



THE REGIONAL MUNICIPALITY OF YORK
YORK REGION ADMINISTRATIVE CENTRE
ARCHITECTURAL AND ENGINEERING SERVICES

INTERIOR FIT-UP OF 3RD FLOOR, BLOCK A, B & D
YORK REGION ADMINISTRATIVE CENTRE

TENDER NO.: T-19-349

ISSUED FOR PERMIT: 05-25-2020

ISSUED FOR TENDER: 11-12-2020

17250 YONGE STREET
NEWMARKET, ONTARIO

LIST OF DRAWING

ARCHITECTURAL

- A001 LIST OF DRAWINGS, CONSULTANT LIST AND MATRIX
- A002 A SCOPE OF WORK - AREA 'A'
- A002 B SCOPE OF WORK - AREA 'B'
- A002 C SCOPE OF WORK - AREA 'C'
- A002 D SCOPE OF WORK - AREA 'D'
- A003 SITE PLAN WITH DISPOSAL ROUTE
- A100 DEMOLITION PLAN - AREA 'A'
- A101 DEMOLITION PLAN - AREA 'B'
- A102 CEILING DEMOLITION PLAN - AREA 'A'
- A103 CEILING DEMOLITION PLAN - AREA 'B'
- A200 PARTITION PLAN - AREA 'A'
- A201 PARTITION PLAN - AREA 'B'
- A300 REFLECTED CEILING PLAN - AREA 'A'
- A301 REFLECTED CEILING PLAN - AREA 'B'
- A400 FURNITURE POWER PLAN - AREA 'A'
- A401 FURNITURE PLAN - AREA 'B'
- A500 FINISHES PLAN - AREA 'A'
- A501 FINISHES PLAN - AREA 'B'
- A502 FINISHES PLAN - AREA 'D' (CORRIDOR SPACE)
- A600 DETAILS
- A601 DETAILS
- A700 DEMOLITION PLAN (WASHROOMS)
- A701 CEILING DEMOLITION PLAN (WASHROOMS)
- A702 PARTITION PLAN (WASHROOMS)
- A703 REFLECTED CEILING PLAN (WASHROOMS)
- A704 FINISHES PLAN (WASHROOMS)
- A705 ELEVATION (WASHROOMS)
- A800 ELEVATIONS - MEN'S W/R
- A801 ELEVATIONS - WOMAN'S W/R
- A802 - DETAILS - WASHROOMS

STRUCTURAL

- S100 GENERAL NOTES & TYPICAL DETAILS
- S200 FLOOR PLAN AREA 'A'
- S201 FLOOR PLAN AREA 'B'
- S300 SECTIONS

CONSULTANTS

ARCHITECT

G. BRUCE STRATTON ARCHITECTS
#300-225 RICHMOND STREET W
TORONTO, ON M5V 1W2
416-351-8145

STRUCTURAL

LEA CONSULTING LTD.
416-572-1785

MECHANICAL

- M-100 MECHANICAL LEGEND, SCHEDULE, SCHEMATIC DIAGRAM & DRAWING LIST
- M-101 SCHEMATIC DIAGRAM
- M-102 MECHANICAL DETAILS
- M-200 PARTIAL 2ND FLOOR CEILING SPACE AREA 'A' MECHANICAL DEMOLITION PLAN
- M-201 PARTIAL 2ND FLOOR AREA 'B' MECHANICAL DEMOLITION PLAN
- M-202 PARTIAL 3RD FLOOR AREA 'A' HVAC DEMOLITION PLAN
- M-203 PARTIAL 3RD FLOOR AREA 'B' HVAC DEMOLITION PLAN
- M-204 PARTIAL 2ND FLOOR AREA 'A' MECHANICAL NEW LAYOUT
- M-205 PARTIAL 2ND FLOOR AREA 'B' MECHANICAL NEW LAYOUT
- M-206 PARTIAL 3RD FLOOR AREA 'A' HVAC NEW LAYOUT
- M-207 PARTIAL 3RD FLOOR AREA 'B' HVAC NEW LAYOUT
- M-300 PARTIAL 3RD FLOOR AREA 'A' PLUMBING & FIRE PROTECTION DEMOLITION PLAN
- M-301 PARTIAL 3RD FLOOR AREA 'B' PLUMBING & FIRE PROTECTION DEMOLITION PLAN
- M-302 PARTIAL 3RD FLOOR AREA 'A' PLUMBING & FIRE PROTECTION NEW LAYOUT
- M-303 PARTIAL 3RD FLOOR AREA 'B' PLUMBING & FIRE PROTECTION NEW LAYOUT
- M-304 3RD FLOOR WASHROOMS 3-88 TO 3-93 MECHANICAL DEMOLITION
- M-305 3RD FLOOR WASHROOMS 3-88 TO 3-93 MECHANICAL NEW LAYOUT
- M-400 PARTIAL 3RD FLOOR AREA 'A' HYDRONIC DEMOLITION PLAN
- M-401 PARTIAL 3RD FLOOR AREA 'B' HYDRONIC DEMOLITION PLAN
- M-402 PARTIAL 3RD FLOOR AREA 'A' HYDRONIC NEW LAYOUT
- M-403 PARTIAL 3RD FLOOR AREA 'B' HYDRONIC NEW LAYOUT

ELECTRICAL

- E-0.1 DRAWING LIST AND ELECTRICAL LEGEND
- E-0.2 ELECTRICAL DETAILS
- E-0.3 ELECTRICAL DETAILS
- E-3.0 LEVEL 3 KEY PLAN
- E-3.1A LEVEL 3 - LIGHTING AND FIRE ALARM LAYOUT (PART A)
- E-3.1B LEVEL 3 - LIGHTING AND FIRE ALARM LAYOUT (PART B)
- E-3.2A LEVEL 3 - POWER AND SYSTEMS LAYOUT (PART A)
- E-3.2B LEVEL 3 - POWER AND SYSTEMS LAYOUT (PART B)
- E-3.3A PARTIAL LEVEL 3 - CEILING DEMOLITION LAYOUT (PART A)
- E-3.3B PARTIAL LEVEL 3 - CEILING DEMOLITION LAYOUT (PART B)
- E-3.4A PARTIAL LEVEL 3 - POWER DEMOLITION LAYOUT (PART A)
- E-3.4B PARTIAL LEVEL 3 - POWER DEMOLITION LAYOUT (PART B)
- E-3.5 LEVEL 3 WASHROOMS - LIGHTING AND FIRE ALARM LAYOUT
- E-3.6 LEVEL 3 WASHROOMS - POWER AND SYSTEMS LAYOUT
- E-3.7 LEVEL 3 WASHROOMS - CEILING DEMOLITION LAYOUT
- E-3.8 LEVEL 3 WASHROOMS - POWER DEMOLITION LAYOUT

COMMUNICATION

- TC-0.1 DRAWING LIST, LEGEND, ABBREVIATIONS AND DETAILS
- TC-3.0A LEVEL 3 - COMMUNICATIONS LAYOUT (PART A)
- T C-3.0B LEVEL 3 - COMMUNICATIONS LAYOUT (PART B)

MECHANICAL

GPY + ASSOCIATES ENGINEERING INC.
90C CENTRUM DRIVE, SUITE 6
MARKHAM, ONTARIO L3R 8C5
905-475-3138

ELECTRICAL/COMMUNICATION

SMITH + ANDERSEN
647-943-7636

GENERAL NOTES:

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3. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST SUBMIT ALL NECESSARY SAMPLES AND SHOP DRAWINGS TO YORK REGION REPRESENTATIVE FOR APPROVAL

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2	05-18-2020	ISSUED FOR 90% REVIEW
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G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146

ONTARIO ASSOCIATION
of
ARCHITECTS
G.BRUCE STRATTON
LICENCE
3981

PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

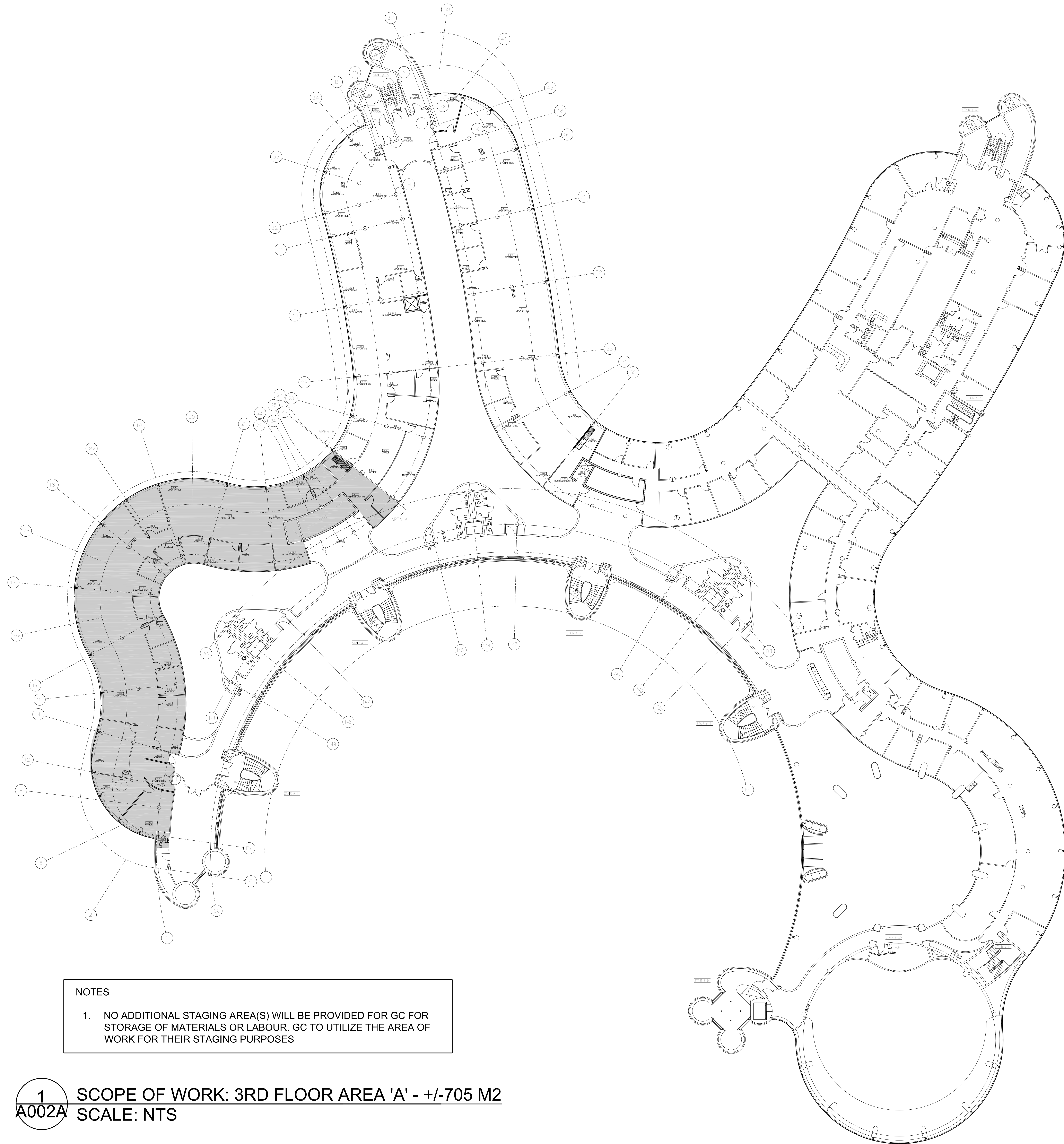
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

LIST OF DRAWINGS/
CONSULTANTS

SHEET NUMBER:

A001



NOTES

1. NO ADDITIONAL STAGING AREA(S) WILL BE PROVIDED FOR GC FOR STORAGE OF MATERIALS OR LABOUR. GC TO UTILIZE THE AREA OF WORK FOR THEIR STAGING PURPOSES

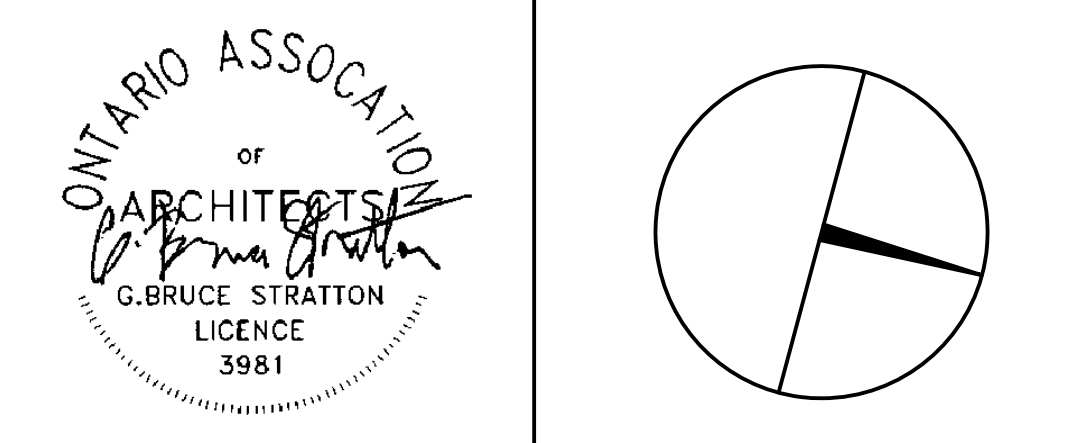
1
A002A SCOPE OF WORK: 3RD FLOOR AREA 'A' - +/-705 M2
SCALE: NTS

- GENERAL NOTES:
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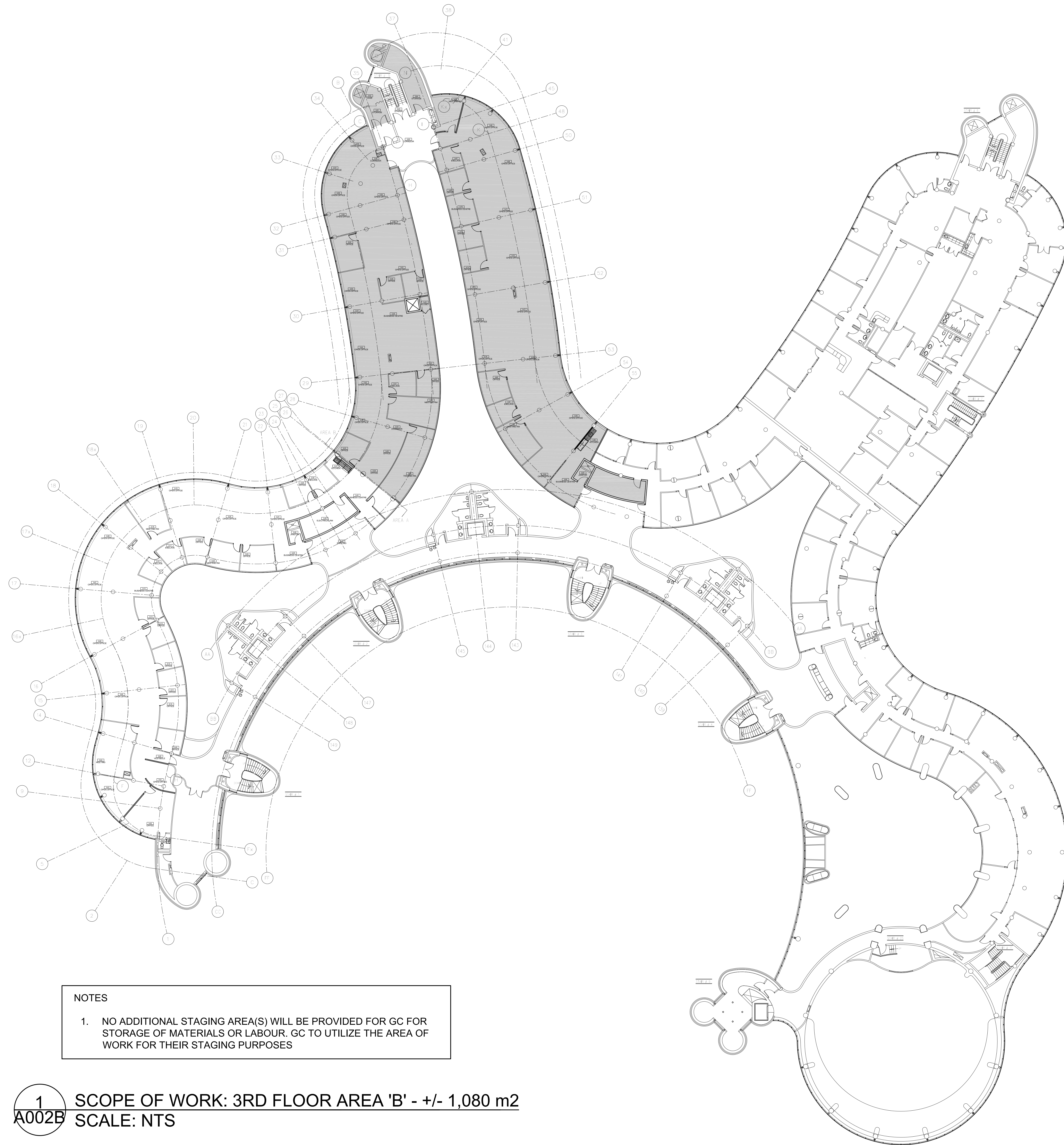
TENDER NO.: T-19-349

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

SCOPE OF WORK
AREA 'A'

SHEET NUMBER:
A002 A



NOTES

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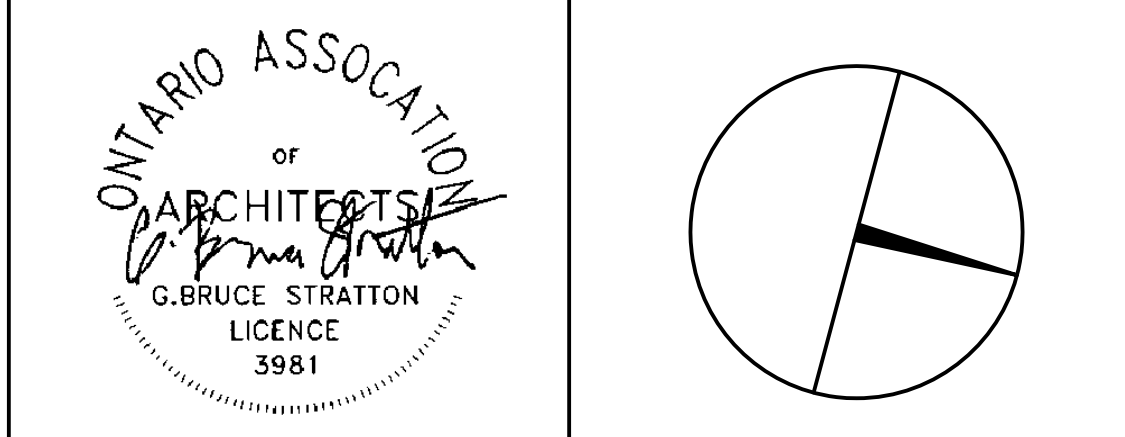
1
A002B SCOPE OF WORK: 3RD FLOOR AREA 'B' - +/- 1,080 m2
SCALE: NTS

- GENERAL NOTES:
1. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK
 2. DRAWINGS ARE NOT TO BE SCALED
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York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

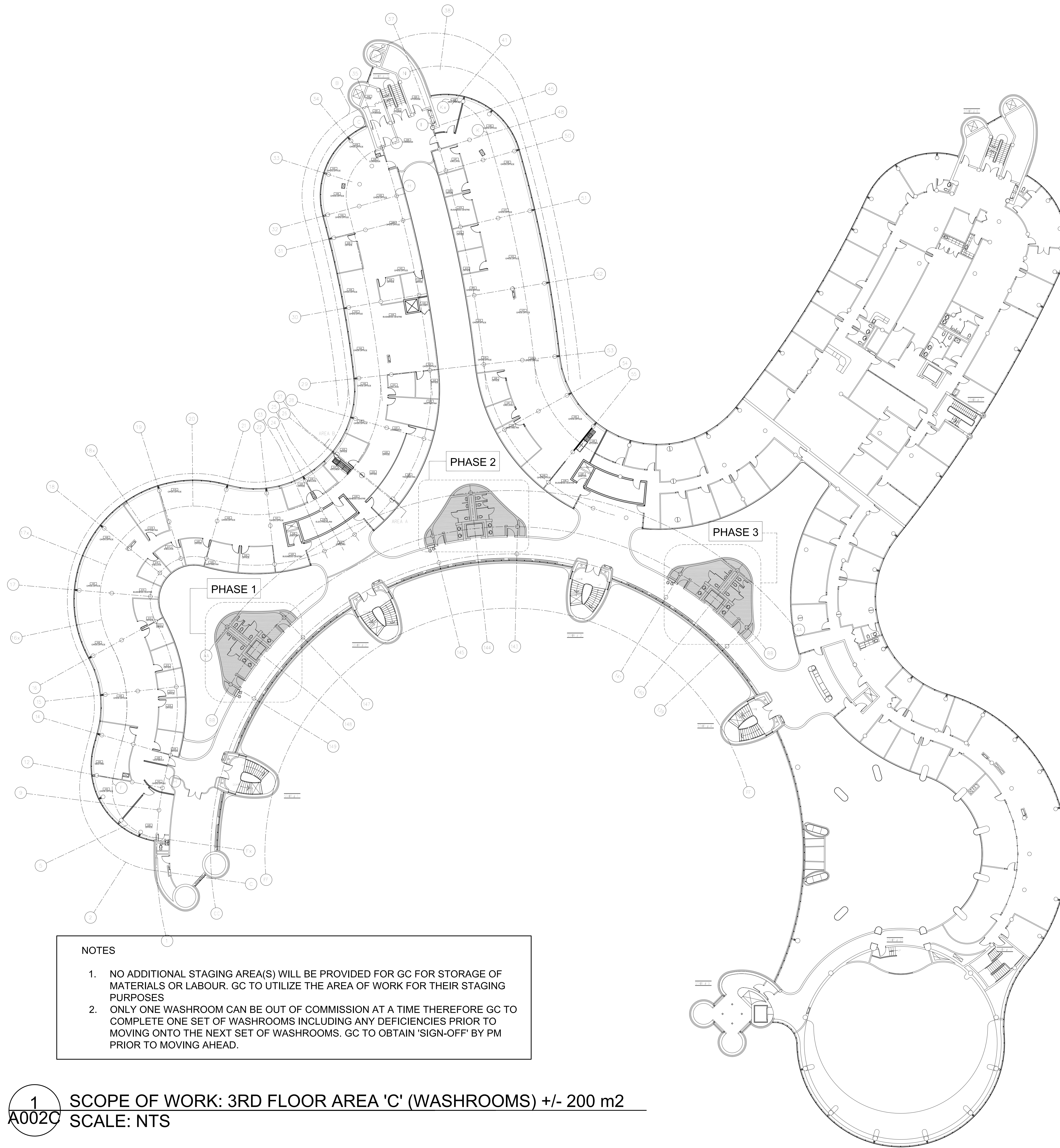
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**SCOPE OF WORK
AREA 'B'**

SHEET NUMBER:

A002 B



NOTES

1. NO ADDITIONAL STAGING AREA(S) WILL BE PROVIDED FOR GC FOR STORAGE OF MATERIALS OR LABOUR. GC TO UTILIZE THE AREA OF WORK FOR THEIR STAGING PURPOSES
2. ONLY ONE WASHROOM CAN BE OUT OF COMMISSION AT A TIME THEREFORE GC TO COMPLETE ONE SET OF WASHROOMS INCLUDING ANY DEFICIENCIES PRIOR TO MOVING ONTO THE NEXT SET OF WASHROOMS. GC TO OBTAIN 'SIGN-OFF' BY PM PRIOR TO MOVING AHEAD.

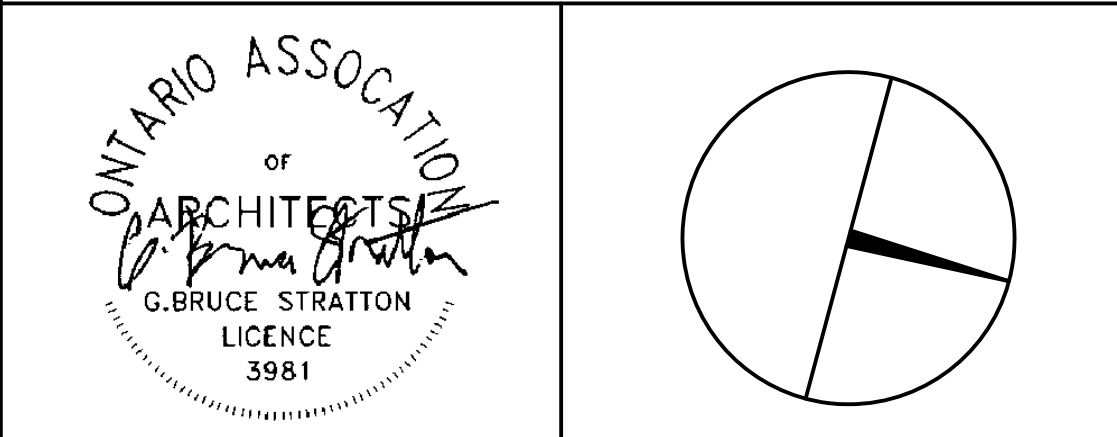
1 SCOPE OF WORK: 3RD FLOOR AREA 'C' (WASHROOMS) +/- 200 m2
A002C SCALE: NTS

- GENERAL NOTES:
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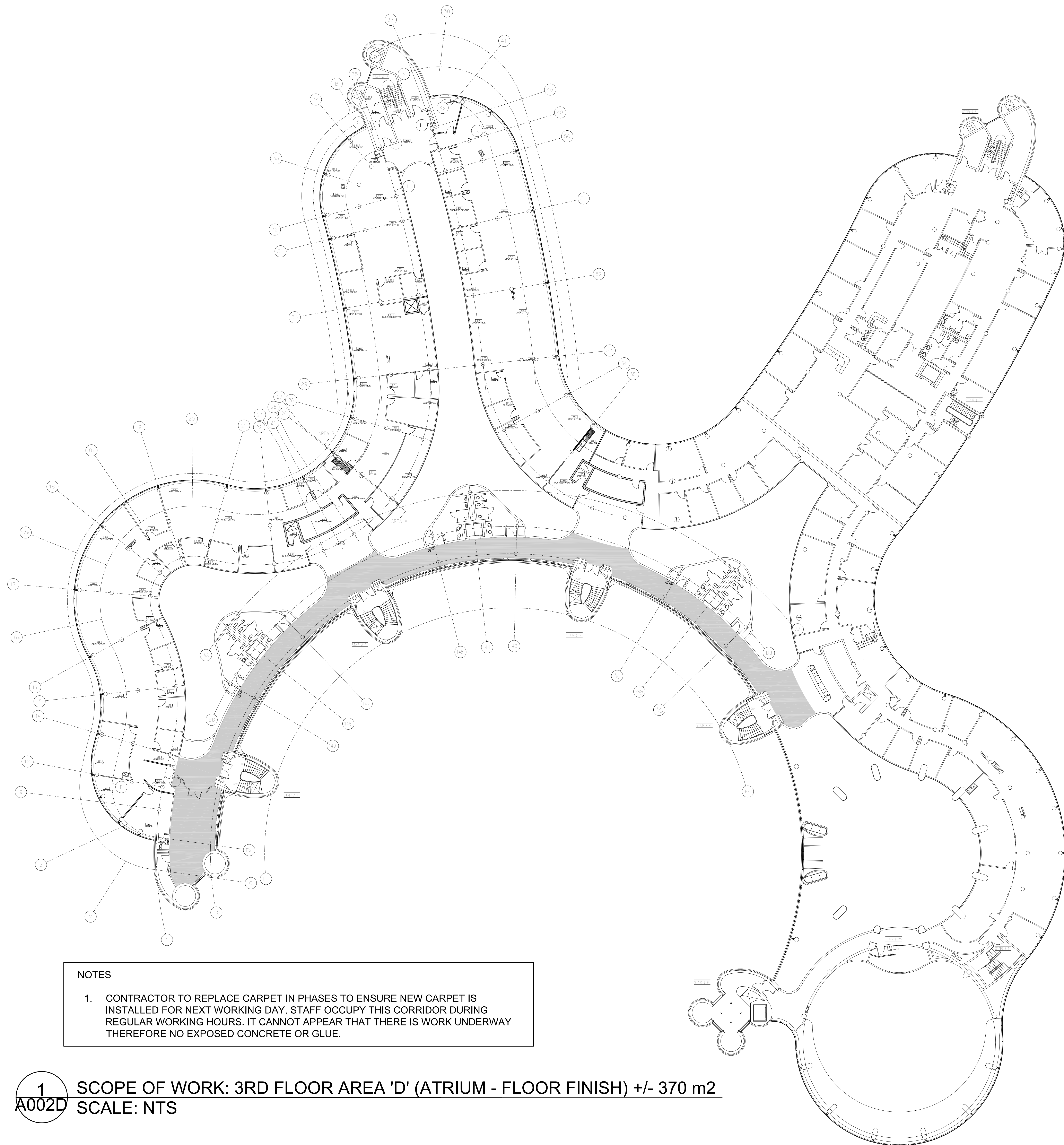
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

SCOPE OF WORK
AREA 'C'

SHEET NUMBER:

A002 C



NOTES

1. CONTRACTOR TO REPLACE CARPET IN PHASES TO ENSURE NEW CARPET IS INSTALLED FOR NEXT WORKING DAY. STAFF OCCUPY THIS CORRIDOR DURING REGULAR WORKING HOURS. IT CANNOT APPEAR THAT THERE IS WORK UNDERWAY THEREFORE NO EXPOSED CONCRETE OR GLUE.

1 SCOPE OF WORK: 3RD FLOOR AREA 'D' (ATRIUM - FLOOR FINISH) +/- 370 m2
A002D SCALE: NTS

GENERAL NOTES:

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2. DRAWINGS ARE NOT TO BE SCALED

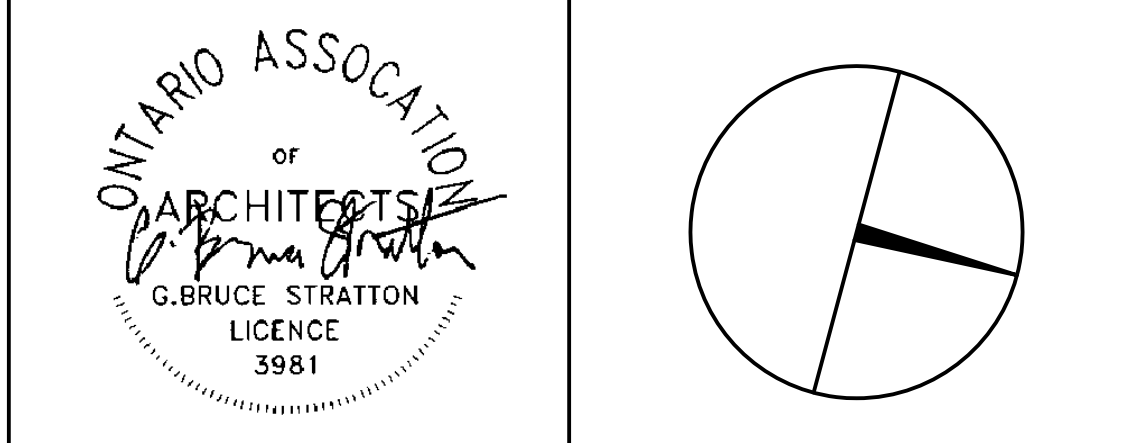
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York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

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TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

SCOPE OF WORK
AREA 'D'

SHEET NUMBER:

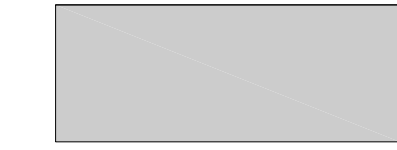
A002 D



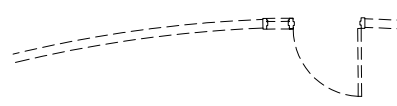
- GENERAL DEMOLITION NOTES
1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
 2. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #3' ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TARPIS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
 3. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
 4. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE
 5. CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERING TO AN OPEN POSITION, CAREFULLY TIE THEM TOGETHER AND WRAP IN POLYTARP
 6. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
 7. GC TO PROVIDE 2HR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GC TO ALLOW FOR UP TO 428 100MM WIDE FLOOR SLAB PENETRATIONS RELATED TO REMOVAL OF FAN COIL UNITS. REFER TO STRUCTURAL ENGINEERS DWGS (D1/S100) FOR TYPICAL FIRESTOP DETAIL
 8. GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF SECOND FLOOR GYPSUM BULKHEAD CEILING WHERE 104 FAN COIL UNITS ARE BEING REMOVED FROM THE 3RD FLOOR AND CAPPED OFF IN THE SECOND FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
 9. REFER TO A502 FOR FULL EXTENT OF CARPET REMOVAL IN COMMON AREA.

LEGEND:

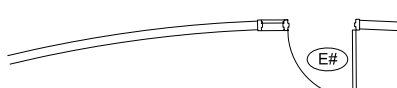
■ DENOTES AREA OUTSIDE THE CURRENT SCOPE



EXISTING GYPSUM WALLS & BAFFLING ABOVE, DOORS & SIDELIGHTS AND FRAMES TO BE REMOVED. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE



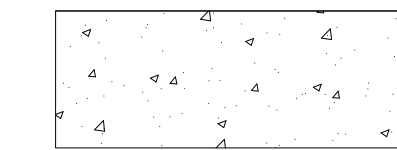
EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN



EXISTING WALLS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN



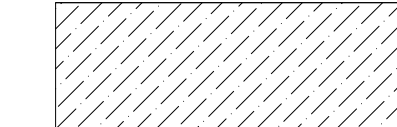
EXISTING CONCRETE FLOOR TO REMAIN. ENSURE SURFACE IS CLEAN WITH NO ADHESIVE AND/OR NO UNDERLINING FINISHES AND READY TO RECEIVE NEW FLOOR MATERIAL



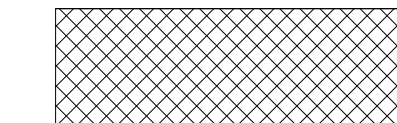
EXISTING CARPET TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL



EXISTING VINYL FLOORING TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL



EXISTING PORCELAIN TILE FLOOR TO BE REMOVED INCLUDING GROUT TO EXPOSE FLOOR SLAB. PREP FLOOR TO RECEIVE NEW FINISH



EXISTING FLOOR TO REMAIN



KEYNOTES:

①

REMOVE EXISTING GYPSUM WALL FIN AND GLAZING. PATCH/REPAIR WALL, MAKE GOOD TO RECEIVE NEW FINISH. GC TO ALLOW FOR A LIFT FROM THE INSIDE PERIMETER/ATRIUM WHERE ACCESS TO THE THIRD STORY IS REQUIRED FOR CAULKING IN BETWEEN THE GLAZING AFTER FIN IS REMOVED

②

REMOVE EXISTING KITCHENETTE INCLUDING UPPER AND LOWER MILLWORK CABINETS AND PLUMBING FIXTURES. REFER TO ENGINEERS DRAWINGS FOR M&E SPECIFIC DEMOLITION

③

REMOVE EXISTING WASHROOM TOILET AND VANITY, EXISTING PORCELAIN TILE FLOOR, EXISTING PORCELAIN BASE, WALL MIRROR, WALL ACCESSORIES INCLUDING SOAP DISPENSER, LIGHT VALANCE.

④

CUTBACK WALL BY 500MM. PATCH/REPAIR/MAKE GOOD EXISTING PORTION

⑤

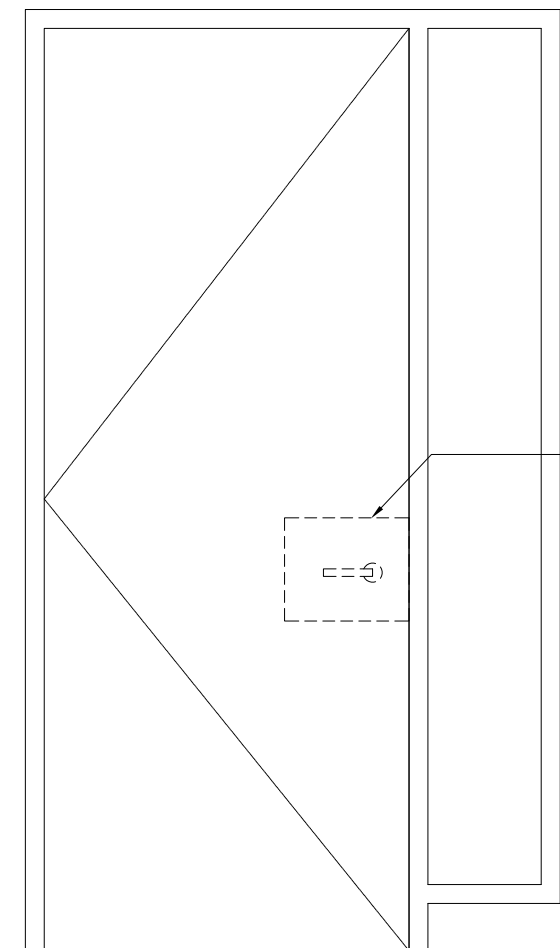
EXISTING FIRE HOSE CABINET TO BE REMOVED AND RELOCATED. REFER TO ENGINEERS DRAWINGS FOR MECHANICAL DIRECTION

⑥

REMOVE EXISTING MILLWORK AND REPLACE WITH NEW TO MATCH FOOTPRINT OF EXIST. NEW MILLWORK COMPLETE WITH ALL NEW FINISHES. PLUMBING/ELECTRICAL TO REMAIN. REPLACE SINK WITH NEW AS PER MECHANICAL SPEC

⑦

FAN COIL REMOVAL. REFER TO MECHANICAL ENGINEER'S DRAWING M-200 & M-201 FOR EXTENT OF REMOVAL. ALLOW FOR EXTENSIVE PATCH/REPAIR OF 2ND FLOOR CEILING WHERE PARTIAL REMOVAL OF GYPSUM CEILING IS REQUIRED TO ALLOW FOR CAPPING-OFF OF PIPES TIED TO 3RD FLOOR FAN COILS BEING REMOVED



KEEP ALL HARDWARE
GC TO CUTOUT ALL EXISTING DOOR
LEVERS AND RELOCATE TO CLIENT'S
ON SITE STORAGE AREA

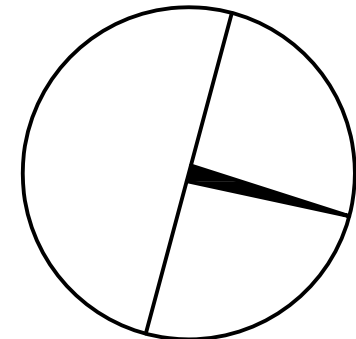
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SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

DEMOLITION PLAN
AREA 'A'

SHEET NUMBER:

A100

1

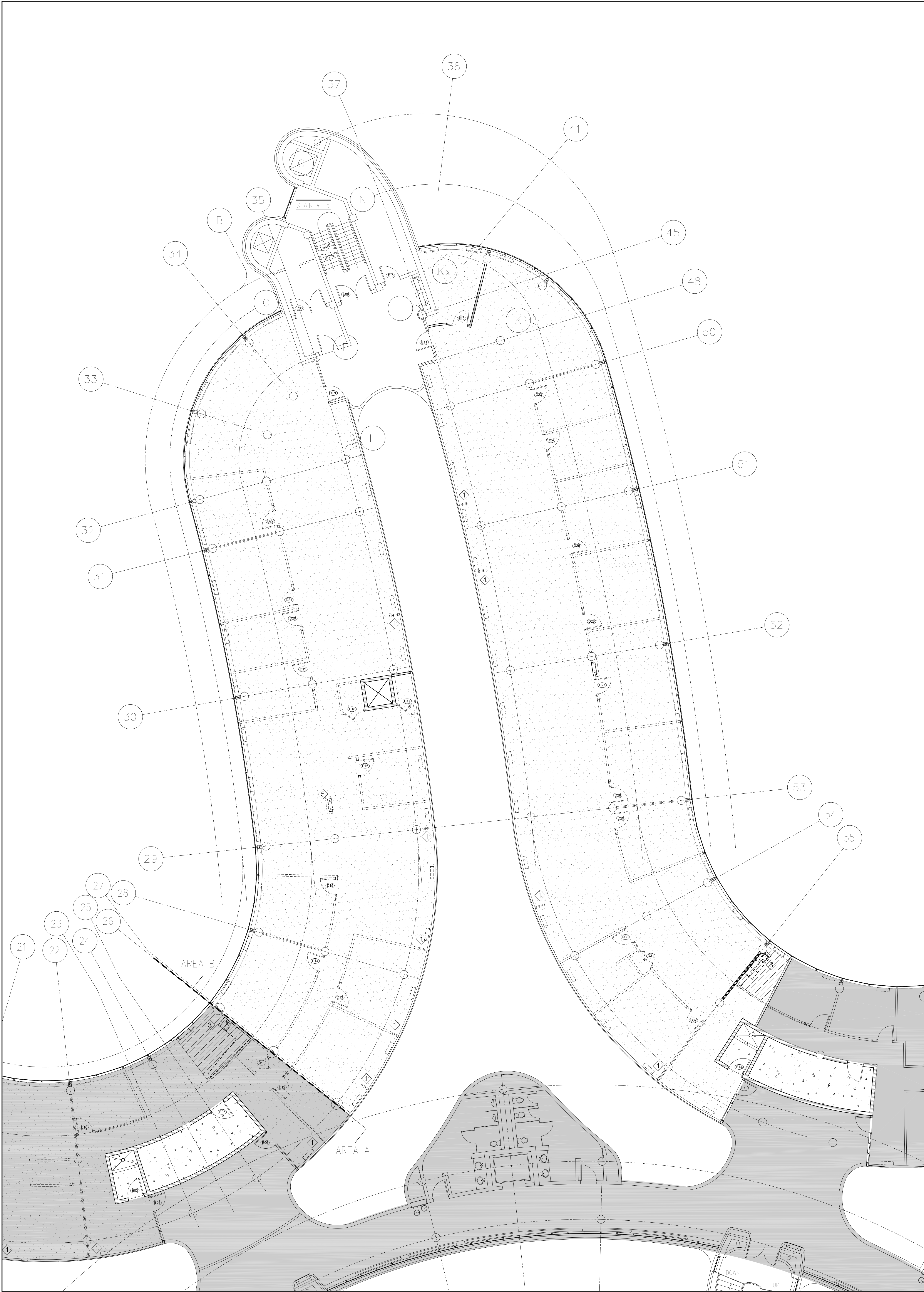
A100

DEMOLITION: 3RD FLOOR AREA 'A'
SCALE: 1:100

2

A100

DEMOLITION: RETAIN DOOR HARDWARE
SCALE: NTS



1
A101 DEMOLITION: 3RD FLOOR AREA 'B'
SCALE: 1:100

GENERAL DEMOLITION NOTES

- TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
- CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #3 ONLY. GC TO INFORM YORK REGION PM WHERE ELEVATOR TARPS ARE NEEDED FOR ELEVATOR #3. PROVIDE 48-HOURS NOTICE
- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
- PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE
- CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERING TO AN OPEN POSITION. CAREFULLY TIE THEM TOGETHER AND WRAP IN POLYTARP.
- ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
- GC TO PROVIDE 2HR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GC TO ALLOW FOR UP TO 428 100MM WIDE FLOOR SLAB PENETRATIONS RELATED TO REMOVAL OF FAN COIL UNITS. REFER TO STRUCTURAL ENGINEERS DWGS (D1/S100) FOR TYPICAL FIRESTOP DETAIL
- GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF SECOND FLOOR GYPSUM BULKHEAD CEILING WHERE 104 FAN COIL UNITS ARE BEING REMOVED FROM THE 3RD FLOOR AND CAPPED OFF IN THE SECOND FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
- REFER TO A502 FOR FULL EXTENT OF CARPET REMOVAL IN COMMON AREA.

LEGEND:

DENOTES AREA OUTSIDE THE CURRENT SCOPE

EXISTING GYPSUM WALLS & BAFFLING ABOVE, DOORS & SIDELIGHTS AND FRAMES TO BE REMOVED. PROVIDE WASTE DIVERSION RECEIPTS TO PM DEMONSTRATING DESTINATION AND VOLUME OF ALL WASTE DIVERTED FROM LANDFILL FOR REUSE/RECYCLE

EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

EXISTING WALLS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

EXISTING CONCRETE FLOOR TO REMAIN. ENSURE SURFACE IS CLEAN WITH NO ADHESIVE AND/OR NO UNDERLINING FINISHES AND READY TO RECEIVE NEW FLOOR MATERIAL

EXISTING CARPET TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL

EXISTING VINYL FLOORING TO BE REMOVED TO SLAB INCLUDING ALL GLUE RESIDUE. ENSURE SURFACE IS CLEAN AND READY TO RECEIVE NEW FLOOR MATERIAL

EXISTING PORCELAIN TILE FLOOR TO BE REMOVED INCLUDING GROUT TO EXPOSE FLOOR SLAB. PREP FLOOR TO RECEIVE NEW FINISH

EXISTING FLOOR TO REMAIN

KEYNOTES:

1

REMOVE EXISTING GYPSUM WALL FIN AND GLAZING. PATCH/REPAIR WALL, MAKE GOOD TO RECEIVE NEW FINISH. GC TO ALLOW FOR A LIFT FROM THE INSIDE PERIMETER/ATRIUM WHERE ACCESS TO THE THIRD STORY IS REQUIRED FOR CAULKING IN BETWEEN THE GLAZING AFTER FIN IS REMOVED

2

REMOVE EXISTING KITCHENETTE INCLUDING UPPER AND LOWER MILLWORK CABINETS AND PLUMBING FIXTURES. REFER TO ENGINEER'S DRAWINGS FOR M&E SPECIFIC DEMOLITION

3

REMOVE EXISTING WASHROOM TOILET AND VANITY. EXISTING PORCELAIN TILE FLOOR. EXISTING PORCELAIN BASE. WALL MIRROR. WALL ACCESSORIES INCLUDING SOAP DISPENSER, LIGHT VALANCE.

4

CUTBACK WALL BY 500MM. PATCH/REPAIR/MAKE GOOD EXISTING PORTION

5

EXISTING FIRE HOSE CABINET TO BE REMOVED AND RELOCATED. REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL DIRECTION

6

REMOVE EXISTING MILLWORK AND REPLACE WITH NEW TO MATCH FOOTPRINT OF EXIST. NEW MILLWORK COMPLETE WITH ALL NEW FINISHES. PLUMBING/ELECTRICAL TO REMAIN. REPLACE SINK WITH NEW AS PER MECHANICAL SPEC

FAN COIL REMOVAL. REFER TO MECHANICAL ENGINEER'S DRAWING M-200 & M-201 FOR EXTENT OF REMOVAL. ALLOW FOR EXTENSIVE PATCH/REPAIR OF 2ND FLOOR CEILING WHERE PARTIAL REMOVAL OF GYPSUM CEILING IS REQUIRED TO ALLOW FOR CAPPING-OFF OF PIPES TIED TO 3RD FLOOR FAN COILS BEING REMOVED

KEEP ALL HARDWARE
GC TO CUTOFF ALL EXISTING DOOR
LEVERS AND RELOCATE TO CLIENT'S
ON SITE STORAGE AREA

2
A101 DEMOLITION: RETAIN DOOR HARDWARE
SCALE: NTS

GENERAL NOTES:

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2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT
4	11-12-2020	ISSUED FOR TENDER

G.Bruce Stratton Architects

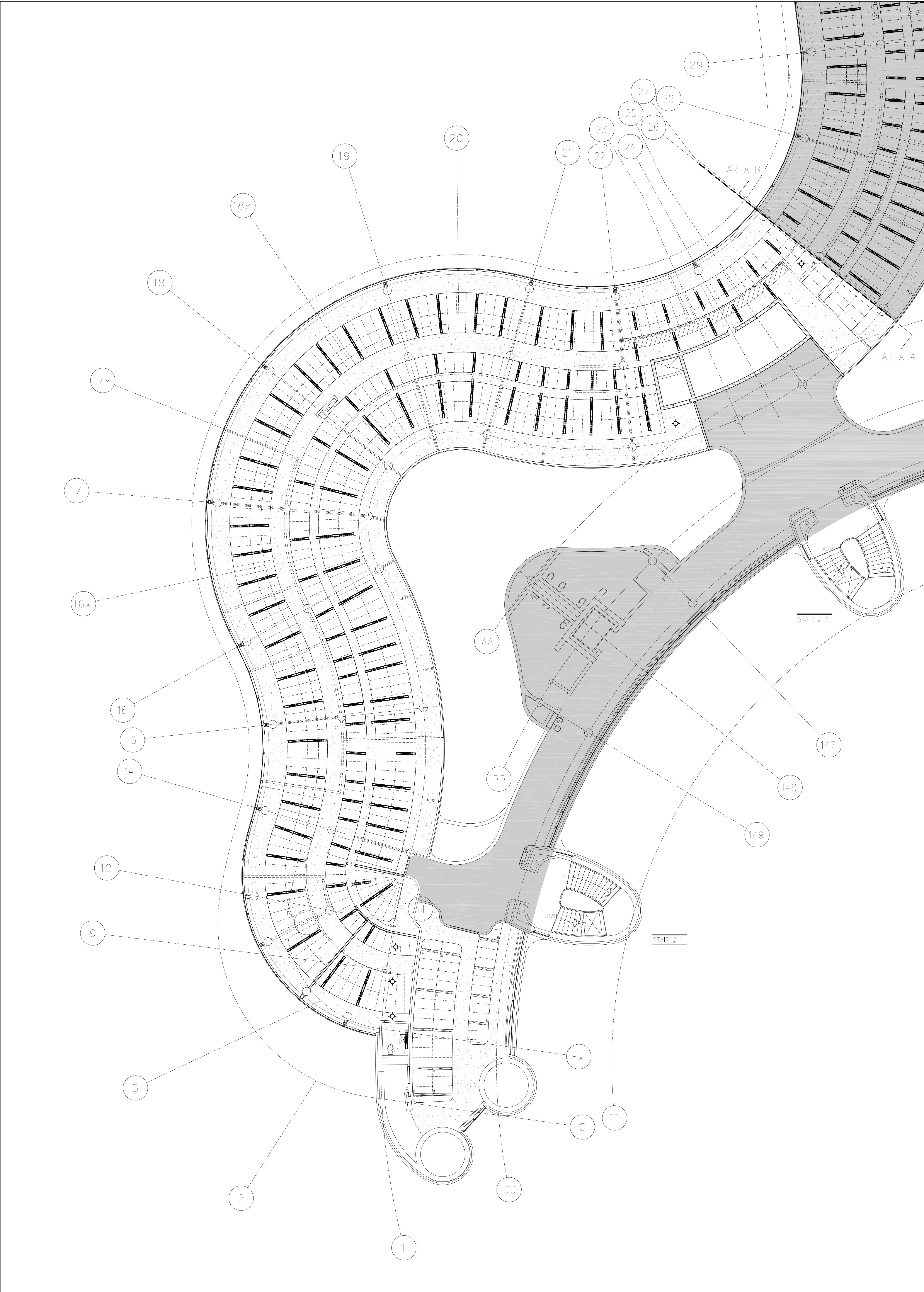
217 Richmond Street West, Suite 300
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telephone: 416.351.8145
facsimile: 416.351.8146

ONTARIO ASSOCIATION
OF
ARCHITECTS
G. BRUCE STRATTON
LICENCE
3981

York Region

PROPERTY SERVICES

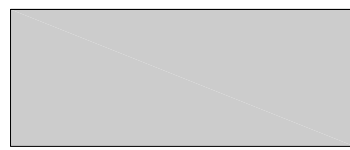
DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	TENDER NO.: T-19-349
	YORK REGION Administrative Centre 17250 Yonge Street Newmarket, Ontario
SCALE: AS SHOWN	
DRAWN BY: SK	
SUBMITTED TO: MUNICIPALITY OF YORK	
SHEET TITLE:	DEMOLITION PLAN AREA 'B'
SHEET NUMBER:	A101



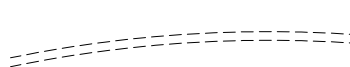
GENERAL CEILING DEMOLITION NOTES

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6. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
8. GC TO ALLOW FOR EXTENSIVE PATCH/REPAIR OF SECOND FLOOR GYPSUM BULKHEAD CEILING WHERE 104 FAN COIL UNITS ARE BEING REMOVED FROM THE 3RD FLOOR AND CAPPED OFF IN THE SECOND FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
9. GC TO ALLOW FOR ALL NECESSARY PATCH/REPAIR OF GYPSUM CEILING WHERE POT LIGHTS ARE BEING REMOVED

LEGEND:



DENOTES AREA OUTSIDE THE CURRENT SCOPE



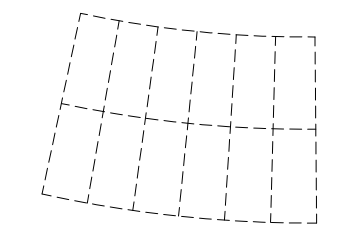
EXISTING WALLS TO REMAIN



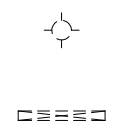
EXISTING WALLS TO REMAIN



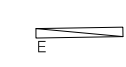
EXISTING WALLS TO REMAIN



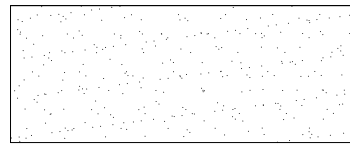
EXISTING ACOUSTIC CEILING TO BE REMOVED. REFER TO ENGINEER'S DRAWINGS FOR EXTENT OF DEMOLITION AS IT RELATES TO LIGHTING, HVAC AND LIFE SAFETY



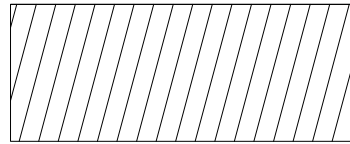
LIGHTING DEMOLITION. GC TO ALLOW FOR ALL NECESSARY PATCH/REPAIR OF GYPSUM CEILING WHERE POT LIGHTS ARE BEING REMOVED



EXISTING LIGHTS SHOWN IN MEETING ROOM TO REMAIN. REMOVE EXISTING LENSES AND REPLACE WITH NEW TO MATCH NEW LIGHTS IN ADJACENT SPACE



EXISTING GYPSUM CEILING TO REMAIN



EXISTING GYPSUM CEILING TO BE REMOVED



EXISTING EXPOSED CEILING TO REMAIN

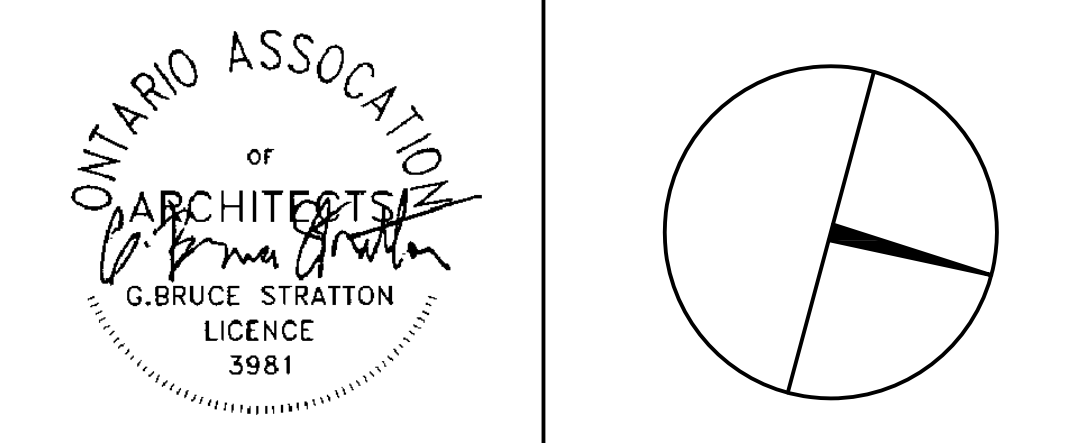
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G.Bruce Stratton Architects

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York Region
PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

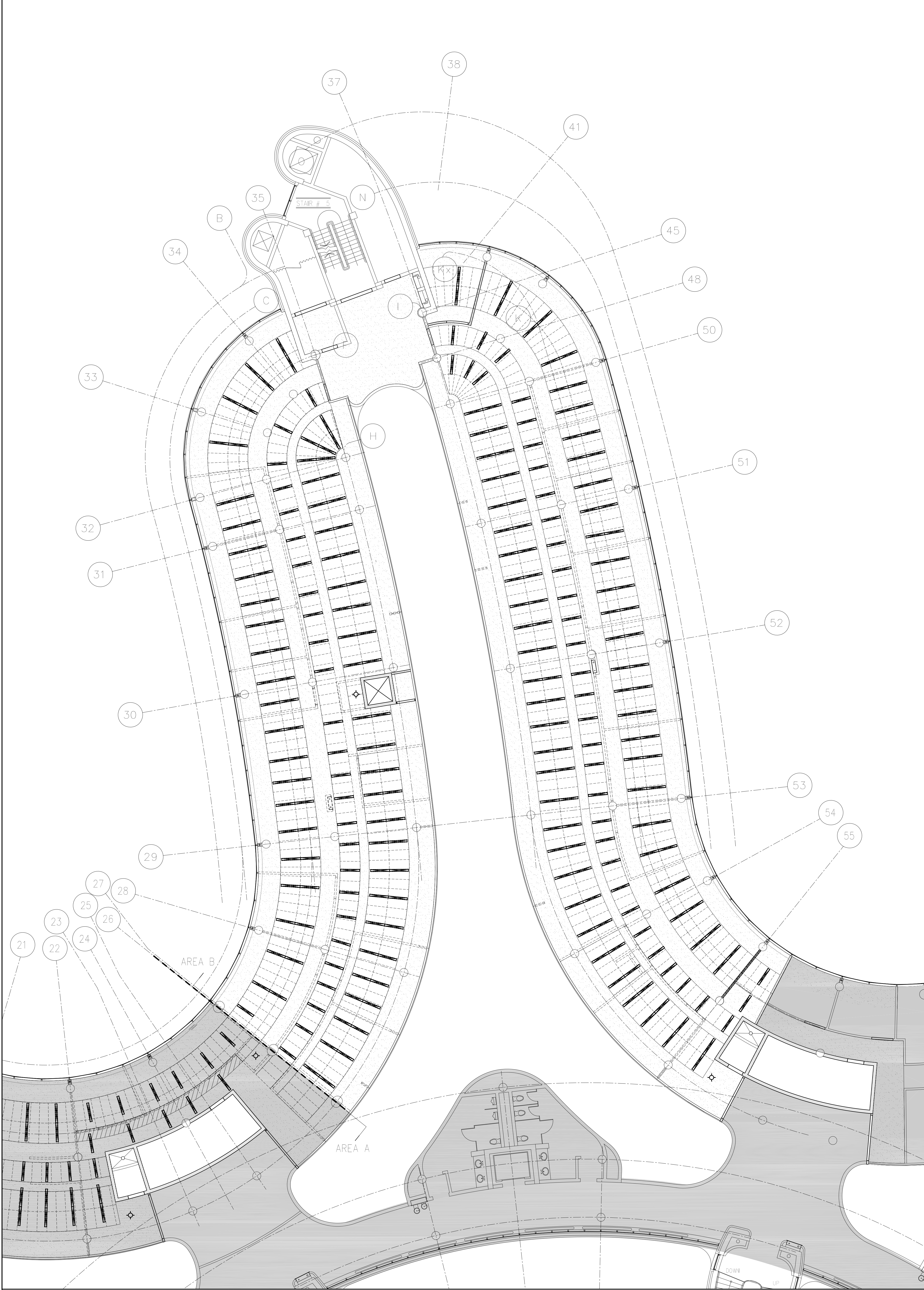
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**CEILING DEMOLITION
AREA 'A'**

SHEET NUMBER:

A102


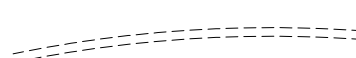


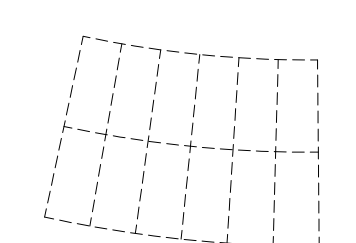
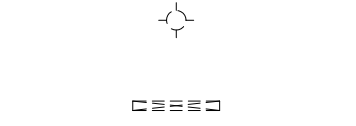
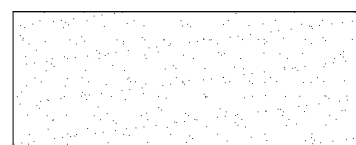
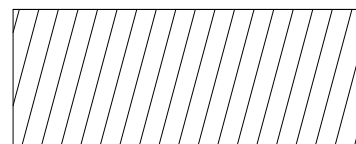



1
A103 CEILING DEMOLITION: 3RD FLOOR AREA 'B'
SCALE: 1:100

GENERAL CEILING DEMOLITION NOTES

1. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
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6. ALL EXISTING CONCRETE WALLS/STRUCTURAL COLUMNS TO REMAIN
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9. GC TO ALLOW FOR ALL NECESSARY PATCH/REPAIR OF GYPSUM CEILING WHERE POT LIGHTS ARE BEING REMOVED

LEGEND:

-  DENOTES AREA OUTSIDE THE CURRENT SCOPE
-  EXISTING WALLS TO REMAIN
-  EXISTING WALLS TO REMAIN
-  EXISTING WALLS TO REMAIN
-  EXISTING ACOUSTIC CEILING TO BE REMOVED. REFER TO ENGINEER'S DRAWINGS FOR EXTENT OF DEMOLITION AS IT RELATES TO LIGHTING, HVAC AND LIFE SAFETY
-  LIGHTING DEMOLITION. GC TO ALLOW FOR ALL NECESSARY PATCH/REPAIR OF GYPSUM CEILING WHERE POT LIGHTS ARE BEING REMOVED
-  EXISTING GYPSUM CEILING TO REMAIN
-  EXISTING GYPSUM CEILING TO BE REMOVED
-  EXISTING EXPOSED CEILING TO REMAIN

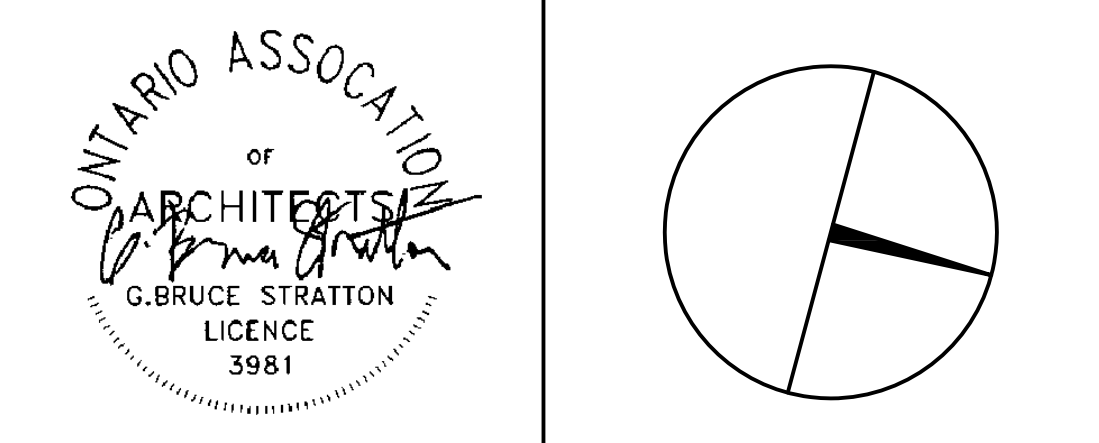
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York Region
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FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

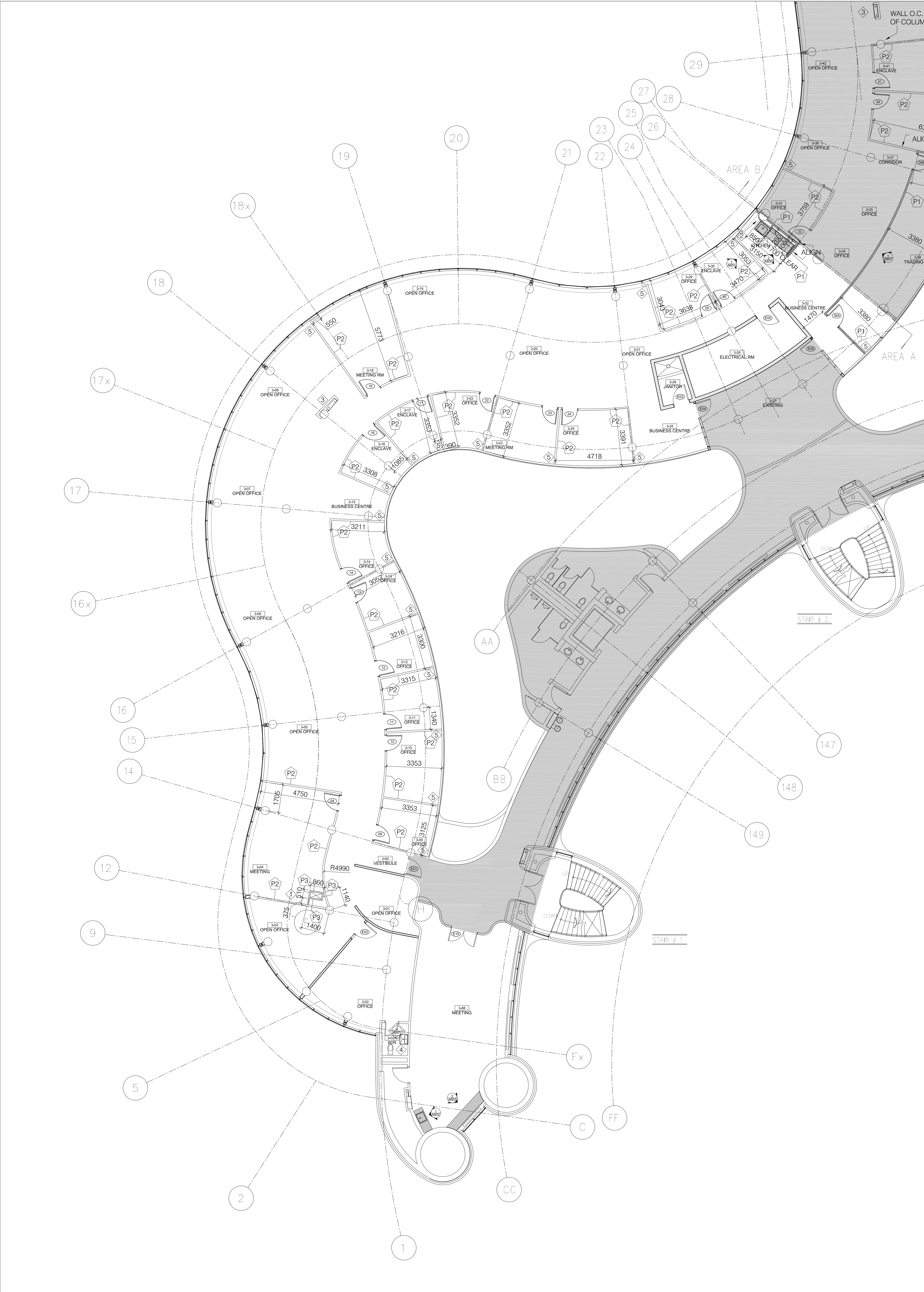
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

CEILING DEMOLITION
AREA 'B'

SHEET NUMBER:

A103



1 PARTITION PLAN: 3RD FLOOR AREA 'A'
A200 SCALE: 1:100

GENERAL PARTITION NOTES

- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
- CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERINGS TO AN OPEN POSITION, CAREFULLY TIE THEM TOGETHER AND WRAP IN POLYTARP.
- ALL EXISTING CONCRETE WALLS TO REMAIN
- GC TO PROVIDE 2HR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GC TO ALLOW FOR UP TO 428 100MM WIDE FLOOR SLAB PENETRATIONS RELATED TO REMOVAL OF FAN COIL UNITS. REFER TO STRUCTURAL ENGINEERS DWGS (D1/S100) FOR TYPICAL FIRESSTOP DETAIL
- GC TO ALLOW FOR EXTENSIVE PATCH/SAND/PAINT OF SECOND FLOOR GYPSUM BULKHEAD CEILING WHERE 104 FAN COIL UNITS ARE BEING REMOVED FROM THE 3RD FLOOR AND CAPPED OFF IN THE SECOND FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
- GC TO CHALKLINE ALL NEW TEKNION FURNITURE WALLS FOR SIGNOFF BY YORK REGION PRIOR TO THE INSTALL OF RIGID BATT INSULATION IN PLENUM SPACE
- GC TO CHALKLINE ALL NEW GYPSUM WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL
- REFER TO 2/A601 FOR TYPICAL INFILL DETAIL WHERE ALL NEW WALLS MEET GLAZING
- REFER TO DOOR HARDWARE SCHEDULE ON A601 DRAWING

LEGEND:



DENOTES AREA OUTSIDE OF CURRENT SCOPE



EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN



EXISTING WALLS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN



P-1 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO 150MM PAST FINISHED CEILING (3150 RATING 45 - UL1407). GYP WALL C/W 12MM GYP ON BOTH SIDES OF 90MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY. INFILL WALL CAVITY WITH INSULATION BATTS FULL HEIGHT OF WALL. PROVIDE 50MM RIGID INSULATION BATTS C/W FOIL BOTH SIDES FROM 150MM ABOVE FINISHED CEILING TO U/S OF CONCRETE SLAB ABOVE. ALL BAFFLE JOINTS TO BE TAPED. FRICTION FIT W/ FSK



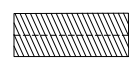
P-2 PARTITION TYPE DENOTES NEW ALTOS WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING. NEW ALTOS WALL SUPPLIED BY CLIENT INSTALLED BY GC. GC TO CARRY PRE-QUALIFIED ALTOS INSTALLER. PROVIDE 50MM RIGID INSULATION BATTS C/W FOIL BOTH SIDES FROM ABOVE FINISHED CEILING TO U/S OF CONCRETE SLAB ABOVE. ALL BAFFLE JOINTS TO BE TAPED. FRICTION FIT W/ FSK



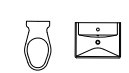
**GC'S PRE-QUALIFIED FURNITURE INSTALLER TO CONSULT WITH CLIENT FOR EXACT PLACEMENT OF ALTOS WALLS. DO NOT REFERENCE ARCHITECTURAL DRAWINGS ALONE FOR PRECISE LAYOUT WITHOUT CLIENT INPUT



P-3 NEW 1-HOUR SHAFT WALL ASSEMBLY (UL U415/STC 45) FROM FLOOR SLAB TO CONCRETE SLAB ABOVE. ASSEMBLY C/W 25MM THICK GYPSUM LINEAR PANEL (UL TYPE SLX) GYPSUM ON ONE SIDE OF 50MM CH STUDS, 20ga. MSG., SPACED 400MM O.C. AND 16MM THICK GYPSUM BOARD (UL TYPE SCX) INFILL WALL CAVITY WITH 38MM GLASS FIBRE BATT INSULATION FULL HEIGHT OF WALL.



NEW MILLWORK



WASHROOM 3-02A: REFER TO MECHANICAL ENGINEERS DRAWINGS FOR WASHROOM FIXTURE SPECS

KEYNOTES:



GC TO CHALK-LINE THE SHAFT LOCATIONS ON SITE FOR REVIEW BY PM, ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO CUTTING SLAB. DO NOT PROCEED WITH CUTTING OF SLAB UNTIL WRITTEN INSTRUCTION IS PROVIDED BY PRIME CONSULTANT



FUR WALL AT THIS LOCATION TO MAKE SEAMLESS TRANSITION FROM BUILT-OUT PORTION TO COLUMN.



ROTATE FIRE HOSE CABINET. MODIFY EXISTING CABINET AND ASSOCIATED PIPING TO SUIT NEW FIRE HOSE CABINET ORIENTATION. RECONSTRUCT FIRE HOSE CABINET SURROUND. ALLOW FOR PREP/PATCH/PAINT ALL GYPSUM WALLS



WASHROOM 3-02A: GC TO SUPPLY/INSTALL BACK-LIT MIRROR BY LUMIDESIGN (24"x48") 'KELLY'. CONTACT 905.597.5988



ALLOW FOR GAP INFILL WHERE TEKNION WALLS MEET INSIDE PERIMETER WALL. REFER TO DETAIL 2/A601

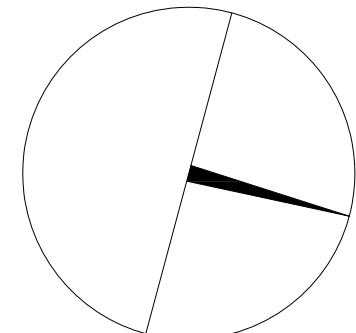
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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
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YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTITION PLAN
AREA 'A'

SHEET NUMBER:

A200



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5. GC TO ALLOW FOR EXTENSIVE PATCHES/AND/PAINT OF SECOND FLOOR GYPSUM BULKHEAD CEILING WHERE 104 FAN COIL UNITS ARE BEING REMOVED FROM THE 3RD FLOOR AND CAPPED OFF IN THE SECOND FLOOR CEILING SPACE. REFER TO A100 & A101 AND M200 & M201 FOR EXTENT OF MECHANICAL DEMOLITION
6. GC TO CHALKLINE ALL NEW GYPSUM WALLS FOR SIGNOFF BY YORK REGION PRIOR TO THE INSTALL OF RIGID BATT INSULATION IN PLENUM SPACE
7. GC TO CHALKLINE ALL NEW GYPSUM WALLS FOR ARCHITECT REVIEW PRIOR TO INSTALL
8. REFER TO 2/601 FOR TYPICAL INFILL DETAIL WHERE ALL NEW WALLS MEET GLAZING
9. REFER TO DOOR HARDWARE SCHEDULE ON A601 DRAWING

ALLOW FOR GAP INFILL WHERE TEKNION WALLS MEET INSIDE PERIMETER WALL. REFER TO
DETAIL 2/A601

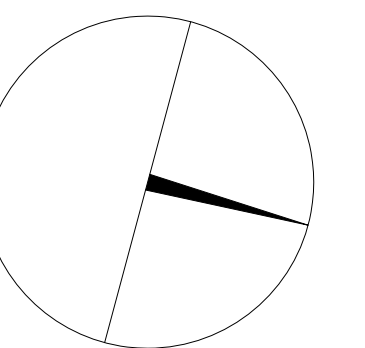


GENERAL NOTES:

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2. DRAWINGS ARE NOT TO BE SCALED
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4. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF YORK REGION. IF AS SUCH, THEY ARE NOT INTENDED FOR USE ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT SPECIFIED

SUBMISSION	DATE	DESCRIPTION
1	03-20-2020	ISSUED FOR 60% REVIEW
2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT
4	11-12-2020	ISSUED FOR TENDER

217 Richmond Street West, Suite 300
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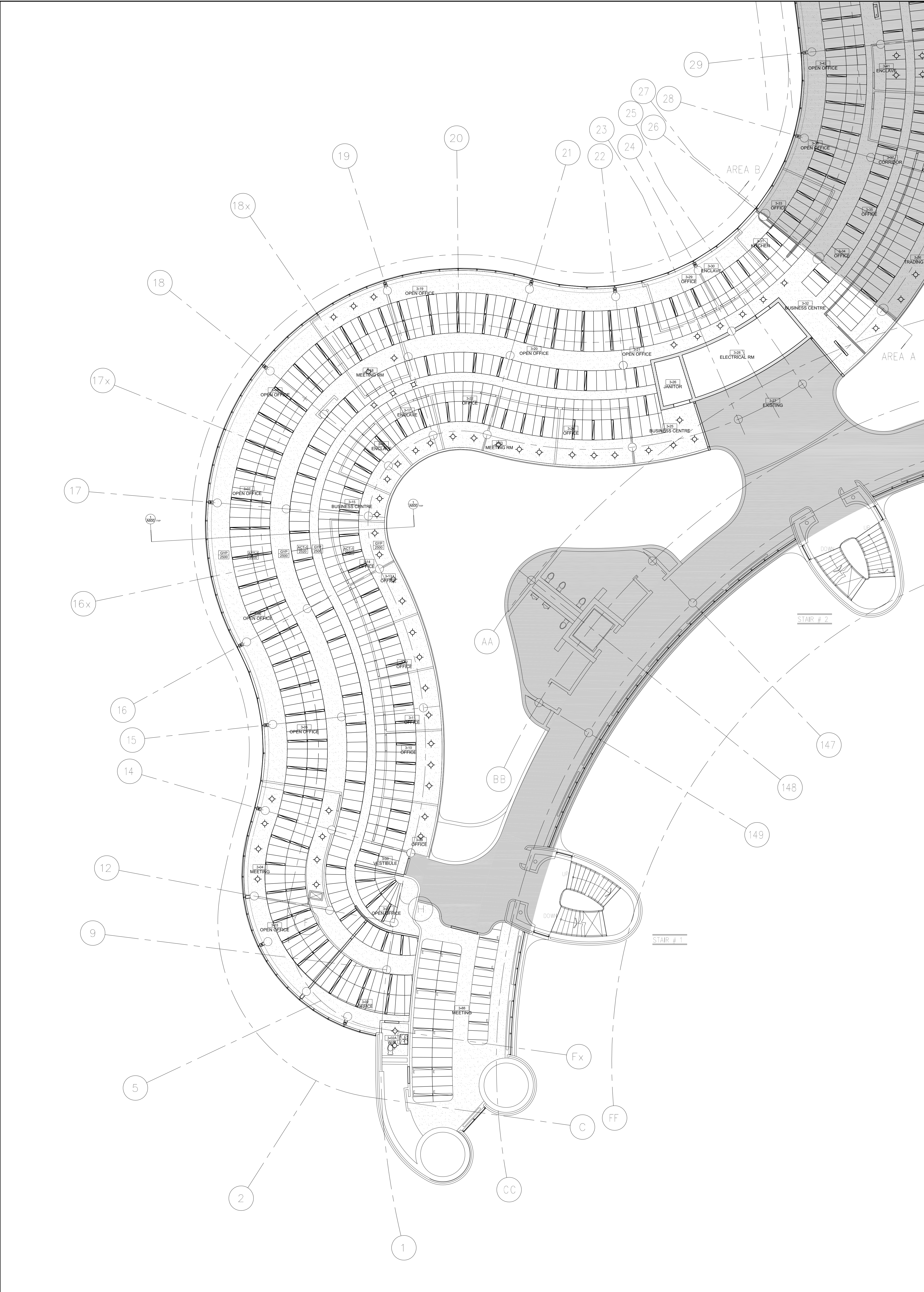
PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

PARTITION PLAN AREA 'B'

A201



GENERAL NOTES_RCP

- HEIGHT TO U/S OF CONCRETE SLAB 3300
- CONSULT WITH THE ARCHITECT WHERE AMBIGUITY EXISTS BETWEEN THE DRAWINGS AND SITE CONDITIONS
- GC TO COMMUNICATE WITH ARCHITECT, THE CEILING DESIGN INTENT PRIOR TO SUPPLY/INSTALL
- ARCHITECT TO APPROVE GRID LAYOUT PRIOR TO INSTALLATION OF ACOUSTIC CEILING TILE
- PATCH, REPAIR, PAINT ALL EXISTING BULKHEADS AND GYPSUM CEILINGS THROUGHOUT THE SCOPE OF WORK THAT HAVE BEEN DAMAGED AS A RESULT OF A PRIOR DEMOLITION PROJECT
- EXISTING BULKHEADS TO BE REPAIRED HAVE A 300MM EDGE TO BE INCLUDED IN PATCH/REPAIR/PAINT WORK
- ALL DIFFUSERS TO BE CUSTOM FRAMED WITH T-BAR GRID AND FIT WITHIN THE ITS RESPECTIVE LOCATION AS SHOWN ON PLAN
- FINAL CEILING GRID PATTERN TO BE COORDINATED WITH CONSULTANT ON SITE
- CONSULTANT SIGN-OFF ON GRID PATTERN DESIGN PRIOR TO SUPPLY/INSTALL OF T-BAR GRID
- CONSULTANT SIGN-OFF ON GRID LAYOUT PRIOR TO SUPPLY/INSTALL OF ACOUSTIC CEILING TILE
- CONTRACTOR TO PROVIDE A MOCK-UP SECTION OF T-BAR CEILING WITH DUCTWORK AND LIGHT FIXTURES INSTALLED TO ENSURE ALL EQUIPMENT ABOVE T-BAR CEILING FITS. GENERAL CONTRACTOR TO BEAR ALL COSTS IF MODIFICATIONS OF THE CEILING ARE REQUIRED
- PRIOR TO COMMENCING THE INSTALL OF THE NEW T-BAR CEILING GC IS TO SITE VERIFY THAT THE PLENUM SPACE IS HIGH ENOUGH TO ACCOMMODATE THE NEW MECHANICAL/ELECTRICAL SERVICES LOCATED IN PLENUM SPACE. GC TO CREATE 'MOCK-UP' AND DEMONSTRATE TO CLIENT REQUIRED CLEARANCE SPACE IN PLENUM CAN BE ACHIEVED PRIOR TO INSTALL OF DROP CEILING.
- HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF CONCRETE SLAB ABOVE +/-3300MM. GC TO SITE VERIFY PRIOR TO THE START OF WORK
- PATCH/REPAIR/PAINT EXISTING GYPSUM CEILINGS WHERE EXISTING POT LIGHTS ARE BEING REMOVED

LEGEND:

- DENOTES AREA OUTSIDE OF CURRENT SCOPE OF WORK
- DENOTES ROOM NAME/NUMBER
- DENOTES CEILING FINISH TAG
- EXISTING WALLS
- EXISTING WALLS
- P-1 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC
- P-2 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC
- P-3 PARTITION TYPE . REFER TO A200 & A201 FOR SPEC
- ACT1_NEW CUSTOM CUT ACOUSTIC CEILING AND T-BAR GRID. REFER TO SPEC PACKAGE FOR DETAILED SPECIFICATION. NOTE: FOR MEETING SPACE 3-88. CONSULT WITH ARCHITECT ON SITE FOR EXACT PLACEMENT/LAYOUT OF CEILING TILES. RCP SHOWN IS FOR SCHEMATIC AND TENDER PURPOSES
- EXISTING GYPSUM CEILING TO REMAIN. PATCH AND REPAIR/PAINT ALL GYPSUM CEILINGS INCLUDING GYPSUM BULKHEADS THAT HAVE BEEN DAMAGED AS A RESULT OF PRIOR DEMOLITION
- NEW LED LINEAR AND POT. REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR SPEC
- EXISTING LIGHTS SHOWN IN MEETING ROOM 3-88 TO REMAIN. REMOVE EXISTING LENSES AND REPLACE WITH NEW TO MATCH NEW LIGHTS IN ADJACENT SPACE

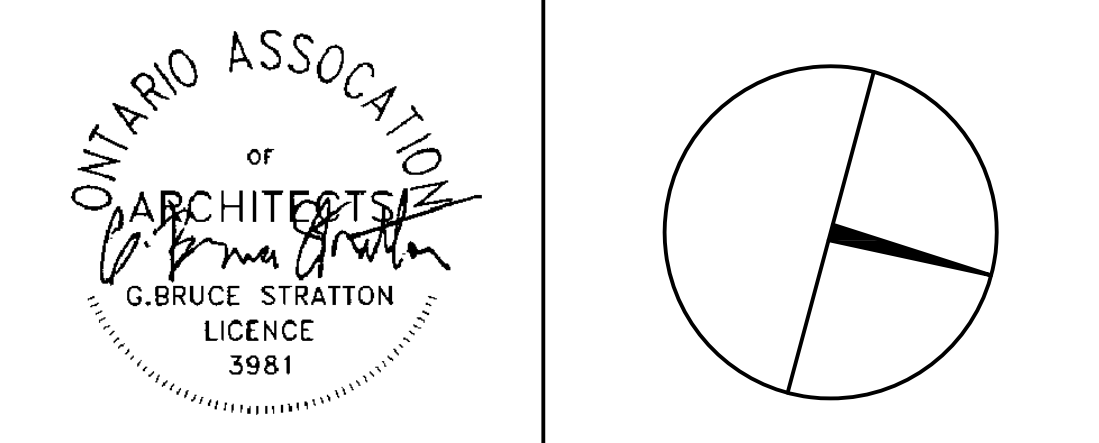
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York Region
PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

TENDER NO.: T-19-349

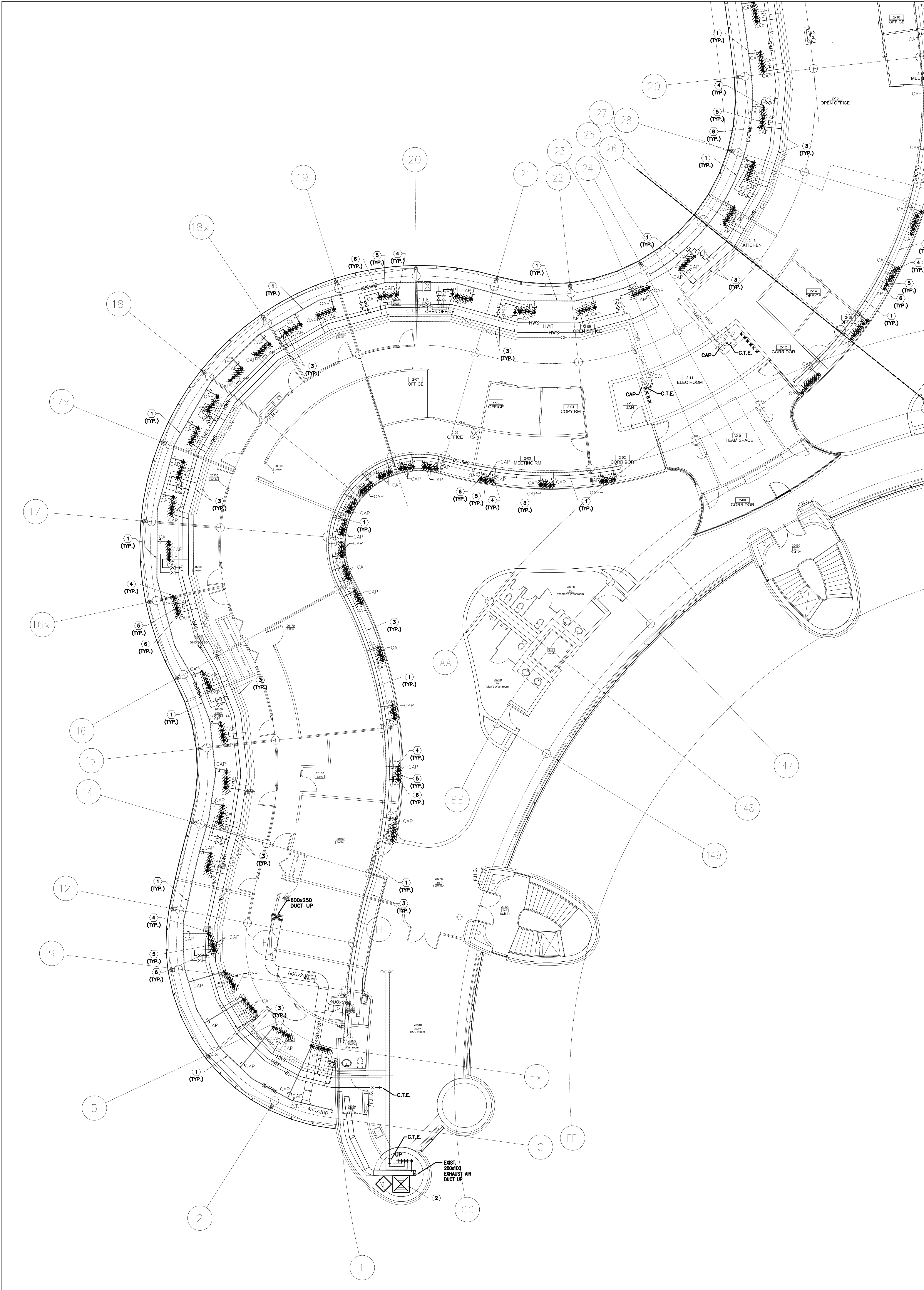
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

**REFLECTED CEILING
3RD FLOOR
PLAN - AREA 'A'**

SHEET NUMBER:
A300

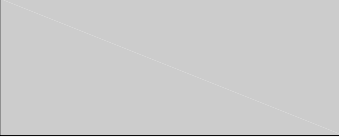


1 REFLECTED CEILING PLAN: 2ND FLOOR AREA 'A'
A302 SCALE: 1:100

GENERAL NOTES_RCP

- CONSULT WITH THE ARCHITECT WHERE AMBIGUITY EXISTS BETWEEN THE DRAWINGS AND SITE CONDITIONS
- HEIGHT FROM FINISHED FLOOR TO UNDERSIDE OF CONCRETE SLAB ABOVE +/-3300MM. GC TO SITE VERIFY PRIOR TO THE START OF WORK
- PATCH/REPAIR CEILING WHERE 2ND FLOOR MECHANICAL WORK INVOLVES ACCESS TO PLENUM FOR WORK TO CUT BACK AND CAP AIR SUPPLY AND WATER SUPPLY
- 'PATCH & REPAIR' INVOLVES REINSTATING GYPSUM BOARD TO MATCH EXIST, MUD, SAND, REPEAT AS NECESSARY, PRIME AND PAINT TWO COATS COLOUR TO MATCH.
- REFER TO A302, A303, M200 & M201 FOR EXTENT OF 2ND FLOOR CEILING DEMOLITION WORK

LEGEND:



DENOTES AREA OUTSIDE OF CURRENT SCOPE OF WORK



DENOTES ROOM NAME/NUMBER



EXISTING WALLS

DRAWING NOTES

- EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.
- EXISTING MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- CUT BACK AND CAP EXISTING OUTDOOR AIR SUPPLY DUCT IN CEILING SPACE OF THIS FLOOR. CONTRACTOR TO CHECK/VERIFY EXACT LOCATION OF DUCTWORK ON SITE. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)
- CUT BACK AND CAP EXISTING CHILLED WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)
- CUT BACK AND CAP EXISTING HEATING WATER SUPPLY AND RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)

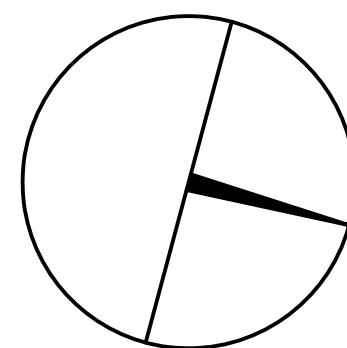
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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

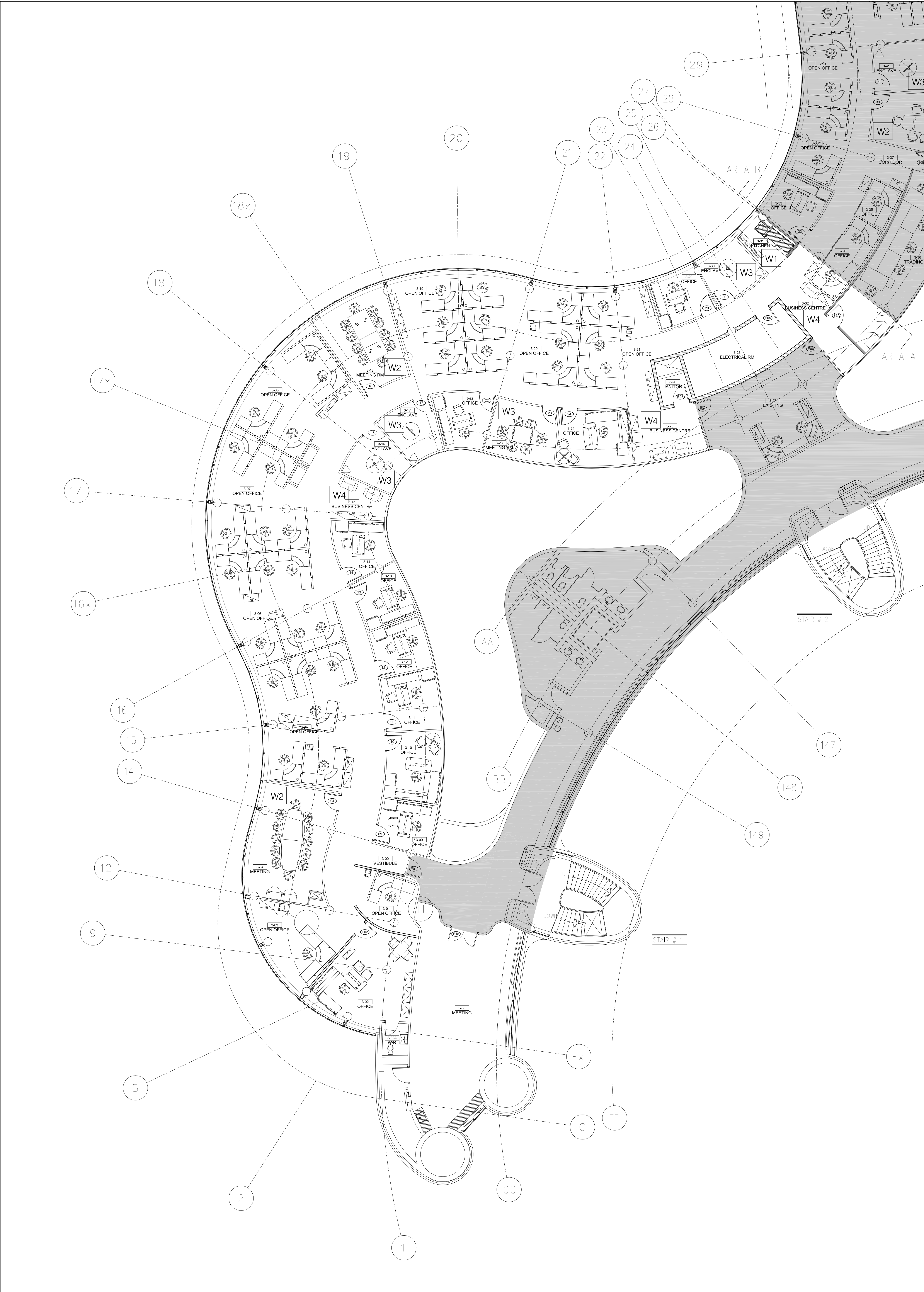
REFLECTED CEILING
2ND FLOOR
PLAN - AREA 'A'

SHEET NUMBER:

A302



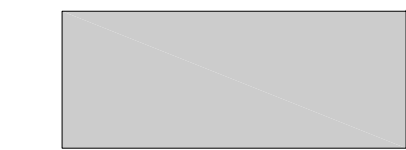
A303



GENERAL NOTES_FURNITURE, POWER SECURITY & COMMUNICATION

- FURNITURE BY OWNER
- A400 & A401 IS FOR LOCATION & COORDINATION PURPOSES ONLY TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS & SPECIFICATIONS
- GC TO REMOVE THOSE BLINDS FROM INTERIOR PERIMETER SIDE THAT INTERFERE WITH INSTALLATION OF NEW ALTOS AND GYPSUM WALLS.
- GC TO SUPPLY/INSTALL NEW FRIDGE & MICROWAVE AS PER SPEC
- GC TO ACCOUNT FOR A 20-DAY WORK SUSPENSION PERIOD FOR THE INSTALLATION OF FURNITURE BY TEKNION FURNITURE INSTALLER. ONCE FURNITURE HAS BEEN INSTALLED GC TO REMOBILIZE AND MAKE ALL NECESSARY DATA CONNECTIONS TO SYSTEMS FURNITURE
- INSTALLATION OF ELECTRICAL RECEPTACLES LOCATED ON ALTOS WALLS TO BE INSTALLED BY TEKNION INSTALLER AND COORDINATED BY GC. FINAL TERMINATION OF ELECTRICAL AND DATA RECEPTACLES BY GENERAL CONTRACTOR
- WHERE ALTOS WALLS ARE INSTALLED, GC TO INSTALL THERMOSTATS ON 12" OF SECTION ON THE LATCH-SIDE OF THE DOOR
- REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FULL SCOPE OF WORK AS IT RELATES TO POWER/VOICE/DATA.
- EXACT LOCATION OF CONNECTRAC FOR MEETING ROOMS TO BE DETERMINED ON SITE WITH PROJECT MANAGER

LEGEND:



DENOTES AREA OUTSIDE THE SCOPE OF WORK

0000

FIN/NAME

DENOTES ROOM NAME/NUMBER

0000

FIN/NAME

DENOTES CEILING FINISH TAG



EXISTING WALLS



EXISTING WALLS



P-1 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC

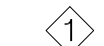


P-2 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC



P-3 PARTITION TYPE . REFER TO A200 & A201 FOR SPEC

KEYNOTES:



REWORK EXISTING METAL SHELVES IN STORAGE ROOM 3-61, 3-62 & 3-64 WHERE THERE IS INTERFERENCE AS A RESULT OF NEW CHILLED WATER SUPPLY PIPE. COORDINATE SHELVING LOCATION WITH YORK REGION

WASTE RECEPTACLES

GC TO SUPPLY/INSTALL WASTE RECEPTACLES AS FOLLOWS

KITCHEN WASTE STATION

W1

- ONE 23 GAL WASTE AND LID/SLIM JIM #3540-60-B & #SP42189
- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189
- ONE 23 GAL ORGANICS AND LID/SLIM JIM #3540-GRN & #SP42189

COMMISSIONER'S BOARDROOM AND LARGE MEETING ROOM

W2

- ONE 23 GAL WASTE AND LID/SLIM JIM #3540-60-B & #SP42189
- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189
- ONE 23 GAL ORGANICS AND LID/SLIM JIM #3540-GRN & #SP42189

SMALL MEETING ROOMS AND ENCLAVES

W3

- ONE SOFT WASTE RECEPTACLE/SWISH #2956-BK
- ONE SOFT RECYCLING RECEPTACLE/SWISH #2956-BLU

BUSINESS CENTRE

W4

- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189

OPEN OFFICE LOCATIONS

W5

- ONE 23 GAL WASTE AND LID/SLIM JIM #3540-60-B & #SP42189
- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189

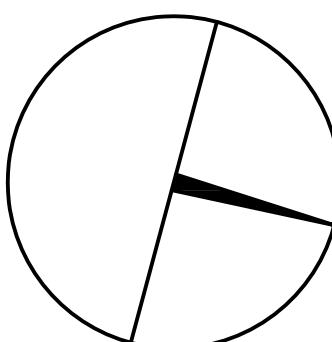
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facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

FURNITURE PLAN
AREA 'A'

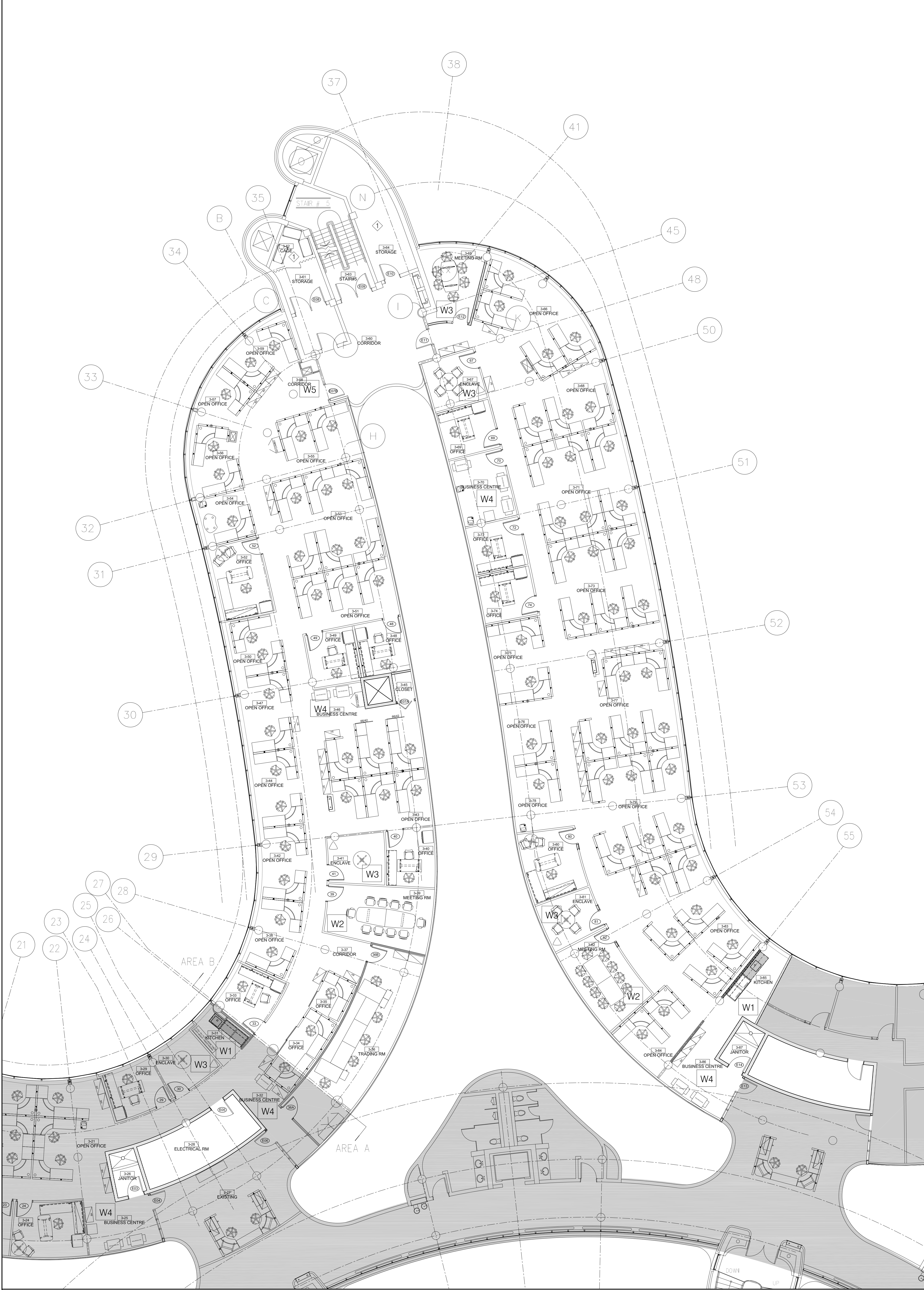
SHEET NUMBER:

A400

1

A400

FURNITURE PLAN: 3RD FLOOR AREA 'A'
SCALE: 1:100

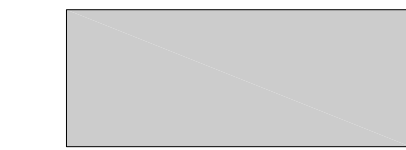


1
A401 FURNITURE PLAN: 3RD FLOOR AREA 'B'
SCALE: 1:100

GENERAL NOTES, FURNITURE, POWER SECURITY & COMMUNICATION

- FURNITURE BY OWNER
- A400 & A401 IS FOR LOCATION & COORDINATION PURPOSES ONLY TO BE READ IN CONJUNCTION WITH ELECTRICAL ENGINEER'S DRAWINGS & SPECIFICATIONS
- GC TO REMOVE THOSE BLINDS FROM INTERIOR PERIMETER SIDE THAT INTERFERE WITH INSTALLATION OF NEW ALTOS AND GYPSUM WALLS.
- GC TO SUPPLY/INSTALL NEW FRIDGE & MICROWAVE AS PER SPEC
- GC TO ACCOUNT FOR A 20-DAY WORK SUSPENSION PERIOD FOR THE INSTALLATION OF FURNITURE BY TEKNION FURNITURE INSTALLER. ONCE FURNITURE HAS BEEN INSTALLED GC TO REMOBILIZE AND MAKE ALL NECESSARY DATA CONNECTIONS TO SYSTEMS FURNITURE
- INSTALLATION OF ELECTRICAL RECEPTACLES LOCATED ON ALTOS WALLS TO BE INSTALLED BY TEKNION INSTALLER AND COORDINATED BY GC. FINAL TERMINATION OF ELECTRICAL AND DATA RECEPTACLES BY GENERAL CONTRACTOR
- WHERE ALTOS WALLS ARE INSTALLED, GC TO INSTALL THERMOSTATS ON 12" OF SECTION ON THE LATCH-SIDE OF THE DOOR
- REFER TO ELECTRICAL ENGINEER'S DRAWINGS FOR FULL SCOPE OF WORK AS IT RELATES TO POWER/VOICE/DATA.
- EXACT LOCATION OF CONNECTRAC FOR MEETING ROOMS TO BE DETERMINED ON SITE WITH PROJECT MANAGER

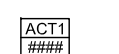
LEGEND:



DENOTES AREA OUTSIDE THE SCOPE OF WORK



DENOTES ROOM NAME/NUMBER



DENOTES CEILING FINISH TAG



EXISTING WALLS



EXISTING WALLS



P-1 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC



P-2 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC



P-3 PARTITION TYPE . REFER TO A200 & A201 FOR SPEC

KEYNOTES:

REWORK EXISTING METAL SHELVES IN STORAGE ROOM 3-61, 3-62 & 3-64 WHERE THERE IS INTERFERENCE AS A RESULT OF NEW CHILLED WATER SUPPLY PIPE. COORDINATE SHELVING LOCATION WITH YORK REGION

WASTE RECEPTACLES

GC TO SUPPLY/INSTALL WASTE RECEPTACLES AS FOLLOWS

KITCHEN WASTE STATION

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- ONE 23 GAL ORGANICS AND LID/SLIM JIM #3540-GRN & #SP42189

SMALL MEETING ROOMS AND ENCLAVES

- ONE SOFT WASTE RECEPTACLE/SWISH #2956-BK
- ONE SOFT RECYCLING RECEPTACLE/SWISH #2956-BLU

BUSINESS CENTRE

- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189

OPEN OFFICE LOCATIONS

- ONE 23 GAL WASTE AND LID/SLIM JIM #3540-60-B & #SP42189
- ONE 23 GAL RECYCLING AND LID/SLIM JIM #3540-BLU & #SP42189

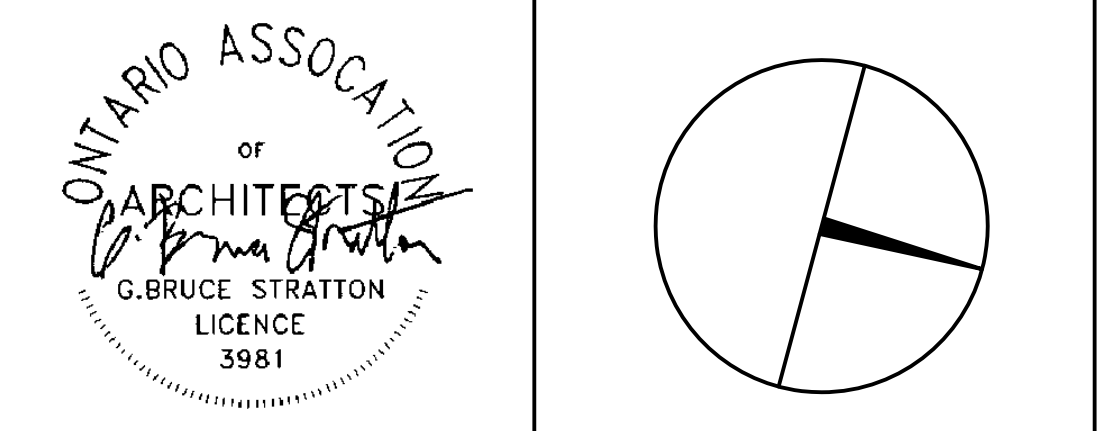
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

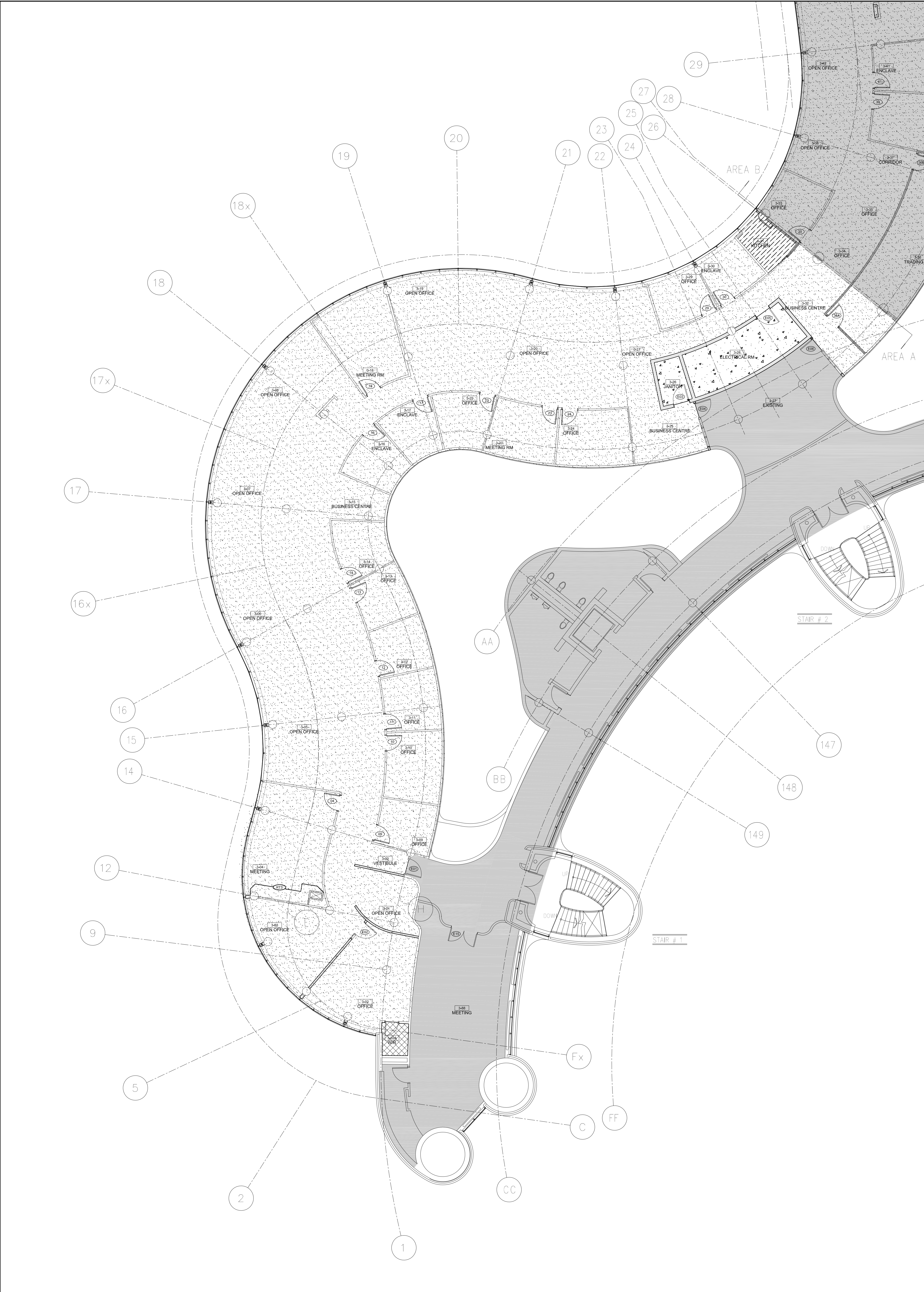
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**FURNITURE PLAN
AREA 'B'**

SHEET NUMBER:

A401

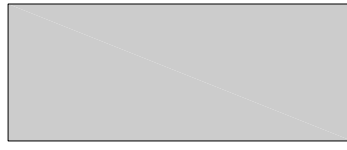

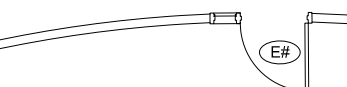



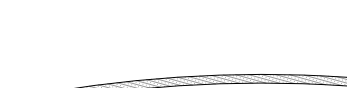
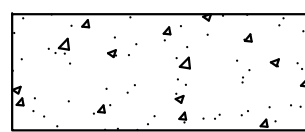

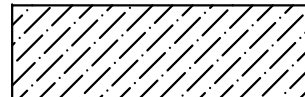
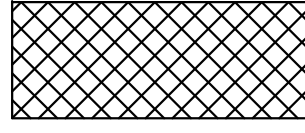






1
A500 FINISHES PLAN: 3RD FLOOR AREA 'A'
SCALE: 1:100

FINISHES NOTES:

- GC TO REMOVE THOSE BUNDS THAT INTERFERE WITH INSTALLATION OF NEW WALLS.
- ALL ADHESIVES, SEALANTS, PAINTS, COATINGS, FLOORING AND WOOD PRODUCTS ARE TO BE LOW-EMITTING AND SHALL MEET THE REQUIREMENTS OF REGION STANDARD SECTION 01 61 00. SHOP DRAWINGS AND/OR PRODUCT DATA SHEETS IDENTIFYING THE PRODUCTS EMISSIONS AND VOC CONTENT SHALL BE SUBMITTED TO THE REGION'S PROJECT MANAGER FOR REVIEW PRIOR TO INSTALLATION OR APPLICATION. PRODUCTS THAT HAVE NOT BEEN APPROVED ARE TO BE REMOVED FROM THE SITE.
- CONTRACTORS MUST PROVIDE SAMPLES/SUBMITTALS (OR PRODUCT CUT SHEET WHERE APPLICABLE) FOR APPROVAL BEFORE PLACING ORDERS. IT SHALL BE THE GC'S RESPONSIBILITY TO ENSURE THIS REQUIREMENT HAS BEEN MET.
- INSPECT CONCRETE SLAB AND EXISTING FLOORING IN ALL AREAS WHERE FLOORING IS TO BE REMOVED, AND REPLACED WITH NEW, AND ALLOW FOR ANY FLOOR PREPARATION THAT MAY BE REQUIRED TO MAKE FLOOR READY TO RECEIVE NEW FINISH. REPAIR, LEVEL AND PROVIDE A SMOOTH TROWEL FINISH AS REQUIRED.
- WHERE VINYL SHEET FLOORING MEETS CARPET, CONTRACTOR TO FEATHER FLOOR WITH THIN SET CEMENT, APPROX. 2'-0".
- WHERE CARPET EDGES MEET PORCELAIN TILE AND OR VINYL FLOOR, SUPPLY AND INSTALL A SS SCHLUTER (SCHIENE) METAL TRANSITION.
- WHERE VINYL FLOORING IS SPECIFIED, AREA TO RECEIVE APPLIED BASE AS SPECIFIED
- ALL NEW FLOORING FINISH CHANGES SHALL OCCUR AT CENTER LINE OF DOOR
- WHERE NEW DOOR OPENING HAS BEEN MADE AT AN EXISTING WALL, EXTEND/PROVIDE NEW OR EXISTING FLOOR FINISH (BOTH SIDES OF OPENING WHERE APPLICABLE) WHICH IS NOTED TO REMAIN, TO CENTER LINE OF DOOR. ALLOW FOR NEW TO MATCH EXISTING. ALL FLOOR FINISH CHANGES MUST OCCUR AT CENTER LINE OF DOOR.
- IT IS THE DESIGN INTENT OF THE PROJECT THAT ALL NEW AND EXISTING GYPSUM WALLS AND ALL EXISTING CONCRETE PARTITIONS TO BE FINISHED WITH PT1 (EXCEPT FOR AREAS WHERE ACCENT PAINTS ARE NOTED OR SHOWN).
- ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS SHALL RECEIVE NEW PAINT FINISH (PT4). ALLOW FOR PATCHING AND SURFACE PREPARATION AND MAKE READY TO RECEIVE NEW PRIMER, AS REQUIRED, AND PAINT FINISH.
- APPLY (1) PRIMER COAT ON ALL NEW AND EXIST GYPSUM WALLS AND ALL EXISTING CONCRETE WALL SURFACES AND (2) FINISH COATS OF PREMIUM QUALITY PAINT
- PROVIDE PAINT DRAW-DOWN SUBMITTALS TO ARCHITECT FOR APPROVAL BEFORE PROCEEDING.
- PAINTING CONTRACTOR TO ENSURE ALL EXISTING AND NEW SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS PRIOR TO APPLICATION OF FINISHES. BY APPLYING FINISH CONTRACTOR ACCEPTS CONDITIONS OF SURFACE. ALLOW FOR PATCHING OR ADVISE GC BEFORE PROCEEDING.
- ALL REVEALS TO RECEIVE PAINT FINISH TO MATCH ADJACENT WALL. FILL ANY GAPS WITH CAULKING (DAF OR EQUIVALENT) BEFORE APPLYING FINISH.
- ALL PAINTS SHALL BE LOW VOC.
- REPAIR, PATCH AND MAKE GOOD ALL AREAS, DRYWALL, SURFACES AND FINISHES ETC WHERE DEMOLITION HAS OCCURRED AND MAKE READY TO RECEIVE NEW FINISHES AS SPECIFIED.
- AT NEW, RELOCATED AND EXISTING DOORS AND FRAMES NOTED OR SHOWN TO RECEIVE NEW PAINT FINISH. FINISH BOTH SIDES OF OPENING AS SPECIFIED, U.N.O. PROVIDE LIGHT SANDING BETWEEN COATS AT DOOR FACES, EDGES AND FRAMES TO ENSURE A COMPLETELY SMOOTH FINAL FINISH. EXISTING BASE BUILDING STAIRWELLS, STORAGE, SERVICE, UTILITY (ETO) DOORS SHALL RECEIVE NEW PAINT FINISH, U.N.O. ON TENANT SIDE ONLY. DO NOT PAINT TEKNIUM ALTOS WALLS AND ASSOCIATED DOORS/FRAMES. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.
- AT ANY EXISTING OR RELOCATED DOORS AND FRAMES, CONTRACTOR SHALL ENSURE ALL SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS OR PENETRATIONS PRIOR TO APPLICATION OF FINISH. REPAIR, PATCH OR FILL AS REQUIRED OR ADVISE GC BEFORE PROCEEDING. BY APPLYING FINISH, CONTRACTOR ACCEPTS CONDITION OF SURFACE.
- AS IT APPLIES, PROVIDE SPECIFIED PAINT FINISHES ON BOTH SIDES OF ALL NEW AND EXISTING SOLID WOOD CORE AND HOLLOW METAL DOORS, TO INCLUDE CLOSETS, STORAGE
- AND UTILITY ROOMS. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.
- SPECIAL NOTE: PAINTING CONTRACTOR SHALL ENSURE THAT NEW PAINT FINISHES SPECIFIED (LATEX) CAN BE SUCCESSFULLY APPLIED TO THE EXISTING PAINT TYPE. REVIEW ANY RELEVANT SITE CONDITIONS WITH ARCHITECT BEFORE PROCEEDING.
- PAINTING SCOPE OF WORK SHALL INCLUDE: WHEREVER IDENTIFIED ON PLAN OR NOT, ALL NEW AND EXISTING DRYWALL PARTITIONS; ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS; COLUMNS; CONCRETE WALLS; ALL METAL DOORS; ALL DRYWALL SURFACES AND BULKHEADS AT PERIMETER OF FLOOR AND THROUGHOUT, TO THE UNDERSIDE OF CEILING, ALL UNLESS OTHERWISE NOTED.
- ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATIONS FOR GENERAL CONDITIONS, MATERIALS AND WORKMANSHIP.
- FLOORING CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE TO DRYWALL PARTITIONS AND WOOD DOORS AND FRAMES RESULTING FROM THEIR FLOORING INSTALLATION AND SHOULD ALLOW PAINT/FINISH TOUCH-UPS.

LEGEND:

-  DENOTES AREA OUTSIDE THE SCOPE OF WORK
-  DENOTES ROOM NAME/NUMBER
-  EXISTING WALLS
-  EXISTING WALLS
-  P-1 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC
-  P-2 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC
-  P-3 PARTITION TYPE . REFER TO A200 & A201 FOR SPEC
-  EXISTING FLOORING TO REMAIN
-  NEW CARPET TILE (CP-1)
W/ NEW RUBBER BASE (RB) AT ALL NEW AND EXISTING WALLS WITHIN THE SCOPE OF WORK
-  NEW RESILIENT SHEET FLOOR (RS-1)
W/ NEW RUBBER BASE (RB) AT ALL NEW AND EXISTING WALLS WITHIN THE SCOPE OF WORK
-  NEW PORCELAIN TILE FLOOR (TL-2)
MANUFACTURER: OLYMPIA TILE
SERIES: MAXSTONE
COLOUR: MEDIUM GREY MATTE
SIZE: 60X120 CM
PROVIDE SAMPLE FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL
GROUT COLOUR: TO LATER SPEC BY ARCHITECT
-  PT1: TYPICAL FIELD PAINT COLOUR FOR ALL NEW EXISTING GYPSUM AND CONCRETE WALLS UNLESS NOTED OTHERWISE. GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
*REFER TO SPEC FOR PAINT COLOUR
-  PT2: DOOR FRAME PAINT FOR ALL NEW AND EXISTING DOORS. GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
*REFER TO SPEC FOR PAINT COLOUR
- NOTE: PT2 DOES NOT APPLY TO ALTOS DOOR FRAMES SUPPLIED BY TEKNIUM FURNITURE.
- DOOR FRAMES TO RECEIVE NEW PAINT AS FOLLOWS:
- EXIATING DOORS: E01, E02, E03, E04, E05, E06, 36A, 36B, E07A, E07B, E08, E09, E10, E11, E12, E13 & E14
- NEW DOORS: 36A & 36B
-  PT3: ACCENT WALL COLOUR
GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
COLOUR: ARCHITECT'S LATER SELECTION
-  PT4: GYPSUM CEILING PAINT COLOUR, ALL NEW AND EXIST
GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
*REFER TO SPEC FOR PAINT COLOUR

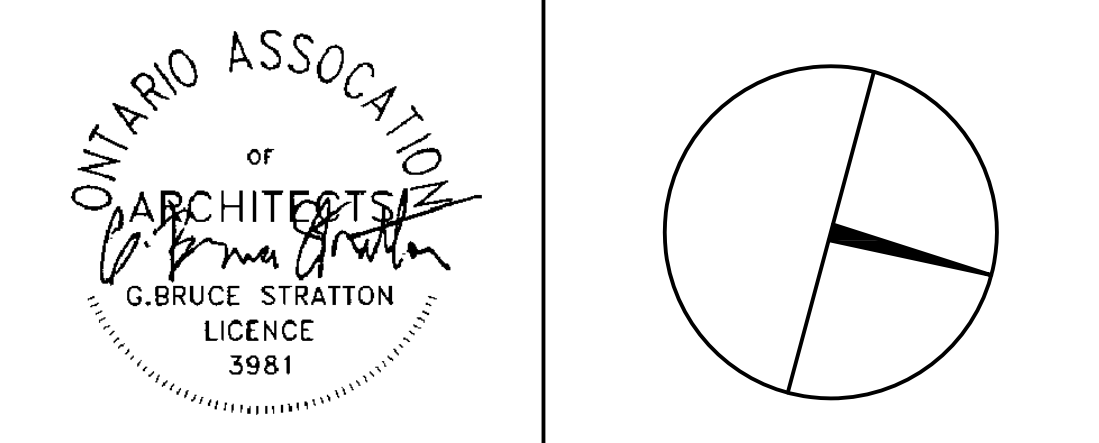
GENERAL NOTES:

- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK
- DRAWINGS ARE NOT TO BE SCALED
- BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST SUBMIT ALL NECESSARY SAMPLES AND SHOP DRAWINGS TO YORK REGION REPRESENTATIVE FOR APPROVAL
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF YORK REGION. AS SUCH, THEY ARE NOT INTENDED FOR USE ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT SPECIFIED

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2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT
4	11-12-2020	ISSUED FOR TENDER

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facsimile: 416.351.8146



York Region

PROPERTY SERVICES

DEPARTMENT: **BUILDING & FACILITIES**

FLOOR: **003**

BASE DATE: **03-01-2020**

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: **MUNICIPALITY OF YORK**

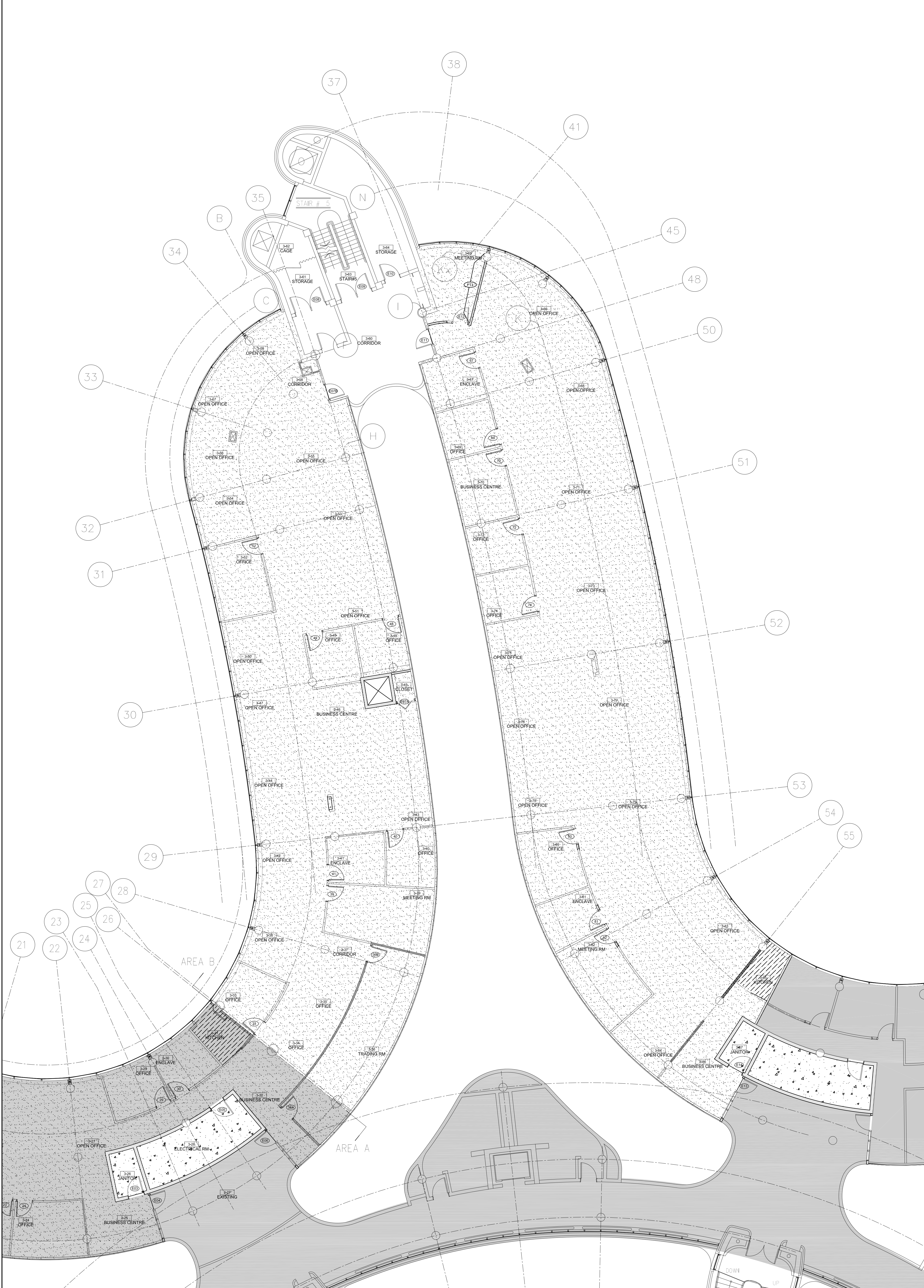
SHEET TITLE:

FINISHES PLAN

AREA 'A'

SHEET NUMBER:

A500



1
A501 FINISHES PLAN: 3RD FLOOR AREA 'B'
SCALE: 1:100

FINISHES NOTES:

1. GC TO REMOVE THOSE BLINDS THAT INTERFERE WITH INSTALLATION OF NEW WALLS.

2. ALL ADHESIVES, SEALANTS, PAINTS, COATINGS, FLOORING AND WOOD PRODUCTS ARE TO BE LOW-EMITTING AND SHALL MEET THE REQUIREMENTS OF REGION STANDARD SECTION 01 61 00. SHOP DRAWINGS AND/OR PRODUCT DATA SHEETS IDENTIFYING THE PRODUCTS EMISSIONS AND VOC CONTENT SHALL BE SUBMITTED TO THE REGION'S PROJECT MANAGER FOR REVIEW PRIOR TO INSTALLATION OR APPLICATION. PRODUCTS THAT HAVE NOT BEEN APPROVED ARE TO BE REMOVED FROM THE SITE.

3. CONTRACTORS MUST PROVIDE SAMPLES/SUBMITTALS (OR PRODUCT CUT SHEET WHERE APPLICABLE) FOR APPROVAL BEFORE PLACING ORDERS. IT SHALL BE THE GC'S RESPONSIBILITY TO ENSURE THIS REQUIREMENT HAS BEEN MET.

4. INSPECT CONCRETE SLAB AND EXISTING FLOORING IN ALL AREAS WHERE FLOORING IS TO BE REMOVED, AND REPLACED WITH NEW, AND ALLOW FOR ANY FLOOR PREPARATION THAT MAY BE REQUIRED TO MAKE FLOOR READY TO RECEIVE NEW FINISH. REPAIR, LEVEL AND PROVIDE A SMOOTH TROWEL FINISH AS REQUIRED.

5. WHERE VINYL SHEET FLOORING MEETS CARPET, CONTRACTOR TO FEATHER FLOOR WITH THIN SET CEMENT, APPROX. 2'-0".

6. WHERE CARPET EDGES MEET PORCELAIN TILE AND OR VINYL FLOOR, SUPPLY AND INSTALL A SS SCHLUTER (SCHIENE) METAL TRANSITION.

7. WHERE VINYL FLOORING IS SPECIFIED, AREA TO RECEIVE APPLIED BASE AS SPECIFIED

8. ALL NEW FLOORING FINISH CHANGES SHALL OCCUR AT CENTER LINE OF DOOR

9. WHERE NEW DOOR OPENING HAS BEEN MADE AT AN EXISTING WALL, EXTEND/PROVIDE NEW OR EXISTING FLOOR FINISH (BOTH SIDES OF OPENING WHERE APPLICABLE) WHICH IS NOTED TO REMAIN, TO CENTER LINE OF DOOR. ALLOW FOR NEW TO MATCH EXISTING. ALL FLOOR FINISH CHANGES MUST OCCUR AT CENTER LINE OF DOOR.

10. IT IS THE DESIGN INTENT OF THE PROJECT THAT ALL NEW AND EXISTING GYPSUM WALLS AND ALL EXISTING CONCRETE PARTITIONS TO BE FINISHED WITH PT1 (EXCEPT FOR AREAS WHERE ACCENT PAINTS ARE NOTED OR SHOWN).

11. ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS SHALL RECEIVE NEW PAINT FINISH (PT4). ALLOW FOR PATCHING AND SURFACE PREPARATION AND MAKE READY TO RECEIVE NEW PRIMER, AS REQUIRED, AND PAINT FINISH.

12. APPLY (1) PRIMER COAT ON ALL NEW AND EXIST GYPSUM WALLS AND ALL EXISTING CONCRETE WALL SURFACES AND (2) FINISH COATS OF PREMIUM QUALITY PAINT

13. PROVIDE PAINT DRAW-DOWN SUBMITTALS TO ARCHITECT FOR APPROVAL BEFORE PROCEEDING.

14. PAINTING CONTRACTOR TO ENSURE ALL EXISTING AND NEW SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS PRIOR TO APPLICATION OF FINISHES. BY APPLYING FINISH CONTRACTOR ACCEPTS CONDITIONS OF SURFACE. ALLOW FOR PATCHING OR ADVISE GC BEFORE PROCEEDING.

15. ALL REVEALS TO RECEIVE PAINT FINISH TO MATCH ADJACENT WALL. FILL ANY GAPS WITH CAULKING (DAP OR EQUIVALENT) BEFORE APPLYING FINISH.

16. ALL PAINTS SHALL BE LOW VOC.

17. REPAIR, PATCH AND MAKE GOOD ALL AREAS, DRYWALL, SURFACES AND FINISHES ETC WHERE DEMOLITION HAS OCCURRED AND MAKE READY TO RECEIVE NEW FINISHES AS SPECIFIED.

18. AT NEW, RELOCATED AND EXISTING DOORS AND FRAMES NOTED OR SHOWN TO RECEIVE NEW PAINT FINISH. FINISH BOTH SIDES OF OPENING AS SPECIFIED. U.N.O. PROVIDE LIGHT SANDING BETWEEN COATS AT DOOR FACES. EDGES AND FRAMES TO ENSURE A COMPLETELY SMOOTH FINAL FINISH. EXISTING BASE BUILDING STAIRWELLS, STORAGE, SERVICE, UTILITY (ETC) DOORS SHALL RECEIVE NEW PAINT FINISH. U.N.O. ON TENANT SIDE ONLY. DO NOT PAINT TEKNIUM ALTO'S WALLS AND ASSOCIATED DOORS/FRAMES. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.

19. AT ANY EXISTING OR RELOCATED DOORS AND FRAMES, CONTRACTOR SHALL ENSURE ALL SURFACES ARE ACCEPTABLE AND FREE OF SURFACE DEFECTS OR PENETRATIONS PRIOR TO APPLICATION OF FINISH. REPAIR, PATCH OR FILL AS REQUIRED OR ADVISE GC BEFORE PROCEEDING. BY APPLYING FINISH, CONTRACTOR ACCEPTS CONDITION OF SURFACE.

20. AS IT APPLIES, PROVIDE SPECIFIED PAINT FINISHES ON BOTH SIDES OF ALL NEW AND EXISTING SOLID WOOD CORE AND HOLLOW METAL DOORS. TO INCLUDE CLOSETS, STORAGE

21. AND UTILITY ROOMS. DO NOT PAINT WOOD VENEER DOORS AND SOLID WOOD FRAMES.

22. SPECIAL NOTE: PAINTING CONTRACTOR SHALL ENSURE THAT NEW PAINT FINISHES SPECIFIED (LATEX) CAN BE SUCCESSFULLY APPLIED TO THE EXISTING PAINT TYPE. REVIEW ANY RELEVANT SITE CONDITIONS WITH ARCHITECT BEFORE PROCEEDING.

23. PAINTING SCOPE OF WORK SHALL INCLUDE: WHEREVER IDENTIFIED ON PLAN OR NOT, ALL NEW AND EXISTING DRYWALL PARTITIONS: ALL NEW AND EXISTING DRYWALL CEILINGS AND BULKHEADS: COLUMNS: CONCRETE WALLS: ALL METAL DOORS: ALL DRYWALL SURFACES AND BULKHEADS AT PERIMETER OF FLOOR AND THROUGHOUT, TO THE UNDERSIDE OF CEILING, ALL UNLESS OTHERWISE NOTED.

24. ALL WORK SHALL CONFORM TO THE BASE BUILDING SPECIFICATIONS FOR GENERAL CONDITIONS, MATERIALS AND WORKMANSHIP.

25. FLOORING CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE TO DRYWALL PARTITIONS AND WOOD DOORS AND FRAMES RESULTING FROM THEIR FLOORING INSTALLATION AND SHOULD ALLOW PAINT/FINISH TOUCH-UPS.

LEGEND:

DENOTES AREA OUTSIDE THE SCOPE OF WORK

DENOTES ROOM NAME/NUMBER

EXISTING WALLS

EXISTING WALLS

P-1 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC

P-2 PARTITION TYPE. REFER TO A200 & A201 FOR SPEC

P-3 PARTITION TYPE . REFER TO A200 & A201 FOR SPEC

EXISTING FLOORING TO REMAIN

NEW CARPET TILE (CP-1)
W/ NEW RUBBER BASE (RB) AT ALL NEW AND EXISTING WALLS WITHIN THE SCOPE OF WORK

NEW RESILIENT SHEET FLOOR (RS-1)
W/ NEW RUBBER BASE (RB) AT ALL NEW AND EXISTING WALLS WITHIN THE SCOPE OF WORK

NEW PORCELAIN TILE FLOOR (TL-2)
MANUFACTURER: OLYMPIA TILE
SERIES: MAXSTONE
COLOUR: MEDIUM GREY MATTE
SIZE: 60X120 CM
PROVIDE SAMPLE FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL
GROUT COLOUR: TO LATER SPEC BY ARCHITECT

PT1: TYPICAL FIELD PAINT COLOUR FOR ALL NEW EXISTING GYPSUM AND CONCRETE WALLS UNLESS NOTED OTHERWISE. GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
*REFER TO SPEC FOR PAINT COLOUR

PT2: DOOR FRAME PAINT FOR ALL NEW AND EXISTING DOORS. GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
*REFER TO SPEC FOR PAINT COLOUR

NOTE: PT2 DOES NOT APPLY TO ALTO'S DOOR FRAMES SUPPLIED BY TEKNIUM FURNITURE.

DOOR FRAMES TO RECEIVE NEW PAINT AS FOLLOWS:

EXIATING DOORS: E01, E02, E03, E04, E05, E06, 36A, 36B, E07A, E07B, E08, E09, E10, E11, E12, E13 & E14

NEW DOORS: 36A & 36B

PT3: ACCENT WALL COLOUR
GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
COLOUR: ARCHITECT'S LATER SELECTION

PT4: GYPSUM CEILING PAINT COLOUR. ALL NEW AND EXIST GC TO PROVIDE DRAW DOWNS FOR ARCH REVIEW PRIOR TO SUPPLY AND APPLICATION.
*REFER TO SPEC FOR PAINT COLOUR

GENERAL NOTES:

1. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK

2. DRAWINGS ARE NOT TO BE SCALED

3. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST SUBMIT ALL NECESSARY SAMPLES AND SHOP DRAWINGS TO YORK REGION REPRESENTATIVE FOR APPROVAL

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G.Bruce Stratton Architects

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telephone: 416.351.8145
facsimile: 416.351.8146

ONTARIO ASSOCIATION
OF
ARCHITECTS
G.BRUCE STRATTON
LICENCE
3981

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

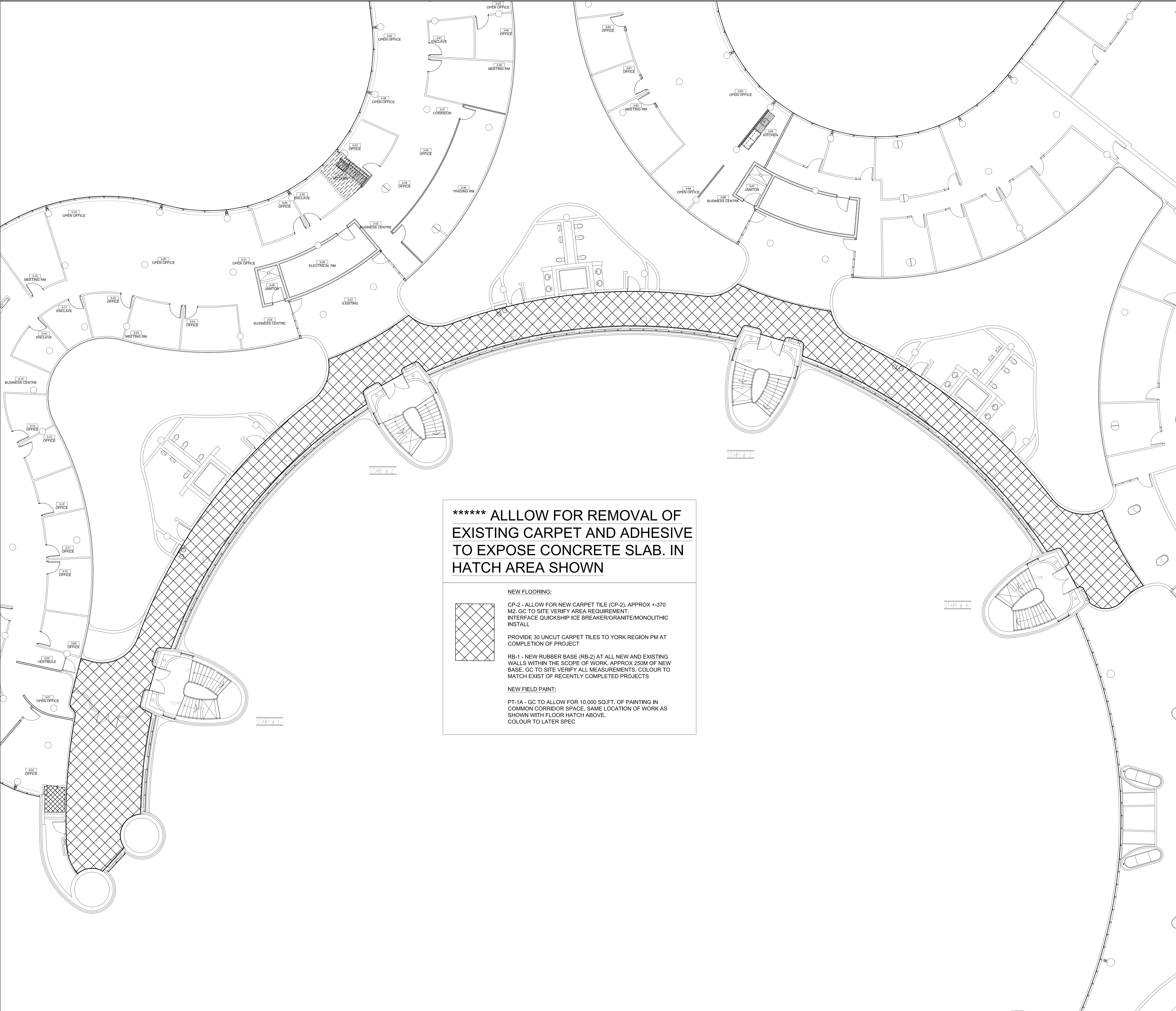
DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

FINISHES PLAN
AREA 'B'

SHEET NUMBER:
A501



***** ALLOW FOR REMOVAL OF EXISTING CARPET AND ADHESIVE TO EXPOSE CONCRETE SLAB. IN HATCH AREA SHOWN

NEW FLOORING:

CP-2 - ALLOW FOR NEW CARPET TILE (CP-2), APPROX +/-370 M2. GC TO SITE VERIFY AREA REQUIREMENT. INTERFACE QUICKSHIP ICE BREAKER/GRANITE/MONOLITHIC INSTALL

PROVIDE 30 UNCUT CARPET TILES TO YORK REGION PM AT COMPLETION OF PROJECT

RB-1 - NEW RUBBER BASE (RB-2) AT ALL NEW AND EXISTING WALLS WITHIN THE SCOPE OF WORK. APPROX 250M OF NEW BASE. GC TO SITE VERIFY ALL MEASUREMENTS. COLOUR TO MATCH EXIST OF RECENTLY COMPLETED PROJECTS

NEW FIELD PAINT:

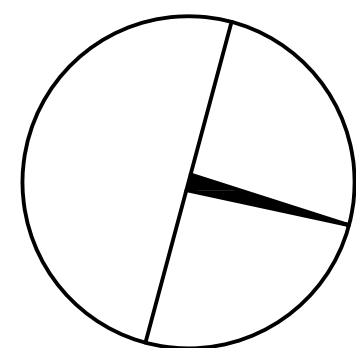
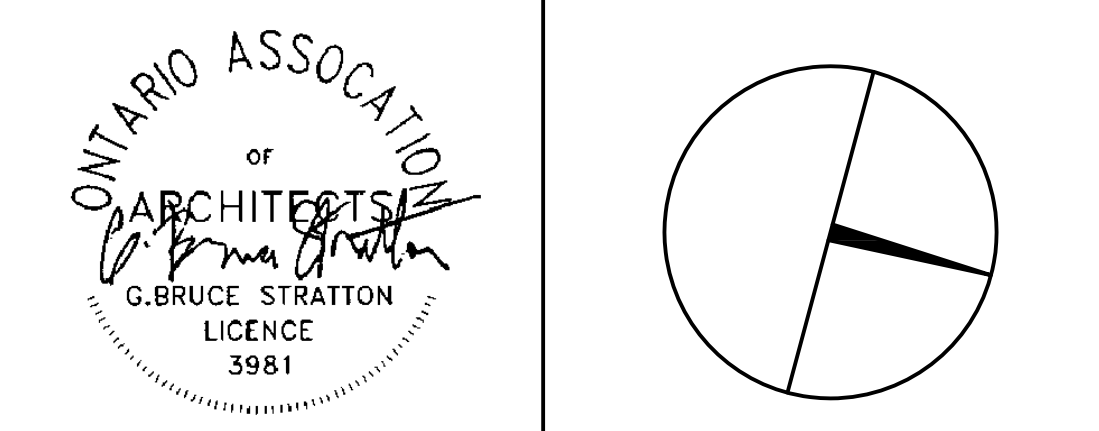
PT-1A - GC TO ALLOW FOR 10,000 SQ.FT. OF PAINTING IN COMMON CORRIDOR SPACE. SAME LOCATION OF WORK AS SHOWN WITH FLOOR HATCH ABOVE. COLOUR TO LATER SPEC

- GENERAL NOTES:
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York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

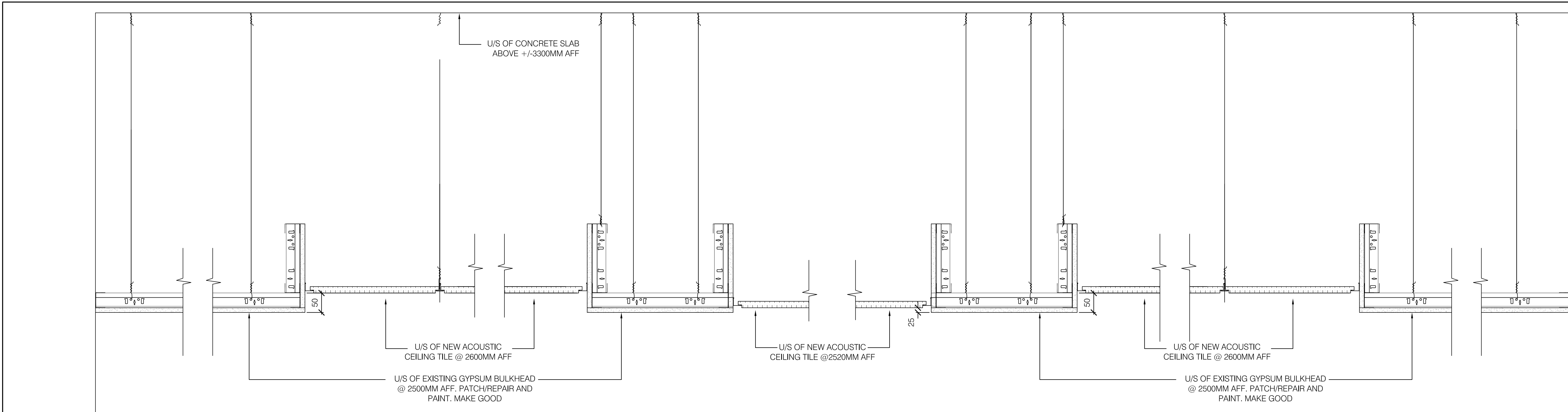
SHEET TITLE:

FINISHES PLAN

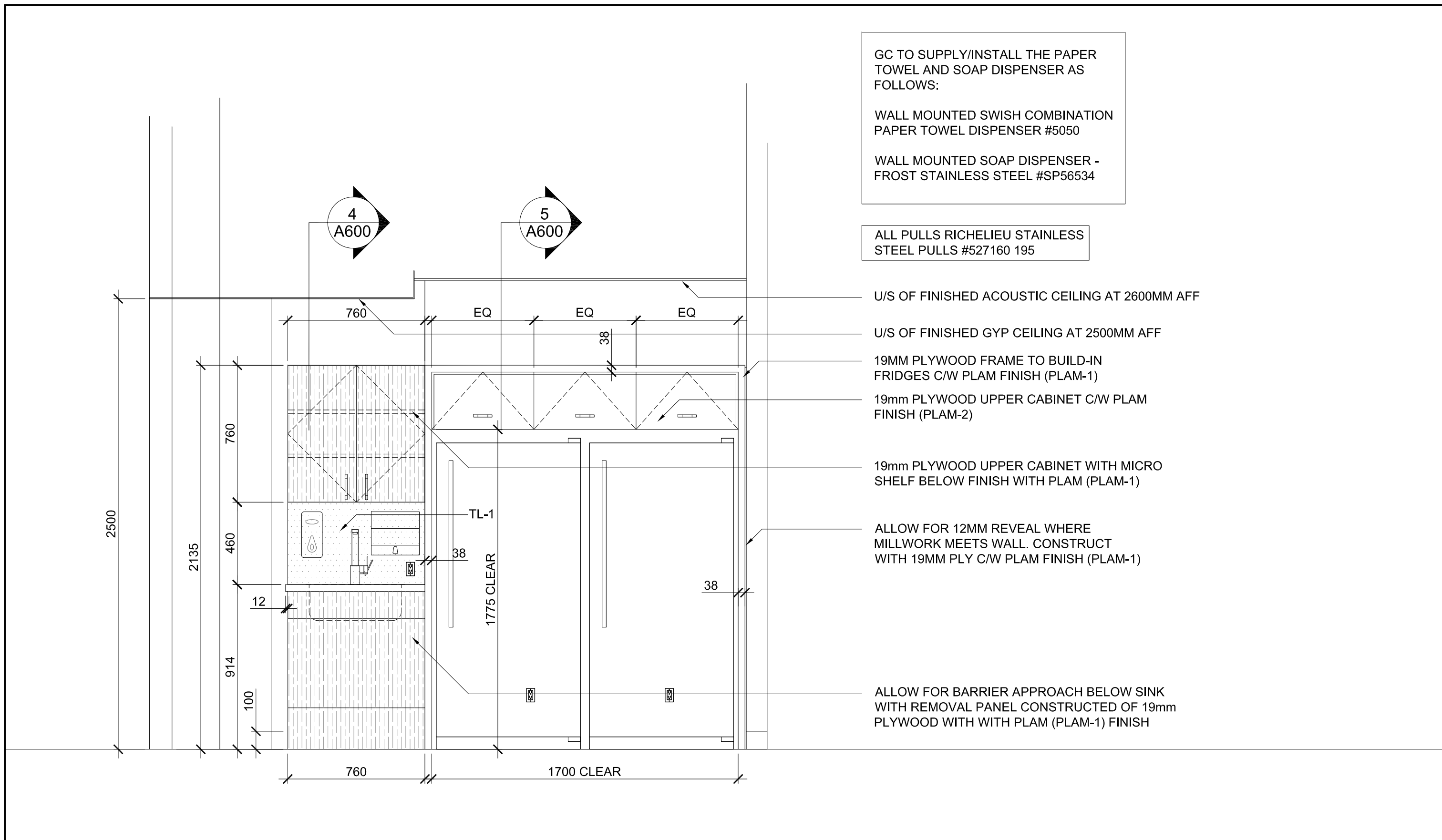
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SHEET NUMBER:

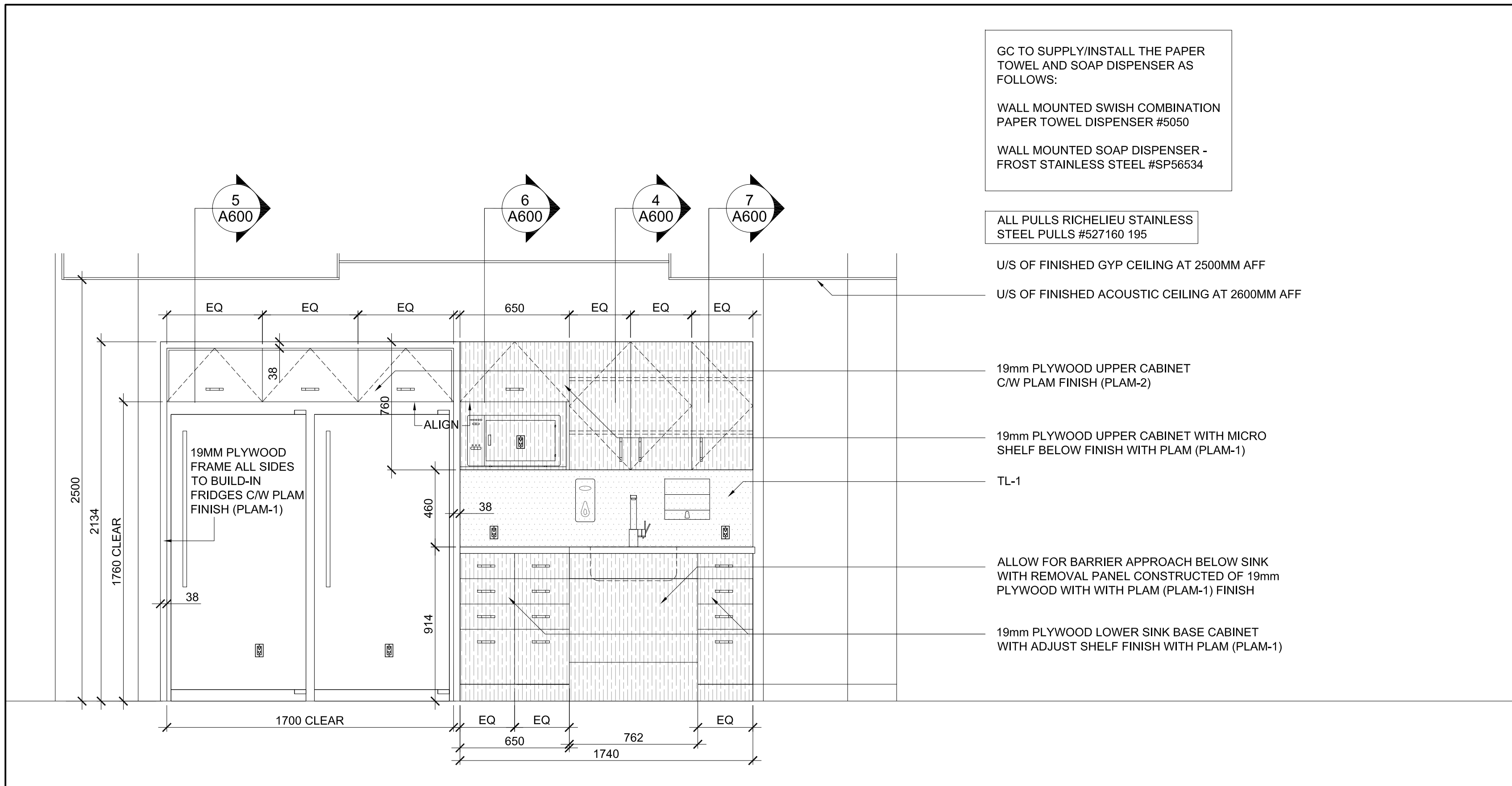
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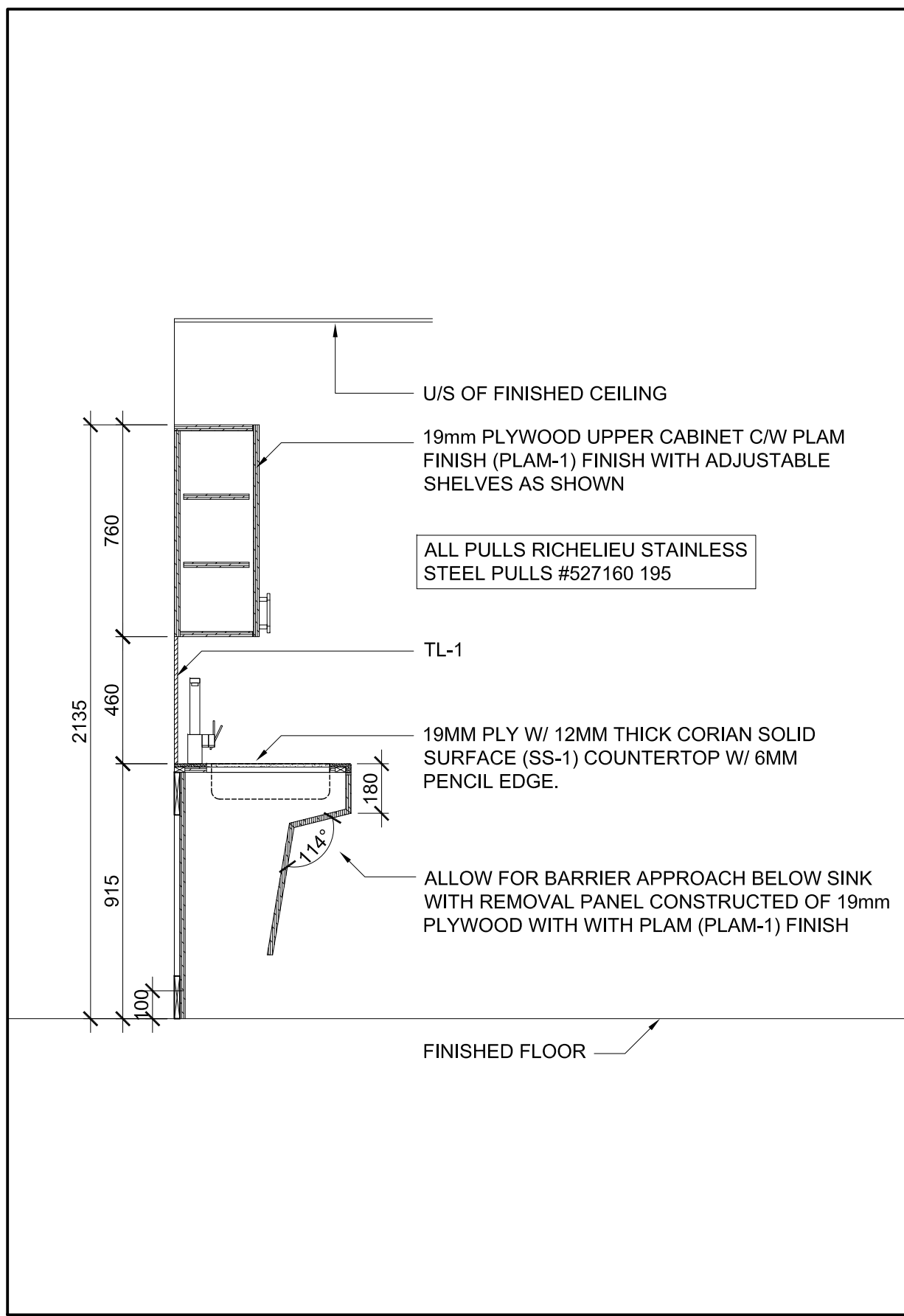
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A600 SCALE:NTS



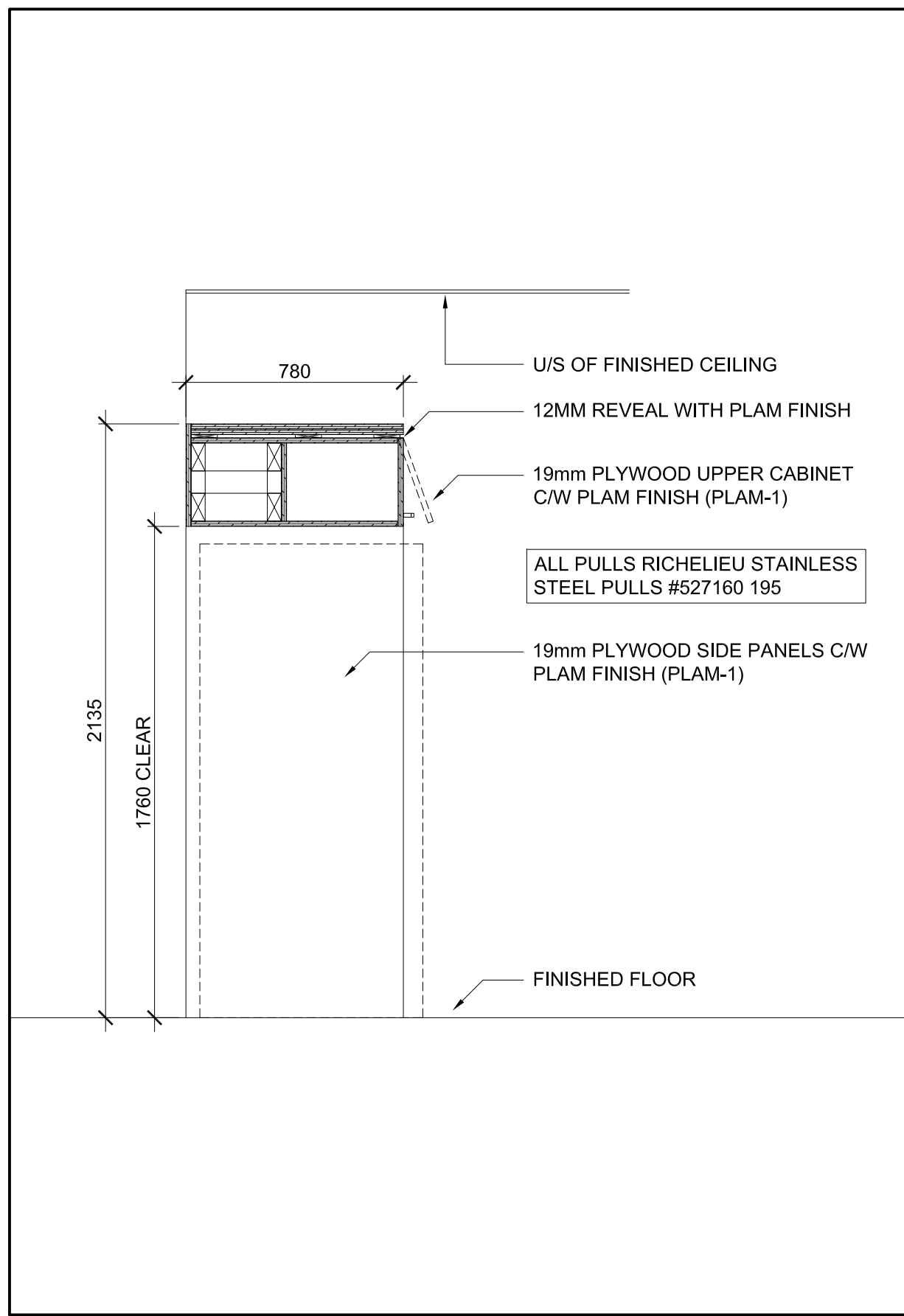
2 ELEVATION: KITCHEN 3-31
A600 SCALE: NTS



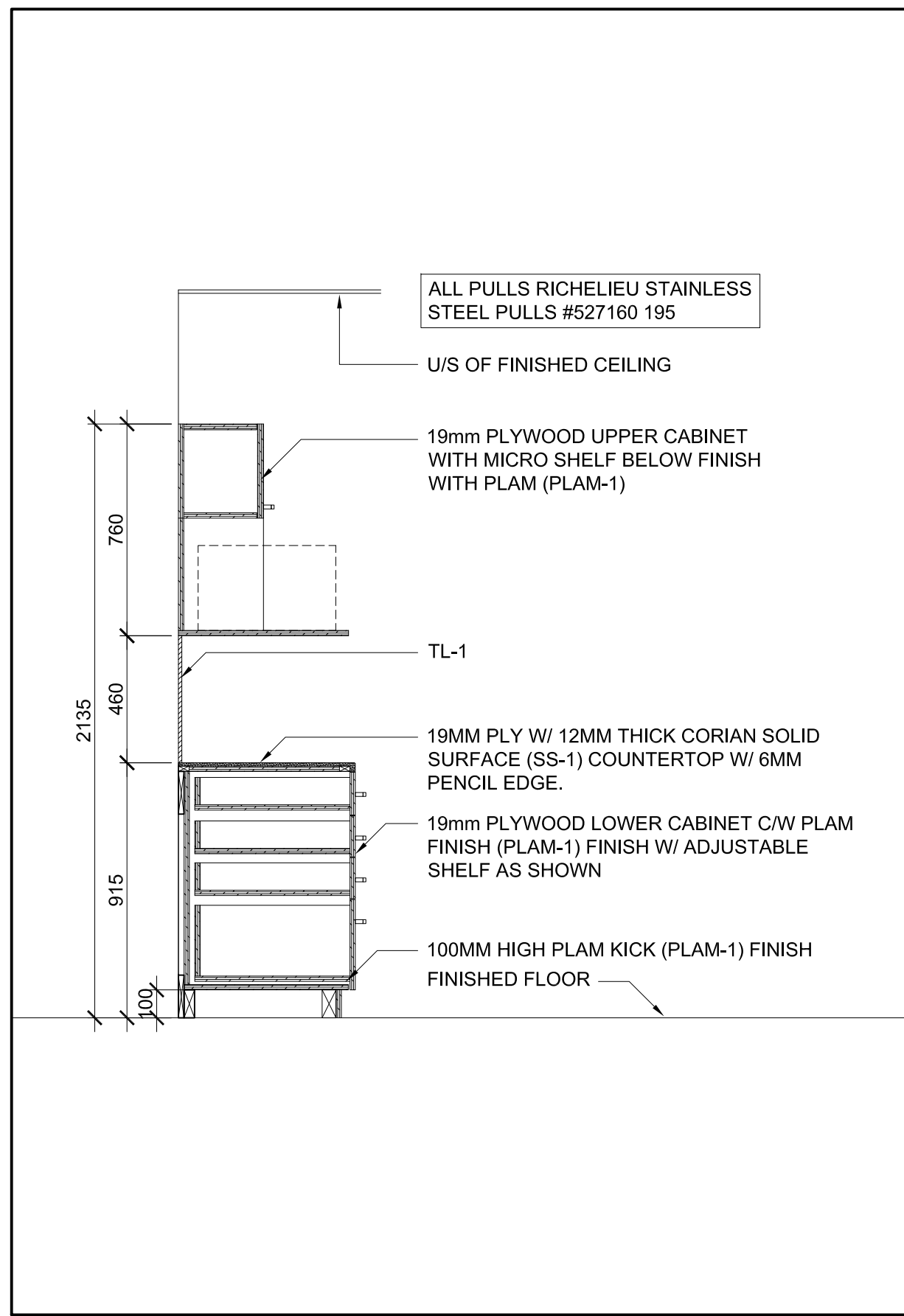
3 ELEVATION: KITCHEN 3-85
A600 SCALE: NTS



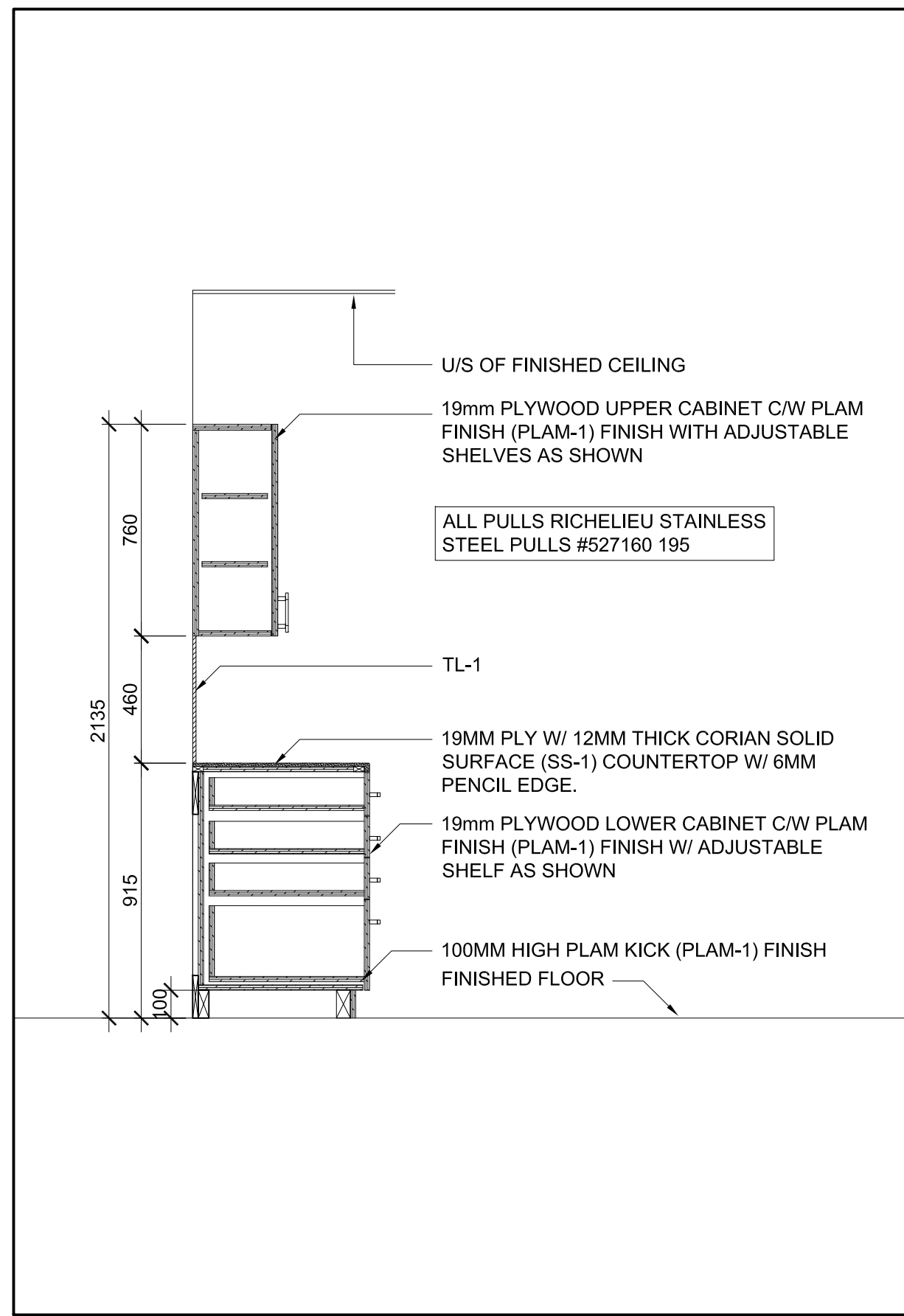
4 SECTION
A600 SCALE: NTS



5 SECTION
A600 SCALE: NTS



6 SECTION
A600 SCALE: NTS



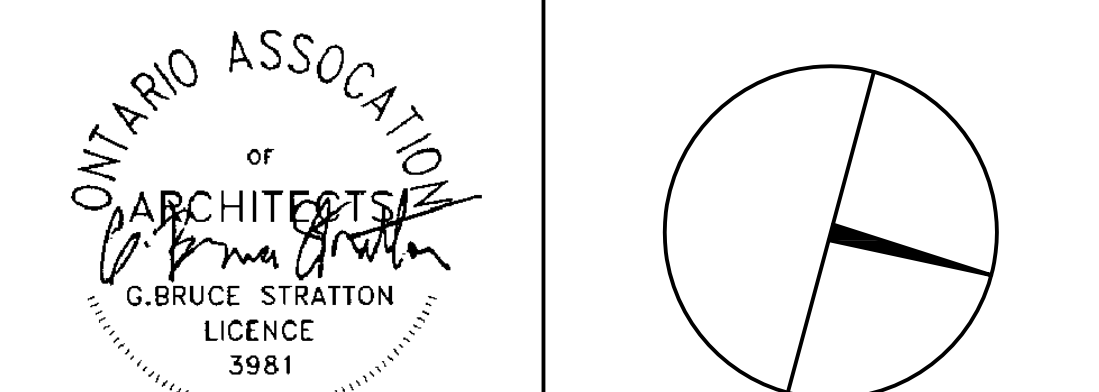
7 SECTION
A600 SCALE: NTS

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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
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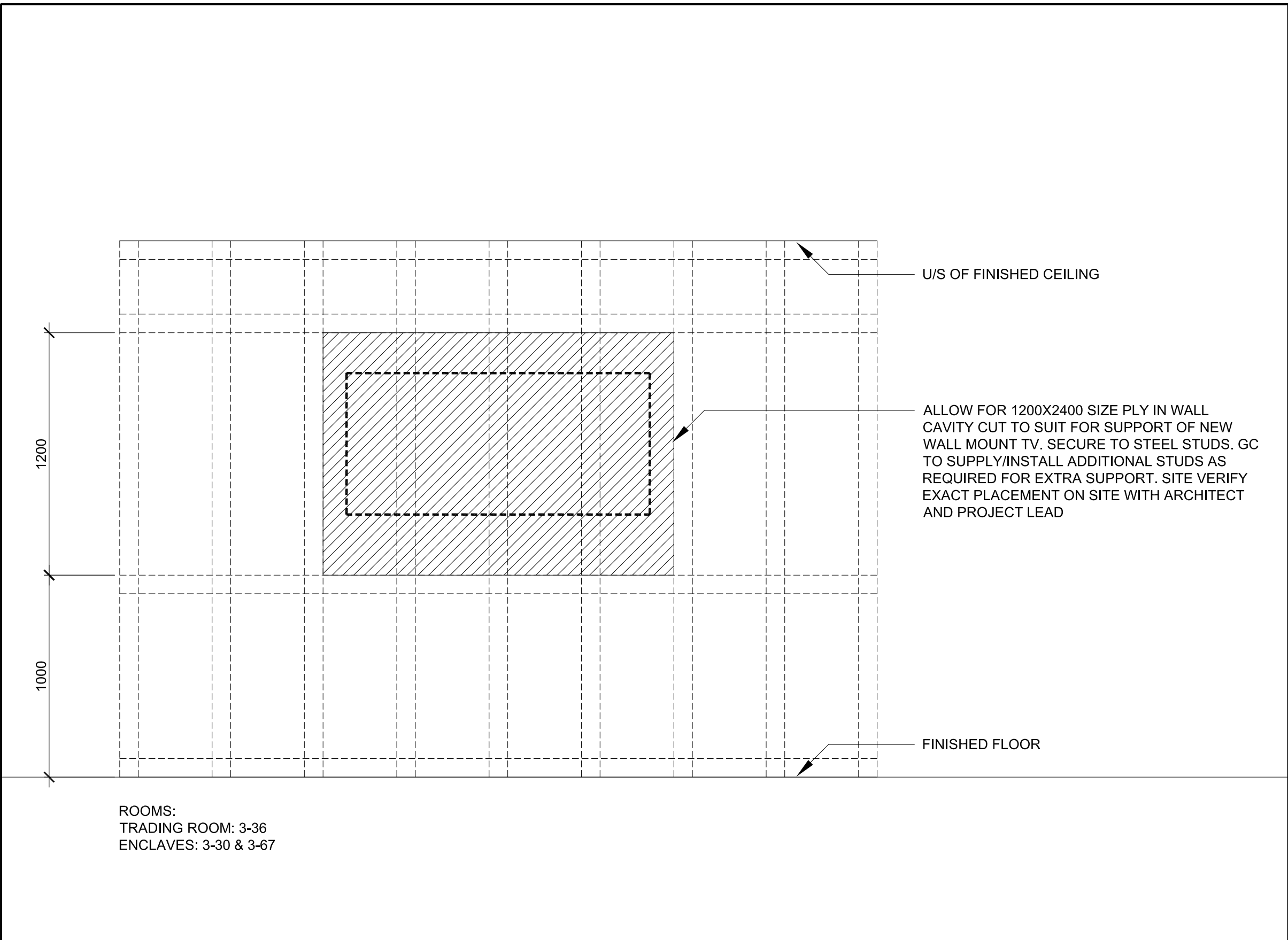
TENDER NO.: T-19-349

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

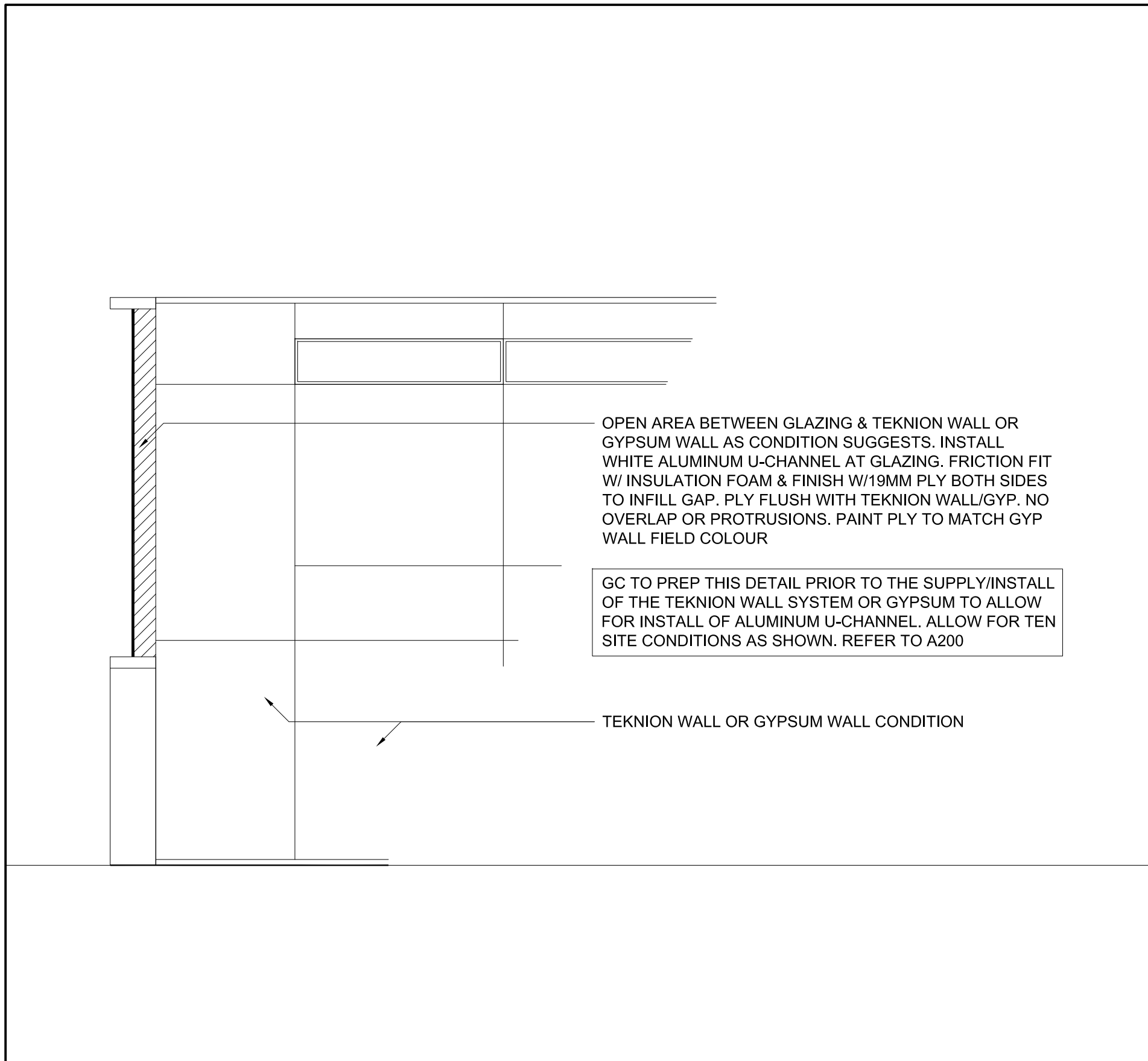
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SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

DETAILS

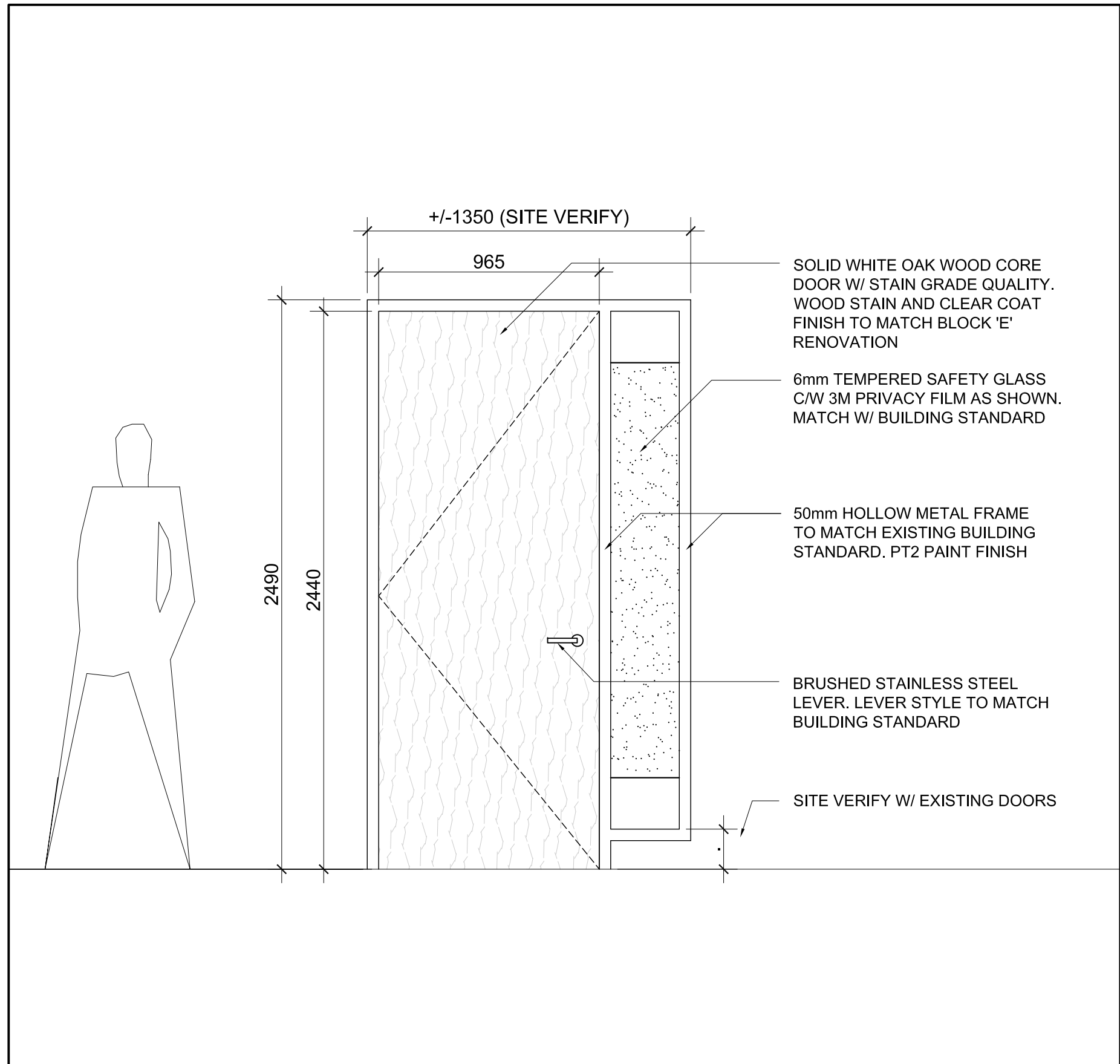
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A600



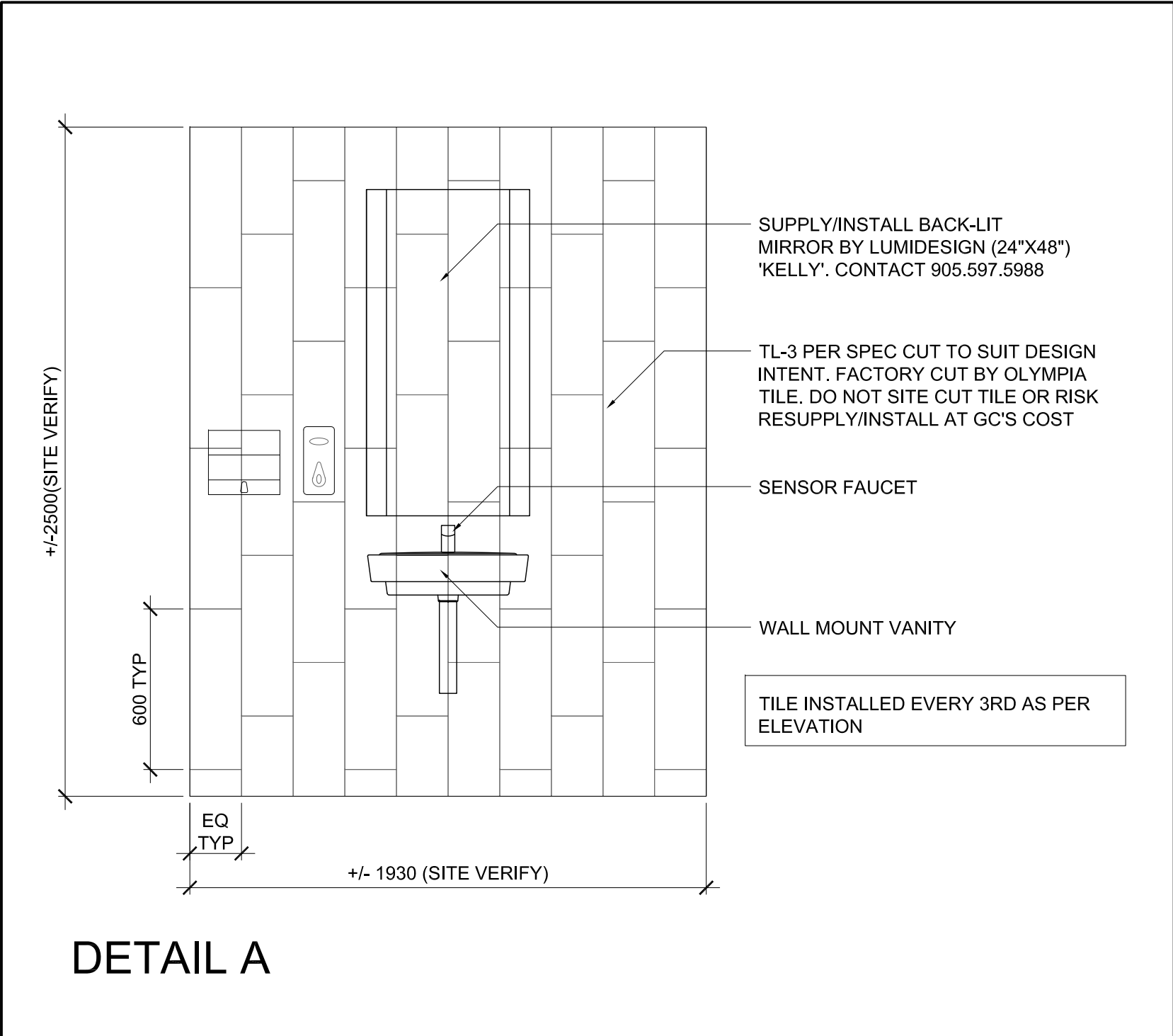
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A601 ELEVATION: PLYWOOD BLOCKING WALL CAVITY
SCALE: NTS



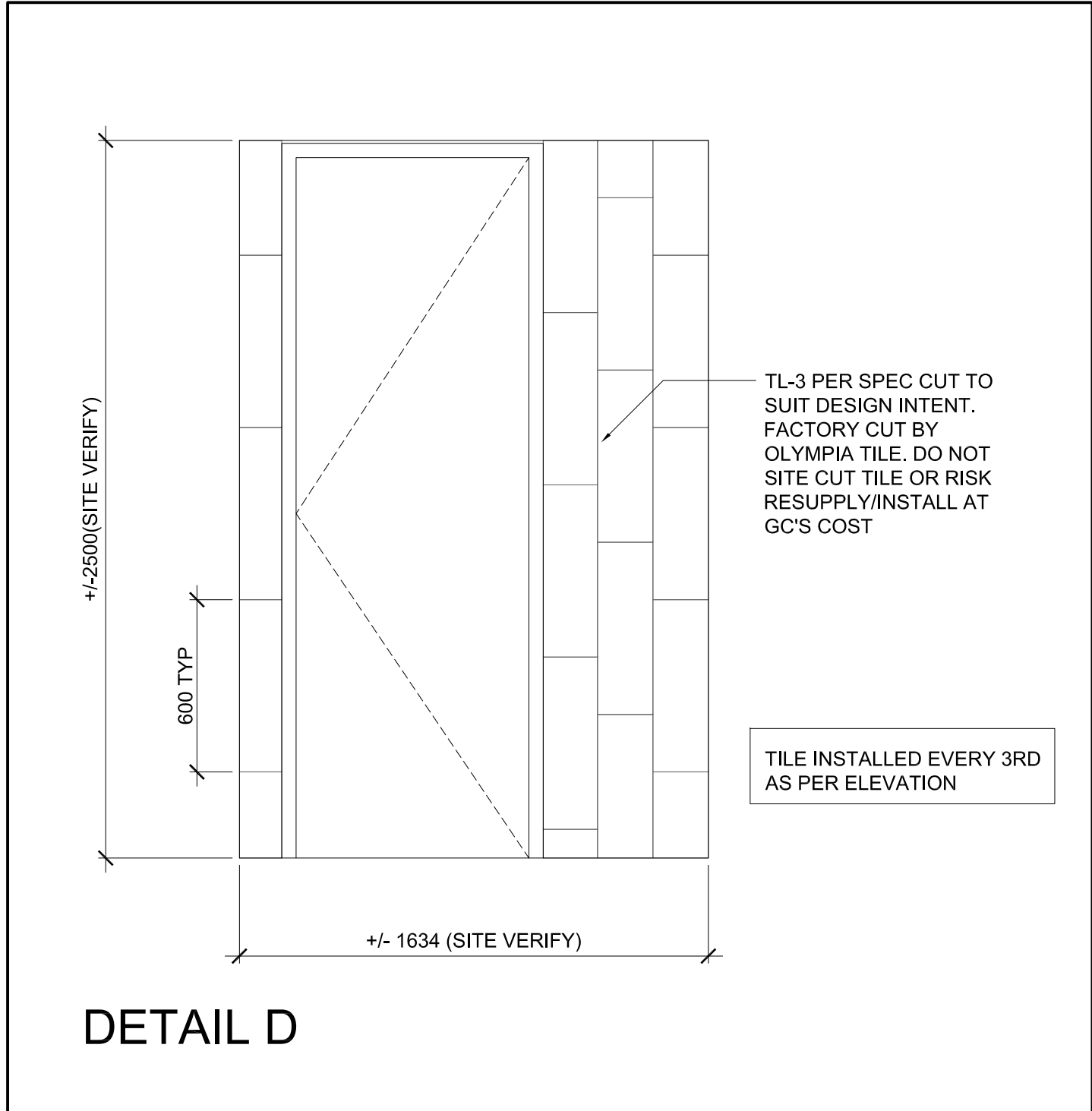
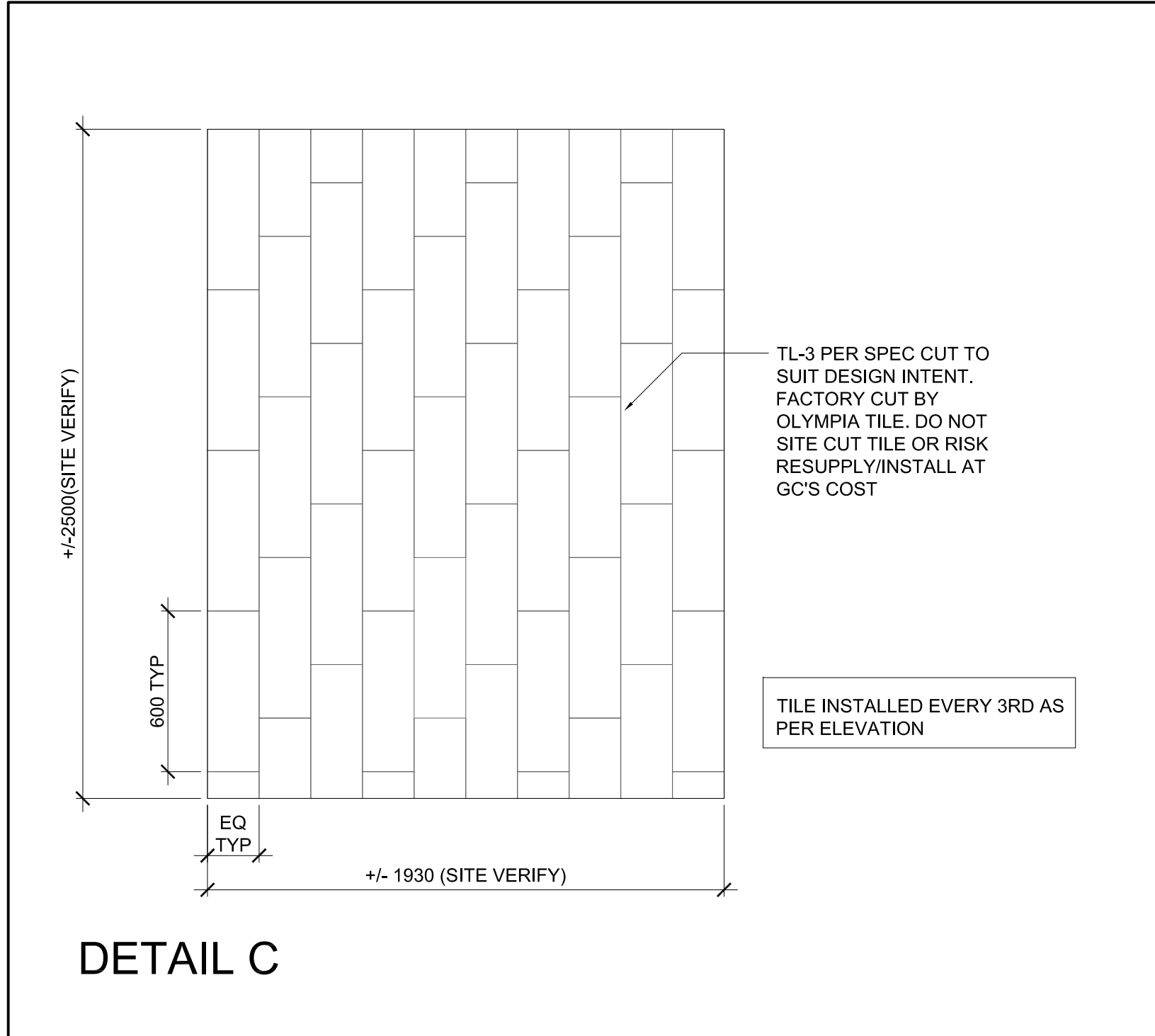
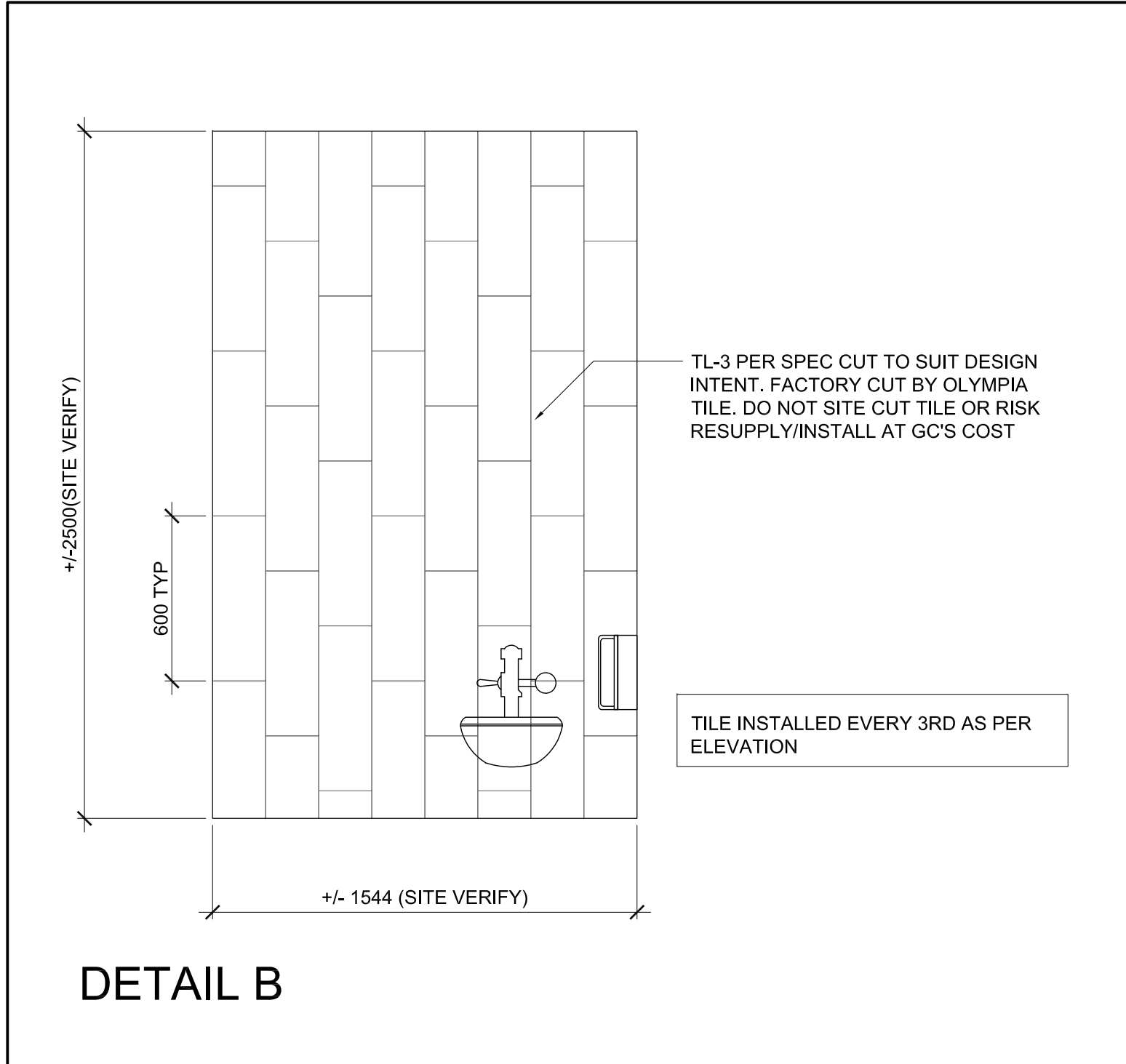
2
A601 SECTION: TYPICAL ALTOS WALL AT GLAZING
SCALE: NTS



3
A601 ELEVATION: DOOR TYPE 'A' (DOORS 36A & 36B)
SCALE: NTS



4
A601 ELEVATIONS: WASHROOM 3-02 A
SCALE: NTS



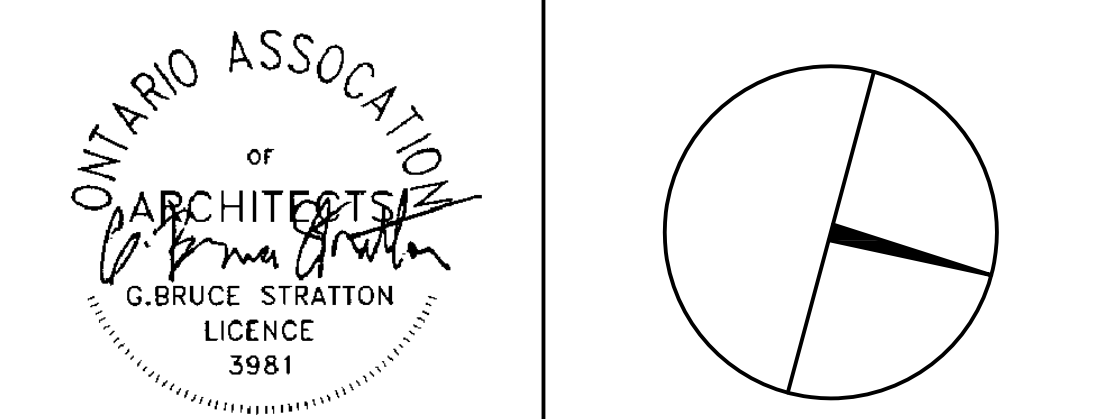
YORK REGION ADMINISTRATIVE CENTRE 3RD FLOOR INTERIOR FIT-UP_DOOR HARDWARE SCHEDULE																	
DOOR#	TYPE	DOOR				SIDELIGHT (VERIFY W/ DWGS & DTLS)	VISION PANEL	FRAME		CARD READER/ ELEC. STRIKE	LOCK	HINGE	DOOR CLOSER	DOOR STOP	AUTOMATIC DOOR	NOTES	
		SIZE			MATERIAL			FINISH	TYPE								FINISH
36A	A	965	2440	44		SOLID WOOD CORE (STAIN GRADE)	STAIN			YES	NO	50MM HM	PAINT	NO	PASSAGE SET	4	
36B	A	965	2440	44	SOLID WOOD CORE (STAIN GRADE)	STAIN	YES	NO	50MM HM	PAINT	NO	PASSAGE SET	4	NO	YES	NO	
1. THIS DOOR SCHEDULE TO BE READ IN CONJUNCTION WITH A200 AND 3/A601 AND YORK REGION BUILDING & FACILITIES STANDARDS AND GUIDELINES DIVISION 08 71 00 (DOOR HARDWARE)																	
2. KEYING BY CLIENT																	
3. HM REFERS TO HOLLOW METAL																	
4. REFER TO A200 FOR HAND TYPE																	
5. STAIN COLOUR TO MATCH EXIST BASE BUILDING STRANDARD. PROVIDE STAIN SAMPLE TO ARCHITECTF OR REVIEW PRRIOR TO SUPPLY AND APPLICATION																	
6. ALL OTHER DOORS SHOWN ON PLAN ARE EITHER EXISTING OR NEW BY TEKNION																	

- GENERAL NOTES:
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G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

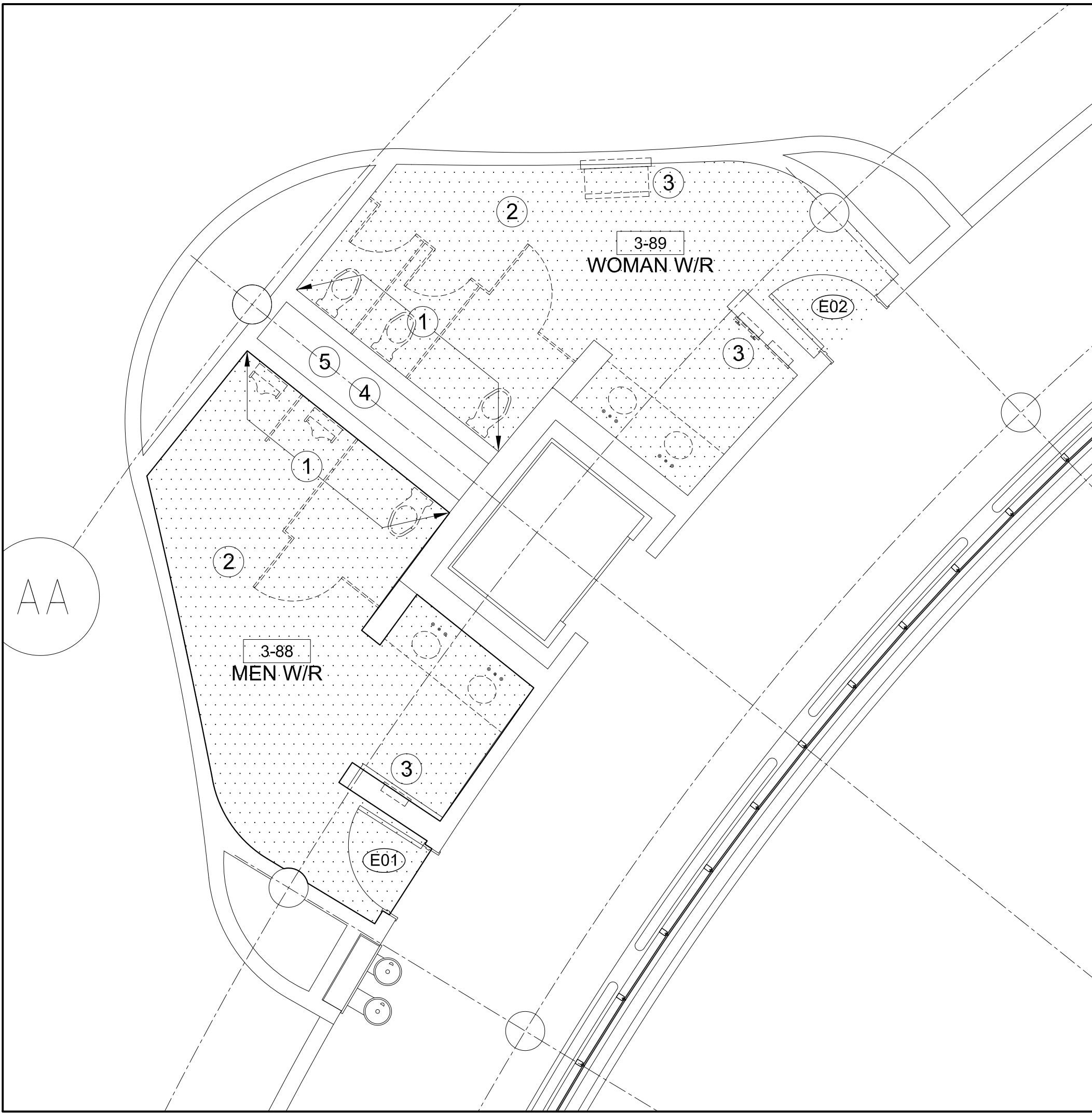
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

DETAILS

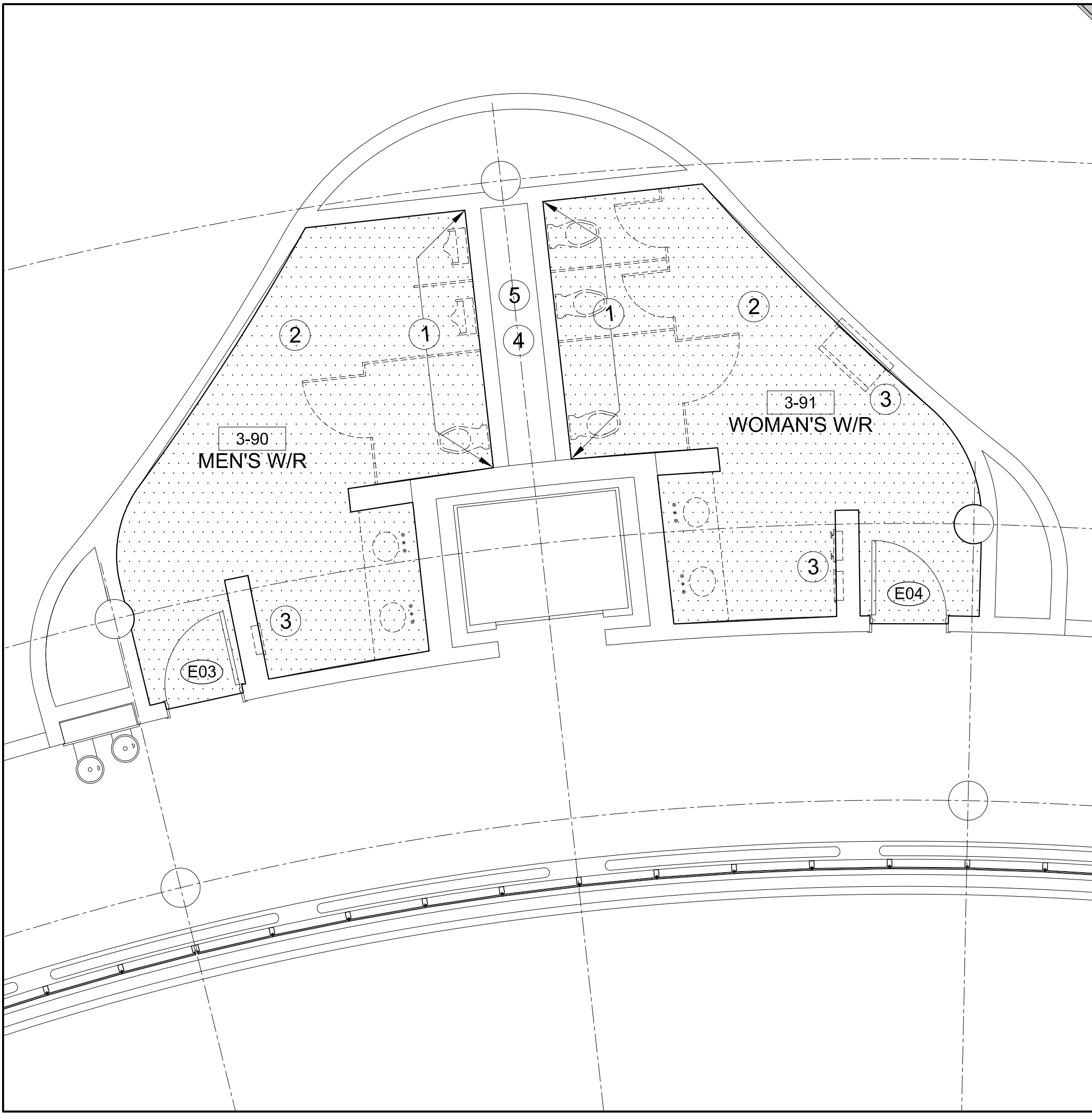
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A601



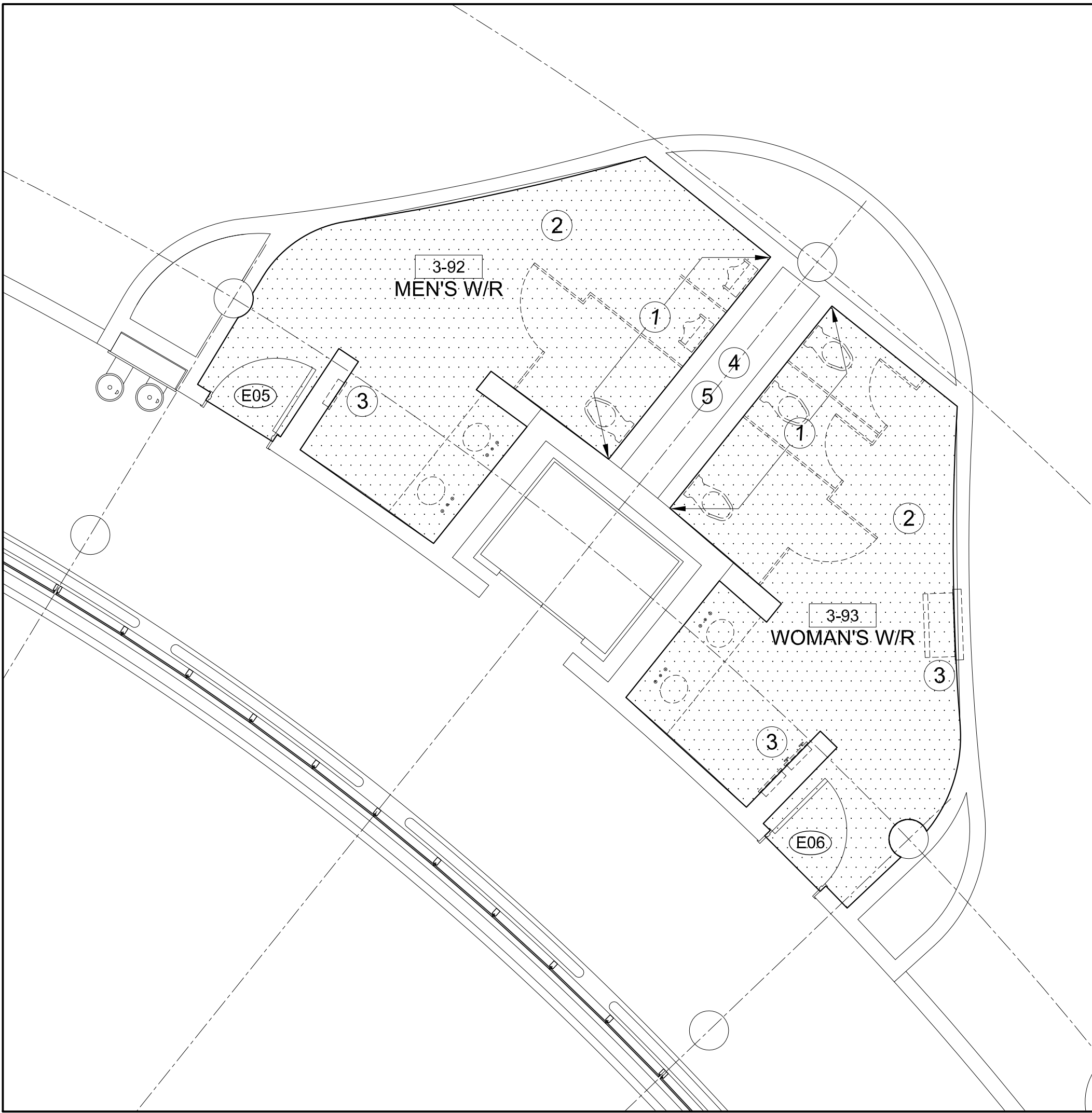
1
A700

DEMOLITION PLAN: 3-88 & 3-89
SCALE - 1:50



2
A700

DEMOLITION PLAN: 3-90 & 3-91
SCALE - 1:50



3
A700

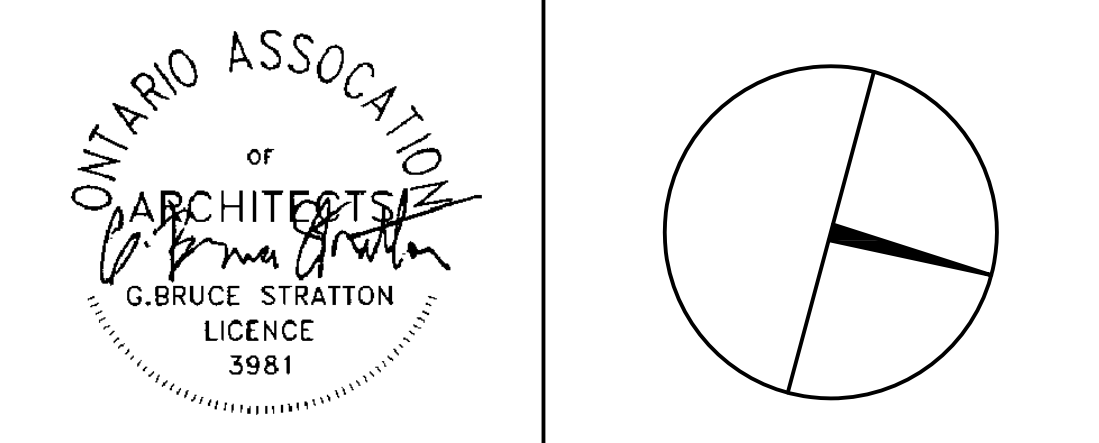
DEMOLITION PLAN: 3-92 & 3-93
SCALE - 1:50

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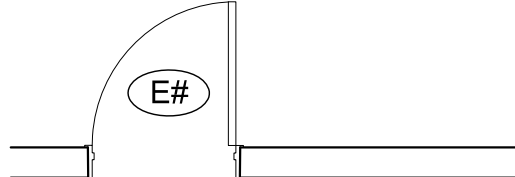
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DEMOLITION PLAN

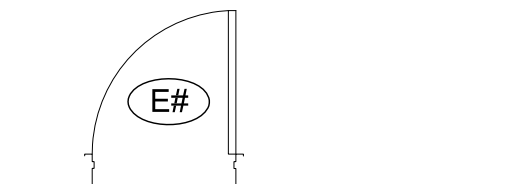
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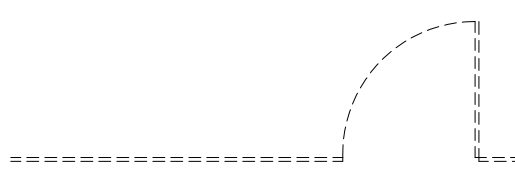
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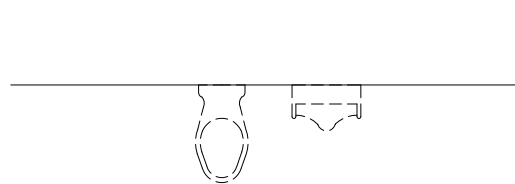
EXISTING GYPSUM AND CONCRETE WALLS, DOORS, DOOR FRAMES TO REMAIN. REFER TO BELOW FOR FURTHER DIRECTION REGARDING EXISTING DOORS



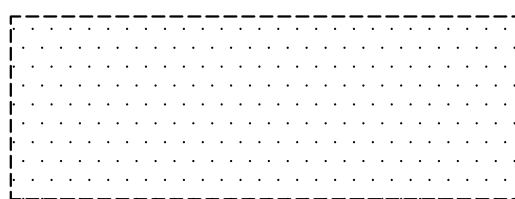
EXISTING WOOD DOORS (E1, E2, E3, E4, E5, E6, E7 & E8) TO BE REMOVED AND RETAINED FOR REFINISHING. REFER TO A200 FOR EXTENT OF DOOR WORK. RETAIN FOR REINSTALLATION. DO NOT DISGARD



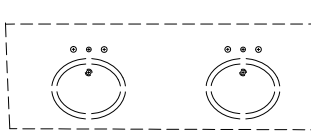
REMOVE EXISTING WASHROOM PARTITIONS AND ATTACHMENTS. PATCH/REPAIR WALLS/FLOORS/CEILINGS WHERE DAMAGE HAS OCCURRED AS A RESULT OF DEMO/REMOVAL. DIVERT FROM LANDFILL AND RECYCLE



REMOVE EXISTING PLUMBING FIXTURES AND ACCESSORIES INCLUDING TOILETS, URINALS, GRAB BARS, DISPENSER/DISPOSAL UNITS. CONSULT WITH YORK REGION PM FOR STORAGE OF DISPENSER/DISPOSAL UNITS



REMOVE EXISTING PORCELAIN TILE AND GROUT FROM ALL FLOOR AND ALL WALL SURFACES ENSURING ALL SURFACES ARE CLEAN AND READY TO RECEIVE NEW FINISHES



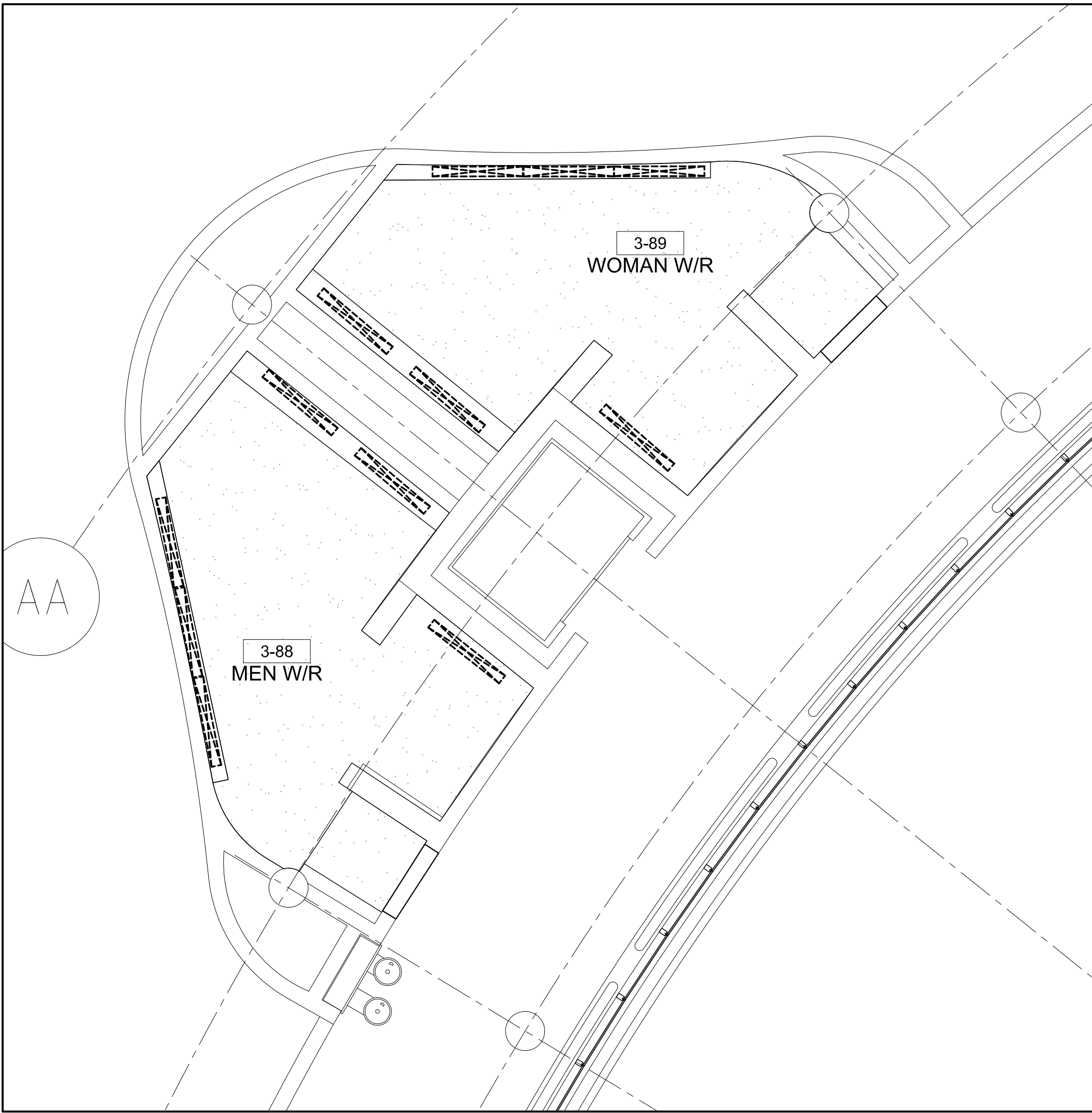
REMOVE EXISTING MILLWORK AND SINK. REMOVE ALL STRUCTURAL SUPPORT FOR MILLWORK COUNTER. REFER TO MECH ENG DWGS FOR PLUMBING RELATED DEMO WORK

DEMOLITION NOTES

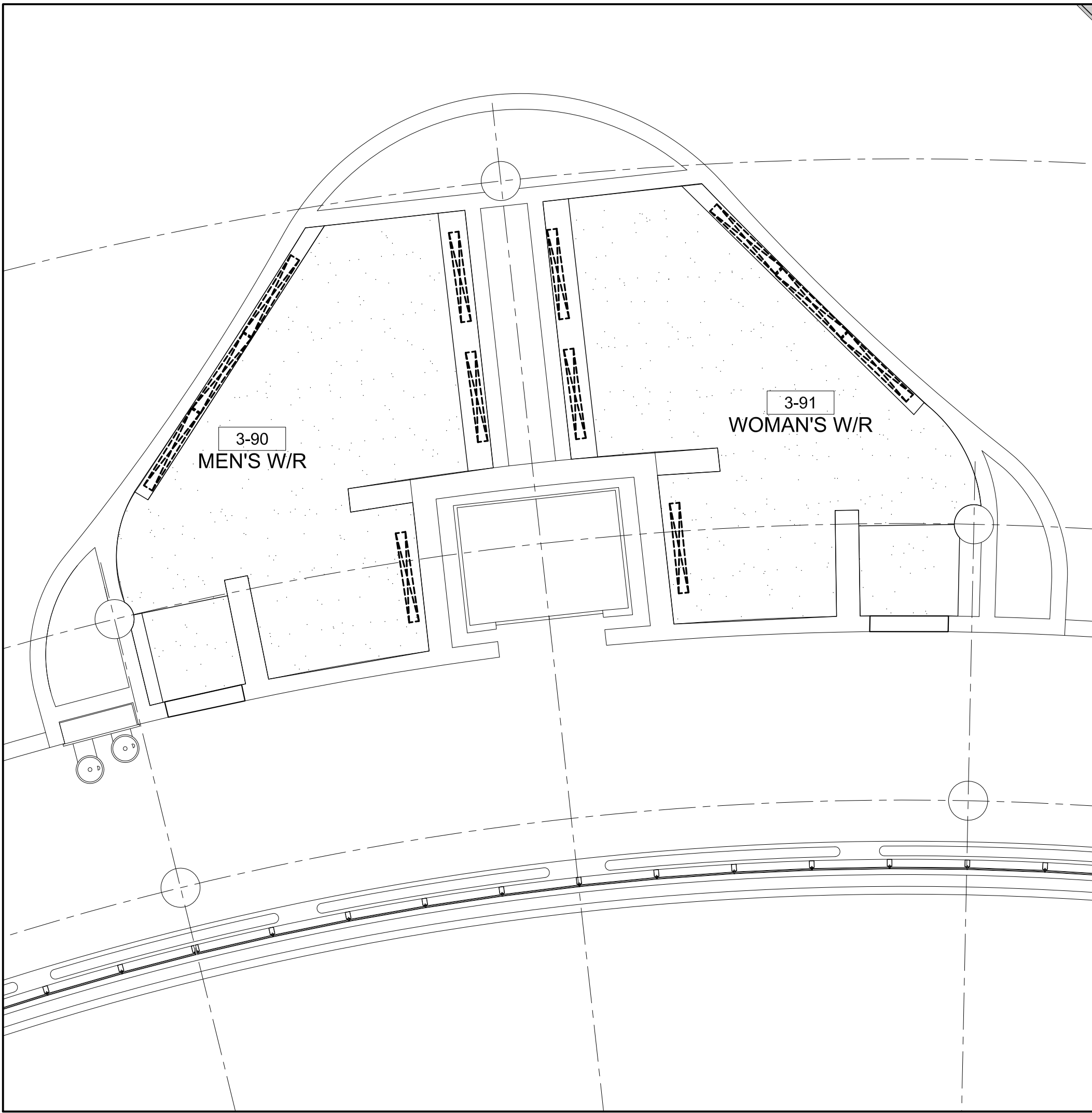
1. CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
2. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #3 ONLY. CONTRACTOR TO PROTECT INTERIOR WALLS OF ELEVATOR #3 WITH HEAVY-WEIGHT ELEVATOR GRADE DROP-CLOTHES
3. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
4. ALL EXISTING CONCRETE WALLS TO REMAIN
5. REMOVE EXISTING GRAB BARS LOCATED IN ALL BARRIER-FREE STALLS
6. YORK REGION BUILDING OPERATION'S SOLID WASTE MANAGEMENT POLICY REQUIRES THAT THE CONTRACTOR TRACK WASTE DIVERSION ON AN EXCEL FORM TO BE PROVIDED BY THE PROJECT MANAGER THEREFORE CONTRACTOR MUST DOCUMENT AND PRESENT TO THE OWNER THE DESTINATION AND VOLUME OF ALL WASTE FOR LEED ADMINISTRATIVE PURPOSES.
7. REMOVE ALL EXIST DISPOSAL/DISPENSER UNITS FROM WALLS. PATCH/REPAIR WALLS WHERE DAMAGE HAS OCCURRED AS A RESULT OF REMOVAL/DEMOLITION. RETURN ALL DISPOSAL/DISPENSER UNITS TO THE YORK REGION PM
8. PATCH/REPAIR/SAND/MAKE GOOD ALL EXISTING GYPSUM & CONCRETE WALLS POST DEMOLITION AND PRIOR TO THE START OF NEW WORK.
9. REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL & ELECTRICAL SCOPE OF WORK AS IT RELATED TO DEMOLITION

KEYNOTE

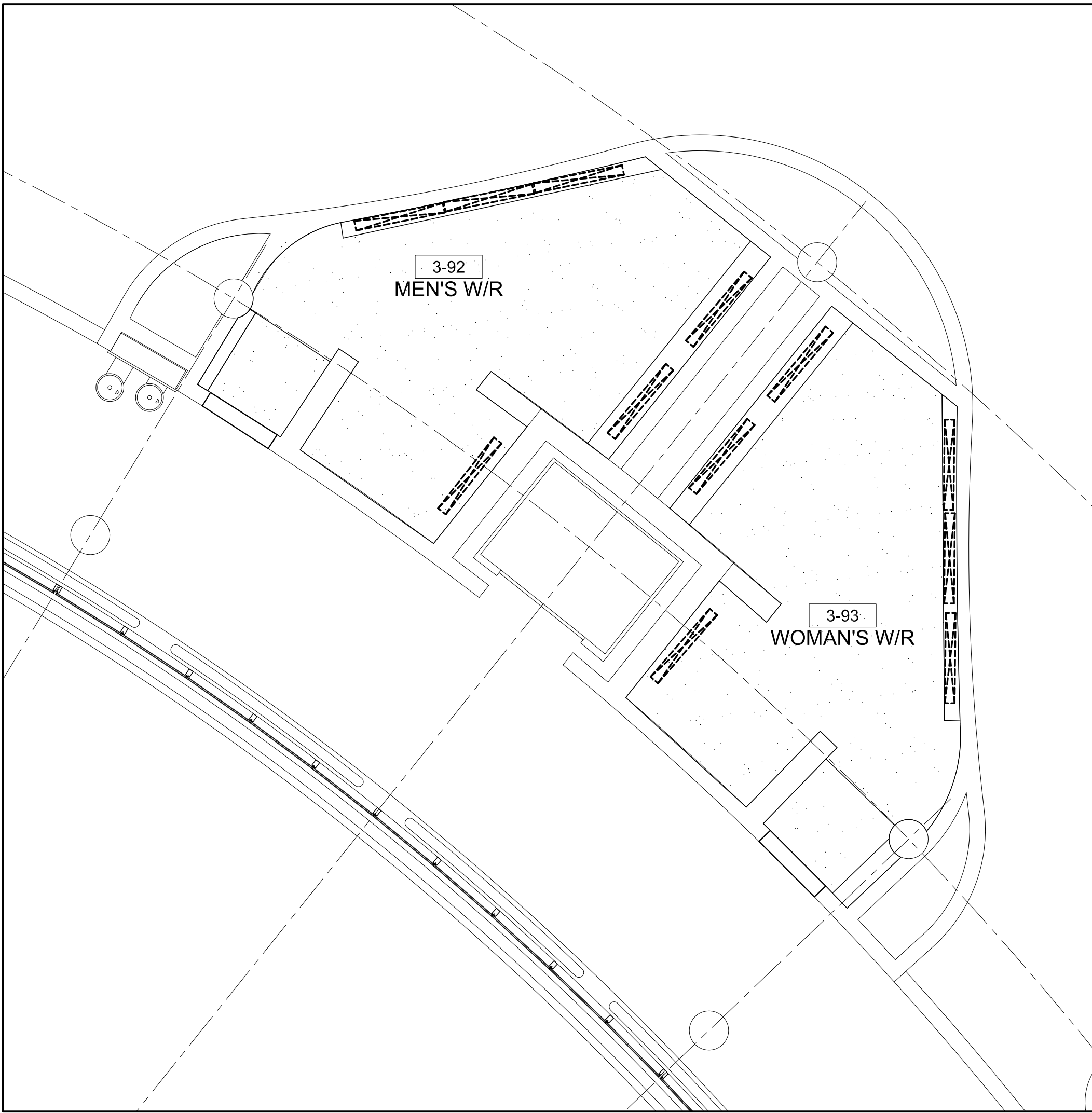
- 1 REMOVE PORTION OF EXISTING WALL AS SHOWN TO +/- 1200MM AFF FOR ACCESS TO AND REMOVAL OF EXISTING STRUCTURAL SUPPORT OF WALL MOUNTED PLUMBING FIXTURES. PATCH/REPAIR FLOOR AS REQUIRED. SUPPLY/INSTALL NEW FIXTURE CARRIERS AS SPECIFIED IN MECHANICAL ENGINEER'S DWGS. REINSTATE NEW WALL AS PER ARCHITECTURAL A200 DWG
- 2 INFILL HOLES, REPAIR & PATCH BLOCK WALLS WHERE REMOVAL OF EXISTING WALL TILE OCCURS. ALLOW FOR UPTO 200 SQ.FT. OF PATCH/REPAIR IN EACH WASHROOM.
- 3 INFILL HOLES, REPAIR & PATCH BLOCK WALLS WHERE REMOVAL OF EXISTING WASHROOM ACCESSORIES OCCURS INCLUDING REMOVAL OF BABY CHANGE TABLES AND NAPKIN DISPENSERS
- 4 CLEAN OUT ALL DEBRIS WITHIN THE WALL CHASE THAT SEPARATES THE MALE AND FEMALE WASHROOM
- 5 GC TO CARRY FIRE STOPPING FOR 30 ADDITIONAL OPENINGS AT THE LOCATION OF THE WALL SHAFT FOR ALL THREE SETS OF WASHROOMS



1
A701 CEILING DEMOLITION PLAN: 3-88 & 3-89
SCALE - 1:50

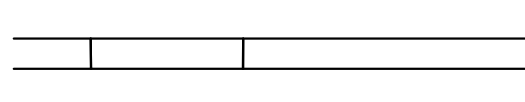


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A701 CEILING DEMOLITION PLAN: 3-90 & 3-91
SCALE - 1:50

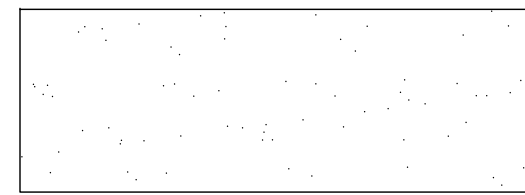


3
A701 CEILING DEMOLITION PLAN: 3-92 & 3-93
SCALE - 1:50

LEGEND:



EXISTING GYPSUM AND CONCRETE WALLS, DOORS AND FRAMES TO REMAIN



EXISTING GYPSUM CEILING TO REMAIN. PATCH, SAND, PAINT.



REMOVE EXISTING LINEAR COVE LIGHTING. PATCH/REPAIR CEILING WHERE POT LIGHTS ARE BEING REMOVED. SAND/FINISH/PAINT CEILING TO MATCH.

CEILING DEMOLITION NOTES

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2. CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF ELEVATOR #1 ONLY. CONTRACTOR TO PROTECT INTERIOR WALLS OF ELEVATOR #1 WITH HEAVY-WEIGHT ELEVATOR GRADE DROP-CLOTHES
3. TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
4. ALL EXISTING CONCRETE WALLS TO REMAIN
5. REMOVE EXISTING GRAB BARS LOCATED IN ALL BARRIER-FREE STALLS
6. CONTRACTOR MUST DOCUMENT AND PRESENT TO THE OWNER THE DESTINATION AND VOLUME OF ALL WASTE FOR LEED ADMINISTRATIVE PURPOSES.
7. YORK REGION BUILDING OPERATION'S SOLID WASTE MANAGEMENT POLICY REQUIRES THAT THE CONTRACTOR TRACK WASTE DIVERSION ON AN EXCEL FORM TO BE PROVIDED BY THE PROJECT MANAGER
8. REMOVE ALL EXIST DISPOSAL/DISPENSER UNITS FROM WALL. PATCH/REPAIR WALLS WHERE DAMAGE HAS OCCURRED AS A RESULT OF REMOVAL/DEMOLITION. RETURN ALL DISPOSAL/DISPENSER UNITS TO THE YORK REGION PM
9. PATCH/REPAIR/SAND/MAKE GOOD ALL EXISTING GYPSUM & CONCRETE WALLS POST DEMOLITION AND PRIOR TO THE START OF NEW WORK.
10. REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL & ELECTRICAL SCOPE OF WORK AS IT RELATED TO DEMOLITION
11. PATCH/REPAIR CEILING WHERE POT LIGHTS ARE BEING REMOVED. SAND/FINISH/PAINT CEILING TO MATCH.

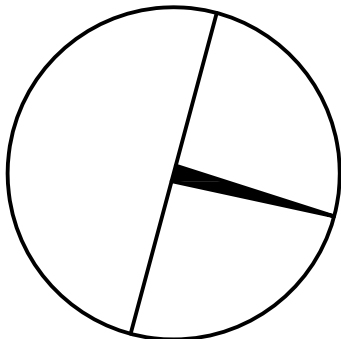
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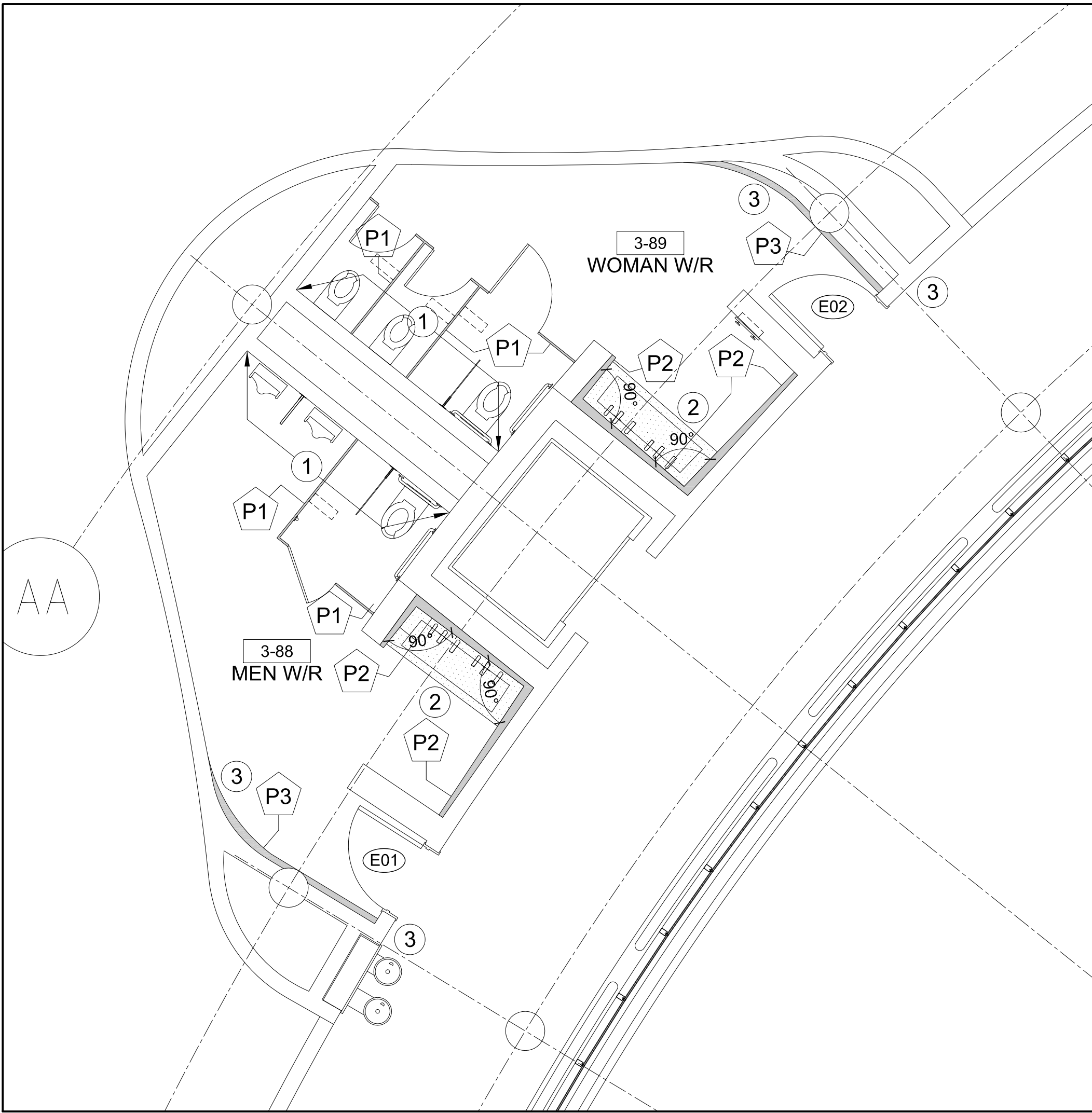
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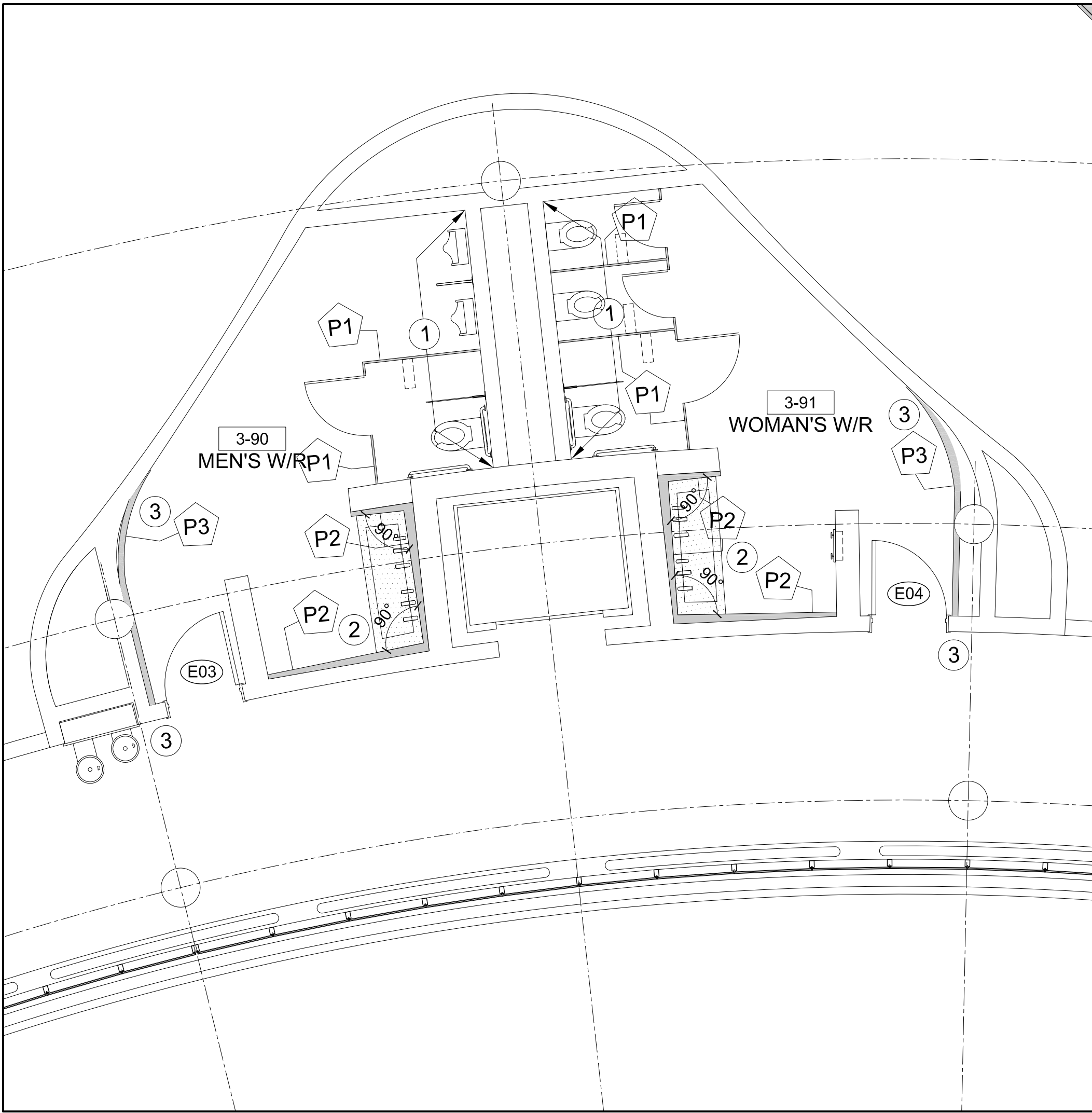
CEILING
DEMOLITION
PLAN

SHEET NUMBER:

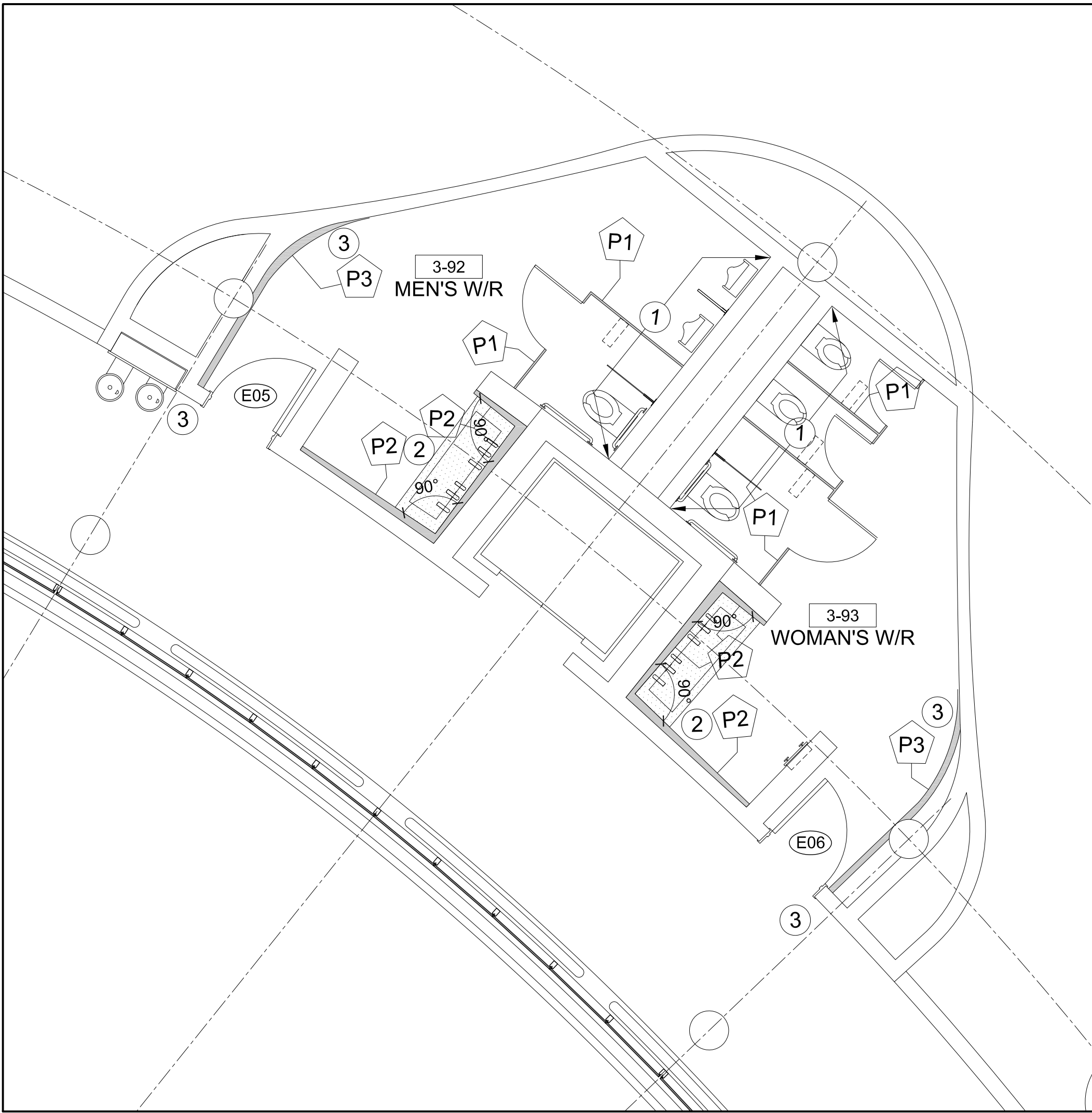
A701



1 PARTITION PLAN: 3-88 & 3-89
A702 SCALE - 1:50



2 PARTITION PLAN: 3-90 & 3-91
A702 SCALE - 1:50



3 PARTITION PLAN: 3-92 & 3-93
A702 SCALE - 1:50

LEGEND:

00000
RM NAME
DENOTES ROOM NAME/NUMBER

EXISTING GYPSUM AND CONCRETE WALLS, DOOR FRAMES TO REMAIN.
EXISTING DOORS E1, E2, E3, E4, E5, E6, E7 & E8 TO BE REMOVED & REFINISHED OFF SITE. SAND AND RESTAIN TO MATCH EXISTING (TWO OR MORE COATS OF STAIN AS REQUIRED TO ACHIEVE MATCH). REMOVE/DISGARD STAINLESS STEEL KICK PRIOR TO REFINISH. SUPPLY/INSTALL NEW STAINLESS STEEL KICK BOTH SIDES OF DOOR TO MATCH PREVIOUS. INSTALL TO DOOR POST REFURBISH

NEW HADRIAN ELITE FLOOR MOUNT TOILET PARTITION
1626MM HIGH DOORS AND PANELS MOUNTED 150MM FROM FINISHED FLOOR. ANTI-GRAFITI ELITE POWDER COAT FINISH-WHITE#541 W/ 'NO-SIGHTLINE SOLUTION'. COMPLETE HARDWARE PACKAGE STAINLESS STEEL WITH ALL BARRIER-FREE FEATURES AND SAFETY RELEASE HATCHES. INSTALLATION OF HADIAN PARTITIONS MUST RESPECT AODA FLOOR CLEARANCES. CHALK-LINE FLOOR AND PROVIDE DETAILED HADRIAN SHOPS PRIOR TO SUPPLY/INSTALL. GC TO ALLOW FOR WOOD BLOCKING IN WALL CAVITY FOR RIGID INSTALLATION. PATCH/REPAIR/MAKEGOOD/PAINT WALLS AS REQUIRED.

P-2 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING. GYP WALL C/W 16MM DENS GLASS ON SINGLE SIDE OF 40MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY.

P-3 PARTITION TYPE DENOTES NEW FURRED CURVED GYPSUM WALL FROM FLOOR SLAB TO U/S OF FINISHED CEILING C/W 12MM GYP ON ONE SIDE OF 64MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 1/3 HEIGHT OF WALL FOR RIGIDITY. BURY THE CABLE FOR THE AUTOMATIC PUSH BUTTON. REFER TO DETAIL #/A60

DENOTES NEW CUSTOM VANITY BY ARDEC GROUP. REFER TO MECHANICAL ENGINEER'S DWGS FOR SPEC. GC TO PROVIDE SHOP DRAWINGS FROM ARDEC GROUP FOR ARCH REVIEW PRIOR TO SUPPLY/INSTALL. SITE VERIFY ALL DIMENSIONS. CONTACT LANCE SMITH 905-648-3809 FOR TENDER & SHOPS

DENOTES NEW PLUMBING FIXTURES. REFER TO MECHANICAL ENGINEER'S DRAWING FOR NEW PLUMBING SPECS AND DIRECTION

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- ALL EXISTING CONCRETE WALLS TO REMAIN
- PATCH/REPAIR/SAND/MAKE GOOD ALL EXISTING GYPSUM & CONCRETE WALLS POST DEMOLITION AND PRIOR TO THE START OF NEW WORK.
- REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL & ELECTRICAL SCOPE OF WORK AS IT RELATED TO NEW WORK
- GC TO ALLOW FOR STEEL BLOCKING IN PLENUM SPACE FOR STRUCTURAL SUPPORT OF CEILING MOUNTED WASHROOM PARTITIONS. PATCH/REPAIR/MAKEGOOD/PAINT FLAT FINISH CEILING AS REQUIRED
- TILESETTER TO BE PRESENT AT CONSTRUCTION START-UP MEETING TO DISCUSS DESIGN INTENT AND EXPECTATION WITH RESPECT TO TILE CUTTING, SUPPLY AND INSTALL. ELEVATIONS SHOWN ON A600 SERIES DWGS ARE REPRESENTATIVE OF DESIGN INTENT

KEYNOTE

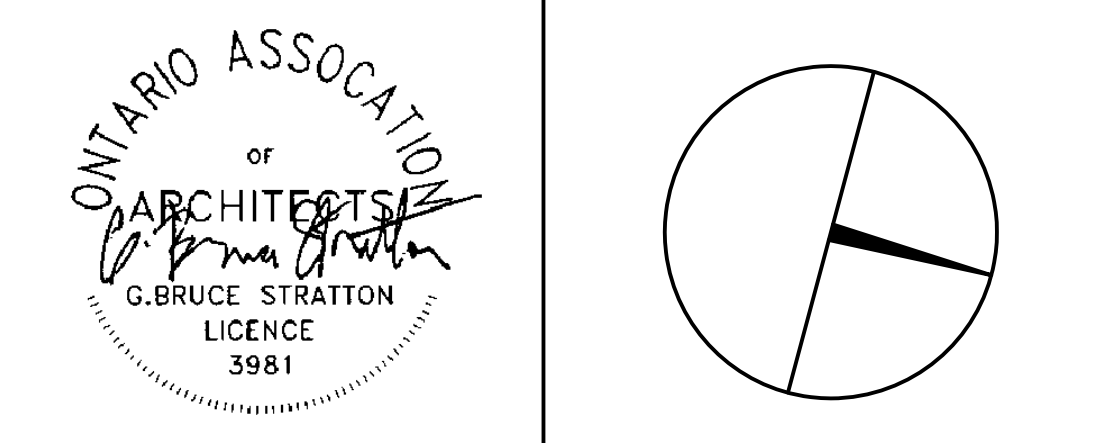
- PATCH/REPAIR OPENING AFTER INSTALL OF NEW FIXTURE CARRIERS. ALLOW FOR 12MM GYPSUM TO BE SECURED TO EXISTING STEEL STUDS. PATCH/MAKE GOOD TO RECEIVE NEW WALL TILE
- FUR WALLS ON ALL THREE SIDES OF VANITY TO 'SQUARE-OFF' OPENING FOR EASE OF VANITY INSTALL
- PATCH REPAIR ALL SURFACES (WALLS/CEILINGS) WHERE TOUCHLESS DOOR OPERATORS ARE BEING INSTALLED. BOTH INSIDE AND OUTSIDE THE WASHROOM ENTRANCE FOR ALL 3RD FLOOR WASHROOMS

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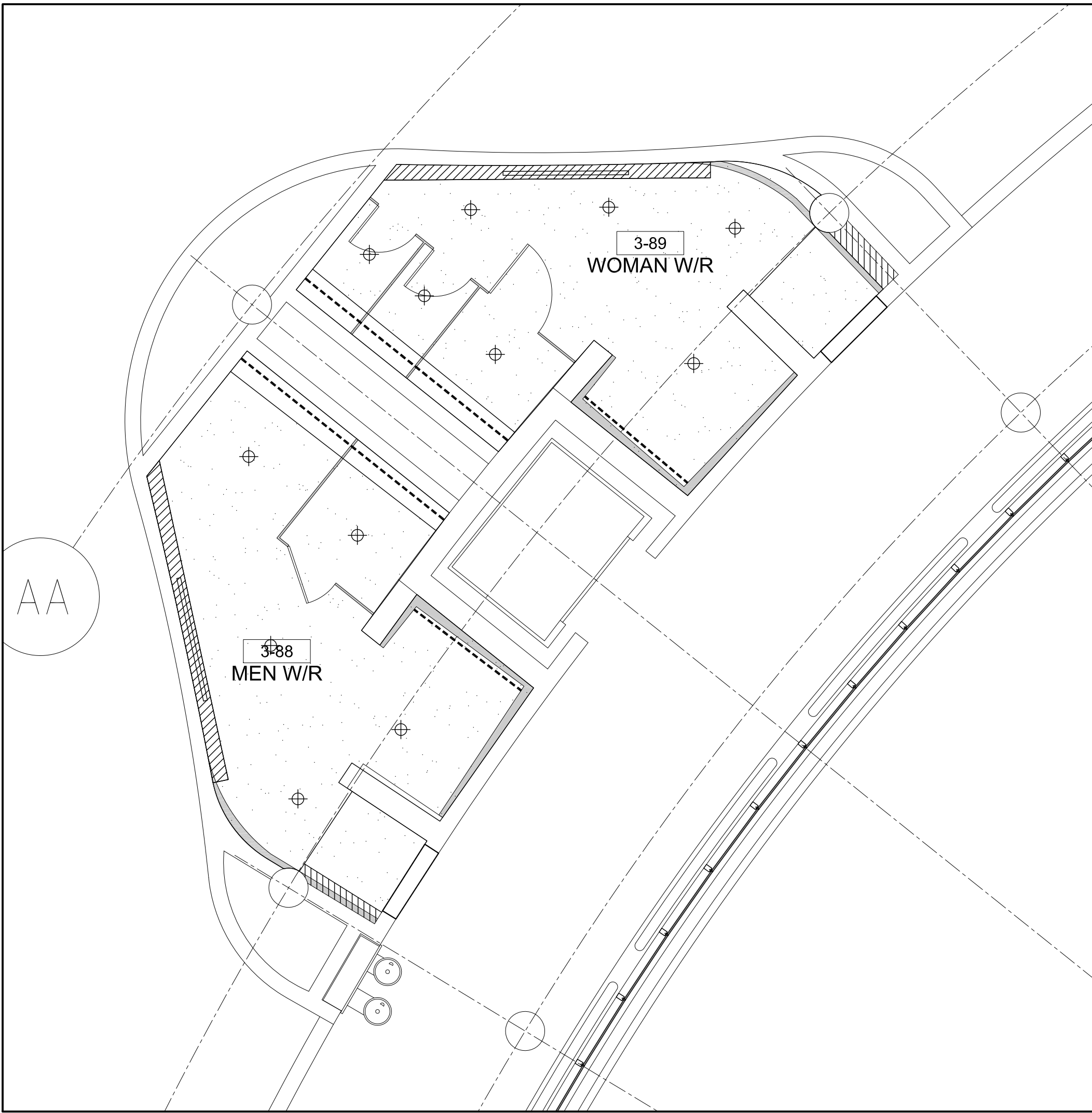
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

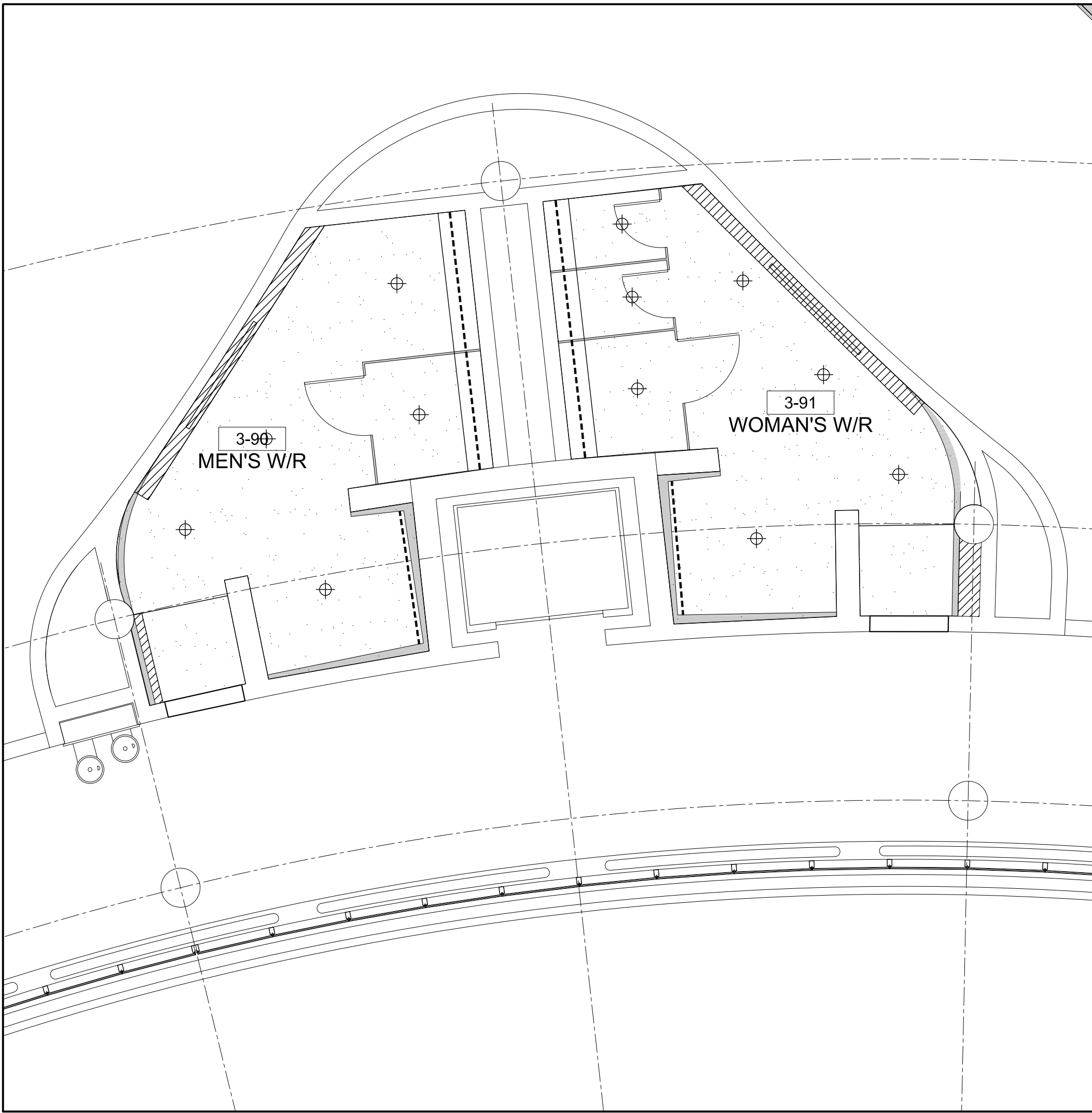
PARTITION PLAN

SHEET NUMBER:

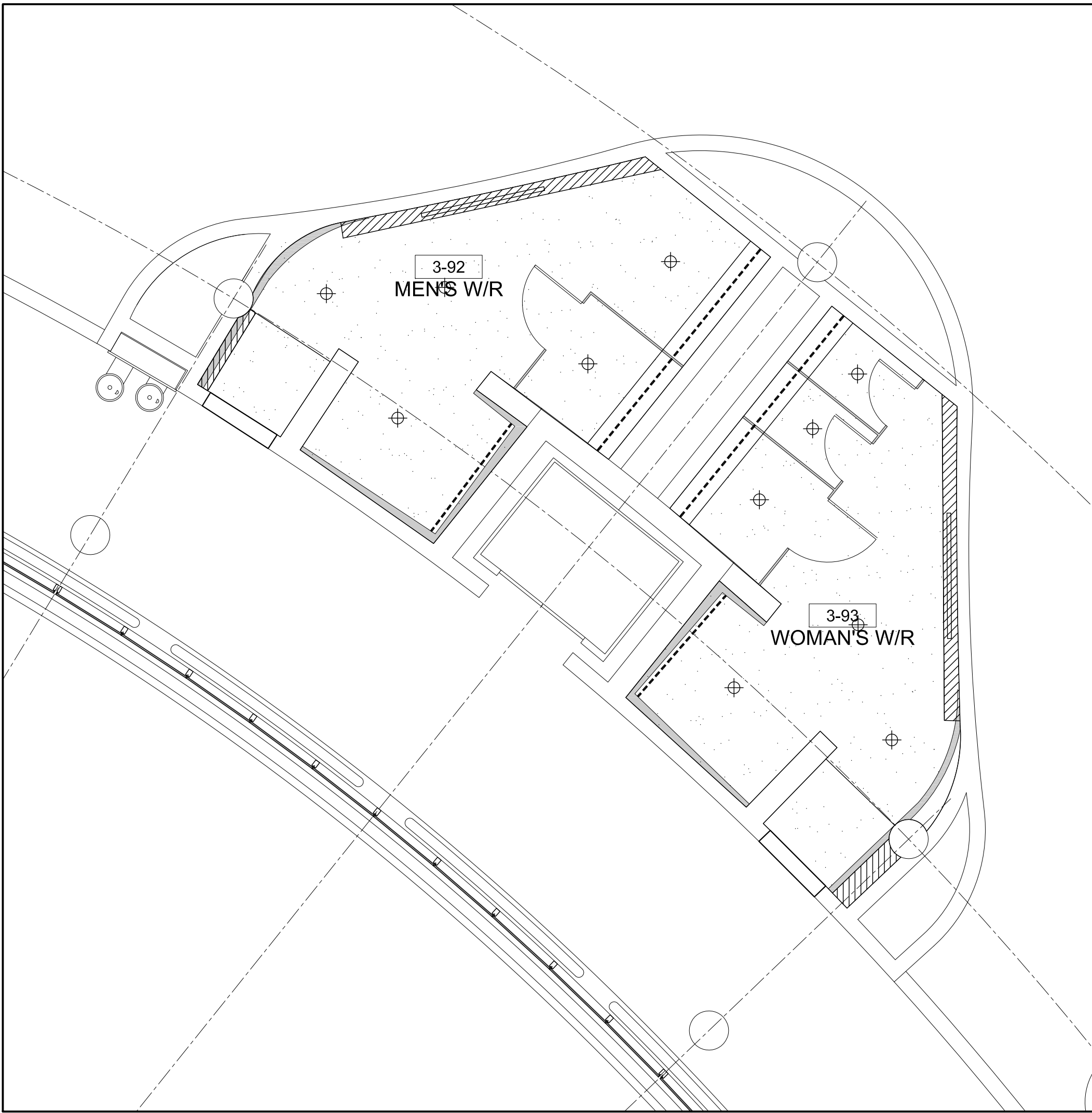
A702



1 REFLECTED CEILING PLAN: 3-88 & 3-89
A703 SCALE - 1:50



2 REFLECTED CEILING PLAN: 3-90 & 3-91
A703 SCALE - 1:50



3 REFLECTED CEILING PLAN: 3-92 & 3-93
A703 SCALE - 1:50

LEGEND:

EXISTING GYPSUM AND CONCRETE WALLS, DOOR FRAMES TO REMAIN

EXISTING GYPSUM CEILING TO REMAIN. PATCH, SAND, PAINT.

INFILL EXISTING COVE AREA AS SHOWN WITH 12MM GYPSUM SO THAT NEW GYPSUM CEILING MATCHES HEIGHT OF EXISTING GYPSUM CEILING FOR FLUSH/SEAMLESS FINISH. PATCH, SAND, PAINT FLAT FINISH

NEW LED COVE LIGHTING

NEW LINEAR SLOT DIFFUSER. 1830MM LENGTH. REFER TO 4/A300 FOR DETAIL/SPEC

NEW LINEAR SLOT DIFFUSER. 914MM LENGTH. REFER TO 4/A300 FOR DETAIL/SPEC

NEW LED POT LIGHT

REFLECTED CEILING PLAN NOTES

- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
- REFER TO MECHANICAL/ELECTRICAL DWGS FOR ENGINEERING WORK/DIRECTION/SPECIFICATION

CUSTOM FLOW LINEAR SLOT DIFFUSER BY PRICE INDUSTRIES OR EQUAL. PROVIDE SPEC SHEET FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL TYPE 41 - ANGULAR FRAME

Type 41 - Angular Frame Drywall (ceiling, wall)

Drywall cut at 45° to match diffuser flange

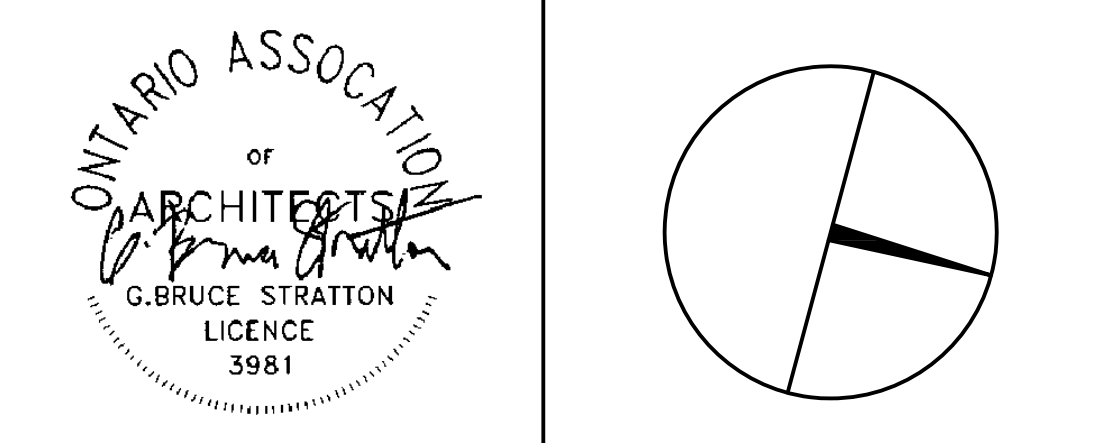
For continuous, 1 slot application.

- GENERAL NOTES:
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4	11-12-2020	ISSUED FOR TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

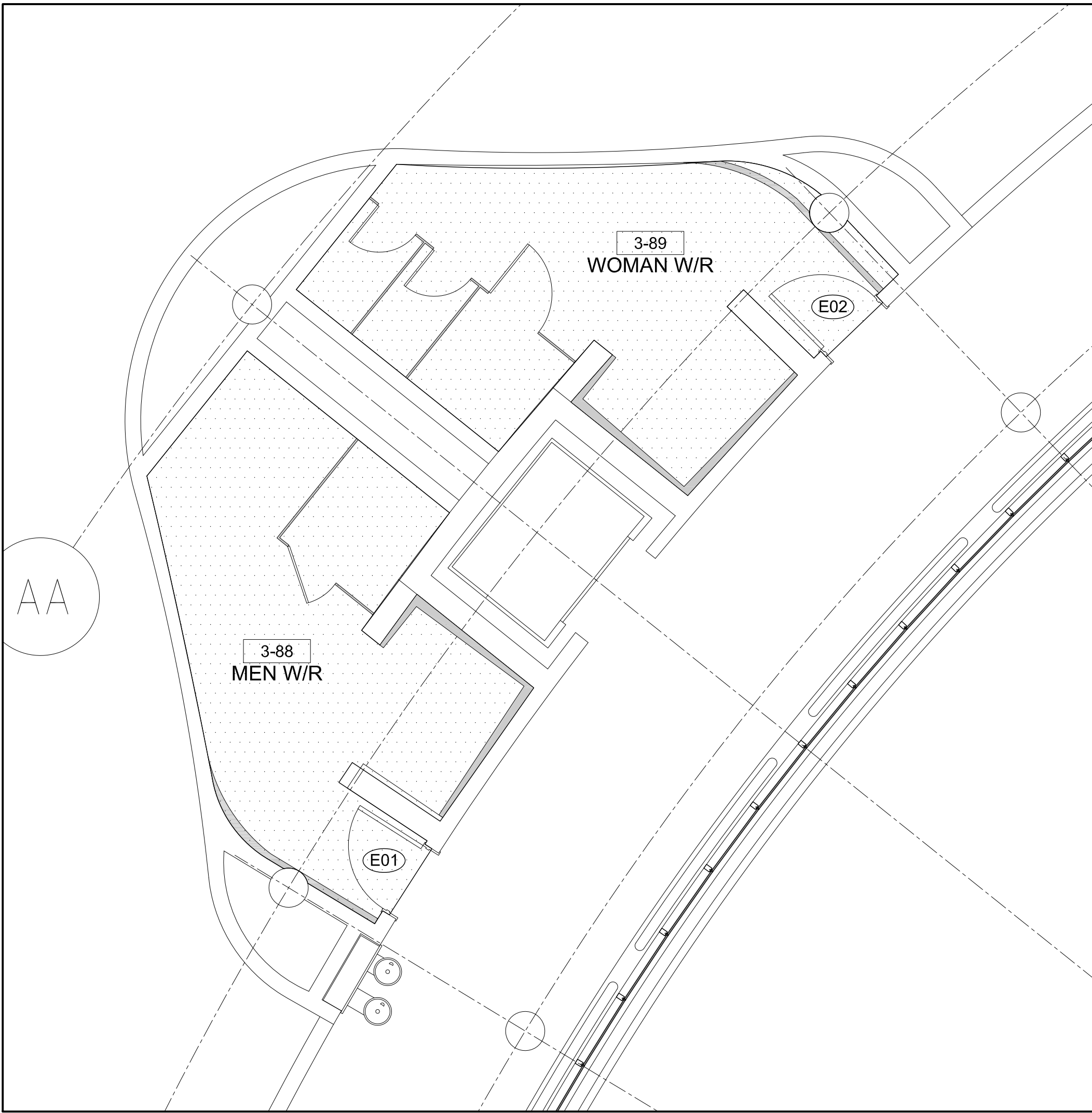
SUBMITTED TO: MUNICIPALITY OF YORK

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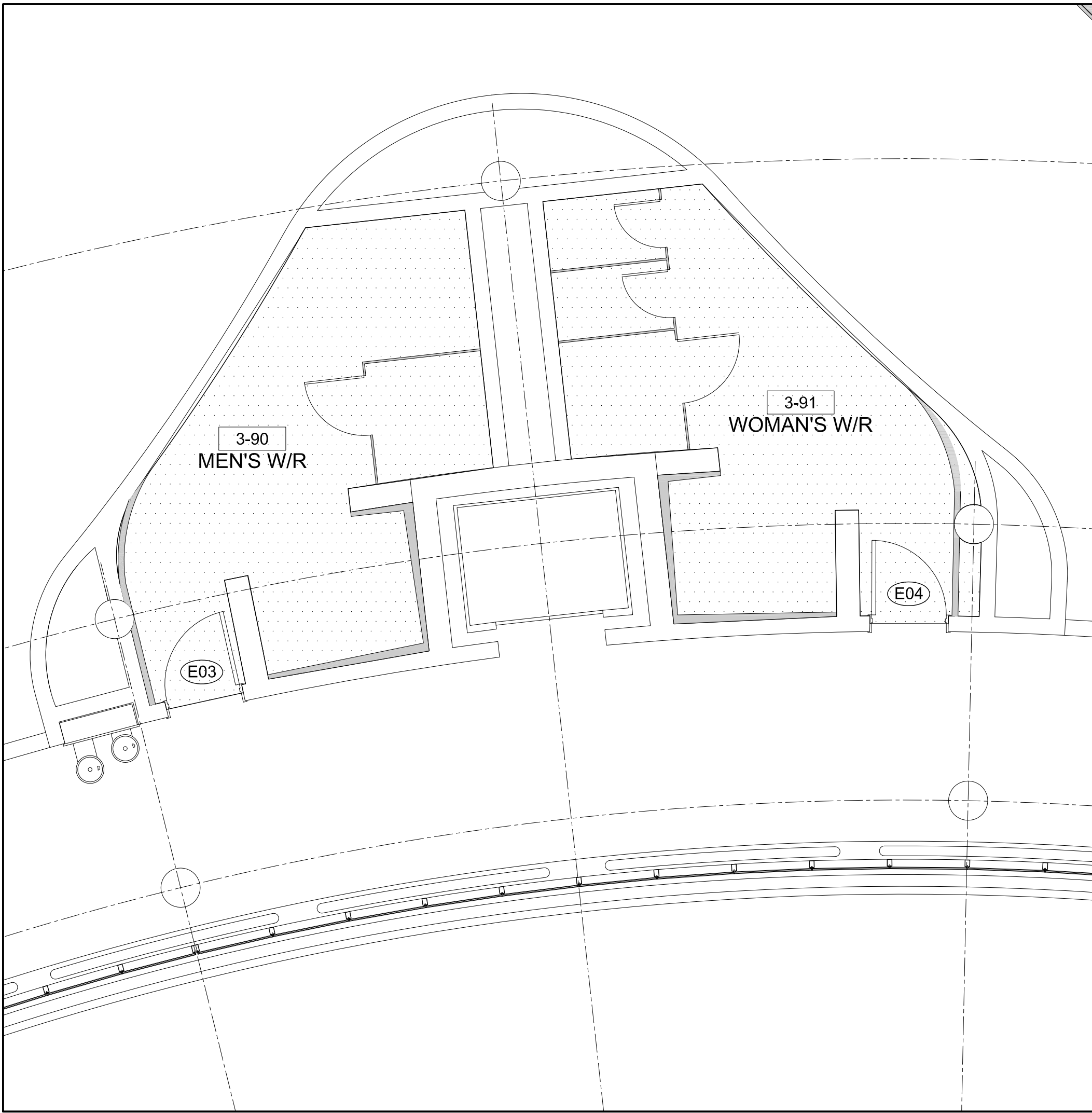
**REFLECTED
CEILING PLAN**

SHEET NUMBER:

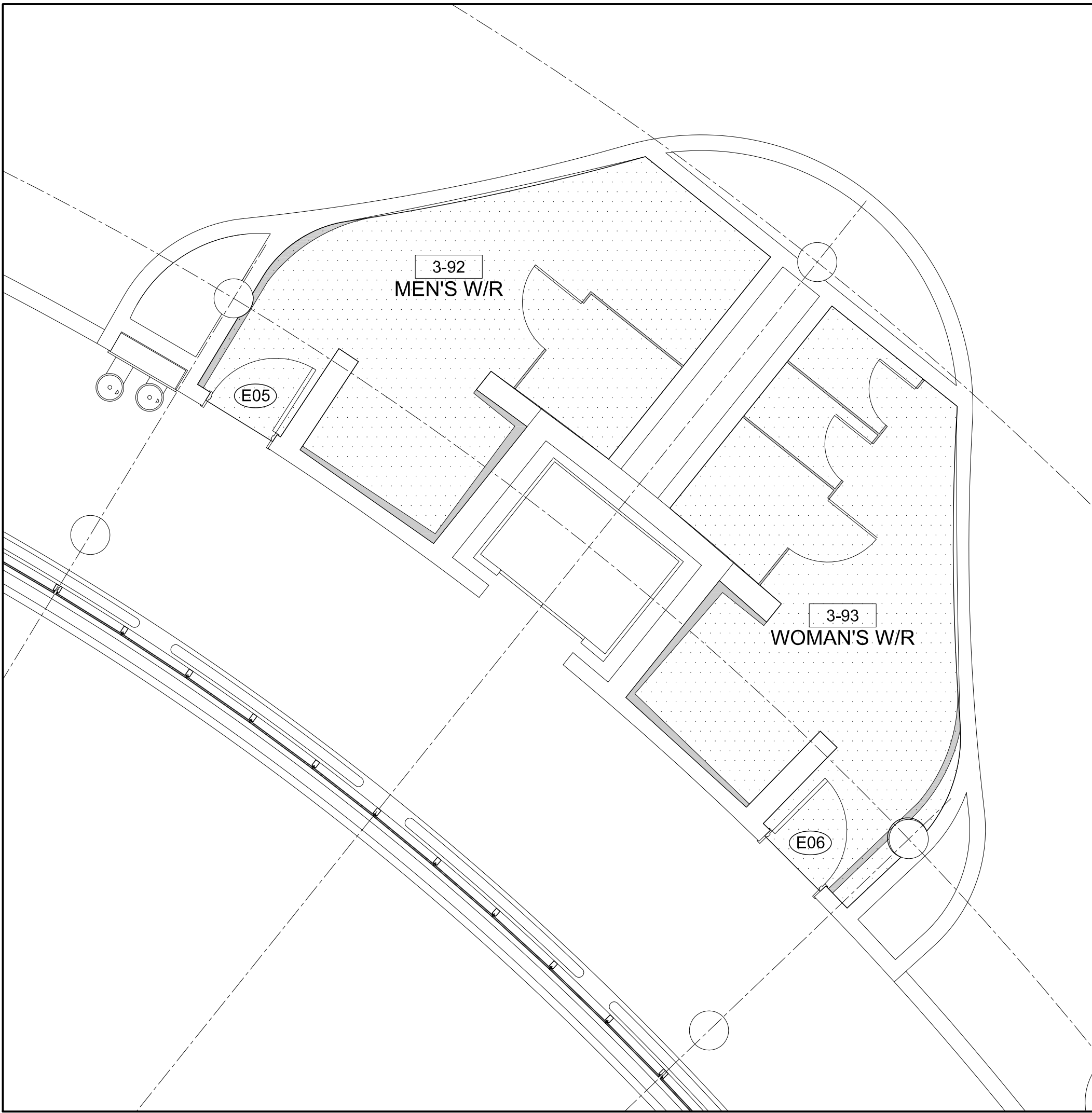
A703



1 FINISHES: 3-88 & 3-89
A704 SCALE - 1:50



2 FINISHES: 3-90 & 3-91
A704 SCALE - 1:50



3 FINISHES: 3-92 & 3-93
A704 SCALE - 1:50

000000

RM NAME

E#

PT4

PT5

LEGEND:

000000 RM NAME DENOTES ROOM NAME/NUMBER

EXISTING GYPSUM AND CONCRETE WALLS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

TL-2 NEW PORCELAIN TILE FLOOR
MANUFACTURER: OLYMPIA TILE
SERIES: MAXSTONE
COLOUR: MEDIUM GREY MATTE
SIZE: 60X120 CM
PROVIDE SAMPLE FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL
GROUT COLOUR: TO LATER SPEC BY ARCHITECT

PT4 - CEILING PAINT COLOUR
BENJAMIN MOORE
COLOUR: DISTANT GREY #OC-68
FINISH: MATTE
PROVIDE DRAWDOWN FOR ARCHITECT REVIEW PRIOR TO SUPPLY/APPLY

PT5 - DOOR FRAME PAINT COLOUR
BENJAMIN MOORE
COLOUR: MATCH EXISTING
FINISH: SEMI-GLOSS
PROVIDE DRAWDOWN FOR ARCHITECT REVIEW PRIOR TO SUPPLY/APPLY

FINISHES NOTES

- TRANSPORTATION OF DEMOLITION MATERIAL IS NOT PERMITTED MONDAY-FRIDAY BETWEEN THE HOURS OF 8:00AM - 4:30PM
- CONTRACTOR TO DISPOSE OF ALL DEBRIS THROUGH THE USE OF 'ELEVATOR #3 ONLY. CONTRACTOR TO PROTECT INTERIOR WALLS OF ELEVATOR #3 WITH HEAVY-WEIGHT ELEVATOR GRADE DROP-CLOTHES
- CONTRACTOR MUST PROTECT THE ELEVATOR CAB WHEN IN USE OR RISK REPAIR COST FOR DAMAGE
- CONSTRUCTION WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS
- CONTRACTOR MUST DOCUMENT AND PRESENT TO THE OWNER THE DESTINATION AND VOLUME OF ALL WASTE FOR LEED ADMINISTRATIVE PURPOSES.
- YORK REGION BUILDING OPERATION'S SOLID WASTE MANAGEMENT POLICY REQUIRES THAT THE CONTRACTOR TRACK WASTE DIVERSION ON AN EXCEL FORM TO BE PROVIDED BY THE PROJECT MANAGER
- REFER TO ENGINEER'S DRAWINGS FOR MECHANICAL & ELECTRICAL SCOPE OF WORK AS IT RELATED TO NEW WORK

CONTINUOUS STAINLESS STEEL EDGE BY SCHLUTER SYSTEMS - QUADREC (E) VERIFY CORRECT HEIGHT REQUIREMENT WITH HT. OF PORCELAIN TILE
PROVIDE SHOP DRAWING FOR ARCHITECT REVIEW PRIOR TO SUPPLY/INSTALL

PORCELAIN TILE. VERIFY TILE THICKNESS

PORCELAIN TILE. VERIFY TILE THICKNESS

SUBSTRATE

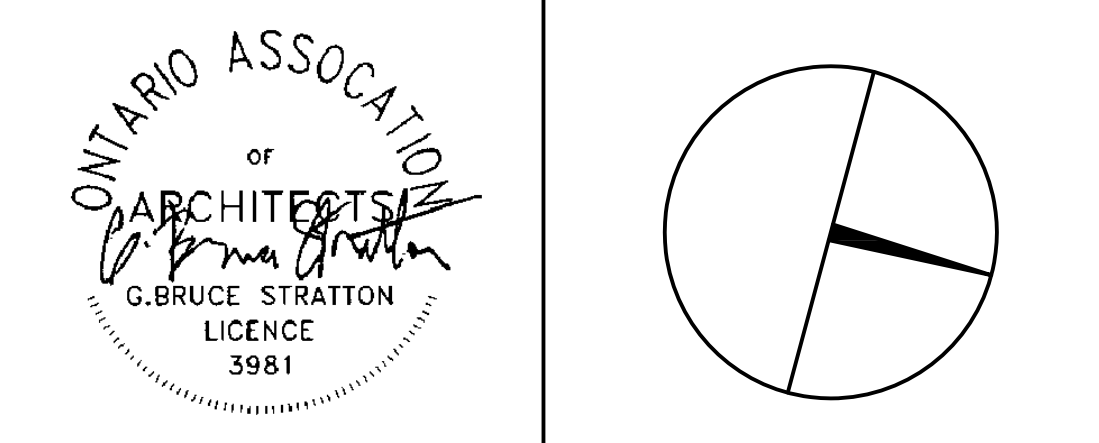
NOTE: ALLOW FOR CONTINUOUS STAINLESS STEEL SCHLUTER EDGE AT ALL EXPOSED CORNERS. APPROXIMATELY 40 EXPOSED CORNERS IN TOTAL. CONTINUOUS/NO BREAKS

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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

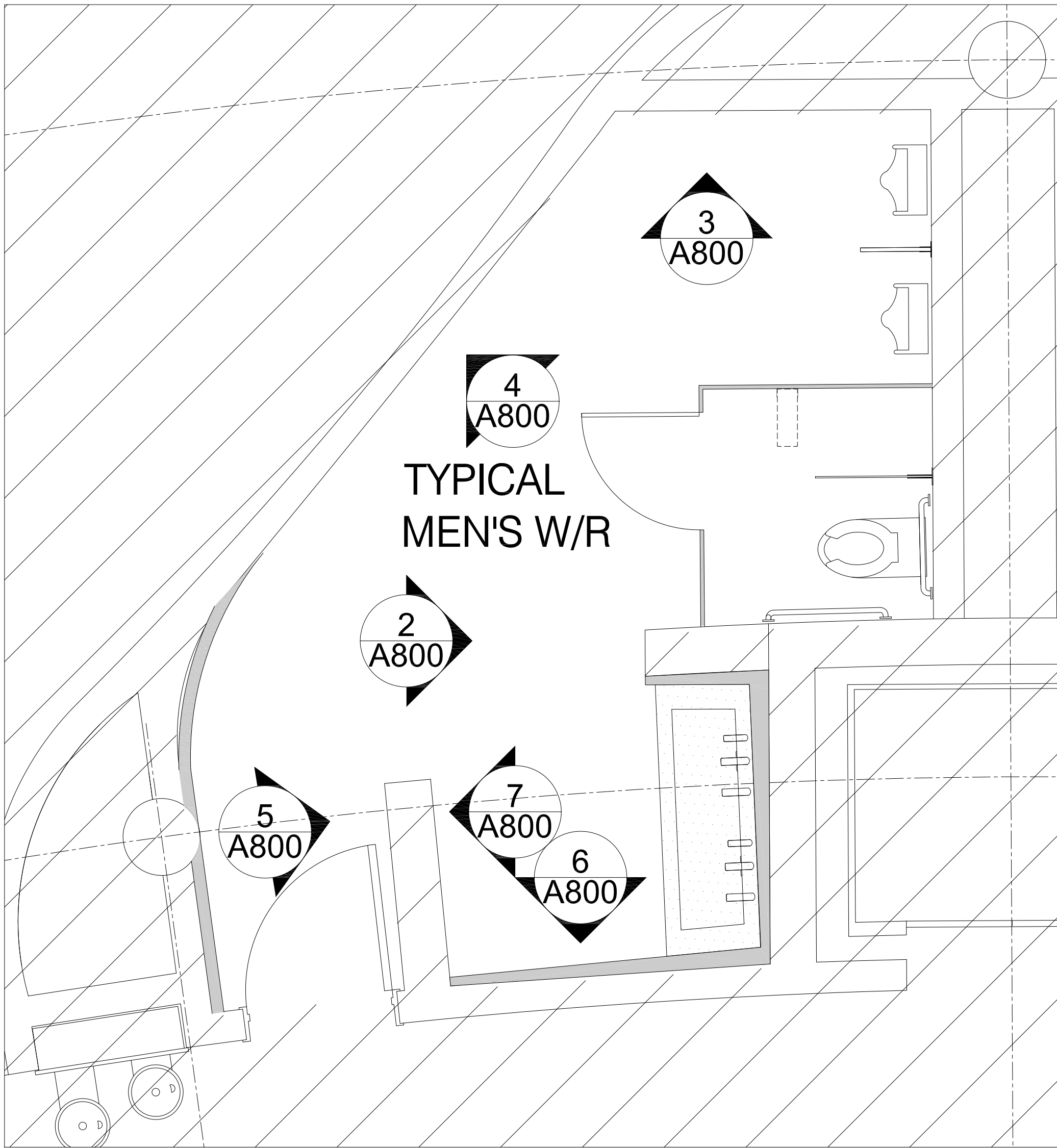
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

FINISHES

SHEET NUMBER:

A704



1 PLAN: TYPICAL MEN'S WASHROOM (3-88, 3-90 & 3-92)
SCALE - 1:25

WASHROOM ACCESSORIES LEGEND

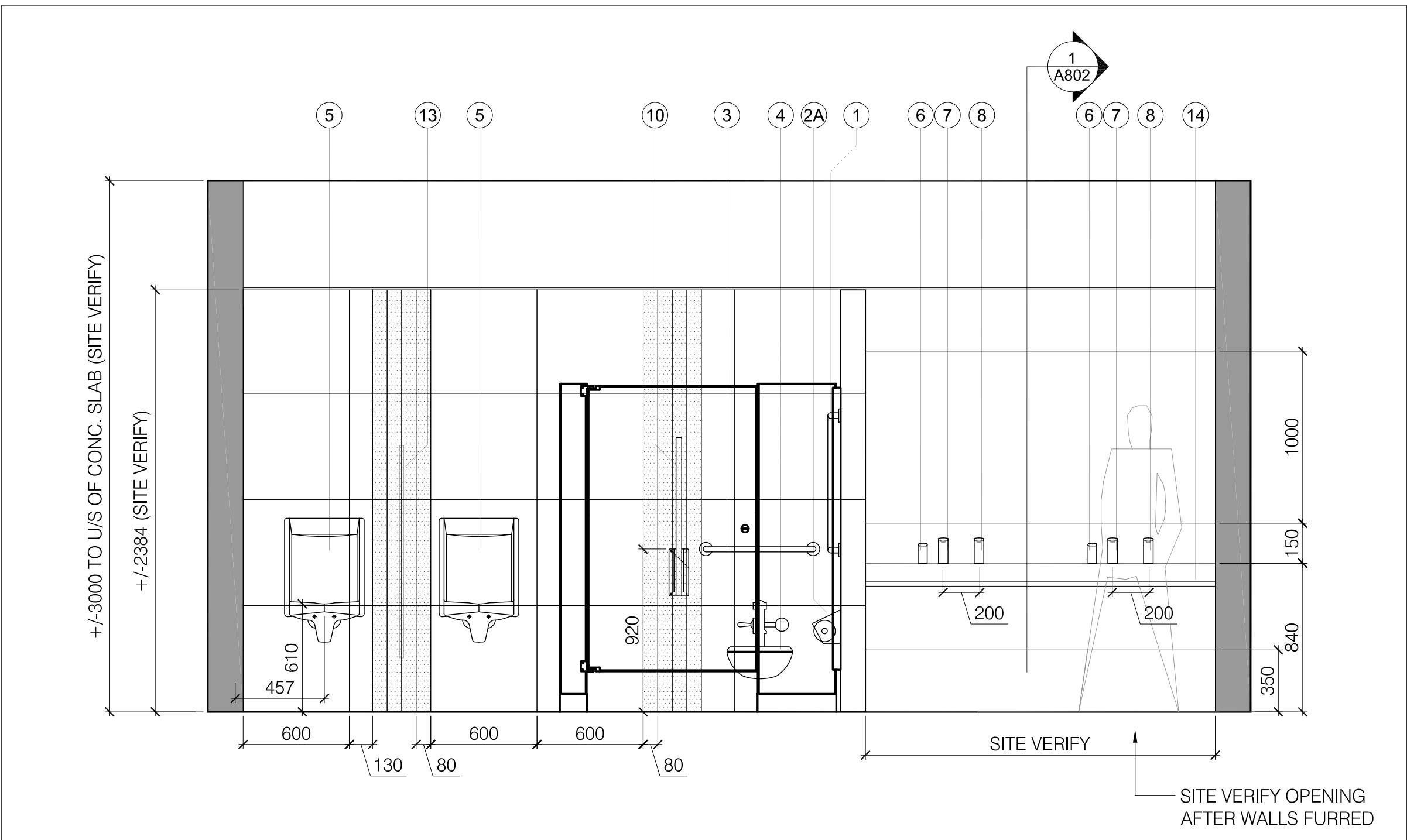
- 1 STAINLESS STEEL GRAB BAR, FROST L-SHAPED 1003-NP 30X30 1-1/2" DIA. (OR EQUAL)
- 2A TOILET PAPER DISPENSER (AODA), FROST DOUBLE ROLL W/ HOOD #158S (OR EQUAL)
- 2B TOILET PAPER DISPENSER, SAN JAMAR #R4090TBK- BLACK (OR EQUAL)
- 3 STAINLESS STEEL GRAB BAR, 24" FROST 1001-NP 1-1/2" DIA. (OR EQUAL)
- 4 BF WATER CLOSET (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 5 URINAL (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 6 DECK-MOUNT SOAP DISPENSER (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 7 DECK-MOUNT SENSOR TAP (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 8 DECK-MOUNT SENSOR HAND DRYER (REFER TO MECH/ELEC ENGINEER'S DWGS FOR SPEC/DIRECTION)
- 9 COAT/PURSE HOOK, RICHELIEU CONTEMPORARY STAINLESS STEEL HOOK - 1483, PRODUCT # RH1483011170, DISCUSS EXACT PLACEMENT WITH ARCHITECT PRIOR TO SUPPLY/INSTALL (ALLOW FOR 32 HOOKS IN TOTAL)
- 10 FLIP UP SAFETY RAIL, FROST STAINLESS STEEL 1055-S - WALL BRACKET IN WHITE (OR EQUAL)
- 11 RECESSED DOUBLE NAPKIN VENDOR, FROST 615-5 - STAINLESS STEEL (OR EQUAL)
- 12 N/A
- 13 FLANGE MOUNTED PRIVACY PANEL, HADRIAN TO MATCH WASHROOM PARTITIONS (1200MMX457MM)
- 14 MONOLITH SINK BASIN (CORIAN - COLOUR TLS) W/ STAINLESS STEEL PIPESKIRT, CONTACT LANCE SMITH WITH ARDEC GROUP - 905-648-3809 /lance.smith@ardecgroup.com
- 15 FLIP-UP SHELF, FROST STAINLESS STEEL CODE 955 (OR EQUAL), ALLOW FOR A TOTAL OF 14 FLIP-UP SHELVES

FIELD TILE (TL-3)
MANUFACTURER: OLYMPIA TILE
TILE SERIES: COLORS SERIES
COLOR: WHITE MATTE
SIZE: 60CM X 60CM TILE CUT TO SUIT ELEVATION DWGS
PROVIDE SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO SUPPLY/INSTALL

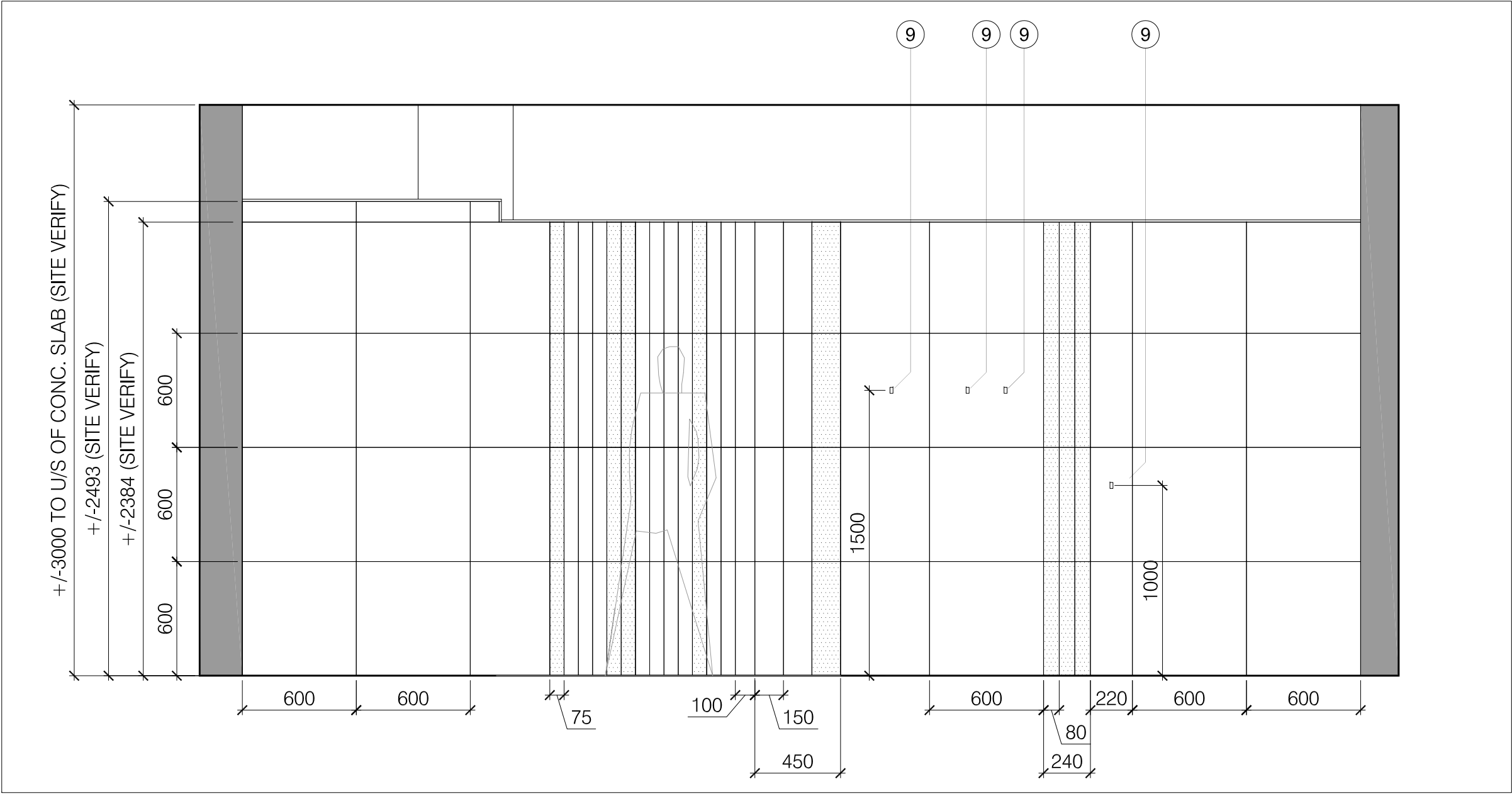
ACCENT TILE (TL-4)
MANUFACTURER: OLYMPIA TILE
TILE SERIES: COLORS SERIES
COLOR: BLUE MATTE
SIZE: 60CM X 60CM TILE CUT TO SUIT ELEVATION DWGS
PROVIDE SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO SUPPLY/INSTALL

NOTES

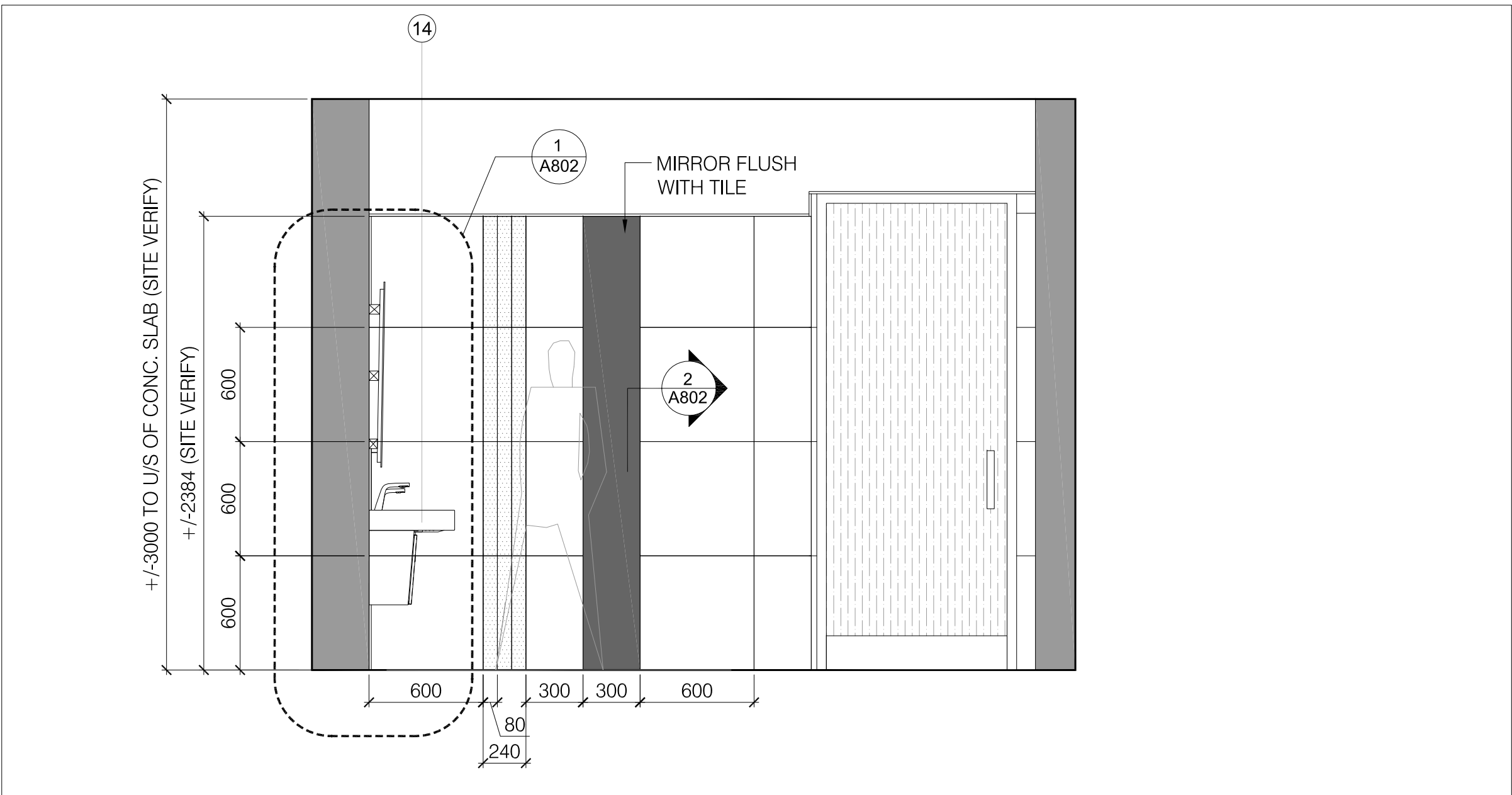
- 1. PROVIDE ADEQUATE BRACING IN WALL CAVITY FOR SUPPORT OF WASHROOM ACCESSORIES AND FIXTURES. PATCH/REPAIR WALL AS REQ'D
- 2. ALLOW FOR 1% SLOPE TO DRAIN WHERE DRAIN HAS BEEN SPECIFIED ON MECHANICAL DRAWINGS
- 3. PROVIDE WATERPROOF MEMBRANE BETWEEN TILE AND SUBFLOOR
- 4. REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR PLUMBING RELATED FIXTURE SPECS
- 5. REFER TO ELECTRICAL ENGINEER'S SPECS FOR POWER, LIGHTING AND LIFE SAFETY SPECIFICATION
- 6. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MILLWORK, FIXTURES AND ACCESSORIES PRIOR TO SUPPLY/INSTALL
- 7. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MIRRORS AND BACK-PAINTED GLASS TO ENSURE DESIGN INTENT IS BEING MET
- 8. GC'S TILE LAYER TO MEET ON SITE WITH ARCHITECT TO DISCUSS INSTALLATION OF TILE PRIOR TO THE START OF WORK. IT IS UNDERSTOOD THAT THE TILER WILL HAVE TO CUT TILE ON SITE TO SUIT EXACT SITE CONDITIONS & ARCHITECT'S DESIGN
- 9. LOCATION OF FIXTURES (TOILETS & URINALS) DOES NOT CHANGE FROM EXISTING



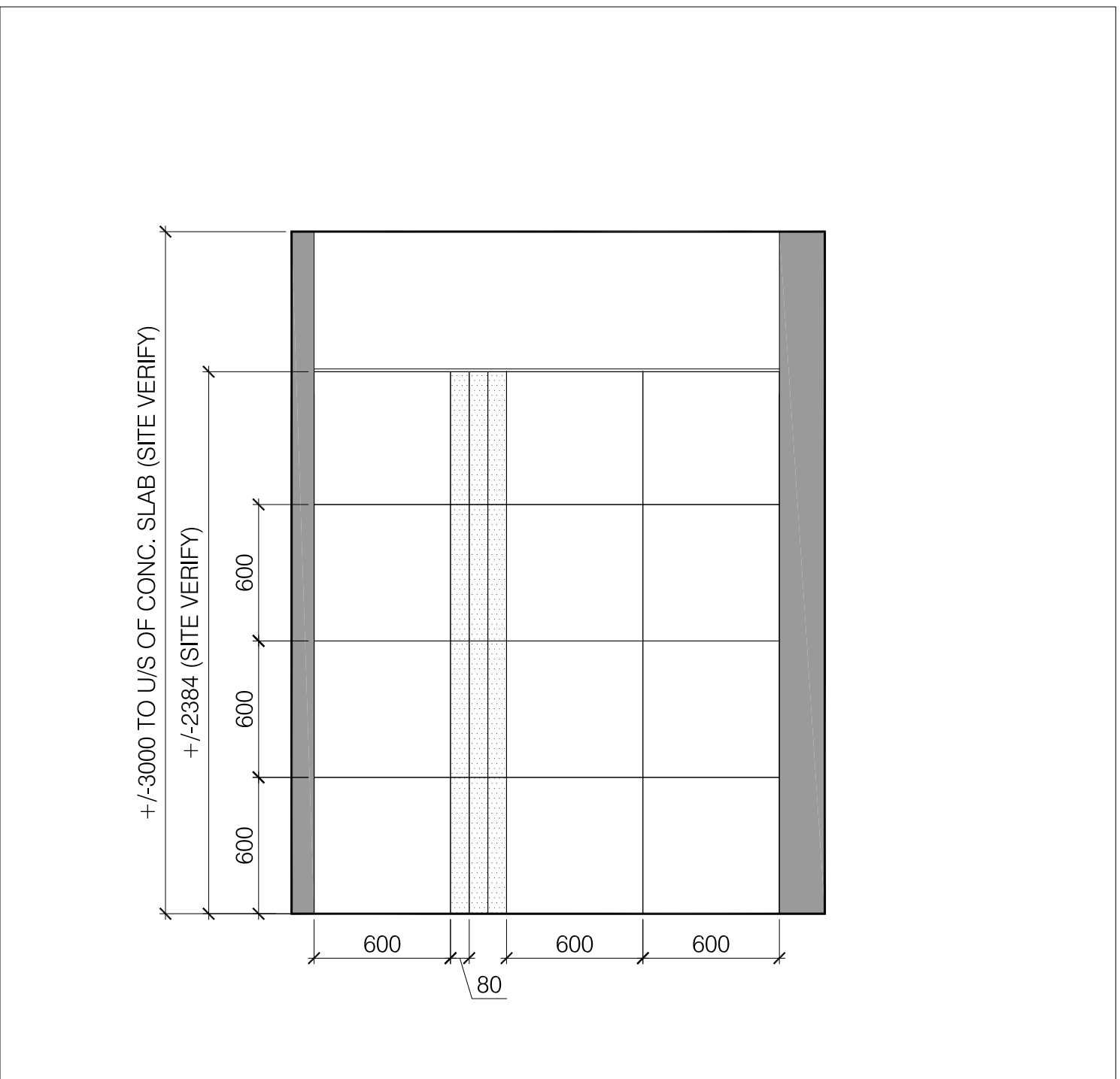
2 ELEVATION: TYP MEN'S W/R (3-88, 3-90, 3-92)
SCALE - 1:25



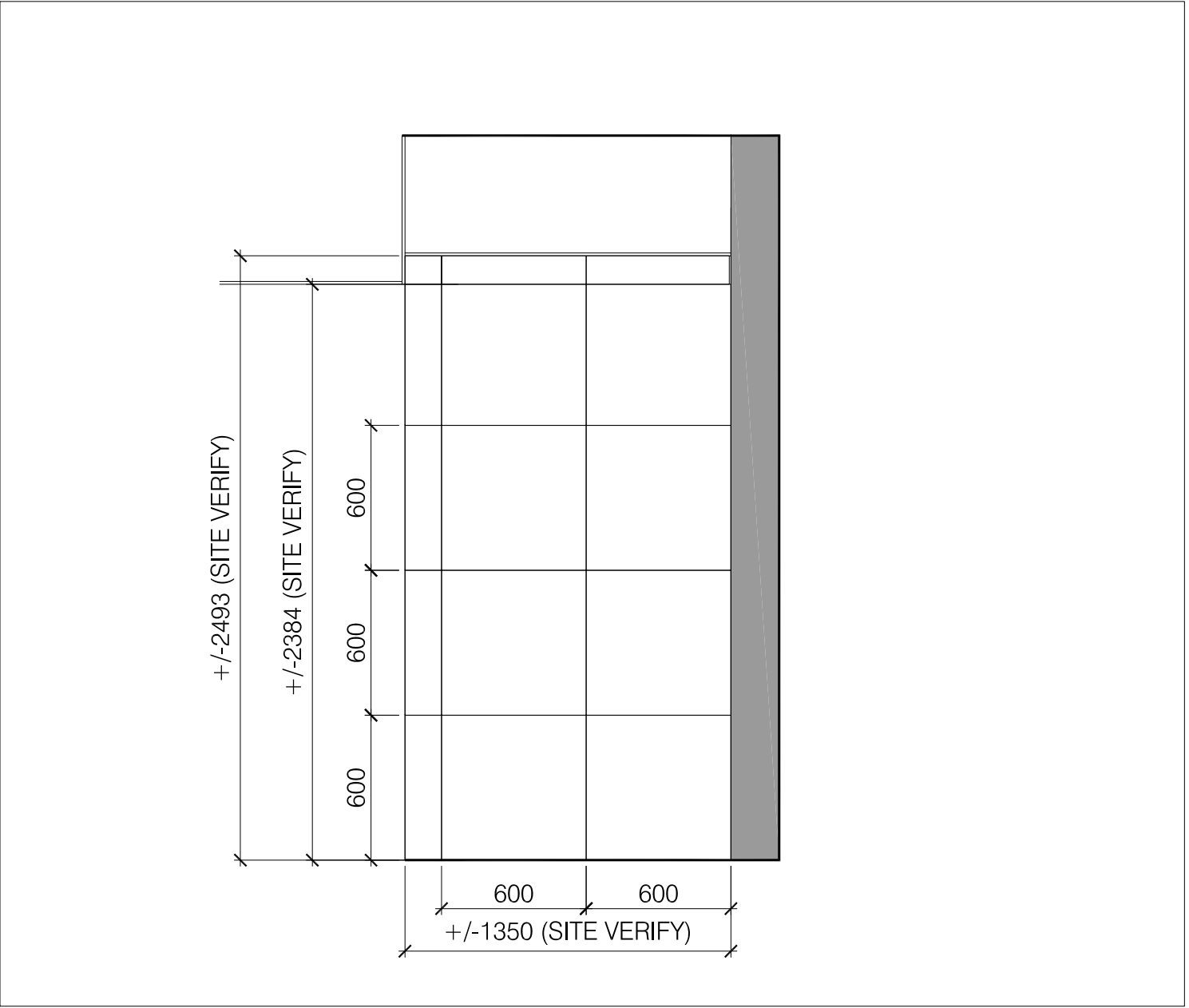
4 ELEVATION: TYP MEN'S W/R (3-88, 3-90, 3-92)
SCALE - 1:25



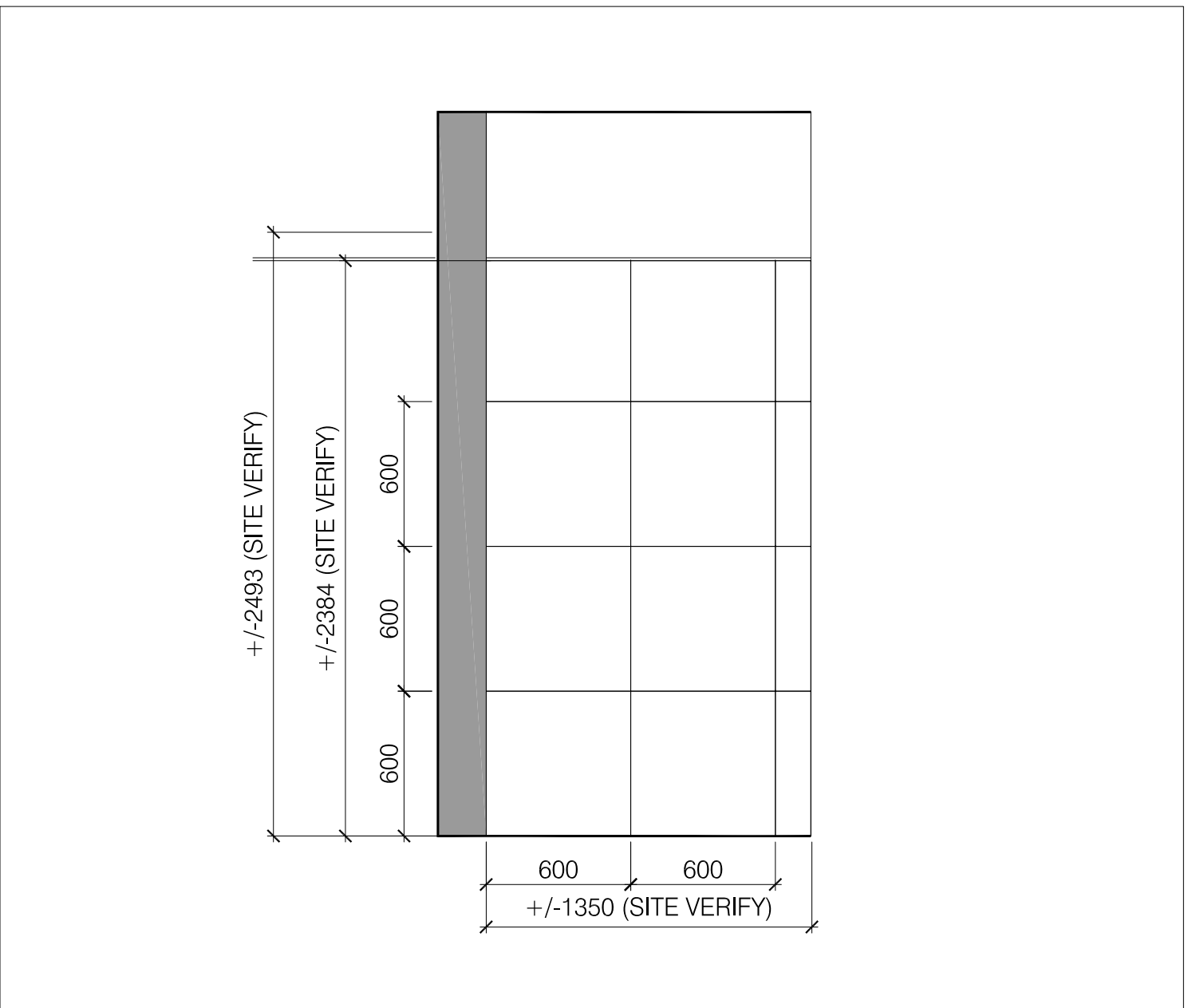
6 ELEVATION: TYP MEN'S W/R (3-88, 3-90, 3-92)
SCALE - 1:25



3 ELEVATION: TYP MEN'S W/R (3-88, 3-90, 3-92)
SCALE - 1:25



5 ELEVATION: TYP MEN'S W/R (3-88, 3-90, 3-92)
SCALE - 1:25



7 ELEVATION: TYP MEN'S W/R (3-88, 3-90, 3-92)
SCALE - 1:25

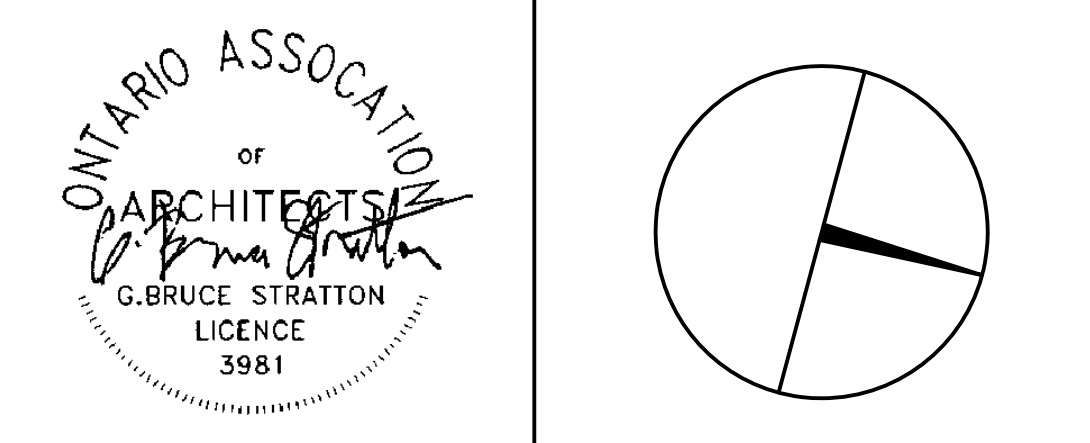
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York Region
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

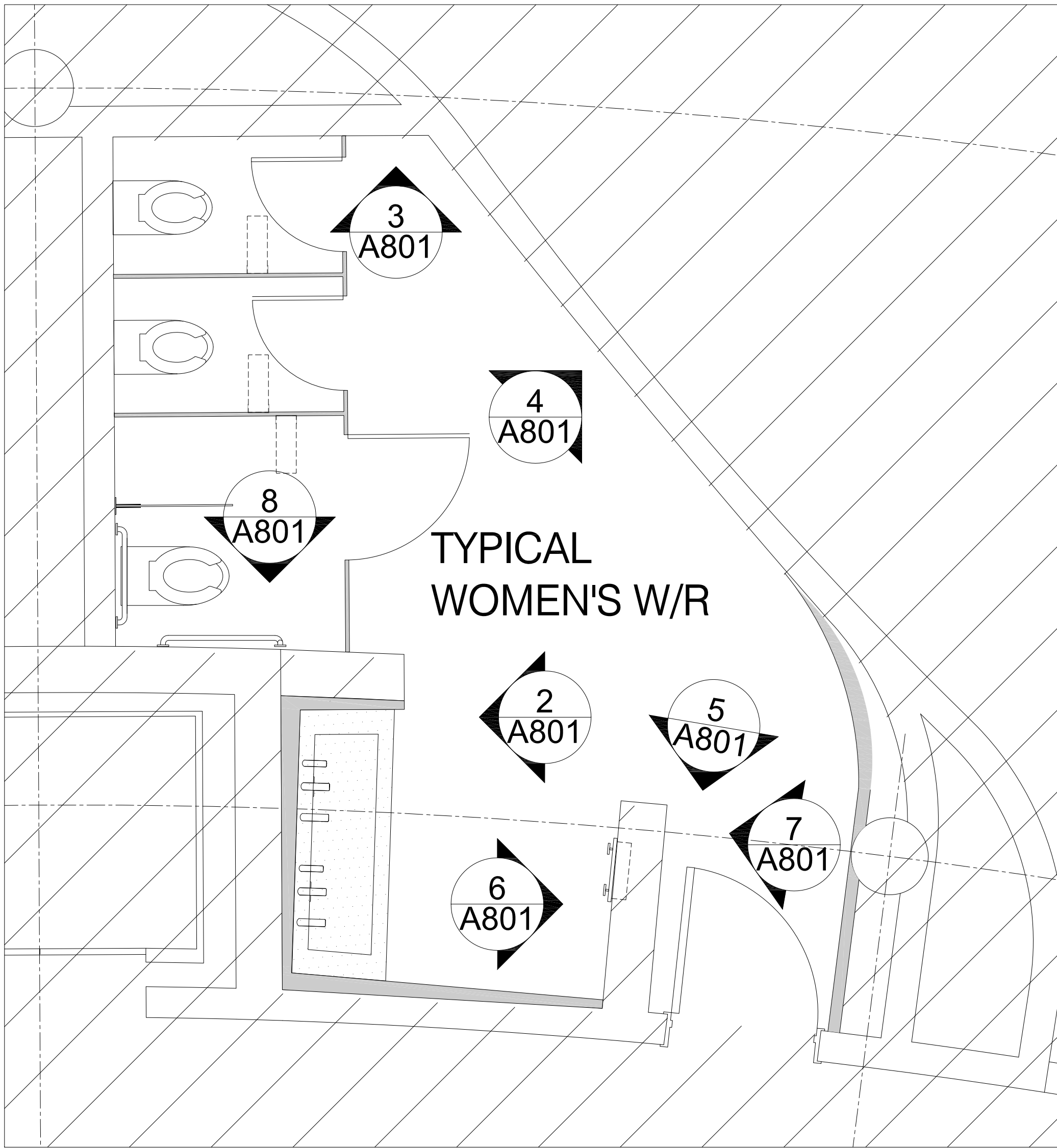
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

MEN'S W/R
ELEVATIONS
3-88, 3-90 & 3-92

SHEET NUMBER:

A800



1 PLAN: TYPICAL WOMEN'S WASHROOM (3-89, 3-91 & 3-93)
SCALE - 1:25

WASHROOM ACCESSORIES LEGEND

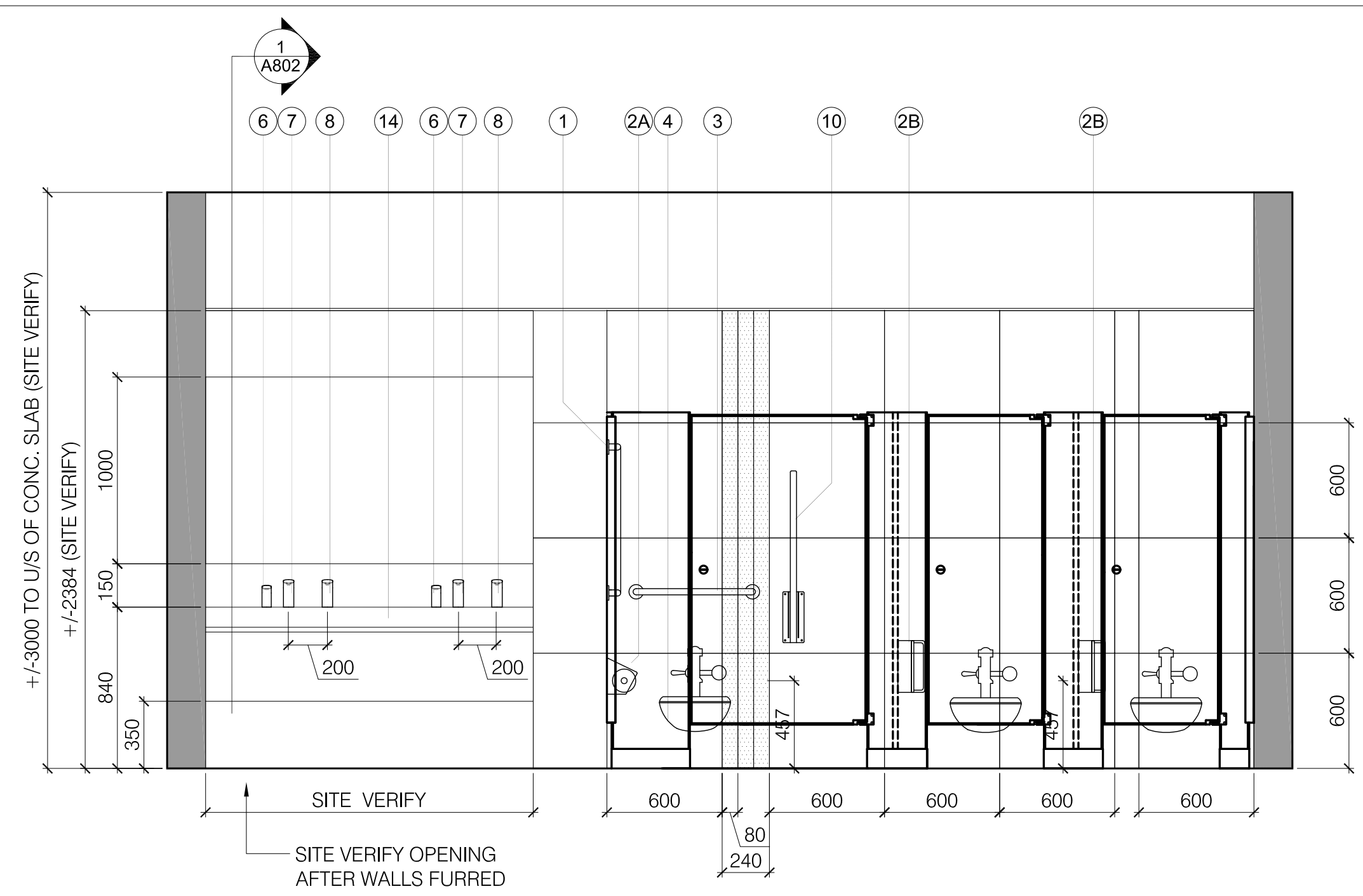
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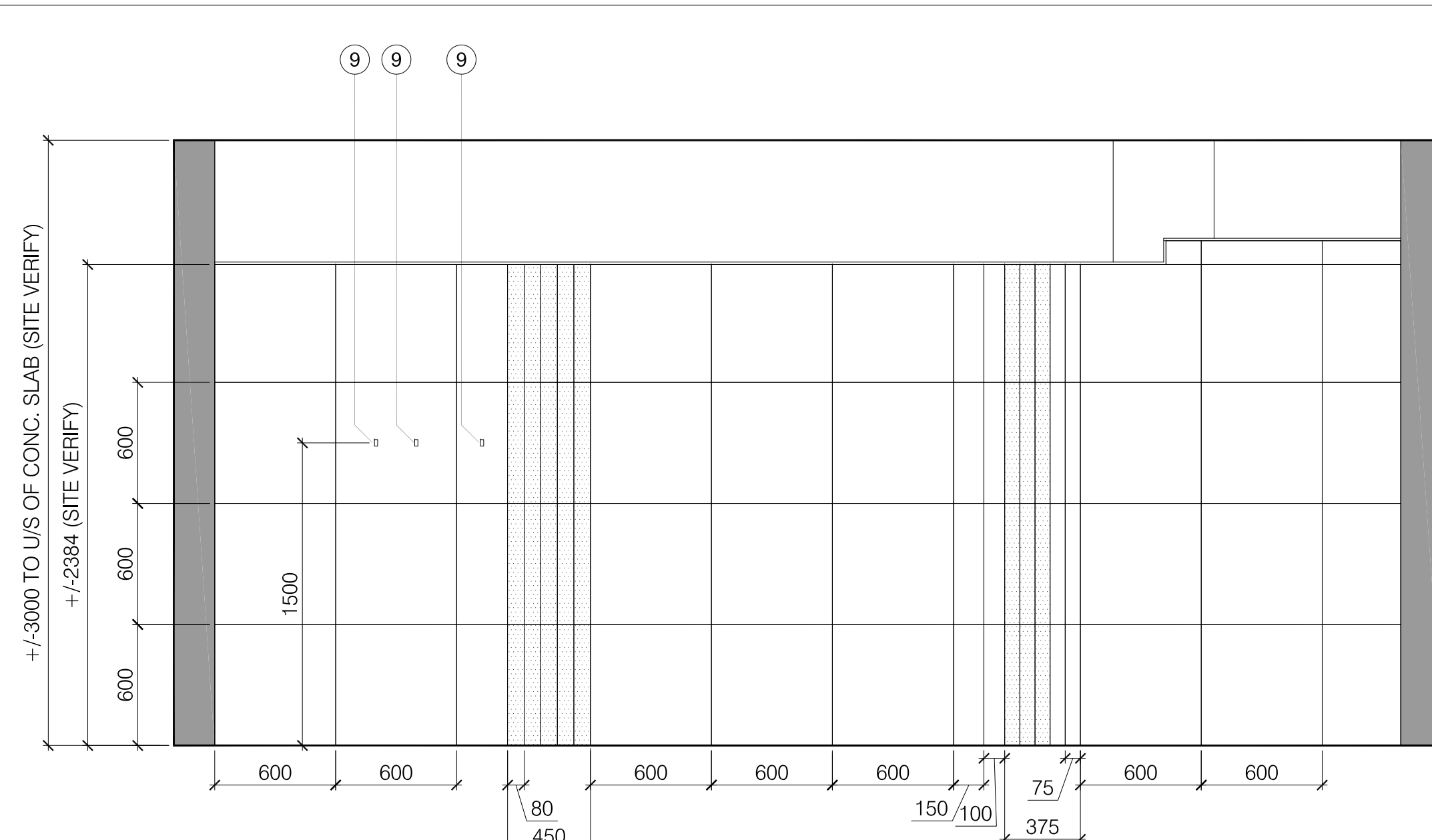
ACCENT TILE (TL-4)
MANUFACTURER: OLYMPIA TILE
TILE SERIES: COLORS SERIES
COLOR: BLUE MATTE
SIZE: 60CM X 60CM TILE CUT TO SUIT ELEVATION DWGS
PROVIDE SAMPLE TO ARCHITECT FOR REVIEW PRIOR TO SUPPLY/INSTALL

NOTES

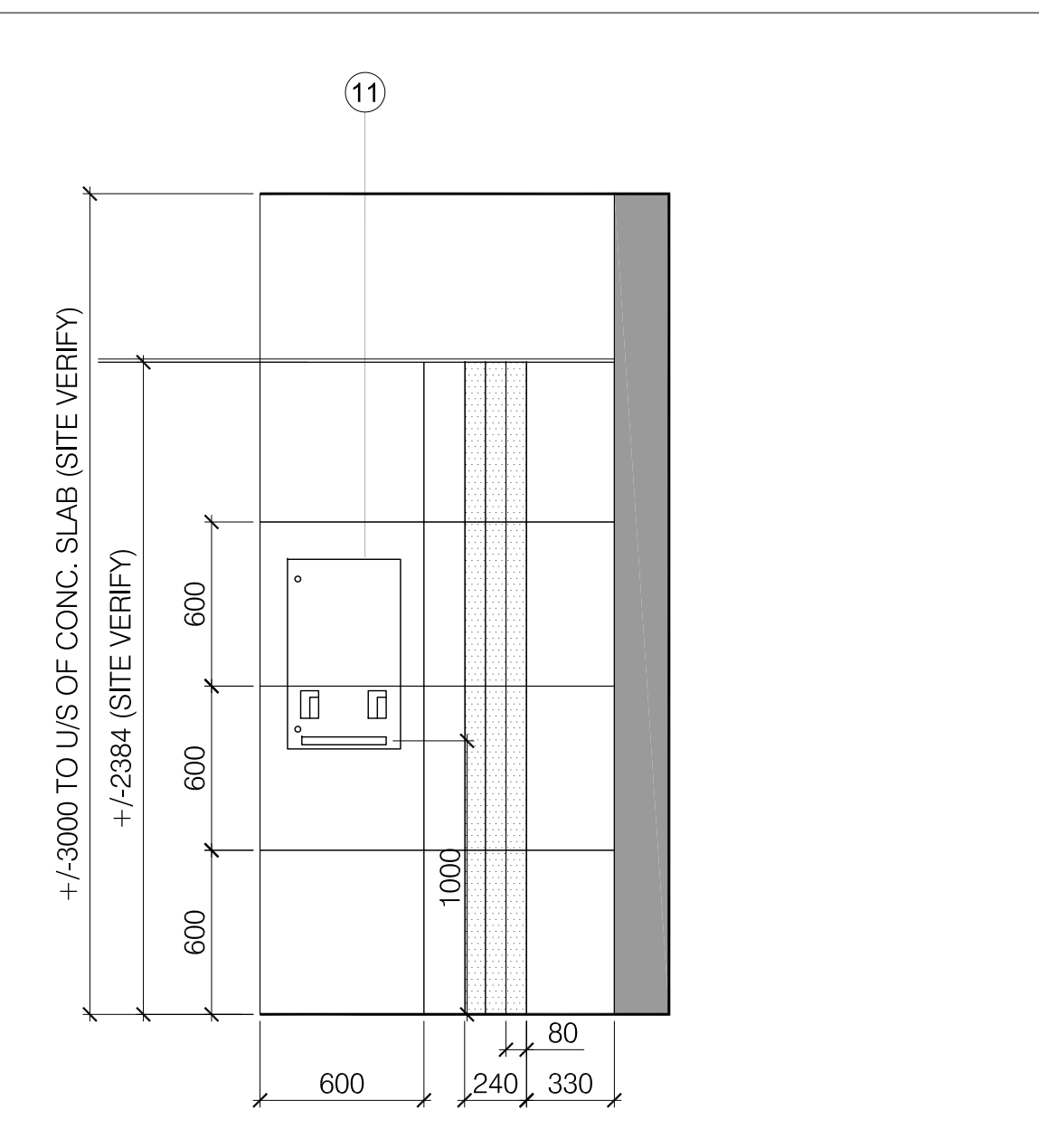
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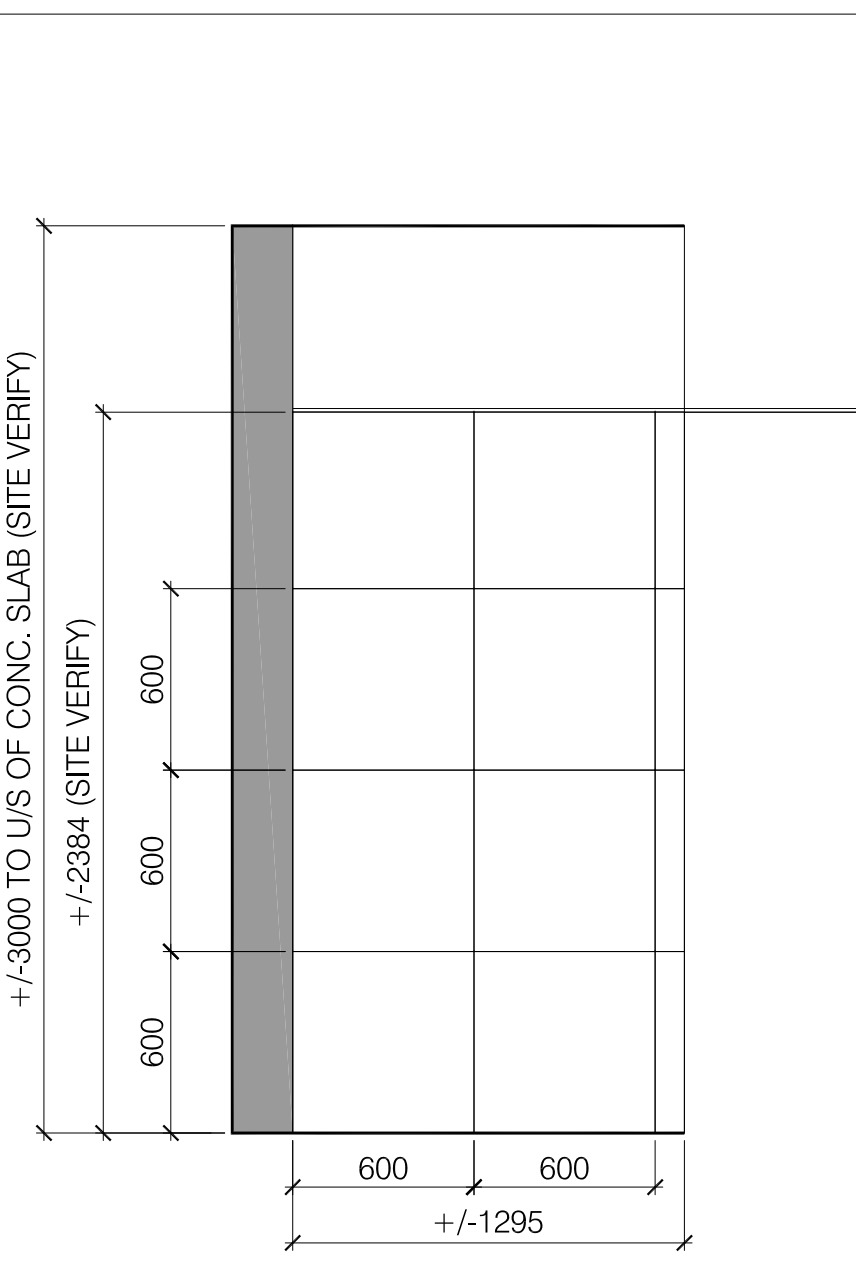
2 ELEVATION: TYP WOMEN'S W/R (3-89, 3-91 & 3-93)
SCALE - 1:25



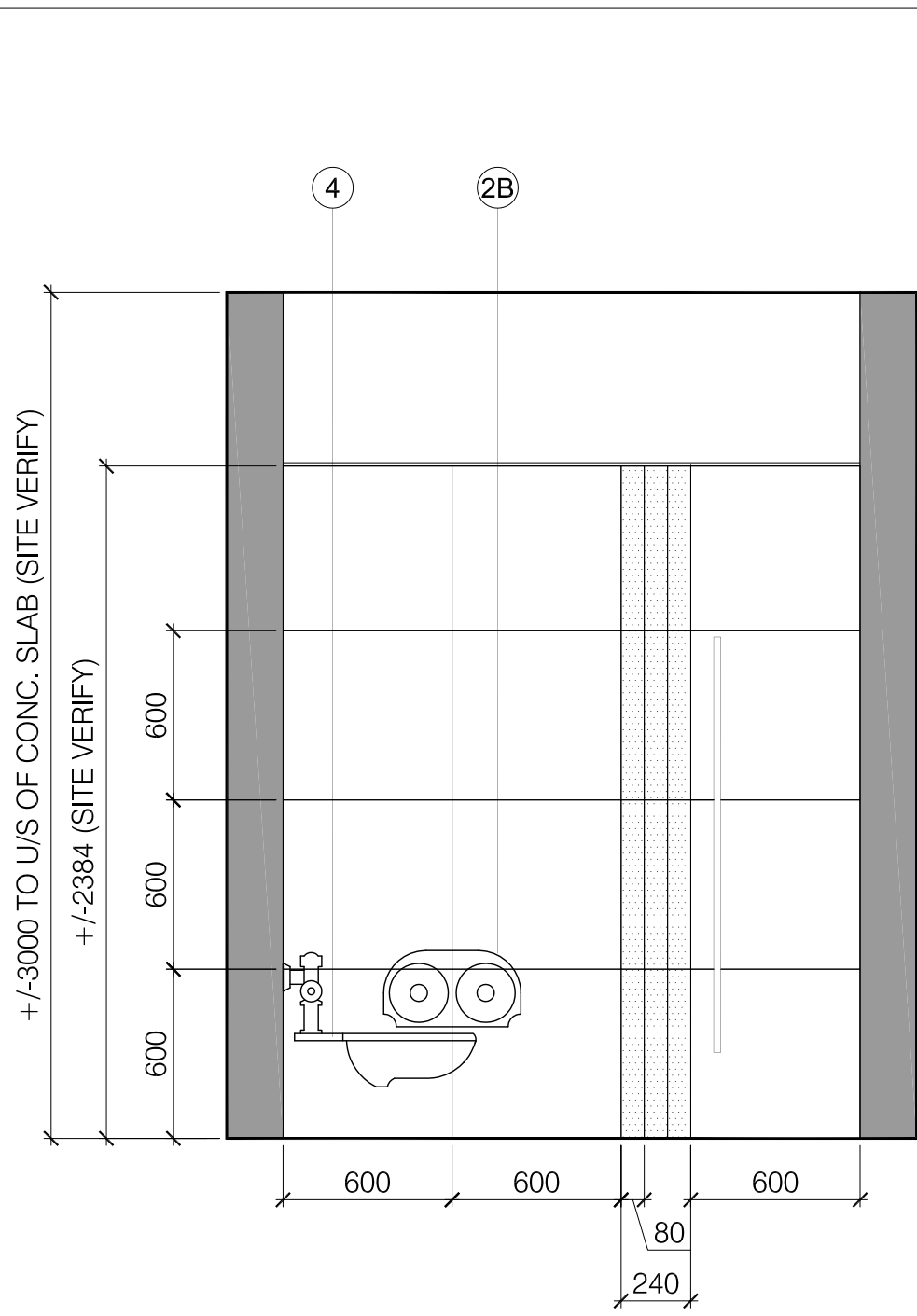
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SCALE - 1:25



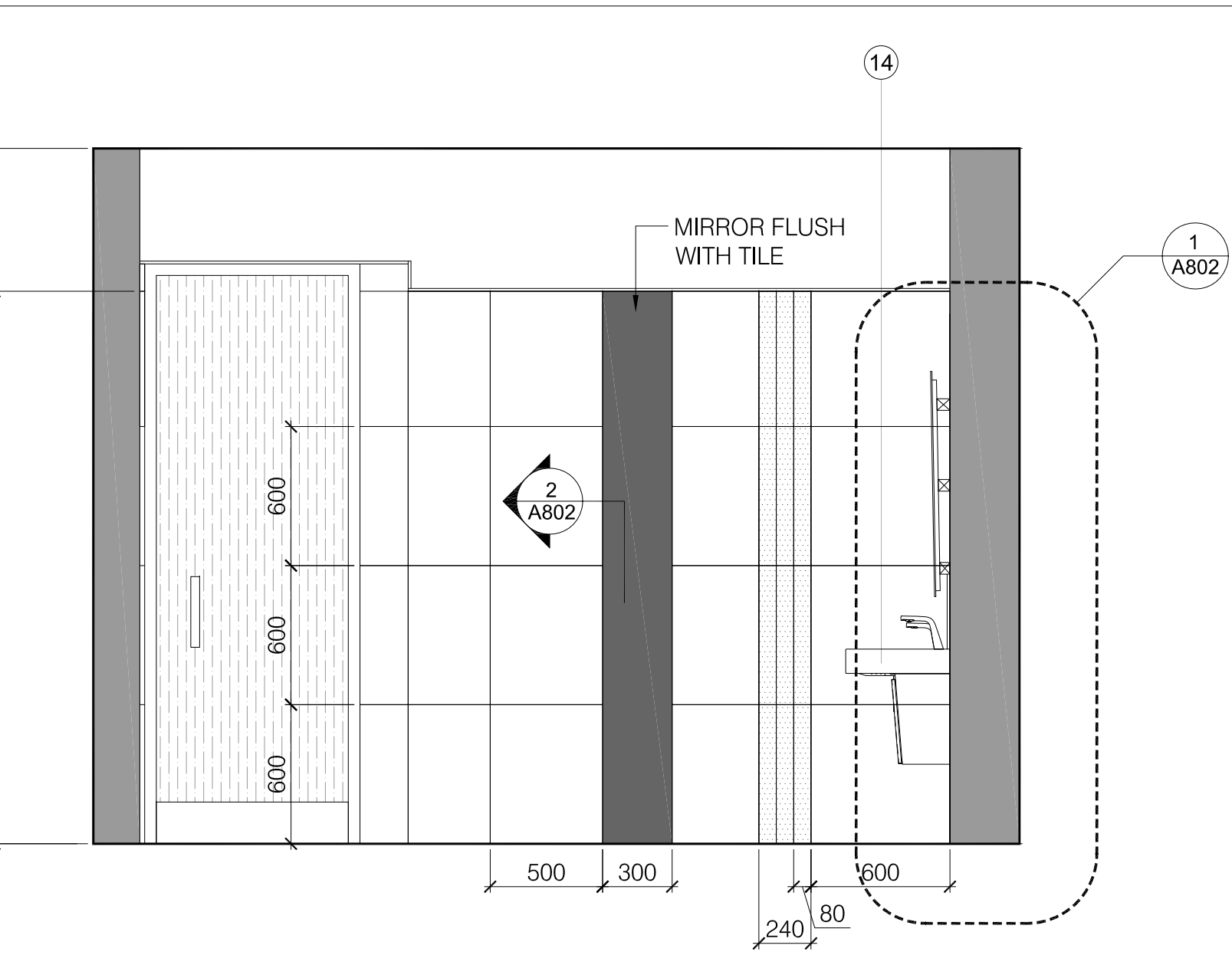
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SCALE - 1:25



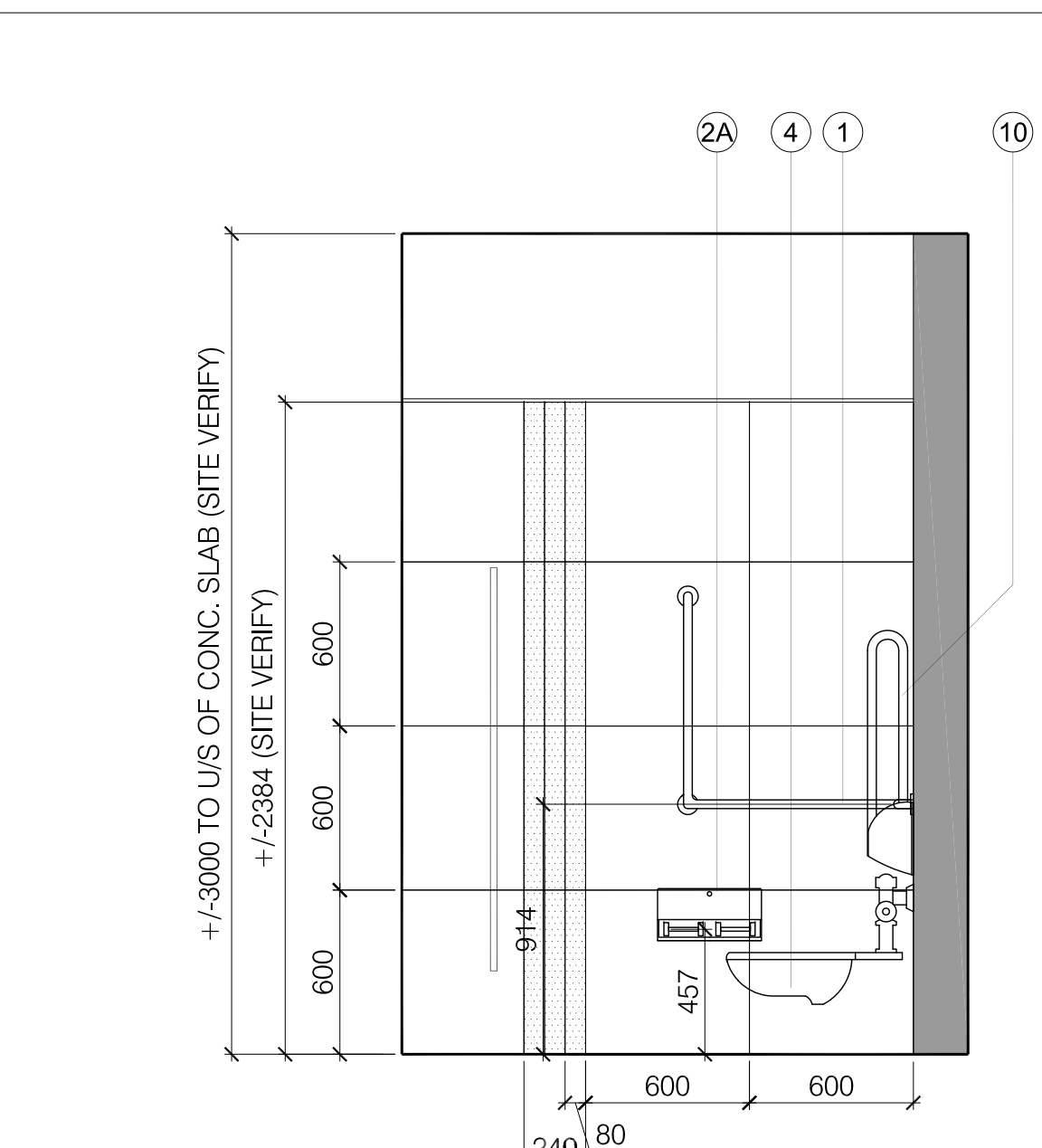
7 ELEVATION: TYP WOMEN'S W/R (3-89, 3-91 & 3-93)
SCALE - 1:25



3 ELEVATION: TYP WOMEN'S W/R (3-89, 3-91 & 3-93)
SCALE - 1:25



5 ELEVATION: TYP WOMEN'S W/R (3-89, 3-91 & 3-93)
SCALE - 1:25



8 ELEVATION: TYP WOMEN'S W/R (3-89, 3-91 & 3-93)
SCALE - 1:25

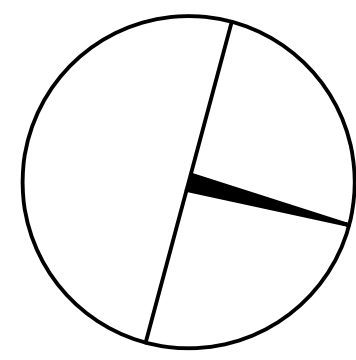
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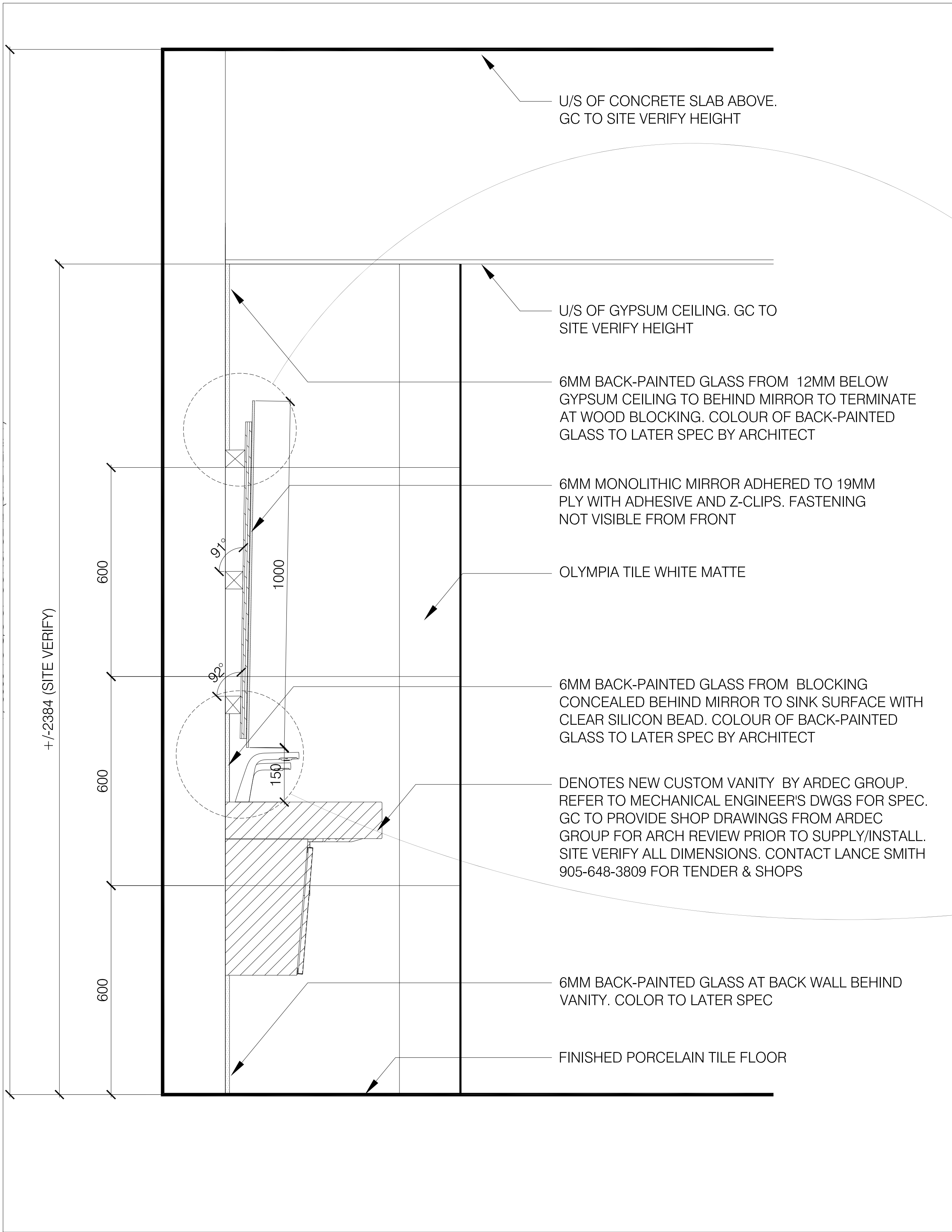
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

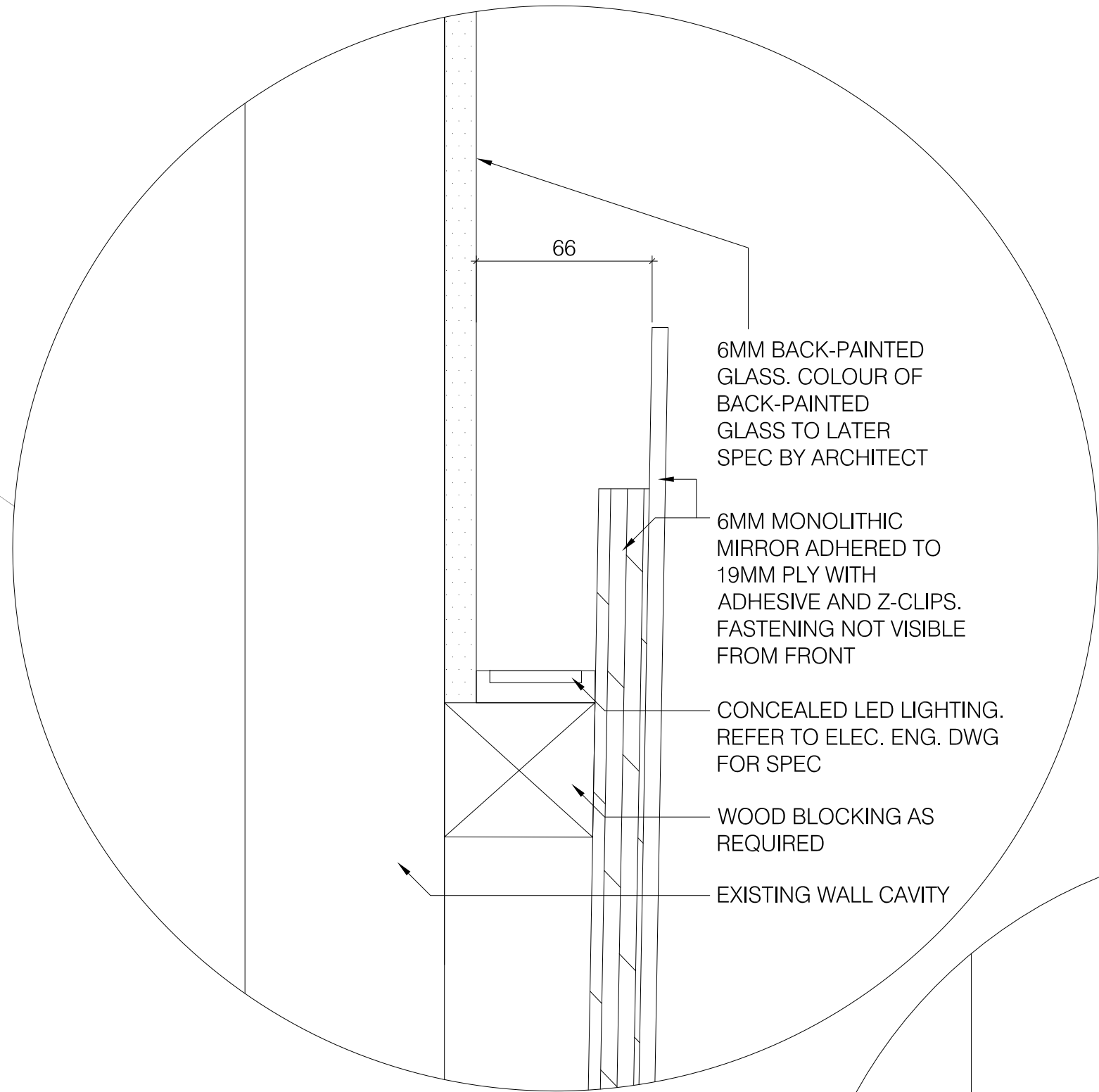
WOMEN'S W/R
ELEVATIONS
3-89, 3-91 & 3-93

SHEET NUMBER:

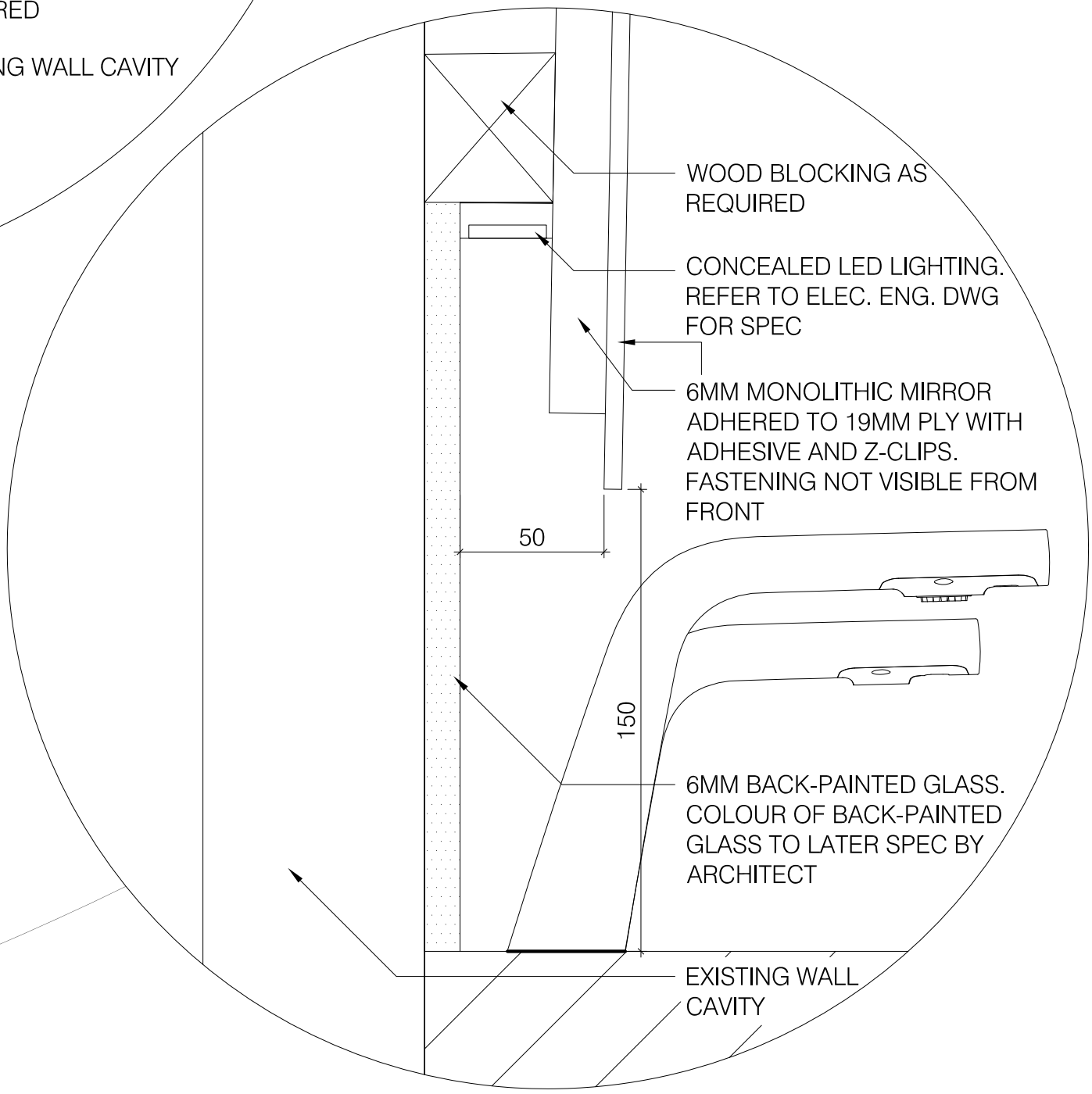
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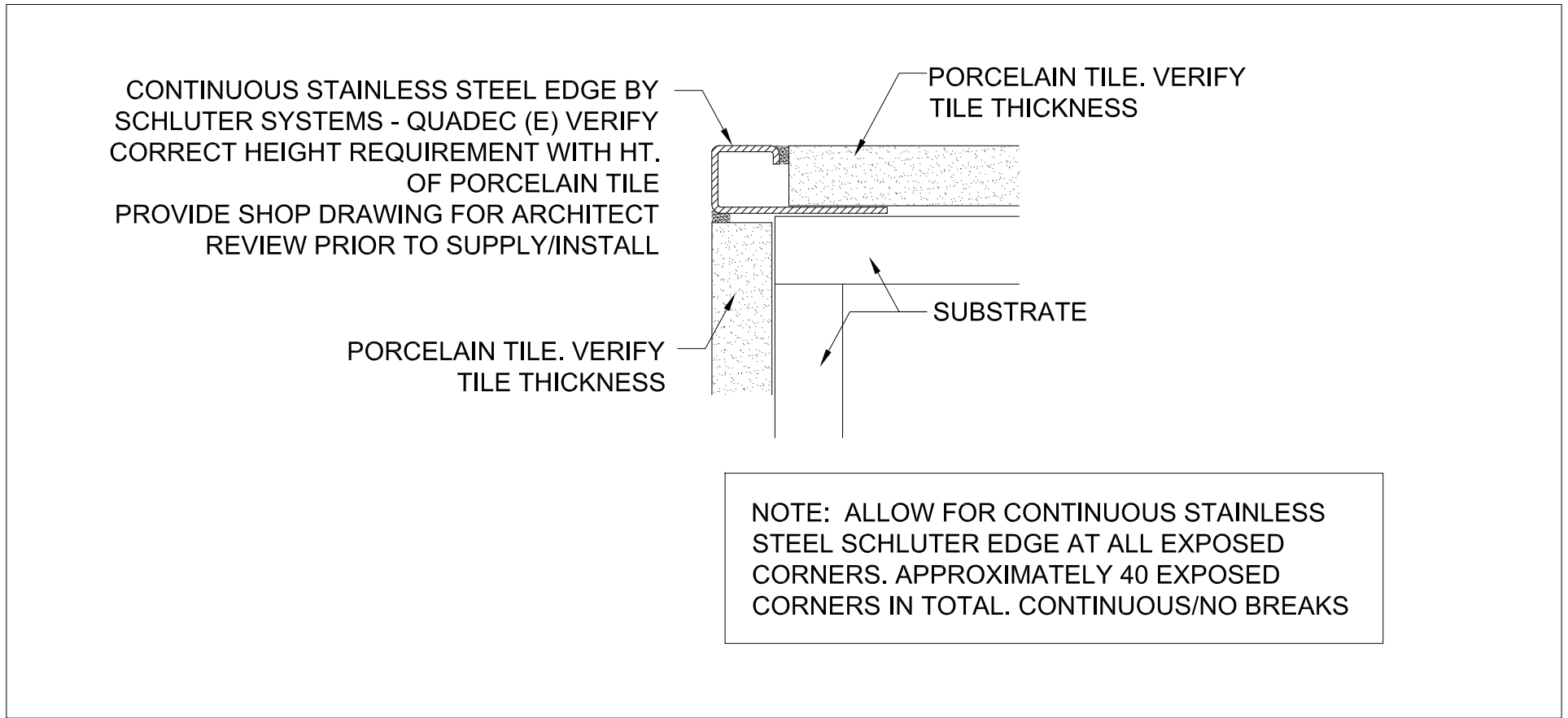
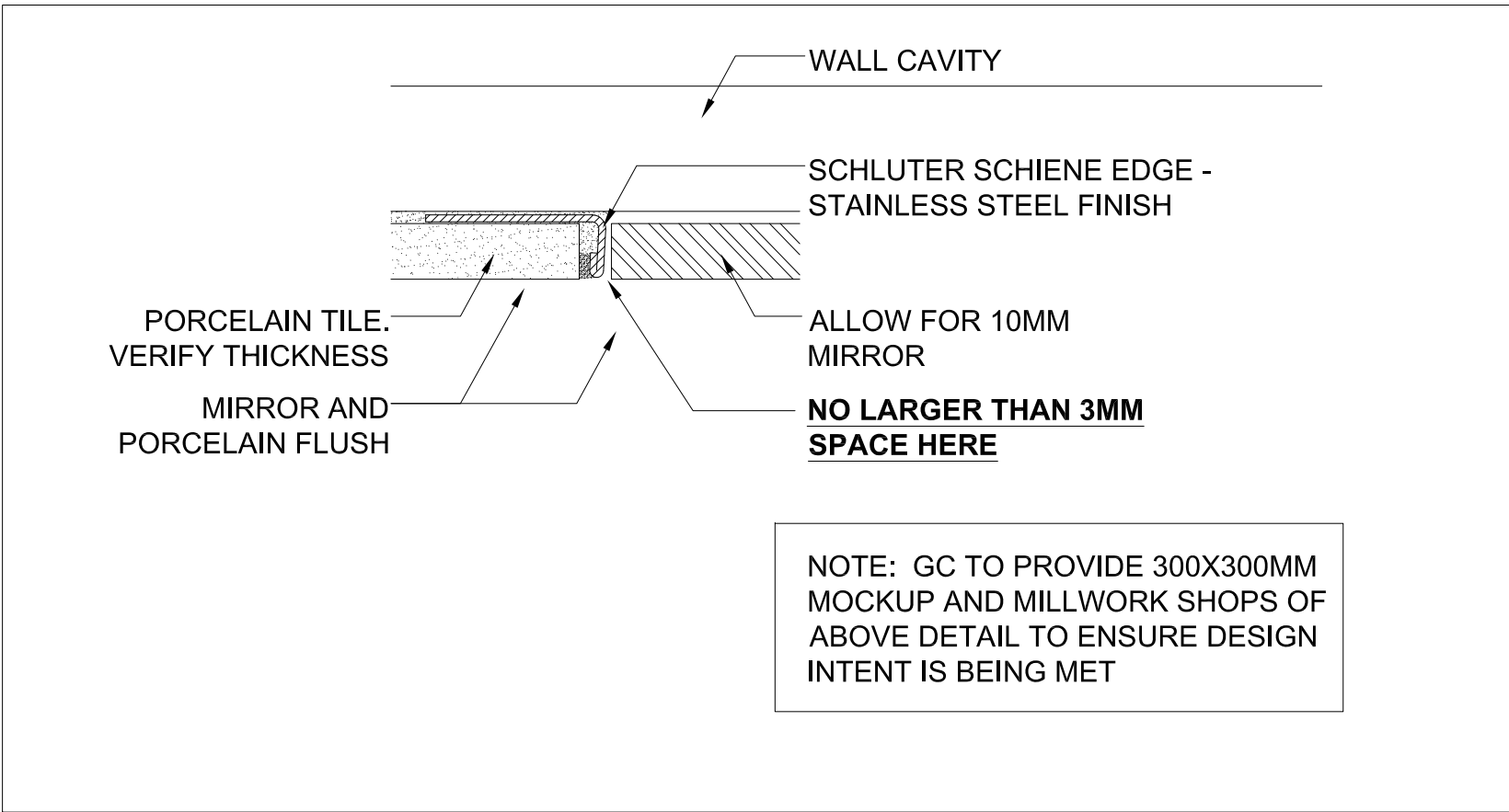
1 SECTION: TYPICAL WASHROOM VANITY
A802 SCALE - NTS



2 DETAIL: MIRROR AT PORCELAIN TILE
A802 SCALE - NTS



3 DETAIL: CONTINUOUS STAINLESS STEEL EDGE AT PORCELAIN TILE
A802 SCALE - NTS



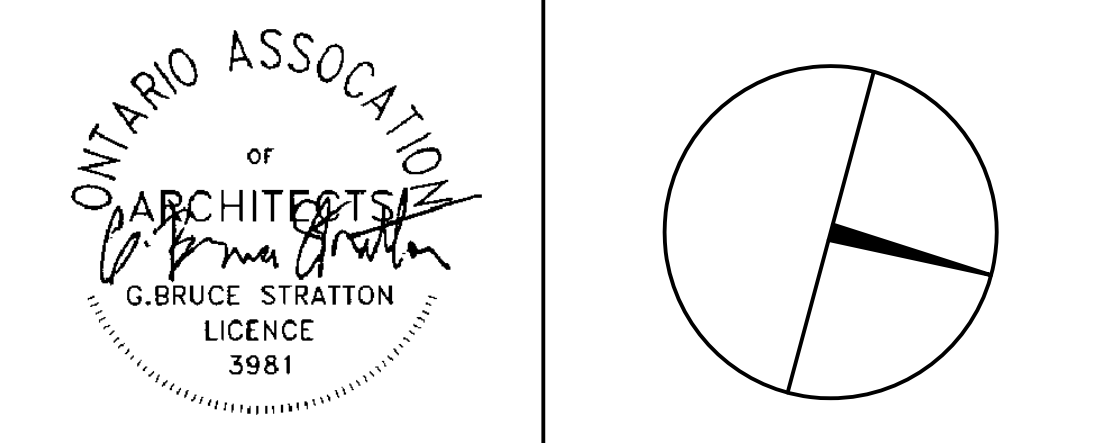
- NOTES
1. PROVIDE ADEQUATE BRACING IN WALL CAVITY FOR SUPPORT OF WASHROOM ACCESSORIES AND FIXTURES. PATCH/REPAIR WALL AS REQ'D
 2. ALLOW FOR 1% SLOPE TO DRAIN WHERE DRAIN HAS BEEN SPECIFIED ON MECHANICAL DRAWINGS
 3. PROVIDE WATERPROOF MEMBRANE BETWEEN TILE AND SUBFLOOR
 4. REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR PLUMBING RELATED FIXTURE SPECS
 5. REFER TO ELECTRICAL ENGINEER'S SPECS FOR POWER, LIGHTING AND LIFE SAFETY SPECIFICATION
 6. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MIRRORS AND BACK-PAINTED ACCESSORIES PRIOR TO SUPPLY/INSTALL
 7. PROVIDE SHOP DRAWINGS FOR ARCH REVIEW FOR ALL MIRRORS AND BACK-PAINTED GLASS TO ENSURE DESIGN INTENT IS BEING MET
 8. GC'S TILE LAYER TO MEET ON SITE WITH ARCHITECT TO DISCUSS INSTALLATION OF TILE PRIOR TO THE START OF WORK. IT IS UNDERSTOOD THAT THE TILER WILL HAVE TO CUT TILE ON SITE TO SUIT EXACT SITE CONDITIONS & ARCHITECT'S DESIGN
 9. LOCATION OF FIXTURES (TOILETS & URINALS) DOES NOT CHANGE FROM EXISTING


- GENERAL NOTES:
1. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK
 2. DRAWINGS ARE NOT TO BE SCALED
 3. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST SUBMIT ALL NECESSARY SAMPLES AND SHOP DRAWINGS TO YORK REGION REPRESENTATIVE FOR APPROVAL
 4. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF YORK REGION. AS SUCH, THEY ARE NOT INTENDED FOR USE ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT SPECIFIED

SUBMISSION	DATE	DESCRIPTION
1	03-20-2020	ISSUED FOR 60% REVIEW
2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT
4	11-12-2020	ISSUED FOR TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146





PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

TENDER NO.: T-19-349

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: SK

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

DETAILS

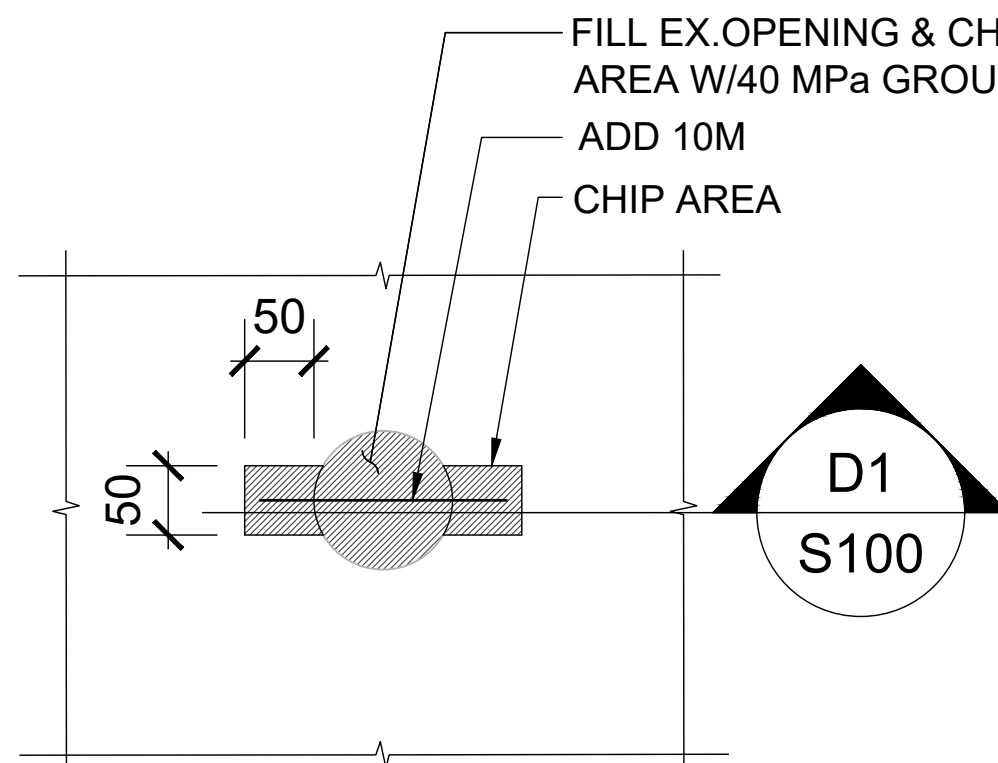
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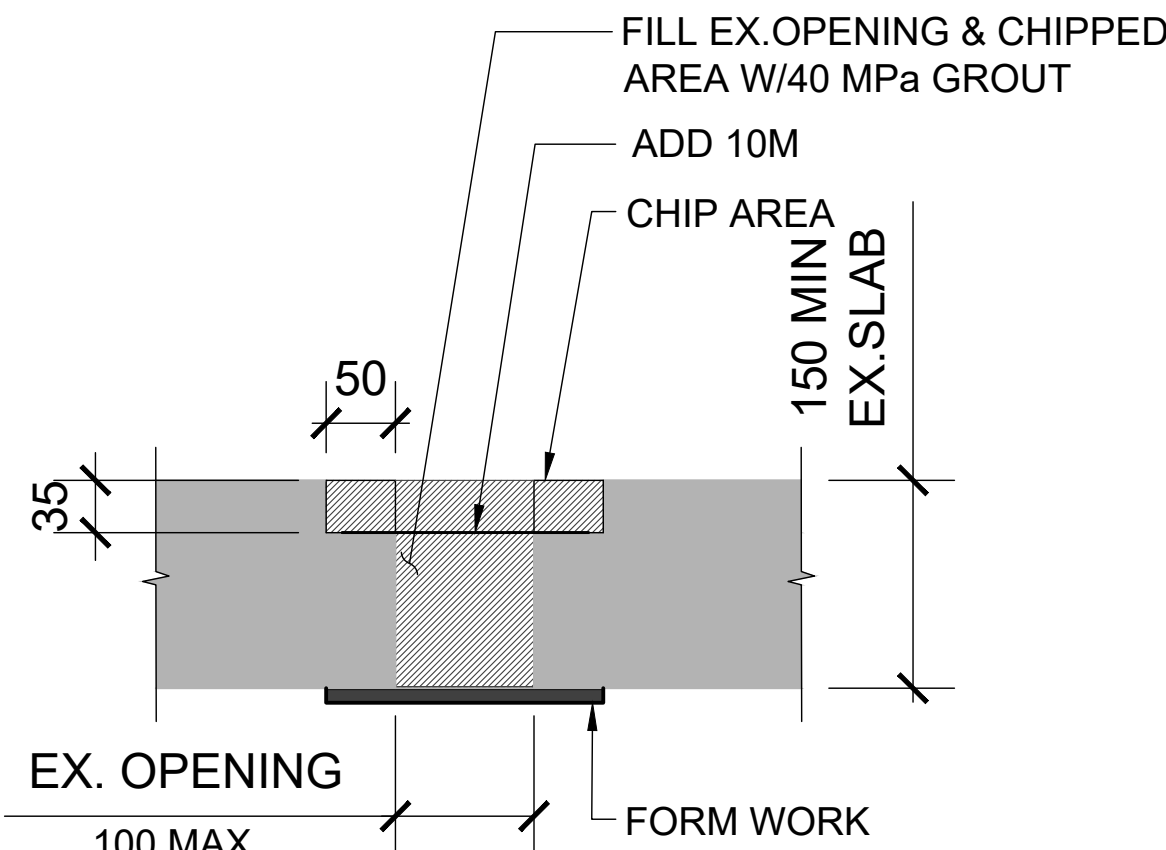
- GENERAL NOTES:
- THESE DRAWINGS MUST BE READ IN CONJUNCTION WITH ALL DRAWINGS AND SPECIFICATIONS IN THE CONTRACT. BREAKDOWN OF THE WORK BY TRADE IS THE RESPONSIBILITY OF THE CONTRACTOR. EXISTING CONDITIONS ARE ASSUMED. REPORT ANY INCONSISTENCIES TO THE CONSULTANT BEFORE PROCEEDING WITH THE WORK.
 - THIS IS A METRIC PROJECT. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.
 - DO NOT SCALE THESE DRAWINGS.
 - SEE ARCHITECTURAL DRAWINGS FOR FIREPROOFING REQUIREMENTS.
 - CODES AND STANDARDS:
 - COMPLY WITH THE REQUIREMENTS OF THE LATEST EDITION OF THE ONTARIO BUILDING CODE (OBC) IN FORCE AND ALL REGULATIONS AND STANDARDS THAT ARE IN EFFECT AT THE TIME OF THE CONSTRUCTION.
 - SHOP DRAWING AND OTHER SUBMITTALS:
 - SUBMIT FOR REVIEW BEFORE START OF WORK:
 - EXISTING STRUCTURE SCANS AT PROPOSED OPENINGS
 - SHOP DRAWINGS FOR STRUCTURAL STEEL, MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN ONTARIO WITH CERTIFICATE OF AUTHORIZATION FOR PRACTICE AND REQUIRED LIABILITY INSURANCE.
 - REVIEW OF SHOP DRAWINGS IS ONLY FOR GENERAL CONFORMITY WITH STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS. COMMENTS MADE ON THE SHOP DRAWINGS DURING THIS REVIEW DO NOT RELIEVE THE CONTRACTOR FROM COMPLIANCE WITH THE REQUIREMENTS OF THE STRUCTURAL CONTRACT DOCUMENTS AND SPECIFICATIONS, NOR DO THEY AUTHORIZE ANY CHANGES TO THE CONTRACT. REVIEW OF A SPECIFIC ITEM SHALL NOT INCLUDE REVIEW OF AN ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. THE CONTRACTOR'S RESPONSIBILITIES INCLUDE ALL QUANTITIES, DETAIL DIMENSIONS, FIELD MEASUREMENTS, FABRICATION PROCESS, MEANS, METHODS, SEQUENCES AND PROCEDURES OF CONSTRUCTION, COORDINATION OF WORK WITH ALL TRADES AND PERFORMING ALL WORK IS A SAFE AND SATISFACTORY MANNER. THE REVIEW OF SHOP DRAWINGS DOES NOT IMPLY ANY CHANGE IN ANY OTHER CONSULTANTS' OR PROFESSIONALS' RESPONSIBILITIES RELATED TO DESIGN OF SPECIFIC ITEMS AS OUTLINED BY THE SPECIFICATIONS (SUCH AS STRUCTURAL STEEL CONNECTIONS, STEEL JOISTS, PRECAST ELEMENTS, ETC.).
 - AFTER REVIEW OF SHOP DRAWINGS, ONLY ERECTION DIAGRAMS WILL BE RETURNED TO THE CONTRACTOR STAMPED TO SHOW ONE OF THE FOLLOWING:
 - NOT REVIEWED - IF THE WORK IS NOT IN LEA CONSULTING LTD. SCOPE
 - REVIEWED - NO COMMENTS NOTED
 - REVIEWED AS MODIFIED - COMMENTS NOTED ON THE DRAWINGS
 - RESUBMIT - CORRECTION OF THE NOTED ITEMS MUST BE MADE AND RESUBMITTED FOR REVIEW
 - ALLOW A MINIMUM OF 10 WORKING DAYS FOR REVIEW OF EACH SUBMISSION OF SHOP DRAWINGS IN THE STRUCTURAL OFFICE. ALLOW MORE TIME WHEN LARGE QUANTITIES OF SHOP DRAWINGS ARE SUBMITTED ALONG WITH A PRIORITY LIST OF SUBMITTALS. SUBMIT IN ORDER WITH THE INTENDED SEQUENCE OF CONSTRUCTION.
7. EXISTING STRUCTURE:
- EXISTING BUILDING STRUCTURAL INFORMATION IS BASED UPON DRAWINGS PREPARED BY DOUGLAS J. CARDINAL ARCHITECT LIMITED, DATED 15 MAY 1991.
 - EXISTING CONDITIONS ARE ASSUMED. REPORT ANY VARIATIONS TO THE CONSULTANT IMMEDIATELY BEFORE PROCEEDING WITH THE WORK.
 - PROTECT EXISTING STRUCTURE EXPOSED TO TEMPORARY CONSTRUCTION LOADING AND ACTIVITIES. WORK REQUIRED TO CONNECT OR REWORK EXISTING STRUCTURE FOR THE NEW WORK IS WITHIN THIS CONTRACT.
 - PROVIDE TEMPORARY SHORING AND BRACING REQUIRED WHERE NEEDED.
 - MAKE GOOD ONCE STRUCTURAL WORK IS DONE AND REVIEWED.
8. CONCRETE:
- FOR DRILLED ANCHORS, LOCATE REINFORCING STEEL AND OTHER EMBEDS PRIOR TO DRILLING AND FABRICATION TO ADJUST LOCATIONS OF ANCHORS TO SUIT. DO NOT CUT REINFORCING STEEL WITHOUT A WRITTEN APPROVAL.
9. STRUCTURAL STEEL:
- CONFORM TO CAN/CSA S16 "LIMIT STATES DESIGN OF STEEL STRUCTURES".
 - FABRICATOR SHALL BE CERTIFIED BY CANADIAN WELDING BUREAU UNDER REQUIREMENTS OF CSA W47.1. DIVISION 2 OR 3
 - PROTECT COMBUSTIBLE MATERIALS AND FINISHES DURING WELDING OPERATIONS.
 - MATERIALS:
 - CHANNEL, ANGLES: CAN/CSA G40.21, GRADE 350W
 - PLATES AND BARS: CAN/CSA G40.21, GRADE 300W
 - REFERENCES:
 - FABRICATION: CAN/CSA S16
 - WELDING: CSA W59
 - PRIMER PAINT: CISC/CPMA 2-75
 - DRILLED ANCHORS: SEE DRAWINGS
 - REMOVE ALL IMPERFECTIONS WHICH ARE UNSIGHTLY. REMOVE MILL AND SHOP MARKS INCLUDING MANUFACTURER'S IDENTIFICATION MARKS. REMOVE ALL TEMPORARY ATTACHMENTS AND GRIND SMOOTH. FILL TEMPORARY HOLES WITH WELD METAL AND GRIND SMOOTH AND FLUSH.
 - PROVIDE CONTINUOUS WELDING AT EXPOSED JOINTS WITHOUT GAPS OR FILL BETWEEN DISCONTINUOUS WELDS WITH AN EPOXY RESIN FILLER, ACCEPTABLE TO THE CONSULTANT, FINISHED TO THE SAME PROFILE AS THE ADJACENT WELD. JOINTS SHALL BE WEATHER TIGHT AND SUITABLE FOR PAINTING.
10. INSPECTION AND TESTING:
- THE CONTRACTOR MUST PROVIDE INSPECTION REPORTS FOR STRUCTURAL STEEL. ALL REPORTS MUST BE PREPARED BY AN INDEPENDENT INSPECTION AND TESTING AGENCY.
 - STRUCTURAL STEEL INSPECTION AND TESTING OF MATERIALS AND WORKMANSHIP, INCLUDING VISUAL THIRD-PARTY WELDING INSPECTION, WILL BE CARRIED OUT BY AN INDEPENDENT TESTING AGENCY. INDEPENDENT TESTING AGENCY TO BE CERTIFIED TO CSA W178.1 AND WELDING INSPECTOR TO BE CERTIFIED TO LEVEL 2 OR 3 OF CSA W178.2. SUBMIT INSPECTION AND TESTING CERTIFICATION AT THE REQUEST OF THE CONSULTANT.
11. CUTTING AND CORING:
- THE CONTRACTOR SHALL CARRY THE PRICE TO RETAIN AN INDEPENDENT TESTING COMPANY TO LOCATE EXISTING REINFORCEMENT AND CONDUIT IN THE AREAS OF PROPOSED OPENINGS AND TO MARK LOCATIONS ON THE SURFACES OF SLABS AND WALLS ON WHICH THE CORES AND CUTS ARE TO BE STARTED. MARK LOCATIONS USING INDELEIBLE MARKERS AS FOLLOWS: RED FOR TOP BARS, GREEN FOR BOTTOM BARS, AND BLACK FOR CORES, OPENINGS, AND CONDUITS. X-RAY CONCRETE UNLESS OTHER METHODS CAN BE SHOWN BY CONTRACTOR TO ACCURATELY LOCATE REINFORCEMENT AND CONDUIT. THE CONTRACTOR SHALL ALSO LOCATE ALL SUSPENDED SERVICES ON BOTH SIDES OF THE PROPOSED OPENING. IF LOCATIONS ARE NOT ACCEPTABLE TO CONSULTANT, RELOCATE PROPOSED OPENINGS AND REPEAT PROCESS AT NO EXTRA COST TO THE CONTRACT.
 - CORING: DO NOT CUT EXISTING REINFORCEMENT AND CONDUIT WHEN CORING EXISTING CONCRETE UNLESS APPROVED IN ADVANCE BY THE CONSULTANT. SAVE THE COMPLETE LENGTH OF ALL CORES. LABEL EACH CORE WITH LOCATION TAKEN. MAKE ALL CORES AVAILABLE FOR REVIEW BY CONSULTANT. DISPOSE OF CORES ONLY WITH APPROVAL OF CONSULTANT.
 - CUTTING: DO NOT CUT EXISTING REINFORCEMENT AND CONDUIT WHEN CUTTING EXISTING CONCRETE UNLESS APPROVED IN ADVANCE BY THE CONSULTANT. DO NOT OVER CUT OPENINGS. CORE FOUR CORNERS AND ENDS OF INTERMEDIATE SAWCUTS OF ALL OPENINGS PRIOR TO CUTTING SIDES AND INTERMEDIATE LINES. SAWCUT SIDES AND INTERMEDIATE LINES CHIP CORNERS SQUARE IF NECESSARY. IF NEW REINFORCEMENT IS REQUIRED AT AN OPENING, INSTALL REINFORCEMENT BEFORE CUTTING OPENING OR SHORE UP STRUCTURE UNTIL NEW REINFORCEMENT IS INSTALLED.
12. CONSTRUCTION REVIEW:
- NOTIFY THE CONSULTANT TWO WORKING DAYS / 48 HOURS PRIOR TO CONCRETE POURS, BACKFILLING, AND COVERING UP THE STRUCTURE WITH FINISHES.
13. TEMPORARY WORKS
- MAKE ADEQUATE PROVISIONS FOR ALL LOADS ACTING ON THE STRUCTURE DURING ERECTION. PROVIDE TEMPORARY SHORING AND BRACING TO KEEP THE STRUCTURE PLUMB AND IN TRUE ALIGNMENT DURING CONSTRUCTION. MEMBERS SHOWN ON THE PLANS ARE THOSE REQUIRED FOR THE COMPLETED STRUCTURE AND MAY NOT BE SUFFICIENT DURING CONSTRUCTION.
 - TEMPORARY BRACING AND SHORING ARE THE RESPONSIBILITY OF THE CONTRACTOR. ALL SHORING SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER RETAINED BY THE CONTRACTOR. PREPARE SHORING DRAWINGS SIGNED AND SEALED BY THE ENGINEER.
 - REROUTE ALL SERVICES IN AREAS AFFECTED BY CONSTRUCTION AS REQUIRED. PROVIDE TEMPORARY REROUTING AS REQUIRED TO KEEP THE BUILDING OPERATIONAL DURING CONSTRUCTION. SITE VERIFY SERVICES IMPACTED BY THE WORK. SERVICES PRESENT NOT NECESSARILY SHOWN ON PLANS.
14. REJECTED WORK:
- DO NOT DELIVER TO THE SITE MATERIALS, WHICH ARE KNOWN NOT TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS. IF REJECTED AFTER DELIVERY, REMOVE IMMEDIATELY FROM SITE.

EXISTING SLAB INFILL

PD-001



REBAR SCAN PRIOR TO CHIPPING
GROUT: NON-SHRINK GROUT, 40MPa @28 DAYS



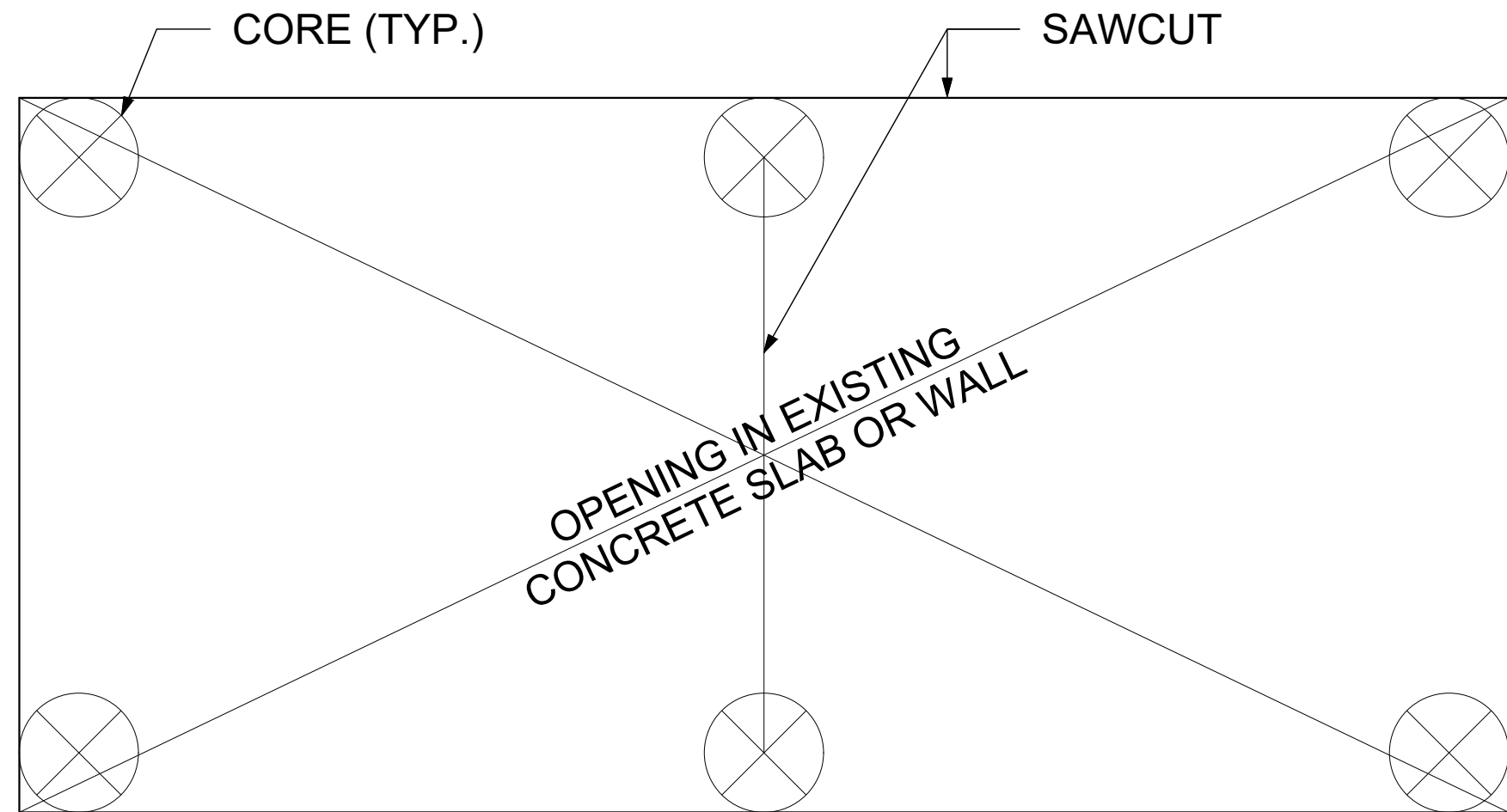
PROVIDE MIN 25mm COVER OVER STEEL FOR 2HR FIRE RATING

D1
S100

SECTION

SAW CUTTING OF EXISTING SLAB OR WALL

ED-201



SAW CUTTING PROCEDURE:

- OBTAIN ENGINEER'S APPROVAL BEFORE CUTTING ANY OPENINGS. IF REQUESTED, LOCATE REINFORCEMENT AND OTHER NON-STRUCTURAL EMBEDDED ITEMS (SUCH AS ELECTRICAL CONDUITS) USING A NON-DESTRUCTIVE METHOD.
- CORE HOLES AT EACH CORNER AND AT ENDS OF SAWCUTS.
- SAWCUT AND DO NOT OVERCUT.
- CHIP CORNERS SQUARE.

- GENERAL NOTES:
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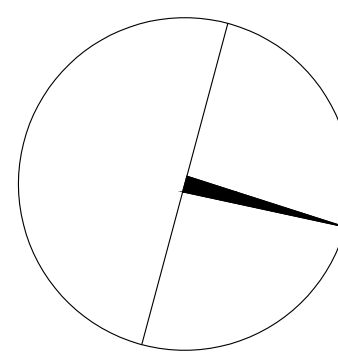
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1	2020-05-18	ISSUED FOR 90% REVIEW
2	2020-05-25	ISSUED FOR TENDER / PERMIT

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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

PROJECT #21035

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:

DRAWN BY: M.A

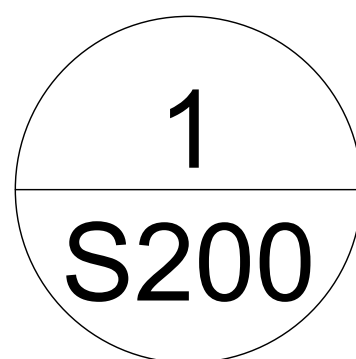
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

GENERAL NOTES & TYPICAL DETAIL

SHEET NUMBER:

S100



SCALE 1:100

FLOOR PLAN AREA 'A'

GENERAL NOTES:

- SEE GENERAL REQUIREMENTS AND TYPICAL DETAILS ON DRAWING S100
- FOR REPAIR OF EXISTING SLAB OPENINGS, LOCATE REINFORCING STEEL AND OTHER EMBEDS USING X-RAY OR GROUND PENETRATING RADAR PRIOR TO CHIPPING. ADJUST CHIPPED LOCATION TO AVOID EXISTING REINFORCEMENT. DO NOT CUT OR DAMAGE EXISTING REINFORCING STEEL. SEE PD-001 ON S100 FOR DETAILS.
- FOR PROPOSED SLAB OPENINGS, LOCATE REINFORCING STEEL AND OTHER EMBEDS USING X-RAY OR GROUND PENETRATING RADAR. DO NOT CUT OPENINGS WITHOUT WRITTEN APPROVAL. REINFORCING SCHEME FOR COSTING ONLY AND TO BE REVISED UPON COMPLETION OF REINFORCING SCAN. PROPOSED OPENINGS TO BE LOCATED OFF EXISTING CONCRETE BEAMS.
- INSTALL NEW REINFORCING PLATES PRIOR TO CUTTING OPENINGS. FOLLOW PROCEDURE OUTLINED IN ED-201 ON S100 WHEN CUTTING NEW OPENING.
- FOR ANY PROPOSED SLAB CONDUITS (Ø < 100mm), LOCATE REINFORCING STEEL AND OTHER EMBEDS USING X-RAY OR GROUND PENETRATING RADAR. SHIFT CONDUITS TO AVOID REINFORCING. DO NOT CUT OR DAMAGE REINFORCING. DO NOT CUT OPENINGS WITHOUT WRITTEN APPROVAL.
- DESIGN LOADING
 - DESIGN LIVE LOAD IS 3.4 kPa, THIS INCLUDES A PARTITION ALLOWANCE OF 1.0kPa
 - SUPERIMPOSED DEAR LOAD IS 1.0kPa

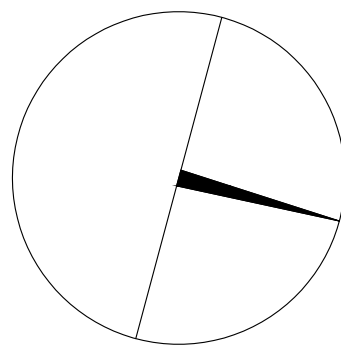
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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

PROJECT #21035

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:
DRAWN BY: M.A
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

FLOOR PLAN AREA 'A'

SHEET NUMBER:

S200



1
S201
SCALE 1:100

FLOOR PLAN AREA 'B'

SEE PLAN NOTES ON S200

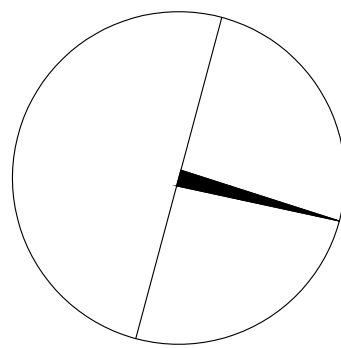
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
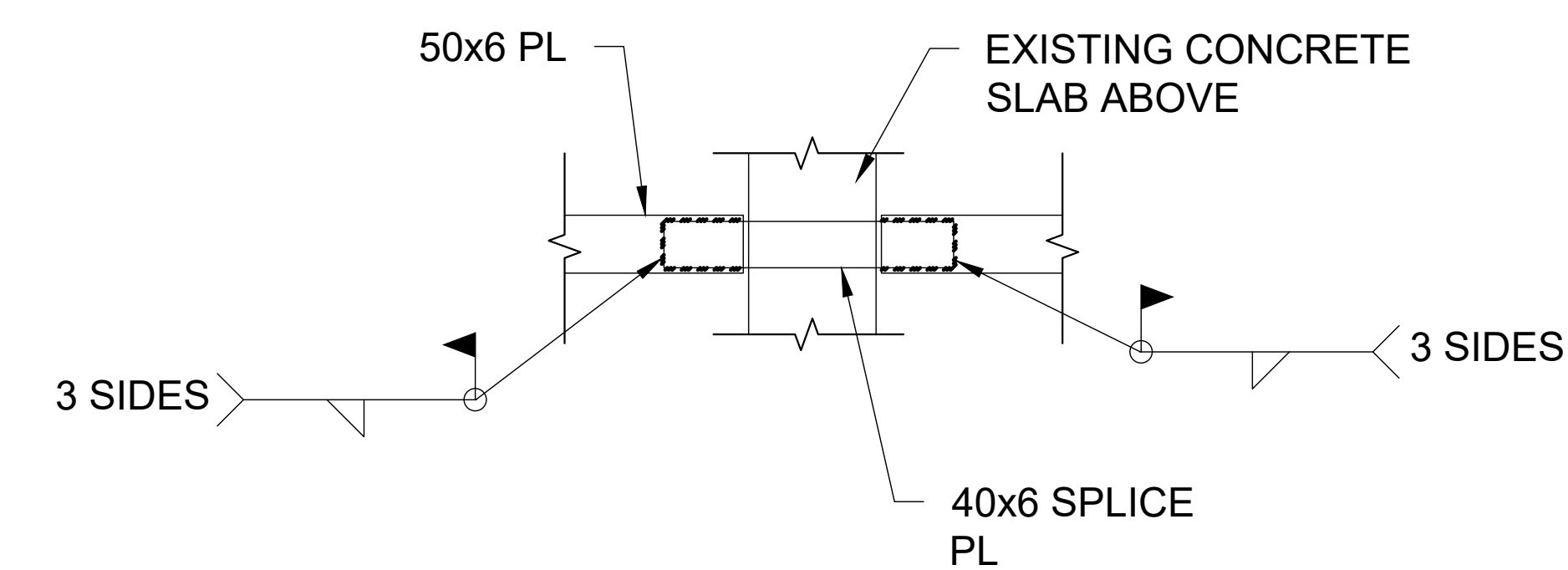
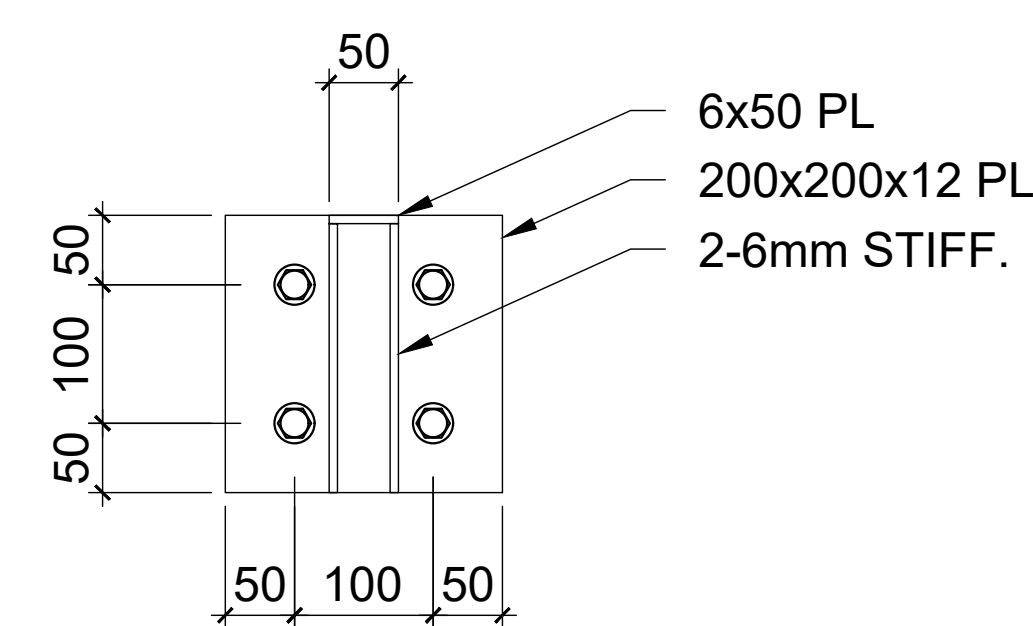

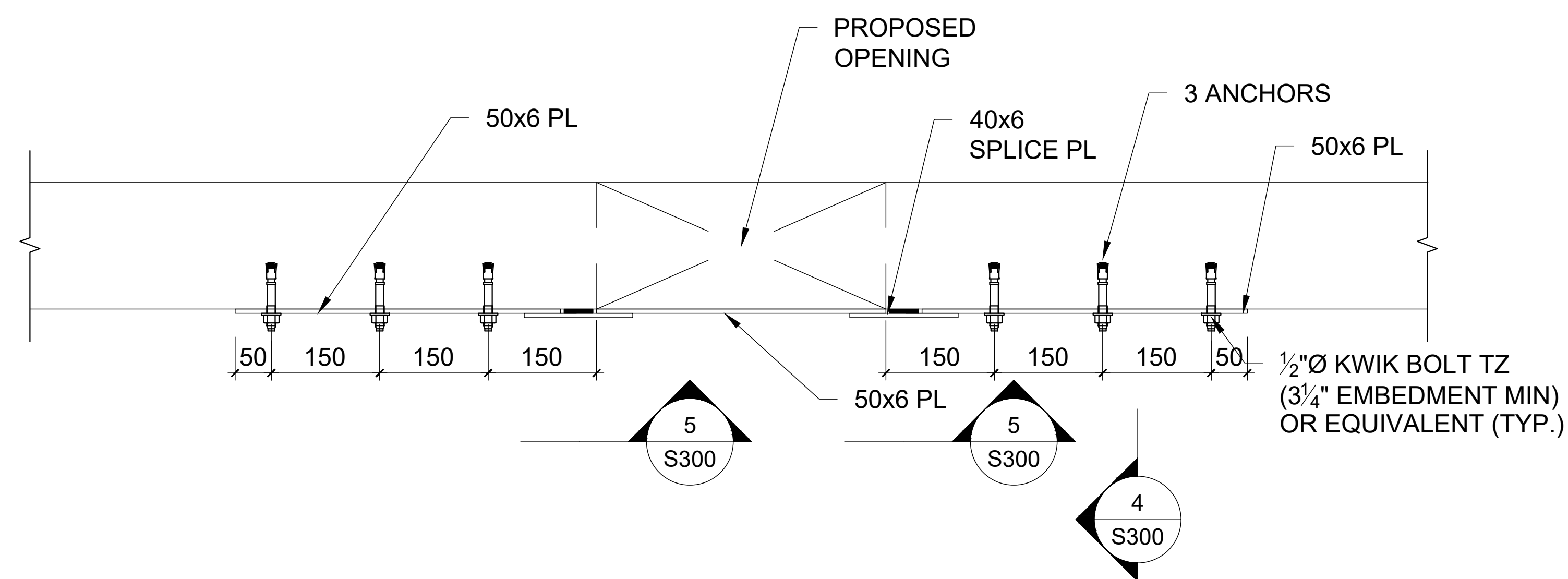

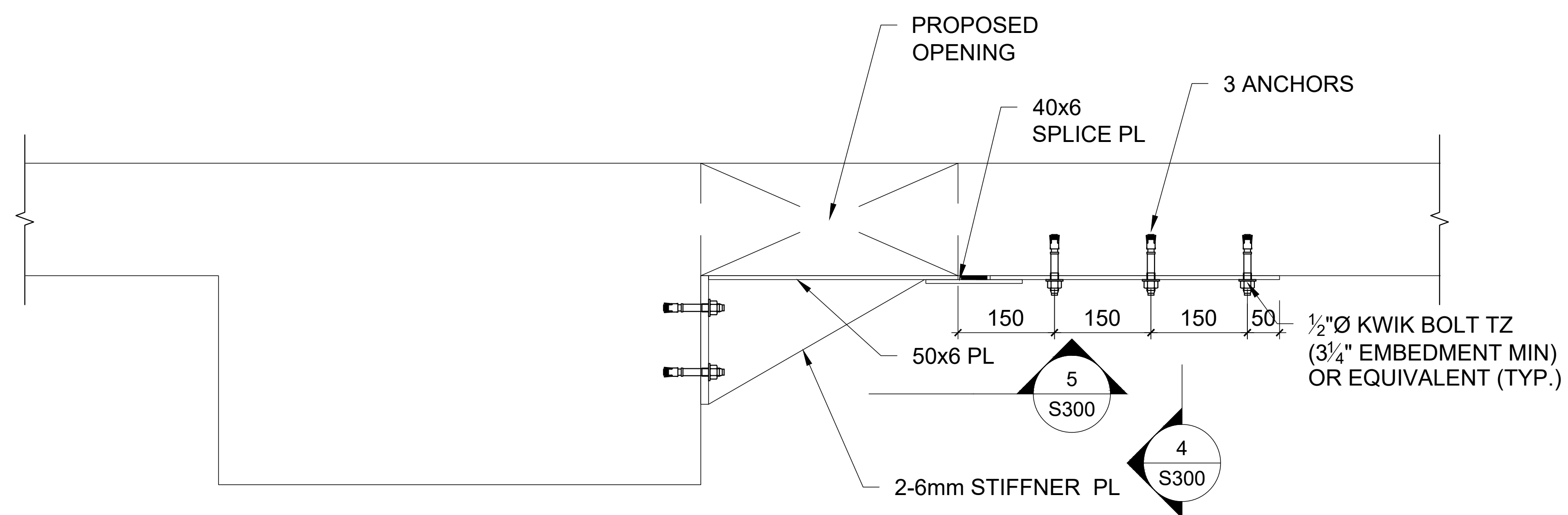

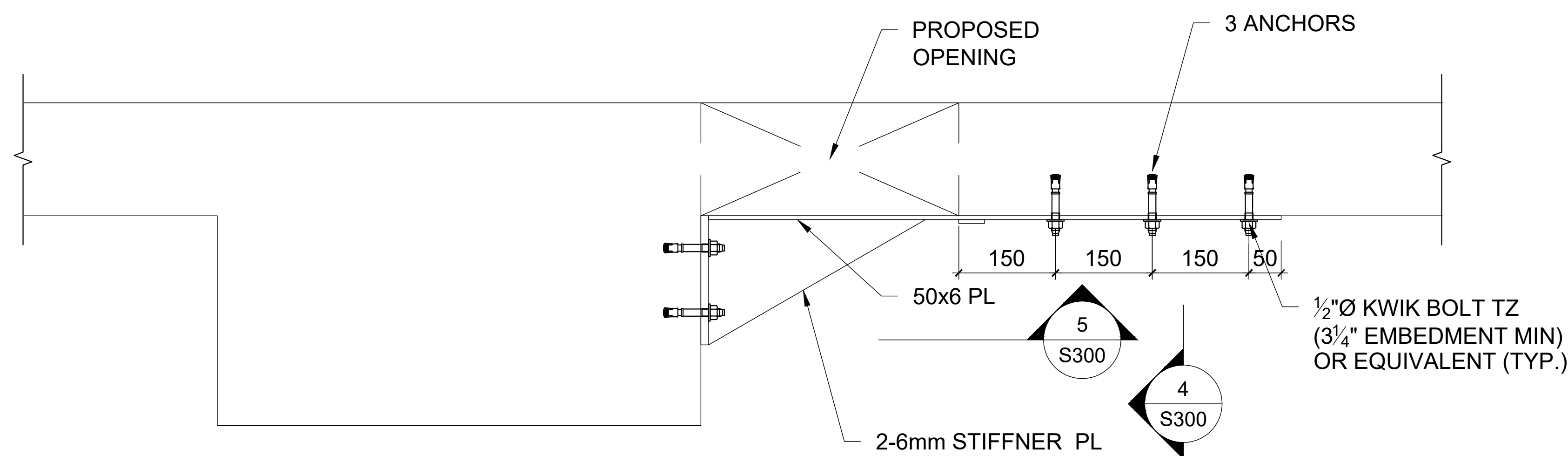
PROJECT #21035

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	
DRAWN BY:	M.A
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

FLOOR PLAN AREA
'B'

SHEET NUMBER:	S201
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GENERAL NOTES:

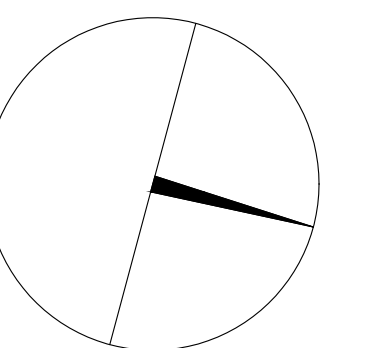
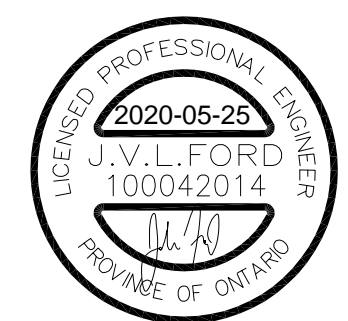
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[illegible]

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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR:	003
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BASE DATE:	03-01-2020
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PROJECT:

PROJECT #21035

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:

DRAWN BY: M.A

SUBMITTED TO: **MUNICIPALITY OF YORK**

SHEET TITLE:

SECTIONS

SHEET NUMBER:

S300

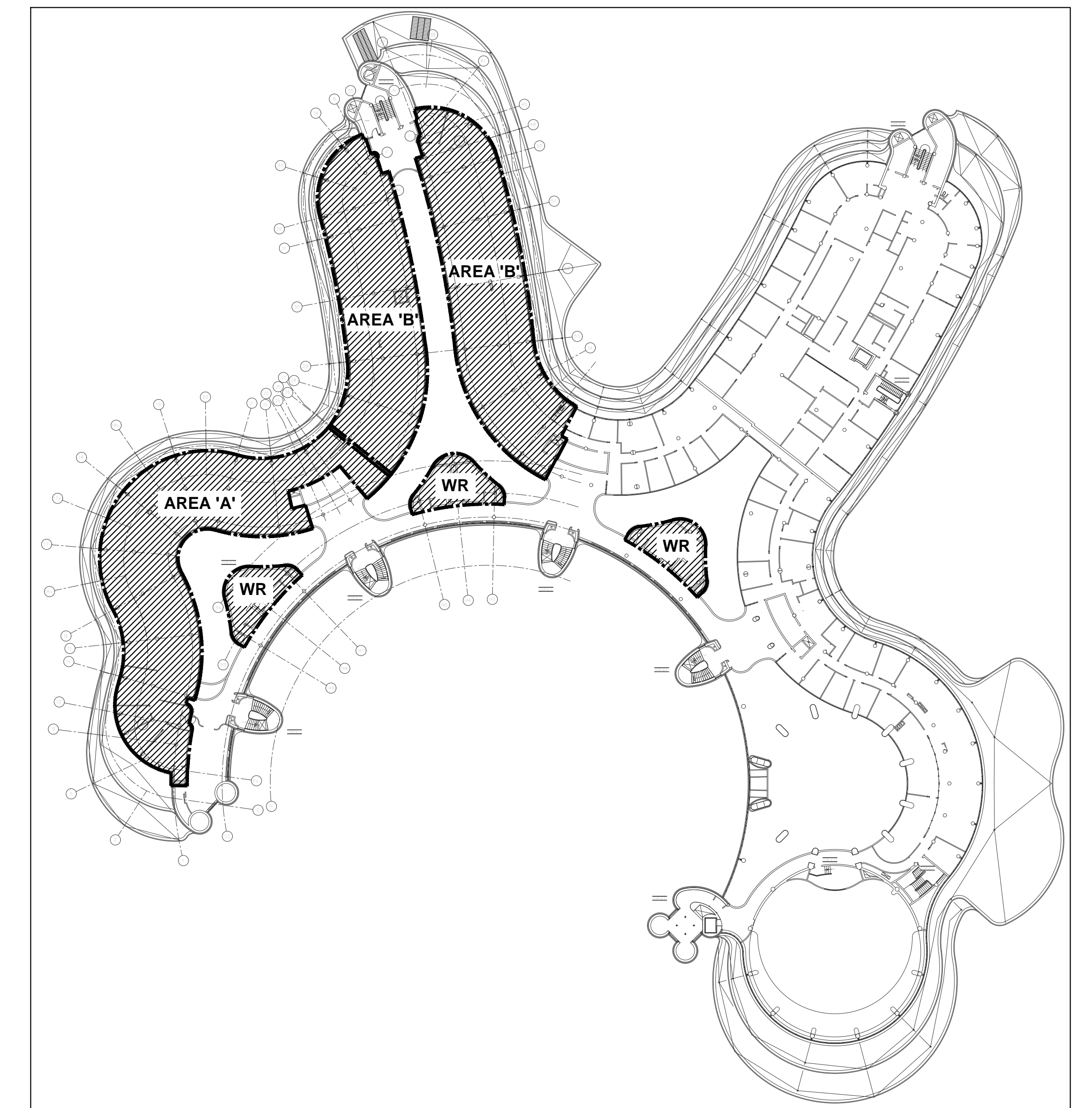


THE REGIONAL MUNICIPALITY OF YORK

YORK REGION ADMINISTRATIVE CENTRE PROJECT NUMBER : 9900

INTERIOR ALTERATIONS FOR YORK REGION ADMINISTRATIVE CENTRE

17250 YONGE STREET - 3RD FLOOR
NEWMARKET, ONTARIO L3Y 4W5



SCOPE OF WORK - 

CONTENT	ISSUED FOR	DATE	FILE No.
MECHANICAL DRAWINGS	ISSUED FOR 60 PERCENT REVIEW	MARCH 20, 2020	GPY-9900
MECHANICAL DRAWINGS	ISSUED FOR 90 PERCENT REVIEW	MAY 18, 2020	GPY-9900
MECHANICAL DRAWINGS	ISSUED FOR PERMIT & TENDER	MAY 25, 2020	GPY-9900
MECHANICAL DRAWINGS	ISSUED FOR TENDER	NOVEMBER 5, 2020	GPY-9900

GPY+ ASSOCIATES ENGINEERING INC. MECHANICAL CONSULTING ENGINEERS

90C Centurian Drive, Unit #6,
Markham, Ontario, L3R 8C5
TEL: (905) 475-3138, FAX: 1(866) 853-3732

E-mail: engineering@gpyengineering.com

PLUMBING FIXTURE SPECIFICATIONS		
<p>1.-1.-1 SHALL BE LOWAR MINUTEMAN BASIN C/W TWO (2) SETS OF LOWAR RUBBER SEALS (LOWR RUBON SPAW DISPOSER, L-R-020 RUBON SENSOR TAP AND L-R030 RUBON HAND DRYER) FINISH TO BE STAINLESS STEEL</p> <p>*FOR EXACT SIZE AND COLOUR OF BASIN, REFER TO ARCHITECTURAL DRAWINGS.</p> <p>*HANDRY SHALL ONLY BE INSTALLED BY LOWAR TRAINED PERSONNEL.</p> <p>*P-TAP SHALL BE HEAVY DUTY BRASS ADJUSTABLE, TOP WITH CLEANOUT PLUG ON THE BOTTOM OF THE TAP.</p> <p>*FAUCET, HAND SPAW DISPOSER AND DRYER TO BE INSTALLED BY MECHANICAL, PLUMBING AND ELECTRICAL CONNECTION BY DV 18.</p> <p>INSTALLATION SHALL ONLY PROCEED WITH YORK REGION'S PM APPROVAL & DIRECTIONS.</p>		
<p>1.-1.-2 WALL HANG TOILET – VITREOUS CHINA – FOR FUSHOMETER – EXPOSED – NO TOUCH – HARDWARE</p> <p>AMERICAN STANDARD AVALON MILLENNIUM FLUSHING ELONGATED #3530100 020 HET TOILET, VITREOUS CHINA WITH EVERGREEN ANTIMOIRBIAL SURFACE WHICH INHIBITS THE GROWTH OF STAIN AND ODOR CAUSING BACTERIA MOLD AND MULDEN, ELONGATED BOWL, WHITE FINISH, WALL HANG, SPINON JET FLUSH ACTION, OPERATES IN THE RANGE OF 4.1 L TO 8.1 (1.1 US GAL TO 1.6 US GAL) PER FLUSH, CONDENSATE CHANNEL, 303 MM X 254 MM (12" X 10") WATER SURFACE, SPINON JET FLUSH ACTION, CONDENSATE CHANNEL, ELONGATED BOWL, 54 MM (2-1/8") FULLY GLAZED INTERNAL TRAPWAY, TOILET SEAT NOT INCLUDED, 38 MM (1-1/2") DIA. TOP SPIND.</p> <p>GENCOCK #3505250200 TOILET SEAT, HEAVY DUTY, FOR ELONGATED BOWL, OPEN FRONT, SOLID PLASTIC, LESS COVER, STAINLESS STEEL, CHECK RINGS, METAL FLAT WASHERS STAINLESS STEEL POSTS AND NUTS, AMERICAN STANDARD SELECTION #80618, EXPOSED FLUSH VALVE FOR TOP SPID TOILET, POLISHED CHROME FINISH, 1.1 L (0.25 GAL) FILL FLOW / 4.1 L (1.1 US GAL) PARTIAL FLOW, SELF-SEALING BRASS PISTON WITH INTEGRAL WORN SPRING PRESSURE CLOSING, PROMAXY FLEX VALVE WITH PROGRAMMABLE, MULTI-FUNCTION INVERTED SENSOR, TRUE MECHANICAL OVER-RIDE BUTTON, 1 PS BAK-CHISEL ANGLE STOP, FLUSH TUBE FOR 292 MM (11-1/2") ROUGH-IN, OUTLET INCLUDES 38 MM (1-1/2") VACUUM BREAKER FOR BACK-FLOW PREVENTION, CHROME PLATE ONLY REQUIRED WHEN POWER SUPPLY MUST BE INSTALLED FROM THE FRONT, AS POWERED (HARD WIRE), AMERICAN STANDARD #3505250200, HARDWARE HARDWARE AS – POWER KIT, INCLUDES 10' LONG EXTENSION CABLE, FRAMING MEASURING #204-18018-M, TOILET BACK REST, SATIN FINISH, TYPE 304 18 GA. (1/2 MM) STAINLESS STEEL BAR, 152 MM (6") BACK TO FRONT, 12 MM (1/2") TUBING DIAMETER, ANTIODE WHITE SOLID CORE PLASTIC LAMINAR PANEL, NUTS #654-144 3 SINGLE MECHICAL, ADJUSTABLE TOILET CARRIER, MOUNTED ON CONCRETE FLOOR, ALL PROXY COATED CAST IRON FITTING, ADJUSTABLE AIS SUE NIPPLE WITH INTEGRAL TEST CAP AND NEOPRENE BOWL GASKET, MATED PLATED HARDWARE, CHROME CAP NUTS, TANG FRAME, 102 MM (4") NO HUB WASTE, 91 MM (3 1/2") NO HUB WASTE, 108 X 100 (4 1/8") STAINLESS STEEL, BOWL (12") FINISHED METAL, STD WALL TO BACK OF PIPE SPACE, CHAMPION M-Y SERIES #M-YHUB DRAN COUPLING, COUPLING, NO-HUB, TYPE 304 AIS STAINLESS STEEL, HAND, TYPE 304 AIS STAINLESS STEEL, TOILET ELASTOMERIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564 TYPE 304 AIS STAINLESS STEEL, SHELLS PAINTED RED FOR EASY IDENTIFICATION, TESTED TO MAINTAIN 15 PS MAXIMUM LINE PRESSURE AT 80 INCH LB W/ 100 INCH LB MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY JPMCO TO COMPLY TO FM 1850-1889 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 10"), THEY ARE TESTED AND CERTIFIED TO ASTM C1040-2011 STANDARD, PER CSPP CO CODE APPLICATION NOTICE 5-3118 REVISED 6/29/2011, SIGNED BY PAUL COLUMAN, SECTION 1 (A) STATES THAT "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1880, CLASS L, BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE ACCEPTABLE.</p>	<p>1.-1.-1 WALL HANG URINAL – FOR FUSHOMETER – EXPOSED – NO TOUCH – HARDWARE</p> <p>AMERICAN STANDARD WASHROOM FLUSHING #959002020 URINAL, VITREOUS CHINA, OPERATES IN THE RANGE OF 0.5 L TO 3.8 L (0.129 US GAL TO 1.0 US GAL) PER FLUSH, WALL HANG, EXTENDED SEES FOR PRIVACY, WASHROOM ACTION, WASHROOM FLOWING, FLUSHING RIN, 19 MM (3/4") DIA. TOP SPID, ELONGATED RIM, INTERNAL P-TAP, OUTLET CONNECTION 5 MM (1/8") 2" WALL HANGERS, #301242-100 CHROME PLATED, NON-METALLIC STRAINER, WHITE FINISH, SOAN RONA, SINGLE FLUSH (SEE MOUNT) JPMCO, SINGLE FLUSH (SEE MOUNT) 186-035 SPIN ON, EXPOSED FUSHOMETER FOR TOP SPID URINAL, 1.9 L (0.5 US GAL) FACTORY SET FLOW, QUIET ACTION TERNEX DRAINPUMP TYPE, WITH EQUAL FILLER BY PASS, INBARED SPINON, CIRCULITY, TRUE MECHANICAL OVER-RIDE BUTTON, SCREWDRIVER BACK-CHISEL ANGLE STOP WITH FREE-SPINNING VP, STOP CAP, FLUSH TUBE FOR 292 MM (11-1/2") ROUGH-IN, HIGH PRESSURE VACUUM BREAKER, SOAN BEAT-37, 800 MOUNT HARMERED TRANSFORMER, 120 1462 4 90C, WATTS #654-144 3 SINGLE MECHICAL, ADJUSTABLE TOILET CARRIER, MOUNTED ON CONCRETE FLOOR, STEEL HANGER PLATE, HEAVY GAUGE DROXY COATED STEEL, OFFSET UPROXY WITH WELDED FEET SUPPORTS FOR ONE UNIT 102 MM (4") FOR TWO TO SIX UNITS 102 MM (4") PARTIAL FLOW, 152 MM (6") BACK TO FRONT, 12 MM (1/2") TUBING DIAMETER, ANTIODE WHITE SOLID CORE PLASTIC LAMINAR PANEL, NUTS #654-144 3 SINGLE MECHICAL, ADJUSTABLE TOILET CARRIER, MOUNTED ON CONCRETE FLOOR, ALL PROXY COATED CAST IRON FITTING, ADJUSTABLE AIS SUE NIPPLE WITH INTEGRAL TEST CAP AND NEOPRENE BOWL GASKET, MATED PLATED HARDWARE, CHROME CAP NUTS, 76 MM (3") NO HUB WASTE, 100 MM (4") NO HUB WASTE, 203 X 100 (8") STAINLESS STEEL, TOILET ELASTOMERIC COMPOUND GASKET MEETING THE REQUIREMENTS OF ASTM C-564 TYPE 304 AIS STAINLESS STEEL, SHELL PAINTED RED FOR EASY IDENTIFICATION, TESTED TO MAINTAIN 15 PS MAXIMUM LINE PRESSURE AT 80 INCH LB W/ 100 INCH LB MAXIMUM TORQUE BOLT TIGHTNESS, TESTED BY JPMCO TO COMPLY TO FM 1850-1889 STANDARD (EXCEPT FOR MARKINGS) AND CSA B602-2010 STANDARD (UP TO 10"), THEY ARE TESTED AND CERTIFIED TO ASTM C1040-2011 STANDARD, PER CSPP CO CODE APPLICATION NOTICE 5-3118 REVISED 6/29/2011, SIGNED BY PAUL COLUMAN, SECTION 1 (A) STATES THAT "THE USE OF COUPLINGS THAT HAVE BEEN TESTED TO CONFORM TO THE PERFORMANCE REQUIREMENTS OF FM APPROVALS, APPROVAL STANDARD 1880, CLASS L BY FM APPROVALS OR BY A NATIONALLY RECOGNIZED INDEPENDENT TESTING AGENCY" ARE ACCEPTABLE.</p> <p>WALL HANG BASIN ELECTRONIC NO TOUCH FAUCET – POINT OF USE THERMOSTATIC WATER WINGING VALVE</p> <p>KOHLER WALL-MOUNT BATHROOM SINK MODEL REVE K-5021, SINGLE FAUCET HOLE, DEEP V-SHAPED BASIN, OVERFLOW DRAIN WITH 4-480 POLISHED CHROME CAP, 600 MM X 305 MM X 76 MM (23 5/8" X 12" X 3") HIGH PRE-CAST MATERIAL, WHITE FINISH, FOR CARRIER WITH CONCEALED AVALON REAR OVERFLOW, SELF-DRAINING FAUCET LEVER, BASIN BASIN #874-200-000-020-020 ELECTRONIC NO TOUCH BATTERY POWERED FAUCET, POLISHED CHROME FINISH, THE CAST BODY, INTEGRAL AVALON DECK WATER SUPPLY SHUT OFF, OPTIMAL "HOT" HEAT SHUT OFF FOR EFFICIENT HAND WASHING, 167 MM (6-5/8") PROJECTION REAR, AVALON ACCESS TO KEY COMPONENTS INCLUDING SENSING VALVE, WATER SHUT-OFF, BATTERY CANNOT, VANGUARD PROOF BOIL, ACTIVE R SENSING, 0.5 GPM (1.9 LPM) MULTI-LAMINAR, ALKALINE BATTERY POWERED, LAMER #205-18002, POINT OF USE THERMOSTATIC WATER WINGING VALVE, NIKEL PLATED BRONZE BODY, THERMOSTATIC ADJUSTING SPINEL, 10 MM (3/8") NUTS AND OUTLET JET CONNECTIONS, INTERNAL CHECKS, OPTER THERMOSTAT RANGE CATCHES 35 TO 105 F° AND 45 TO 114.4 F° SET VALVE, TEMPERATURE AT 45 TO 114.4 F° PROVIDE TEE, ADAPTORS AND TEE, COUPLY TUBING TO SAT INSTALLATION, PROVIDE TEMPERED WATER TO HOT (5) SUE X 16 MM (1/2") LONG RIBB HORIZONTAL NIPPLES, VP, LOOSE NUTS, ECUOTODION AND FLEXIBLE CORPER RODS, MCGURE #80722 P-TAP, HEAVY CAST BRASS ADJUSTABLE BODY, WITH SLP NUT, 38 MM (1-1/2") SIZE, SHALLOW WALL FLANGE AND SEAMLESS TUBULAR WALL BEND, WATTS #654-144 3 BASH CHISEL ANGLE STOP WITH FREE-SPINNING VP, STOP CAP, FLUSH TUBE FOR 292 MM (11-1/2") ROUGH-IN, HIGH BACK PRESSURE VACUUM BREAKER WITH FLUSH CONNECTION, SOAN BEAT-37, 800 MOUNT HARMERED TRANSFORMER, 120 1462 4 90C, WATTS #654-144 3 SINGLE MECHICAL, ADJUSTABLE TOILET CARRIER, MOUNTED ON CONCRETE FLOOR, STEEL HANGER PLATE, HEAVY GAUGE DROXY COATED STEEL, OFFSET UPROXY WITH WELDED FEET SUPPORTS FOR ONE UNIT 102 MM (4") 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PLUMBING FIXTURE PIPING SCHEDULE		
FIXTURE TYPE	WATER SUPPLY	
	HOT	COLD
S.S. KITCHEN SINK	1-1/2"	1-1/2"
LAVATORY	1-1/2"	1-1/2"
WATER CLOSET (FLUSH VALVE)	1"	1-1/2"
URINAL (FLUSH VALVE)	1"	1-1/2"
FLOOR / HUB DRAIN	2"	1-1/2"
<p>NOTES:</p> <ol style="list-style-type: none"> 1. PROVIDE TRAP PRIMER LINES AND TRAP PRIMERS FOR ALL FLOOR DRAINS. 2. ALL PIPING SHALL BE CONCEALED WITHIN WALLS. 3. PROVIDE SHOCK STOPS ON HOT/COLD WATER SUPPLIES TO ALL FIXTURE GROUPS. 4. ALL VENTING SHALL CONTAIN TO OBC PART 7. INCREASE VENT SIZES AS REQUIRED WHERE TOTAL VENT LENGTH EXCEEDS SIZES LISTED ABOVE. 5. CONTRACTOR TO THOROUGHLY INSPECT THE SITE TO DETERMINE LOCATION OF EXISTING PIPING OF SUFFICIENT SIZE, AND EXTEND NEW VENT PIPING TO THIS LOCATION. 6. PROVIDE ISOLATION VALVES ON INDOOR PLUMBING PIPING. 7. ALL FLOOR DRAINS, FUNNEL FLOOR DRAINS, AND STANDING WASTE PIPES SHALL BE PROVIDED. 		

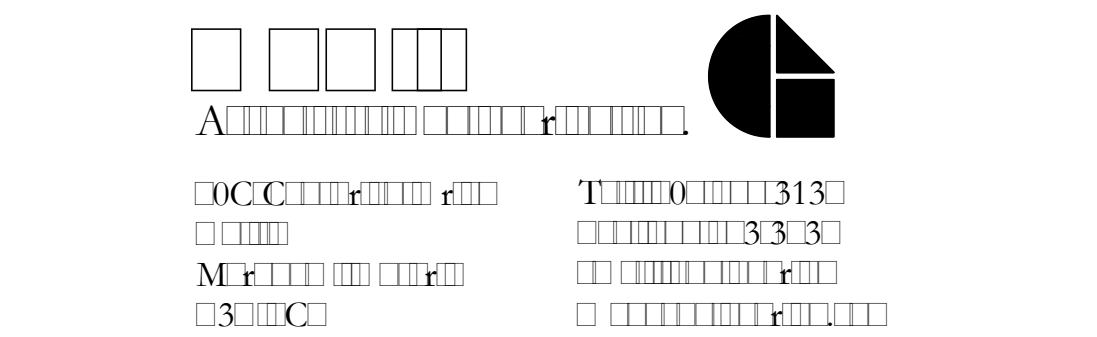
DIFFUSER SCHEDULE		
BASIS OF DESIGN: E.H. PRICE EQUAL IN: METALARE, NALOR, TITUS		
REF.	MODEL No.	DESCRIPTION
A	SCDA	600MMX600MM SQUARE COPE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR "T" BAR OR ORDNAL MOUNTING, C/W VOLUME DAMPER AT DIFFUSER NECK
B	5300	45° DEFLECTION EXHAUST AIR GRILLE, FIXED LOUVERS, 3/4" BLADE SPACING, C/W OPPOSED BLADE RETURN, FRONT BLADES PARALLEL TO LON DIMENSION, SUITABLE FOR ORDNAL MOUNTING
C	80 SERIES	RETURN AIR GRILLE 12x24x24° EGGRATE, ALUMINUM CONSTRUCTION, SUITABLE FOR 1/4" BARE CEILING MOUNTING, SIZES AS INDICATED ON DRAWING
D	SCDA	500MMX500MM SQUARE COPE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR "T" BAR OR ORDNAL MOUNTING, C/W VOLUME DAMPER AT DIFFUSER NECK
E	SCDA	1000MMX1000MM SQUARE COPE DIFFUSER, STEEL CONSTRUCTION, FULLY ADJUSTABLE AIR PATTERN CONTROLLER, SUITABLE FOR "T" BAR OR ORDNAL MOUNTING, C/W VOLUME DAMPER AT DIFFUSER NECK
F	---	ARCHITECTURAL FLEAM SLOT DIFFUSER, DIFFUSER BY ARCHITECTURAL DIVISION, REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS

WALL/FIN HEATER SCHEDULE		
BASIS OF DESIGN: RITLING EQUAL IN: ENG. AIR, STERLING		
TAG	TYPE	MODEL
ENCLOSURE (mm) (LxWxH)	TUBE SIZE (mm) (LxWxH)	NO. OF ROWS
NO. OF CAPACITY (BTU/Hr) (kW)	FLOW (GPM/FT) (LPM/FT)	SUPPLY WATER RETURN WATER TEMP. (°C)
AVERAGE WATER TEMPERATURE (°C)	WALL/FIN ELEMENT LENGTH (mm)	
WF-1	HYDRONIC	3805-3/4x4-1/4x4
WF-2	HYDRONIC	3805-3/4x4-1/4x4
WF-3	HYDRONIC	3805-3/4x4-1/4x4
WF-4	HYDRONIC	3805-3/4x4-1/4x4
WF-5	HYDRONIC	3805-3/4x4-1/4x4
WF-6	HYDRONIC	3805-3/4x4-1/4x4
WF-7	HYDRONIC	3805-3/4x4-1/4x4
WF-8	HYDRONIC	3805-3/4x4-1/4x4
WF-9	HYDRONIC	3805-3/4x4-1/4x4
WF-10	HYDRONIC	3805-3/4x4-1/4x4
WF-11	HYDRONIC	3805-3/4x4-1/4x4
WF-12	HYDRONIC	3805-3/4x4-1/4x4
WF-13	HYDRONIC	3805-3/4x4-1/4x4
WF-14	HYDRONIC	3805-3/4x4-1/4x4
WF-15	HYDRONIC	3805-3/4x4-1/4x4
WF-16	HYDRONIC	3805-3/4x4-1/4x4
WF-17	HYDRONIC	3805-3/4x4-1/4x4
WF-18	HYDRONIC	3805-3/4x4-1/4x4
WF-19	HYDRONIC	3805-3/4x4-1/4x4
WF-20	HYDRONIC	3805-3/4x4-1/4x4
WF-21	HYDRONIC	3805-3/4x4-1/4x4
WF-22	HYDRONIC	3805-3/4x4-1/4x4
WF-23	HYDRONIC	3805-3/4x4-1/4x4
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WF-41	HYDRONIC	3805-3/4x4-1/4x4
WF-42	HYDRONIC	3805-3/4x4-1/4x4
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WF-129	HYDRONIC	3805-3/4x4-1/4x4
WF-130	HYDRONIC	3805-3/4x4-1/4x4
WF-131	HYDRONIC	3805-3/4x4-1/4x4
WF-132	HYDRONIC	3805-3/4x4-1/4x4
WF-133	HYDRONIC	3805-3/4x4-1/4x4
WF-134	HYDRONIC	3805-3/4x4-1/4x4
WF-135	HYDRONIC	3805-3/4x4-1/4x4

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 2. DRAWINGS ARE NOT TO BE SCALED
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 4. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF YORK REGION. AS SUCH, THEY ARE NOT INTENDED FOR USE ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT SPECIFIED

SUBMISSION	DATE	DESCRIPTION
1	03-20-2020	ISSUED FOR 60% REVIEW
2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT & TENDER
4	11-05-2020	ISSUED FOR TENDER

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217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region

PROPERTY SERVICES

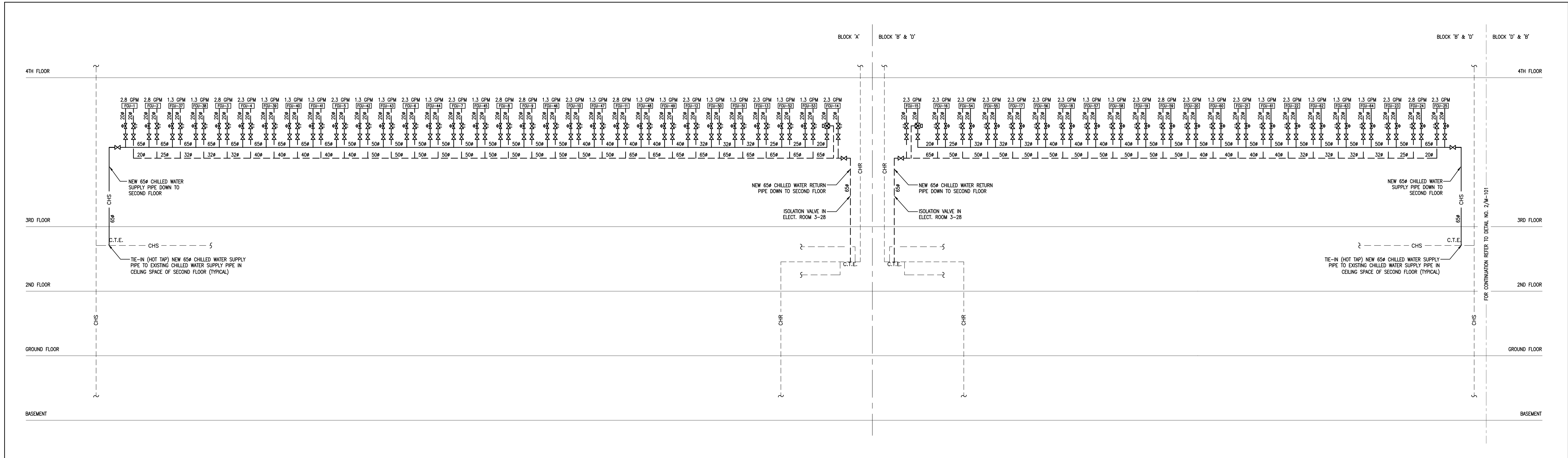
DEPARTMENT: BUILDING & FACILITIES
FLOOR: 003
BASE DATE: 03-01-2020
PROJECT:

PROJECT #9900
YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: NOT TO SCALE
DRAWN BY: S.P.R./G.G.
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

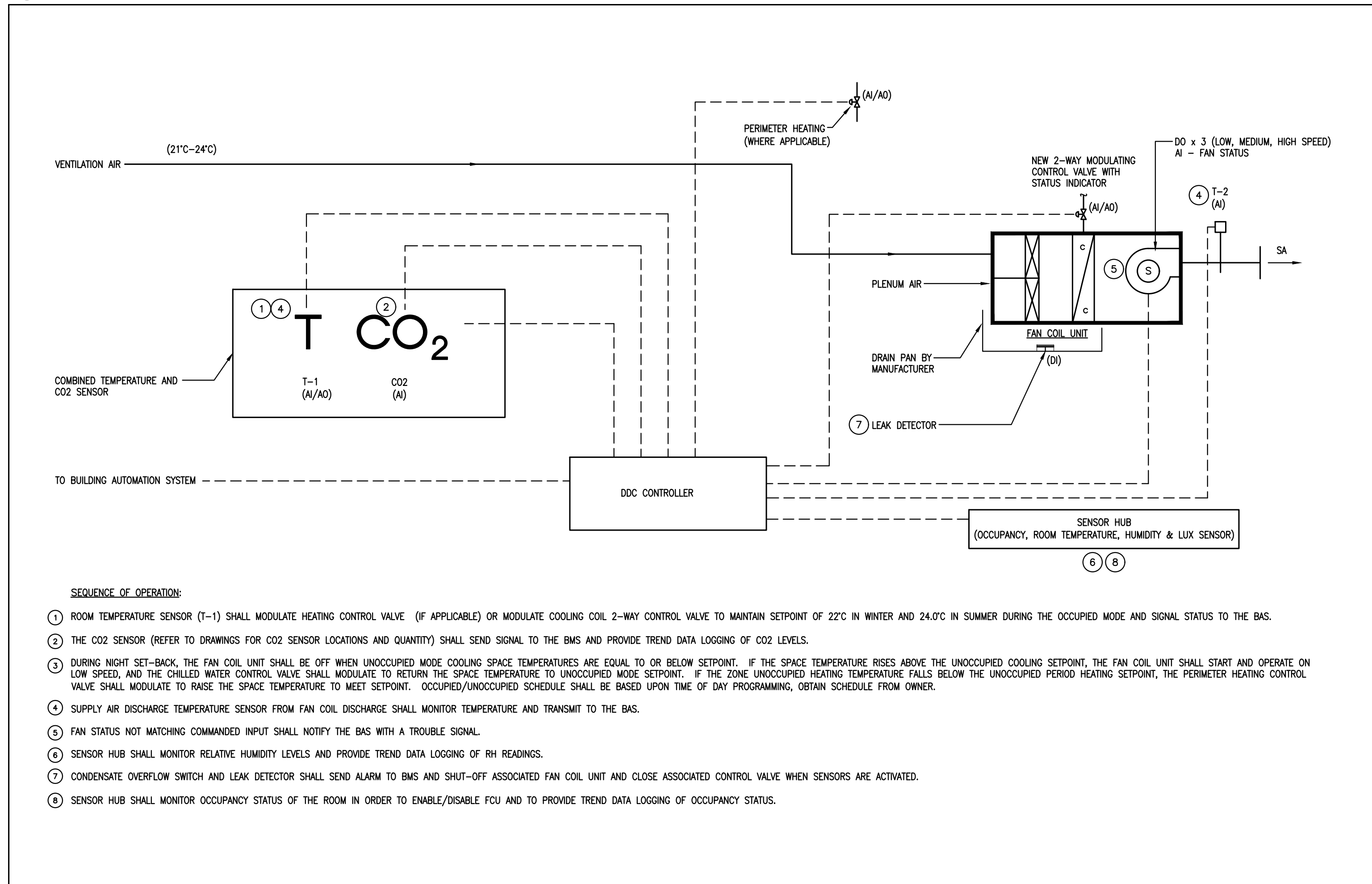
SCHEMATIC DIAGRAM

SHEET NUMBER:
M-101



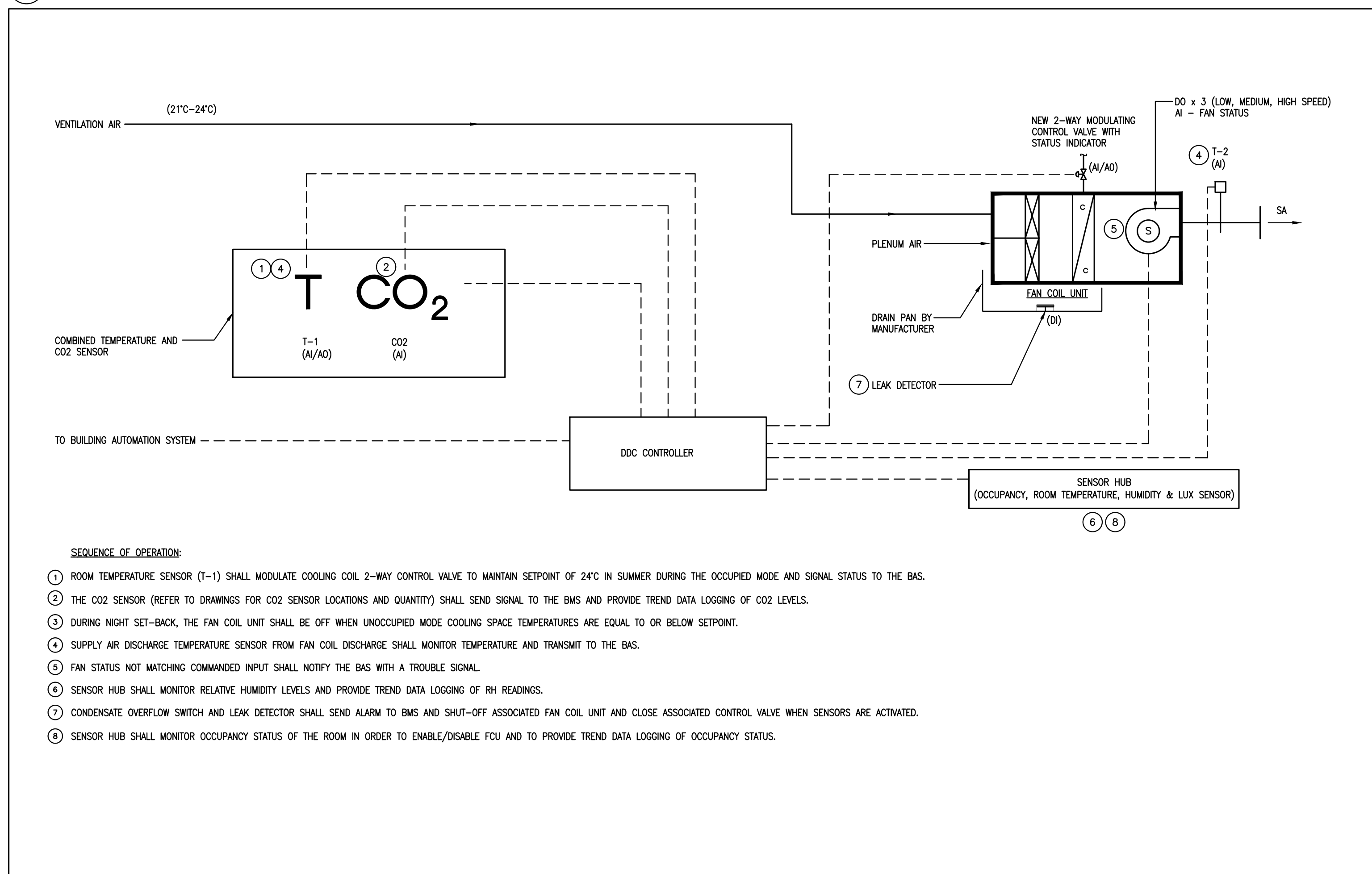
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M-101 SCALE: N.T.S.



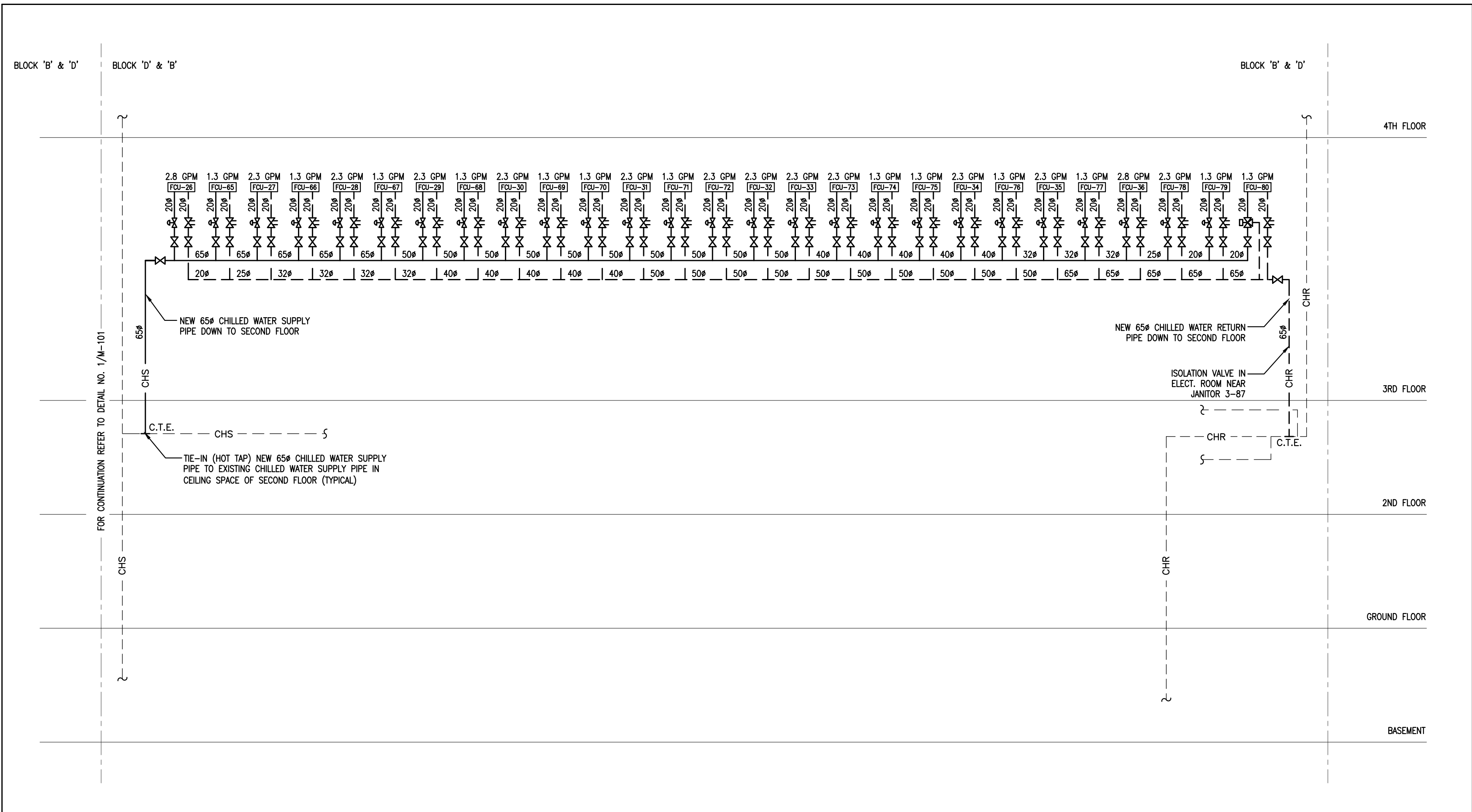
5 FAN COIL UNITS WITH COOLING, AND PERIMETER HEATING WHERE APPLICABLE

M-101 SCALE: N.T.S.



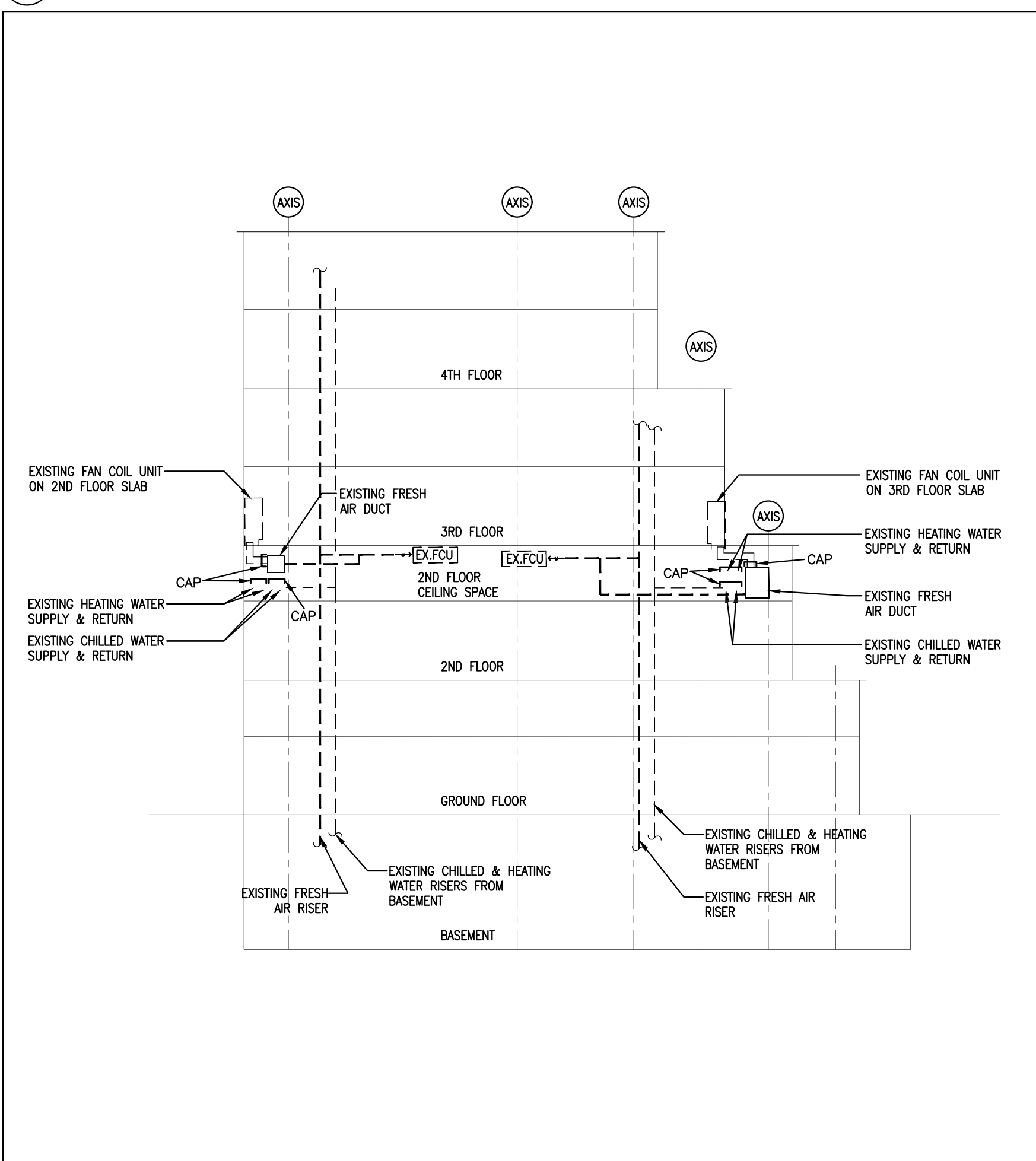
6 FAN COIL UNITS WITH COOLING & CO2 SENSOR INTERIOR ZONES

M-101 SCALE: N.T.S.



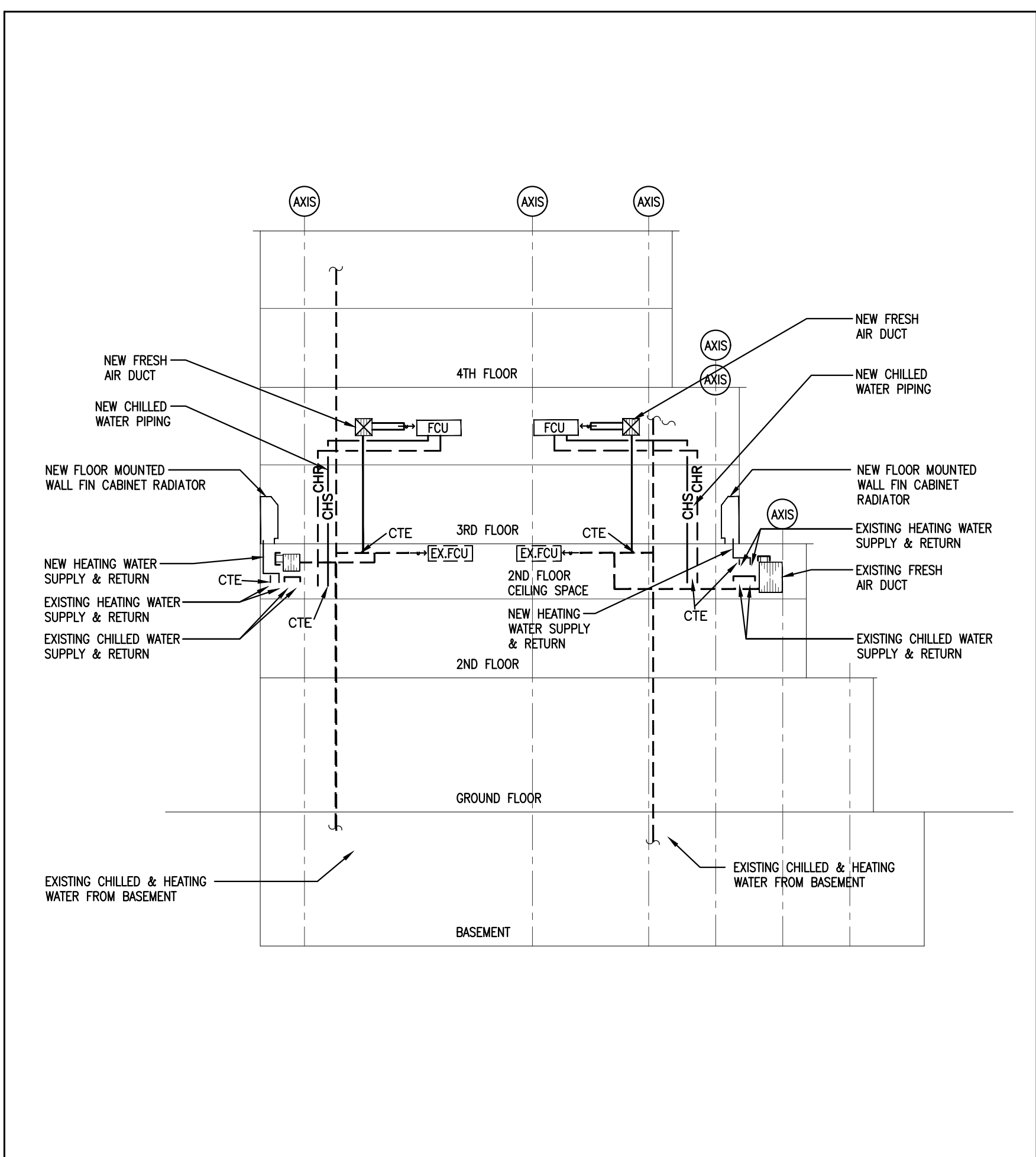
2 CHILLED WATER PIPING SCHEMATIC 3RD FLOOR

M-101 SCALE: N.T.S.



4 HYDRONIC PIPING AND FRESH AIR DUCT EXISTING SCHEMATIC

M-101 SCALE: N.T.S.



3 HYDRONIC PIPING AND FRESH AIR DUCT NEW SCHEMATIC

M-101 SCALE: N.T.S.



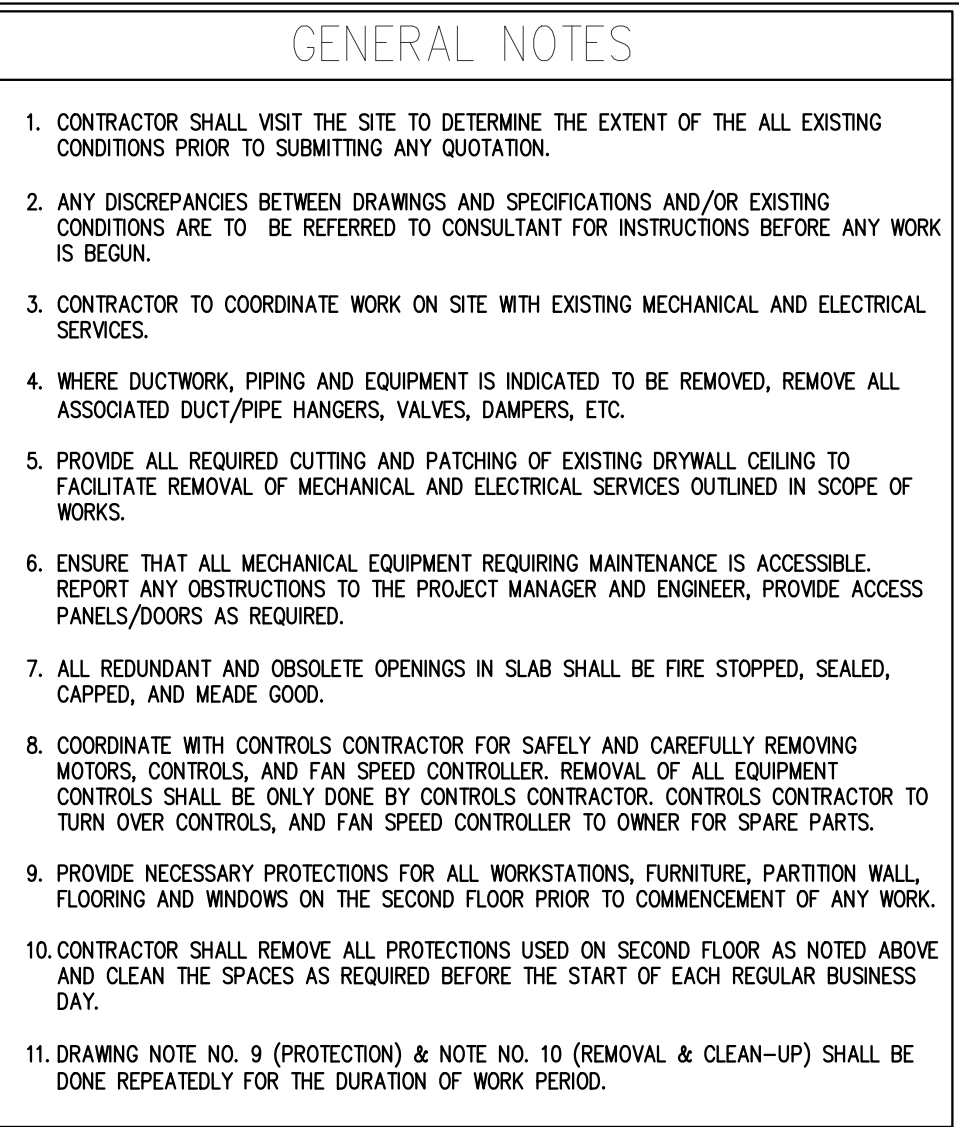
SUBMISSION	DATE	DESCRIPTION
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2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT & TENDER
4	11-05-2020	ISSUED FOR TENDER

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DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

M-102

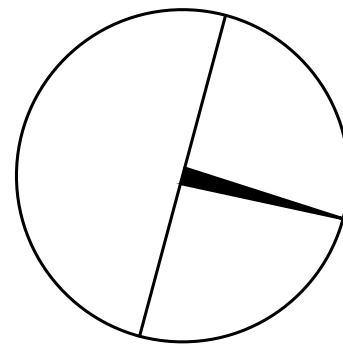
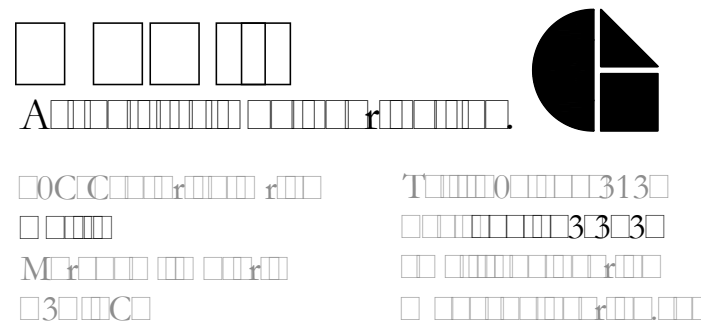


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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

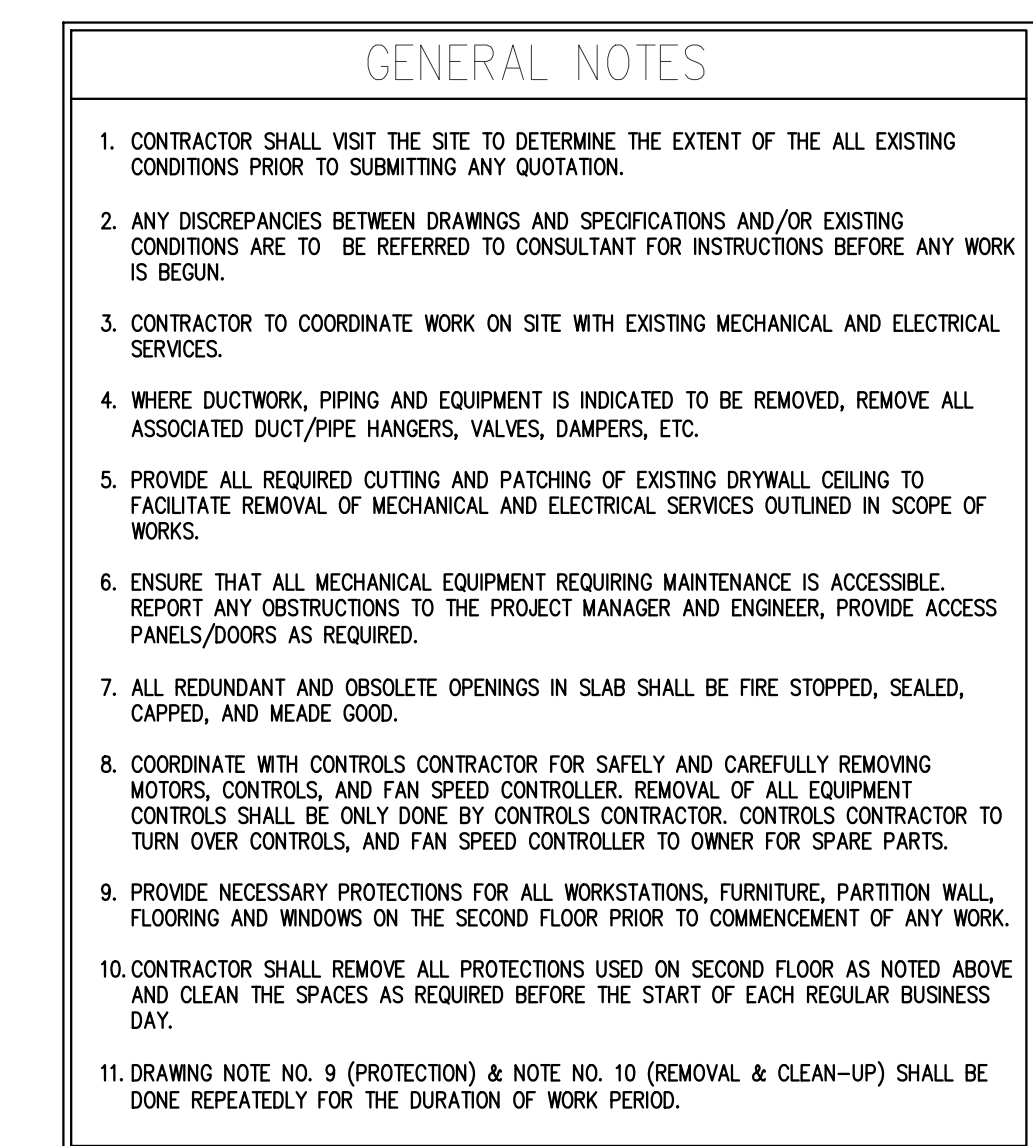
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 2ND FLOOR CEILING
SPACE AREA 'A'
MECHANICAL DEMOLITION
PLAN

SHEET NUMBER

M-200



- ## DRAWING NOTES
- 1 EXISTING OUTDOOR AIR SUPPLY DUCTWORK IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
 - 2 EXISTING OUTDOOR AIR SUPPLY DUCT RISER TO REMAIN.
 - 3 EXISTING MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
 - 4 CUT BACK AND CAP EXISTING OUTDOOR AIR SUPPLY DUCT IN CEILING SPACE OF THIS FLOOR. CONTRACTOR TO EXPOSE/IDENTIFY EXACT LOCATION OF DUCTWORK ON SITE.
PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)
 - 5 CUT BACK AND CAP EXISTING CHILLED WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)
 - 6 CUT BACK AND CAP EXISTING HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR. PROVIDE FIRE-STOPPING AND SEALED OFF ALL FLOOR OPENING AS REQUIRED. (TYPICAL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 2ND FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

EXISTING OUTDOOR AIR INSPECTION

- 1 MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO PRE-BALANCING.

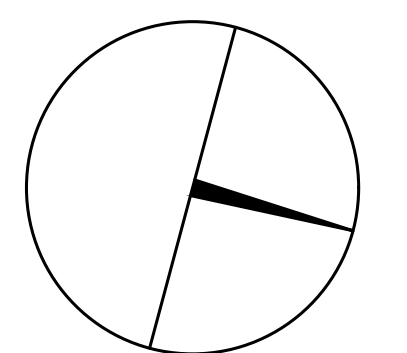
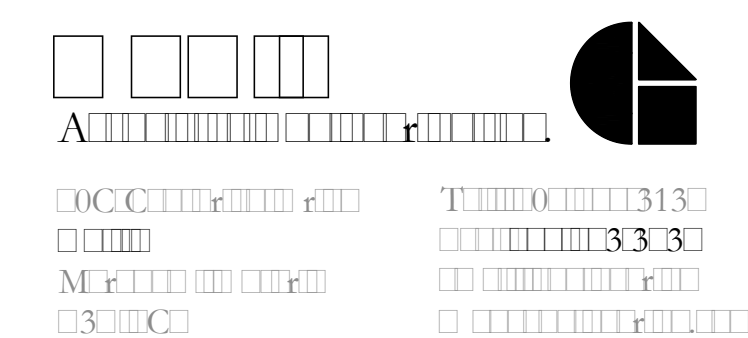
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facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR:	003
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BASE DATE:	03-01-2020
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PROJECT:

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

SUBMITTED TO: **MUNICIPALITY OF YORK**

SHEET TITLE:

PARTIAL 2ND FLOOR
AREA 'B'
MECHANICAL DEMOLITION
PLAN

SHEET NUMBER:

NUMBER: M-201



- GENERAL NOTES
1.

CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
2.

ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
3.

CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING MECHANICAL AND ELECTRICAL SERVICES.
4.

WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
5.

PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
6.

ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER. PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
7.

ALL REDUNDANT AND ABSOLUTE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
8.

COORDINATE WITH CONTROLS CONTRACTOR FOR SAFELY AND CAREFULLY REMOVING MOTORS, CONTROLS, AND FAN SPEED CONTROLLER. REMOVAL OF ALL EQUIPMENT CONTROLS SHALL BE ONLY DONE BY CONTROLS CONTRACTOR. CONTROLS CONTRACTOR TO TURN OVER CONTROLS, AND FAN SPEED CONTROLLER TO OWNER FOR SPARE PARTS.

- DRAWING NOTES
- 1

EXISTING FLOOR-MOUNTED FAN COIL UNIT TO BE REMOVED. TURN OVER ALL EXISTING FLOOR-MOUNTED FAN COIL UNITS TO YORK REGION. DISPOSE REST FAN COIL MOTORS AND TURN OVER THE DIAL SWITCH MOUNTED ON FAN COIL UNIT TO OWNER. REMOVE AND CAP OUTDOOR AIR SUPPLY DUCT BACK IN 2ND FLOOR CEILING SPACE. REMOVE AND CAP BACK HEATING SUPPLY/RETURN WATER PIPES AND CHILLED SUPPLY/RETURN WATER PIPES BACK TO 2ND FLOOR CEILING SPACE. PROVIDE FIRE-STOPPING AND SEALED ALL FLOOR OPENING AS REQUIRED. (TYPICAL)
- 2

REMOVE EXISTING TEMPERATURE SENSOR C/W ASSOCIATED CONTROL WIRING AND TURN OVER THE TEMPERATURE SENSOR TO THE OWNER. (TYPICAL)
- 3

REMOVE EXISTING DELTA BAS CONTROLLER IN CEILING SPACE IF THIS FLOOR CONNECTED TO EXISTING FAN COIL UNITS. REMOVE ALL ASSOCIATED CONTROL WIRING AND TURN OVER DELTA BAS CONTROLLER TO OWNER. (TYPICAL). MECHANICAL CONTRACTOR IDENTIFY AND PROTECT CONTROL WIRING SERVING OTHER FLOORS DURING DEMOLITION.
- 4

EXISTING MAIN CHILLED WATER SUPPLY & RETURN PIPING AND MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
- 5

EXISTING OUTDOOR AIR SUPPLY DUCT FOR 4TH FLOOR FAN COIL UNITS TO REMAIN.
- 6

EXISTING DELTA BAS CONTROLLER IN CEILING SPACE OF THIS FLOOR REMAIN.
- 7

EXISTING THERMOSTAT C/W CONTROL WIRING TO REMAIN.
- 8

EXISTING FLOOR-MOUNTED FAN COIL UNITS TO REMAIN. (TYPICAL)

NOTES

ALL MECHANICAL WORKS INVOLVED IN SECOND FLOOR SHALL BE DONE AFTER HOURS (9:30 PM TO 8:30 AM). INCLUDE REMOVING/CAPPING CEILING SPACE OUTDOOR AIR DUCTWORK, CHILLED WATER PIPES/HEATING WATER PIPES REMOVING/CAPPING/ NEW CONNECTING, FLOOR CUTTING/PATCHING, CONDENSATE DRAIN REMOVING/NEW CONNECTING E.T.C.. CONTRACTOR SHALL COORDINATOR WITH REGION'S PM PRIOR TO ANY WORK COMMENCING.

- EXISTING OUTDOOR AIR INSPECTION
- 1

MECHANICAL CONTRACTOR SHALL PERFORM A COMPLETE VISUAL INSPECTION OF THE EXISTING SUPPLY AIR DUCT SYSTEM AND REPORT ANY FINDING OF OPEN DUCT BRANCHES, MISSING CAPPED CONNECTIONS, OPENING IN MAIN AND BRANCH DUCTS, BLOCKAGE AND LOOSE CONNECTIONS TO ENGINEER PRIOR TO COMMENCEMENT OF WORK. ALL OPENINGS, BLOCKAGES ETC. ARE TO BE RECTIFIED PRIOR TO FIRE-BALANCING.

- GENERAL NOTES:
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CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK
2.

DRAWINGS ARE NOT TO BE SCALED
3.

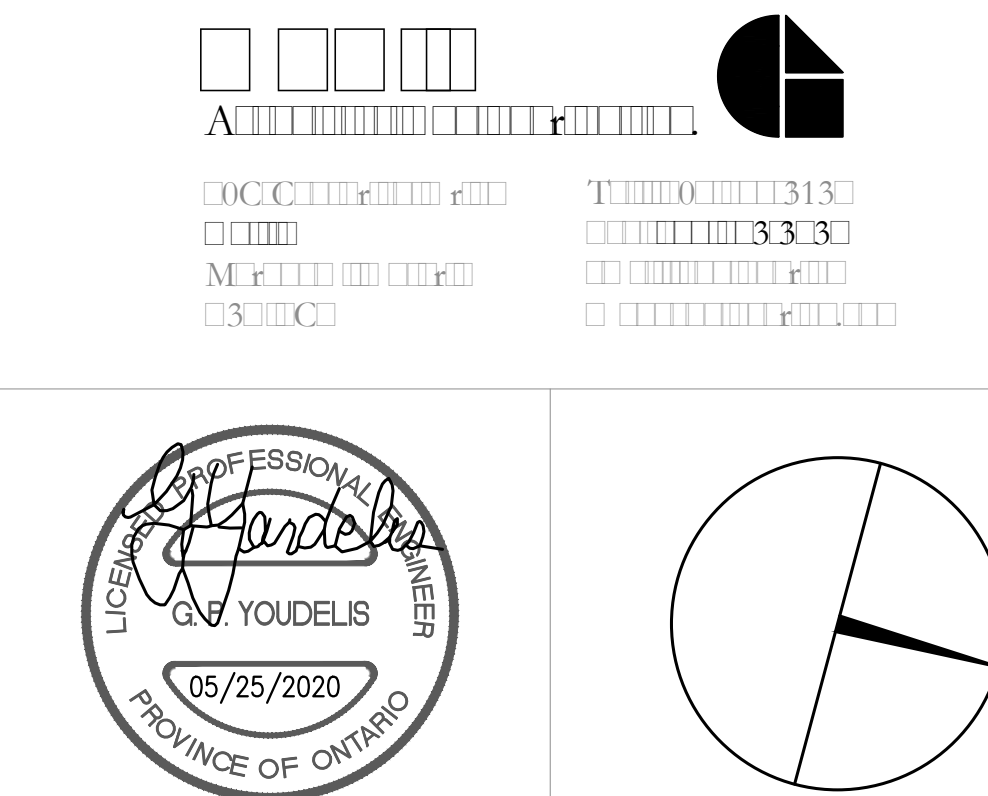
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York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

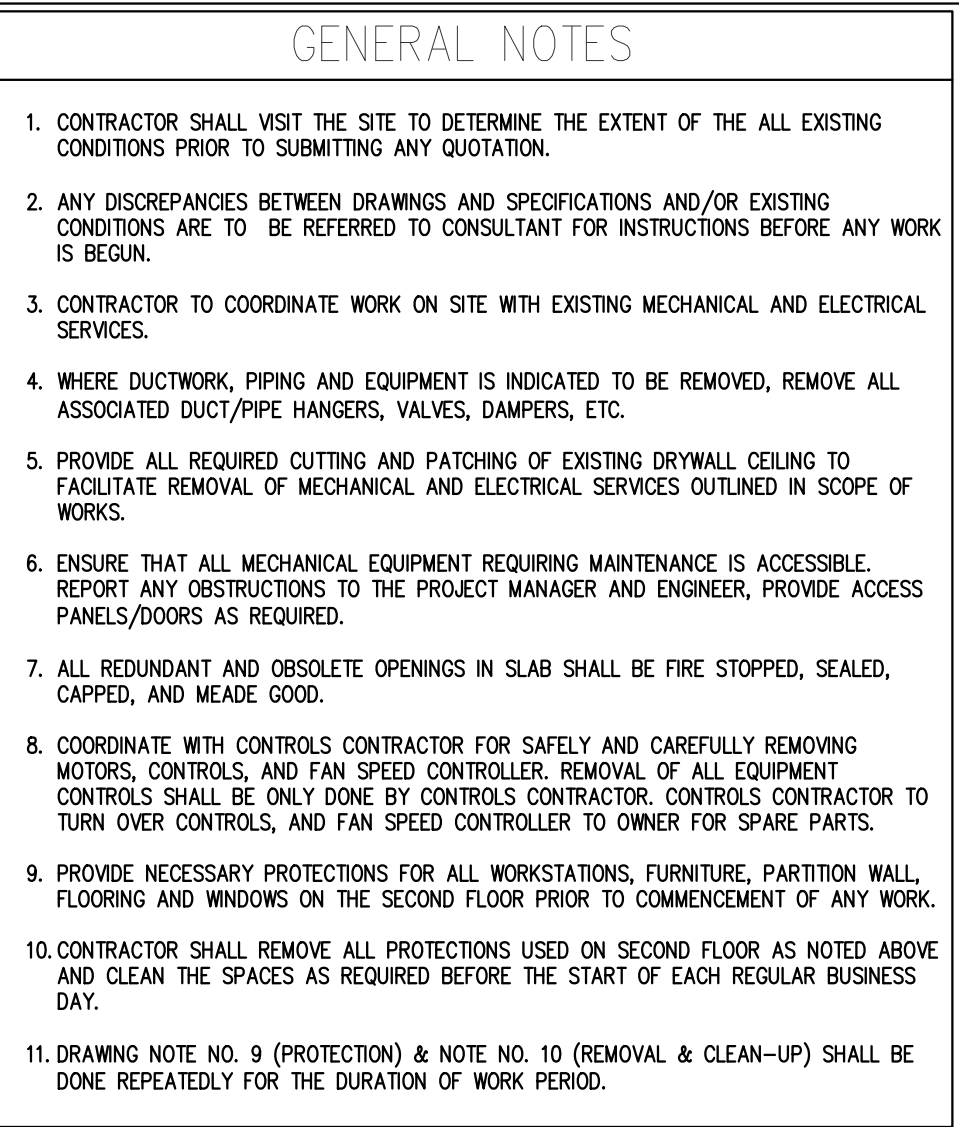
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'A'
HVAC DEMOLITION PLAN

SHEET NUMBER:

M-202



- ## DRAWING NOTES
1. EXISTING OUTDOOR AIR SUPPLY DUCT IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
 2. EXISTING OUTDOOR AIR SUPPLY DUCT RISKER TO REMAIN.
 3. EXISTING MAIN CHILLED WATER SUPPLY & RETURN PIPING TO MAIN HEATING WATER SUPPLY & RETURN PIPING IN CEILING SPACE OF THIS FLOOR TO REMAIN. (TYPICAL)
 4. EXISTING OUTDOOR AIR SUPPLY DUCT TO EXISTING OUTDOOR AND MAKE GOOD INSULATION.
 5. NEW OUTDOOR AIR SUPPLY DUCT UP TO 3RD FLOOR. PROVIDE FIRE DAMPER AT FLOOR SLAB PENETRATION AND PROVIDE AIR TERMINALS FOR FLOOR SLAB CUTTING/DRILLING AS REQUIRED. PROVIDE CONTINUATION RETURN PIPING TO 3RD FLOOR FOR FLOOR SLAB PENETRATION. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRILLING/PIPING STOPPING AS REQUIRED. (TYPICAL)
 6. CONNECT NEW CHILLED WATER SUPPLY PIPE TO EXISTING SAME SERVICE PIPING AT THIS POINT AND MAKE GOOD INSULATION.
 7. FROM THIS CHILLED WATER RETURN PIPING UP TO 3RD FLOOR, FOR CONTINUATION RETURN TO DRAWING NO. MD-205 & M-207.
 8. DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING. EXISTING WARM WATER RETURN SUPPLY PIPE TO EXISTING RISER AS SHOWN, MAKE GOOD INSULATION AS REQUIRED.
 9. DISCONNECT AND CAP EXISTING HOT WATER SUPPLY PIPING. EXISTING WARM WATER SUPPLY PIPE TO EXISTING SERVICES AS SHOWN, MAKE GOOD INSULATION AS REQUIRED.
 10. PROVIDE NEW 10" HEATING WATER SUPPLY/RETURN PIPE AND CONNECT TO EXISTING SERVICES. EXTEND NEW HEATING WATER SUPPLY/RETURN PIPE UP TO 3RD FLOOR AND PROVIDE AIR TERMINALS FOR FLOOR SLAB PENETRATION AND PROVIDE AIR TERMINALS FOR FLOOR SLAB PENETRATION. PROVIDE AN ALLOWANCE FOR FLOOR SLAB CUTTING/DRILLING/PIPING STOPPING AS REQUIRED. (TYPICAL)
 11. PROVIDE NEW 10" BAY-PASS LINE BETWEEN HEATING WATER SUPPLY AND RETURN PIPE. CAP EXH. BAY-PASS ACTIVATOR. BAY-PASS ACTIVATOR SHALL BE INTERLOCKED WITH BUILDING ALARM SYSTEM AS REQUIRED. (TYPICAL)
 12. DISCONNECT AND CAP EXISTING HOT WATER SUPPLY PIPING. EXISTING NEW VALVED HOT WATER SUPPLY PIPE TO EXISTING SERVICES AS SHOWN, MAKE GOOD INSULATION AS REQUIRED.
 13. DISCONNECT AND CAP EXISTING HOT WATER RETURN PIPING. EXISTING NEW VALVED HOT WATER SUPPLY PIPE TO EXISTING SERVICES AS SHOWN, MAKE GOOD INSULATION AS REQUIRED.
 14. INSTALL NEW HEATING WATER SUPPLY AND RETURN PIPING. CAP INSULATION. SECTIONS OF NEW HEATING PIPING SHALL MATCH EXISTING HEATING PIPING. SECTIONS OF NEW HEATING PIPING SHALL BE IDENTIFIED BY MARKING. PROVIDE 40' TURNS ARE PROVIDED IN ACCESSIBLE SPACES ONLY. PROVIDE NEW PIPE HANGERS AS REQUIRED. INSTALL NEW AIR TIGHT TO NEW HEATING PIPING. PROVIDE NEW AIR TIGHT TO NEW HEATING HVAC EQUIPMENT/ TERMINAL UNITS/ DUCTWORK/ OUTFITTERS INSTALLATIONS.
 15. REMOVE CAP OF EXISTING VALVED WATER MAIN/FAHR PIPING AND CONNECT TO NEW PIPING AS SHOWN.
 16. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 2ND FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

FINAL AIR BALANCING NOTE

PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW

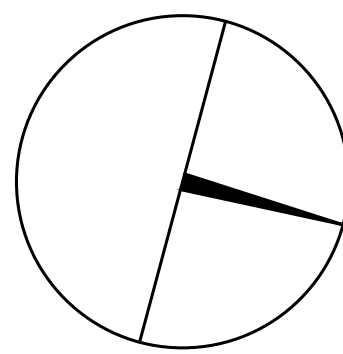
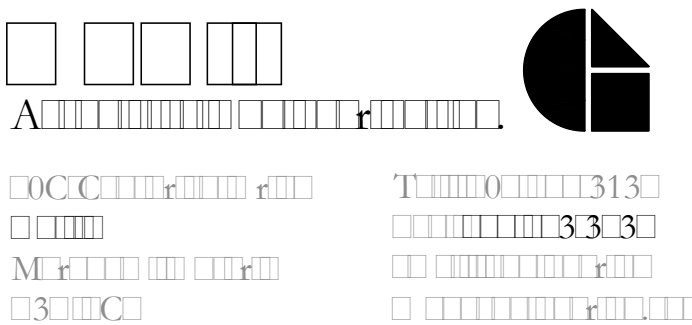
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facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

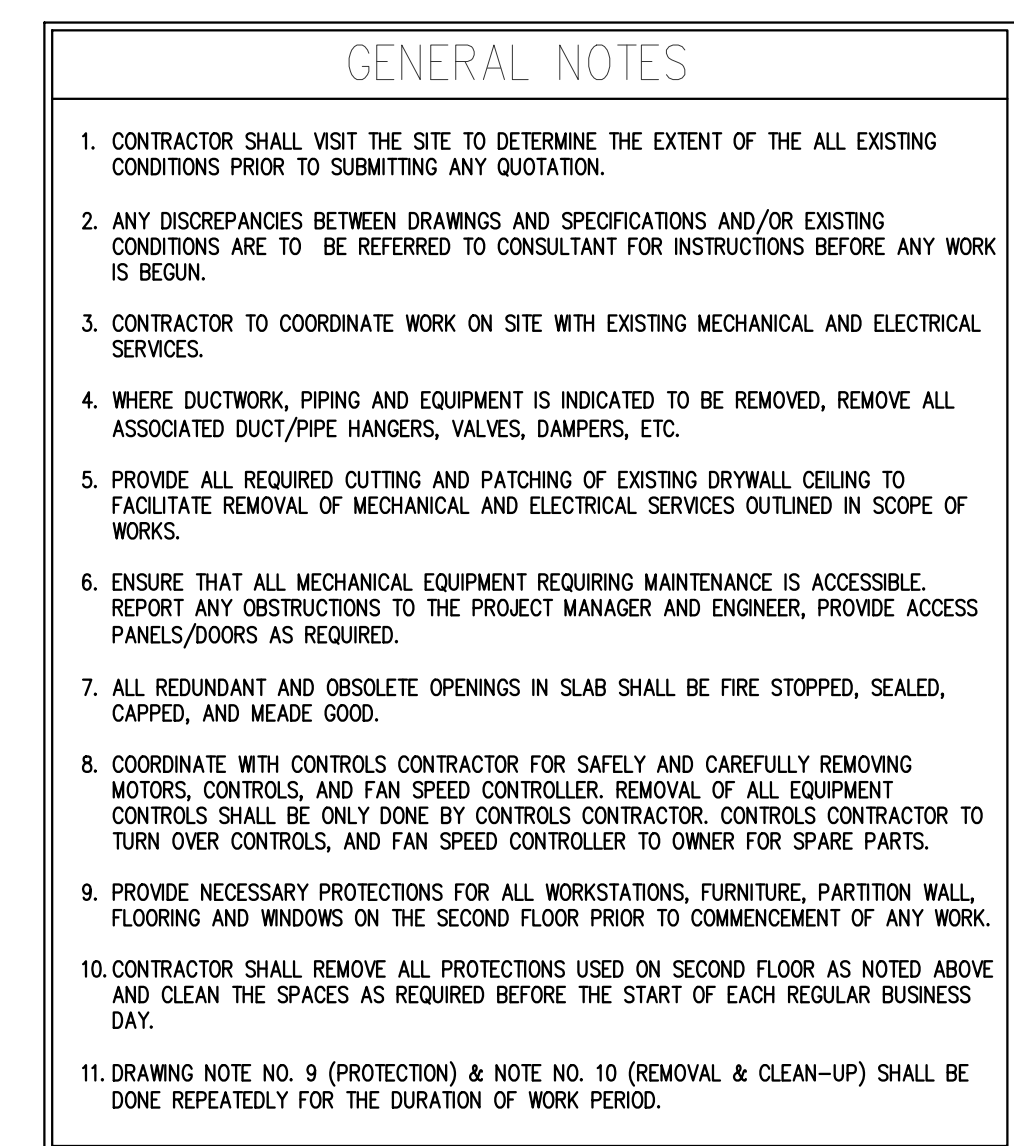
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 2ND FLOOR
AREA 'A'
MECHANICAL NEW LAYOUT

SHEET NUMBER

M-204



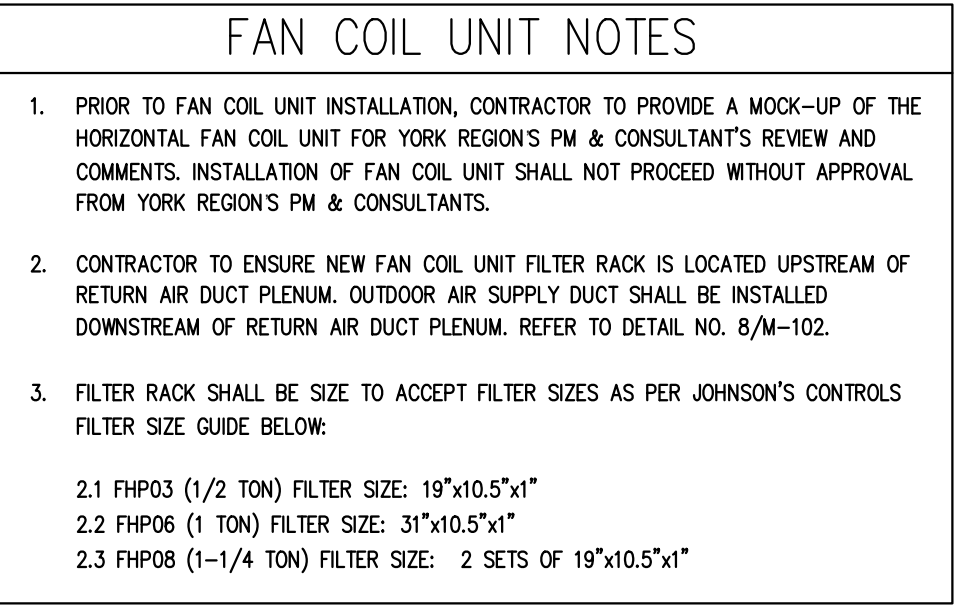
- | NOTES |
|---|
| <p>ALL MECHANICAL WORKS INVOLVED ON THE 2ND FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.</p> |

PROVIDE FINAL AIR BALANCING AFTER COMPLETION OF MECHANICAL WORK, INCLUDING ALL EXISTING AND NEW OUTDOOR SUPPLY AIR BRANCH DUCTS SUPPLIED TO GROUND FLOOR, 2ND FLOOR, 3RD FLOOR, 4TH FLOOR AND 5TH FLOOR. SUBMIT THREE (3) COPIES OF THE AIR BALANCE REPORT TO THE CONSULTANT FOR REVIEW

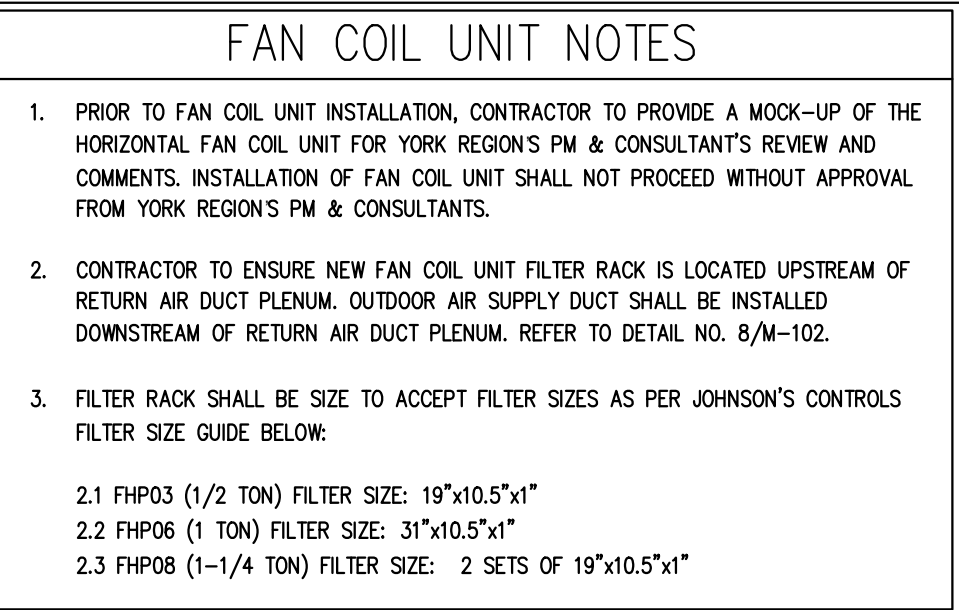
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FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

SCALE: 1:100m	
DRAWN BY:	S.P.R./G.G.
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	PARTIAL 2ND FLOOR AREA 'B' MECHANICAL NEW LAYOUT
SHEET NUMBER:	M-205



- SHEET NUMBER:
- M-206**



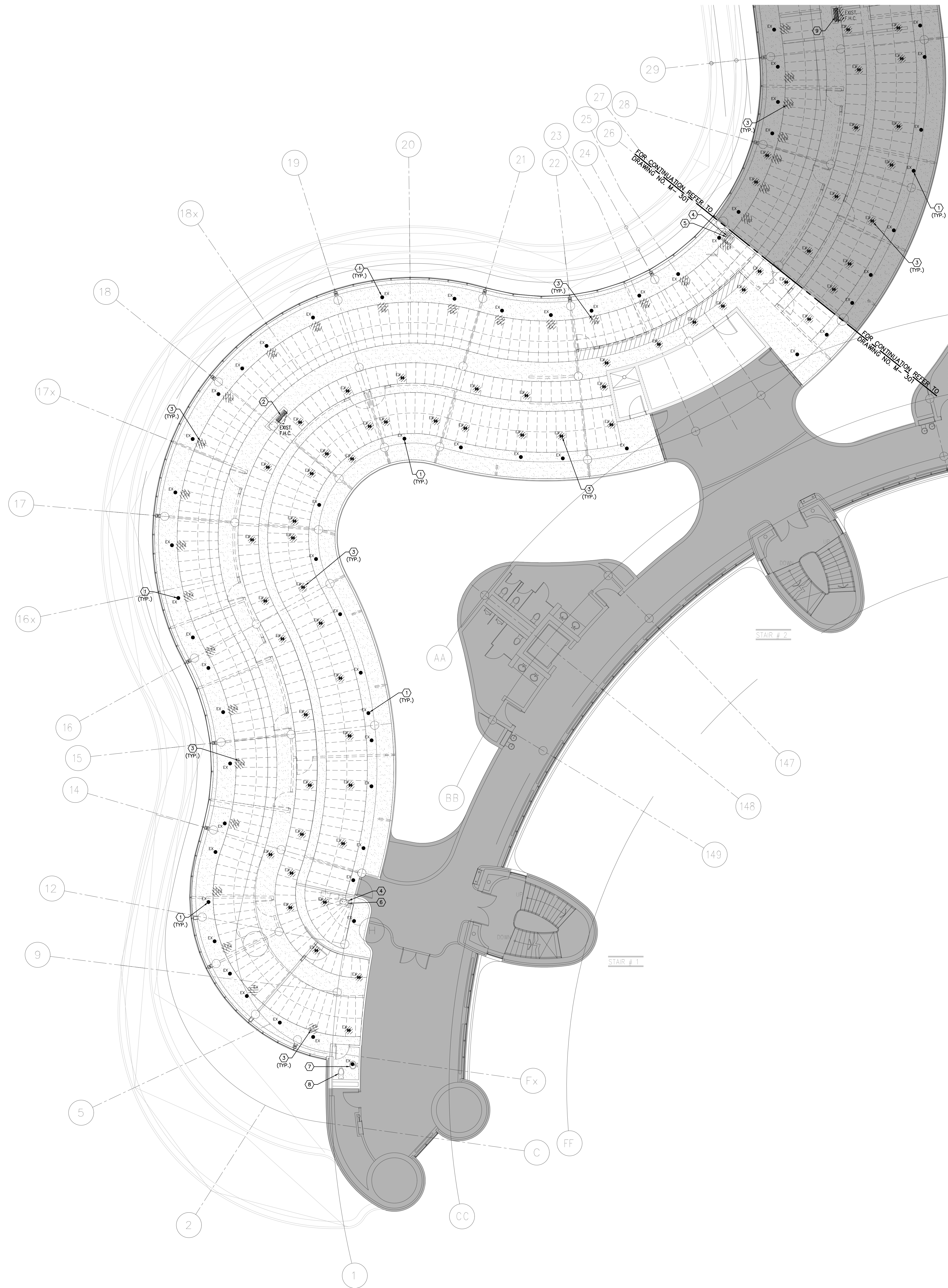


York Region

PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

M-207



- GENERAL NOTES
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.
 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
 3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.
 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
 6. PROVIDE ALL NECESSARY SYSTEM SHUTDOWN, DRAIN DOWN OR LOCAL PIPE FREEZING AS REQUIRED.
 7. SPRINKLER CONTRACTOR SHALL DRAIN DOWN AND FILL-UP THE SPRINKLER SYSTEM WITHIN THE HOURS OF 7:00AM TO 3:00PM ONLY. YORK REGION OPERATOR TEAM MUST BE PRESENT DURING THE DRAINING DOWN AND FILLING-UP OF THE SPRINKLER SYSTEM WITHIN THE AREA OF WORK.
 8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL GELING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 9. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 10. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 11. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
 12. ALL SPRINKLER WORK SHALL BE DONE AS PER NFPA 13.

- DRAWING NOTES
- ① EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
 - ② EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)
 - ③ EXISTING SPRINKLER HEAD TO BE REMOVED. CAP ASSOCIATED SPRINKLER PIPE AS REQUIRED. (TYPICAL)
 - ④ REMOVE EXISTING SINK C/W ASSOCIATED FAUCET.
 - ⑤ PLUMBING & SANITARY DRAIN PIPING TO REMAIN AND MODIFY TO SUIT INSTALLATION OF NEW SINK. (TYPICAL)
 - ⑥ PLUMBING LINES & SANITARY VENT PIPING TO BE REMOVED, CUT BACK AND CAP IN CEILING SPACE. SANITARY DRAIN PIPING TO BE REMOVED AND CAP ON FLOOR BELOW.
 - ⑦ EXISTING LAVATORY C/W ASSOCIATED FAUCET AND P-TRAP TO BE REMOVED. EXISTING PLUMBING & SANITARY DRAINAGE PIPING TO REMAIN FOR INSTALLATION OF NEW PLUMBING FIXTURE.
 - ⑧ EXISTING WATER CLOSET C/W FLUSH VALVE, CARRIER & FLOOR FLANGE TO BE REMOVED. EXISTING PLUMBING & SANITARY DRAINAGE PIPING TO REMAIN FOR INSTALLATION OF NEW PLUMBING FIXTURE.
 - ⑨ EXISTING FIRE HOSE CABINET TO BE REMOVED AND BE ROTATED. (TYPICAL)

NOTES

ALL MECHANICAL WORKS INVOLVED ON THE 2ND FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

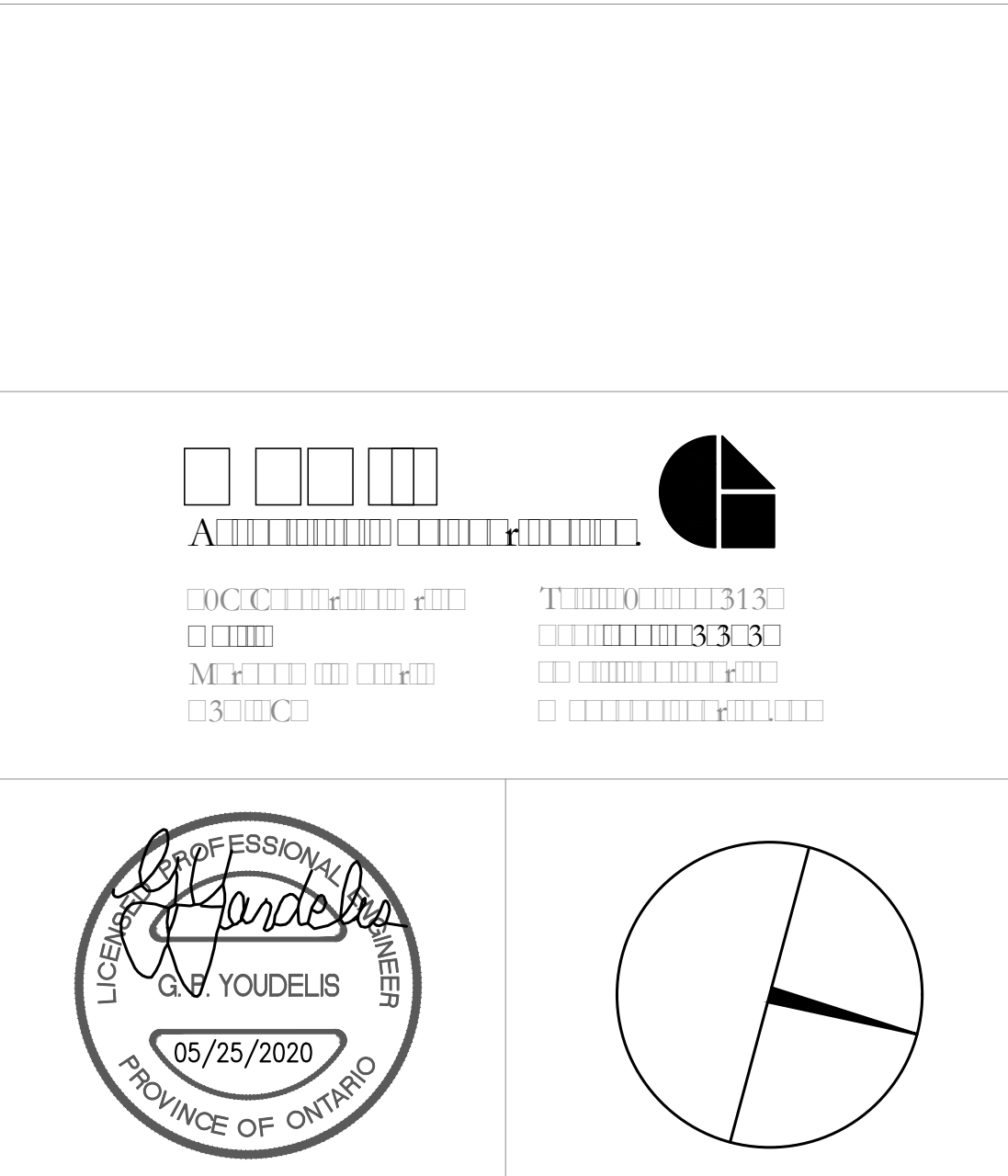
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SUBMISSION	DATE	DESCRIPTION
1	03-20-2020	ISSUED FOR 60% REVIEW
2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT & TENDER
4	11-05-2020	ISSUED FOR TENDER

G.Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

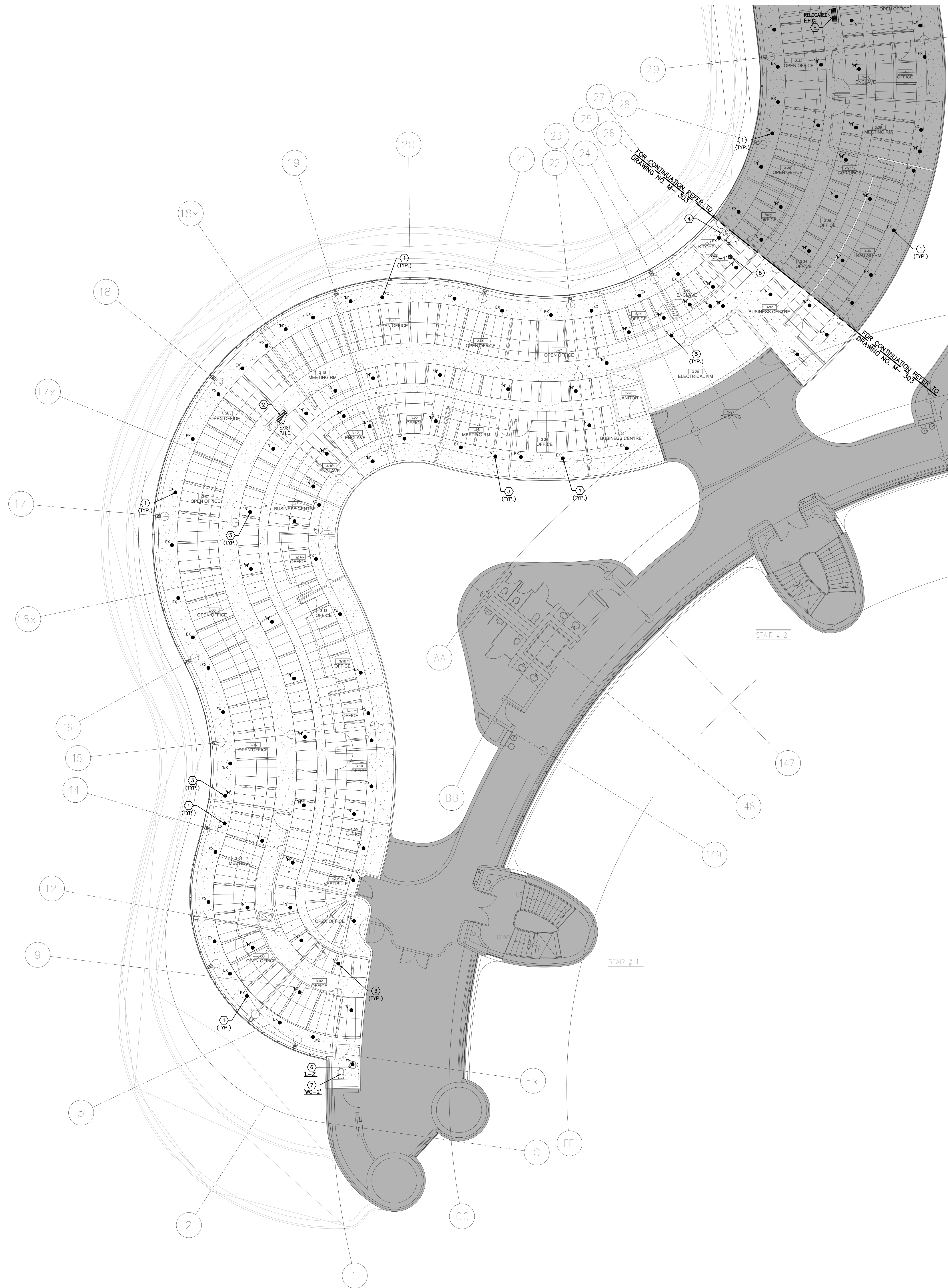
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'A'
PLUMBING & FIRE PROTECTION
DEMOLITION PLAN

SHEET NUMBER:

M-300



- GENERAL NOTES**
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 8. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
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- DRAWING NOTES**
- ① EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
 - ② EXISTING FIRE HOSE CABINET C/W 22 METER LONG FIRE HOSE TO REMAIN. (TYPICAL)
 - ③ PROVIDE NEW PENDANT SPRINKLER HEAD. (TYPICAL)
 - ④ PROVIDE NEW SINK 30-1" C/W ASSOCIATED FAUCET, MODIFY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW SINK. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)
 - ⑤ PROVIDE NEW 50W FLOOR DRAIN 12-1" C/W ASSOCIATED SANITARY DRAIN PIPING. CONNECT NEW SANITARY DRAIN PIPE TO NEAREST EXISTING SANITARY LINE IN CEILING SPACE ON FLOOR BELOW. (TYPICAL)
 - ⑥ PROVIDE NEW LAVATORY 1-2" C/W ASSOCIATED FAUCET AND P-TRAP. MODIFY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW LAVATORY. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)
 - ⑦ PROVIDE NEW WATER CLOSET 30-2" C/W FLUSH VALVE, CARRIER & FLOOR FLANGE. TO BE REMOVED. MODIFY AND EXTEND PLUMBING AND SANITARY PIPING TO SUIT INSTALLATION OF NEW WATER CLOSET. REFER TO DRAWING NO. M-100 FOR SPECIFICATIONS. (TYPICAL)
 - ⑧ ROTATED FIRE HOSE CABINET. MODIFY EXISTING CABINET AND ASSOCIATED PIPING TO SUIT NEW FIRE HOSE CABINET ORIENTATION.

NOTES

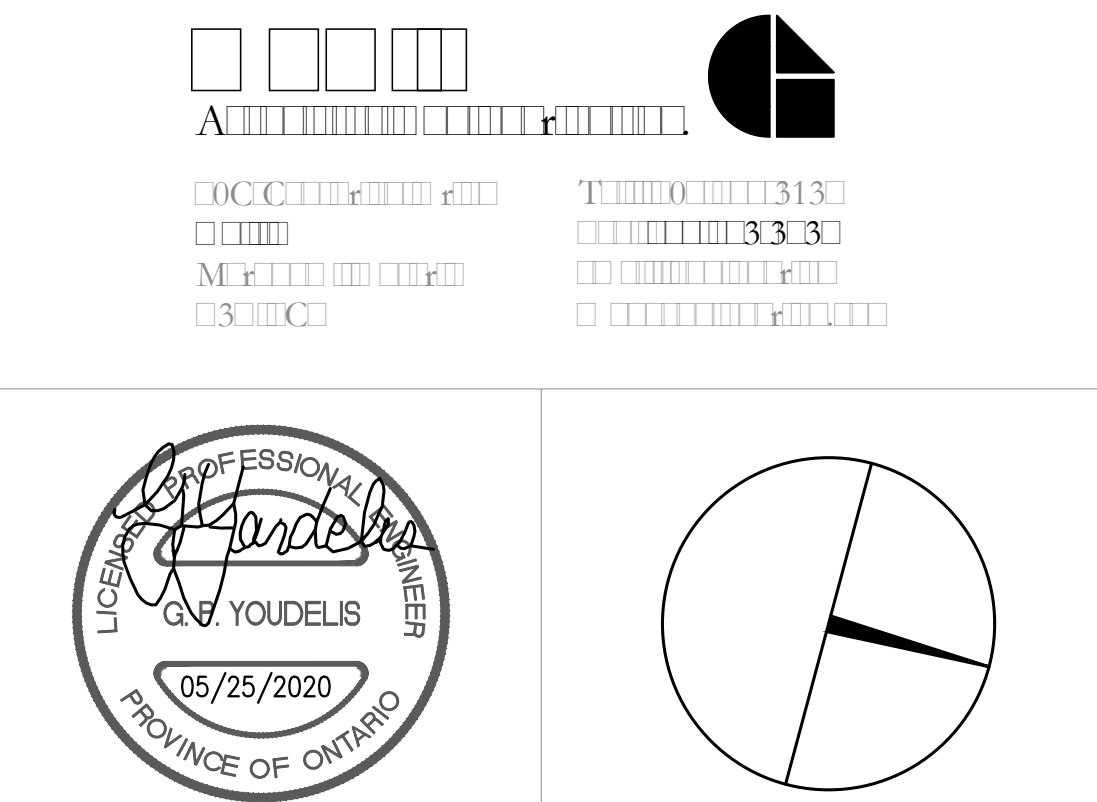
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facsimile: 416.351.8146



York Region

PROPERTY SERVICES

DEPARTMENT: **BUILDING & FACILITIES**

FLOOR: **003**

BASE DATE: **03-01-2020**

PROJECT:

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

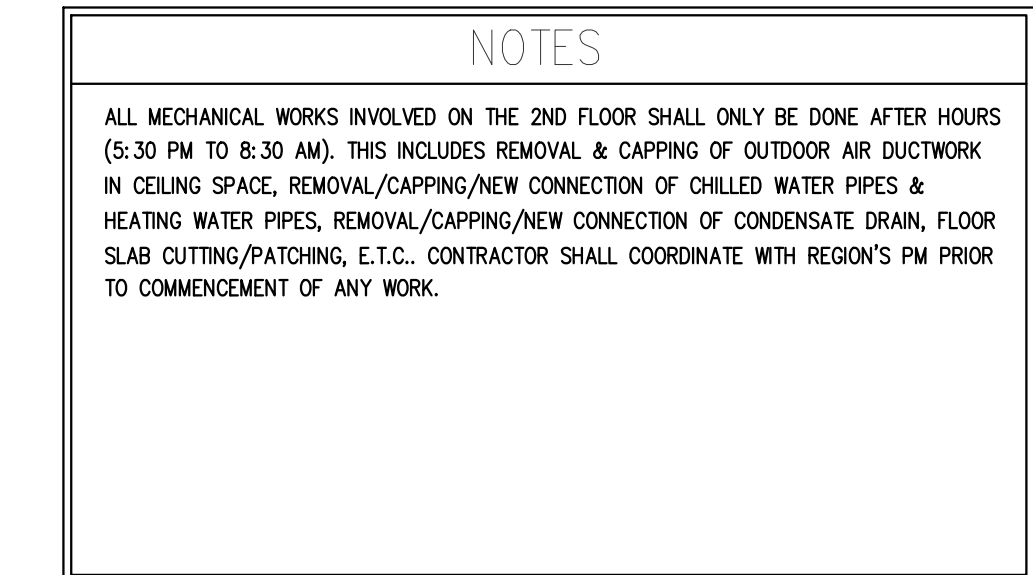
SUBMITTED TO: **MUNICIPALITY OF YORK**

SHEET TITLE:

**PARTIAL 3RD FLOOR
AREA 'A'
PLUMBING & FIRE PROTECTION
NEW LAYOUT**

SHEET NUMBER:

M-302



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York Region
PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

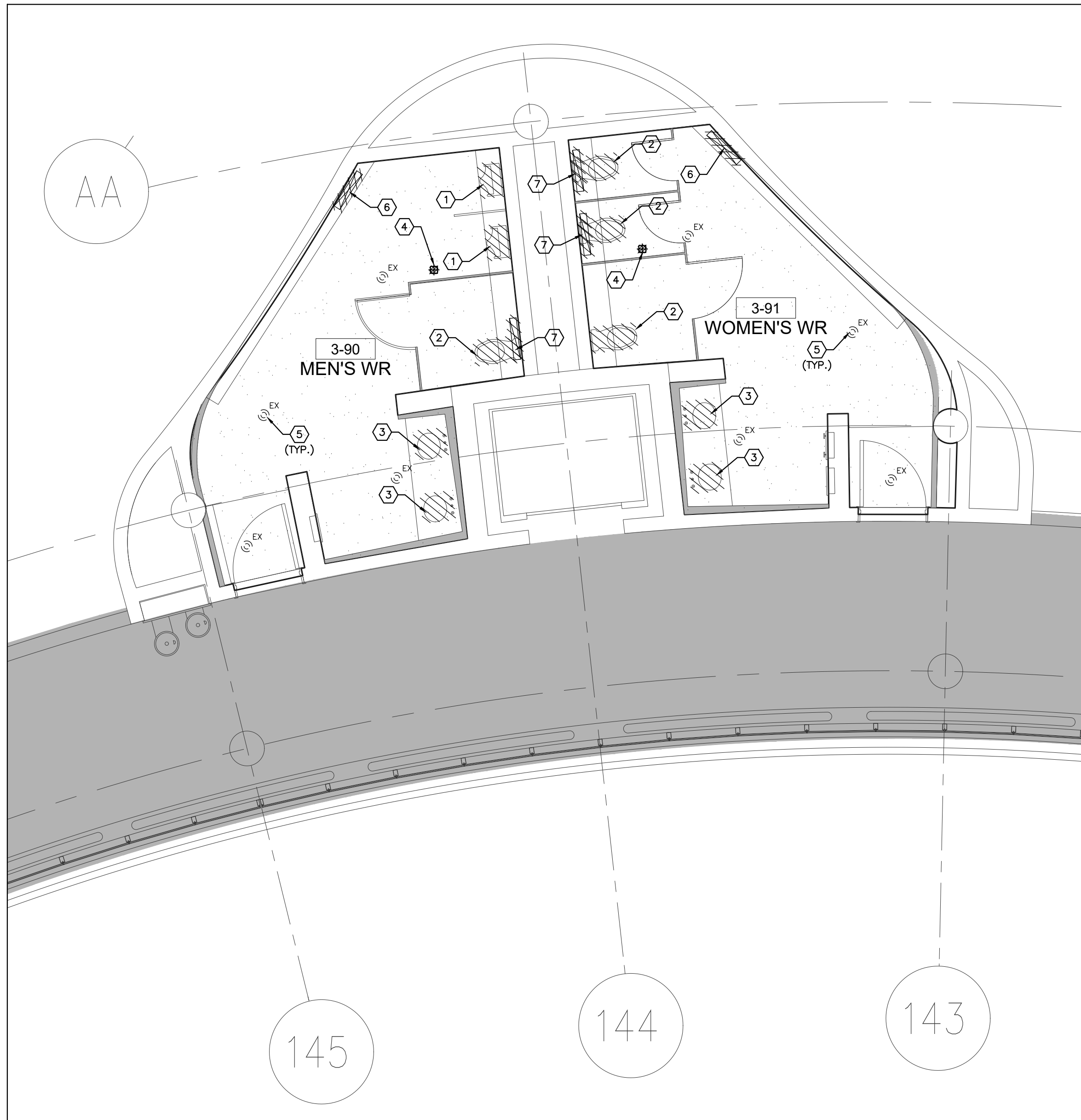
SCALE: 1:100m	
DRAWN BY:	S.P.R./G.G.
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	PARTIAL 3RD FLOOR AREA 'B' PLUMBING & FIRE PROTECTION NEW LAYOUT

SHEET NUMBER:

M-303



1 WASHROOMS 3-88 & 3-89 - MECHANICAL DEMOLITION PLAN
SCALE: 1:50



2 WASHROOMS 3-90 & 3-91 - MECHANICAL DEMOLITION PLAN
SCALE: 1:50



3 WASHROOMS 3-92 & 3-93 - MECHANICAL DEMOLITION PLAN
SCALE: 1:50

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- MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

DRAWING NOTES

- EXISTING URINAL C/W ASSOCIATED FLUSH VALVE TO BE REMOVED. EXISTING PLUMBING & DRAINAGE PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- EXISTING WATER CLOSET C/W ASSOCIATED FLUSH VALVE, FLOOR FLANGE AND CARRIER TO BE REMOVED. EXISTING PLUMBING & DRAINAGE PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- EXISTING LAVATORY C/W ASSOCIATED FAUCET TO BE REMOVED. EXISTING PLUMBING & DRAINAGE PIPING TO REMAIN FOR NEW FIXTURE INSTALLATION. (TYPICAL)
- EXISTING FLOOR DRAIN TO BE REMOVED. EXISTING DRAINAGE PIPING TO REMAIN FOR NEW FLOOR DRAIN INSTALLATION. (TYPICAL)
- EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL)
- EXISTING SUPPLY AIR GRILLES TO BE REMOVED. EXISTING CONNECTED DUCTWORK TO REMAIN FOR INSTALLATION OF NEW SUPPLY AIR SLOT. (TYPICAL)
- EXISTING EXHAUST AIR GRILLES TO BE REMOVED. EXISTING CONNECTED DUCTWORK TO REMAIN FOR INSTALLATION OF NEW EXHAUST GRILLES. (TYPICAL)

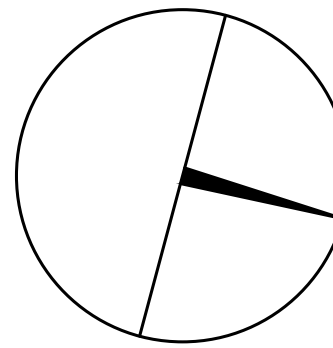
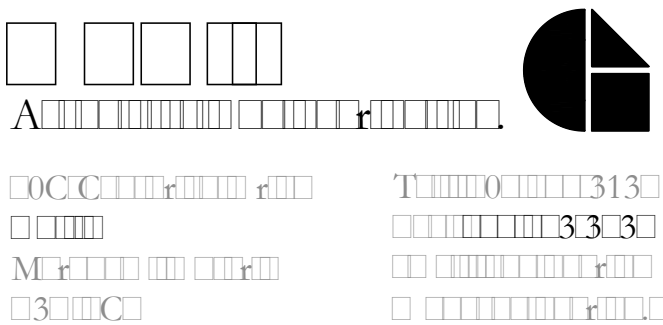
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

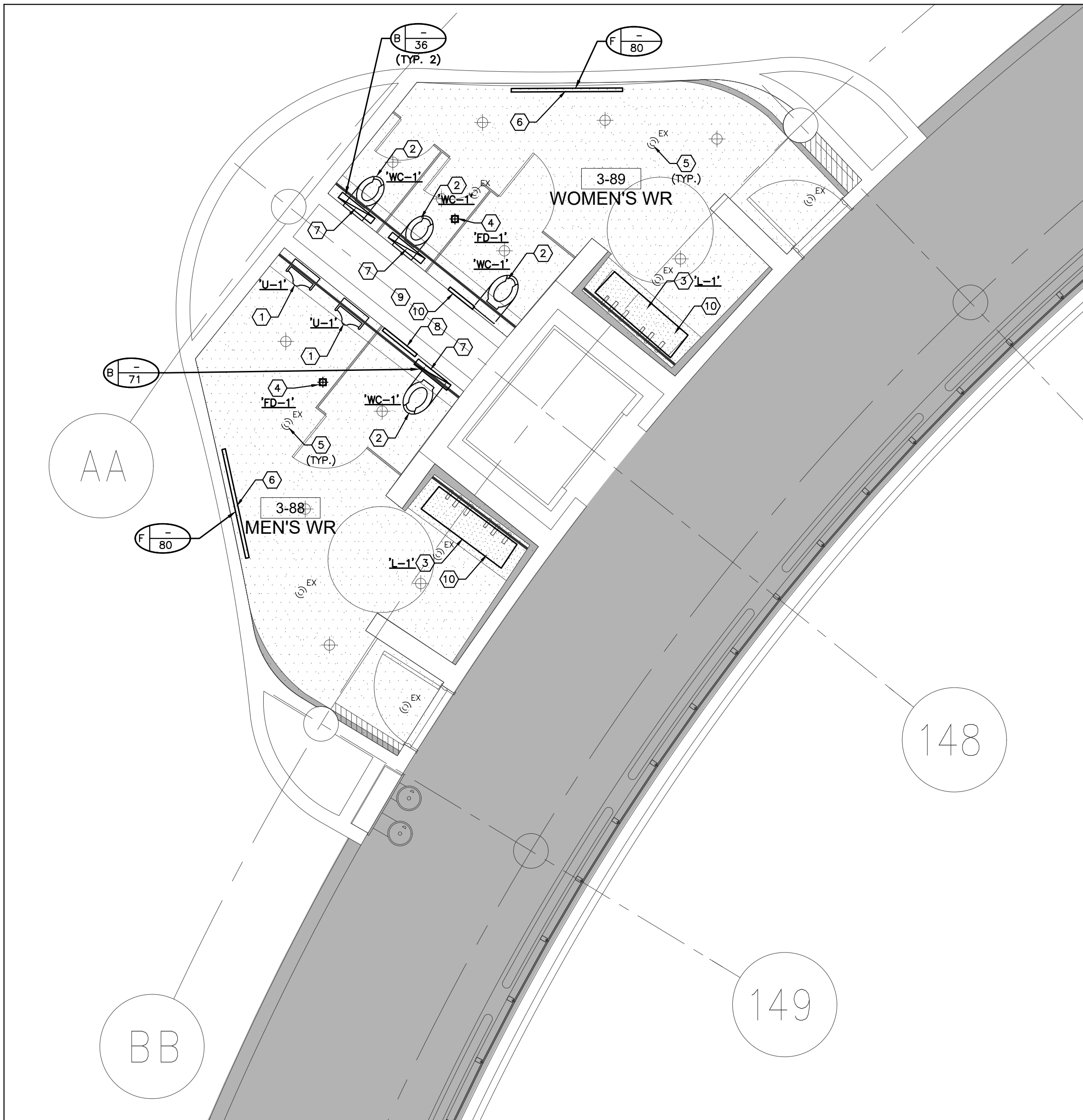
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

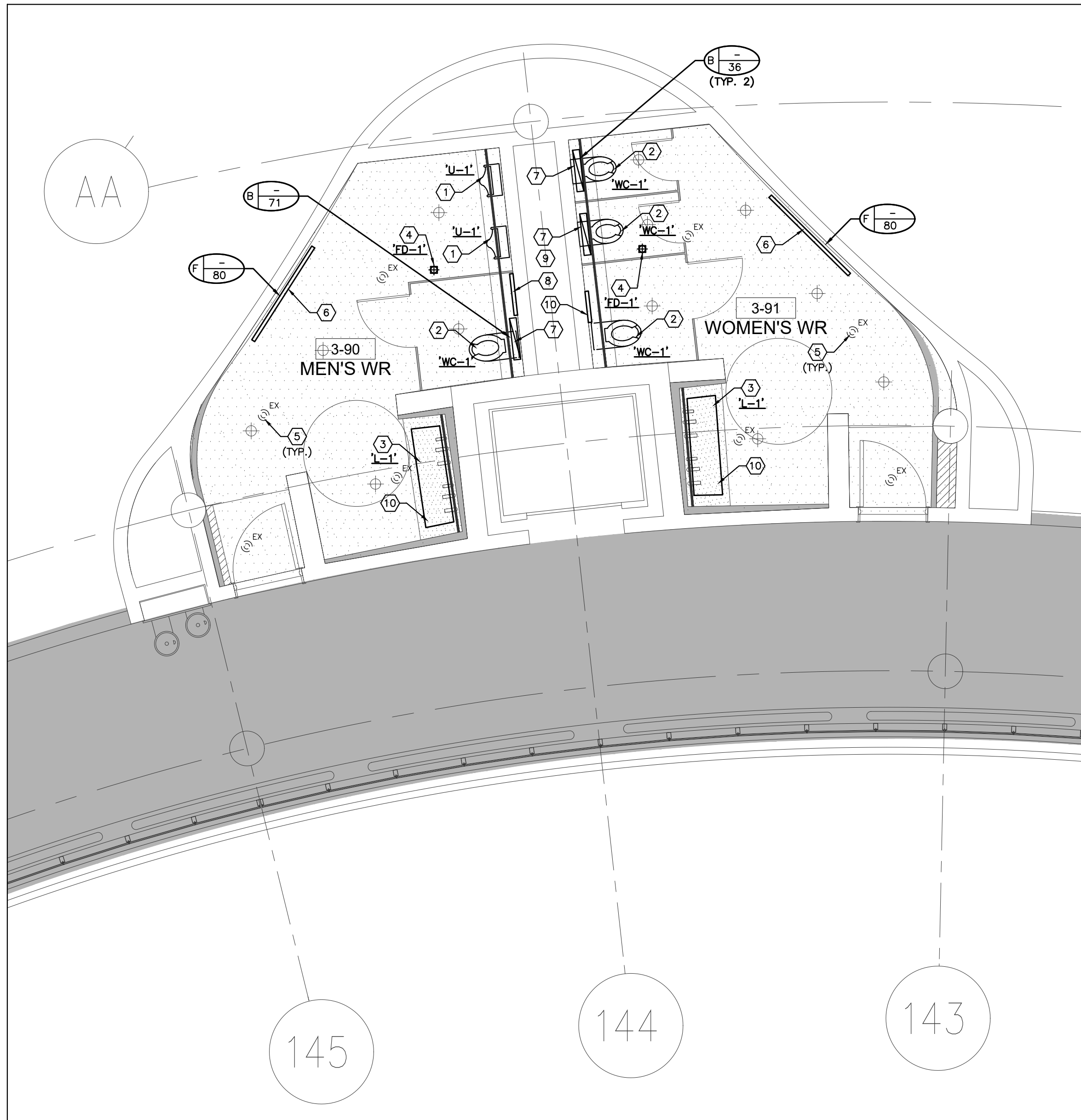
3RD FLOOR WASHROOMS
3-88 TO 3-93
MECHANICAL
DEMOLITION PLAN

SHEET NUMBER:

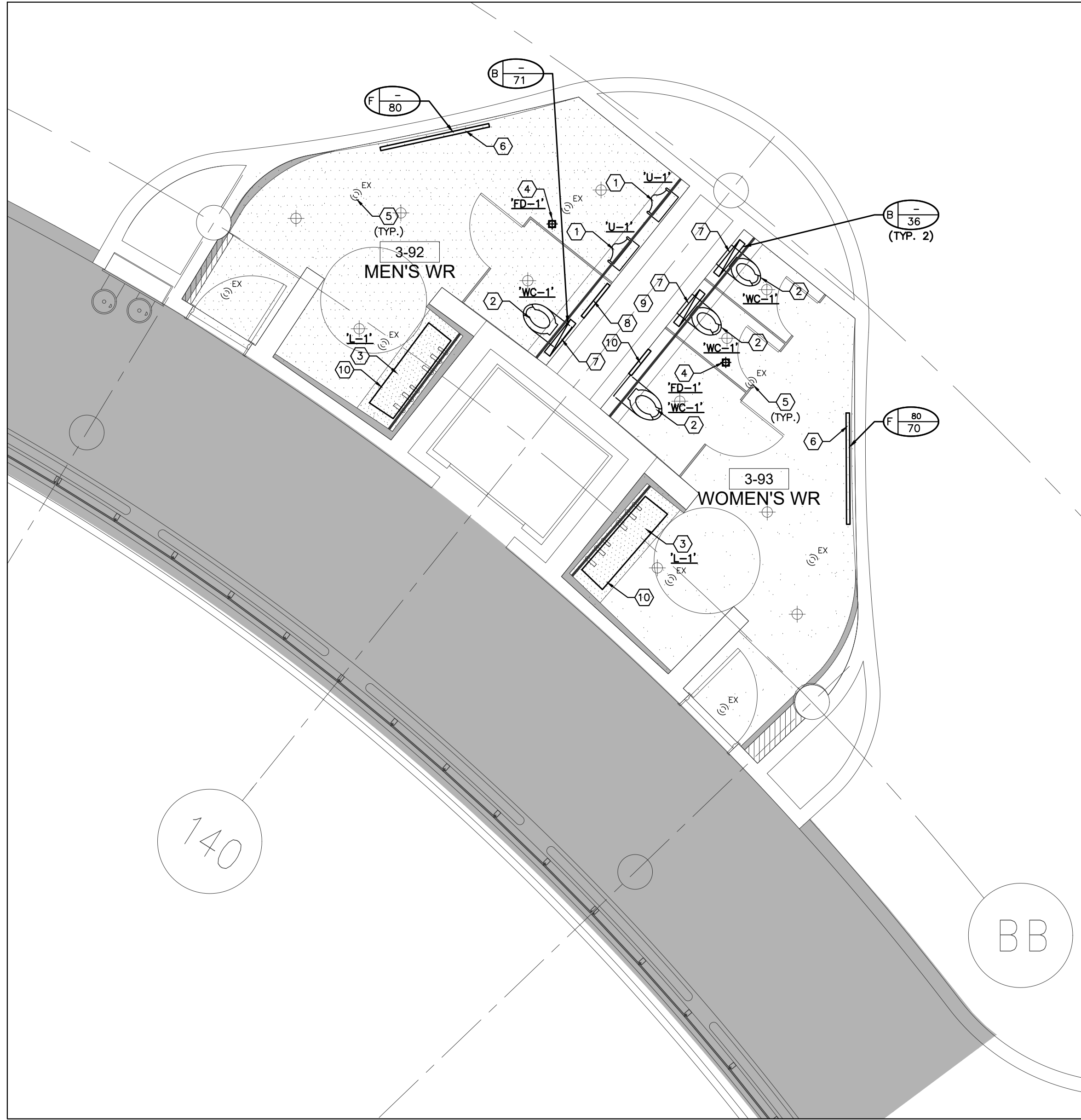
M-304



1 WASHROOMS 3-88 & 3-89 - MECHANICAL NEW LAYOUT
SCALE: 1:50



2 WASHROOMS 3-90 & 3-91 - MECHANICAL NEW LAYOUT
SCALE: 1:50



3 WASHROOMS 3-92 & 3-93 - MECHANICAL NEW LAYOUT
SCALE: 1:50

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- MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
- PROVIDE NEW ISOLATION VALVES FOR ALL PLUMBING FIXTURES.

DRAWING NOTES

- PROVIDE NEW URINAL 1/2" C/W ASSOCIATED FLUSH VALVE AND PIPING. MODIFY/EXTEND EXISTING COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY VENT PIPING TO SUIT INSTALLATION OF NEW FIXTURE. PROVIDE NEW CLEAN-OUT (TYPICAL).
- PROVIDE NEW WATER CLOSET 16" C/W ASSOCIATED FLUSH VALVE, CARRIER AND PIPING. MODIFY/EXTEND EXISTING COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY VENT PIPING TO SUIT INSTALLATION OF NEW FIXTURE. PROVIDE NEW FLOOR FLANGE AND GASKETS AS REQUIRED. (TYPICAL).
- PROVIDE NEW LAVATORY 16" C/W ASSOCIATED FAUCET, SOAP DISPENSER & DRYER. MODIFY/EXTEND EXISTING HOT & COLD WATER SUPPLY, SANITARY DRAIN AND SANITARY VENT PIPING TO SUIT INSTALLATION OF NEW FIXTURE. PROVIDE NEW SHUT-OFF VALVES AND P-TRAP. P-TRAP SHALL BE ADJUSTABLE AND HAVE CLEANOUT FLUG ON THE BOTTOM OF THE TRAP. (TYPICAL). LAVATORY SHALL BE ONLY INSTALLED BY LOWAR TRAINED PERSONNEL. FAUCET, HAND SOAP DISPENSER AND DRYER TO BE INSTALLED BY MECHANICAL TRADES AND ELECTRICAL CONNECTION BY DIV. 16. (SEE ADDITIONAL NOTES BELOW).
- PROVIDE NEW FLOOR DRAIN 10" C/W BODY & ADJUSTABLE STRAINER COVER AND CONNECT TO EXISTING DRAIN PIPING. FLOOR DRAIN TO BE FLUSH MOUNT WITH NEW PRIOR FLOOR LEVEL. SIZE OF FLOOR DRAIN SAME AS EXISTING. (TYPICAL).
- EXISTING SPRINKLER HEAD TO REMAIN. (TYPICAL).
- NEW ARCHITECTURAL PLENUM SLOT DIFFUSER. MODIFY/EXTEND EXISTING DUCTWORK TO SUIT INSTALLATION OF NEW DIFFUSERS. RE-BALANCE TO NEW AIR QUANTITY AS INDICATED. SLOT DIFFUSER BY ARCHITECTURAL DIVISION (TYPICAL).
- PROVIDE NEW TYPE 'B' EXHAUST AIR GRILLES C/W FACE ADJUSTABLE BALANCING DAMPER. PRIOR TO ORDERING, VERIFY EXACT SIZE OF GRILLE WITH EXIST FLANGE ON SITE. MODIFY/EXTEND EXISTING DUCTWORK AS REQUIRED. (TYPICAL).
- PROVIDE NEW RIGIDWOD ACCESS PANEL. ON WALL FOR ACCESSING MECHANICAL CHASE AREA FOR MAINTENANCE PURPOSES. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. EXACT LOCATION TO BE VERIFIED ON SITE. (TYPICAL).
- PROVIDE A SEPARATE PRICE FOR REPLACEMENT OF ALL SANITARY PIPING BACK TO SANITARY RISERS WITHIN THE MECHANICAL CHASE AREA. PRICE TO INCLUDE PROVIDING ADDITIONAL 6 METERS OF PIPING.
- PROVIDE NEW HOT & COLD WATER HOSE BIBB UNDER LAVATORY.
- PROVIDE NEW RIGIDWOD ACCESS PANEL. ON WALL FOR MECHANICAL SERVICES. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS. EXACT LOCATION TO BE VERIFIED ON SITE. (TYPICAL).

NOTES

PRIOR TO INSTALLATION OF LAVATORY FAUCET, SOAP DISPENSER & DRYER, CONTRACTOR SHALL PROVIDE A SKETCH SHOWING PIPING ARRANGEMENT, WIRING ROUTING AND CLEARANCES FOR ACCESSING EQUIPMENT FOR MAINTENANCE OF SERVING. THE SKETCH SHALL BE SUBMITTED TO YORK REGION'S PM FOR REVIEW AND APPROVAL. WORK SHALL NOT PROCEED WITHOUT YORK REGION'S PM APPROVAL AND DIRECTIONS.

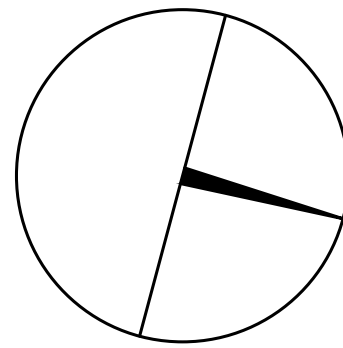
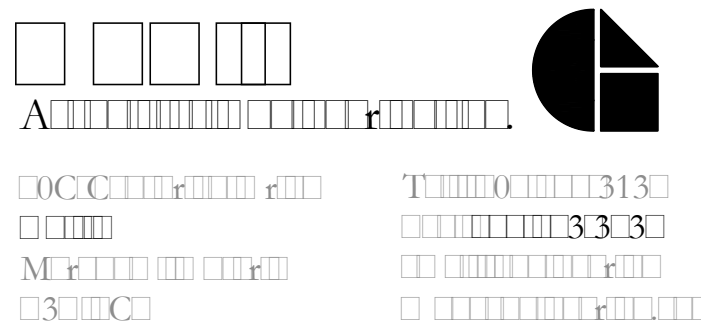
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS NOTED

DRAWN BY: S.P.R./G.G.

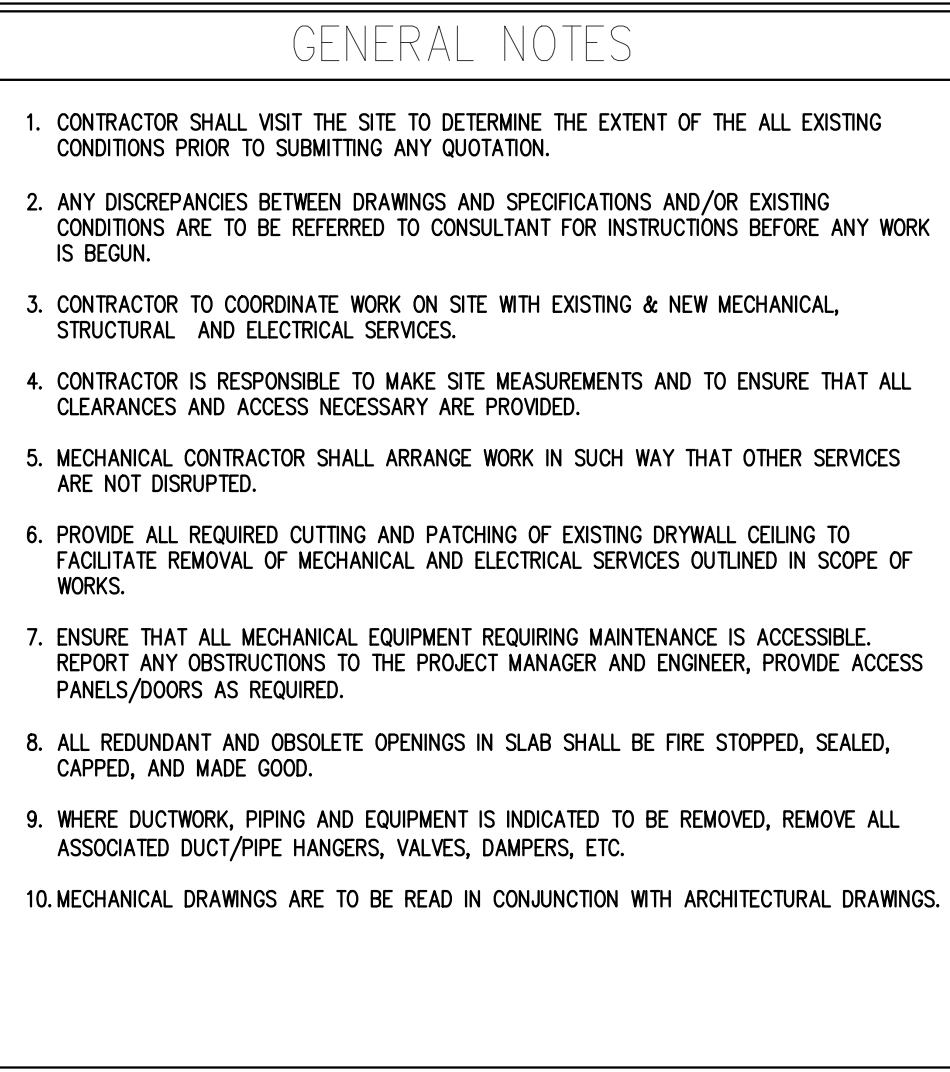
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

3RD FLOOR WASHROOMS
3-88 TO 3-93
MECHANICAL
NEW LAYOUT

SHEET NUMBER:

M-305



① EXISTING HEATING WATER SUPPLY & RETURN PIPING TO REMAIN. (TYPICAL).

- ① EXISTING HEATING WATER SUPPLY & RETURN PIPING TO REMAIN. (TYPICAL).

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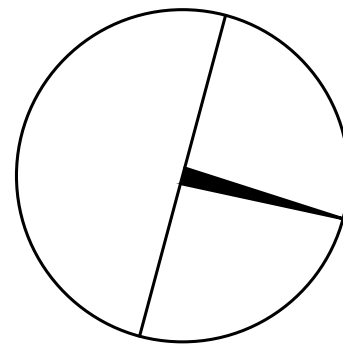
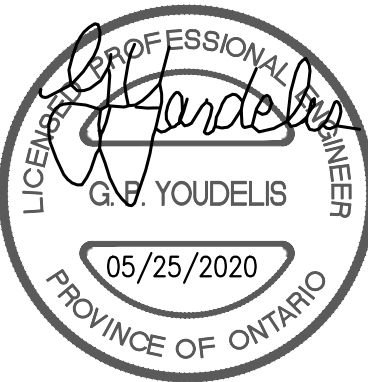
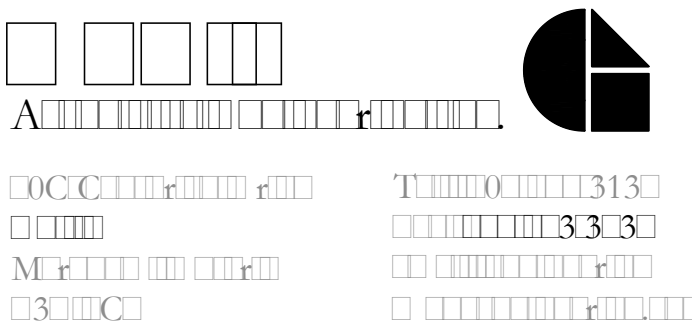
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2. DRAWINGS ARE NOT TO BE SCALED
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4. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF YORK REGION. AS SUCH, THEY ARE NOT INTENDED FOR USE ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT SPECIFIED

SUBMISSION	DATE	DESCRIPTION
1	03-20-2020	ISSUED FOR 60% REVIEW
2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT & TENDER
4	11-05-2020	ISSUED FOR TENDER

G. Bruce Stratton Architects

217 Richmond Street West, Suite 300
Toronto Ontario M5V 1W2
telephone: 416.351.8145
facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

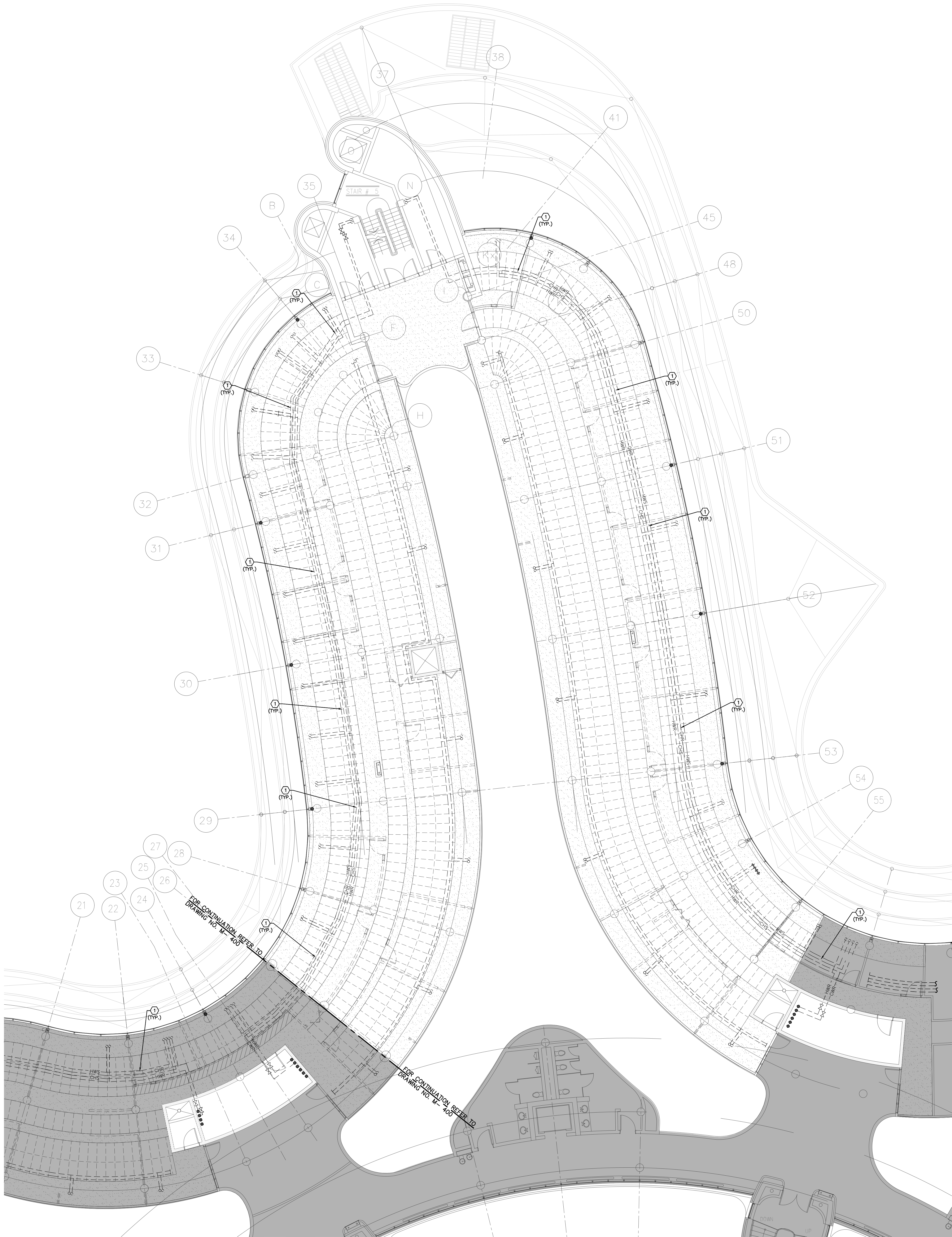
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'A'
HYDRONIC DEMOLITION PLAN

SHEET NUMBER

M-400



- GENERAL NOTES
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 2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.
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 4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.
 5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.
 6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.
 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

- DRAWING NOTES
- ① EXISTING HEATING WATER SUPPLY & RETURN PIPING TO REMAIN. (TYPICAL).

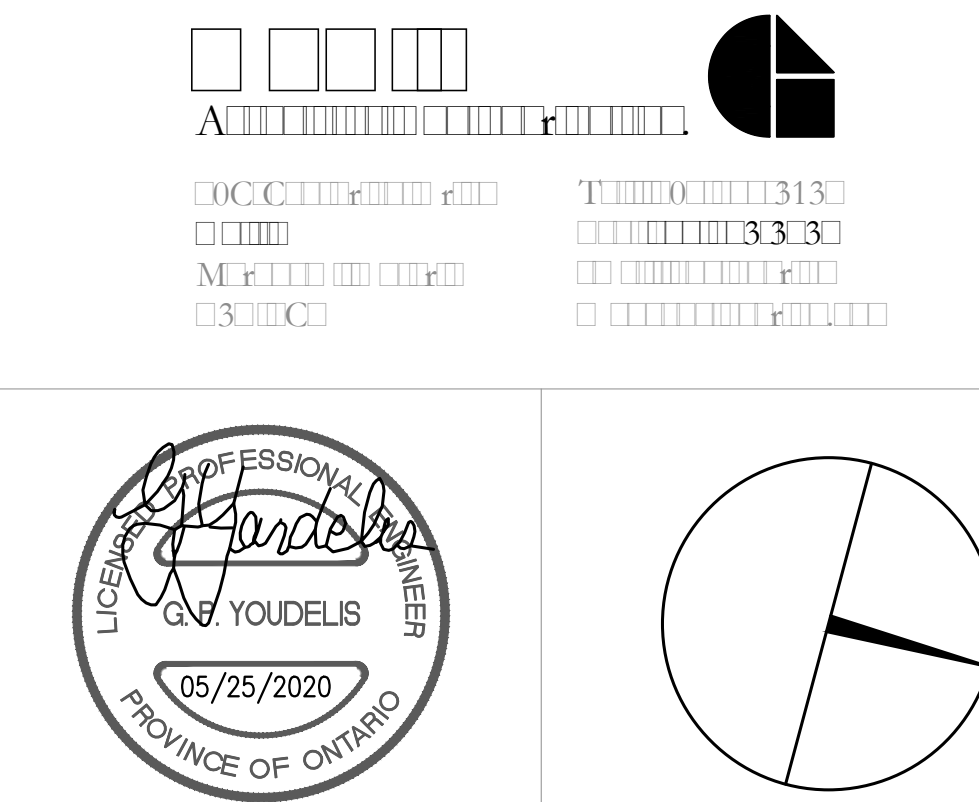
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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES
FLOOR: 003
BASE DATE: 03-01-2020
PROJECT:

PROJECT #9900

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m
DRAWN BY: S.P.R./G.G.
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:
PARTIAL 3RD FLOOR
AREA 'B'
HYDRONIC DEMOLITION PLAN

SHEET NUMBER:
M-401

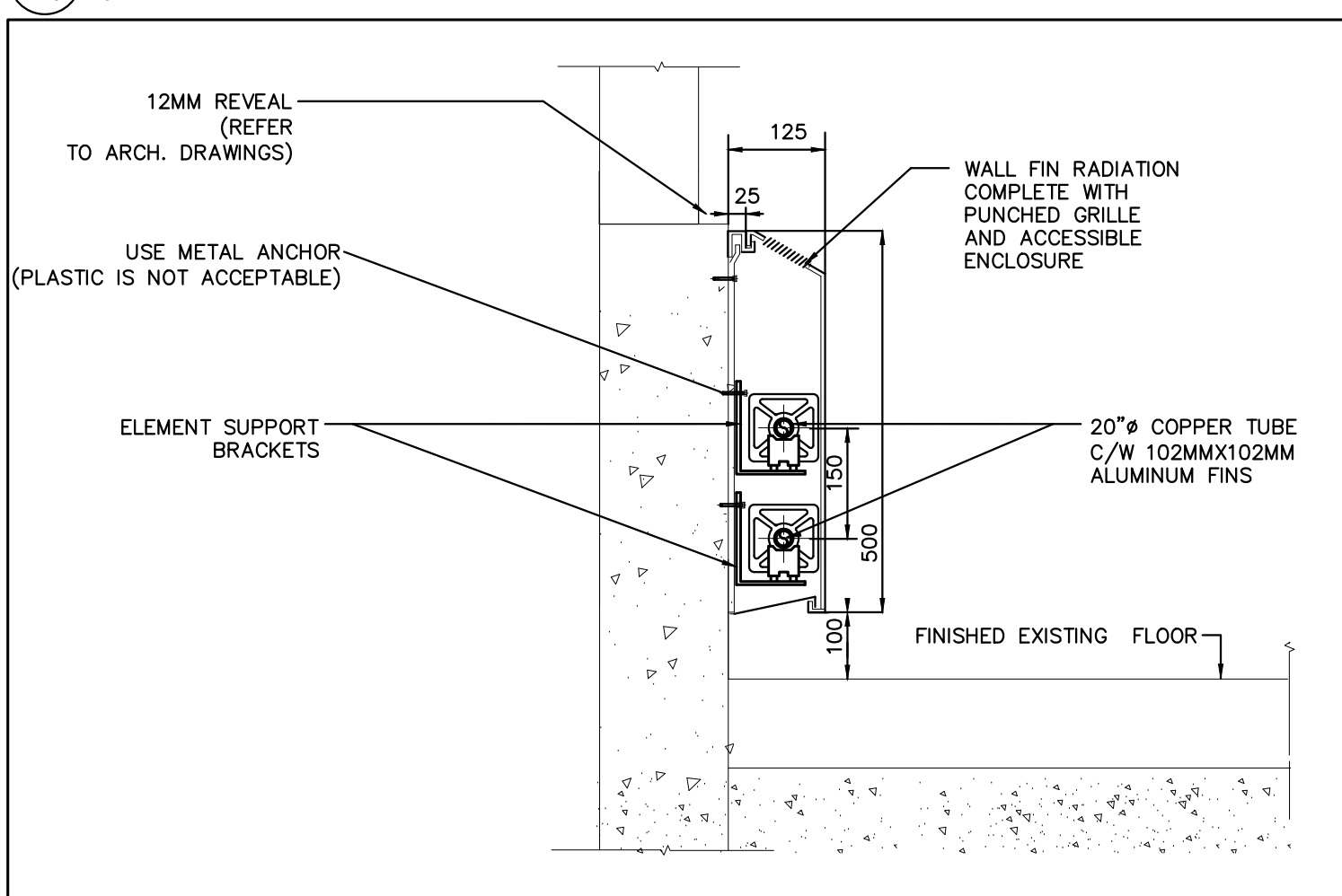
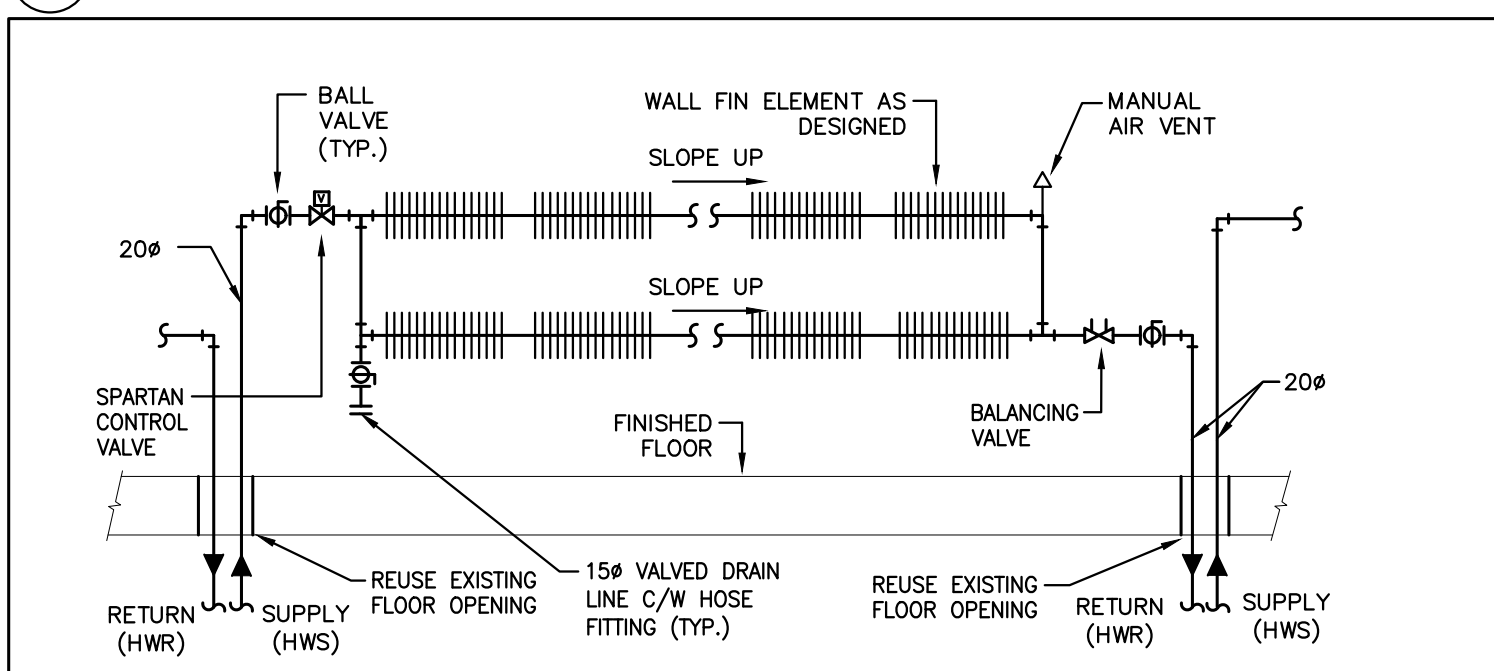
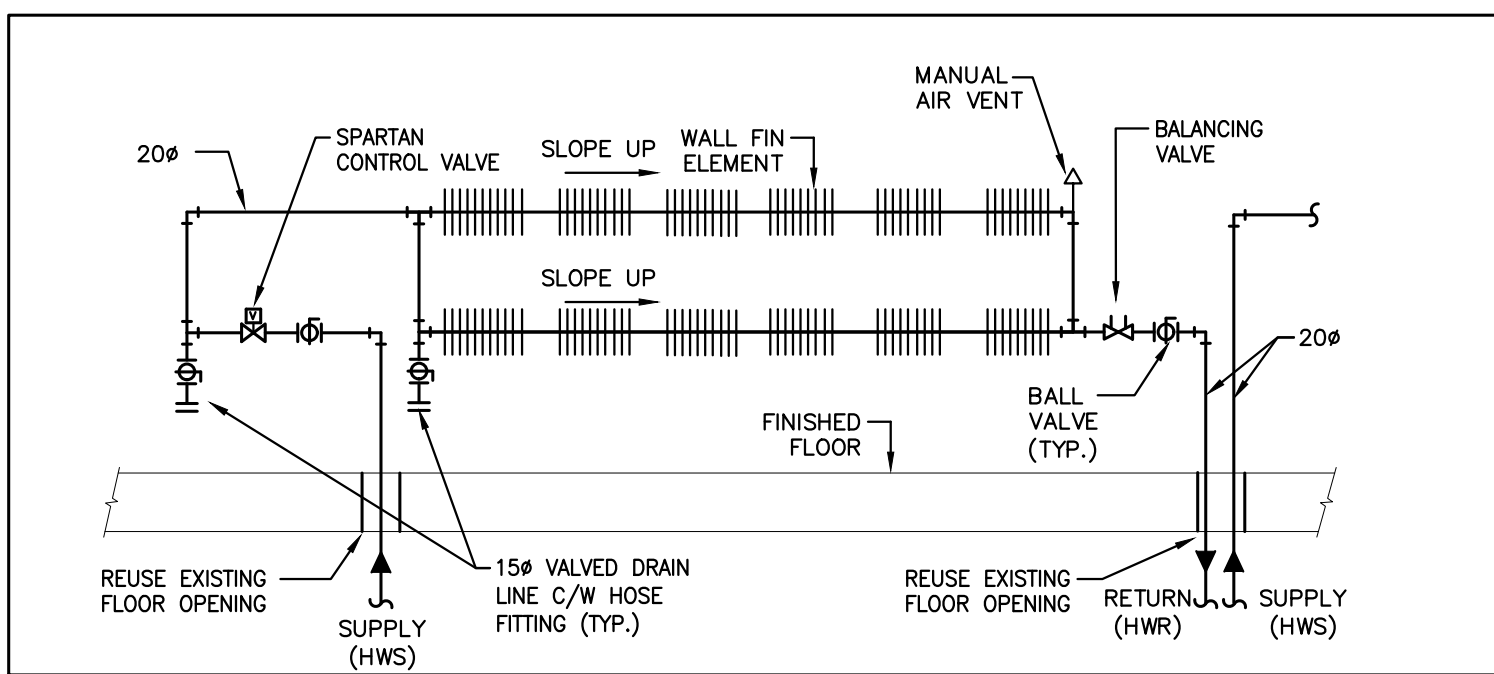


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 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND WAGE GOOD.
 9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
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 11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL)

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1. NEW FLOOR MOUNTED WALL-FIN CABINET RADIATOR. PROVIDE NEW HEATING WATER PIPE AND CONNECT TO NEW/EXISTING HEATING WATER PIPE IN SECOND FLOOR CEILING SPACE. REFER TO DETAIL NO. 3 & 4/M-102. (TYPICAL)
 2. PROVIDE NEW CONDENSATE DRAIN C/W P-TRAP TO SERVE FAN COIL UNIT AND EXTEND TO NEAREST HUB DRAIN AS SHOWN. SIZE PIPE AS INDICATED. (TYPICAL)
 3. NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING. FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
 4. NEW 65# CHILLED WATER SUPPLY PIPE FROM SECOND FLOOR MECHANICAL ROOM FOR CONTINUATION REFER TO DRAWING M-204-M-205. CONTRACTOR TO VERIFY EXACT LOCATION AND CONNECTION TO EXISTING CHILLED WATER SUPPLY PIPE ON SITE.
 5. TERMINATE CAPPED AND VALVED NEW MAIN HEATING SUPPLY PIPE NEAR EXISTING HEATING RISERS. (TYPICAL)
 6. CONNECT NEW CONDENSATE DRAIN PIPE TO EXISTING STORM DRAIN PIPING IN CEILING SPACE AT THIS APPROXIMATE LOCATION. PIPE SHALL BE CONNECTED VERTICALLY. (TYPICAL)
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 8. CONNECT NEW 65# CHILLED WATER RETURN PIPE TO EXISTING RISER AT ELECTRICAL ROOM. EXACT CONNECTION TO BE CONFIRMED ON SITE. (TYPICAL)
 9. PRESSURE TEST ALL NEW PIPING FOR 24 HOURS WITH NO LOSS OF PRESSURE PRIOR TO INSULATING FITTINGS AND OPENING MAIN VALVES. (TYPICAL)
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 11. PROVIDE NEW 20# CHILLED WATER SUPPLY/RETURN WATER PIPE TO NEW FAN COIL UNITS C/W ISOLATION VALVE, BALANCING VALVE, CONTROL VALVE AND CONTROL WIRING. (TYPICAL)
 12. PROVIDE NEW CAPPED AND VALVED 20# HWB/HWR STILES FOR FUTURE 4TH FLOOR HEATING SYSTEM CONNECTION (TYPICAL)
 13. AT EACH CHANGE OF DIRECTION ON CHILLED WATER PIPING CONTRACTOR TO PROVIDE OFFSET AS PER MECHANICAL DETAIL NO. 10/M-102. (TYPICAL)
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 15. PROVIDE SOUND BATTLE INSIDE WALL FIN ENCLOSURE. REFER TO DETAIL NO. 13/M-102. NEW 20# HEATING SUPPLY/RETURN PIPE AND CONNECT TO EXISTING VALVED HEATING SUPPLY/RETURN PIPE IN CEILING SPACE OF SECOND FLOOR. RE-USE EXISTING FLOOR OPENINGS AND PROVIDE ALL NECESSARY FITTING PIPE EXTENSION AS REQUIRED.
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 17. PROVIDE NEW STANDING WASTE C/W 10# HUB DRAIN IN CEILING SPACE. RE-USE EXISTING DRAIN LINE AT THIS APPROXIMATE LOCATION FOR NEW STANDING WASTE.

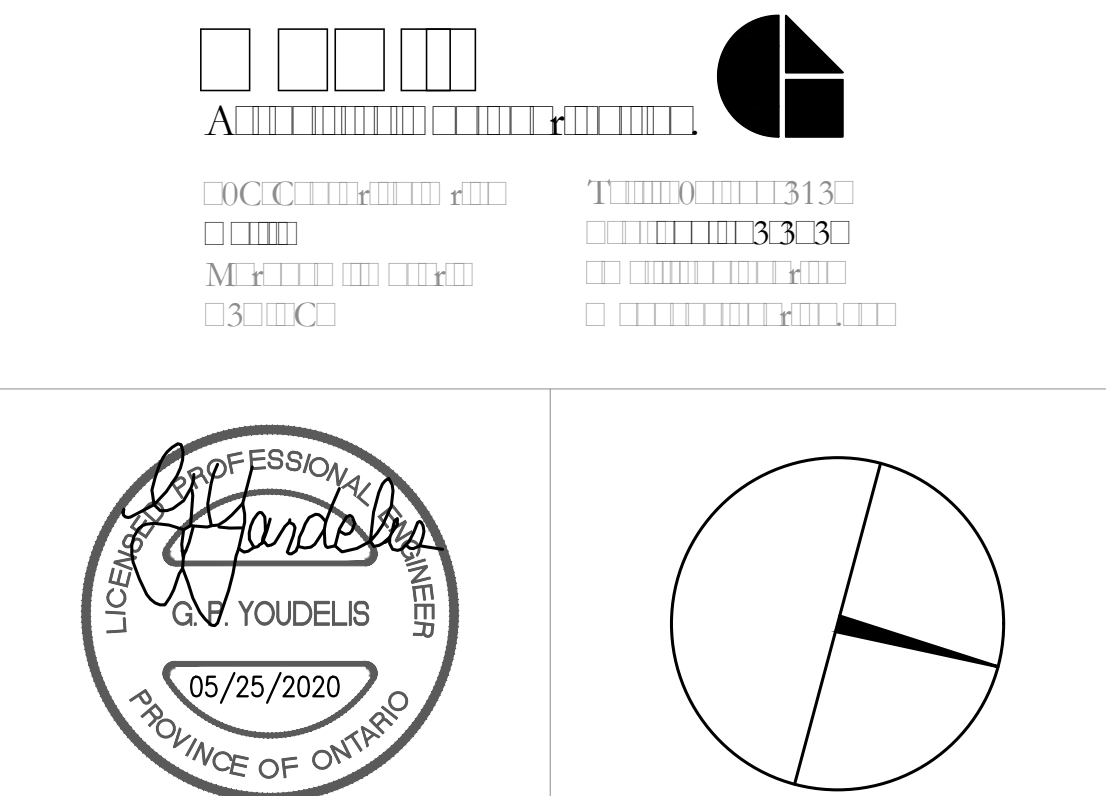


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York Region

PROPERTY SERVICES

DEPARTMENT: **BUILDING & FACILITIES**

FLOOR: **003**

BASE DATE: **03-01-2020**

PROJECT:

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: **S.P.R./G.G.**

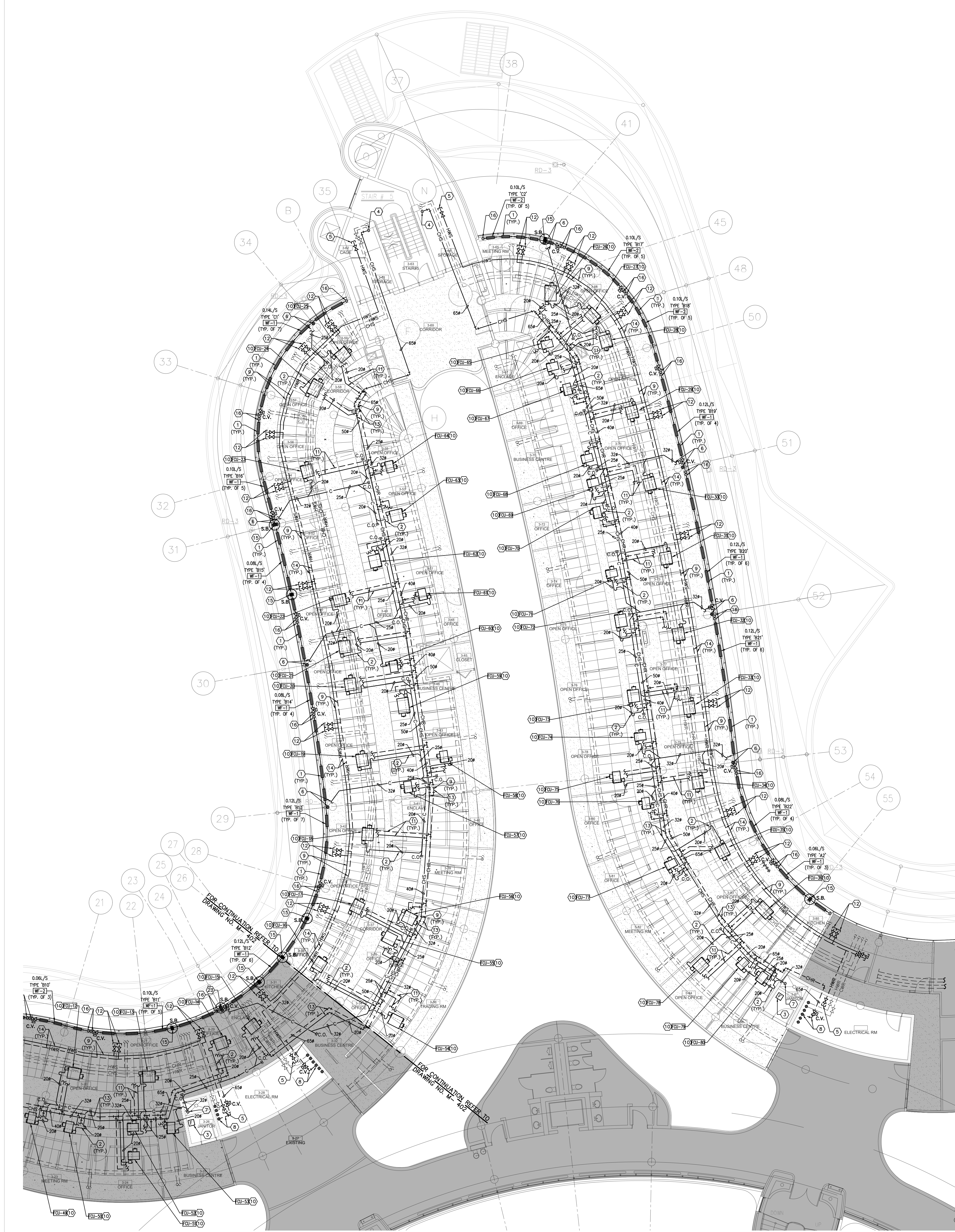
SUBMITTED TO: **MUNICIPALITY OF YORK**

SHEET TITLE:

**PARTIAL 3RD FLOOR
AREA 'A'
HYDRONIC NEW LAYOUT**

SHEET NUMBER:

M-402

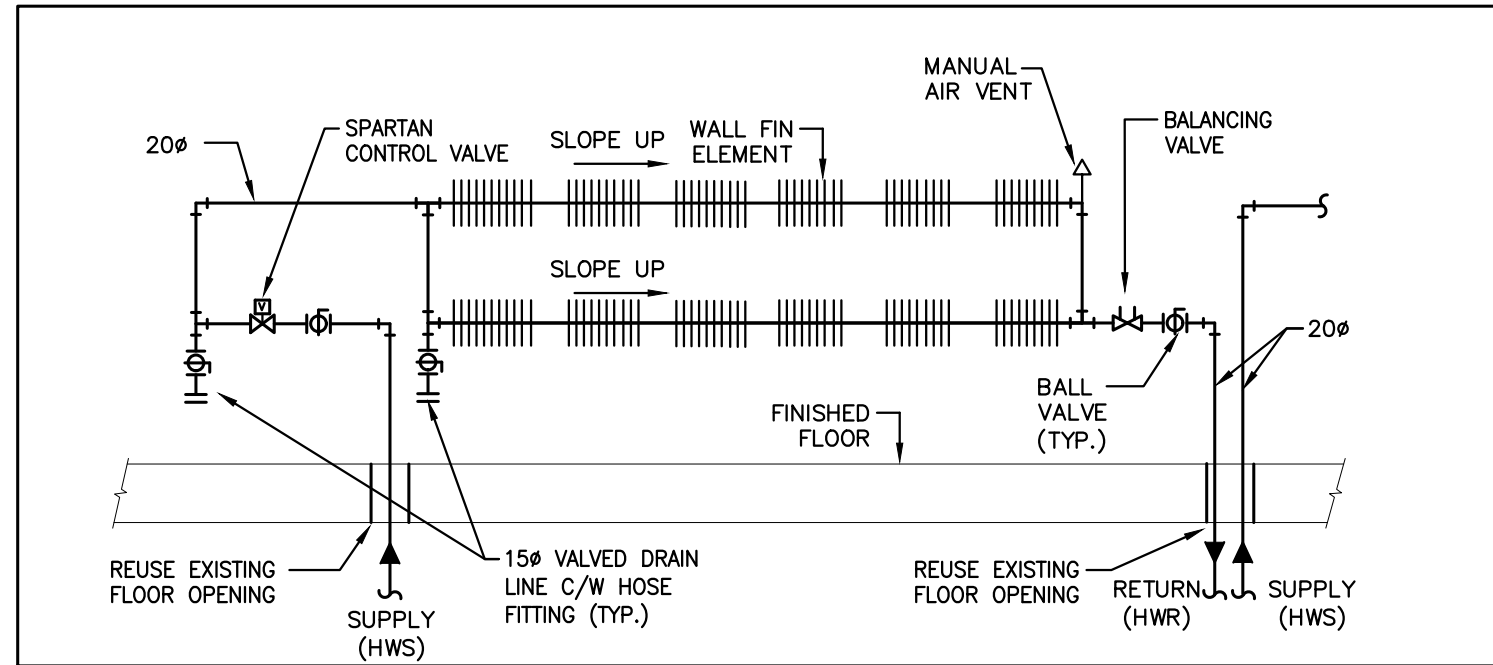


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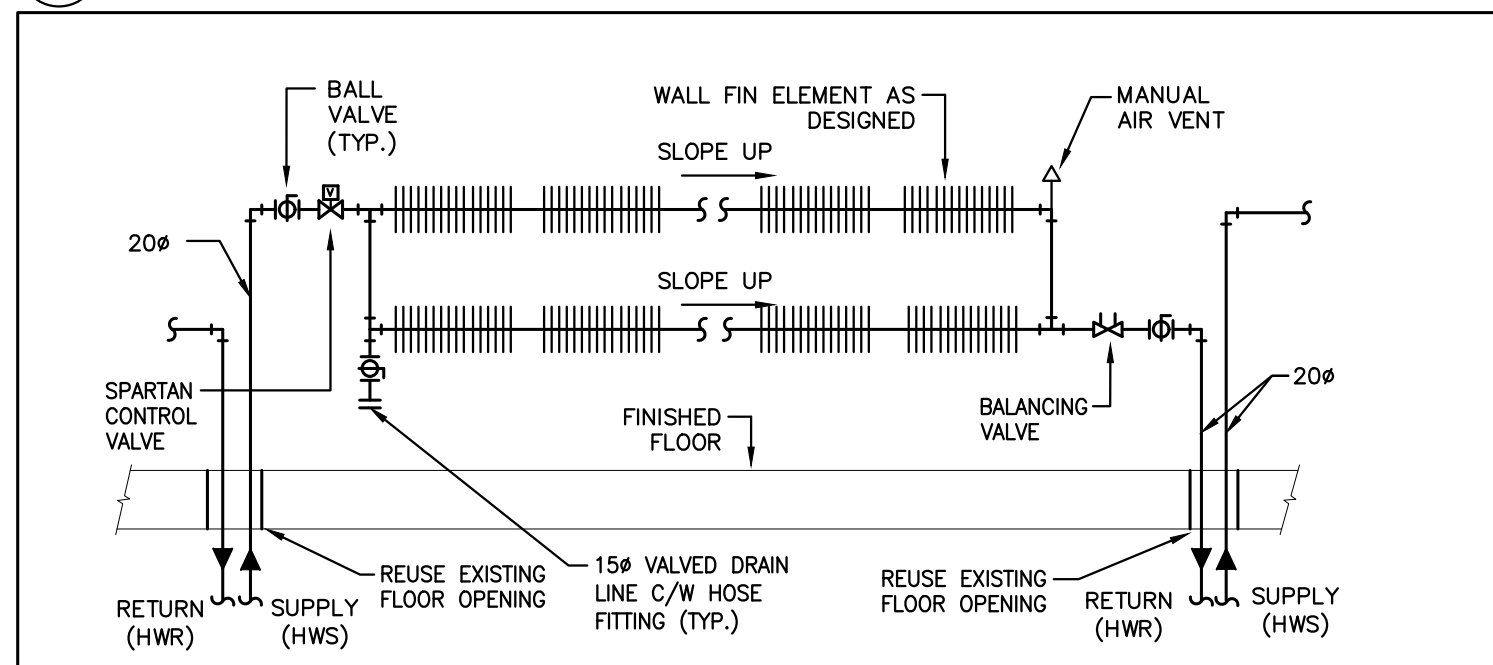
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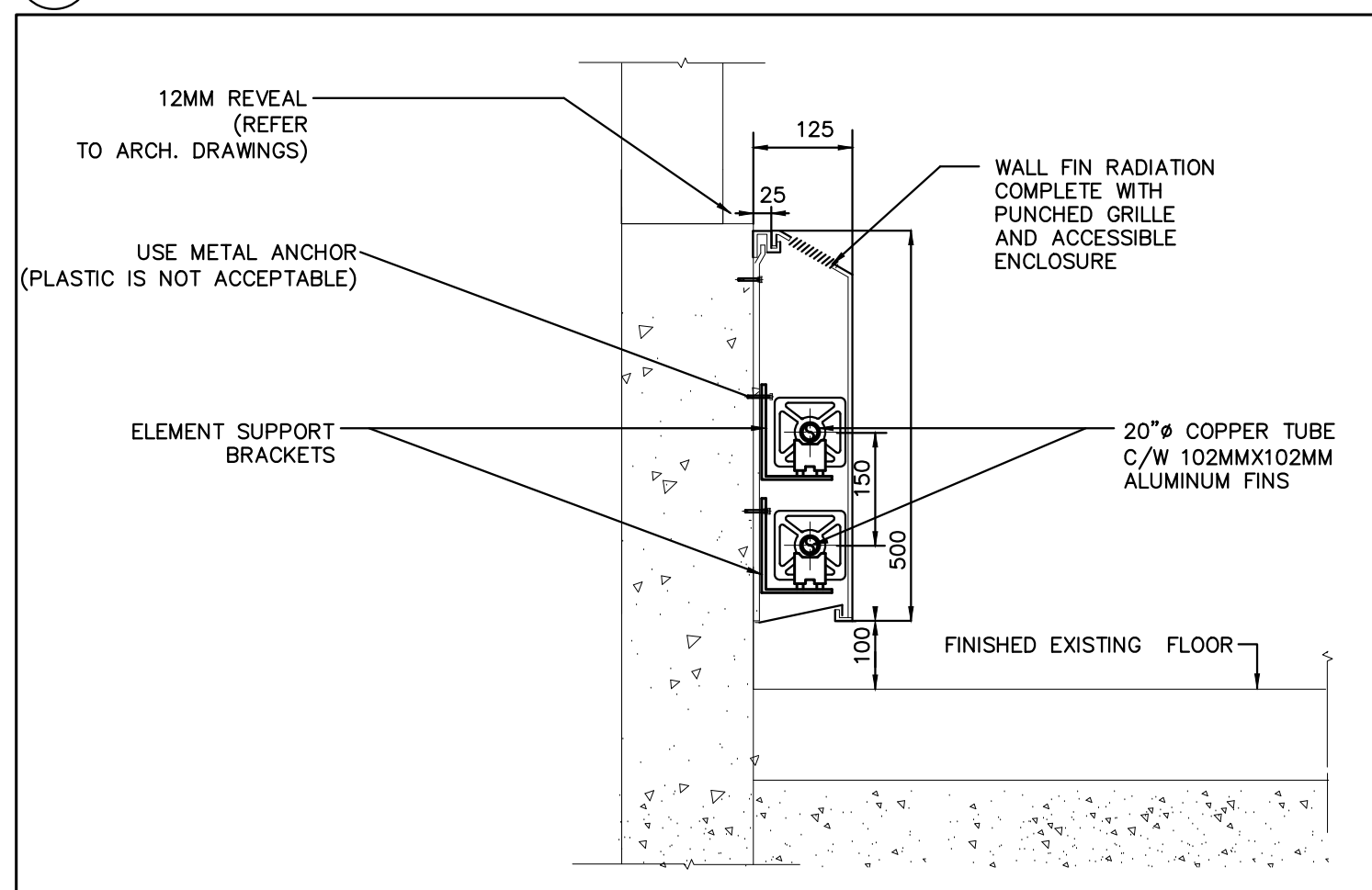
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 17. PROVIDE NEW STANDING WASTE C/W 10# HUB DRAIN IN CEILING SPACE. RE-USE EXISTING DRAIN LINE AT THIS APPROXIMATE LOCATION FOR NEW STANDING WASTE.



1 TYPE 'A1' WALL FIN RADIATION PIPING SCHEMATIC
M-402 SCALE: N.T.S.



2 TYPE 'B1' TO 'B12' WALL FIN RADIATION PIPING SCHEMATIC
M-402 SCALE: N.T.S.



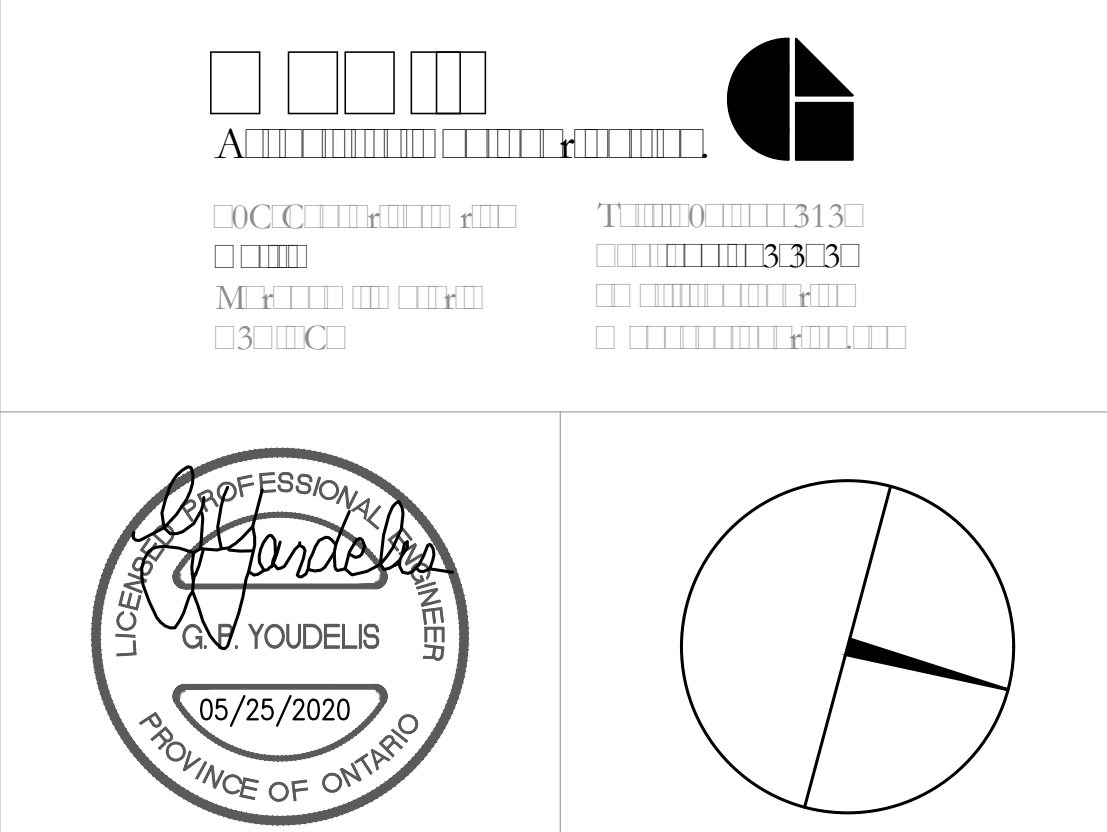
3 DOUBLE WALL FIN RADIATION DETAIL
M-402 SCALE: N.T.S.

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DRAWN BY: **S.P.R./G.G.**
SUBMITTED TO: **MUNICIPALITY OF YORK**
SHEET TITLE:

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AREA 'B'
HYDRONIC NEW LAYOUT**

SHEET NUMBER:
M-403



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 7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.
 8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.
 9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.
 10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.
 11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL).

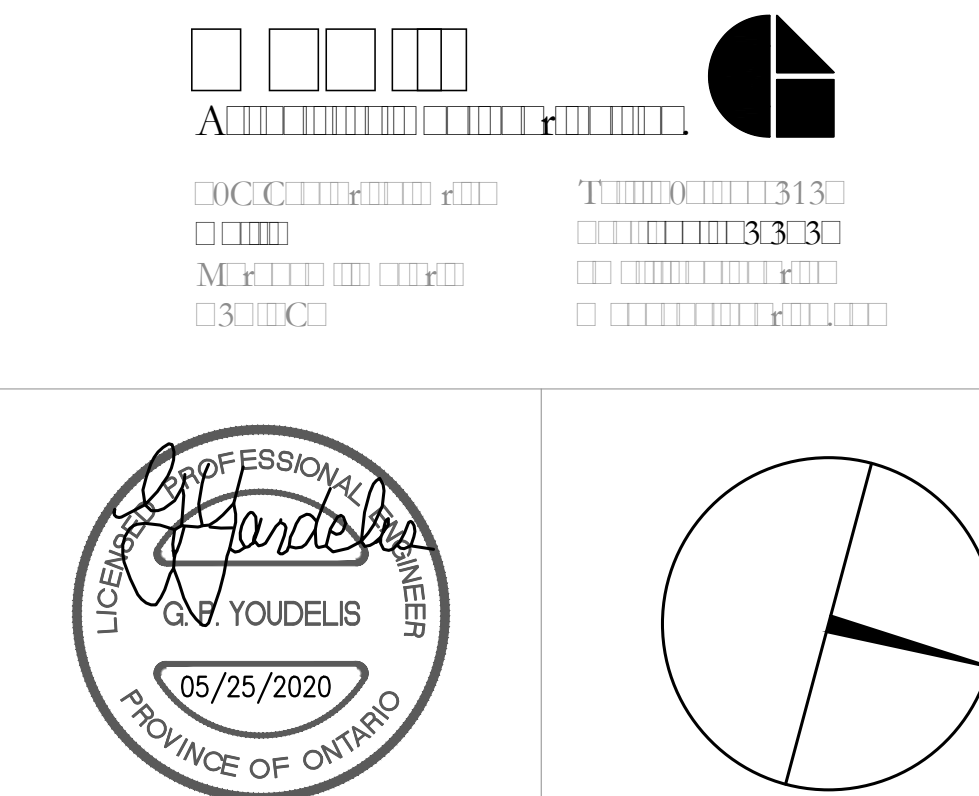
- ### NOTES
- ALL MECHANICAL WORKS INVOLVED ON THE 2ND FLOOR SHALL ONLY BE DONE AFTER HOURS (5:30 PM TO 8:30 AM). THIS INCLUDES REMOVAL & CAPPING OF OUTDOOR AIR DUCTWORK IN CEILING SPACE, REMOVAL/CAPPING/NEW CONNECTION OF CHILLED WATER PIPES & HEATING WATER PIPES, REMOVAL/CAPPING/NEW CONNECTION OF CONDENSATE DRAIN, FLOOR SLAB CUTTING/PATCHING, E.T.C.. CONTRACTOR SHALL COORDINATE WITH REGION'S PM PRIOR TO COMMENCEMENT OF ANY WORK.

- ### DRAWING NOTES
- ① NEW CONTROL VALVE FOR FAN COIL UNIT: CONTROL VALVE SHALL BE CONNECTED TO ASSOCIATED CONTROLLER AS SHOWN (TYPICAL).
 - ② NEW TEMPERATURE SENSOR: PROVIDE CONTROL WIRING AS REQUIRED (TYPICAL).
 - ③ NEW BAS CONTROLLER IN CEILING SPACE: PROVIDE CONTROL WIRING AND TRANSFORMER AS REQUIRED. CONTROLLER SHALL BE INSTALLED INSIDE FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER (TYPICAL).
 - ④ NEW FAN COIL UNIT IN CEILING SPACE: INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. PROVIDE UNIT SUPPORTS AS REQUIRED (TYPICAL).
 - ⑤ NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR: PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.
 - ⑥ NEW TEMPERATURE SENSOR WITH CO₂ SENSOR: PROVIDE CONTROL WIRING (TYPICAL).
 - ⑦ NEW TEMPERATURE PANEL IN ELECTRICAL ROOM BY CONTROLS CONTRACTOR. POWER BY DIV. 16.

- GENERAL NOTES:
1. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
 2. DRAWINGS ARE NOT TO BE SCALED.
 3. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST SUBMIT ALL NECESSARY SAMPLES AND SHOP DRAWINGS TO YORK REGION REPRESENTATIVE FOR APPROVAL.
 4. ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF YORK REGION. AS SUCH, THEY ARE NOT INTENDED FOR USE ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT SPECIFIED.

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1	03-20-2020	ISSUED FOR 60% REVIEW
2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT & TENDER
4	11-05-2020	ISSUED FOR TENDER

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facsimile: 416.351.8146



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

PROJECT #9900

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	1:100m
DRAWN BY:	S.P.R./G.G.
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

**PARTIAL 3RD FLOOR
AREA 'A'
CONTROLS LAYOUT**

SHEET NUMBER:
M-500

- GENERAL NOTES
1. CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXTENT OF THE ALL EXISTING CONDITIONS PRIOR TO SUBMITTING ANY QUOTATION.

2. ANY DISCREPANCIES BETWEEN DRAWINGS AND SPECIFICATIONS AND/OR EXISTING CONDITIONS ARE TO BE REFERRED TO CONSULTANT FOR INSTRUCTIONS BEFORE ANY WORK IS BEGUN.

3. CONTRACTOR TO COORDINATE WORK ON SITE WITH EXISTING & NEW MECHANICAL, STRUCTURAL AND ELECTRICAL SERVICES.

4. CONTRACTOR IS RESPONSIBLE TO MAKE SITE MEASUREMENTS AND TO ENSURE THAT ALL CLEARANCES AND ACCESS NECESSARY ARE PROVIDED.

5. MECHANICAL CONTRACTOR SHALL ARRANGE WORK IN SUCH WAY THAT OTHER SERVICES ARE NOT DISRUPTED.

6. PROVIDE ALL REQUIRED CUTTING AND PATCHING OF EXISTING DRYWALL, CEILING TO FACILITATE REMOVAL OF MECHANICAL AND ELECTRICAL SERVICES OUTLINED IN SCOPE OF WORKS.

7. ENSURE THAT ALL MECHANICAL EQUIPMENT REQUIRING MAINTENANCE IS ACCESSIBLE. REPORT ANY OBSTRUCTIONS TO THE PROJECT MANAGER AND ENGINEER, PROVIDE ACCESS PANELS/DOORS AS REQUIRED.

8. ALL REDUNDANT AND OBSOLETE OPENINGS IN SLAB SHALL BE FIRE STOPPED, SEALED, CAPPED, AND MADE GOOD.

9. WHERE DUCTWORK, PIPING AND EQUIPMENT IS INDICATED TO BE REMOVED, REMOVE ALL ASSOCIATED DUCT/PIPE HANGERS, VALVES, DAMPERS, ETC.

10. MECHANICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

11. INSTALLATION HEIGHT OF TEMPERATURE SENSORS SHALL BE 4'-0" (TYPICAL FOR ALL)

NOTES

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- DRAWING NOTES
- ① NEW CONTROL VALVE FOR PERIMETER RADIATOR. CONTROL VALVE SHALL BE CONNECTED TO ASSOCIATED CONTROLLER AS SHOWN (TYPICAL).

② NEW TEMPERATURE SENSOR. PROVIDE CONTROL WIRING AS REQUIRED. (TYPICAL)

③ NEW BAS CONTROLLER IN CEILING SPACE. PROVIDE CONTROL WIRING AND TRANSFORMER AS REQUIRED. CONTROLLERS SHALL BE INSTALLED INSIDE FAN COIL UNIT. COORDINATE WORK WITH FAN COIL UNIT MANUFACTURER. (TYPICAL)

④ NEW FAN COIL UNIT IN CEILING SPACE. INSTALL UNIT TIGHT TO CEILING SLAB AS HIGH AS POSSIBLE. PROVIDE UNIT SUPPORTS AS REQUIRED. (TYPICAL)

⑤ NEW JANITOR ROOM FLOOR WATER DETECTION SENSOR. PROVIDE NECESSARY CONTROL WIRING, FLOOR SLAB CUTTING/PATCHING AS REQUIRED.

⑥ NEW TEMPERATURE SENSOR WITH CO₂ SENSOR. PROVIDE CONTROL WIRING (TYPICAL)

⑦ NEW CONTROLS PANEL IN ELECTRICAL ROOM BY CONTROLS CONTRACTOR. POWER BY DIV. 16.

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2. DRAWINGS ARE NOT TO BE SCALED

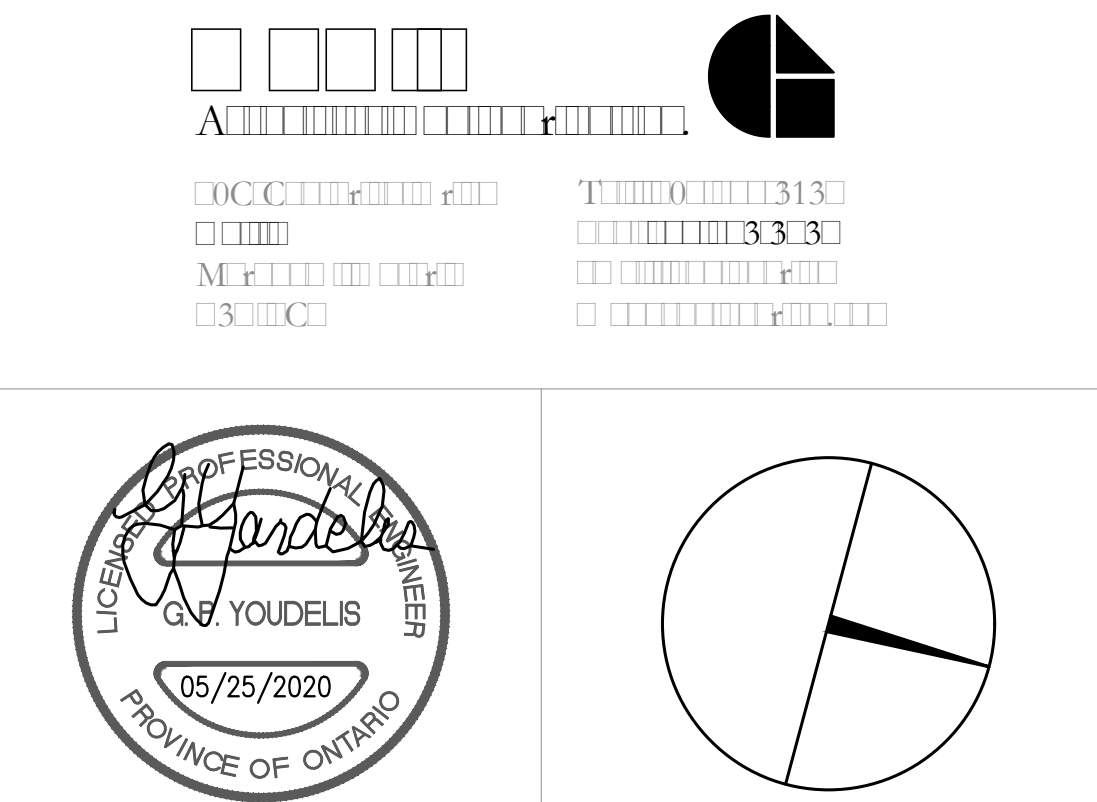
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York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

PROJECT #9900

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100m

DRAWN BY: S.P.R./G.G.

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL 3RD FLOOR
AREA 'B'
CONTROLS LAYOUT

SHEET NUMBER:

M-501

SINGLE LINE DIAGRAM LEGEND	
	FUSIBLE HIGH VOLTAGE (H.V.) ISOLATION SWITCH
	TRANSFORMER
	ISOLATION TRANSFORMER WITH ELECTROSTATIC SHIELD
	LIGHTNING ARRESTOR
	DRAW-OUT AIR CIRCUIT BREAKER WITH LIMITER
	DRAW-OUT AIR CIRCUIT BREAKER
	MOLDED CASE CIRCUIT BREAKER
	SWITCH AND FUSE UNIT
	UNFUSED LOAD INTERRUPTED SWITCH.
	NORMALLY OPEN DEVICE
	NORMALLY CLOSED DEVICE
	CURRENT TRANSFORMER
	POTENTIAL TRANSFORMER
	KILOWATT-HOUR METER WITH PEAK DEMAND INDICATOR
	DENOTES CONNECT LOAD APPLIED TO DESIGNATED APPARATUS.
	GENERATOR
	DISCONNECT (UNFUSED)
	DISCONNECT (FUSED)
	AUTOMATIC TRANSFER SWITCH
	AUTOMATIC TRANSFER SWITCH WITH BY-PASS
	KEY INTERLOCK SYSTEM - THREE LOCKS; TWO KEYS
SECURITY LEGEND	
	SECURITY CARD READER ROUGH-IN
	SECURITY ELECTRIC STRIKE ROUGH-IN
	SECURITY MAGNETIC LOCK ROUGH-IN C/W FIRE ALARM TIE-IN
	DOOR CONTACT ROUGH-IN
	SECURITY DOOR ALARM ROUGH-IN
	BREAK GLASS SENSOR ROUGH-IN
	AUTOMATIC DOOR OPERATOR ROUGH-IN
	WALL MOUNTED SECURITY REQUEST TO EXIT MOTION SENSOR ROUGH-IN
	WALL MOUNTED INTERCOM ROUGH-IN
	SECURITY KEY PAD ROUGH-IN
	PUSH BUTTON ROUGH-IN
	SECURITY CAMERA ROUGH-IN
	DOOR BELL/CHIME
NOTE: NOT ALL SYMBOLS APPLY. CONTRACTOR TO REFER TO FLOOR PLANS.	

POWER AND SYSTEMS LEGEND	
	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R OR AS NOTED
	ABOVE COUNTER DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R OR AS NOTED
	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R
	ABOVE COUNTER DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R
	WALL MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R, DEDICATED CIRCUIT
	ABOVE COUNTER GFCI DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R, DEDICATED CIRCUIT
	WALL MOUNTED GFCI DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R, DEDICATED CIRCUIT
	ABOVE COUNTER GFCI DUPLEX RECEPTACLE 120 VOLT, 20 AMP, CSA 5-20R, DEDICATED CIRCUIT
	CEILING MOUNTED DUPLEX RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
	CEILING MOUNTED QUAD RECEPTACLE 120 VOLT, 15 AMP, CSA 5-15R
	WALL MOUNTED SPECIALTY RECEPTACLE, TYPE AS INDICATED ON PLAN
	WALL MOUNTED RECEPTACLES 2 DUPLEX CSA 5-15R
	ABOVE COUNTER RECEPTACLES 2 DUPLEX CSA 5-15R
	ONE BACKBOX C/W ONE MINIMUM 1-1/4" CONDUIT OR AS SPECIFIED ON DETAILS, STUBBED INTO CEILING SPACE C/W TWO CONNECTORS WITH NYLON BUSHINGS AND PULL STRINGS FOR USE BY COMMUNICATIONS CONTRACTOR. ONE CONDUIT PER BOX.
	ABOVE COUNTER INSTALLATION OF ONE BACKBOX C/W ONE MINIMUM 1-1/4" CONDUIT OR AS SPECIFIED ON DETAILS, STUBBED INTO CEILING SPACE C/W TWO CONNECTORS WITH NYLON BUSHINGS AND PULL STRINGS FOR USE BY COMMUNICATIONS CONTRACTOR. ONE CONDUIT PER BOX.
	ONE-GANG BACKBOX/MIDRING C/W MINIMUM 1-1/4" CONDUIT OR AS SPECIFIED ON DETAILS, STUBBED INTO CEILING SPACE OR TO AUDIO VISUAL DEVICE C/W TWO CONNECTORS WITH NYLON BUSHINGS AND PULL STRINGS FOR USE BY AUDIO VISUAL CONTRACTOR.
	ABOVE COUNTER INSTALLATION OF ONE-GANG BACKBOX C/W MINIMUM 1-1/4" CONDUIT OR AS SPECIFIED ON DETAILS, STUBBED INTO CEILING SPACE OR TO AUDIO VISUAL DEVICE C/W TWO CONNECTORS WITH NYLON BUSHINGS AND PULL STRINGS FOR USE BY AUDIO VISUAL CONTRACTOR.
	TWO-GANG BACKBOX/MIDRING C/W MINIMUM 1-1/4" CONDUIT OR AS SPECIFIED ON DETAILS, STUBBED INTO CEILING SPACE OR TO AUDIO VISUAL DEVICE C/W TWO CONNECTORS WITH NYLON BUSHINGS AND PULL STRINGS FOR USE BY AUDIO VISUAL CONTRACTOR.
	CABLE TV OUTLET WALL MOUNTED ROUGH-IN
	CONNECTION TO ELECTRIFIED FURNITURE, LETTER DENOTES FEED LOCATION: W = WALL, F = FLOOR, WM = WIREMOLD, P = PAC POLE
	FLOOR BOX COMPLETE WITH DUPLEX CSA 5-15R
	FLOOR MOUNTED OUTLET 2 DUPLEX CSA 5-15R
	FLOOR BOX C/W CSA 5-15R AND OPENING FOR USE BY COMMUNICATION CONTRACTOR AS SPECIFIED
	FLOOR BOX C/W 2 CSA 5-15R AND OPENING FOR USE BY COMMUNICATION CONTRACTOR AS SPECIFIED
	FLUSH POKE-THROUGH FLOOR BOX AS SPECIFIED
	WALL/FLOOR MOUNTED WIREMOLD RACEWAY, TYPE AS SPECIFIED C/W TYPE AND QUANTITY OF DEVICES INDICATED
	SERVICE POLE, TYPE AS SPECIFIED C/W TYPE AND QUANTITY OF DEVICES INDICATED
	PANEL-SURFACE MOUNT
	PANEL-FLUSH MOUNT
	DIRECT CONNECTION TO EQUIPMENT AS NOTED
	COMBINATION DISCONNECT/STARTER
	DISCONNECT SWITCH
	TRANSFORMER
	CONNECTION TO MOTOR
	MANUAL STARTER
	CONTACTOR
	BUZZER
	GROUNDING BUS BAR
	CABLE TRAY REFER TO SPECIFICATION LETTER DENOTES FOR TYPE
	SIGNAL BELL
	PAGING SPEAKER
	AUDIO VISUAL SPEAKER
NOTE: NOT ALL SYMBOLS APPLY. CONTRACTOR TO REFER TO FLOOR PLANS.	

FIRE ALARM SYSTEMS	
	MANUAL PULL STATION
	FIRE ALARM BELL
	SMOKE DETECTOR
	HEAT DETECTOR
	DUCT MOUNTED SMOKE DETECTOR / HEAT DETECTOR
	FIREMAN'S HANDSET
	FIRE ALARM HOLD OPEN DEVICE - CONNECTION ONLY
	FIRE ALARM HORN SINGLE
	FIRE ALARM EVACUATION SPEAKER - CEILING MOUNTED / WALL MOUNTED
	FIRE ALARM STROBE - CEILING MOUNTED / WALL MOUNTED
	FIRE ALARM EVACUATION SPEAKER STROBE COMBINATION - CEILING MOUNTED / WALL MOUNTED
	FIRE ALARM HORN-STROBE COMBINATION
	FIRE ALARM CONTROL PANEL / ANNUNCIATOR PANEL
	FIRE ALARM END OF LINE RESISTOR
LIGHTING LEGEND	
	EXISTING BASE BUILDING LUMINAIRE TO REMAIN
	EXISTING BASE BUILDING LUMINAIRE TO BE REMOVED AND OR RELOCATED
	BASE BUILDING LUMINAIRE RELOCATED OR NEW
	EXISTING EMERGENCY BASE BUILDING LUMINAIRE
	EXISTING BASE BUILDING EMERGENCY LUMINAIRE TO BE REMOVED AND OR RELOCATED
	BASE BUILDING LUMINAIRE RELOCATED AND OR NEW EMERGENCY CIRCUIT
	TRACK LIGHTING C/W NUMBER OF FIXTURES SHOWN
	CEILING MOUNTED LUMINAIRE EMERGENCY CIRCUIT
	CEILING MOUNTED LUMINAIRE
	CEILING MOUNTED WALL WASHER LUMINAIRE
	WALL SCONCE
	PENDANT FIXTURE
	SINGLE POLE LINE VOLTAGE LIGHT SWITCH
	3 WAY - LINE VOLTAGE LIGHT SWITCH
	LOW VOLTAGE LIGHT SWITCH - 'M' DENOTES MASTER SWITCH
	DIMMER TYPE TO SUIT LOAD (6=600W,10=1000W,15=1500W)
	WALL MOUNTED OCCUPANCY SENSOR SWITCH
	CEILING MOUNTED OCCUPANCY SENSOR
	DAY LIGHT PHOTO SENSOR
	WALL MOUNTED EMERGENCY SINGLE REMOTE HEAD
	WALL MOUNTED EMERGENCY DOUBLE REMOTE HEAD
	CEILING MOUNTED EMERGENCY SINGLE REMOTE HEAD
	CEILING MOUNTED EMERGENCY DOUBLE REMOTE HEAD
	EMERGENCY LIGHTING BATTERY UNIT C/W NUMBER OF HEADS SHOWN
	EMERGENCY LIGHTING BATTERY UNIT
	EXIT LIGHT CEILING MOUNTED C/W FACES AND ARROWS AS INDICATED
	EXIT LIGHT WALL MOUNTED C/W FACES AND ARROWS AS INDICATED
	CEILING PANIC ALARM BEACON
NOTE: NOT ALL SYMBOLS APPLY. CONTRACTOR TO REFER TO FLOOR PLANS.	

DRAWING LIST			
DRAWING No.	DRAWING NAME		
E-0.1	DRAWING LIST AND ELECTRICAL LEGENDS		
E-0.2	ELECTRICAL DETAILS		
E-0.3	ELECTRICAL DETAILS		
E-3.0	LEVEL 3 – KEY PLAN		
E-3.1A	PARTIAL LEVEL 3 – LIGHTING AND FIRE ALARM LAYOUT (PART A)		
E-3.1B	PARTIAL LEVEL 3 – LIGHTING AND FIRE ALARM LAYOUT (PART B)		
E-3.2A	PARTIAL LEVEL 3 – POWER AND SYSTEMS LAYOUT (PART A)		
E-3.2B	PARTIAL LEVEL 3 – POWER AND SYSTEMS LAYOUT (PART B)		
E-3.3A	PARTIAL LEVEL 3 – CEILING DEMOLITION LAYOUT (PART A)		
E-3.3B	PARTIAL LEVEL 3 – CEILING DEMOLITION LAYOUT (PART A)		
E-3.4A	PARTIAL LEVEL 3 – POWER DEMOLITION LAYOUT (PART B)		
E-3.4B	PARTIAL LEVEL 3 – POWER DEMOLITION LAYOUT (PART B)		
E-3.5	LEVEL 3 WASHROOMS – LIGHTING AND FIRE ALARM LAYOUT		
E-3.6	LEVEL 3 WASHROOMS – POWER AND SYSTEMS LAYOUT		
E-3.7	LEVEL 3 WASHROOMS – CEILING DEMOLITION LAYOUT		
E-3.8	LEVEL 3 WASHROOMS – POWER DEMOLITION LAYOUT		
ABBREVIATIONS			
A	AMPS	LV	LOW VOLTAGE
AD	ACCESS DOOR	MO	MOTOR OPERATED
AFCI	ARC FAULT CIRCUIT INTERRUPTER	MOD	MOTOR OPERATED DAMPER
AFF	ABOVE FINISHED FLOOR	MW	MICROWAVE
BBH	BASEBOARD HEATER	N	NEW
BU	BATTERY UNIT	NC	NORMALLY CLOSED
C	CONDUIT	NIC	NOT IN CONTRACT
CL	CEILING MOUNTED	NL	NIGHT LIGHT
COF	COFFEE MACHINE	NO	NORMALLY OPEN
CS	CHARGING STATION	OC	OVER COUNTER
D	DEDICATED	OL	OBSTRUCTION LIGHT
DG	DEDICATED GROUND	P	PARABOLIC LOUVRE
DHWT	DOMESTIC HOT WATER TANK	PL	PATIENT LIFT
DNC	DEDICATED NEUTRAL + BOND	R	RELOCATE
DR	LAUNDRY DRYER	RA	RANGE
DW	DISHWASHER	RC	REUSE EXISTING CIRCUIT
E	EXISTING	RH	RANGE HOOD
EF	EXHAUST FAN	RIC	ROUGH IN AND CONNECT
EM	EMERGENCY CIRCUIT	RO	ROUGH IN ONLY
EP	ELECTRICAL SUITE PANEL	RR	REMOVE AND REINSTALL
ER	EXISTING TO BE REMOVED	SC	SEPARATE CIRCUIT
F	REFRIGERATOR	SF	SYSTEM FURNITURE
FF	FLOOR FEED	SP	SUITE ALARM PANEL
FFH	FORCE FLOW HEATER	TYP	TYPICAL
FL	FLOOR MOUNTED	UC	UNDER CABINET MOUNTED
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	UH	UNIT HEATER
GFI	GROUND FAULT INTERRUPTER	UPS	UNINTERRUPTIBLE POWER SUPPLY
GND	GROUND	V	VOLTS
HK	HOUSE KEEPING	W	WATTS
HMT	HARMONIC MITIGATING TRANSFORMER	WA	LAUNDRY WASHER
ICE	ICE MACHINE	WAP	WIRELESS ACCESS POINT
IG	ISOLATED GROUND	WF	WALL FEED
JB	JUNCTION BOX	WP	WEATHERPROOF
KW	KILOWATTS	X	EXPLOSION PROOF DEVICE + BACK BOX
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Smith + Andersen
100 - 105 Progress Ave. Unit 1000, Toronto, ON, M6H 0B5
416 467 8151 F 416 467 8100 [smithandandersen.com](mailto:info@smithandandersen.com)

PROJECT CONTACT

NAME: ANGELICA SABANDAL
TEL: 416-218-7021
EMAIL: angelica.sabandal@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.

YORK REGION
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

PROJECT # 14008.009

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: N.T.S

DRAWN BY: AS

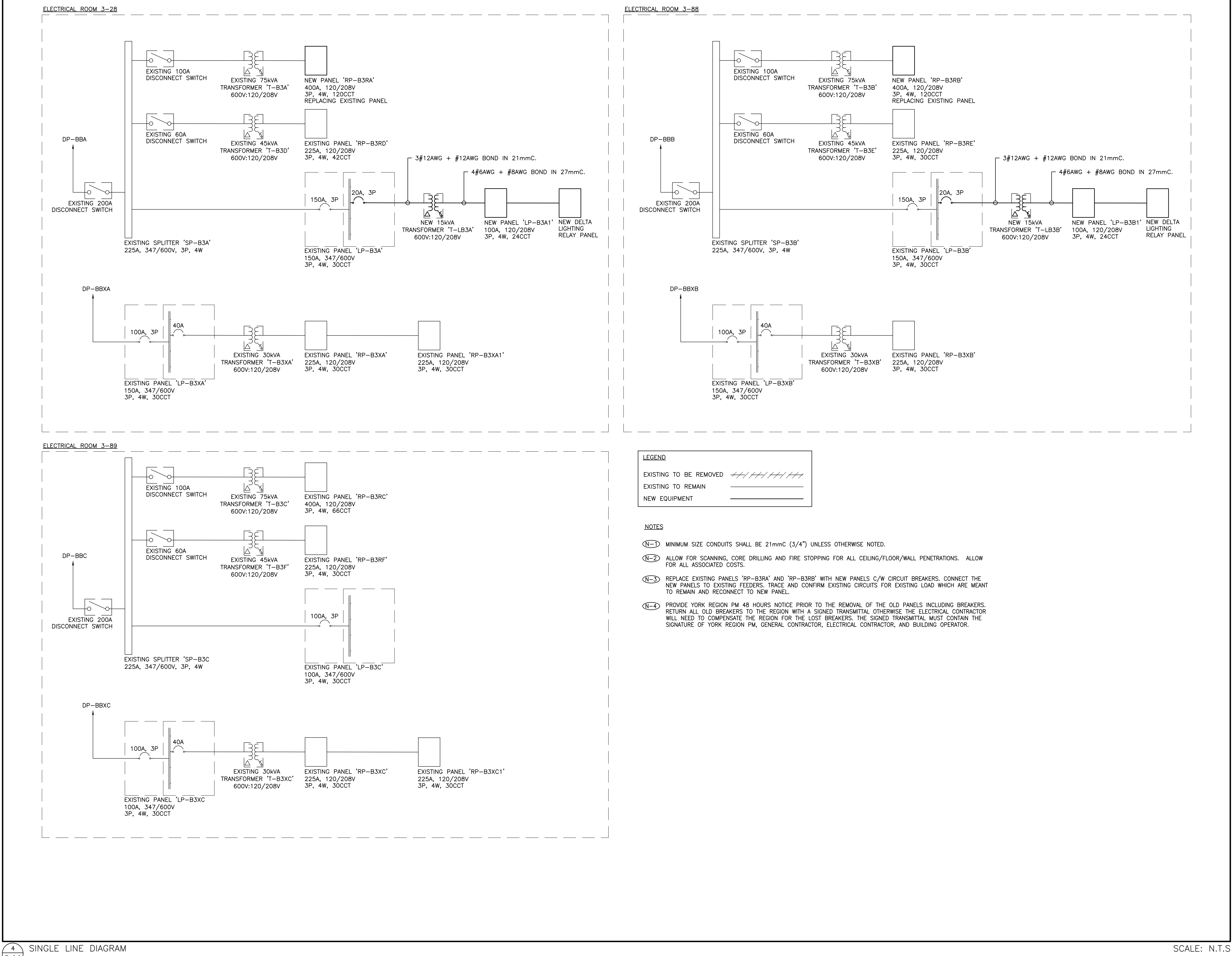
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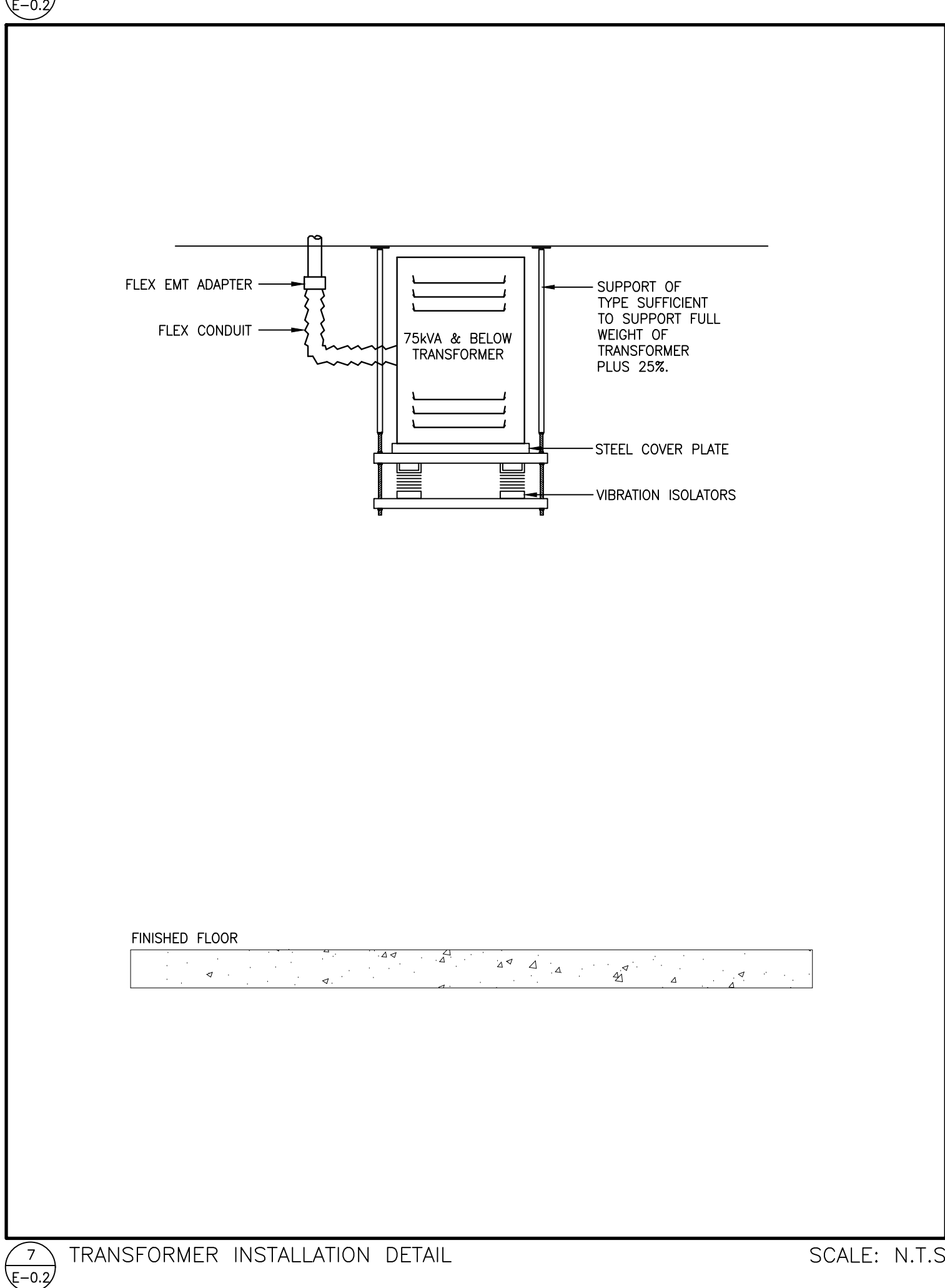
DRAWING LIST AND ELECTRICAL LEGENDS

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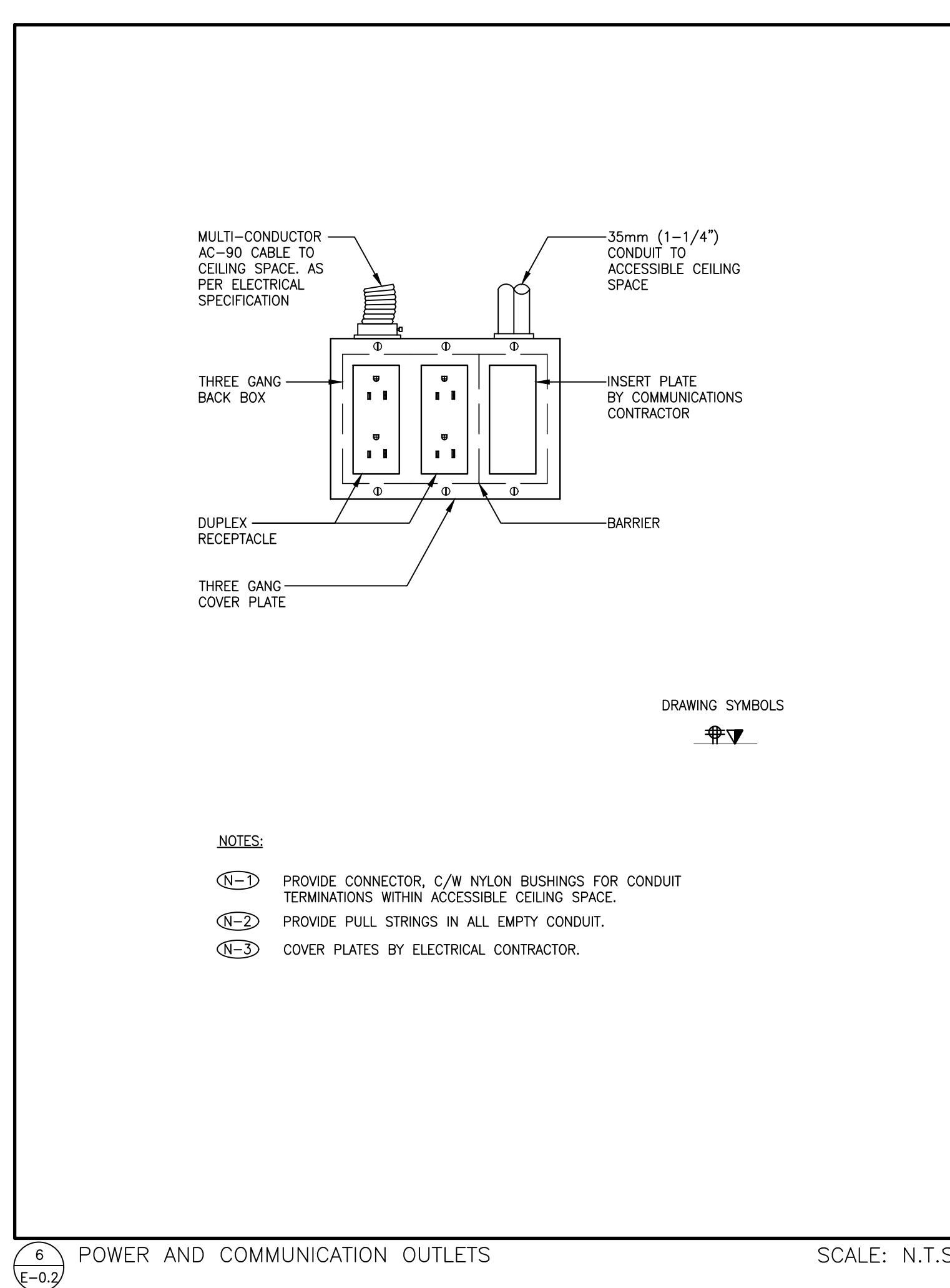
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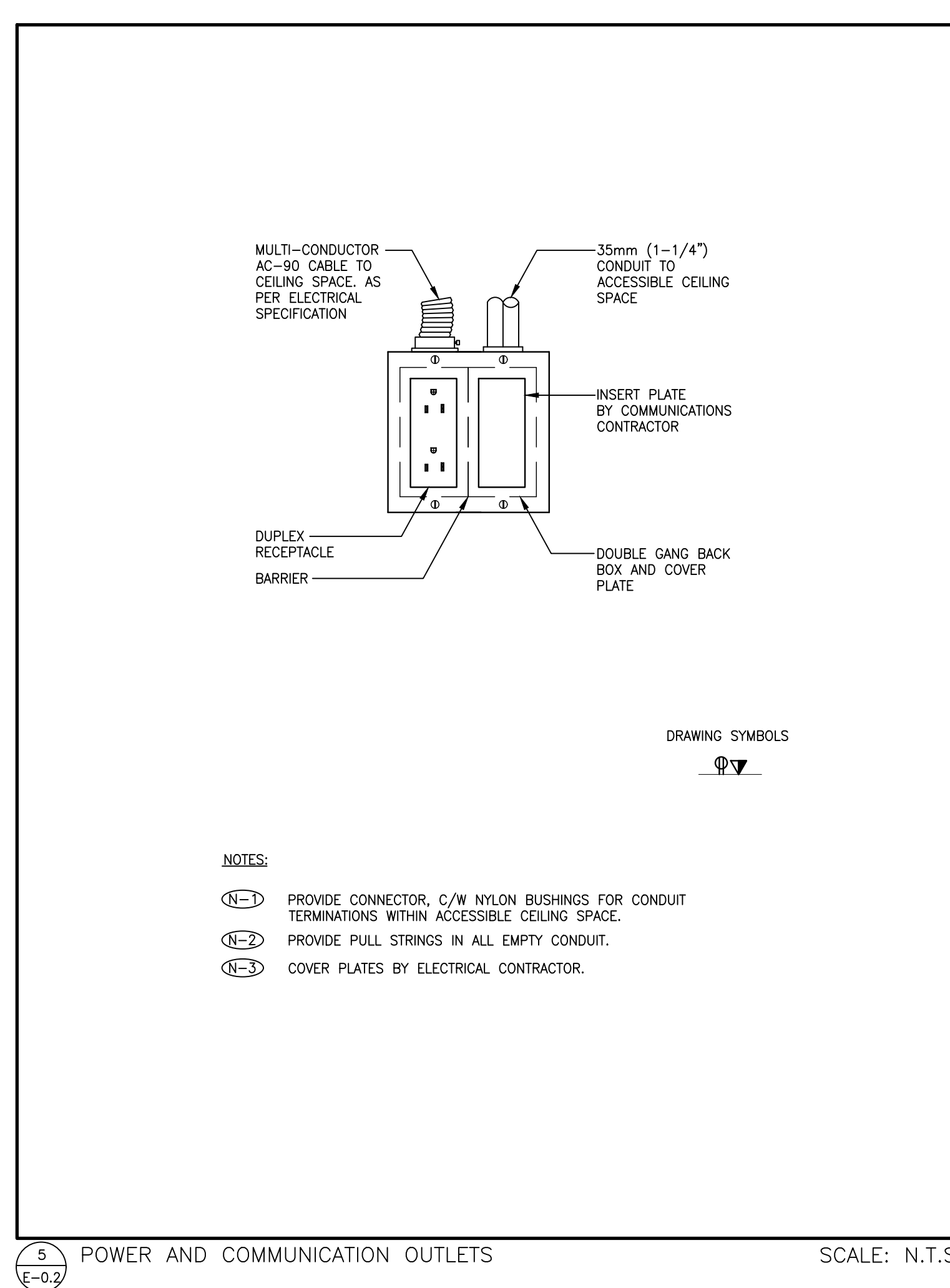
4 SINGLE LINE DIAGRAM



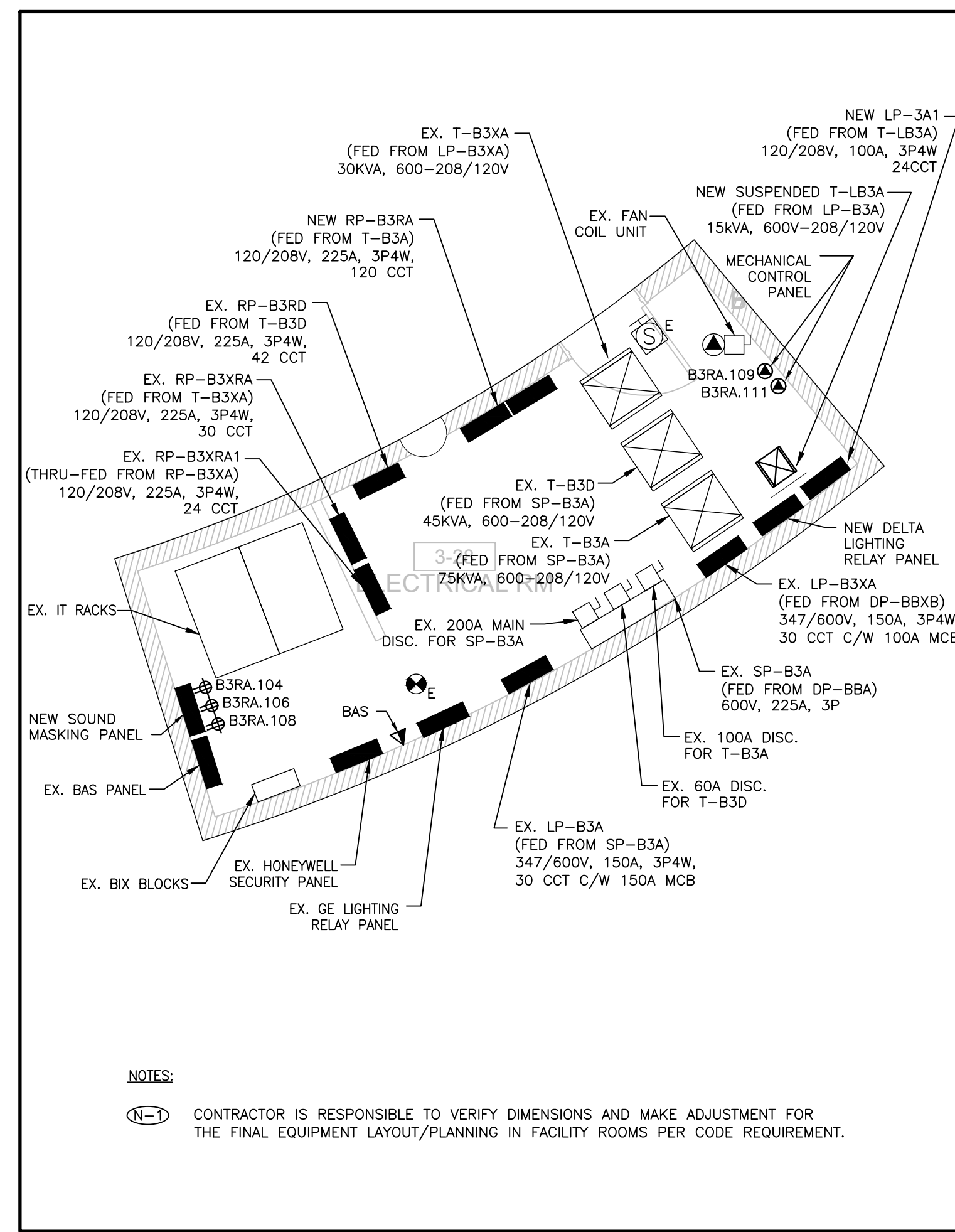
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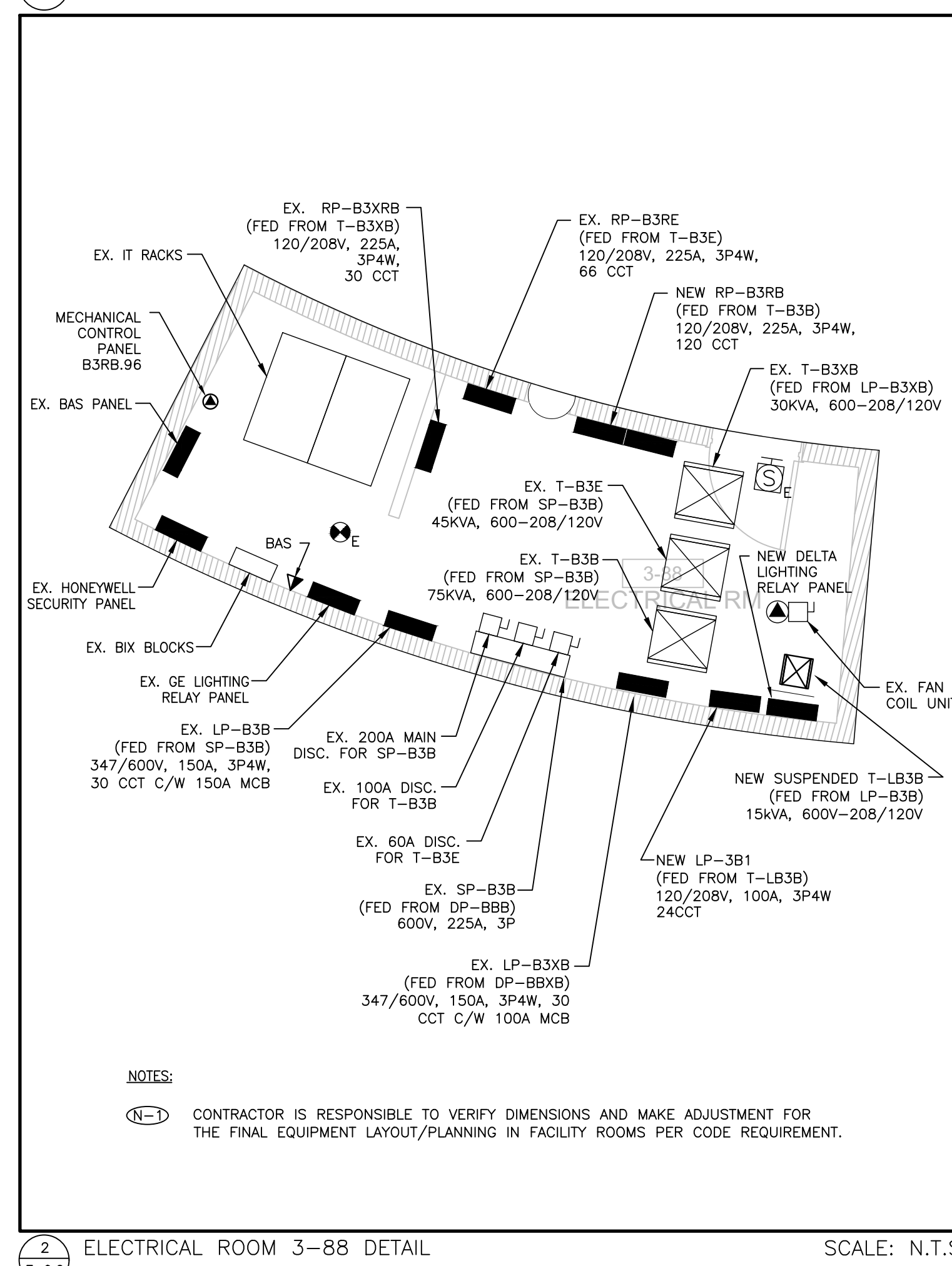
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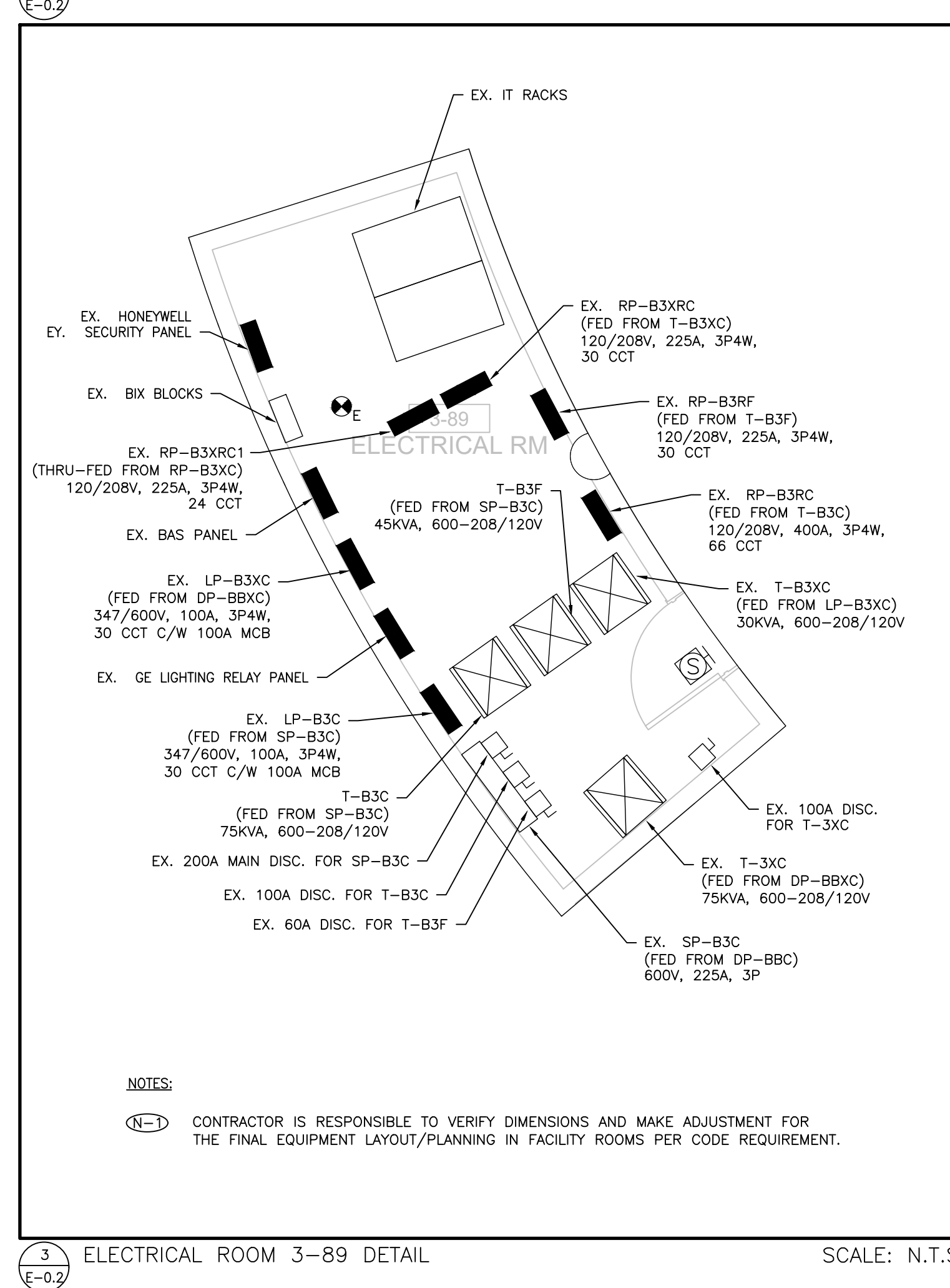
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1



2



3

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PROJECT CONTACT

NAME: ANGELICA SABANDAL
TEL: 416-218-7021
EMAIL: angelica.sabandal@smithandandersen.com

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.

York Region

PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

PROJECT # 14008.009

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: AS

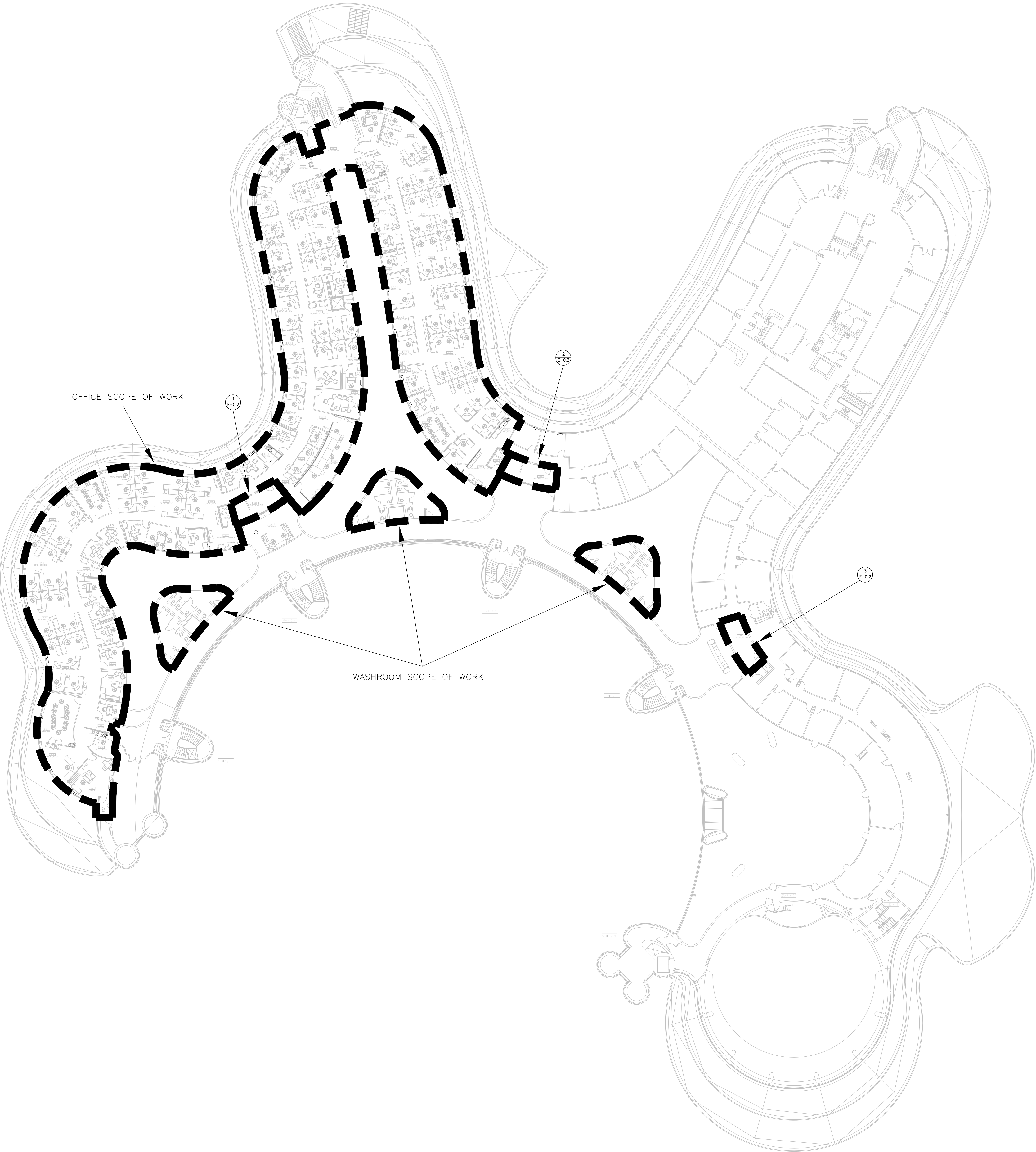
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

ELECTRICAL DETAILS

SHEET NUMBER:

□-0.□




GENERAL NOTES:
1. KEY PLAN IS SHOWN FOR REFERENCE PURPOSE ONLY.

- GENERAL NOTES:
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 2. DRAWINGS ARE NOT TO BE SCALED
 3. BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST SUBMIT ALL NECESSARY SAMPLES AND SHOP DRAWINGS TO YORK REGION REPRESENTATIVE FOR APPROVAL
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SUBMISSION	DATE	DESCRIPTION
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Smith + Andersen

100 - 101, 105, 109, 111, 113, 115, 117, 119, 121, 123, 125, 127, 129, 131, 133, 135, 137, 139, 141, 143, 145, 147, 149, 151, 153, 155, 157, 159, 161, 163, 165, 167, 169, 171, 173, 175, 177, 179, 181, 183, 185, 187, 189, 191, 193, 195, 197, 199, 201, 203, 205, 207, 209, 211, 213, 215, 217, 219, 221, 223, 225, 227, 229, 231, 233, 235, 237, 239, 241, 243, 245, 247, 249, 251, 253, 255, 257, 259, 261, 263, 265, 267, 269, 271, 273, 275, 277, 279, 281, 283, 285, 287, 289, 291, 293, 295, 297, 299, 301, 303, 305, 307, 309, 311, 313, 315, 317, 319, 321, 323, 325, 327, 329, 331, 333, 335, 337, 339, 341, 343, 345, 347, 349, 351, 353, 355, 357, 359, 361, 363, 365, 367, 369, 371, 373, 375, 377, 379, 381, 383, 385, 387, 389, 391, 393, 395, 397, 399, 401, 403, 405, 407, 409, 411, 413, 415, 417, 419, 421, 423, 425, 427, 429, 431, 433, 435, 437, 439, 441, 443, 445, 447, 449, 451, 453, 455, 457, 459, 461, 463, 465, 467, 469, 471, 473, 475, 477, 479, 481, 483, 485, 487, 489, 491, 493, 495, 497, 499, 501, 503, 505, 507, 509, 511, 513, 515, 517, 519, 521, 523, 525, 527, 529, 531, 533, 535, 537, 539, 541, 543, 545, 547, 549, 551, 553, 555, 557, 559, 561, 563, 565, 567, 569, 571, 573, 575, 577, 579, 581, 583, 585, 587, 589, 591, 593, 595, 597, 599, 601, 603, 605, 607, 609, 611, 613, 615, 617, 619, 621, 623, 625, 627, 629, 631, 633, 635, 637, 639, 641, 643, 645, 647, 649, 651, 653, 655, 657, 659, 661, 663, 665, 667, 669, 671, 673, 675, 677, 679, 681, 683, 685, 687, 689, 691, 693, 695, 697, 699, 701, 703, 705, 707, 709, 711, 713, 715, 717, 719, 721, 723, 725, 727, 729, 731, 733, 735, 737, 739, 741, 743, 745, 747, 749, 751, 753, 755, 757, 759, 761, 763, 765, 767, 769, 771, 773, 775, 777, 779, 781, 783, 785, 787, 789, 791, 793, 795, 797, 799, 801, 803, 805, 807, 809, 811, 813, 815, 817, 819, 821, 823, 825, 827, 829, 831, 833, 835, 837, 839, 841, 843, 845, 847, 849, 851, 853, 855, 857, 859, 861, 863, 865, 867, 869, 871, 873, 875, 877, 879, 881, 883, 885, 887, 889, 891, 893, 895, 897, 899, 901, 903, 905, 907, 909, 911, 913, 915, 917, 919, 921, 923, 925, 927, 929, 931, 933, 935, 937, 939, 941, 943, 945, 947, 949, 951, 953, 955, 957, 959, 961, 963, 965, 967, 969, 971, 973, 975, 977, 979, 981, 983, 985, 987, 989, 991, 993, 995, 997, 999

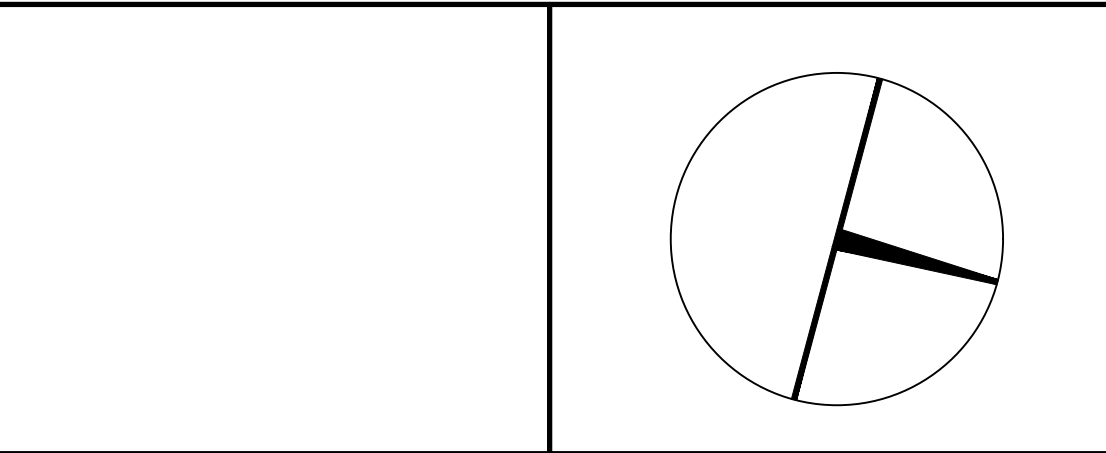
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York Region

PROPERTY SERVICES

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BASE DATE: 03-01-2020

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YORK REGION

Administrative Centre
17250 Yonge Street
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SCALE: N.T.S

DRAWN BY: AS

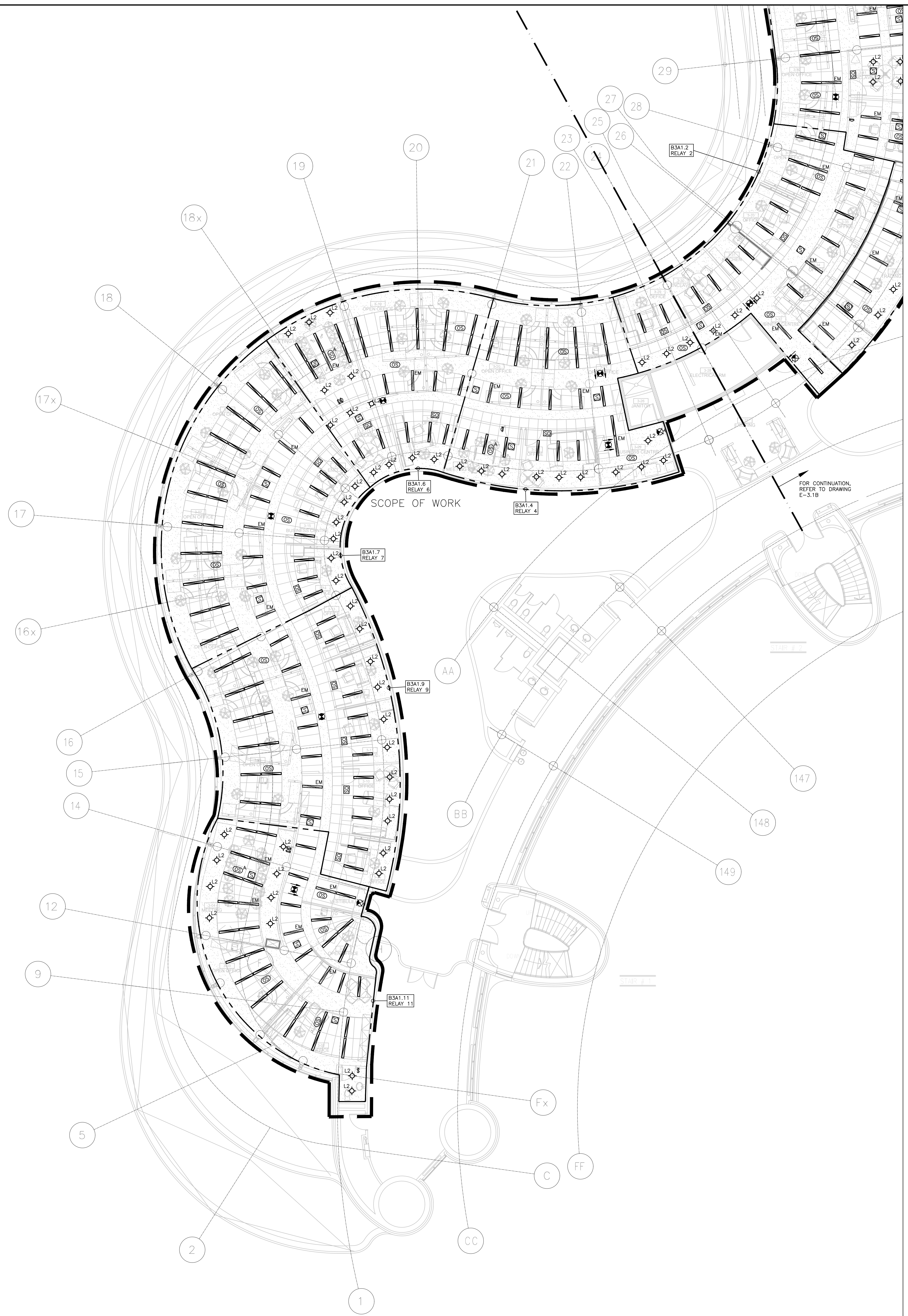
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

LEVEL 3 – KEY PLAN

SHEET NUMBER:

□ -3.0



- GENERAL NOTES:
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 2. CIRCUITING IN PART IS DIAGNOSTIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
 3. REFER TO LIGHTING LAYOUT SHOW FOR FINAL LOCATION ONLY. VISIT THE SITE AND COORDINATE EXACT QUANTITY OF LIGHTING LUMINAIRES TO BE NEW, RELOCATED AND/OR RETAINED IN EXISTING LOCATION. PROVIDE NEW LUMINAIRES TO MATCH EXISTING WHERE INSUFFICIENT QUANTITY EXIST TO SUIT. ALL RELOCATED LUMINAIRES SHALL HAVE WIRING EXTENDED TO SUIT NEW LOCATION. OFFER ALL UNUSED EXISTING LUMINAIRES TO THE REGION AND TURN OVER ALL SELECTED LUMINAIRES AT A PLACE DESIGNATED BY THE REGION. DISPOSE OF ALL LUMINAIRES REJECTED BY THE REGION.
 4. ALL NEW/RELOCATED BASE BUILDING STANDARD LUMINAIRES AND NEW RECESSED DOWN LIGHTS SHALL BE DOWN HUNG AND SUPPORTED FROM THE CEILING ABOVE. PROVIDE LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
 5. REWORK EXISTING EMERGENCY LIGHTING TO ACHIEVE NEW EMERGENCY LIGHTING AS SHOWN. CONDUCT NEW AND/OR RELOCATED LUMINAIRES TO NEAREST EMERGENCY LIGHTING CIRCUITS ON THIS FLOOR. IF NEW EMERGENCY BRANCH CIRCUITS ARE REQUIRED FOR EMERGENCY LIGHTING AND EXISTING EMERGENCY LIGHTING PANEL IS LOCATED ON A DIFFERENT STOREY (4+ NOT LOCATED ON SAME FLOOR), THEN NEW BRANCH CIRCUIT WIRING SHALL BE 2-HOUR FIRE RATED (4+ M CABLE) TO FIRST EMERGENCY LIGHT FID. IF EXISTING EMERGENCY LIGHTING PANEL IS LOCATED ON THE SAME STOREY, THE NEW BRANCH CIRCUIT WIRING DOES NOT NEED TO BE FIRE RATED. PROVIDE LOCK-ON BREAKERS TO SUIT.
 6. MEASURE THE ILLUMINATION OF THE FLOOR AT NIGHT WITH EMERGENCY LIGHTING ON ONLY, AND SEND A DRAWING SHOWING THE MAXIMUM AND MINIMUM LEVELS OF ILLUMINATION, TO THE CONSULTING ENGINEER FOR REVIEW. PROVIDE WRITTEN CONFIRMATION THAT EMERGENCY LIGHTING HAS BEEN INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND LATEST EDITION OF THE ONTARIO BUILDING CODE SECTIONS 3.2.7.3 AND 3.2.7.4. LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
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 8. LOCATE AND POSITION EXIT SIGNS SUCH THAT THEY DO NOT INTERFERE WITH ADJACENT EXIT SIGNS AND EMERGENCY LIGHTING COVERAGE.
 9. ALL MODIFICATIONS TO FIRE ALARM SYSTEM AND DEVICES TO BE COMPLETED BY BASE BUILDING FIRE ALARM CONTRACTOR AND VENDOR/MANUFACTURER. BASE BUILDING FIRE ALARM CONTRACTOR/VENDOR/MANUFACTURER IS RESPONSIBLE TO ENSURE THAT ALL ADDITIONAL COMPONENTS (MATERIAL, SOFTWARE, INCLUDING ANY LABOUR TO INSTALL OR MODIFY FIRE ALARM DEVICES) ARE PROVIDED FOR BASED ON ISSUED DRAWINGS. ELECTRICAL CONTRACTOR TO ALLOW FOR ALL ASSOCIATED COSTS. NEW FIRE ALARM SPEAKER/STROBES ARE TO MATCH EXISTING AND BE CONNECTED TO NEAREST AVAILABLE SPARE EMERGENCY ZONE CIRCUIT(S). CONNECT NEW SPEAKER/STROBES TO EXISTING CIRCUITS, WHERE THERE IS SUFFICIENT CAPACITY ON RESPECTIVE CIRCUITS. IF THERE IS NO CAPACITY ON EXISTING CIRCUITS, PROVIDE NEW FIRE ALARM CIRCUITS. ALLOW FOR ALL ASSOCIATED COSTS INCLUDING BUT NOT LIMITED TO ASSOCIATED EQUIPMENT, DEVICES, PROGRAMMING, TESTING AND VERIFICATION TO MAKE SYSTEM OPERATIONAL AND CODE COMPLIANT. ALL FIRE ALARM VERIFICATION SHALL CONFORM TO CAN/ULC-524 LATEST EDITION. FIRE ALARM SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH CAN/ULC-524 LATEST EDITION. INCLUDE IN THE COST TO PROVIDE TWO (2) ADDITIONAL FIRE ALARM SPEAKERS AND ONE (1) ADDITIONAL AUDIBILITY VERIFICATION.
 10. ENSURE THAT ALL LIGHTING FIXTURES ARE CLEAN AND ILLUMINATED BY END OF PROJECT.
 11. REWORK EXISTING SWITCHING TO ACCOMMODATE THE NEW LIGHTING LAYOUT WITHIN THE TENANT SPACE.
 12. THE ELECTRICAL CONTRACTOR SHALL PROVIDE POWER EXTENDERS ON ALL DIMMERS AS REQUIRED. REFER TO SPECIFICATIONS FOR DETAILS ON DIMMER PATHS.
 13. REUSE EXISTING CIRCUIT FOUND IN CEILING SPACE FOR ALL NEW LIGHTING FIXTURES UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE ADDITIONAL CIRCUITS WHERE REQUIRED. NEW LOW VOLTAGE SWITCH ARRANGEMENT OF LIGHTING TO BE CO-ORDINATED WITH THE REGION AND REARRANGED TO SUIT NEW LAYOUT. ALL LIGHTING, EXCLUDING EMERGENCY, WITHIN THE TENANT PREMISES TO BE ON A SEPARATE LIGHTING ZONE AND TO BE CONTROLLED BY BASE BUILDING LIGHTING CONTROL SYSTEM. PROVIDE ALL NECESSARY RELAYS, CONTROLLERS, RELAY PANELS, AND I/O INTERFACES REQUIRED FOR SUCH CONTROL. INCLUDE COST IN THIS CONTRACT.
 14. PROVIDE NEW LUMINAIRE DISCONNECTS THAT COMPLY WITH REQUIREMENTS SPECIFIED IN OBCS (PART 1, RULE 30-100-6) LATEST EDITION FOR ALL LIGHT FIXTURES THAT EXCEED 120V SHOWN AS NEW AND/OR RELOCATED. ALL NEW AND RELOCATED FIXTURES (THAT EXCEED 120V) SHALL BE MARKED IN A CONSPICUOUS, LEGIBLE AND PERMANENT MANNER ADJACENT TO THE DISCONNECTING MEANS, IDENTIFYING THE SPECIFIC PURPOSE.
 15. LIGHTING FIXTURES IDENTIFIED AS EMERGENCY ARE TO BE CONNECTED SO THAT UNDER NORMAL CONDITIONS THEY WORK IN CONJUNCTION WITH THE SWITCHING AS IDENTIFIED. IN THE EVENT OF AN EMERGENCY, THESE LIGHTS ARE TO BE FORCED ON WITH THE USE OF A UL-524 LISTED RELAY UPON POWER FAILURE. THE RELAY IS TO ACTIVATE THE LIGHTS TO FULL BRIGHTNESS. REFER TO DETAIL 10/E-0.3 FOR REQUIREMENTS.
 16. COORDINATE INSTALLATION OF FIXTURES WITH MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, SPRINKLERS AND DUCT WORK WITH OTHER TRADES PRIOR TO WORK COMMENCING.
 17. ALL CEILING MOUNTED OCCUPANCY SENSORS PROVIDED AS PART OF THIS SCOPE OF WORK MUST BE LOCATED AT LEAST 6" AWAY FROM ANY SUPPLY AIR DIFFUSER AND RETURN AIR GRILLE AS PER MANUFACTURER'S RECOMMENDATION. COORDINATE INSTALLATION ON SITE WITH MECHANICAL CONTRACTOR PRIOR TO COMMENCING WORK.

DRAWING NOTES:

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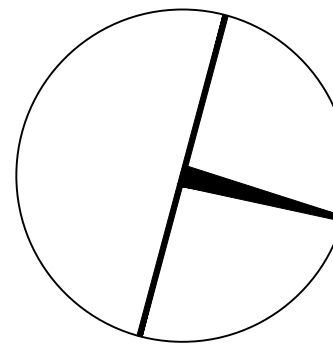
Smith + Andersen

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DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
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SCALE: 1:100

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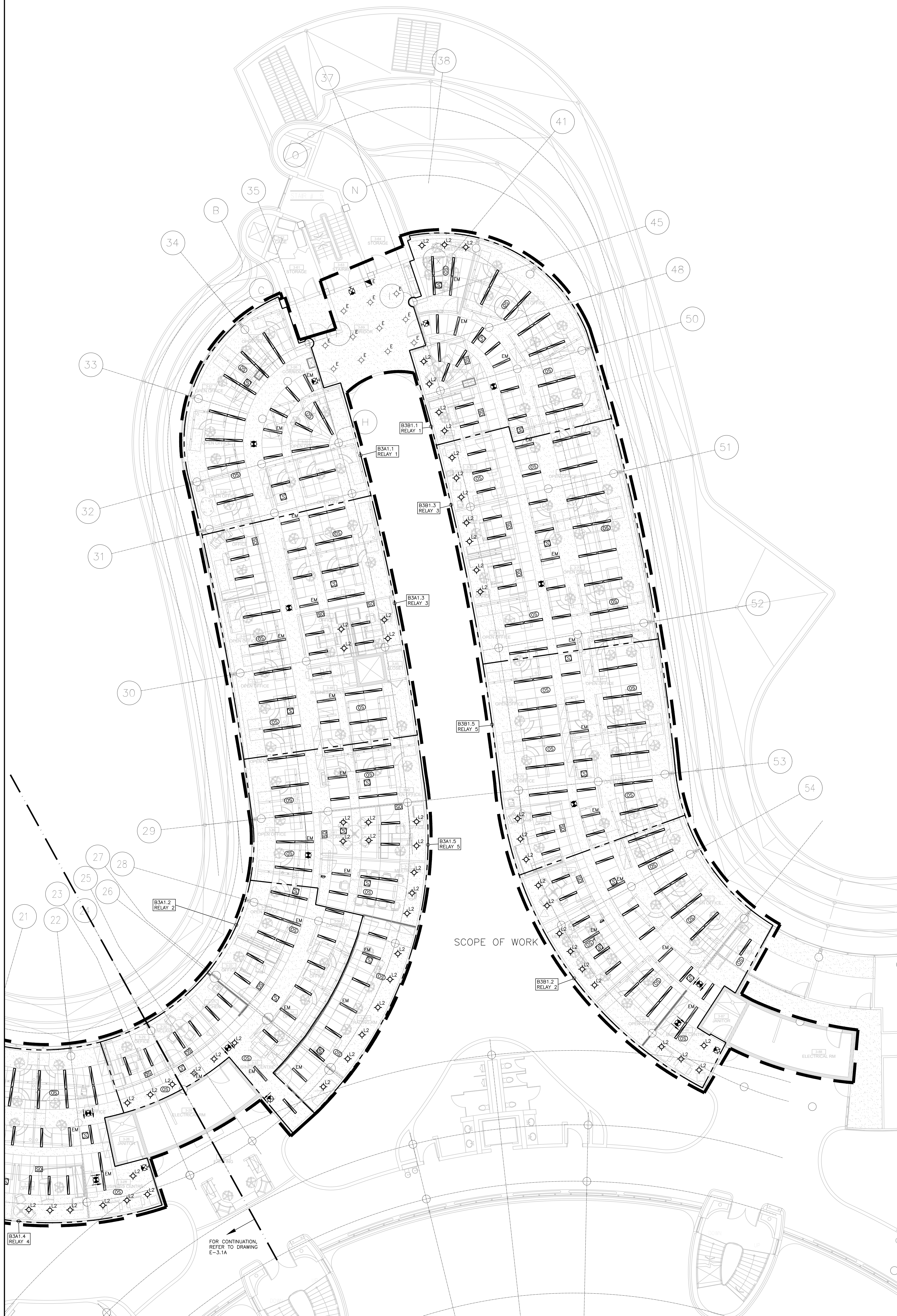
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL LEVEL 3 –
LIGHTING AND FIRE
ALARM LAYOUT (PART A)

SHEET NUMBER:

□-3.1A



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DRAWING NOTES:

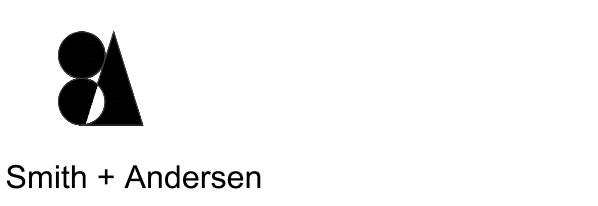
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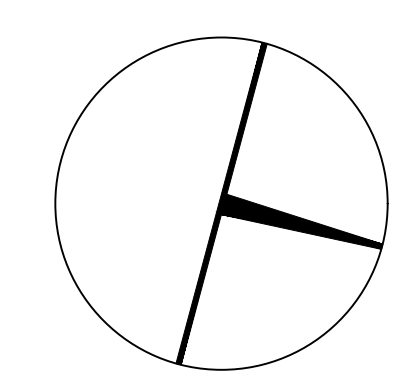


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YORK REGION

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SCALE:	1:100
DRAWN BY:	AS
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

PARTIAL LEVEL 3 –
LIGHTING AND FIRE
ALARM LAYOUT (PART B)

SHEET NUMBER:

-3.1B



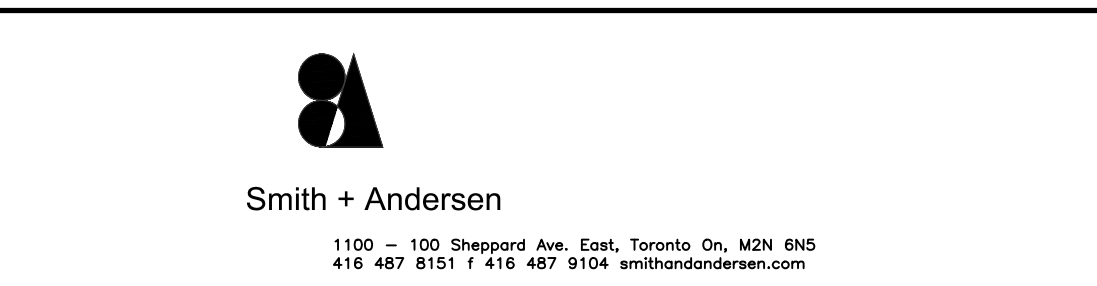
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1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION DETAILS, FINISHES AND COLOURS.
 2. CIRCUITING IN PART IS DIAGRAMMATIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
 3. PROVIDE EXIT CONDUIT IN AREAS WITH EXPOSED CEILING. EX CABLEING IS NOT ACCEPTABLE UNLESS OTHERWISE NOTED. EX CABLES MAY BE USED FOR FINAL CONNECTIONS TO LIGHTING FIXTURES OR EQUIPMENT WITH A MAXIMUM HORIZONTAL RUN LENGTH OF 3 FEET / 1 METER. PAINT CONDUITS TO MATCH ARCHITECTURAL BACKGROUNDS. MOUNT EXIT SIGNS, OCCUPANCY SENSORS, EXIT SIGNS, CAMERAS, WAPs AND ALL OTHER CEILING MOUNTED DEVICES WITH STEMS SUCH THAT THEY ARE ON THE SAME PLANE AS SUSPENDED LIGHTING FIXTURES. COORDINATE CEILING AND WALL HEIGHTS WITH INTERIOR DESIGNER DRAWINGS.
 4. REUSE CIRCUITS OBTAINED THROUGH DEMOLITION IS ACCEPTABLE.
 5. CIRCUITS HAVE BEEN RE-ASSIGNED BASED ON AS BUILT DRAWINGS. VERIFY ACCURACY AND INFORM CONSULTANT OTHERWISE.
 6. VERIFY EXACT POWER REQUIREMENTS AND RECEPTACLE TYPES FOR SPECIAL EQUIPMENT WITH MANUFACTURER PRIOR TO INSTALLATION. PROVIDE HARDWARE CONNECTIONS FOR DISHWASHERS AND COFFERS ETC. IN LIEU OF RECEPTACLES OR VICE VERSA, AS REQUIRED.
 7. REFER TO ARCHITECT'S DRAWINGS FOR THE COLOUR OF COVERPLATES AND MOUNTING HEIGHTS.
 8. MARK UP OUTLET AND DEVICE LOCATIONS AND OBTAIN APPROVAL BY DESIGN CONSULTANT PRIOR TO INSTALLATION.
 9. PROVIDE SUITABLE LABELS ON ALL RECEPTACLES, SYSTEM FURNITURE FEEDS, AND FAN COIL UNITS. LABELS TO INCLUDE BOTH PANEL AND CIRCUIT DESIGNATION. REVIEW LABEL SIZE AND TYPE WITH CONSULTANT PRIOR TO INSTALLATION.
 10. TRACE ALL EXISTING OUTLETS, NOTED AS EXISTING, AND IDENTIFY ON AS BUILT DRAWING AS PER SPECIFICATION.
 11. ALLOW FOR THE REMOVAL AND RE-INSTALLATION OF SYSTEMS FURNITURE CONNECTIONS.
 12. CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATION OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AND CONTRACTOR PRIOR TO ROUGH-INS.
 13. ROUTE ALL CONDUIT SYSTEMS AROUND DUCT WORK, BEAMS AND PIPING AS REQUIRED TO ACCOMMODATE LAYOUT SHOWN. REFER TO MECHANICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.

- DRAWING NOTES:
- (C-1) THE CONNECTRAC UNDER-CARPET RACEWAY SYSTEM SHALL CONSIST OF TWO (2) DUPLEX RECEPTACLES, PROVISION FOR DATA AND HDMI CABLEING AND OUTLETS. CONTRACTOR SHALL COORDINATE THE FINAL LOCATIONS OF CONNECTRAC FLOOR MOUNTED AND RACEWAY ROUTING WITH YORK REGION PRIOR TO INSTALLATION. (TYP.)
 - (C-2) MEETING ROOM TV WALL OUTLETS AT THE FLOOR LEVEL AND BEHIND THE TV SHALL BE ALIGNED VERTICALLY. COORDINATE MOUNTING HEIGHT AND LOCATION WITH YORK REGION PRIOR TO INSTALLATION. (TYP.)
 - (C-3) NOT USED.
 - (C-4) EXISTING WIRELESS ACCESS POINT TO REMAIN. (EXISTING MAP LOCATIONS ON DRAWINGS ARE APPROXIMATE). LABEL AND MAP OUT EACH MAP EXACT LOCATION PRIOR TO REMOVAL. THEN REMOVE AND REINSTALL WIRELESS ACCESS POINT AT THE SAME LOCATION AS REQUIRED.

- GENERAL NOTES:
1. CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK
 2. DRAWINGS ARE NOT TO BE SCALED
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4	2020-11-05	ISSUED FOR TENDER
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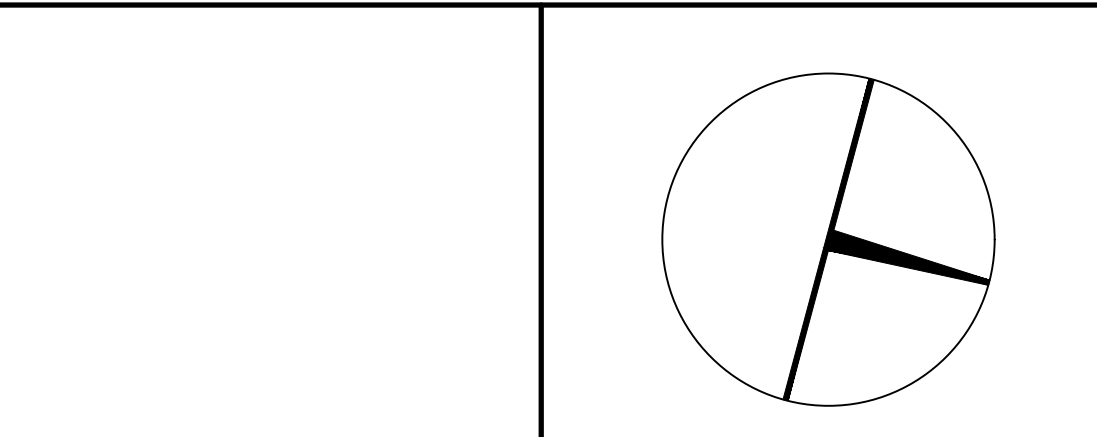
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PROJECT CONTACT

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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



York Region

PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

PROJECT # 14008.009

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

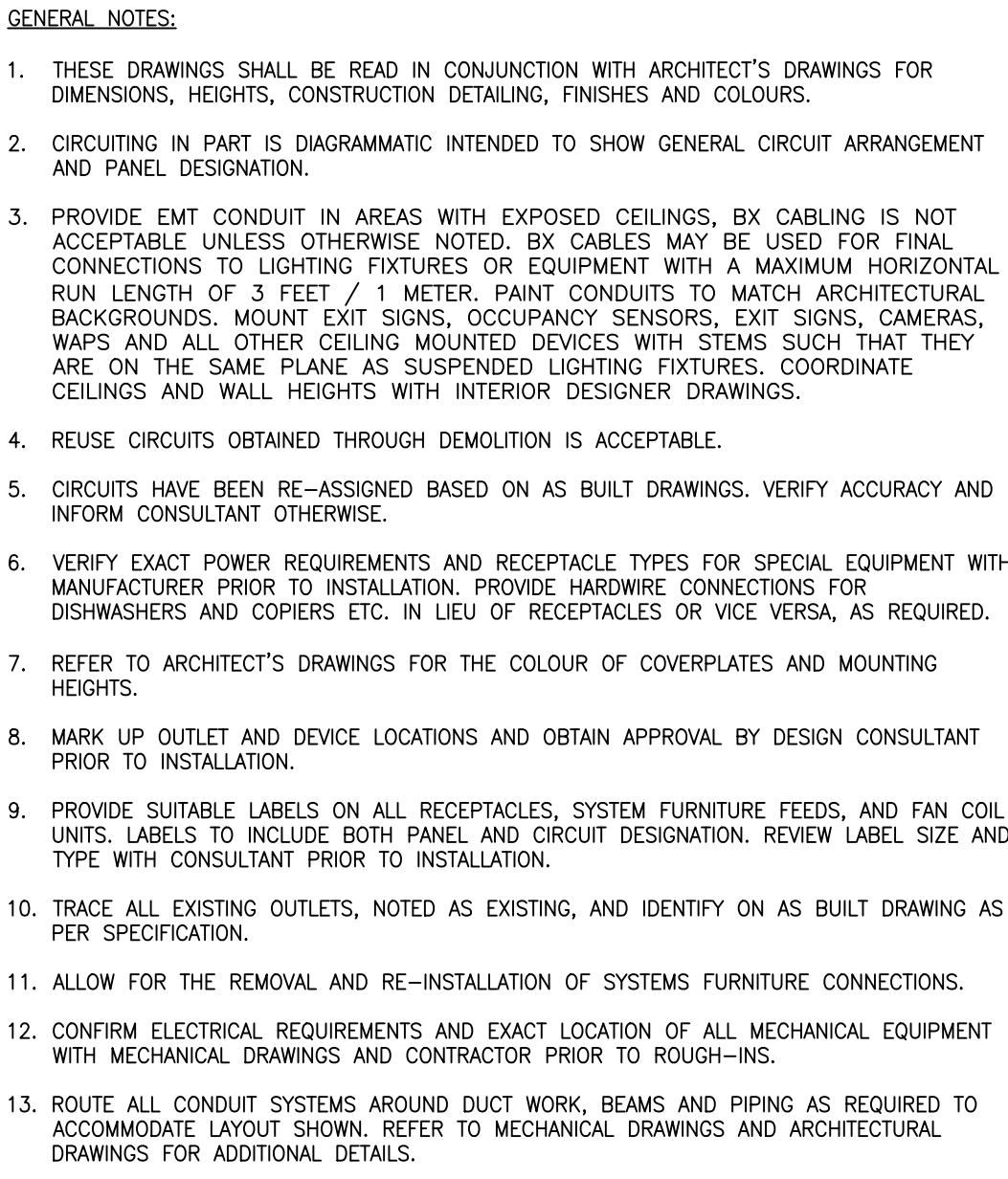
SCALE:	1:100
DRAWN BY:	AS
SUBMITTED TO:	MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL LEVEL 3 –
POWER AND SYSTEMS
LAYOUT (PART A)

SHEET NUMBER:

□-3.□A



DRAWING NOTES:

(N-1) THE CONNECTICUT UNDER-CARPET RACEWAY SYSTEM SHALL CONSIST OF TWO (2) DUPLEX RECEPTABLES, PROVISION FOR DATA AND HOWI CARBUNG AND OUTLETS. CONTRACTOR SHALL COORDINATE THE FINAL LOCATIONS OF CONNECTICUT FLOOR MOUNT AND RACEWAY ROUTING WITH YORK REGION PRIOR TO INSTALLATION. (TYP.)

(N-2) MEETING ROOM T1 WALL OUTLETS AT THE FLOOR LEVEL AND BEHIND THE TV SHALL BE COORDINATELY COORDINATE MOUNTING HEIGHT AND LOCATION WITH YORK REGION PRIOR TO INSTALLATION. (TYP.)

(N-3) NOT USED.

(N-4) EXISTING WIRELESS ACCESS POINT TO REMAIN. (EXISTING WAP LOCATIONS ON DRAWINGS ARE APPROXIMATE). LABEL AND WAP OUT EACH WAP EXACT LOCATION PRIOR TO REMOVAL. THEN REMOVE AND REINSTALL WIRELESS ACCESS POINT AT THE SAME LOCATION AS REQUIRED.

GENERAL NOTES:

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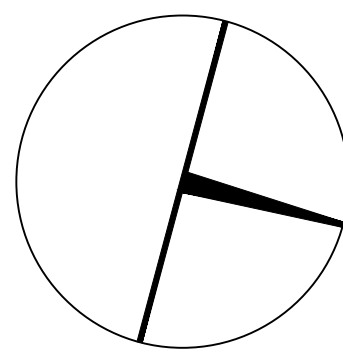
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PROJECT CONTACT

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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

PROJECT # 14008.009

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100

DRAWN BY: AS

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

PARTIAL LEVEL 3 –
POWER AND SYSTEMS
LAYOUT (PART B)

SHEET NUMBER

 - 3. B




- GENERAL NOTES:
1. REFER TO THE ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
 2. REMOVE ALL LIGHTING EQUIPMENT, CABLING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
 3. HOUSING FOR DEMO'D LINEAR FIXTURES SHALL BE RE-USED FOR TYPE L1 LIGHTING. REFER TO DRAWINGS E-3.1A AND E-3.1B FOR NEW LOCATIONS.
 4. REMOVE ALL ASSOCIATED CONDUITS(S) AND WIRE BACK TO SOURCE. MAKE GOOD ALL FLOOR PENETRATIONS TO COMPLY WITH CURRENT LOCAL APPLICABLE CODES.
 5. ENSURE THAT ALL EXISTING ELECTRICAL DEVICES, EQUIPMENT AND LIGHTING WITHIN BASE BUILDING ROOMS, STAIRWELLS AND AREAS DEEMED NOT IN SCOPE, REMAIN LIVE, OPERATIONAL, ISOLATED AND PROTECTED DURING CONSTRUCTION.
 6. NO ADDITIONAL COST WILL BE APPROVED FOR ANY REVISIONS/MODIFICATIONS REQUIRED BY ANY TRADE OR CONTRACTOR DUE TO THE LACK OF COORDINATION BETWEEN TRADES AND CONTRACTORS.
 7. COORDINATE WITH GENERAL CONTRACTOR AND THE REGION FOR DISPOSAL OF ALL MATERIALS FROM SITE.
- DRAWING NOTES:
- (N) COORDINATE WITH YORK REGION SECURITY REPRESENTATIVE FOR THE REMOVE OF EXISTING PANIC ALARM BLUE BEACONS. (TYP.)

- GENERAL NOTES:
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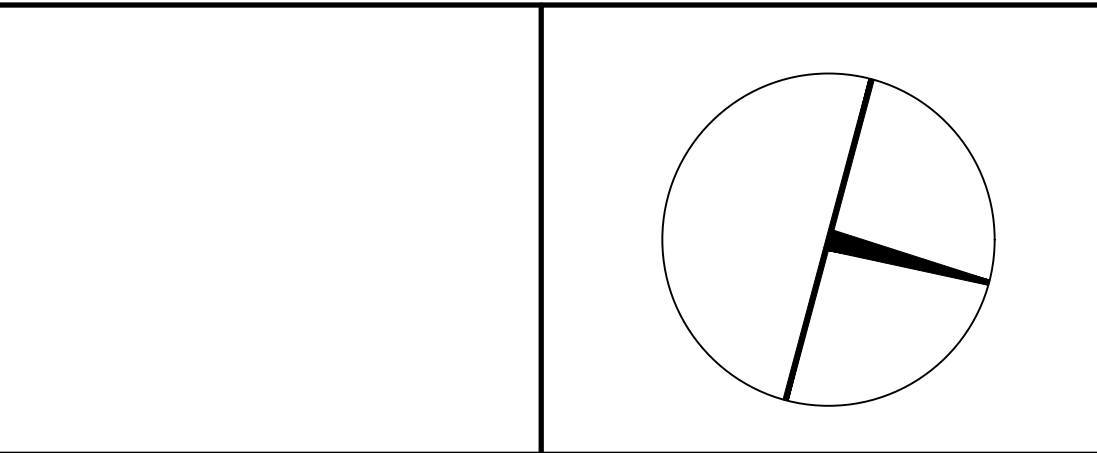
PROJECT CONTACT


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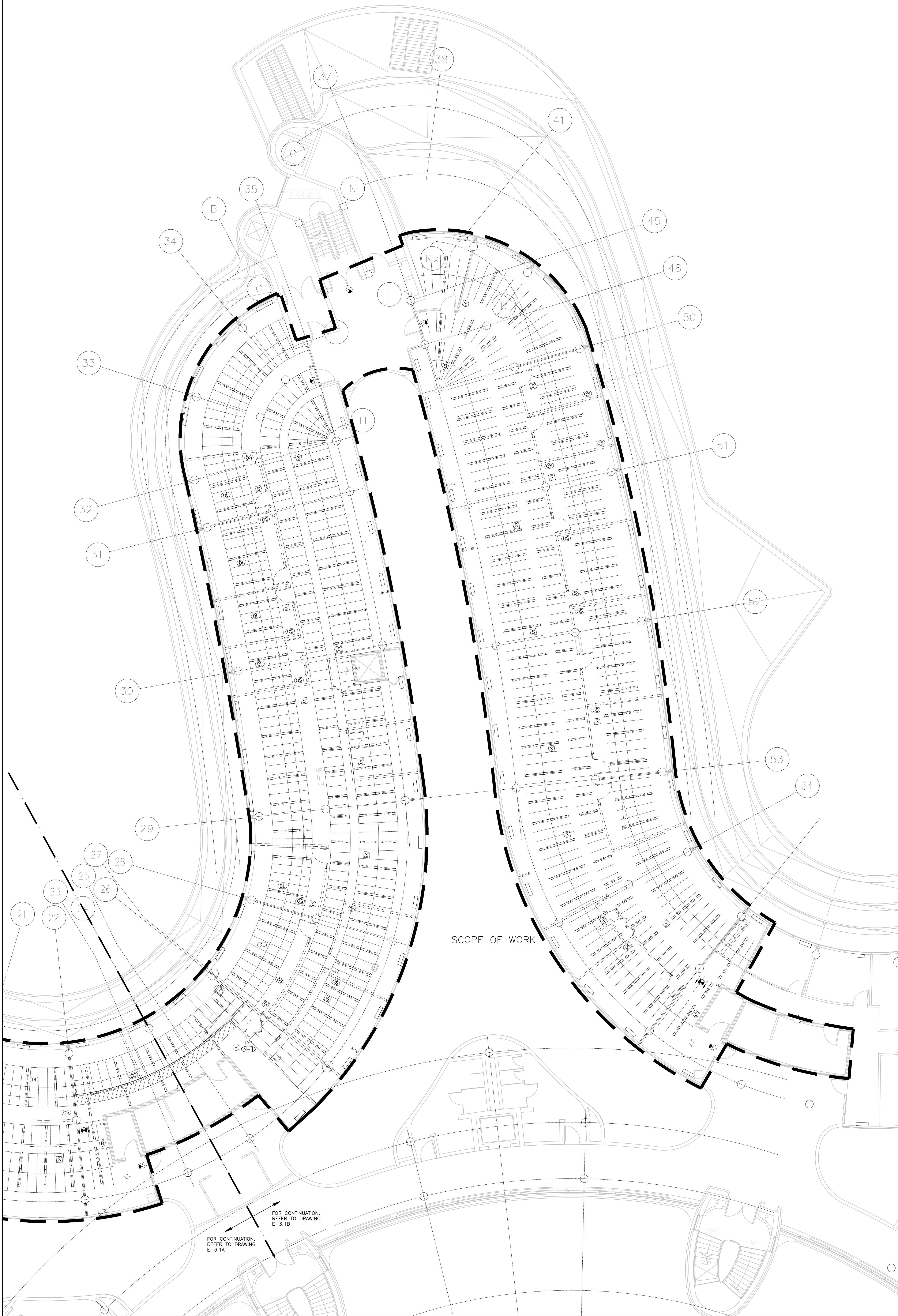


YORK REGION

PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	PROJECT # 14008.009 YORK REGION Administrative Centre 17250 Yonge Street Newmarket, Ontario

SCALE:	1:100
DRAWN BY:	AS
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	PARTIAL LEVEL 3 – CEILING DEMOLITION LAYOUT (PART A)
SHEET NUMBER:	-3.3A

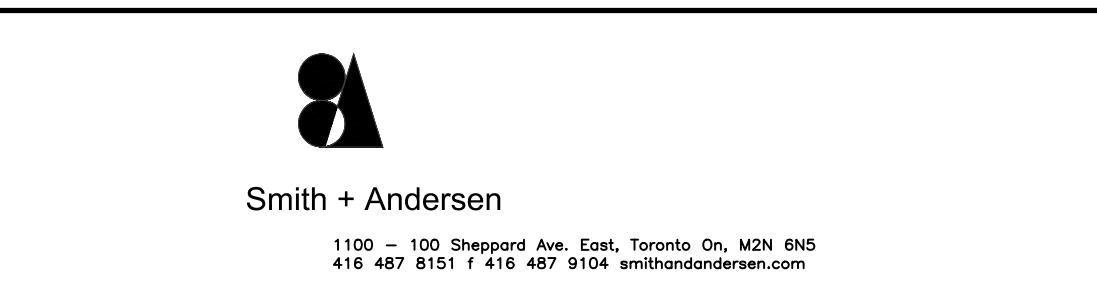


- GENERAL NOTES:
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 2. REMOVE ALL LIGHTING EQUIPMENT, CABLEING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
 3. HOUSING FOR DEMO'D LINEAR FIXTURES SHALL BE RE-USED FOR TYPE L1 LIGHTING. REFER TO DRAWINGS E-3.1A AND E-3.1B FOR NEW LOCATIONS.
 4. REMOVE ALL ASSOCIATED CONDUITS(S) AND WIRE BACK TO SOURCE. MAKE GOOD ALL FLOOR PENETRATIONS TO COMPLY WITH CURRENT LOCAL APPLICABLE CODES.
 5. ENSURE THAT ALL EXISTING ELECTRICAL DEVICES, EQUIPMENT AND LIGHTING WITHIN BASE BUILDING ROOMS, STAIRWELLS AND AREAS DEEMED NOT IN SCOPE, REMAIN LIVE, OPERATIONAL, ISOLATED AND PROTECTED DURING CONSTRUCTION.
 6. NO ADDITIONAL COST WILL BE APPROVED FOR ANY REVISIONS/MODIFICATIONS REQUIRED BY ANY TRADE OR CONTRACTOR DUE TO THE LACK OF COORDINATION BETWEEN TRADES AND CONTRACTORS.
 7. COORDINATE WITH GENERAL CONTRACTOR AND THE REGION FOR DISPOSAL OF ALL MATERIALS FROM SITE.
- DRAWING NOTES:
- (N) COORDINATE WITH YORK REGION SECURITY REPRESENTATIVE FOR THE REMOVE OF EXISTING PANIC ALARM BLUE BEACONS. (TYP.)

- GENERAL NOTES:
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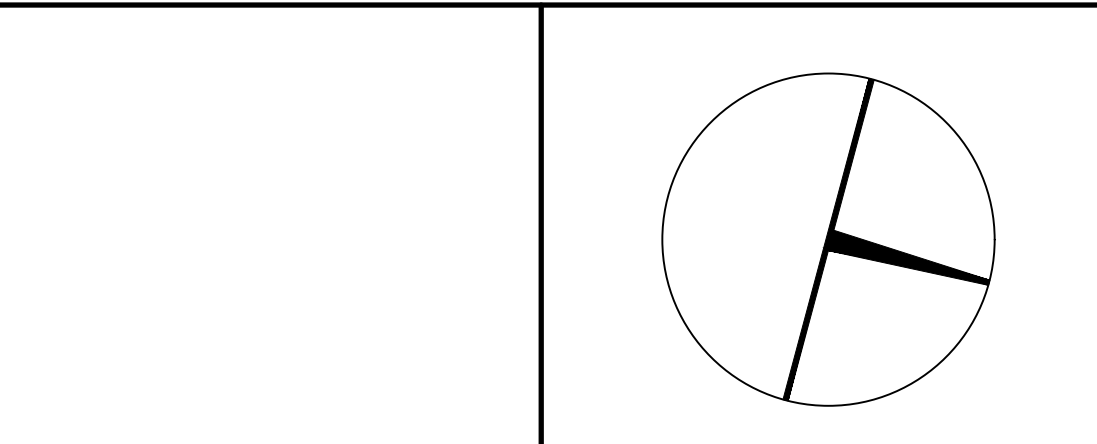
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PROJECT CONTACT

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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

PROJECT # 14008.009

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	1:100
DRAWN BY:	AS
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

PARTIAL LEVEL 3 –
CEILING DEMOLITION
LAYOUT (PART B)

SHEET NUMBER:
-3.3B

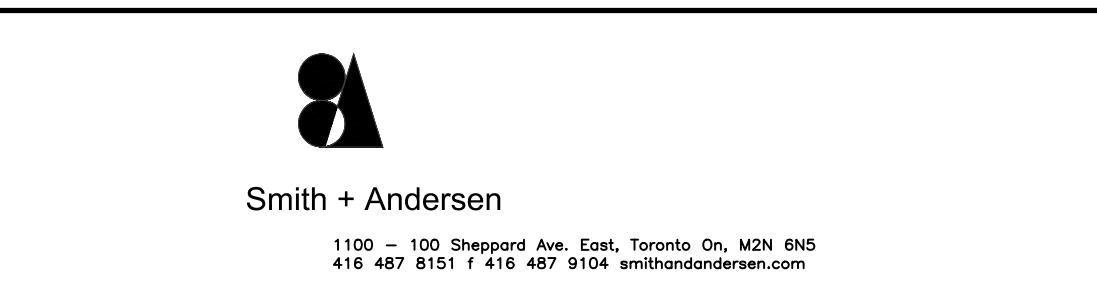


- GENERAL NOTES:
1. REFER TO THE ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
 2. REMOVE ALL FLOOR, COLUMN, CEILING, AND WALL MOUNTED POWER, TELEPHONE/DATA, OUTLETS, AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
 3. REMOVE ALL HORIZONTAL DATA/VOICE CABLEING.
 4. EXISTING COMMUNICATION FIBRE CABLES AND COMMUNICATION MULTIPAIR COPPER CABLES TO REMAIN AS IS.
 5. MAKE GOOD ALL CORE HOLES FROM ELECTRICAL EQUIPMENT AND DEVICES DISCONNECTED, RELOCATED AND OR REMOVED IN THIS PROJECT.
 6. REMOVE FLOOR MONUMENTS AND ALL ASSOCIATED CONDUITS AND WIRE BACK TO SOURCE. MAKE GOOD ALL FLOOR PENETRATIONS TO COMPLY WITH CURRENT LOCAL APPLICABLE CODES.
 7. ENSURE THAT ALL EXISTING ELECTRICAL DEVICES, EQUIPMENT AND LIGHTING WITHIN BASE BUILDING ROOMS, STAIRWELLS AND AREAS DEEMED NOT IN SCOPE, REMAIN LIVE, OPERATIONAL, ISOLATED AND PROTECTED DURING CONSTRUCTION.
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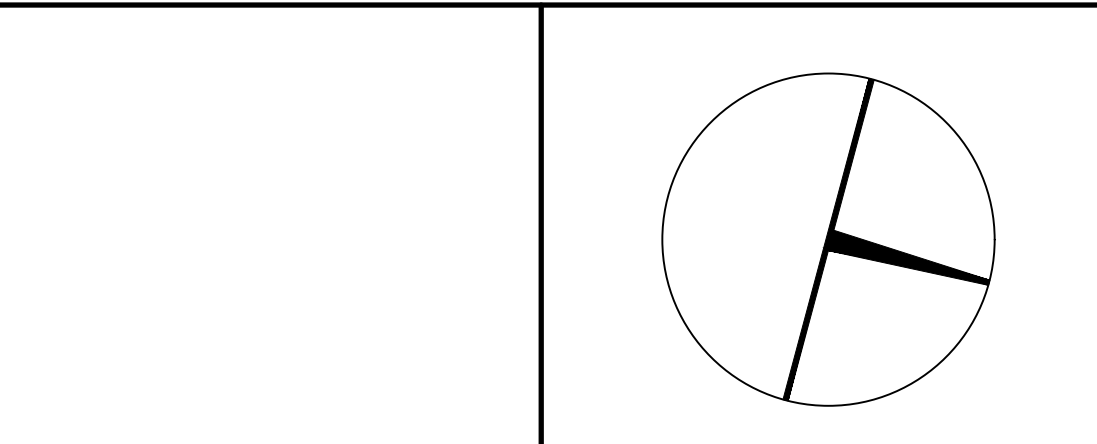
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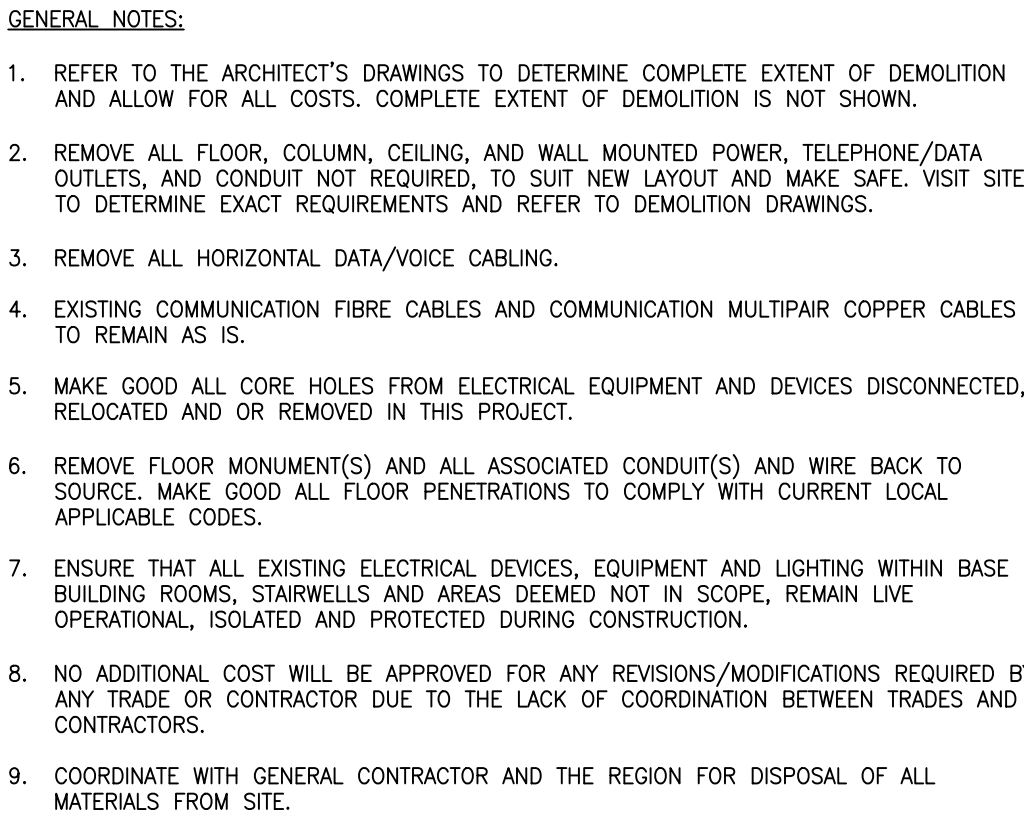
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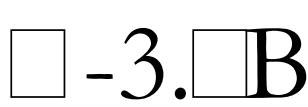
SCALE:	1:100
DRAWN BY:	AS
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

PARTIAL LEVEL 3 –
POWER DEMOLITION
LAYOUT (PART A)

SHEET NUMBER:
□-3.□A



- | SUBMISSION | DATE | DESCRIPTION |
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| | | |
| 4 | 2020-11-05 | ISSUED FOR TENDER |
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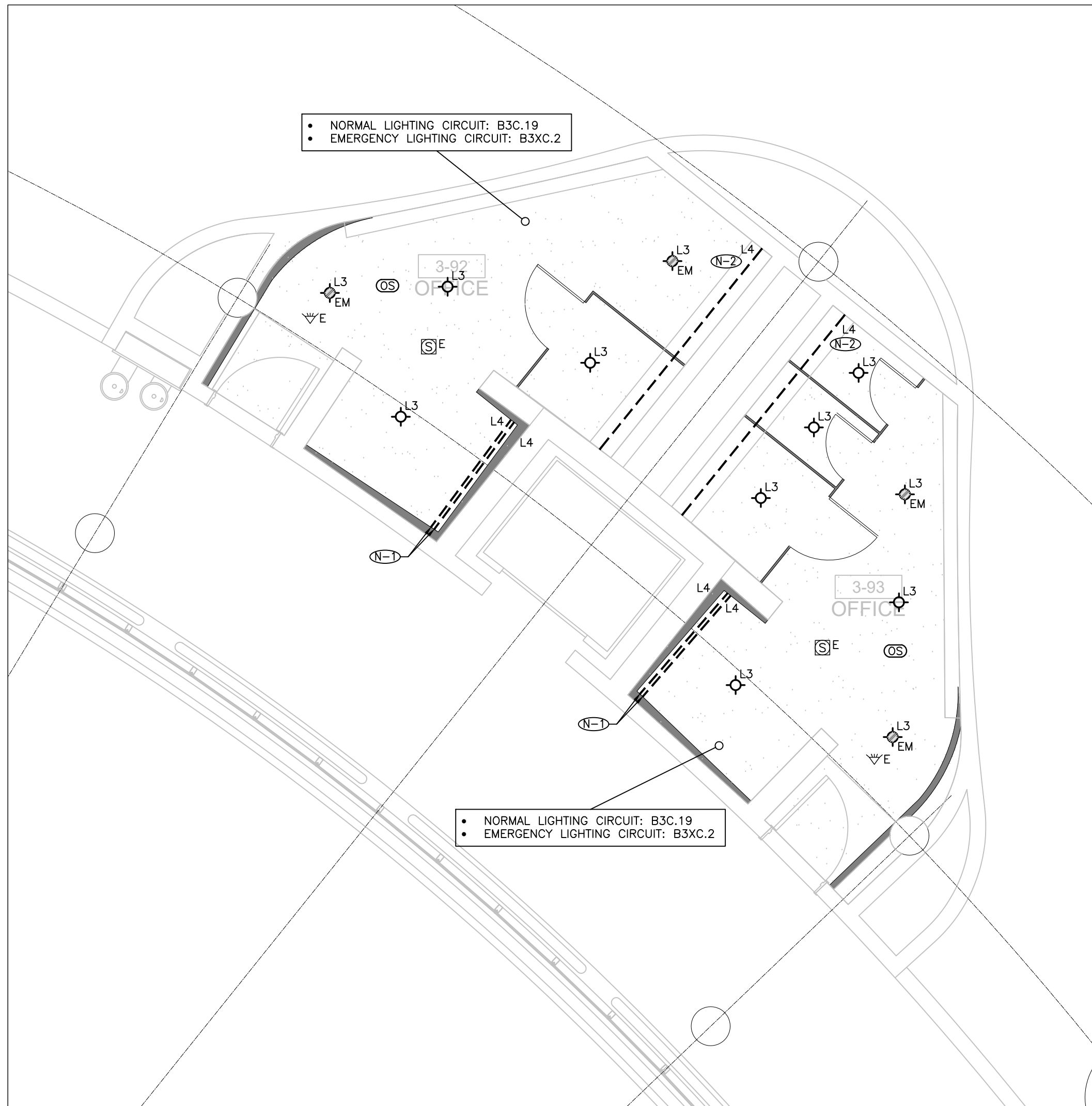




3 LEVEL 3 CEILING PLAN – W/R'S 3-88 & 3-89
E-3.5 SCALE: 1:50



2 LEVEL 3 CEILING PLAN – W/R'S 3-90 & 3-91
E-3.5 SCALE: 1:50



1 LEVEL 3 CEILING PLAN – W/R'S 3-92 & 3-93
E-3.5 SCALE: 1:50

- GENERAL NOTES:
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION, DETAILING, FINISHES AND COLOURS.
 - CIRCUITING IN PART IS DIAGRAMMATIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
 - RE-USE CIRCUITS OBTAINED THROUGH DEMOLITION.
 - ALL NEW LED LUMINAIRES SHALL BE CHAIN HUNG AND SUPPORTED FROM THE SLAB ABOVE. PROVIDE LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
 - REWORK EXISTING EMERGENCY LIGHTING TO ACHIEVE NEW EMERGENCY LIGHTING AS SHOWN. CONNECT NEW AND/OR RELOCATED LUMINAIRES TO NEAREST EMERGENCY LIGHTING CIRCUITS ON THIS FLOOR. IF NEW EMERGENCY BRANCH CIRCUITS ARE REQUIRED FOR EMERGENCY LIGHTING AND EXISTING EMERGENCY LIGHTING PANEL IS LOCATED ON A DIFFERENT STOREY (i.e. NOT LOCATED ON SAME FLOOR), THEN NEW BRANCH CIRCUIT WIRING SHALL BE 2-HOUR FIRE RATED (i.e. IN CABLE) TO FIRST EMERGENCY LIGHT FED. IF EXISTING EMERGENCY LIGHTING PANEL IS LOCATED ON THE SAME STOREY, THE NEW BRANCH CIRCUIT WIRING DOES NOT NEED TO BE FIRE RATED. PROVIDE LOCK-ON BREAKERS TO SUIT.
 - MEASURE THE ILLUMINATION ON THE FLOOR AT NIGHT WITH EMERGENCY LIGHTING ON ONLY, AND SEND A DRAWING SHOWING THE MAXIMUM AND MINIMUM LEVEL OF ILLUMINATION TO THE CONSULTING ENGINEER, FOR REVIEW. PROVIDE WRITTEN CONFIRMATION THAT EMERGENCY LIGHTING HAS BEEN INSTALLED IN ACCORDANCE WITH CONTRACT DOCUMENTS AND LATEST EDITION OF THE ONTARIO BUILDING CODE SECTIONS 3.2.7.3 AND 3.2.7.4. LETTER TO BE INCLUDED AS PART OF CLOSE-OUT DOCUMENT SUBMITTAL PACKAGE.
 - ALL MODIFICATIONS TO FIRE ALARM SYSTEM AND DEVICES TO BE COMPLETED BY BASE BUILDING FIRE ALARM CONTRACTOR AND VENDOR/MANUFACTURER. BASE BUILDING FIRE ALARM CONTRACTOR/VENDOR/MANUFACTURER IS RESPONSIBLE TO ENSURE THAT ALL ADDITIONAL COMPONENTS (MATERIAL, SOFTWARE, INCLUDING ANY LABOUR TO INSTALL OR MODIFY FIRE ALARM DEVICES) ARE INCLUDED FOR BASED ON ISSUED DRAWINGS. ELECTRICAL CONTRACTOR TO ALLOW FOR ALL ASSOCIATED COSTS. NEW FIRE ALARM SPEAKER/STROBES ARE TO MATCH EXISTING AND BE CONNECTED TO NEAREST AVAILABLE SPARE EMERGENCY ZONE CIRCUIT(S). CONNECT NEW SPEAKER/STROBES TO EXISTING CIRCUITS, WHERE THERE IS SPARE CAPACITY ON RESPECTIVE CIRCUITS. IF THERE IS NO CAPACITY ON EXISTING CIRCUITS, PROVIDE NEW FIRE ALARM CIRCUITS, ALLOW FOR ALL ASSOCIATED COSTS INCLUDING BUT NOT LIMITED TO: ASSOCIATED EQUIPMENT, DEVICES, PROGRAMMING, TESTING, AND VERIFICATION TO MAKE SYSTEM OPERATIONAL AND CODE COMPLIANT. ALL FIRE ALARM VERIFICATION SHALL CONFORM TO CAN/ULC-5537 LATEST EDITION. FIRE ALARM SYSTEM SHALL BE INSTALLED IN CONFORMANCE WITH CAN/ULC-5524 LATEST EDITION. INCLUDE IN THE COST TO PROVIDE TWO (2) ADDITIONAL FIRE ALARM SPEAKERS AND ONE (1) ADDITIONAL AUDIBILITY VERIFICATION.
 - ENSURE THAT ALL LIGHTING FIXTURES ARE CLEAN AND ILLUMINATED BY END OF PROJECT.
 - REUSE EXISTING CIRCUIT FOUND IN CEILING SPACE FOR ALL NEW LIGHTING FIXTURES UNLESS OTHERWISE NOTED. CONTRACTOR TO PROVIDE ADDITIONAL CIRCUITS WHERE REQUIRED. NEW LOW VOLTAGE SWITCH ARRANGEMENT OF LIGHTING TO BE CO-ORDINATED WITH THE REGION AND REARRANGED TO SUIT NEW LAYOUT. ALL LIGHTING, EXCLUDING EMERGENCY, WITHIN THE TENANT PREMISES TO BE ON A SEPARATE LIGHTING ZONE AND TO BE CONTROLLED BY BASE BUILDING LIGHTING CONTROL SYSTEM. PROVIDE ALL NECESSARY RELAYS, CONTACTORS, RELAY PANELS AND DRY INTERFACES REQUIRED FOR SUCH CONTROL. INCLUDE COST IN THIS CONTRACT.
 - COORDINATE INSTALLATION OF FIXTURES WITH MECHANICAL EQUIPMENT, ELECTRICAL EQUIPMENT, SPRINKLERS AND DUCT WORK WITH OTHER TRADES PRIOR TO WORK COMMENCING.
 - ALL CEILING MOUNTED OCCUPANCY SENSORS PROVIDED AS PART OF THIS SCOPE OF WORK MUST BE LOCATED AT LEAST 6" AWAY FROM ANY SUPPLY AIR DIFFUSERS AND RETURN AIR GRILLES AS PER MANUFACTURER'S RECOMMENDATION. COORDINATE INSTALLATION ON SITE WITH MECHANICAL CONTRACTOR PRIOR TO COMMENCING WORK.

- DRAWING NOTES:
- ONE (1) SECTION OF TYPE 'L3' LED COVE LIGHT TO RUN ABOVE AND BEHIND THE MIRROR, AND ONE (1) SECTION TO RUN BELOW AND BEHIND MIRROR FOR ACCENT LIGHTING. (TYP.)
 - PROVIDE ONE (1) 250VA, 34V-120V, 14 STEP DOWN TRANSFORMER INSTALLED IN THE CEILING SPACE FOR ALL THE TYPE 'L3' LED STRIP LIGHT (COVE AND MIRROR) 120V REMOTE DRIVER IN EACH WASHROOM. COORDINATE EXACT TRANSFORMER MOUNTING LOCATION ON SITE. (TYP.)
 - RE-USE CIRCUITS OBTAINED THROUGH DEMOLITION WHERE POSSIBLE. CIRCUITING SHOWN ON THE PLAN ARE FOR REFERENCE ONLY. INCLUDE IN THE COST TO UTILIZE TWIN BREAKERS WHERE NECESSARY DUE TO LIMITED BRANCH SPACE AVAILABLE ON THE EXISTING PANEL. (TYP.)

- GENERAL NOTES:
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 - DRAWINGS ARE NOT TO BE SCALED
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SUBMISSION	DATE	DESCRIPTION
4	2020-11-05	ISSUED FOR TENDER
3	2020-06-25	ISSUED FOR PERMIT/TENDER
2	2020-05-18	ISSUED FOR 90% REVIEW
1	2020-03-18	ISSUED FOR 60% REVIEW

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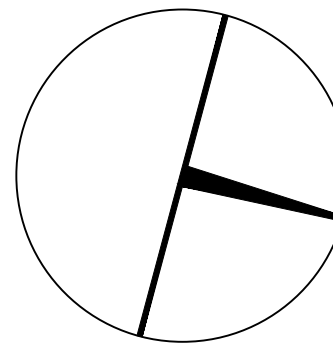


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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

PROJECT # 14008.009

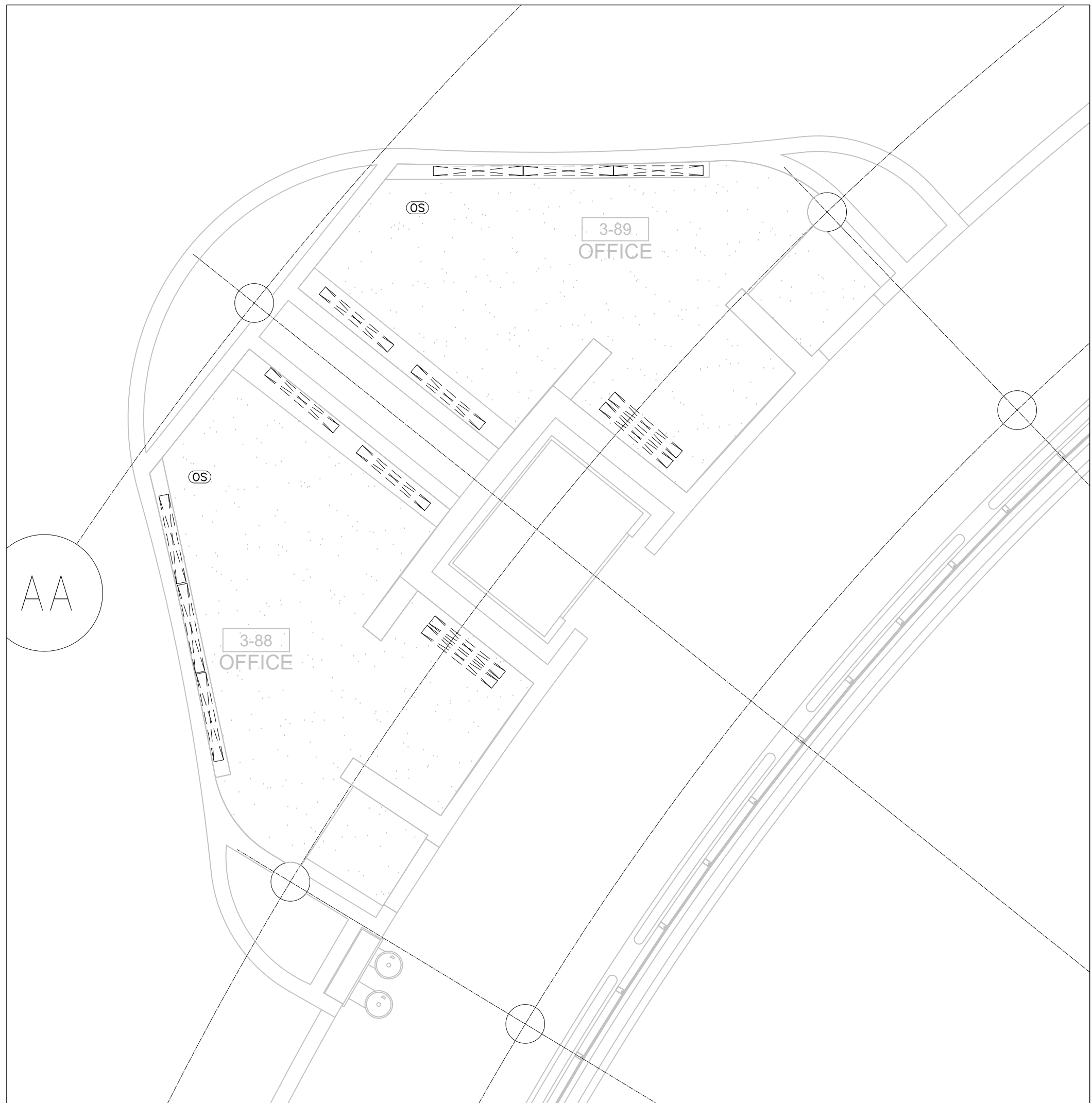
YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE:	AS SHOWN
DRAWN BY:	AS
SUBMITTED TO:	MUNICIPALITY OF YORK
SHEET TITLE:	

LEVEL 3 WASHROOMS –
LIGHTING AND FIRE
ALARM LAYOUT

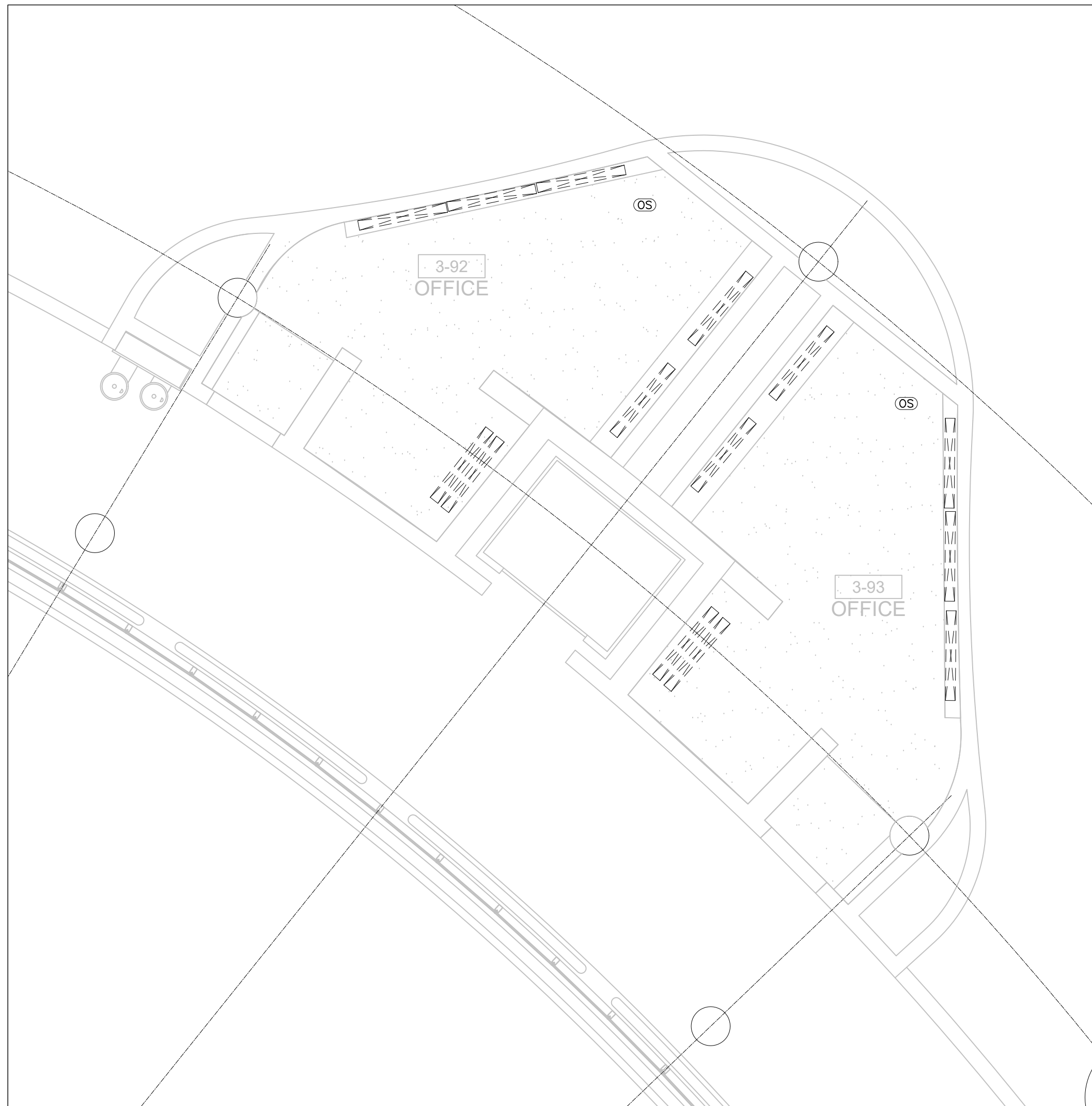
SHEET NUMBER:



3 LEVEL 3 CEILING DEMOLITION – W/R'S 3-88 & 3-89
E-3.7 SCALE: 1:50



2 LEVEL 3 CEILING DEMOLITION – W/R'S 3-90 & 3-91
E-3.7 SCALE: 1:50



1 LEVEL 3 CEILING DEMOLITION – W/R'S 3-92 & 3-93
E-3.7 SCALE: 1:50

- GENERAL NOTES:
1. REFER TO THE ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
 2. REMOVE ALL LIGHTING EQUIPMENT, CABLING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
 3. ENSURE THAT ALL EXISTING ELECTRICAL DEVICES, EQUIPMENT AND LIGHTING WITHIN BASE BUILDING ROOMS, STAIRWELLS AND AREAS DEEMED NOT IN SCOPE, REMAIN LIVE, OPERATIONAL, ISOLATED AND PROTECTED DURING CONSTRUCTION.
 4. NO ADDITIONAL COST WILL BE APPROVED FOR ANY REVISIONS/MODIFICATIONS REQUIRED BY ANY TRADE OR CONTRACTOR DUE TO THE LACK OF COORDINATION BETWEEN TRADES AND CONTRACTORS.
 5. COORDINATE WITH GENERAL CONTRACTOR AND THE REGION FOR DISPOSAL OF ALL MATERIALS FROM SITE.

GENERAL NOTES:

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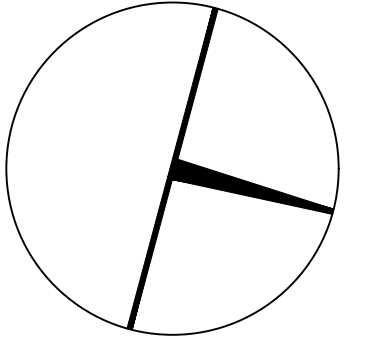
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THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.



YORK REGION
PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES
FLOOR: 003
BASE DATE: 03-01-2020

PROJECT:

PROJECT # 14008.009

YORK REGION
Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN
DRAWN BY: AS
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**LEVEL 3 WASHROOMS –
CEILING DEMOLITION
LAYOUT**

SHEET NUMBER:

□-3.□



3
E-3.8

LEVEL 3 DEMOLITION PLAN – W/R'S 3-88 & 3-89
SCALE: 1:50



2
E-3.8

LEVEL 3 DEMOLITION PLAN – W/R'S 3-90 & 3-91
SCALE: 1:50



1
E-3.8

LEVEL 3 DEMOLITION PLAN – W/R'S 3-92 & 3-93
SCALE: 1:50

- GENERAL NOTES:
1. REFER TO THE ARCHITECT'S DRAWINGS TO DETERMINE COMPLETE EXTENT OF DEMOLITION AND ALLOW FOR ALL COSTS. COMPLETE EXTENT OF DEMOLITION IS NOT SHOWN.
 2. REMOVE ALL FLOOR, COLUMN, CEILING, AND WALL MOUNTED POWER, TELEPHONE/DATA OUTLETS, CABLEING AND CONDUIT NOT REQUIRED, TO SUIT NEW LAYOUT AND MAKE SAFE. VISIT SITE TO DETERMINE EXACT REQUIREMENTS AND REFER TO DEMOLITION DRAWINGS.
 3. ENSURE THAT ALL EXISTING ELECTRICAL DEVICES, EQUIPMENT AND LIGHTING WITHIN BASE BUILDING ROOMS, STAIRWELLS AND AREAS DEEMED NOT IN SCOPE, REMAIN LIVE, OPERATIONAL, ISOLATED AND PROTECTED DURING CONSTRUCTION.
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 5. COORDINATE WITH GENERAL CONTRACTOR AND THE REGION FOR DISPOSAL OF ALL MATERIALS FROM SITE.

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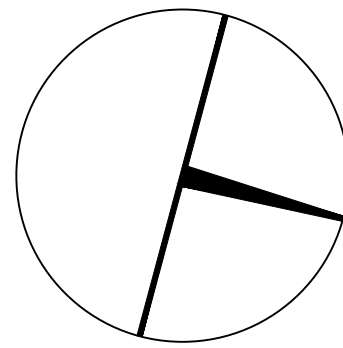


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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES
FLOOR: 003
BASE DATE: 03-01-2020

PROJECT:

PROJECT # 14008.009

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: AS

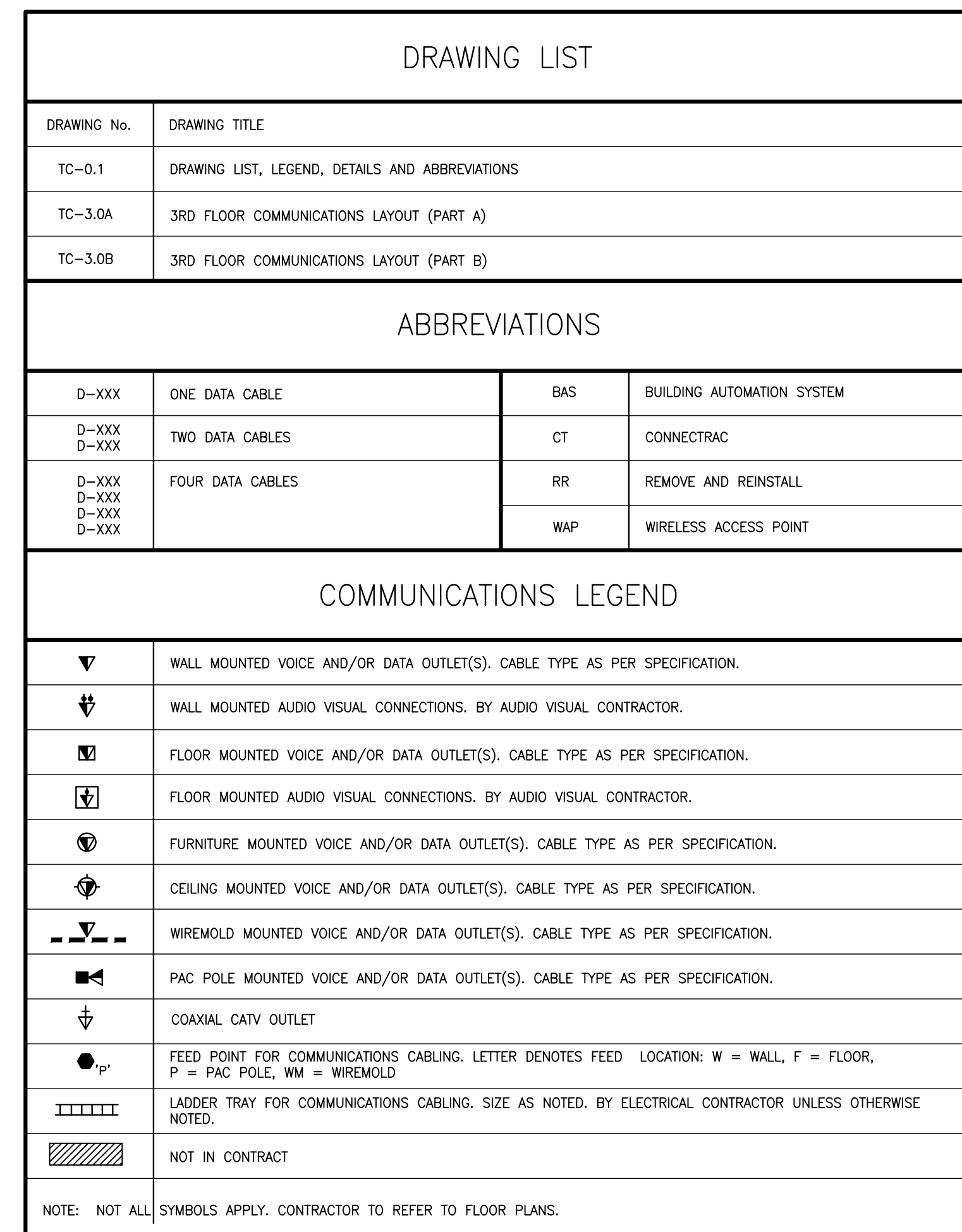
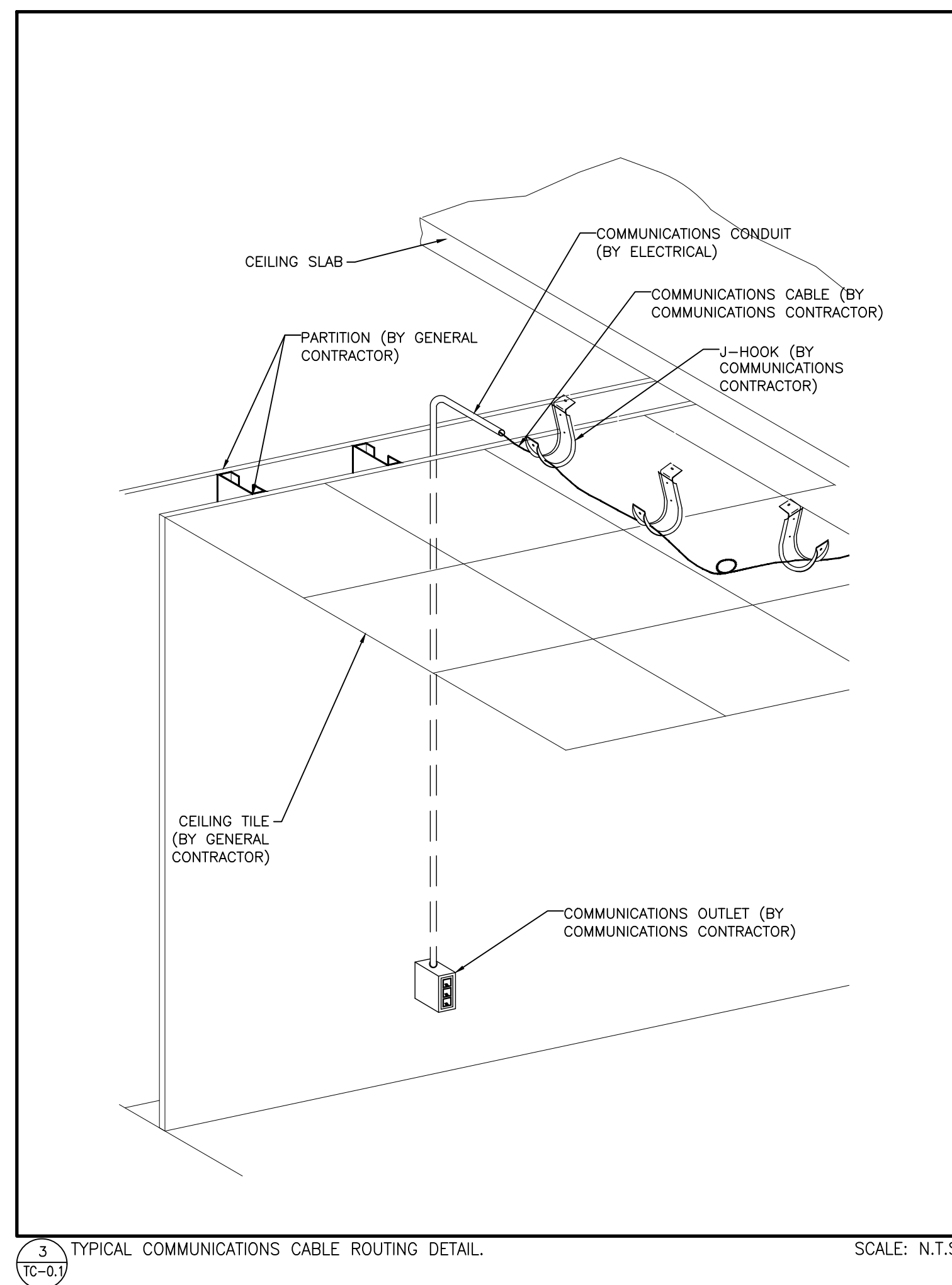
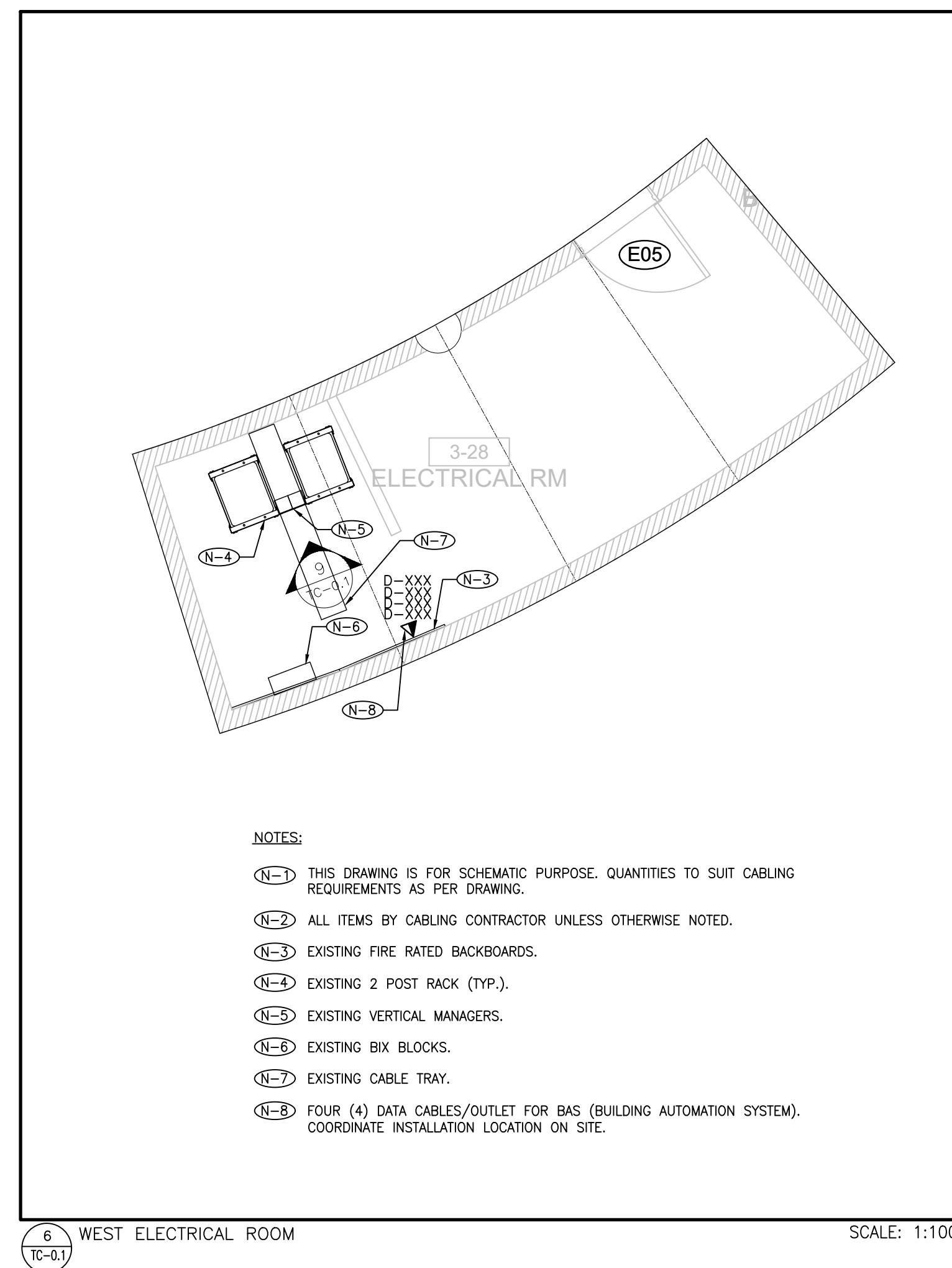
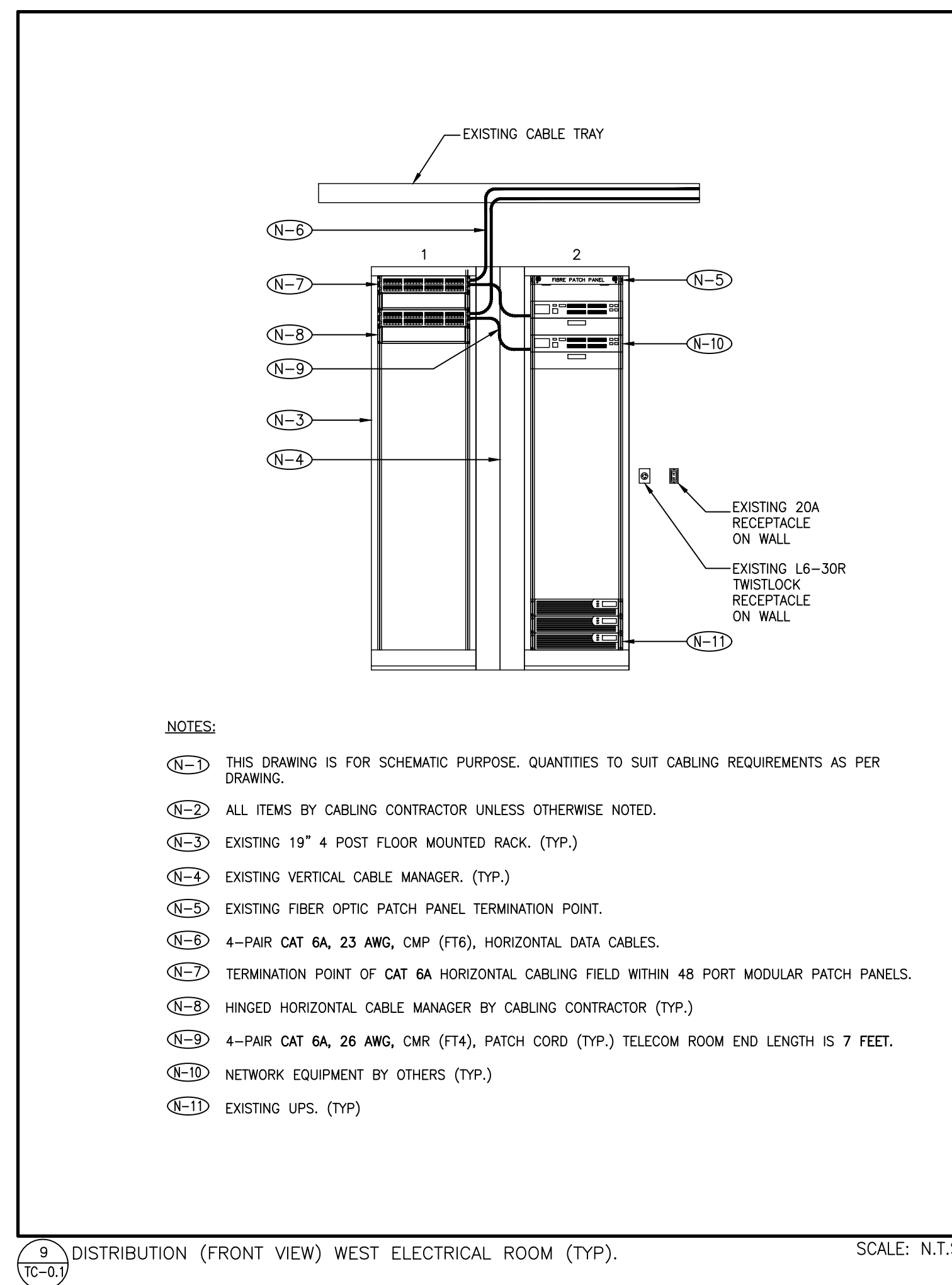
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:













LEVEL 3 WASHROOMS –
POWER DEMOLITION
LAYOUT

SHEET NUMBER:

-3-



ABBREVIATIONS			
D-XXXX	ONE DATA CABLE	BAS	BUILDING AUTOMATION SYSTEM
D-XXXX D-XXXX	TWO DATA CABLES	CT	CONNECTRAC
D-XXXX D-XXXX D-XXXX D-XXXX	FOUR DATA CABLES	RR	REMOVE AND REINSTALL
		WAP	WIRELESS ACCESS POINT

COMMUNICATIONS LEGEND	
	WALL MOUNTED VOICE AND/OR DATA OUTLET(S). CABLE TYPE AS PER SPECIFICATION.
	WALL MOUNTED AUDIO VISUAL CONNECTIONS. BY AUDIO VISUAL CONTRACTOR.
	FLOOR MOUNTED VOICE AND/OR DATA OUTLET(S). CABLE TYPE AS PER SPECIFICATION.
	FLOOR MOUNTED AUDIO VISUAL CONNECTIONS. BY AUDIO VISUAL CONTRACTOR.
	FURNITURE MOUNTED VOICE AND/OR DATA OUTLET(S). CABLE TYPE AS PER SPECIFICATION.
	CEILING MOUNTED VOICE AND/OR DATA OUTLET(S). CABLE TYPE AS PER SPECIFICATION.
	WIREHOLD MOUNTED VOICE AND/OR DATA OUTLET(S). CABLE TYPE AS PER SPECIFICATION.
	PAC POLE MOUNTED VOICE AND/OR DATA OUTLET(S). CABLE TYPE AS PER SPECIFICATION.
	COAXIAL CCTV OUTLET
	FEED POINT FOR COMMUNICATIONS CABLING. LETTER DENOTES FEED LOCATION: W = WALL, F = FLOOR, P = PAC POLE, MW = WIREHOLD.
	LADDER TRAY FOR COMMUNICATIONS CABLING. SIZE AS NOTED. BY ELECTRICAL CONTRACTOR UNLESS OTHER NOTED.
	NOT IN CONTRACT

NOTE: NOT ALL SYMBOLS APPLY. CONTRACTOR TO REFER TO FLOOR PLANS

GENERAL NOTES:

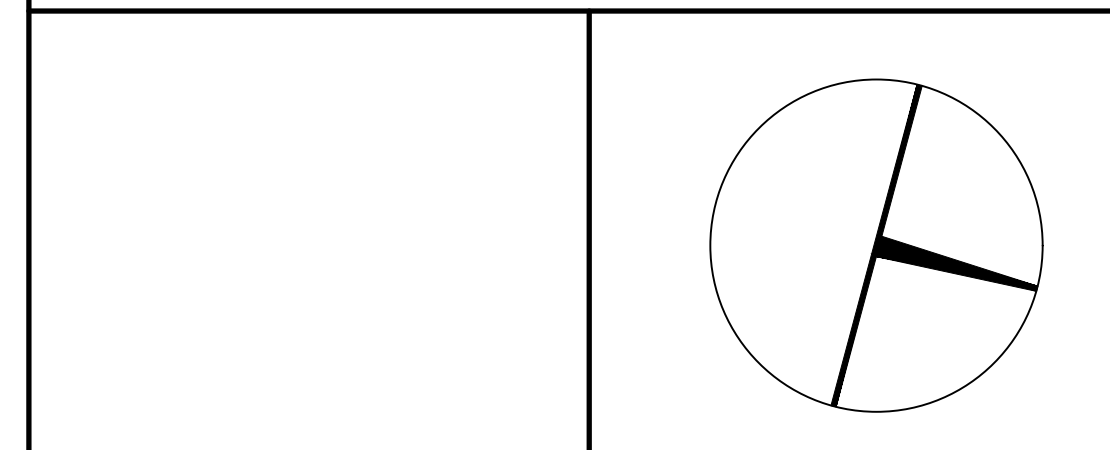
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1	2020-03-18	ISSUED FOR 60% REVIEW

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PROPERTY SERVICES

DEPARTMENT: BUILDING & FACILITIES

FLOOR:	003
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BASE DATE: 03-01-2020

PROJECT:	
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PROJECT # 14008.009

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: D.A.

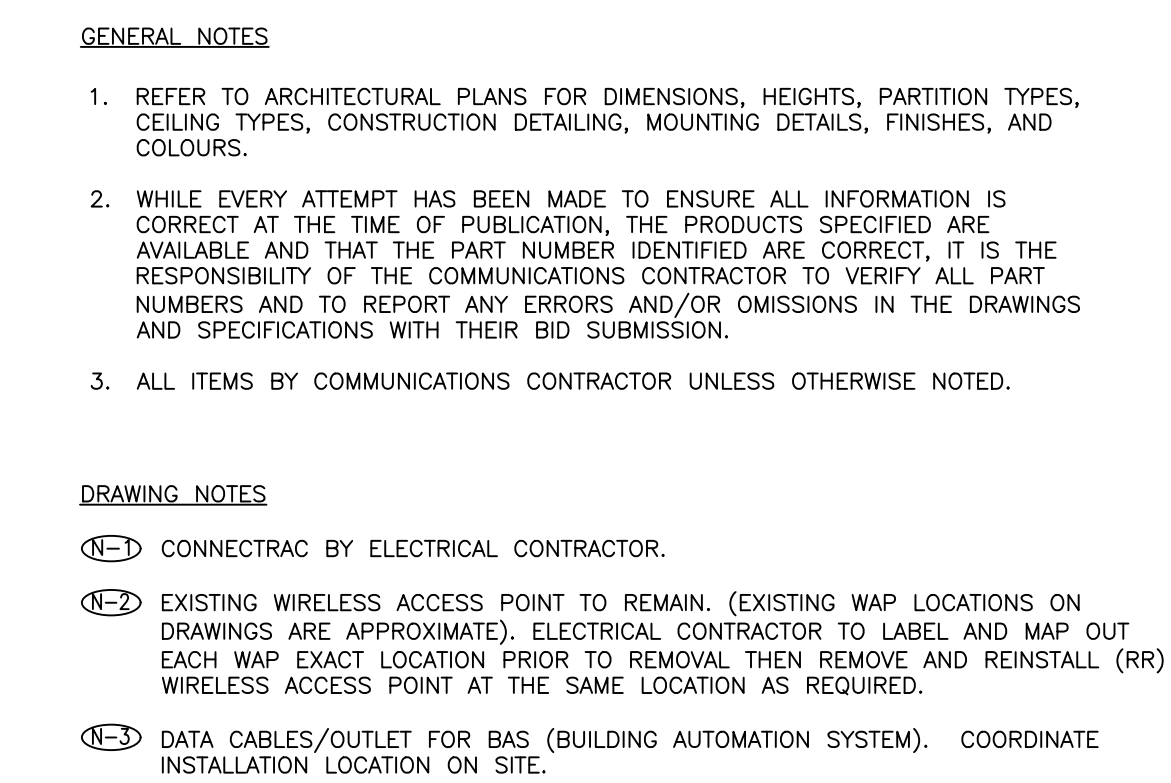
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

DRAWING LIST,
LEGEND,
ABBREVIATIONS AND
DETAILS

SHEET NUMBER: _____

TC-0.1

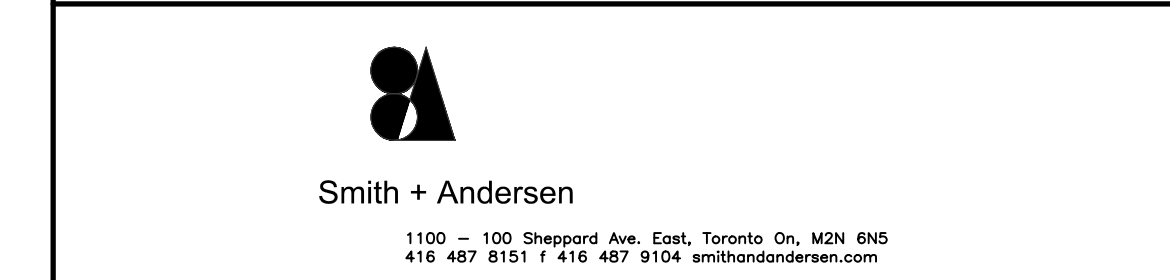


GENERAL NOTES:

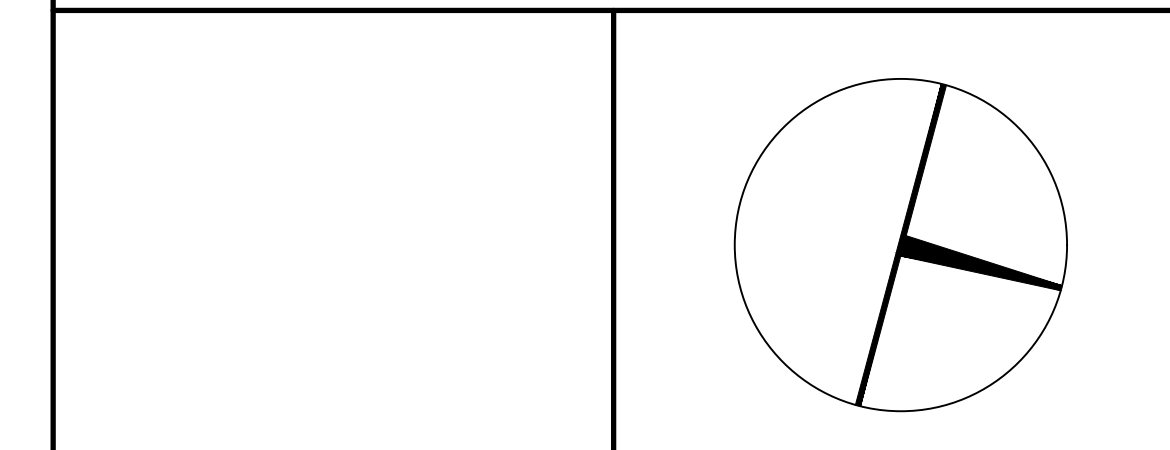
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PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020

PROJECT:

PROJECT # 14008.009

YORK REGION

Administrative Centre
17250 Yonge Street
Newmarket, Ontario

SCALE: 1:100

DRAWN BY: D.A.

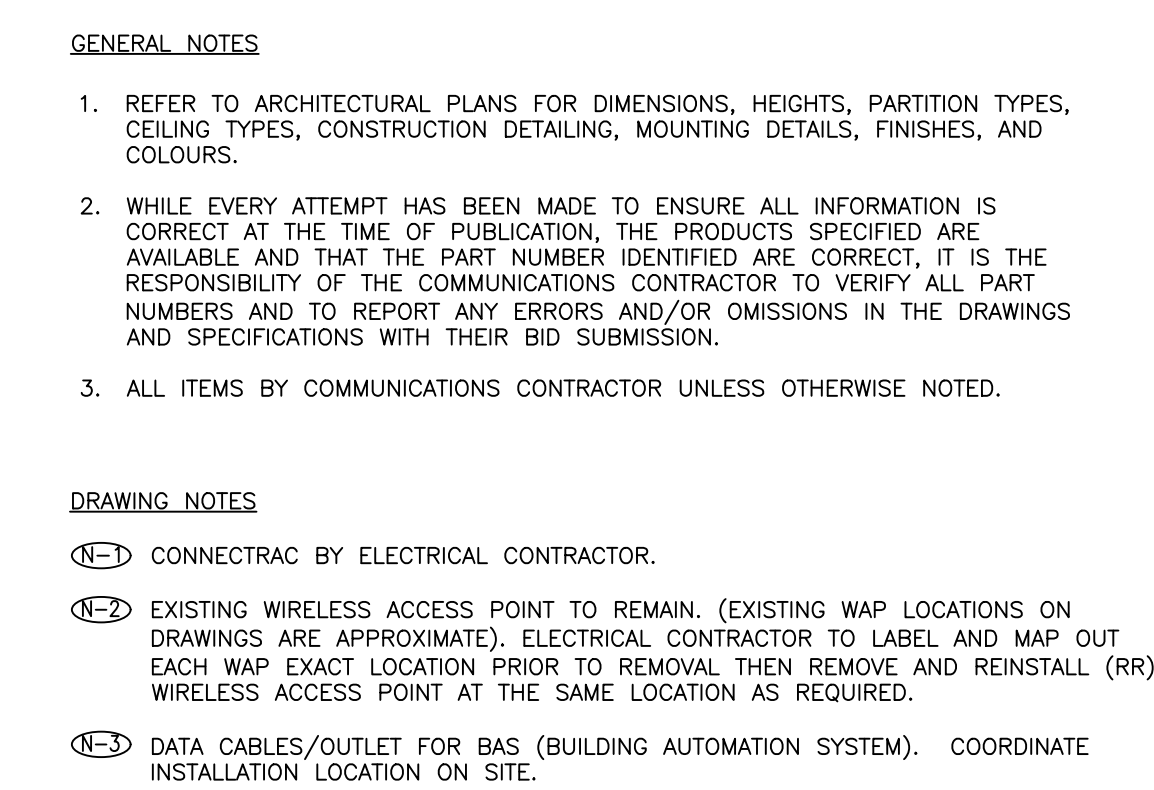
SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:


LEVEL 3 –
COMMUNICATIONS
LAYOUT (PART A)

SHEET NUMBER: _____

TC-3.0A




SUBMISSION	DATE	DESCRIPTION
4	2020-11-05	ISSUED FOR TENDER
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Smith + Andersen

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PROJECT:

PROJECT # 14008.009

SCALE: 1:100
DRAWN BY: D.A.
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

SHEET NUMBER:

TC-3.0B