

# CITY OF TORONTO ACCESSIBILITY UPGRADES

9119- 19- 0162 / IBI 122260

FIRE HALL NO. 143  
1009 SHEPPARD AVE WEST

GROUP 08  
SEQ 8



ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CITY OF TORONTO  
ACCESSIBILITY UPGRADES  
PROGRAM GROUP 08

PROJECT NO: 9119- 19- 0162 / IBI 122260	
DATE: 2021-10-19	
SHEET NUMBER G08-008-G0001	ISSUE 0

ISSUED FOR CONSTRUCTION



GENERAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
G0001	COVER SHEET
G0002	DRAWING LIST AND BUILDING CODE MATRIX

ARCHITECTURAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
A1001	EXISTING SITE PLAN
A1201	PROPOSED SITE PLAN
A1202	ENLARGED SITE PLAN
A2011	BASEMENT FLOOR STAGING PLAN
A2021	FIRST FLOOR STAGING PLAN
A2031	SECOND FLOOR STAGING PLAN
A2101	BASEMENT DEMOLITION PLAN
A2111	FIRST FLOOR DEMOLITION PLAN
A2121	SECOND FLOOR DEMOLITION PLAN
A2401	BASEMENT PROPOSED PLAN
A2411	FIRST FLOOR PROPOSED PLAN
A2421	SECOND FLOOR PROPOSED PLAN
A2611	FIRST FLOOR FINISH PLAN
A2811	FIRST FLOOR REFLECTED CEILING PLAN
A3011	EXTEROR ELEVATIONS
A5011	WASHROOM PLANS/ELEVATIONS
A9001	DOOR AND ROOM FINISH SCHEDULE
A8010 to A8100 - SIGNAGE DRAWINGS **ADDED AFTER TENDER - CHANGE TO BE ISSUED	

MECHANICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
M0001	MECHANICAL DRAWING LIST
M0201	MECHANICAL EQUIPMENT SCHEDULE
M1101	DEMOLITION PLAN - GROUND FLOOR
M2101	PLUMBING - BASEMENT
M2102	PLUMBING - GROUND FLOOR
M3101	DRAINAGE - BASEMENT
M3102	DRAINAGE - GROUND FLOOR
M5101	HVAC - GROUND FLOOR

ELECTRICAL DRAWING INDEX	
SHEET NUMBER	SHEET NAME
E0000	DRAWING LIST
E1101	ELECTRICAL DEMOLITION PLAN 1ST FLOOR
E2102	POWER & SYSTEMS PLAN BASEMENT & 1ST FLOOR

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

IBI

IBI GROUP

175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS  
FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST

PROJECT NO:  
9119- 19- 0162 / IBI 122260  
DRAWN BY:  
A. BOYNARIAN  
PROJECT MGR:  
F. BOLOURIAN  
CHECKED BY:  
S. HOUT  
APPROVED BY:  
E. FENUTA

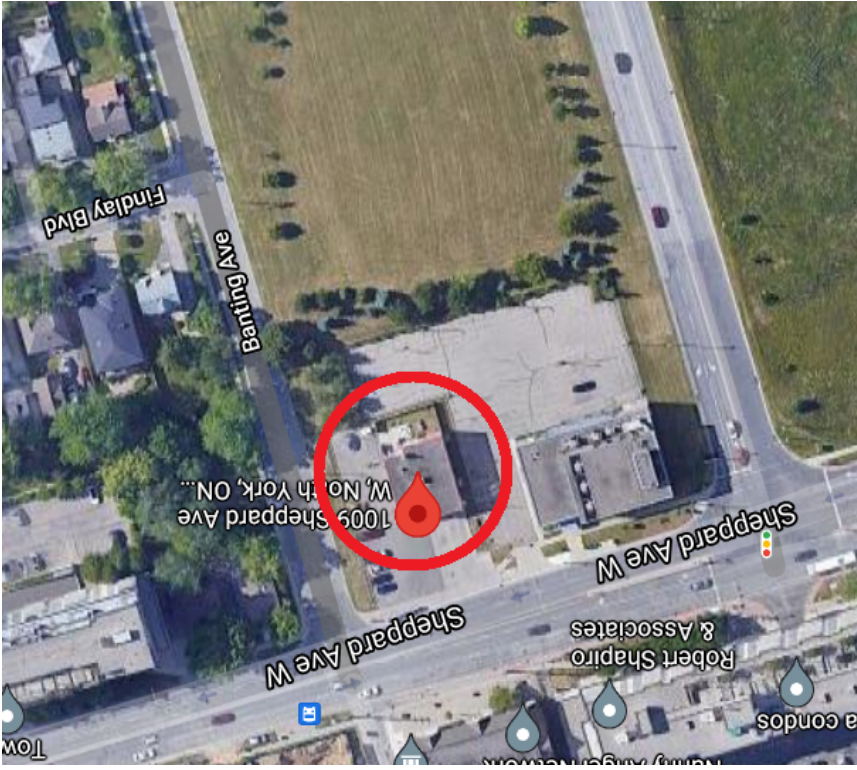
SHEET TITLE  
DRAWING LIST AND  
BUILDING CODE MATRIX

SHEET NUMBER	ISSUE
G08-008-G0002	0

Firm Name: IBI GROUP ARCHITECTS (CANADA) INC. CERTIFICATE OF PRACTICE NUMBER 5605  100-175 Galaxy Boulevard Toronto, ON M9W 0C9 T 416 679 1930 F 416 675 4620			Name of Project FIRE HALL # 143 - ACCESSIBILITY UPGRADES Location 1009 SHEPPARD AVE W, NORTH YORK, ON M3H 2T7	
ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9		OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C	REMARKS
	1. PROJECT DESCRIPTION <div><input type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> Alteration</div> <div><input checked="" type="checkbox"/> PART 11 11.1 to 11.4</div>		<div><input type="checkbox"/> PART 3 <input checked="" type="checkbox"/> PART 9</div> <div>1.1.2. [A] 1.1.2. [A] &amp; 9.10.1.3.</div>	
2.	MAJOR OCCUPANCY(S) GROUP D - BUSINESS AND PERSONAL SERVICE OCCUPANIES SUBSIDIARY OCCUPANCY(S)		3.1.2.1. (1)	9.10.2. EXISTING NO CHANGE
3.	BUILDING AREA (m²) EXISTING - 255.5 NEW - TOTAL - 255.5		1.4.1.2. [A]	1.4.1.2. [A]
4.	GROSS AREA (m²) EXISTING - 511 NEW - TOTAL - 511		1.4.1.2. [A]	1.4.1.2. [A]
5.	NUMBER OF STOREYS ABOVE GRADE - 2 BELOW GRADE - 1 PARTIAL		1.4.1.2. [A] & 3.2.1.1.	1.4.1.2. [A] & 9.10.4.
6.	NUMBER OF STREETS/FIRE FIGHTER ACCESS - 1 EXISTING NO CHANGE		3.2.2.10. & 3.2.5.	9.10.20.
7.	BUILDING CLASSIFICATION - EXISTING NO CHANGE		3.2.2.67.	9.10.2.
8.	SPRINKLER SYSTEM PROPOSED <div><input type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input checked="" type="checkbox"/> NOT REQUIRED</div>		3.2.2.67 3.2.1.5 3.2.2.17 INDEX	9.10.8.2 INDEX EXISTING NO CHANGE
9.	STANDPIPE REQUIRED STANDPIPE PROVIDED <div><input type="checkbox"/> YES <input checked="" type="checkbox"/> NO <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO</div>		3.2.9.	N/A EXISTING NO CHANGE
10.	FIRE ALARM REQUIRED FIRE ALARM PROVIDED <div><input type="checkbox"/> YES <input type="checkbox"/> NO <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO</div>		3.2.4.	9.10.18. EXISTING NO CHANGE
11.	WATER SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO		3.2.5.7.	N/A EXISTING NO CHANGE
12.	HIGH BUILDING <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.2.6.	N/A
13.	CONSTRUCTION RESTRICTIONS <div><input type="checkbox"/> COMBUSTIBLE PERMITTED <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH</div>		3.2.2.67.	9.10.6. EXISTING NO CHANGE
14.	MEZZANINE (S) AREA m² N/A		3.2.1.1. (3) - (8)	9.10.4.1.
15.	OCCUPANT LOAD BASED ON <input type="checkbox"/> m²/PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING		3.1.17.	4.9.13. EXISTING NO CHANGE
16.	BARRIER FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)		3.8.	9.5.2. ONLY PROPOSED AREA OF WORK - COMPLIANT WITH CITY OF TORONTO ACCESSIBILITY DESIGN GUIDELINE DRAFT 2016 WHEN POSSIBLE
17.	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		3.3.1.2 & 3.3.1.19	9.10.1.3.(4)
18a.	REQUIRED FIRE RESISTANCE RATING (FRR)	HORIZONTAL ASSEMBLIES FRR (HOURS)	3.2.2.67. & 3.2.1.4.	9.10.8. 9.10.9.
		FLOORS NO CHANGE		
		ROOF NO CHANGE		
		MEZZANINE N/A		

ITEM	Ontario's 2012 Building Code Data Matrix Part 3 or 9								OBC REFERENCE References are to Division B unless noted (A) for Division A or (C) for Division C		REMARKS		
	18b. REQUIRED FIRE RESISTANCE RATING (FRR)	FRR OF SUPPORTING MEMBERS		LISTED DESIGN NO. OR DESCRIPTION (SB-2)					SB-2 TABLE 2.1.1.				
		FLOORS NO CHANGE											
		ROOF NO CHANGE		MEZZANINE					SB-2 TABLE 2.1.1.				
19.	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS								3.2.3.	9.10.14.	EXISTING NO CHANGE		
	WALL	AREA OF EBF (m²)	LD (M)	L/H OR H/L	PERMITTED MAX. % OF OPENINGS	PROPOSED % OF OPENINGS	FRR (HOURS)	LISTED DESIGN OR DESCRIPTION	COMB. CONST.	COMB. CONST. NONC. GLADDING	NON-COMB. CONST.		
	NORTH					-	0	-	-	-	-		
	SOUTH					-	0	-	-	-	-		
	EAST					-	0	-	-	-	-		
	WEST					-	0	-	-	-	-		
20.	PLUMBING FIXTURE REQUIREMENTS											EXISTING NO CHANGE	
	MALE / FEMALE COUNT @ EXCEPT AS NOTED OTHERWISE								OBC REFERENCE				
									<input checked="" type="checkbox"/> PART 3 <input type="checkbox"/> PART 9				
	MAJOR OCCUPANCY								OCCUPANT LOAD	OBC TABLE NUMBER	FIXTURES REQUIRED	FIXTURES PROVIDED	
									28 MALE	3.7.4.7.	3	3	3.7.4.7.
									28 FEMALE	3.7.4.7.	3	3	3.7.4.7.
21.	EXITS/ ACCESS TO EXIT-										EXISTING NO CHANGE		
22.	OTHER (DESCRIBE) -												
ITEM	Ontario Building Code Data Matrix - Part 11 - Renovation of Existing Building								OBC REFERENCE		REMARKS		
	11.1 EXISTING BUILDING CLASSIFICATION:	DESCRIBE EXISTING USE: CONSTRUCTION INDEX: HAZARD INDEX: <input checked="" type="checkbox"/> NOT APPLICABLE (NO CHANGE OF MAJOR OCCUPANCY)							11.2.1. TABLE 11.2.1.1.A. TABLE 11.2.1.1.B. TO N				
11.2		ALTERATION TO EXISTING BUILDING IS: BASIC RENOVATION <input checked="" type="checkbox"/> EXTENSIVE RENOVATION <input type="checkbox"/>							11.3.3.1. 11.3.3.2.				
11.3	REDUCTION IN PERFORMANCE LEVEL:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:							11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.				
									11.4.2. 11.4.2.1. 11.4.2.2. 11.4.2.3.				
11.4	COMPENSATING CONSTRUCTION:	STRUCTURAL: BY INCREASE IN OCCUPANT LOAD: BY CHANGE OF MAJOR OCCUPANCY: PLUMBING: SEWAGE SYSTEM:							11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6				
									11.4.3 11.4.3.2 11.4.3.3 11.4.3.4 11.4.3.5 11.4.3.6				
11.5	COMPLIANCE ALTERNATIVES PROPOSED:		<input checked="" type="checkbox"/> NO <input type="checkbox"/> YES (GIVE NUMBERS)										





2 KEY MAP  
A1001 Scale: NTS

1 EXISTING SITE PLAN  
A1001 Scale: 1 : 100

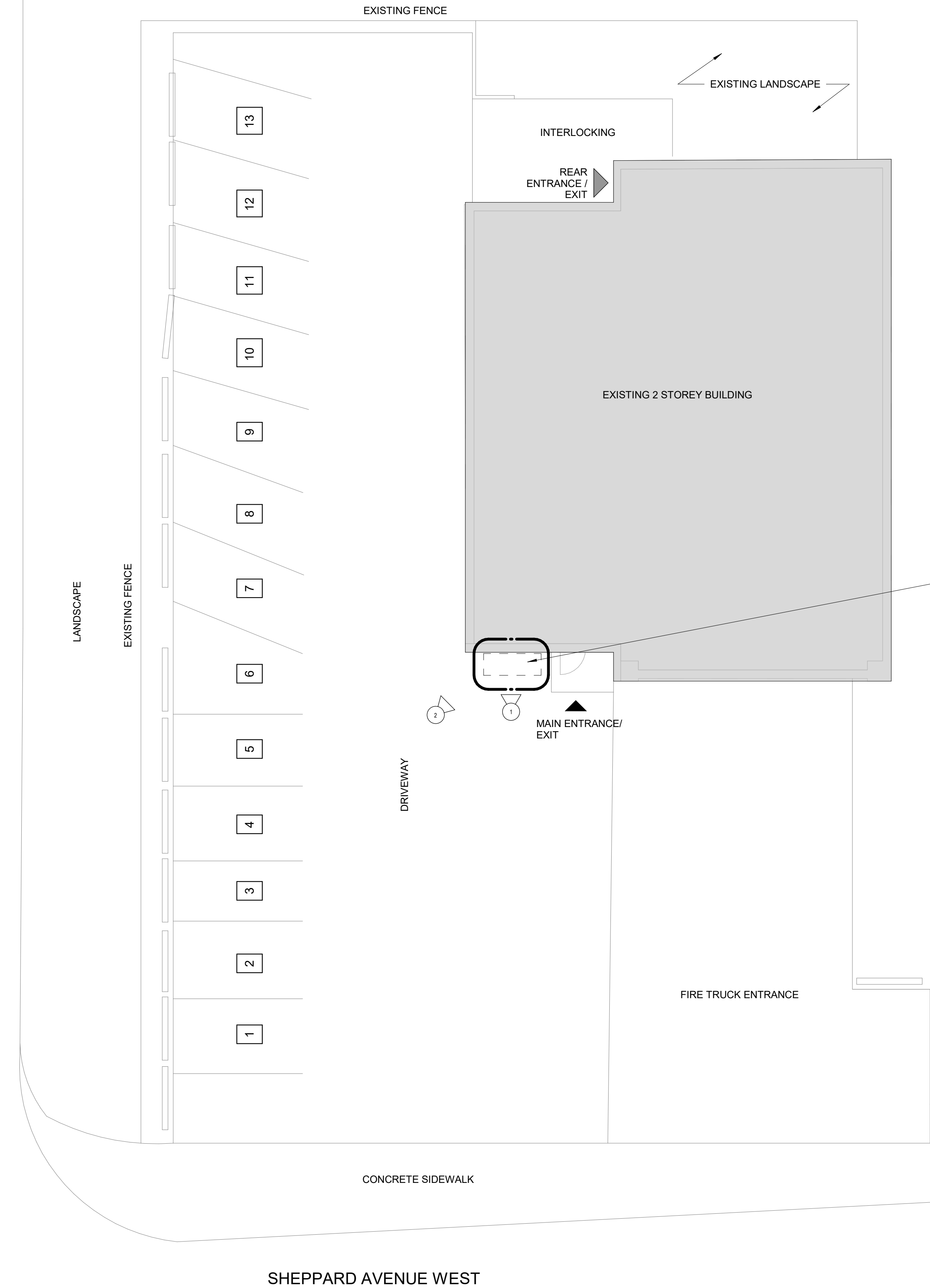


PHOTO 1: EXTERIOR EMERGENCY TELEPHONE AND BENCH LOCATIONS

RELOCATE EXISTING EMERGENCY TELEPHONE TO ACCESSIBLE COMPLIANT HEIGHT AND RELOCATE EXISTING BENCH AND PROVIDE COMPLIANT ACCESSIBLE TURN SPACE. REFER TO A3011 FOR THE HEIGHT AND NEW PROPOSED LOCATION



PHOTO 2: ENTRANCE

RELOCATE EXISTING MAIL BOX REFER 1/A3011 FOR NEW PROPOSED LOCATION.

SITE LEGEND

- EXISTING MAIN ENTRANCE
- EXISTING EXIT TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
- CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
- VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

CLIENT

CITY OF TORONTO

Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

COPYRIGHT

The drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.  
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

ONTARIO ASSOCIATION  
OF  
ARCHITECTS  
2021.10.19  
Miky Kuo  
LICENCE  
7555

PRIME CONSULTANT

IBI GROUP

175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

A. BOYNARIAN

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUTA

SHEET TITLE

EXISTING SITE PLAN

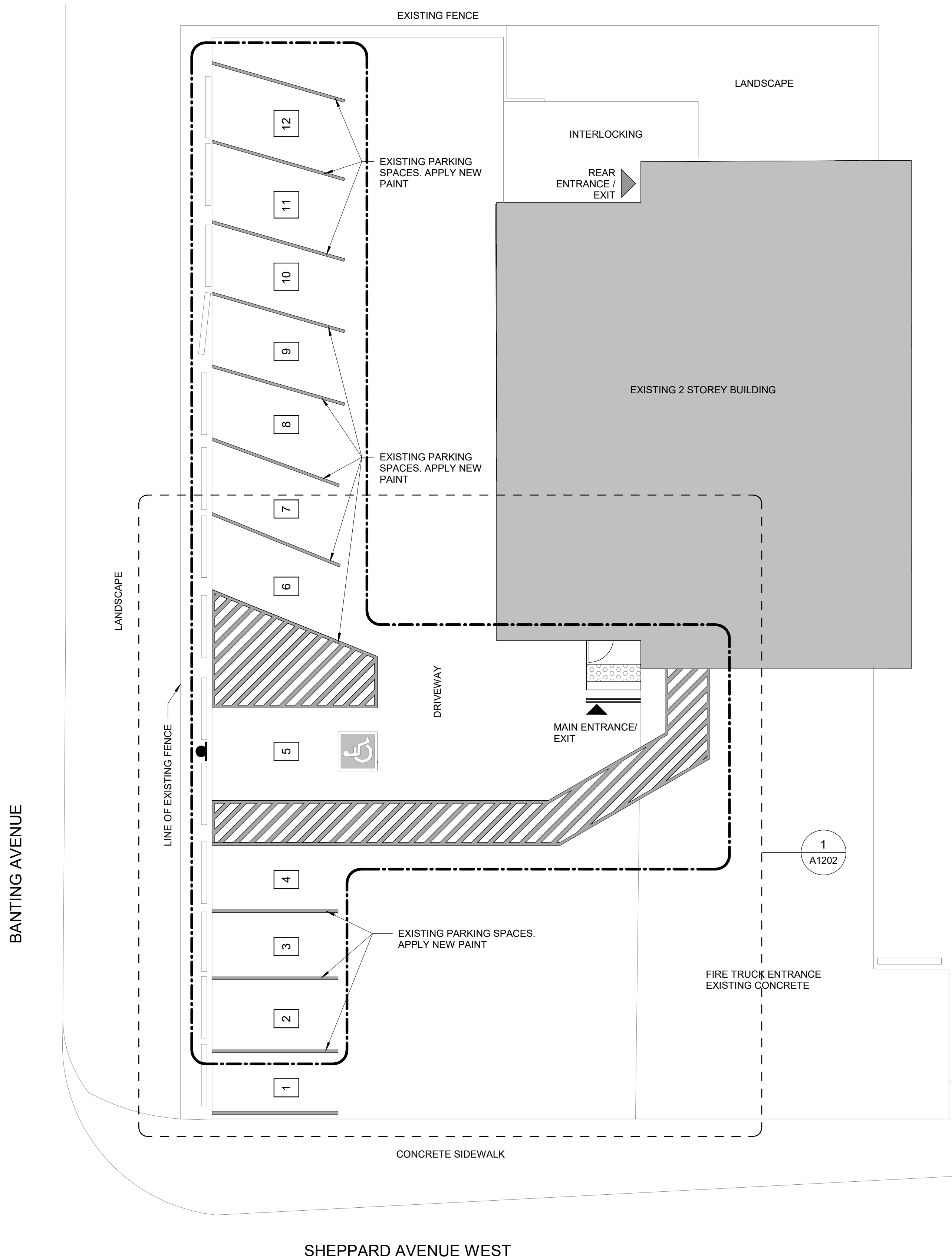
SHEET NUMBER

G08-008-A1001




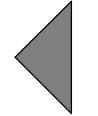
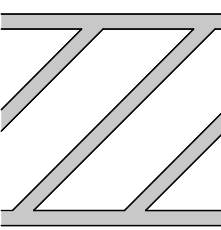

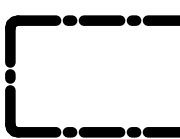
ISSUE

0





SITE LEGEND

-  NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701
-  ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702
-  EXISTING MAIN ENTRANCE
-  EXISTING EXIT TO REMAIN
-  NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701
-  NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701
-  DASHED AREA INDICATES AREA OF WORK

SITE PLAN GENERAL NOTES

- SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
- CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
- VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

CLIENT

**CITY OF TORONTO**

Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

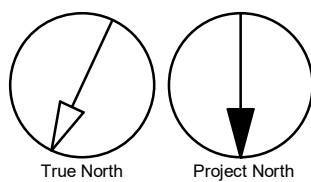
PROJECT ADDRESS  
**FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>S. HOUT</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**PROPOSED SITE PLAN**

SHEET NUMBER <b>G08-008-A1201</b>	ISSUE <b>0</b>
--------------------------------------	-------------------

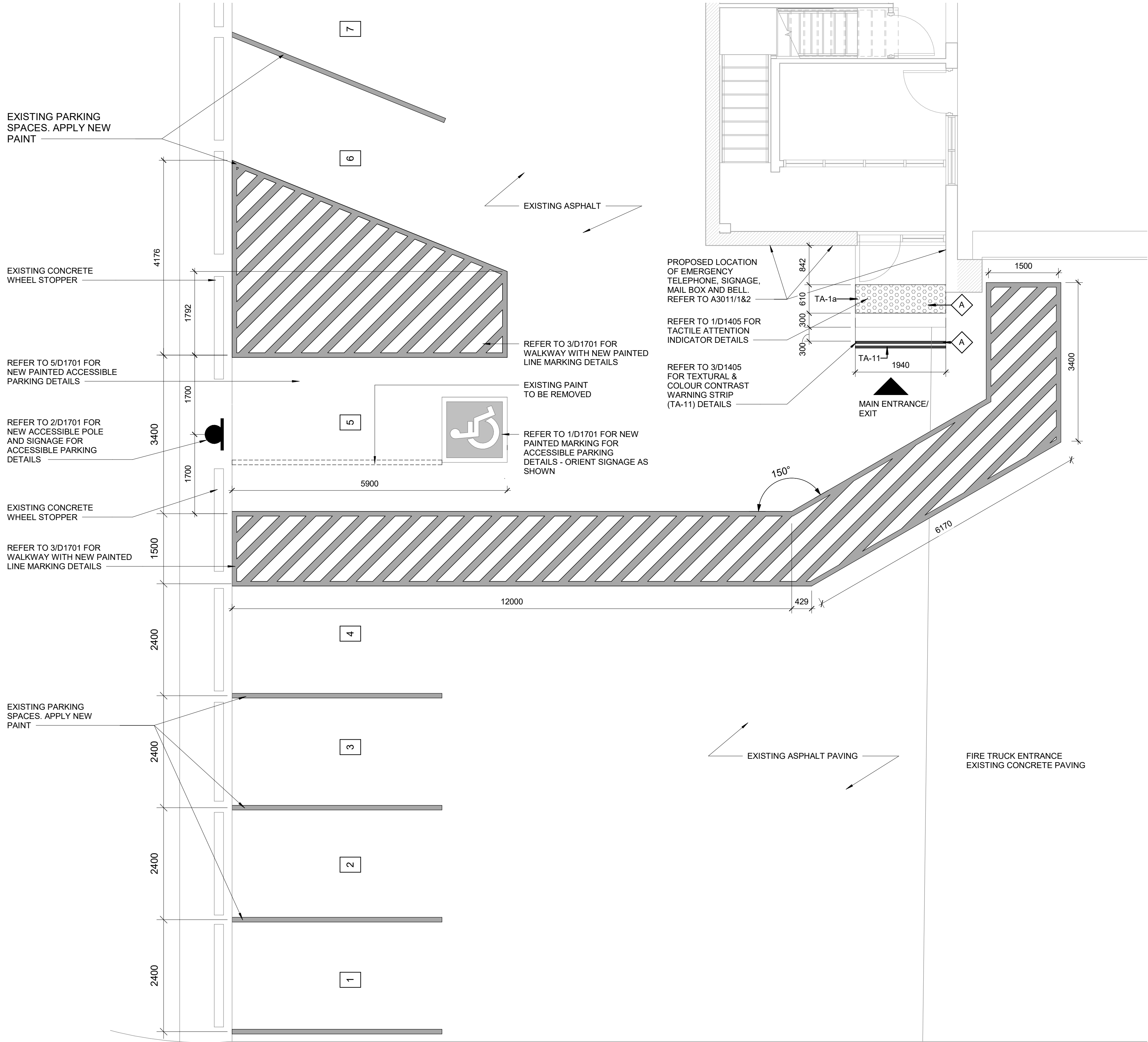


Scale 1:100

0 2.5 5 10 m



2021-10-19 10:48:24 AM



SITE LEGEND



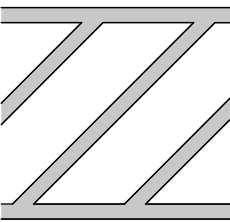
NEW BARRIER FREE PARKING SPACE - REFER TO DETAIL 1/D1701 & 5/D1701



ACCESSIBLE PARKING SIGN ON POST - REFER TO DETAIL 2/D1702



EXISTING MAIN ENTRANCE



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 3/D1701



NEW PAINTED LINE MARKING DETAIL - REFER TO DETAIL 4/D1701

SITE PLAN GENERAL NOTES

- 1 SITE PLAN DIMENSIONS ARE APPROXIMATE AND BASED ON GOOGLE MAPS. CONTRACTOR TO VERIFY ALL DIMENSIONS AND EXISTING SITE SERVICE. CONTRACTOR TO REPORT ANY DISCREPANCY TO THE CONSULTANT AND THE OWNER BEFORE COMMENCEMENT OF WORK.
- 2 CONTRACTOR TO COORDINATE ENTRANCES WITH OWNER FOR HOARDING AND EXTERIOR FENCING. RESTORE ALL WALKWAYS, DRIVEWAYS, PAVING AND SOFT LANDSCAPING MATERIAL AROUND EXCAVATED AREAS AFTER CONSTRUCTION. MATCH MATERIAL AND FINISH.
- 3 VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION AND REPORT CONFLICTS TO THE CONSULTANT.

CONSTRUCTION KEY NOTES

NO	DESCRIPTION
A	INSTALL TACTILE ATTENTION INDICATOR AND TACTILE WARNING STRIP - REFER TO TYPICAL DETAILS 1/D1402 AND 1/D1405.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.  
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



IBI GROUP  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

A. BOYNARIAN

CHECKED BY:

S. HOUT

PROJECT MGR:

F. BOLOURIAN

APPROVED BY:

E. FENUITA

SHEET TITLE

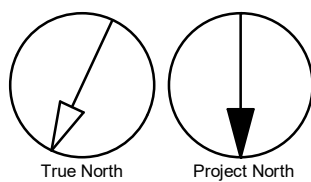
ENLARGED SITE PLAN

SHEET NUMBER

G08-008-A1202

ISSUE

0

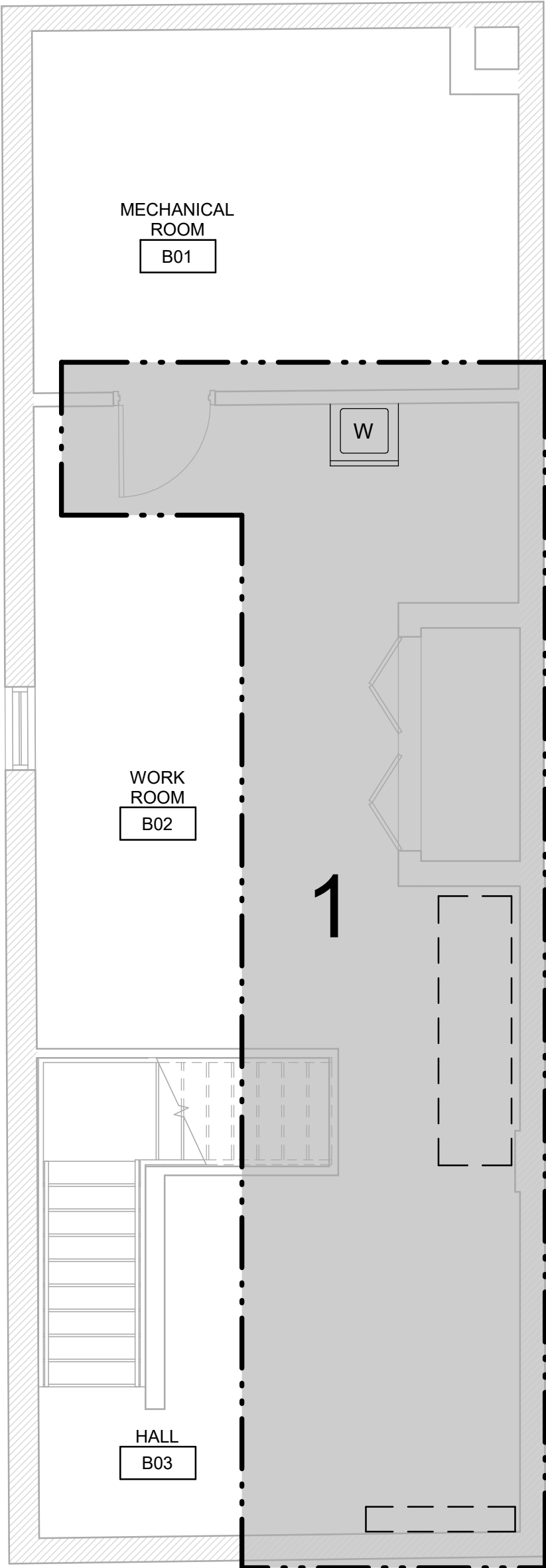


C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-8-3-1008S\IPRD-A-420\_shirley.wong\SYR.mxd

10mm

SCALE CHECK  
1 in





CONSTRUCTION STAGING LEGEND



STAGING GENERAL NOTES

- 1
- EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2
- ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3
- PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.
- 4
- IF EXISTING FIRE ALARM SYSTEM NEEDS TEMPORARILY TO BE INTERRUPTED TO COMPLETE THE WORK A FULL-TIME FIRE WATCH SHALL BE PROVIDED.
- 5
- CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6
- ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.
- 7
- PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8
- WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.
- 9
- FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general concurrence before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



IBI GROUP  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

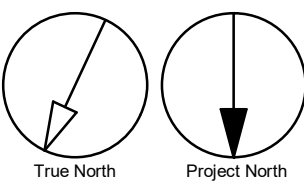
PROJECT ADDRESS  
FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: A. KVASNIUK	CHECKED BY: S. HOUT
PROJECT MGR: F. BOLOURIAN	APPROVED BY: E. FENUTA

SHEET TITLE  
BASEMENT FLOOR  
STAGING PLAN

SHEET NUMBER G08-008-A2011	ISSUE 0
-------------------------------	------------



Scale 1:50

0

1

2.5

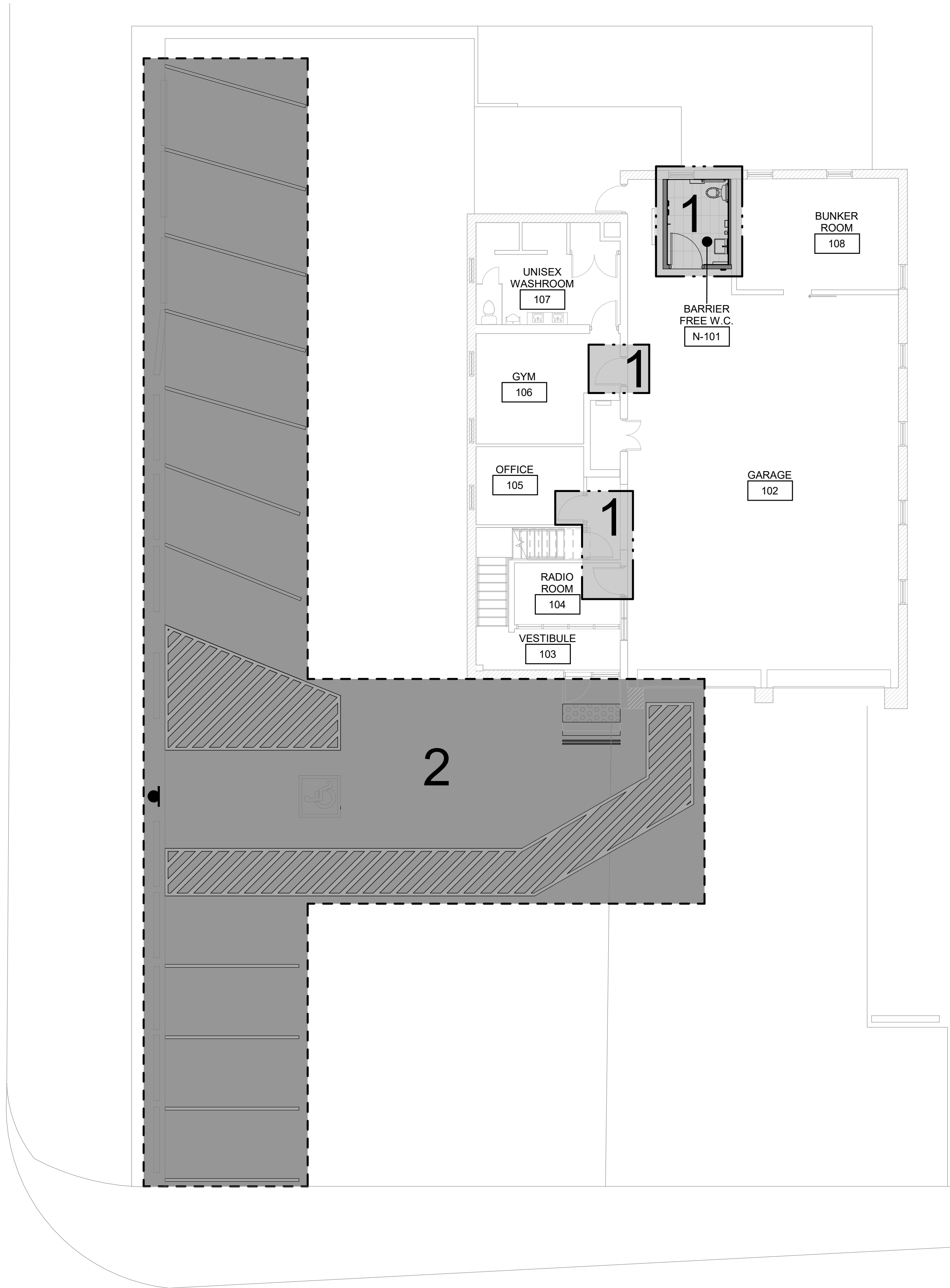
5 m

2021-10-19 10:48:24 AM

C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-S&S-1008S\PRD-A-420\_shirley.wong\SYR.rvt 1/1



2021-10-19 10:48:26 AM



CONSTRUCTION STAGING LEGEND



STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TEMPORARILY TO BE INTERRUPTED TO COMPLETE THE WORK A FULL-TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.
- 9 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

CLIENT

**CITY OF TORONTO**  
  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

**IBI** **IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

**CITY OF TORONTO**  
**ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FIRE HALL NO. 143**  
**1009 SHEPPARD AVE**  
**WEST**

PROJECT NO:

9119- 19- 0162 / IBI 122260

DRAWN BY:

**A. BOYNARIAN**

CHECKED BY:

**S. HOUT**

PROJECT MGR:

**F. BOLOURIAN**

APPROVED BY:

**E. FENUITA**

SHEET TITLE

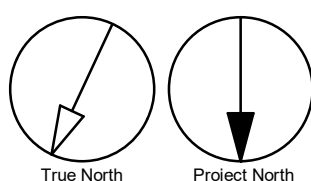
**FIRST FLOOR STAGING**  
**PLAN**

SHEET NUMBER

**G08-008-A2021**

ISSUE

**0**



C:\Users\shirley.wong\Documents\REVIT2020\122260-TAU\S&S-1008S\PRD-A-420\_shirley.wong\SYR.mxd

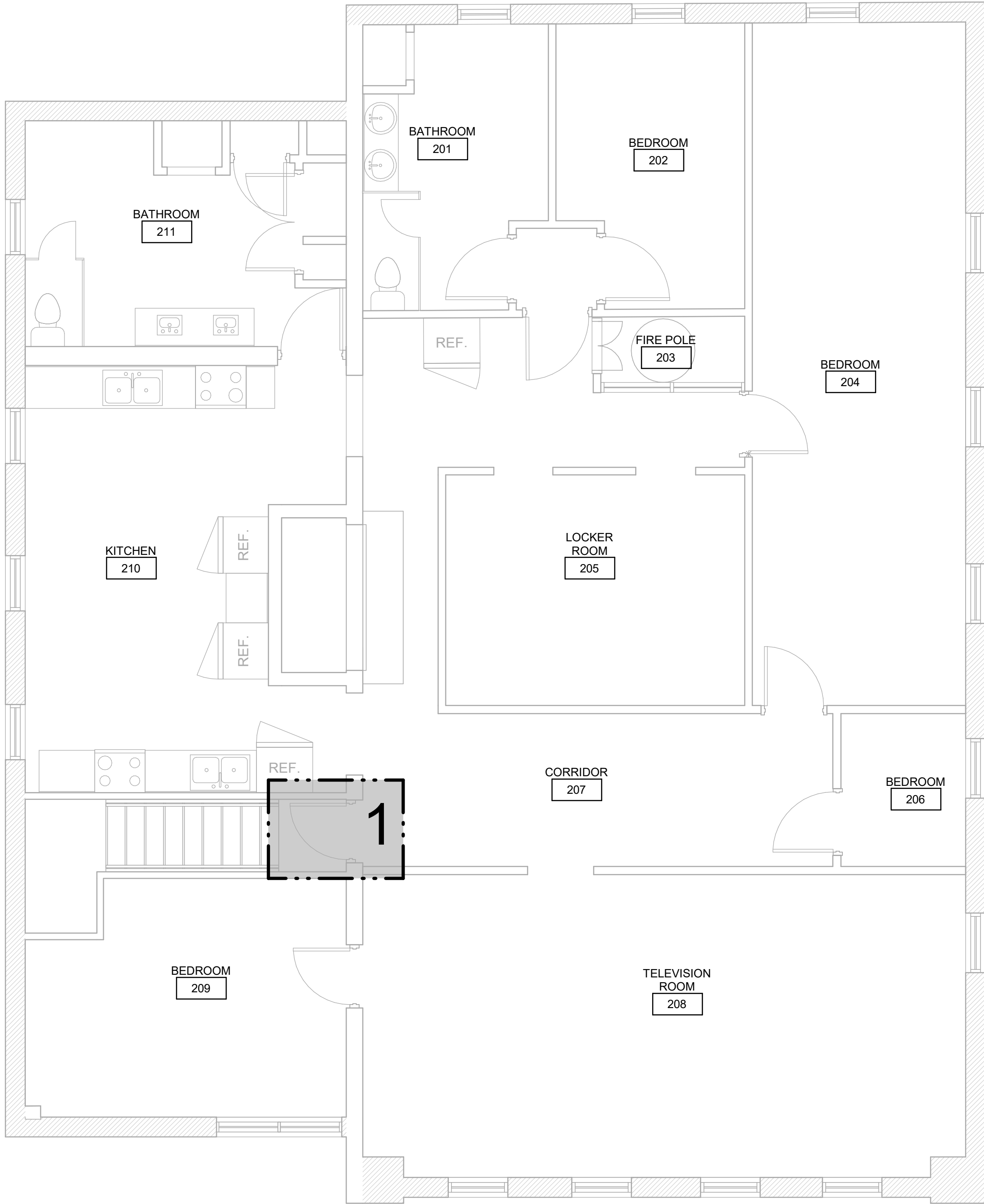
10mm

SCALE CHECK  
1 m



2021-10-19 10:48:27 AM

Scale 1:50



CONSTRUCTION STAGING LEGEND



STAGING GENERAL NOTES

- 1 EXISTING FACILITY WILL REMAIN OPERATIONAL DURING CONSTRUCTION. CONSTRUCTION WORKS CANNOT IMPACT FACILITY OPERATION WITHOUT FIRST NOTIFYING AND CONSULTING WITH THE OWNER.
- 2 ALL STAGES TO BE COMPLETED IN SEQUENTIAL ORDER.
- 3 PROVIDE TEMPORARY EXITING FROM BUILDING WITH EXITING SIGNAGE AS REQUIRED BY OBC.
- 4 IF EXISTING FIRE ALARM SYSTEM NEEDS TEMPORARILY TO BE INTERRUPTED TO COMPLETE THE WORK A FULL-TIME FIRE WATCH SHALL BE PROVIDED.
- 5 CONTRACTOR SHALL ALLOW FOR THE FOLLOWING:  
A) TEMPORARY SIGNAGE  
B) TEMPORARY ACCESS WITH ACCESSIBLE RAMPS AS REQUIRED BY ONTARIO REGULATION 191/11 80.13.
- 6 ALL STAGING INCLUDES BOTH DEMOLITION AND NEW SCOPE OF WORKS.
- 7 PROVIDE AND MODIFY CONSTRUCTION BARRIER/SIGNAGE ETC. TO SUIT SITE CONDITION AND CONSTRUCTION SEQUENCE.
- 8 WORK LISTED IN STAGES ARE FOR REFERENCE ONLY. EACH STAGE MUST COMPLETE ALL WORK AS PER CONTRACT DOCUMENTS.
- 9 FOR ALL OTHER REQUIREMENTS - REFER TO SPECIFICATIONS.

CLIENT

**CITY OF TORONTO**

  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

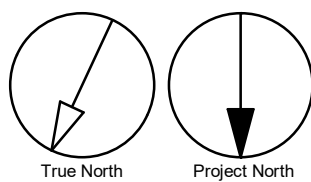
PROJECT ADDRESS  
**FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST**

PROJECT NO:  
91119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. KVASNIUK</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**SECOND FLOOR  
STAGING PLAN**

SHEET NUMBER <b>G08-008-A2031</b>	ISSUE <b>0</b>
--------------------------------------	-------------------



C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-8-3-1008SHPRD-A-420\_shirley.wong\SYR.rvt

10mm

SCALE CHECK  
1 m









PHOTO 1: EXISTING INSIDE GARAGE AREA 102



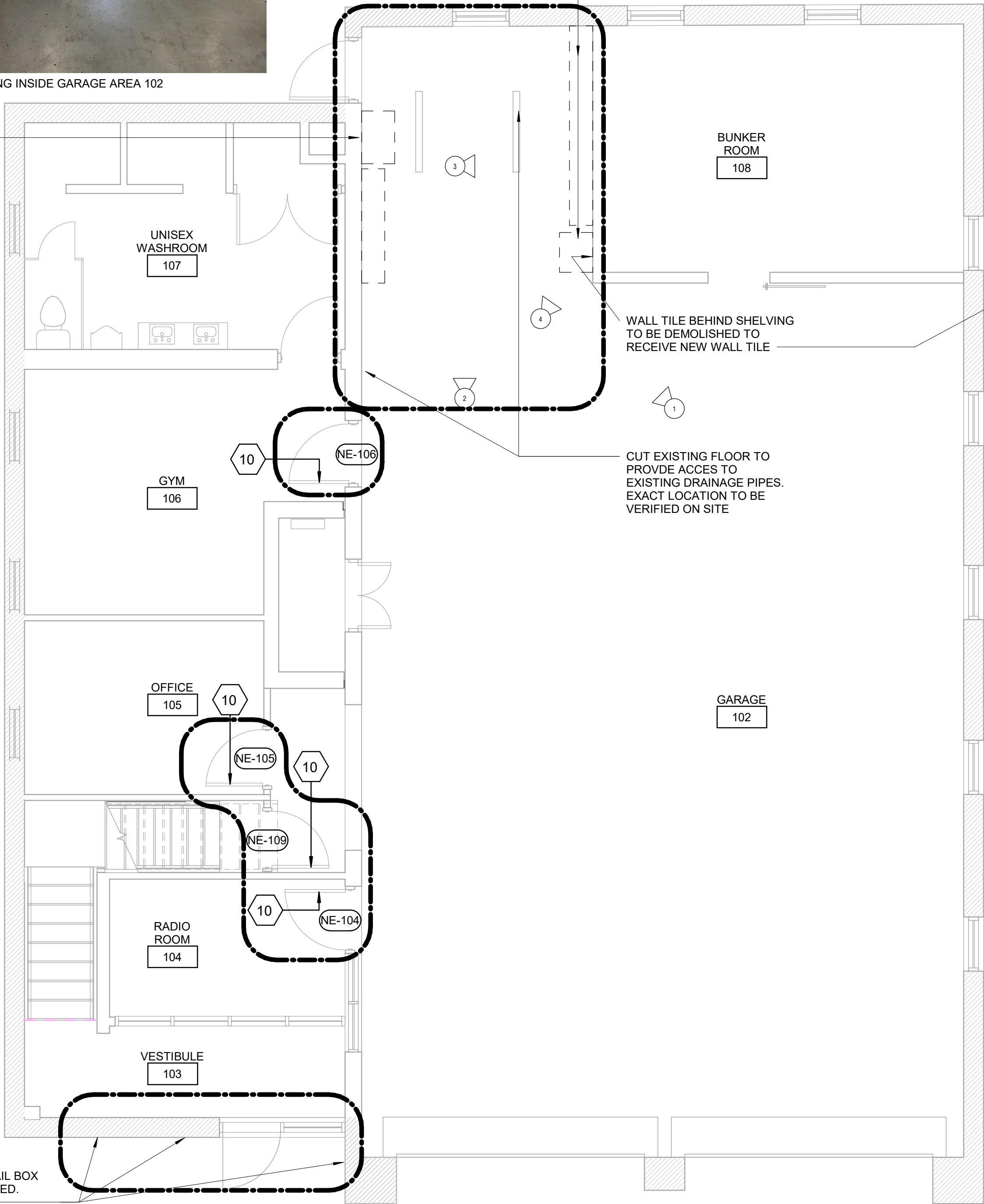
PHOTO 2: EXISTING INSIDE GARAGE AREA 102



PHOTO 3: EXISTING INSIDE GARAGE AREA 102



PHOTO 4: EXISTING INSIDE GARAGE AREA 102



DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- /// EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

CLIENT  
**CITY OF TORONTO**  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. No reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

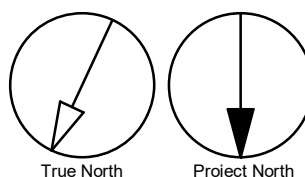
PROJECT ADDRESS  
**FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**FIRST FLOOR  
DEMOLITION PLAN**

SHEET NUMBER <b>G08-008-A2111</b>	ISSUE <b>0</b>
--------------------------------------	-------------------

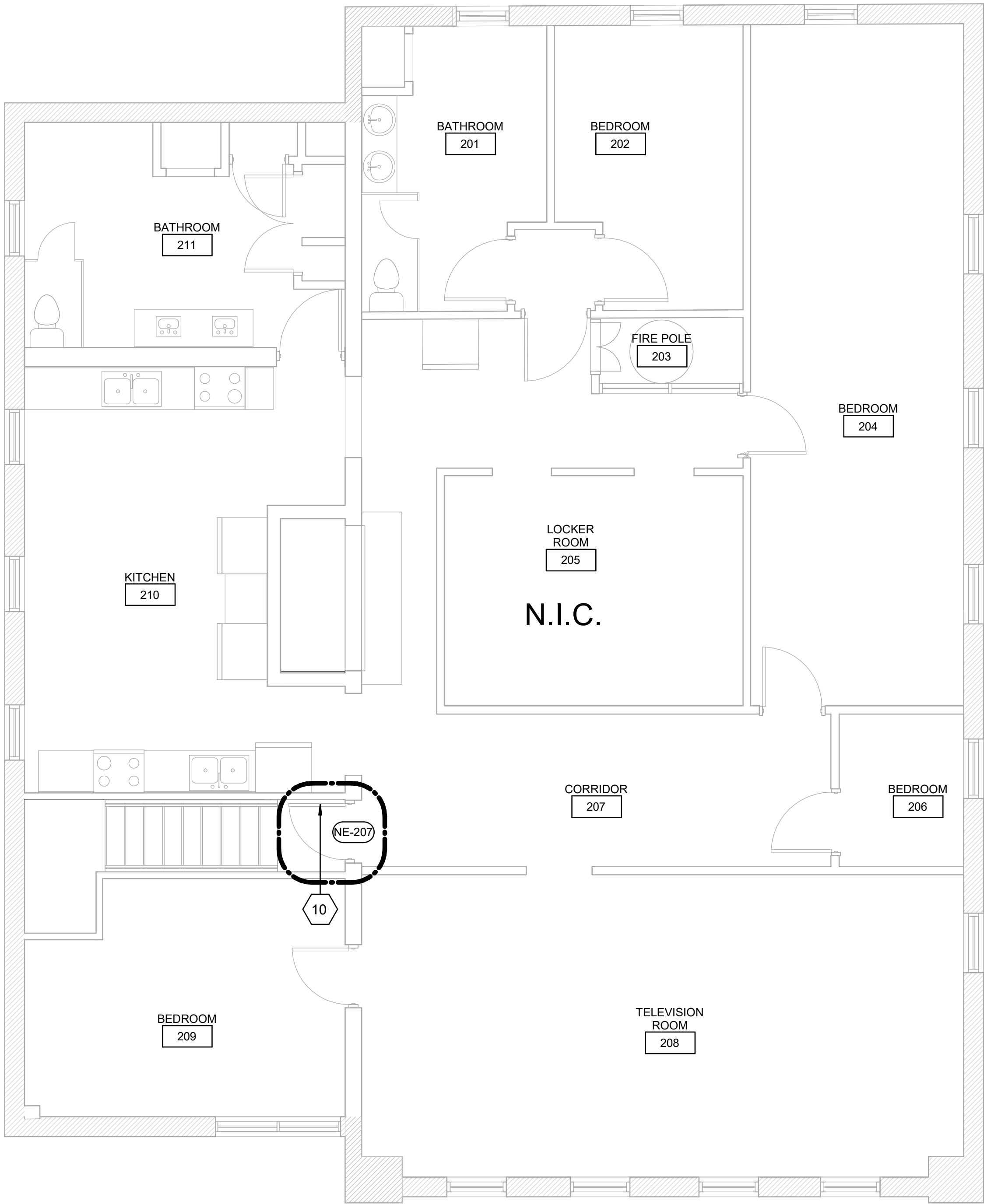


Scale 1:50  
0 1 2.5 5 m



2021-10-19 10:48:29 AM

Scale 1:50



DEMOLITION KEY LEGEND

- EXISTING TO BE DEMOLISHED
- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

DEMOLITION KEY NOTES

NO	DESCRIPTION
10	REMOVE EXISTING DOOR HARDWARE AS INDICATED IN DOOR SCHEDULE A9001 AND HARDWARE SCHEDULE WITHIN SPECIFICATIONS.

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



IBI GROUP  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

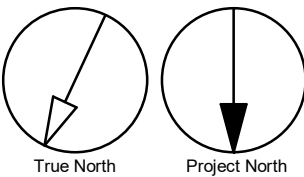
PROJECT ADDRESS  
FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>S. HOUT</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
SECOND FLOOR  
DEMOLITION PLAN

SHEET NUMBER	ISSUE
G08-008-A2121	0



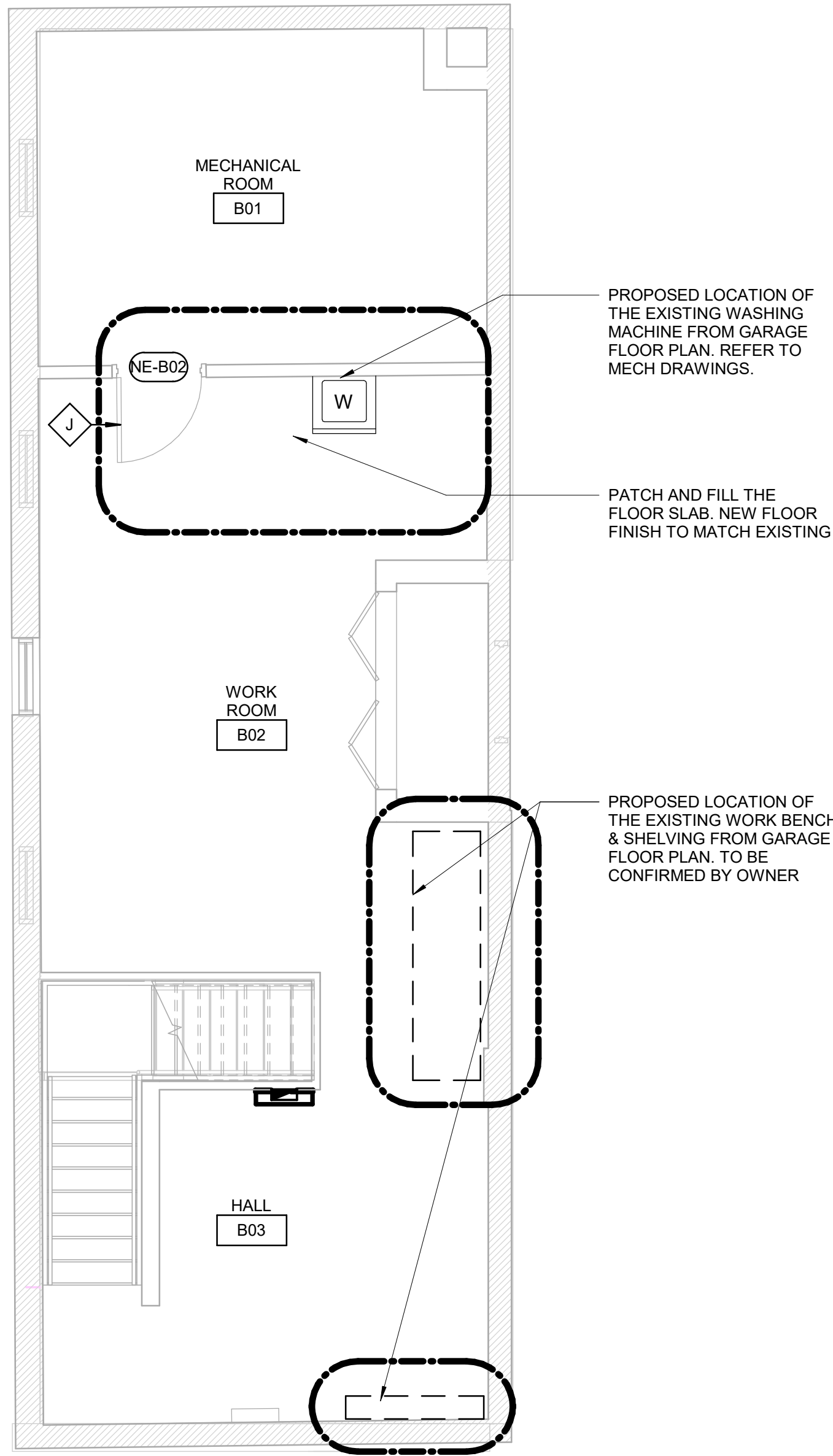
C:\Users\shirley.wong\Documents\REVIT\2020122260-TAU-8-3-1008SHPRD-A-420\_shirley.wong\BYPJR.rvt

10mm

SCALE CHECK  
1 in

2021-10-19 10:48:29 AM

Scale 1:50



CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- EXISTING DOOR TO REMAIN
- DASHED AREA INDICATES AREA OF WORK

CLIENT  
**CITY OF TORONTO**  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

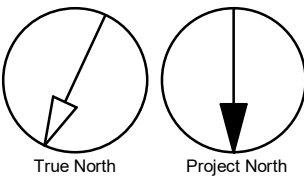
PROJECT ADDRESS  
**FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>S. HOUT</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**BASEMENT PROPOSED  
PLAN**

SHEET NUMBER <b>G08-008-A2401</b>	ISSUE <b>0</b>
--------------------------------------	-------------------



C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU-8-3-1008\SHPRD-A-420\_shirley.wong\BYPJR.rvt

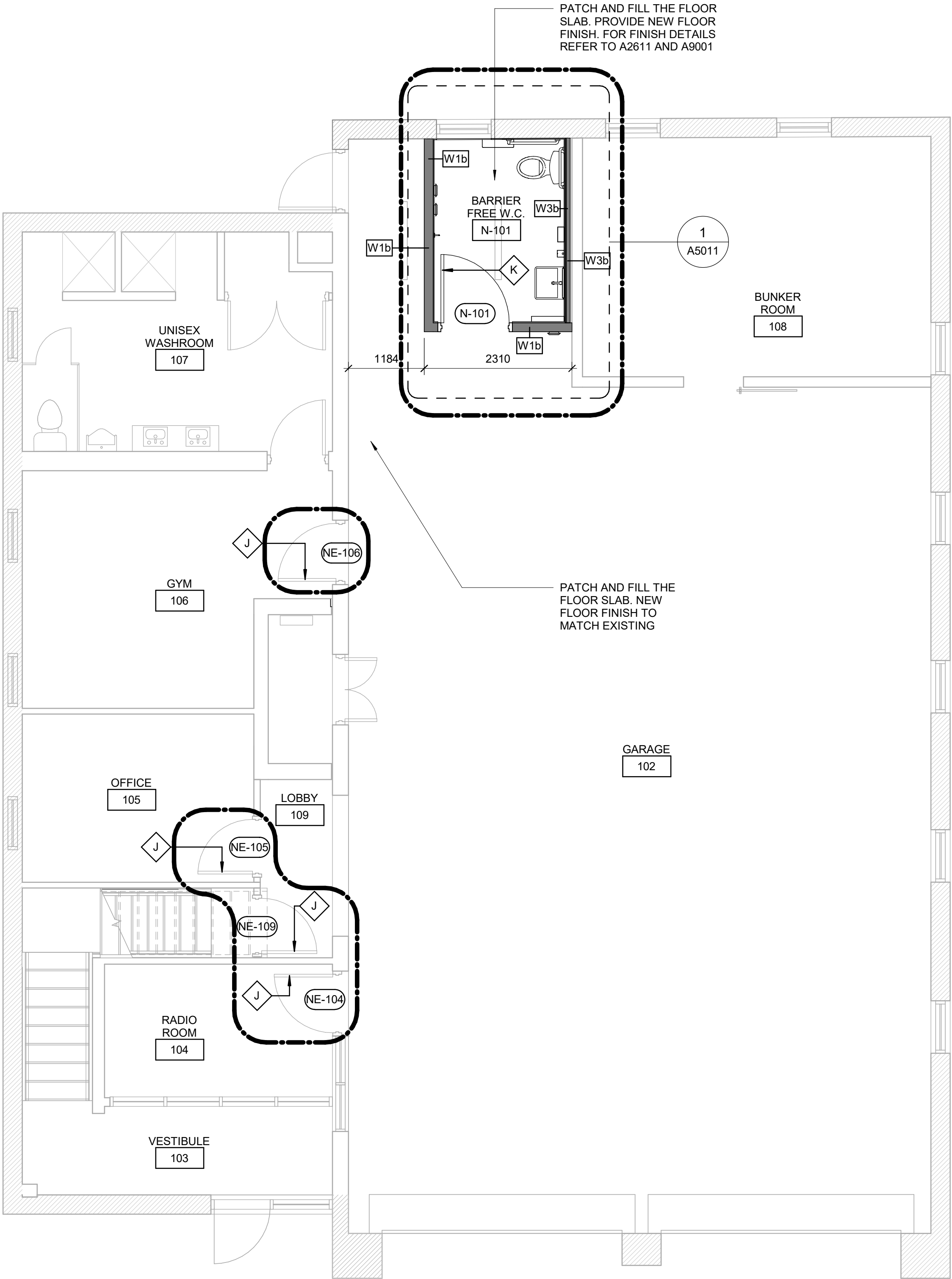
10mm

SCALE CHECK  
1 m



2021-10-19 10:48:30 AM

Scale 1:50



### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION  
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR  
NEW HARDWARE
- DASHED AREA INDICATES  
AREA OF WORK

### CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

### CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

CLIENT

**CITY OF TORONTO**  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

#### COPYRIGHT

This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

#### ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST**

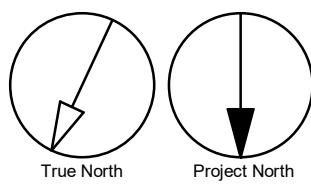
PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**FIRST FLOOR  
PROPOSED PLAN**

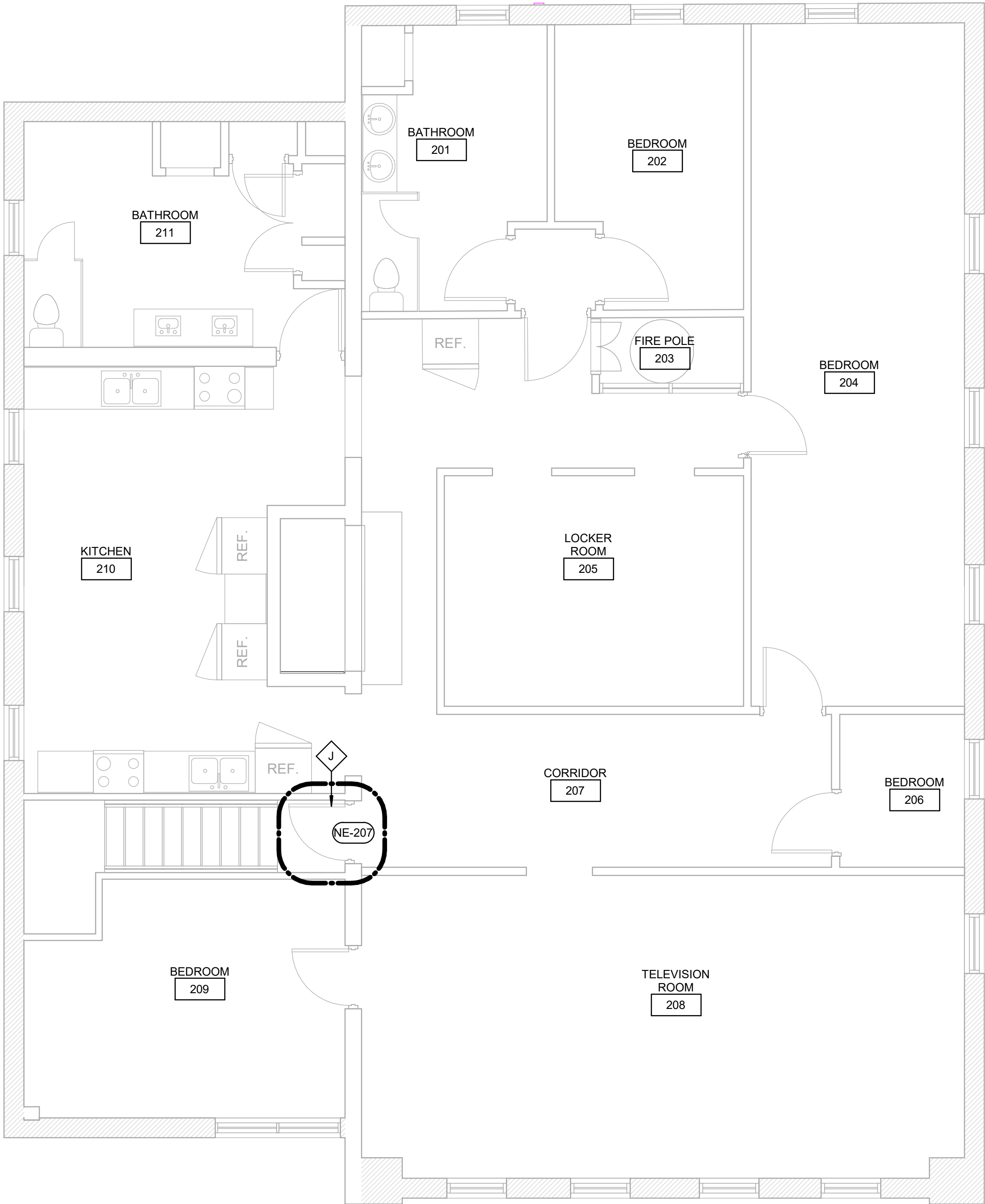
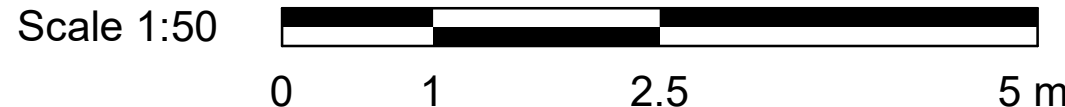
SHEET NUMBER  
**G08-008-A2411**

ISSUE  
**0**



C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU&S-1008SHPRD-A-R20\_shirley.wong\BYPJR.mxd 1/1m

2021-10-19 10:48:31 AM



### CONSTRUCTION KEY LEGEND

- EXISTING EXTERIOR WALL TO REMAIN
- EXISTING PARTITION TO REMAIN
- NEW PARTITION  
REFER TO PARTITION SCHEDULE
- EXISTING DOOR TO REMAIN
- NEW DOOR AND/ OR  
NEW HARDWARE
- DASHED AREA INDICATES  
AREA OF WORK

### CONSTRUCTION GENERAL NOTES

- NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

### CONSTRUCTION KEY NOTES

NO	DESCRIPTION
J	EXISTING DOOR TO REMAIN. DOOR HARDWARE TO BE CHANGED AS PER DOOR SCHEDULE ON A9001 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

CLIENT  
**CITY OF TORONTO**  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. Thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT

**IBI** **GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS  
**FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST**

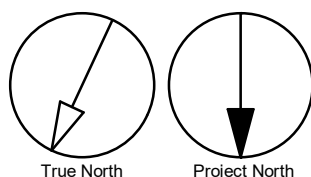
PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. KVASNIUK</b>	CHECKED BY: <b>L. BANDIERA</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE  
**SECOND FLOOR  
PROPOSED PLAN**

SHEET NUMBER  
**G08-008-A2421**

ISSUE  
**0**

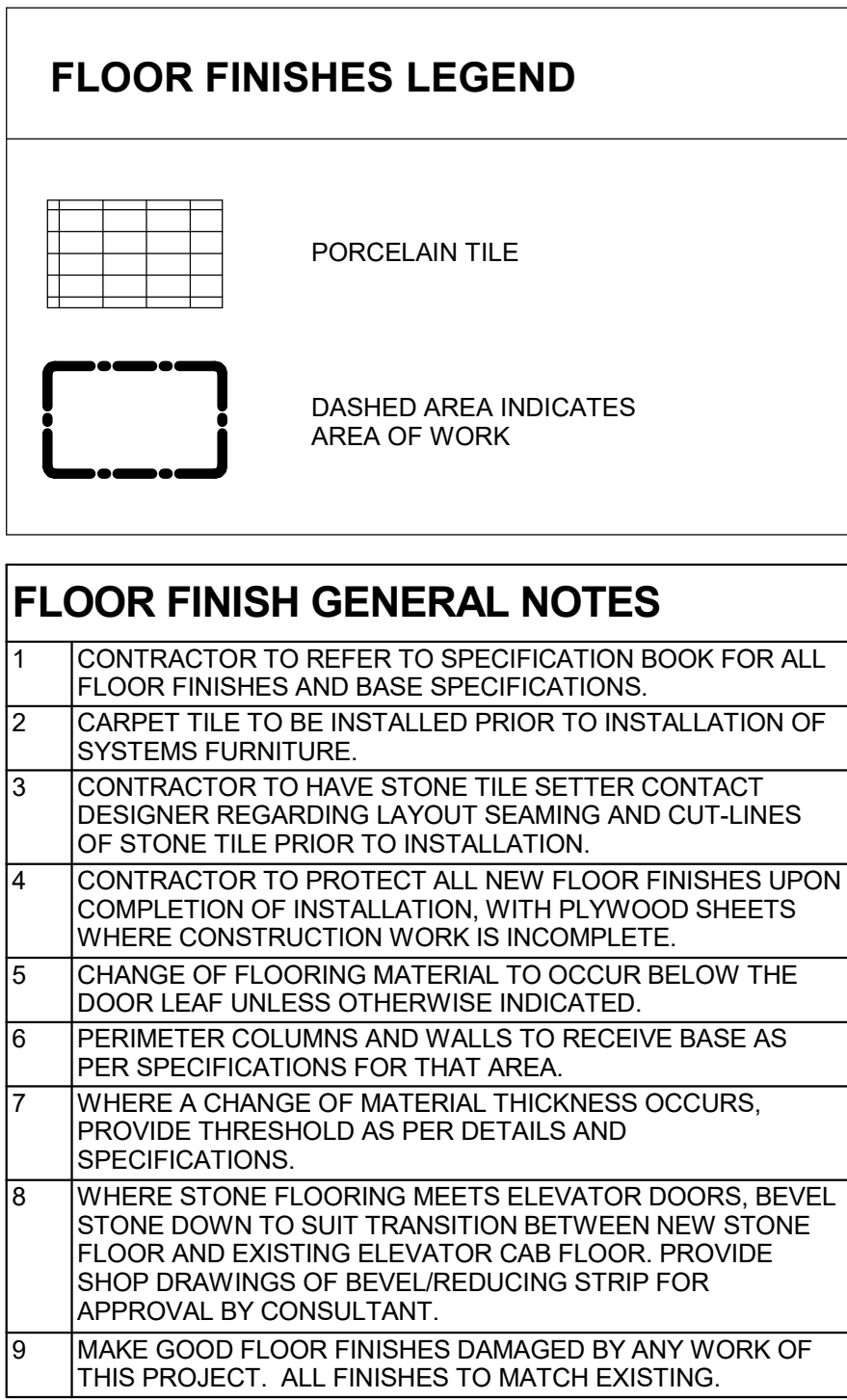
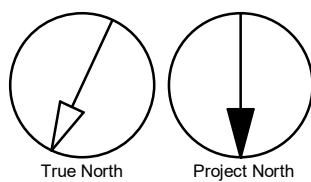


C:\Users\shirley.wong\Documents\REVIT\2020\122260-TAU&S-1008S\PRD-A420\_shirley.wong\BYPJR.rvt

10mm

SCALE CHECK  
1 in





CITY OF TORONTO

The Toronto logo features a stylized city skyline icon followed by the word "TORONTO" in large, bold, serif capital letters.

Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
M5V 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use; thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden.  
Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.  
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

Seal of the Ontario Association of Architects, dated 2021.10.19, signed MAY KUO LICENCE 7555.

PRIME CONSULTANT

IBI GROUP  
175 Galaxy Blvd. Unit 100  
Toronto, ON M8W 0G9, Canada  
tel 416 679 1930 fax 416 675-4620  
ibigroup.com

PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 143  
1009 SHEPPARD AVE WEST

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY:  
A. BOYNARIAN

CHECKED BY:  
S. HOUT

PROJECT MGR:  
F. BOLOURIAN

APPROVED BY:  
E. FENUITA

SHEET TITLE

FIRST FLOOR FINISH PLAN

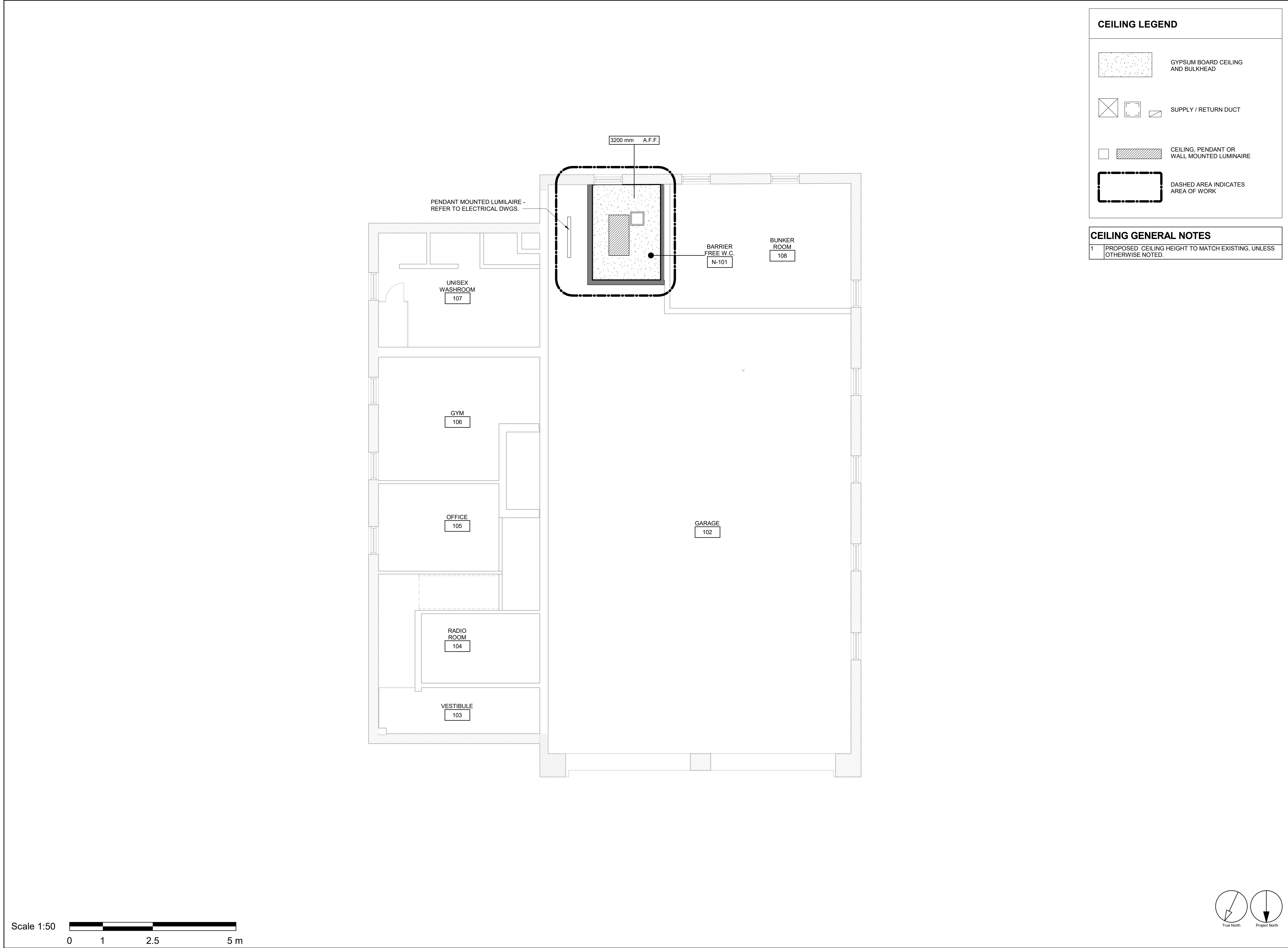
SHEET NUMBER

G08-008-A2611

ISSUE

0

2021-10-19 10:48:32 AM



**CEILING LEGEND**

GYPSUM BOARD CEILING AND BULKHEAD

SUPPLY / RETURN DUCT

CEILING, PENDANT OR WALL MOUNTED LUMINAIRE

DASHED AREA INDICATES AREA OF WORK

**CEILING GENERAL NOTES**

1 PROPOSED CEILING HEIGHT TO MATCH EXISTING, UNLESS OTHERWISE NOTED.

CLIENT

**CITY OF TORONTO**  
Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

COPYRIGHT

The drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES

No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL

PRIME CONSULTANT

**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

PROJECT ADDRESS

**FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST**

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY:  
**A. BOYNARIAN**

CHECKED BY:  
**S. HOUT**

PROJECT MGR:  
**F. BOLOURIAN**

APPROVED BY:  
**E. FENUTA**

SHEET TITLE

**FIRST FLOOR  
REFLECTED CEILING  
PLAN**

SHEET NUMBER

**G08-008-A2811**

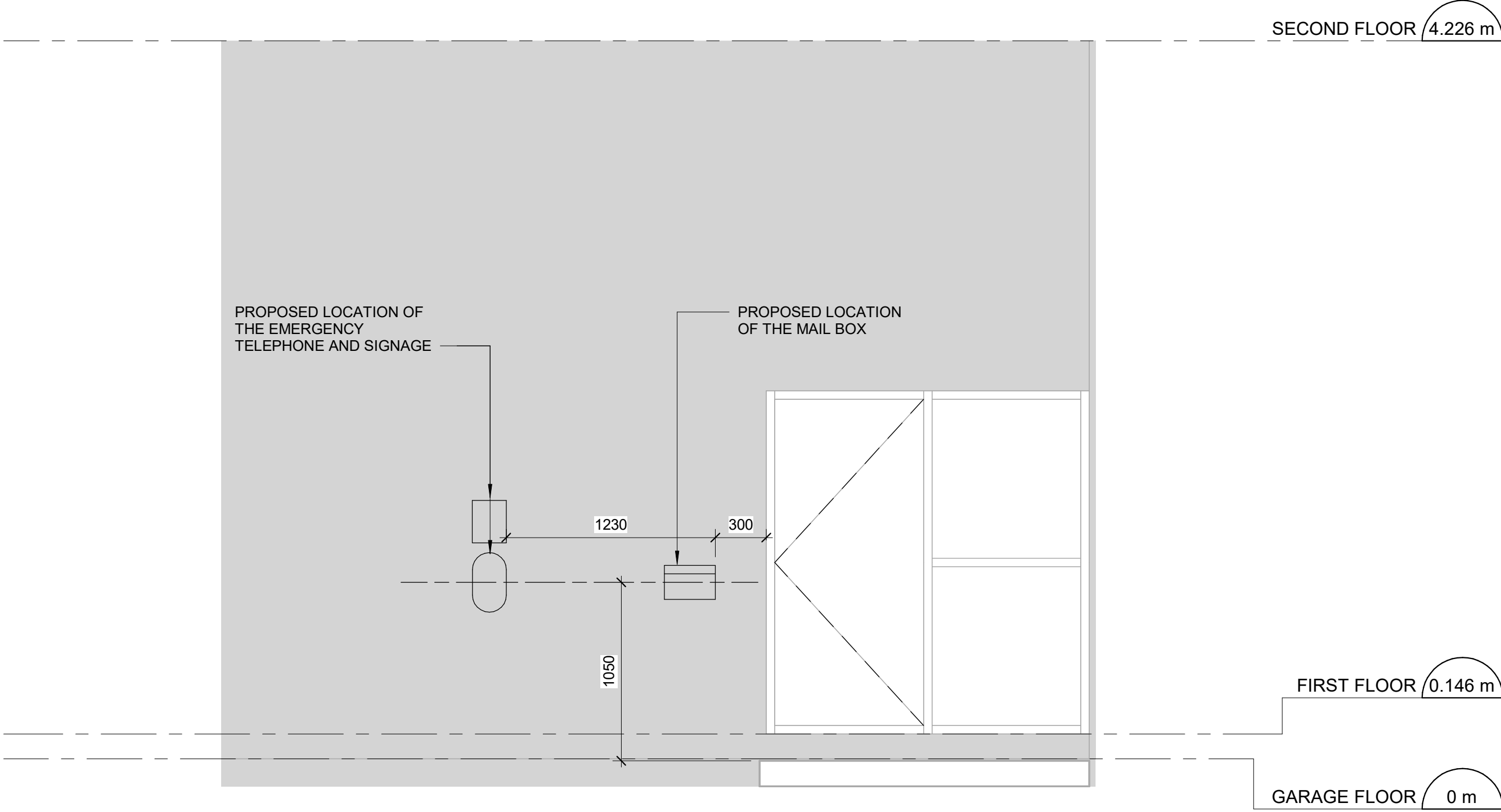
ISSUE

**0**

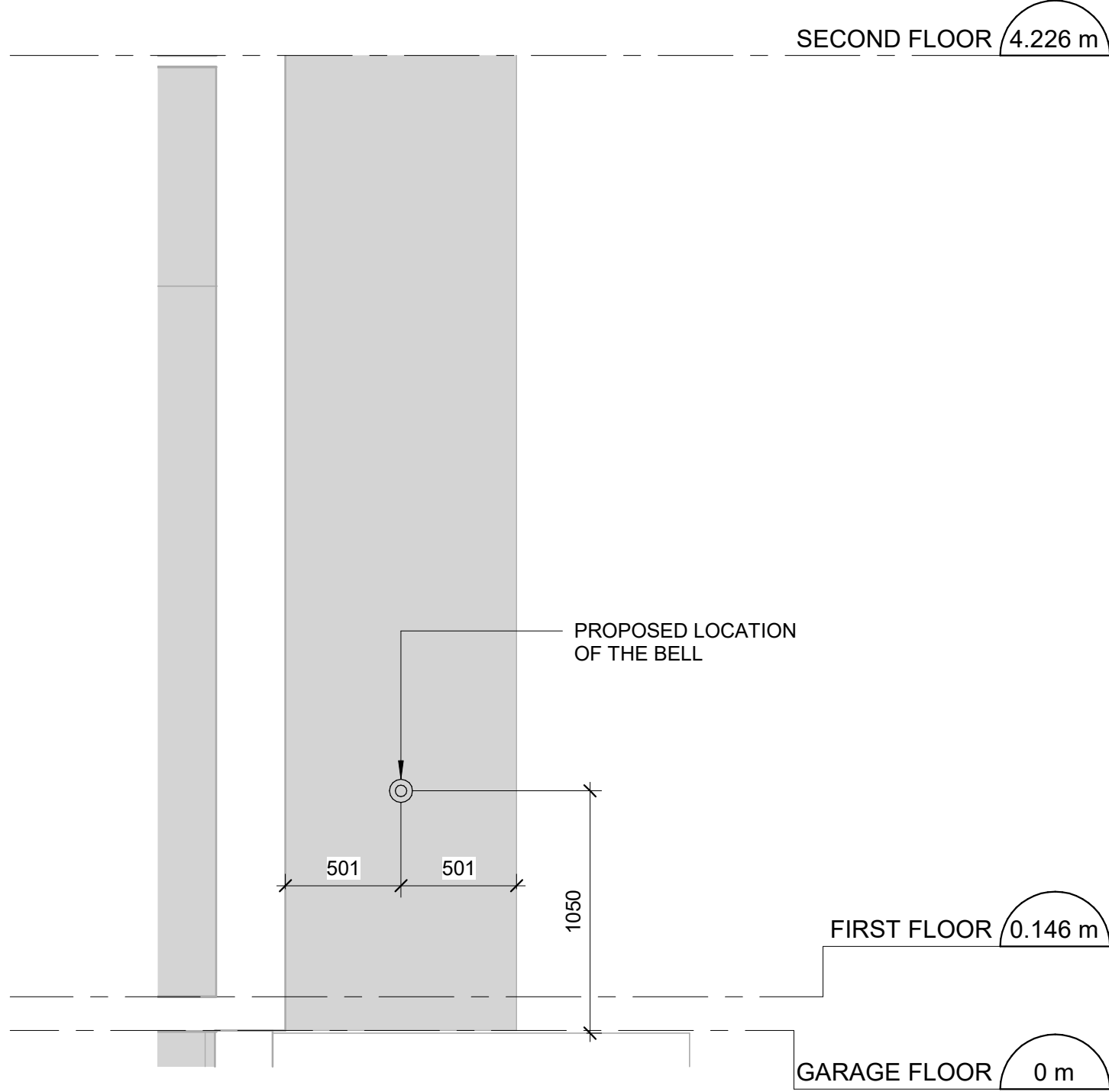
Scale 1:50

C:\Users\shirley.wong\Documents\REVIT2020\122260-TAU-8-3-1008SHPRD-A-420\_shirley.wong\BYPJR.rvt 1/1






1 ENTRANCE - FRONT ELEVATION  
A3011 Scale: 1 : 25



2 ENTRANCE - WEST ELEVATION  
A3011 Scale: 1 : 25

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.


IBI Group Professional Services (Canada) Inc.  
is a member of the IBI Group of companies

ISSUES


No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST

PROJECT NO:  
9119- 19- 0162 / IBI 122260

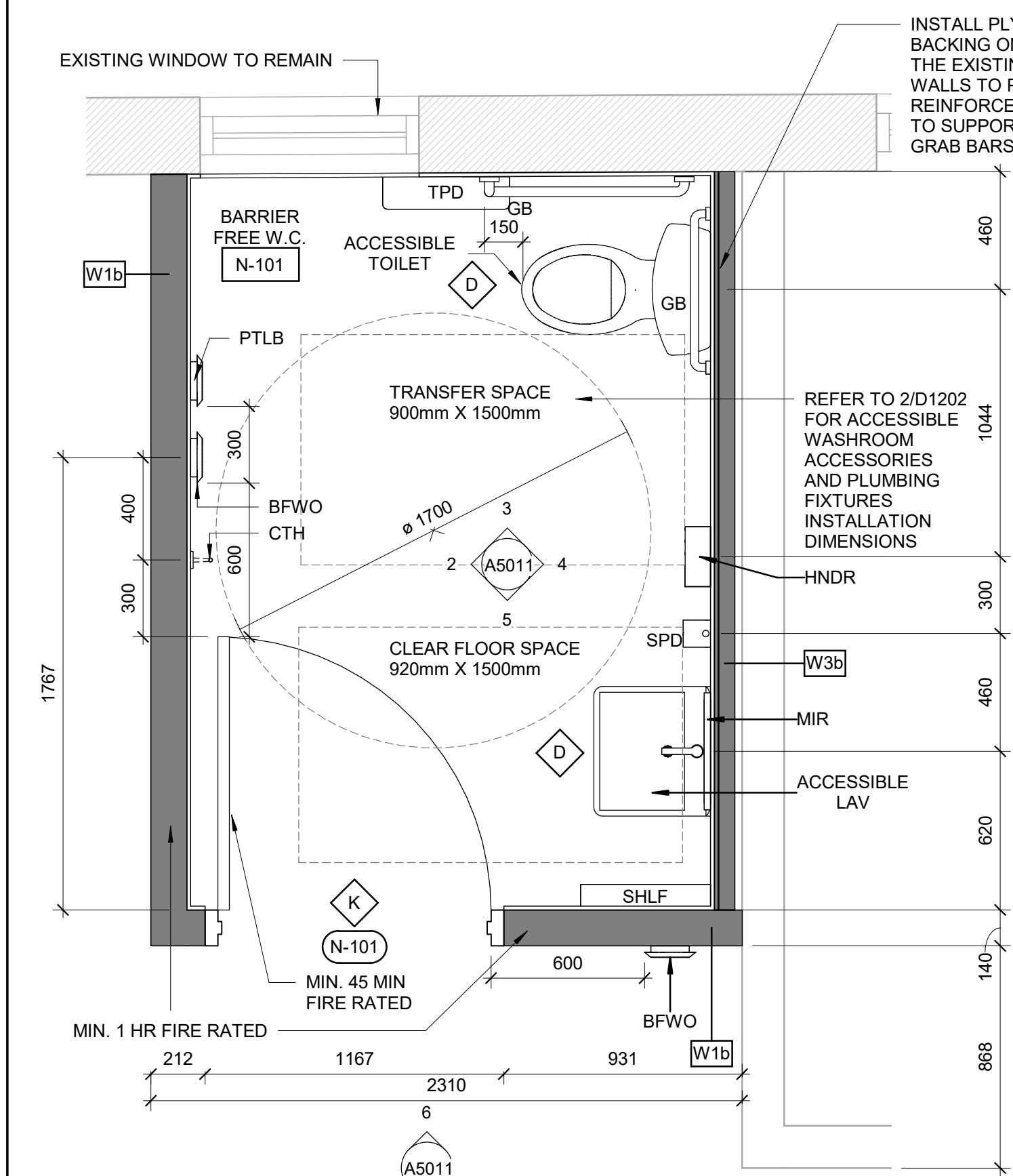
DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>S. HOUT</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUTA</b>

SHEET TITLE

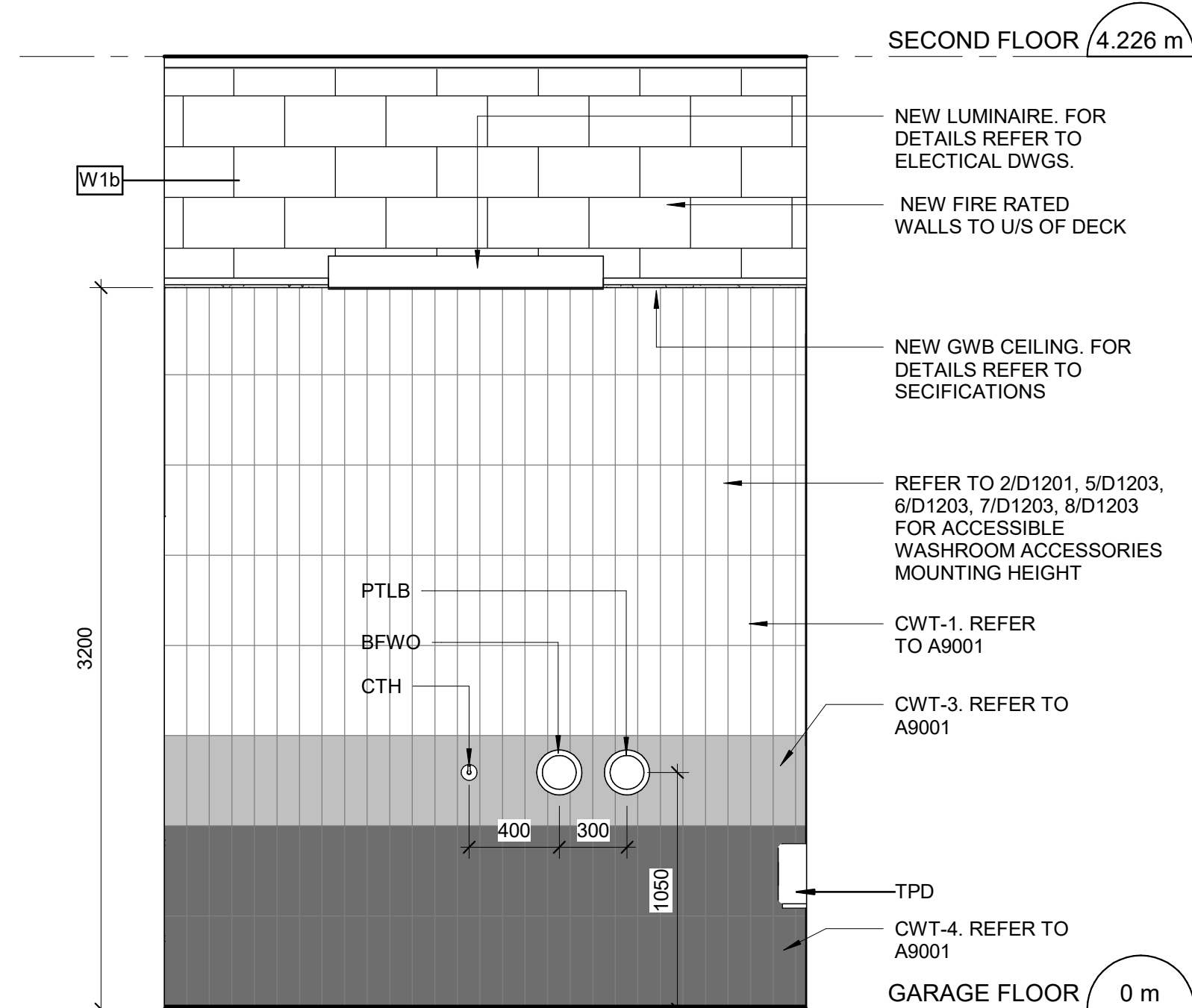
EXTERIOR ELEVATIONS

SHEET NUMBER <b>G08-008-A3011</b>	ISSUE <b>0</b>
--------------------------------------	-------------------

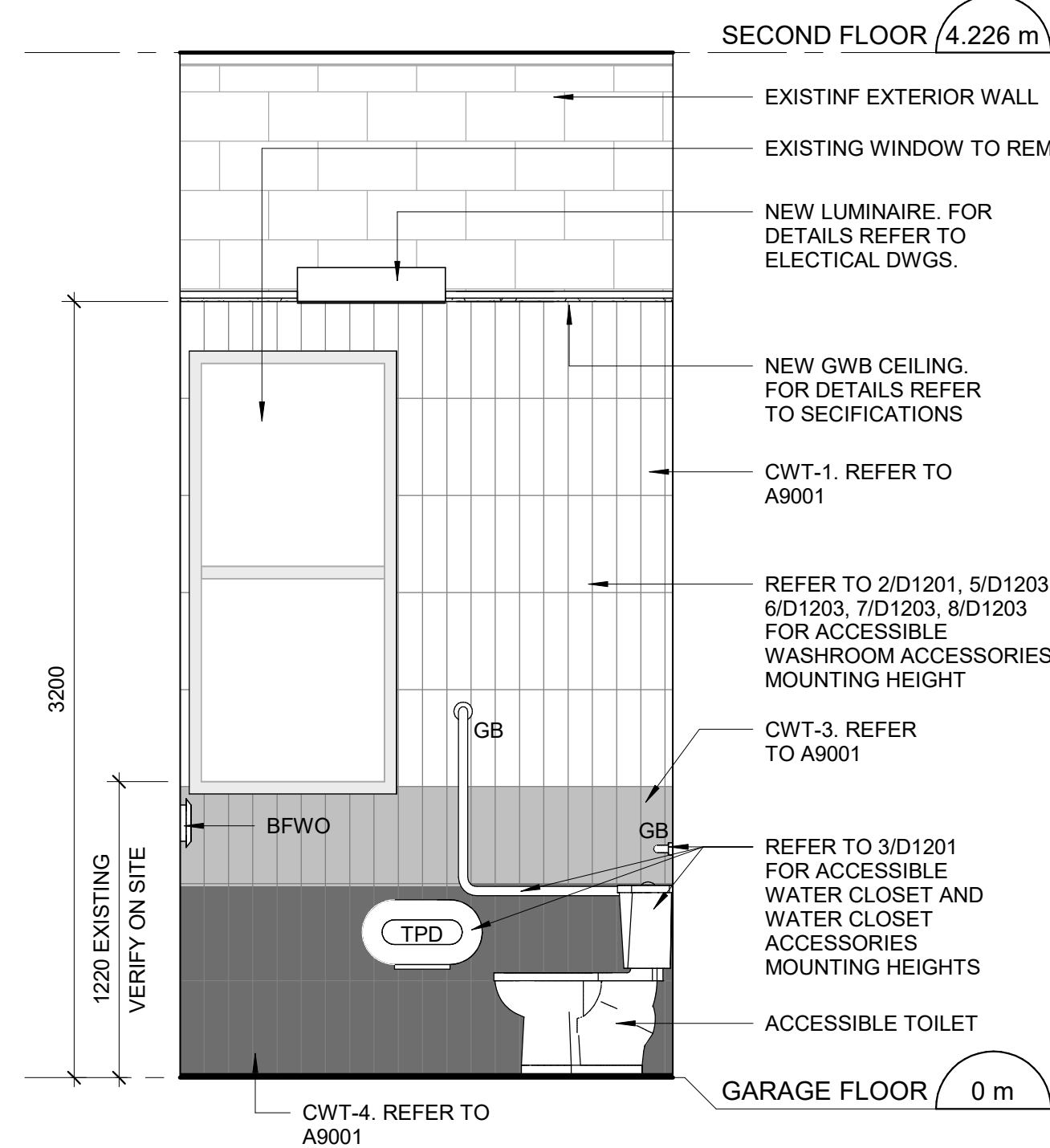




1 FIRST FLOOR PLAN-BARRIER FREE W.C.  
A5011 Scale: 1 : 20

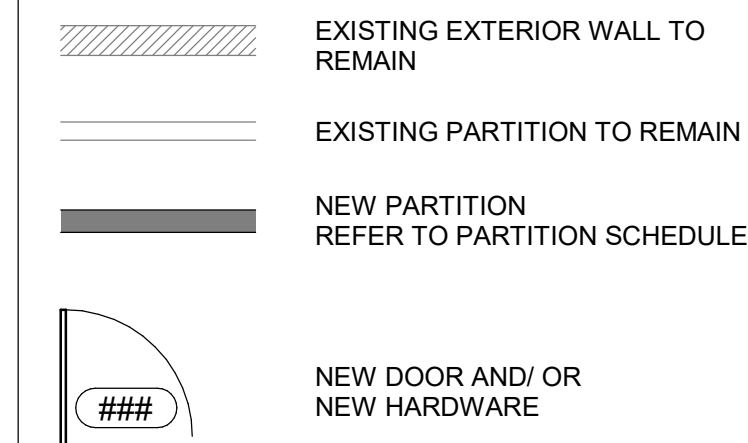


2 BARRIER FREE W.C N-101 - EAST ELEVATION  
A5011 Scale: 1 : 25



3 BARRIER FREE W.C N-101 - SOUTH ELEVATION  
A5011 Scale: 1 : 25

### CONSTRUCTION KEY LEGEND



### CONSTRUCTION GENERAL NOTES

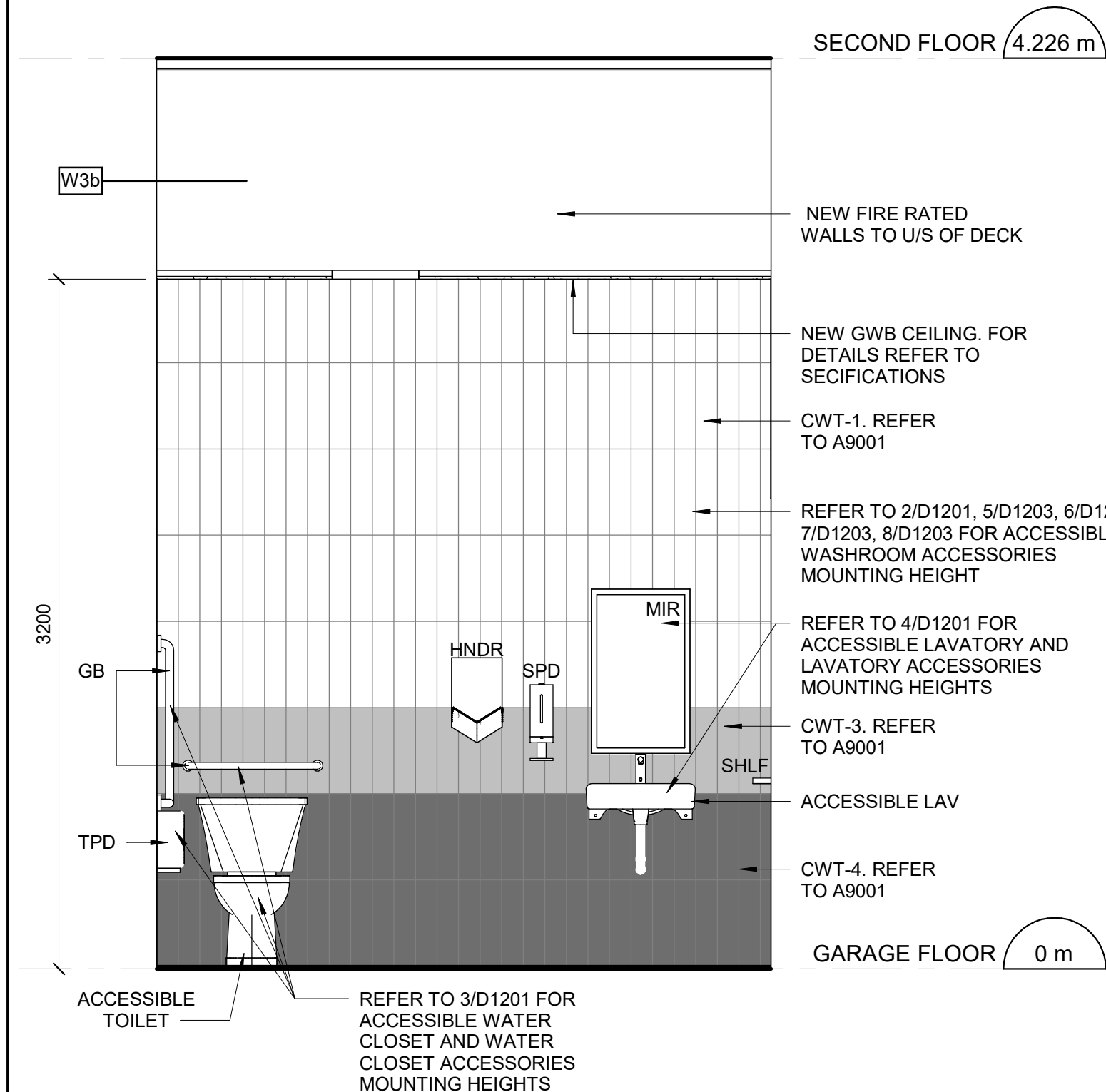
- 1 NEW DOOR CARD READER AND BARRIER FREE PUSH BUTTON TO BE COORDINATED WITH ELECTRICAL DRAWINGS FOR LOCATION AND HEIGHT INSTALLATION REFER TO ARCHITECTURAL DETAIL BOOKLET.
- 2 REROUTE ELECTRICAL SERVICES FROM EXISTING TO NEW LOCATION. REINSTALL ALL ELECTRICAL SWITCHES, RECEPTACLES, CARD READERS AND PULL STATIONS AT ACCESSIBLE HEIGHT AS IDENTIFIED IN THE ELECTRICAL DRAWINGS.
- 3 REPAINT ENTIRE WALL SURFACE AFTER ANY WALL MOUNTED FIXTURES, ACCESSORIES OR HANDRAILS ARE REMOVED/REPLACED OR DOOR OPENINGS ARE WIDENED OR NEW DOOR OPENINGS ARE PROVIDED.

### CONSTRUCTION KEY NOTES

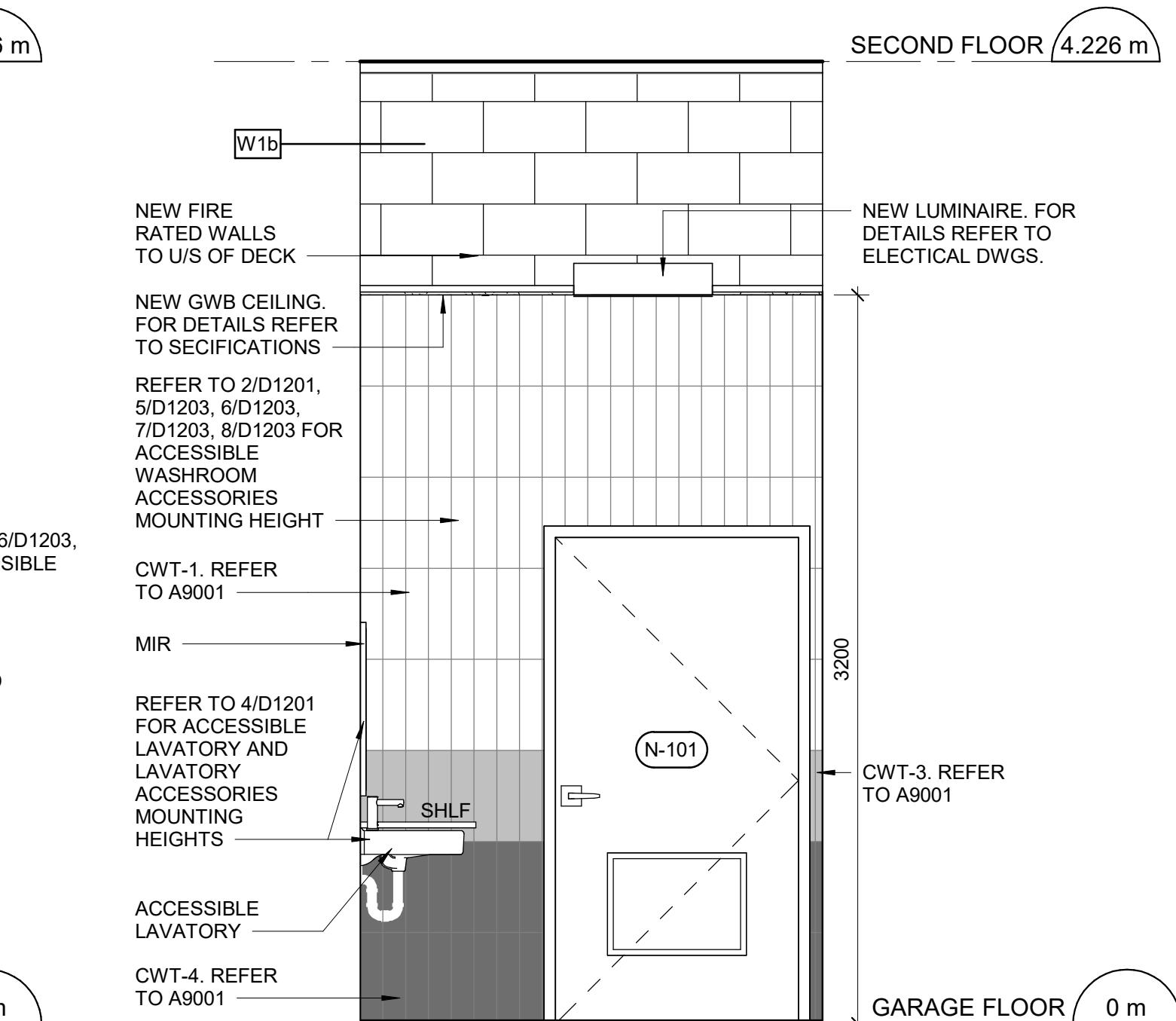
NO	DESCRIPTION
D	INSTALL NEW WASHROOM ACCESSORIES - REFER TO DETAILS 1/D1201, 2/D1201, 3/D1201, 4/D1201, 5/D1201.
K	INSTALL NEW DOOR AND FRAME. REFER TO DOOR SCHEDULE A9001, G1004 AND DOOR HARDWARE SCHEDULE IN THE SPECIFICATIONS.

### WASHROOM GENERAL NOTES

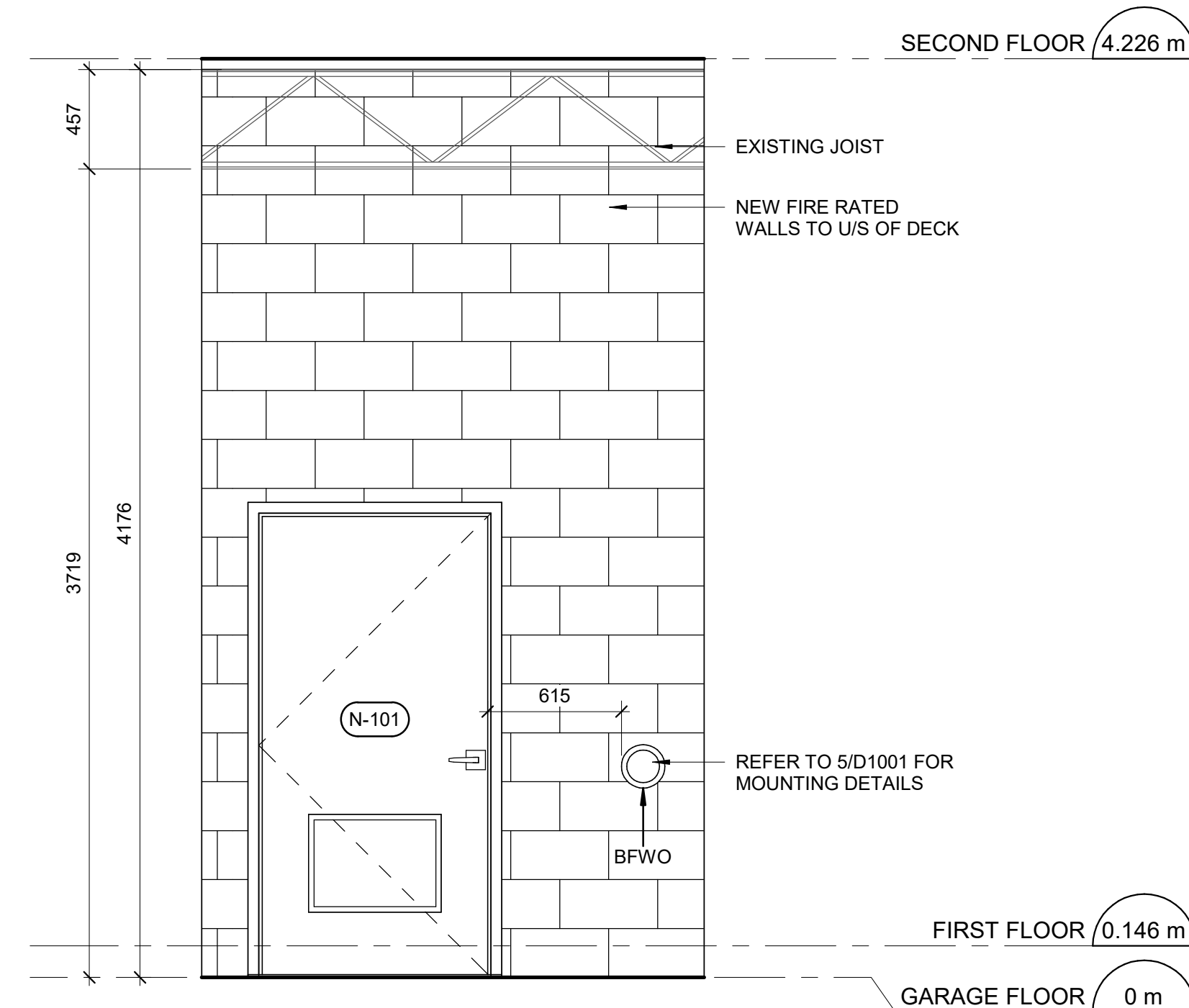
- 1 ALL EXISTING SOAP DISPENSERS AND MIRRORS TO BE RE-MOUNTED AT TADG COMPLIANT HEIGHTS.
- 2 REFER TO 2/D1201 FOR TADG COMPLIANT RE-MOUNTING HEIGHTS OF ALL EXISTING WASHROOM ACCESSORIES AFTER INSTALLATION OF NEW WALL TILES OR ALTERNATE SPECIFIED FINISH. ALL FIXTURES LOCATIONS TO REMAIN. ALL EXISTING SOAP DISPENSERS BE NEWLY FITTED WITH COLLECTORS.



4 BARRIER FREE W.C N-101 - WEST ELEVATION  
A5011 Scale: 1 : 25



5 BARRIER FREE W.C. N-101 - NORTH ELEVATION  
A5011 Scale: 1 : 25



6 BARRIER FREE W.C. N-101 - EXTERIOR SOUTH ELEVATION  
A5011 Scale: 1 : 25

ISSUES	DESCRIPTION	DATE
No.		
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT  
**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

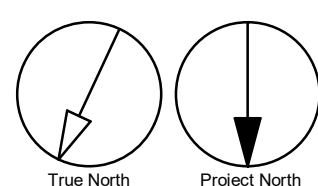
PROJECT TITLE  
**CITY OF TORONTO  
ACCESSIBILITY UPGRADES**

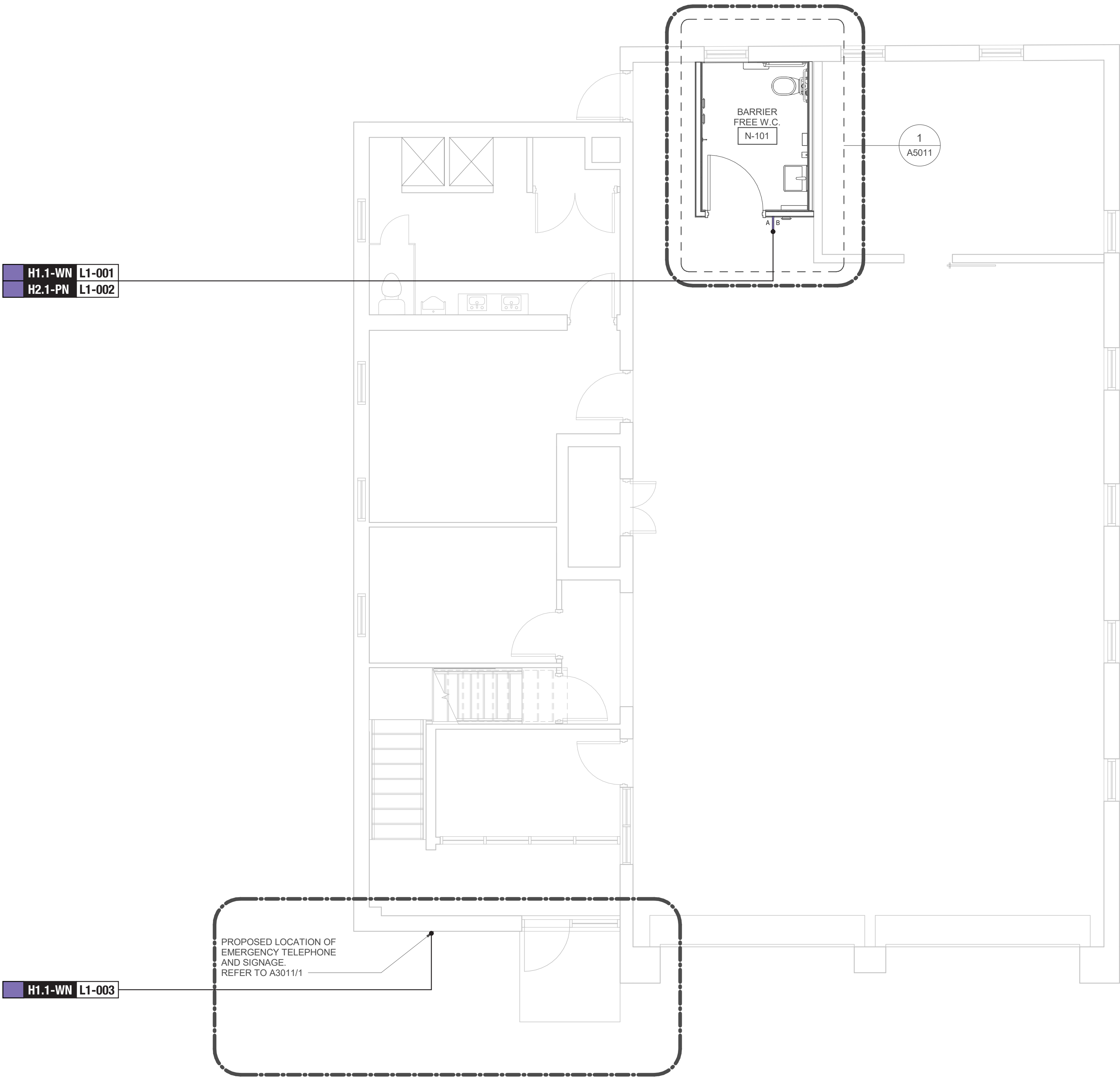
PROJECT ADDRESS  
**FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST**

PROJECT NO:  
9119- 19- 0162 / IBI 122260  
DRAWN BY:  
**A. BOYNARIAN**  
CHECKED BY:  
**S. HOUT**  
PROJECT MGR:  
**F. BOLOURIAN**  
APPROVED BY:  
**E. FENUTA**

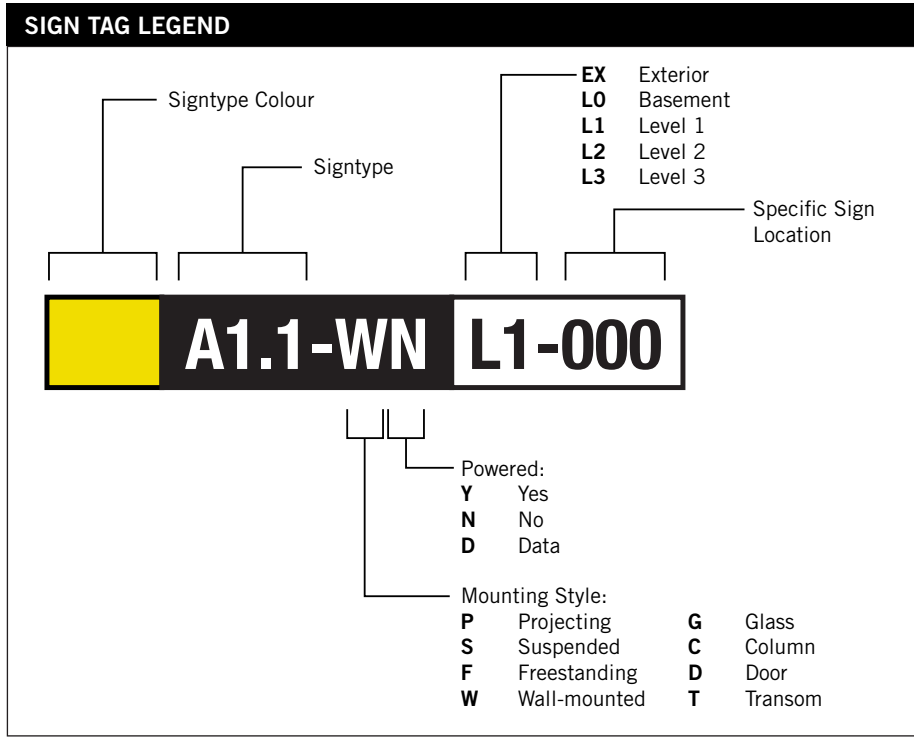
SHEET TITLE  
**WASHROOM  
PLANS/ELEVATIONS**

SHEET NUMBER  
**G08-008-A5011**  
ISSUE  
**0**





SIGN TAG LEGEND					
<div><div></div><div>B</div><div>LX-000</div></div>	Directional	<div><div></div><div>H</div><div>LX-000</div></div>	Amenity	<div><div></div><div>S</div><div>LX-000</div></div>	Stair ID
<div><div></div><div>E</div><div>LX-000</div></div>	Room ID	<div><div></div><div>J</div><div>LX-000</div></div>	Entrance		



CLIENT

CITY OF TORONTO



55 John ST.  
TORONTO, ON  
M5V 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

**CONSULTANTS**  
**ENTRO**  
33 Harbour Square, Suite 202  
Toronto, Canada M5J 2G2

SEAL

**PRIME CONSULTANT**  
**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 675 1930 fax 416 675 4620  
ibi-group.com

**PROJECT TITLE**  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

**PROJECT ADDRESS**  
  
FIRE HALL NO. 143  
1009 SHEPPARD AVE WEST

**PROJECT NO:**  
9119 – 19 – 0162 / IBI 122260

<b>DRAWN BY:</b> B. FERNANDEZ	<b>CHECKED BY:</b> C.D. SCHNOBB
<b>PROJECT MGR:</b> R. DALY	<b>APPROVED BY:</b>

**SHEET TITLE**  
SIGNAGE & WAYFINDING  
DETAILS  
FIRST FLOOR LOCATION  
PLAN

<b>SHEET NUMBER</b> G08-008-A8010	<b>ISSUE</b> 0
--------------------------------------	-------------------




SIGN CODE	LEVEL	LOC #	SIGN TYPE DESCRIPTION	SIDE A		SIDE B	
				MESSAGE (English)		MESSAGE (English)	
H1.1	L1	002	Amenity ID	[accessible universal washroom picto] Washroom Braille			
H2.1	L1	003	Projecting Amenity ID	[accessible universal washroom picto] Washroom			
H1.1	L1	004	Amenity ID	[telephone picto] Emergency Telephone Braille			

SIGN TYPE	SIGN TYPE DESCRIPTION	COUNT
B1.1	Directional	0
E2.1	Room ID	0
E2.2	Line Room ID	0
H1.1	Amenity ID	2
H2.1	Projecting Amenity ID	1
J4.2	Accessible Entrance ID - Exterior	0
S1.1	Stair ID - Inside Stairwell	0
S1.2	Stair ID - Corridor Side	0
S1.3	Stair ID - Roof Exit, Inside Stairwell	0
S1.4	Stair ID - Exterior Door	0
Total		3

CLIENT

CITY OF TORONTO



55 John ST.  
TORONTO, ON  
M5V 3C6

COPYRIGHT

This drawing has been prepared solely for the intended use, thus any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

IBI Group Professional Services (Canada) Inc.  
is a member of the IBI Group of companies

ISSUES


No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

ENTRO  
33 Harbour Square, Suite 202  
Toronto, Canada M5J 2G2

SEAL

PRIME CONSULTANT



IBI GROUP  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 675 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE

CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS

FIRE HALL NO. 143  
1009 SHEPPARD AVE WEST

PROJECT NO:  
9119 – 19 – 0162 / IBI 122260

DRAWN BY:  
B. FERNANDEZ

CHECKED BY:  
C.D. SCHNOBB

PROJECT MGR:  
R. DALY

APPROVED BY:

SHEET TITLE

SIGNAGE & WAYFINDING  
DETAILS  
MESSAGE SCHEDULE

SHEET NUMBER

G08-008-A8100

ISSUE

0

DOOR SCHEDULE																
DOOR NO.	LOCATION	DOOR				PANEL			FRAME		DOOR HARDWARE			FIRE RATING (MINUTES)	REMARKS	
		TYPE	WIDTH	HEIGHT	THICKNESS	MAT.	FIN.	GLASS	MAT.	FIN.	SECURITY ACCESS CONTROL DEVICE	BFWO	PANIC DEVICE			
BASEMENT																
NE-B02	WORK ROOM	EXIST	915	2040	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
GARAGE FLOOR																
N-101	BARRIER FREE W.C.	A(L)	1067	2135	45	HM	PT-3	<-->	HM	PT-3	N/A	*	N/A	45		
FIRST FLOOR																
NE-104	GARAGE	EXIST	915	2040	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-105	LOBBY	EXIST	855	2030	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-106	GARAGE	EXIST	905	2015	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
NE-109	LOBBY	EXIST	865	2040	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	
SECOND FLOOR																
NE-207	CORRIDOR	EXIST	850	2030	45	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	REPLACE EXISTING LATCH SET WITH LEVER TYPE HARDWARE	

ROOM FINISH SCHEDULE																	
ROOM NUMBER	ROOM NAME	FLOOR		BASE										CEILING			
		MAT.	FIN.	MAT.	FIN.	NORTH		EAST		SOUTH		WEST		MAT.	FIN.	HEIGHT	
						MAT.	FIN.	MAT.	FIN.	MAT.	FIN.	MAT.	FIN.				
BASEMENT																	
B02	WORK ROOM	EXIST, CONC	MATCH EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST
FIRST FLOOR																	
102	GARAGE	EXIST, CONC	MATCH EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST	EXIST
N-101	BARRIER FREE W.C.	EXIST, CONC	PFT-1	EXIST	CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	EXIST	CWT-1, CWT-3, CWT-4	GWB	CWT-1, CWT-3, CWT-4	GWB	PT-2	3200	

ROOM FINISH KEY SCHEDULE							
ABBRV	MATERIAL	COLOUR	FINISH	SIZE	REF	SUPPLIER	NOTES
CWT-1	CERAMIC WALL TILE	ARCTIC WHITE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	
CWT-2	CERAMIC WALL TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	GC TO PROVIDE SAMPLE FOR APPROVAL. TILE ENTIRE WALL AREA AS INDICATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.
CWT-3	CERAMIC WALL TILE	TAUPE	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
CWT-4	CERAMIC WALL TILE	DARK GREY	MATTE	100mm X 400mm (4"X16")	COLOUR AND DIMENSIONS SERIES	OLYMPIA TILE	ACCENT SHOWER TILE
EWf-1	ENGINEERED WOOD FLOORING	RED OAK	COLORADO COMMERCIAL FINISH	3/8"		MIRAGE	
MAT-1	ANTI FATIGUE MATTING	EC20	SILVER	1000mm X 1800mm (40"X72")		FORBO	REQUEST NON-BEVELED EDGES
PFT-1	PORCELAIN FLOOR TILE	MICA	MATTE	300mm X 300 mm(12"X24")		D9/EMOTION	
PFT-2	PORCELAIN FLOOR TILE	TAUPE	MATTE	50mm X 50mm (2"X2")	ROC BASIC	STONE TILE	SHOWER FLOOR TILE
PFT-3	PORCELAIN FLOOR TILE	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	MATCH EXISTING	GC TO PROVIDE SAMPLE FOR APPROVAL. TILE ENTIRE FLOOR AREA AS INDICATED IN DRAWINGS AND IN ROOM FINISH SCHEDULE.
PFT-4	PORCELAIN FLOOR TILE	200	SMOOTH(V)	304.8mm X 609.6mm (12"X24")	CORE COLLECTION TERRA	MOSA TILE	WASHROOM FLOORS
PLAM-1	PLASTIC LAMINATE	ALABASTER D431	N/A	AS SPECIFIED IN DRAWINGS		WILSONART	CABINET MILWORKS LOWERS
PLAM-2	PLASTIC LAMINATE	SEA D90	N/A	AS SPECIFIED IN DRAWINGS		WILSONART NORTH	CABINET MILWORKS UPPERS
PT-1	PAINT	7004 SNOW/BOUND	EGGSHELL	N/A		SHERWIN WILLIAMS SW	
PT-2	PAINT	OC-64 PURE WHITE	FLAT	N/A		BENJAMIN MOORE	CEILINGS
PT-3	PAINT	MATCH EXISTING PAINT	TBD	N/A		BENJAMIN MOORE	GC TO PROVIDE SAMPLE ON 12"X12" CARD FOR APPROVAL. PAINT ENTIRE WALL OR CEILING AS SPECIFIED IN ROOM FINISH SCHEDULE.
PT-4	PAINT	EBONY SLATE 2118-30	EGGSHELL	N/A		BENJAMIN MOORE	
Q-1	QUARTZ	5151 EMPIRE WHITE	N/A	AS SPECIFIED IN DRAWINGS	SUPERNATURAL COLLECTION	CAESARSTONE	FOR BACKSPLASH AND COUNTERTOPS

DOOR SCHEDULE GENERAL NOTES	
1	DOOR HEIGHT FOR INFORMATION PURPOSES ONLY. NEW DOOR HEIGHTS TO MATCH SITE CONFIRMED EXISTING DOOR HEIGHTS.
2	REFER TO ELECTRICAL DRAWINGS FOR CARD READER LOCATION ON EXISTING DOORS.
3	REFER TO DOOR HARDWARE SCHEDULE AND SPECIFICATION FOR ADDITIONAL INFORMATION ON DOOR HARDWARE.
4	WHERE DOORS ARE BEING WIDENED, REPAINT AFFECTED PAINTED WALL SURFACES WITH PT-3.

DOOR ABBREVIATIONS	
* ALUM ANOD BFAO BFPB BFWO CR EXIST FBM GWB GWG HM IHM ITGL KP OBM PF PLAM PT SIM SS TGL WD	DENOTES YES ALUMINUM ANODIZED BARRIER-FREE AUTOMATIC OPENER BARRIER-FREE PUSH BUTTON BARRIER-FREE WAVE TO OPEN CARD READER EXISTING FINGER BIOMETRIC GYPSUM WALL BOARD GEORGIAN WIRE GLASS HOLLOW METAL INSULATED HOLLOW METAL INSULATED TEMPERED (SAFETY) GLASS KEY PAD OCULAR BIOMETRIC PRE FINISHED PLASTIC LAMINATE PAINT SIMILAR STAINLESS STEEL TEMPERED GLASS WOOD

CLIENT

CITY OF TORONTO



Corporate Real Estate Management  
Project Management Office  
Metro Hall Toronto, ON  
MSV 3C6

**COPYRIGHT**  
This drawing has been prepared solely for the intended use. This any reproduction or distribution for any purpose other than authorized by IBI Group is forbidden. Written dimensions shall have precedence over scaled dimensions. Contractors shall verify and be responsible for all dimensions and conditions on the job, and IBI Group shall be informed of any variations from the dimensions and conditions shown on the drawing. Shop drawings shall be submitted to IBI Group for general conformance before proceeding with fabrication.

**IBI Group Professional Services (Canada) Inc.**  
is a member of the IBI Group of companies

ISSUES		
No.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	2021-10-19

CONSULTANTS

SEAL



PRIME CONSULTANT



**IBI GROUP**  
175 Galaxy Blvd, Unit 100  
Toronto, ON M9W 0C9, Canada  
tel 416 679 1930 fax 416 675 4620  
ibigroup.com

PROJECT TITLE  
CITY OF TORONTO  
ACCESSIBILITY UPGRADES

PROJECT ADDRESS  
FIRE HALL NO. 143  
1009 SHEPPARD AVE  
WEST

PROJECT NO:  
9119- 19- 0162 / IBI 122260

DRAWN BY: <b>A. BOYNARIAN</b>	CHECKED BY: <b>S. HOUT</b>
PROJECT MGR: <b>F. BOLOURIAN</b>	APPROVED BY: <b>E. FENUITA</b>

SHEET TITLE  
DOOR AND ROOM FINISH  
SCHEDULE

SHEET NUMBER <b>G08-008-A9001</b>	ISSUE <b>0</b>
--------------------------------------	-------------------