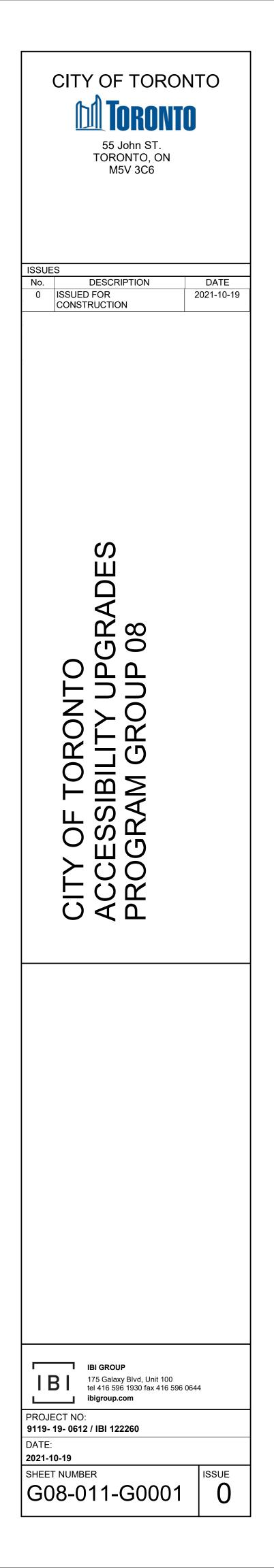
CITY OF TORONTO ACCESSIBILITY UPGRADES 9119- 19- 0612 / IBI 122260

FINCH YARD - BLDG B 1026 FINCH AVE W



ISSUED FOR CONSTRUCTION



GROUP 08 SEQ 11

		GENERAL DRAWIN SHEET NG LIST AND BUILDING (NAME		SHEET NUMBE A1201 A2011 A2111 A2411 A9001		T NAME N PLAN _AN
	0 1 T	ERTIFICATE OF PRACTI 00-175 Galaxy Boulevard pronto, ON M9W OC9		NC.			Name of Project 1026 FINCH AVE W Location 1026 FINCH AVENUE WI
	T ITEM	416 679 1930 F 416 675	Ontario's 201		l Code		NORTH YORK, ON. M3J
	1.	PROJECT DESCRIPTIO	Data Matrix F				References are to (A) for Division A
			Addition	▲ PARI 11 11.1 to 11.4			
	2.	MAJOR OCCUPANCY(S) GROUP D - BUSIN		PERSONAL SERV		1.1.2. [A] 3.1.2.1. (1)
	3.	BUILDING AREA (m ²)	EXISTING - 4733.5	NEW -	TC	TAL - 4733.5	1.4.1.2. [A]
	4.	GROSS AREA (m ²)	EXISTING - 4733.5	NEW -	TC	TAL - 4733.5	1.4.1.2. [A]
	5.	NUMBER OF STOREYS	ABOVE GRADE - 1	BE	ELOW GRADE -		1.4.1.2. [A] & 3.2.1.1.
	6.		FIRE FIGHTER ACCESS -	1	EXISTING	NO CHANGE	3.2.2.10. & 3.2.5.
	7.	BUILDING CLASSIFICAT					3.2.2.67.
	8.	SPRINKLER SYSTEM PI			G PARTMENTS		3.2.2.67 3.2.1.5
				TED FLOO	R AREAS		3.2.2.17
			□ BASEM □ NOT RI			N LIEU OF ROOF RATING	INDEX
	9.	STANDPIPE REQUIRED					3.2.9.
		STANDPIPE PROVIDED		□ NO			
	10.	FIRE ALARM REQUIRED		□ NO ⊠ NO			3.2.4.
	11.	WATER SERVICE/SUPP					3.2.5.7.
	12	IS ADEQUATE HIGH BUILDING		⊠ NO			3.2.6.
		CONSTRUCTION REST] NON-COMBUSTI		3.2.2.67.
		ACTUAL CONSTRUCTIO	PERMIT	TED	REQUIRED		
				L			
		MEZZANINE (S) AREA	m² ED ON □ m²/PERSC	ON		<u>N/A</u> ⊠ DESIGN OF BUILDING	3.2.1.1. (3) - (8)
		JUSSI ANI LUAD DAGI		•			3.1.17.
		1ST FLOOR:	OCCUPANCY			LOAD PERSONS	
		2ND FLOOR:				LOAD PERSONS	
		MEZZANINE FLOOR:	OCCUPANCY			LOAD PERSONS	
	16.	BARRIER FREE DESIGN	I ⊠ YES	□ NO	(EXPLAIN)		3.8.
	17.	HAZARDOUS SUBSTAN	ICES 🗆 YES	⊠ NO			3.3.1.2 & 3.3.1.19
	18a.	REQUIRED FIRE	HORIZONTAL ASSEMB FRR (HOURS)	LIES	LISTED DESIGN		3.2.2.67. & 3.2.1.4.
		RESISTANCE RATING	FLOORS NO CHANG			· ·	
		(FRR)	ROOF <u>NO CHANG</u> MEZZANINE <u>N/A</u>	<u>E</u>			
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ELECTRICAL DRAWING INDEX

SHEET NUMBER

SHEET NAME E2101 POWER & SYSTEMS PLAN 1ST FLOOR

V - ACCESSIBILITY U		ITEM			Ontario's 2012 Buildin Data Matrix Part 3 or 9				_					
WEST 3J 2E2	IFGRADES		REQUIRED FIRE RESISTANCE RATING	FRR OF S		LISTED DESIGN OR DESCRIPTIO				SB-2 TA				
REFERNCE	DEMARKO		(FRR)	TLOOKS	NO CHANGE			00 2 17						
e to Division B unless noted n A or (C) for Division C	REMARKS		, , ,											
🗆 PART 9				ROOF	NO CHANGE					SB-2 TA				
				MEZZANI	NE					5D-2 TA				
1.1.2. [A] & 9.10.1.3.		19.	D. SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS											
9.10.2.	EXISTING NO CHANGE		WALL AREA OF L	.D L/H OR M) H/L		PROPOSED % OF OPENINGS				3.2.3. IB. C ST. N				
			NORTH			-	0	-	-					
1.4.1.2. [A]			SOUTH EAST				0	-	-					
			WEST			-	0	-	-					
1.4.1.2. [A]	EXISTING NO CHANGE	20.	PLUMBING FIXTURE R	EQUIREME	NTS	•		·						
1.4.1.2. [A] & 9.10.4.														
9.10.20.			MALE / FEMALE COUN EXCEPT AS NOTED OT	-	%/%		CHANGE	1						
9.10.2.			EXCEPT AS NOTED OF	HERWIJE		OCCUPANT	LOAD	OBC TABLE NU	MBER	FIX				
9.10.8.2	EXISTING NO CHANGE		MAJOR OCCUPANCY			X MALE		3.7.4.9.		X				
						X FEMALE		3.7.4.9.		X				
INDEX		21.	EXITS/ ACCESS TO EX	IT-										
N/A	EXISTING NO CHANGE													
9.10.18.	EXISTING NO CHANGE		OTHER (DESCRIBE) -	Ontario Bi	uilding Code Data Matri	x - Part 11 - Renov	ation of Exis	tina Buildina						
9.10.18. N/A	EXISTING NO CHANGE	22. ITEM			uilding Code Data Matri		ation of Exis	ting Building						
					DESCRIBE EXISTI	NG	ation of Exis	ting Building						
N/A					DESCRIBE EXISTI USE: CONSTRUCTION I HAZARD INDEX:	NG NDEX:								
N/A N/A	EXISTING NO CHANGE	11.1	EXISTING BUILDING CLASSIFICATION:	3	DESCRIBE EXISTI USE: CONSTRUCTION I HAZARD INDEX:	NG NDEX: ABLE (NO CHANGE		OCCUPANCY)						
N/A N/A	EXISTING NO CHANGE			3	DESCRIBE EXISTI USE: CONSTRUCTION I HAZARD INDEX: M NOT APPLICA BASIC RENOVATIO	NG NDEX: ABLE (NO CHANGE ON		OCCUPANCY)						
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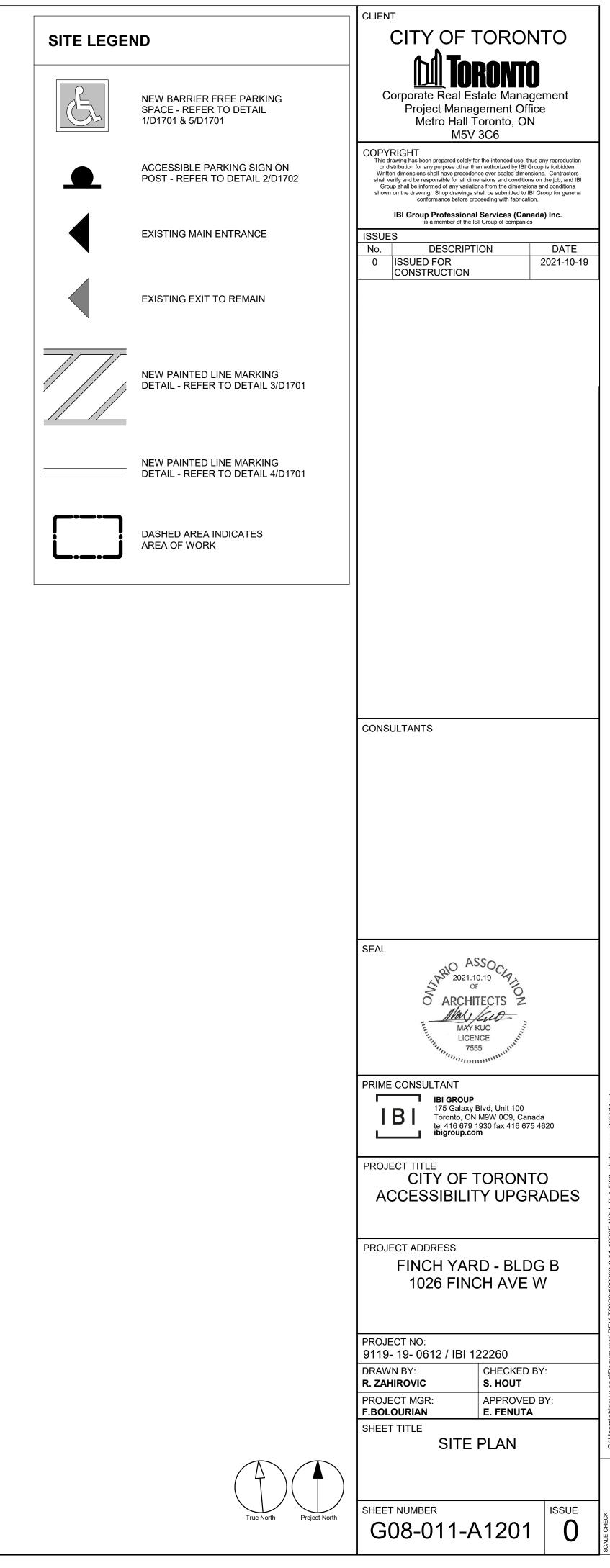
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Referenc	es are to	FERNCE Division B u or (C) for Div			REMARKS							
FIXTURES	FIXT	9.10.14. NON-COM CONST.			EXISTING NO CHANGE FERENCE		CONS	SULTANTS				
REQUIRED ×		VIDED 3C REREF	3.7.4.9. 3.7.4.9.	EXISTIN	G NO CHANGE		SEAL		Mar 1	.19 7		
YES YES YES YES	TABL	E 11.2.1.7 E 11.2.1.7 3.1. 3.2. 2. 2.1. 2.2.					PROJ		ANT BI GROUP 75 Galaxy Bl oronto, ON N al 416 679 19 bigroup.com	Ivd, Unit 100 M9W 0C9, Cana 930 fax 416 675 ORONT Y UPGF	4620 -O	 S
YES (EXPLAIN) YES (EXPLAIN) YES (EXPLAIN) YES (EXPLAIN) YES (EXPLAIN)	11.4.3 11.4.3 11.4.3	3.2 3.3 3.4 3.5 3.6					PROJ 9119 DRAW R. ZAI PROJ F.BOL		H YARI 5 FINC 2 / IBI 12	D - BLD H AVE	W BY:	
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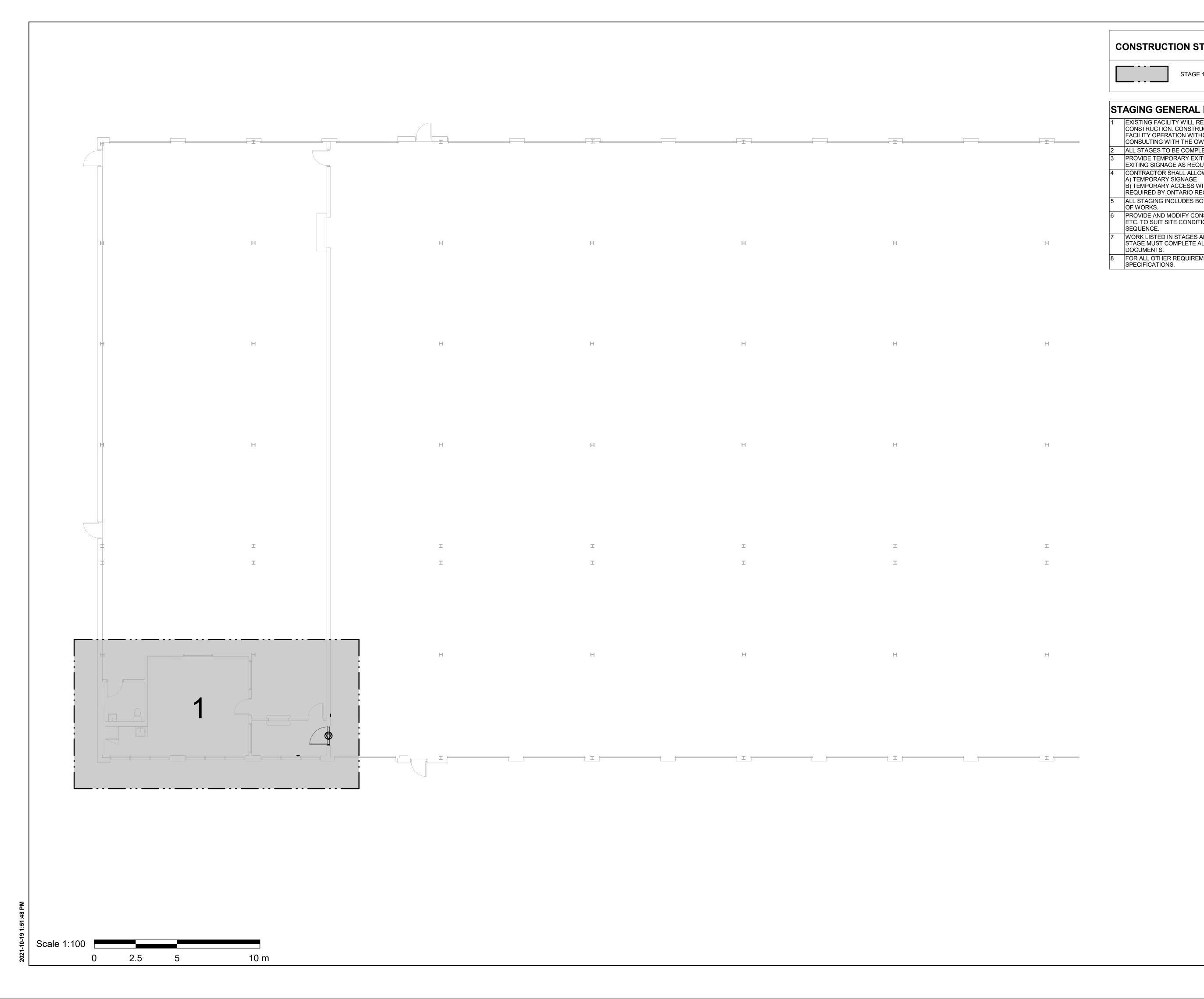


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FINCH AVENUE WEST

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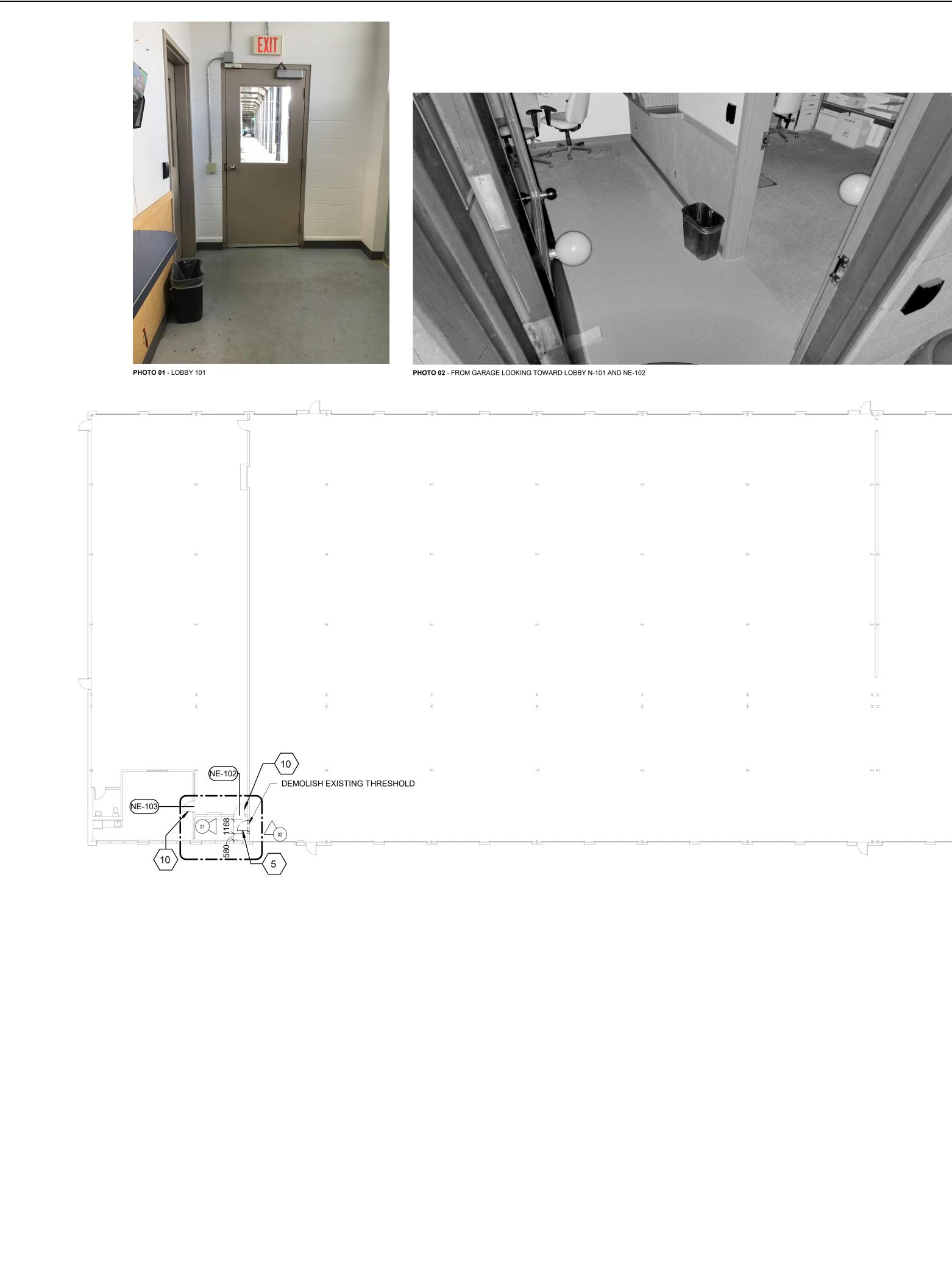
H H STAGE MUST COMPLETE / DOCUMENTS

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		CLIENT
	CONSTRUCTION STAGING LEGEND	
	STAGE 1	Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON
	STAGING GENERAL NOTES 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT	M5V 3C6 COPYRIGHT This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions
	 FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER. 2 ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER. 2 DROVIDE TEMPORARY EXITING FROM RULL DING WITH 	shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication. IBI Group Professional Services (Canada) Inc. is a member of the IBI Group of companies
	 3 PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC. 4 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING: A) TEMPORARY SIGNAGE B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13. 5 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS. 	ISSUESNo.DESCRIPTIONDATE0ISSUED FOR CONSTRUCTION2021-10-19
	 6 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE. 7 WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH 	
Н	STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS. 8 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.	
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		CONSULTANTS
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		SEAL ASSO OF OF ARCHITECTS
Н		ARCHITECTS Z MAU KUO LICENCE 7555
		PRIME CONSULTANT IBI GROUP 175 Galaxy Blvd, Unit 100
		tel 416 679 1930 fax 416 675 4620 ibigroup.com
		CITY OF TORONTO ACCESSIBILITY UPGRADES
		PROJECT ADDRESS FINCH YARD - BLDG B 1026 FINCH AVE W
		PROJECT NO: 9119- 19- 0612 / IBI 122260
		DRAWN BY:CHECKED BY:R. ZAHIROVICS. HOUTPROJECT MGR:APPROVED BY:F.BOLOURIANE. FENUTA
		FIRST FLOOR STAGING PLAN



Scale 1:200

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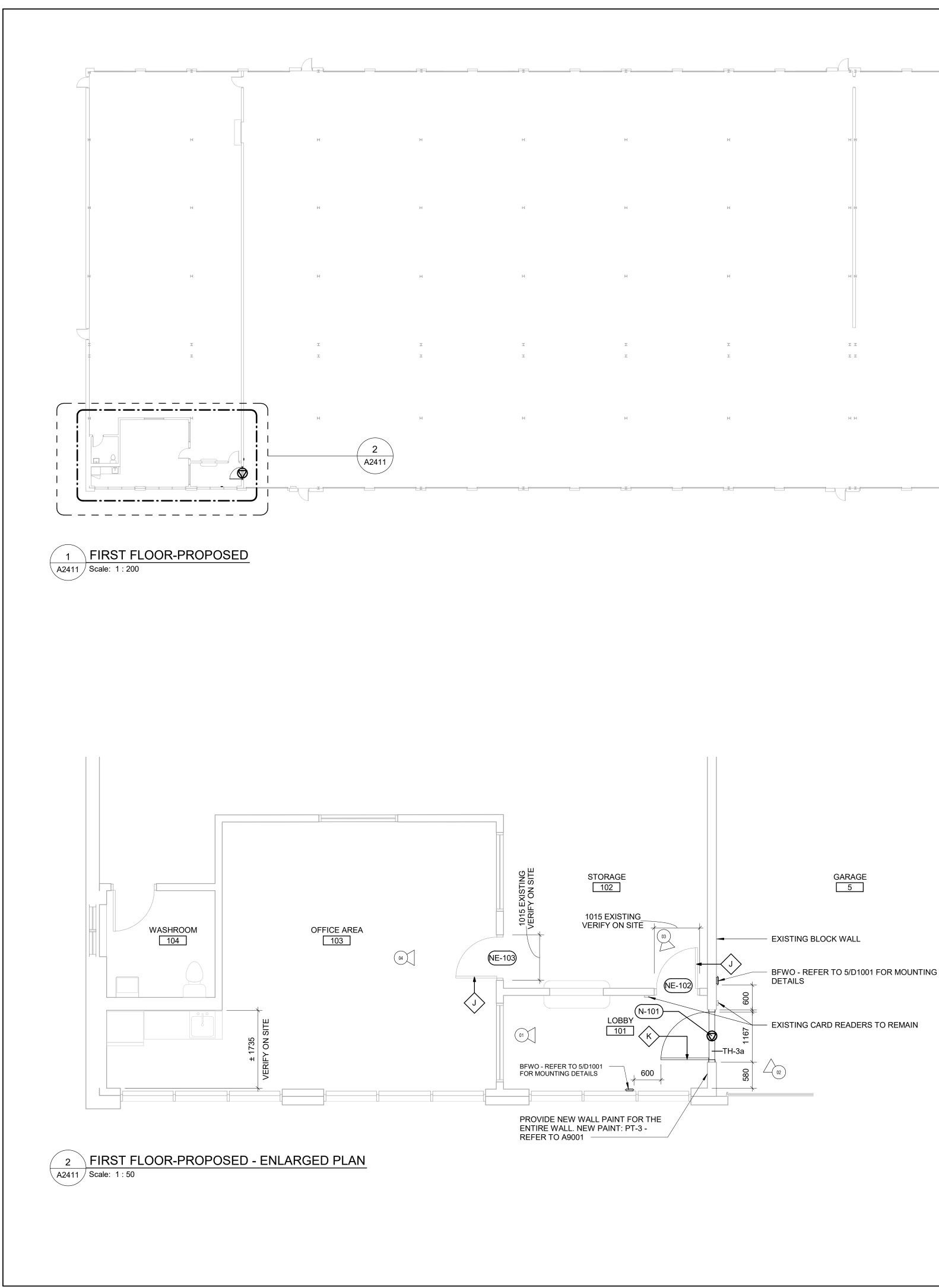
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		CLIENT
DEMOLITIO	N KEY LEGEND	
777777777777777777777777777777777777777	EXISTING EXTERIOR WALL	I TORONTO
	TO REMAIN	Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON
	EXISTING DOOR, FRAME,	M5V 3C6
	AND ASSOCIATED HARDWARE TO BE REMOVED	COPYRIGHT This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI
		Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.
	EXISTING DOOR TO REMAIN	IBI Group Professional Services (Canada) Inc. is a member of the IBI Group of companies ISSUES
		No. DESCRIPTION DATE 0 ISSUED FOR CONSTRUCTION 2021-10-19
	DASHED AREA INDICATES AREA OF WORK	
__		
	GENERAL NOTES	
CARD READERS	NG ELECTRICAL SWITCHES, RECEPTACLES, AND PULL STATIONS AS IDENTIFIED IN THE AWINGS. RE-ROUTE MECHANICAL &	
DEMOLITION	KEY NOTES DESCRIPTION	-
ACCOMMODATE	NG DOOR AND FRAME. CUT PARTITION TO NEW DOOR AND FRAME IF REQUIRED. AS REQUIRED. REFER TO DETAIL 1/D1002,	
2/D1002 AND 1/E 10 REMOVE EXISTI	2300 NG DOOR HARDWARE AS INDICATED IN DOOR	
SCHEDULE A900 SPECIFCATIONS	1 AND HARDWARE SCHEDULE WITHIN 3.	
		CONSULTANTS
		SEAL ASSOC
		ARCHITECTS
		May Gut
		MAY KUO LICENCE 7555
		PRIME CONSULTANT
		IBI 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C9, Canada tel 416 679 1930 fax 416 675 4620 ibigroup.com
		PROJECT TITLE CITY OF TORONTO ACCESSIBILITY UPGRADES
		PROJECT ADDRESS
		FINCH YARD - BLDG B 1026 FINCH AVE W
		PROJECT NO:
		9119- 19- 0612 / IBI 122260 DRAWN BY: CHECKED BY:
		R. ZAHIROVIC S. HOUT PROJECT MGR: APPROVED BY: F. DOLOUDIAN F. FENULTA
		F.BOLOURIAN E. FENUTA SHEET TITLE SHEET FLOOD
		FIRST FLOOR DEMOLITION PLAN
)
	True North Project North	
	True North Project North	G08-011-A2111



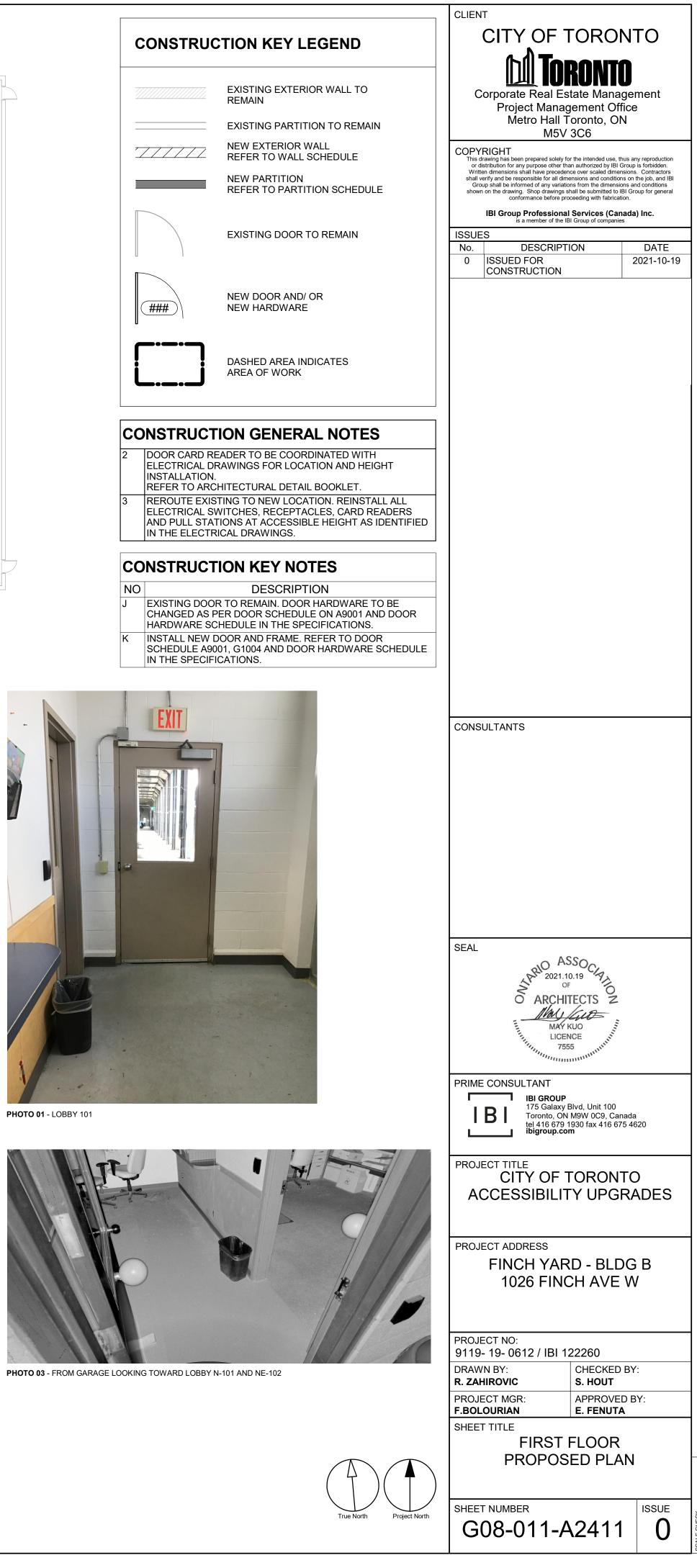
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PHOTO 03 - INSIDE STORAGE 102

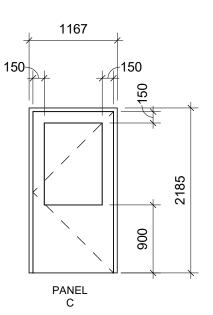


PHOTO 04 - INSIDE OFFICE AREA 101



								DOC	OR SCHE	DULE						
			D	DOR			PANEL		FR	AME	DC	OOR HARDWA	RE			
DOOR NO.	LOCATION	TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTOL DEVICE	BFAO	PANIC DEVICE	FIRE RATING (MINUTES)	SIGN	REMARKS
IRST FLOOR																
N-101	LOBBY	С	1067	2135	45	HM	PT-3	GWG	HM	PT-3	*	BFWO		45	Х	
NE-102	LOBBY	EXIST	915	2120	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST		REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWAR
NE-103	STORAGE	EXIST	915	2120	45	EXIST	EXIST	EXIST	EXIST	EXIST				EXIST	Х	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWAF

DOOR TYPE



						ROO	M FINISH	SCHEDU	LE							
DOOM		FLC	DOR	B	ASE										CEILING	
ROOM NUMBER	ROOM NAME	MAT.	FIN.	MAT.	FIN.	NO	RTH	EA	ST	SO	UTH	W	EST	MAT.	FIN.	HEIGHT
NOWDER		MAT.		IVIAT.	FIIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.			
IRST FLOOR																
101 LOI	BBY	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST	PT-3	EXIST	EXIST	EXIST	EXIST	EXIST

	ROOM FINISH KEY SCHEDULE												
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES						
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE							
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE						
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE						
EWF-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE							
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES						
PFT-1	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS						
PFT-2	PORCELAIN FLOOR TILE	TAUPE	MATTE	50mm X 50mm (2"X2")	ROC BASIC	STONE TILE	SHOWER FLOOR TILE						
PFT-3	PORCELAIN FLOOR TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	GC TO PROVIDE SAMPLE FOR APPROVAL. TILE ENTIRE FLOOR AREA INDUCATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.						
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS LOWERS						
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS UPPERS						
PT-1	PAINT	7004 SNOWBOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW							
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILINGS						
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.						
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS						

DOOR SCHEDULE GENERAL NOTES 1 DOOR HEIGHT IS FOR INFO ONLY DOOR HEIGHT TO MATCH EXISTING DOOR HEIGHT AND IS TO BE SITE MEASURED. 2 REFER TO ELECTRICAL DRAWINGS FOR CARD READER LOCATION ON EXISTING DOORS. 3 REFER TO DOOR HARDWARE SCHEDULE AND SPECIFICATION FOR ADDITIONAL INFORMATION ON DOOR HARDWARE. 4 WHERE DOORS ARE BEING WIDENED, REPAINT AFFECTED PAINTED WALL SURFACES WITH PT-3.	CLIENT CITY OF TORONTO TORONTO Corporate Real Estate Management Project Management Office Metro Hall Toronto, ON M5V 3C6
DOOR ABBREVIATIONS	This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions
* DENOTES YES ALUM ALUMINUM ANOD ANODIZED	shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.
ANCOD ANCOURED BFAQ BARRIER-FREE AUTOMATIC OPENER BFPB BARRIER-FREE VISH BUTTON BFWO BARRIER-FREE VISH DOPEN CR CARD READER EXAM E FASTING GW CARD GEORGIAW WIRE GLASS HM HOLLOW METAL HM HOLLOW METAL HM HOLLOW METAL HM CHUNATED TEMPERED (SAFETY) GLASS (GW COPE FINISHED DPLAM DPLASTIC UNINTE PT PANT SIM SIMILAR SS STANLESS STELL TGL EMPERED GLASS WD WOOD	IBL Group Professional Services (Canada) Inc. ISSUES No. DESCRIPTION DATE 0 ISSUED FOR 2021-10-19 0 ISSUED FOR 1000000000000000000000000000000000000
	SEAL ARCHITECTS Z MAY KUO LICENCE 7555 PRIME CONSULTANT BI GROUP 175 Galaxy Blvd, Unit 100 Toronto, ON M9W 0C9, Canada tel 416 679 1930 fax 416 675 4620 BROJECT TITLE CITY OF TORONTO
	ACCESSIBILITY UPGRADES PROJECT ADDRESS FINCH YARD - BLDG B 1026 FINCH AVE W PROJECT NO: 9119- 19- 0612 / IBI 122260 DRAWN BY: R. ZAHIROVIC PROJECT MGR: R. ZAHIROVIC S. HOUT PROJECT MGR: APPROVED BY: E. FENUTA SHEET TITLE DOOR AND ROOM FINISH SCHEDULE
	SHEET NUMBER ISSUE 0

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