO ROOM FINISH SCHEDULE



DASHED AREA INDICATES  
AREA OF WORK

FLOOR FINISH GENERAL NOTES

- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- 2 CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION. WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- 3 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- 4 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- 5 MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

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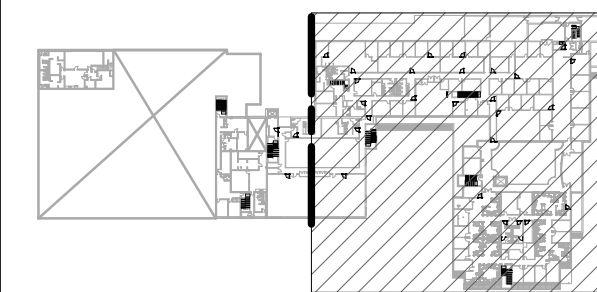
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PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

**A. BOYNARIAN**

CHECKED BY:

**L. BANDIERA**

PROJECT MGR:

**F. BOLOURIAN**

APPROVED BY:

**E. FENUITA**

SHEET TITLE

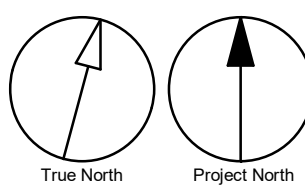
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PLAN**

SHEET NUMBER

**G08-229-A2621**

ISSUE

**0**

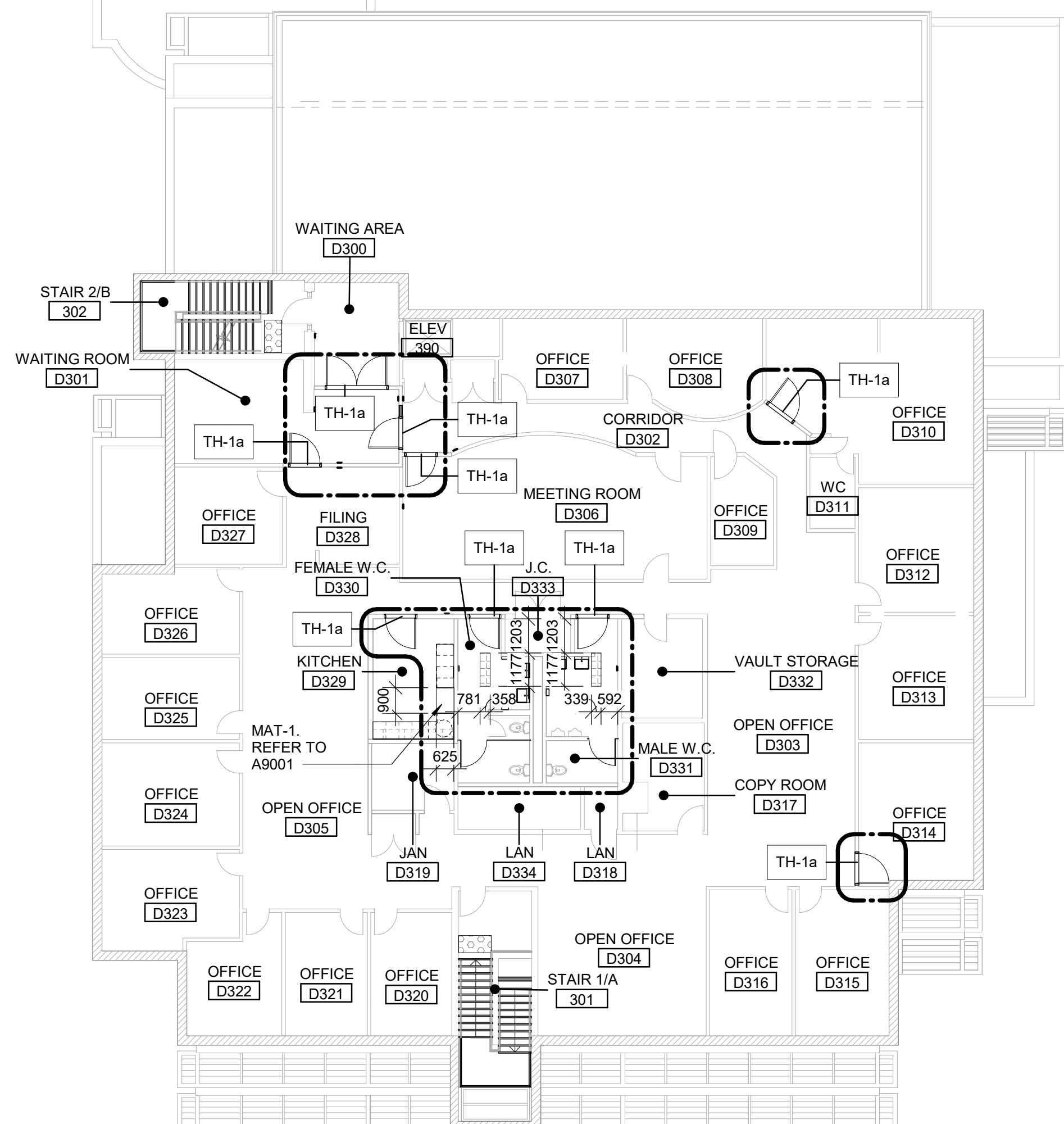


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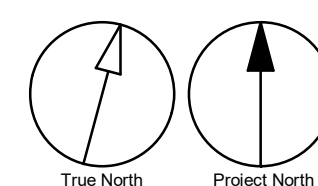




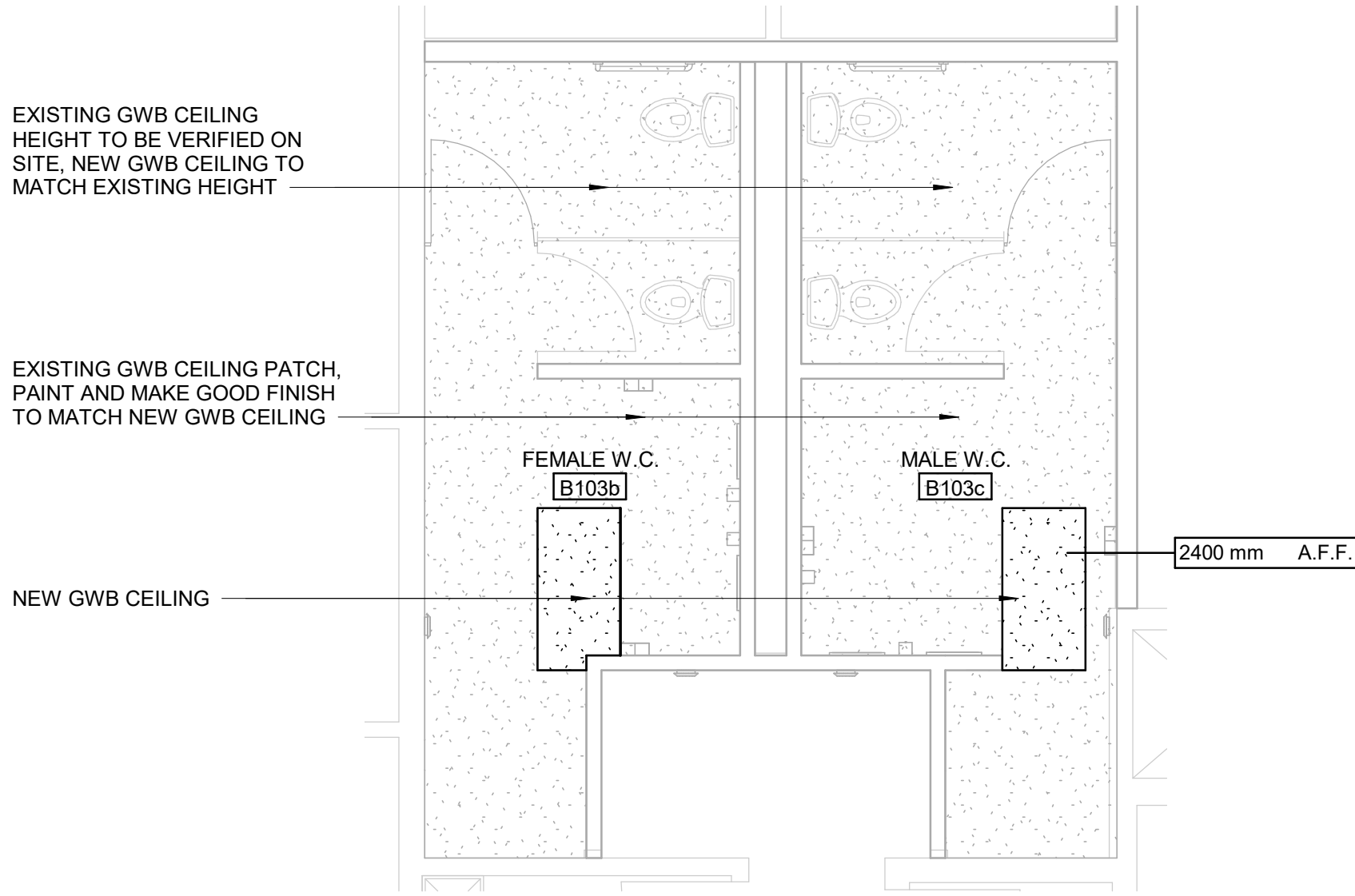
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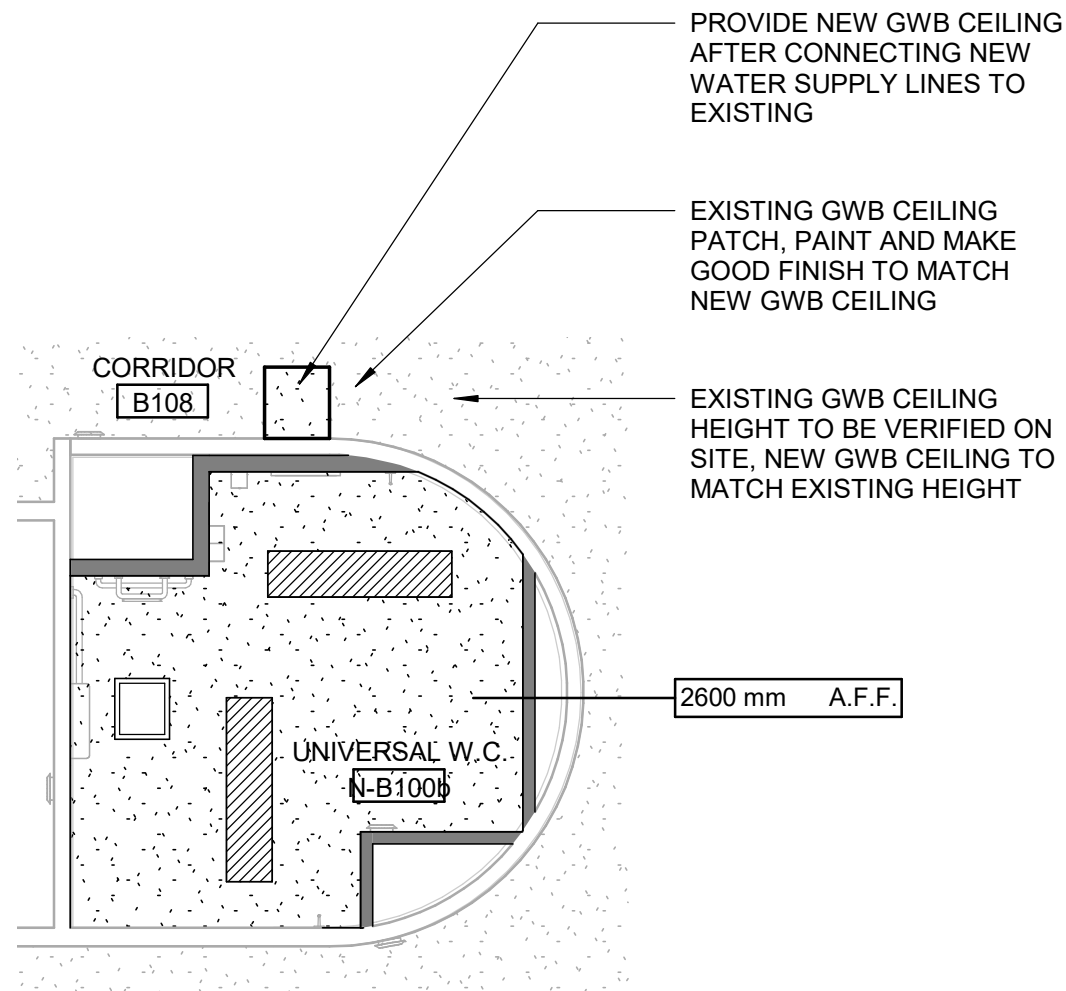
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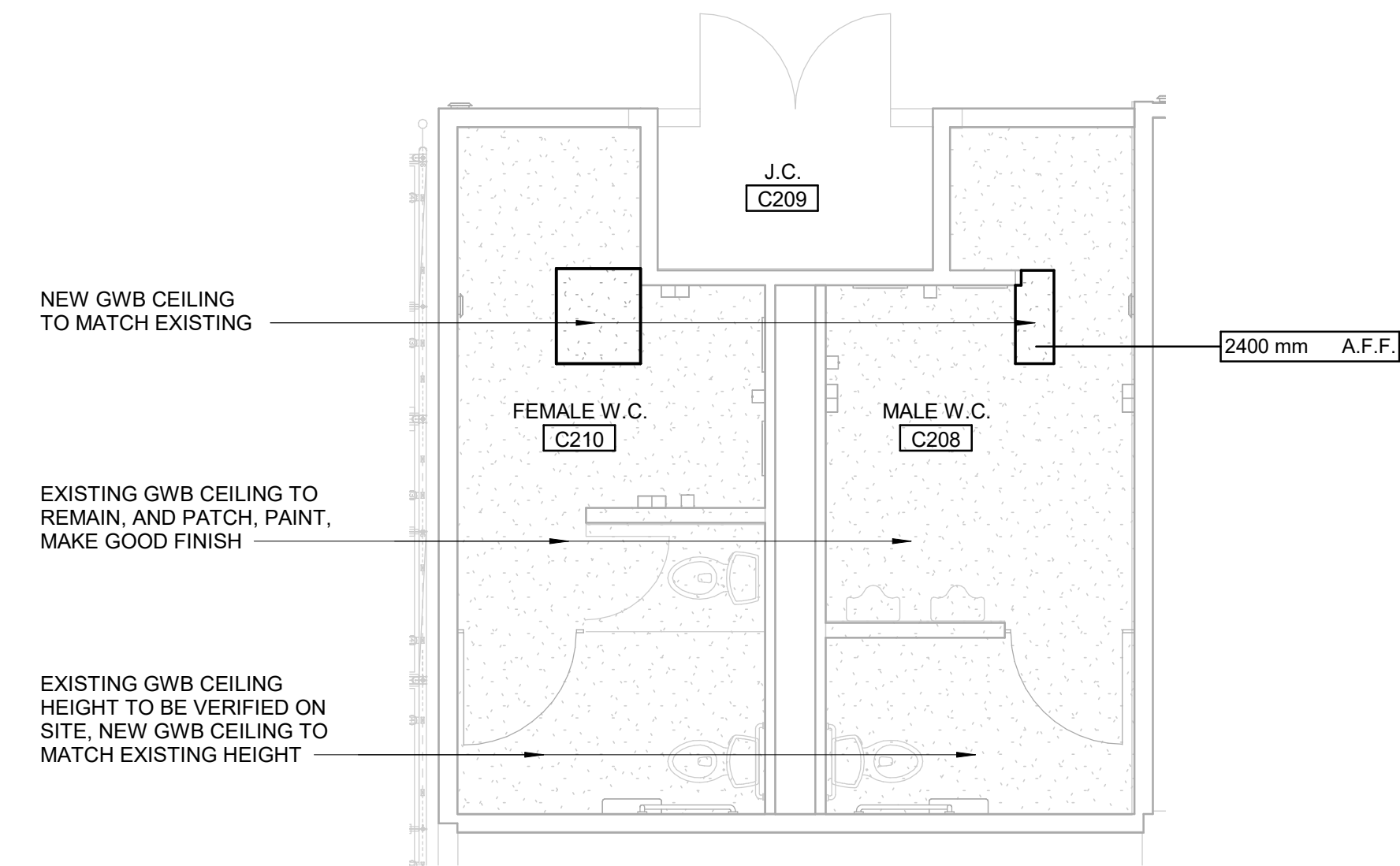




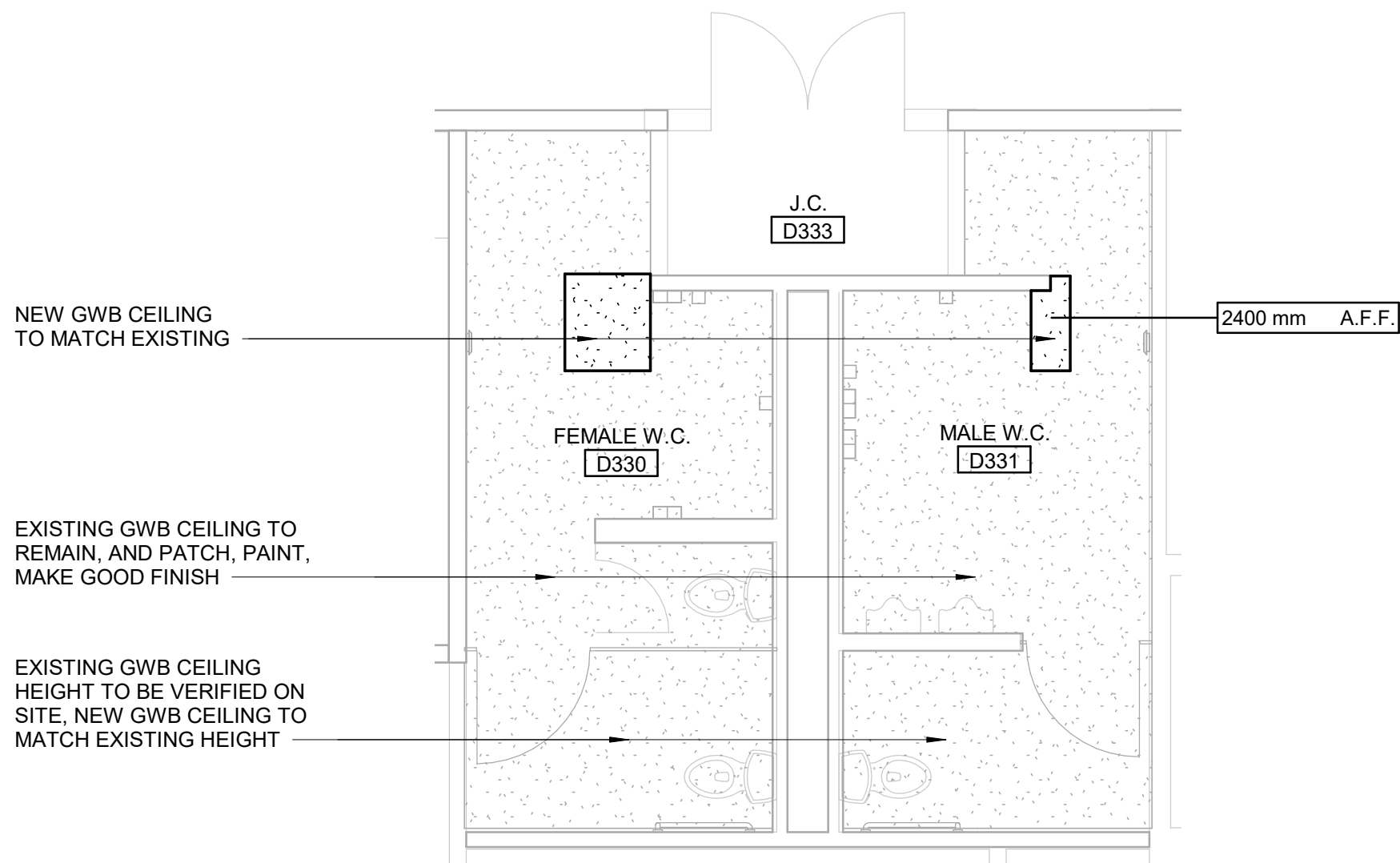
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A2811 Scale: 1 : 50



2 FIRST FLOOR-PROPOSED RCP - UNIVERSAL W.C.  
A2811 Scale: 1 : 50

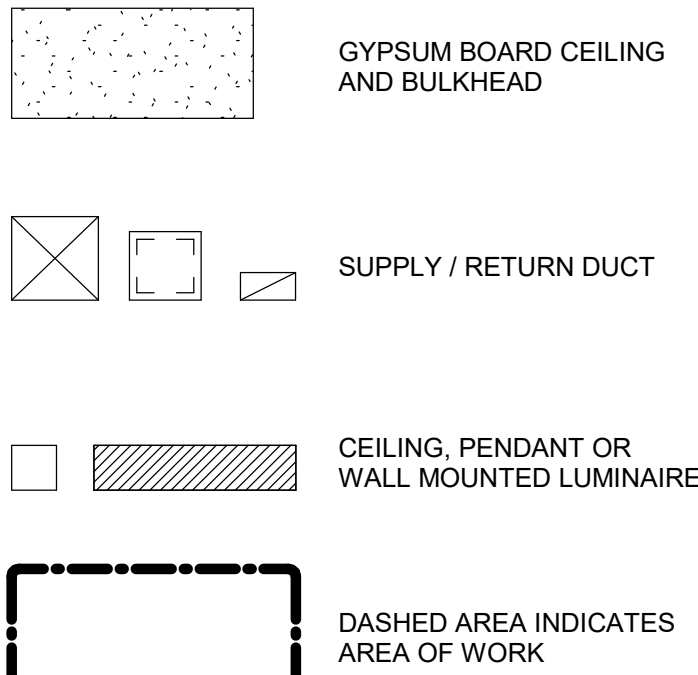


3 SECOND FLOOR-PROPOSED RCP - MALE AND FEMALE W.C.  
A2811 Scale: 1 : 50



4 THIRD FLOOR-PROPOSED RCP - MALE AND FEMALE W.C.  
A2811 Scale: 1 : 50

#### CEILING LEGEND



#### CEILING GENERAL NOTES

- 1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

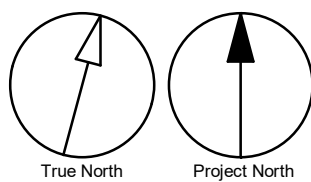
PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

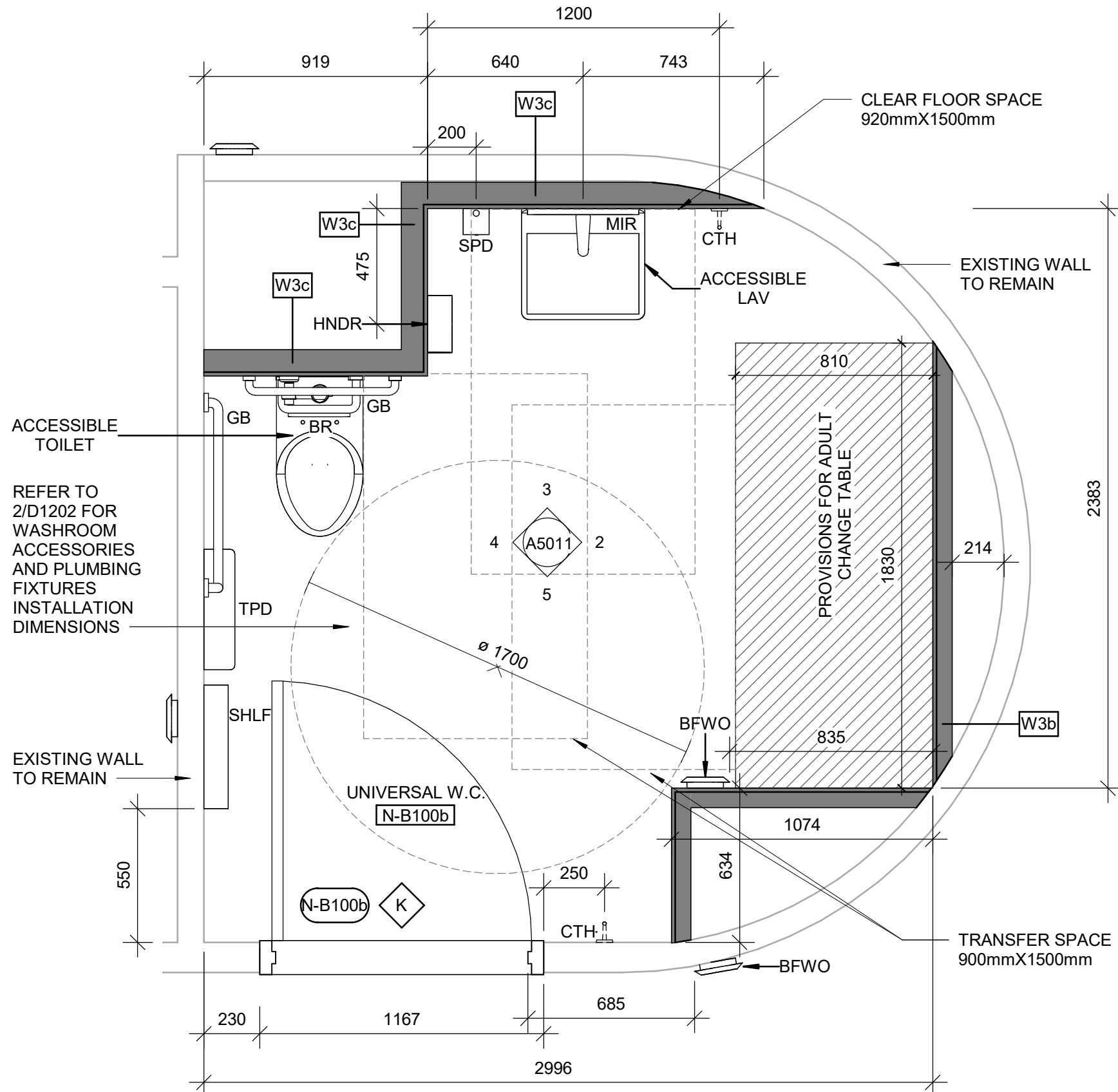
SHEET TITLE  
**REFLECTED CEILING  
PLANS**

SHEET NUMBER <b>G08-229-A2811</b>	ISSUE <b>0</b>
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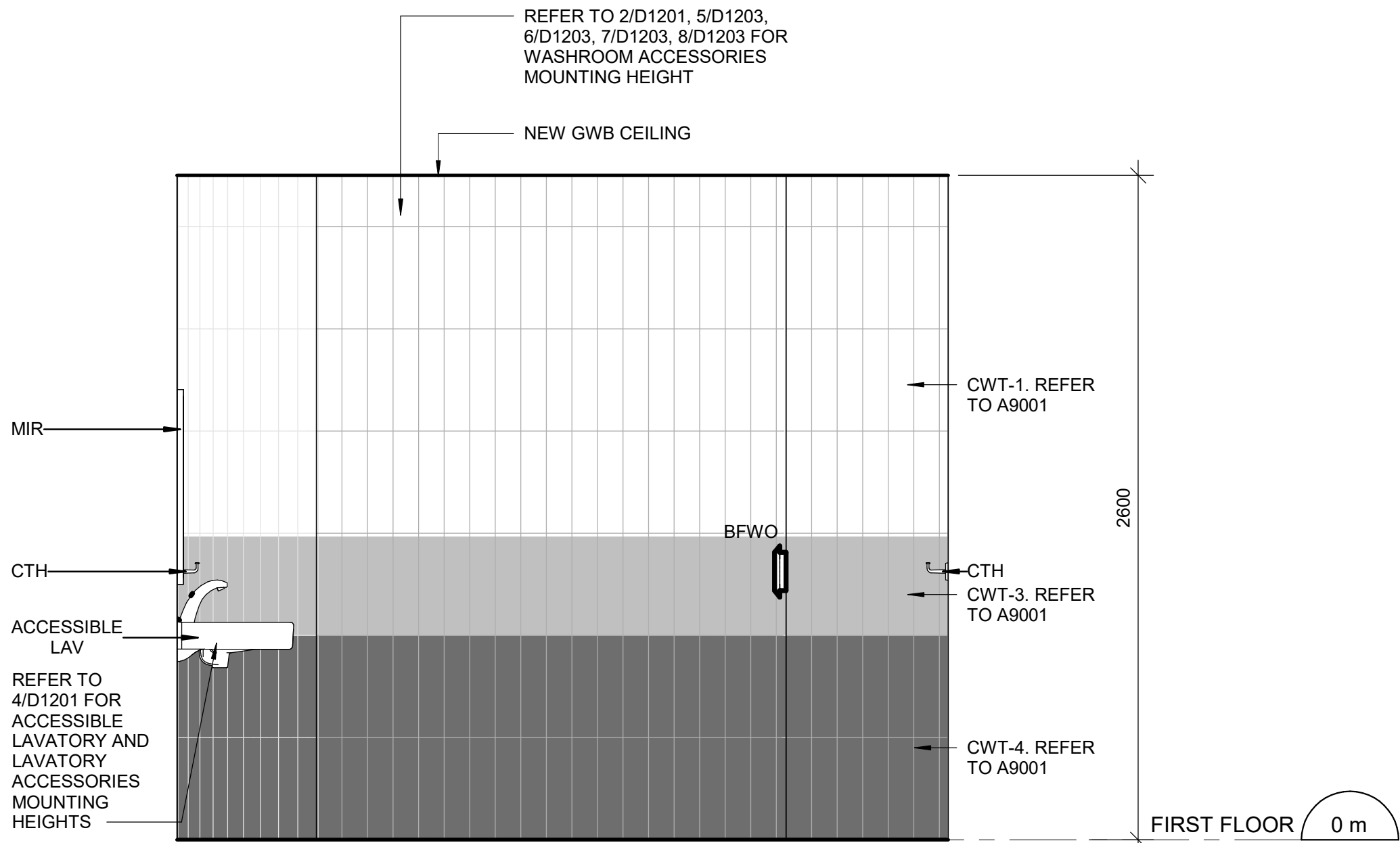




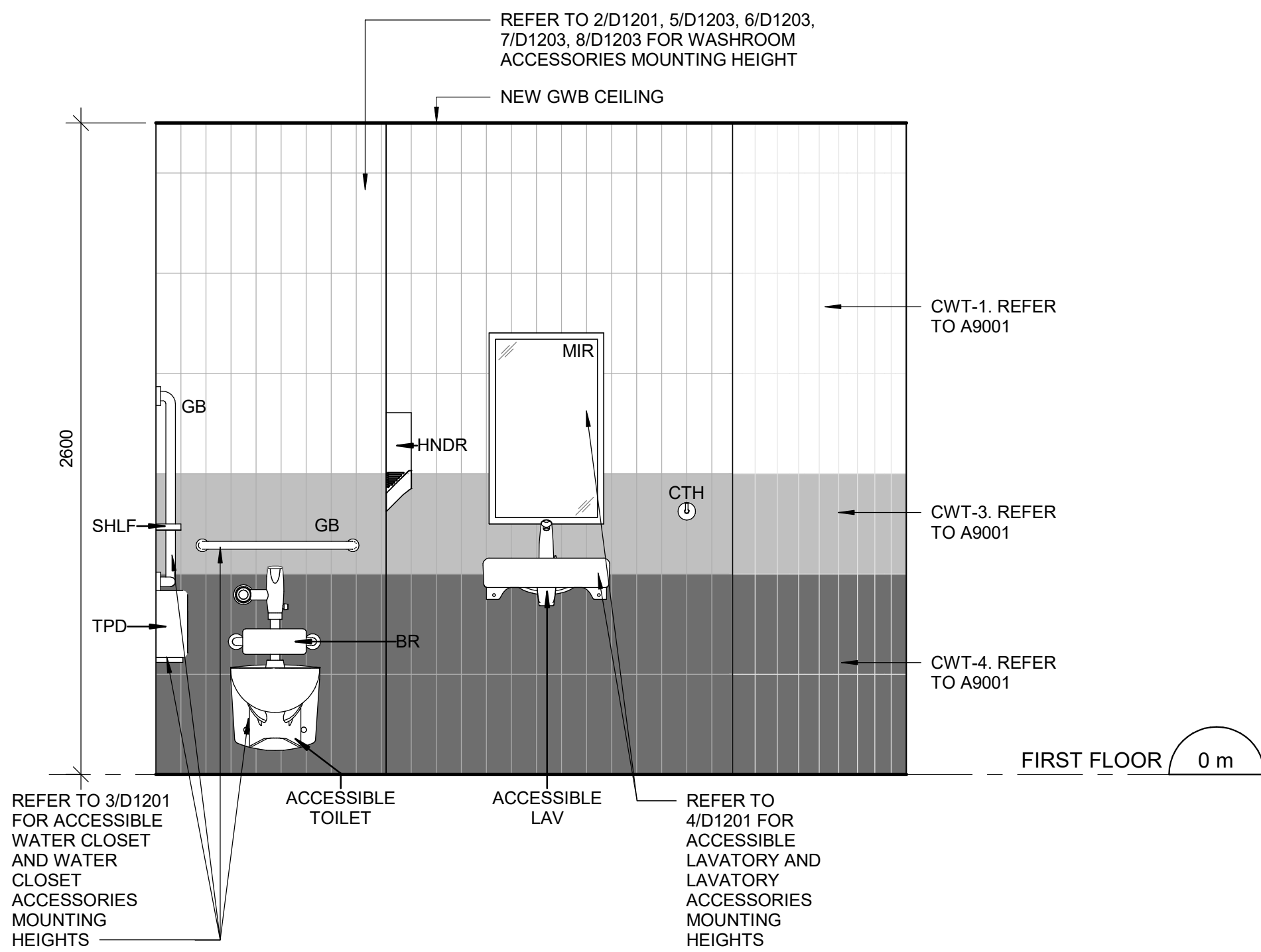
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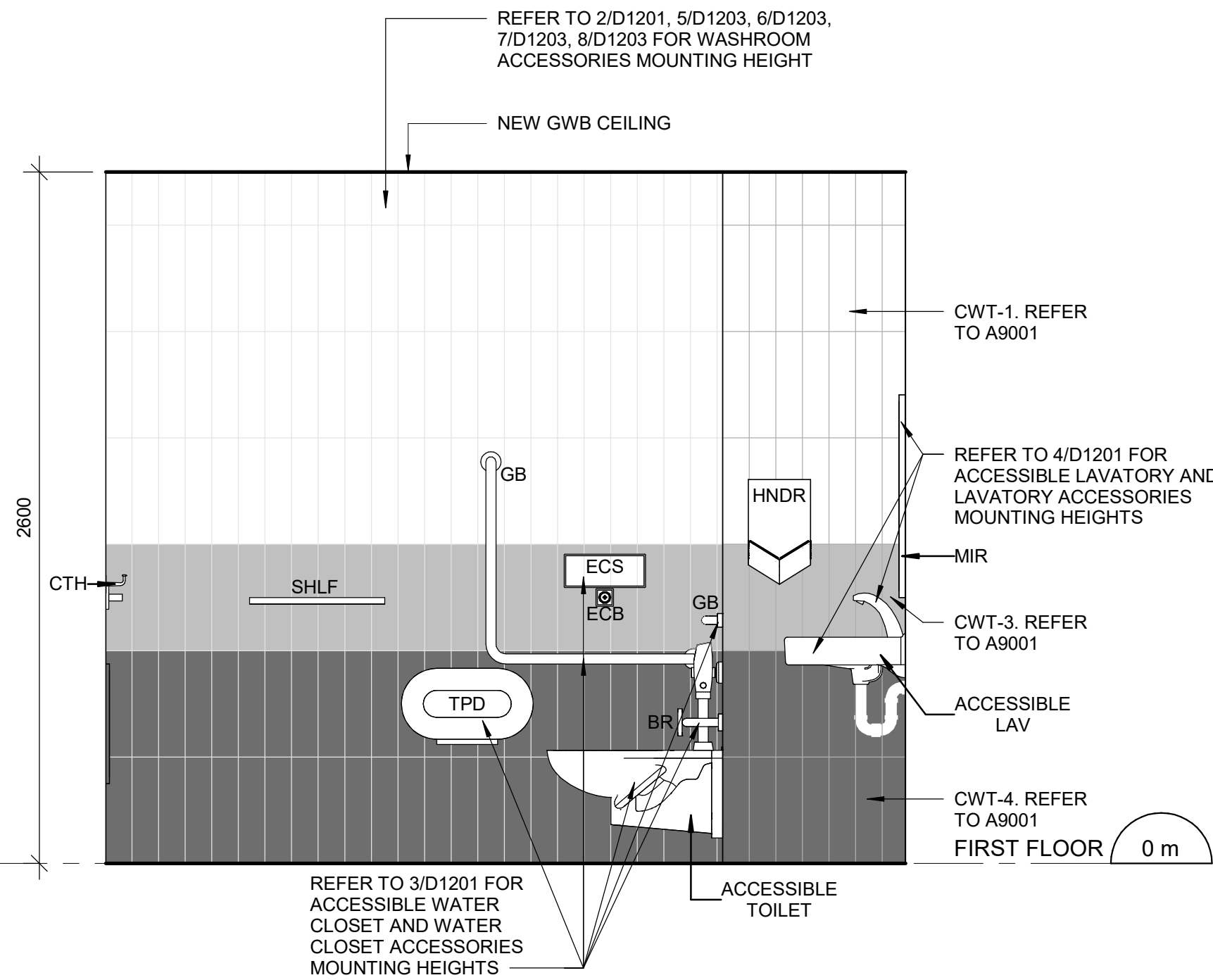
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A5011 Scale: 1 : 20



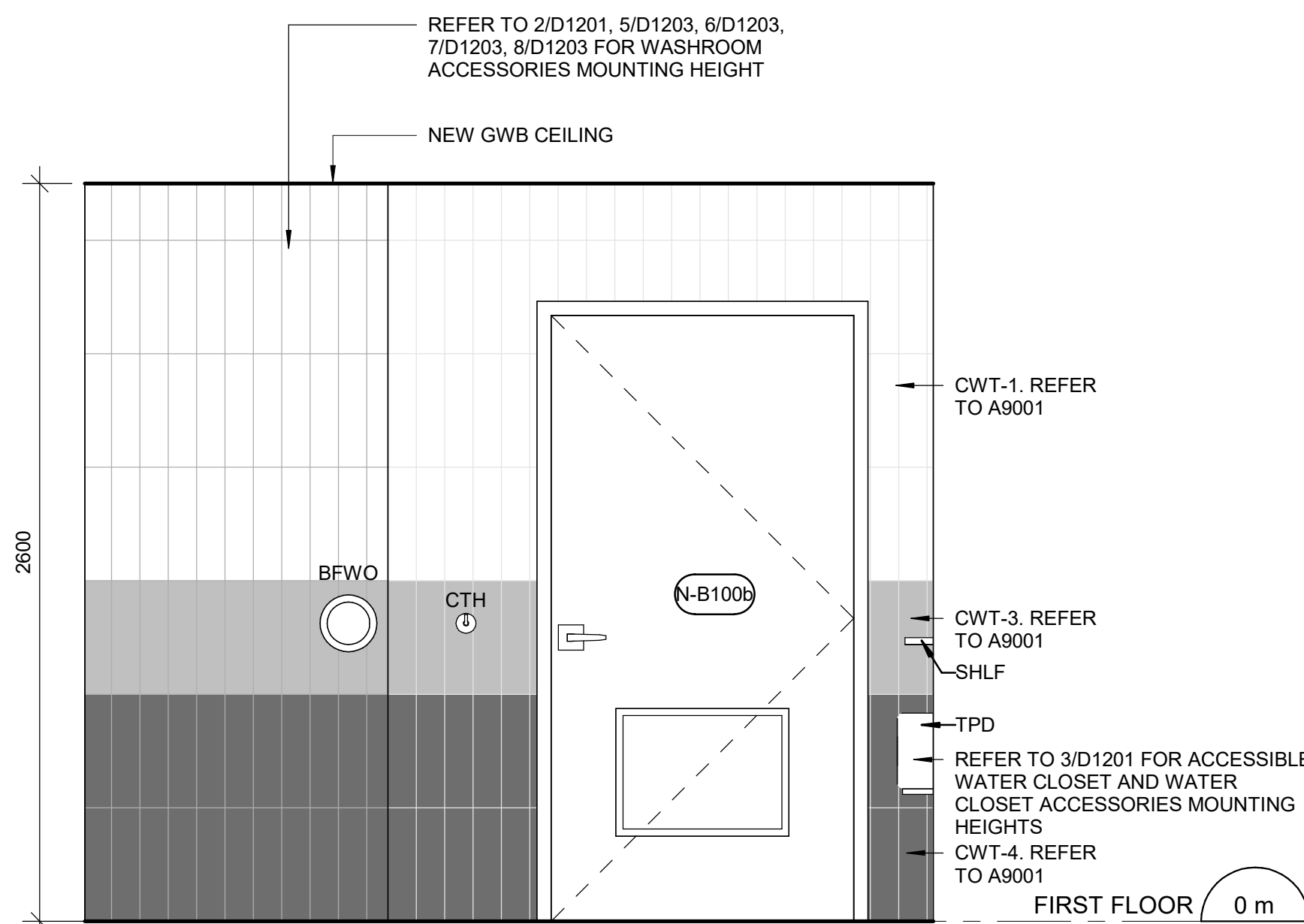
2 FIRST FLOOR UNIVERSAL W.C. N-1076 - EAST ELEVATION  
A5011 Scale: 1 : 20



3 FIRST FLOOR UNIVERSAL W.C. N-1076 - NORTH ELEVATION  
A5011 Scale: 1 : 20



4 FIRST FLOOR UNIVERSAL W.C. N-1076 - WEST ELEVATION  
A5011 Scale: 1 : 20



5 FIRST FLOOR UNIVERSAL W.C. N-1076 - SOUTH ELEVATION  
A5011 Scale: 1 : 20

#### CONSTRUCTION KEY NOTES

NO	DESCRIPTION
K	INSTALL NEW DOOR AND FRAME, REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

#### WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS. REFER TO TYPICAL DETAIL BOOKLET
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

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Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

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PRIME CONSULTANT  
**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

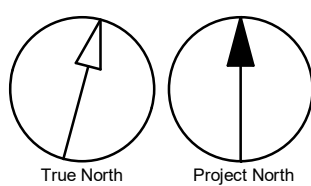
PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260  
DRAWN BY:  
**A. BOYNARIAN**  
PROJECT MGR:  
**F. BOLOURIAN**  
CHECKED BY:  
**L. BANDIERA**  
APPROVED BY:  
**E. FENUITA**

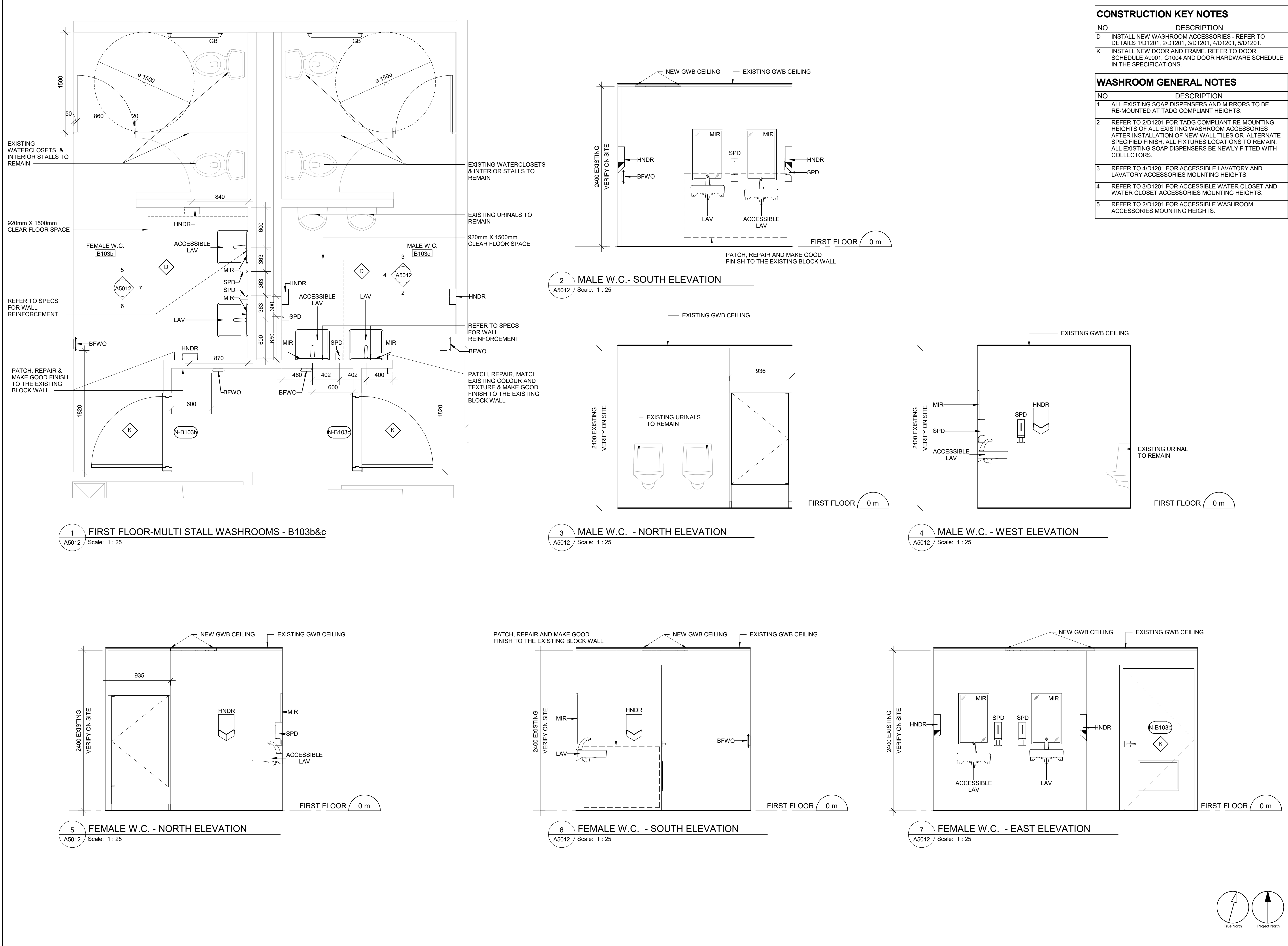
SHEET TITLE  
**FIRST FLOOR  
UNIVERSAL W.C.  
PLANS/ELEVATIONS**

SHEET NUMBER  
**G08-229-A5011**  
ISSUE  
**0**



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CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

WASHROOM GENERAL NOTES	
NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.
3	REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS.
4	REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS.
5	REFER TO 2/D1201 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS.

CLIENT

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**Toronto**

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**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

**PROJECT TITLE**

**CITY OF TORONTO**  
**ACCESSIBILITY UPGRADES**

**PROJECT ADDRESS**

**Fire/EMS HQ & EMS**  
**Station 53**  
**4330 Dufferin St**

**PROJECT NO:**  
9119- 19- 0162 / IBI 122260

**DRAWN BY:**  
**A. BOYNARIAN**

**CHECKED BY:**  
**L. BANDIERA**

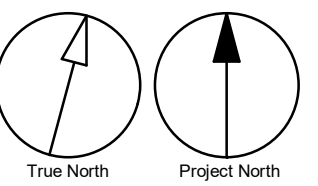
**PROJECT MGR:**  
**F. BOLOURIAN**

**APPROVED BY:**  
**E. FENUTA**

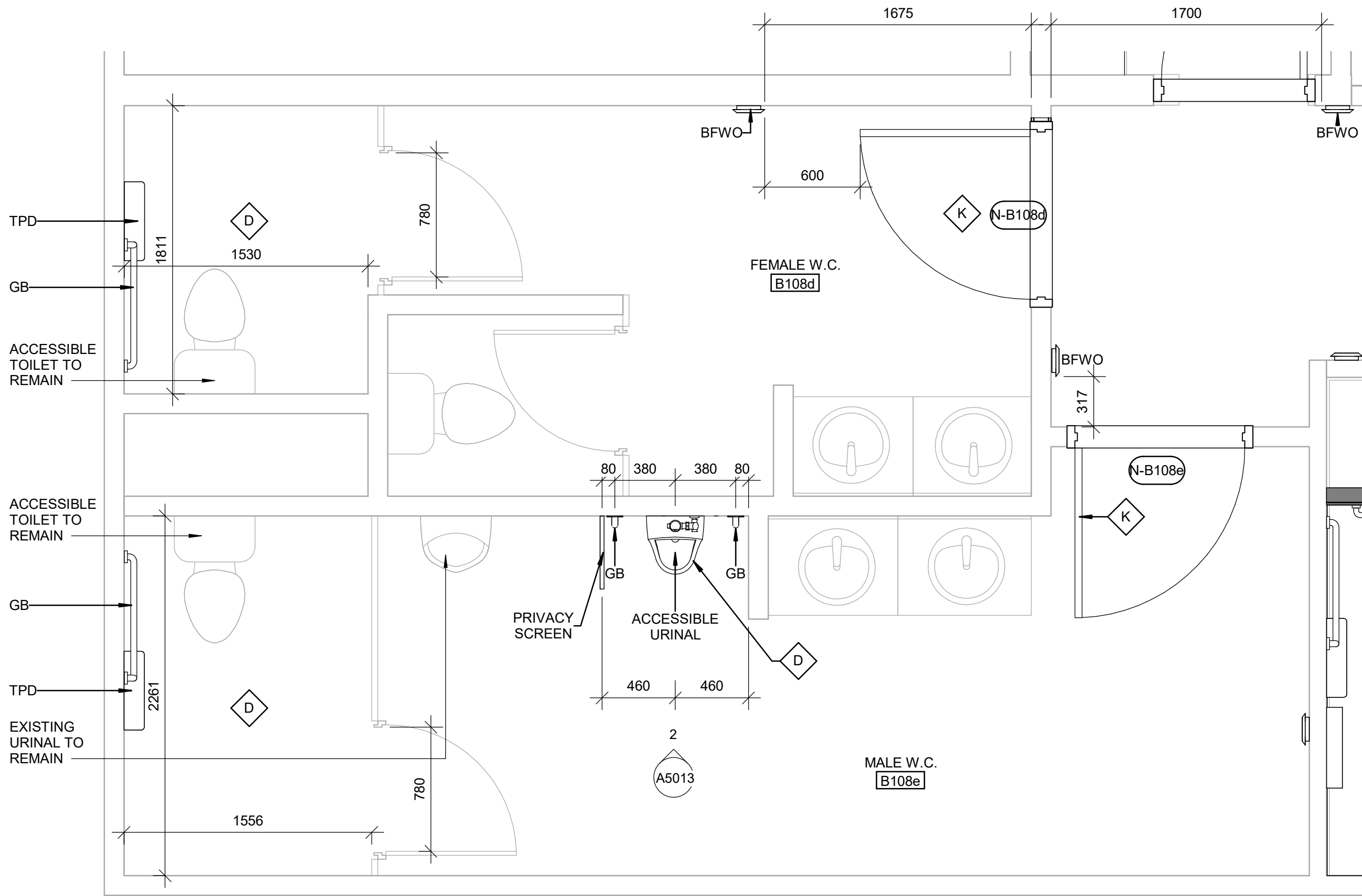
**SHEET TITLE**

**FIRST FLOOR MULTI**  
**STALL WASHROOMS**

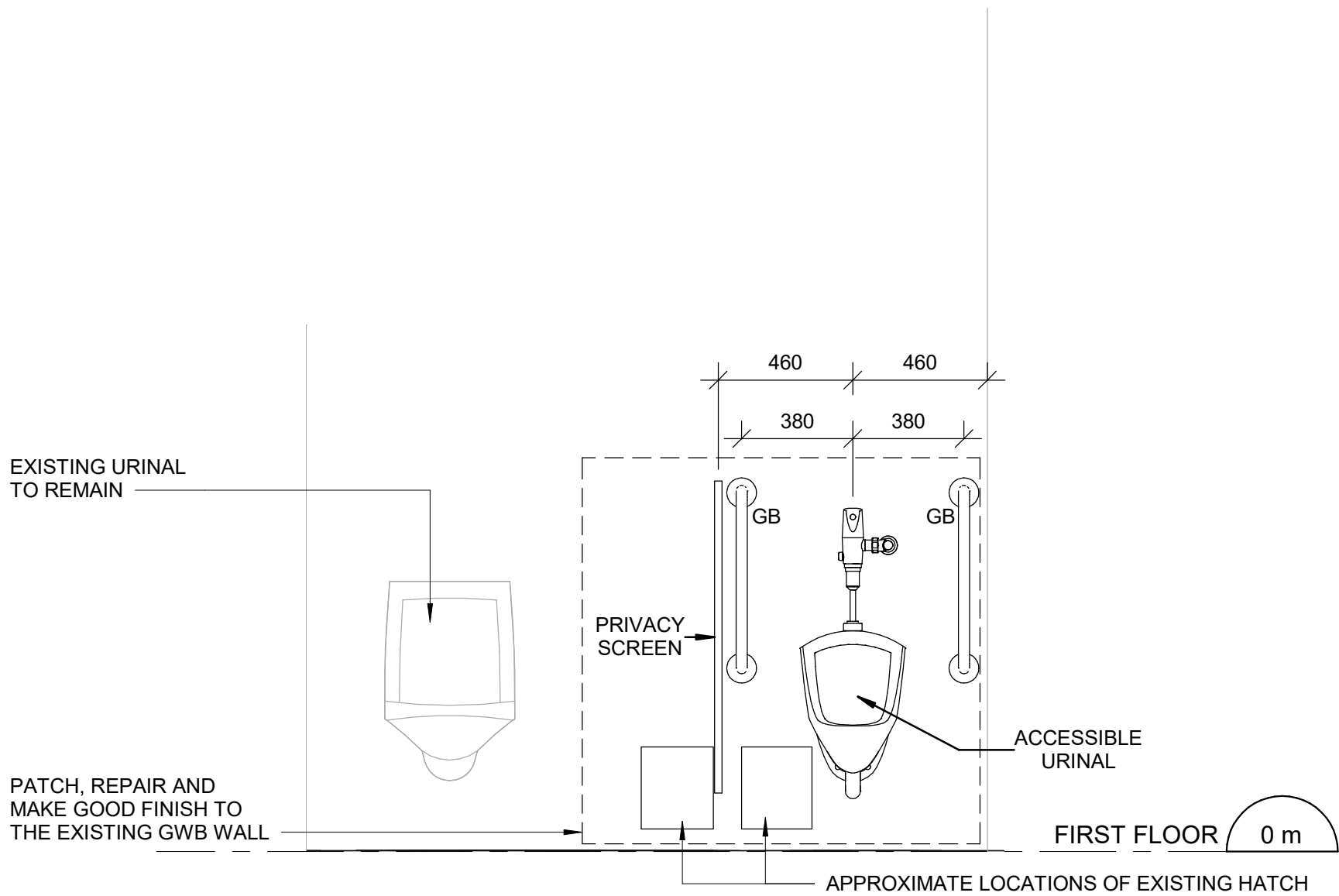
SHEET NUMBER	ISSUE
G08-229-A5012	0



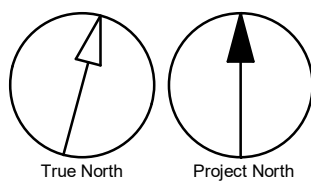




1 FIRST FLOOR MULTI STALL WASHROOMS B108d&e - ENLARGED PLAN  
A5013 Scale: 1 : 25



2 FIRST FLOOR MEN'S WASHROOM B108e - NORTH ELEVATION  
A5013 Scale: 1 : 20



### CONSTRUCTION KEY NOTES

NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

### WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.
3	REFER TO 4/D1201 FOR ACCESSIBLE URINAL AND URINAL ACCESSORIES MOUNTING HEIGHTS.
4	REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS.
5	REFER TO 2/D1201 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS.

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

A. BOYNARIAN

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

FIRS FLOOR PROPOSED  
MULTI STALL  
WASHROOMS

SHEET NUMBER

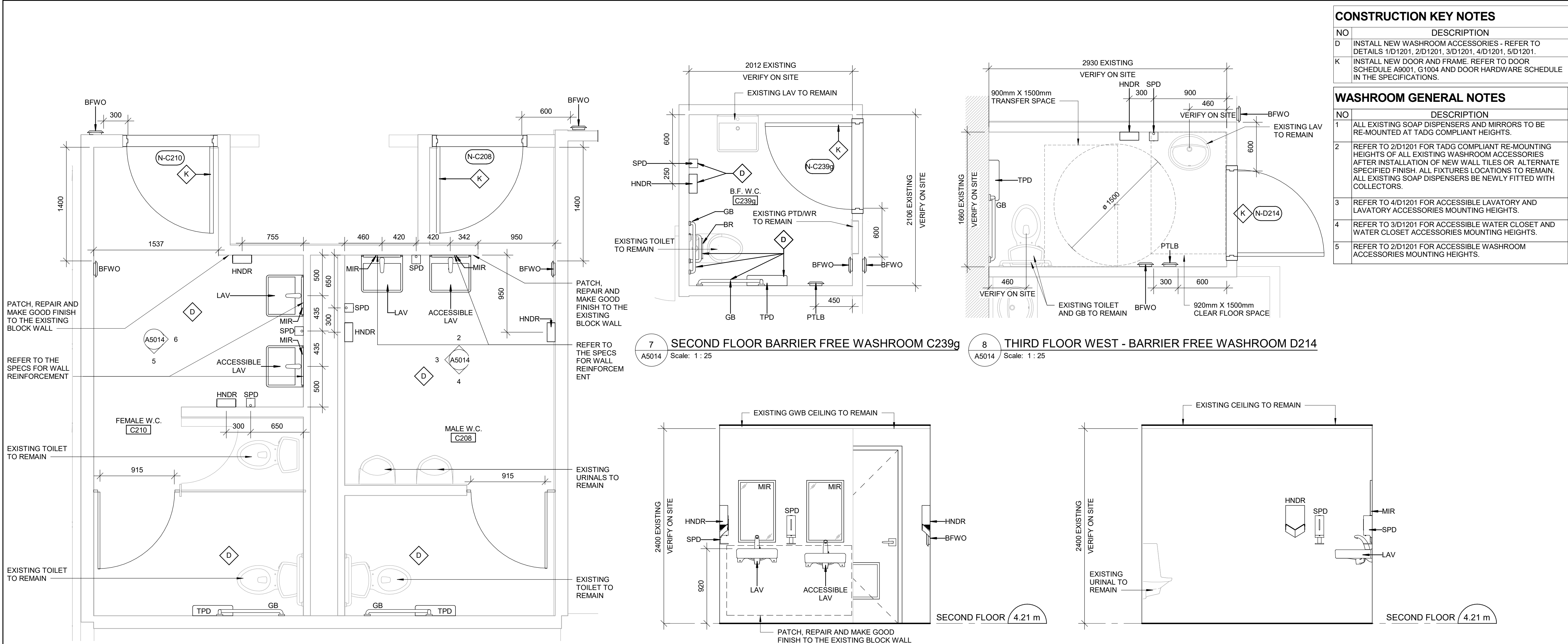
G08-229-A5013

ISSUE

0



2021-10-19 4:38:43 PM



CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

WASHROOM GENERAL NOTES	
NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.
3	REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS.
4	REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS.
5	REFER TO 2/D1201 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS.

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

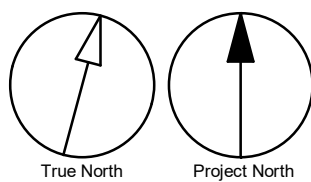
PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**MULTI STALL  
WASHROOMS SECOND &  
THIRD FLOORS (TYP)**

SHEET NUMBER <b>G08-229-A5014</b>	ISSUE <b>0</b>
--------------------------------------	-------------------

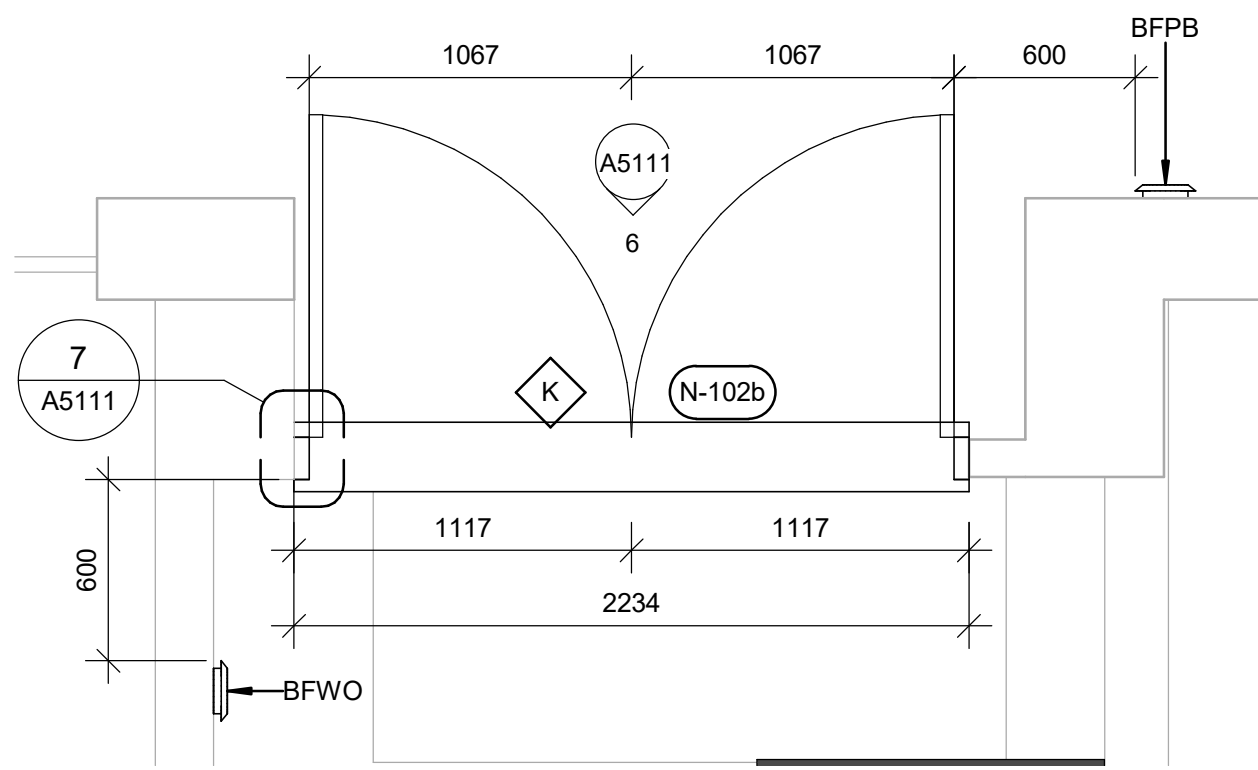


C:\Users\shirley.wong\Documents\REV120201\222605-TAU-6-229-4330DFRN-A-R20\_shirley.wong\SYF\AIR.rvt

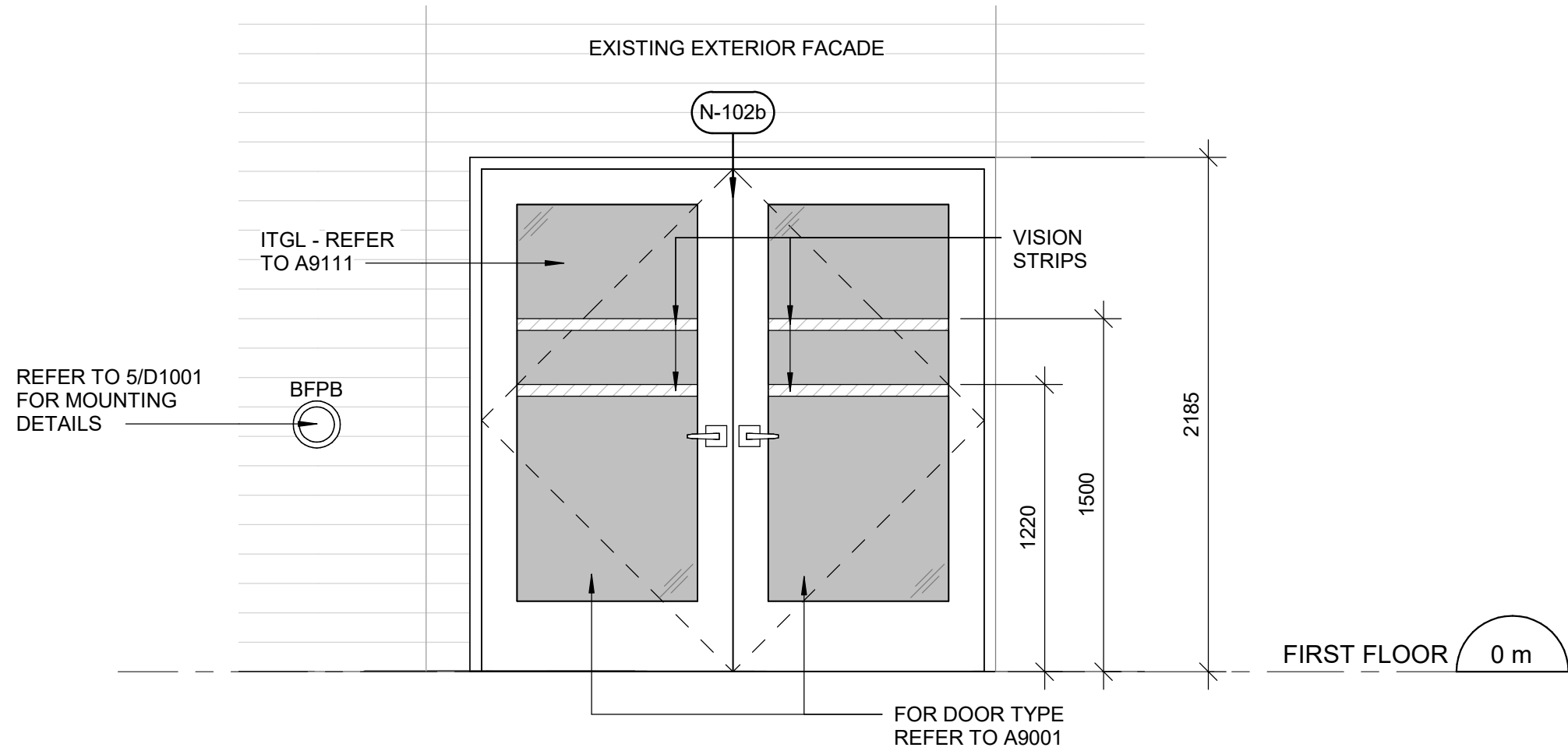
10mm

SCALE CHECK  
1"=1m

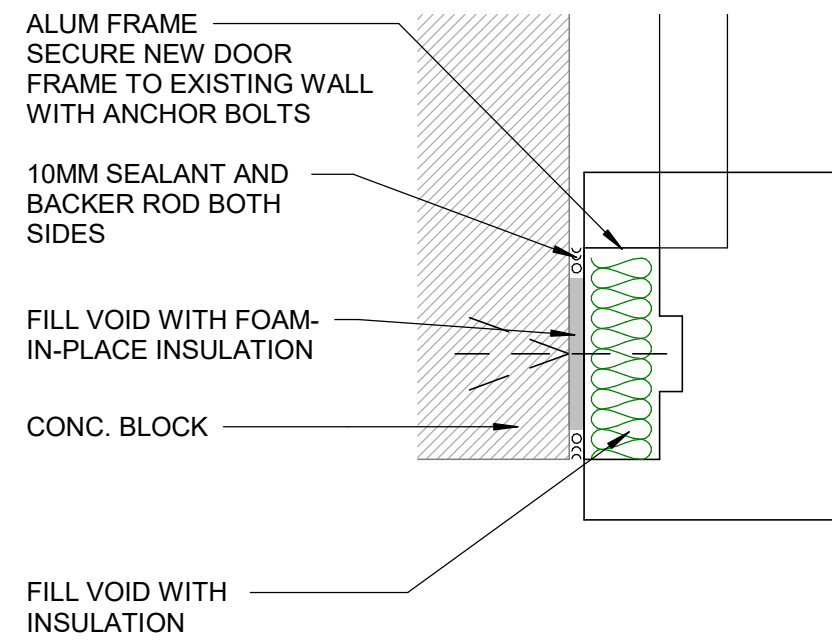




1 FIRST FLOOR - VESTIBULE PLAN  
A5111 Scale: 1 : 25



6 VESTIBULE ELEVATION - EXTERIOR DOOR  
A5111 Scale: 1 : 25



7 DOOR DETAIL  
A5111 Scale: 1 : 5

#### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW EXTERIOR WALL REFER TO WALL SCHEDULE
- NEW PARTITION REFER TO PARTITION SCHEDULE

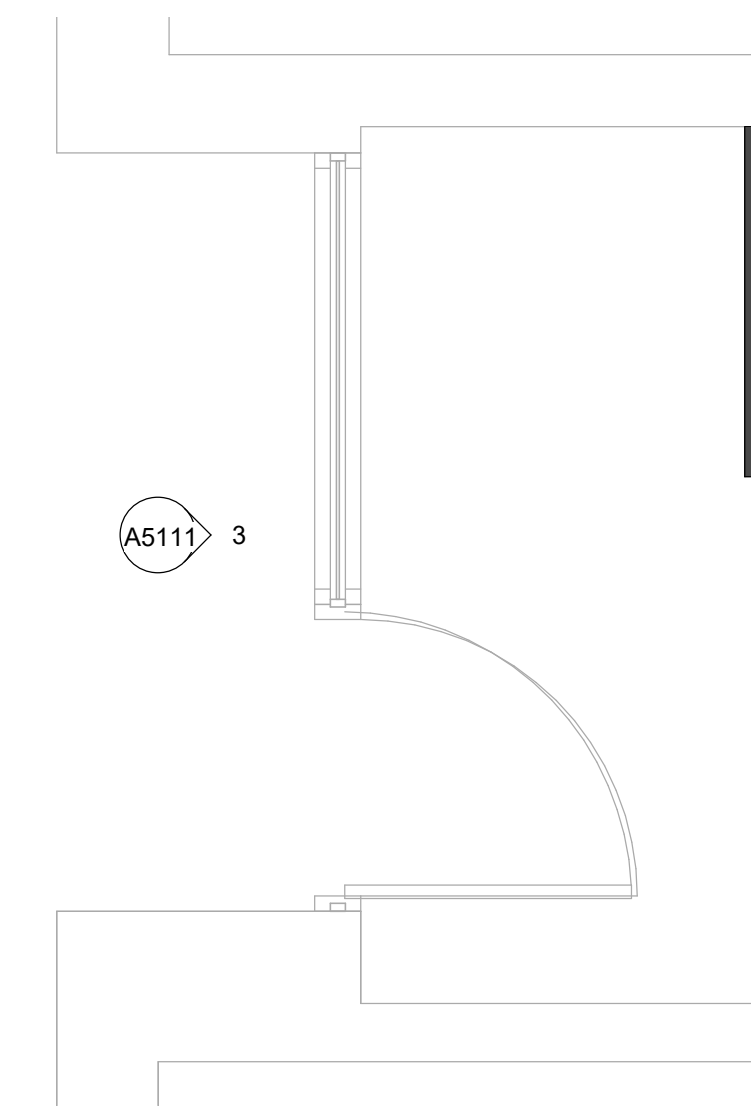
EXISTING DOOR TO REMAIN

NEW DOOR AND/ OR NEW HARDWARE

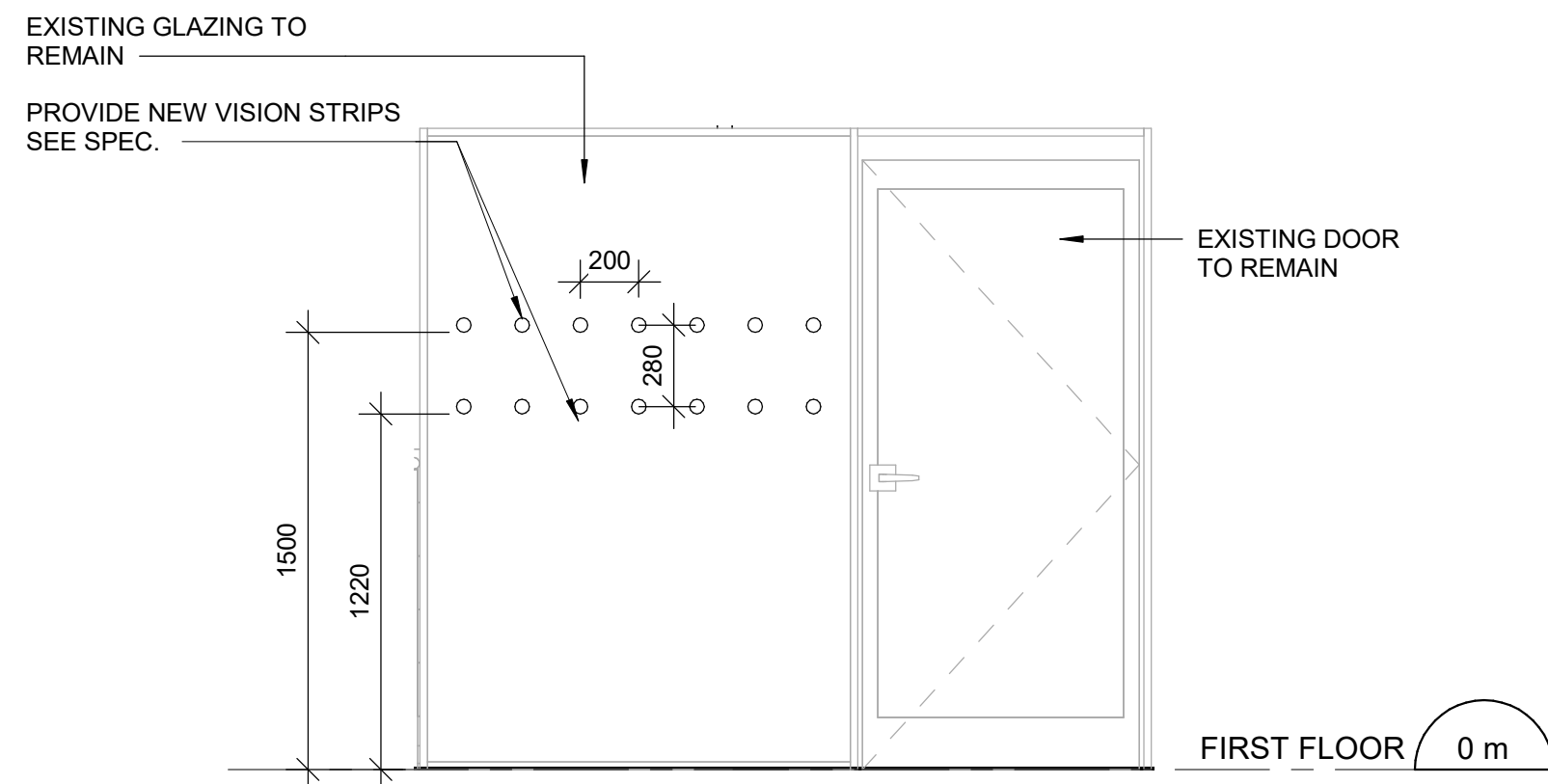
DASHED AREA INDICATES AREA OF WORK

#### CONSTRUCTION KEY NOTES

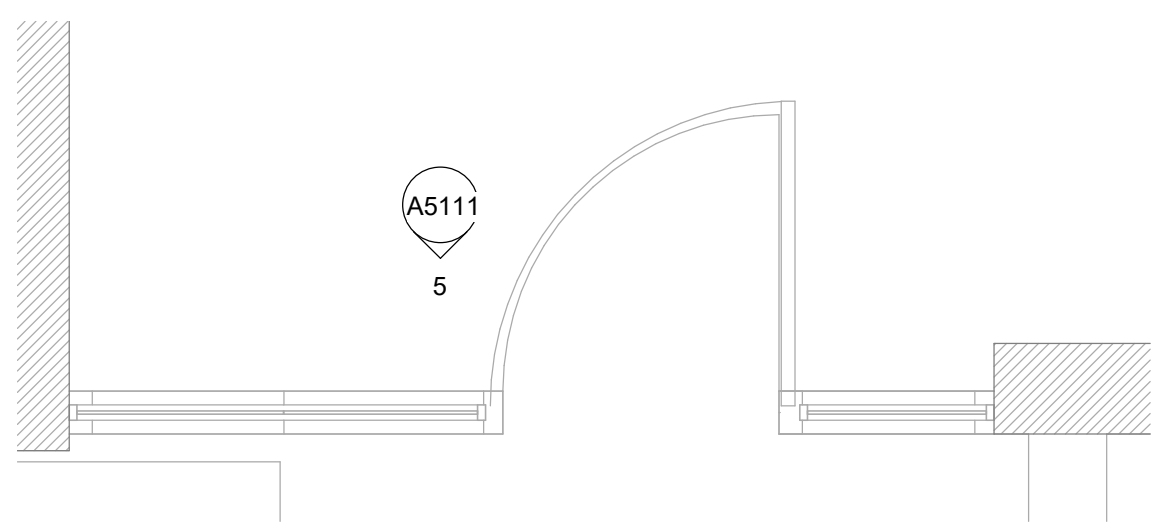
NO	DESCRIPTION
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



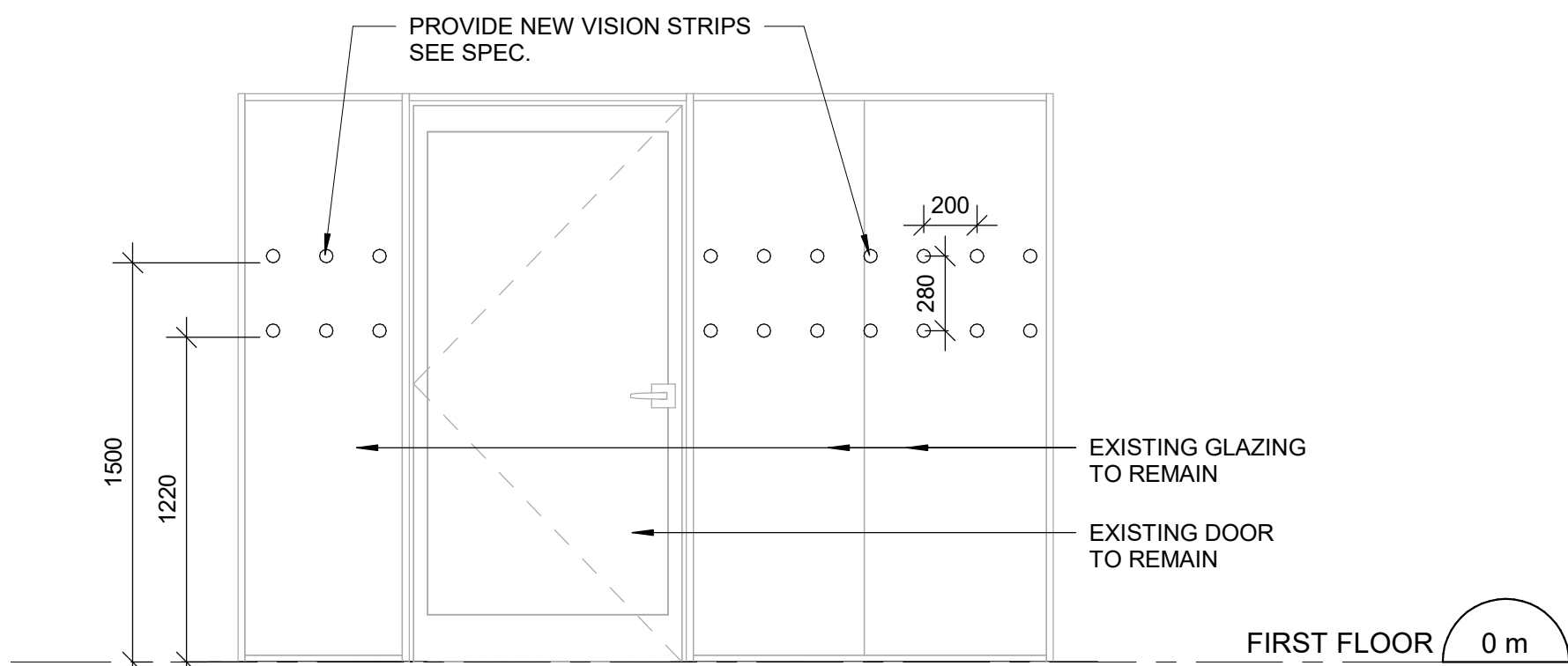
2 FIRST FLOOR - WEST ENTRANCE PLAN  
A5111 Scale: 1 : 25



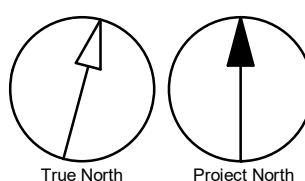
3 WEST ENTRANCE EAST ELEVATION - VISION STRIPS  
A5111 Scale: 1 : 25



4 FIRST FLOOR - NORTH ENTRANCE PLAN  
A5111 Scale: 1 : 25



5 NORTH ENTRANCE 3 - EAST ELEVATION - VISION STRIPS  
A5111 Scale: 1 : 25



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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY:  
**A. BOYNARIAN**

CHECKED BY:  
**L. BANDIERA**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**ENLARGED ENTRANCE  
PLANS & ELEVATIONS**

SHEET NUMBER  
**G08-229-A5111**

ISSUE  
**0**



[illegible]

5  
A5211

A

TA-11

C

TA-16

STAIR 3/C

B

254

254

NEW PROPOSED RAILING LENGTH - 4472mm

NEW PROPOSED RAILING LENGTH - 3758mm

REFER TO STAIRS GENERAL NOTES FOR DETAILS



Architectural section drawing of a building facade. The drawing shows a cross-section of a structure with various components and dimensions. Key elements include:

- Dimensions:**
  - 1430 EXISTING (left side)
  - 5080 EXISTING (top center)
  - 254 (multiple locations)
  - 610 (right side)
  - 6773 EXISTING (bottom center)
- Labels and Components:**
  - TA-11 (top left)
  - STAIR 4/D (left side)
  - CUP (center, below TA-11)
  - TA-16 (top right)
  - TA-1a (far right)
  - EXISTING HANDRAIL TO REMAIN (bottom right)
- Verification Points:**
  - A (diamond shape, left side)
  - B (diamond shape, top center)
  - C (diamond shape, top center)
  - A (diamond shape, bottom right)
- Other Labels:**
  - VERIFY ON SITE (multiple locations)

Architectural drawing of a staircase section. The drawing shows a set of stairs labeled "STAIR 5/E". An "EXISTING HANDRAIL TO REMAIN" is shown on the left side of the stairs. A "PROPOSED NEW HANDRAIL/GUARDRAIL" is shown on the right side of the stairs. The drawing includes various labels and dimensions: "TA-11" and "254" are at the top left; "UPC" is near the existing handrail; "TA-16" is at the bottom center; "A" and "C" are diamond-shaped callouts near the bottom of the stairs; "A5111" is in a circle on the left; and "9 A5211" is in a circle on the right. A dashed line indicates the "STAIR 5/E" path.

REFER TO STAIRS GENERAL NOTES FOR DETAILS



SECOND FLOOR 4.21 m

STOP GUARDRAIL AT CEILING TO RUN ALONG LINE OF OVERHANG, CONTINUE HANDRAIL TO TOP OF STAIR, MOUNT AND SECURE HANDRAIL TO EXISTING WALL

NEW GUARDRAIL

NEW HANDRAIL

NEW GUARD POSTS TO BE FIXED ON EXISTING STRINGER

EXISTING STAIR

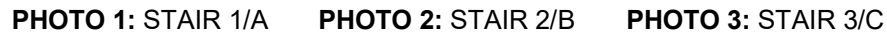
3302 EXISTING—  
VERIFY ON SITE

FIRST FLOOR 0 m

REFER TO 8/D1405 FOR THE HANDRAIL WARNING STRIP DETAIL

REFER TO STAIRS GENERAL NOTES FOR DETAILS

NO	DESCRIPTION
1	REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS.
2	REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS.
3	REFER TO 4/D1405 FOR FLAT STAIR NOSING (TA-16) DETAILS.
4	REFER TO 3/D1401 & 2/D1402 FOR HANDRAIL AND GUARD MOUNTING HEIGHTS AND DETAILS.



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PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY-

IAN	CHECKED BY: L. BANDIERA
-----	----------------------------

PROJECT MGR

IGR: AN	APPROVED BY E. FENUTA
------------	--------------------------

SHEET TITLE  
ENLARGED STAIR PLANS  
& SECTIONS

SHEET NUMBER

G08-229-A5211

ISSUE

0







CONSTRUCTION KEY NOTES

NO	DESCRIPTION
R	INSTALL NEW HANDRAIL - REFER TO DETAILS 1/D1401, 2/D1401, 3/D401.

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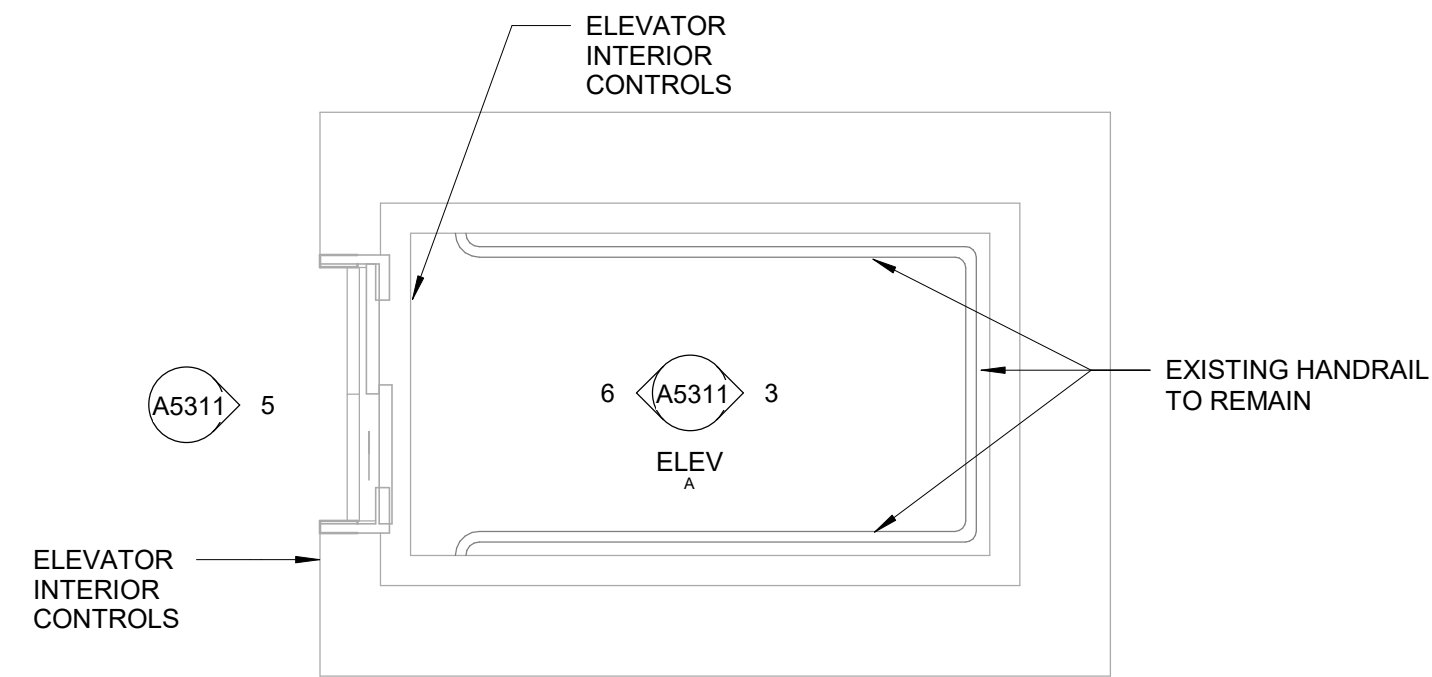
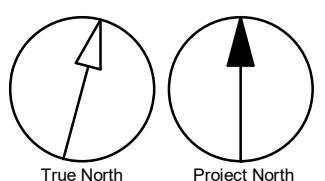
**PROJECT TITLE**  
**CITY OF TORONTO**  
**ACCESSIBILITY UPGRADES**

**PROJECT ADDRESS**  
**Fire/EMS HQ & EMS**  
**Station 53**  
**4330 Dufferin St**

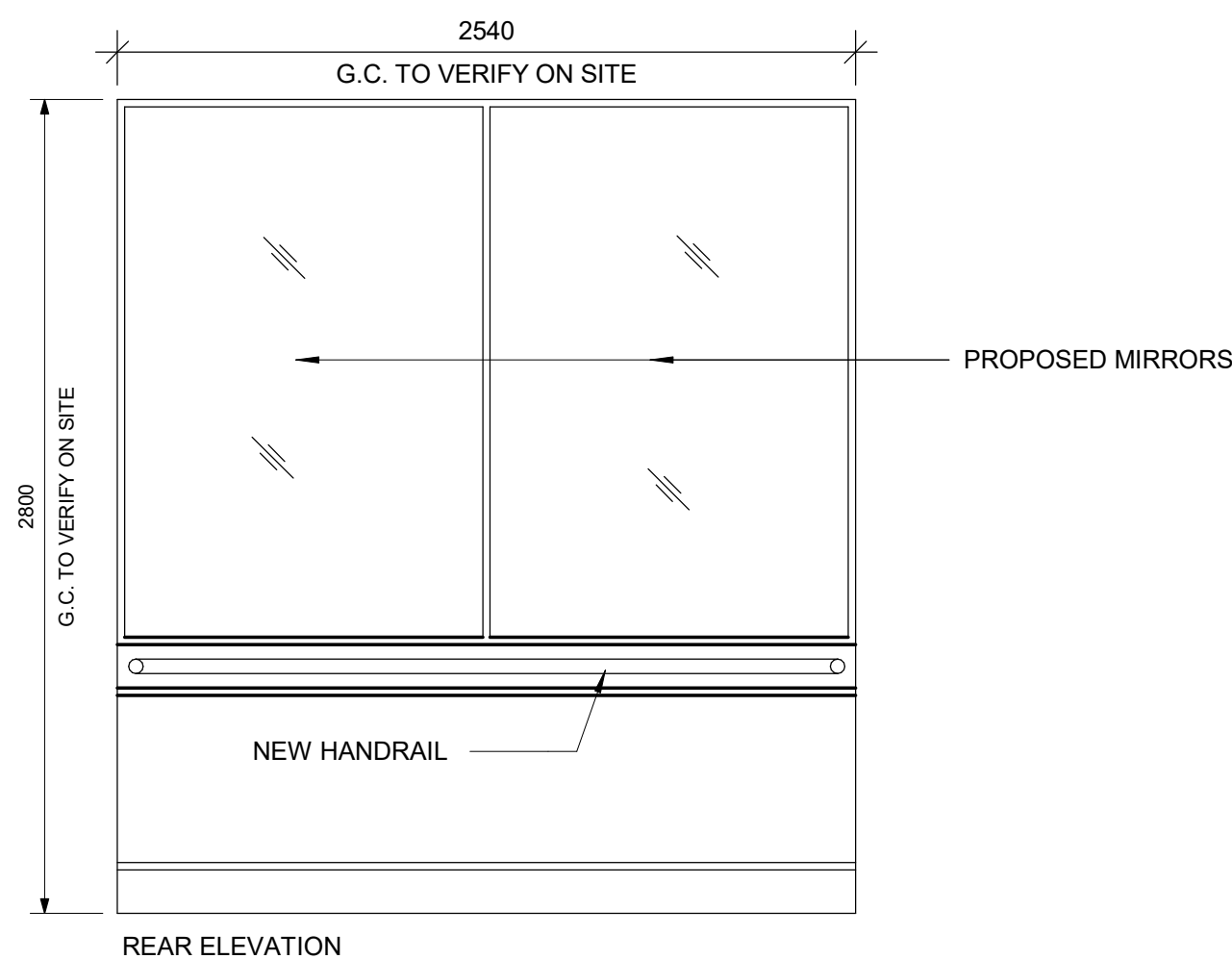
**PROJECT NO:**  
9119- 19- 0162 / IBI 122260  
**DRAWN BY:**  
**A. BOYNARIAN**  
**PROJECT MGR:**  
**F. BOLOURIAN**  
**CHECKED BY:**  
**L. BANDIERA**  
**APPROVED BY:**  
**E. FENUTA**

**SHEET TITLE**  
**ELEVATOR PLANS & ELEVATIONS**

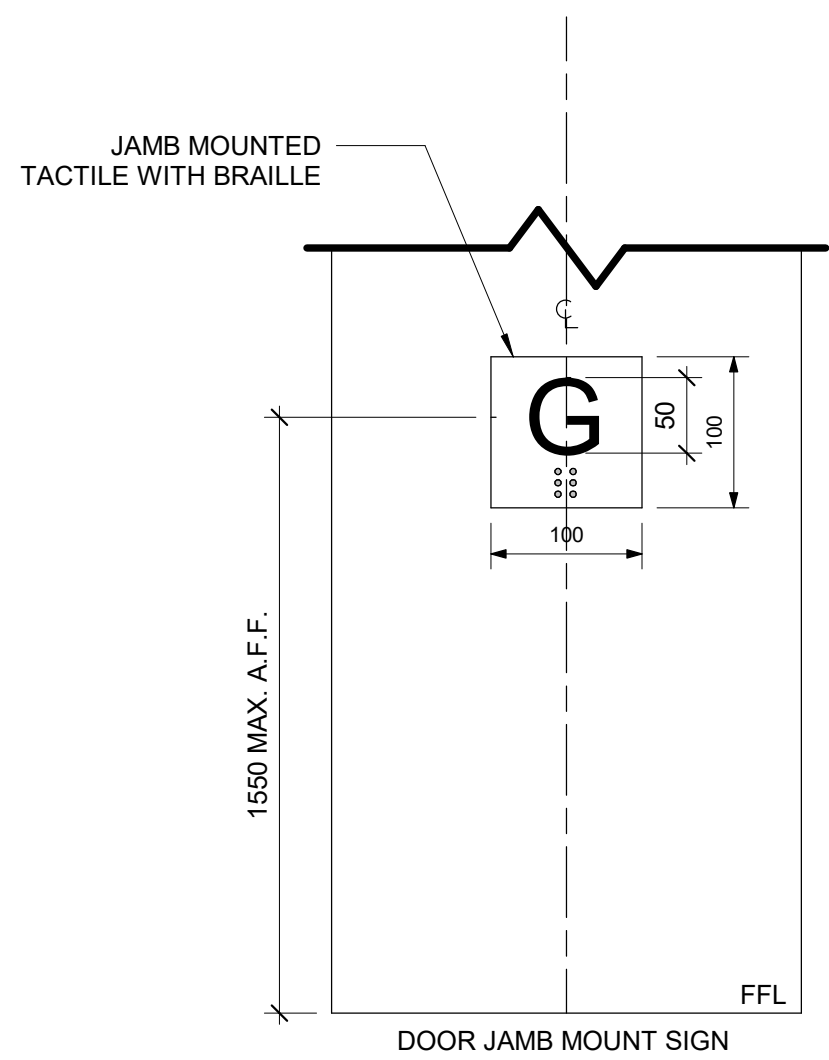
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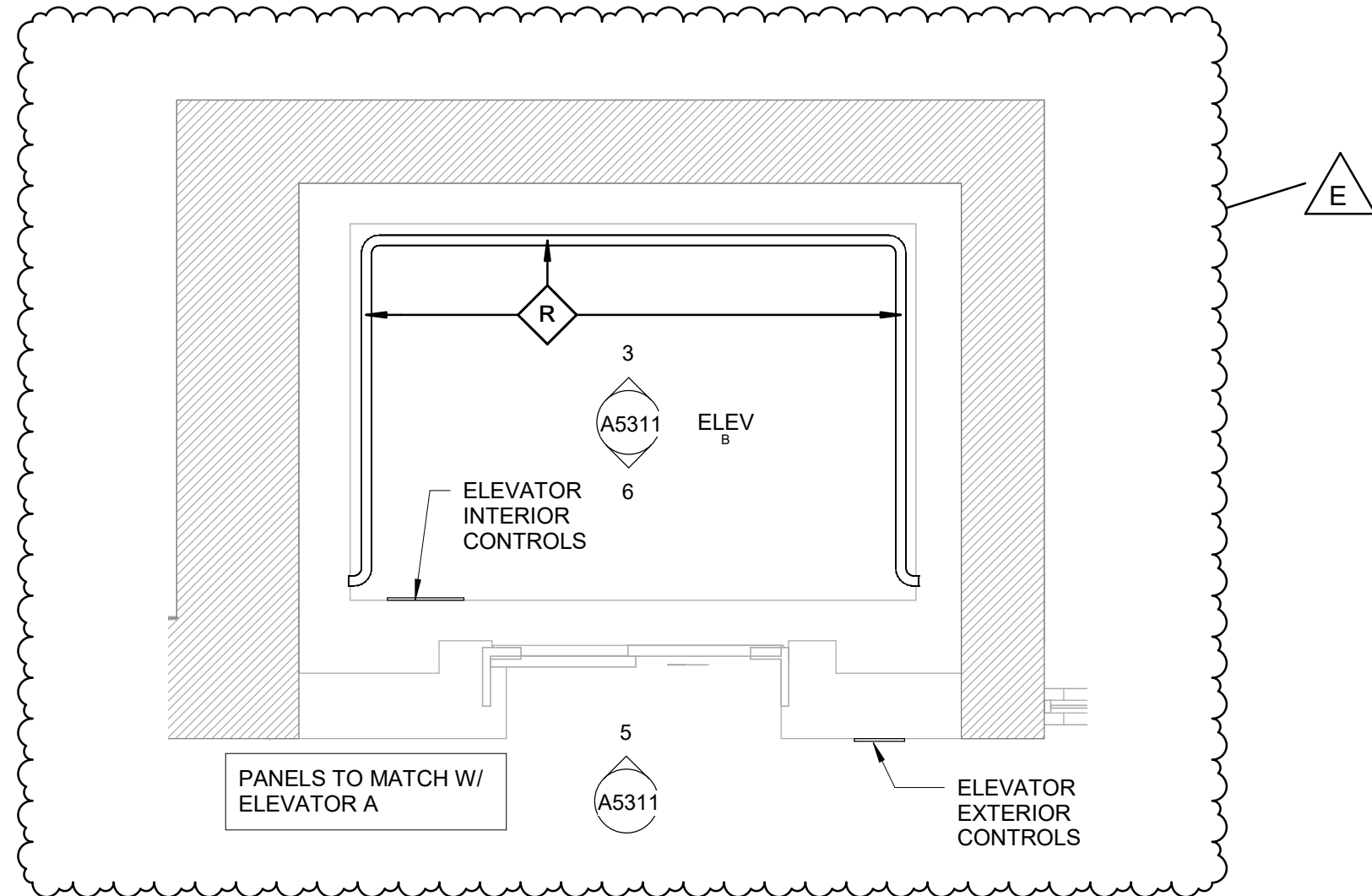
**1 ELEVATOR A PLAN**  
A5311 Scale: 1 : 25



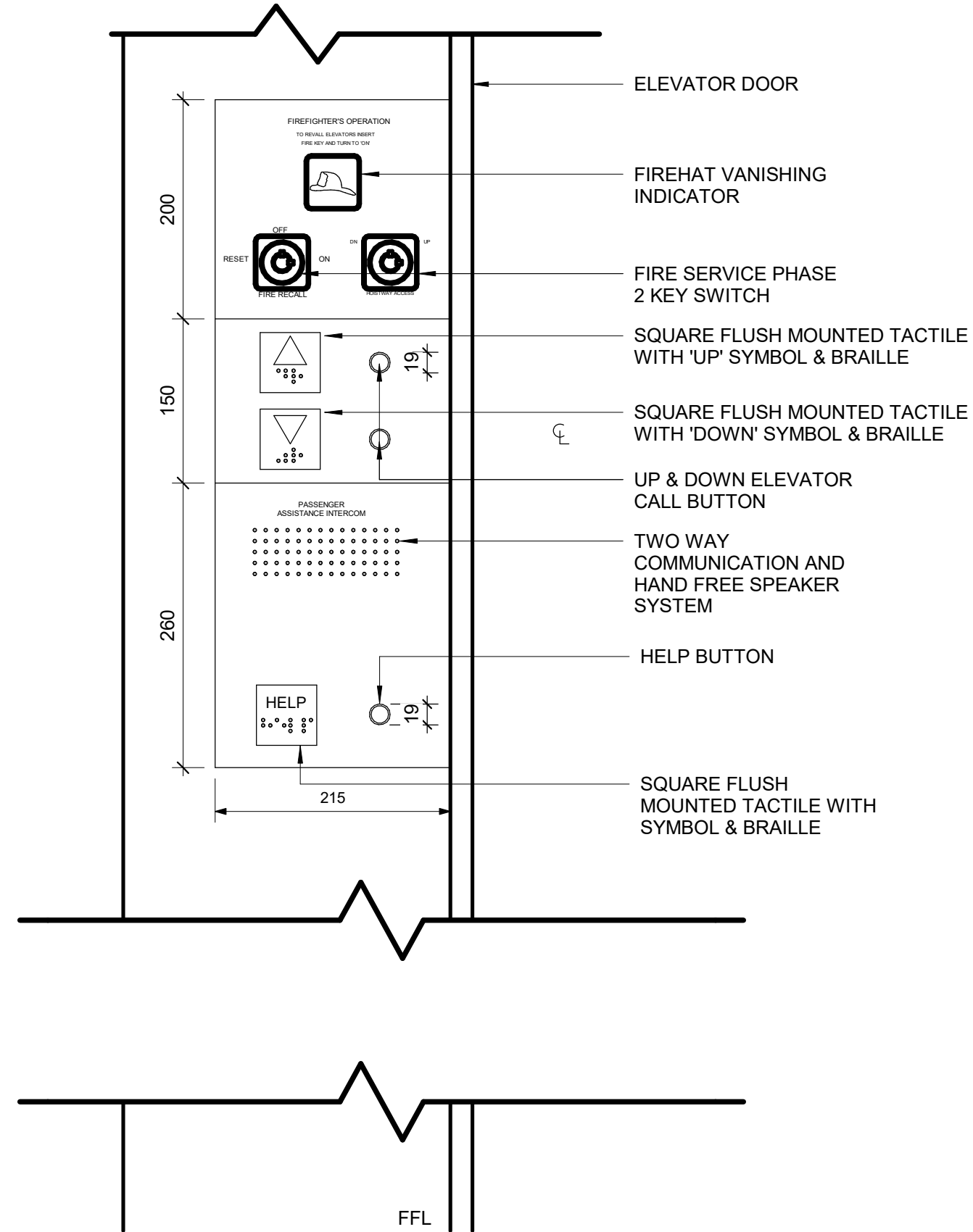
**3 ELEVATOR B ELEVATION**  
A5311 Scale: 1 : 25



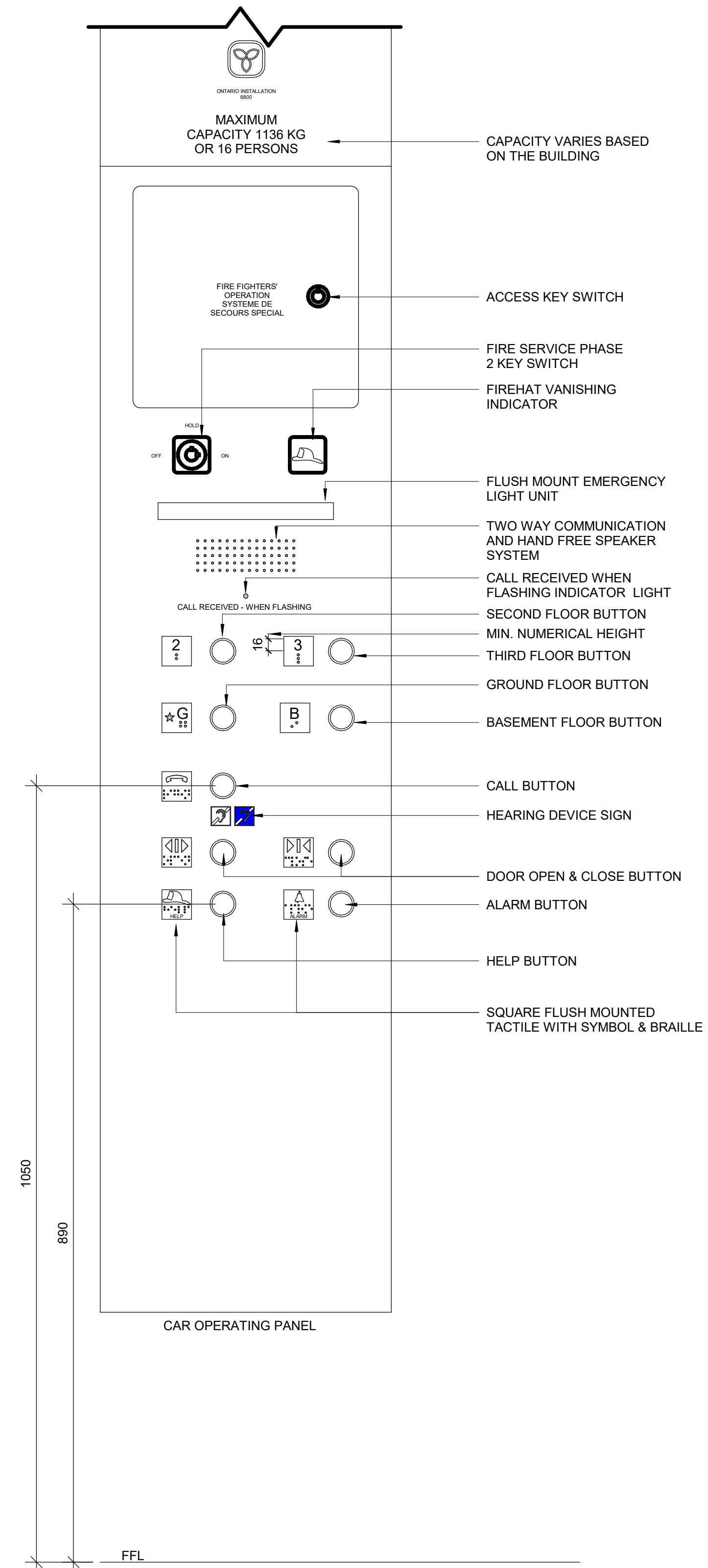
**4 TACTILE FLOOR MARKER**  
A5311 Scale: 1 : 5



**2 ELEVATOR B PLAN**  
A5311 Scale: 1 : 25

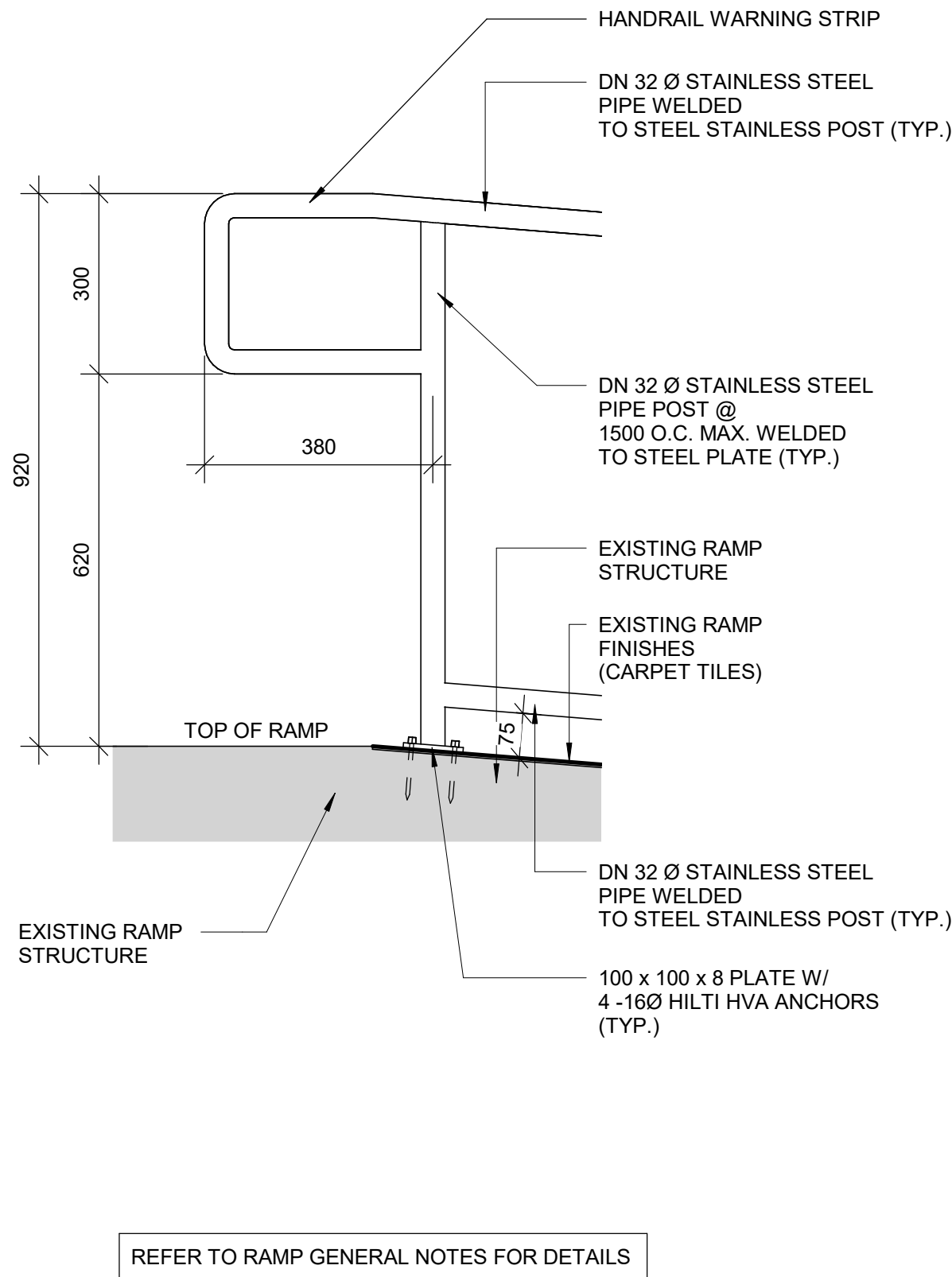
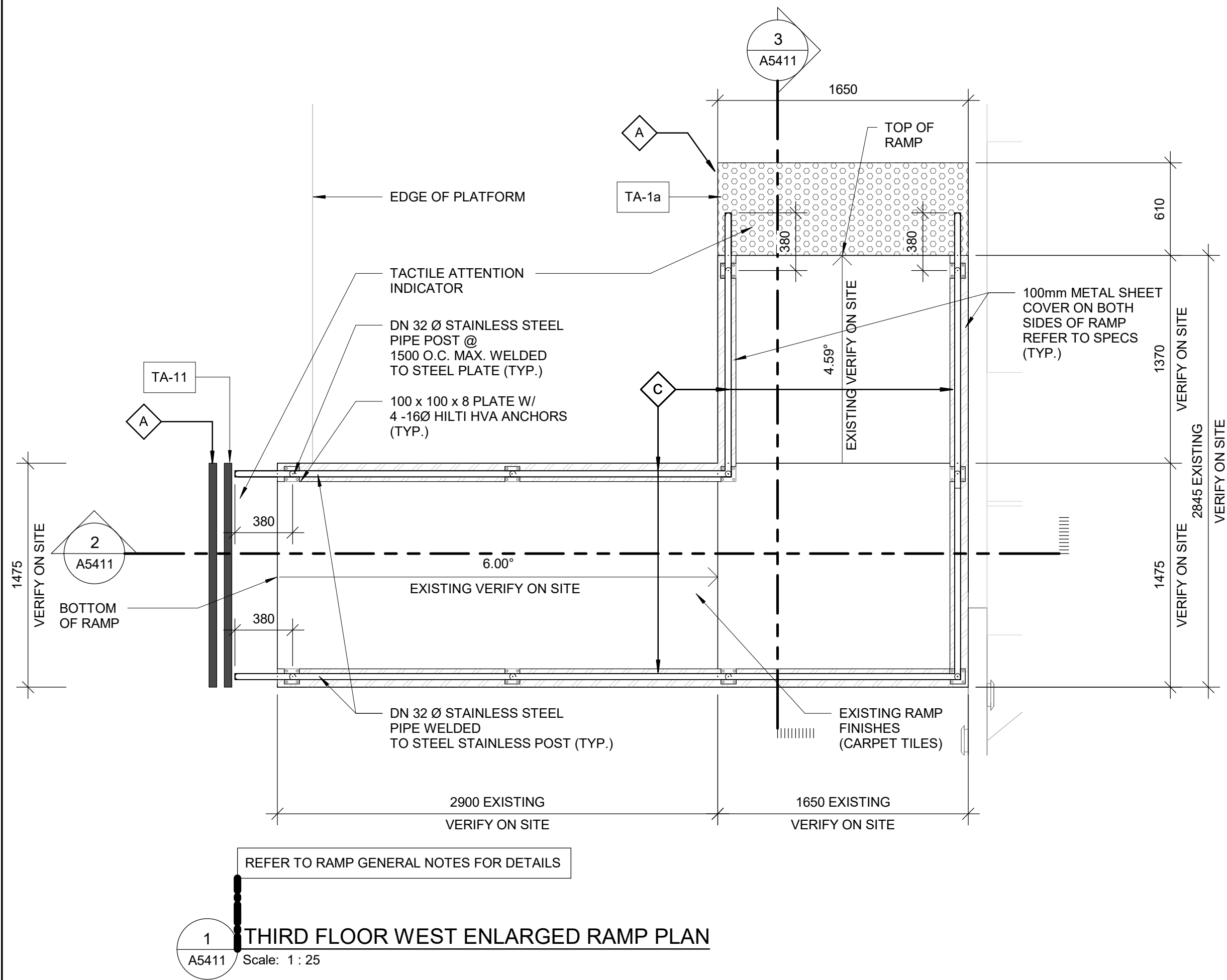


**5 ELEVATOR EXTERIOR CONTROLS**  
A5311 Scale: 1 : 5



**6 ELEVATOR INTERIOR CONTROLS**  
A5311 Scale: 1 : 5





CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405
C	INSTALL NEW GUARDRAIL AND HANDRAIL - REFER TO TYPICAL DETAILS 1/D1401, 2/D1401, 3/D1401, 1/D1403, 5/D1401 AND 6/D1404
RAMP GENERAL NOTES	
NO	DESCRIPTION
1	REFER TO 8/D1405 FOR THE HANDRAIL WARNING STRIP DETAILS.
2	REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS.
3	REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS.
4	REFER TO 2/D1403 & 3/D1403 FOR HANDRAIL MOUNTING HEIGHTS AND DETAILS.

CITY OF TORONTO



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ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

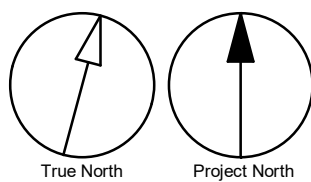
PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

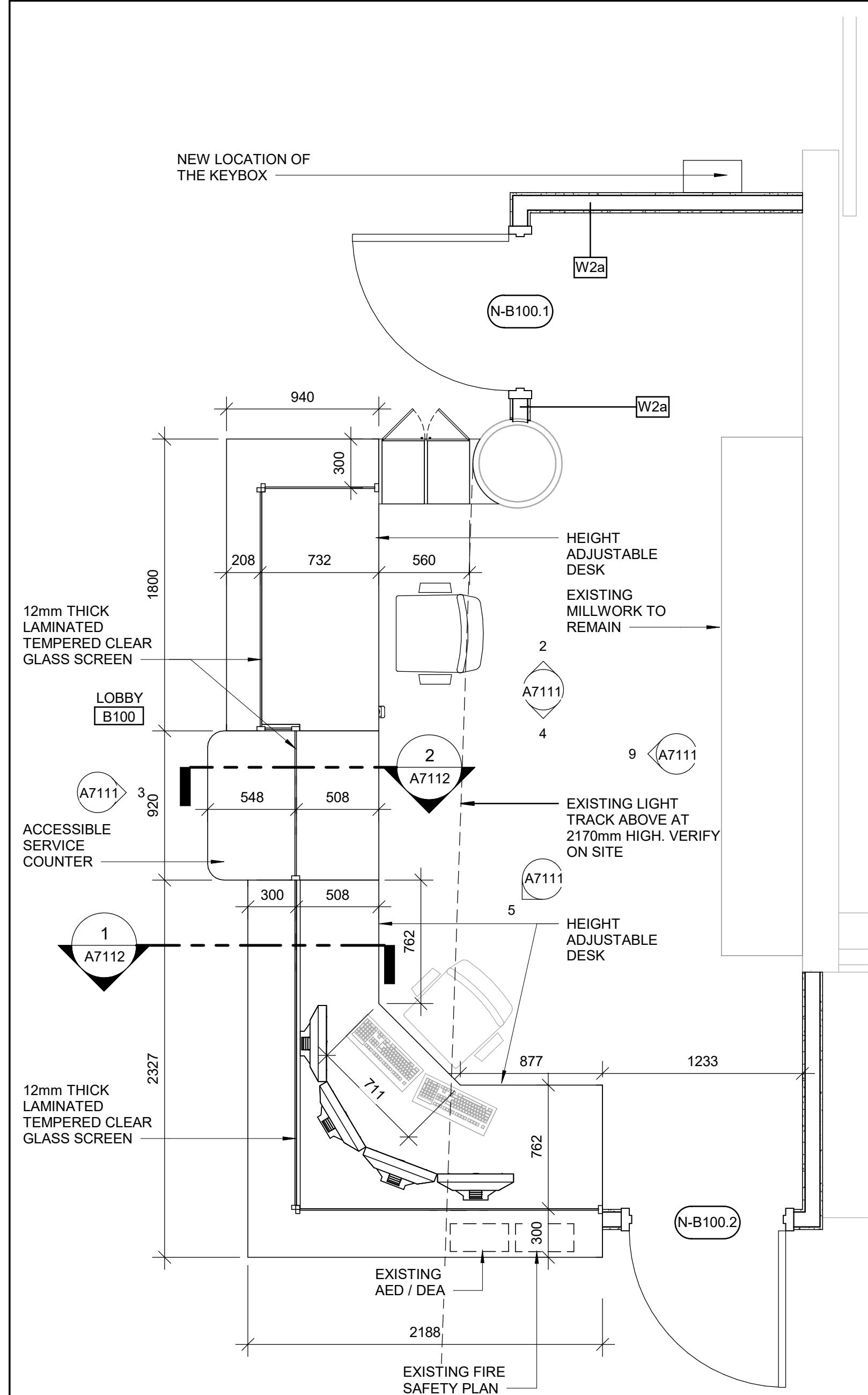
DRAWN BY: <b>R. ZAHIROVIC</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**THIRD FLOOR WEST  
RAMP DETAIL**

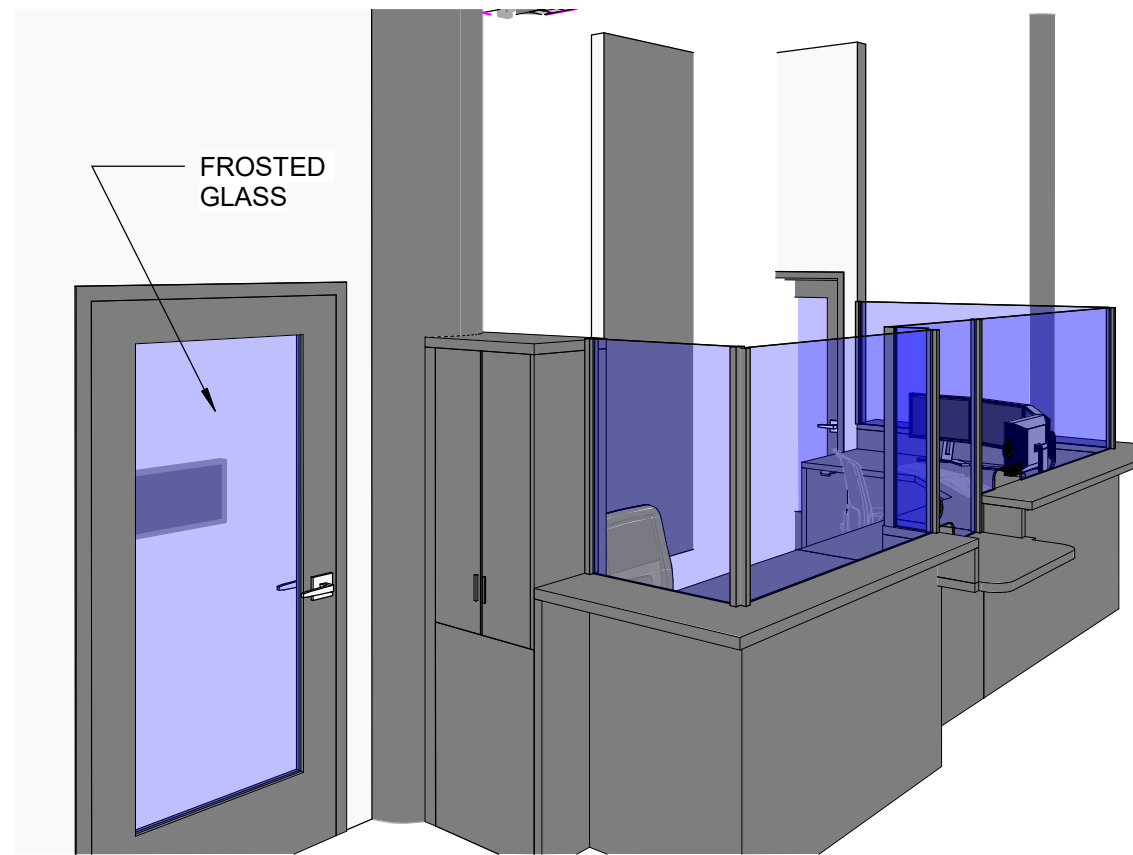
SHEET NUMBER <b>G08-229-A5411</b>	ISSUE <b>0</b>
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1 FIRST FLOOR-PROPOSED ENLARGED PLAN - SECURITY DESK  
A7111 Scale: 1 : 25



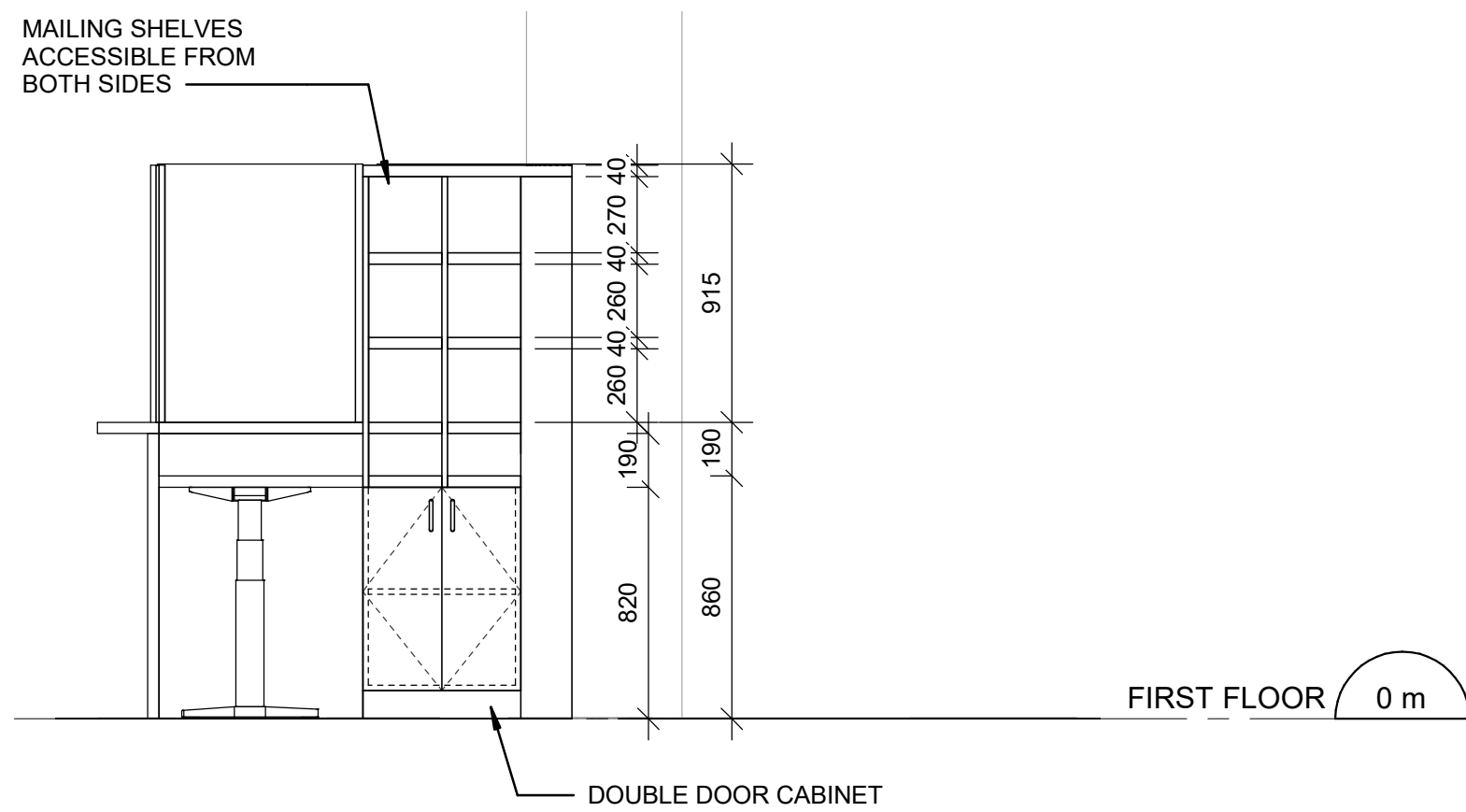
6 PARAMETRIC VIEW EXTERIOR  
A7111 Scale:



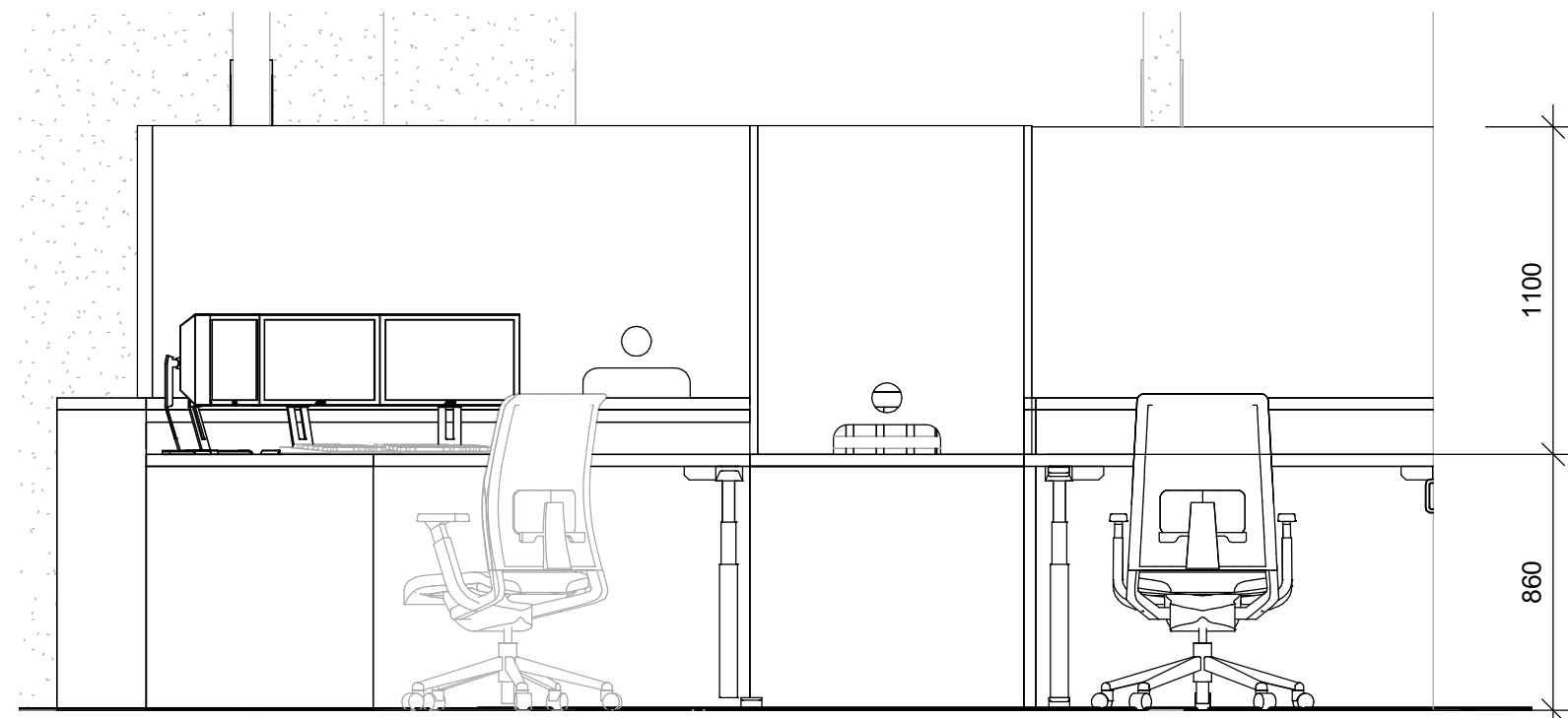
7 PARAMETRIC VIEW - ACCESSIBLE COUNTER  
A7111 Scale:



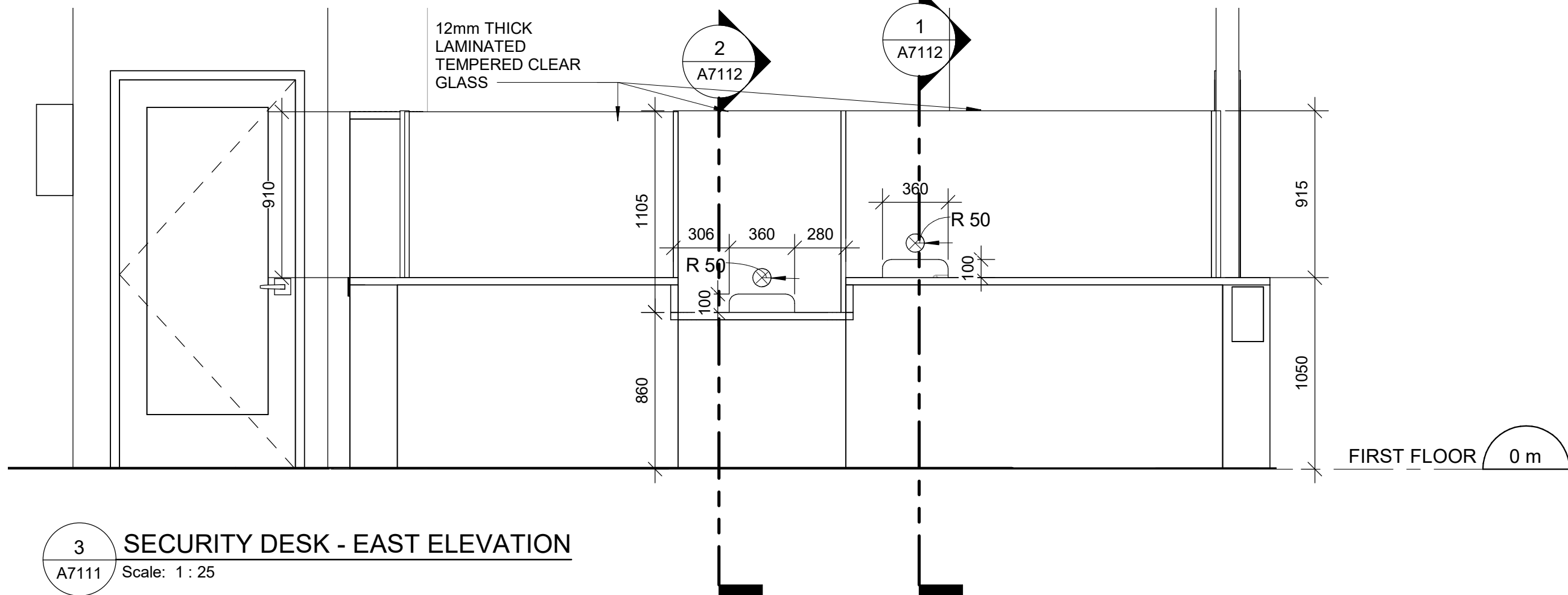
8 PARAMETRIC VIEW - INTERIOR  
A7111 Scale:



2 SECURITY DESK - NORTH ELEVATION  
A7111 Scale: 1 : 25



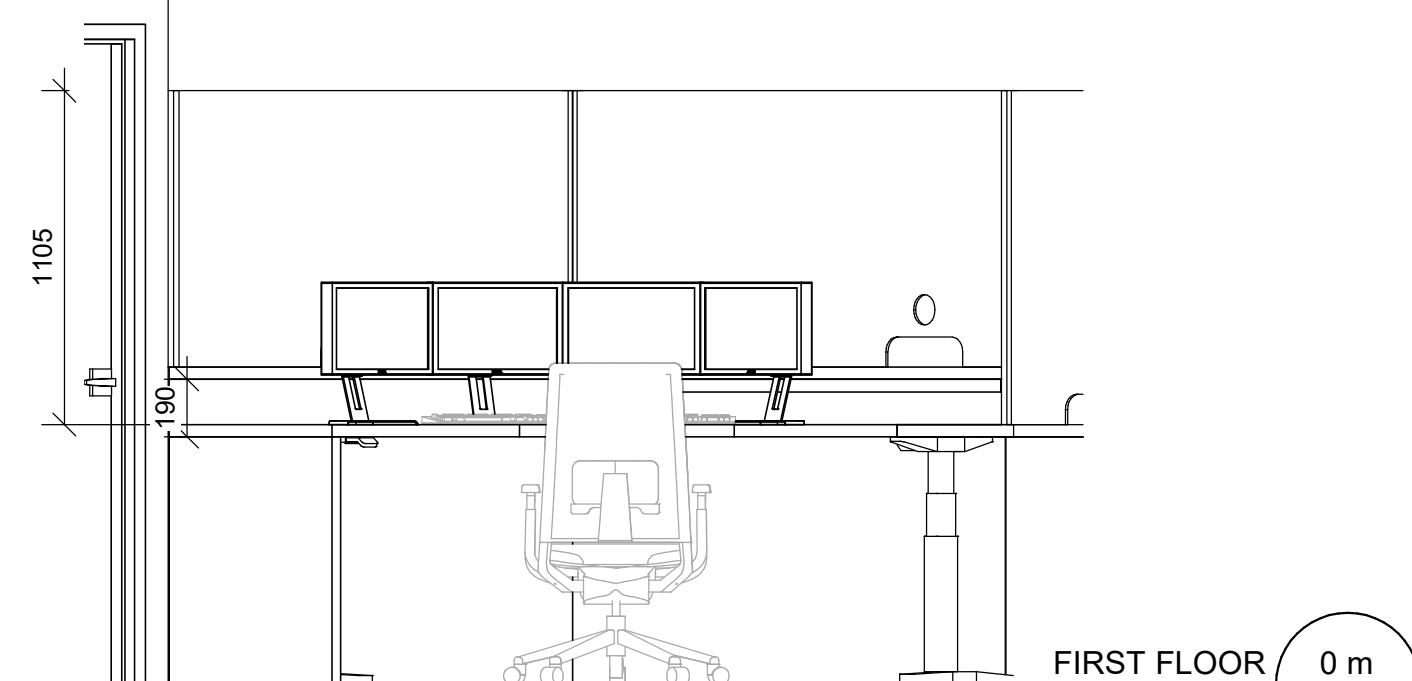
9 HOUSING - WEST ELEVATION  
A7111 Scale: 1 : 25



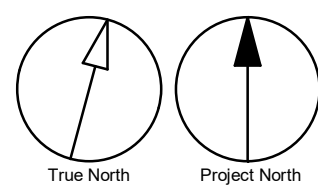
3 SECURITY DESK - EAST ELEVATION  
A7111 Scale: 1 : 25



4 RECEPTION DESK - SOUTH ELEVATION  
A7111 Scale: 1 : 25




5 SECURITY DESK - WEST SOUTH ELEVATION  
A7111 Scale: 1 : 25



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2021.10.19  
OF  
ARCHITECTS  
*May Kuo*  
MAY KUO  
LICENCE  
7555

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

A. BOYNARIAN

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUITA

SHEET TITLE

FIRST FLOOR SECURITY  
DESK - ENLARGED  
PLANS/ELEVATIONS

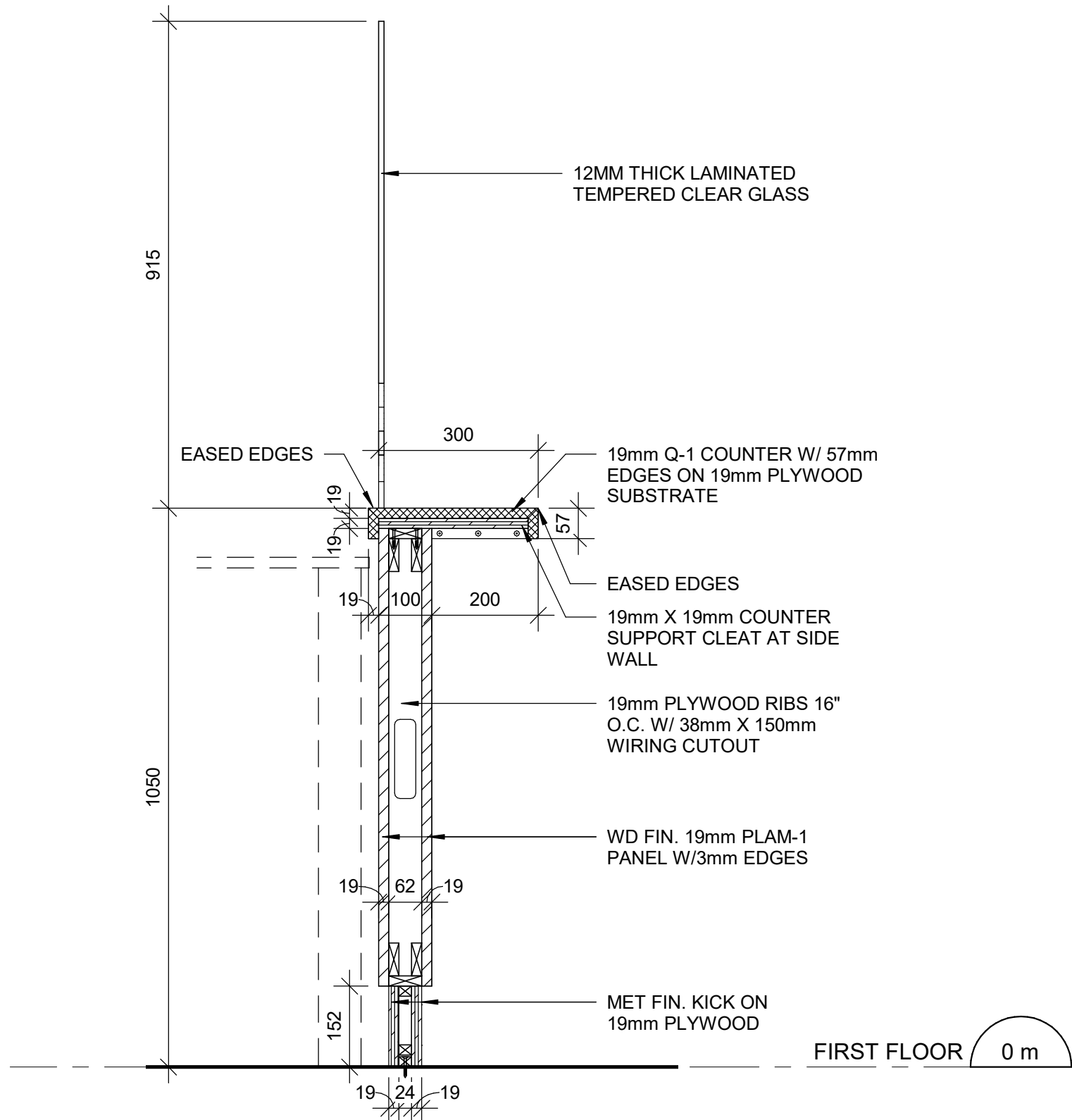
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G08-229-A7111

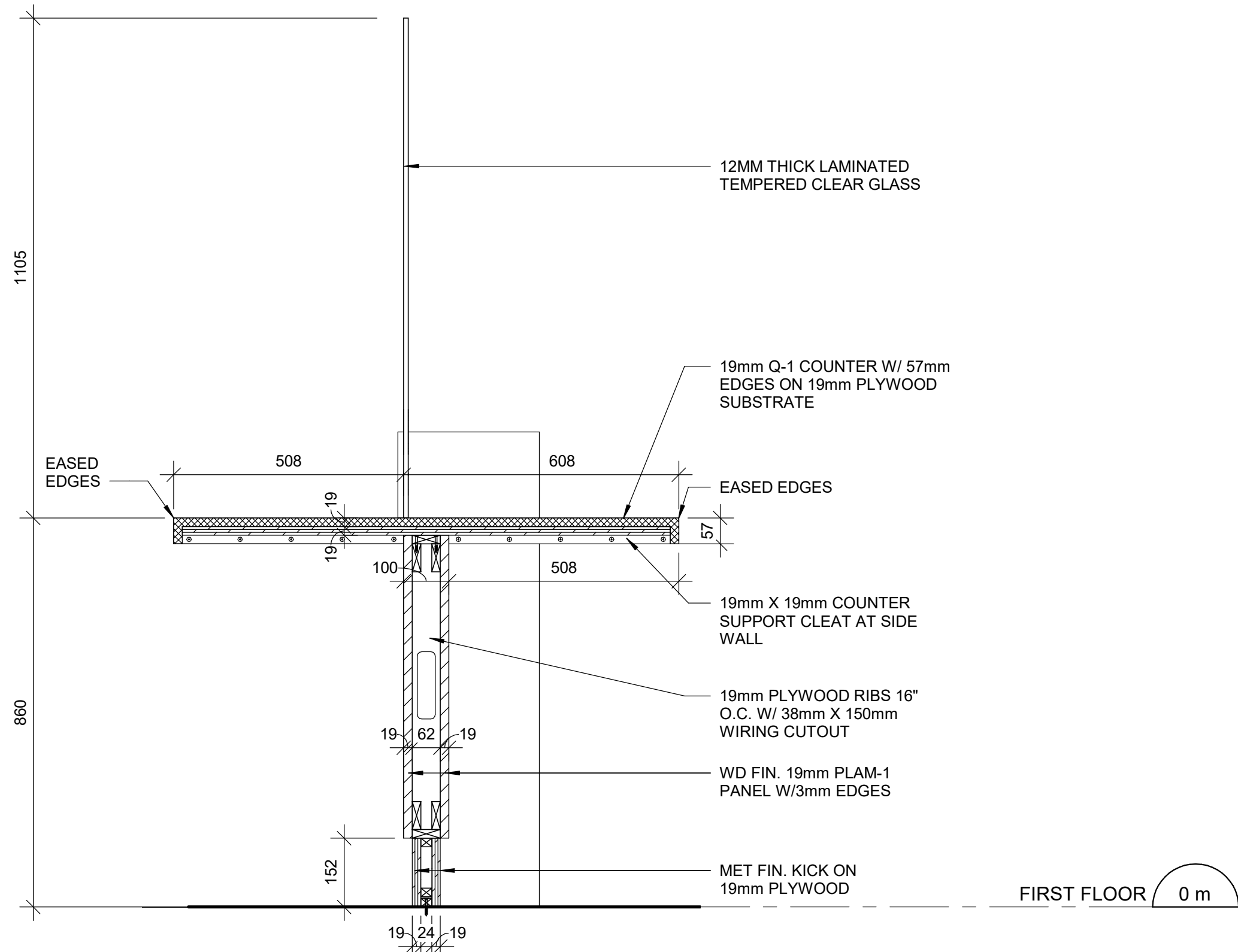
ISSUE

0





1 SECTION 1  
A7112 Scale: 1 : 10



2 SECTION 2  
A7112 Scale: 1 : 10

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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

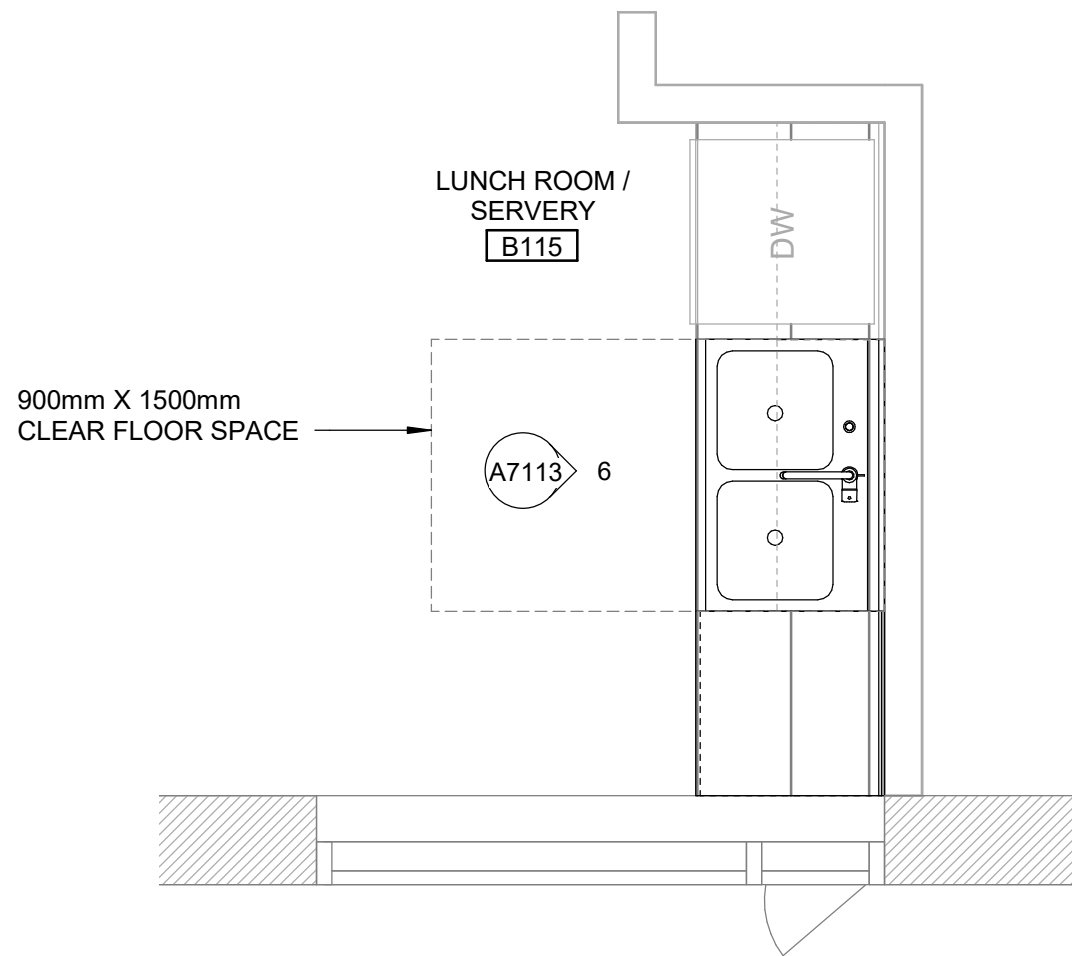
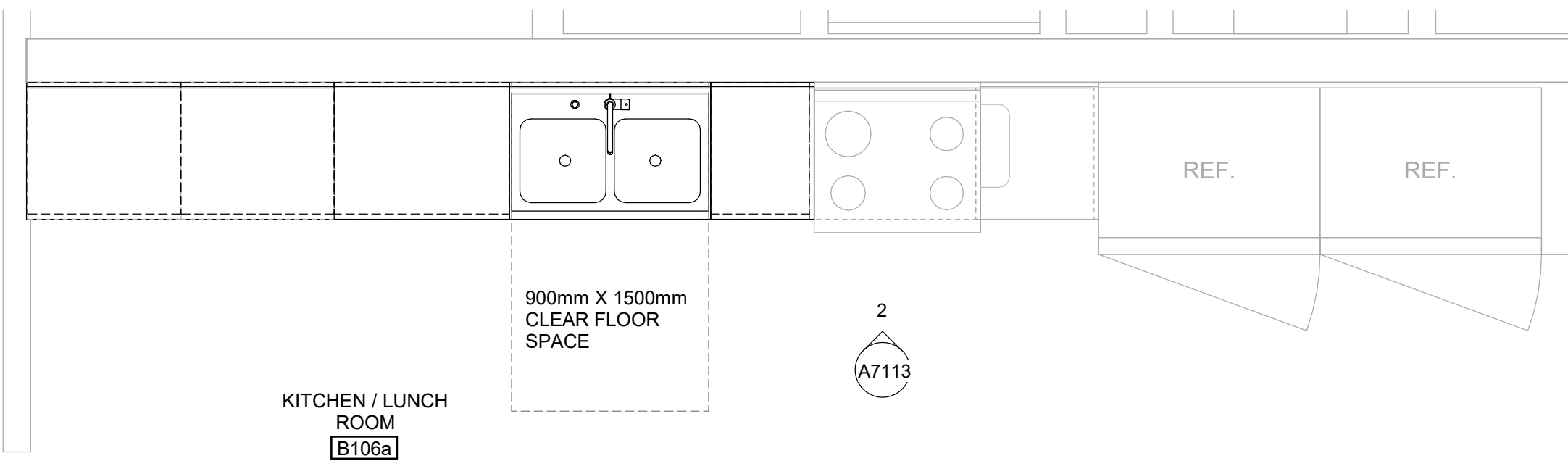
PROJECT ADDRESS  
**Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St**

PROJECT NO:  
9119- 19- 0162 / IBI 122260  
DRAWN BY:  
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**L. BANDIERA**  
PROJECT MGR:  
**F. BOLOURIAN**  
APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**FIRST FLOOR SECURITY  
DESK - DETAILS**

SHEET NUMBER <b>G08-229-A7112</b>	ISSUE <b>0</b>
--------------------------------------	-------------------





CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
E	CONSTRUCT NEW KITCHEN MILLWORK. REFER TO MILLWORK DETAILS 1/D1301, 2/D1301, 3/D1301, 4/D1301, 1/D1302, 2/D1302, 3/D1302, 4/1302, 5/D1302, 6/D1302, 7/D1302, 8/D1302 AND 3/D1303.
KITCHEN GENERAL NOTES	
NO	DESCRIPTION
1	REFER TO 1/D1301, 2/D1301 & 5/D1302 FOR ACCESSIBLE SINK DETAILS AND MOUNTING HEIGHT.
2	REFER TO 1/D1301, 2/D1301, 2/D1302 & 6/D1302 FOR DETAILS OF CABINETRY WITH DRAWERS.
3	REFER TO 1/D1301, 2/D1301, 1/D1302 & 4/D1302 FOR DETAILS WITH MICROWAVE AND DISHWASHER.
4	REFER TO 8/D1302 FOR TYP. BUILT-UP NOSING DOOR COUNTER TOP DETAILS.

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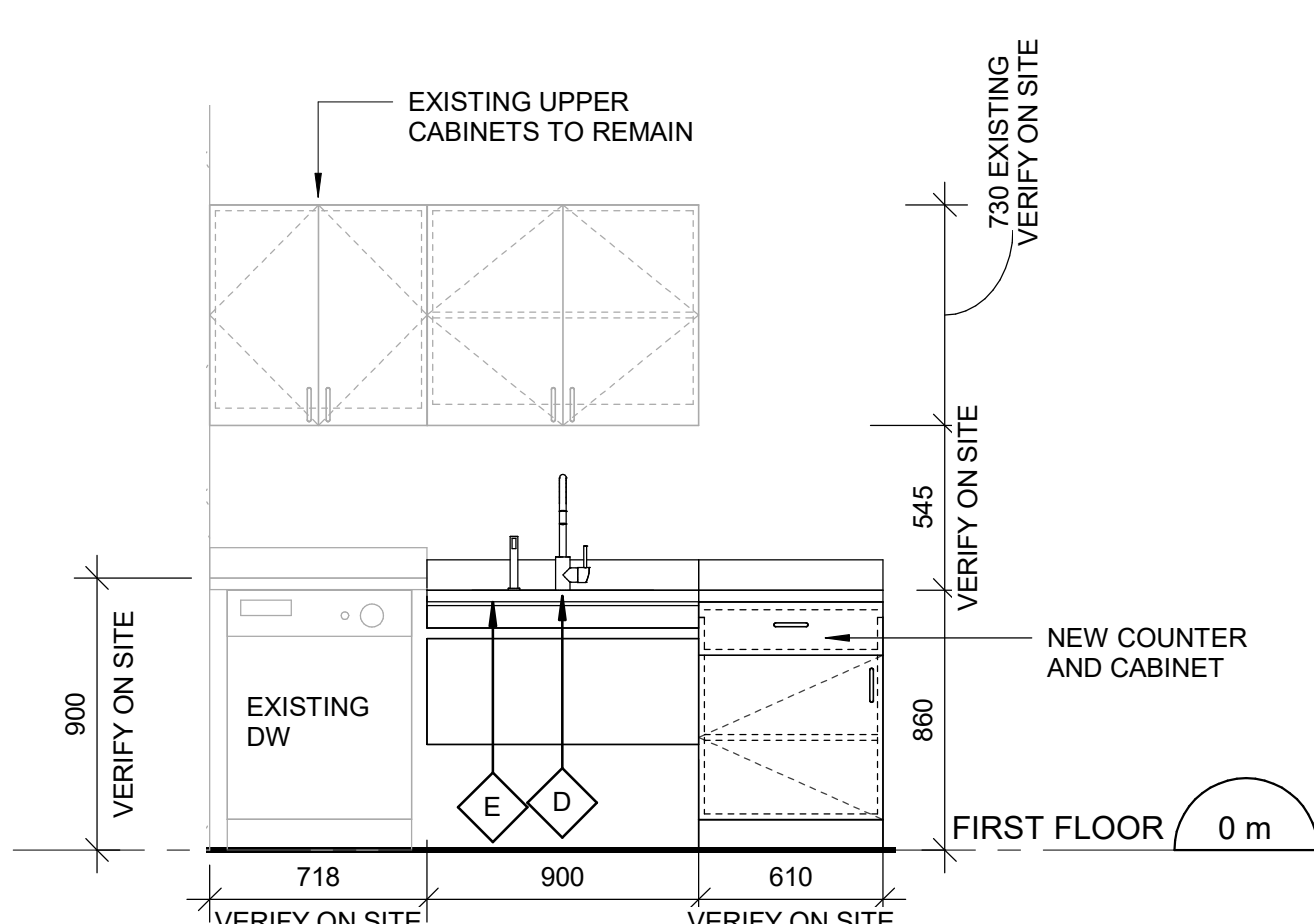
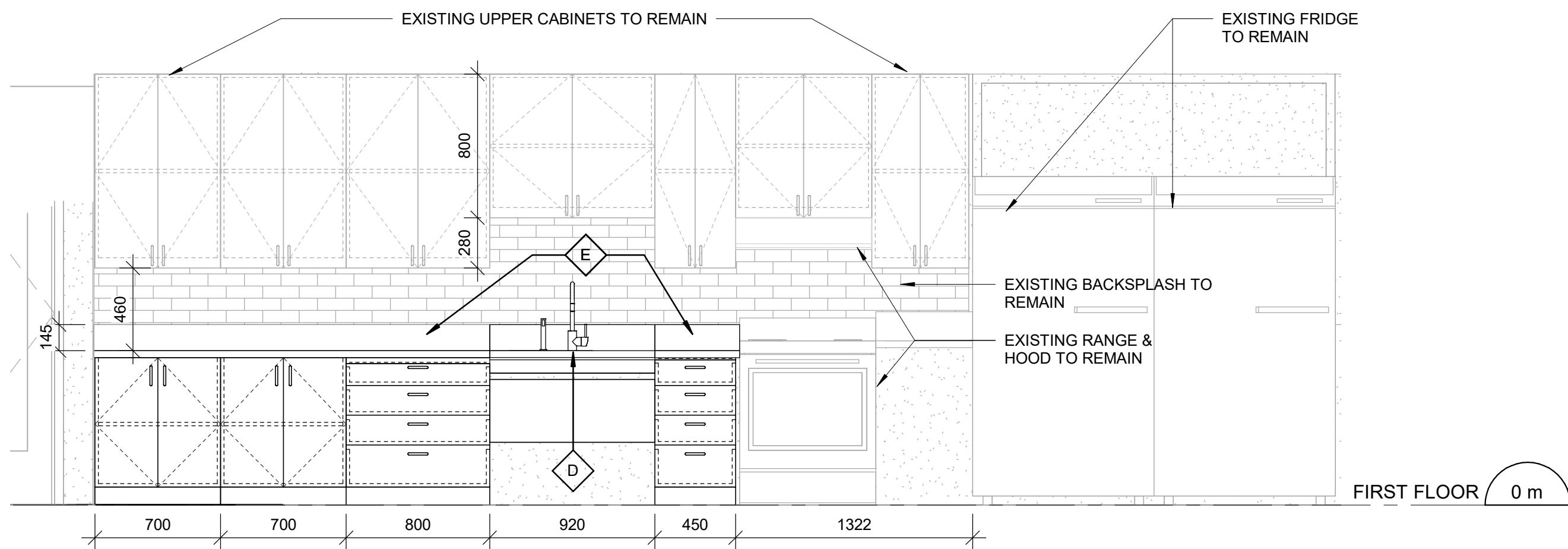
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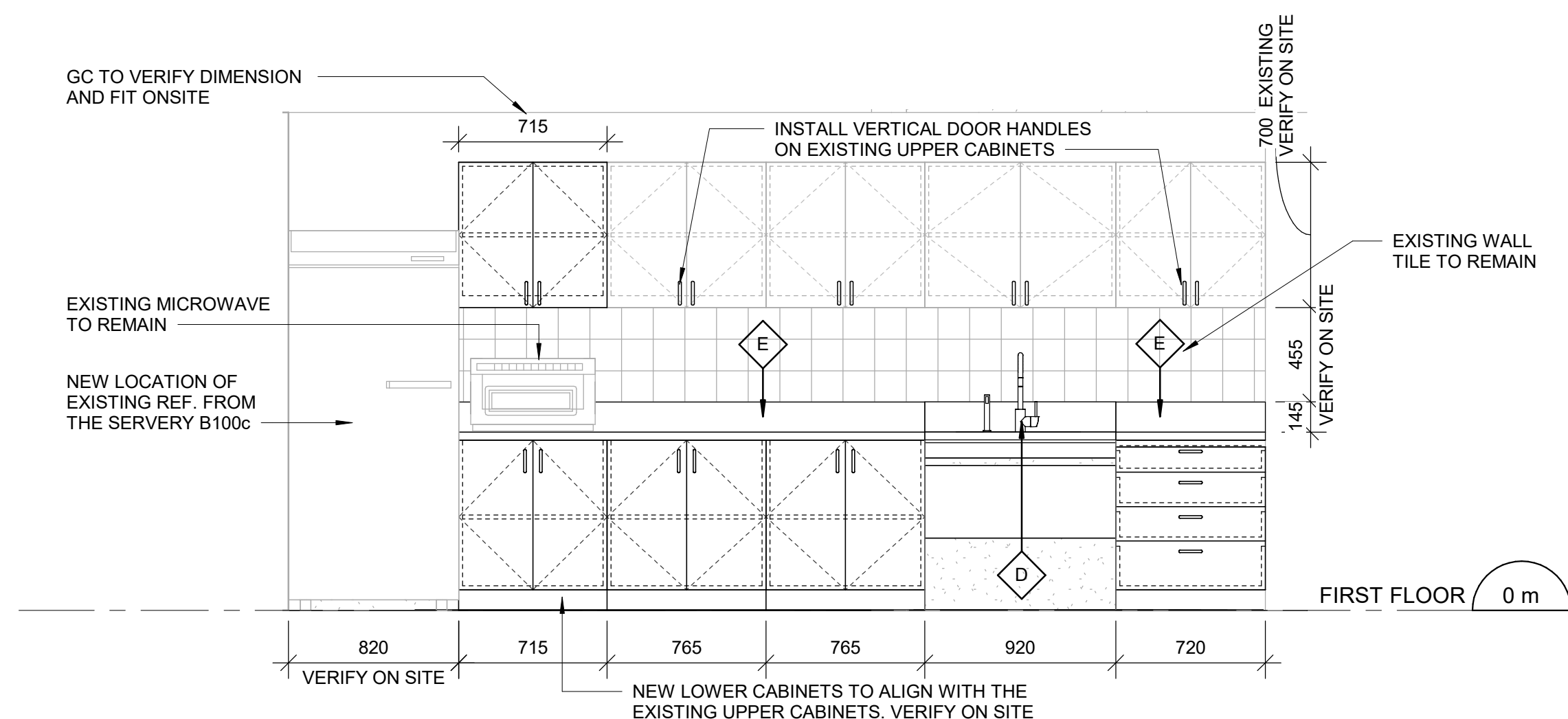
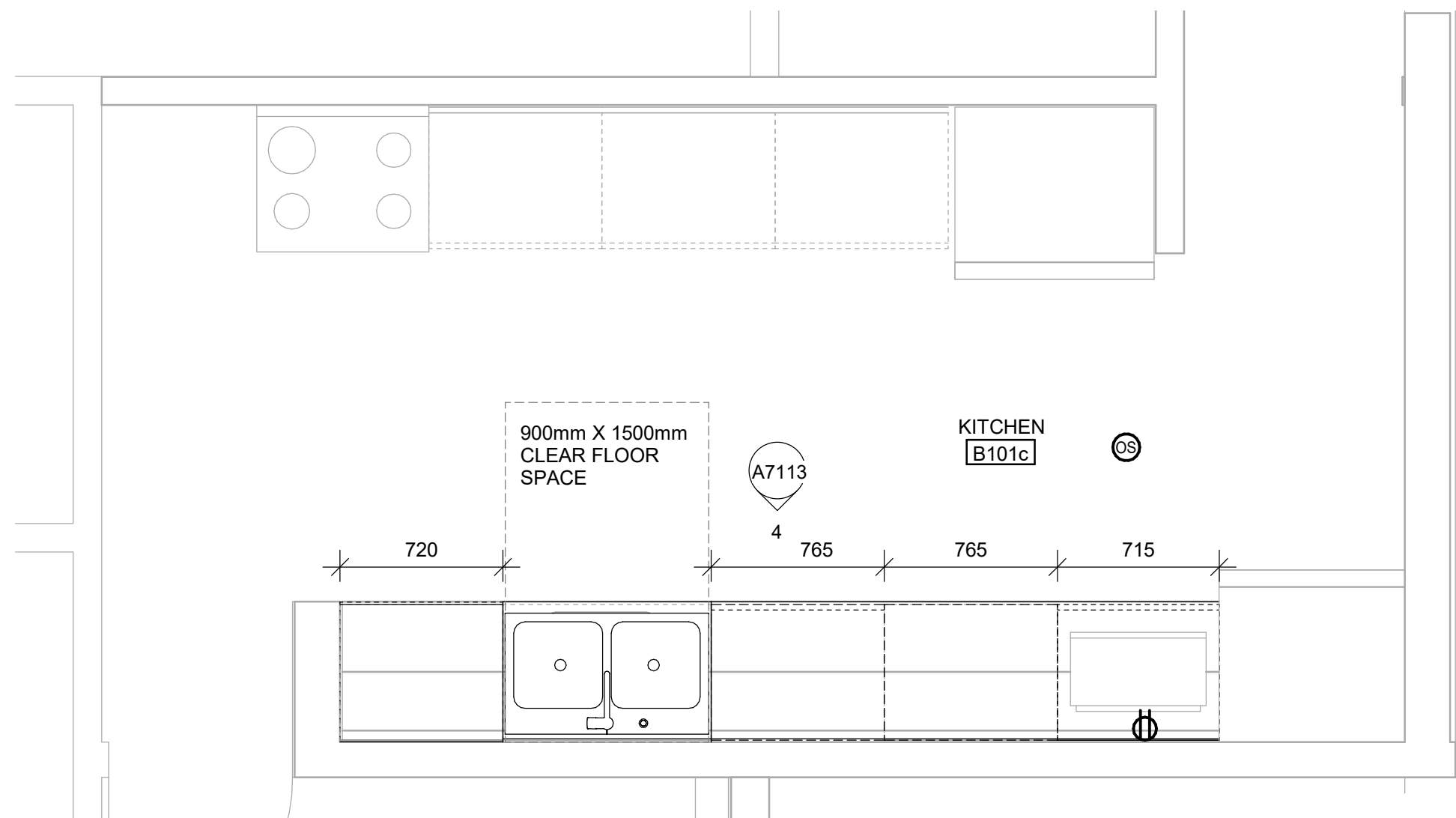
1 FIRST FLOOR PROPOSED KITCHEN B106a - ENLARGED PLAN  
A7113 Scale: 1 : 25

5 FIRST FLOOR SERVERY B115 - ENLARGED PLAN  
A7113 Scale: 1 : 25



2 FIRST FLOOR PROPOSED KITCHEN B106a - NORTH ELEVATION  
A7113 Scale: 1 : 25

6 FIRST FLOOR SERVERY B115 - EAST ELEVATION  
A7113 Scale: 1 : 25



3 FIRST FLOOR PROPOSED KITCHEN B101c - ENLARGED PLAN  
A7113 Scale: 1 : 25

4 FIRST FLOOR PROPOSED KITCHEN B101c - SOUTH ELEVATION  
A7113 Scale: 1 : 25

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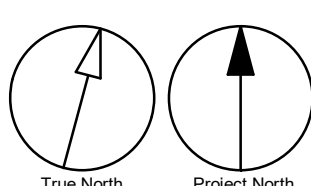
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**CITY OF TORONTO**  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS  
**Fire/EMS HQ & EMS**  
Station 53  
4330 Dufferin St

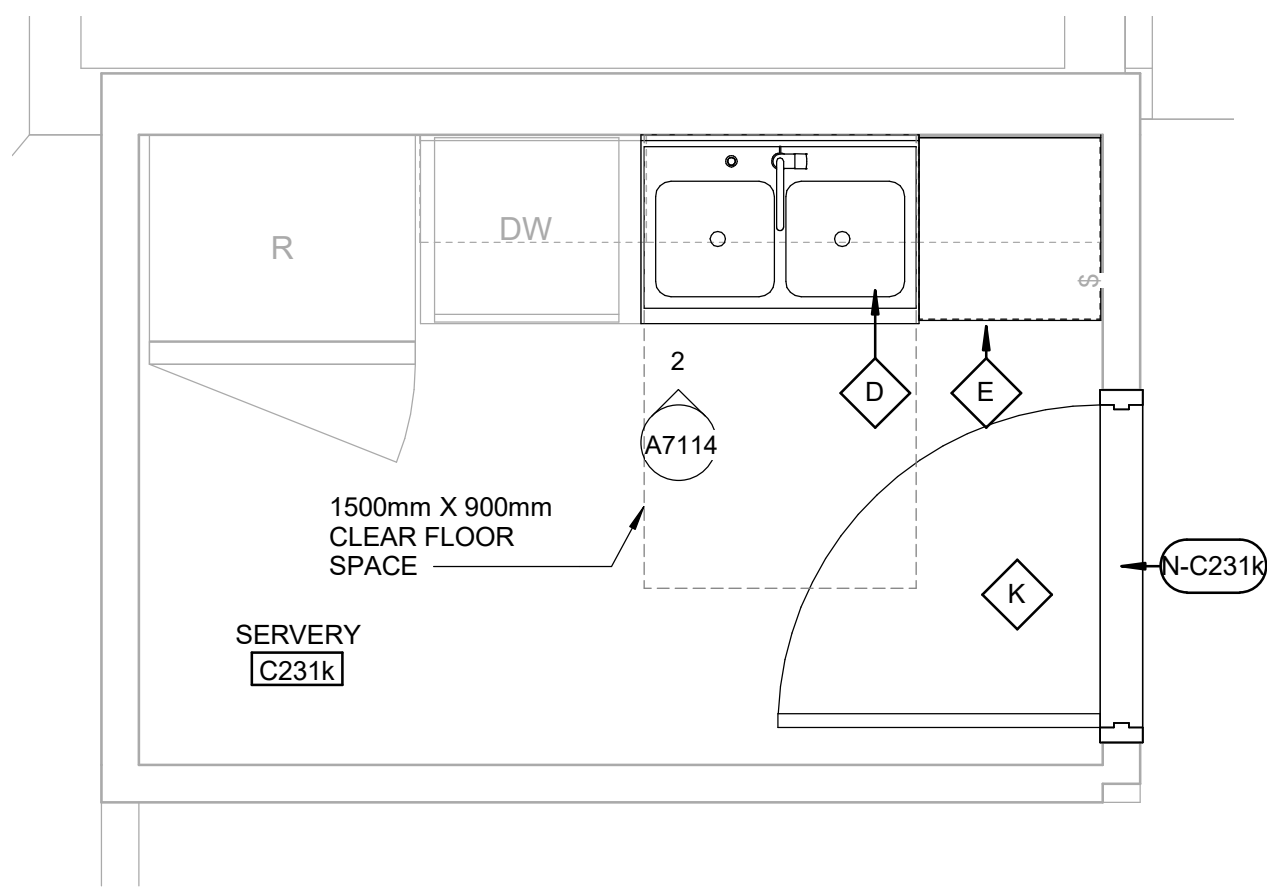
PROJECT NO:  
9119- 19- 0162 / IBI 122260  
DRAWN BY:  
**A. BOYNARIAN**  
CHECKED BY:  
**L. BANDIERA**  
PROJECT MGR:  
**F. BOLOURIAN**  
APPROVED BY:  
**E. FENUITA**

SHEET TITLE  
**FIRST FLOOR KITCHENS**  
- ENLARGED  
PLANS/ELEVATIONS

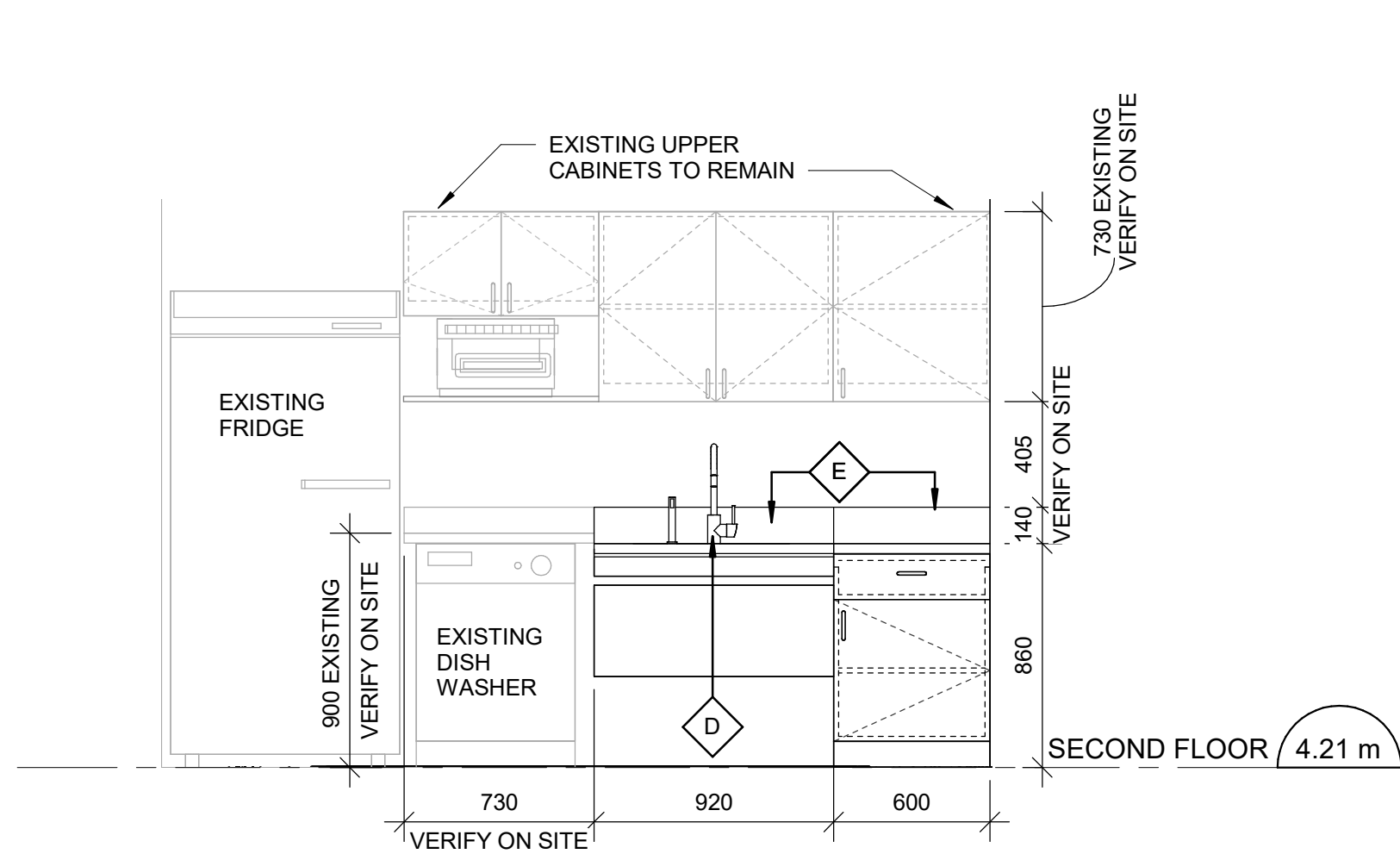
SHEET NUMBER  
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ISSUE  
**0**



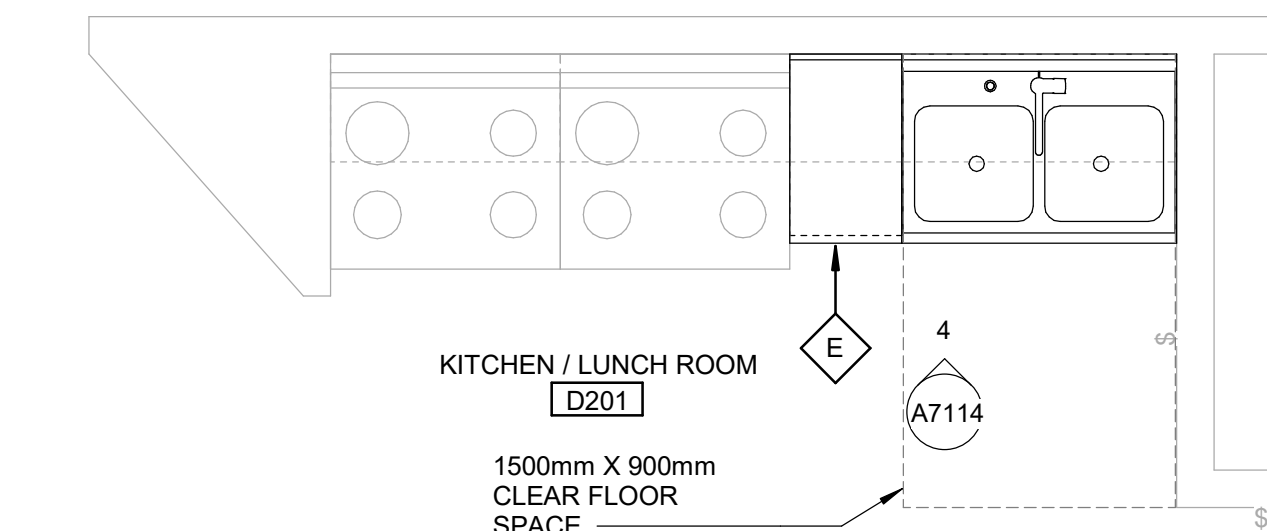




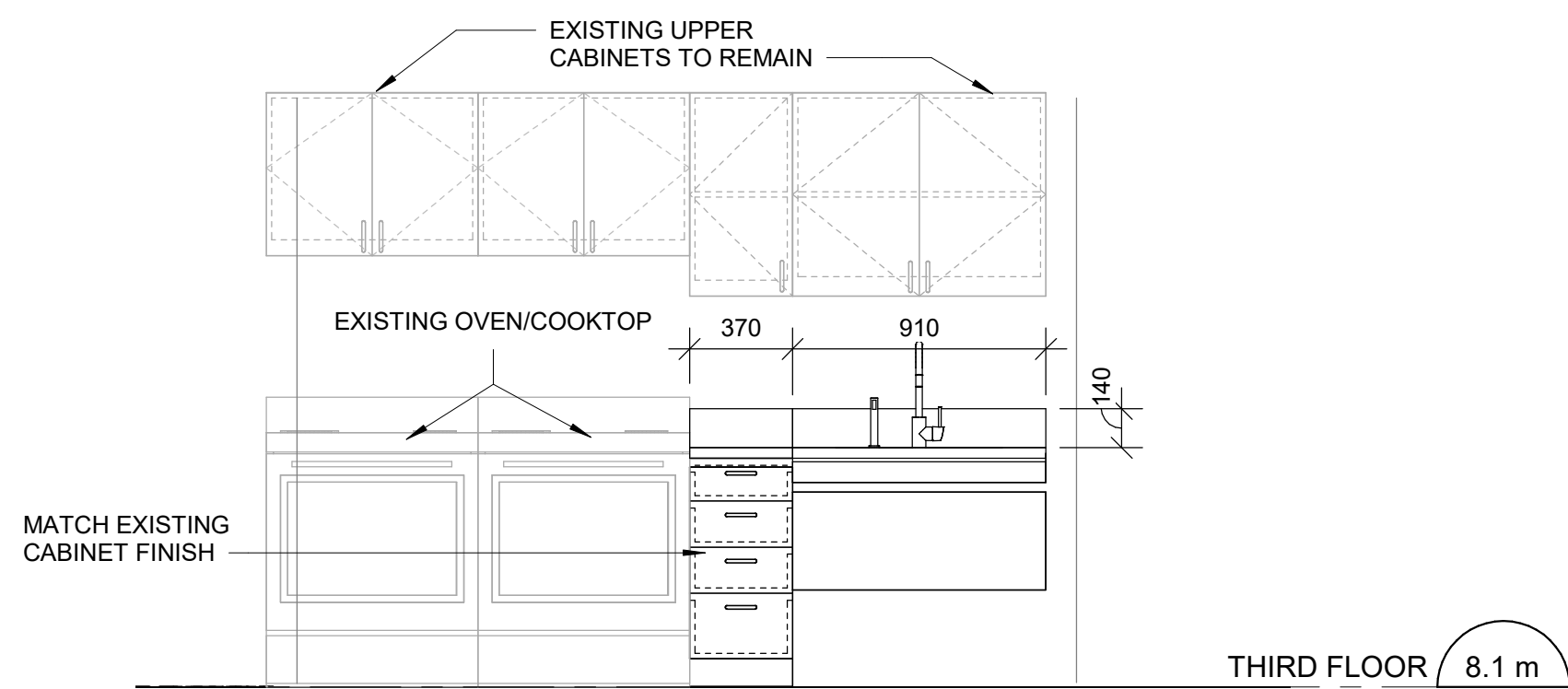
1 SECOND FLOOR SERVERY C231k - ENLARGED PLAN  
A7114 Scale: 1 : 25



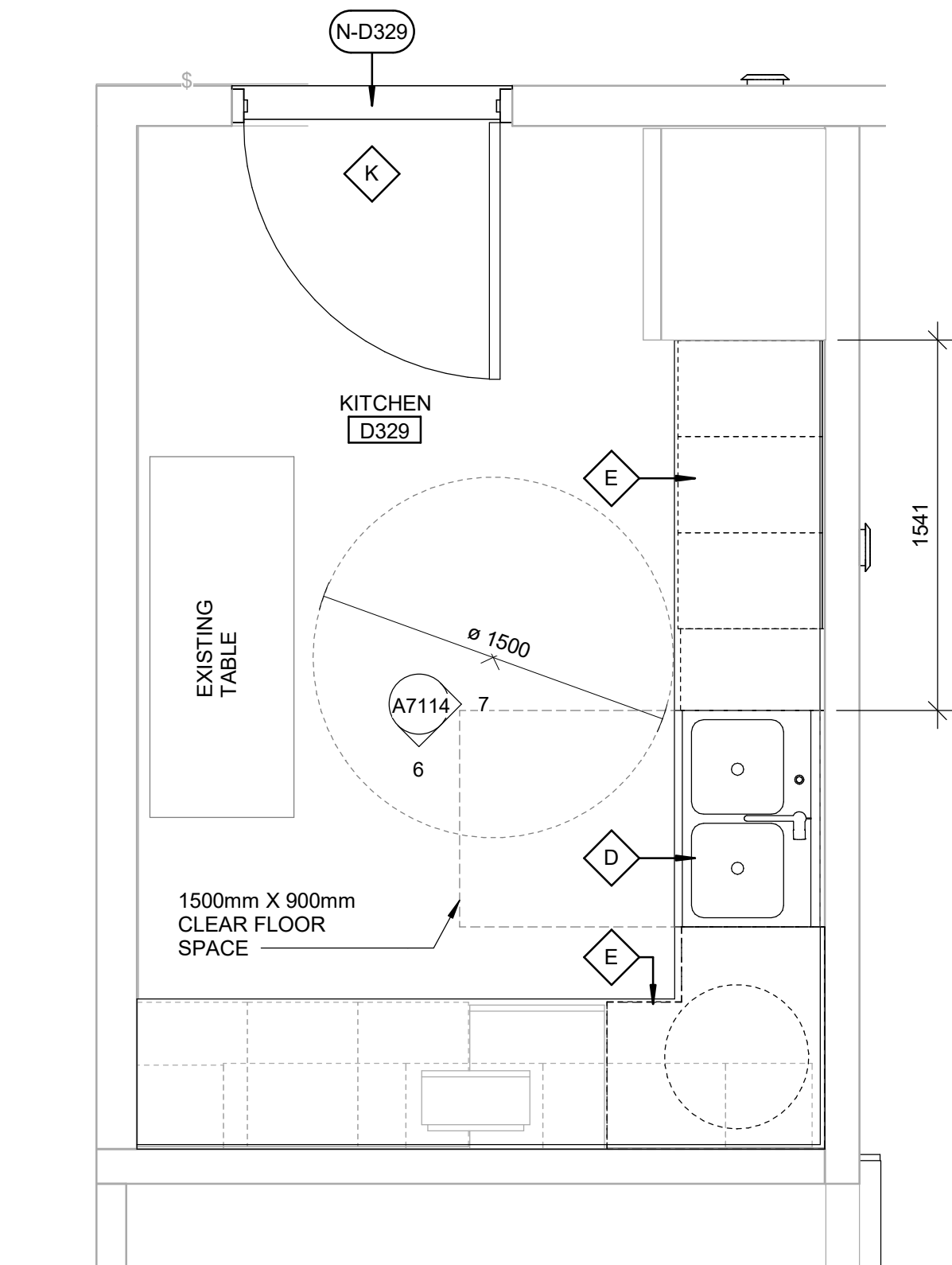
2 SERVERY C231k - NORTH ELEVATION  
A7114 Scale: 1 : 25



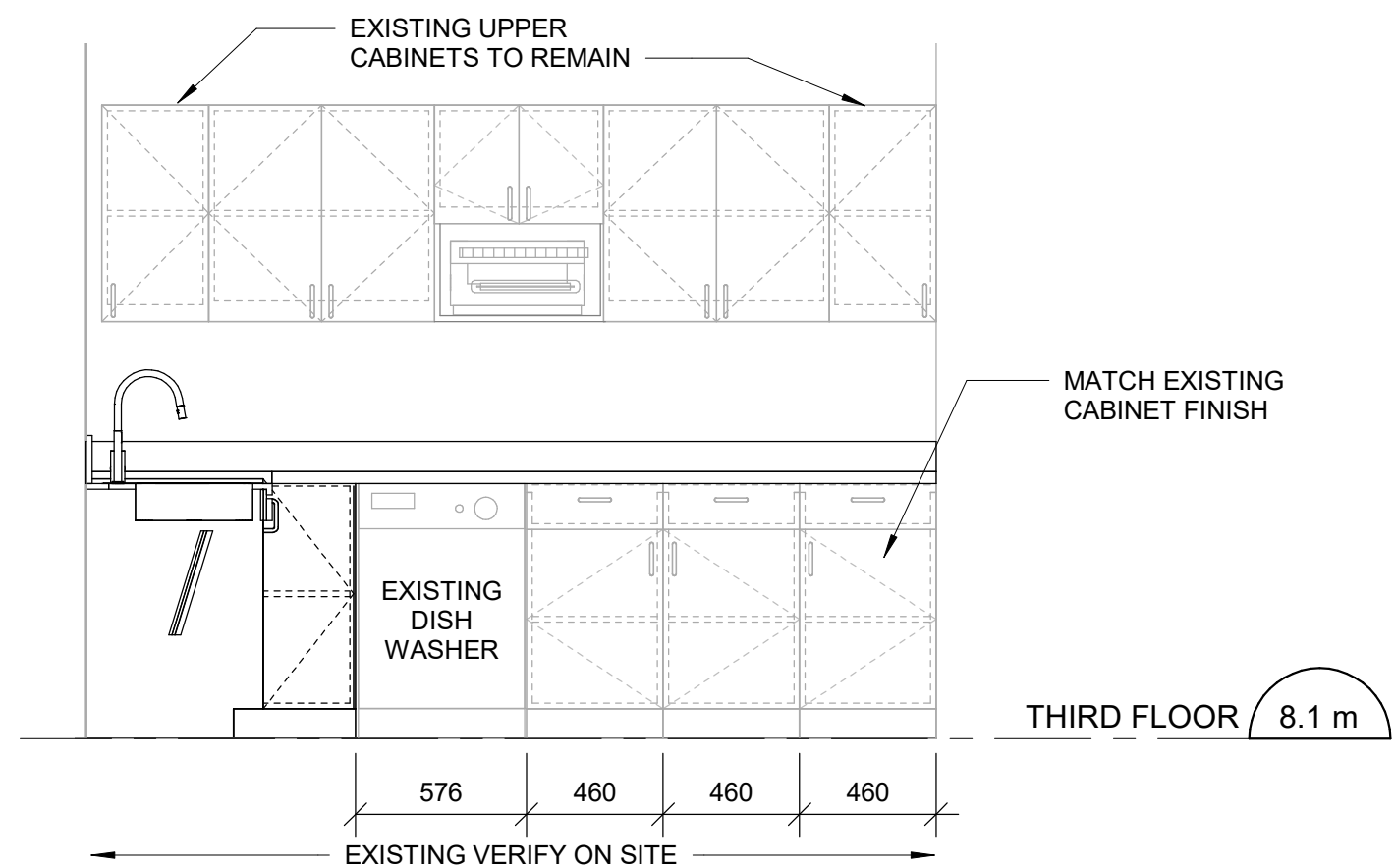
3 THIRD FLOOR KITCHEN D201 - ENLARGED PLAN  
A7114 Scale: 1 : 25



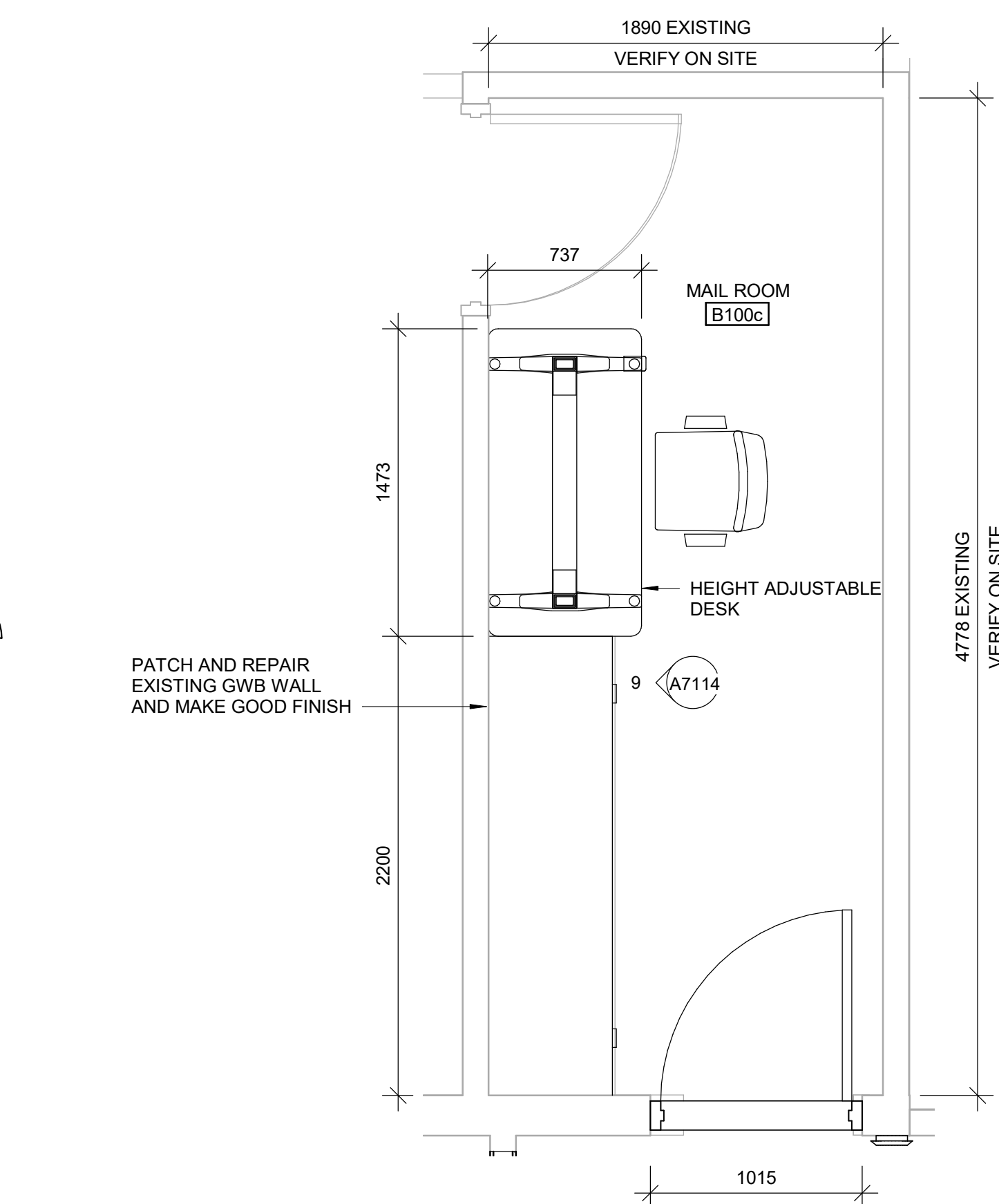
4 KITCHEN D201 - NORTH ELEVATION  
A7114 Scale: 1 : 25



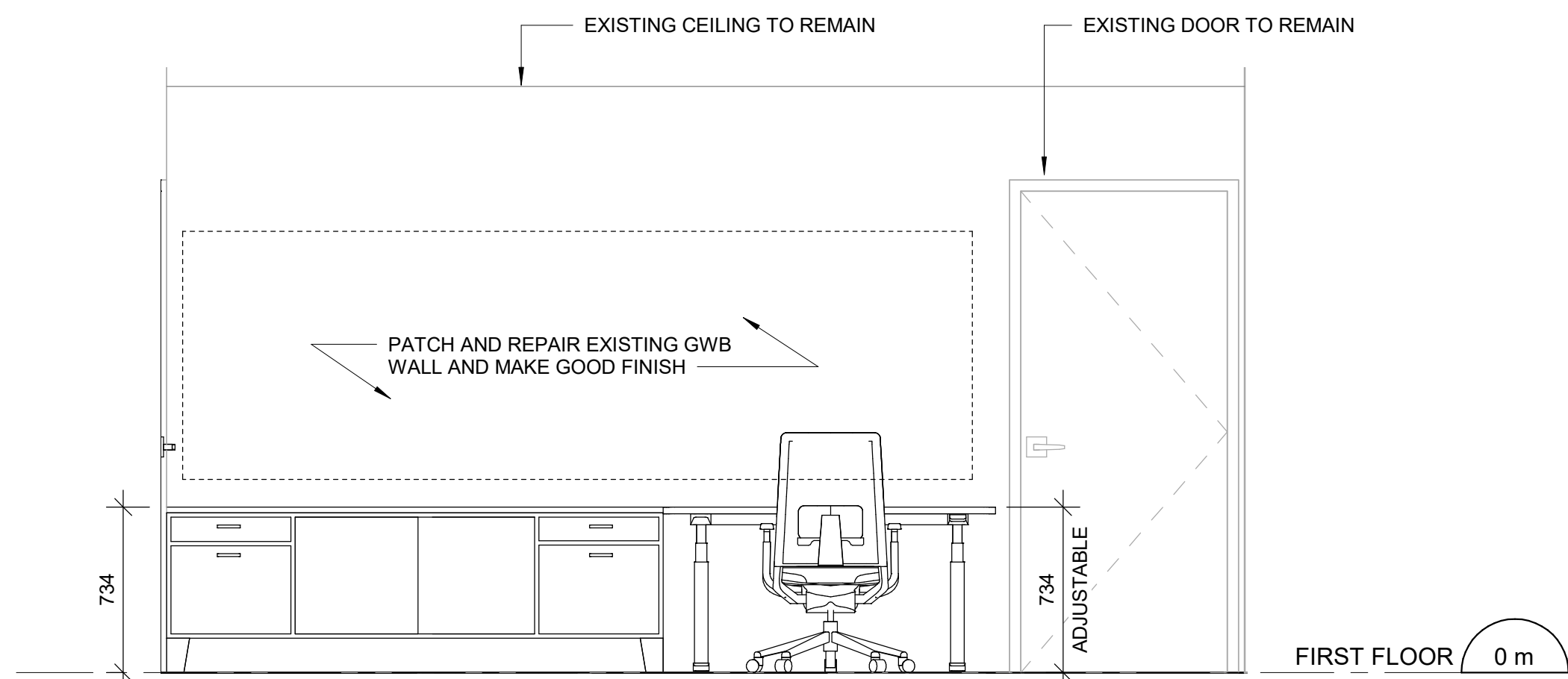
5 THIRD FLOOR KITCHEN D329 - ENLARGED PLAN  
A7114 Scale: 1 : 25



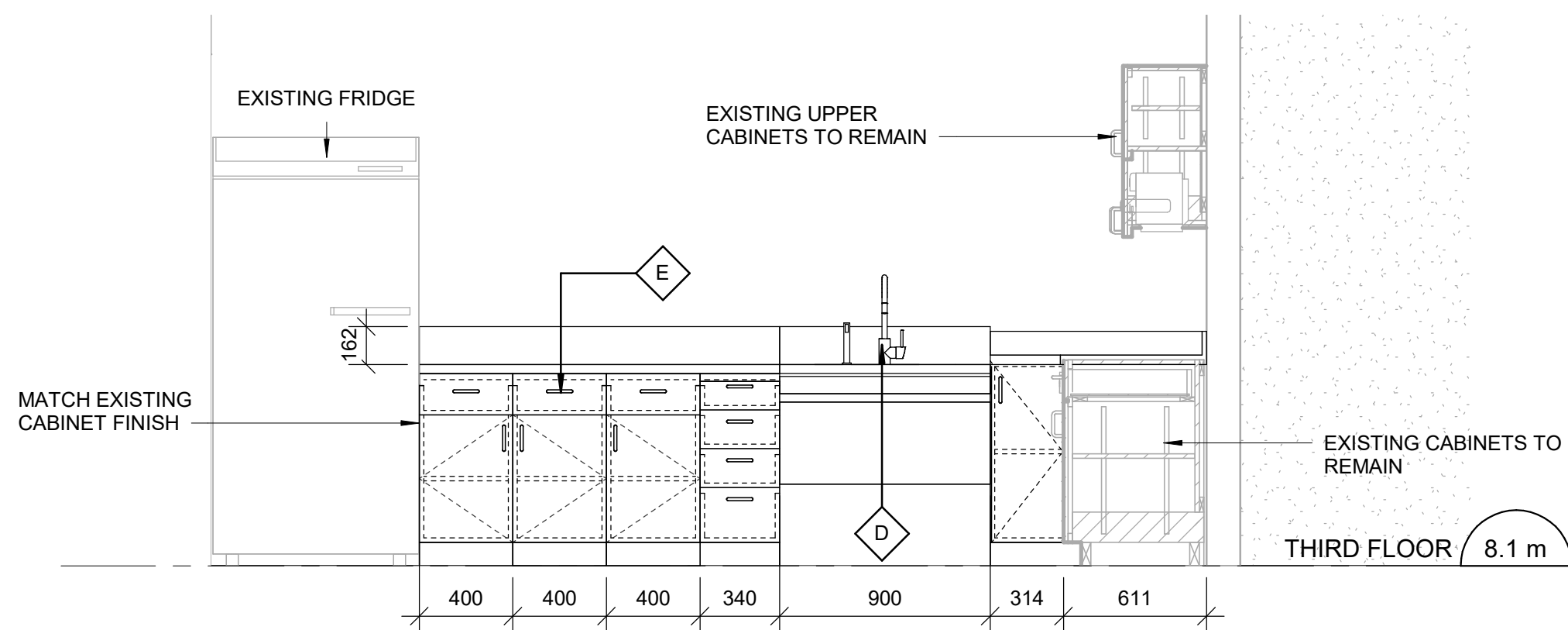
6 KITCHEN D329 SOUTH ELEVATION  
A7114 Scale: 1 : 25



8 FIRST FLOOR MAIL ROOM B101c - ENLARGED PLAN  
A7114 Scale: 1 : 25



9 FIRST FLOOR MAIL ROOM B101c - WEST ELEVATION  
A7114 Scale: 1 : 25



7 KITCHEN D329 EAST ELEVATION  
A7114 Scale: 1 : 25

CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
E	CONSTRUCT NEW KITCHEN MILLWORK, REFER TO MILLWORK DETAILS 1/D1301, 2/D1301, 3/D1301, 4/D1301, 5/D1301, 6/D1301, 7/D1301, 8/D1301 AND 9/D1301.
K	INSTALL NEW DOOR AND FRAME, REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
KITCHEN GENERAL NOTES	
NO	DESCRIPTION
1	REFER TO 1/D1301, 2/D1301 & 5/D1302 FOR ACCESSIBLE SINK DETAILS AND MOUNTING HEIGHT.
2	REFER TO 1/D1301, 2/D1301, 2/D1302 & 6/D1302 FOR DETAILS OF CABINETS WITH DRAWERS.
3	REFER TO 1/D1301, 2/D1301, 1/D1302 & 4/D1302 FOR DETAILS WITH MICROWAVE AND DISHWASHER.
4	REFER TO 8/D1302 FOR TYP. BUILT-UP NOSING DOOR COUNTER TOP DETAILS.

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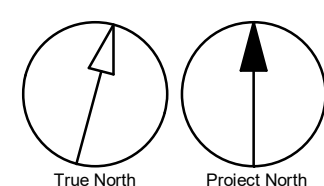
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**CITY OF TORONTO  
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PROJECT ADDRESS  
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Station 53  
4330 Dufferin St**

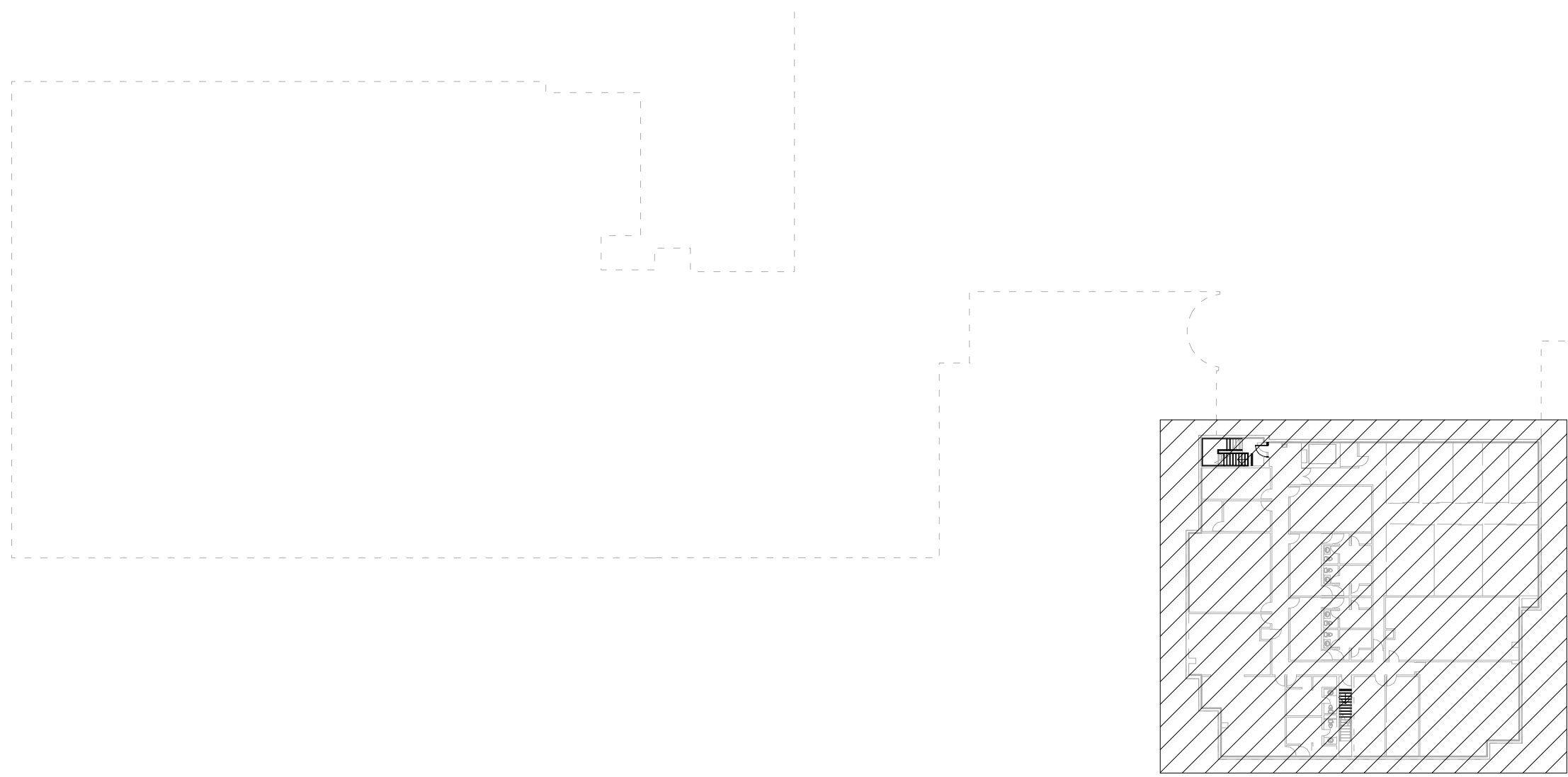
PROJECT NO:  
9119- 19- 0162 / IBI 122260  
DRAWN BY:  
**A. BOYNARIAN**  
PROJECT MGR:  
**F. BOLOURIAN**  
CHECKED BY:  
**L. BANDIERA**  
APPROVED BY:  
**E. FENUTA**

SHEET TITLE  
**ENLARGED  
PLANS/ELEVATIONS**

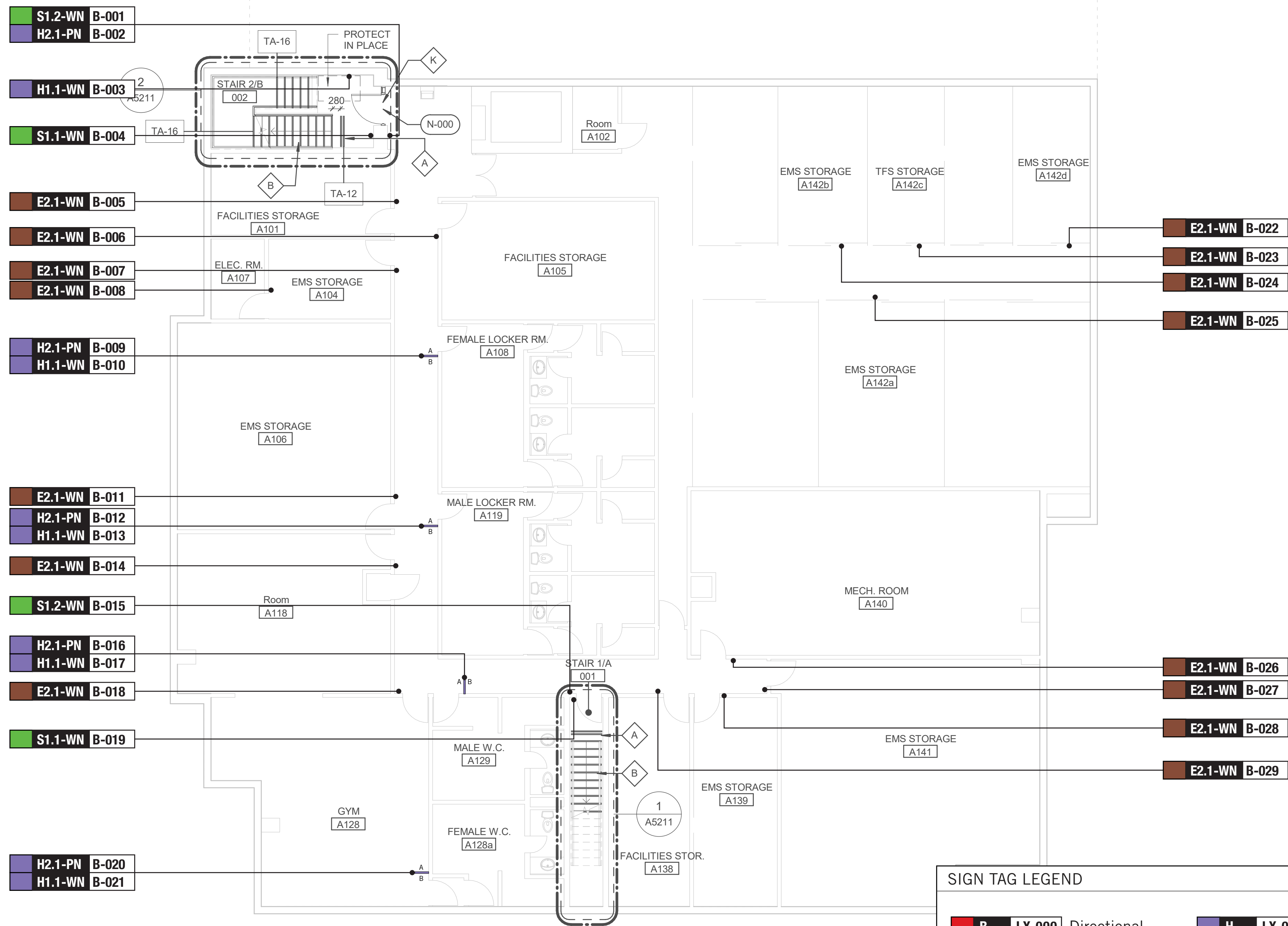
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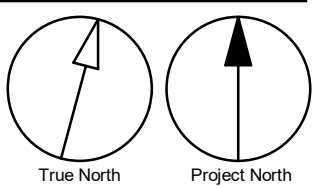
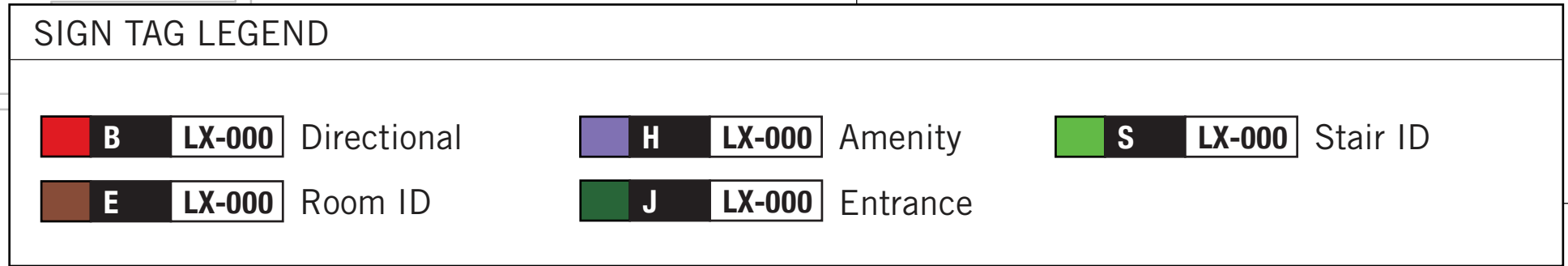




1  
A2401  
BASEMENT-PROPOSED KEYPLAN  
Scale: 1 : 500



2  
A2401  
BASEMENT-PROPOSED PARTIAL ENLARGED PLAN  
Scale: 1 : 100



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PROJECT TITLE  
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ACCESSIBILITY UPGRADES

PROJECT ADDRESS  
Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:  
9119 - 19 - 0162 / IBI 122260

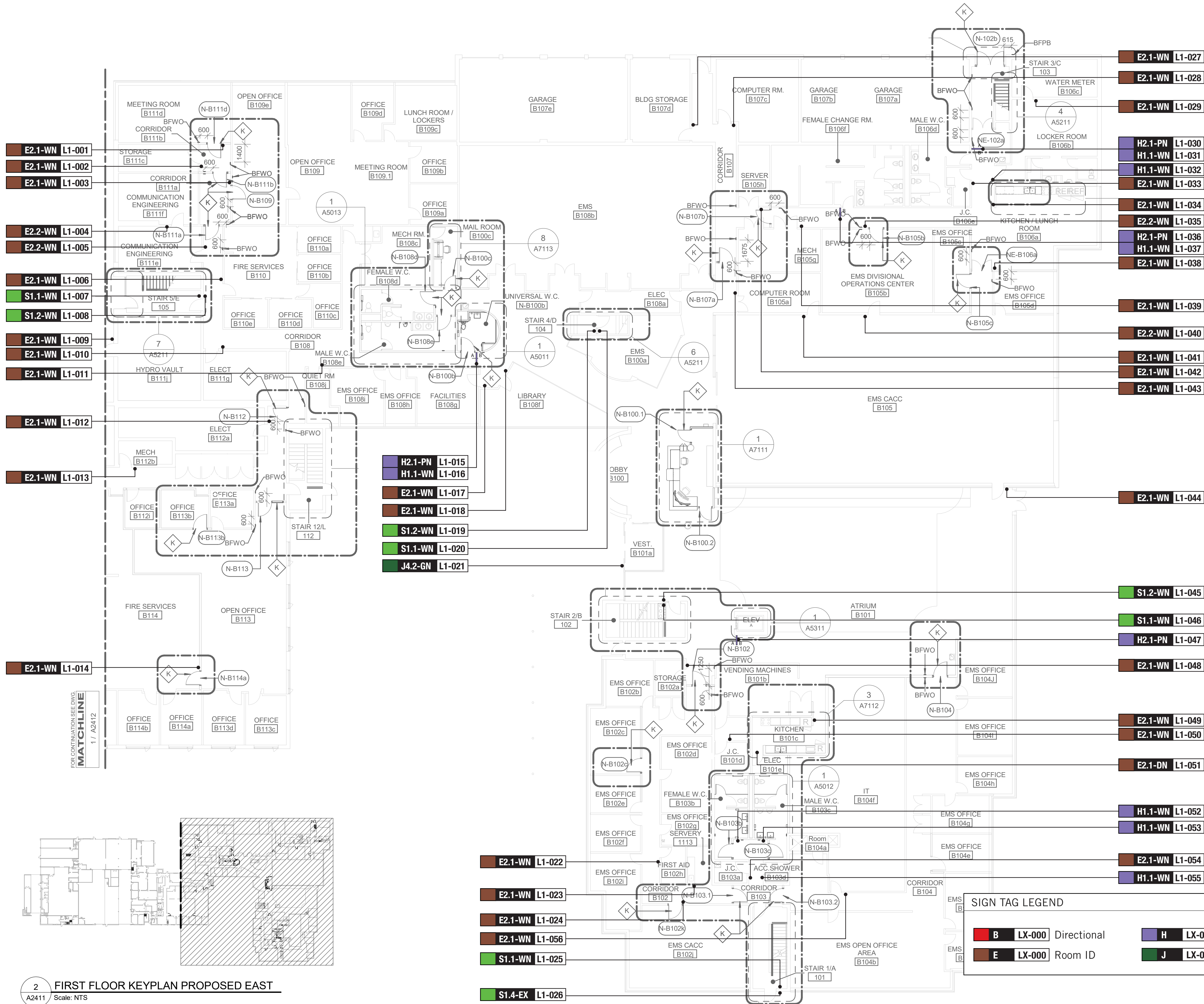
DRAWN BY:  
**B. FERNANDEZ**  
PROJECT MGR:  
**R. DALY**  
CHECKED BY:  
**C.D. SCHNOBB**  
APPROVED BY:

SHEET TITLE  
SIGNAGE & WAYFINDING  
DETAILS  
BASEMENT LOCATION  
PLAN

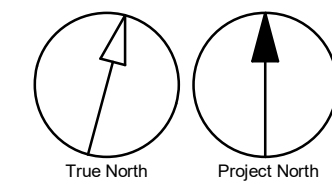
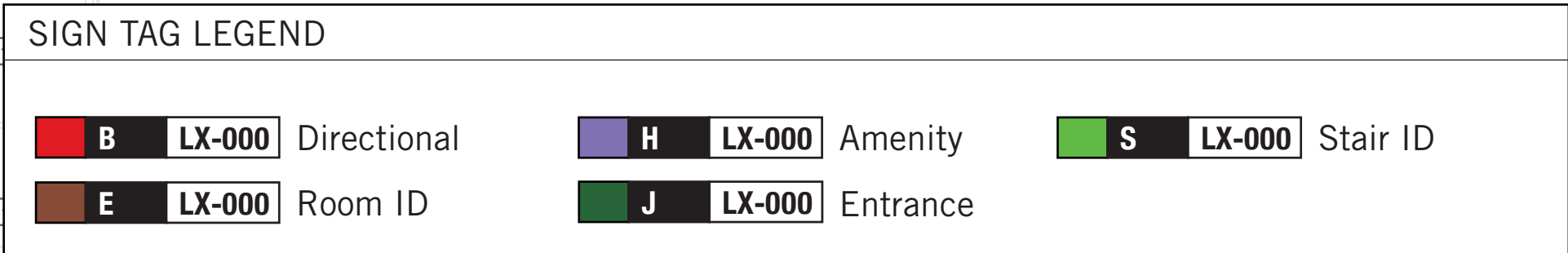
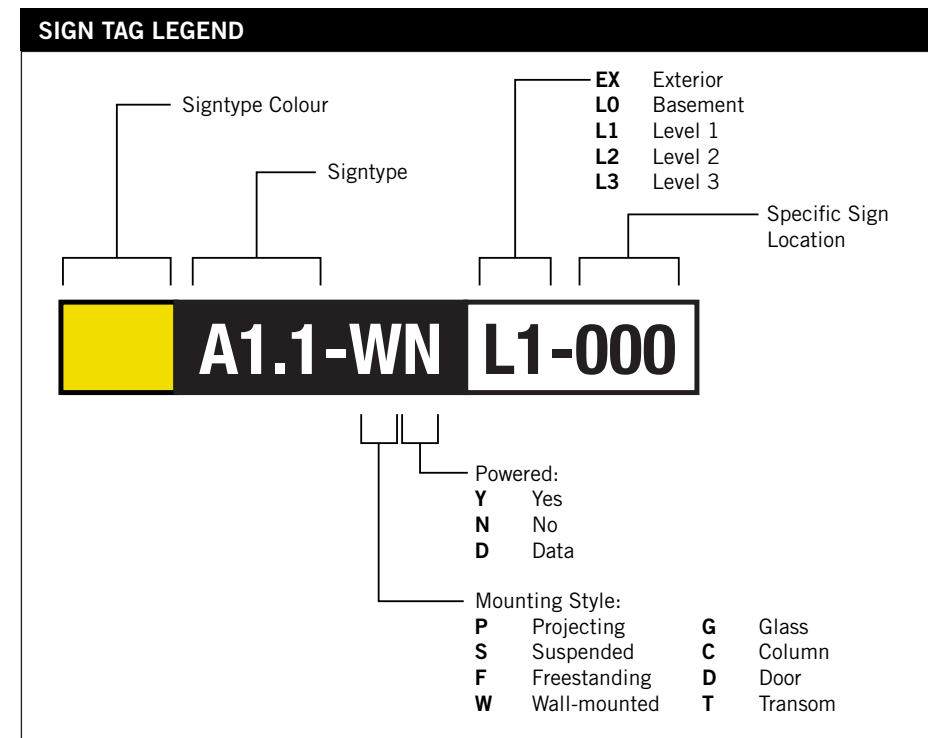
SHEET NUMBER  
**G08-229-A8001**

ISSUE  
**0**





2 FIRST FLOOR KEYPLAN PROPOSED EAST  
A2411 Scale: NTS



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PROJECT TITLE

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ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 - 19 - 0162 / IBI 122260

DRAWN BY:

**B. FERNANDEZ**

CHECKED BY:

**C.D. SCHNOBB**

PROJECT MGR:

**R. DALY**

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
FIRST FLOOR PARTIAL LOCATION  
PLAN EAST

SHEET NUMBER

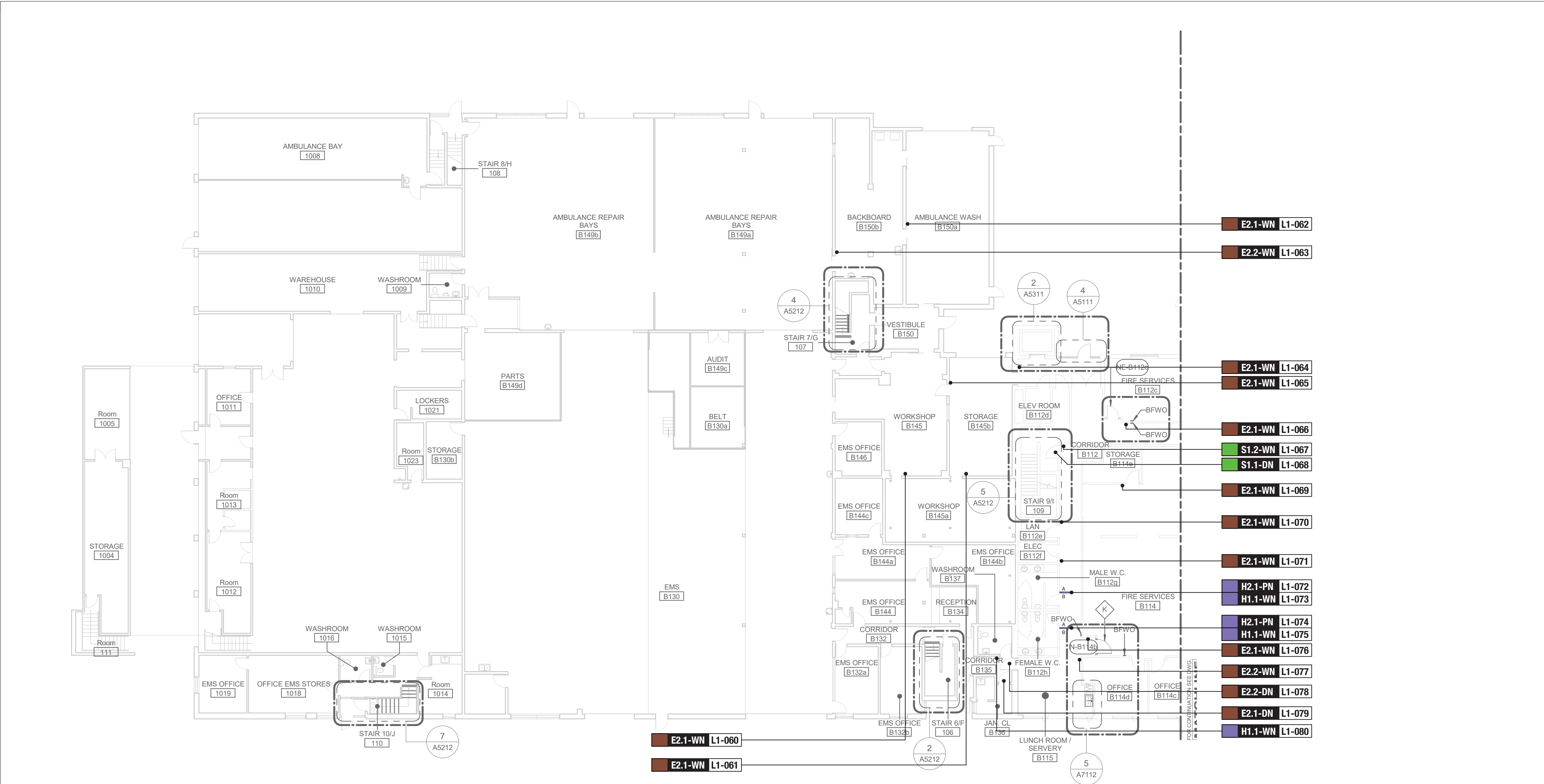
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ISSUE

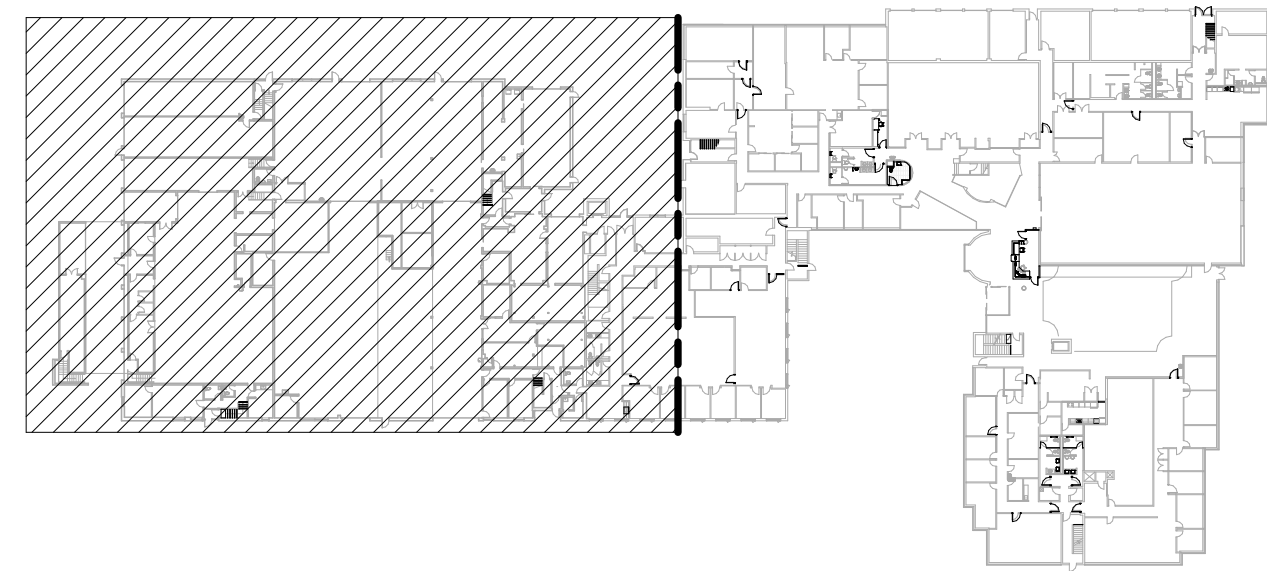
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Scale: NTS



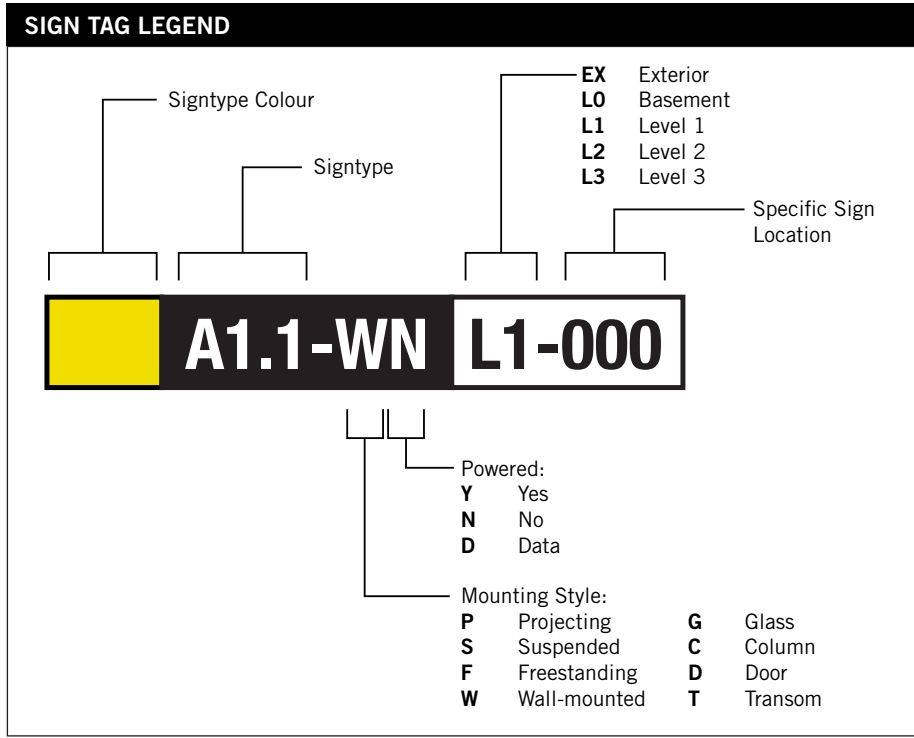


1 FIRST FLOOR-PROPOSED PARTIAL PLAN WEST  
A2412 Scale: 1 : 150



2 FIRST FLOOR KEYPLAN PROPOSED WEST  
A2412 Scale: 1 : 1000

SIGN TAG LEGEND			
<div><div></div><div>B</div></div>	<div><div>LX-000</div></div>	Directional	
<div><div></div><div>E</div></div>	<div><div>LX-000</div></div>	Room ID	
<div><div></div><div>H</div></div>	<div><div>LX-000</div></div>	Amenity	
<div><div></div><div>J</div></div>	<div><div>LX-000</div></div>	Entrance	
<div><div></div><div>S</div></div>	<div><div>LX-000</div></div>	Stair ID	



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PROJECT TITLE  
**CITY OF TORONTO**  
**ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS Station**  
**53**  
**4330 Dufferin St**

PROJECT NO:  
9119 - 19 - 0162 / IBI 122260

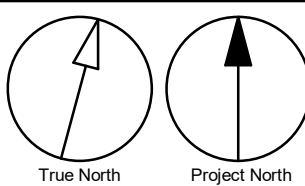
DRAWN BY:  
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PROJECT MGR:  
**R. DALY**

CHECKED BY:  
**C.D. SCHNOBB**  
APPROVED BY:

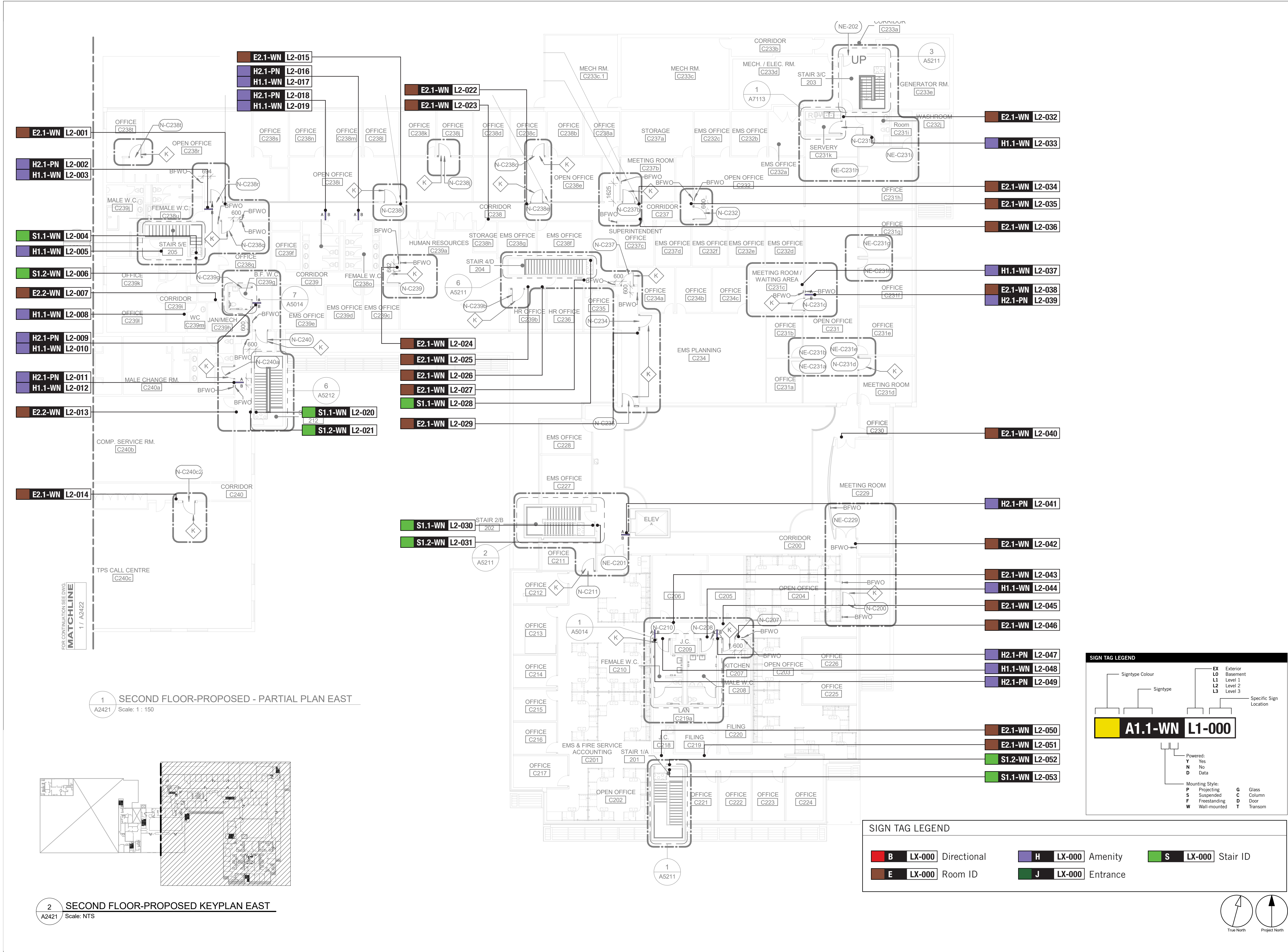
SHEET TITLE  
**SIGNAGE & WAYFINDING**  
**DETAILS**  
**FIRST FLOOR PARTIAL LOCATION**  
**PLAN WEST**

SHEET NUMBER  
**G08-229-A8012**

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 - 19 - 0162 / IBI 122260

DRAWN BY:

B. FERNANDEZ

CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
SECOND FLOOR PARTIAL LOCATION  
PLAN EAST

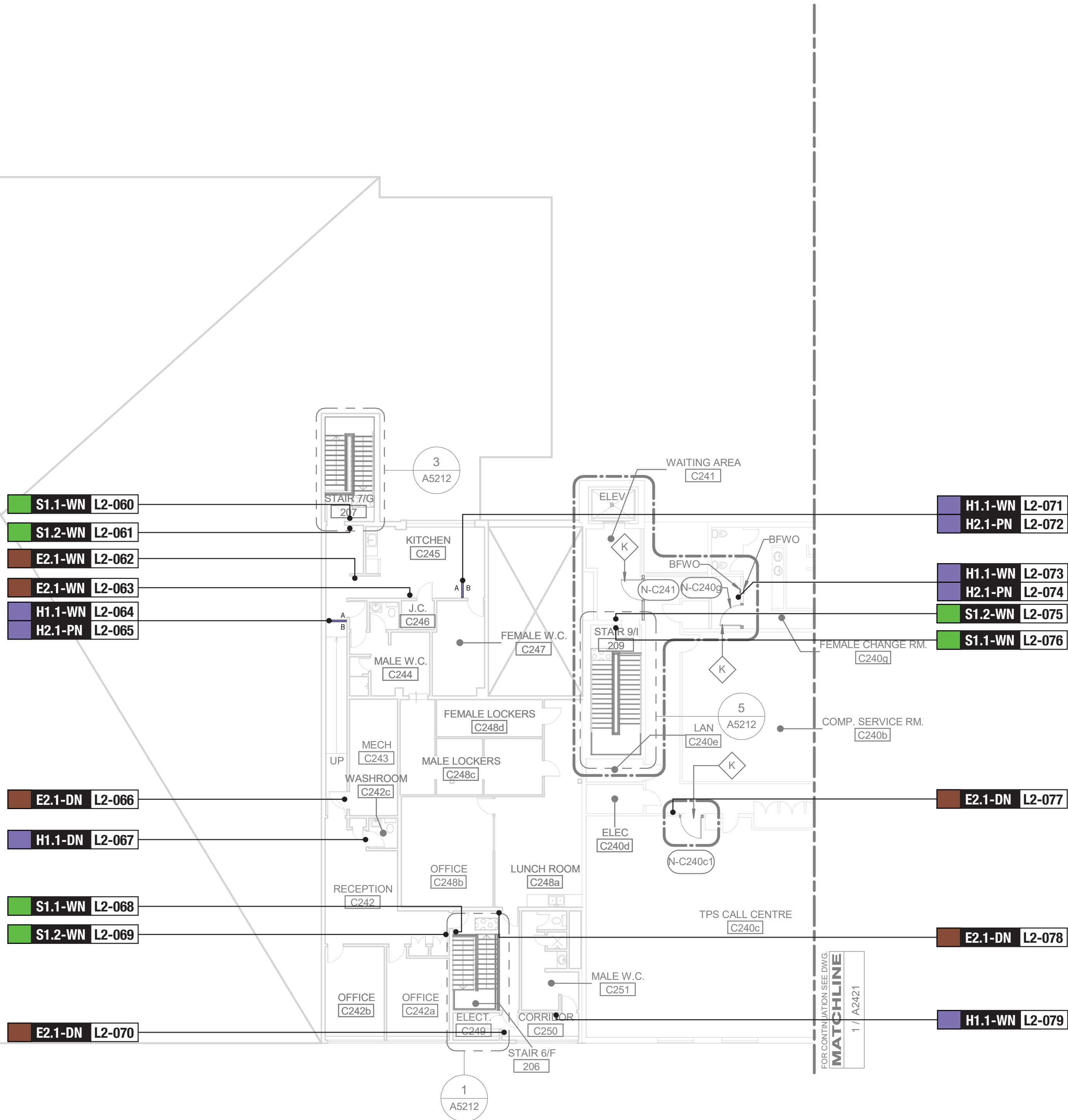
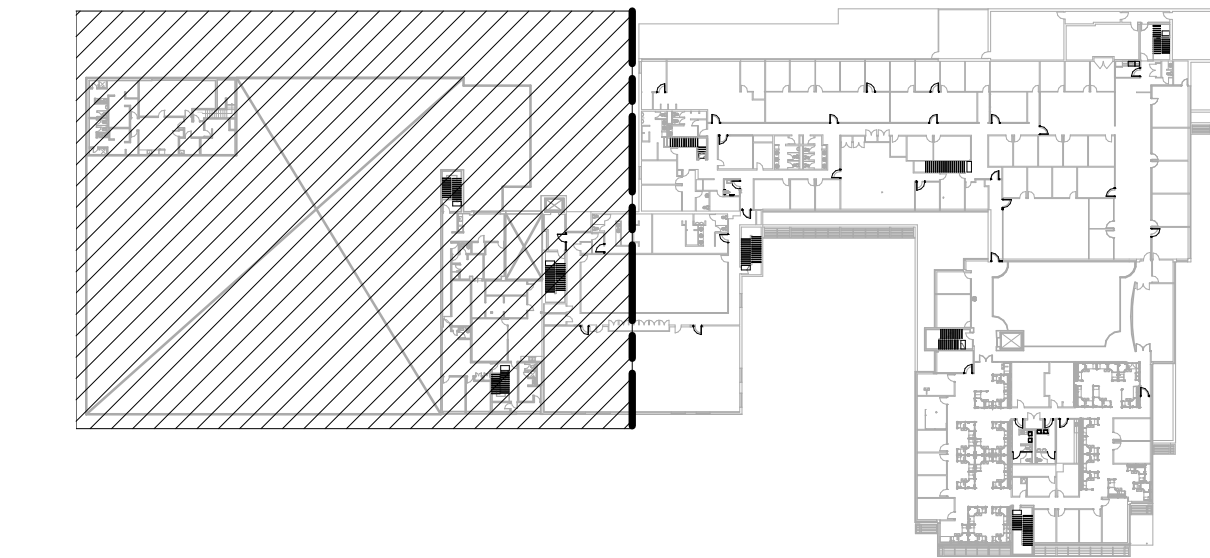
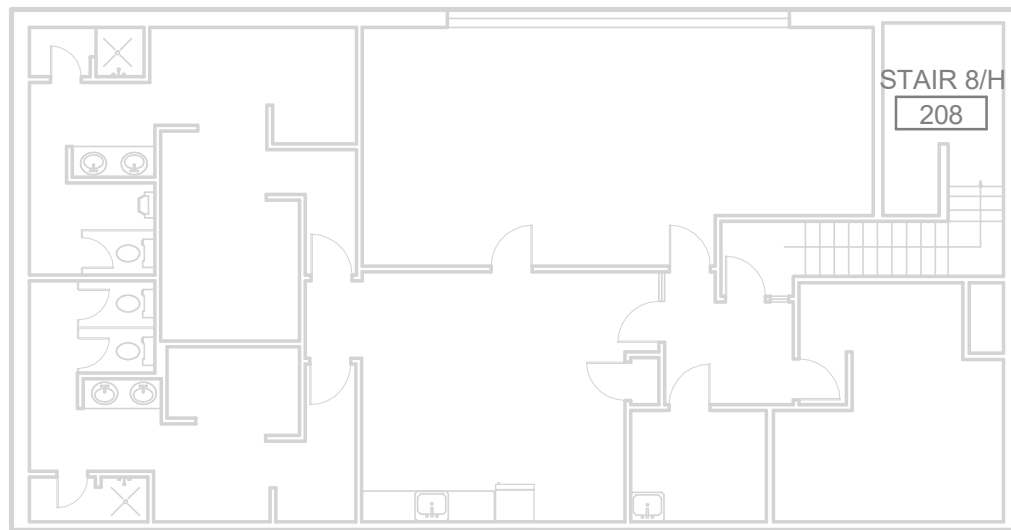
SHEET NUMBER

G08-229-A8021

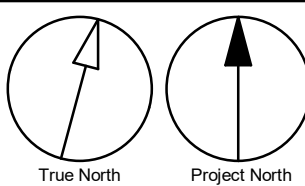
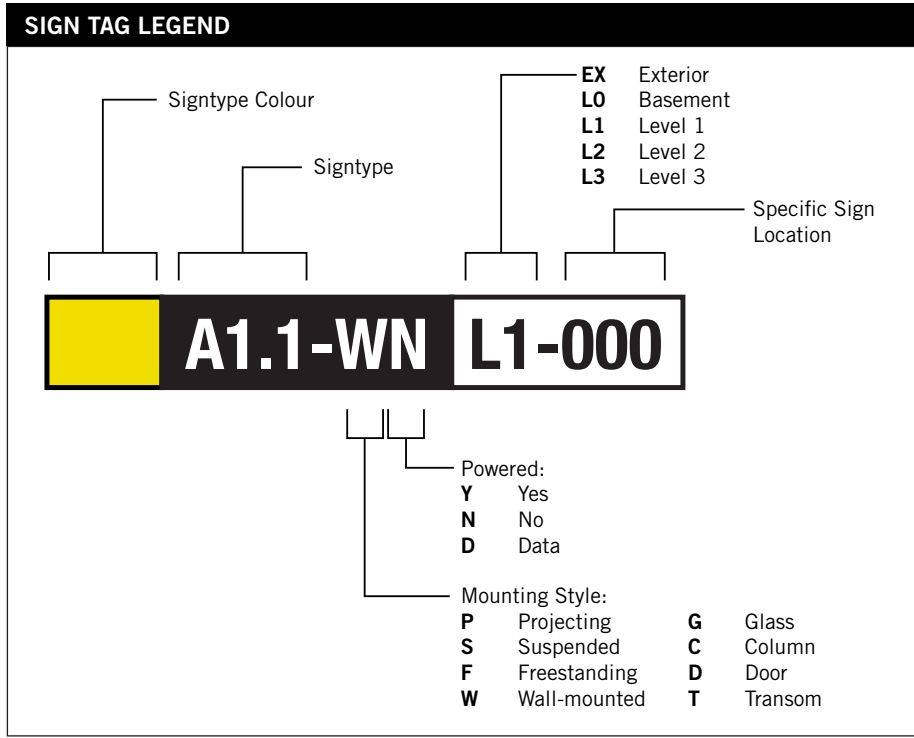
ISSUE

0





SIGN TAG LEGEND					
<div><div></div><div>B</div></div>	LX-000	Directional	<div><div></div><div>H</div></div>	LX-000	Amenity
<div><div></div><div>E</div></div>	LX-000	Room ID	<div><div></div><div>J</div></div>	LX-000	Entrance
			<div><div></div><div>S</div></div>	LX-000	Stair ID



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No.	DESCRIPTION	DATE
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PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

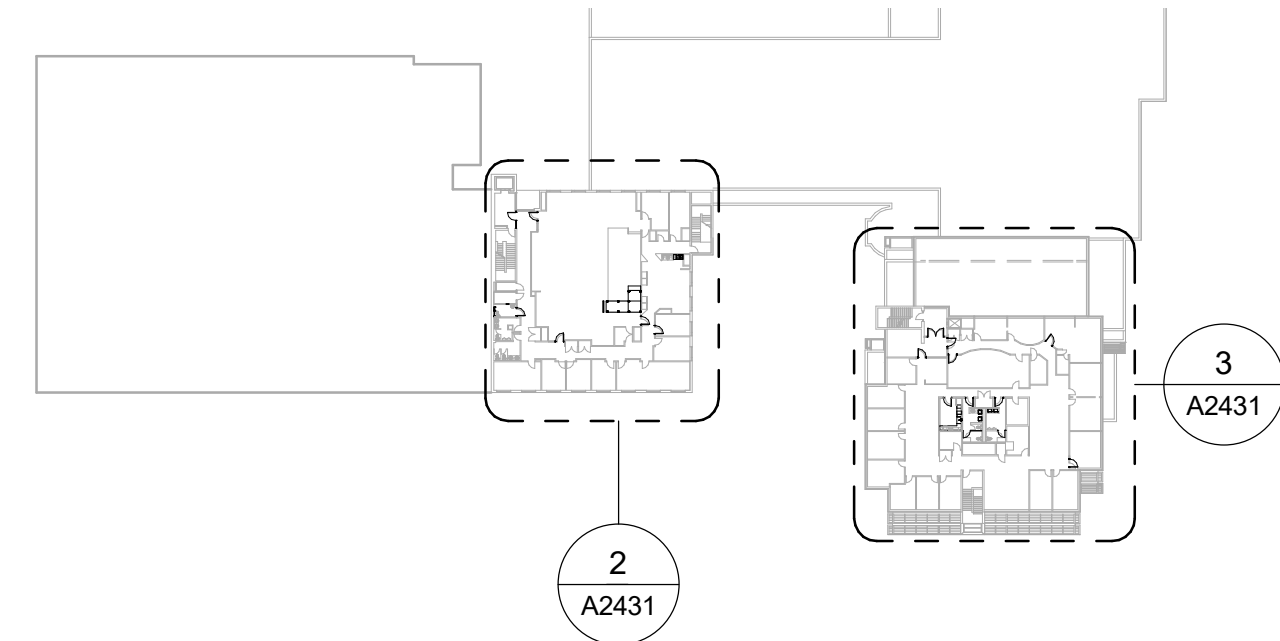
PROJECT ADDRESS  
Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:  
9119 - 19 - 0162 / IBI 122260  
DRAWN BY:  
**B. FERNANDEZ**  
PROJECT MGR:  
**R. DALY**  
CHECKED BY:  
**C.D. SCHNOBB**  
APPROVED BY:

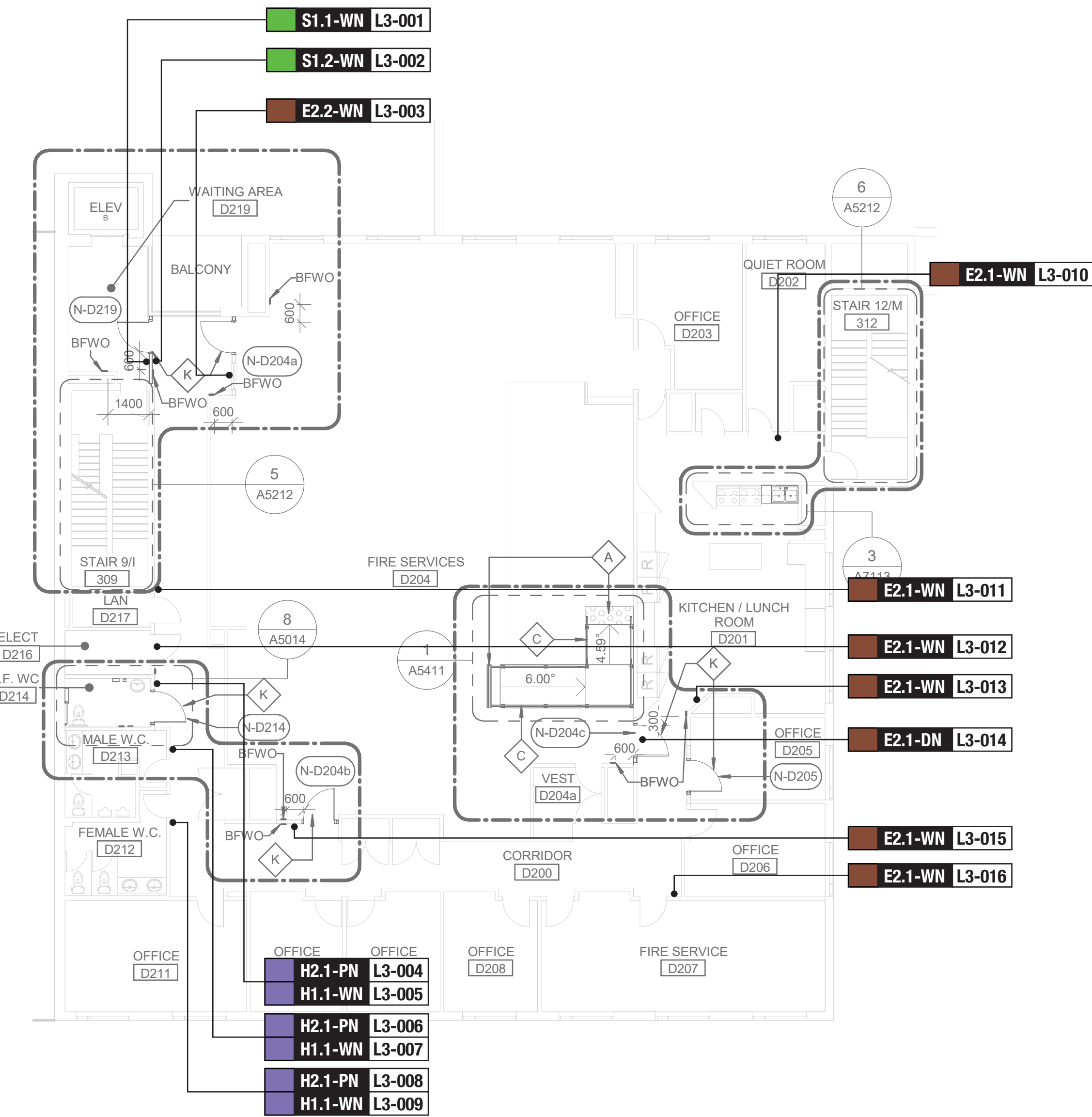
SHEET TITLE  
SIGNAGE & WAYFINDING  
DETAILS  
SECOND FLOOR PARTIAL LOCATION  
PLAN WEST

SHEET NUMBER  
**G08-229-A8022**  
ISSUE  
**0**

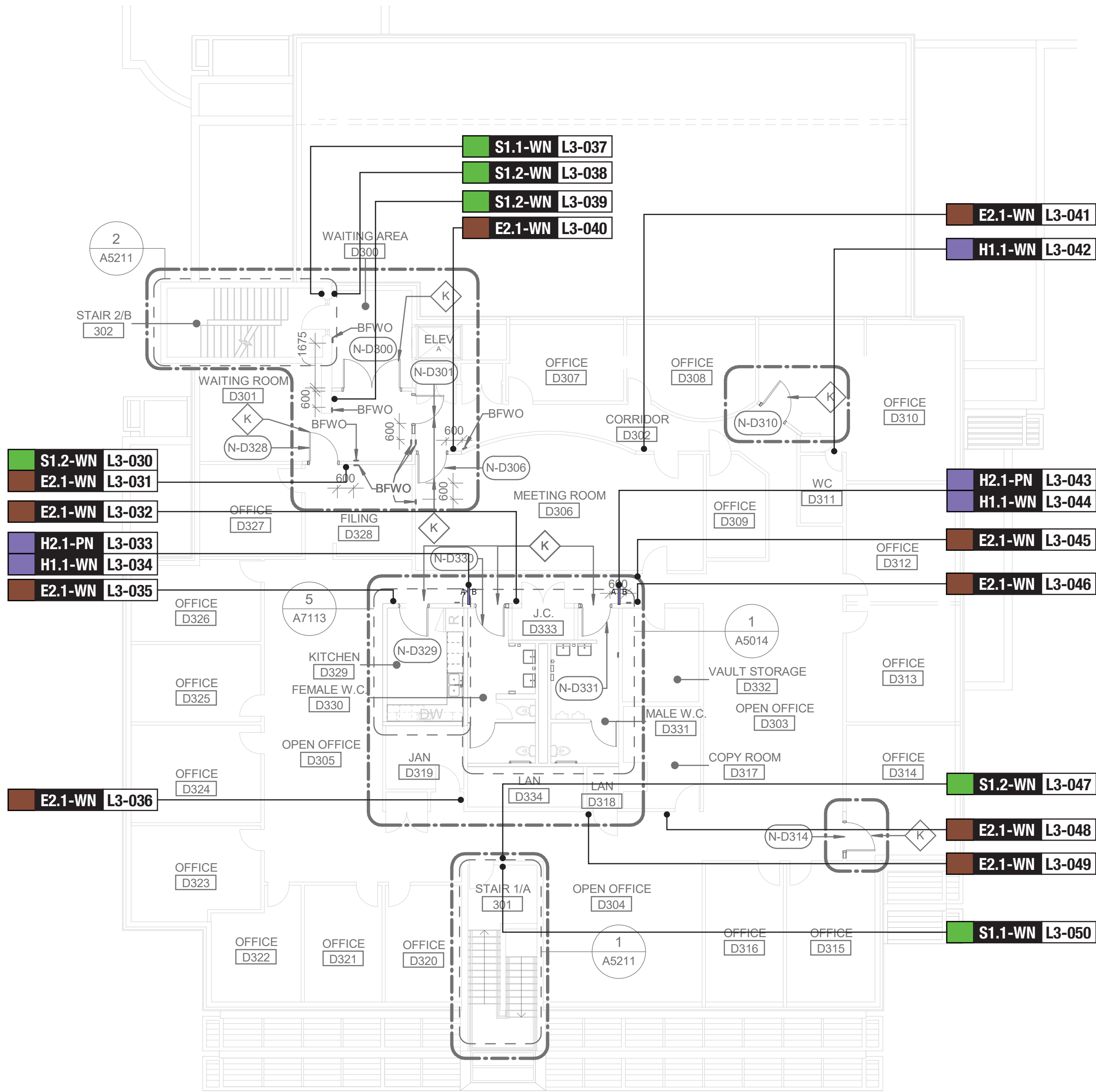




1 THIRD FLOOR KEYPLAN  
A2431 Scale: NTS

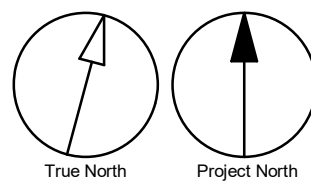
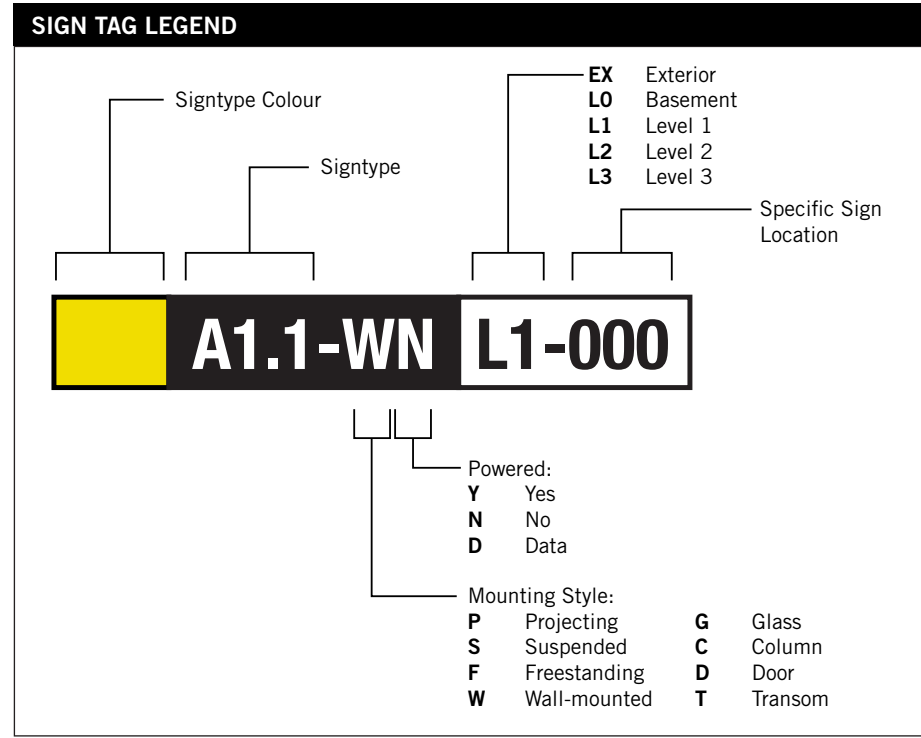


2 THIRD FLOOR-PROPOSED - PARTIAL ENLARGED PLAN WEST  
A2431 Scale: 1 : 125



3 THIRD FLOOR-PROPOSED - PARTIAL ENLARGED PLAN EAST  
A2431 Scale: 1 : 125

SIGN TAG LEGEND			
<div><div></div><div>B</div><div>LX-000</div></div>	Directional	<div><div></div><div>H</div><div>LX-000</div></div>	Amenity
<div><div></div><div>E</div><div>LX-000</div></div>	Room ID	<div><div></div><div>J</div><div>LX-000</div></div>	Entrance
<div><div></div><div>S</div><div>LX-000</div></div>	Stair ID		



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No.	DESCRIPTION	DATE
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PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St**

PROJECT NO:  
9119 - 19 - 0162 / IBI 122260

DRAWN BY:  
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CHECKED BY:  
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PROJECT MGR:  
**R. DALY**

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SHEET TITLE  
**SIGNAGE & WAYFINDING  
DETAILS  
THIRD FLOOR LOCATION  
PLAN**

SHEET NUMBER  
**G08-229-A8031**

ISSUE  
**0**




SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
S1.2	B	001	Stair ID - Corridor Side	[stairs up on the lowest level picto] Floor     B Braille Stairwell   B 002 Braille	
H2.1	B	002	Projecting Amenity ID	[protect in place picto] Protect in Place	[protect in place picto] Protect in Place
H1.1	B	003	Amenity ID	[protect in place picto] Protect in Place Braille	
S1.1	B	004	Stair ID - Inside Stairwell	Floor     B Braille Stairwell   B 002 Braille	
E2.1	B	005	Room ID	Facilities Storage Braille	
E2.1	B	006	Room ID	Facilities Storage Braille	
E2.1	B	007	Room ID	EMS Storage Braille	
E2.1	B	008	Room ID	Electrical Room Braille	
H2.1	B	009	Projecting Amenity ID	[women locker room picto] Women	[women locker room picto] Women
H1.1	B	010	Amenity ID	[women locker room picto] Women Braille	
E2.1	B	011	Room ID	EMS Storage Braille	
H2.1	B	012	Projecting Amenity ID	[men locker room picto] Men	[men locker room picto] Men
H1.1	B	013	Amenity ID	[men locker room picto] Men Braille	
E2.1	B	014	Room ID	Room Braille	
S1.2	B	015	Stair ID - Corridor Side	[stairs up on the lowest level picto] Floor     B Braille Stairwell   A 001 Braille	
H2.1	B	016	Projecting Amenity ID	[men washroom picto] Men	[men washroom picto] Men
H1.1	B	017	Amenity ID	[men washroom picto] Men Braille	
E2.1	B	018	Room ID	Gym Braille	

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	104
E2.2	Line Room ID	9
H1.1	Amenity ID	37
H2.1	Projecting Amenity ID	28
J4.2	Accessible Entrance ID - Exterior	1
S1.1	Stair ID - Inside Stairwell	18
S1.2	Stair ID - Corridor Side	18
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	1
Total		216

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 – 19 – 0162 / IBI 122260

DRAWN BY:

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CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8100

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1 of 1


SCALE CHECK



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A		SIDE B	
				MESSAGE (English)		MESSAGE (English)	
S1.1	B	019	Stair ID - Inside Stairwell	Floor B Braille Stairwell A 001 Braille			
H2.1	B	020	Projecting Amenity ID	[women washroom picto] Women		[women washroom picto] Women	
H1.1	B	021	Amenity ID	[women washroom picto] Women Braille			
E2.1	B	022	Room ID	EMS Storage Braille			
E2.1	B	023	Room ID	TFS Storage Braille			
E2.1	B	024	Room ID	EMS Storage Braille			
E2.1	B	025	Room ID	EMS Storage Braille			
E2.1	B	026	Room ID	Mechanical Room Braille			
E2.1	B	027	Room ID	EMS Storage Braille			
E2.1	B	028	Room ID	EMS Storage Braille			
E2.1	B	029	Room ID	Facilities Storage Braille			

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 – 19 – 0162 / IBI 122260

DRAWN BY:

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CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8101

ISSUE

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Scale Check


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				SIDE A	SIDE B
SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	MESSAGE (English)	MESSAGE (English)
E2.1	L1	001	Room ID	Meeting Room Braille	
E2.1	L1	002	Room ID	Storage Braille	
E2.1	L1	003	Room ID	Open Office Braille	
E2.2	L1	004	Line Room ID	Communication Engineering Braille	
E2.2	L1	005	Line Room ID	Communication Engineering Braille	
E2.1	L1	006	Room ID	Fire Services Braille	
S1.1	L1	007	Stair ID - Inside Stairwell	Floor L1 Braille Stairwell E 105 Braille	
S1.2	L1	008	Stair ID - Corridor Side	[stairs picto] Floor L1 Braille Stairwell E 105 Braille	
E2.1	L1	009	Room ID	Hydro Vault Braille	
E2.1	L1	010	Room ID	Electrical Braille	
E2.1	L1	011	Room ID	Quiet Room Braille	
E2.1	L1	012	Room ID	Electrical Braille	
E2.1	L1	013	Room ID	Mechanical Braille	
E2.1	L1	014	Room ID	Open Office Braille	
H2.1	L1	015	Projecting Amenity ID	[accessible universal washroom picto] Washroom	[accessible universal washroom picto] Washroom
H1.1	L1	016	Amenity ID	[accessible universal washroom picto] Washroom Braille	
E2.1	L1	017	Room ID	Facilities Braille	
E2.1	L1	018	Room ID	Library Braille	
S1.2	L1	019	Stair ID - Corridor Side	[stairs picto] Floor L1 Braille Stairwell D 104 Braille	

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:  
9119 – 19 – 0162 / IBI 122260

DRAWN BY:  
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CHECKED BY:  
C.D. SCHNOBB

PROJECT MGR:  
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8102

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Scale Check


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				SIDE A	SIDE B
SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	MESSAGE (English)	MESSAGE (English)
S1.1	L1	020	Stair ID - Inside Stairwell	Floor L1 Braille Stairwell D 104 Braille	
J4.2	L1	021	Accessible Entrance ID - Exterior	[accessible picto] Entrance	
E2.1	L1	022	Room ID	First Aid Braille	
E2.1	L1	023	Room ID	Severy Braille	
E2.1	L1	024	Room ID	EMS CACC Braille	
S1.1	L1	025	Stair ID - Inside Stairwell	Floor L1 Braille Stairwell D 104 Braille	
S1.4	L1	026	Stair ID - Exterior Door	[stairs picto] Floor L1 Braille Stairwell D 104 Braille	
E2.1	L1	027	Room ID	Building Storage Braille	
E2.1	L1	028	Room ID	Computer Room Braille	
E2.1	L1	029	Room ID	Water Meter Braille	
H2.1	L1	030	Projecting Amenity ID	[accessible men washroom picto] Men	[accessible men washroom picto] Men
H1.1	L1	031	Amenity ID	[accessible men washroom picto] Men Braille	
H1.1	L1	032	Amenity ID	[men/women locker room] Locker Braille	
E2.1	L1	033	Room ID	Janitor Closet Braille	
E2.1	L1	034	Room ID	Kitchen Braille	
E2.2	L1	035	Line Room ID	EMS Divisional Operations Center Braille	
H2.1	L1	036	Projecting Amenity ID	[accessible women's washroom changeroom shower] Women	[accessible women's washroom changeroom shower] Women
H1.1	L1	037	Amenity ID	[accessible women's washroom changeroom shower] Women Braille	

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 – 19 – 0162 / IBI 122260

DRAWN BY:

B. FERNANDEZ

CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

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APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8103

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1 of 1



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
E2.1	L1	038	Room ID	EMS CACC Braille	
E2.1	L1	039	Room ID	Mechanical Braille	
E2.2	L1	040	Line Room ID	EMS Divisional Operations Center Braille	
E2.1	L1	041	Room ID	Computer Room Braille	
E2.1	L1	042	Room ID	Server Braille	
E2.1	L1	043	Room ID	Computer Room Braille	
E2.1	L1	044	Room ID	EMS CACC Braille	
S1.2	L1	045	Stair ID - Corridor Side	[stairs picto] Floor L1 Braille Stairwell B 102 Braille	
S1.1	L1	046	Stair ID - Inside Stairwell	Floor L1 Braille Stairwell B 102 Braille	
H2.1	L1	047	Projecting Amenity ID	[elevator picto] Elevator	[elevator picto] Elevator
E2.1	L1	048	Room ID	Storage Braille	
E2.1	L1	049	Room ID	Kitchen Braille	
E2.1	L1	050	Room ID	Janitor Closet Braille	
E2.1	L1	051	Room ID	Electrical Braille	
H1.1	L1	052	Amenity ID	[accessible women washroom picto] Women Braille	
H1.1	L1	053	Amenity ID	[accessible men washroom picto] Men Braille	
E2.1	L1	054	Room ID	Janitor Closet Braille	
H1.1	L1	055	Amenity ID	[accessible changeroom +shower picto] Shower Braille	
E2.1	L1	056	Room ID	IT Braille	
E2.1	L1	060	Room ID	Workshop Braille	
E2.1	L1	061	Room ID	Workshop Braille	

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PROJECT TITLE

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C.D. SCHNOBB

PROJECT MGR:  
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8104

ISSUE


0



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
E2.1	L1	062	Room ID	Blackboard Braille	
E2.2	L1	063	Line Room ID	Ambulance Repair Bays Braille	
E2.1	L1	064	Room ID	Storage Braille	
E2.1	L1	065	Room ID	Workshop Braille	
E2.1	L1	066	Room ID	Fire Services Braille	
S1.2	L1	067	Stair ID - Corridor Side	[stairs picto] Floor L1 Braille Stairwell I 109 Braille	
S1.1	L1	068	Stair ID - Inside Stairwell	Floor L1 Braille Stairwell I 109 Braille	
E2.1	L1	069	Room ID	Storage Braille	
E2.1	L1	070	Room ID	LAN Braille	
E2.1	L1	071	Room ID	Electrical Braille	
H2.1	L1	072	Projecting Amenity ID	[men washroom picto] Men	[men washroom picto] Men
H1.1	L1	073	Amenity ID	[men washroom picto] Men Braille	
H2.1	L1	074	Projecting Amenity ID	[women washroom picto] Women	[women washroom picto] Women
H1.1	L1	075	Amenity ID	[women washroom picto] Women Braille	
E2.1	L1	076	Room ID	Fire Services Braille	
E2.2	L1	077	Line Room ID	Lunch Room/ Servery Braille	
E2.1	L1	078	Room ID	Lunch Room/ Servery Braille	
E2.1	L1	079	Room ID	Janitor Closet Braille	
H1.1	L1	080	Amenity ID	[men/women washroom picto] Washroom Braille	

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 – 19 – 0162 / IBI 122260

DRAWN BY:

B. FERNANDEZ

CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8105

ISSUE


0



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
E2.1	L2	001	Room ID	Open Office Braille	
H2.1	L2	002	Projecting Amenity ID	[women washroom picto] Women	[women washroom picto] Women
H1.1	L2	003	Amenity ID	[women washroom picto] Women Braille	
S1.1	L2	004	Stair ID - Inside Stairwell	Floor    L2 Braille Stairwell   E 205 Braille	
H1.1	L2	005	Amenity ID	[men washroom picto] Men Braille	
S1.2	L2	006	Stair ID - Corridor Side	[stairs picto] Floor    L2 Braille Stairwell   E 205 Braille	
E2.2	L2	007	Line Room ID	Janitor / Mechanical Braille	
H1.1	L2	008	Amenity ID	[men/women washroom picto] Washroom Braille	
H2.1	L2	009	Projecting Amenity ID	[accessible universal washroom picto] Washroom	[accessible universal washroom picto] Washroom
H1.1	L2	010	Amenity ID	[accessible universal washroom picto] Washroom Braille	
H2.1	L2	011	Projecting Amenity ID	[accessible men's washroom changeroom +shower picto] Men	[accessible men's washroom changeroom +shower picto] Men
H1.1	L2	012	Amenity ID	[accessible men's washroom changeroom +shower picto] Men Braille	
E2.2	L2	013	Line Room ID	Computer Service Room Braille	
E2.1	L2	014	Room ID	TPS Call Centre Braille	
E2.1	L2	015	Room ID	Open Office Braille	
H2.1	L2	016	Projecting Amenity ID	[men washroom picto] Men	[men washroom picto] Men
H1.1	L2	017	Amenity ID	[men washroom picto] Men Braille	
H2.1	L2	018	Projecting Amenity ID	[women washroom picto] Women	[women washroom picto] Women

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CITY OF TORONTO



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TORONTO, ON  
M5V 3C6

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ISSUES


No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:  
9119 – 19 – 0162 / IBI 122260

DRAWN BY:  
B. FERNANDEZ

CHECKED BY:  
C.D. SCHNOBB

PROJECT MGR:  
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8106

ISSUE


0



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
H1.1	L2	019	Amenity ID	[women washroom picto] Women Braille	
S1.1	L2	020	Stair ID - Inside Stairwell	Floor L2 Braille Stairwell L 212 Braille	
S1.2	L2	021	Stair ID - Corridor Side	[stairs picto] Floor L2 Braille Stairwell L 212 Braille	
E2.1	L2	022	Room ID	Open Office Braille	
E2.1	L2	023	Room ID	Storage Braille	
E2.1	L2	024	Room ID	Human Resources Braille	
E2.1	L2	025	Room ID	HR Office Braille	
E2.1	L2	026	Room ID	HR Office Braille	
E2.1	L2	027	Room ID	HR Office Braille	
S1.1	L2	028	Stair ID - Inside Stairwell	Floor L2 Braille Stairwell D 204 Braille	
E2.1	L2	029	Room ID	EMS Planning Braille	
S1.1	L2	030	Stair ID - Inside Stairwell	Floor L2 Braille Stairwell B 202 Braille	
S1.2	L2	031	Stair ID - Corridor Side	[stairs picto] Floor L2 Braille Stairwell B 202 Braille	
E2.1	L2	032	Room ID	Servery Braille	
H1.1	L2	033	Amenity ID	[men/women washroom picto] Washroom Braille	
E2.1	L2	034	Room ID	Meeting Room Braille	
E2.2	L2	035	Line Room ID	Open Office Braille	

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:  
9119 – 19 – 0162 / IBI 122260

DRAWN BY:  
B. FERNANDEZ

CHECKED BY:  
C.D. SCHNOBB

PROJECT MGR:  
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8107

ISSUE

0

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Scale Check


1 of 1



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
E2.1	L2	036	Room ID	Superintendent Office Braille	
H1.1	L2	037	Amenity ID	[protect in place picto] Protect in Place Braille	
E2.1	L2	038	Room ID	Meeting Room Braille	
H2.1	L2	039	Projecting Amenity ID	[protect in place picto] Protect in Place	[protect in place picto] Protect in Place
E2.1	L2	040	Room ID	Meeting Room Braille	
H2.1	L2	041	Projecting Amenity ID	[elevator picto] Elevator	[elevator picto] Elevator
E2.1	L2	042	Room ID	Meeting Room Braille	
E2.1	L2	043	Room ID	TBD Braille	
H1.1	L2	044	Amenity ID	[accessible men washroom picto] Men Braille	
E2.1	L2	045	Room ID	TBD Braille	
E2.1	L2	046	Room ID	Kitchen Braille	
H2.1	L2	047	Projecting Amenity ID	[accessible men washroom picto] Men	[accessible men washroom picto] Men
H1.1	L2	048	Amenity ID	[accessible universal washroom picto] Washroom Braille	
H2.1	L2	049	Projecting Amenity ID	[accessible universal washroom picto] Washroom	[accessible universal washroom picto] Washroom
E2.1	L2	050	Room ID	Janitor Closet Braille	
E2.1	L2	051	Room ID	Filing Braille	
S1.2	L2	052	Stair ID - Corridor Side	[stairs picto] Floor L2 Braille Stairwell A 201 Braille	
S1.1	L2	053	Stair ID - Inside Stairwell	Floor L2 Braille Stairwell A 201 Braille	

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 – 19 – 0162 / IBI 122260

DRAWN BY:

B. FERNANDEZ

CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8108

ISSUE


0



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
S1.1	L2	060	Stair ID - Inside Stairwell	Floor L2 Braille Stairwell G 207 Braille	
S1.2	L2	061	Stair ID - Corridor Side	[stairs picto] Floor L2 Braille Stairwell G 207 Braille	
E2.1	L2	062	Room ID	Kitchen Braille	
E2.1	L2	063	Room ID	Janitor Closet Braille	
H1.1	L2	064	Amenity ID	[men washroom picto] Men Braille	
H2.1	L2	065	Projecting Amenity ID	[men washroom picto] Men	[men washroom picto] Men
E2.1	L2	066	Room ID	Mechanical Braille	
H1.1	L2	067	Amenity ID	[men/women washroom picto] Washroom Braille	
S1.1	L2	068	Stair ID - Inside Stairwell	Floor L2 Braille Stairwell F 206 Braille	
S1.2	L2	069	Stair ID - Corridor Side	[stairs picto] Floor L2 Braille Stairwell F 206 Braille	
E2.1	L2	070	Room ID	Electrical Braille	
H1.1	L2	071	Amenity ID	[women washroom picto] Women Braille	
H2.1	L2	072	Projecting Amenity ID	[women washroom picto] Women	
H1.1	L2	073	Amenity ID	[accessible women's washroom changeroom shower] Women Braille	
H2.1	L2	074	Projecting Amenity ID	[accessible women's washroom changeroom shower] Women	[accessible women's washroom changeroom shower] Women

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No.	DESCRIPTION	DATE
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ibi-group.com

PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 – 19 – 0162 / IBI 122260

DRAWN BY:

B. FERNANDEZ

CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8109

ISSUE

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1 of 1


SCALE CHECK



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A		SIDE B	
				MESSAGE (English)		MESSAGE (English)	
S1.2	L2	075	Stair ID - Corridor Side	[stairs picto] Floor L2 Braille Stairwell I 209 Braille			
S1.1	L2	076	Stair ID - Inside Stairwell	Floor L2 Braille Stairwell I 209 Braille			
E2.1	L2	077	Room ID	TPS Call Centre Braille			
E2.1	L2	078	Room ID	Lunch Room Braille			
H1.1	L2	079	Amenity ID	[men washroom picto] Men Braille			

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PROJECT TITLE

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ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:

9119 – 19 – 0162 / IBI 122260

DRAWN BY:

B. FERNANDEZ

CHECKED BY:

C.D. SCHNOBB

PROJECT MGR:

R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8110

ISSUE

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Scale Check

1 of 1

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
S1.1	L3	001	Stair ID - Inside Stairwell	Floor L3 Braille Stairwell I 309 Braille	
S1.2	L3	002	Stair ID - Corridor Side	[stairs down on the top level picto] Floor L3 Braille Stairwell I 309 Braille	
E2.1	L3	003	Room ID	Fire Services Braille	
H2.1	L3	004	Projecting Amenity ID	[accessible universal washroom picto] Washroom	[accessible universal washroom picto] Washroom
H1.1	L3	005	Amenity ID	[accessible universal washroom picto] Washroom Braille	
H2.1	L3	006	Projecting Amenity ID	[men washroom picto] Men	[men washroom picto] Men
H1.1	L3	007	Amenity ID	[men washroom picto] Men Braille	
H2.1	L3	008	Projecting Amenity ID	[women washroom picto] Women	[women washroom picto] Women
H1.1	L3	009	Amenity ID	[women washroom picto] Women Braille	
E2.1	L3	010	Room ID	Quiet Room Braille	
E2.1	L3	011	Room ID	LAN Braille	
E2.1	L3	012	Room ID	Electrical Braille	
E2.1	L3	013	Room ID	Kitchen Braille	
E2.1	L3	014	Room ID	Fire Services Braille	
E2.1	L3	015	Room ID	Fire Services Braille	
E2.1	L3	016	Room ID	Fire Service Braille	
S1.2	L3	030	Stair ID - Corridor Side	[stairs down on the top level picto] Floor L3 Braille Stairwell B 302 Braille	
E2.1	L3	031	Room ID	Waiting Room Braille	
E2.1	L3	032	Room ID	Janitor Closet Braille	

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:  
9119 – 19 – 0162 / IBI 122260

DRAWN BY:  
B. FERNANDEZ

CHECKED BY:  
C.D. SCHNOBB

PROJECT MGR:  
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8111

ISSUE


0



SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
H2.1	L3	033	Projecting Amenity ID	[accessible women washroom picto] Women	[accessible women washroom picto] Women
H1.1	L3	034	Amenity ID	[accessible women washroom picto] Women Braille	
E2.1	L3	035	Room ID	Kitchen Braille	
E2.1	L3	036	Room ID	Janitor Braille	
S1.1	L3	037	Stair ID - Inside Stairwell	Floor L3 Braille Stairwell B 302 Braille	
S1.2	L3	038	Stair ID - Corridor Side	[stairs down on the top level picto] Floor L3 Braille Stairwell B 302 Braille	
S1.2	L3	039	Stair ID - Corridor Side	[stairs down on the top level picto] Floor L3 Braille Stairwell B 302 Braille	
E2.1	L3	040	Room ID	Meeting Room Braille	
E2.1	L3	041	Room ID	Meeting Room Braille	
H1.1	L3	042	Amenity ID	[men/women washroom picto] Washroom Braille	
H2.1	L3	043	Projecting Amenity ID	[accessible men washroom picto] Men	[accessible men washroom picto] Men
H1.1	L3	044	Amenity ID	[accessible men washroom picto] Men Braille	
E2.1	L3	045	Room ID	Meeting Room Braille	
E2.1	L3	046	Room ID	Vault Storage Braille	
S1.2	L3	047	Stair ID - Corridor Side	[stairs down on the top level picto] Floor L3 Braille Stairwell A 301 Braille	
E2.1	L3	048	Room ID	Copy Room Braille	
E2.1	L3	049	Room ID	LAN Braille	

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:  
9119 – 19 – 0162 / IBI 122260

DRAWN BY:  
B. FERNANDEZ

CHECKED BY:  
C.D. SCHNOBB

PROJECT MGR:  
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8112

ISSUE

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Scale Check

1 of 1

				SIDE A	SIDE B
SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	MESSAGE (English)	MESSAGE (English)
S1.1	L3	050	Stair ID - Inside Stairwell	Floor L3 Braille Stairwell A 301 Braille	

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CITY OF TORONTO



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M5V 3C6

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PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

Fire/EMS HQ & EMS Station  
53  
4330 Dufferin St

PROJECT NO:  
9119 – 19 – 0162 / IBI 122260

DRAWN BY:  
B. FERNANDEZ

CHECKED BY:  
C.D. SCHNOBB

PROJECT MGR:  
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-229-A8113

ISSUE

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Scale Check

1 of 1



ROOM FINISH SCHEDULE																		
ROOM NUMBER	ROOM NAME	FLOOR		BASE		NORTH		EAST		SOUTH		WEST		CEILING				
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT		
BASEMENT																		
001	STAIR 1/A	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
002	STAIR 2/B	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
FIRST FLOOR																		
101	STAIR 1/A	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
102	STAIR 2/B	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
103	STAIR 3/C	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
104	STAIR 4/D	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
105	STAIR 5/E	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
106	STAIR 6/F	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
107	STAIR 7/G	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
109	STAIR 9/I	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
110	STAIR 10/J	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
112	STAIR 12/L	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
B101c	KITCHEN	EXIST	EXIST, MAT-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
B103b	FEMALE W.C.	EXIST	EXIST	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST	
B103c	MALE W.C.	EXIST	EXIST	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST, CWT-2	EXIST	EXIST	
B106a	KITCHEN / LUNCH ROOM	EXIST	EXIST, MAT-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
B108	CORRIDOR	EXIST, CONC	EXIST, PFT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST, GWB	PT-2	EXIST	
B108d	FEMALE W.C.	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
B108e	MALE W.C.	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
B115	LUNCH ROOM / SERVERY	EXIST	EXIST, MAT-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
N-B100b	UNIVERSAL W.C.	CONC	PFT-1	CONC/GWB	CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	PT-2	
SECOND FLOOR																		
201	STAIR 1/A	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
202	STAIR 2/B	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
203	STAIR 3/C	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
204	STAIR 4/D	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
205	STAIR 5/E	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
206	STAIR 6/F	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
207	STAIR 7/G	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
209	STAIR 9/I	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
212	STAIR 12/L	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
C208	MALE W.C.	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
C210	FEMALE W.C.	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
C231k	SERVERY	EXIST	EXIST, MAT-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
C239g	B.F. W.C.	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
THIRD FLOOR																		
301	STAIR 1/A	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
302	STAIR 2/B	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
309	STAIR 9/I	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
312	STAIR 12/M	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
D201	KITCHEN / LUNCH ROOM	EXIST	EXIST, MAT-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
D214	B.F. WC	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
D329	KITCHEN	EXIST	EXIST, MAT-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
D330	FEMALE W.C.	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	
D331	MALE W.C.	EXIST	EXIST	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-2	CERAMIC WALL TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	GC TO PROVIDE SAMPLE FOR APPROVAL. TILE ENTIRE WALL AREA AS INDICATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EWf-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 300 mm(12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	TAUPE	MATTE	50mm X 50mm (2"X2")	ROC BASIC	STONE TILE	SHOWER FLOOR TILE
PFT-3	PORCELAIN FLOOR TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	GC TO PROVIDE SAMPLE FOR APPROVAL. TILE ENTIRE FLOOR AREA AS INDICATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS LOWERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS UPPERS
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILINGS
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS

DOOR ABBREVIATIONS

* ALUM	DENOTES YES
ANOD	ALUMINUM ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFWO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
EXIST	EXISTING
FBM	FINGER BIOMETRIC
GWb	GYPSUM WALL BOARD
GWG	GEORGIAN WIRE GLASS
HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
ITGL	INSULATED TEMPERED (SAFETY) GLASS
KP	KEY PAD
OBM	OCULAR BIOMETRIC
PF	PRE FINISHED
PLAM	PLASTIC LAMINATE
PT	PAINT
SIM	SIMILAR
SS	STAINLESS STEEL
TGL	TEMPERED GLASS
WD	WOOD

CLIENT

CITY OF TORONTO



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ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS  
Fire/EMS HQ & EMS  
Station 53  
4330 Dufferin St

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: A. BOYNARIAN	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUITA

SHEET TITLE  
ROOM FINISH SCHEDULE

SHEET NUMBER  
G08-229-A9001

ISSUE  
0



DOOR SCHEDULE																
DOOR NO.	LOCATION	TYPE	DOOR			PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS	
			WIDTH	HEIGHT	THICKNES S	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFAO	PANIC DEVICE			
BASEMENT N-000	STAIR 2/B	Cs	1067	2135	45	HM	PT-3	GWG	HM	PT-3		BFWO	N/A	45		
FIRST FLOOR																
N-102b	STAIR 3/C	EE	1067	2135	45	ALUM	PT-3	TGL	ALUM	PT-3	N/A	BFPB/BFWO	YES.	NA		
N-B100.1	LOBBY	E	965	2135	45	HM	PT-3	TGL	HM	<-->	N/A	N/A		NA		
N-B100.2	LOBBY	E	965	2135	45	HM	PT-3	TGL	HM	<-->	N/A	N/A		NA		
N-B100b	UNIVERSAL W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B100c	MAIL ROOM	A	915	2135	45	HM	PT-3	<-->	HM	PT-3	YES	N/A	N/A	NA		
N-B102	ATRIUM	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	YES	BFWO	N/A	NA		
N-B102c	EMS OFFICE	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-B102k	EMS CACC	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B103.1	CORRIDOR	C	1067	2135	45	HM	PT-3	GWG	HM	PT-3	YES	N/A	YES	45		
N-B103.2	CORRIDOR	C	1067	2135	45	HM	PT-3	GWG	HM	PT-3	YES	N/A	YES	45		
N-B103b	FEMALE W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B103c	MALE W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B104	CORRIDOR	E	1067	2135	45	HM	PT-3	TGL	HM	PT-3	YES	BFWO	N/A	NA		
N-B105b	EMS DIV. OPER. CENTER	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	YES	BFWO	N/A	NA		
N-B105c	EMS OFFICE	A	1067	2135	45	HM	PT-3	<-->	HM	<-->	YES	N/A	N/A	NA		
N-B107a	CORRIDOR	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	45		
N-B107b	CORRIDOR	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	YES	BFWO	N/A	45		
N-B108d	FEMALE W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B108e	MALE W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B109	CORRIDOR	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B111a	CORRIDOR	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	YES	BFWO	N/A	NA		
N-B111b	CORRIDOR	A	1067	2135	45	SCWD	WD	<-->	HM	PT-3	YES	BFWO	N/A	NA		
N-B111d	MEETING ROOM	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B112	CORRIDOR	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-B113	OPEN OFFICE	Et	1067	2135	45	SCWD	WD	TGL	HM	<-->	YES	BFWO	N/A	NA		
N-B113b	OPEN OFFICE	A	1067	2135	45	SCWD	WD	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-B114a	FIRE SERVICES	A	1067	2135	45	SCWD	WD	<-->	HM	PT-3	YES	N/A	N/A	NA		
N-B114b	FIRE SERVICES	A	1067	2135	45	SCWD	WD	<-->	HM	PT-3	YES	BFWO	N/A	NA		
NE-102a	STAIR 3/C	EXIST	800	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	BFWO	N/A	EXIST	EXISTING DOOR TO REMAIN. PROVIDE NEW BFWO	
NE-B106a	KITCHEN / LUNCH ROOM	EXIST	800	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	BFWO	N/A	EXIST	EXISTING DOOR TO REMAIN. PROVIDE NEW BFWO	
NE-B109	CORRIDOR	EXIST	900	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-B112c	FIRE SERVICES	EXIST	860	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	BFWO	N/A	EXIST	EXISTING DOOR TO REMAIN. PROVIDE NEW BFWO	
SECOND FLOOR																
N-C200	OPEN OFFICE	C	1067	2135	45	HM	PT-3	GWG	HM	PT-3	YES	BFWO	N/A	45		
N-C207	KITCHEN	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-C208	MALE W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-C210	FEMALE W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-C211	EMS & FIRE SER. ACCOUN.	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-C231c	MEETING RM / WAITING AREA	G	1067	2135	45	HM	PT-3	GWG	HM	PT-3	N/A	BFWO	N/A	45		
N-C231h	OFFICE	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-C231k	OPEN OFFICE	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-C232	CORRIDOR	Et	1067	2135	45	HM	PT-3	TGL	HM	PT-3	YES	BFWO	N/A	NA		
N-C234	EMS PLANNING	Als	1067	2135	45	HM	PT-3	TGL	HM	PT-3	YES	N/A	N/A	NA		
N-C235	CORRIDOR	E	1067	2135	45	<-->	<-->	TGL	HM	<-->	YES	YES	N/A	NA		
N-C237	CORRIDOR	Et	1067	2135	45	HM	PT-3	TGL	HM	PT-3	N/A	BFWO	N/A	NA		
N-C237b	MEETING ROOM	Et	1067	2135	45	HM	PT-3	TGL	HM	PT-3	N/A	BFWO	N/A	NA		
N-C238c	OPEN OFFICE	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-C238e	OPEN OFFICE	Et	1067	2135	45	SCWD	WD	TGL	HM	PT-3	YES	N/A	N/A	NA		
N-C238i	OPEN OFFICE	Et	1067	2135	45	SCWD	WD	TGL	HM	PT-3	YES	N/A	N/A	NA		
N-C238j	OPEN OFFICE	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-C238q	OFFICE	E	1067	2135	45	SCWD	WD	TGL	HM	PT-3	YES	BFWO	N/A	NA		
N-C238r	OPEN OFFICE	Et	1067	2135	45	SCWD	WD	TGL	HM	PT-3	YES	BFWO	N/A	NA		
N-C238t	OPEN OFFICE	A	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-C239	HUMAN RESOURCES	E	1067	2135	45	HM	PT-3	TGL	HM	PT-3	YES	BFWO	N/A	NA		
N-C239b	HR OFFICE	E	1067	2135	45	HM	PT-3	TGL	HM	PT-3	N/A	N/A	N/A	NA		
N-C239g	B.F. W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-C240	CORRIDOR	A(L)	1067	2135	45	SCWD	WD	<-->	HM	PT-3	YES	BFWO	N/A	NA		
N-C240a	MALE CHANGE RM.	A	1067	2135	45	SCWD	WD	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-C240c1	TPS CALL CENTRE	E	1067	2135	45	SCWD	WD	TGL	HM	PT-3	YES	N/A	N/A	NA		
N-C240c2	TPS CALL CENTRE	E	1067	2135	45	SCWD	WD	TGL	HM	PT-3	YES	N/A	N/A	NA		
N-C240g	FEMALE CHANGE RM.	A	1067	2135	45	SCWD	WD	<-->	HM	PT-3	N/A	BFWO	N/A	NA	DOOR TO BE PROVIDED WITH CODE SYSTEM LOCK	
N-C241	WAITING AREA	G	1067	2135	45	HM	PT-3	GWG	HM	PT-3	N/A	BFWO	N/A	45		
NE-203	STAIR 3/C	EXIST	900	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-C201	EMS & FIRE SER. ACCOUN.	EXIST	850	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	BFWO	N/A	EXIST	EXISTING DOOR TO REMAIN. NEW BFWO TO OPEN BOTH DOORS SIMULTANEOUSLY	
NE-C229	CORRIDOR	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	BFWO	N/A	EXIST	
NE-C231a	OFFICE	EXIST	950	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C231b	OFFICE	EXIST	950	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C231e	OFFICE	EXIST	800	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C231f	OFFICE	EXIST	800	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C231g	OFFICE	EXIST	800	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C231i	OFFICE	EXIST	800	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C233a	GENERATOR RM.	EXIST	900	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C233b	CORRIDOR	EXIST	900	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C233c	CORRIDOR	EXIST	900	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C233d	CORRIDOR	EXIST	900	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
NE-C233e	OPEN OFFICE	EXIST	800	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	N/A	N/A	N/A	EXIST	
THIRD FLOOR																
N-D204a	FIRE SERVICES	E	1067	2135	45	SCWD	WD	TGL	HM	PT-3	N/A	BFWO	N/A	NA		
N-D204b	CORRIDOR	E	1067	2135	45	SCWD	WD	TGL	HM	PT-3	N/A	BFWO	N/A	NA		
N-D204c	FIRE SERVICES	E	1067	2135	45	SCWD	WD	TGL	HM	PT-3	N/A	BFWO	N/A	NA		
N-D205	CORRIDOR	A	1067	2135	45	SCWD	WD	<-->	HM	PT-3	N/A	N/A	N/A	NA		
N-D214	CORRIDOR	A(L)	1067	2135	45	SCWD	WD	<-->	HM	PT-3	N/A	BFWO	N/A	NA		
N-D219	CORRIDOR															