

CITY OF TORONTO ACCESSIBILITY UPGRADES

9119- 19- 0162 / IBI 122260

TORONTO ANIMAL SERVICES
1300 SHEPPARD AVE W

GROUP 08
SEQ 36



ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 08

PROJECT NO: 9119- 19- 0162 / IBI 122260		
DATE: 2021-10-19		
SHEET NUMBER G08-036-G0001	ISSUE 0	

ISSUED FOR CONSTRUCTION

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G0002	DRAWING LIST AND BUILDING CODE MATRIX

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CITY OF TORONTO



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Project Management Office
Metro Hall Toronto, ON
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CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W

PROJECT NO:
9119- 19- 0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
DRAWING LIST AND
BUILDING CODE MATRIX

SHEET NUMBER	ISSUE
G08-036-G0002	0

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620					Name of Project TORONTO ANIMAL SERVICES. ACCESSIBILITY UPGRADES Location 1300 SHEPPARD AVENUE W. NORTH YORK, TORONTO ON M3K 2A6					
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9				OBC REFERENCE			REMARKS		
					References are to Division B unless noted (A) for Division A or (C) for Division C					
1.	PROJECT DESCRIPTION		<div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration</div>		PART 11		<div><input checked="" type="checkbox"/> PART 3</div> <div><input type="checkbox"/> PART 9</div>			
					11.1 to 11.4		1.1.2. [A]		1.1.2. [A] & 9.10.1.3.	
2.	MAJOR OCCUPANCY(S)		GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANIES				3.1.2.1. (1)		9.10.2.	EXISTING NO CHANGE
	SUBSIDIARY OCCUPANCY(S)									
3.	BUILDING AREA (m²)		EXISTING - 1367.1 NEW - 9.5 TOTAL - 1376.6				1.4.1.2. [A]		1.4.1.2. [A]	
4.	GROSS AREA (m²)		EXISTING - 1367.1 NEW - 9.5 TOTAL - 1376.6				1.4.1.2. [A]		1.4.1.2. [A]	EXISTING NO CHANGE
5.	NUMBER OF STOREYS		ABOVE GRADE - 1 BELOW GRADE -				1.4.1.2. [A] & 3.2.1.1.		1.4.1.2. [A] & 9.10.4.	
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 2		EXISTING NO CHANGE				3.2.2.10. & 3.2.5.		9.10.20.	
7.	BUILDING CLASSIFICATION -		EXISTING NO CHANGE				3.2.2.67.		9.10.2.	
8.	SPRINKLER SYSTEM PROPOSED		<div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED</div>				3.2.2.67 3.2.1.5 3.2.2.17 INDEX		9.10.8.2 INDEX	EXISTING NO CHANGE
9.	STANDPIPE REQUIRED STANDPIPE PROVIDED		<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>				3.2.9.		N/A	EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED FIRE ALARM PROVIDED		<div><input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</div>				3.2.4.		9.10.18.	EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE		<div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</div>				3.2.5.7.		N/A	EXISTING NO CHANGE
12.	HIGH BUILDING		<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>				3.2.6.		N/A	
13.	CONSTRUCTION RESTRICTIONS		<div><input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE REQUIRED <input type="checkbox"/> BOTH <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH</div>				3.2.2.67.		9.10.6.	EXISTING NO CHANGE
	ACTUAL CONSTRUCTION									
14.	MEZZANINE (S) AREA m²		N/A				3.2.1.1. (3) - (8)		9.10.4.1.	
15.	OCCUPANT LOAD BASED ON		<div><input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING</div>				3.1.17.		4.9.13.	EXISTING NO CHANGE
	1ST FLOOR:		OCCUPANCY _____ LOAD _____ PERSONS							
	2ND FLOOR:		OCCUPANCY _____ LOAD _____ PERSONS							
	MEZZANINE FLOOR:		OCCUPANCY _____ LOAD _____ PERSONS							
16.	BARRIER FREE DESIGN		<div><input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)</div>				3.8.		9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES		<div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>				3.3.1.2 & 3.3.1.19		9.10.1.3.(4)	
18a.	REQUIRED FIRE	HORIZONTAL ASSEMBLIES FRR (HOURS)		LISTED DESIGN NO. OR DESCRIPTION (SB-2)		3.2.2.67. & 3.2.1.4.		9.10.8. 9.10.9.		
	RESISTANCE RATING	FLOORS NO CHANGE								
	(FRR)	ROOF NO CHANGE								
		MEZZANINE N/A								

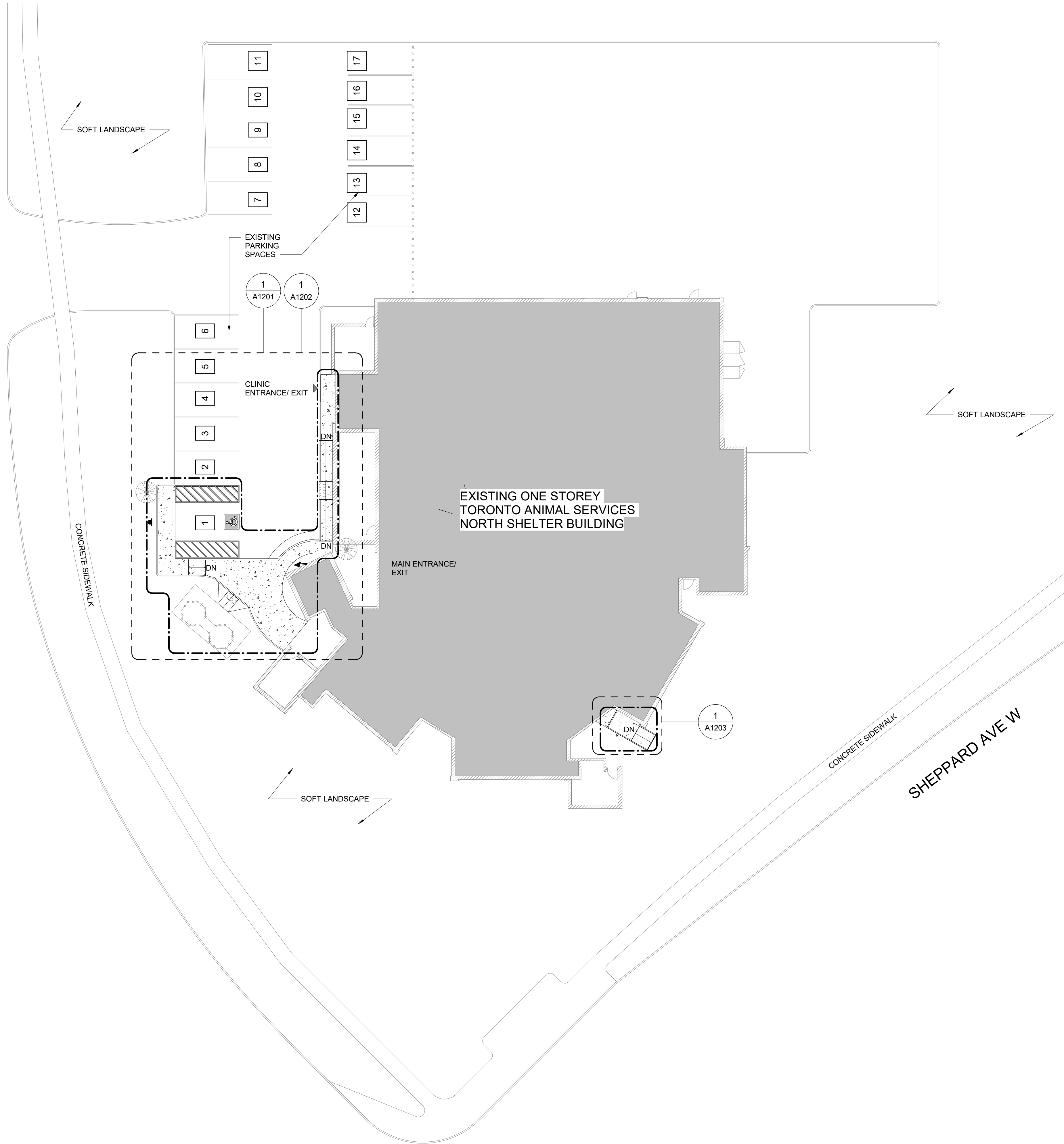
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9								OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C			REMARKS								
	18b. REQUIRED FIRE RESISTANCE RATING (FRR)		FRR OF SUPPORTING MEMBERS FLOORS <u>NO CHANGE</u>		LISTED DESIGN NO. OR DESCRIPTION (SB-2)				SB-2 TABLE 2.1.1.											
			ROOF <u>NO CHANGE</u>						SB-2 TABLE 2.1.1.											
			MEZZANINE																	
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS								3.2.3.		9.10.14.		EXISTING NO CHANGE							
	WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC-GLAZING	NON-COMB. CONST.									
	NORTH					-	0	-	-	-										
	SOUTH					-	0	-	-	-										
	EAST					-	0	-	-	-										
	WEST					-	0	-	-	-										
20.	PLUMBING FIXTURE REQUIREMENTS												OBC REFERENCE							
	MALE / FEMALE COUNT @ % / % EXCEPT AS NOTED OTHERWISE										EXISTING NO CHANGE		<input checked="" type="checkbox"/> PART 3	<input type="checkbox"/> PART 9						
	MAJOR OCCUPANCY _____										OCCUPANT LOAD		OBC TABLE NUMBER		FIXTURES REQUIRED		FIXTURES PROVIDED			
											29 MALE		3.7.4.7.		3		4		3.7.4.7.	
											29 FEMALE		3.7.4.7.		3		3		3.7.4.7.	
21.	EXITS/ ACCESS TO EXIT-														EXISTING NO CHANGE					
22.	OTHER (DESCRIBE) -																			

ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building					OBC REFERENCE		REMARKS
11.1	EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)				11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N		
11.2	ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>				11.3.3.1. 11.3.3.2.		
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES	11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.		
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:			<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)	11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6		
11.5	COMPLIANCE ALTERNATIVES PROPOSED:	<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)				11.5.1		



IMAGE SOURCE: GOOGLE MAPS

2 KEY MAP
A1001 Scale: NTS



SITE LEGEND

NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701

ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702

EXISTING MAIN ENTRANCE

EXISTING EXIT TO REMAIN

NEW PAINTED LINE MARKING
DETAIL - REFER TO DETAIL 3/D1701

DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

1

SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.

2

CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.

3

VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

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CONSULTANTS

SEAL

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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

TORONTO ANIMAL SERVICES
1300 SHEPPARD AVE W

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

SITE PLAN

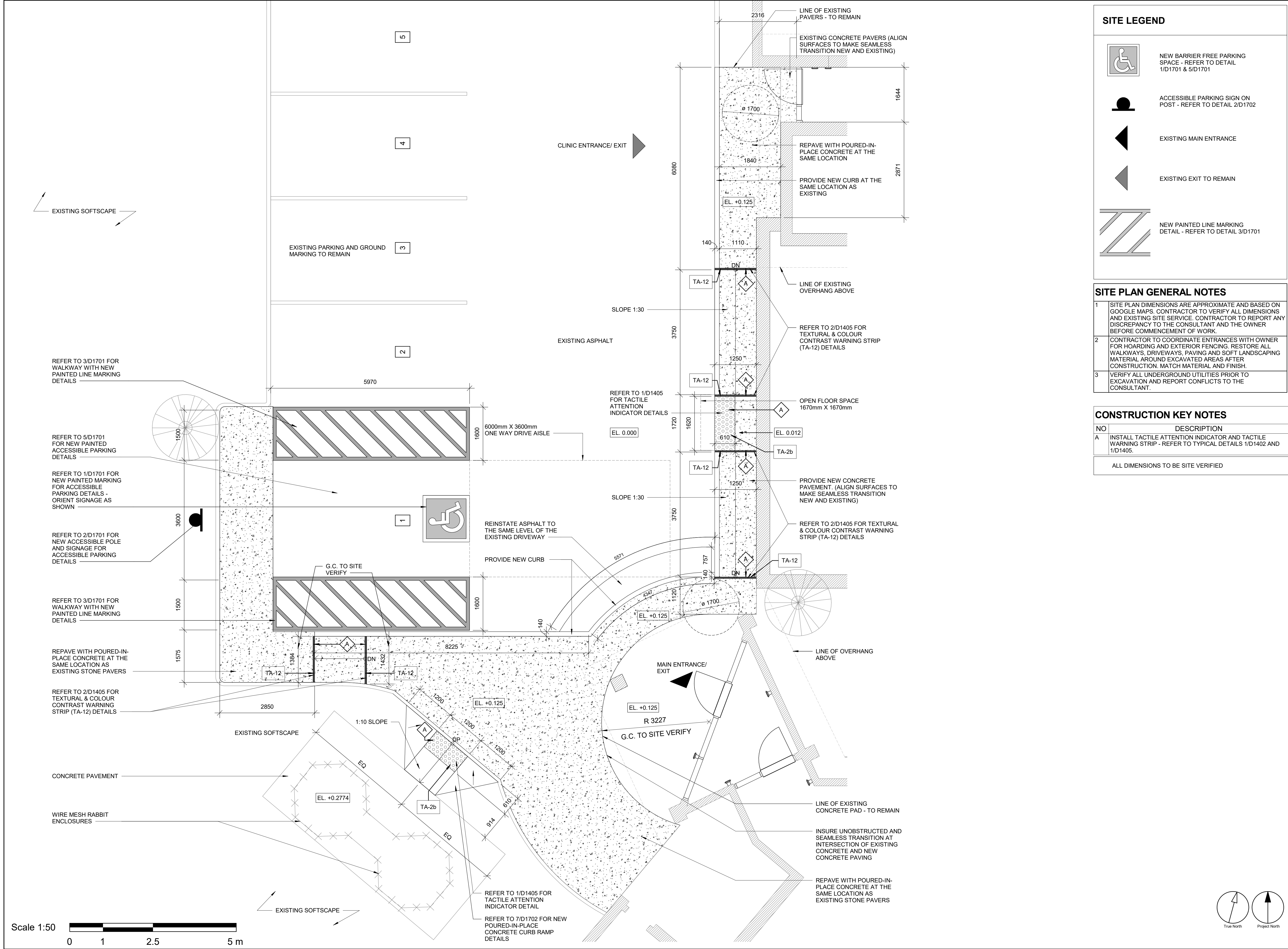
SHEET NUMBER

G08-036-A1001

ISSUE

0

1 SITE PLAN
A1001 Scale: 1 : 200



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ACCESSIBILITY UPGRADES

PROJECT ADDRESS
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1300 SHEPPARD AVE W

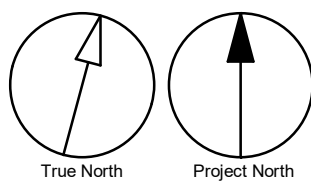
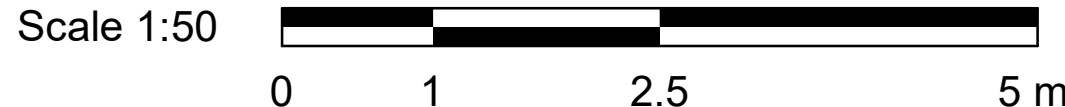
PROJECT NO:
9119- 19- 0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUITA

SHEET TITLE
ENLARGED SITE PLAN - PARKING

SHEET NUMBER G08-036-A1202	ISSUE 0
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1 SITE PLAN - EXTERIOR RAMP DEMILITION PLAN
A1203 / Scale: 1 : 25

REMOVE PAVERS AND PREPARE SURFACE
TO RECEIVE NEW CONCRETE RAMP

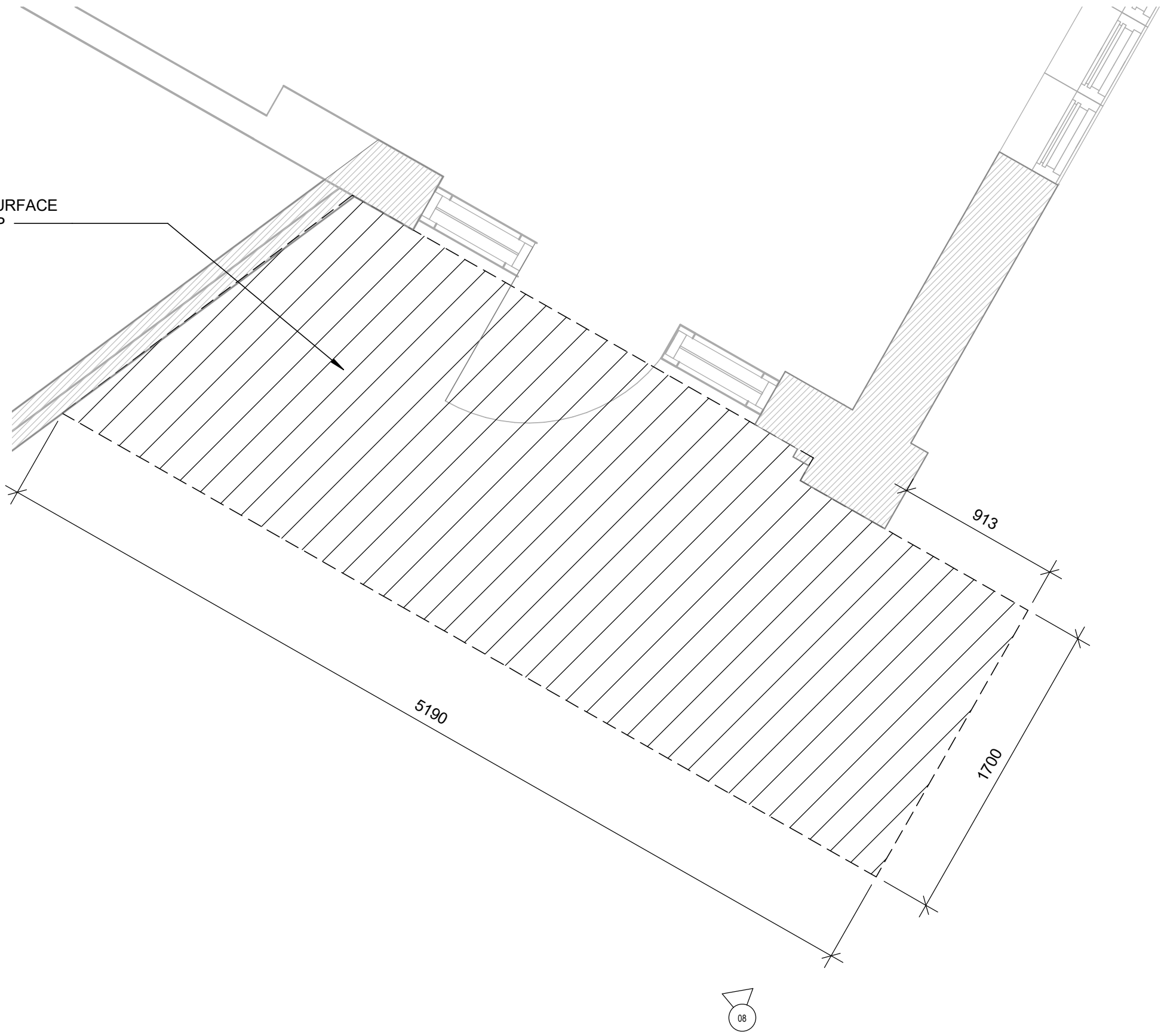


PHOTO 08 - BACK ENTRANCE. PAVERS

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN

DEMOLITION GENERAL NOTES

- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

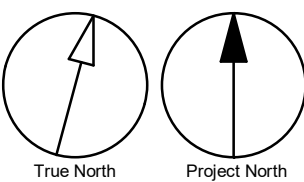
PROJECT ADDRESS
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SERVICES
1300 SHEPPARD AVE W**

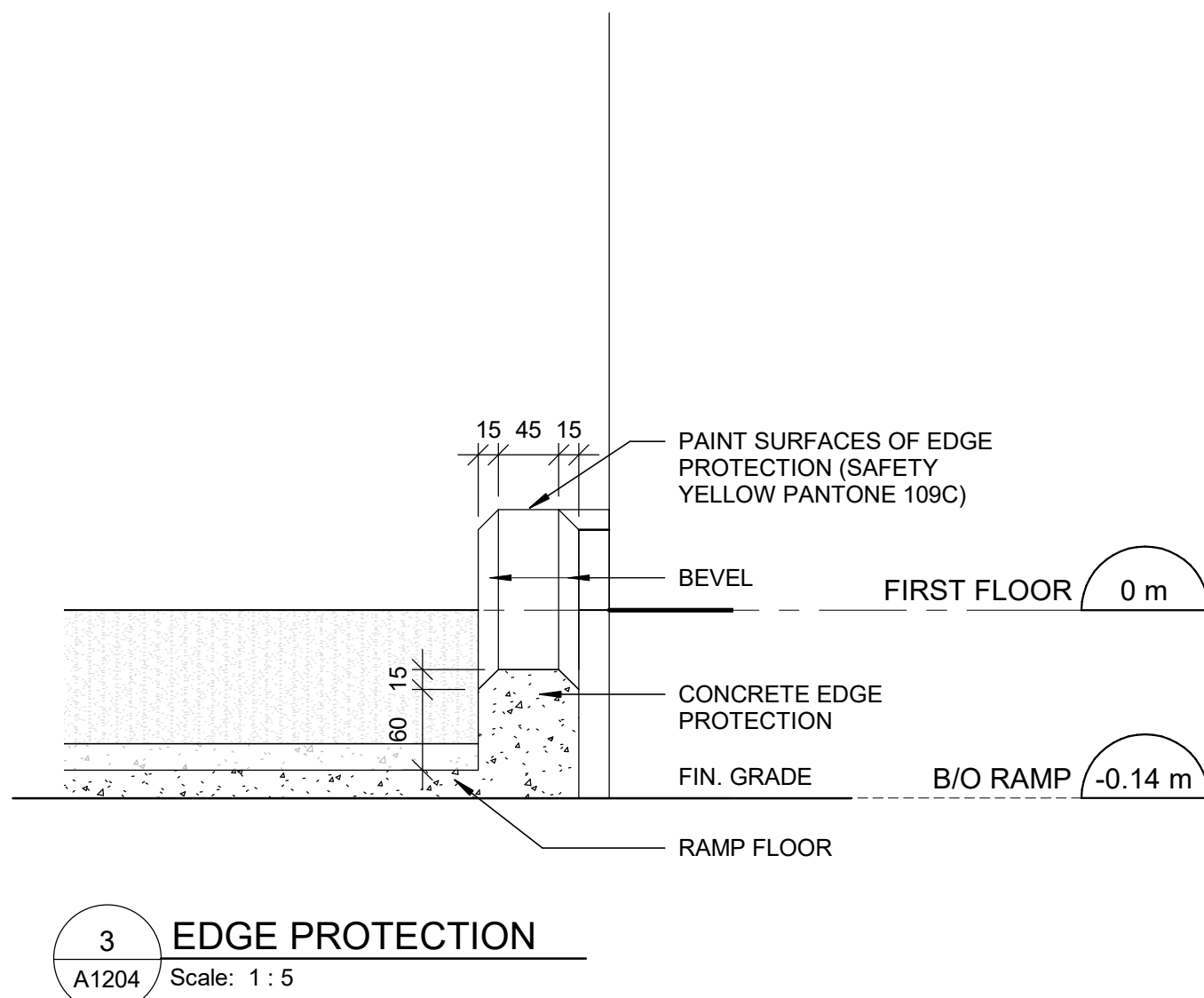
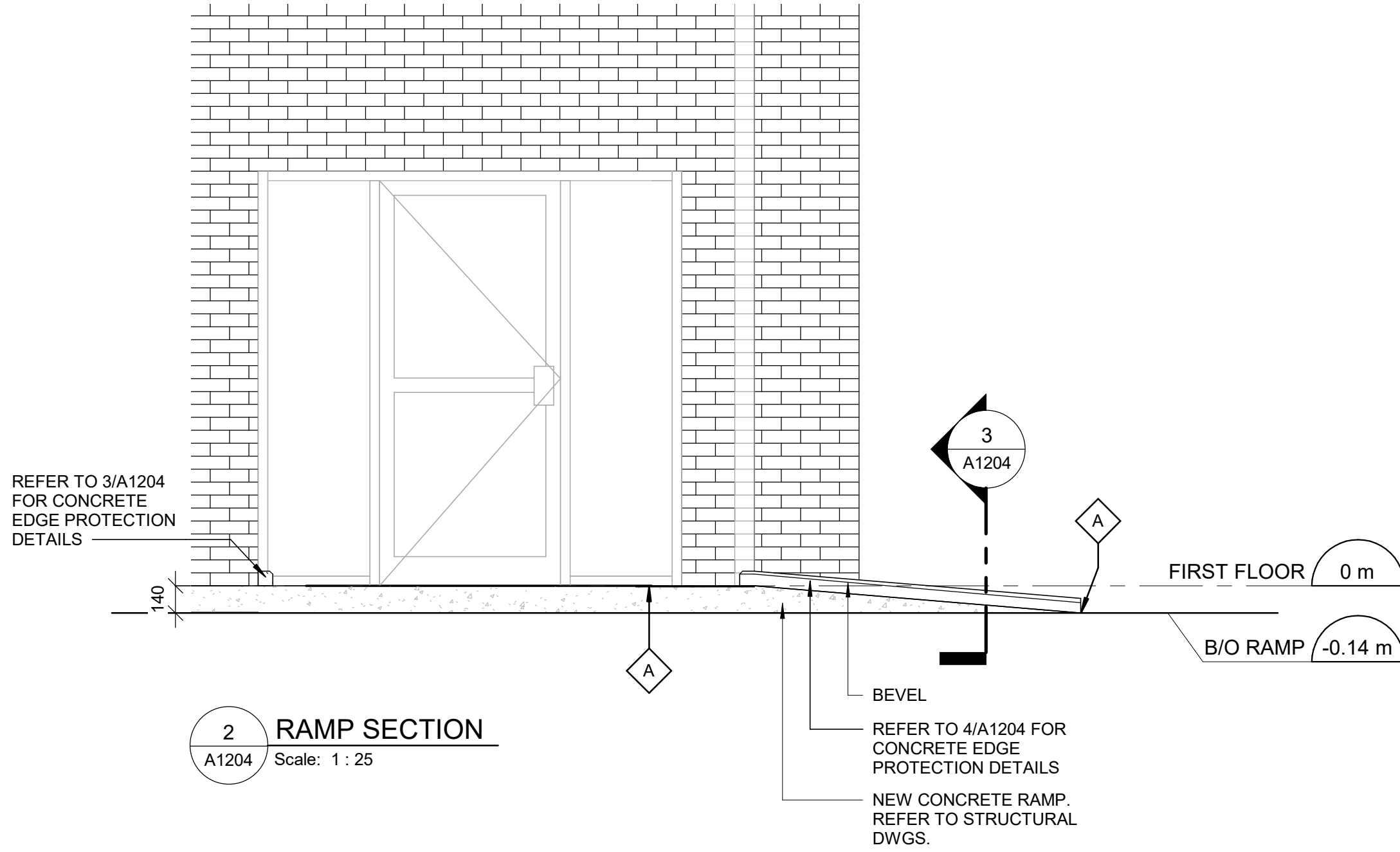
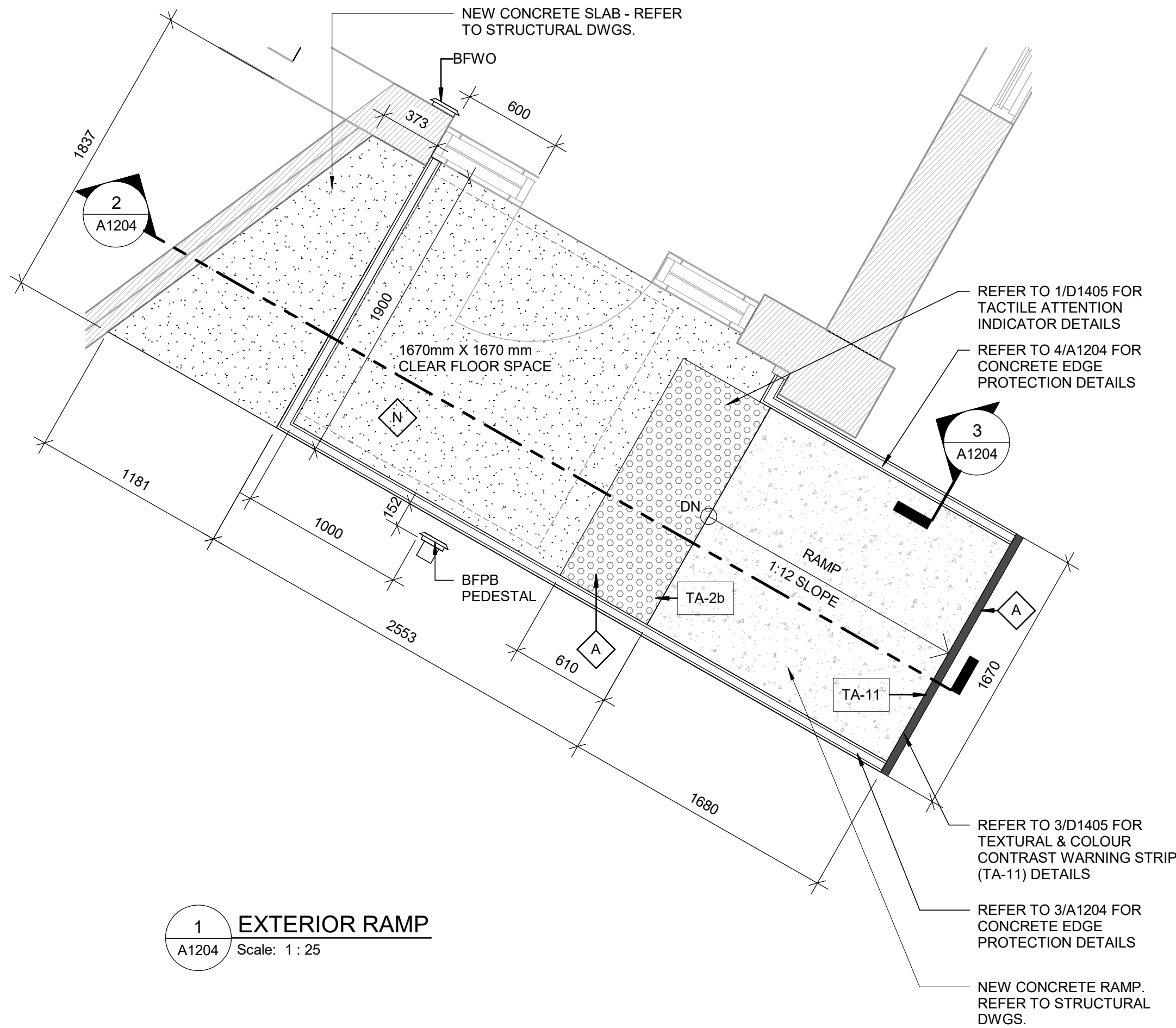
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DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**DEMOLITION SITE PLAN -
EXTERIOR RAMP**

SHEET NUMBER G08-036-A1203	ISSUE 0
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CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- 3 REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
N	INSTALL NEW CONCRETE RAMP - REFER TO TYPICAL DETAIL 2/D1403, 3/D1403, 1/D1404, AND 2/D1404.

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PROJECT ADDRESS
**TORONTO ANIMAL
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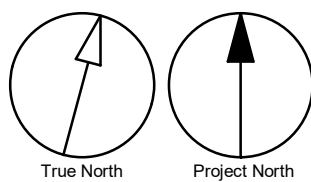
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DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**ENLARGED SITE PLAN -
EXTERIOR RAMP**

SHEET NUMBER
G08-036-A1204

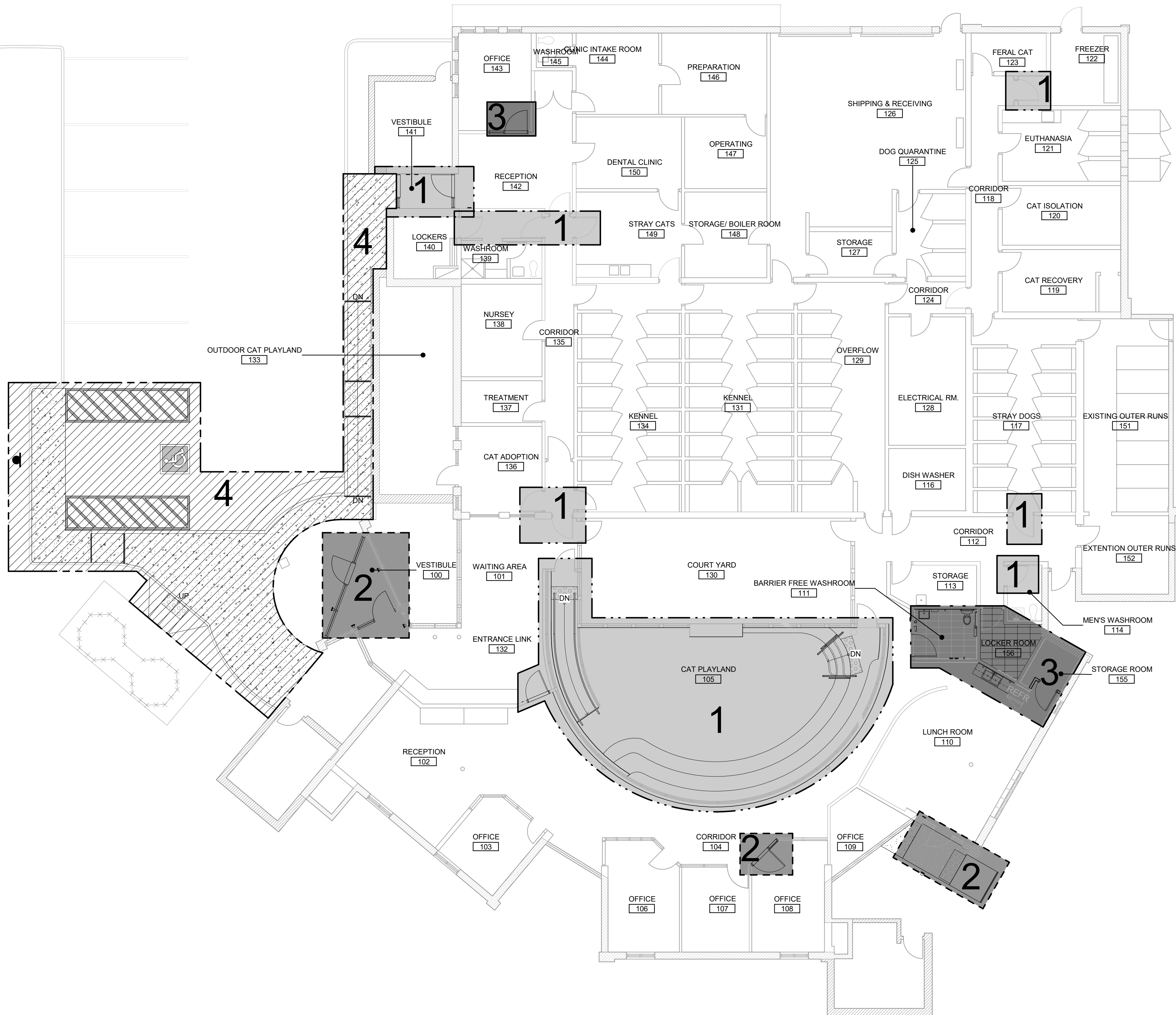
ISSUE
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2021-10-19 3:44:04 PM

Scale 1:100

0 2.5 5 10 m



CONSTRUCTION STAGING LEGEND

	STAGE 1
	STAGE 2
	STAGE 3
	STAGE 4

STAGING GENERAL NOTES

- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.
- PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.
- IF EXISTING FIRE ALARM SYSTEM NEEDS TEMPORARILY TO BE INTERRUPTED TO COMPLETE THE WORK A FULL-TIME FIRE WATCH SHALL BE PROVIDED.
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

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0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

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175 Galaxy Blvd, Unit 100
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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W**

PROJECT NO:
9119- 19- 0162 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUITA

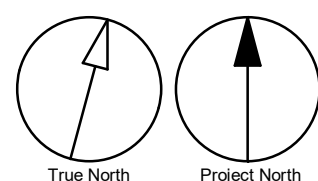
SHEET TITLE
**FIRST FLOOR STAGING
PLAN**

SHEET NUMBER

G08-036-A2011

ISSUE

0



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SCALE CHECK
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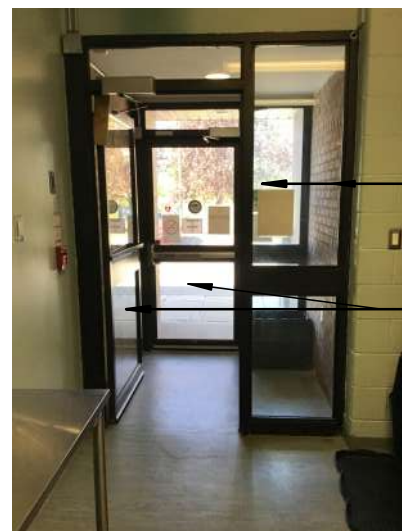


PHOTO 09 - CLINIC ENTRANCE, INTERIOR DOOR



PHOTO 10 - MAIN ENTRANCE, EXTERIOR DOOR



PHOTO 11 - MAIN ENTRANCE, INTERIOR DOOR



PHOTO 12 - INTERIOR RAMP



PHOTO 13 - CAT PLAYGROUND



PHOTO 14 - CORRIDOR

REMOVE EXISTING WASHROOM ACCESSORIES



PHOTO 15 - UNIVERSAL WASHROOM LAVATORY

REMOVE EXISTING PLUMBING FIXTURES

REMOVE EXISTING WASHROOM ACCESSORIES

REMOVE EXISTING PLUMBING FIXTURES



PHOTO 16 - UNIVERSAL WASHROOM

REMOVE EXISTING PLUMBING FIXTURES

REMOVE EXISTING MILLWORK

PROTECT AND STORE EXISTING FIRE EXTINGUISHER AND ALL EXISTING WALL ACCESSORIES READY TO RELOCATE AFTER INSTALLING NEW MILLWORK. STORAGE LOCATION TO BE COORDINATED WITH OWNER. FOR NEW LOCATION REFER TO A7111



PHOTO 17 - EXISTING KITCHENETTE

REMOVE EXISTING MILLWORK

PROTECT AND STORE EXISTING FRIDGE READY TO RELOCATE AFTER INSTALLING NEW MILLWORK. STORAGE LOCATION TO BE COORDINATED WITH OWNER



PHOTO 18 - LUNCH ROOM KITCHENETTE AND FRIDGE

REMOVE EXISTING BASEBOARD

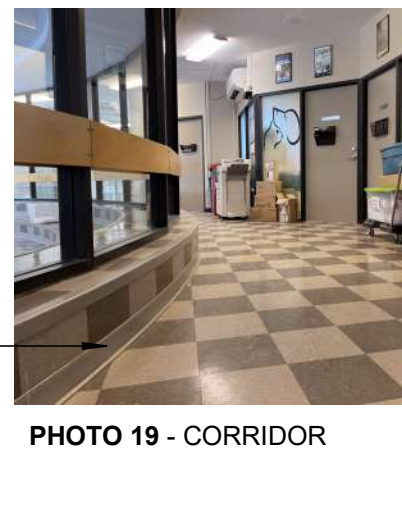


PHOTO 19 - CORRIDOR

DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING INTERIOR PARTITION TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR, FRAME, AND ASSOCIATED HARDWARE TO BE REMOVED
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION GENERAL NOTES

- REMOVE EXISTING ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AS IDENTIFIED IN THE ELECTRICAL DRAWINGS. RE-ROUTE MECHANICAL & ELECTRICAL AS REQUIRED.
- REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM. MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

DEMOLITION KEY NOTES

NO	DESCRIPTION
3	REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.
5	REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME IF REQUIRED. PATCH AND FILL AS REQUIRED. REFER TO DETAIL 1/D1002, 2/D1002 AND 1/D2300
6	REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES. CAP PLUMBING PIPES.
7	REMOVE EXISTING MILLWORK.
9	REPAIR EXISTING WALL. PATCH AND MAKE GOOD ALL ADJACENT SURFACES DAMAGED DURING CONSTRUCTION.
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.
11	REMOVE EXISTING GUARDRAIL, HANDRAIL AND HANDRAIL POST BASE. PATCH AND MAKE GOOD ALL SURFACES.
28	REMOVE EXISTING WASHROOM ACCESSORIES AND PREPARE WALL SURFACE FOR NEW ACCESSORIES. PATCH, REPAIR AND MAKE GOOD EXISTING WALL AND WALL FINISHES.
30	CURTAIN WALL, GLAZING, EXTERIOR DOOR AND HARDWARE TO BE REMOVED.

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CITY OF TORONTO

Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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CONSULTANTS

SEAL



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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W

PROJECT NO:
9119- 19- 0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

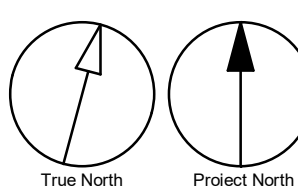
SHEET TITLE
FIRST FLOOR
DEMOLITION PLAN

SHEET NUMBER

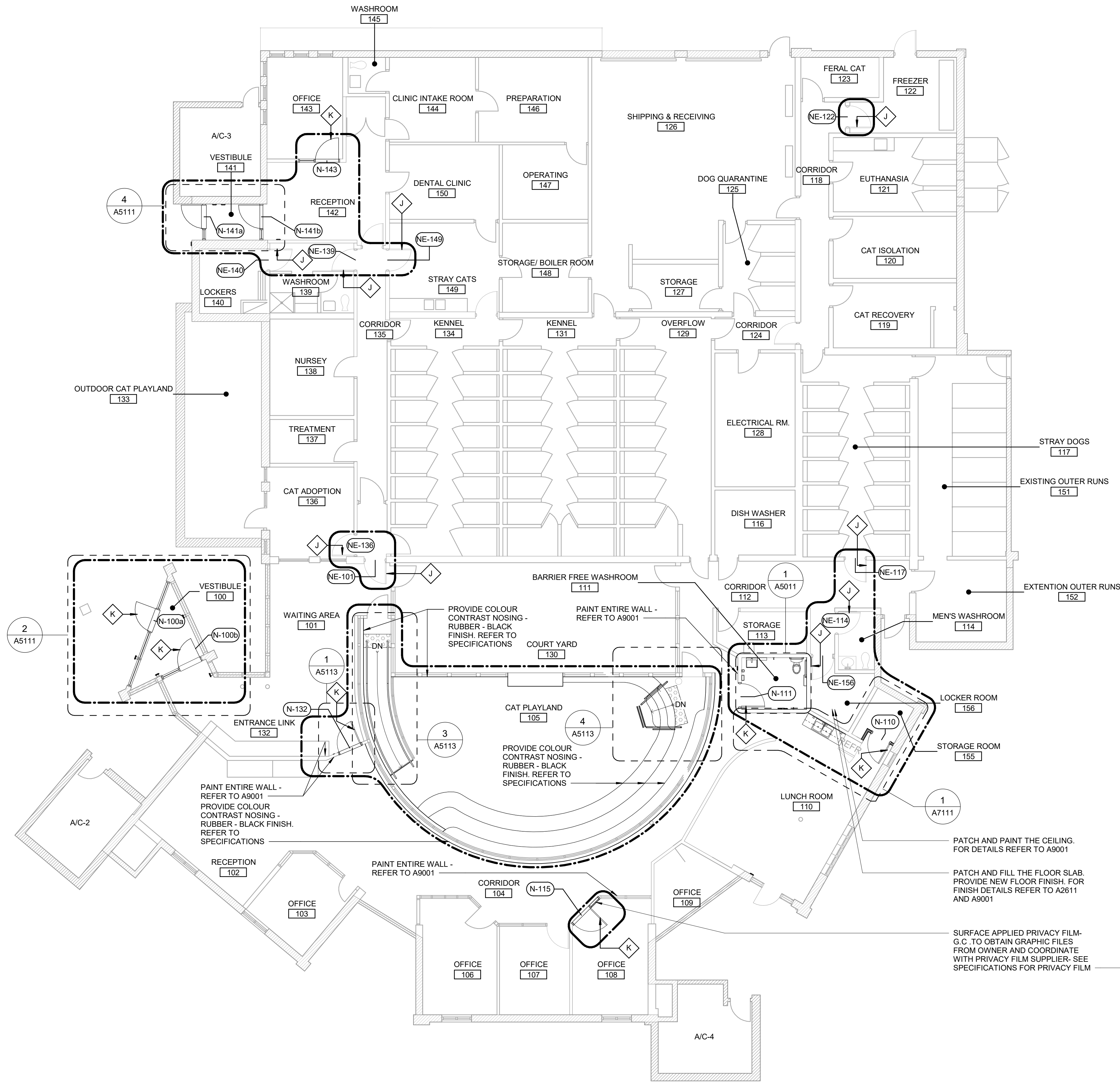
G08-036-A2111

ISSUE

0



Scale 1:100
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CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR NEW HARDWARE
- DASHED AREA INDICATES AREA OF WORK

CONSTRUCTION GENERAL NOTES

- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- 3 REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.



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CONSULTANTS

SEAL



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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

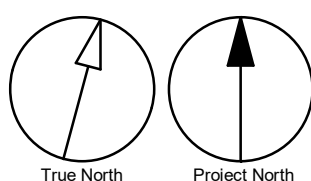
PROJECT ADDRESS
**TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W**

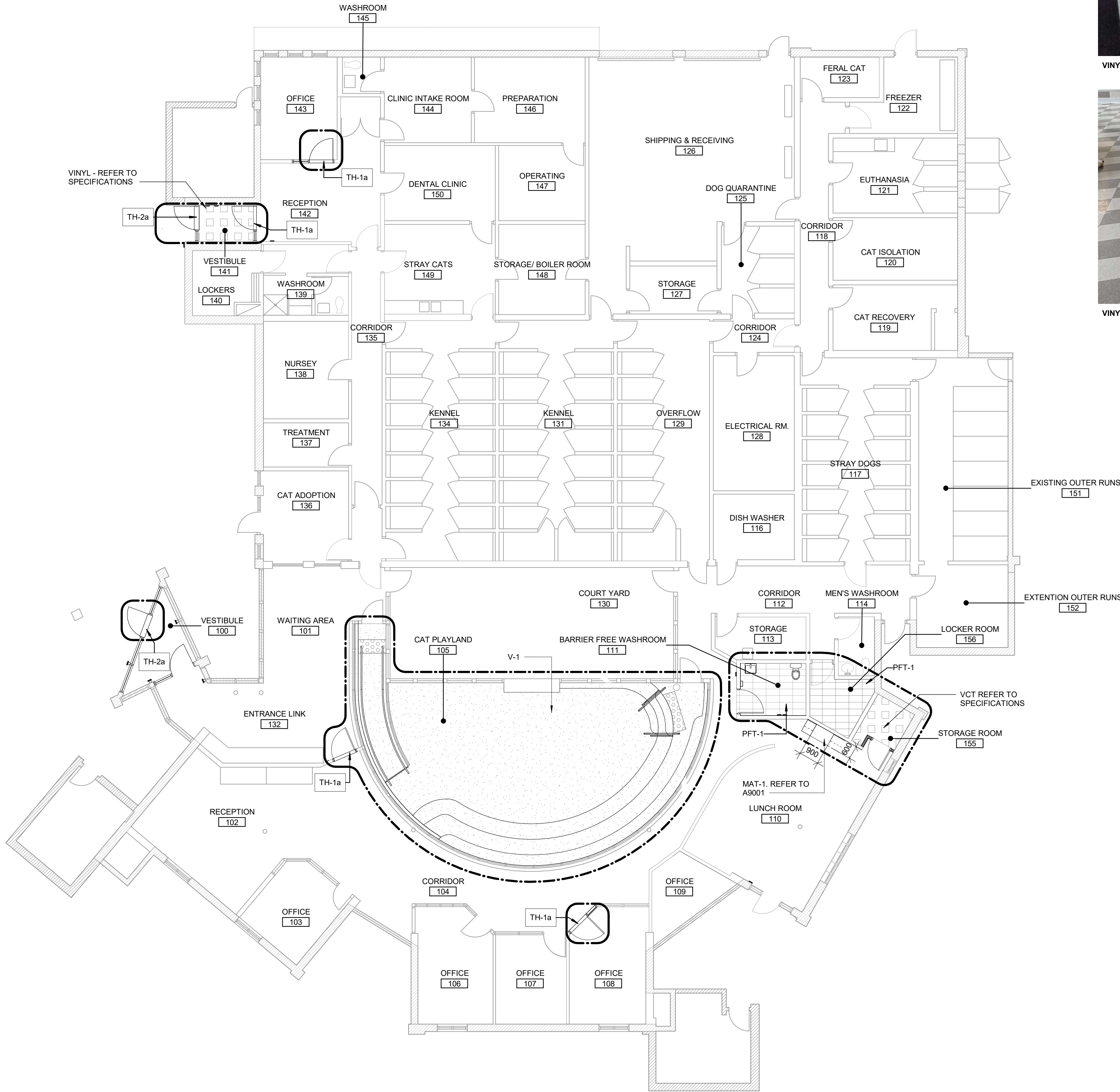
PROJECT NO:
9119- 19- 0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**FIRST FLOOR
PROPOSED PLAN**

SHEET NUMBER	ISSUE
G08-036-A2411	0





VINYL - REFER TO SPECIFICATIONS

TH-2a

RECEPTION
142

TH-1a

VESTIBULE
141

LOCKERS
140

WASHROOM
139

NURSEY
138

TREATMENT
137

CAT ADOPTION
136

KENNEL
134

KENNEL
131

OVERFLOW
129

ELECTRICAL RM.
128

DISH WASHER
116

STRAY DOGS
117

CAT RECOVERY
119

CAT ISOLATION
120

EUTHANASIA
121

FREEZER
122

FERAL CAT
123

SHIPPING & RECEIVING
126

STORAGE/BOILER ROOM
148

STRAY CATS
149

DENTAL CLINIC
150

OPERATING
147

PREPARATION
146

CLINIC INTAKE ROOM
144

WASHROOM
145

OFFICE
143

TH-1a

TH-2a

ENTRANCE LINK
132

WAITING AREA
101

VESTIBULE
100

TH-2a

TH-1a

OFFICE
103

OFFICE
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FLOOR FINISHES LEGEND

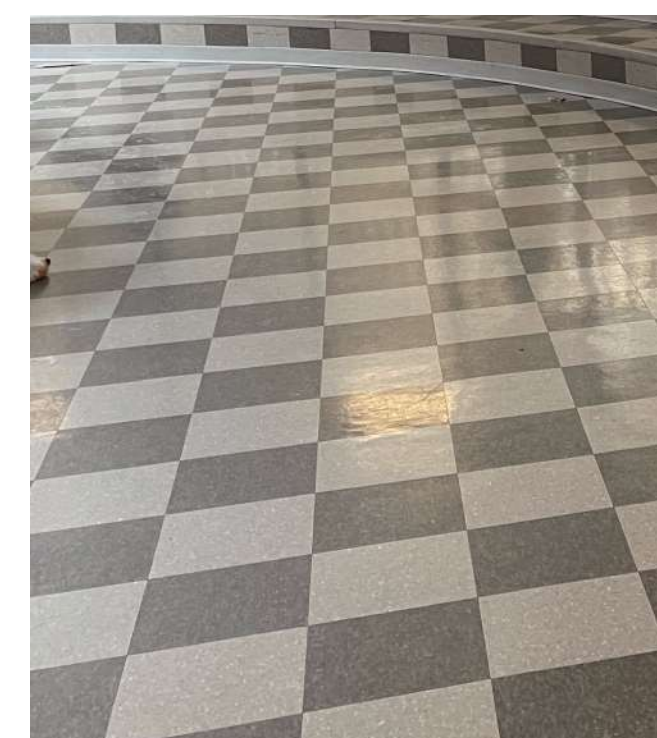
- VINYL COMPOSITE TILE
- PORCELAIN TILE
- HOMOGENEOUS SHEET FLOORING
- FLOOR FINISH TO MATCH EXISTING
REFER TO ROOM FINISH SCHEDULE
- DASHED AREA INDICATES
AREA OF WORK

FLOOR FINISH GENERAL NOTES

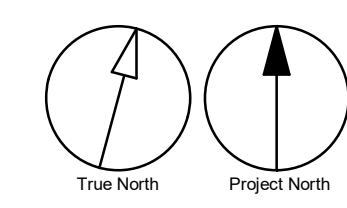
- CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
- CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
- WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.



VINYL - 1. EXISTING FLOORING



VINYL - 2. EXISTING FLOORING



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ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

ONTARIO ASSOCIATION
2021.10.19
ARCHITECTS
May Kuo
LICENCE
7555

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PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

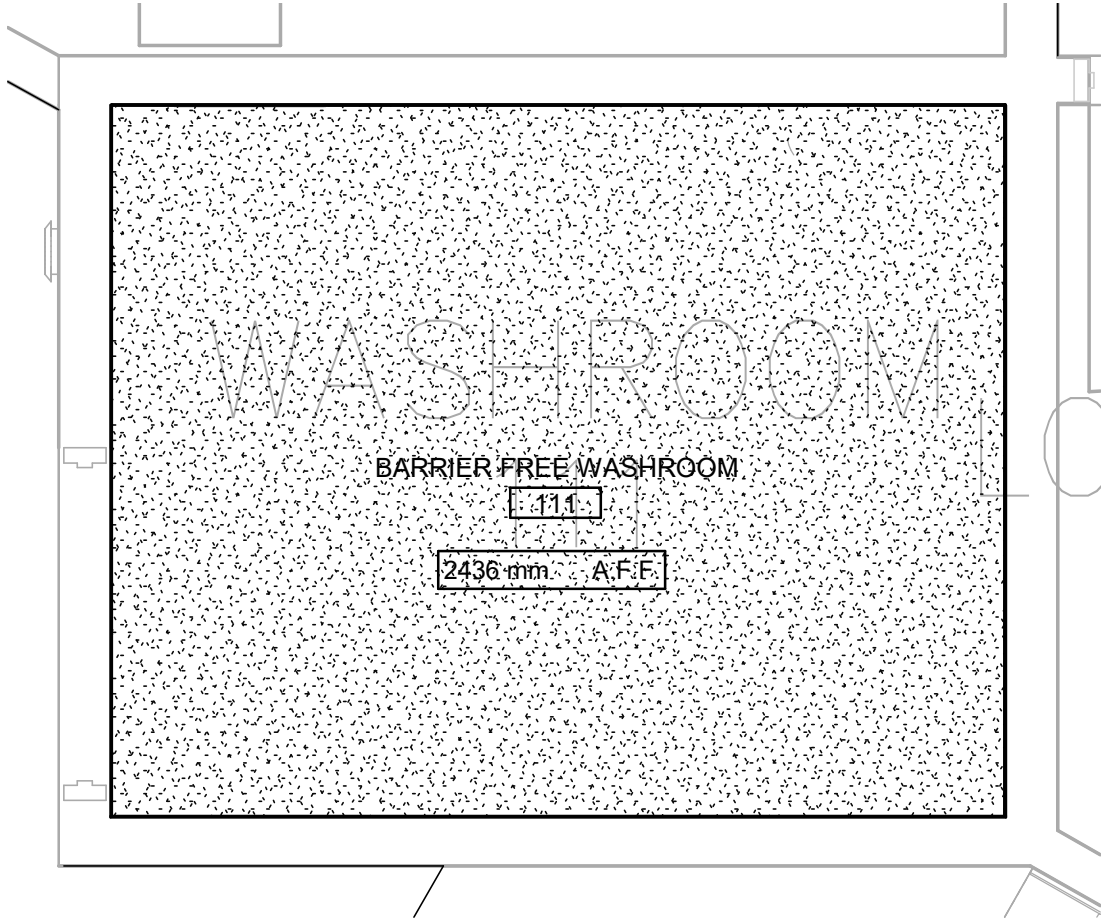
FIRST FLOOR FINISH
PLAN

SHEET NUMBER

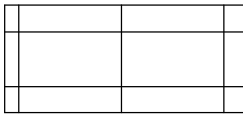
G08-036-A2611

ISSUE

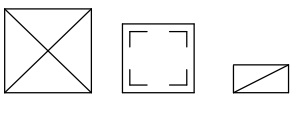
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CEILING LEGEND

 SUSPENDED METAL GRID
AND LAY-IN ACOUSTIC TILE
SIZE TO MATCH EXISTING

 GYPSUM BOARD CEILING
AND BULKHEAD

 SUPPLY / RETURN DUCT

 CEILING, PENDANT OR
WALL MOUNTED LUMINAIRE

 CEILING OR PENDANT
MOUNTED LUMINAIRE

 DASHED AREA INDICATES
AREA OF WORK

CEILING GENERAL NOTES

- 1 FOR LOCATION OF ELECTRICAL FIXTURES INCLUDING EXIT SIGNS. REFER TO ELECTRICAL DRAWINGS.
- 2 FOR LOCATION & TYPE OF MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS.
- 3 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

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ACCESSIBILITY UPGRADES**

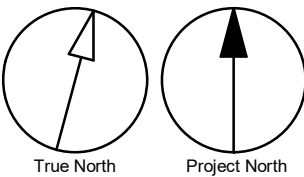
PROJECT ADDRESS
**TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W**

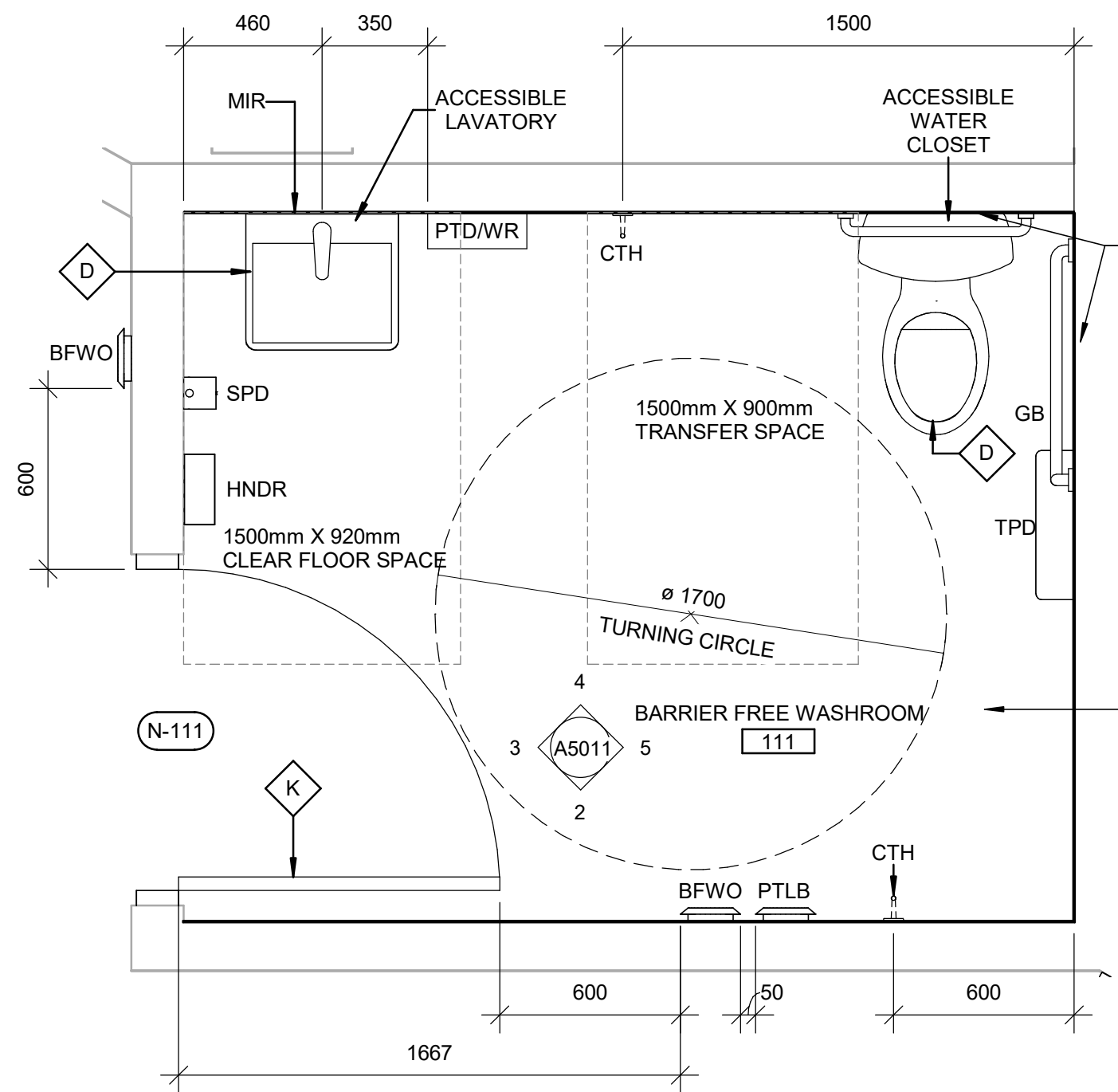
PROJECT NO:
9119- 19- 0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: S. KEVORKIAN

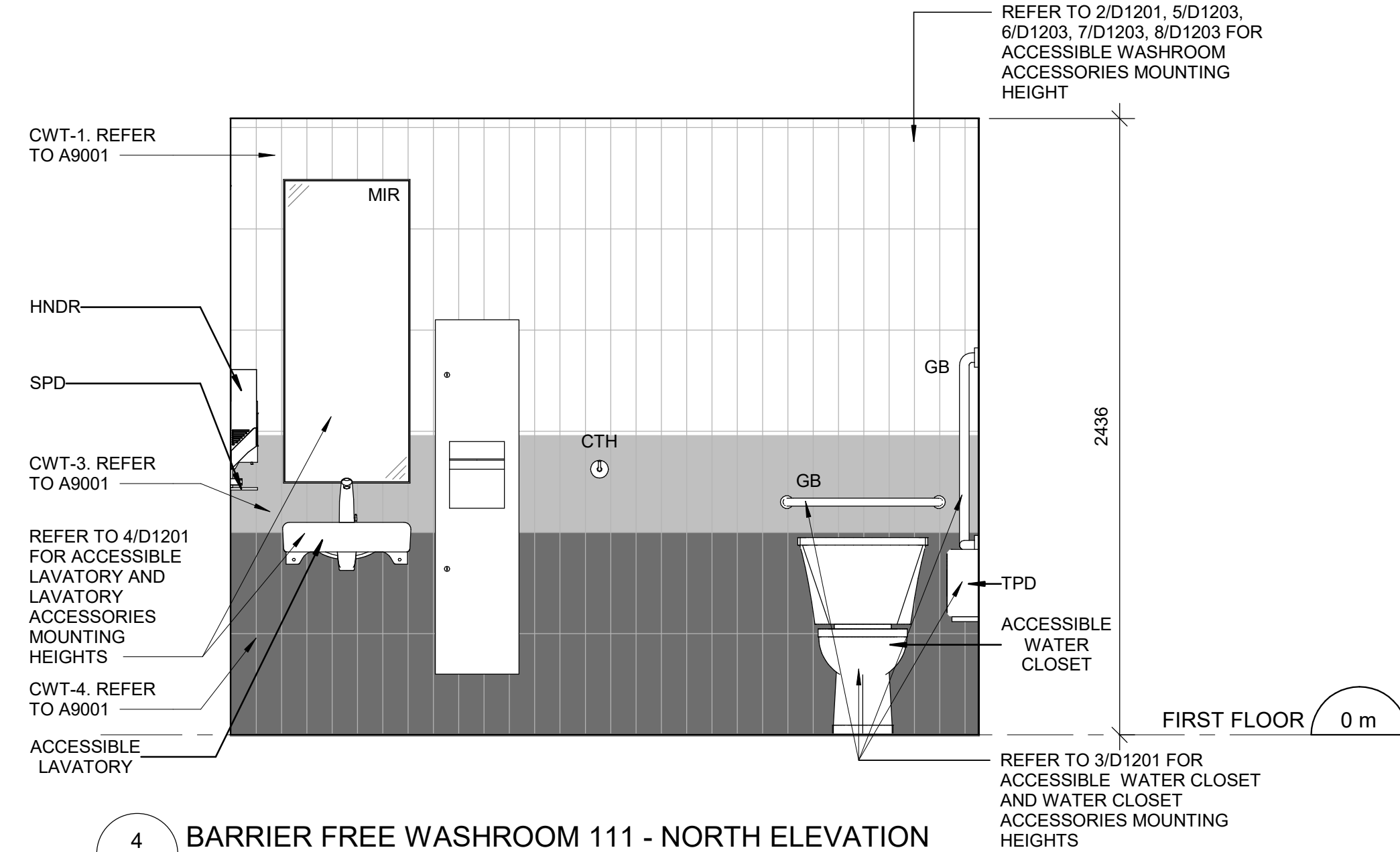
SHEET TITLE
**FIRST FLOOR
REFLECTED CEILING
PLAN**

SHEET NUMBER G08-036-A2811	ISSUE 0
--------------------------------------	-------------------

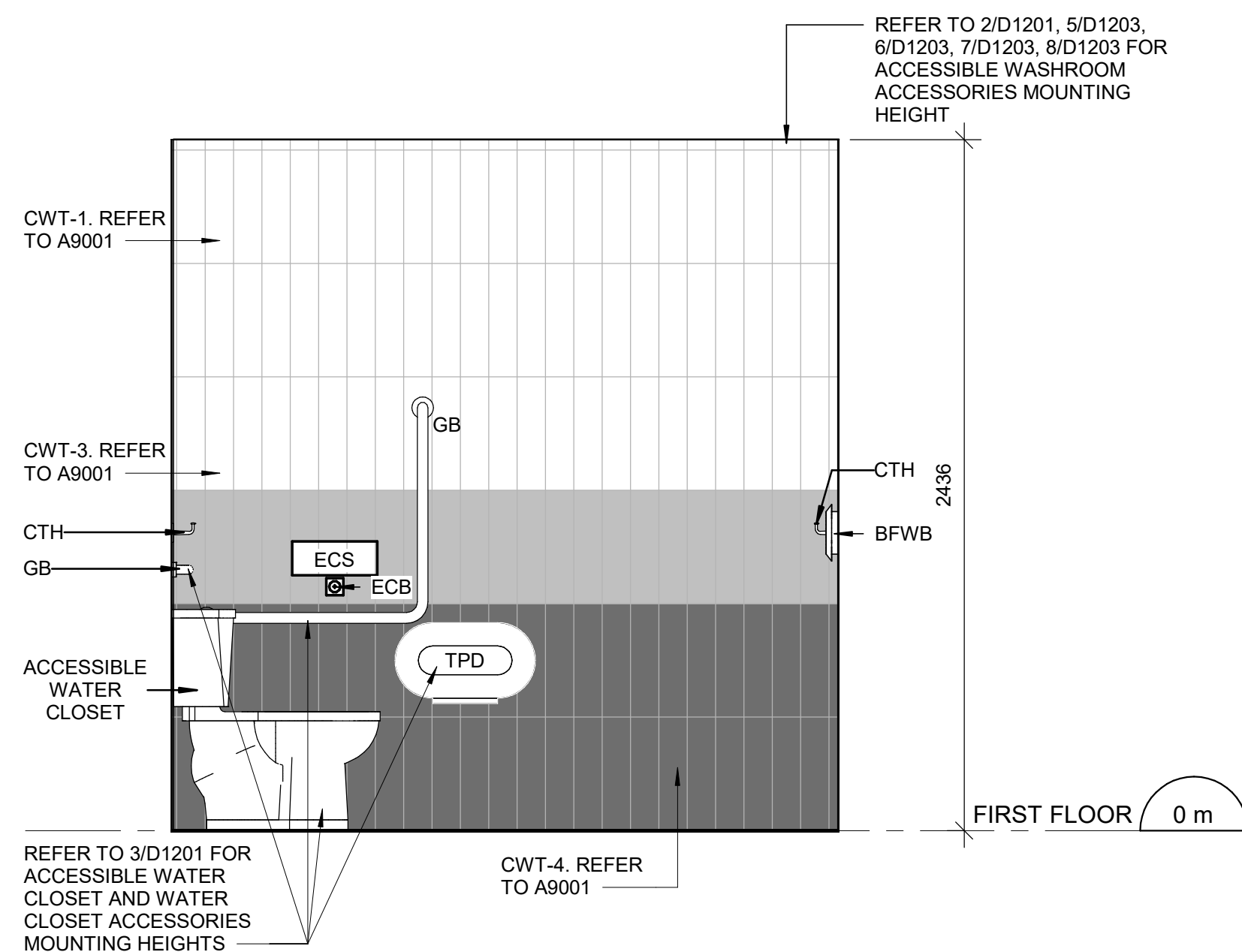




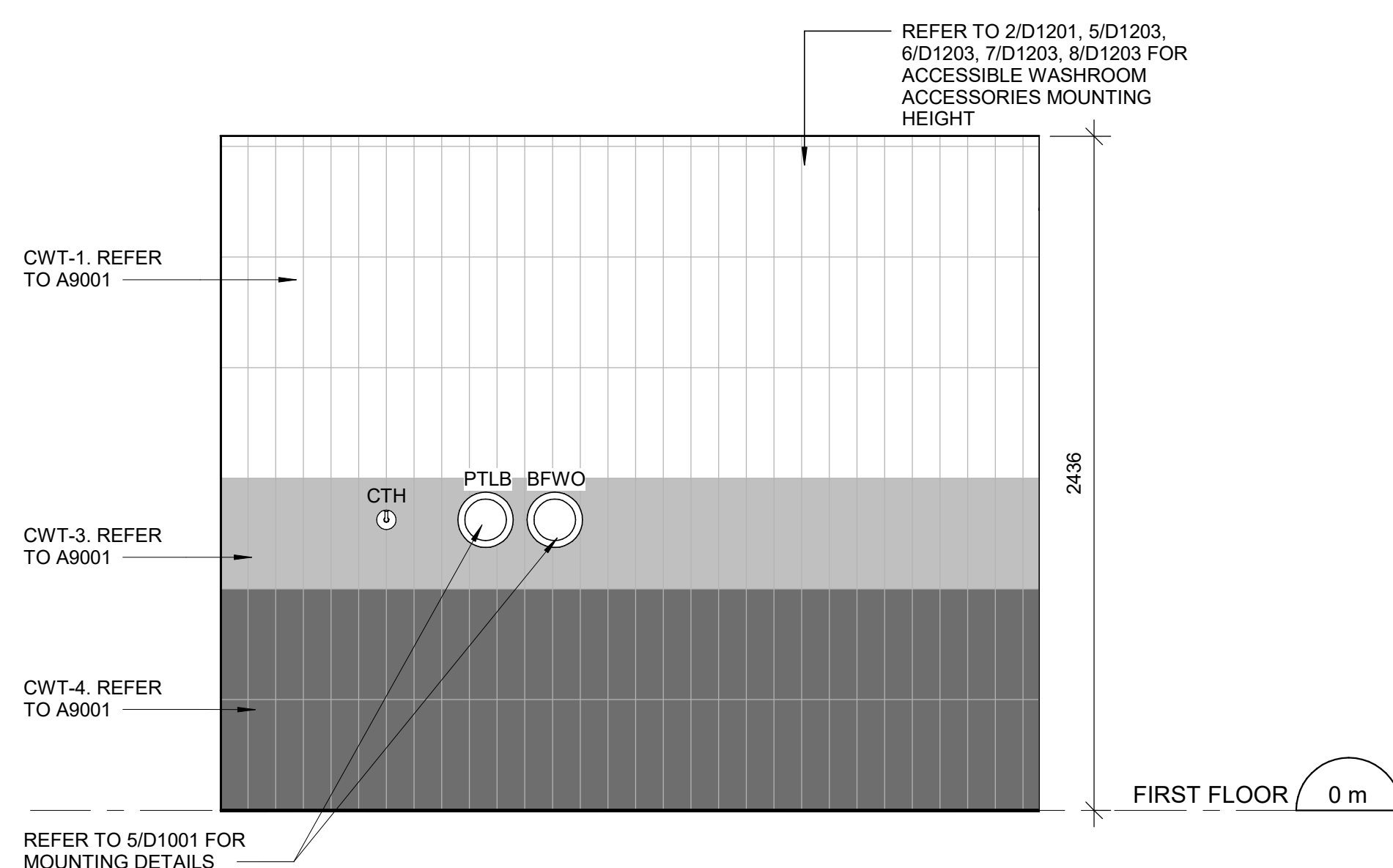
1 FIRST FLOOR PROPOSED - BARRIER FREE WASHROOM 111
A5011 Scale: 1 : 20



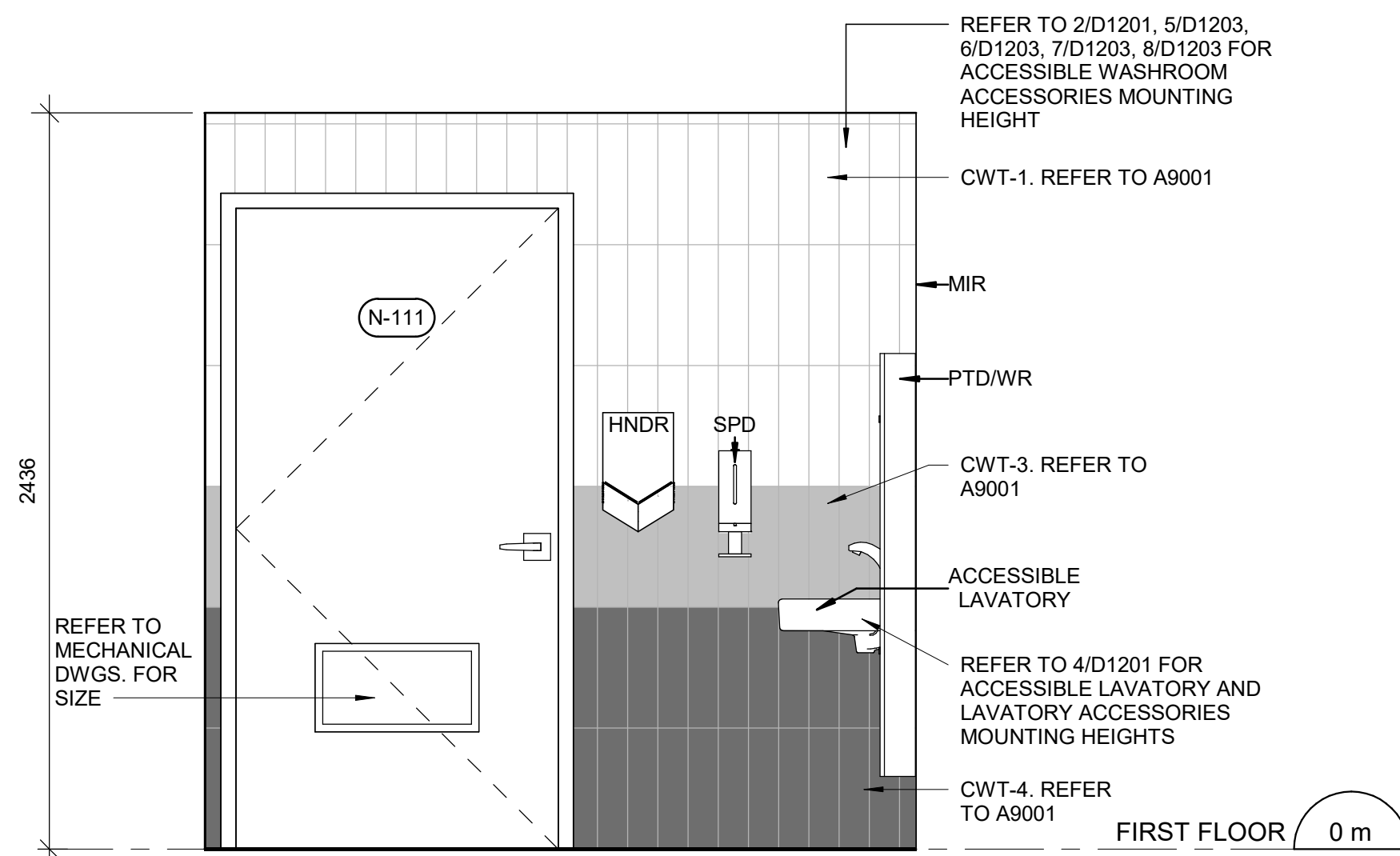
4 BARRIER FREE WASHROOM 111 - NORTH ELEVATION
A5011 Scale: 1 : 20



5 BARRIER FREE WASHROOM - EAST ELEVATION
A5011 Scale: 1 : 20



2 BARRIER FREE WASHROOM 111 - SOUTH ELEVATION
A5011 Scale: 1 : 20



3 BARRIER FREE WASHROOM - WEST ELEVATION
A5011 Scale: 1 : 20

CONSTRUCTION KEY LEGEND

- EXISTING PARTITION TO REMAIN
- NEW DOOR AND/ OR
NEW HARDWARE

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

WASHROOM GENERAL NOTES

- ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
- REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

CONSTRUCTION KEY NOTES

- | NO | DESCRIPTION |
|----|---|
| D | INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201. |
| K | INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. |

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Project Management Office
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PROJECT TITLE
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SERVICES
1300 SHEPPARD AVE W**

PROJECT NO:
9119- 19- 0162 / IBI 122260

DRAWN BY:

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CHECKED BY:

L. BANDIERA

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

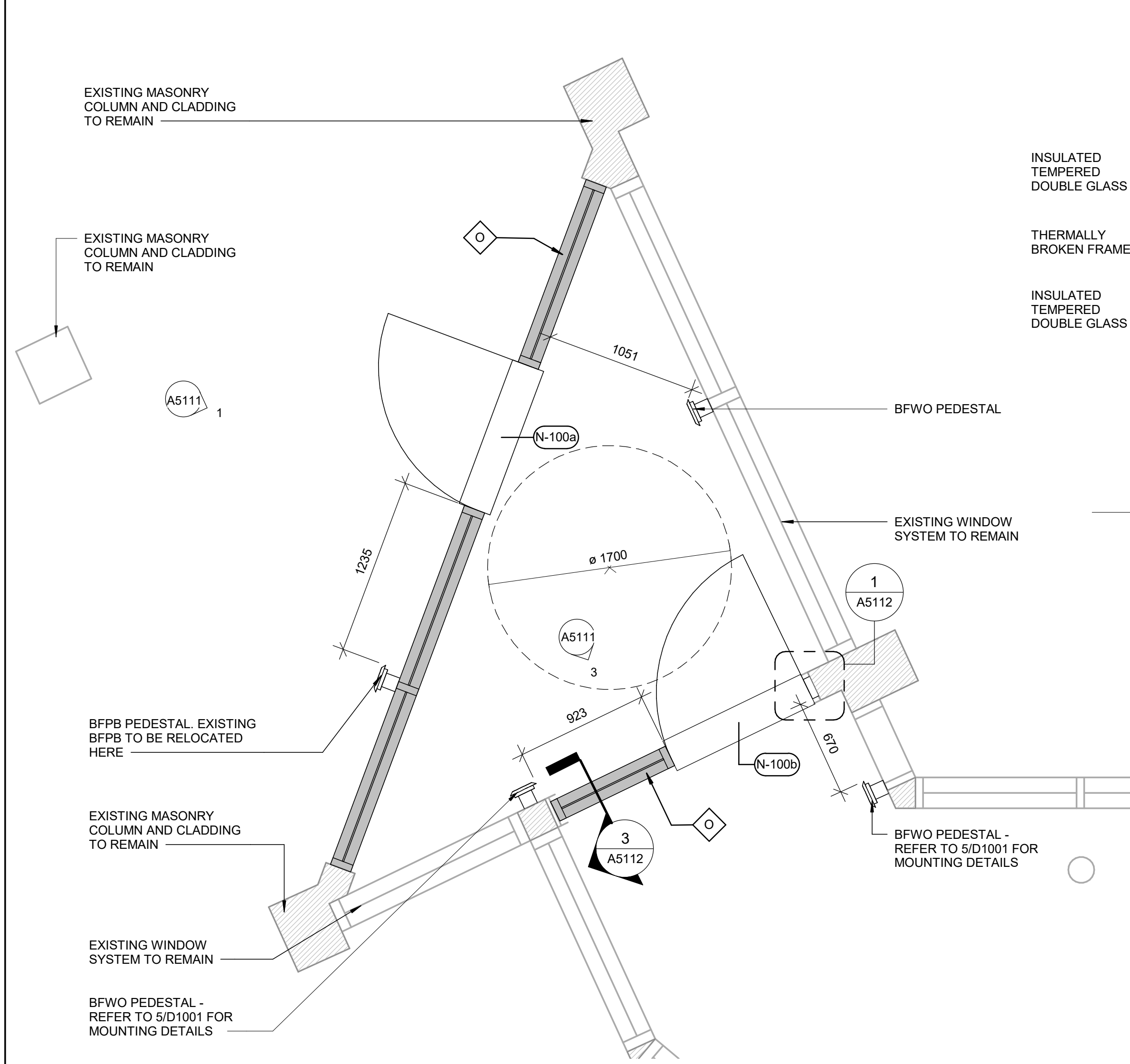
**WASHROOM
PLANS/ELEVATIONS**

SHEET NUMBER

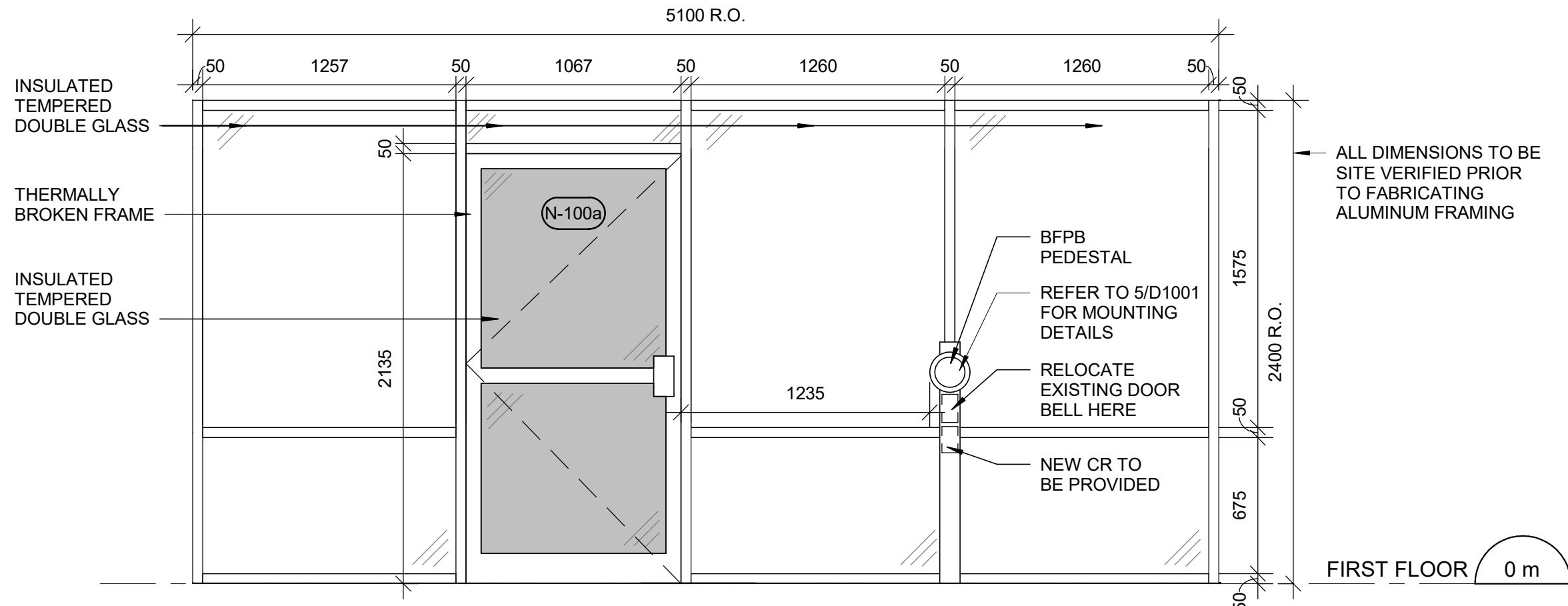
G08-036-A5011

ISSUE

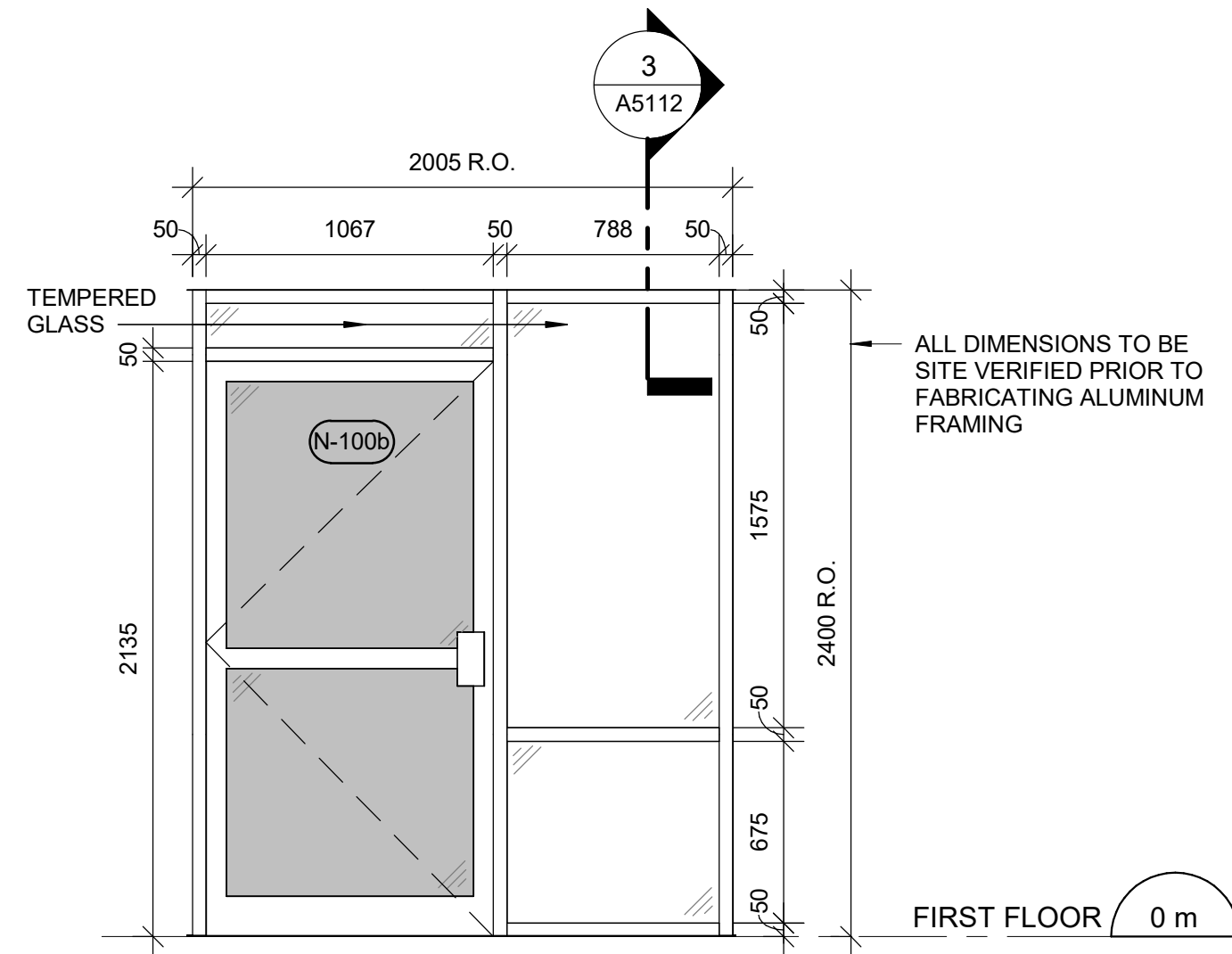
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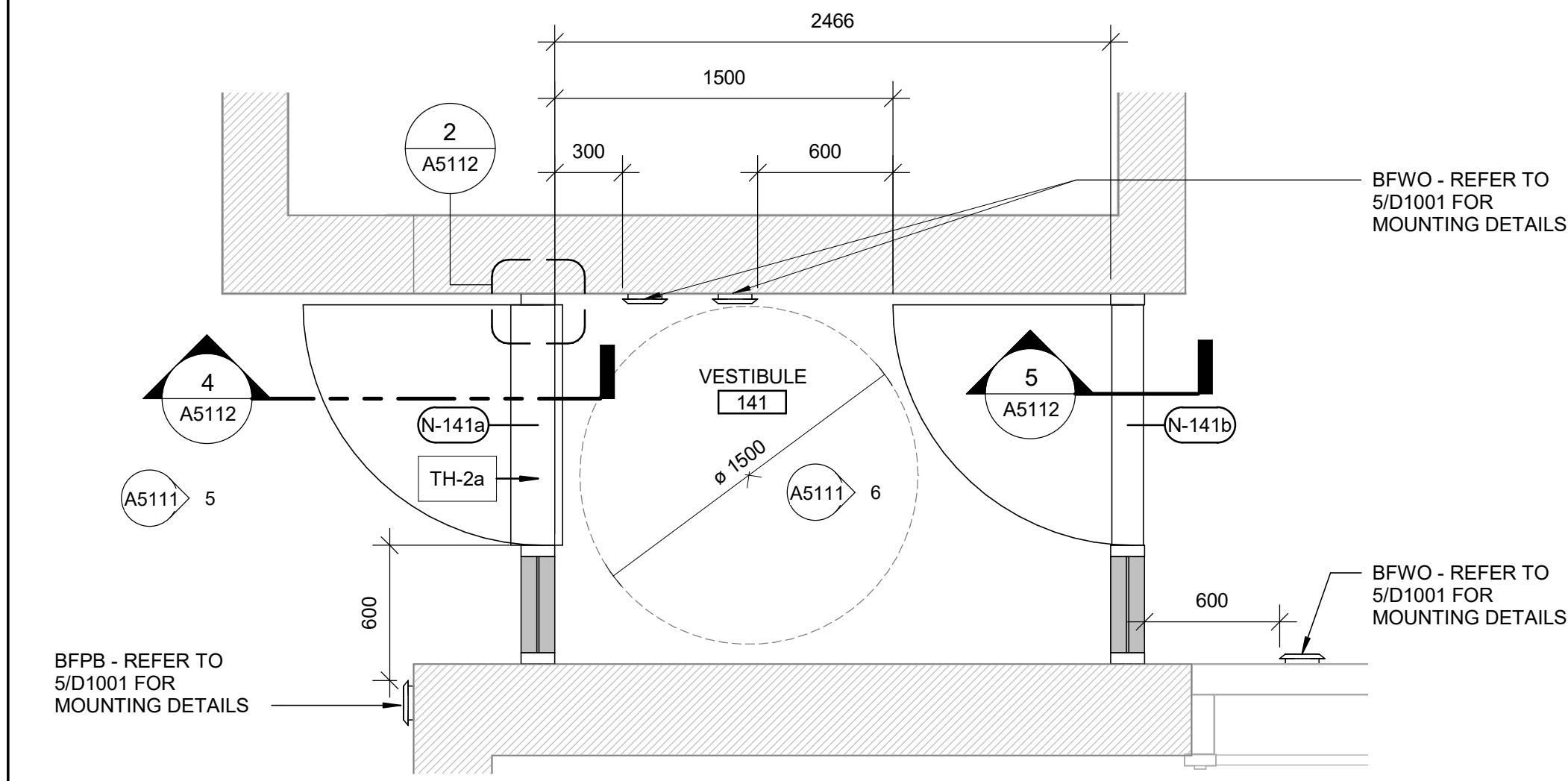
2 FIRST FLOOR - PROPOSED - MODIFIED ENTRANCE 1
A5111 Scale: 1 : 25



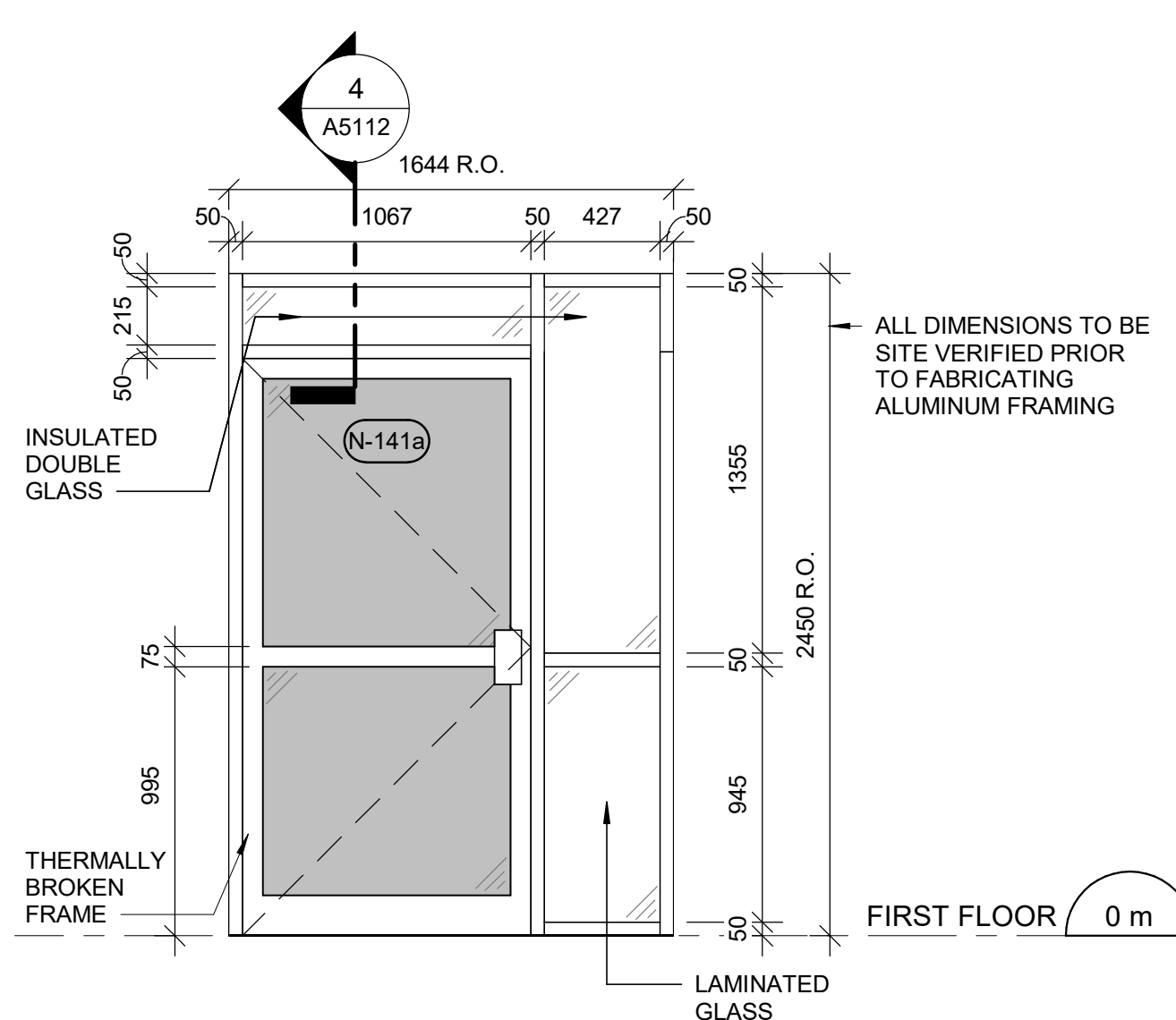
1 ENTRANCE 1 - ELEVATION 1
A5111 Scale: 1 : 25



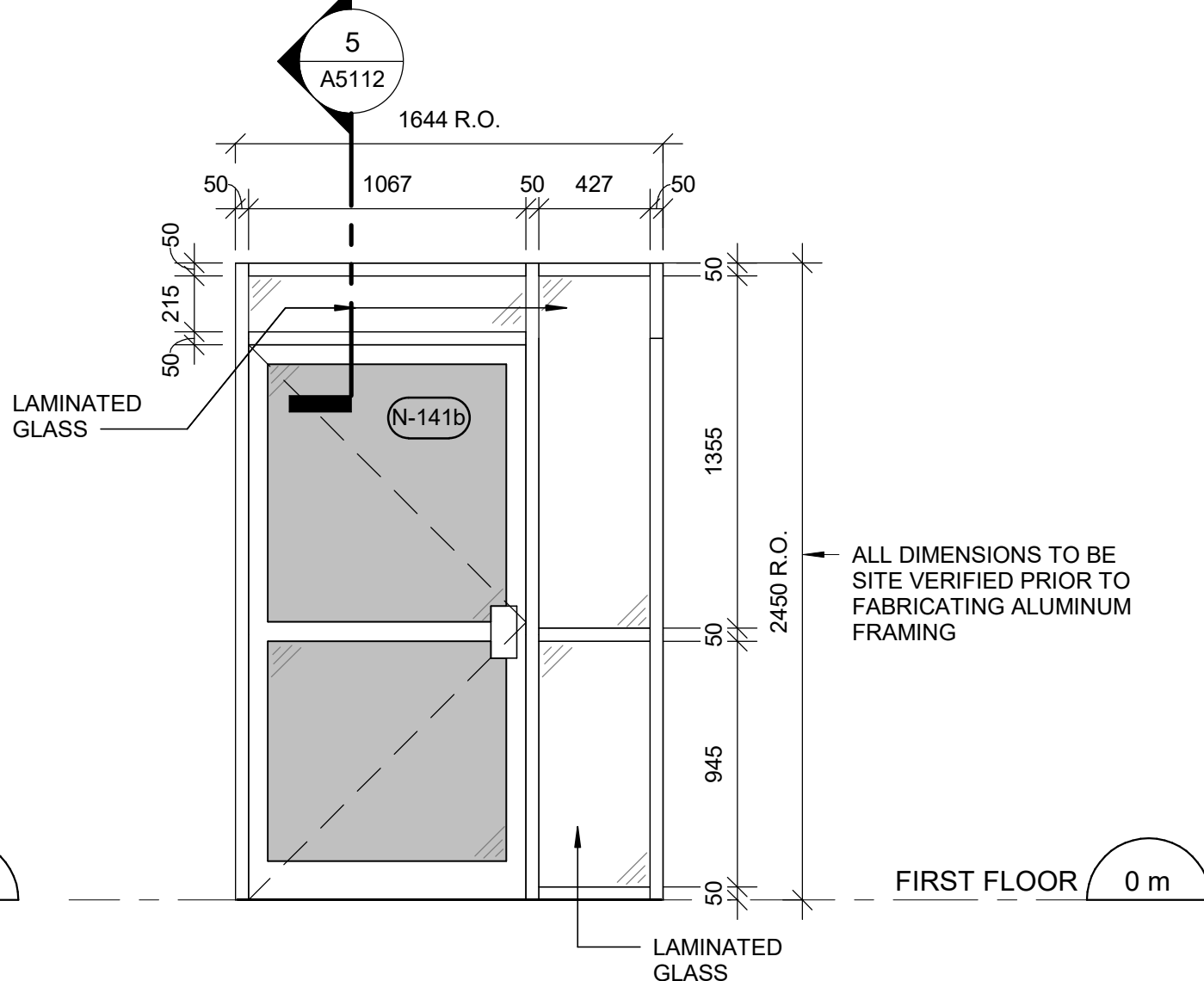
3 VEST. DOOR 1 - ELEVATION 2
A5111 Scale: 1 : 25



4 FIRST FLOOR - PROPOSED - MODIFIED ENTRANCE 2
A5111 Scale: 1 : 25



5 ENTRANCE 2 - ELEVATION 1
A5111 Scale: 1 : 25



6 ENTRANCE 2 - ELEVATION 2
A5111 Scale: 1 : 25

CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/OR
NEW HARDWARE
- DASHED AREA INDICATES
AREA OF WORK

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
0	INSTALL NEW CURTAIN WALL OR STORE FRONT FRAMING TO MATCH EXISTING, WITH NEW DOOR PER SPECIFIED WIDTH AND HEIGHT. REFER TO DOOR SCHEDULE A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

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Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

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ISSUES	DESCRIPTION	DATE
No. 0	ISSUED FOR CONSTRUCTION	2021-10-19

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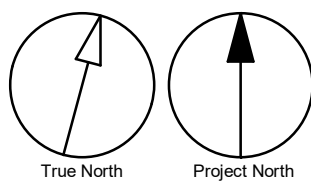
PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

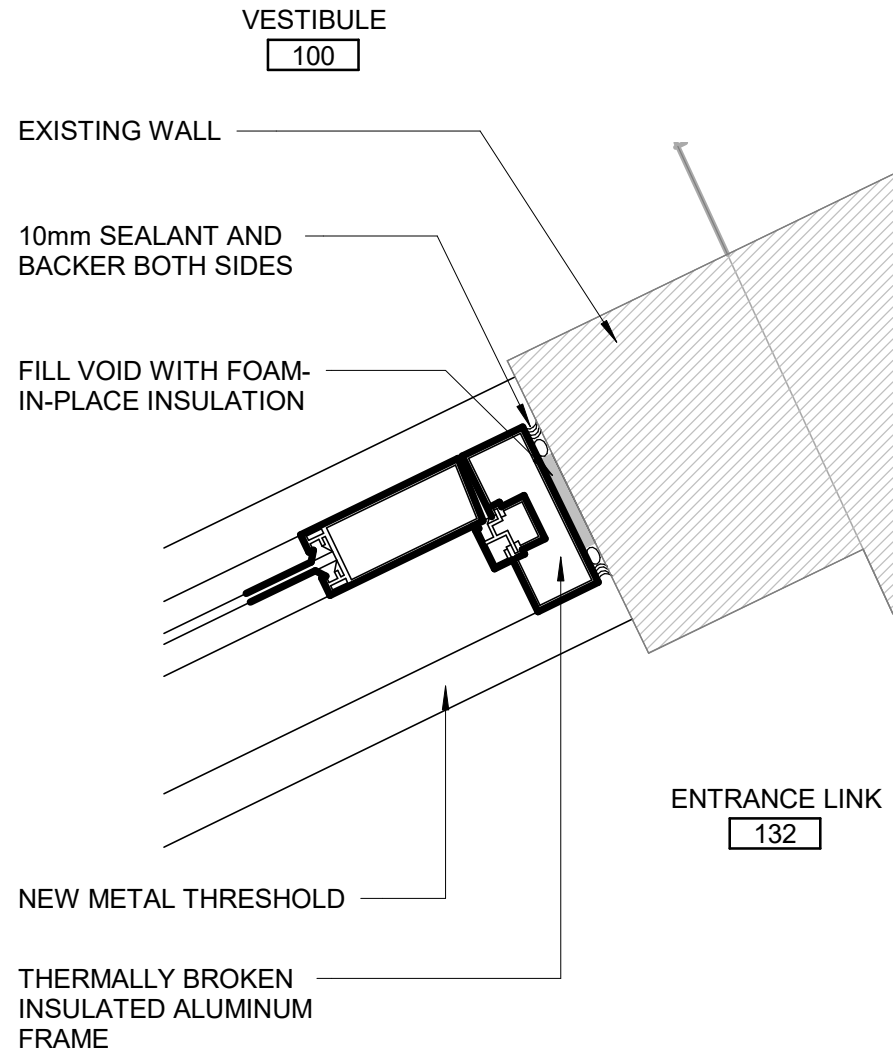
PROJECT ADDRESS
TORONTO ANIMAL SERVICES
1300 SHEPPARD AVE W

PROJECT NO:
9119- 19- 0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
CHECKED BY:
L. BANDIERA
PROJECT MGR:
F. BOLOURIAN
APPROVED BY:
E. FENUTA

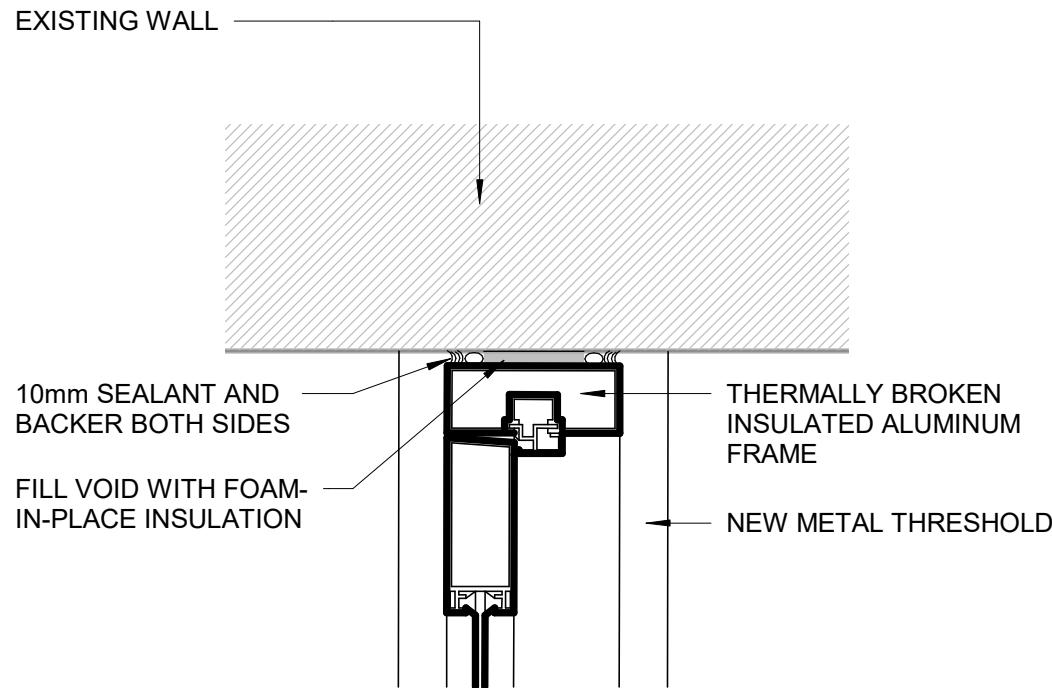
SHEET TITLE
ENLARGED PLANS & ELEVATIONS

SHEET NUMBER
G08-036-A5111
ISSUE
0

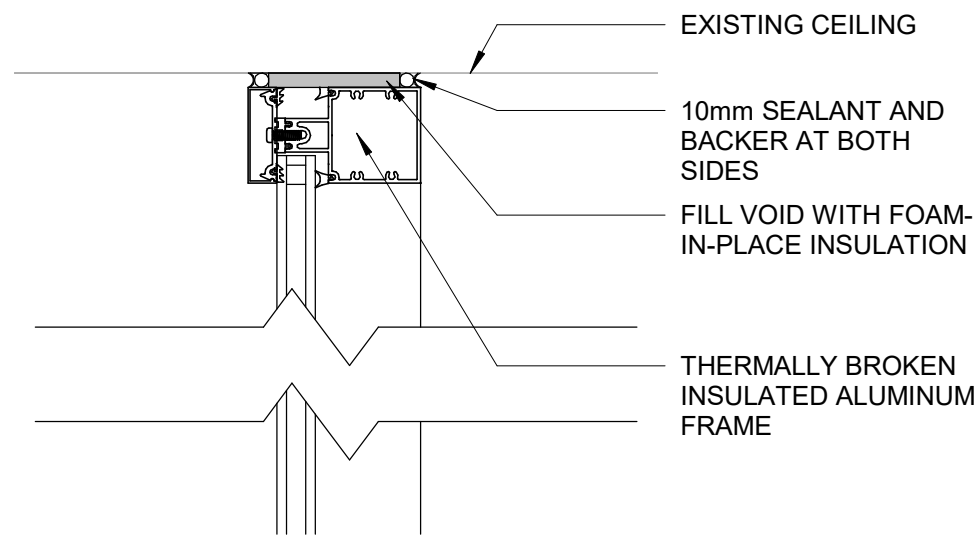




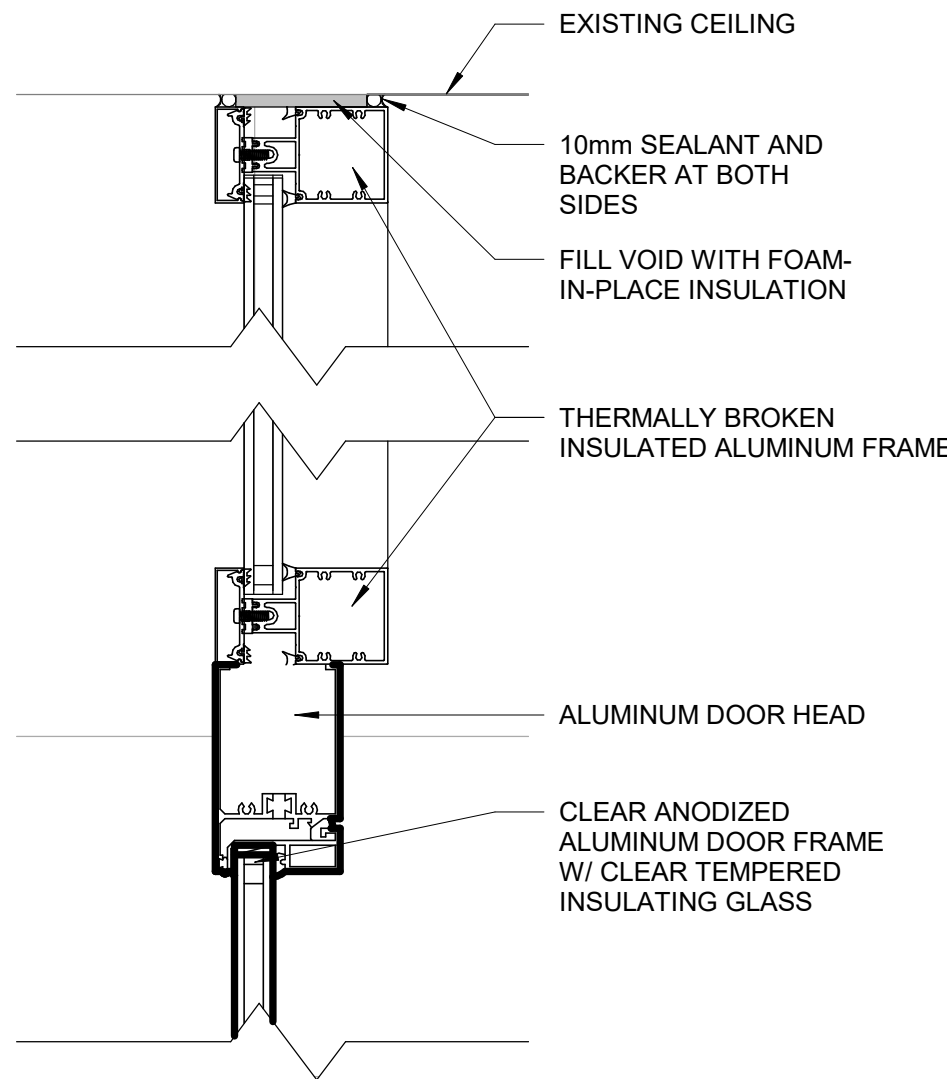
1 ENTRANCE DOOR JAMB DETAIL
A5112 Scale: 1 : 5



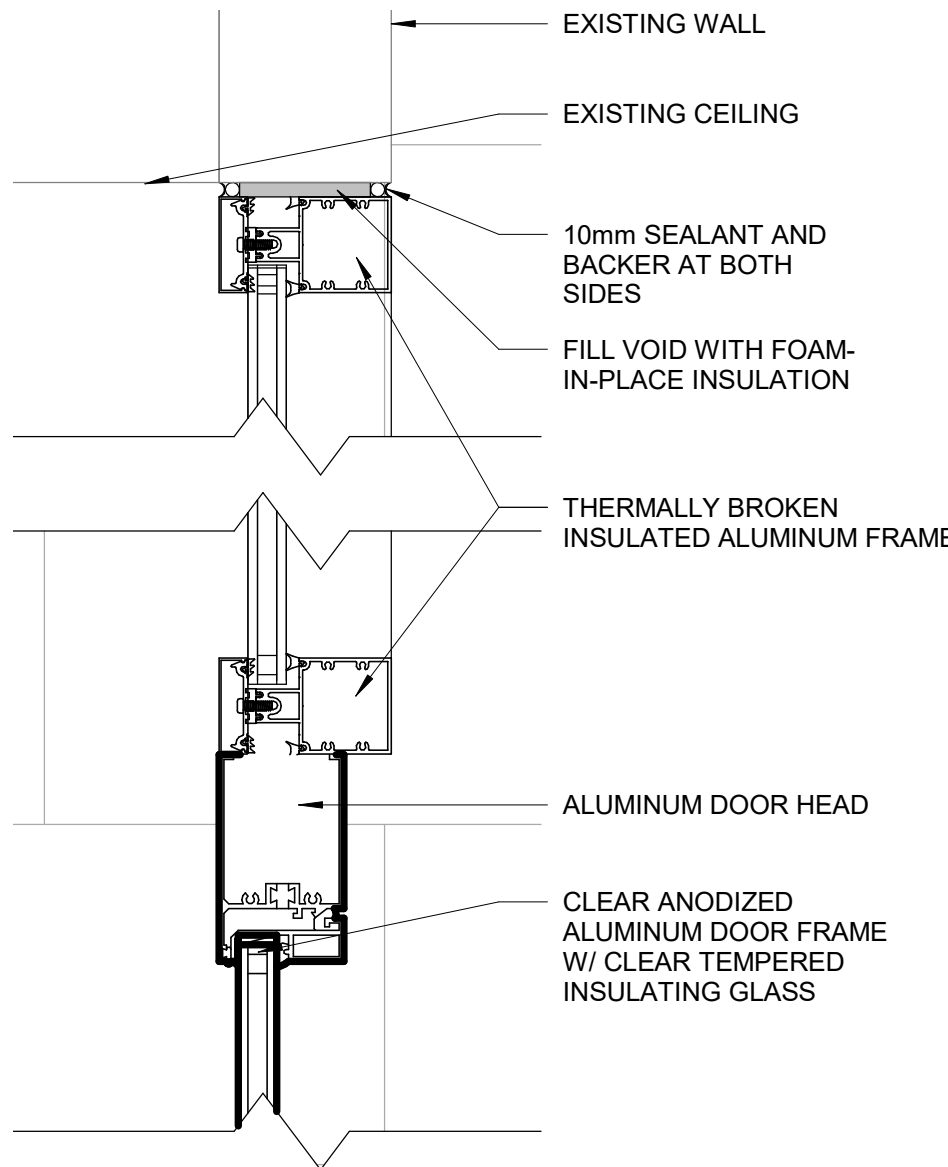
2 CLINIC ENTRANCE DOOR JAMB DETAIL
A5112 Scale: 1 : 5



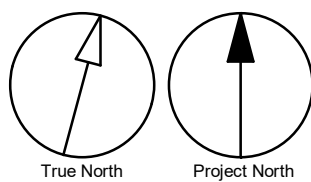
3 SECTION 1
A5112 Scale: 1 : 5



4 SECTION 2
A5112 Scale: 1 : 5



5 SECTION 3
A5112 Scale: 1 : 5



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PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W

PROJECT NO:
9119- 19- 0162 / IBI 122260
DRAWN BY:
A. KVASNIUK
CHECKED BY:
L. BANDIERA
PROJECT MGR:
F. BOLOURIAN
APPROVED BY:
E. FENUTA

SHEET TITLE
ENLARGED DETAILS





SHEET NUMBER G08-036-A5112	ISSUE 0
---	--------------------------

1 FIRST FLOOR-PROPOSED - RECEPTION
A5113 Scale: 1 : 25

2 ELEVATION 2
A5113 Scale: 1 : 25

PHOTO 20 - INTERIOR DOOR

CONSTRUCTION KEY LEGEND

	EXISTING EXTERIOR WALL TO REMAIN
	EXISTING PARTITION TO REMAIN
	EXISTING DOOR TO REMAIN
	NEW DOOR AND/OR NEW HARDWARE

CONSTRUCTION GENERAL NOTES

- | | |
|---|--|
| 1 | NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET. |
| 2 | REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS. |
| 3 | REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED. |

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

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PROJECT TITLE
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TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W

PROJECT NO:
9119- 19- 0162 / IBI 122260

DRAWN BY:

DRAWN BY:	CHECK
-----------	-------

A. KVASNIU

L. BANDIERA

PROJECT MGR: F.BOLOURIAN	APPROVED BY: E. FENUTA
SHEET TITLE ENLARGED PLANS & ELEVATIONS	

SHEET NUMBER

G08-036-A5113

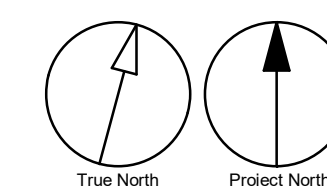
ISSUE

0

3 FIRST FLOOR-PROPOSED - INTERIOR RAMP
A5113 Scale: 1 : 25

4 FIRST FLOOR-PROPOSED - INTERIOR STAIR
A5113 Scale: 1 : 25

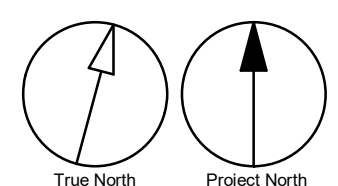
PHOTO 21 - CAT PLAYGROUND STAIR

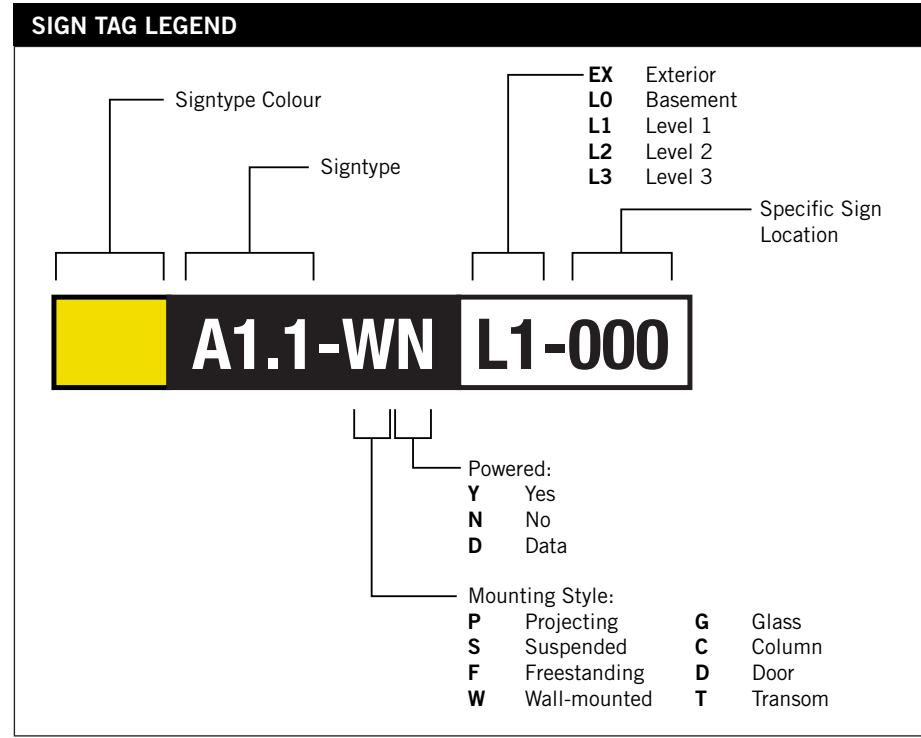
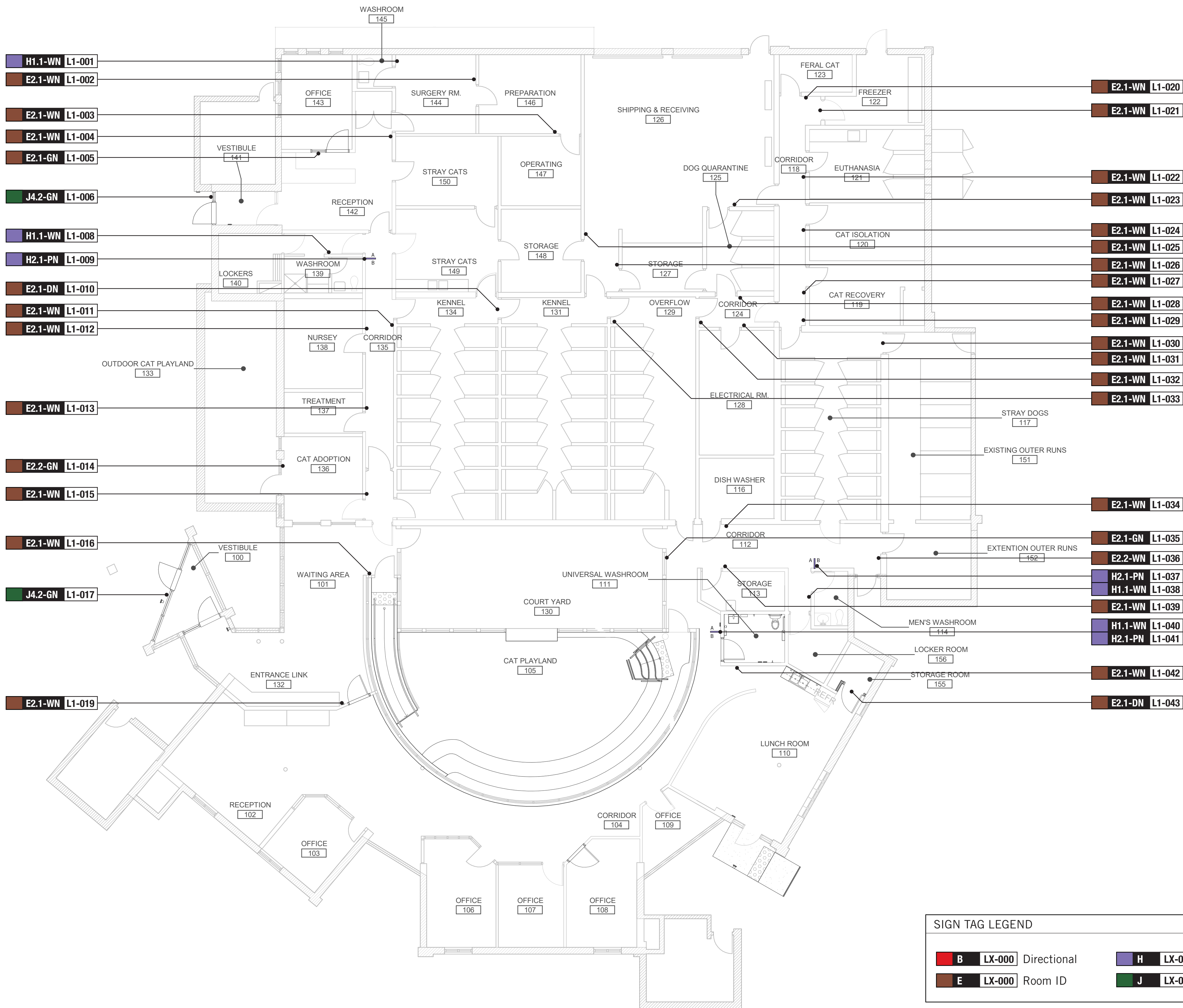




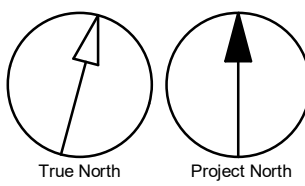
NO	DESCRIPTION
1	REFER TO 1/D1301, 2/D1301 & 5/D1302 FOR ACCESSIBLE SINK DETAILS AND MOUNTING HEIGHT.
2	REFER TO 1/D1301, 2/D1301, 2/D1302 & 6/D1302 FOR DETAILS OF CABINETRY WITH DRAWERS.
3	REFER TO 8/D1302 FOR TYP. BUILT-UP NOSING DOOR COUNTER TOP DETAILS.

ISSUE
0





SIGN TAG LEGEND					
<div><div></div><div>B</div></div>	<div><div></div><div>LX-000</div></div>	Directional	<div><div></div><div>H</div></div>	<div><div></div><div>LX-000</div></div>	Amenity
<div><div></div><div>E</div></div>	<div><div></div><div>LX-000</div></div>	Room ID	<div><div></div><div>J</div></div>	<div><div></div><div>LX-000</div></div>	Entrance
<div><div></div><div>S</div></div>	<div><div></div><div>LX-000</div></div>	Stair ID			



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PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**TORONTO ANIMAL
SERVICES**
1300 SHEPPARD AVE W

PROJECT NO:
9119 - 19 - 0162 / IBI 122260

DRAWN BY: B. FERNANDEZ	CHECKED BY: C.D. SCHNOBB
PROJECT MGR: R. DALY	APPROVED BY:

SHEET TITLE
**SIGNAGE & WAYFINDING
DETAILS**
FIRST FLOOR LOCATION
PLAN


SHEET NUMBER G08-036-A8010	ISSUE 0
--------------------------------------	-------------------

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
H1.1	L1	001	Amenity ID	[men/women washroom picto] Washroom Braille	
E2.1	L1	002	Room ID	Preparation Braille	
E2.1	L1	003	Room ID	Operating Braille	
E2.1	L1	004	Room ID	Surgery Room Braille	
E2.1	L1	005	Room ID	Office Braille	
J4.2	L1	006	Accessible Entrance ID - Exterior	[accessible picto] Entrance	
H1.1	L1	008	Amenity ID	[men/women washroom picto] Washroom Braille	
H2.1	L1	009	Projecting Amenity ID	[men/women washroom picto] Washroom	[men/women washroom picto] Washroom
E2.1	L1	010	Room ID	Kennel Braille	
E2.1	L1	011	Room ID	Kennel Braille	
E2.1	L1	012	Room ID	Nursery Braille	
E2.1	L1	013	Room ID	Treatment Braille	
E2.2	L1	014	Line Room ID	Outdoor Cat Playland Braille	
E2.1	L1	015	Room ID	Cat Adoption Braille	
E2.1	L1	016	Room ID	Cat Playland Braille	
J4.2	L1	017	Accessible Entrance ID - Exterior	[accessible picto] Entrance	
E2.1	L1	019	Room ID	Reception Braille	
E2.1	L1	020	Room ID	Feral Cat Braille	
E2.1	L1	021	Room ID	Freezer Braille	
E2.1	L1	022	Room ID	Euthanasia Braille	
E2.1	L1	023	Room ID	Dog Quarantine Braille	
E2.1	L1	024	Room ID	Cat Isolation Braille	
E2.1	L1	025	Room ID	Storage Braille	
E2.1	L1	026	Room ID	Storage Braille	
E2.1	L1	027	Room ID	Cat Recovery Braille	

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	30
E2.2	Line Room ID	2
H1.1	Amenity ID	4
H2.1	Projecting Amenity ID	3
J4.2	Accessible Entrance ID - Exterior	2
S1.1	Stair ID - Inside Stairwell	0
S1.2	Stair ID - Corridor Side	0
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		41

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PROJECT TITLE

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PROJECT ADDRESS

TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W

PROJECT NO:
9119 – 19 – 0162 / IBI 122260

DRAWN BY:
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CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER

G08-036-A8100

ISSUE

0

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Scale Check

1 of 1

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
E2.1	L1	028	Room ID	Dog Quarantine Braille	
E2.1	L1	029	Room ID	Stray Dogs Braille	
E2.1	L1	030	Room ID	Existing Outer Runs Braille	
E2.1	L1	031	Room ID	Electrical Room Braille	
E2.1	L1	032	Room ID	Kennel Braille	
E2.1	L1	033	Room ID	Kennel Braille	
E2.1	L1	034	Room ID	Dish Washer Braille	
E2.1	L1	035	Room ID	Courtyard Braille	
E2.2	L1	036	Line Room ID	Extention Outer Runs Braille	
H2.1	L1	037	Projecting Amenity ID	[men washroom picto] Men	[men washroom picto] Men
H1.1	L1	038	Amenity ID	[men washroom picto] Men Braille	
E2.1	L1	039	Room ID	Storage Braille	
H1.1	L1	040	Amenity ID	[accessible universal washroom picto] Washroom Braille	
H2.1	L1	041	Projecting Amenity ID	[accessible universal washroom picto] Washroom	[accessible universal washroom picto] Washroom
E2.1	L1	042	Room ID	Lunch Room Braille	
E2.1	L1	043	Room ID	Storage Braille	

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TORONTO, ON
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ISSUES


No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

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PROJECT TITLE

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ACCESSIBILITY UPGRADES

PROJECT ADDRESS

TORONTO ANIMAL
SERVICES
1300 SHEPPARD AVE W

PROJECT NO:
9119 – 19 – 0162 / IBI 122260

DRAWN BY:
B. FERNANDEZ

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER

G08-036-A8101

ISSUE

0

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Scale Check

1 of 1

DOOR SCHEDULE															
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFAO	PANIC DEVICE		
FIRST FLOOR															
N-100a	VESTIBULE	Et	1067	2400	45	ALUM	ANOD	ITGL	ALUM	ANOD	*	*		NA	
N-100b	VESTIBULE	Et	1067	2400	45	ALUM	ANOD	ITGL	ALUM	ANOD		*		NA	
N-110	STORAGE ROOM	A	915	2135	45	HM	PT3	<->	HM	PT3				NA	
N-111	BARRIER FREE WASHROOM	A(L)	1067	2120	45	HM	PT3	<->	HM	PT3		*		NA	
N-115	OFFICE	As	1067	2100	45	ALUMN	ANOD	TGL	ALUMN	ANOD				NA	
N-132	ENTRANCE LINK	E	1067	2135	45	ALUM	ANOD	TGL	ALUM	ANOD	*			NA	
N-141a	VESTIBULE	Fts	1067	2450	45	ALUM	ANOD	ITGL	ALUM	ANOD		*		NA	
N-141b	VESTIBULE	Fts	1067	2450	45	ALUM	ANOD	ITGL	ALUM	ANOD		*		NA	
N-143	OFFICE	Es	1067	2100	45	HM	PT3	TGL	HM	PT3				NA	
NE-101	WAITING AREA	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-114	MEN'S WASHROOM	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-117	CORRIDOR	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-122	FREEZER	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-136	CAT ADOPTION	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-139	WASHROOM	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-140	LOCKERS	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-149	CORRIDOR	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-156	LOCKER ROOM	EXIST	915	2135	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE

ROOM FINISH SCHEDULE																	
ROOM NUMBER	ROOM NAME	FLOOR		BASE		NORTH		EAST		SOUTH		WEST		CEILING			
		MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	HEIGHT	
FIRST FLOOR																	
102	RECEPTION	EXIST	EXIST	EXIST	EXIST, PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	2840	
104	CORRIDOR	EXIST	EXIST	RUBBER	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	2820	
105	CAT PLAYLAND	EXIST	HOMOGENEOUS SHEET FLOORING	RUBBER	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	3700	
108	OFFICE	EXIST		EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	2820
110	LUNCH ROOM	EXIST		EXIST, MAT-1	EXIST	EXIST, PT-3	EXIST	PT-3	EXIST, GWB	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	4380
111	BARRIER FREE WASHROOM	EXIST	PFT-1	CWT-4	CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	EXIST	2436	
132	ENTRANCE LINK	EXIST	EXIST	EXIST	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	2840	
142	RECEPTION	EXIST	EXIST	EXIST	EXIST, PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	2740	
143	OFFICE	EXIST	EXIST	EXIST	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	2740	
155	STORAGE ROOM	EXIST	EXIST, VCT	EXIST	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST, GWB	PT-3	EXIST	PT-3	EXIST	EXIST	4380	
156	LOCKER ROOM	EXIST, CONC	PFT-1	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST, GWB	PT-2	EXIST	


ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EWf-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	40"X70"		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PFT-2	PORCELAIN FLOOR TILE	TAUPE	MATTE	50mm X 50mm (2"X2")	ROC BASIC	STONE TILE	SHOWER FLOOR TILE
PFT-3	PORCELAIN FLOOR TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	GC TO PROVIDE SAMPLE FOR APPROVAL. TILE ENTIRE FLOOR AREA INDUCATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS LOWERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS UPPERS
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILINGS
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS
V-1	HOMOGENEOUS SHEET VINYL FLOORING	TBD	TBD	TBD	MEDINTECH MEDINTONE	ARMSTRONG FLOORING	

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT FOR INFORMATION PURPOSES ONLY. NEW DOOR HEIGHTS TO MATCH SITE CONFIRMED EXISTING DOOR HEIGHTS.
2	REFER TO ELECTRICAL DRAWINGS FOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND SPECIFICATION FOR ADDITIONAL INFORMATION ON DOOR HARDWARE.
4	WHERE DOORS ARE BEING WIDENED, REPAINT AFFECTED PAINTED WALL SURFACES WITH PT-3.

DOOR ABBREVIATIONS	
*	DENOTES YES
ALUM	ALUMINUM
ANOD	ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFWO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
EXIST	EXISTING
FBM	FINGER BIOMETRIC
GWb	GYPSUM WALL BOARD
GWG	GEORGIAN WIRE GLASS
HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
ITGL	INSULATED TEMPERED (SAFETY) GLASS
KP	KEY PAD
OBM	OCULAR BIOMETRIC
PF	PRE FINISHED
PLAM	PLASTIC LAMINATE
PT	PAINT
SIM	SIMILAR
SS	STAINLESS STEEL
TGL	TEMPERED GLASS
WD	WOOD

CLIENT

CITY OF TORONTO



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ISSUES


No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

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SEAL



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SHEET TITLE

DOOR AND ROOM FINISH
SCHEDULE

SHEET NUMBER

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ISSUE

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