# CITY OF TORONTO ACCESSIBILITY UPGRADES

9119-19-0612 / IBI 122260 FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

GROUP 08 SEQ 13



SUES

O. DESCRIPTION DATE

O ISSUED FOR 2021-10-19
CONSTRUCTION

CITY OF TORONTO ACCESSIBILITY UPGRADES PROGRAM GROUP 08



IBI GROUP

175 Galaxy Blvd, Unit 100
tel 416 596 1930 fax 416 596 0644
ibigroup.com

PROJECT NO: 9119-19- 0612 / IBI 122260

DATE: 2021-10-19

	GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME	
G0001	COVER SHEET	
G0002	DRAWING LIST AND BUILDING CODE MATRIX	

ARCHITECTURAL DRAWING INDEX						
SHEET						
NUMBER	SHEET NAME					
A1001	SITE PLAN - DEMOLITION PLAN					
A1201	SITE PLAN - PROPOSED					
A1202	SITE PLAN - PROPOSED PARKING					
A2011	FIRST FLOOR STAGING PLAN					
A2021	SECOND FLOOR STAGING PLAN					
A2111	FIRST FLOOR DEMOLITION PLAN					
A2121	SECOND FLOOR DEMOLITION PLAN					
A2411	FIRST FLOOR PROPOSED PLAN					
A2421	SECOND FLOOR PROPOSED PLAN					
A2611	FIRST FLOOR FINISH PLAN					
A2621	SECOND FLOOR FINISH PLAN					
A2811	FIRST FLOOR REFLECTED CEILING PLAN					
A2821	SECOND FLOOR REFLECTED CEILING PLAN					
A5011	GROUND FLOOR FEMALE WASHROOM PLANS AND ELEVATIONS					
A5012	GROUND FLOOR MALE WASHROOM PLAN AND ELEVATIONS					
A5013	SECOND FLOOR WASHROOM PLANS AND ELEVATIONS					
A5014	BARRIER FREE WASHROOM 1 - ELEVATIONS					
A5015	BARRIER FREE WASHROOM 2 - ELEVATIONS					
A5211	STAIR PLANS, BUILDING CORES					
A6011	INTERIOR ELEVATIONS					
A7111	SECOND FLOOR KITCHEN - ENLARGED PLAN AND ELEVATIONS					
A9001	DOOR AND ROOM FINISH SCHEDULE					
	A8101 - SIGNAGE DRAWINGS **ADDED AFTER					

TENDER - CHANGE TO BE ISSUED

	MECHANICAL DRAWING INDEX						
SHEET NUMBER SHEET NAME							
M0001	MECHANICAL DRAWING LIST						
M0201	EQUIPMENT SCHEDULE						
M1101	DEMOLITION PLAN - GROUND FLOOR						
M1102	DEMOLITION PLAN - SECOND FLOOR						
M2101	PLUMBING - GROUND FLOOR						
M2102	PLUMBING - SECOND FLOOR						
M3101	DRAINAGE - GROUND FLOOR						
M3102	DRAINAGE - SECOND FLOOR						
M5101	HVAC - GROUND FLOOR						
M5102	HVAC - SECOND FLOOR						
M5103	HVAC - ROOF						

	ELECTRICAL DRAWING INDEX					
SHEET NUMBER	SHEET NAME					
E0000	DRAWING LIST					
E1101	ELECTRICAL DEMOLITION PLAN 1ST FLOOR					
E1102	ELECTRICAL DEMOLITION PLAN 2ND FLOOR					
E2101	POWER & SYSTEMS PLAN 1ST FLOOR					
E2102	POWER & SYSTEMS PLAN 2ND FLOOR					

Ontario's 2012 Building Code

LISTED DESIGN NO. OR DESCRIPTION (SB-2)

AREA OF LD L/H OR PERMITTED MAX. PROPOSED % FRR

	Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605	Name of Project 1026 FINCH AVE	: EW - ACCESSIBILITY U	JPGRADES	ITEM		Da	ntario's 2012 Building ata Matrix Part 3 or 9	
т	l00-175 Galaxy Boulevard Γoronto, ON M9W OC9 Γ 416 679 1930 F 416 675 4620	Location 1026 FINCH AVE W NORTH YORK, ON				RESISTANCE RATING	FRR OF SUP MEMBERS	PPORTING  NO CHANGE	OR DE
ITEN	Ontario's 2012 Building Code Data Matrix Part 3 or 9	References	C REFERENCE s are to Division B unless noted sion A or (C) for Division C	REMARKS		FRR)	_		
1.	PROJECT DESCRIPTION New 🖂 PART 11	⊠ PART 3	□ PART 9			<del> </del>	ROOF I	NO CHANGE	
	☐ Addition ☐ CHANGE OF USE ☑ Alteration ☐ 11.1 to 11.4	1.1.2. [A]	1.1.2. [A] & 9.10.1.3.				WE227 ((VIIVE		
2.	MAJOR OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANIES	3.1.2.1. (1)	9.10.2.		19. 8	SPATIAL SEPARATION -	CONSTRUCT	ION OF EXTERIOR W	VALLS
	SUBSIDIARY OCCUPANCY(S)			EXISTING NO CHANGE			L/H OR ) H/L	PERMITTED MAX. % OF OPENINGS	PROP OF OF
3.	BUILDING AREA (m²) EXISTING - 688 NEW - 0 TOTAL - 688	1.4.1.2. [A]	1.4.1.2. [A]		1 I	SOUTH SAST			+
4.	GROSS AREA (m²) EXISTING - 1212.6 NEW - 0 TOTAL - 1212.6	1.4.1.2. [A]	1.4.1.2. [A]	EXISTING NO CHANGE	- V	WEST			
	NUMBER OF STOREYS ABOVE GRADE - 2 BELOW GRADE -	1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.		_    20.  F	PLUMBING FIXTURE REC	QUIREMENTS	5	
	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1 EXISTING NO CHANGE	3.2.2.10. & 3.2.5.	9.10.20.			MALE / FEMALE COUNT	<u> </u>	%	EX
	BUILDING CLASSIFICATION - EXISTING NO CHANGE	3.2.2.67.	9.10.2.		-   E	EXCEPT AS NOTED OTH	ERWISE		0
	SPRINKLER SYSTEM PROPOSED   ENTIRE BUILDING	3.2.2.67	9.10.8.2	EXISTING NO CHANGE		MAJOR OCCUPANCY _			8
	□ SELECTED COMPARTMENTS	3.2.1.5	9.10.0.2	2/10/11/01/10/01/1/11/02					4
	□ SELECTED FLOOR AREAS	3.2.2.17			21 F	EXITS/ ACCESS TO EXIT			
	□ BASEMENT □ IN LIEU OF ROOF RATING □ NOT REQUIRED	INDEX	INDEX			XIIG AGGEGG IG EXII			
9.	STANDPIPE REQUIRED □ YES ☒ NO	3.2.9.	N/A	EXISTING NO CHANGE					
	STANDPIPE PROVIDED □ YES ☒ NO				22 (	OTHER (DESCRIBE) -			
10.	FIRE ALARM REQUIRED	3.2.4.	9.10.18.	EXISTING NO CHANGE					
	FIRE ALARM PROVIDED YES NO				ITEM	(	Ontario Build	ling Code Data Matrix	: - Part 1
11.	WATER SERVICE/SUPPLY   □ YES □ NO  IS ADEQUATE	3.2.5.7.	N/A	EXISTING NO CHANGE	11.1	EXISTING BUILDING		DESCRIBE EXISTIN	
12.	HIGH BUILDING □ YES ☒ NO	3.2.6.	N/A			CLASSIFICATION:		USE:	
13.	CONSTRUCTION RESTRICTIONS   COMBUSTIBLE  NON-COMBUSTIBLE  BOTH	3.2.2.67.	9.10.6.	EVICTING NO CHANGE				HAZARD INDEX:	DEX.
	PERMITTED REQUIRED  ACTUAL CONSTRUCTION   COMBUSTIBLE NON-COMBUSTIBLE BOTH			EXISTING NO CHANGE					3LE (NC
	COMBOSTIBLE INON-COMBOSTIBLE II BOTH				11.2	ALTERATION TO EXIS	3TING	BASIC RENOVATION	N
14.	MEZZANINE (S) AREA m² N/A	3.2.1.1. (3) - (8)	9.10.4.1.					EXTENSIVE RENOV	/ATION
15.	OCCUPANT LOAD BASED ON   m²/PERSON   DESIGN OF BUILDING	3.1.17.	4.9.13.	EXISTING NO CHANGE	11.3	REDUCTION IN PERFORMANCE LEVE	EL:	STRUCTURAL: BY INCREASE IN O	CCUPA
	1ST FLOOR: OCCUPANCY LOAD PERSONS							BY CHANGE OF MA	JOR O
	2ND FLOOR: OCCUPANCY LOAD PERSONS							PLUMBING: SEWAGE SYSTEM:	
	MEZZANINE FLOOR: OCCUPANCY LOAD PERSONS				11.4	COMPENSATING		SEWAGE STOTEM.	
						CONSTRUCTION:		STRUCTURAL:	
16.	BARRIER FREE DESIGN ⊠ YES □ NO (EXPLAIN)	3.8.	9.5.2.	ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE				BY INCREASE IN OO	
17.	HAZARDOUS SUBSTANCES ☐ YES ☒ NO	3.3.1.2 & 3.3.1.19	9.10.1.3.(4)					PLUMBING:	
18a	REQUIRED FIRE HORIZONTAL ASSEMBLIES FRR (HOURS)  RESISTANCE RATING  HORIZONTAL ASSEMBLIES OR DESCRIPTION (SB-2)  FLOORS NO CHANGE	3.2.2.67. & 3.2.1.4.	9.10.8. 9.10.9.					SEWAGE SYSTEM:	
	(FRR) ROOF NO CHANGE				11.5	COMPLIANCE		⊠ NO	
	MEZZANINE N/A					ALTERNATIVES PROPOSED:		☐ YES (GIVE NUMI	BERS)

						ОВС	REFERENCE
	% / % EXISTING I	NO CHANGE				⊠ PART 3	□ PART 9
EXCEPT AS NOTED OTHERWISE	OCCUPAN	T LOAD O	BC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED		
MAJOR OCCUPANCY	84 MALE	3	.7.4.7.	5	6	3.7.4.7.	
	41 FEMAL	E 3	.7.4.7.	3	4	3.7.4.7.	
EXITS/ ACCESS TO EXIT-		1					1
						EXIS	TING NO CHANGE
OTHER (DESCRIBE) -							
EM Ontario Bu	uilding Code Data Matrix - Part 11 - Reno	vation of Existing B	Building		OBC REFE	RENCE	REMARKS
.1 EXISTING BUILDING	DESCRIBE EXISTING				11.2.1.		
CLASSIFICATION:	USE:				TABLE 11.2.1	1.0	
	CONSTRUCTION INDEX:						
	HAZARD INDEX:				TABLE 11.2.1	.1.B.	
		E OF MAJOR OCCU	PANCY)		TO N		
.2 ALTERATION TO EXISTING BUILDING IS:	BASIC RENOVATION				11.3.3.1.		
	EXTENSIVE RENOVATION				11.3.3.2.		
.3 REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL:		⊠ NO	☐ YES	11.4.2.		
	BY INCREASE IN OCCUPANT LOAD	:	⊠ NO	☐ YES	11.4.2.1.		
	BY CHANGE OF MAJOR OCCUPAN	CY:	⊠ NO	☐ YES	11.4.2.2.		
	PLUMBING:			☐ YES	11.4.2.3.		
	SEWAGE SYSTEM:			☐ YES			
.4 COMPENSATING CONSTRUCTION:	STRUCTURAL:		⊠ NO	☐ YES (EXPLAIN	11.4.3		
CONSTRUCTION.	STRUCTURAL.		M NO	L ILO (LAFLAIN	, 11.7.3.2		
	BY INCREASE IN OCCUPANT LOAD	:	⊠ NO	☐ YES (EXPLAIN	11.4.3.3		
	BY CHANGE OF MAJOR OCCUPAN	CY:	⊠ NO	☐ YES (EXPLAIN	11.4.3.4		
	PLUMBING:		⊠ NO	☐ YES (EXPLAIN	11.4.3.5		
	CENNACE CVCTERA:		N NO	□ VEC/EVDLAIN	11 4 2 6		
5	SEWAGE SYSTEM:		⊠ NO	☐ YES (EXPLAIN	11.4.3.0		
.5 COMPLIANCE ALTERNATIVES	⊠ NO				11.5.1		
	1				1	1	

OBC REFERENCE

SB-2 TABLE 2.1.1.

SB-2 TABLE 2.1.1.

LISTED DESIGN COMB. COMB. CONST.

% OF OPENINGS OF OPENINGS (HOURS) OR DESCRIPTION CONST. NONC. CLADDING CONST.

References are to Division B unless noted (A) for Division A or (C) for Division C

9.10.14.

NON-COMB.

REMARKS

EXISTING NO CHANGE



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ISSUES DESCRIPTION 0 ISSUED FOR 2021-10-19 CONSTRUCTION

CONSULTANTS

ARRIO ASSOCIATION OF OF O ARCHITECTS Z

PRIME CONSULTANT IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

LICENCE 7555

PROJECT TITLE
CITY OF TORONTO ACCESSIBILITY UPGRADES

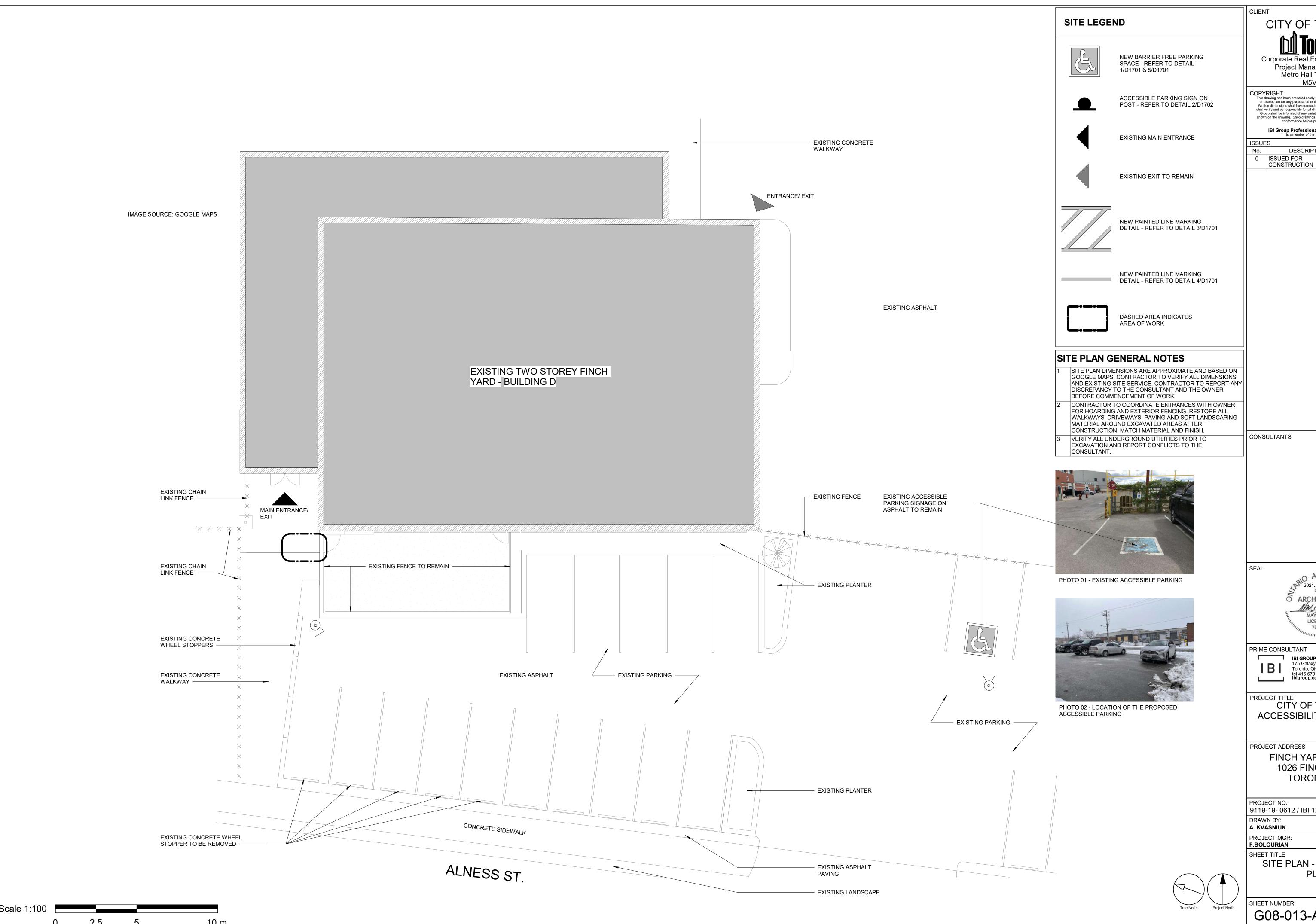
PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19- 0612 / IBI 122260 DRAWN BY: CHECKED BY: A. KVASNIUK L. BANDIERA APPROVED BY: **E. FENUTA** PROJECT MGR: F.BOLOURIAN

SHEET TITLE DRAWING LIST AND **BUILDING CODE MATRIX** 

G08-013-G0002 ISSUE 0



CITY OF TORONTO

Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON M5V 3C6

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CITY OF TORONTO ACCESSIBILITY UPGRADES

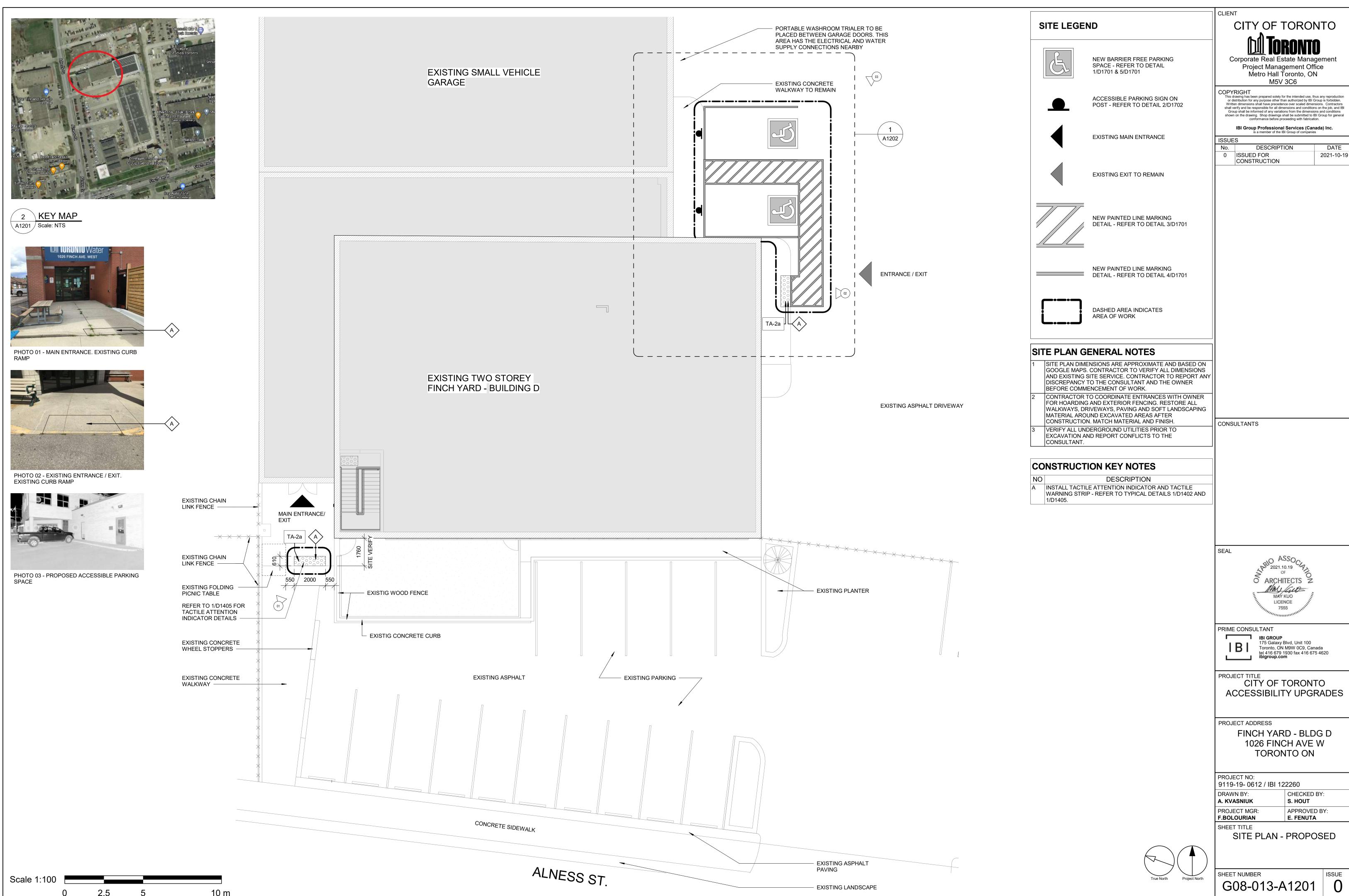
FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

9119-19- 0612 / IBI 122260

CHECKED BY: L. BANDIERA APPROVED BY: S. KEVORKIAN

SITE PLAN - DEMOLITION PLAN

G08-013-A1001



Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON

2021-10-19

CITY OF TORONTO

1026 FINCH AVE W TORONTO ON

APPROVED BY: E. FENUTA

# SITE LEGEND



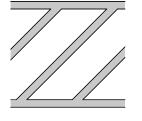
NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



EXISTING EXIT TO REMAIN



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701

NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701

# SITE PLAN GENERAL NOTES

- SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
- CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
- VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

# **CONSTRUCTION KEY NOTES**

INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND

CLIENT

# CITY OF TORONTO

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ISSUES DESCRIPTION 0 ISSUED FOR 2021-10-19 CONSTRUCTION

DESCRIPTION

1/D1405.

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IBI GROUP 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C9, Canada tel 416 679 1930 fax 416 675 4620 ibigroup.com

PROJECT TITLE CITY OF TORONTO **ACCESSIBILITY UPGRADES** 

PROJECT ADDRESS

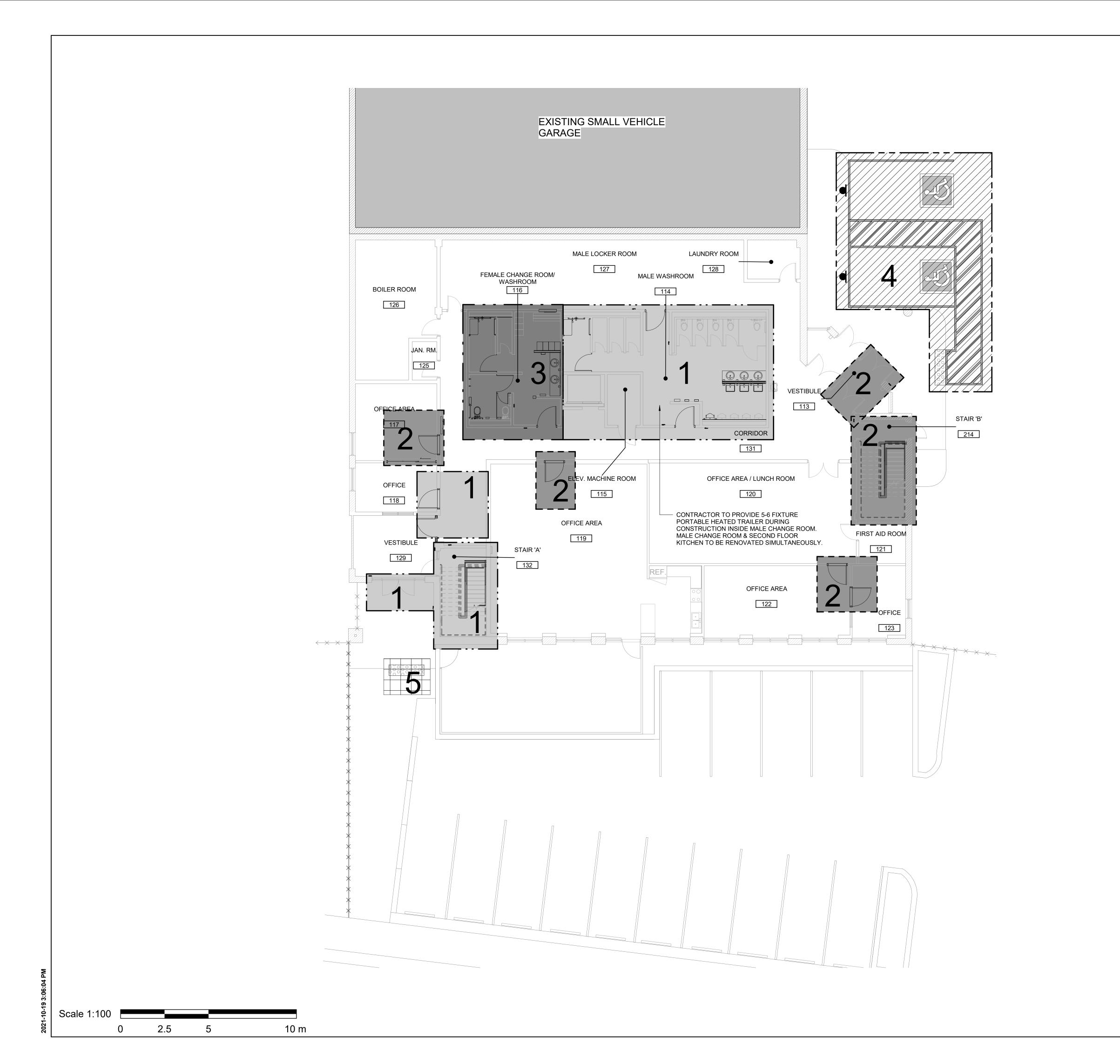
FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19- 0612 / IBI 122260

DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT

PROJECT MGR: APPROVED BY: E. FENUTA F.BOLOURIAN SHEET TITLE

SITE PLAN - PROPOSED PARKING



# CONSTRUCTION STAGING LEGEND

STAGE 1 STAGE 2 STAGE 3

STAGE 4

# STAGING GENERAL NOTES

EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.

STAGE 5

ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER. PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.

CONTRACTOR SHALL ALLOW FOR THE FOLLOWING: A) TEMPORARY SIGNAGE B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS

REQUIRED BY ONTARIO REGULATION 191/11 80.13.

ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS. PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION

SEQUENCE. WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.

FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

NOTE: WORK IN THE SECOND FLOOR UNIVERSAL WASHROOM AND WOMEN'S WASHROOMS TO BE COMPLETED PRIOR TO THE GROUND FLOOR WASHROOMS WORK

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CONSTRUCTION

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PROJECT TITLE CITY OF TORONTO **ACCESSIBILITY UPGRADES** 

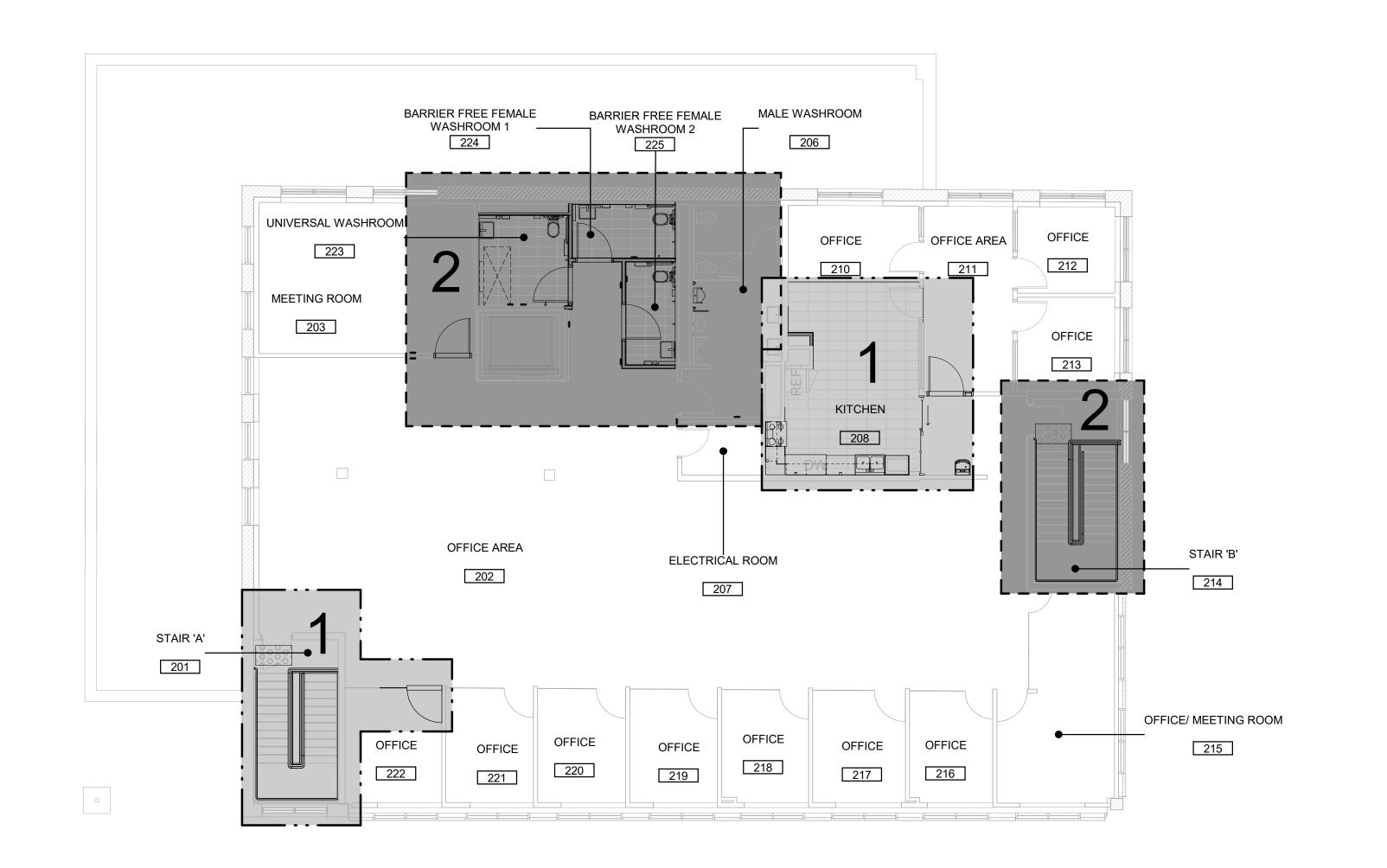
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PROJECT NO: 9119-19- 0612 / IBI 122260

DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT PROJECT MGR: APPROVED BY: E. FENUTA F.BOLOURIAN

SHEET TITLE FIRST FLOOR STAGING PLAN



# CONSTRUCTION STAGING LEGEND

# STAGING GENERAL NOTES

EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER. ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.

A) TEMPORARY SIGNAGE B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS

OF WORKS. PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE

STAGE MUST COMPLETE ALL WORK AS PER CONTRACT

FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

NOTE: WORK IN THE SECOND FLOOR UNIVERSAL WASHROOM AND WOMEN'S WASHROOMS TO BE COMPLETED PRIOR TO THE

STAGE 1 STAGE 2 STAGE 3

STAGE 4

PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.

CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:

REQUIRED BY ONTARIO REGULATION 191/11 80.13. ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE

ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE. WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH

DOCUMENTS.

GROUND FLOOR WASHROOMS WORK

CLIENT

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PROJECT TITLE

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FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO:

9119-19- 0612 / IBI 122260 DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT

PROJECT MGR: F.BOLOURIAN

SHEET TITLE SECOND FLOOR STAGING PLAN

APPROVED BY: E. FENUTA

EXISTING ALL SHOWER ACCESSORIES INCLUDING CURTAIN



PHOTO 02 -EXISTING DOOR AND WINDOW TO BE DEMOLISHED (ROOM 117)

REMOVE AND DISPOSE OF EXISTING WALL MOUNTED HANDRAIL. PATCH AND REPAIR FASTENER HOLES.



PHOTO 03 - STAIR 'A' DEMOLISH AND DISPOSE OF EXISTING GUARDRAIL. NEW GUARDRAIL TO BE MOUNTED ON EXISTING STRINGER. PATCH, PAINT AND FINISH STRINGER TO MATCH EXISTING **COLOUR AND FINISH** 



WALL & PROVIDE NEW TILING. REFER TO A9001

REMOVE & DISPOSE OF DRINKING FOUNTAIN AND MIRROR

MOVE EXISTING CABINET

AND OVERHEAD CABINET

RELOCATE EXISTING KEY

TO ACCOMMODATE DOOR

PAD AND LIGHT SWITCH

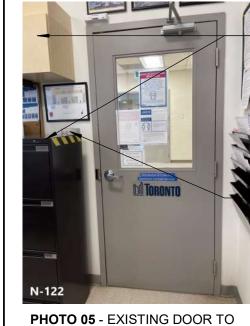
WIDENING. NEW LIGHT

ACCOMMODATE NEW

TO THE LEFT TO

DOOR

PHOTO 04 - EXISTING DRINKING FOUNTAIN (ROOM 114)



BE DEMOLISHED (ROOM 122)

SWITCH TO BE MOUNTED AT 1050MM AFF. REFER TO **ELECTRICAL DRAWINGS** 



ALL WALL TILES AND FLOOR TILES TO BE REMOVED FROM WOMEN'S CHANGE ROOM/WASHROOM AND

MEN'S WASHROOM

MALE LOCKER ROOM

127

115

REMOVE EXISTING CONTROLS AND

HANDRAILS FROM ELEVATOR CABIN

CUT EXISTING FLOOR AND CEILING TO

PROVIDE ACCESS TO EXISTING DRAINAGE AND WATER PIPES. EXACT

RELOCATE EXISTING KEY PAD.

119

LOCATION TO BE VERIFIED ON SITE

REFER TO ELECTRICAL DRAWINGS

EXISTING BENCHES

TO BE REMOVED

1167

REMOVE CERAMIC TILE FLOORING

TO THEM

THE OWNER

AFFECTED BY THE WALL DEMOLITION

EXISTING PRINTER AND STORAGE

LOCKER TO BE RELOCATED. NEW

AND THE LINE OF THE TILES ATTACHED

LOCATION WILL BE COORDINATED WITH

**EXISTING LOCKERS** 

TO BE RELOCATED.

FEMALE CHANGE ROOM/

WASHROOM

116

REFER TO A5011

EXISTING BENCH

TO BE REMOVED



BE DEMOLISHED (ROOM 122)



PHOTO 07 - STAIR 'B'. REMOVE AND DISPOSE OF EXISTING GUARDRAIL. NEW GUARDRAIL TO BE MOUNTED ON EXISTING STRINGER. PATCH, PAINT AND FINISH STRINGER TO MATCH EXISTING COLOUR AND FINISH

PHOTO 08 - EXISTING EQUIPMENT

LIGHT SWITCH AND OUTLET TO

BE REMOVED. NEW EQUIPMENT

COORDINATED WITH THE OWNER

PHOTO 09 - DEMOLISH EXISTING

DOOR, FLOOR AND THE WALL

TO BE RELOCATED. EXISTING

LOCATION WILL BE

REMOVE & DISPOSE OF

REMOVE CERAMIC

AFFECTED BY THE

WALL DEMOLITION

AND THE LINE OF

RELOCATE EXISTING

KEY PAD AND LIGHT

ACCOMMODATE

DOOR WIDENING. **NEW LIGHT SWITCH** 

TO ELECTRICAL

REMOVE CERAMIC TILE FLOORING

AFFECTED BY THE

WALL DEMOLITION

AND THE LINE OF THE TILES

ATTACHED TO

THEM -

DRAWINGS

TO BE MOUNTED AT

1050MM AFF. REFER

SWITCH TO

THE TILES

THEM -

ATTACHED TO

TILE FLOORING

DOUBLE DOOR PANELS

TO RECEIVE NEW

DOORS. FRAME TO

REMAIN.

214

121

123

(NE-121)

\_\_\_\_

# **DEMOLITION KEY LEGEND**

---- EXISTING TO BE DEMOLISHED

EXISTING INTERIOR PARTITION TO BE DEMOLISHED

> EXISTING EXTERIOR WALL TO REMAIN

EXISTING PARTITION TO REMAIN

EXISTING DOOR, FRAME. AND ASSOCIATED HARDWARE TO BE REMOVED

CLIENT

CITY OF TORONTO

Corporate Real Estate Management

Project Management Office

Metro Hall Toronto, ON M5V 3C6

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2021-10-19

DESCRIPTION

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CONSTRUCTION

EXISTING DOOR TO REMAIN

DASHED AREA INDICATES AREA OF WORK

# **DEMOLITION GENERAL NOTES**

REMOVE EXISTING ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AS IDENTIFIED IN THE ELECTRICAL DRAWINGS. RE-ROUTE MECHANICAL & ELECTRICAL AS REQUIRED.

REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

# **DEMOLITION KEY NOTES**

DESCRIPTION

AFFECTED SURFACES AT FLOOR, WALLS, COLUMNS AND CEILINGS AS REQUIRED. REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE. REPAIR, LEVEL AND

REFER TO FINISH SCHEDULE.

PROPOSED ROOM SIZE.

REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME IF REQUIRED. PATCH AND FILL AS REQUIRED. REFER TO DETAIL 1/D1002, 2/D1002 AND 1/D2300

POST BASE. PATCH AND MAKE GOOD ALL SURFACES. DEMOLISH EXISTING WALL TILE. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW WALL TILE. REFER TO

FINISH SCHEDULE. REMOVE EXISTING WASHROOM ACCESSORIES AND PREPARE WALL SURFACE FOR NEW ACCESSORIES. PATCH, REPAIR AND MAKE GOOD EXISTING WALL AND WALL

CURTAIN WALL, GLAZING, EXTERIOR DOOR AND HARDWARE

TO BE REMOVED. REMOVE EXISTING TILES, CLEAN AND PREPARE SURFACE TO RECEIVE NEW TILE.

NEW DRINKING FOUNTAIN.

- DEMOLISH EXISTING

CEILING. REFER TO

DEMOLITION PLAN FOR EXACT LOCATION

REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, PAINT, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA. REMOVE EXISTING CONC. BLOCK WALL PATCH AND REPAIR

CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES.

REMOVE EXISTING CEILING TO THE EXTENT OF THE

REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES.

REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFCATIONS.

REMOVE EXISTING GUARDRAIL. HANDRAIL AND HANDRAIL

FINISHES.

REMOVE EXISTING DRINKING FOUNTAIN TO ACCOMMODATE



CONSULTANTS

PRIME CONSULTANT **IBI GROUP** 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C9, Canada

tel 416 679 1930 fax 416 675 4620 ibigroup.com PROJECT TITLE

CITY OF TORONTO **ACCESSIBILITY UPGRADES** 

FINCH YARD - BLDG D 1026 FINCH AVE W

PROJECT NO:

9119-19-0612 / IBI 122260 DRAWN BY: A. KVASNIUK

F.BOLOURIAN E. FENUTA SHEET TITLE

FIRST FLOOR **DEMOLITION PLAN** 

SHEET NUMBER G08-013-A2111



PHOTO 10 - DEMOLISH EXISTING

7.50 m

126

125

2770

2772

132

\_\_\_\_

118

EXISTING EQUIPMENT TO

BE RELOCATED. EXISTING

TO BE REMOVED. NEW

**EQUIPMENT LOCATION** 

WILL BE COORDINATED

WITH THE OWNER -

LIGHT SWITCH AND OUTLET

129

EXISTING DRAWER TO

BE RELOCATED. NEW

LOCATION WILL BE

THE OWNER

COORDINATED WITH

VESTIBULE

113

34

114

OFFICE AREA / LUNCH ROOM

RELOCATE EXISTING KEY PAD

WIDENING. NEW LIGHT SWITCH

122

MOVE EXISTING CABINET AND OVERHEAD CABINET TO THE

LEFT TO ACCOMMODATE NEW

DOOR. FOR NEW LOCATION

REFER TO A2411

TO BE MOUNTED AT 1050MM

AFF. REFER TO ELECTRICAL

AND LIGHT SWITCH TO

ACCOMMODATE DOOR

DRAWINGS -

120

DOOR, FLOOR AND THE WALL

PROJECT ADDRESS

TORONTO ON

CHECKED BY: S. HOUT PROJECT MGR APPROVED BY:

PHOTO 01 - DEMOLISH AND DISPOSE OF GLASS PARTITION, GLASS DOOR AND HARDWARE. PATCH AND PAINT WALL, CEILING AND FLOOR TO MATCH EXISTING



PHOTO 02 - RELOCATE FURNITURE & MILLWORK. G.C. TO COORDINATE WITH OWNER



PHOTO 03 - APPLIANCES TO BE RELOCATED TO NEW KITCHEN. G.C. TO COORDINATE WITH OWNER



REMOVE AND DISPOSE EXISTING TILE TO RECEIVE NEW TILES

RELOCATE EXISTING LIGHT SWITCH TO ACCOMMODATE

DOOR WIDENING. NEW LIGHT

SWITCH TO BE MOUNTED AT

1050MM AFF. REFER TO

ELECTRICAL DRAWINGS

CUT EXISTING FLOOR AND CEILING

TO PROVIDE ACCESS TO EXISTING

APPLIANCES TO BE

KITCHEN 208 REFER TO A2421

203

REMOVE EXISTING CONTROLS AND

EXISTING BULKHEAD AND CEILING

222

OFFICE AREA

202

**EXISTING GLASS** 

221

DOOR HANDLE AND

HINGES TO REMAIN -REFER TO A6011

ABOVE TO REMAIN

HANDRAILS FROM ELEVATOR CABIN

RELOCATED TO NEW

DRAINAGE AND WATER PIPES. EXACT LOCATION TO BE VERIFIED ON SITE

204

PHOTO 04 - EXISTING URINAL AND PRIVACY SCREEN TO BE REMOVED



PHOTO 05- EXISTING ACCESSIBLE



PHOTO 06- EXISTING ACCESSIBLE STALL FEMALE WASHROOM



WASHROOM. EXISTING PLUMBING FIXTURES AND ACCESSORIES TO BE REMOVED



REMOVE AND DISPOSE

EXISTING TILE TO

212

213

214

OFFICE/<u>MEETING</u> ROOM

215

NE-214) I/

211

OFFICE 216

RECEIVE NEW TILES

REMOVE AND DISPOSE

**NEW TILES** 

MALE WASHROOM

206

ELECTRICAL ROOM

207

OFFICE 218

FEMALE WASHROOM

REMOVE

MILLWORK

EXISTING

OFFICE 220

EXISTING BFPB

RELOCATE FURNITURE &

CUT EXISTING FLOOR AND CEILING TO PROVIDE ACCESS TO EXISTING

DRAINAGE AND WATER PIPES. EXACT

REMOVE AND DISPOSE OF GLASS PARTITION,

GLASS DOOR AND HARDWARE. PATCH AND

PAINT WALL, CEILING AND FLOOR TO MATCH

OFFICE 219

LOCATION TO BE VERIFIED ON SITE

EXISTING TILE TO RECEIVE

210

209

4109

217

PHOTO 08 -EXISTING FEMALE WASHROOM. EXISTING WALL FIXTURES TO BE REMOVED



PHOTO 09 - EXISTING MALE WASHROOM BFPB



PHOTO 10 -EXISTING MALE WASHROOM BFPB



**PHOTO 11** -EXISTING BULKHEAD AND CEILING TO REMAIN

# **DEMOLITION KEY LEGEND**

---- EXISTING TO BE DEMOLISHED

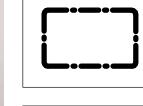
---- EXISTING INTERIOR PARTITION TO BE DEMOLISHED EXISTING EXTERIOR WALL

> TO REMAIN **EXISTING PARTITION TO REMAIN**

EXISTING DOOR, FRAME, AND ASSOCIATED

HARDWARE TO BE REMOVED

EXISTING DOOR TO REMAIN



DASHED AREA INDICATES AREA OF WORK

## **DEMOLITION GENERAL NOTES**

REMOVE EXISTING ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AS IDENTIFIED IN THE ELECTRICAL DRAWINGS. RE-ROUTE MECHANICAL & ELECTRICAL AS REQUIRED.

REMOVE ALL EXISTING TACTILE SURFACE INDICATORS (WALKING ATTENTION INDICATOR, TEXTURAL WARNING STRIP, NOSING STRIP AND HAZARD STRIP ON HANDRAIL) INCLUDING ADHESIVE MATERIAL AND FASTENING SYSTEM MAKE GOOD SURFACE TO RECEIVE NEW TACTILE SURFACE INDICATORS IN LOCATIONS SHOWN. INCREASE DEPTH AND EXTENT OF EXISTING FLOOR DEPRESSIONS AND/OR CUT BACK EXISTING FLOOR FINISH AS APPLICABLE TO SUIT THE NEW INSTALLATION.

# **DEMOLITION KEY NOTES**

DESCRIPTION REMOVE EXISTING WALL AND/OR COLUMN ENCLOSURE INCLUDING BUT NOT LIMITED TO TILE, PAINT, CORNER GUARDS, METAL PANELS, WALL MOUNTED FIXTURES AND FINISHES AS INDICATED. PROVIDE SMOOTH TRANSITION BETWEEN SURFACES AT LOCATION OF DEMOLISHED AREA.

REMOVE EXISTING FLOORING AND BASE. REMOVE EXISTING TILE FLOORING TO CLOSEST FULL TILE. REPAIR, LEVEL AND CLEAN SURFACE READY TO RECEIVE NEW FLOOR FINISHES. REFER TO FINISH SCHEDULE.

REMOVE EXISTING CEILING TO THE EXTENT OF THE PROPOSED ROOM SIZE.

REMOVE EXISTING DOOR AND FRAME. CUT PARTITION TO ACCOMMODATE NEW DOOR AND FRAME IF REQUIRED. PATCH AND FILL AS REQUIRED. REFER TO DETAIL 1/D1002, 2/D1002 AND 1/D2300

REMOVE EXISTING PLUMBING FIXTURES AND WASHROOM ACCESSORIES, CAP PLUMBING PIPES. REMOVE EXISTING MILLWORK.

REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN

SPECIFCATIONS. REMOVE EXISTING GUARDRAIL, HANDRAIL AND HANDRAIL

POST BASE. PATCH AND MAKE GOOD ALL SURFACES. REMOVE EXISTING WASHROOM ACCESSORIES AND PREPARE WALL SURFACE FOR NEW ACCESSORIES. PATCH, REPAIR AND MAKE GOOD EXISTING WALL AND WALL FINISHES.

30 CURTAIN WALL, GLAZING, EXTERIOR DOOR AND HARDWARE TO BE REMOVED.

REMOVE EXISTING DRINKING FOUNTAIN TO ACCOMMODATE NEW DRINKING FOUNTAIN.

CLIENT CITY OF TORONTO Corporate Real Estate Management

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CONSTRUCTION

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PROJECT TITLE CITY OF TORONTO

PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19-0612 / IBI 122260

DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT PROJECT MGR APPROVED BY:

SHEET TITLE SECOND FLOOR

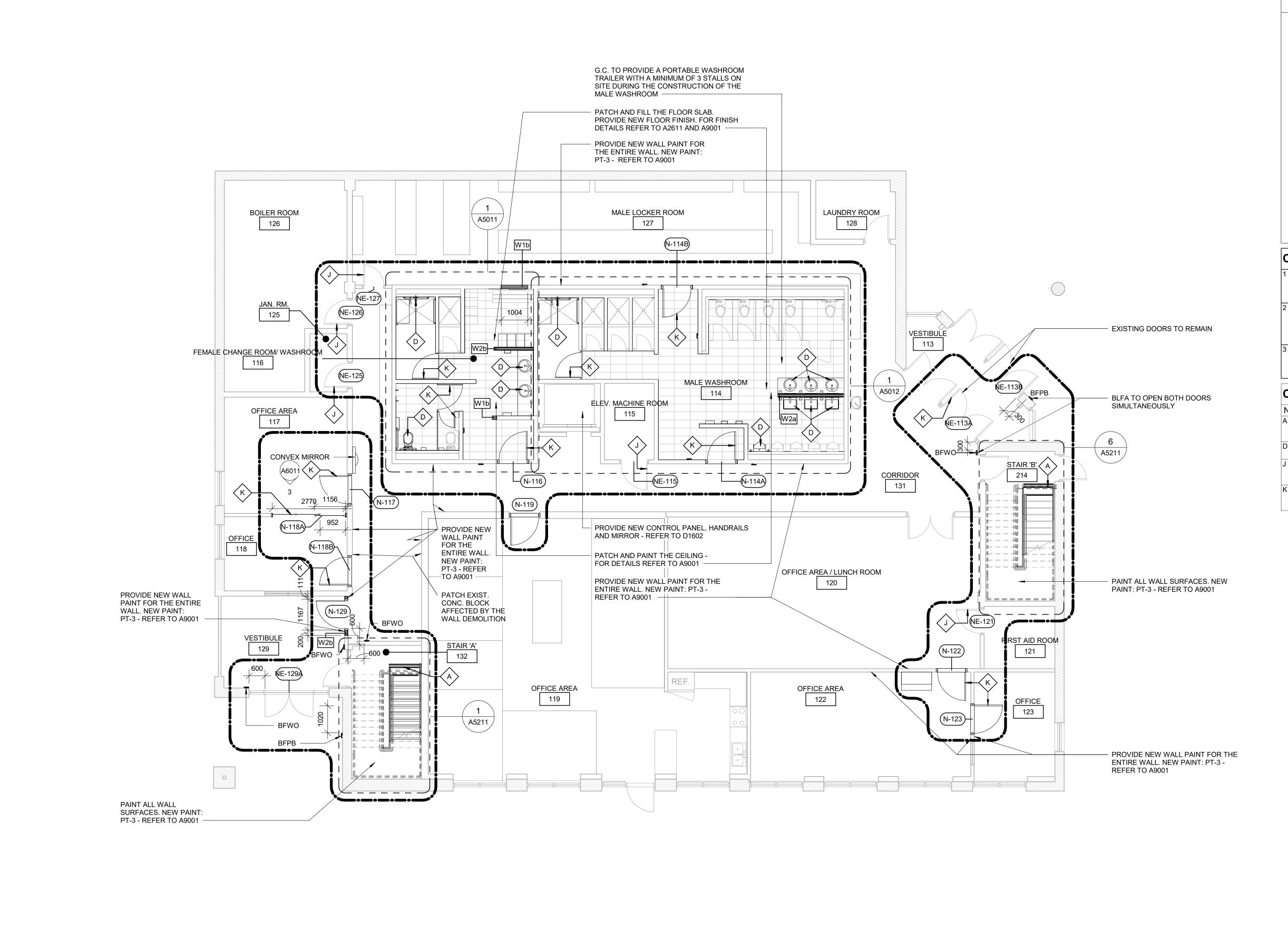
SHEET NUMBER G08-013-A2121

1.5

7.50 m

**ACCESSIBILITY UPGRADES** 

F.BOLOURIAN E. FENUTA DEMOLITION PLAN



# CONSTRUCTION KEY LEGEND

EXISTING EXTERIOR WALL TO

EXISTING PARTITION TO REMAIN

REFER TO PARTITION SCHEDULE

EXISTING DOOR TO REMAIN

**###** 

NEW DOOR AND/ OR NEW HARDWARE

DASHED AREA INDICATES AREA OF WORK

# CONSTRUCTION GENERAL NOTES

NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO

REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.

REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

# CONSTRUCTION KEY NOTES

IN THE SPECIFICATIONS.

INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201. EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE CLIENT

CITY OF TORONTO

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CONSTRUCTION

ARCHITECTURAL DETAIL BOOKLET.

DESCRIPTION INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

CONSULTANTS

SEAL



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PROJECT TITLE CITY OF TORONTO **ACCESSIBILITY UPGRADES** 

PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO:

9119-19- 0612 / IBI 122260 DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT

PROJECT MGR: F.BOLOURIAN SHEET TITLE

FIRST FLOOR PROPOSED PLAN

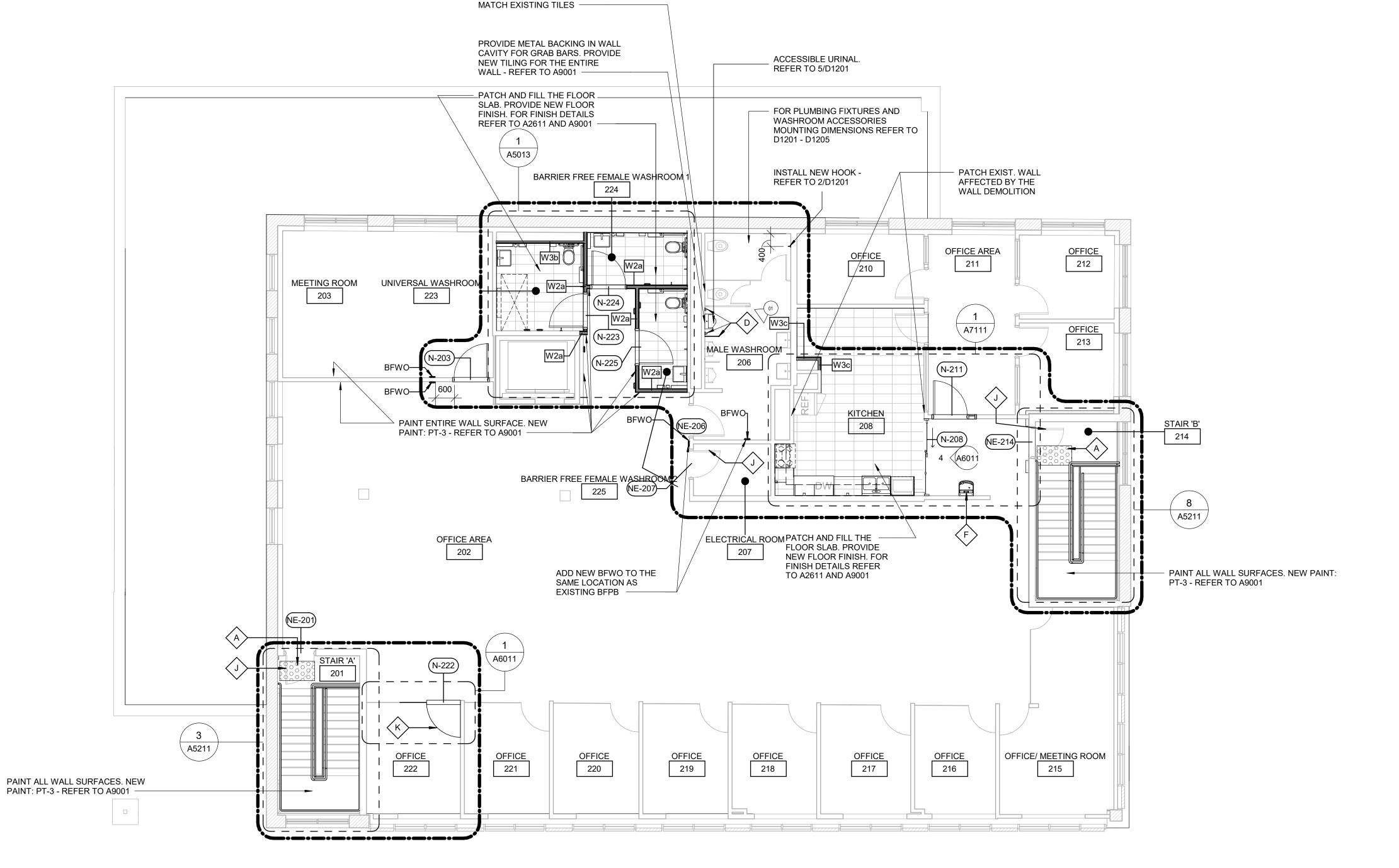
APPROVED BY:

E. FENUTA

SHEET NUMBER G08-013-A2411

7.50 m 1.5

PHOTO 01 - MALE WASHROOM-EXISTING WALL TILE



NEW WALL TILE TO COLOUR

# CONSTRUCTION KEY LEGEND

EXISTING EXTERIOR WALL TO

EXISTING PARTITION TO REMAIN

REFER TO PARTITION SCHEDULE

EXISTING DOOR TO REMAIN

**###** 

NEW DOOR AND/ OR NEW HARDWARE

DASHED AREA INDICATES AREA OF WORK

## CONSTRUCTION GENERAL NOTES

NEW DOOR CARD READER AND BARRIER FREE PUSH FOR LOCATION AND HEIGHT INSTALLATION REFER TO

REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL

REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

# CONSTRUCTION KEY NOTES

INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.

CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS. INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE CLIENT

CITY OF TORONTO

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CONSTRUCTION

BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS ARCHITECTURAL DETAIL BOOKLET.

DESCRIPTION INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND

INSTALL DRINKING FOUNTAIN - REFER TO DETAIL 5/D1301,

EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE IN THE SPECIFICATIONS.

CONSULTANTS

SEAL



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PROJECT TITLE CITY OF TORONTO **ACCESSIBILITY UPGRADES** 

PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO:

9119-19-0612 / IBI 122260 DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT

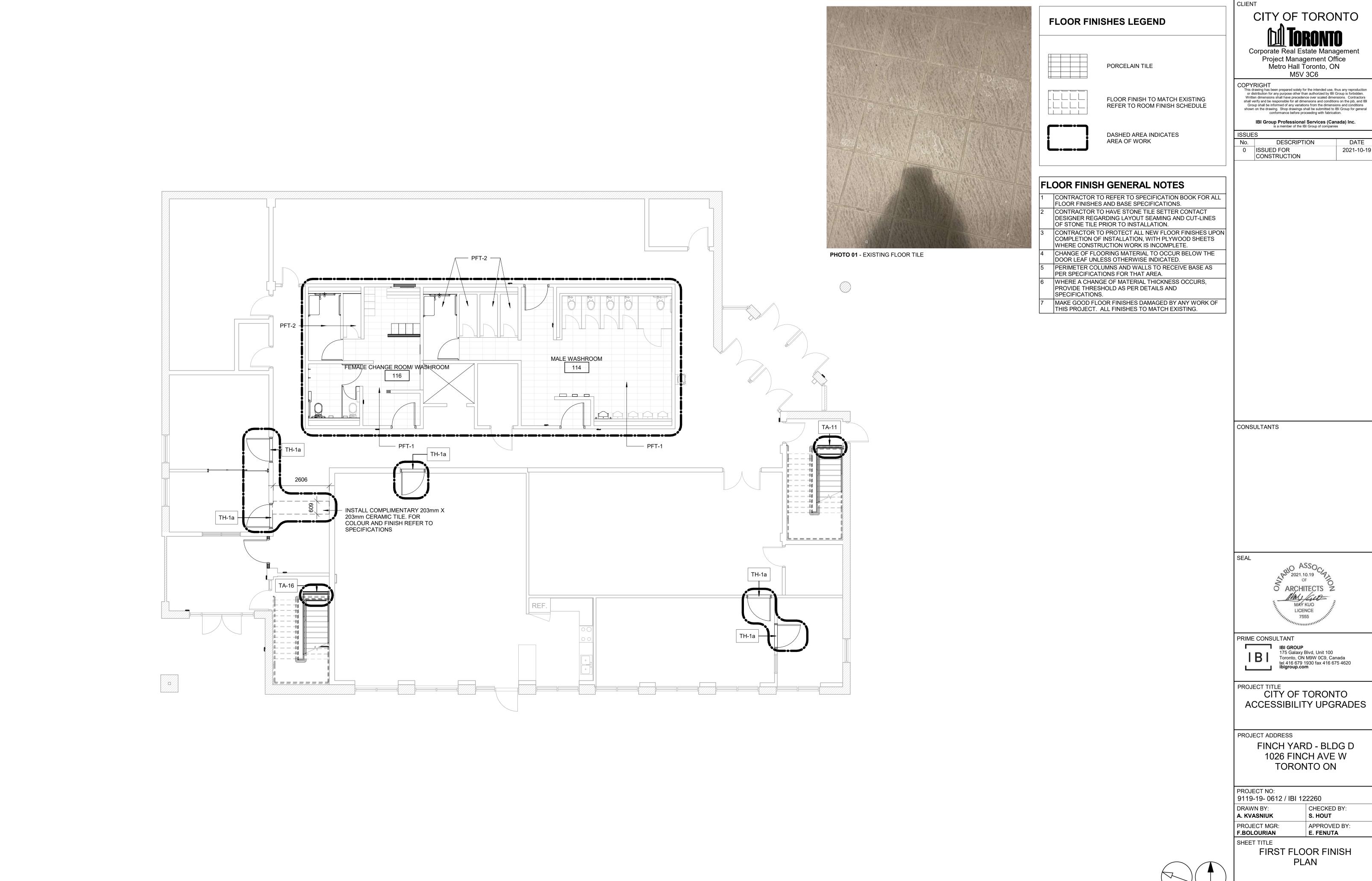
PROJECT MGR: APPROVED BY: F.BOLOURIAN E. FENUTA SHEET TITLE

SECOND FLOOR PROPOSED PLAN

SHEET NUMBER G08-013-A2421

1.5

7.50 m



7.50 m

1.5

Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON

2021-10-19

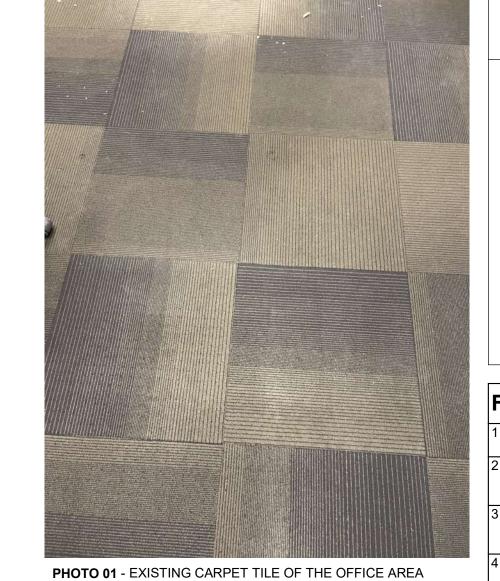
O ARCHITECTS Z

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CITY OF TORONTO

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

FIRST FLOOR FINISH



# FLOOR FINISHES LEGEND

PORCELAIN TILE



FLOOR FINISH TO MATCH EXISTING REFER TO ROOM FINISH SCHEDULE



DASHED AREA INDICATES AREA OF WORK

# FLOOR FINISH GENERAL NOTES

OF STONE TILE PRIOR TO INSTALLATION.

- CONTRACTOR TO REFER TO SPECIFICATION BOOK FOR ALL FLOOR FINISHES AND BASE SPECIFICATIONS. CONTRACTOR TO HAVE STONE TILE SETTER CONTACT DESIGNER REGARDING LAYOUT SEAMING AND CUT-LINES
- CONTRACTOR TO PROTECT ALL NEW FLOOR FINISHES UPON COMPLETION OF INSTALLATION, WITH PLYWOOD SHEETS WHERE CONSTRUCTION WORK IS INCOMPLETE.
  - CHANGE OF FLOORING MATERIAL TO OCCUR BELOW THE DOOR LEAF UNLESS OTHERWISE INDICATED. PERIMETER COLUMNS AND WALLS TO RECEIVE BASE AS
- PER SPECIFICATIONS FOR THAT AREA. WHERE A CHANGE OF MATERIAL THICKNESS OCCURS,
- PROVIDE THRESHOLD AS PER DETAILS AND SPECIFICATIONS. MAKE GOOD FLOOR FINISHES DAMAGED BY ANY WORK OF

THIS PROJECT. ALL FINISHES TO MATCH EXISTING.

CLIENT

CITY OF TORONTO

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PROJECT TITLE CITY OF TORONTO ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

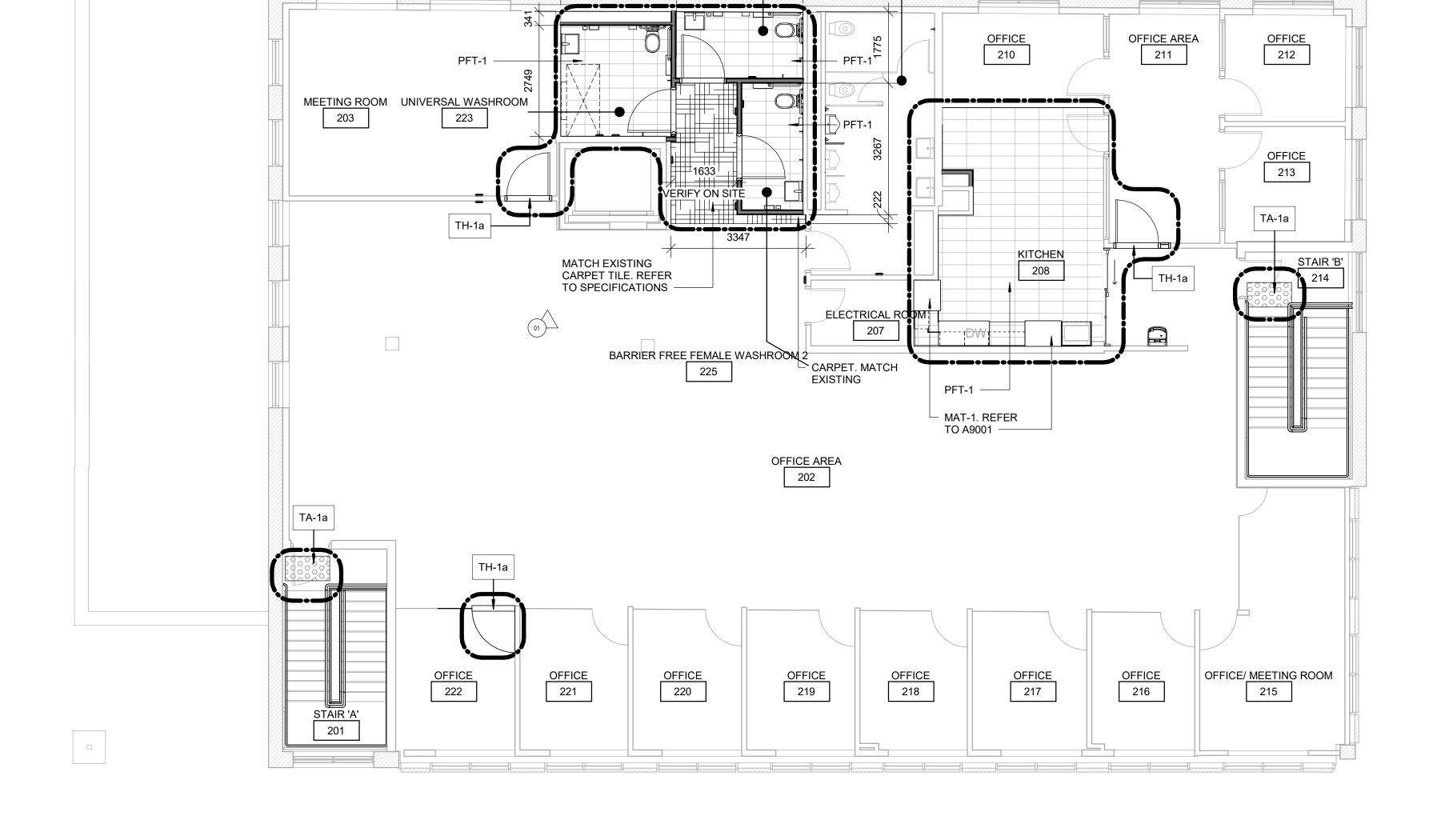
PROJECT NO: 9119-19- 0612 / IBI 122260

DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT APPROVED BY: **E. FENUTA** PROJECT MGR: F.BOLOURIAN

SHEET TITLE SECOND FLOOR FINISH

PLAN

SHEET NUMBER G08-013-A2621

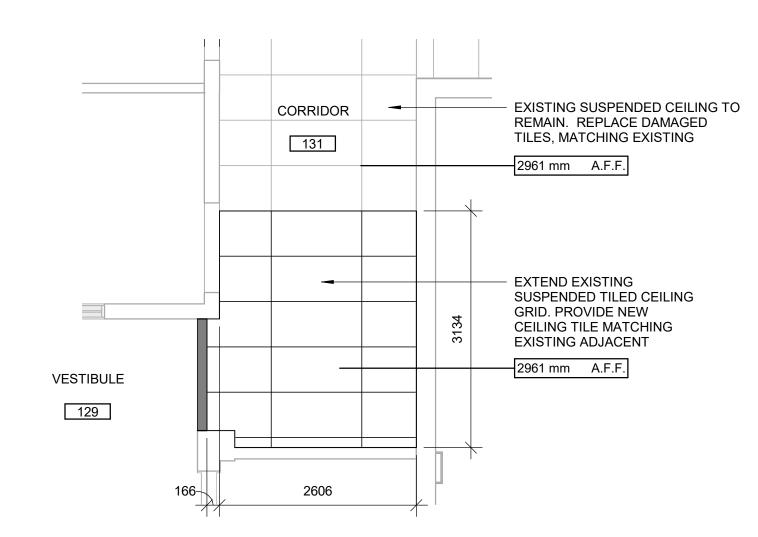


BARRIER FREE FEMALE WASHROOMMALE WASHROOM

206

224

7.50 m 1.5



2 FIRST FLOOR-PROPOSED RCP - VESTIBULE

**CEILING LEGEND** 

SUSPENDED METAL GRID AND LAY-IN ACOUSTIC TILE

SIZE TO MATCH EXISTING

OTHERWISE NOTED.

GYPSUM BOARD CEILING AND BULKHEAD

# **CEILING GENERAL NOTES**

FOR LOCATION OF ELECTRICAL FIXTURES INCLUDING EXIT SIGNS. REFER TO ELECTRICAL DRAWINGS. FOR LOCATION & TYPE OF MECHANICAL EQUIPMENT, REFER TO MECHANICAL DRAWINGS.

PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS

CLIENT

CITY OF TORONTO

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ISSUES

DESCRIPTION 0 ISSUED FOR 2021-10-19 CONSTRUCTION

CONSULTANTS

PR 2021.10.19 OF O ARCHITECTS Z LICENCE 7555

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Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
CITY OF TORONTO ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19- 0612 / IBI 122260

DRAWN BY:

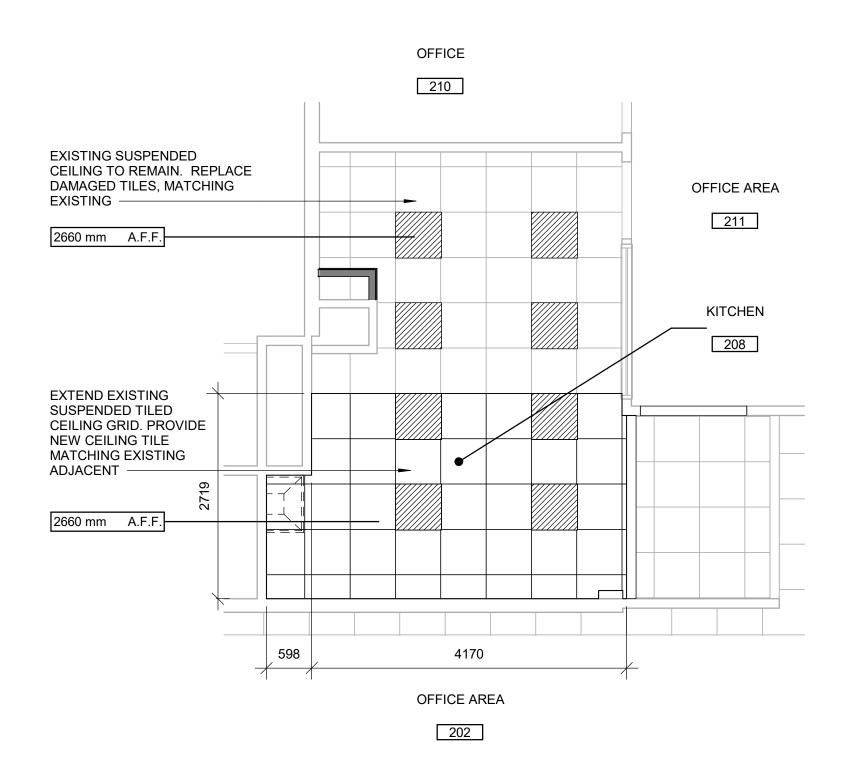
CHECKED BY: A. KVASNIUK S. HOUT APPROVED BY: **E. FENUTA** PROJECT MGR: F.BOLOURIAN

SHEET TITLE FIRST FLOOR

REFLECTED CEILING PLAN

G08-013-A2811

SECOND FLOOR - PROPOSED RCP - UNIVERSAL & BARRIER FREE WASHROOMS A2821 | Scale: 1:50



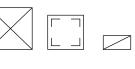
2 SECOND FLOOR - PROPOSED RCP - KITCHEN A2821 Scale: 1:50

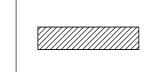
**CEILING LEGEND** 

SUSPENDED METAL GRID AND LAY-IN ACOUSTIC TILE SIZE TO MATCH EXISTING



GYPSUM BOARD CEILING AND BULKHEAD





CEILING LIGHTING FIXTURE

# **CEILING GENERAL NOTES**

FOR LOCATION OF ELECTRICAL FIXTURES INCLUDING EXIT SIGNS. REFER TO ELECTRICAL DRAWINGS. TO MECHANICAL DRAWINGS.

OTHERWISE NOTED.

CLIENT

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2021-10-19

ISSUES DESCRIPTION

FOR LOCATION & TYPE OF MECHANICAL EQUIPMENT, REFER

PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS

CONSULTANTS

SEAL



PRIME CONSULTANT

IBI GROUP 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C9, Canada tel 416 679 1930 fax 416 675 4620 ibigroup.com

PROJECT TITLE CITY OF TORONTO ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO:

9119-19- 0612 / IBI 122260 DRAWN BY: CHECKED BY:

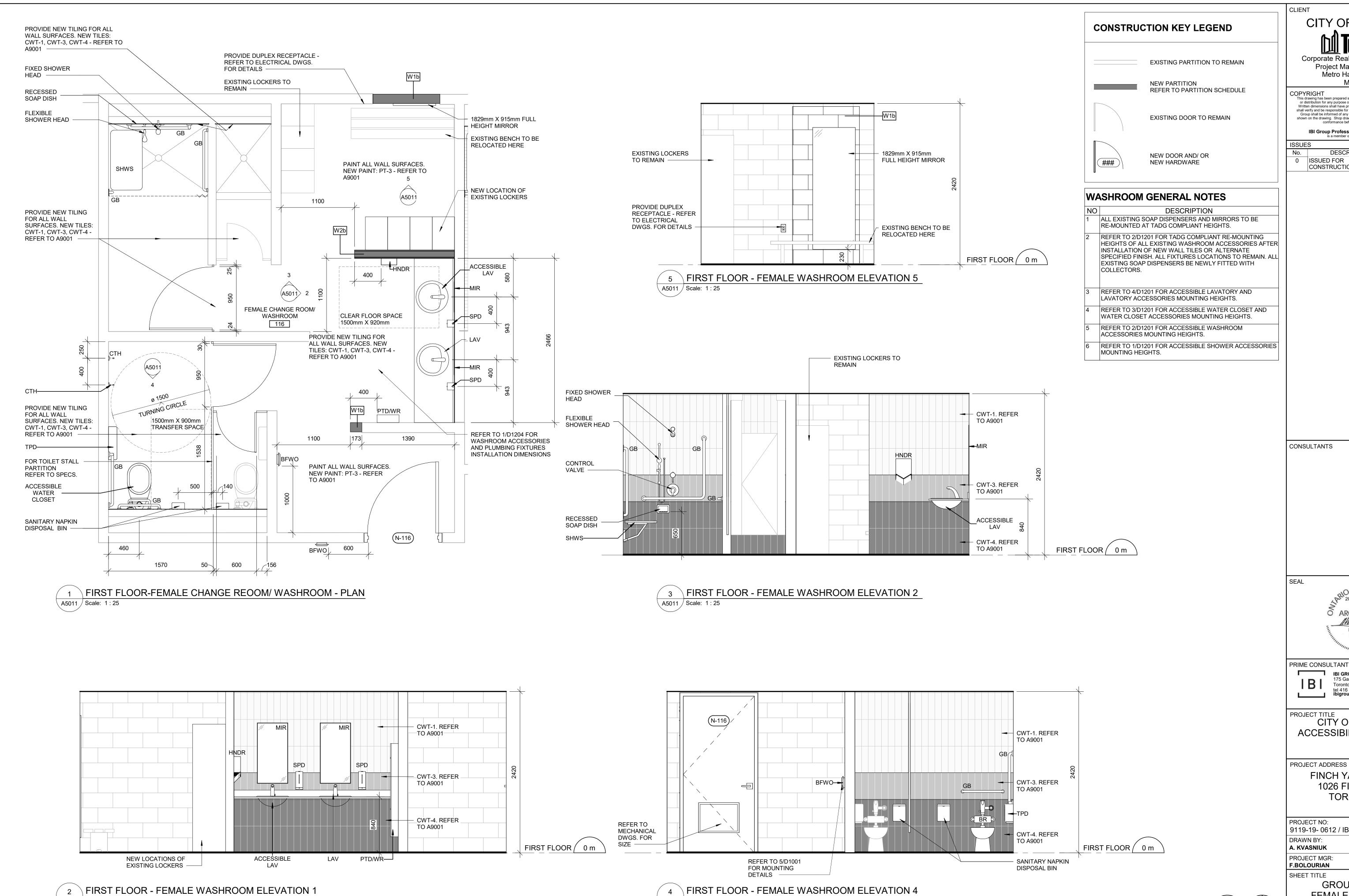
A. KVASNIUK S. HOUT PROJECT MGR: APPROVED BY: E. FENUTA F.BOLOURIAN

SHEET TITLE

SECOND FLOOR REFLECTED CEILING PLAN

SHEET NUMBER

G08-013-A2821



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PROJECT TITLE CITY OF TORONTO **ACCESSIBILITY UPGRADES** 

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19-0612 / IBI 122260

DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT PROJECT MGR APPROVED BY: E. FENUTA

**GROUND FLOOR** FEMALE WASHROOM

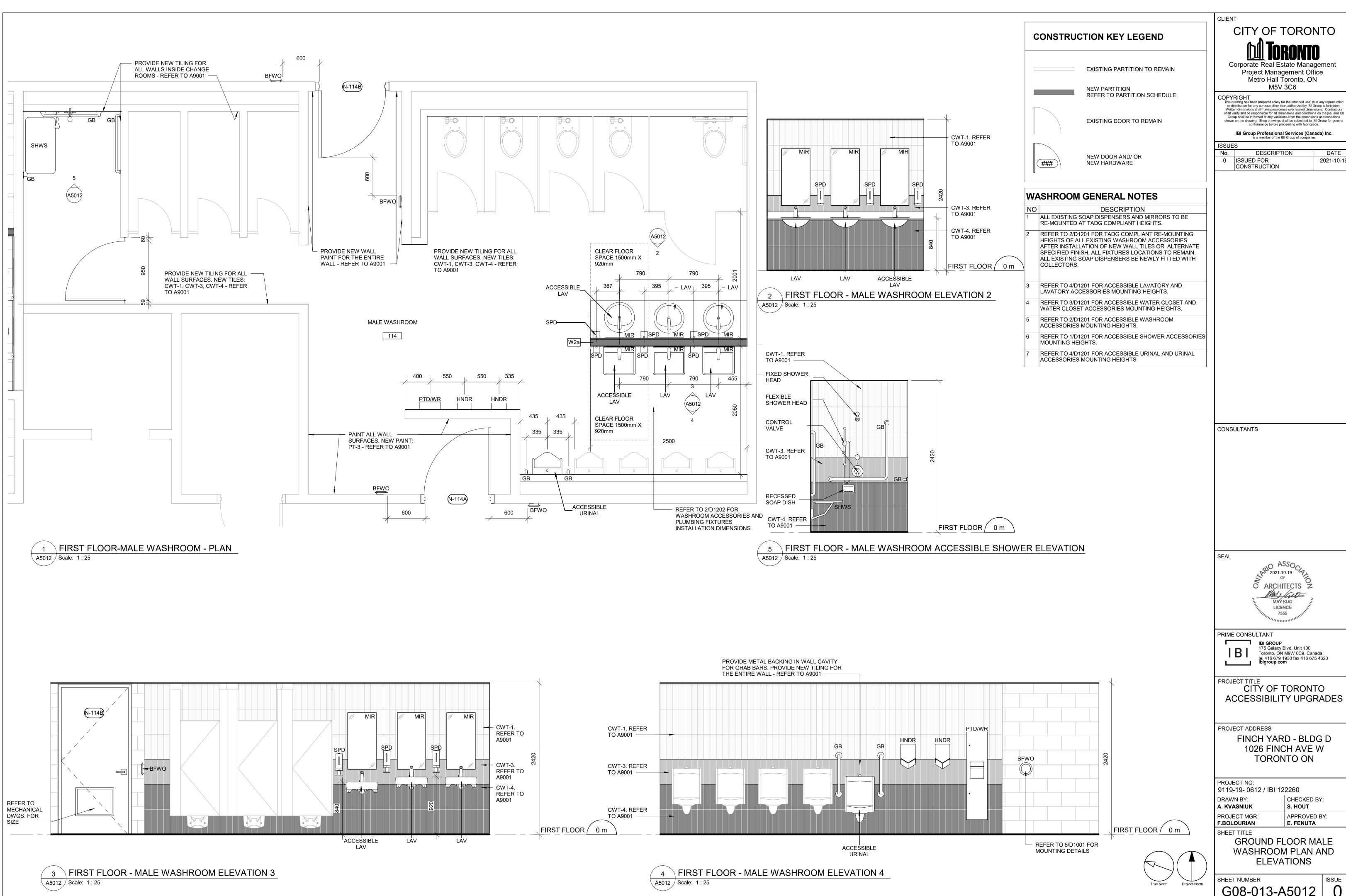
PLANS AND ELEVATIONS SHEET NUMBER

G08-013-A5011

A5011 Scale: 1:25

A5011 | Scale: 1:25

4 FIRST FLOOR - FEMALE WASHROOM ELEVATION 4



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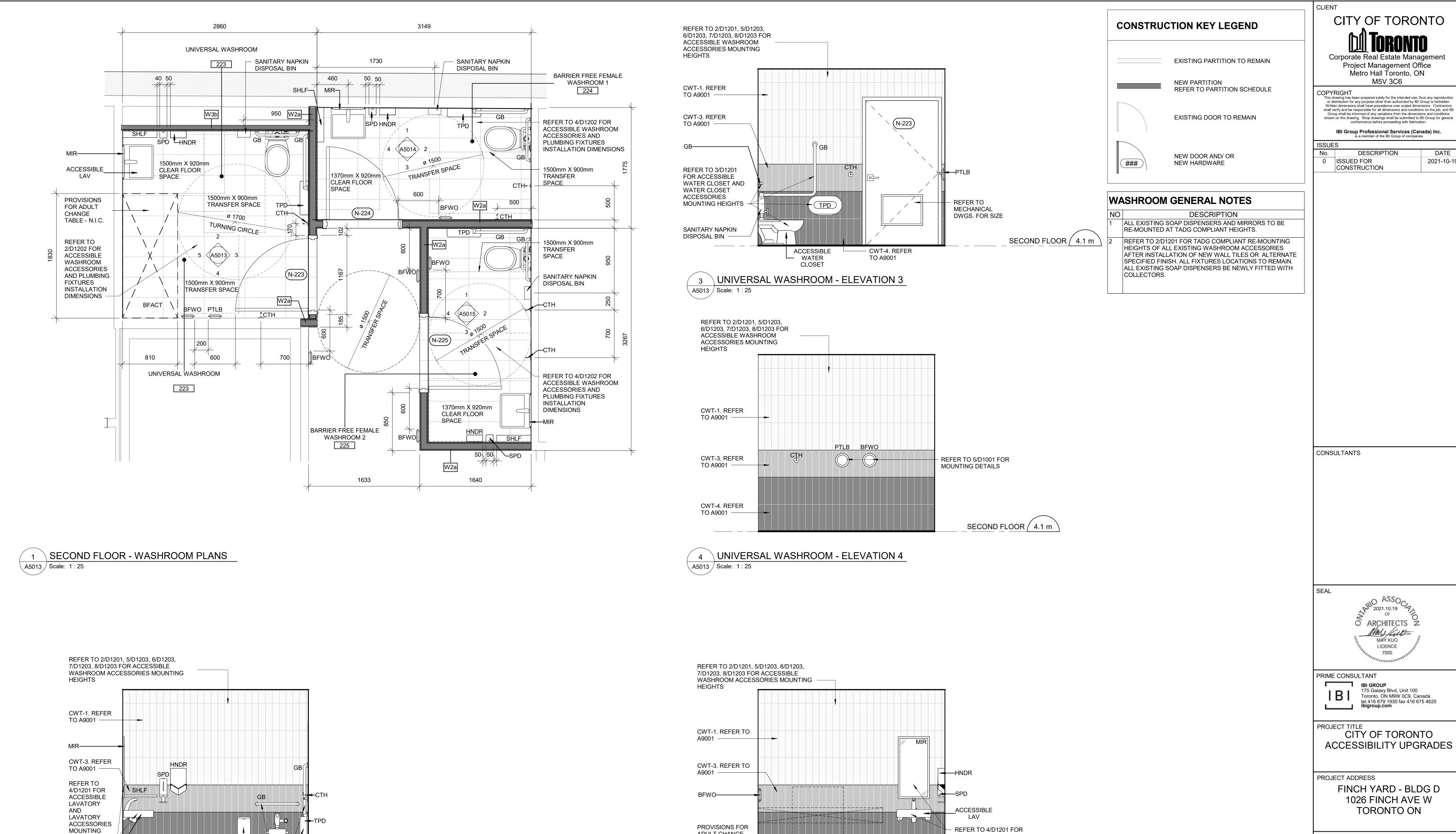
2021-10-19

CITY OF TORONTO **ACCESSIBILITY UPGRADES** 

FINCH YARD - BLDG D 1026 FINCH AVE W

**GROUND FLOOR MALE** 

G08-013-A5012



ADULT CHANGE

CWT-4. REFER TO

∖ A5013 / Scale: 1 : 25

5 UNIVERSAL WASHROOM - ELEVATION 5

A9001

TABLE - N.I.C. -

ACCESSIBLE LAVATORY AND

SECOND FLOOR / 4.1 m

LAVATORY ACCESSORIES

MOUNTING HEIGHTS

PROJECT NO: 9119-19-0612 / IBI 122260 DRAWN BY: A. KVASNIUK PROJECT MGR F.BOLOURIAN SHEET TITLE

SECOND FLOOR WASHROOM PLANS AND **ELEVATIONS** 

CHECKED BY:

APPROVED BY:

E. FENUTA

S. HOUT

O ASSOC 2021.10.19 OF O ARCHITECTS Z May Kut MAY KUO LICENCE 7555

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DESCRIPTION

DATE

2021-10-19

SHEET NUMBER

G08-013-A5013

HEIGHTS

ACCESSIBLE

LAV

TO A9001 -

A5013 / Scale: 1 : 25

CWT-4. REFER

 $oxed{egin{array}{c} 2 \end{array}}$  UNIVERSAL WASHROOM - ELEVATION 2

SANITARY NAPKIN

DISPOSAL BIN -

ACCESSIBLE

WATER

CLOSET

HEIGHTS

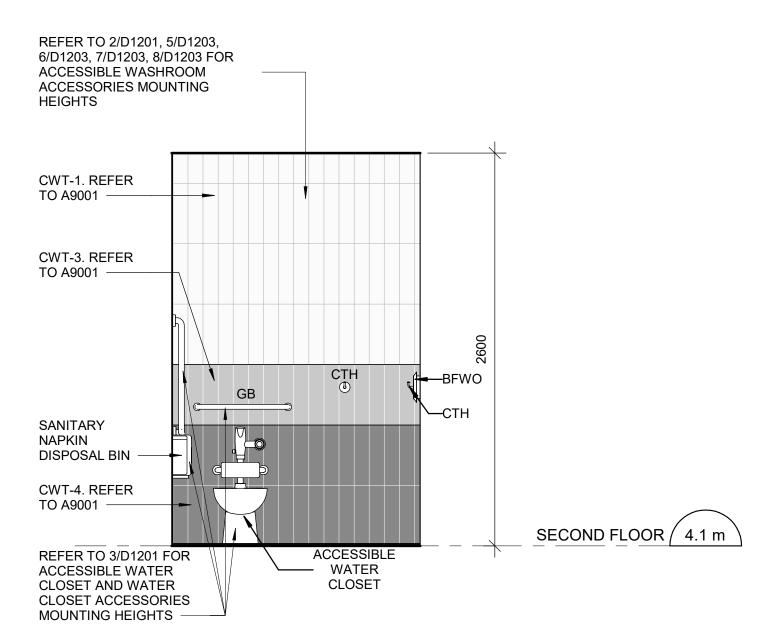
REFER TO 3/D1201 FOR

AND WATER CLOSET

ACCESSIBLE WATER CLOSET

ACCESSORIES MOUNTING

SECOND FLOOR / 4.1 m

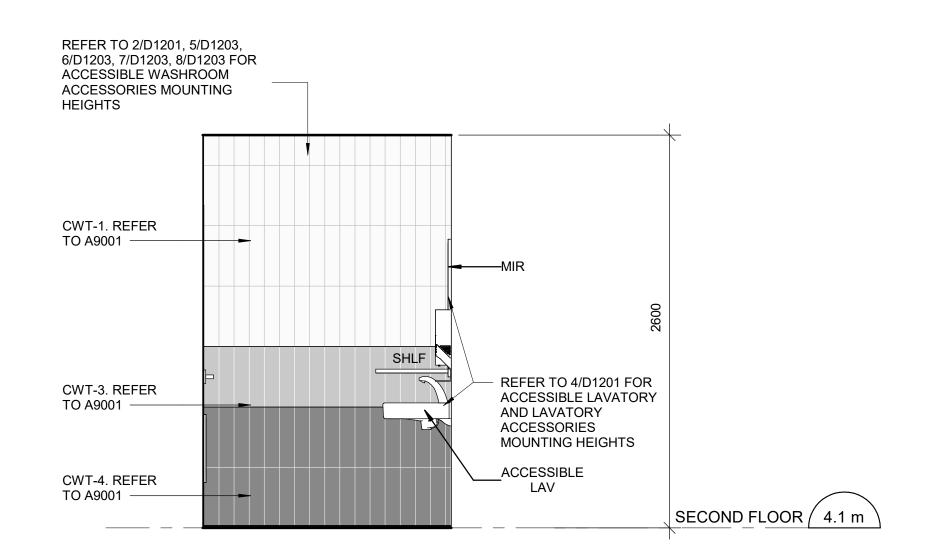


BARRIER FREE FEMALE WASHROOM 1 - ELEVATION 2 A5014 | Scale: 1:25

REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS CWT-1. REFER TO A9001 N-224 REFER TO 5/D1001 FOR MOUNTING DETAILS CWT-3. REFER TO A9001 REFER TO 3/D1201 REFER TO FOR ACCESSIBLE MECHANICAL WATER CLOSET AND DWGS. FOR SIZE WATER CLOSET ACCESSORIES MOUNTING HEIGHTS -SECOND FLOOR / 4.1 m ACCESSIBLE CWT-4. REFER WATER TO A9001 CLOSET

BARRIER FREE FEMALE WASHROOM 1 - ELEVATION 3

∖ A5014 / Scale: 1 : 25



BARRIER FREE FEMALE WASHROOM 1 - ELEVATION 4 A5014 | Scale: 1:25

# WASHROOM GENERAL NOTES

**DESCRIPTION** ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.

REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

CLIENT CITY OF TORONTO

Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON M5V 3C6

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IBI GROUP 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C9, Canada tel 416 679 1930 fax 416 675 4620 ibigroup.com

PROJECT TITLE CITY OF TORONTO **ACCESSIBILITY UPGRADES** 

PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19- 0612 / IBI 122260

DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT PROJECT MGR APPROVED BY: E. FENUTA

F.BOLOURIAN SHEET TITLE

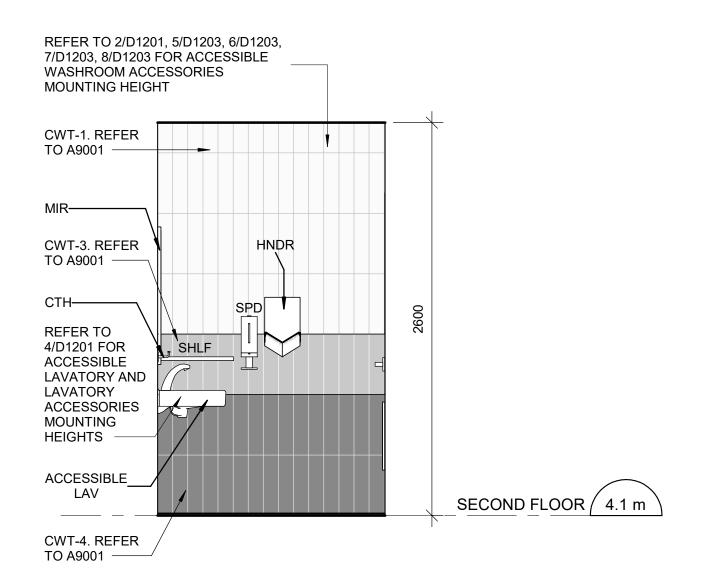
BARRIER FREE WASHROOM 1 -**ELEVATIONS** 

SHEET NUMBER ISSUE G08-013-A5014

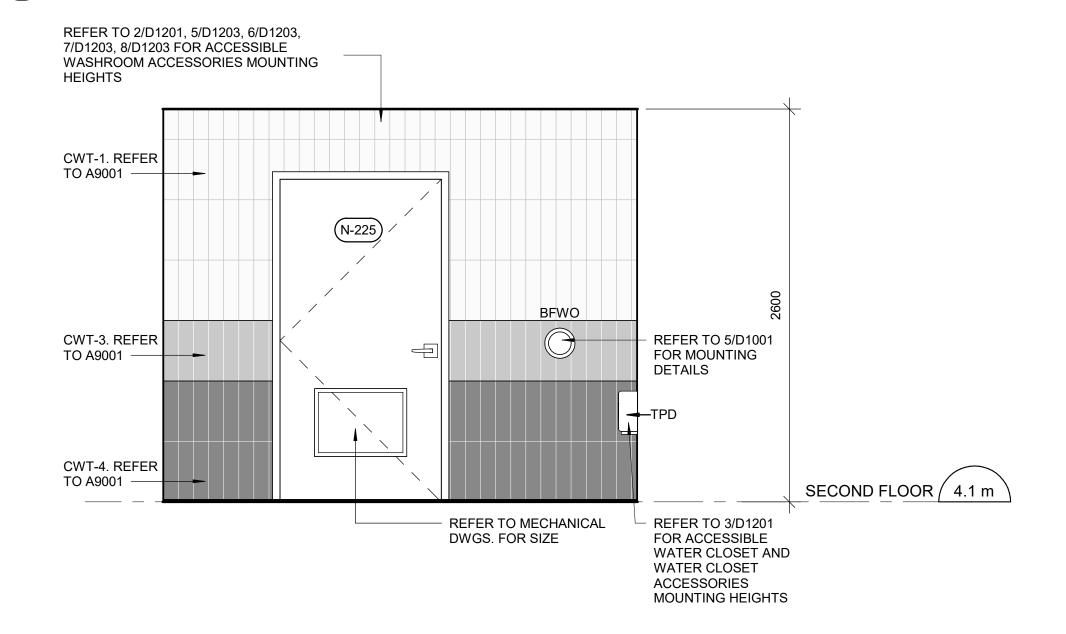
BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 1 ∖ A5015 / Scale: 1 : 25

REFER TO 2/D1201, 5/D1203, 6/D1203, 7/D1203, 8/D1203 FOR ACCESSIBLE WASHROOM ACCESSORIES MOUNTING HEIGHTS CWT-1. REFER TO A9001 -MIR ┿-HNDR CTH CTH CWT-3. REFER TO A9001 -ACCESSIBLE LAV ACCESSIBLE WATER CLOSET SECOND FLOOR / 4.1 m REFER TO 4/D1201 FOR ACCESSIBLE CWT-4. REFER ── SANITARY NAPKIN DISPOSAL BIN TO A9001 — LAVATORY AND REFER TO 3/D1201 LAVATORY FOR ACCESSIBLE ACCESSORIES WATER CLOSET AND MOUNTING HEIGHTS WATER CLOSET ACCESSORIES MOUNTING HEIGHTS

BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 2 A5015 Scale: 1:25



BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 3 



4 BARRIER FREE FEMALE WASHROOM 2 - ELEVATION 4 A5015 | Scale: 1:25

# **WASHROOM GENERAL NOTES**

DESCRIPTION

ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.

REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.

CLIENT CITY OF TORONTO

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PROJECT TITLE CITY OF TORONTO ACCESSIBILITY UPGRADES

PROJECT ADDRESS

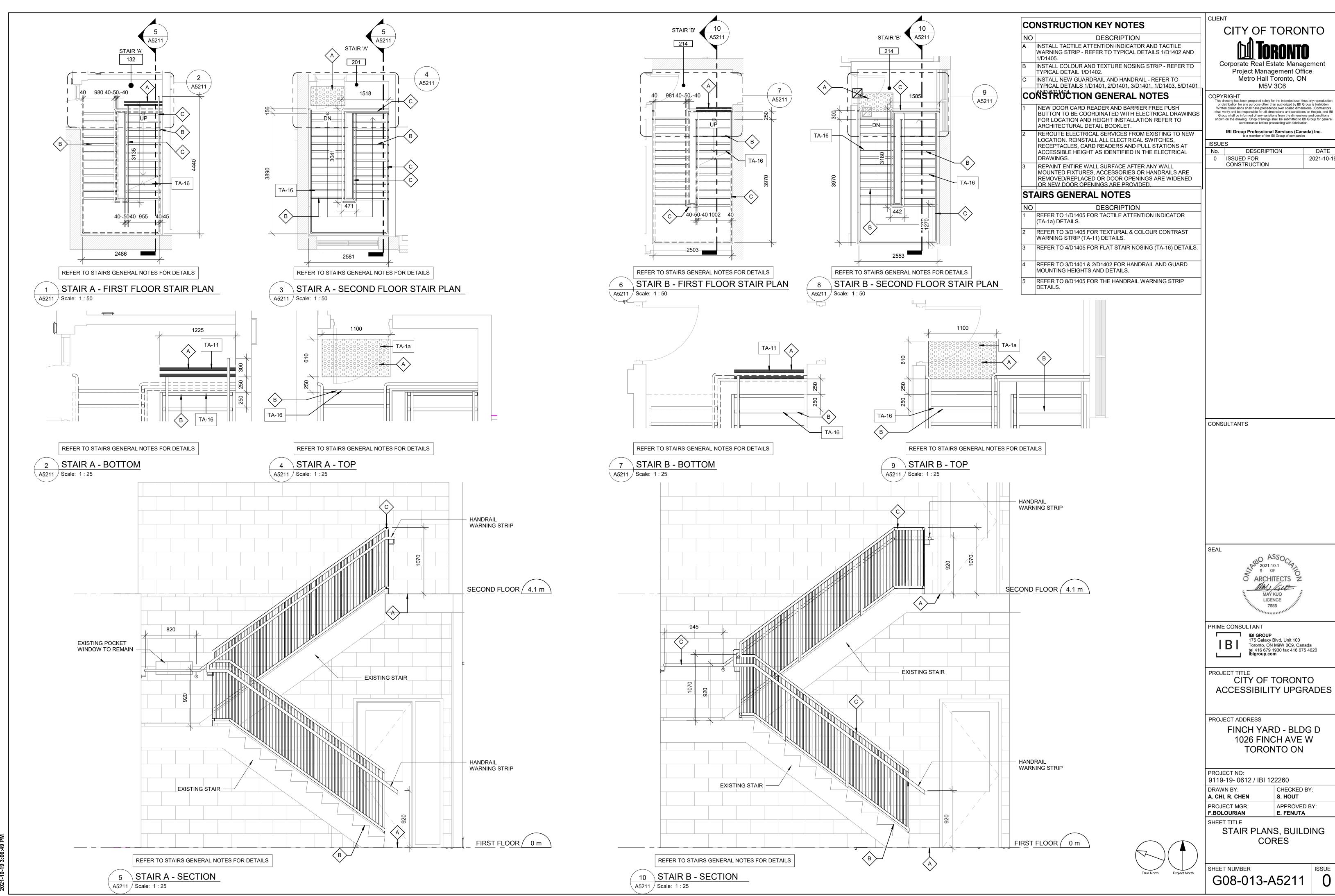
FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19- 0612 / IBI 122260

DRAWN BY: CHECKED BY: A. KVASNIUK S. HOUT PROJECT MGR: APPROVED BY: E. FENUTA

F.BOLOURIAN SHEET TITLE

BARRIER FREE WASHROOM 2 -**ELEVATIONS** 



Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON

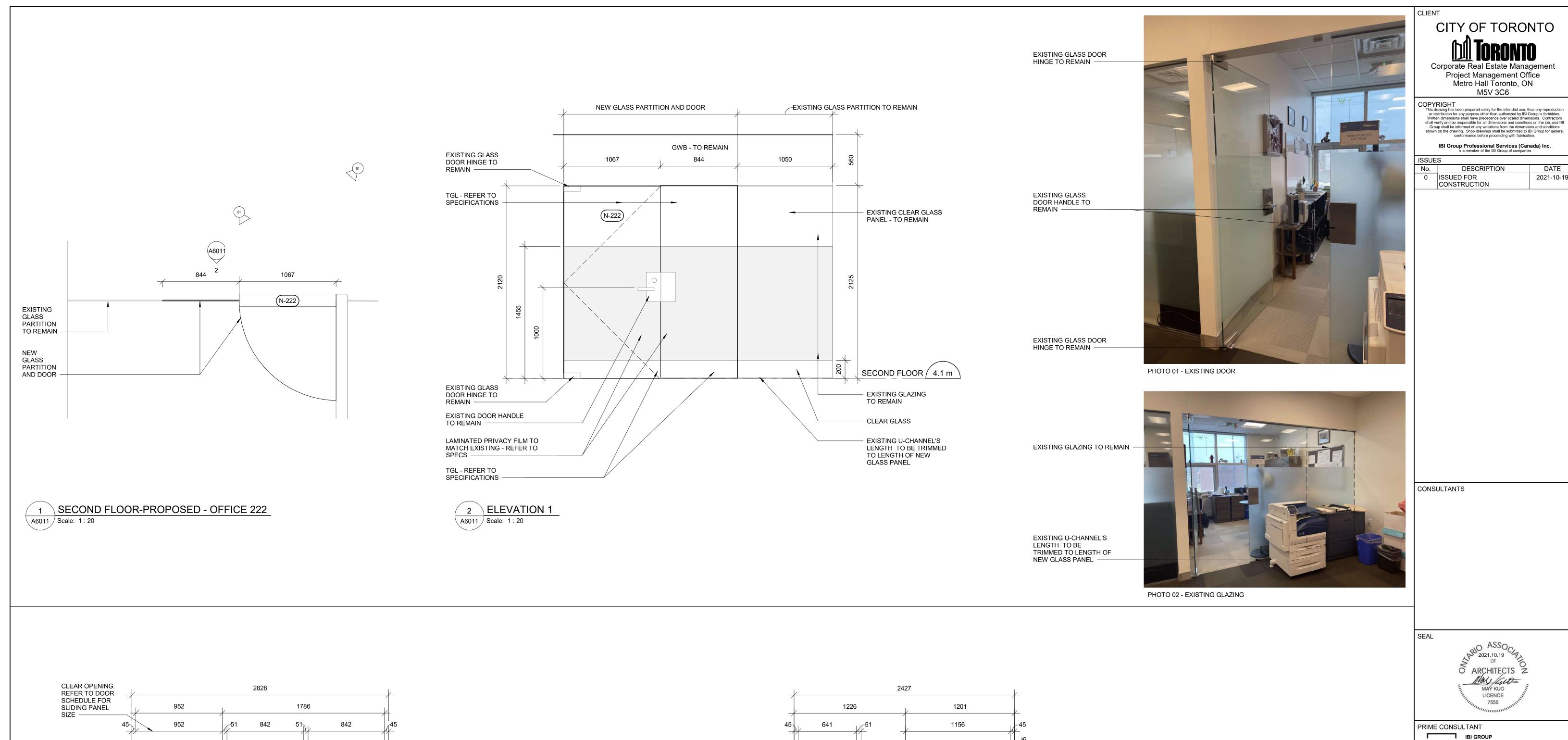
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FINCH YARD - BLDG D 1026 FINCH AVE W

CHECKED BY:

STAIR PLANS, BUILDING



TGL - REFER TO SPECIFICATIONS -

VISION STRIPS 1

TGL - REFER

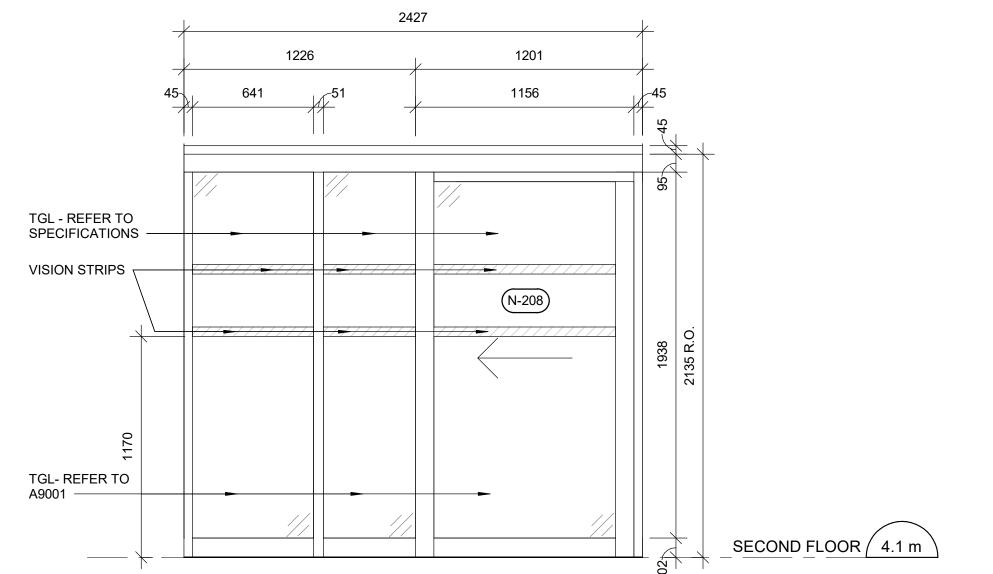
∖ A6011 / Scale: 1 : 20

TO A9001

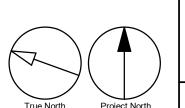
N-118A

3 FIRST FLOOR-PROPOSED - OFFICE 118 - ELEVATION 1

FIRST FLOOR / 0 m



4 SECOND FLOOR-PROPOSED - KITCHEN - ELEVATION 1 A6011 / Scale: 1 : 20



2021-10-19

2021.10.19 O ARCHITECTS Z MAY KUO LICENCE 7555

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PROJECT TITLE CITY OF TORONTO

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PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

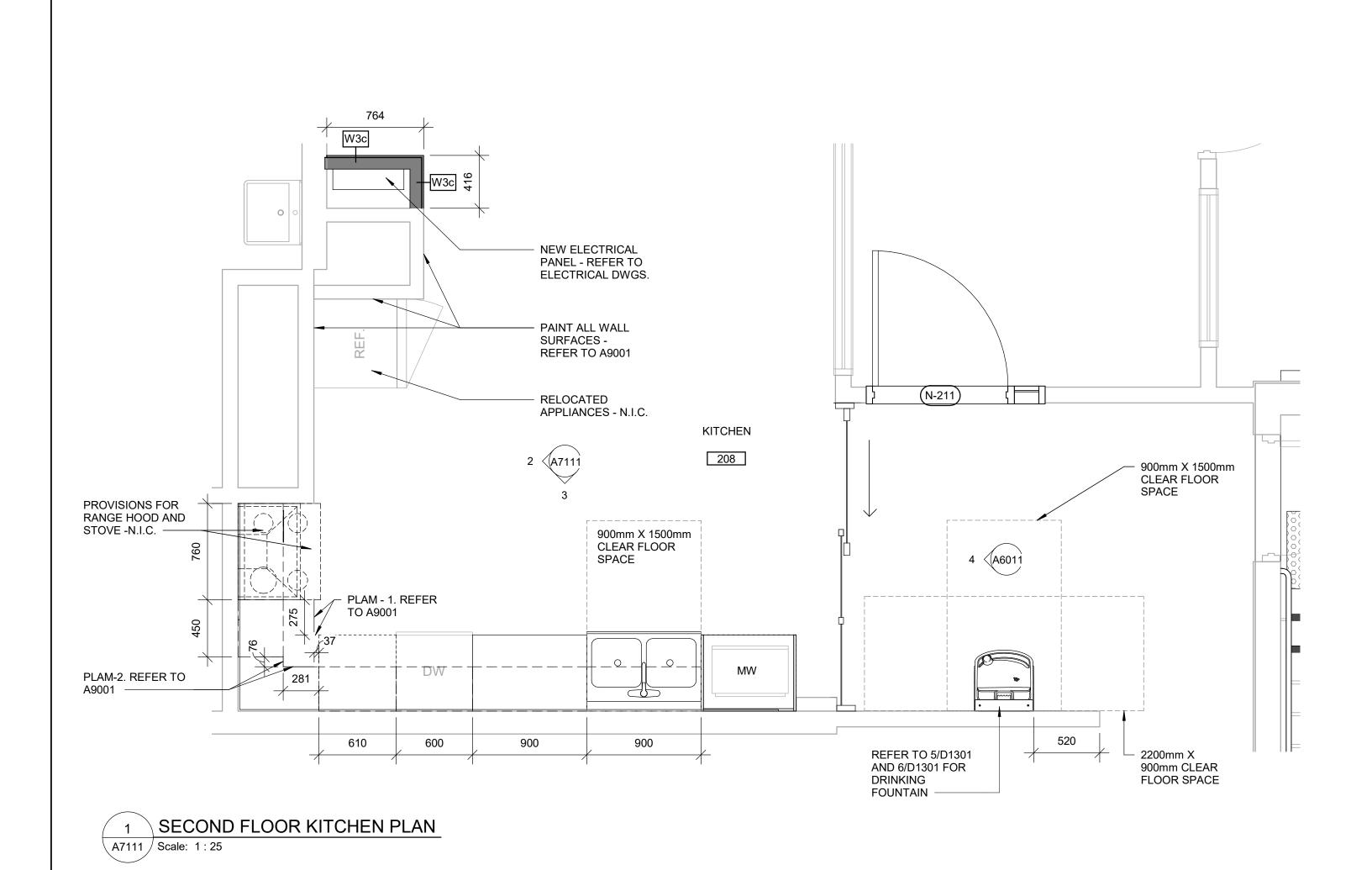
A. KVASNIUK	S. HOUT
DRAWN BY:	CHECKED BY:
9119-19- 0612 / IBI 12	2260
PROJECT NO:	

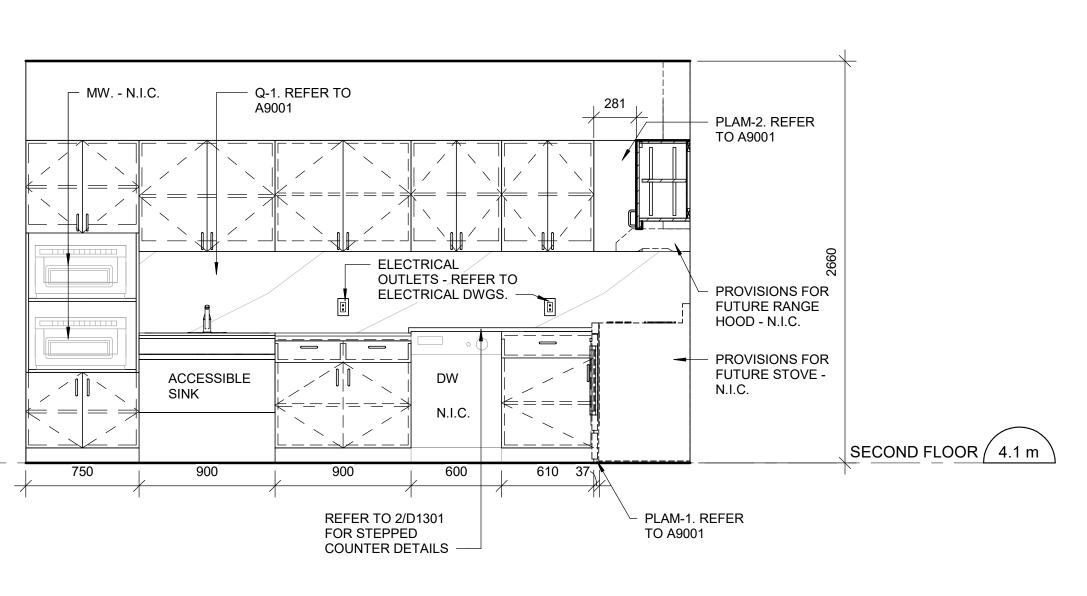
PROJECT MGR: APPROVED BY: E. FENUTA F.BOLOURIAN SHEET TITLE

INTERIOR ELEVATIONS

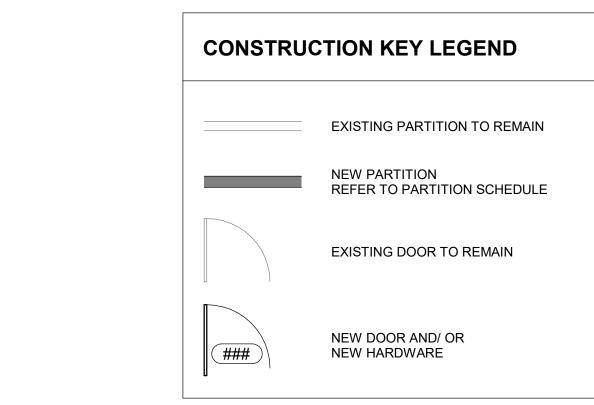
SHEET NUMBER

G08-013-A6011



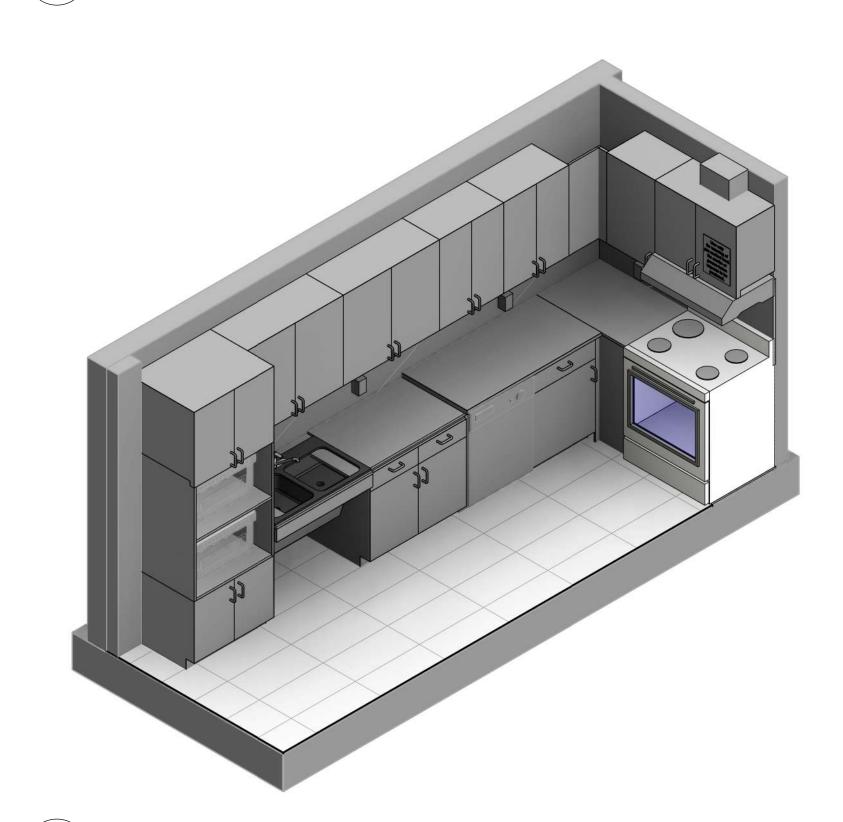


3 SECOND FLOOR KITCHEN - ELEVATION 3 A7111 Scale: 1:25



FOR DETAILS REFER TO D1301 - D1303 PLAM-2. REFER TO A9001 ——— - KITCHEN HOOD SIGN DETAILS Q-1. REFER TO A9001 -PROVISIONS REF. - N.I.C. FOR RANGE HOOD AND ELECTRICAL STOVE -N.I.C. OUTLET - REFER TO ELECTRICAL DWGS. ii<u>l----</u>ji L-----======== PLAM-1. REFER TO A9001 SECOND FLOOR / 4.1 m 760

> 2 SECOND FLOOR KITCHEN - ELEVATION 2 A7111 | Scale: 1:25



4 SECOND FLOOR KITCHEN AXONOMETRIC

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PROJECT ADDRESS

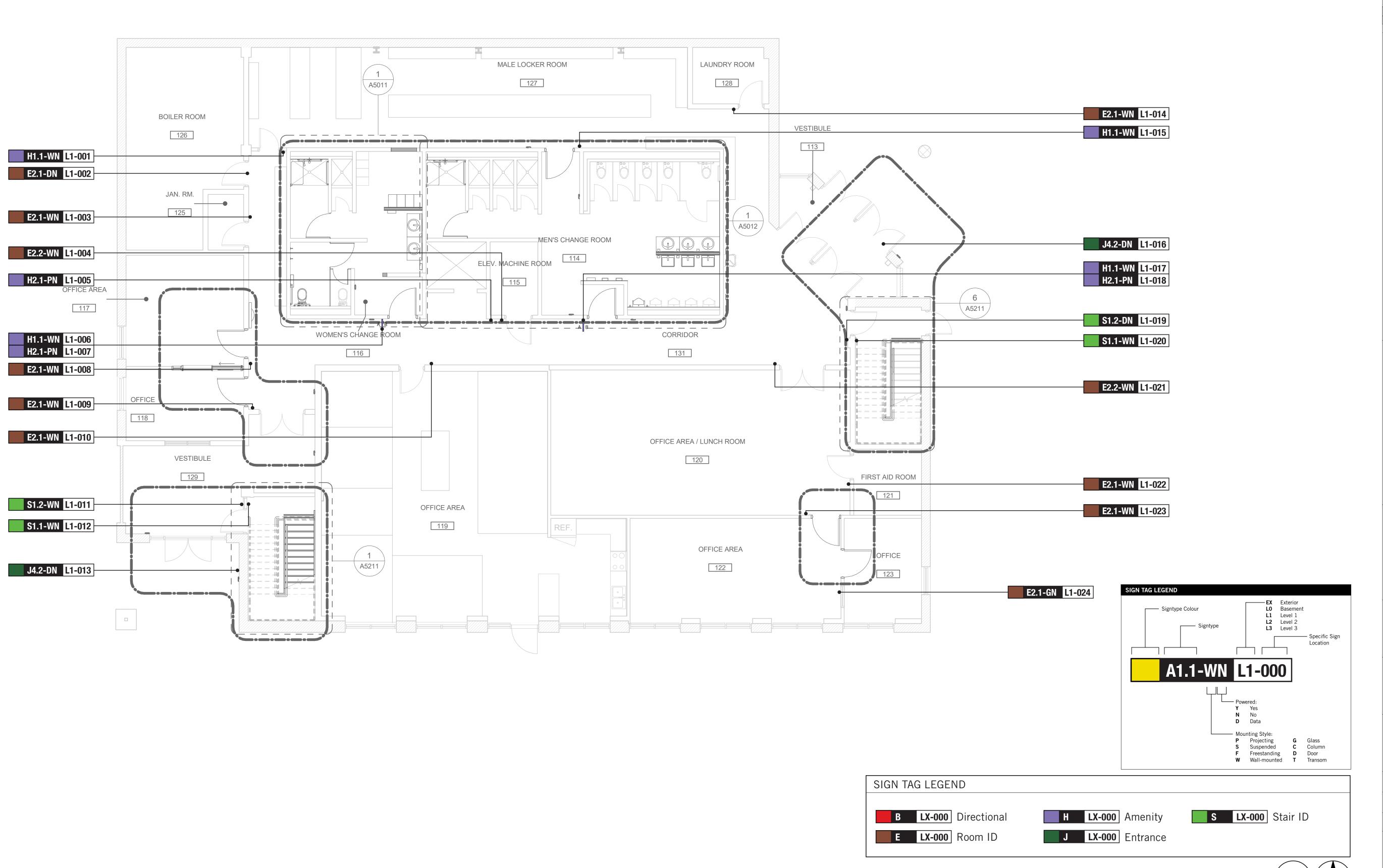
FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19- 0612 / IBI 122260 DRAWN BY:

CHECKED BY: A. KVASNIUK S. HOUT APPROVED BY: **E. FENUTA** PROJECT MGR: F.BOLOURIAN

SHEET TITLE

SECOND FLOOR KITCHEN - ENLARGED PLAN AND ELEVATIONS



CITY OF TORONTO

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IOOUL	3	
No.	DESCRIPTION	DATE
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ENTRO
33 Harbour Square, Suite 202
Toronto, Canada M5J 2G2

SEAL

PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD- BLDG D 1026 FINCH AVE W Toronto, ON

PROJECT NO: 9119 – 19 – 0162 / IBI 122260

DRAWN BY:

B. FERNANDEZ

PROJECT MGR:

R. DALY

CHECKED BY:

C.D. SCHNOBB

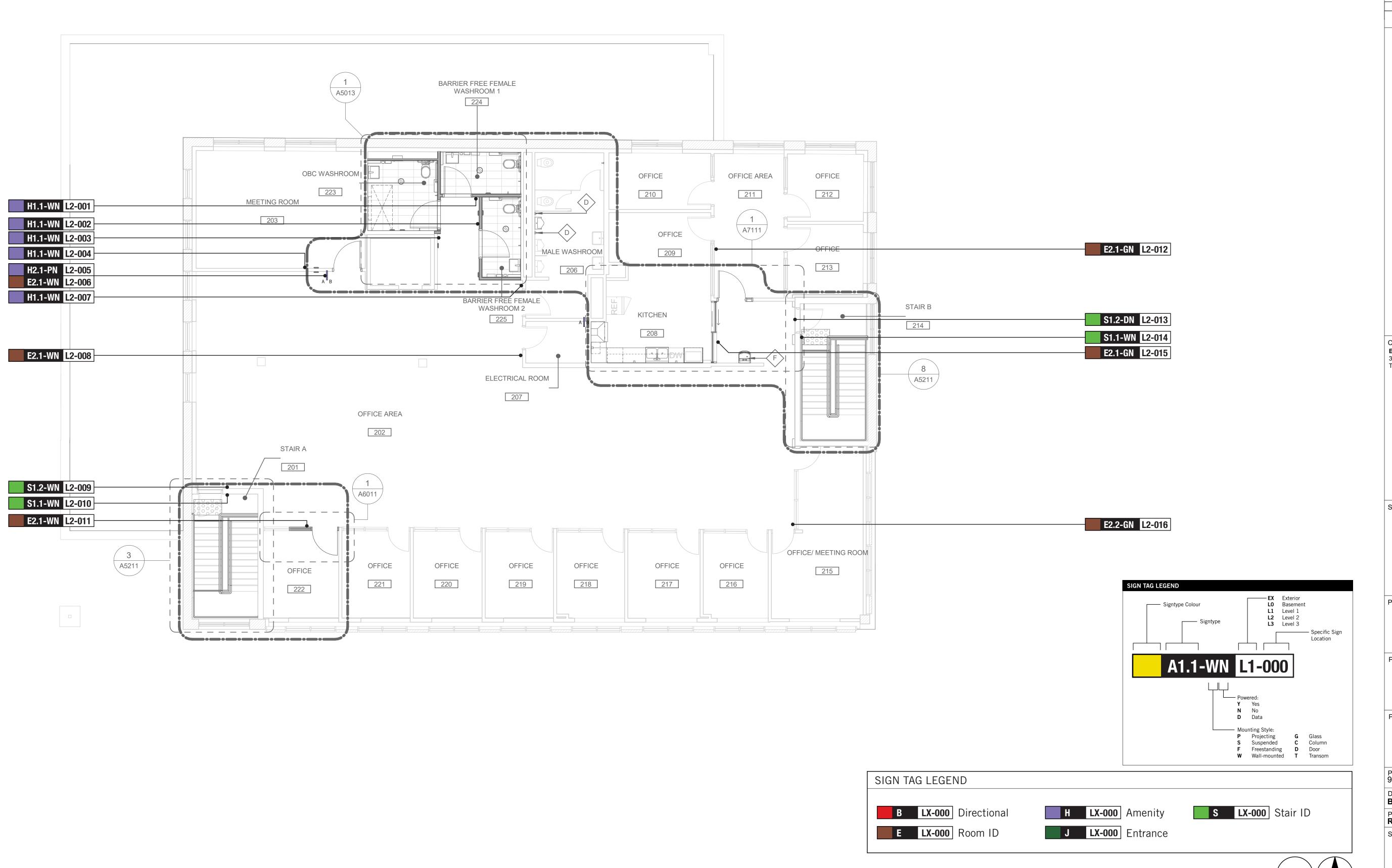
APPROVED BY:

SHEET TITLE
SIGNAGE & WAYFINDING
DETAILS

FIRST FLOOR LOCATION
PLAN
SHEET NUMBER

G08-013-A8010 ISSUE 0

1.5 3



Scale 1:75

1.5 3

7.50 m

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175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
CITY OF TORONTO ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD- BLDG D 1026 FINCH AVE W Toronto, ON

PROJECT NO: 9119 – 19 – 0162 / IBI 122260

CHECKED BY: C.D. SCHNOBB DRAWN BY: **B. FERNANDEZ** PROJECT MGR: R. DALY APPROVED BY:

SHEET TITLE SIGNAGE & WAYFINDING **DETAILS** SECOND FLOOR LOCATION

PLAN SHEET NUMBER G08-013-A8020

ISSUE

				SIDE A	SIDE B
SIGN CODE	LEVEL	LOC#	SIGN TYPE DESCRIPTION	MESSAGE (English)	MESSAGE (English)
H1.1	L1	001	Amenity ID	[men locker room picto] Men Locker Braille	
E2.1	L1	002	Room ID	Boiler Room Braille	
E2.1	L1	003	Room ID	Janitor Room Braille	
E2.1	L1	004	Room ID	Elevator Machine Room Braille	
H2.1	L1	005	Projecting Amenity ID	[elevator picto] Elevator	[elevator picto] Elevator
H1.1	L1	006	Amenity ID	[accessible women's washroom changeroom + shower picto] Women Braille	
H2.1	L1	007	Projecting Amenity ID	[accessible women's washroom changeroom + shower picto] Women	[accessible women's washroom changeroom + shower picto] Women
E2.1	L1	800	Room ID	Office Braille	
E2.1	L1	009	Room ID	Office Braille	
E2.1	L1	010	Room ID	Office Braille	
S1.2	L1	011	Stair ID - Corridor Side	[stairs up on the lowest level picto] Floor 1 Braille Stairwell A 101 Braille	
S1.1	L1	012	Stair ID - Inside Stairwell	Floor 1 Braille Stairwell A 101 Braille	
J4.2	L1	013	Accessible Entrance ID - Exterior	[accessible picto] Entrance	
E2.1	L1	014	Room ID	Laundry Room Braille	
H1.1	L1	015	Amenity ID	[accessible men's washroom changeroom + shower picto] Men Braille	
J4.2	L1	016	Accessible Entrance ID - Exterior	[accessible picto] Main Entrance	
H1.1	L1	017	Amenity ID	[accessible men's washroom changeroom + shower picto] Men Braille	
H2.1	L1	018	Projecting Amenity ID	[accessible men's washroom changeroom + shower picto] Men	[accessible men's washroom changeroom + shower picto] Men

	SIGN TYPE	
SIGN TYPE	DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	15
E2.2	Line Room ID	2
H1.1	Amenity ID	9
H2.1	Projecting Amenity ID	4
J4.2	Accessible Entrance ID - Exterior	2
S1.1	Stair ID - Inside Stairwell	4
\$1.2	Stair ID - Corridor Side	4
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		40

CITY OF TORONTO

TORONTO

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CONSULTANTS
ENTRO
33 Harbour Square, Suite 202
Toronto, Canada M5J 2G2

SEAL

PRIME CONSULTANT

IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD- BLDG D 1026 FINCH AVE W Toronto, ON

PROJECT NO: 9119 – 19 – 0162 / IBI 122260

DRAWN BY:
B. FERNANDEZ

PROJECT MGR:
R. DALY

CHECKED BY:
C.D. SCHNOBB

APPROVED BY:

SHEET TITLE
SIGNAGE & WAYFINDING
DETAILS

MESSAGE SCHEDULE

SHEET NUMBER G08-013-A8100

ISSUE 0

SIDE A										
SIGN CODE	LEVEL	LOC#	SIGN TYPE DESCRIPTION	MESSAGE (English)	MESSAGE (English)					
H1.1	L2	001	Amenity ID	[accessible women washroom picto] Women Braille						
H1.1	L2	002	Amenity ID	[accessible women washroom picto] Women Braille						
H1.1	L2	003	Amenity ID	[accessible universal washroom picto] Washroom Braille						
H1.1	L2	004	Amenity ID	[temporary waiting area picto] Temporary Waiting Area Braille						
H2.1	L2	005	Projecting Amenity ID	[temporary waiting area picto] Temporary Waiting Area	[temporary waiting area picto] Temporary Waiting Area					
E2.1	L2	006	Room ID	Meeting Room Braille						
H1.1	L2	007	Amenity ID	[accessible men washroom picto] Men Braille						
E2.1	L2	008	Room ID	Electrical Room Braille						
S1.2	L2	009	Stair ID - Corridor Side	[stairs down on the top level picto] Floor 2 Braille Stairwell A 201 Braille						
S1.1	L2	010	Stair ID - Inside Stairwell	Floor 2 Braille Stairwell A 201 Braille						
E2.1	L2	011	Room ID	Office Braille						
E2.1	L2	012	Room ID	Kitchen Braille						
S1.2	L2	013	Stair ID - Corridor Side	[stairs down on the top level picto] Floor 2 Braille Stairwell B 214 Braille						
S1.1	L2	014	Stair ID - Inside Stairwell	Floor 2 Braille Stairwell B 214 Braille						
E2.1	L2	015	Room ID	Kitchen Braille						

CLIENT

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TORONTO, ON M5V 3C6

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No.	DESCRIPTION	DATE
_	ISSUED FOR CONSTRUCTION	2021-10-19

CONSTRUCTION

CONSULTANTS
ENTRO
33 Harbour Square, Suite 202
Toronto, Canada M5J 2G2

SEAL

PRIME CONSULTANT

IBI GROUP

175 Galaxy Blvd, Unit 100

Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
CITY OF TORONTO
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD- BLDG D 1026 FINCH AVE W Toronto, ON

PROJECT NO: 9119 – 19 – 0162 / IBI 122260

DRAWN BY:

B. FERNANDEZ

PROJECT MGR:

R. DALY

CHECKED BY:

C.D. SCHNOBB

APPROVED BY:

SHEET TITLE
SIGNAGE & WAYFINDING
DETAILS
MESSAGE SCHEDULE

SHEET NUMBER G08-013-A8101

1 O

	DOOR SCHEDULE													
DOOR							PANEL		FR	AME	DOOR HARDWARE		RE	
DOOR NO.	LOCATION	TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTOL DEVICE	BFAO	PANIC DEVICE FIRE RATIN (MINUTES)	
FIRST FLOO	DR .						1	I.	1					
N-114A	MALE WASHROOM	A(L)	1067	2350	45	НМ	PT3	<>	HM	PT3		*	NA	
N-114B	MALE WASHROOM	A(L)	1067	2350	45	НМ	PT3	<>	HM	PT3		*	NA	
N-116	FEMALE CHANGE ROOM/ WASHROOM	A(L)	1067	2350	45	НМ	PT3	<>	HM	PT3		*	NA	
N-117	OFFICE AREA	С	1067	2310	45	НМ	PT3	TGL	HM	PT3	*		NA	
N-118A	OFFICE	S1	1156	2134	45	ALUMN	ANOD	TGL	ALUMN	ANOD			NA	NEW DOOR TO HAVE A LOCKSET ON BOTH SIDES
N-118B	OFFICE	С	1067	2310	45	НМ	PT3	TGL	HM	PT3	*		NA	
N-119	OFFICE AREA	С	1067	2135	45	НМ	PT3	TGL	HM	PT3	*		NA	EXISTING KEY PAD TO REMAIN
N-122	OFFICE AREA / LUNCH ROOM	С	1067	2130	45	НМ	PT3	TGL	HM	PT3	*		NA	EXISTING KEY PAD TO REMAIN
N-123	OFFICE	С	1067	2130	45	НМ	PT3	TGL	HM	PT3			NA	
N-129	CORRIDOR	F	1067	2135	45	НМ	PT3	GWG	HM	PT3		*	45	
NE-113A	CORRIDOR	FF	890	2300	45	НМ	PT3	GWG	EXIST	EXIST		*	45	FRAME TO REMAIN, NEW FIRE RATED DOOR PANELS TO BE PROVIDED WITH NEW HARDWARE AND ADO TO OPEN BOTH DOORS SIMULTANEOUSLY
NE-113B	VESTIBULE	EXIST	890	2300	45	EXIST	EXIST	EXIST	EXIST	EXIST	*	*	NA	EXISTING KEY PAD TO REMAIN, PROVIDE NEW BFAO
NE-115	ELEV. MACHINE ROOM	EXIST	995	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-121	FIRST AID ROOM	EXIST	905	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-125	JAN. RM.	EXIST	915	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-126	CORRIDOR	EXIST	915	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-127	CORRIDOR	EXIST	765	2130	45	EXIST	EXIST	EXIST	EXIST	EXIST			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-129A	VESTIBULE	EXIST	1910	3000	45	EXIST	EXIST	EXIST	EXIST	EXIST	*	*	EXIST	EXISTING KEY PAD TO REMAIN, PROVIDE NEW BFAO
NE-129B	CORRIDOR	FF	850	2350	45	НМ	PT3	GWG	EXIST	EXIST		*	45	FRAME TO REMAIN, NEW FIRE RATED DOOR PANELS TO BE PROVIDED WITH NEW HARDWARE AND ADO TO OPEN BOTH DOORS SIMULTANEOUSLY
SECOND FI	LOOR													
N-203	OFFICE AREA	D	1067	2311	45	WD	VNR	TGL	WD	PT3		*	NA	
N-208	KITCHEN	S1	1156	2134	45	ALUMN	ANOD	TGL	ALUMN	ANOD			NA	
N-211	OFFICE AREA	As	1067	2340	45	НМ	PT3	TGL	HM	PT3	*		NA	
N-222	OFFICE AREA	K	1067	2120	13	TGL	<>	TGL	<>	<>			NA	EXISTING GLASS DOOR HINGES AND LATCH SET TO REMAIN
N-223	UNIVERSAL WASHROOM	A(L)	1067	2135	45	НМ	PT3	<>	HM	PT3		*	NA	
N-224	BARRIER FREE FEMALE WASHROOM 1	A(L)	1067	2135	45	HM	PT3	<>	HM	PT3		*	NA	
N-225	BARRIER FREE FEMALE WASHROOM 2	A(L)	1067	2135	45	HM	PT3	<>	HM	PT3		*	NA	
NE-201	OFFICE AREA	EXIST	900	2345	45	EXIST	EXIST	EXIST	EXIST	EXIST			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-206	OFFICE AREA	EXIST	980	2315	45	EXIST	EXIST	EXIST	EXIST	EXIST		*	EXIST	EXISTING DOOR TO REMAIN, PROVIDE NEW BFAO
NE-207	OFFICE AREA	EXIST	850	2340	45	EXIST	EXIST	EXIST	EXIST	EXIST			EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE
NE-214	OFFICE AREA	EXIST	900	2345	45	EXIST	EXIST	EXIST	EXIST	EXIST	*		EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE, EXISTING KEY PAD TO REMAIN

# DOOR SCHEDULE GENERAL NOTES

DOOR HEIGHT FOR INFORMATION PURPOSES ONLY. NEW DOOR HEIGHTS TO MATCH SITE CONFIRMED EXISTING

DOOR HEIGHTS. REFER TO ELECTRICAL DRAWINGS FOR CARD READER

LOCATION ON EXISTING DOORS. REFER TO DOOR HARDWARE SCHEDULE AND SPECIFICATION FOR ADDITIONAL INFORMATION ON DOOR HARDWARE.

WHERE DOORS ARE BEING WIDENED, REPAINT AFFECTED PAINTED WALL SURFACES WITH PT-3.

# DOOR ABBREVIATIONS

PAINT

SIMILAR

WOOD

STAINLESS STEEL TEMPERED GLASS

SIM SS TGL WD

DENOTES YES ALUMINUM ALUM ANOD ANODIZED BFAO BARRIER-FREE AUTOMATIC OPENER BFPB BFWO BARRIER-FREE PUSH BUTTON BARRIER-FREE WAVE TO OPEN CARD READER CR EXIST **EXISTING** FINGER BIOMETRIC FBM GWB GYPSUM WALL BOARD GWG GEORGIAN WIRE GLASS **HOLLOW METAL** IHM ITGL INSULATED HOLLOW METAL
INSULATED TEMPERED (SAFETY) GLASS KEY PAD OBM PF OCULAR BIOMETRIC PRE FINISHED PLASTIC LAMINATE PLAM

CLIENT CITY OF TORONTO Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON M5V 3C6

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SUE	S	
О.	DESCRIPTION	DATE
-	ISSUED FOR CONSTRUCTION	2021-10-19

١.	HEIGH T	NOTES		
-2	2420			
-2	2420			
ST	EXIST			_
ST	EXIST		CONSULTANTS	
ST	EXIST			
ST	EXIST			
ST	EXIST			
SPENDED EILING	2960.5	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION		
SPENDED EILING	2680	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION		
ST	EXIST			
ST	EXIST			
SPENDED EILING	2660	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION	SEAL	_
-2	2600			Q

	ROOM FINISH SCHEDULE																
		FL	OOR	BAS	SE										CEILING		
ROOM NUMBER	ROOM NAME	MAT.	FIN.	MAT.	FIN.		NORTH		EAST		SOUTH		WEST	MAT.	FIN.	HEIGH	
		IVI/XT.	1 114.	IVII-XI .	1 1111.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	IVI/XI .	I IIV.	Т	NOTES
FIRST FLOOR																	
114	MALE WASHROOM	EXIST, CONC	PFT-1, PFT-2	CWT-4	CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST/GWB	PT-2	2420	<b>'</b>
116	FEMALE CHANGE ROOM/ WASHROOM	EXIST, CONC	PFT-1, PFT-2	CWT-4	CWT-4	EXIST, CONC	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST	PT-3, CWT-1, CWT-3, CWT-4	EXIST/GWB	PT-2	2420	
120	OFFICE AREA / LUNCH ROOM	EXIST	EXIST	EXIST, RUBBER	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	<i>;</i>
122	OFFICE AREA	EXIST	EXIST	EXIST, RUBBER	EXIST, PT-3	EXIST	PT-3	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
123	OFFICE	EXIST	EXIST	EXIST, RUBBER	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	;
127	MALE LOCKER ROOM	EXIST	EXIST	EXIST, RUBBER	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST, CMU	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	
129	VESTIBULE	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST, GWB	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	
131	CORRIDOR	EXIST	EXIST, CERAMIC TILE	EXIST, CERAMIC TILE TO MATCH EXIST.	EXIST, CERAMIC TILE TO MATCH EXIST.	EXIST	EXIST, PT-3	EXIST	EXIST, PT-3	EXIST	PT-3	EXIST, GWB	EXIST, PT-3	EXIST, SUSPENDED TILED CEILING	EXIST, SUSPENDED TILE CEILING	2960.5	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION
SECOND FLO	OOR																
202	OFFICE AREA	EXIST	EXIST, CARPET TO MATCH EXIST	EXIST, CARPET TO MATCH EXIST.	EXIST, CARPET TO MATCH EXIST.	EXIST, GWB	EXIST, PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST, SUSPENDED TILED CEILING	EXIST, SUSPENDED TILE CEILING	2680	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION
203	MEETING ROOM	EXIST	EXIST	EXIST, CARPET TO MATCH EXIST.	EXIST, CARPET TO MATCH EXIST.	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	
206	MALE WASHROOM	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST, PORCELAIN TILE TO MATCH EXIST.	EXIST	EXIST	EXIST	
208	KITCHEN	EXIST, CONC	PFT-1, MAT-1	N/A	PT-3	EXIST	PT-3	EXIST	PT-3	EXIST, GWB	Q-1, PLAM-1, PLAM-2, PT-3	EXIST, GWB	Q-1, PLAM-1, PLAM-2, PT-3	EXIST, SUSPENDED TILED CEILING	EXIST, SUSPENDED TILE CEILING	2660	EXTEND EXISTING SUSPENDED TILED CEILING GRID. PROVIDE NEW CEILING TILE MATCHING EXISTING ADJACENT & REPLACE ONES DAMAGED FROM DEMOLITION
223	UNIVERSAL WASHROOM	EXIST, CONC	PFT-1	CWT-4	CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CTW-3. CWT-4	EXIST, GWB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	GWB	PT-2	2600	
224	BARRIER FREE FEMALE WASHROOM 1	EXIST, CONC	PFT-1	CWT-4	CWT-4	EXIST	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CTW-3. CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	PT-2	2600	
225	BARRIER FREE FEMALE WASHROOM 2	EXIST, CONC	PFT-1	CWT-4	CWT-4	GWB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CTW-3. CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	PT-2	2600	

ROOM FINISH KEY SCHEDULE										
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES			
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE				
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE			
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE			
EWF-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE				
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	40"X70"		FORBO	REQUEST NON-BEVELED EDGES			
PFT-1	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS			
PFT-2	PORCELAIN FLOOR TILE	TAUPE	MATTE	50mm X 50mm (2"X2")	ROC BASIC	STONE TILE	SHOWER FLOOR TILE			
PFT-3	PORCELAIN FLOOR TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	GC TO PROVIDE SAMPLE FOR APPROVAL. TILE ENTIRE FLOOR AREA INDUCATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.			
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS LOWERS			
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS UPPERS			
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW				
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILINGS			
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.			
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS			

PR 2021.10.19 OF O ARCHITECTS Z MAY KUO LICENCE 7555

PRIME CONSULTANT IBI GROUP
175 Galaxy Blvd, Unit 100
Toronto, ON M9W 0C9, Canada
tel 416 679 1930 fax 416 675 4620
ibigroup.com

PROJECT TITLE
CITY OF TORONTO ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FINCH YARD - BLDG D 1026 FINCH AVE W TORONTO ON

PROJECT NO: 9119-19- 0612 / IBI 122260

DRAWN BY: CHECKED BY: S. HOUT A. KVASNIUK APPROVED BY: **E. FENUTA** PROJECT MGR: F.BOLOURIAN SHEET TITLE

DOOR AND ROOM FINISH SCHEDULE

SHEET NUMBER

G08-013-A9001 0