

CITY OF TORONTO

ACCESSIBILITY UPGRADES

9119-19- 0612 / IBI 122260
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

GROUP 08
SEQ 13



ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CITY OF TORONTO
ACCESSIBILITY UPGRADES
PROGRAM GROUP 08

PROJECT NO: 9119-19- 0612 / IBI 122260	
DATE: 2021-10-19	
SHEET NUMBER G08-013-G0001	ISSUE 0

ISSUED FOR CONSTRUCTION

2021-10-19 3:06:58 PM

GENERAL DRAWING INDEX		
SHEET NUMBER	SHEET NAME	
G0001	COVER SHEET	
G0002	DRAWING LIST AND BUILDING CODE MATRIX	

ARCHITECTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A1001	SITE PLAN - DEMOLITION PLAN
A1201	SITE PLAN - PROPOSED
A1202	SITE PLAN - PROPOSED PARKING
A2011	FIRST FLOOR STAGING PLAN
A2021	SECOND FLOOR STAGING PLAN
A2111	FIRST FLOOR DEMOLITION PLAN
A2121	SECOND FLOOR DEMOLITION PLAN
A2411	FIRST FLOOR PROPOSED PLAN
A2421	SECOND FLOOR PROPOSED PLAN
A2611	FIRST FLOOR FINISH PLAN
A2621	SECOND FLOOR FINISH PLAN
A2811	FIRST FLOOR REFLECTED CEILING PLAN
A2821	SECOND FLOOR REFLECTED CEILING PLAN
A5011	GROUND FLOOR FEMALE WASHROOM PLANS AND ELEVATIONS
A5012	GROUND FLOOR MALE WASHROOM PLAN AND ELEVATIONS
A5013	SECOND FLOOR WASHROOM PLANS AND ELEVATIONS
A5014	BARRIER FREE WASHROOM 1 - ELEVATIONS
A5015	BARRIER FREE WASHROOM 2 - ELEVATIONS
A5211	STAIR PLANS, BUILDING CORES
A6011	INTERIOR ELEVATIONS
A7111	SECOND FLOOR KITCHEN - ENLARGED PLAN AND ELEVATIONS
A9001	DOOR AND ROOM FINISH SCHEDULE
A8010 to A8101 - SIGNAGE DRAWINGS **ADDED AFTER TENDER - CHANGE TO BE ISSUED	

MECHANICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
M0001	MECHANICAL DRAWING LIST
M0201	EQUIPMENT SCHEDULE
M1101	DEMOLITION PLAN - GROUND FLOOR
M1102	DEMOLITION PLAN - SECOND FLOOR
M2101	PLUMBING - GROUND FLOOR
M2102	PLUMBING - SECOND FLOOR
M3101	DRAINAGE - GROUND FLOOR
M3102	DRAINAGE - SECOND FLOOR
M5101	HVAC - GROUND FLOOR
M5102	HVAC - SECOND FLOOR
M5103	HVAC - ROOF

ELECTRICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
E0000	DRAWING LIST
E1101	ELECTRICAL DEMOLITION PLAN 1ST FLOOR
E1102	ELECTRICAL DEMOLITION PLAN 2ND FLOOR
E2101	POWER & SYSTEMS PLAN 1ST FLOOR
E2102	POWER & SYSTEMS PLAN 2ND FLOOR

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
L. BANDIERA

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE
**DRAWING LIST AND
BUILDING CODE MATRIX**

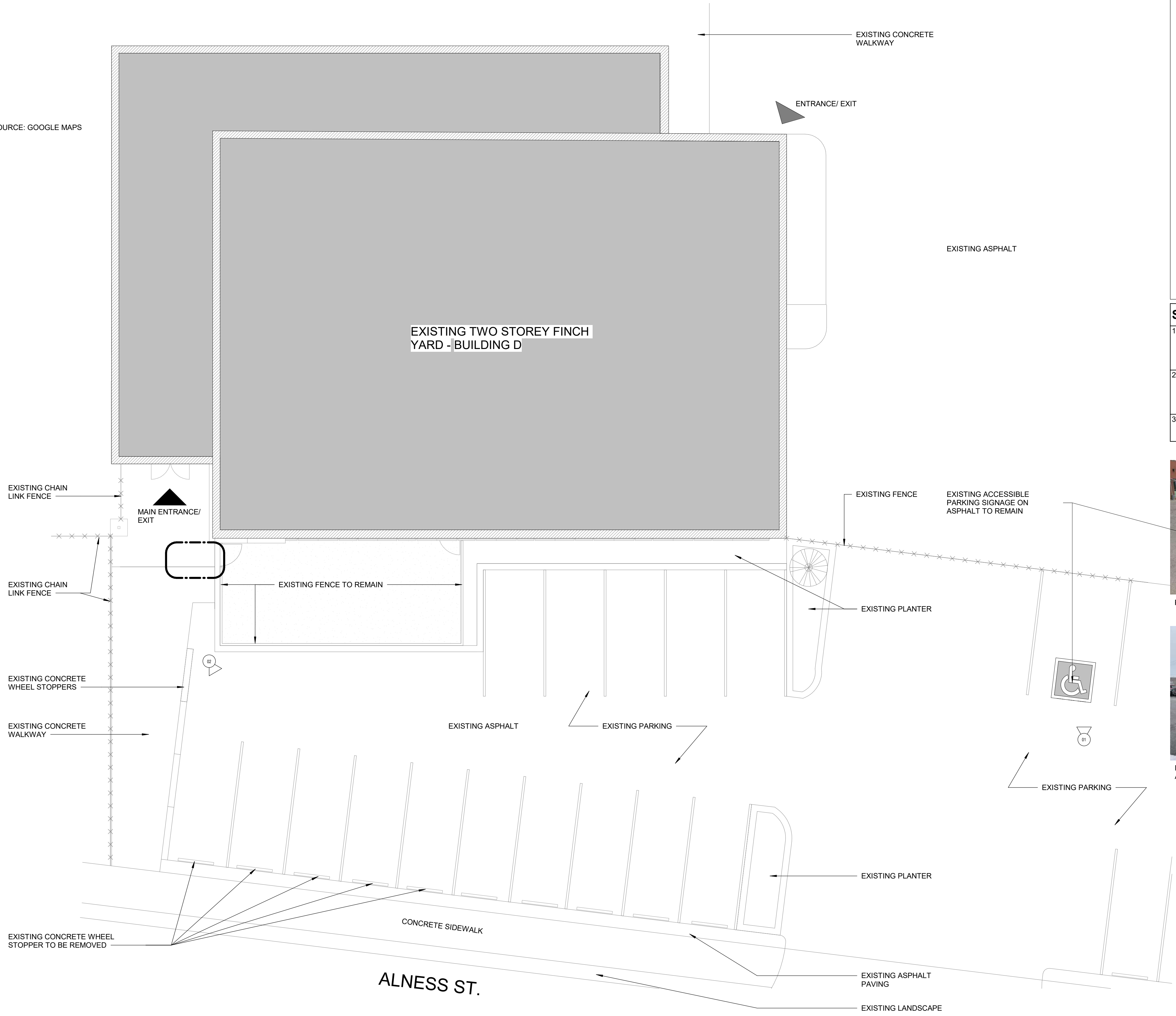
SHEET NUMBER	ISSUE
G08-013-G0002	0

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605 100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620				Name of Project 1026 FINCH AVE W - ACCESSIBILITY UPGRADES Location 1026 FINCH AVE W NORTH YORK, ON M3J 2E2			
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9			OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		REMARKS	
1.	PROJECT DESCRIPTION <div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration</div>	<input checked="" type="checkbox"/> PART 11 11.1 to 11.4	<input checked="" type="checkbox"/> PART 3	<input type="checkbox"/> PART 9			
2.	MAJOR OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANIES SUBSIDIARY OCCUPANCY(S)		3.1.2.1. (1)	9.10.2.		EXISTING NO CHANGE	
3.	BUILDING AREA (m²) EXISTING - 688 NEW - 0 TOTAL - 688		1.4.1.2. [A]	1.4.1.2. [A]			
4.	GROSS AREA (m²) EXISTING - 1212.6 NEW - 0 TOTAL - 1212.6		1.4.1.2. [A]	1.4.1.2. [A]		EXISTING NO CHANGE	
5.	NUMBER OF STOREYS ABOVE GRADE - 2 BELOW GRADE -		1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.			
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1 EXISTING NO CHANGE		3.2.2.10. & 3.2.5.	9.10.20.			
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE		3.2.2.67.	9.10.2.			
8.	SPRINKLER SYSTEM PROPOSED <input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED		3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX		EXISTING NO CHANGE	
9.	STANDPIPE REQUIRED STANDPIPE PROVIDED	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.9.	N/A		EXISTING NO CHANGE	
10.	FIRE ALARM REQUIRED FIRE ALARM PROVIDED	<input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4.	9.10.18.		EXISTING NO CHANGE	
11.	WATER SERVICE/SUPPLY IS ADEQUATE	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7.	N/A		EXISTING NO CHANGE	
12.	HIGH BUILDING	<input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.2.6.	N/A			
13.	CONSTRUCTION RESTRICTIONS <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH PERMITTED ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH		3.2.2.67.	9.10.6.		EXISTING NO CHANGE	
14.	MEZZANINE (S) AREA m² <u>N/A</u>		3.2.1.1. (3) - (8)	9.10.4.1.			
15.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING		3.1.17.	4.9.13.		EXISTING NO CHANGE	
	1ST FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS					
	2ND FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS					
	MEZZANINE FLOOR:	OCCUPANCY _____ LOAD _____ PERSONS					
16.	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)		3.8.	9.5.2.		ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE	
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2 & 3.3.1.19	9.10.1.3,(4)			
18a.	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS) FLOORS <u>NO CHANGE</u> ROOF <u>NO CHANGE</u> MEZZANINE <u>N/A</u>	3.2.2.67. & 3.2.1.4.	9.10.8. 9.10.9.			



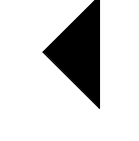
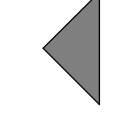
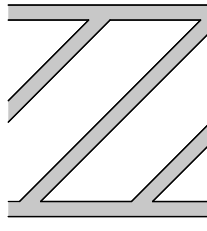

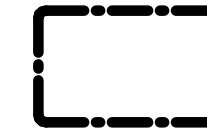
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9										OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		REMARKS			
18b.	REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS FLOORS <u>NO CHANGE</u> ROOF <u>NO CHANGE</u> MEZZANINE		LISTED DESIGN NO. OR DESCRIPTION (SB-2)				SB-2 TABLE 2.1.1. SB-2 TABLE 2.1.1.								
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS										3.2.3.	9.10.14.				
	WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC. CLADDING	NON-COMB. CONST.	EXISTING NO CHANGE				
	NORTH					-	0	-	-	-						
	SOUTH					-	0	-	-	-						
	EAST					-	0	-	-	-						
	WEST					-	0	-	-	-						
20.	PLUMBING FIXTURE REQUIREMENTS															
	MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE _____ % / _____ %										EXISTING NO CHANGE					
	MAJOR OCCUPANCY _____										OCCUPANT LOAD	OBC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED		
											84 MALE	3.7.4.7.	5	6	3.7.4.7.	
											41 FEMALE	3.7.4.7.	3	4	3.7.4.7.	
21.	EXITS/ ACCESS TO EXIT-											EXISTING NO CHANGE				
22.	OTHER (DESCRIBE) -															
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building								OBC REFERENCE		REMARKS					
11.1	EXISTING BUILDING CLASSIFICATION:		DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)						11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N							
11.2	ALTERATION TO EXISTING BUILDING IS:		BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>						11.3.3.1. 11.3.3.2.							
11.3	REDUCTION IN PERFORMANCE LEVEL:		STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:						<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES		11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.					
11.4	COMPENSATING CONSTRUCTION:		STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:						<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN) <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (EXPLAIN)		11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6					
11.5	COMPLIANCE ALTERNATIVES PROPOSED:		<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)						11.5.1							

C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-8-15-1026FINCH_D-A-R20_shirley.wong\SVP-147 1/1m

IMAGE SOURCE: GOOGLE MAPS



SITE LEGEND

-  NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701
-  ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702
-  EXISTING MAIN ENTRANCE
-  EXISTING EXIT TO REMAIN
-  NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701
-  NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701
-  DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
- 2 CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.



PHOTO 01 - EXISTING ACCESSIBLE PARKING



PHOTO 02 - LOCATION OF THE PROPOSED ACCESSIBLE PARKING

CLIENT

CITY OF TORONTO

Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

ONTARIO ASSOCIATION
2021.10.19
OF
ARCHITECTS
May Kuo
MAY KUO
LICENCE
7555

PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

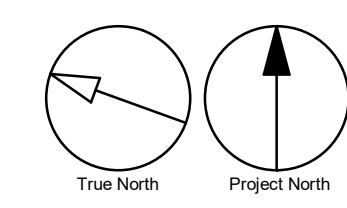
PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO: 9119-19- 0612 / IBI 122260	
DRAWN BY: A. KVASNIUK	CHECKED BY: L. BANDIERA
PROJECT MGR: F. BOLOURIAN	APPROVED BY: S. KEVORKIAN

SHEET TITLE
**SITE PLAN - DEMOLITION
PLAN**

SHEET NUMBER G08-013-A1001	ISSUE 0
--------------------------------------	-------------------

2021-10-19 3:05:58 PM



C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-8-15-1026FINCH_D-A-R20_shirley.wong\SVP.RVT 1/1m



2 KEY MAP
A1201 Scale: NTS

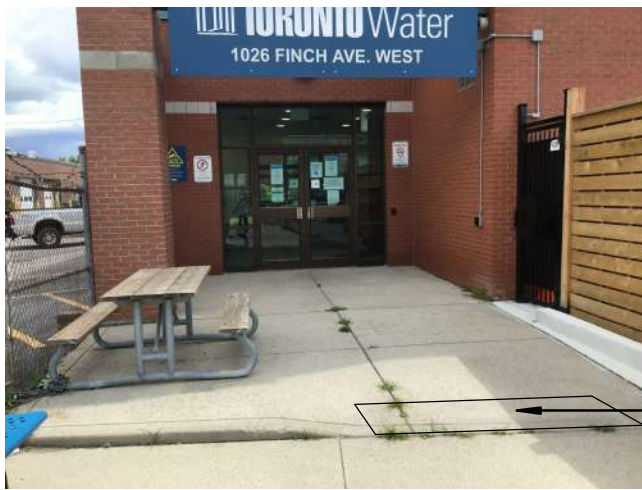


PHOTO 01 - MAIN ENTRANCE, EXISTING CURB RAMP

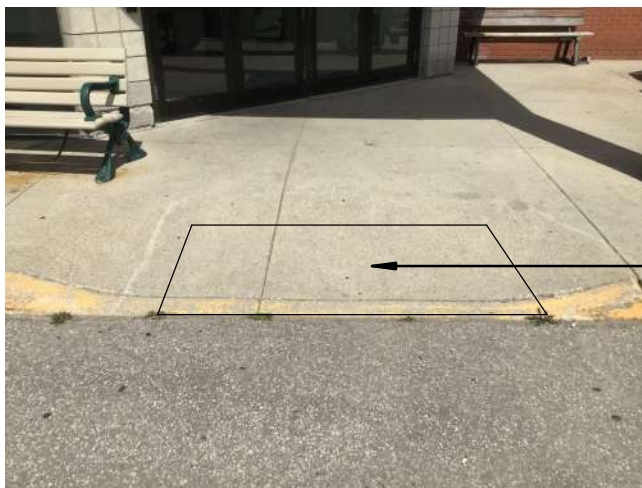


PHOTO 02 - EXISTING ENTRANCE / EXIT, EXISTING CURB RAMP



PHOTO 03 - PROPOSED ACCESSIBLE PARKING SPACE

EXISTING CHAIN LINK FENCE

EXISTING CHAIN LINK FENCE

EXISTING FOLDING PICNIC TABLE

REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR DETAILS

EXISTING CONCRETE WHEEL STOPPERS

EXISTING CONCRETE WALKWAY

MAIN ENTRANCE/ EXIT

TA-2a

610

550

2000

550

1760

SITE VERIFY

EXISTIG WOOD FENCE

EXISTIG CONCRETE CURB

EXISTING ASPHALT

EXISTING PARKING

CONCRETE SIDEWALK

ALNESS ST.

PORTABLE WASHROOM TRIALER TO BE PLACED BETWEEN GARAGE DOORS. THIS AREA HAS THE ELECTRICAL AND WATER SUPPLY CONNECTIONS NEARBY

EXISTING CONCRETE WALKWAY TO REMAIN

1
A1202

ENTRANCE / EXIT

TA-2a

EXISTING ASPHALT DRIVEWAY

EXISTING PLANTER

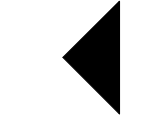
SITE LEGEND



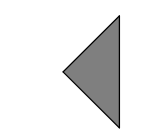
NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



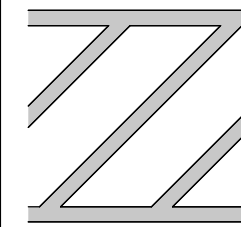
ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



EXISTING MAIN ENTRANCE



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701



DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
- 2 CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

CLIENT

CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

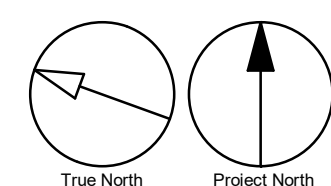
PROJECT ADDRESS
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:
9119-19-0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

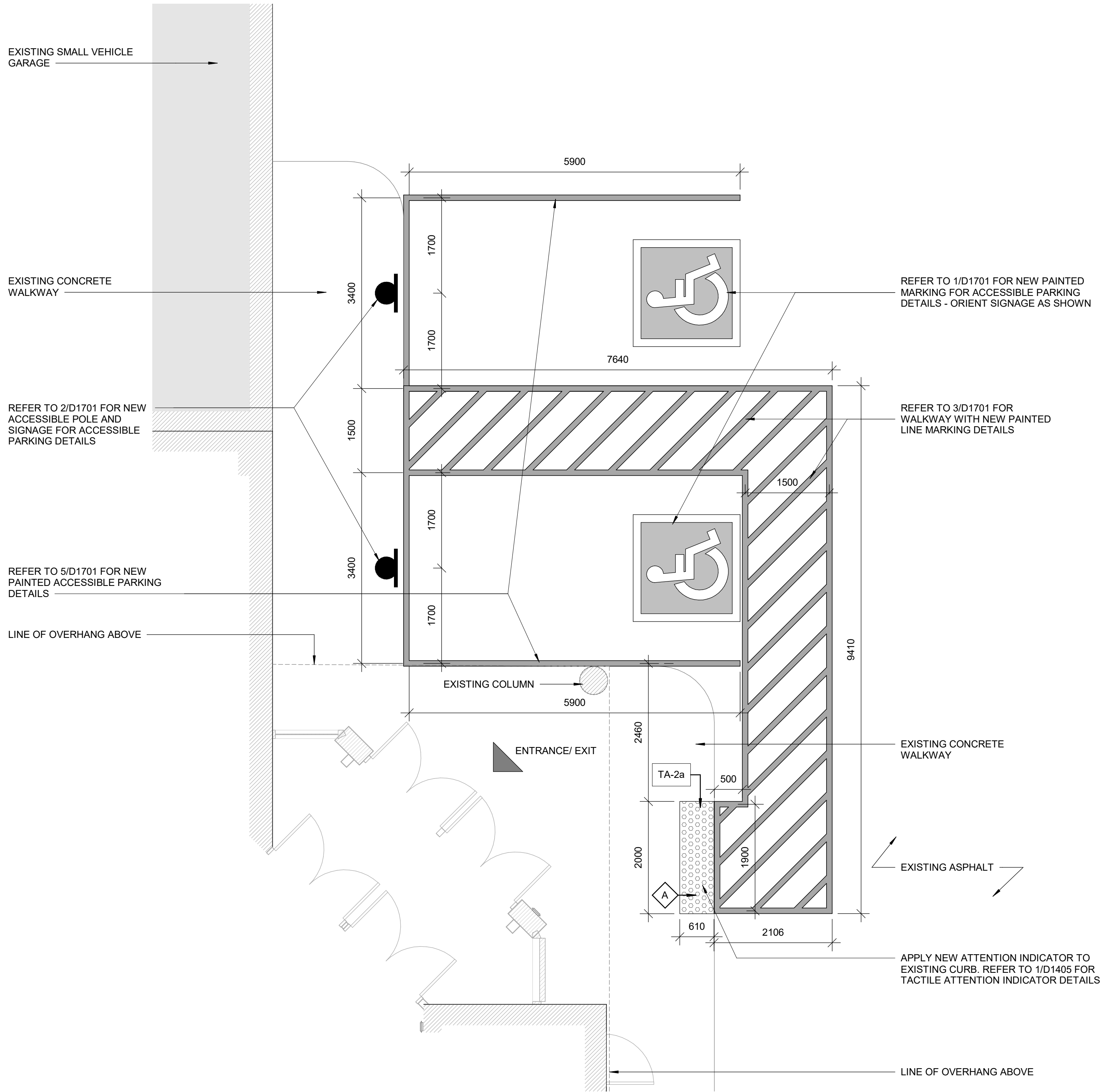
SHEET TITLE
SITE PLAN - PROPOSED

SHEET NUMBER G08-013-A1201	ISSUE 0
-------------------------------	------------



Scale 1:100
0 2.5 5 10 m

2021-10-19 3:06:01 PM



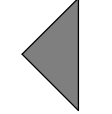
SITE LEGEND



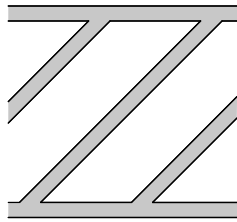
NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
- 2 CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

CLIENT

CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
M5V 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

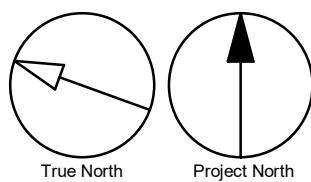
PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**SITE PLAN - PROPOSED
PARKING**

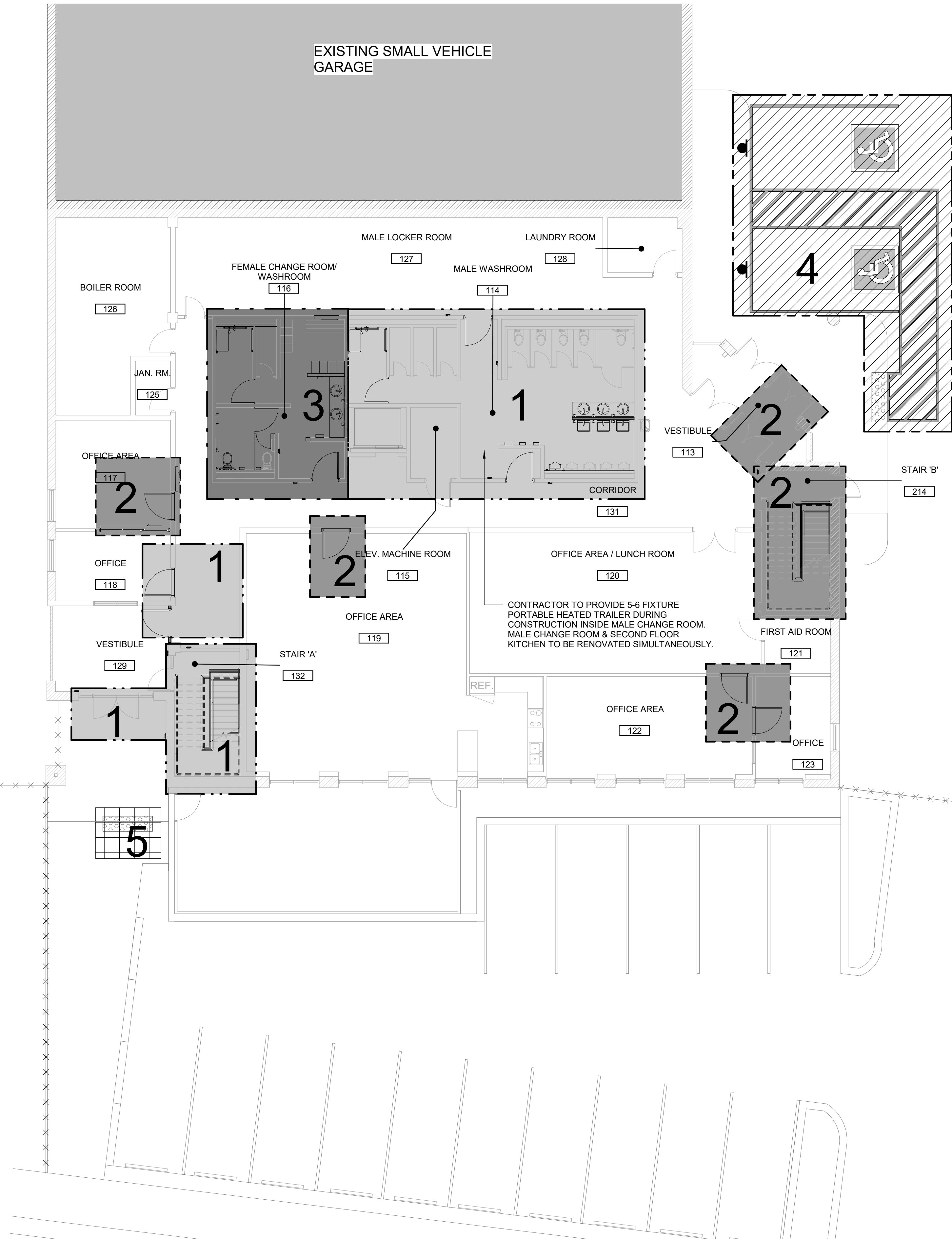
SHEET NUMBER G08-013-A1202	ISSUE 0
--------------------------------------	-------------------



C:\Users\shirley.wong\Documents\REVIT\2020\122260-FINCH-D-A-R20-shirley.wong\SYP\JR.vrt

10mm

SCALE CHECK
1 in



CONSTRUCTION STAGING LEGEND

STAGE 1

STAGE 2

STAGE 3

STAGE 4

STAGE 5

STAGING GENERAL NOTES

1

EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.

2

ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.

3

PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.

4

CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.

5

ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.

6

PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.

7

WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.

8

FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

NOTE: WORK IN THE SECOND FLOOR UNIVERSAL WASHROOM AND WOMEN'S WASHROOMS TO BE COMPLETED PRIOR TO THE GROUND FLOOR WASHROOMS WORK

CLIENT

CITY OF TORONTO

Toronto

Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.

is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

ONTARIO ASSOCIATION

2021.10.19

OF

ARCHITECTS

RAY KUO

LICENCE

7555

PRIME CONSULTANT

IBI

IBI GROUP

175 Galaxy Blvd, Unit 100

Toronto, ON M9W 0C9, Canada

tel 416 679 1930 fax 416 675 4620

ibigroup.com

PROJECT TITLE

CITY OF TORONTO

ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D

1026 FINCH AVE W

TORONTO ON

PROJECT NO:

9119-19- 0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

FIRST FLOOR STAGING

PLAN

SHEET NUMBER

G08-013-A2011

ISSUE

0

2021-10-19 3:06:04 PM

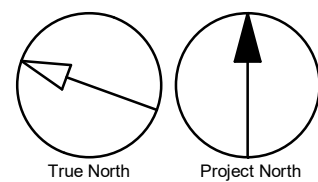
Scale 1:100

0

2.5

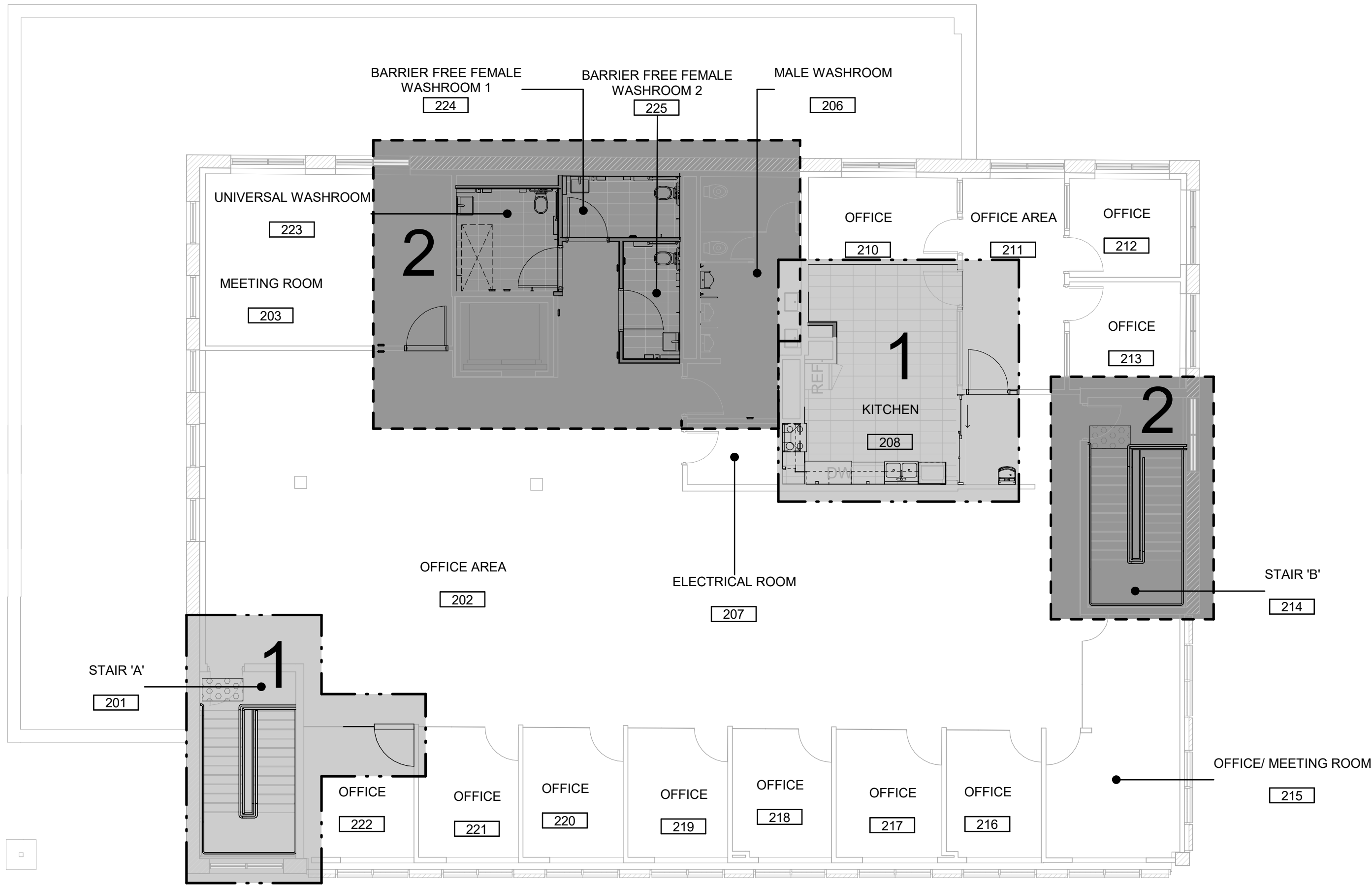
5

10 m

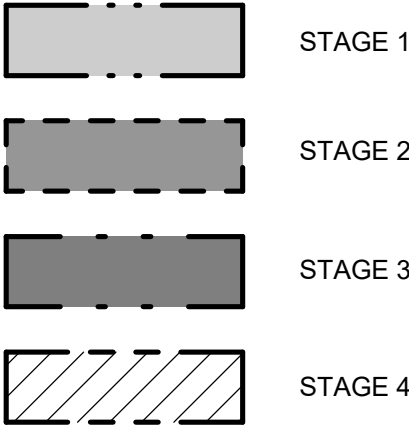


C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-8-15-1026-FINCH-D-A-A-020_shirley.wong\SVP-PR.rvt 1/10mm

2021-10-19 3:06:06 PM



CONSTRUCTION STAGING LEGEND



STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.
- 4 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:
A) TEMPORARY SIGNAGE
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 5 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.
- 6 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 7 WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.
- 8 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

NOTE: WORK IN THE SECOND FLOOR UNIVERSAL WASHROOM AND WOMEN'S WASHROOMS TO BE COMPLETED PRIOR TO THE GROUND FLOOR WASHROOMS WORK

CLIENT

CITY OF TORONTO


Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

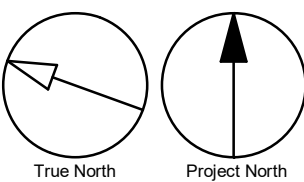
PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**SECOND FLOOR
STAGING PLAN**

SHEET NUMBER G08-013-A2021	ISSUE 0
--------------------------------------	-------------------



C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-8-15-1026-FINCH-D-A-A-020_shirley.wong\SYP\JR.rvt

10mm

SCALE CHECK
1 in




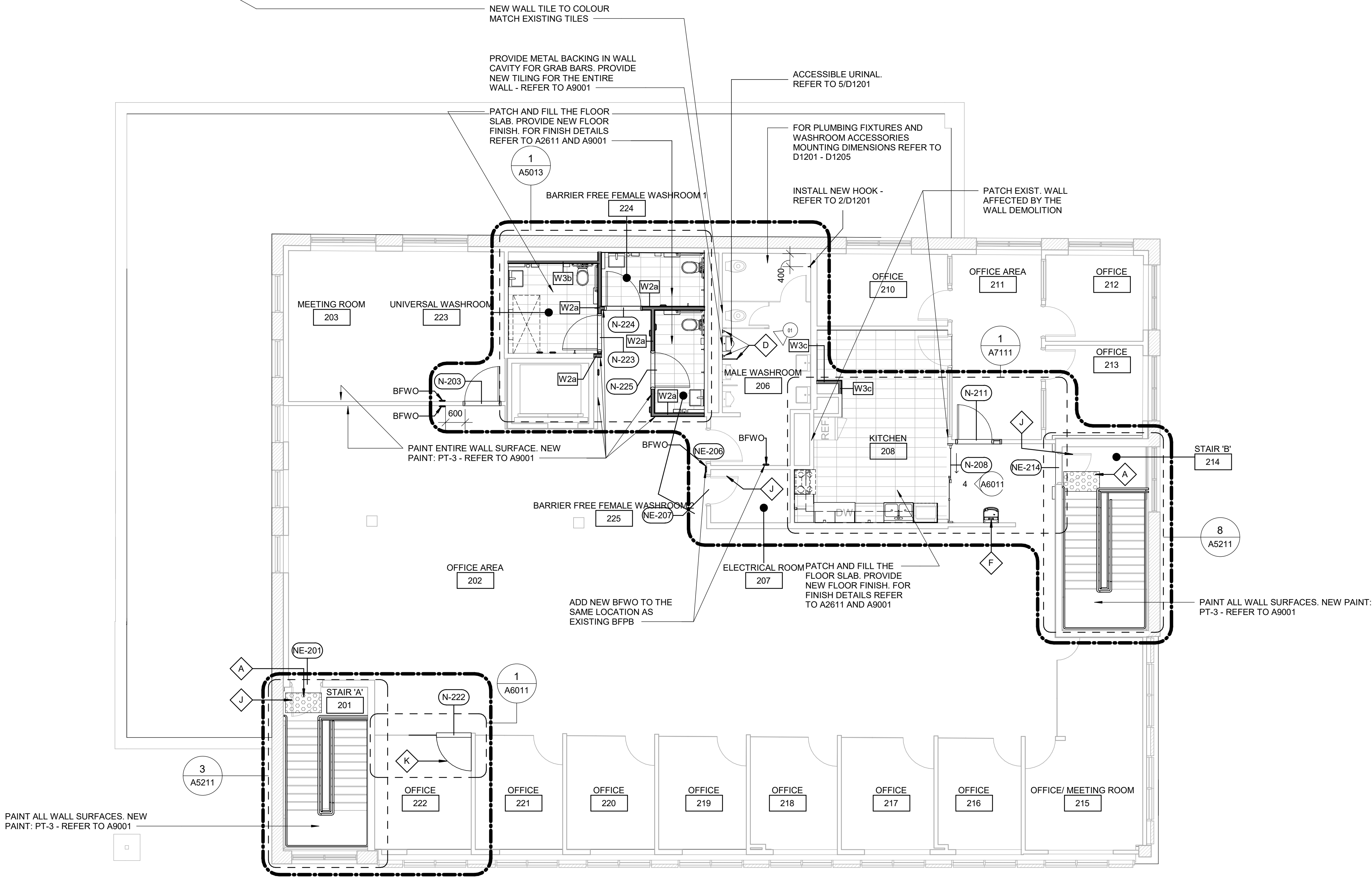
<div>CIENT</div> <div><div>CITY OF TORONTO</div><div><div></div><div><div>Corporate Real Estate Management</div><div>Project Management Office</div><div>Metro Hall Toronto, ON</div><div>M5V 3C6</div></div></div></div>								
<div><div>COPYRIGHT</div><div><div>This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden.</div><div>Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.</div></div></div>								
<div><div>IBI Group Professional Services (Canada) Inc.</div><div>is a member of the IBI Group of companies</div></div>								
<div><div>ISSUES</div><table><tr><th>No.</th><th>DESCRIPTION</th><th>DATE</th></tr><tr><td>0</td><td>ISSUED FOR CONSTRUCTION</td><td>2021-10-19</td></tr></table></div>			No.	DESCRIPTION	DATE	0	ISSUED FOR CONSTRUCTION	2021-10-19
No.	DESCRIPTION	DATE						
0	ISSUED FOR CONSTRUCTION	2021-10-19						
<div><div>CONSULTANTS</div></div>								
<div><div>SEAL</div><div></div></div>								
<div><div>PRIME CONSULTANT</div><div><div></div><div><div>IBI GROUP</div><div>175 Galaxy Blvd, Unit 100</div><div>Toronto, ON M9W 0C9, Canada</div><div>tel 416 679 1930 fax 416 675 4620</div><div>ibigroup.com</div></div></div></div>								
<div><div>PROJECT TITLE</div><div><div>CITY OF TORONTO</div><div>ACCESSIBILITY UPGRADES</div></div></div>								
<div><div>PROJECT ADDRESS</div><div><div>FINCH YARD - BLDG D</div><div>1026 FINCH AVE W</div><div>TORONTO ON</div></div></div>								
<div><div>PROJECT NO:</div><div>9119-19- 0612 / IBI 122260</div></div>								
<div><div><div><div>DRAWN BY:</div><div>A. KYASNIUK</div></div><div><div>PROJECT MGR:</div><div>F.BOLOURIAN</div></div></div><div><div><div>CHECKED BY:</div><div>S. HOUT</div></div><div><div>APPROVED BY:</div><div>E. FENUTA</div></div></div></div>								
<div><div>SHEET TITLE</div><div><div>FIRST FLOOR</div><div>PROPOSED PLAN</div></div></div>								
<div><div>SHEET NUMBER</div><div>G08-013-A2411</div></div>		<div><div>ISSUE</div><div>0</div></div>						



PHOTO 01 - MALE WASHROOM-EXISTING WALL TILE



CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR
NEW HARDWARE
- DASHED AREA INDICATES
AREA OF WORK

CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
F	INSTALL DRINKING FOUNTAIN - REFER TO DETAIL 5/D1301, 6/1301.
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

CLIENT

CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

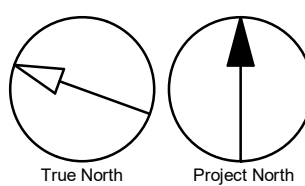
PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**SECOND FLOOR
PROPOSED PLAN**

SHEET NUMBER G08-013-A2421	ISSUE 0
--------------------------------------	-------------------



Scale 1:75
0 1.5 3 7.50 m

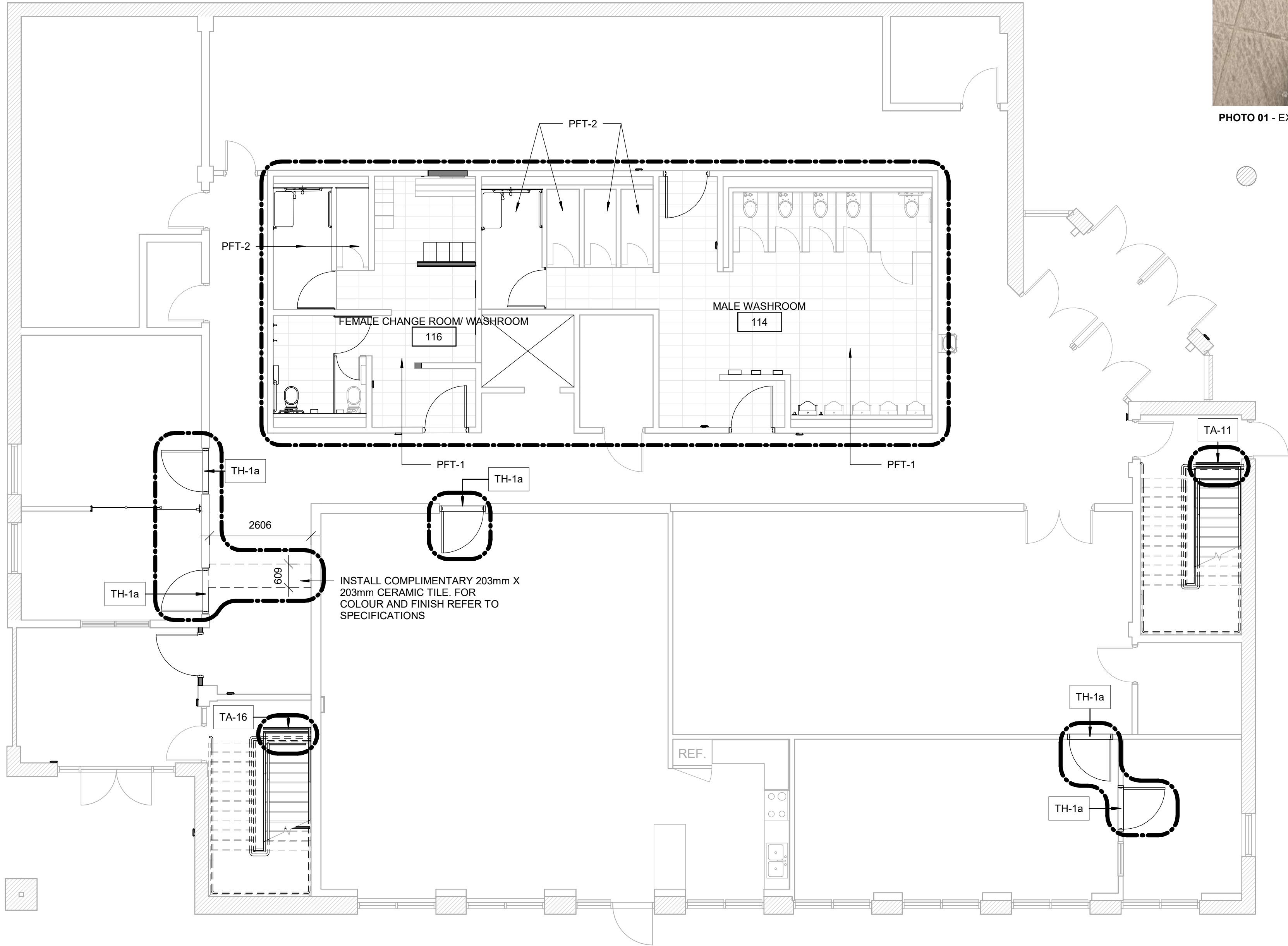
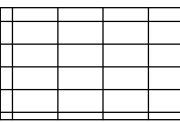


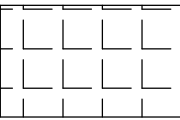
PHOTO 01 - EXISTING FLOOR TILE



FLOOR FINISHES LEGEND



PORCELAIN TILE



FLOOR FINISH TO MATCH EXISTING
REFER TO ROOM FINISH SCHEDULE



DASHED AREA INDICATES
AREA OF WORK

FLOOR FINISH GENERAL NOTES

- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- 2 CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
- 3 CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- 4 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- 5 PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
- 6 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- 7 MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

CLIENT

CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE

**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:

9119-19- 0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

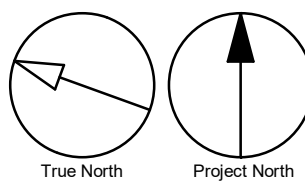
**FIRST FLOOR FINISH
PLAN**

SHEET NUMBER

G08-013-A2611

ISSUE

0



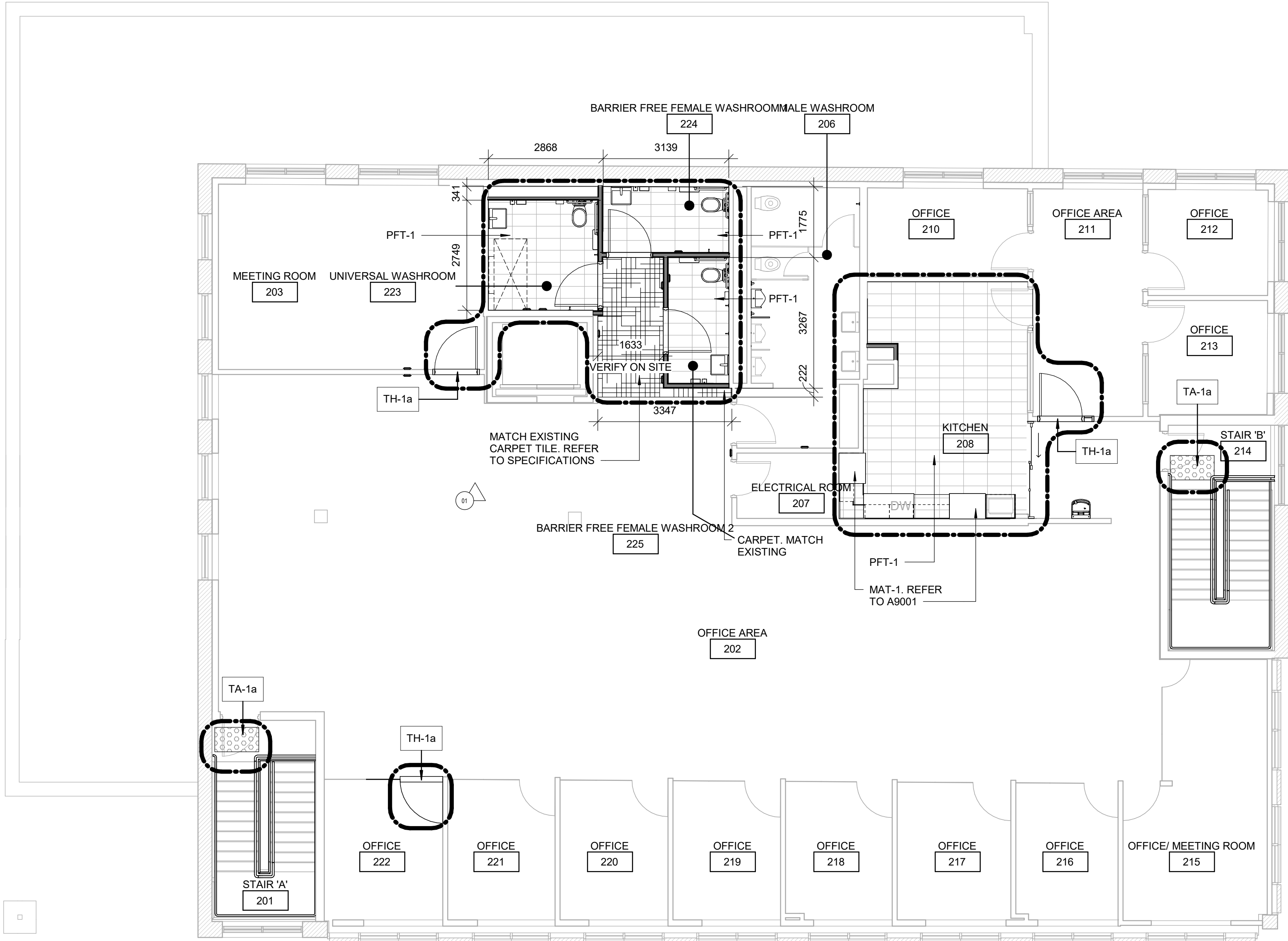
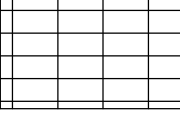
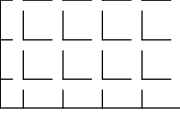



PHOTO 01 - EXISTING CARPET TILE OF THE OFFICE AREA

FLOOR FINISHES LEGEND

- 

PORCELAIN TILE
- 

FLOOR FINISH TO MATCH EXISTING
REFER TO ROOM FINISH SCHEDULE
- 

DASHED AREA INDICATES
AREA OF WORK

FLOOR FINISH GENERAL NOTES

- 1 CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS.
- 2 CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES OF STONE TILE PRIOR TO INSTALLATION.
- 3 CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION. WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
- 4 CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED.
- 5 PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS PER SPECIFICATIONS FOR THAT AREA.
- 6 WHERE A CHANGE OF MATERIAL THICKNESS OCCURS, PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS.
- 7 MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

CLIENT

CITY OF TORONTO


Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
S. HOUT

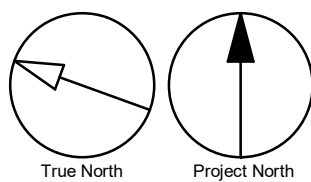
PROJECT MGR:
F. BOLOURIAN

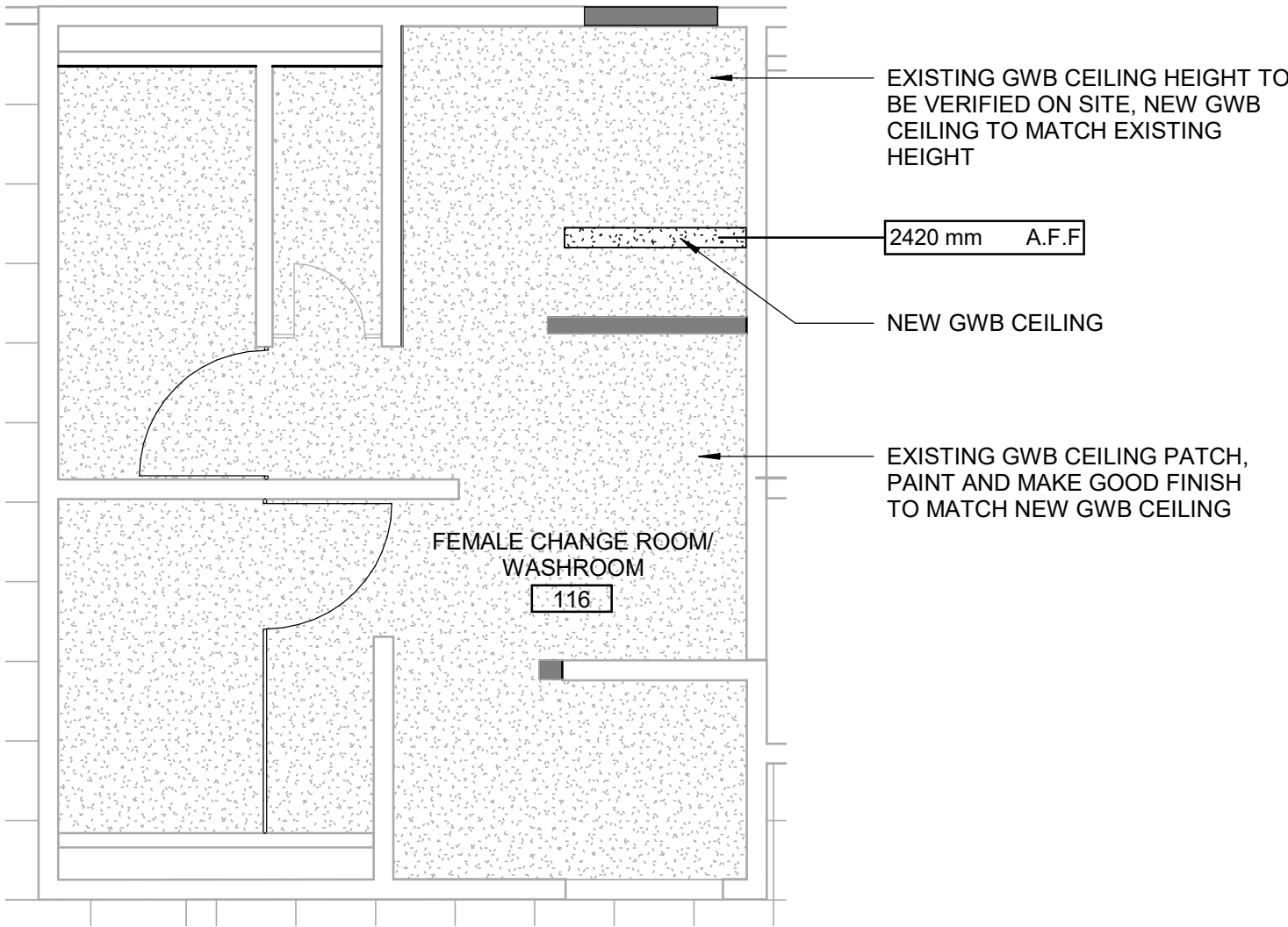
APPROVED BY:
E. FENUTA

SHEET TITLE
**SECOND FLOOR FINISH
PLAN**

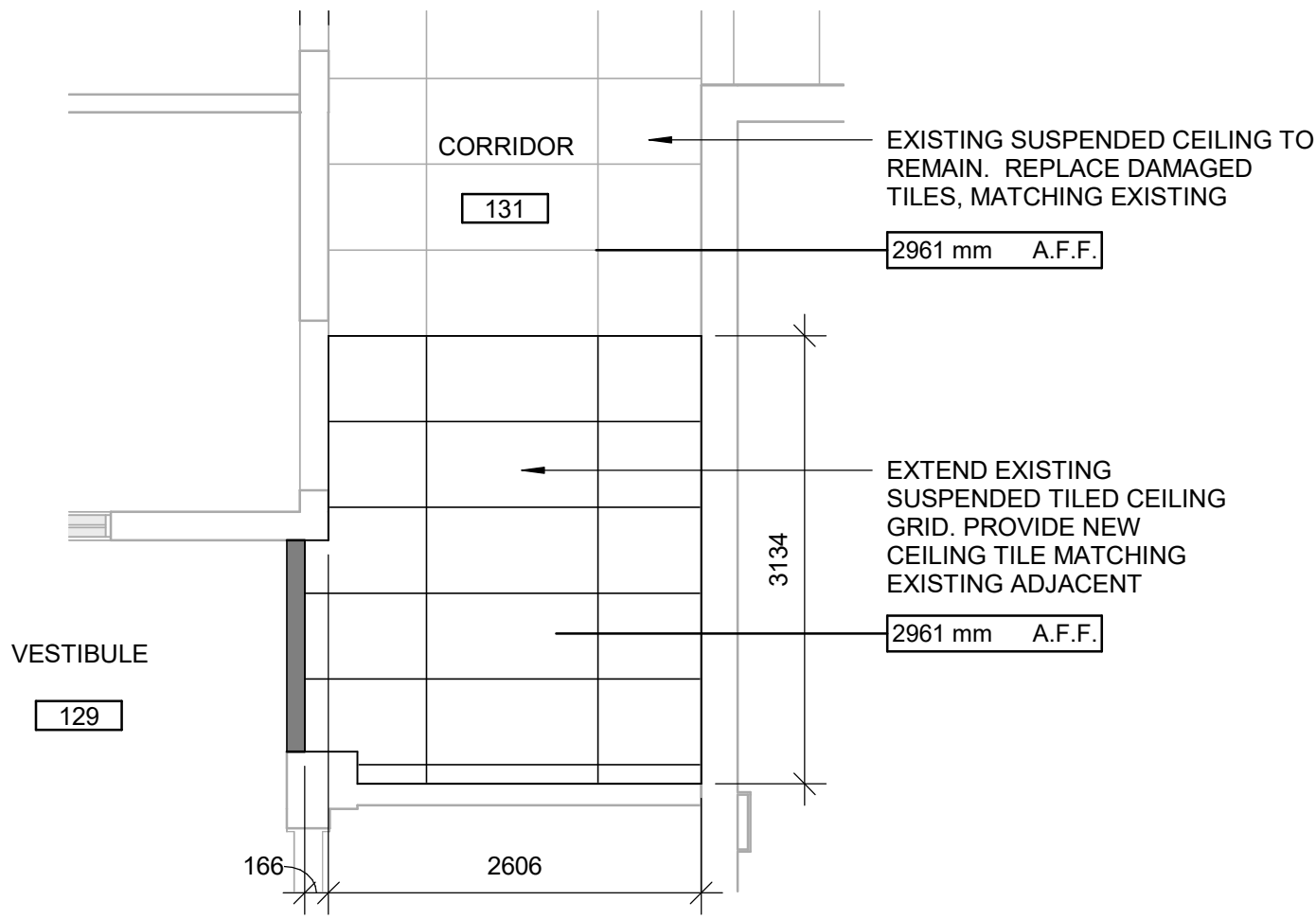
SHEET NUMBER
G08-013-A2621

ISSUE
0



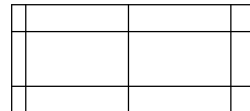


1 FIRST FLOOR-PROPOSED RCP - FEMALE CHANGE ROOM/ WASHROOM
A2811 / Scale: 1 : 50



2 FIRST FLOOR-PROPOSED RCP - VESTIBULE
A2811 / Scale: 1 : 50

CEILING LEGEND



SUSPENDED METAL GRID
AND LAY-IN ACOUSTIC TILE
SIZE TO MATCH EXISTING



GYPSUM BOARD CEILING
AND BULKHEAD

CEILING GENERAL NOTES

- 1 FOR LOCATION OF ELECTRICAL FIXTURES INCLUDING EXIT SIGNS. REFER TO ELECTRICAL DRAWINGS.
- 2 FOR LOCATION & TYPE OF MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS.
- 3 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:

9119-19- 0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

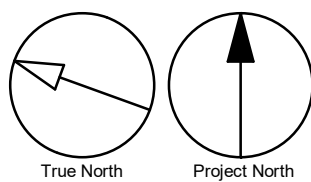
FIRST FLOOR
REFLECTED CEILING
PLAN

SHEET NUMBER

G08-013-A2811

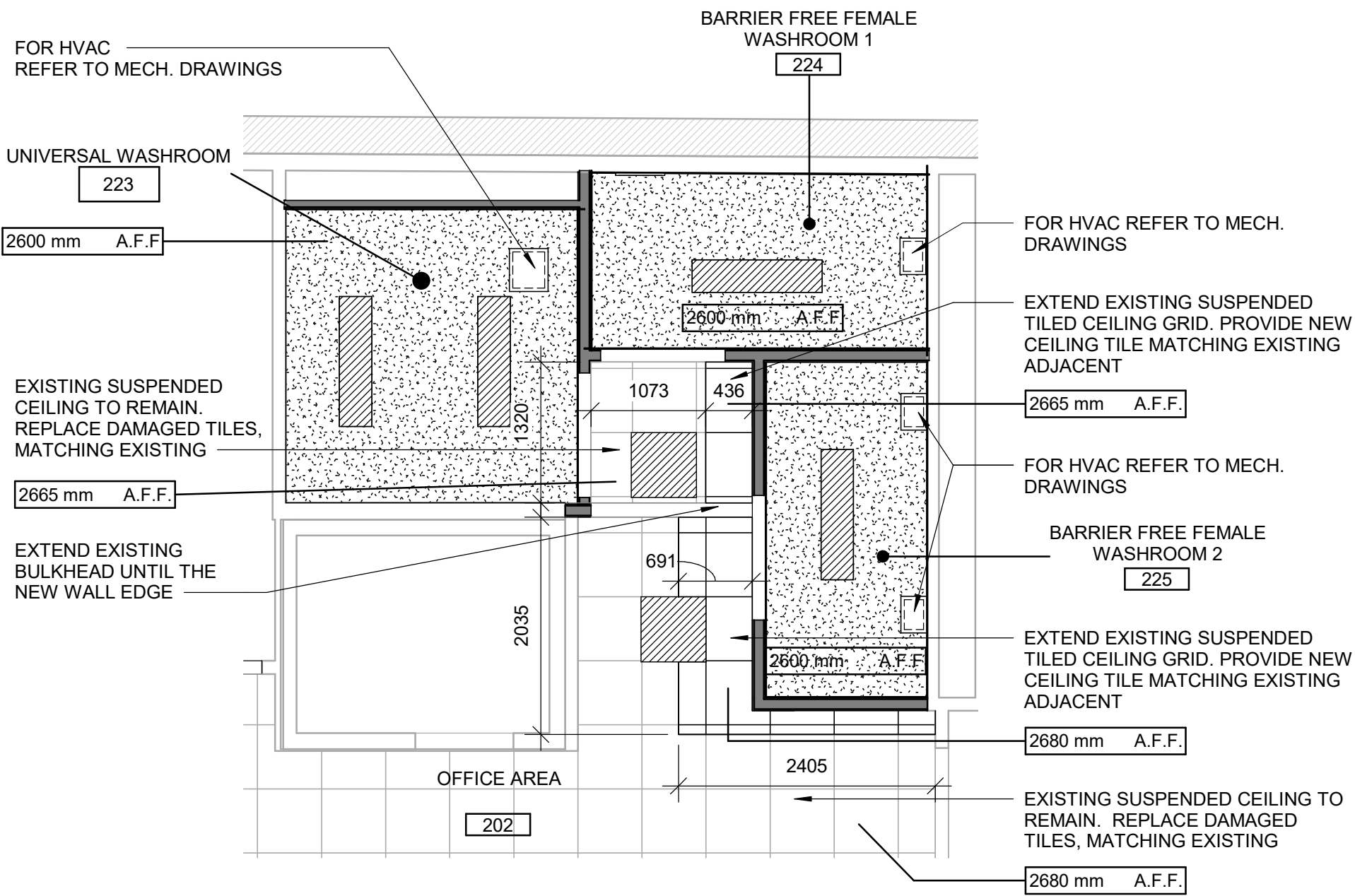
ISSUE

0

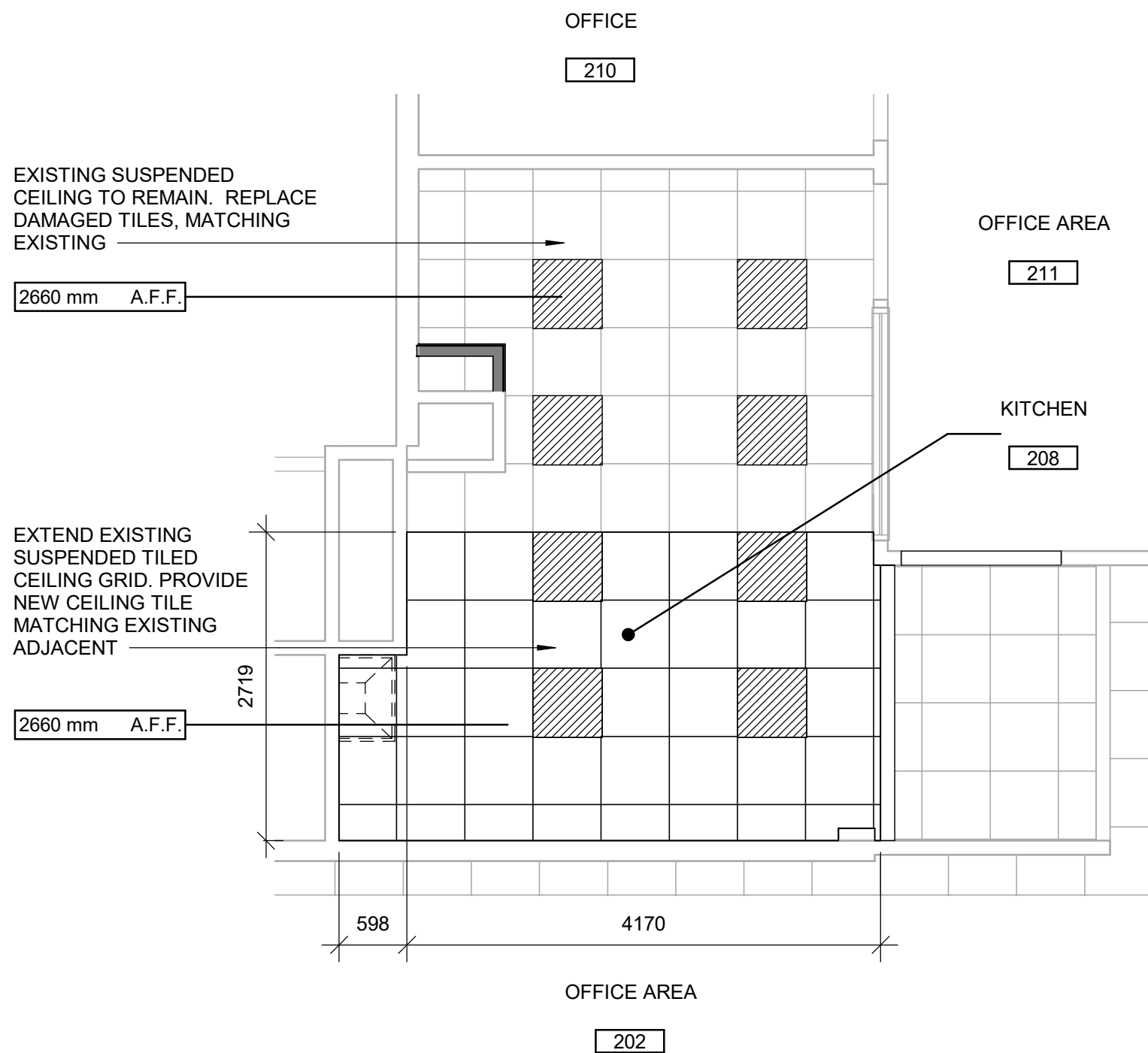


True North

Project North

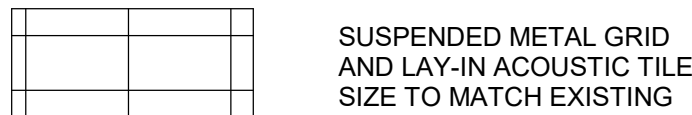


1 SECOND FLOOR - PROPOSED RCP - UNIVERSAL & BARRIER FREE WASHROOMS
A2821 Scale: 1 : 50



2 SECOND FLOOR - PROPOSED RCP - KITCHEN
A2821 Scale: 1 : 50

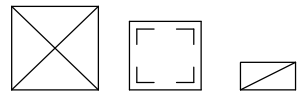
CEILING LEGEND



SUSPENDED METAL GRID AND LAY-IN ACOUSTIC TILE SIZE TO MATCH EXISTING



GYPSUM BOARD CEILING AND BULKHEAD



SUPPLY / RETURN DUCT



CEILING LIGHTING FIXTURE

CEILING GENERAL NOTES

- 1 FOR LOCATION OF ELECTRICAL FIXTURES INCLUDING EXIT SIGNS. REFER TO ELECTRICAL DRAWINGS.
- 2 FOR LOCATION & TYPE OF MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS.
- 3 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

CLIENT
CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

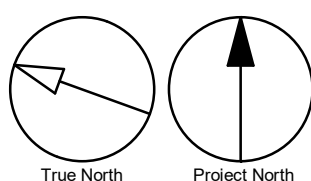
PROJECT NO:
9119-19-0612 / IBI 122260

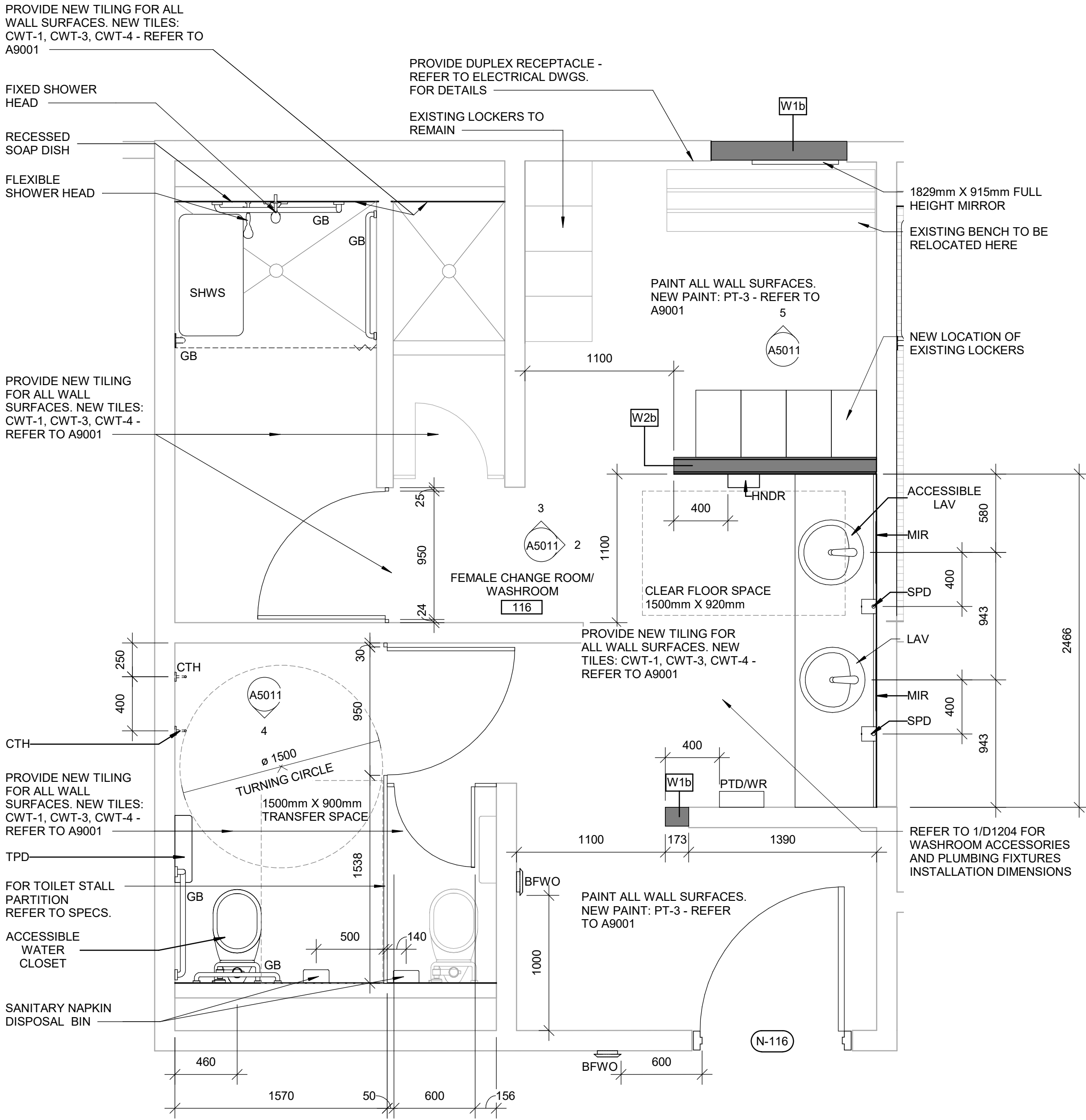
DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
**SECOND FLOOR
REFLECTED CEILING
PLAN**

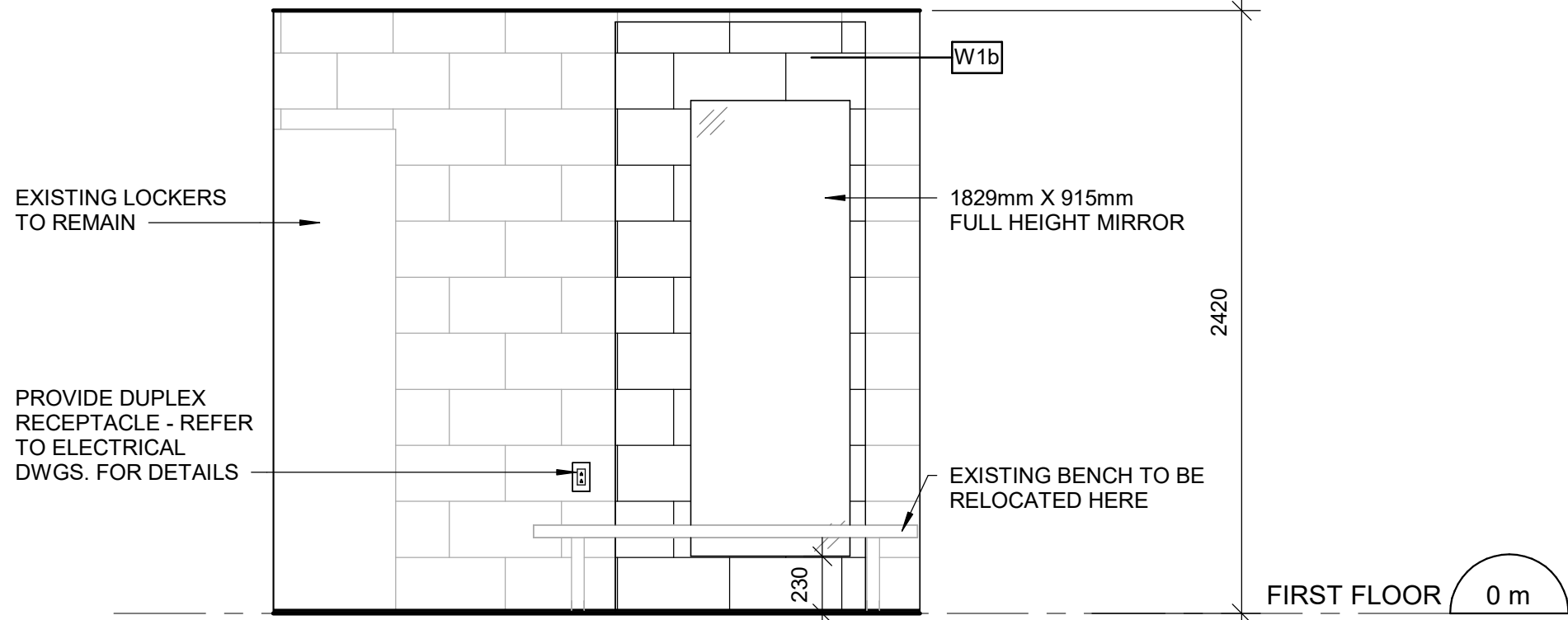
SHEET NUMBER
G08-013-A2821

ISSUE
0

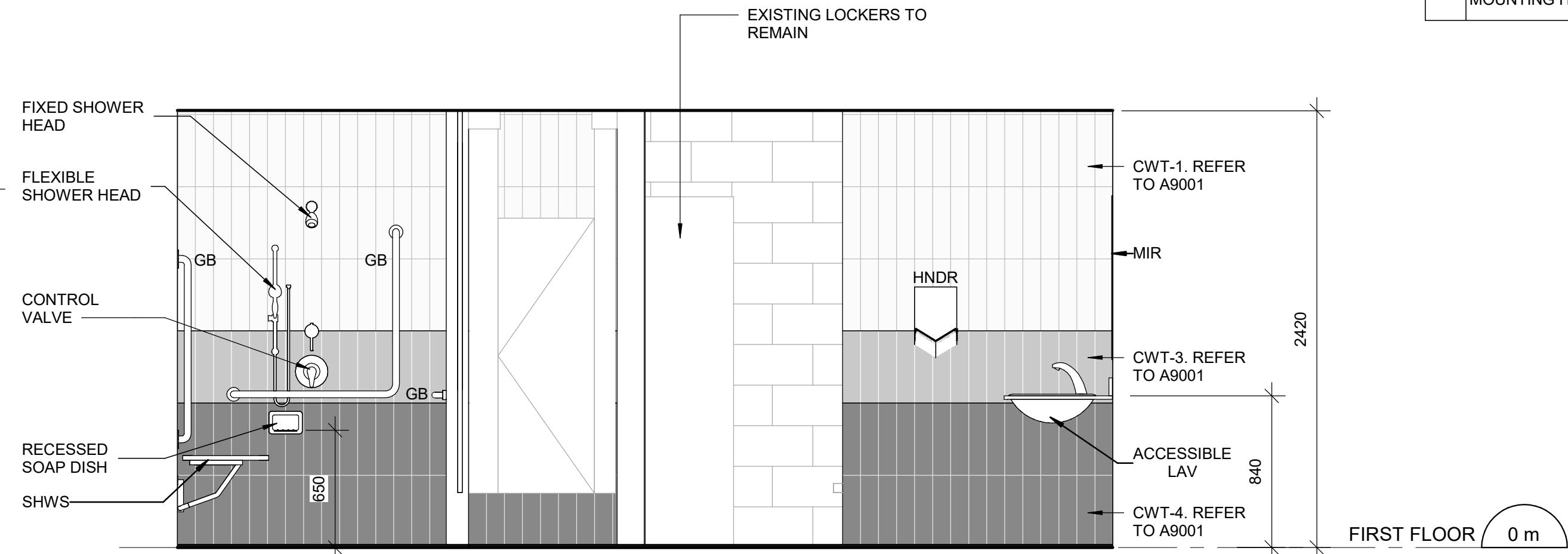




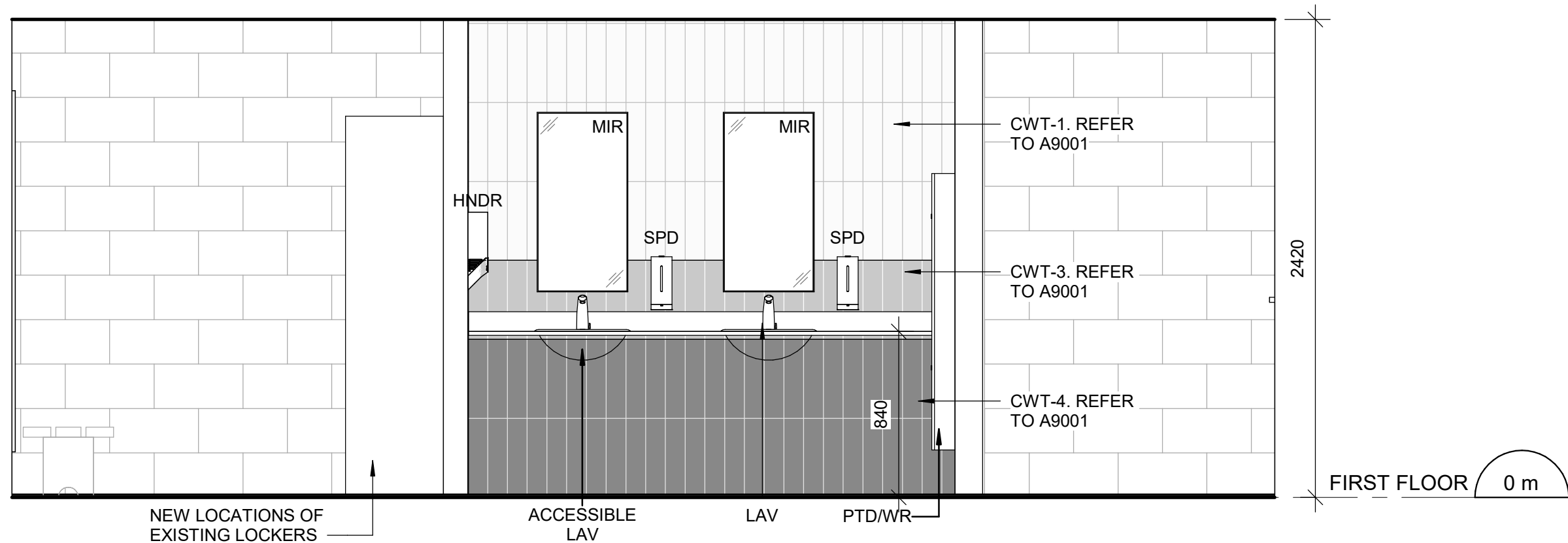
1 FIRST FLOOR-FEMALE CHANGE REOOM/ WASHROOM - PLAN
A5011 Scale: 1 : 25



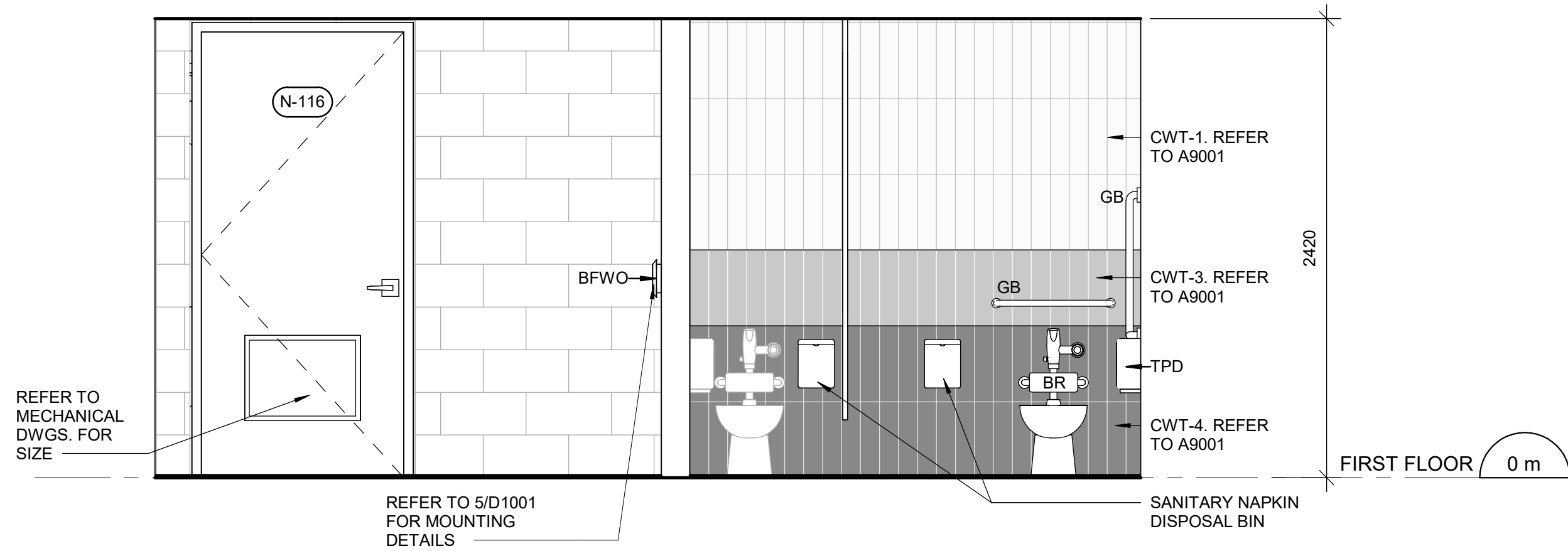
5 FIRST FLOOR - FEMALE WASHROOM ELEVATION 5
A5011 Scale: 1 : 25



3 FIRST FLOOR - FEMALE WASHROOM ELEVATION 2
A5011 Scale: 1 : 25



2 FIRST FLOOR - FEMALE WASHROOM ELEVATION 1
A5011 Scale: 1 : 25



4 FIRST FLOOR - FEMALE WASHROOM ELEVATION 4
A5011 Scale: 1 : 25

CONSTRUCTION KEY LEGEND

	EXISTING PARTITION TO REMAIN
	NEW PARTITION REFER TO PARTITION SCHEDULE
	EXISTING DOOR TO REMAIN
	NEW DOOR AND/ OR NEW HARDWARE

WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.
3	REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS.
4	REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS.
5	REFER TO 2/D1201 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS.
6	REFER TO 1/D1201 FOR ACCESSIBLE SHOWER ACCESSORIES MOUNTING HEIGHTS.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C3, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:

9119-19- 0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

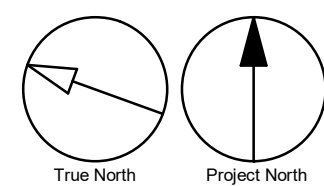
GROUND FLOOR
FEMALE WASHROOM
PLANS AND ELEVATIONS

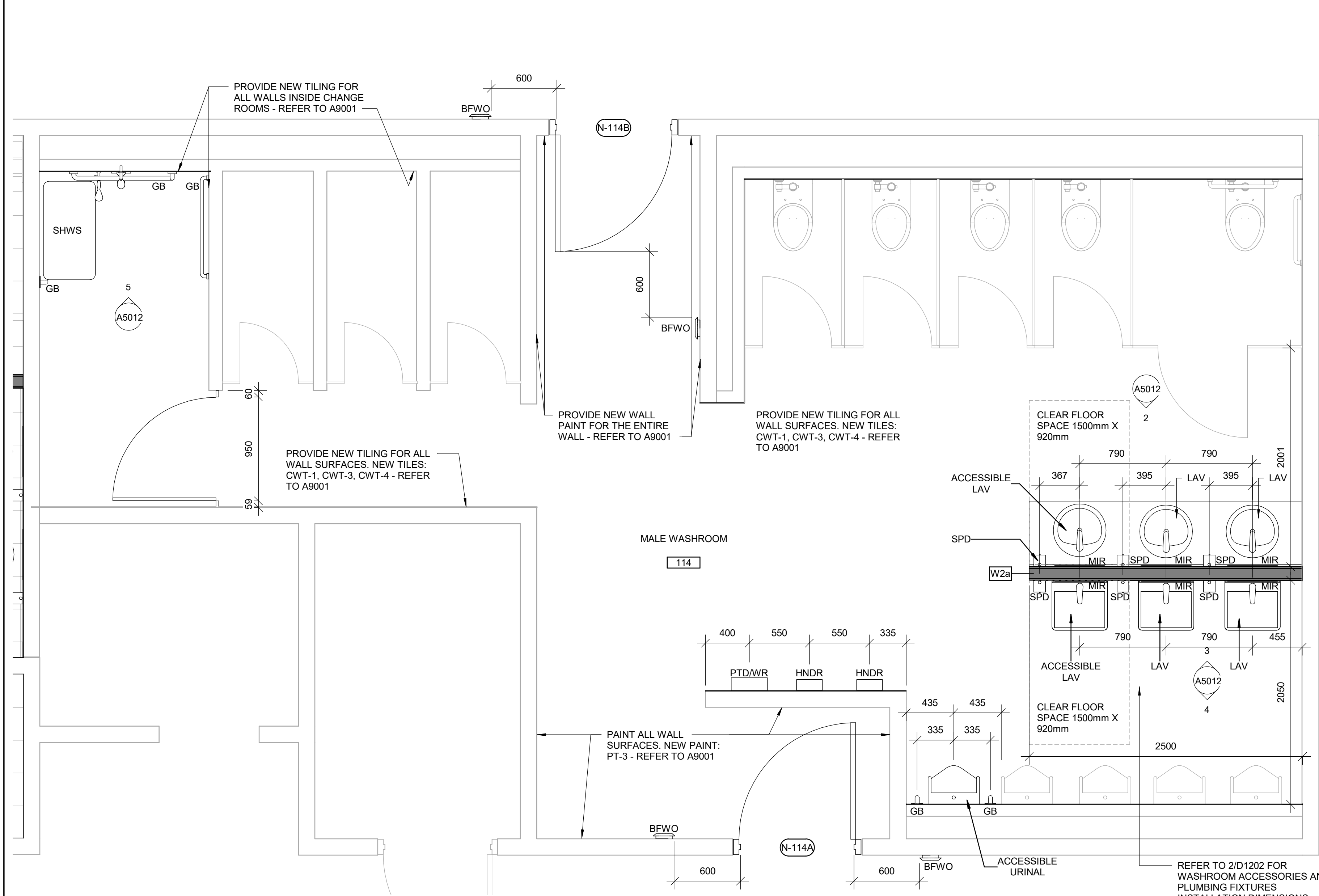
SHEET NUMBER

G08-013-A5011

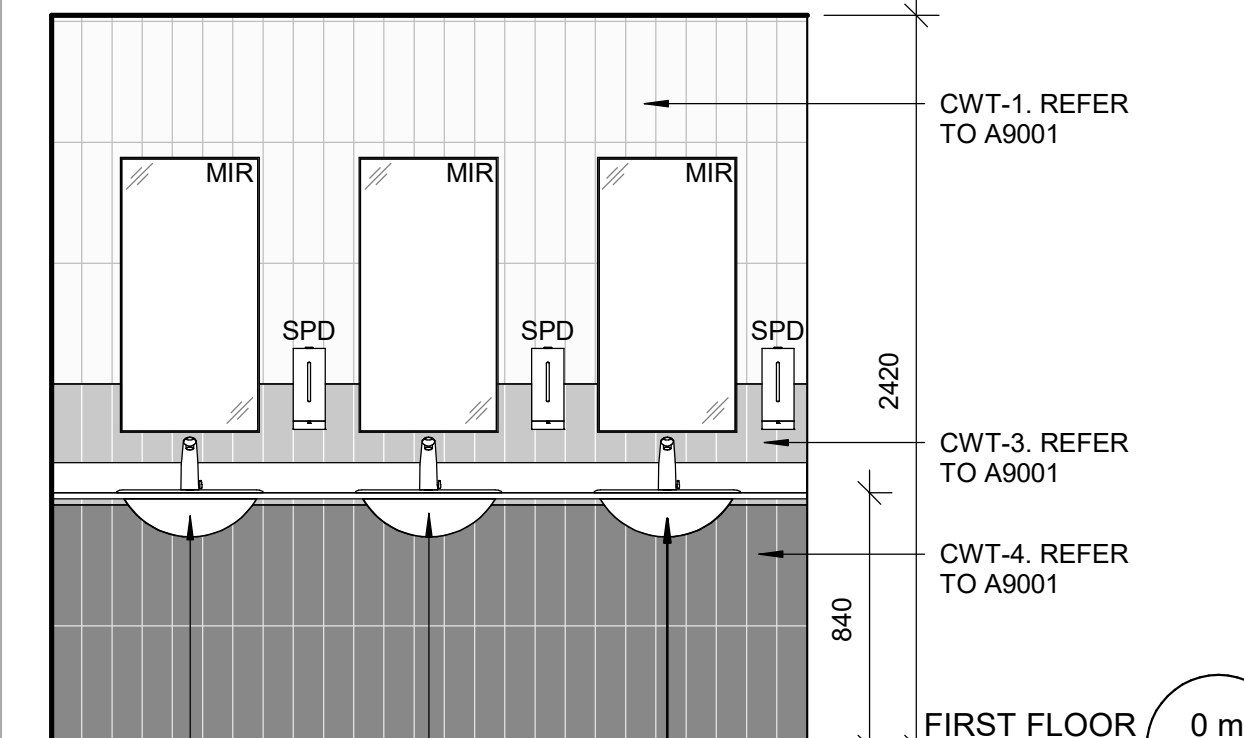
ISSUE

0

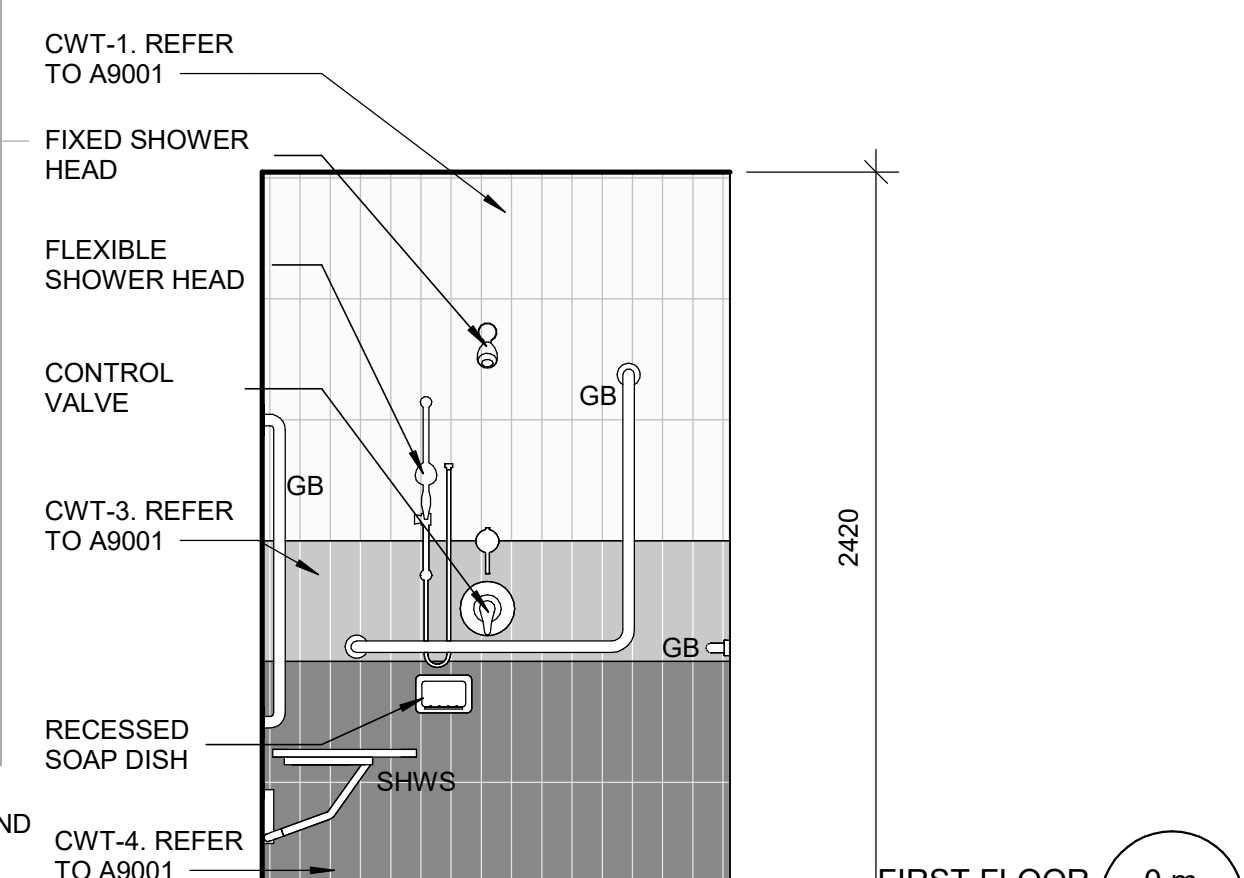




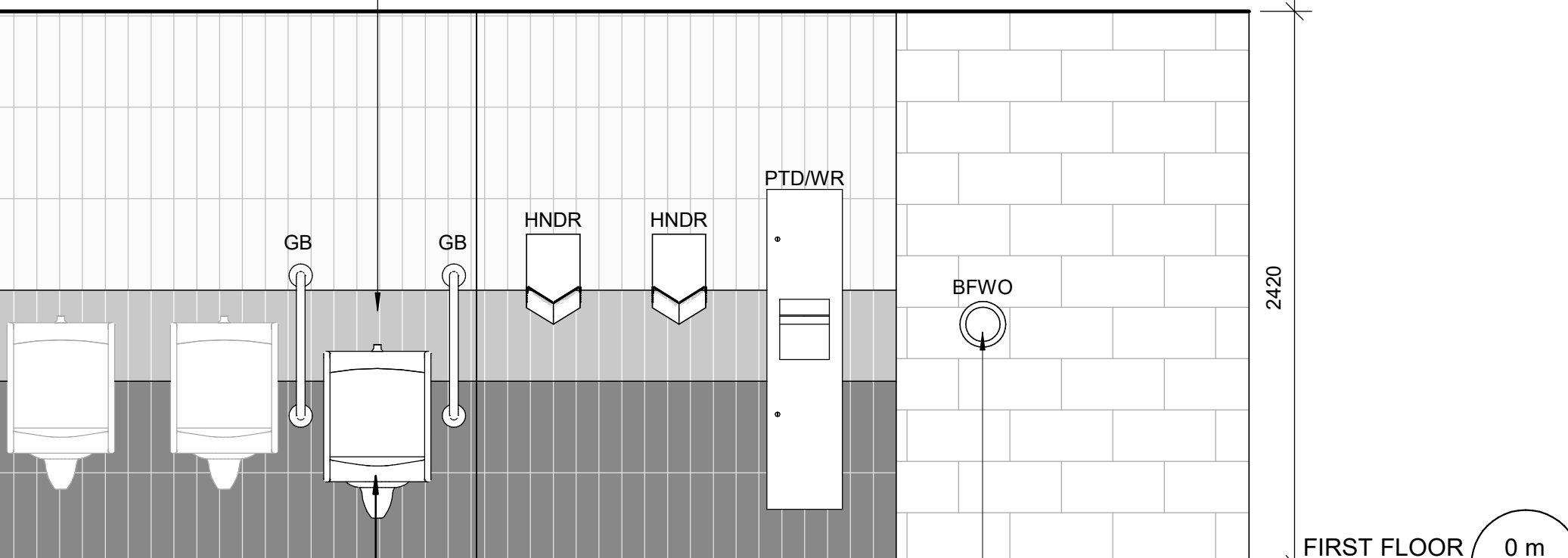
1 FIRST FLOOR-MALE WASHROOM - PLAN
A5012 Scale: 1 : 25



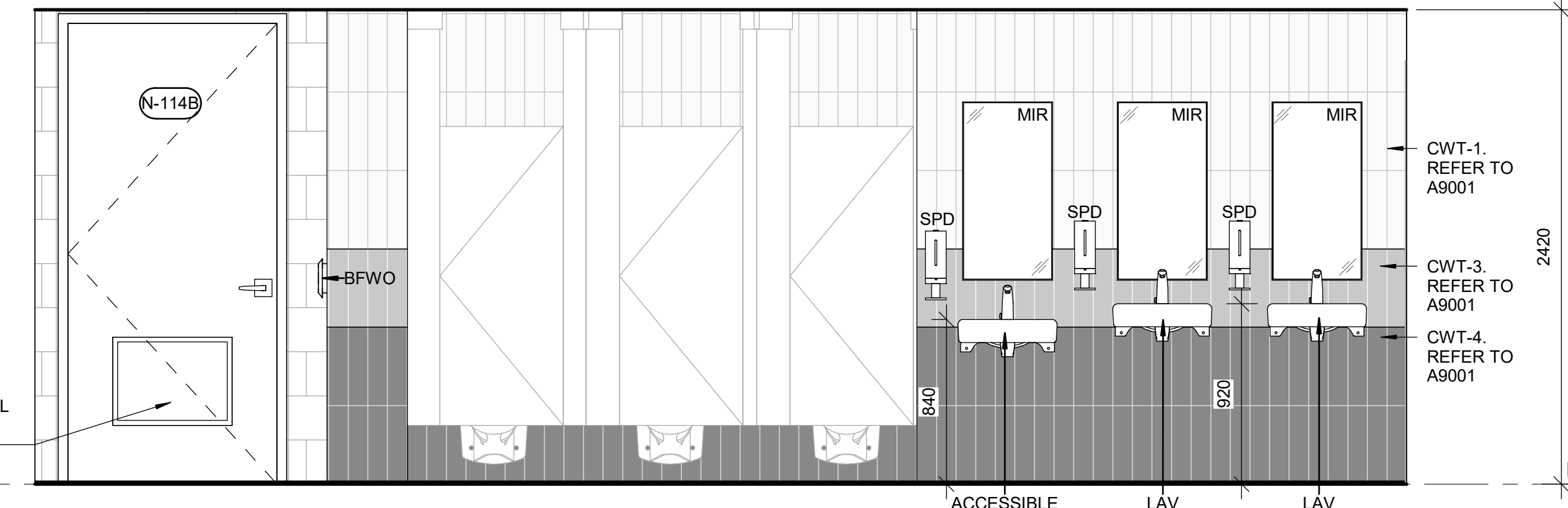
2 FIRST FLOOR - MALE WASHROOM ELEVATION 2
A5012 Scale: 1 : 25



3 FIRST FLOOR - MALE WASHROOM ELEVATION 3
A5012 Scale: 1 : 25



4 FIRST FLOOR - MALE WASHROOM ELEVATION 4
A5012 Scale: 1 : 25



5 FIRST FLOOR - MALE WASHROOM ELEVATION 5
A5012 Scale: 1 : 25

CONSTRUCTION KEY LEGEND		
	EXISTING PARTITION TO REMAIN	
	NEW PARTITION REFER TO PARTITION SCHEDULE	
	EXISTING DOOR TO REMAIN	
	NEW DOOR AND/ OR NEW HARDWARE	

WASHROOM GENERAL NOTES	
NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.
3	REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS.
4	REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS.
5	REFER TO 2/D1201 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS.
6	REFER TO 1/D1201 FOR ACCESSIBLE SHOWER ACCESSORIES MOUNTING HEIGHTS.
7	REFER TO 4/D1201 FOR ACCESSIBLE URINAL AND URINAL ACCESSORIES MOUNTING HEIGHTS.

CLIENT
CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use, and its reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS



PRIME CONSULTANT
IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

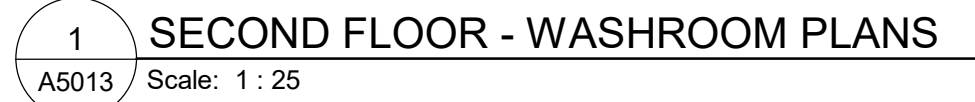
PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

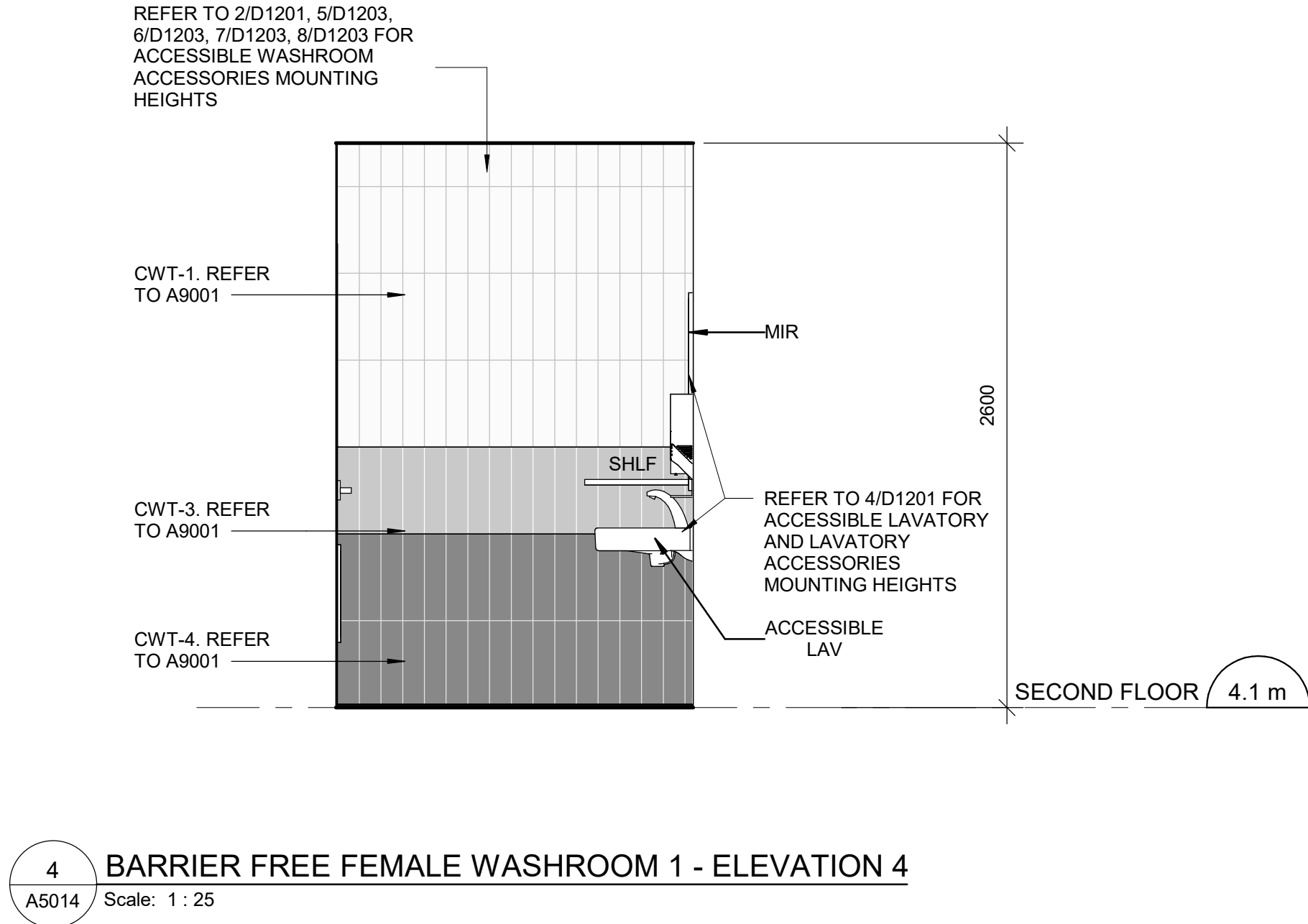
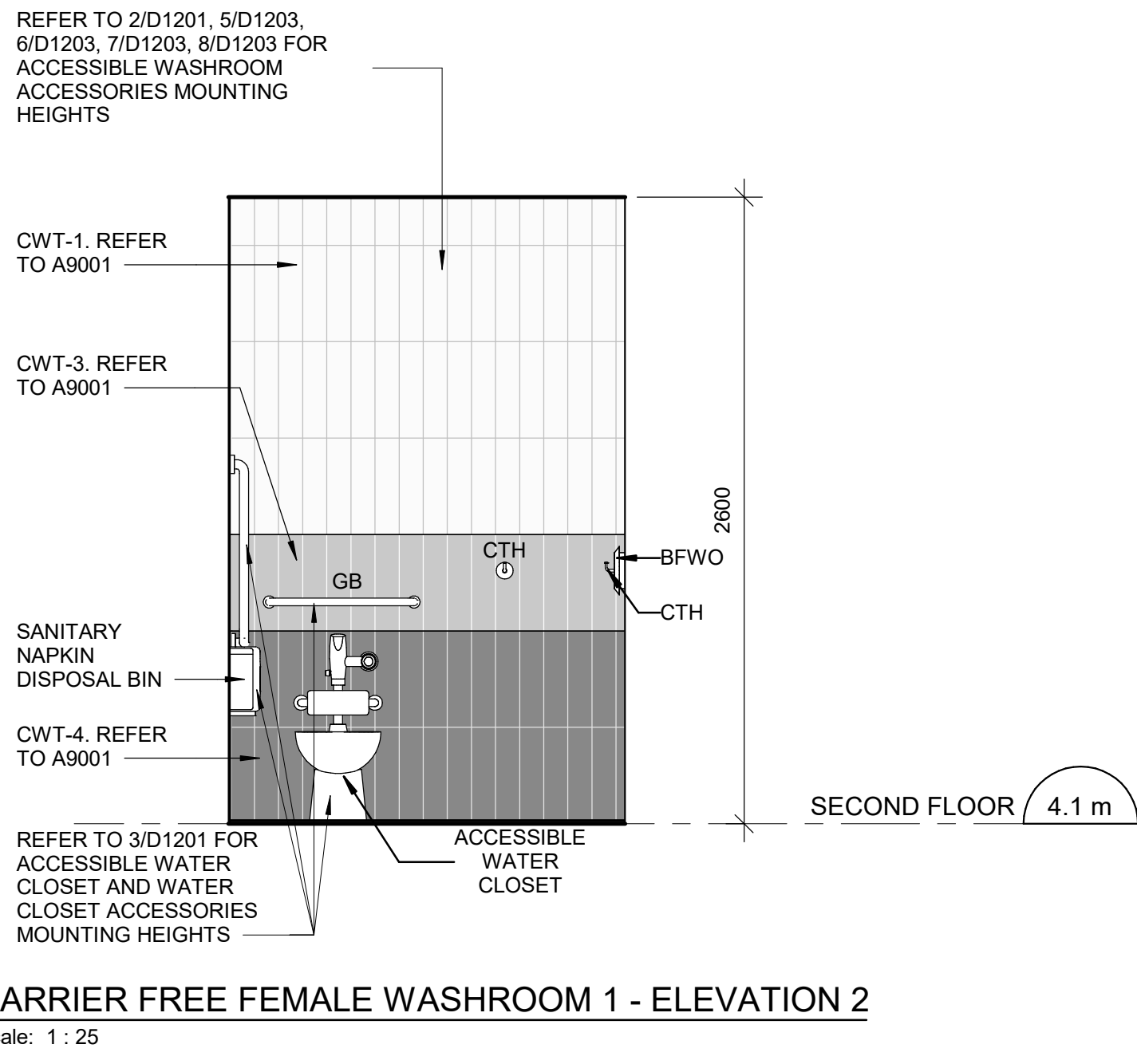
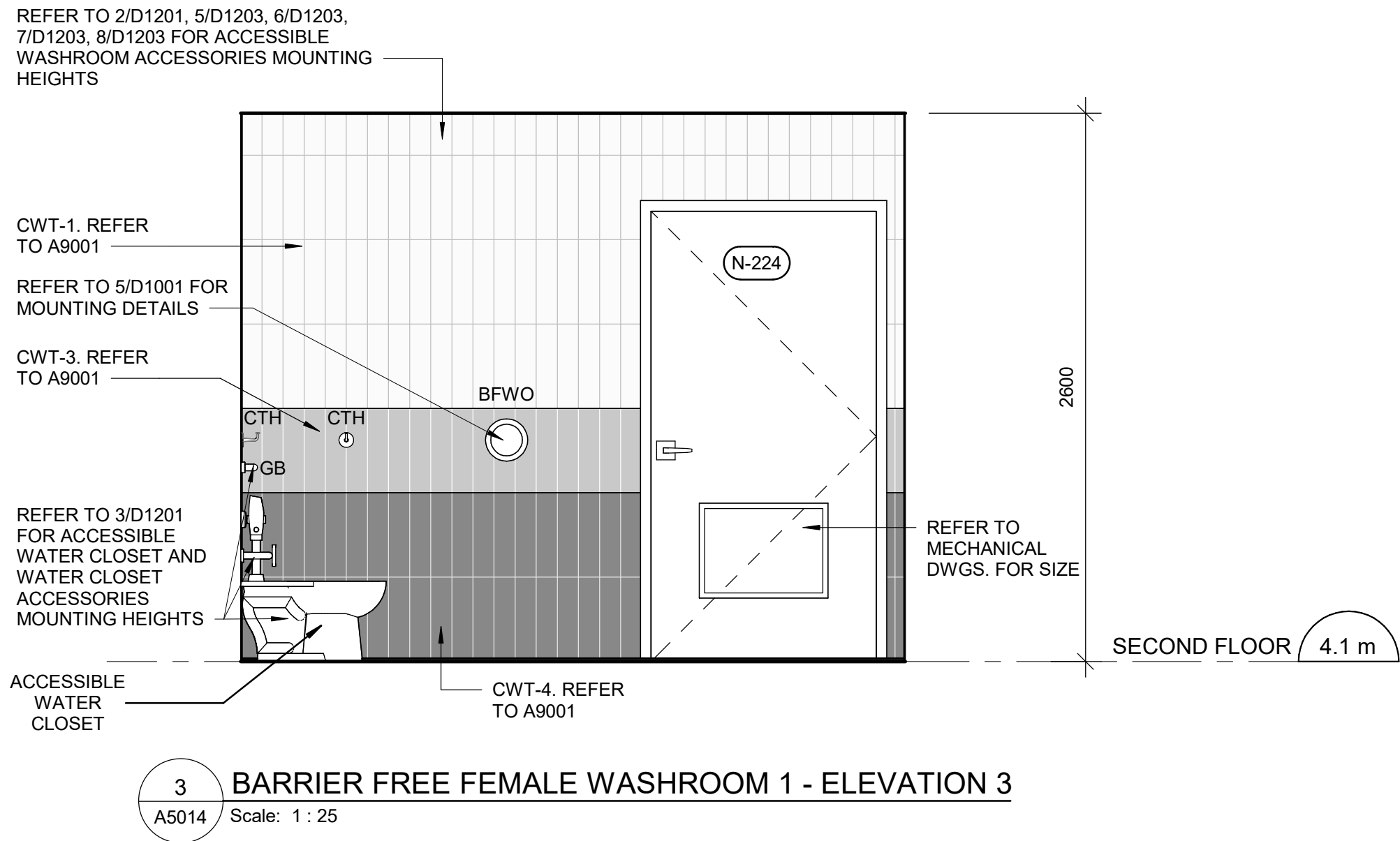
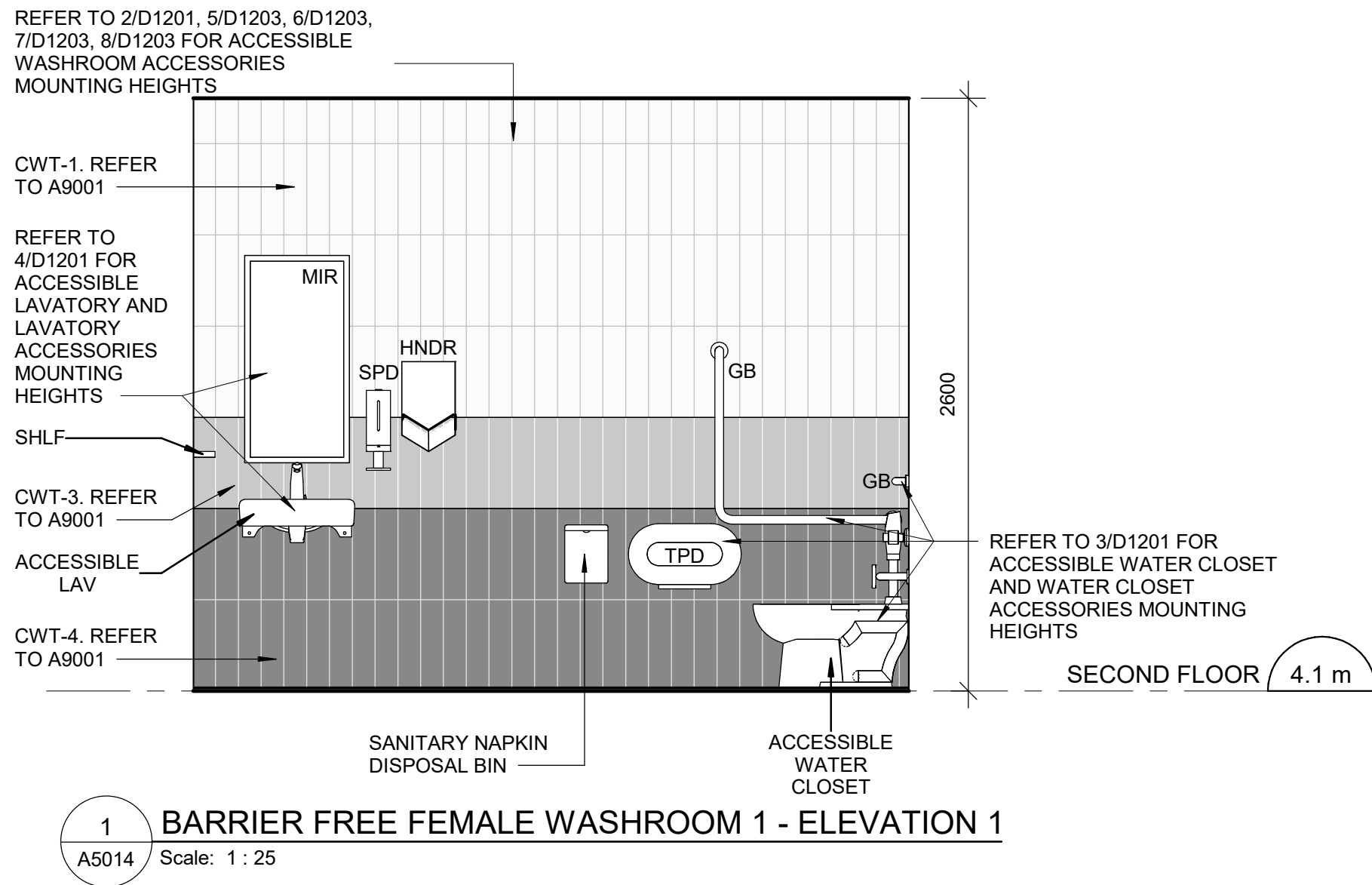
PROJECT NO:
9119-19-0612 / IBI 122260
DRAWN BY:
A. KVASNIUK
CHECKED BY:
S. HOUT
PROJECT MGR:
F. BOLOURIAN
APPROVED BY:
E. FENUTA

SHEET TITLE
GROUND FLOOR MALE
WASHROOM PLAN AND
ELEVATIONS

SHEET NUMBER
G08-013-A5012
ISSUE
0



2021-10-19 3:06:39 PM



WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE
BARRIER FREE
WASHROOM 1 -
ELEVATIONS

SHEET NUMBER
G08-013-A5014

ISSUE
0

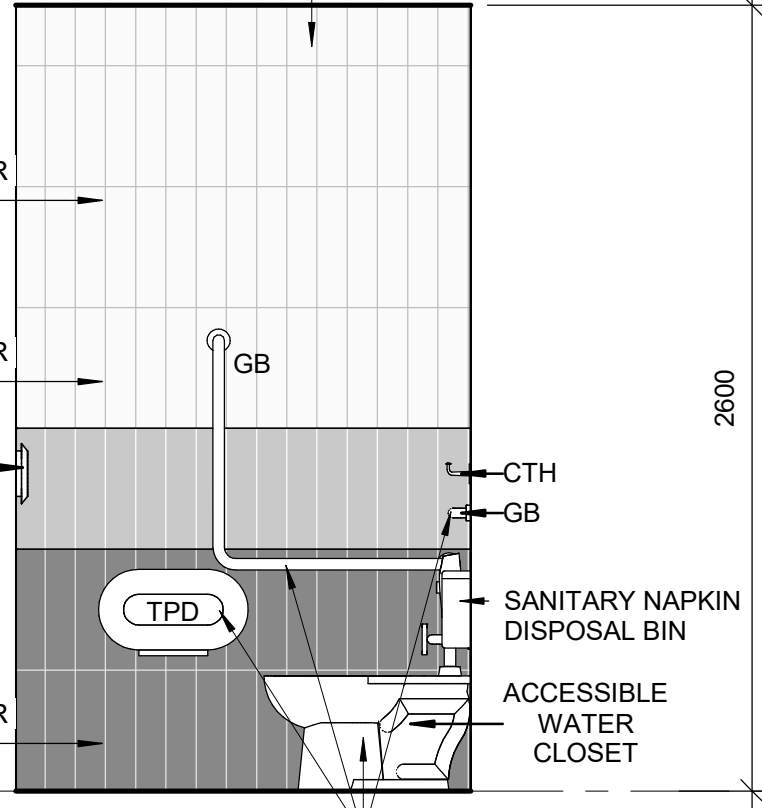
REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS

CWT-1. REFER TO A9001

CWT-3. REFER TO A9001

BFWO

CWT-4. REFER TO A9001



REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS

1 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 1

A5015 Scale: 1 : 25

REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS

CWT-1. REFER TO A9001

GB

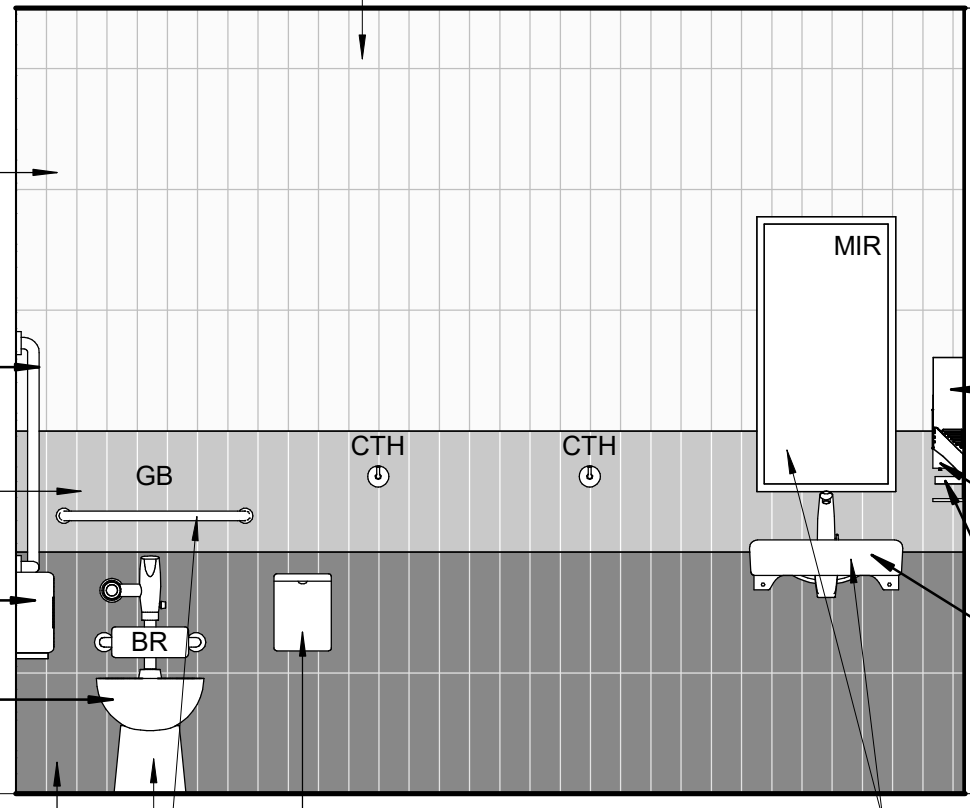
CWT-3. REFER TO A9001

TPD

ACCESSIBLE WATER CLOSET

CWT-4. REFER TO A9001

REFER TO 3/D1201 FOR ACCESSIBLE WATER CLOSET AND WATER CLOSET ACCESSORIES MOUNTING HEIGHTS



REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS

2 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 2

A5015 Scale: 1 : 25

REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHT

CWT-1. REFER TO A9001

MIR

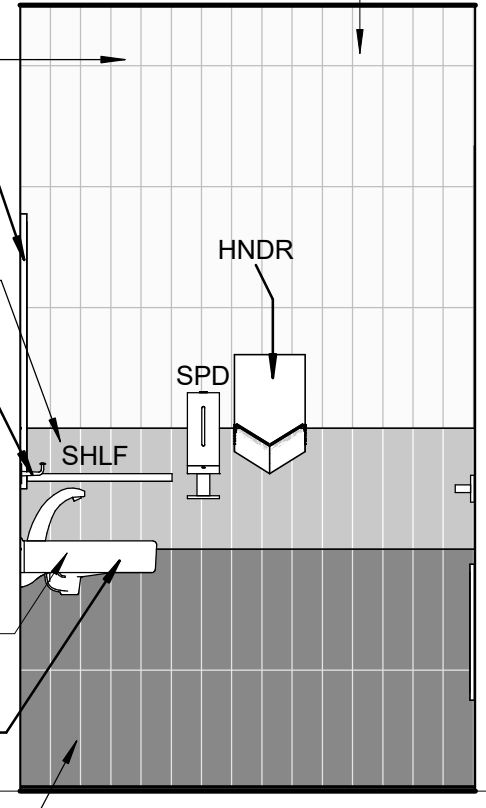
CWT-3. REFER TO A9001

CTH

REFER TO 4/D1201 FOR ACCESSIBLE LAVATORY AND LAVATORY ACCESSORIES MOUNTING HEIGHTS

ACCESSIBLE LAV

CWT-4. REFER TO A9001



SECOND FLOOR 4.1 m

3 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 3

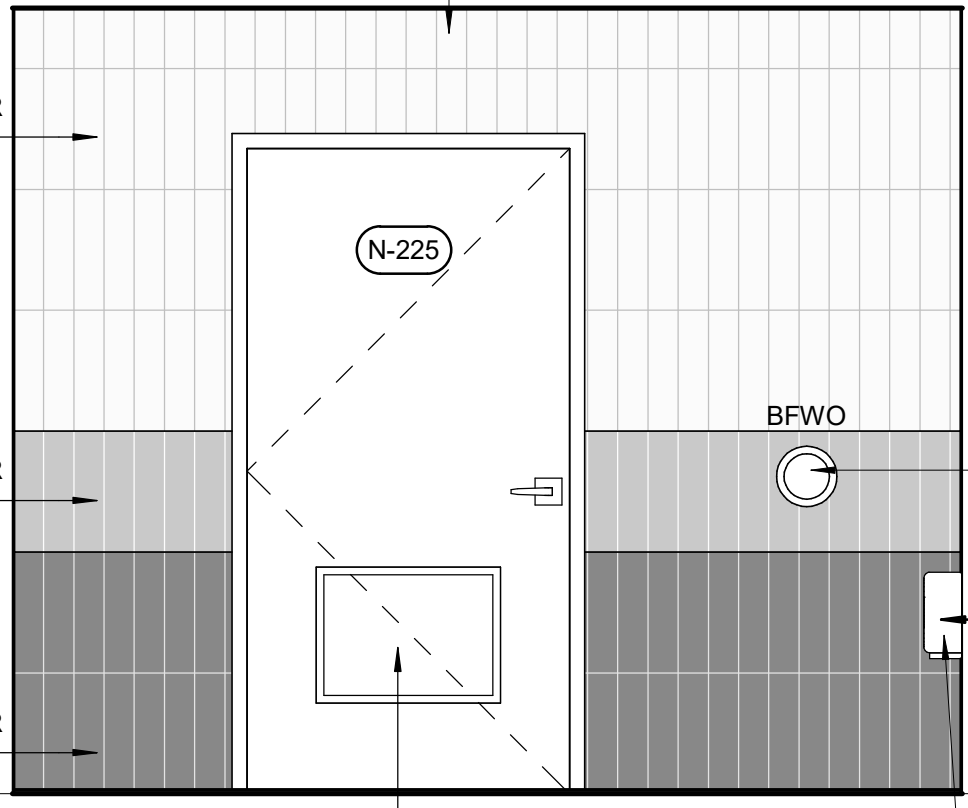
A5015 Scale: 1 : 25

REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS

CWT-1. REFER TO A9001

CWT-3. REFER TO A9001

CWT-4. REFER TO A9001



SECOND FLOOR 4.1 m

4 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 4

A5015 Scale: 1 : 25

WASHROOM GENERAL NOTES

NO	DESCRIPTION
1	ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
2	REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:

9119-19-0612 / IBI 122260

DRAWN BY:

A. KVASNIUK

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

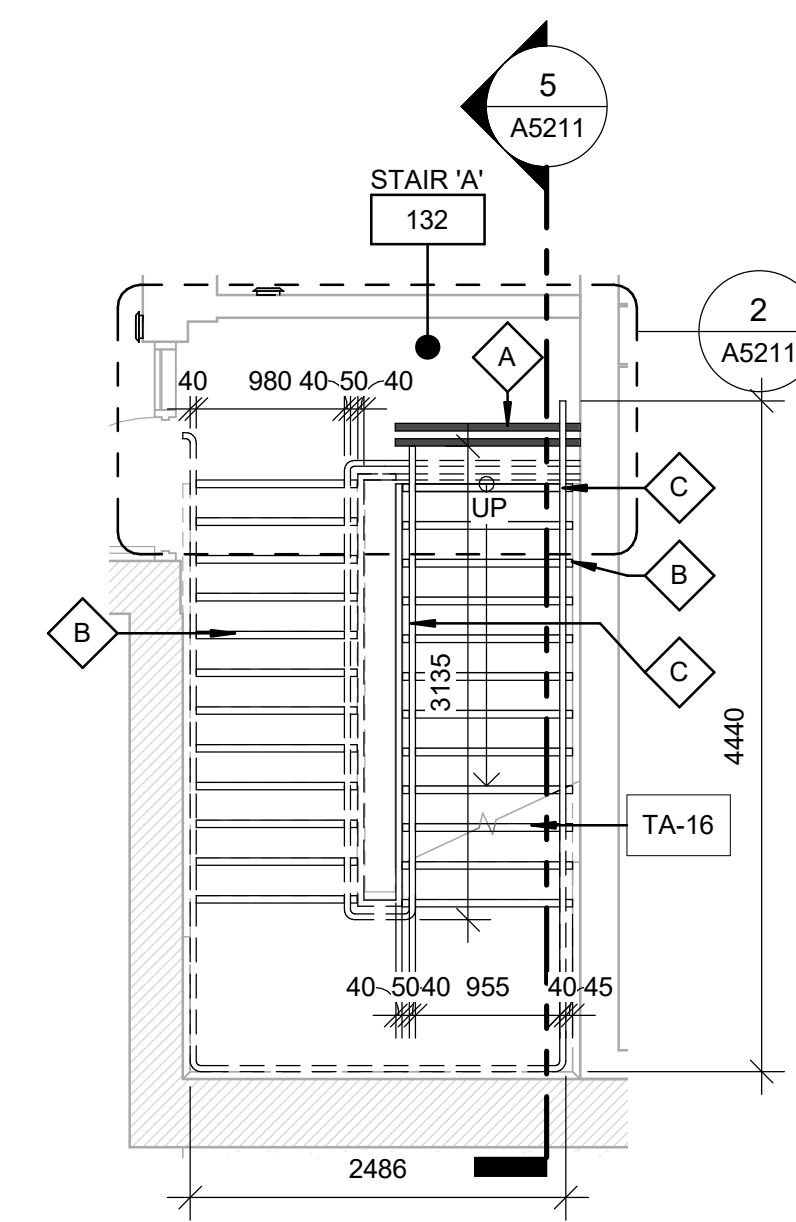
BARRIER FREE
WASHROOM 2 -
ELEVATIONS

SHEET NUMBER

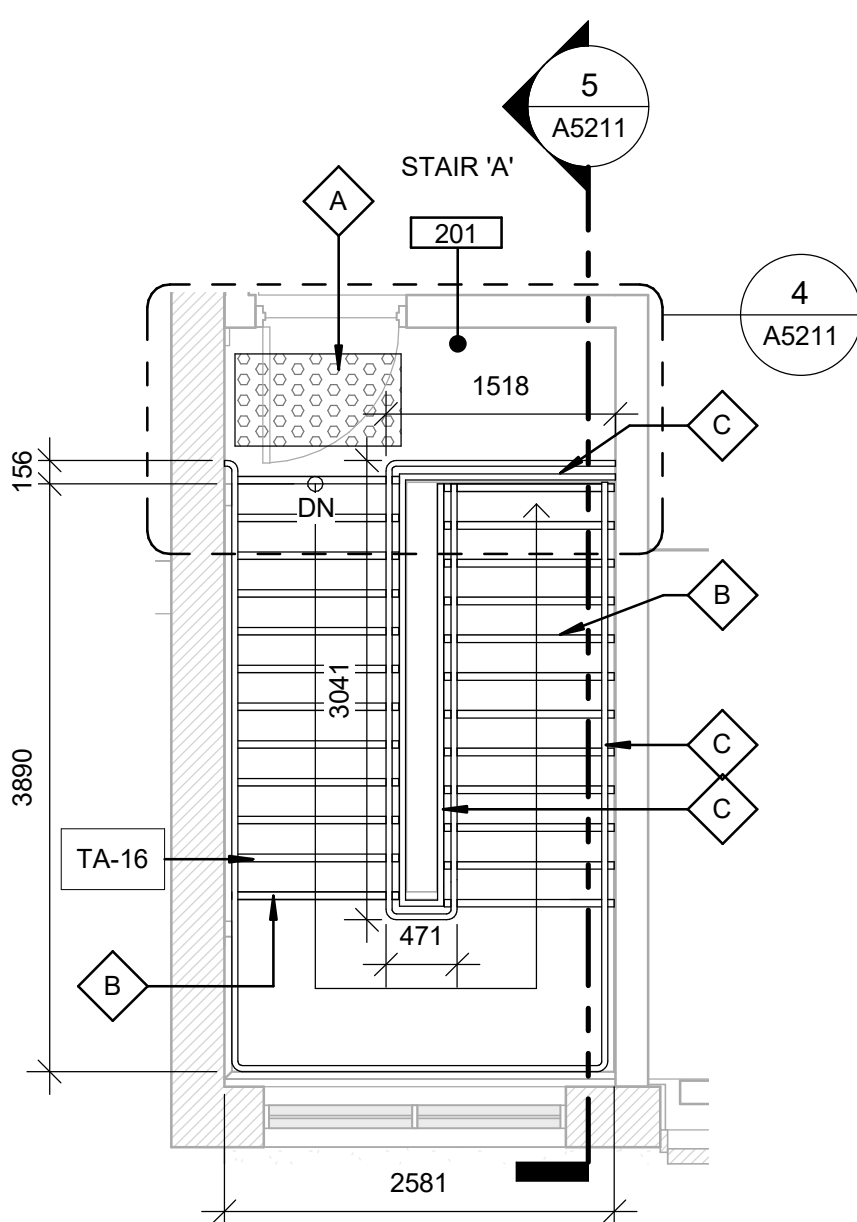
G08-013-A5015

ISSUE

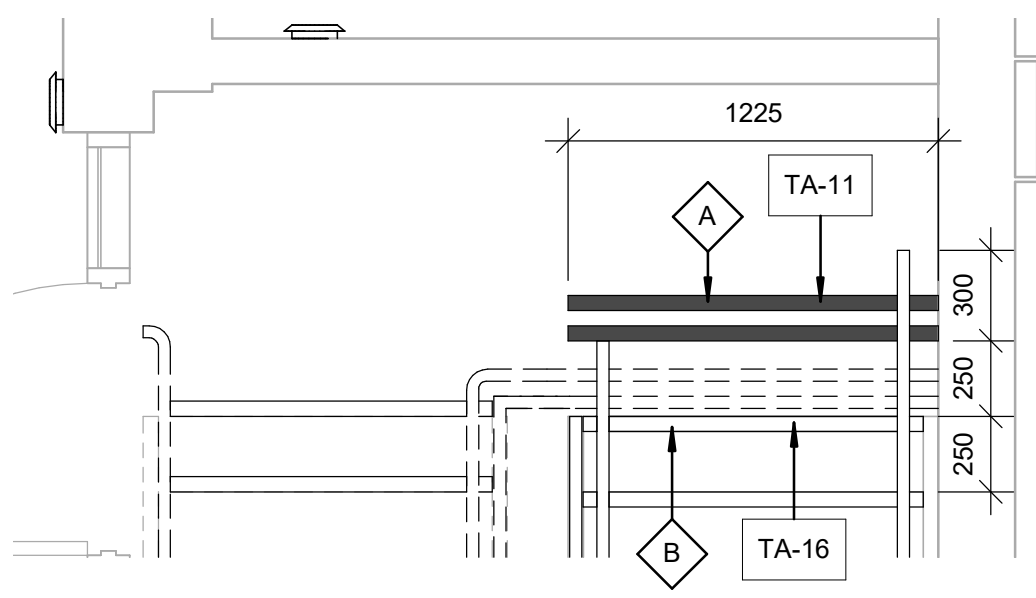
0



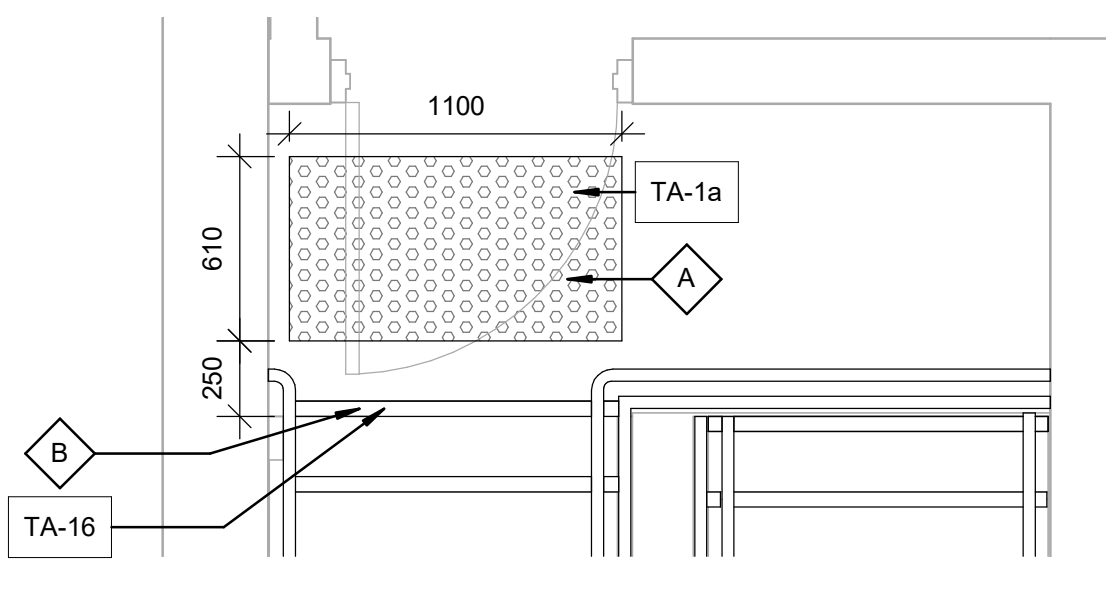
1 STAIR A - FIRST FLOOR STAIR PLAN
A5211 Scale: 1 : 50



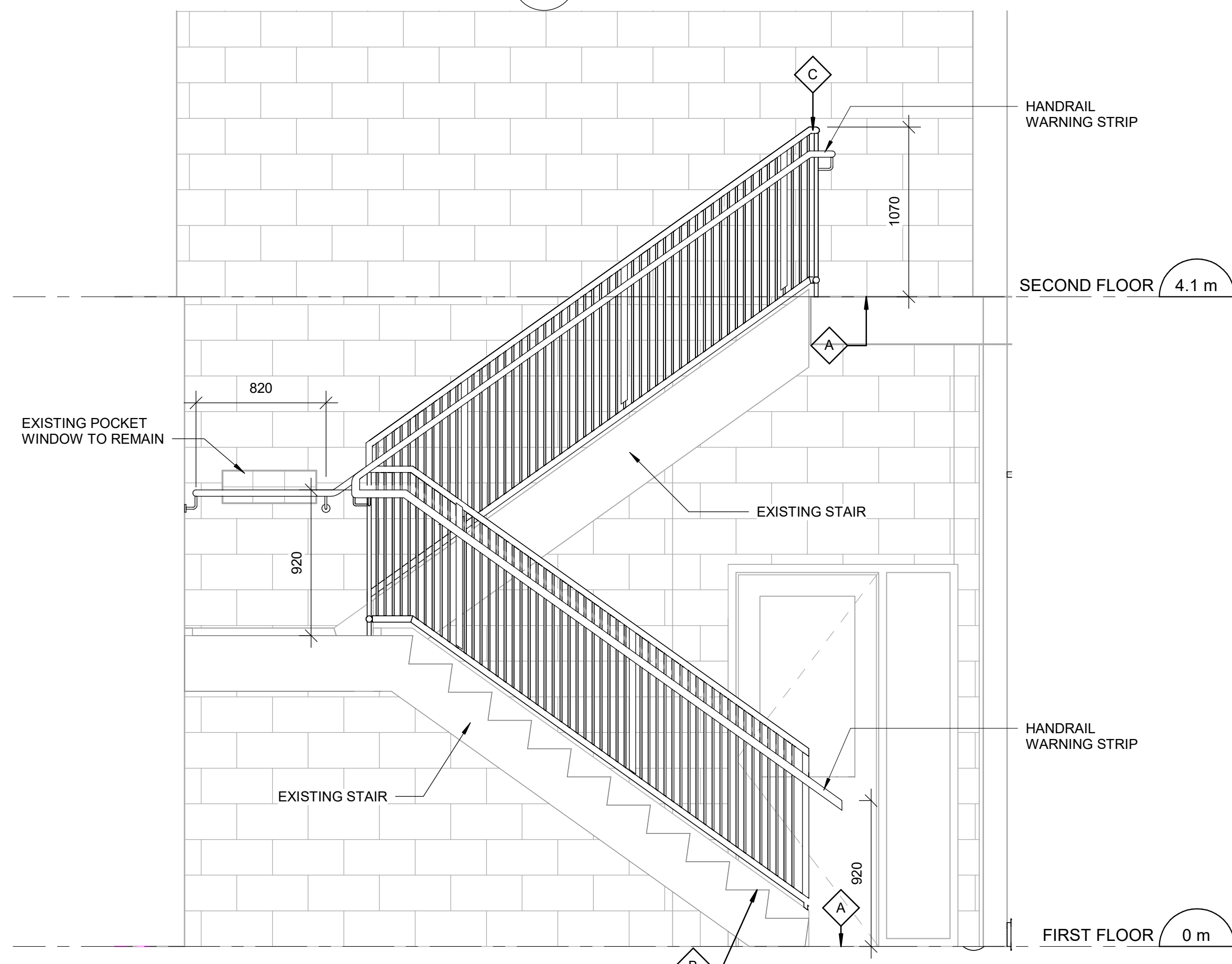
3 STAIR A - SECOND FLOOR STAIR PLAN
A5211 Scale: 1 : 50



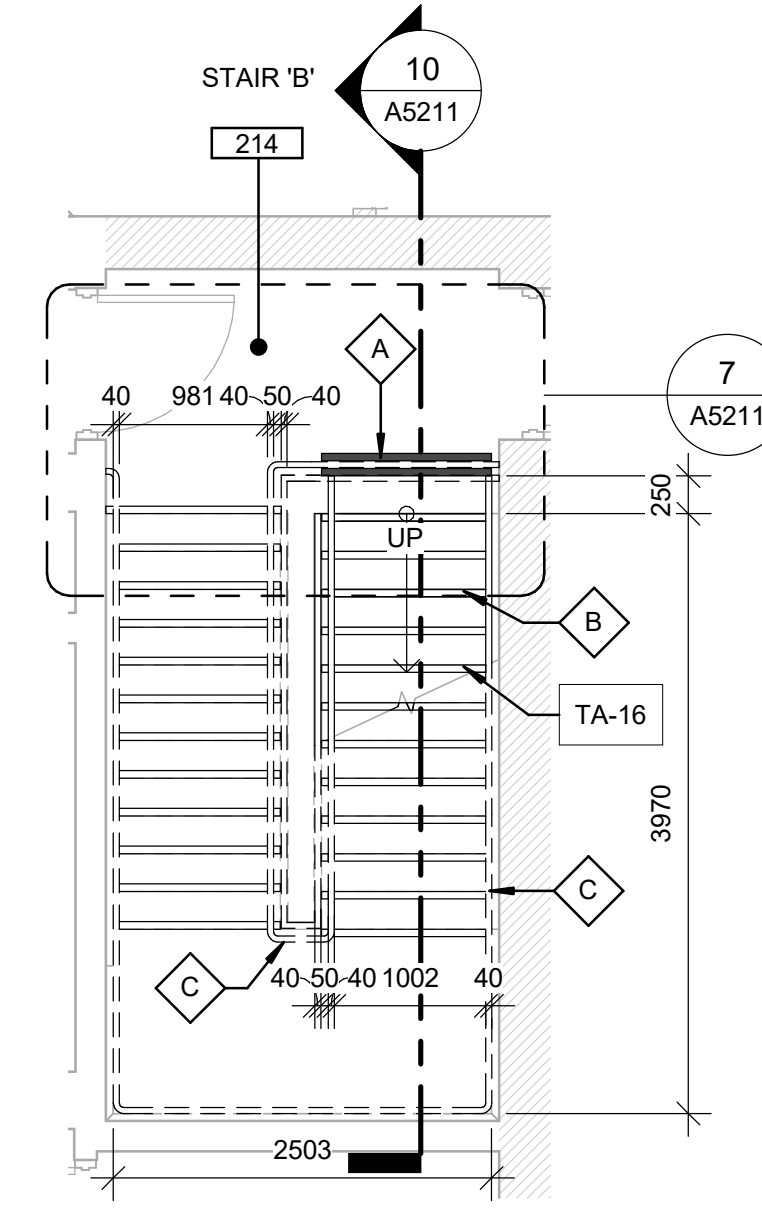
2 STAIR A - BOTTOM
A5211 Scale: 1 : 25



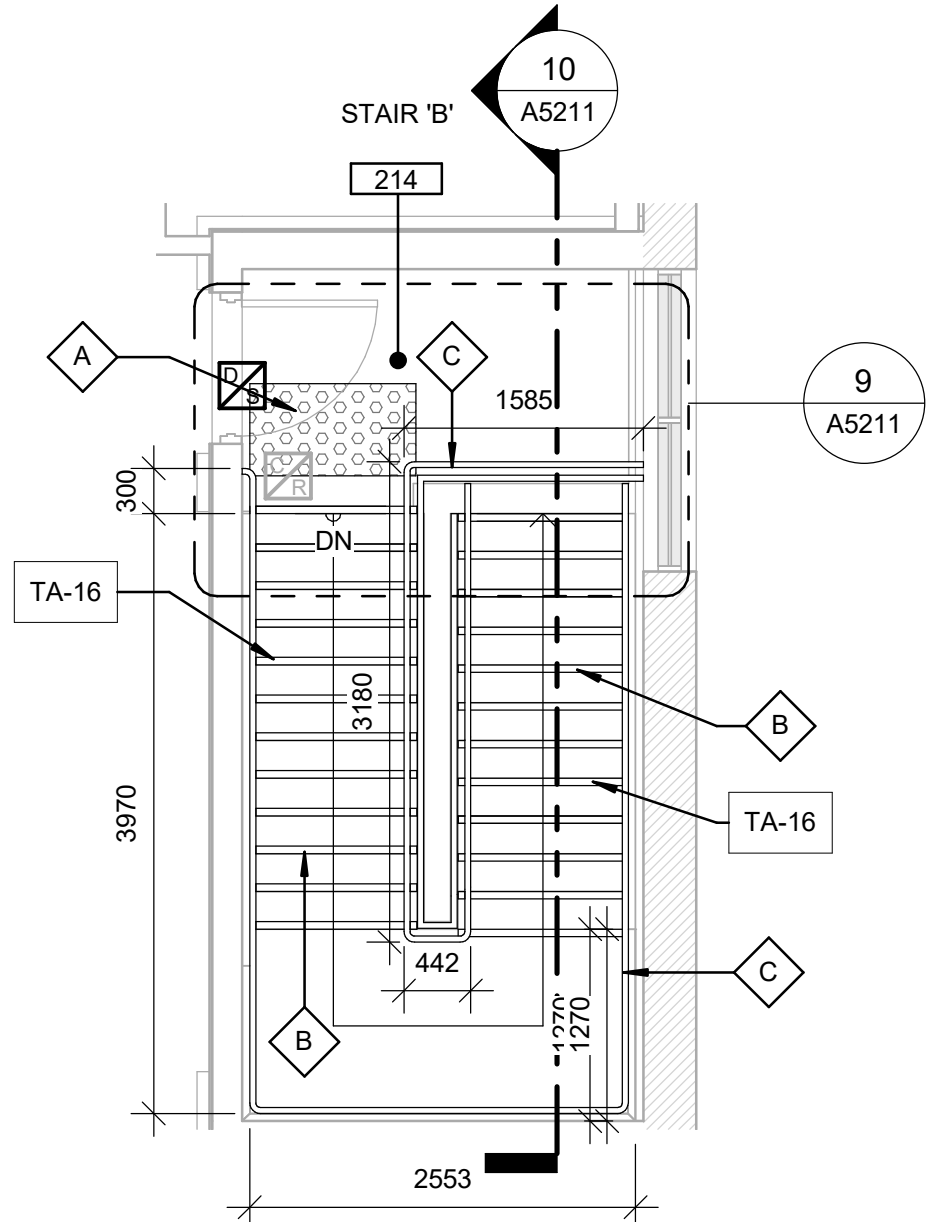
4 STAIR A - TOP
A5211 Scale: 1 : 25



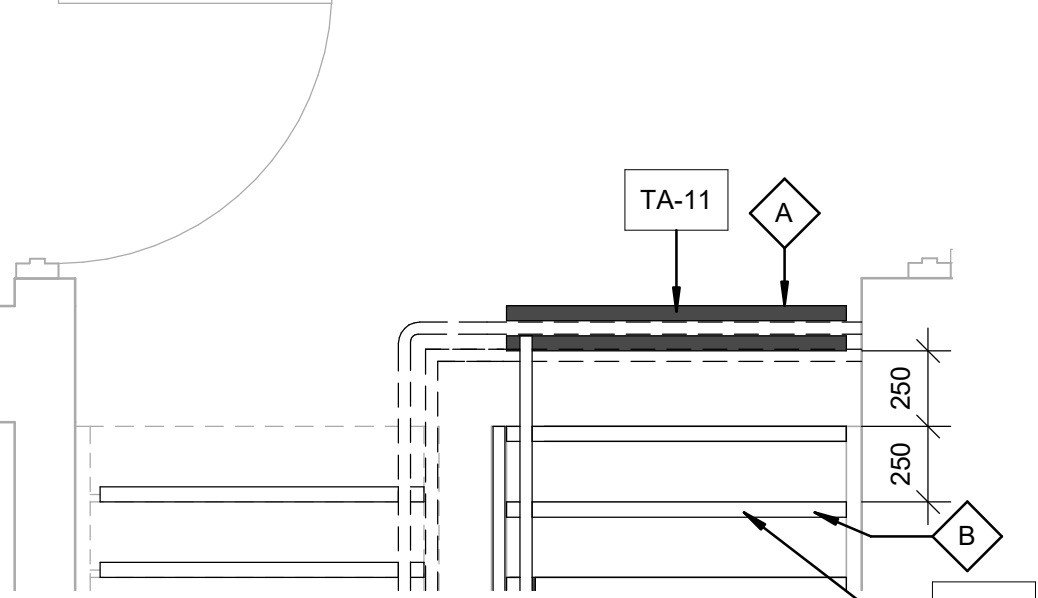
5 STAIR A - SECTION
A5211 Scale: 1 : 25



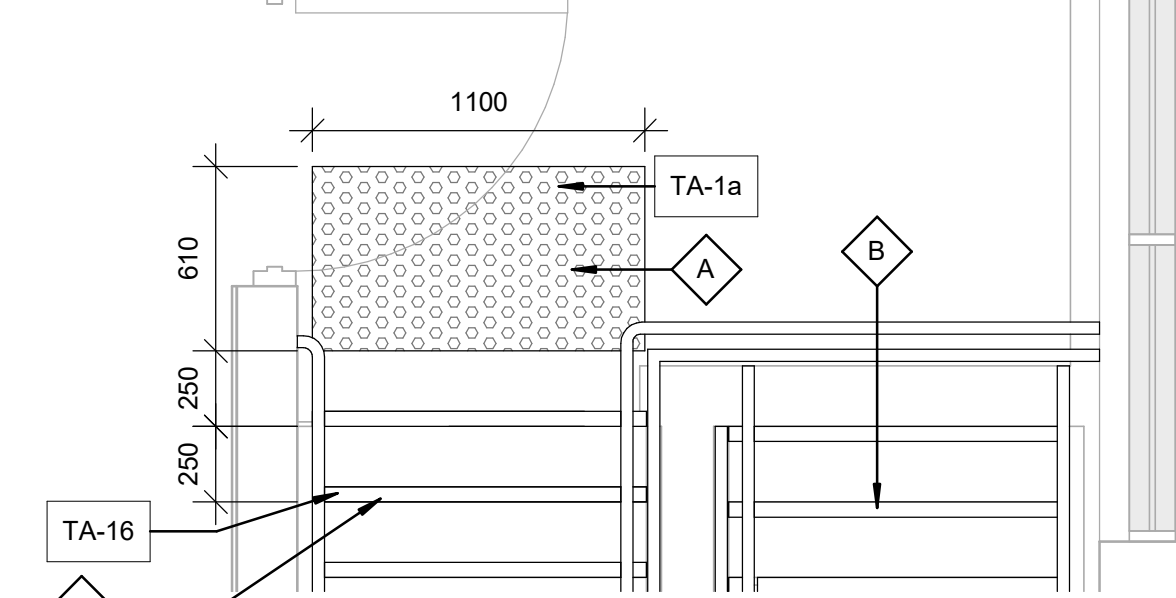
6 STAIR B - FIRST FLOOR STAIR PLAN
A5211 Scale: 1 : 50



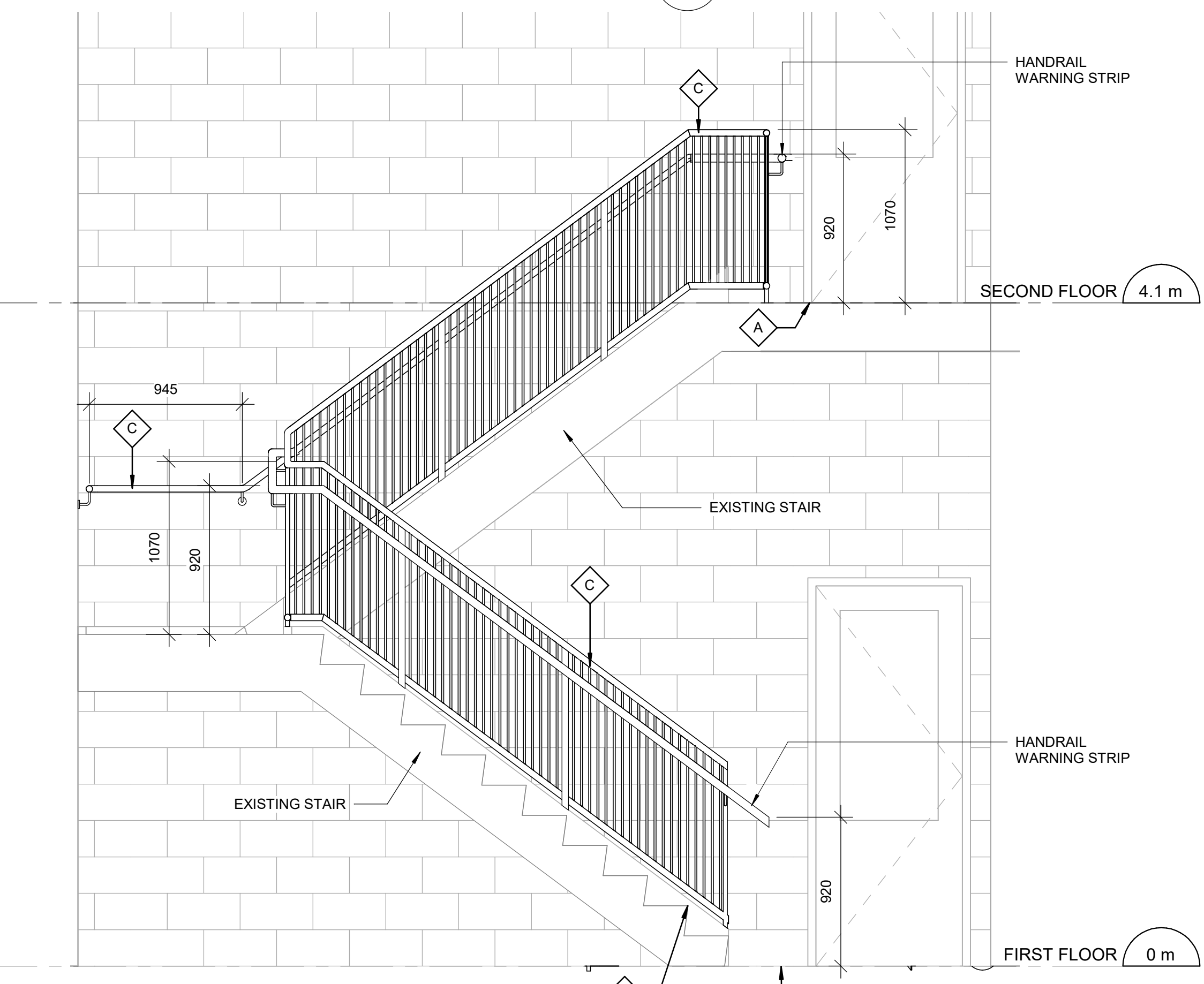
8 STAIR B - SECOND FLOOR STAIR PLAN
A5211 Scale: 1 : 50



7 STAIR B - BOTTOM
A5211 Scale: 1 : 25



9 STAIR B - TOP
A5211 Scale: 1 : 25



10 STAIR B - SECTION
A5211 Scale: 1 : 25

CONSTRUCTION KEY NOTES	
NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.
B	INSTALL COLOUR AND TEXTURE NOSING STRIP - REFER TO TYPICAL DETAIL 1/D1402.
C	INSTALL NEW GUARDRAIL AND HANDRAIL - REFER TO TYPICAL DETAILS 1/D1401, 2/D1401, 3/D1401, 1/D1403, 5/D1401 AND 6/D1401.
CONSTRUCTION GENERAL NOTES	
1	NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
2	REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
3	REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.
STAIRS GENERAL NOTES	
NO	DESCRIPTION
1	REFER TO 1/D1405 FOR TACTILE ATTENTION INDICATOR (TA-1a) DETAILS.
2	REFER TO 3/D1405 FOR TEXTURAL & COLOUR CONTRAST WARNING STRIP (TA-11) DETAILS.
3	REFER TO 4/D1405 FOR FLAT STAIR NOSING (TA-16) DETAILS.
4	REFER TO 3/D1401 & 2/D1402 FOR HANDRAIL AND GUARD MOUNTING HEIGHTS AND DETAILS.
5	REFER TO 8/D1405 FOR THE HANDRAIL WARNING STRIP DETAILS.

CITY OF TORONTO
Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

ONTARIO ASSOCIATION
2021.10.1
9 OF
ARCHITECTS
Shirley Wong
MAY KUO
LICENCE
7555

PRIME CONSULTANT

IBI GROUP

175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY:
A. CHI, R. CHEN

CHECKED BY:
S. HOUT

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

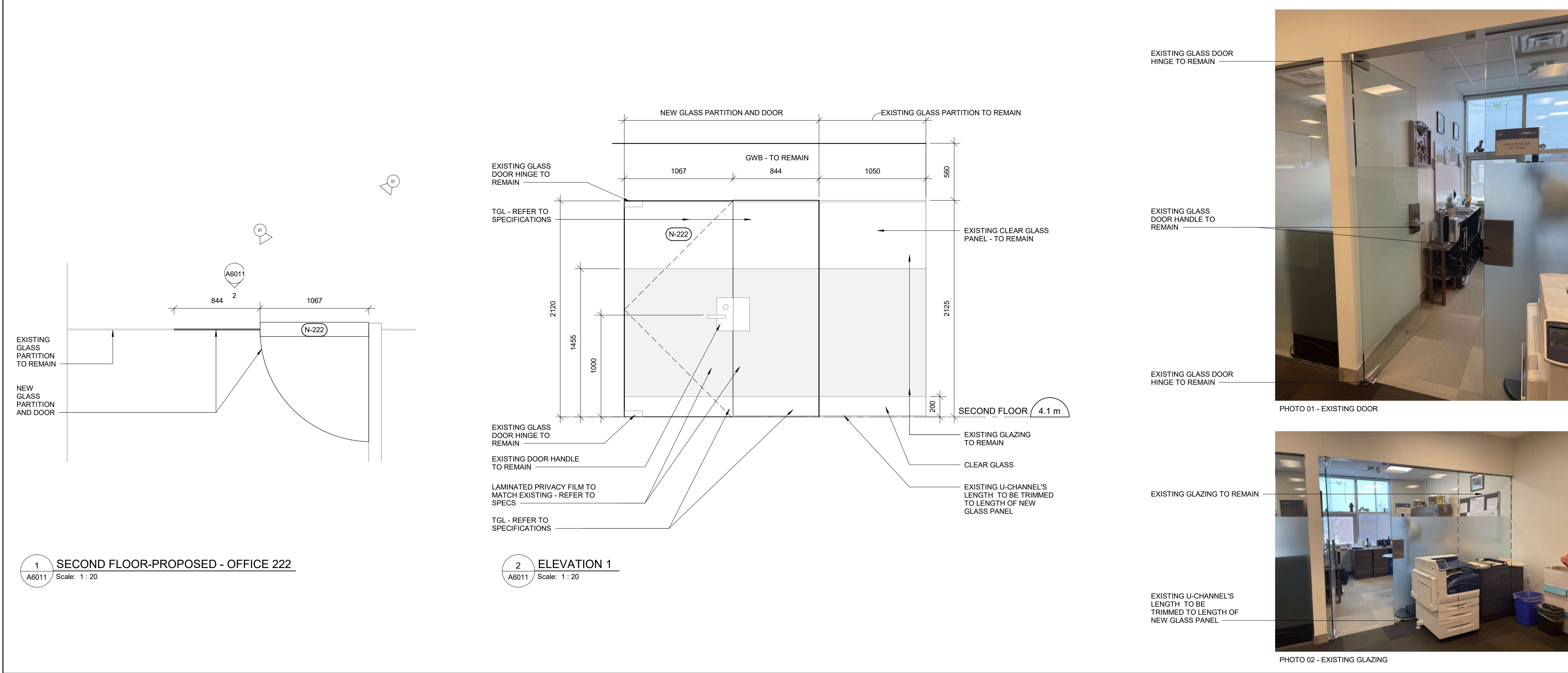
SHEET TITLE

STAIR PLANS, BUILDING
CORES

SHEET NUMBER	ISSUE
G08-013-A5211	0

2021-10-19 3:06:49 PM

C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-8-15-1026-FINCH-D-A-R20-shirley.wong\SYP\JR.v4



CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



ONTARIO ASSOCIATION
2021.10.19
OF
ARCHITECTS
Shirley Wong
MAY KUO
LICENCE
7555

PRIME CONSULTANT



IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS
**FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON**

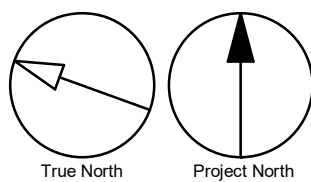
PROJECT NO:
9119-19-0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

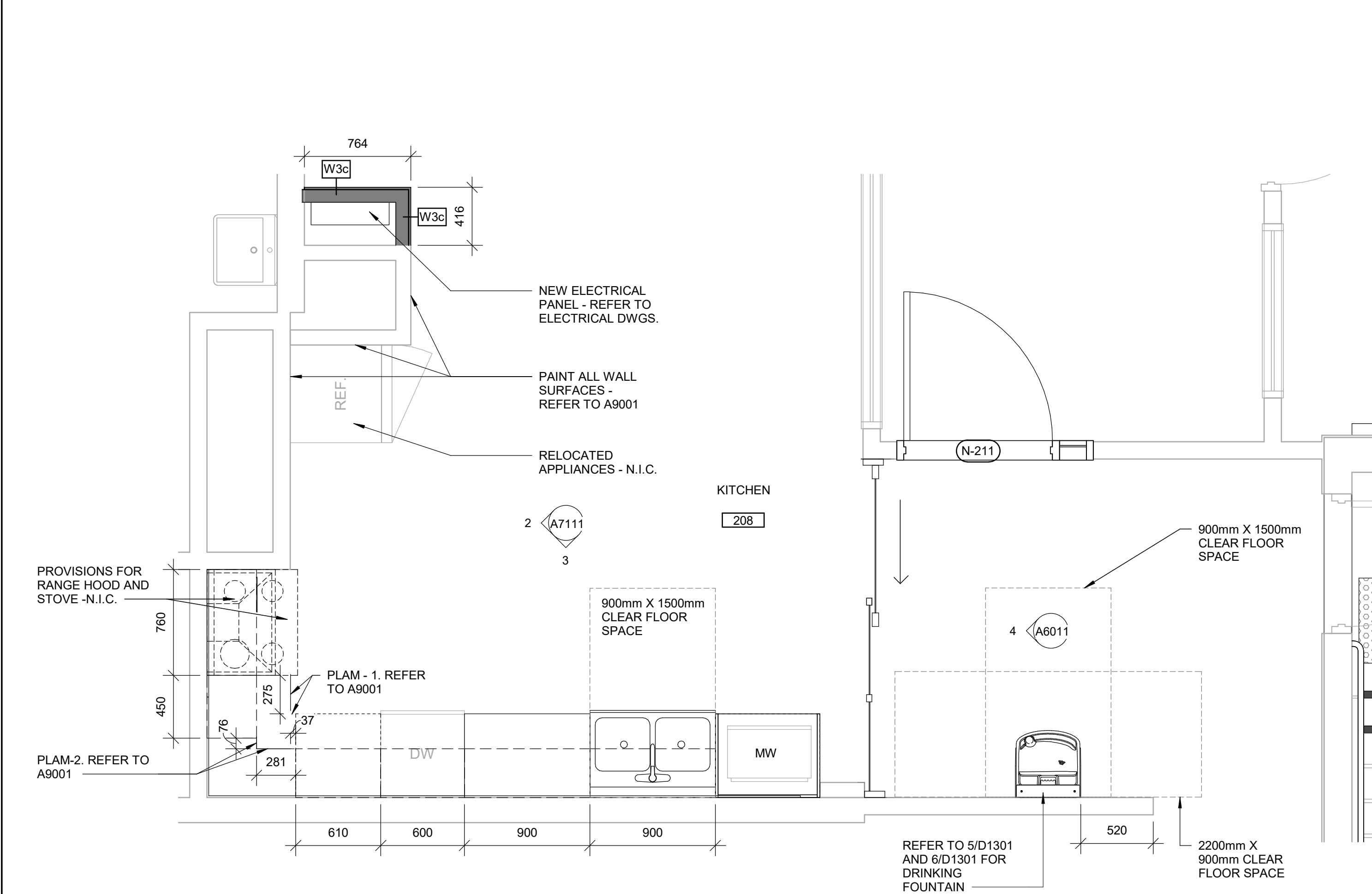
SHEET TITLE
INTERIOR ELEVATIONS

SHEET NUMBER	ISSUE
G08-013-A6011	0

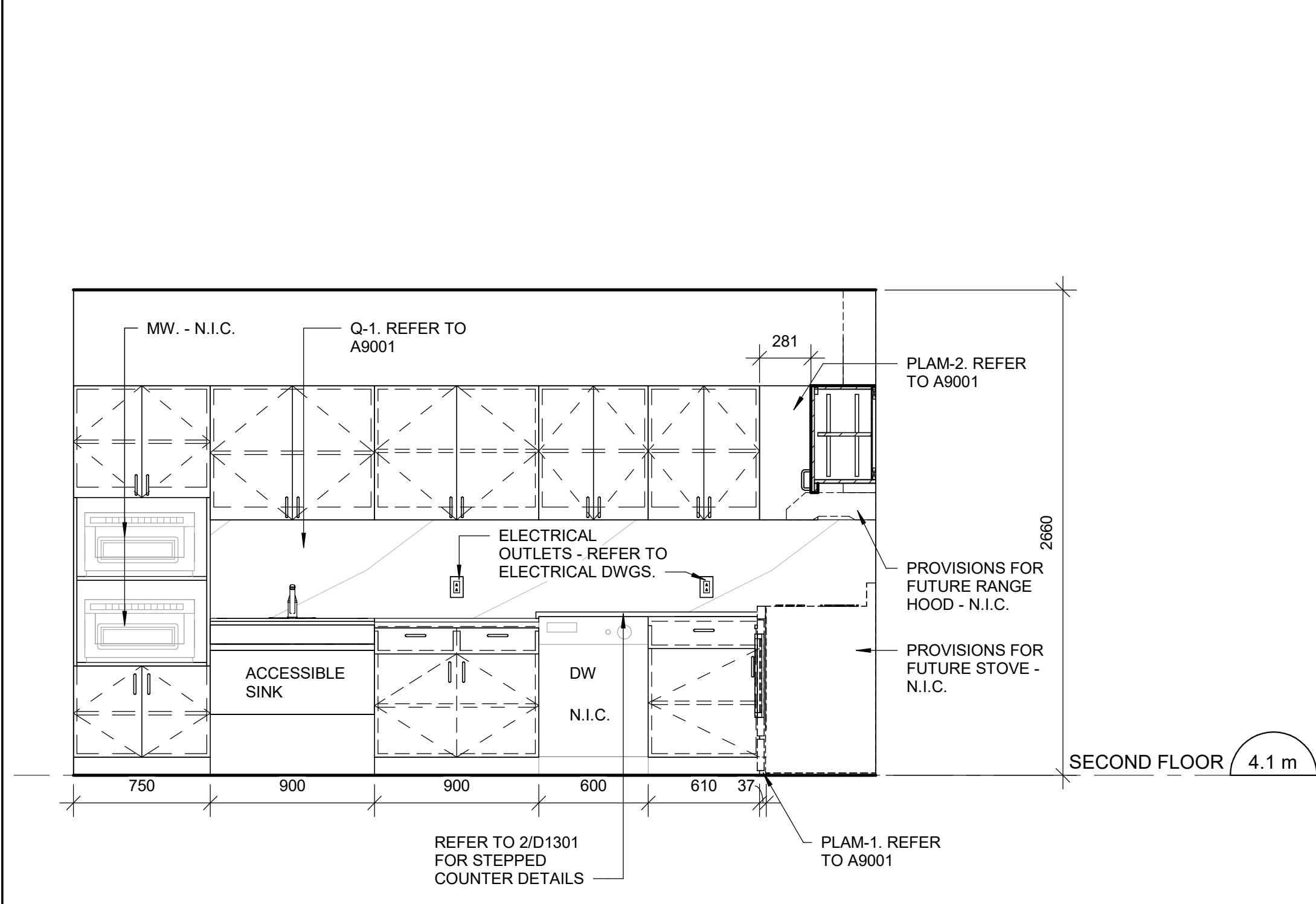
2021-10-19 3:06:51 PM



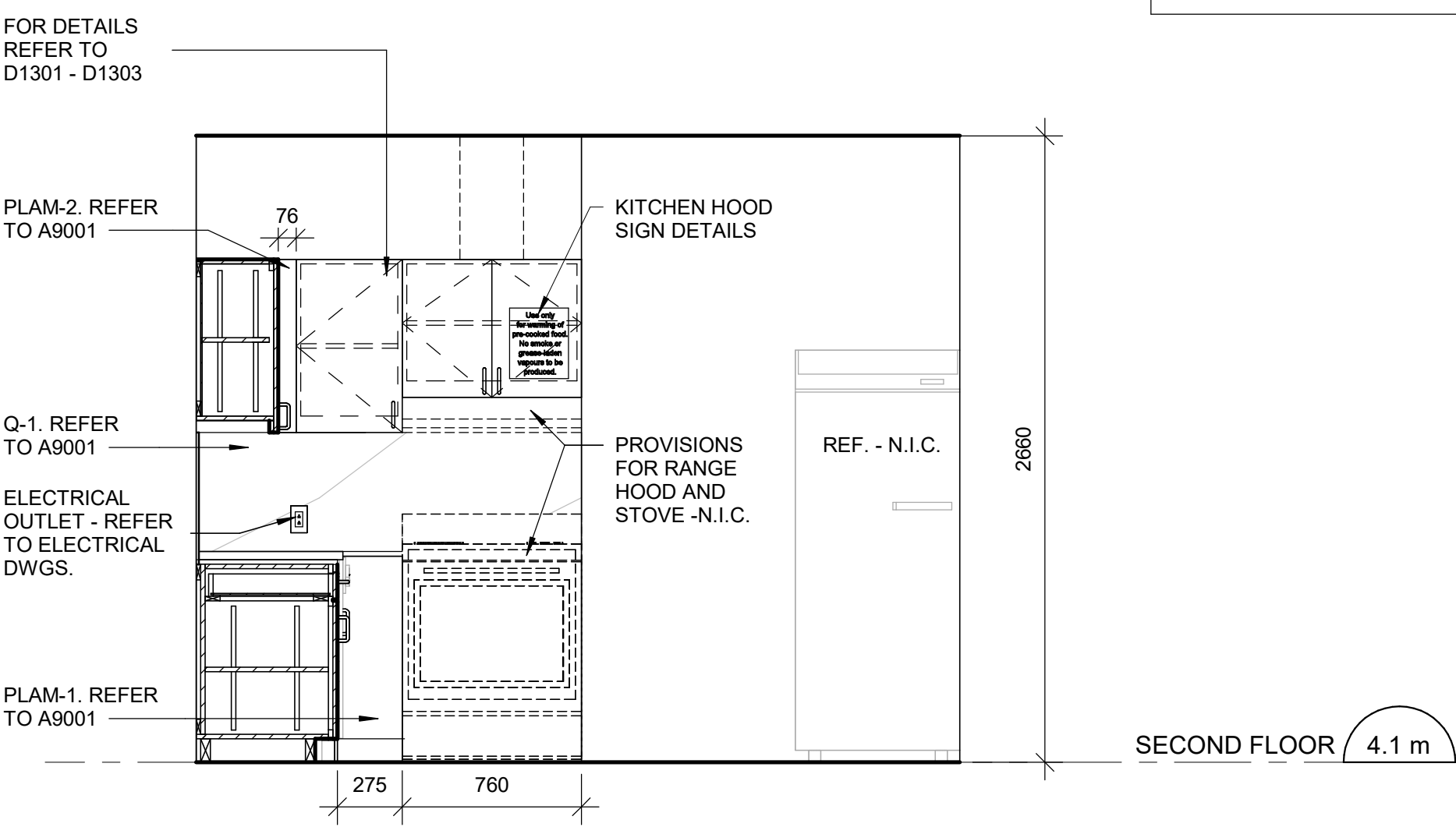
C:\Users\shirley.wong\Documents\REVIT\2020\122260-FINCH-D-A-R20-shirley.wong\SVP-JR.rvt 10mm 1 m



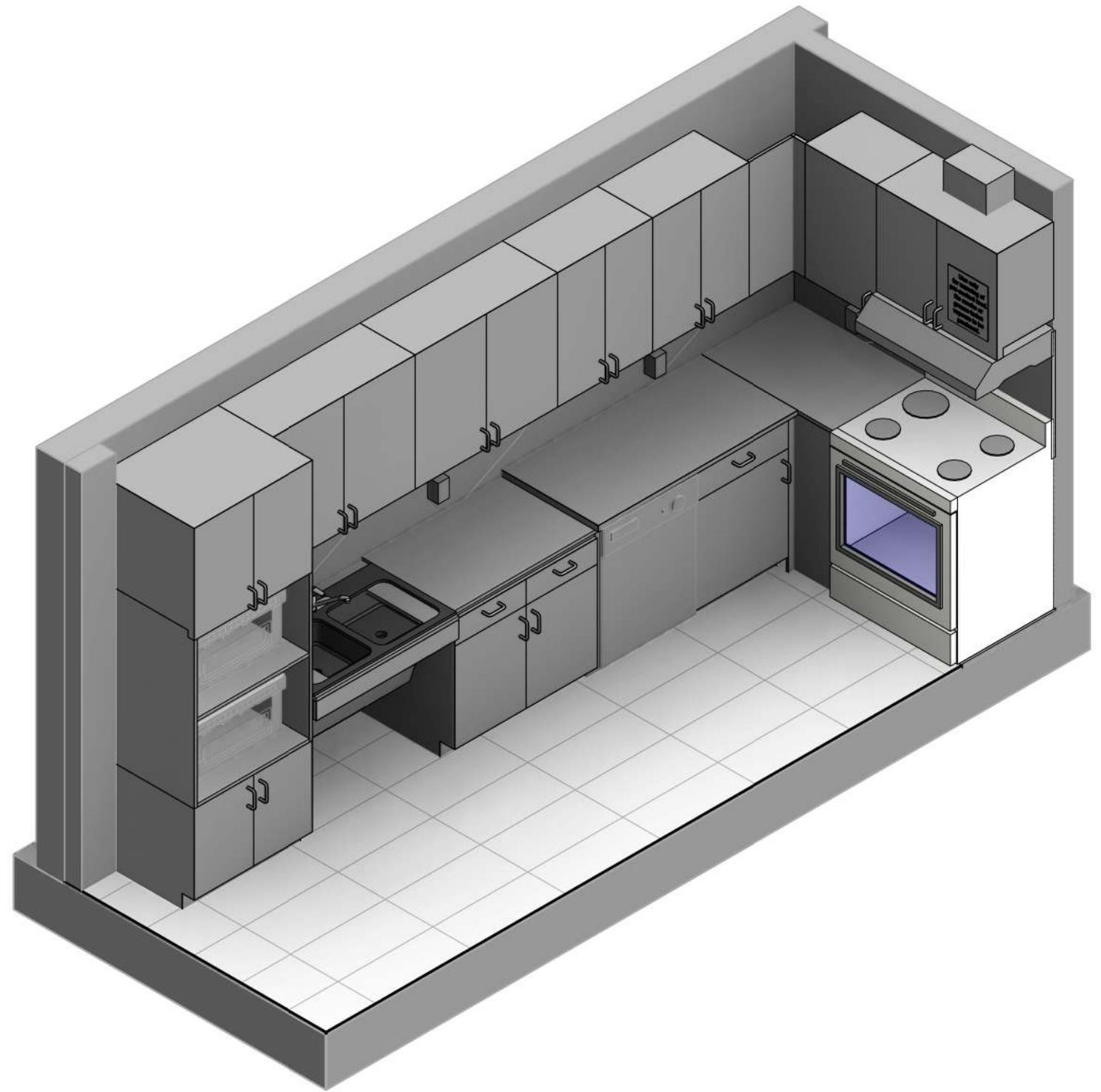
1 SECOND FLOOR KITCHEN PLAN
A7111 Scale: 1 : 25



3 SECOND FLOOR KITCHEN - ELEVATION 3
A7111 Scale: 1 : 25



2 SECOND FLOOR KITCHEN - ELEVATION 2
A7111 Scale: 1 : 25



4 SECOND FLOOR KITCHEN AXONOMETRIC
A7111 Scale:

CONSTRUCTION KEY LEGEND

EXISTING PARTITION TO REMAIN

NEW PARTITION
REFER TO PARTITION SCHEDULE

###

CLIENT

CITY OF TORONTO

Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

ONTARIO ASSOCIATION
2021.10.19
OF
ARCHITECTS
May Ku
LICENCE
7555

PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

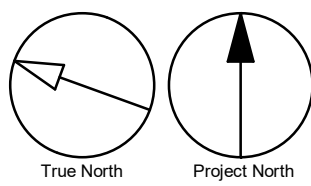
PROJECT ADDRESS
FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

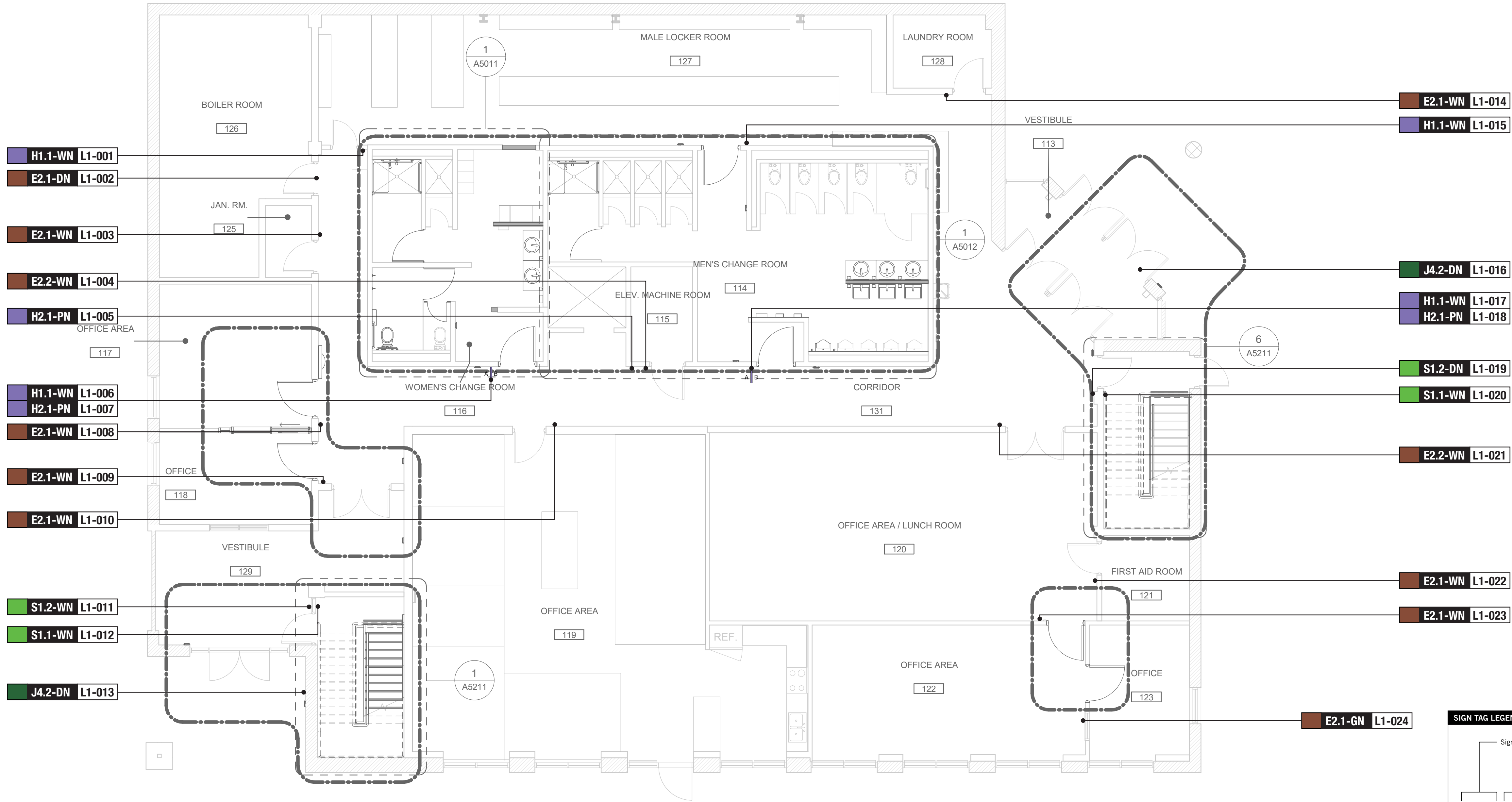
PROJECT NO:
9119-19-0612 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

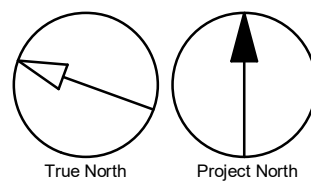
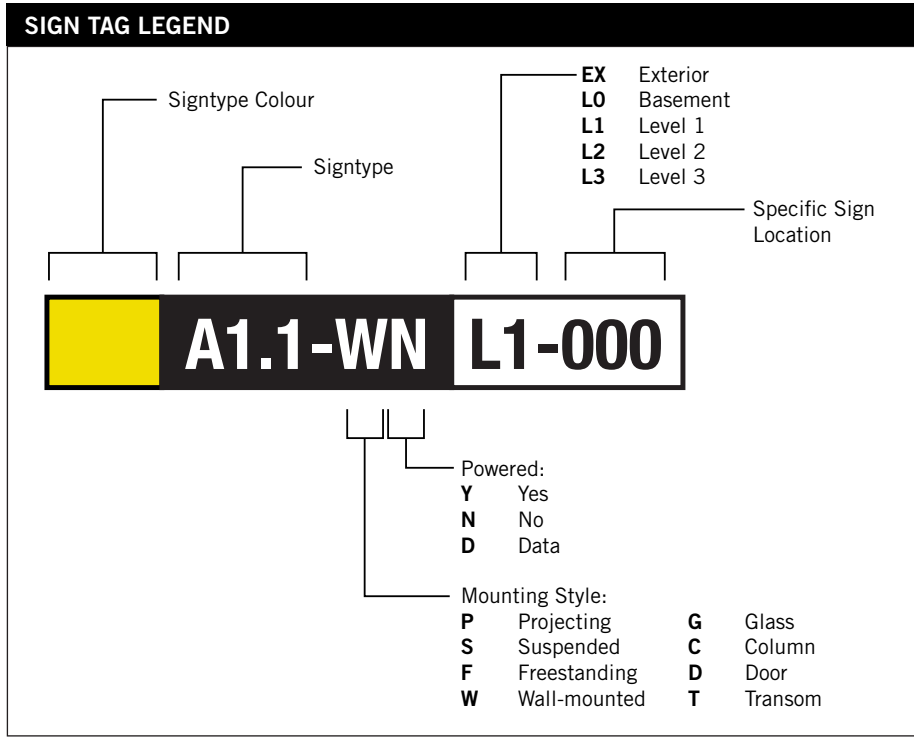
SHEET TITLE
SECOND FLOOR
KITCHEN - ENLARGED
PLAN AND ELEVATIONS

SHEET NUMBER G08-013-A7111	ISSUE 0
-------------------------------	------------





SIGN TAG LEGEND					
<div><div></div><div>B</div></div>	<div><div>LX-000</div></div>	Directional	<div><div></div><div>H</div></div>	<div><div>LX-000</div></div>	Amenity
<div><div></div><div>E</div></div>	<div><div>LX-000</div></div>	Room ID	<div><div></div><div>J</div></div>	<div><div>LX-000</div></div>	Entrance
<div><div></div><div>S</div></div>	<div><div>LX-000</div></div>	Stair ID			



CLIENT

CITY OF TORONTO

55 John ST.
TORONTO, ON
M5V 3C6

COPYRIGHT
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

ENTRO
33 Harbour Square, Suite 202
Toronto, Canada M5J 2G2

SEAL

PRIME CONSULTANT

IBI GROUP
175 Galloway Blvd., Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 675 1830 fax 416 675 4620
ibi@ibi.com

PROJECT TITLE

**CITY OF TORONTO
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FINCH YARD- BLDG D
1026 FINCH AVE W
Toronto, ON**

PROJECT NO:
9119 - 19 - 0162 / IBI 122260

DRAWN BY:
B. FERNANDEZ

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE

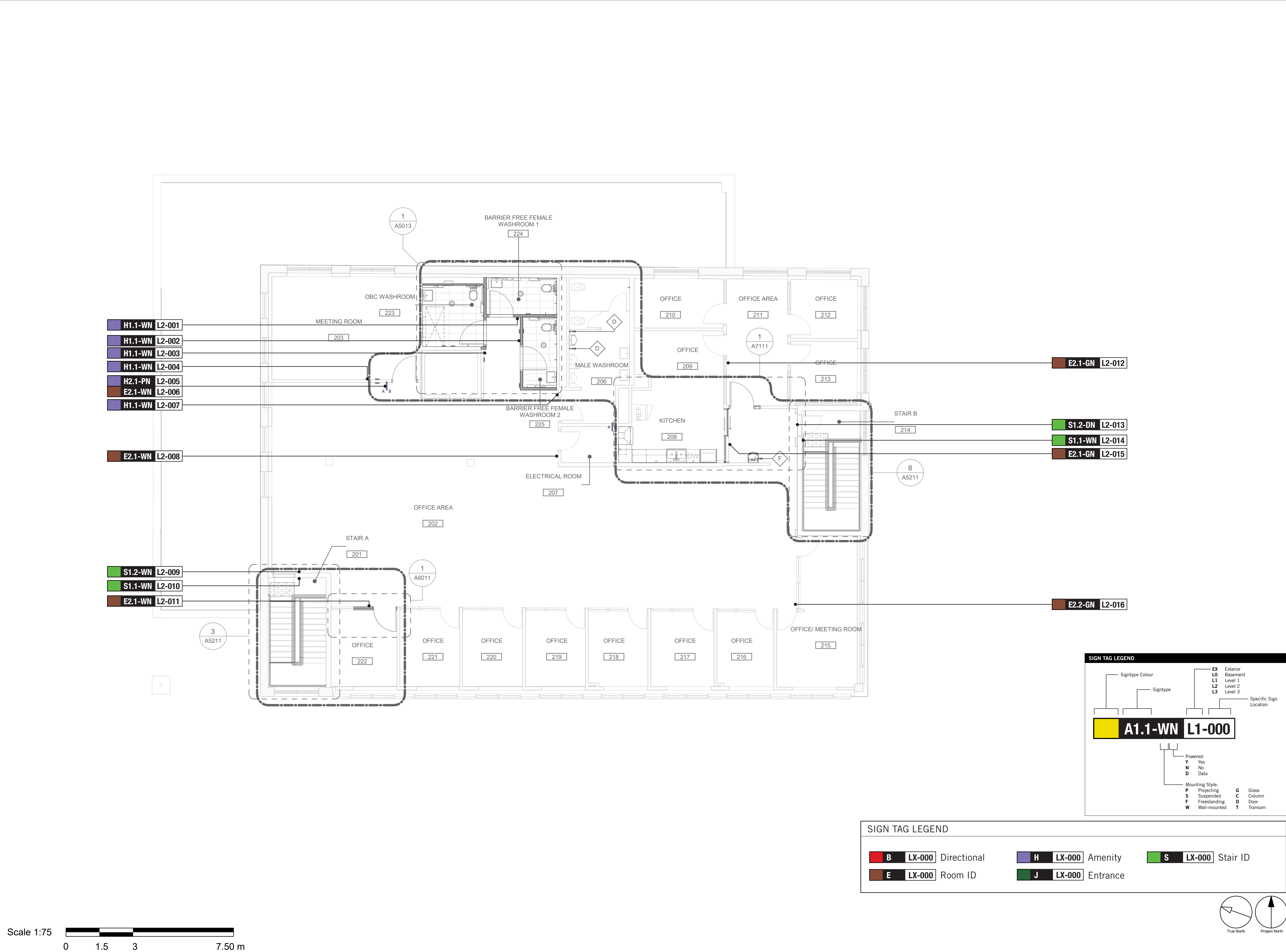
**SIGNAGE & WAYFINDING
DETAILS
FIRST FLOOR LOCATION
PLAN**


SHEET NUMBER

G08-013-A8010

ISSUE

0



CLIENT		
CITY OF TORONTO		
		
55 John ST. TORONTO, ON M5V 3C6		
COPYRIGHT		
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.		
IBI Group Professional Services (Canada) Inc. is a member of the IBI Group of companies		
ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

ENTRO
33 Harbour Square, Suite 202
Toronto, Canada M5J 2G2

SEAL

PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 675 1830 fax 416 675 4620
ibi-group.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD- BLDG D
1026 FINCH AVE W
Toronto, ON

PROJECT NO:
9119 – 19 – 0162 / IBI 122260

DRAWN BY:
B. FERNANDEZ

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING
DETAILS
SECOND FLOOR LOCATION
PLAN

SHEET NUMBER

G08-013-A8020

ISSUE


0

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
H1.1	L1	001	Amenity ID	[men locker room picto] Men Locker Braille	
E2.1	L1	002	Room ID	Boiler Room Braille	
E2.1	L1	003	Room ID	Janitor Room Braille	
E2.1	L1	004	Room ID	Elevator Machine Room Braille	
H2.1	L1	005	Projecting Amenity ID	[elevator picto] Elevator	[elevator picto] Elevator
H1.1	L1	006	Amenity ID	[accessible women's washroom changeroom + shower picto] Women Braille	
H2.1	L1	007	Projecting Amenity ID	[accessible women's washroom changeroom + shower picto] Women	[accessible women's washroom changeroom + shower picto] Women
E2.1	L1	008	Room ID	Office Braille	
E2.1	L1	009	Room ID	Office Braille	
E2.1	L1	010	Room ID	Office Braille	
S1.2	L1	011	Stair ID - Corridor Side	[stairs up on the lowest level picto] Floor 1 Braille Stairwell A 101 Braille	
S1.1	L1	012	Stair ID - Inside Stairwell	Floor 1 Braille Stairwell A 101 Braille	
J4.2	L1	013	Accessible Entrance ID - Exterior	[accessible picto] Entrance	
E2.1	L1	014	Room ID	Laundry Room Braille	
H1.1	L1	015	Amenity ID	[accessible men's washroom changeroom + shower picto] Men Braille	
J4.2	L1	016	Accessible Entrance ID - Exterior	[accessible picto] Main Entrance	
H1.1	L1	017	Amenity ID	[accessible men's washroom changeroom + shower picto] Men Braille	
H2.1	L1	018	Projecting Amenity ID	[accessible men's washroom changeroom + shower picto] Men	[accessible men's washroom changeroom + shower picto] Men

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	15
E2.2	Line Room ID	2
H1.1	Amenity ID	9
H2.1	Projecting Amenity ID	4
J4.2	Accessible Entrance ID - Exterior	2
S1.1	Stair ID - Inside Stairwell	4
S1.2	Stair ID - Corridor Side	4
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		40

CLIENT

CITY OF TORONTO



55 John ST.
TORONTO, ON
M5V 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES


No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

ENTRO
33 Harbour Square, Suite 202
Toronto, Canada M5J 2G2

SEAL

PRIME CONSULTANT



IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 675 1830 fax 416 675 4620
ibigroup.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD- BLDG D
1026 FINCH AVE W
Toronto, ON

PROJECT NO:
9119 – 19 – 0162 / IBI 122260

DRAWN BY:
B. FERNANDEZ

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER

G08-013-A8100

ISSUE

0


C:\Users\lara.bonnyan\OneDrive\TAU-G31-100 QUEEN ST WEST - CITY HALL.rvt

Scale Check
1 of 1

SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A	SIDE B
				MESSAGE (English)	MESSAGE (English)
H1.1	L2	001	Amenity ID	[accessible women washroom picto] Women Braille	
H1.1	L2	002	Amenity ID	[accessible women washroom picto] Women Braille	
H1.1	L2	003	Amenity ID	[accessible universal washroom picto] Washroom Braille	
H1.1	L2	004	Amenity ID	[temporary waiting area picto] Temporary Waiting Area Braille	
H2.1	L2	005	Projecting Amenity ID	[temporary waiting area picto] Temporary Waiting Area	[temporary waiting area picto] Temporary Waiting Area
E2.1	L2	006	Room ID	Meeting Room Braille	
H1.1	L2	007	Amenity ID	[accessible men washroom picto] Men Braille	
E2.1	L2	008	Room ID	Electrical Room Braille	
S1.2	L2	009	Stair ID - Corridor Side	[stairs down on the top level picto] Floor 2 Braille Stairwell A 201 Braille	
S1.1	L2	010	Stair ID - Inside Stairwell	Floor 2 Braille Stairwell A 201 Braille	
E2.1	L2	011	Room ID	Office Braille	
E2.1	L2	012	Room ID	Kitchen Braille	
S1.2	L2	013	Stair ID - Corridor Side	[stairs down on the top level picto] Floor 2 Braille Stairwell B 214 Braille	
S1.1	L2	014	Stair ID - Inside Stairwell	Floor 2 Braille Stairwell B 214 Braille	
E2.1	L2	015	Room ID	Kitchen Braille	

CLIENT

CITY OF TORONTO



55 John ST.
TORONTO, ON
M5V 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES


No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

ENTRO
33 Harbour Square, Suite 202
Toronto, Canada M5J 2G2

SEAL

PRIME CONSULTANT



IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 675 1830 fax 416 675 4620
ibi-group.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD- BLDG D
1026 FINCH AVE W
Toronto, ON

PROJECT NO:
9119 – 19 – 0162 / IBI 122260

DRAWN BY:
B. FERNANDEZ

CHECKED BY:
C.D. SCHNOBB

PROJECT MGR:
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER

G08-013-A8101

ISSUE

0


DOOR SCHEDULE																
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS	
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTRL DEVICE	BFAO	PANIC DEVICE			
FIRST FLOOR																
N-114A	MALE WASHROOM	A(L)	1067	2350	45	HM	PT3	<-->	HM	PT3		*		NA		
N-114B	MALE WASHROOM	A(L)	1067	2350	45	HM	PT3	<-->	HM	PT3		*		NA		
N-116	FEMALE CHANGE ROOM/ WASHROOM	A(L)	1067	2350	45	HM	PT3	<-->	HM	PT3		*		NA		
N-117	OFFICE AREA	C	1067	2310	45	HM	PT3	TGL	HM	PT3	*			NA		
N-118A	OFFICE	S1	1156	2134	45	ALUMN	ANOD	TGL	ALUMN	ANOD				NA	NEW DOOR TO HAVE A LOCKSET ON BOTH SIDES	
N-118B	OFFICE	C	1067	2310	45	HM	PT3	TGL	HM	PT3	*			NA		
N-119	OFFICE AREA	C	1067	2135	45	HM	PT3	TGL	HM	PT3	*			NA	EXISTING KEY PAD TO REMAIN	
N-122	OFFICE AREA / LUNCH ROOM	C	1067	2130	45	HM	PT3	TGL	HM	PT3	*			NA	EXISTING KEY PAD TO REMAIN	
N-123	OFFICE	C	1067	2130	45	HM	PT3	TGL	HM	PT3				NA		
N-129	CORRIDOR	F	1067	2135	45	HM	PT3	GWG	HM	PT3		*		45		
NE-113A	CORRIDOR	FF	890	2300	45	HM	PT3	GWG	EXIST	EXIST		*		45	FRAME TO REMAIN, NEW FIRE RATED DOOR PANELS TO BE PROVIDED WITH NEW HARDWARE AND ADO TO OPEN BOTH DOORS SIMULTANEOUSLY	
NE-113B	VESTIBULE	EXIST	890	2300	45	EXIST	EXIST	EXIST	EXIST	EXIST	*	*		NA	EXISTING KEY PAD TO REMAIN, PROVIDE NEW BFAO	
NE-115	ELEV. MACHINE ROOM	EXIST	995	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-121	FIRST AID ROOM	EXIST	905	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-125	JAN. RM.	EXIST	915	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-126	CORRIDOR	EXIST	915	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-127	CORRIDOR	EXIST	765	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-129A	VESTIBULE	EXIST	1910	3000	45	EXIST	EXIST	EXIST	EXIST	EXIST	*	*		EXIST	EXISTING KEY PAD TO REMAIN, PROVIDE NEW BFAO	
NE-129B	CORRIDOR	FF	850	2350	45	HM	PT3	GWG	EXIST	EXIST		*		45	FRAME TO REMAIN, NEW FIRE RATED DOOR PANELS TO BE PROVIDED WITH NEW HARDWARE AND ADO TO OPEN BOTH DOORS SIMULTANEOUSLY	
SECOND FLOOR																
N-203	OFFICE AREA	D	1067	2311	45	WD	VNR	TGL	WD	PT3		*		NA		
N-208	KITCHEN	S1	1156	2134	45	ALUMN	ANOD	TGL	ALUMN	ANOD				NA		
N-211	OFFICE AREA	As	1067	2340	45	HM	PT3	TGL	HM	PT3	*			NA		
N-222	OFFICE AREA	K	1067	2120	13	TGL	<-->	TGL	<-->	<-->				NA	EXISTING GLASS DOOR HINGES AND LATCH SET TO REMAIN	
N-223	UNIVERSAL WASHROOM	A(L)	1067	2135	45	HM	PT3	<-->	HM	PT3		*		NA		
N-224	BARRIER FREE FEMALE WASHROOM 1	A(L)	1067	2135	45	HM	PT3	<-->	HM	PT3		*		NA		
N-225	BARRIER FREE FEMALE WASHROOM 2	A(L)	1067	2135	45	HM	PT3	<-->	HM	PT3		*		NA		
NE-201	OFFICE AREA	EXIST	900	2345	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-206	OFFICE AREA	EXIST	980	2315	45	EXIST	EXIST	EXIST	EXIST	EXIST		*		EXIST	EXISTING DOOR TO REMAIN, PROVIDE NEW BFAO	
NE-207	OFFICE AREA	EXIST	850	2340	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-214	OFFICE AREA	EXIST	900	2345	45	EXIST	EXIST	EXIST	EXIST	EXIST	*			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, EXISTING KEY PAD TO REMAIN	

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT FOR INFORMATION PURPOSES ONLY. NEW DOOR HEIGHTS TO MATCH SITE CONFIRMED EXISTING DOOR HEIGHTS.
2	REFER TO ELECTRICAL DRAWINGS FOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND SPECIFICATION FOR ADDITIONAL INFORMATION ON DOOR HARDWARE.
4	WHERE DOORS ARE BEING WIDENED, REPAINT AFFECTED PAINTED WALL SURFACES WITH PT-3.

DOOR ABBREVIATIONS	
*	DENOTES YES
ALUM	ALUMINUM
ANOD	ANODIZED
BFAO	BARRIER-FREE AUTOMATIC OPENER
BFPB	BARRIER-FREE PUSH BUTTON
BFWO	BARRIER-FREE WAVE TO OPEN
CR	CARD READER
EXIST	EXISTING
FBM	FINGER BIOMETRIC
GWB	GYPSUM WALL BOARD
GWG	GEORGIAN WIRE GLASS
HM	HOLLOW METAL
IHM	INSULATED HOLLOW METAL
ITGL	INSULATED TEMPERED (SAFETY) GLASS
KP	KEY PAD
OBM	OCULAR BIOMETRIC
PF	PRE FINISHED
PLAM	PLASTIC LAMINATE
PT	PAINT
SIM	SIMILAR
SS	STAINLESS STEEL
TGL	TEMPERED GLASS
WD	WOOD

CLIENT

CITY OF TORONTO



Corporate Real Estate Management
Project Management Office
Metro Hall Toronto, ON
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.


IBI Group Professional Services (Canada) Inc.
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

IBI GROUP

175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE

CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D
1026 FINCH AVE W
TORONTO ON

PROJECT NO:
9119-19- 0612 / IBI 122260

DRAWN BY:
A. KVASNIUK

CHECKED BY:
S. HOUT

PROJECT MGR:
F. BOLOURIAN

APPROVED BY:
E. FENUTA

SHEET TITLE

DOOR AND ROOM FINISH
SCHEDULE

SHEET NUMBER

G08-013-A9001

ISSUE

0

ROOM FINISH KEY SCHEDULE						
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE
EWf-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	40"X70"		FORBO
PFT-1	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE
PFT-2	PORCELAIN FLOOR TILE	TAUPE	MATTE	50mm X 50mm (2"X2")	ROC BASIC	STONE TILE
PFT-3	PORCELAIN FLOOR TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE

GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. TILE ENTIRE FLOOR AREA INDUCATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.	
GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.	
GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.	
FOR BACKSPLASH AND COUNTERTOPS	