



December 8, 2020

**THE REGIONAL MUNICIPALITY OF YORK**

**Request for Tender No. T-19-349 Addendum #1**

**For:** Interior Renovation – 3<sup>rd</sup> Floor Block A, B, & D at the York Region Administrative Centre

**Closing:** December 17, 2020 on or before 1:00 p.m. Eastern Time

Bidders are requested to incorporate the changes/clarifications noted below to the above noted Contract Documents and be governed accordingly.

The following are the Region's response to questions received:

**1. Document**

1. Refer to the attached Addendum E-01 issued by Smith + Anderson dated November 30, 2020
2. Legal Front End GC 5.7 and 5.8 – Revised
3. Drawing A200 Partition Plan 'A' Revised
4. Drawing A602 Details – NEW
5. Drawing A702 Partition Plan – Wall mounted hand dryers identified

**2. QUESTIONS AND ANSWERS:**

Q1. May you advise when tender closes and when the last set of questions will be required to be submitted?

**A1. All the information can be found on the York – bids and tender website.**

Q2. Will the lavatory pipe skirts be required? Based on the specification for the same lavatories on the 1<sup>st</sup> floor on the previous project.

**A2. The vanity unit has a skirt. Refer to drawing A802.**

Q3. Is the Contractor allowed to use existing power and water available on site for free?

**A3. Yes**

Q4. Are there any Cash Allowance for this project?

**A4. Yes, there are four (4) Cash Allowance items totalling \$130,000.00.**

Q5. Are there any prequalified Sub-Contractors, the Contractor will be required to carry?

**A5. Yes, the only prequalified Sub-Contractors the Contractor is required to carry is Altos Certified Installers.**

- Altos Certified Installers:

**Element Office Installations**

1738 Orangebrook Court, Unit 9

Pickering, Ontario

L1W 3G8

Contact Name: Eric Brushett

[ebrushett@elementsoffice.ca](mailto:ebrushett@elementsoffice.ca)

Telephone: 647-668-3621

**Pro Office Services**

830 Brock Road

Pickering, Ontario

L1W 1Z8

Contact Name: Mark Homes

Telephone: 905-839-2057

**Choice Office Installations**

201 Limestone Crescent

Toronto, Ontario

M3J 2R1

Contact Name: Angela Drag

[angela@choiceofficeinstallations.com](mailto:angela@choiceofficeinstallations.com)

Telephone: 416-645-8095

- Q6. What are the working hours for this project?  
A6. **Refer to Supplementary Conditions SC2 – Operational Constraints. Working hours are after 4.30PM to 8.00AM on weekdays and on weekends.**
- Q7. Whom was the Controls/BAS Contractor used on the latest interior renovation at the Administrative Centre. Can we use any Controls Contractor?  
A7. **Regular was the Controls Contractor on the most recent renovation project. Any Controls Contractor can be carried by the Contractor**
- Q8. Please advise who is the existing fire alarm contractor or system?  
A8. **There are no pre-qualified Fire Alarm Subcontractors. Any qualified company/vendor can do the work provided that they are manufactured approved to work in the fire alarm system. Any updates to the graphics or programming to the fire alarm system must be done by a company/vendor who has received proper training and software on the Honeywell Notifier System**
- Q9. During the bidder's walk through, there were furniture in the area of work. Whom is responsible to remove the existing furniture from site?  
A9. **All the existing furniture on site will be removed by the Owner prior to commencement of work by the Contractor.**
- Q10. What is the anticipated date of award for this project?  
A10. **We will be able to start as soon as the PO to the Contractor is made. It will be around early February 2021.**
- Q11. Can Hubble be qualified manufacture for data?  
A11. **There is no pre-qualified manufacture for data. May you elaborate more on your question.**

Q12. Would the GC be given an area at the parking lot for site trailer?

A12. **No, not at this time. Why is a trailer required? The construction site office can within the area of work.**

Q13. Painting of the corridor on the 3<sup>rd</sup> floor. Where should the painting end on the guard rail?

A13. **Painting of the guard rail will end on the top side of the guard rail.**



Q14. Where will painting end on the 3<sup>rd</sup> floor as some areas go beyond the 3<sup>rd</sup> floor?

A14. **Painting can end at the horizontal reveal above window/doors.**



Q15. Will there be an area to stage materials?

A15. **At this time, only staging area would be within area of work only. As the rest of the building will be of use/occupied.**

- Q16. Since the ceiling in the area of work is coming down, are the lights fixtures to be removed and demolished?
- A16. No. Refer to the electrical drawings. The light housing are to be reused and retrofitted to LED.**
- Q17. The exterior windows in the area of work is scheduled to occur at similar time to this work. Is there more information and expectation for the Contractor?
- A17. Yes, refer to Supplementary Conditions SC1 – Other Contractors for more information and expectations.**
- Q18. Is the Contractor responsible to clean the exterior window, prior to Substantial Completion?
- A18. No. Exterior cleaning of the windows will be the responsibility of the window's contractor. The interior side of the window will be this Contractor's responsibility.**
- Q19. During the bidder's walk-through, columns within the area of work, had some holes. Do they required to be filled, prior to new paint?
- A19. Yes, the painting contractor should plan to fill 100 holes of 1" wide and ½" deep prior to priming and painting the columns.**
- Q20. The area in front of Storage Room 3-61, Storage Room 3-64, and Stairs 3-63, shows existing carpet to remain. Is this correct?
- A20. No, the carpet in front of the above noted area is to be replaced with new carpet CP-1. This will also include new rubber base RB-1.**
- Q21. Is new rubber base RB-1 required in the electrical rooms 3-28 and electrical room beside Janitor Room 3-87?
- A21. No.**
- Q22. Please confirm if any window film or graphics packages are required, if so can you provide additional information.
- A22. No.**
- Q23. Please advise which elevator can be used to transport material to the 3<sup>rd</sup> floor?
- A23. Please refer to drawing A003 Disposal Route.**
- Q24. There are (3) three set of washrooms being renovated. Can all (3) three set be renovated at once?
- A24. No. Only one set of washroom can be renovated at once. Refer to drawing A002 Scope of Work – Area 'C'.**
- Q25. Will the area of work be occupied during construction?
- A25. No. However, adjacent areas will be occupied by staff including the floors above and below the area of work.**
- Q26. Can the tender date be extended to the new year of 2021?
- A26. No, as Construction will require to start as soon as possible and extension cannot be entertained at this time.**

Q27. Section 01 45 16 Item 3.1.1 – Item says “A flush-out of the construction area may be performed in lieu of testing at the discretion of the Consultant. Please confirm if flush-out procedure is acceptable in lieu of IAQ testing.

**A27. Flush-out is acceptable.**

Q28. Section 01 45 16 Item 3.1.4 - What is the frequency of IAQ testing?

**A28. Only one test is required that follows all procedures under 3.1.4 and must be completed prior to occupancy. However, retesting may be required if contaminants are above max. concentrations as indicated in 3.1.4.8**

Q29. Any millwork detail for Meeting Room 3-88?

**A29. Yes, refer to attached revised drawing A200 and new detail Drawing A602.**

Q30. A705 Elevation (Washroom) is listed on drawing A001 List of Drawings; We couldn't find it. Please clarify.

**A30. Disregard A705 reference. All washroom elevations are shown on A800 series drawings**

Q31. Can you please provide specification for mirror show on drawing A802.

**A31. Washroom Specification NBS Specifications Glass Mirrors to washrooms and changing areas Manufacturer: Glass Installations Limited, Unit 10-11 Oldfield's Business Park, Galveston Grove, Fenton, Stoke-On-Trent, Staffordshire, ST1 2NH Tel: 01782 317620 Fax: 01782 336940. Mirror Material: Image '6' Mirrors. 6mm Silvered Mirror: Float Glass, silvered to give maximum reflection, free from tarnishing, discoloration, scratches and other defects visible in the designed viewing conditions. Thickness: Overall 6mm thick. Core Material: Class A cross linked acrylic safety backing to BS6206B. Edge Treatment: Polished Edges. Background: Plasterboard/ Plastered Blockwork, to provide a true surface both horizontally and vertically. Fixing Method: Fix using a proprietary mirror adhesive, accurately and securely to provide a flat surface. Safety Standards: Safety backed to ANS1 297.1 1984 Human Body Impact BS6206 Class A/O, Class 0 Fire Performance**

Bidders are required to acknowledge receipt of all addenda to this RFT prior to submitting their Bid. Submissions that do not contain evidence of receipt of all addenda will be deemed to be “incomplete” and will not be accepted in the Bidding Website.

This Addendum shall remain attached to and form part of the Contract Documents.

Yours truly,



Susan Hope,  
Senior Purchasing Analyst

Attachments: Addendum E-01 Issued by Smith + Anderson dated Nov.30, 2020 (2 pages)  
Legal Front-End GC 5.7 and 5.8 Revised dated December 4, 2020 (1 page)  
Drawing A200 Partition Plan Area 'A' dated December 7,2020 (1 Page)

Addendum, #1 – T-19-349

Drawing A602 Details dated December 7, 2020 (1 Page)

Drawing A702 Partition Plan dated December 7, 2020 (1 Page)



## Smith + Andersen

1100 – 100 Sheppard Ave. East, Toronto ON, M2N 6N5

416 487 8151 f 416 487 9104 [smithandandersen.com](http://smithandandersen.com)

ADDENDUM

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PROJECT NAME: York Region Admin Centre 3<sup>rd</sup> Floor Renovations

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COMPANY: G Bruce Stratton Architects

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ATTENTION: Stephanie Kamburis

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PROJECT NO.: 14008.009.E.001

DATE: 2020-11-30

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ADDENDUM NO.: E-01

ISSUED BY: Angelica Sabandal

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The following amendments are hereby made as part of the Contract Documents. The following revisions and/or additions shall be made to contract documents and the cost shall be included in the Tender Price.

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### 1.0 DRAWINGS

#### 1.1 Refer to E-3.6 – LEVEL 3 WASHROOMS – POWER AND SYSTEMS LAYOUT (included herein)

1.1.1 Revise location and revise connection for hand dryers to be direct connects in washrooms, as shown.

1.1.2 Revise circuiting of washroom fixtures, as shown.

1.1.3 Add note N-4, as shown.

.1 “PROVIDE TANDEM BREAKERS FOR CIRCUITS SHOWN AS A/B. (TYP.)”

### 2.0 CLARIFICATION

2.1.1 Client request

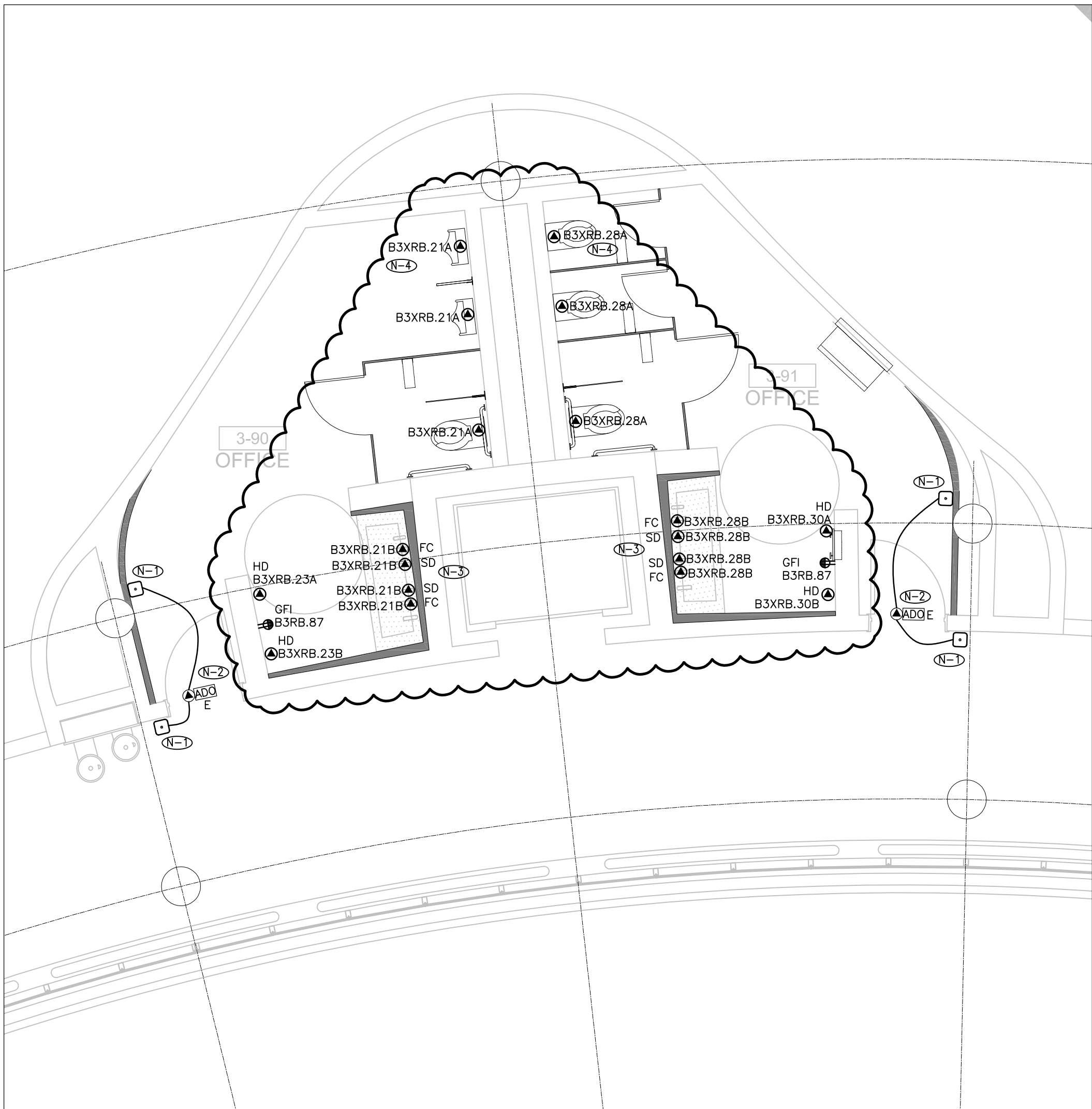
END OF ELECTRICAL ADDENDUM

14008.009.E.001.A001

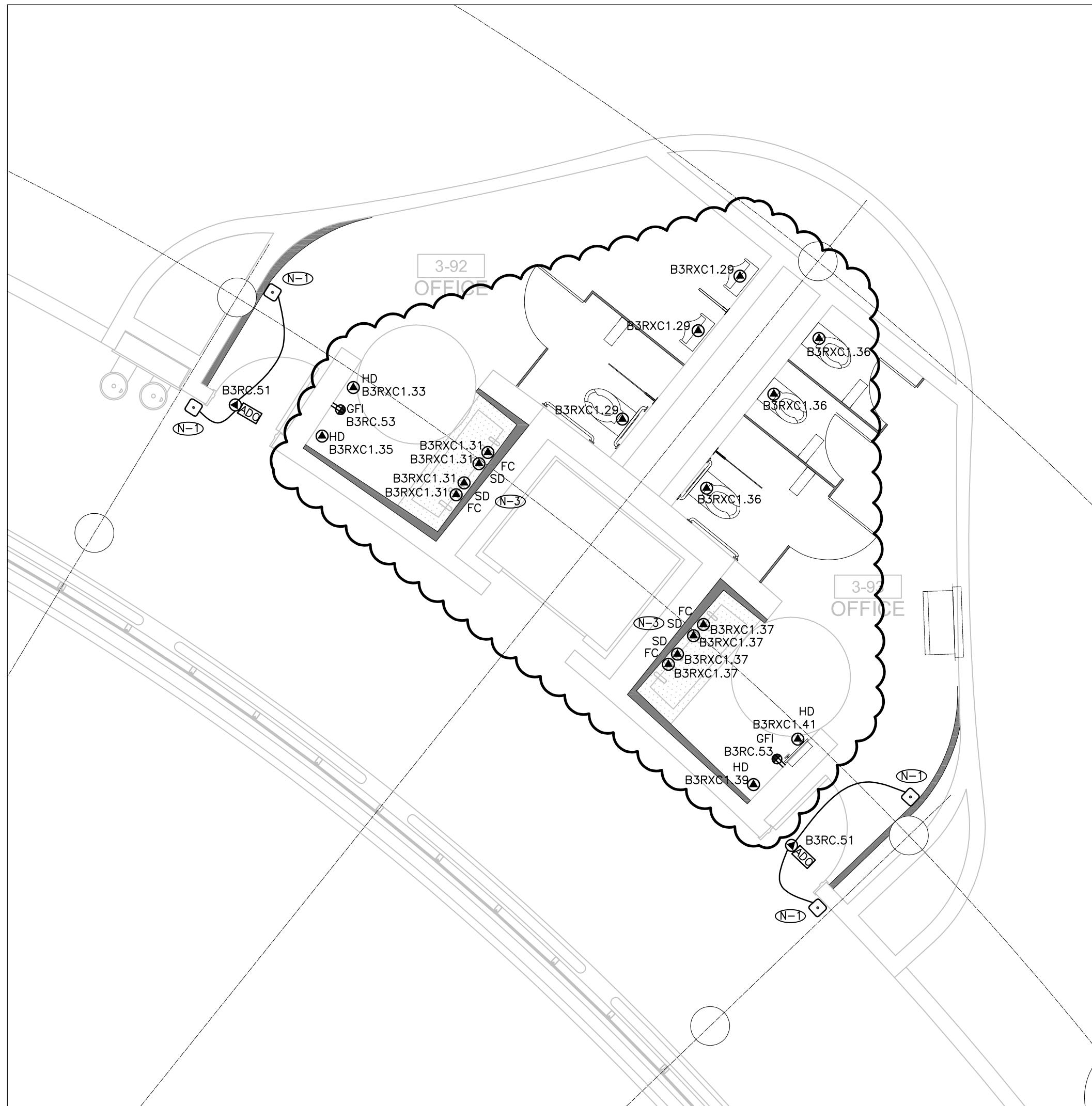




3 LEVEL 3 PARTITION PLAN – W/R'S 3-88 & 3-89  
SCALE: 1:50



2 LEVEL 3 PARTITION PLAN – W/R'S 3-90 & 3-91  
SCALE: 1:50



1 LEVEL 3 PARTITION PLAN – W/R'S 3-92 & 3-93  
SCALE: 1:50

- GENERAL NOTES:
- THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ARCHITECT'S DRAWINGS FOR DIMENSIONS, HEIGHTS, CONSTRUCTION, DETAILING, FINISHES AND COLOURS.
  - CIRCUITING IN PART IS DIAGNAMMATIC INTENDED TO SHOW GENERAL CIRCUIT ARRANGEMENT AND PANEL DESIGNATION.
  - REUSE CIRCUITS OBTAINED THROUGH DEMOLITION IS ACCEPTABLE.
  - REFER TO ARCHITECT'S DRAWINGS FOR THE COLOUR OF COVERPLATES AND MOUNTING HEIGHTS.
  - MARK UP OUTLET AND DEVICE LOCATIONS AND OBTAIN APPROVAL BY DESIGN CONSULTANT PRIOR TO INSTALLATION.
  - PROVIDE SUITABLE LABELS ON ALL RECEPTACLES AND SYSTEM FURNITURE FEEDS. LABELS TO INCLUDE BOTH PANEL AND CIRCUIT DESIGNATION. REVIEW LABEL SIZE AND TYPE WITH CONSULTANT PRIOR TO INSTALLATION.
  - TRACE ALL EXISTING OUTLETS, NOTED AS EXISTING, AND IDENTIFY ON AS BUILT DRAWING AS PER SPECIFICATION.
  - CONFIRM ELECTRICAL REQUIREMENTS AND EXACT LOCATION OF ALL MECHANICAL EQUIPMENT WITH MECHANICAL DRAWINGS AND CONTRACTOR PRIOR TO ROUGH-INS.
  - ROUTE ALL CONDUIT SYSTEMS AROUND DUCT WORK, BEAMS AND PIPING AS REQUIRED TO ACCOMMODATE LAYOUT SHOWN. REFER TO MECHANICAL DRAWINGS AND ARCHITECTURAL DRAWINGS FOR ADDITIONAL DETAILS.
  - PROVIDE FIRE STOPPING AS REQUIRED. PROVIDE PULL STRINGS IN ALL EMPTY CONDUIT. COORDINATE ROUTING AND TERMINATION POINTS OF ALL CONDUITS WITH GENERAL CONTRACTOR.
- DRAWING NOTES:
- PROVIDE NEW CAMDEN TOUCHLESS AUTOMATIC DOOR OPERATOR. COORDINATE INSTALLATION WITH THE DRYWALL CONTRACTOR ON SITE. (TYP.)
  - RECONNECT NEW TOUCHLESS AUTOMATIC DOOR OPERATOR TO THE EXISTING AUTOMATIC DOOR OPERATOR TO ENSURE FULL FUNCTIONALITY.
  - VERIFY EXACT POWER REQUIREMENTS AND RECEPTACLE TYPES FOR SPECIAL EQUIPMENT WITH MANUFACTURER PRIOR TO INSTALLATION. PROVIDE HARDWARE CONNECTIONS FOR AUTOMATIC WATER FAUCET, T.C. SOAP DISPENSER, '50" AND HAND DRYER '10", ETC. IN LIEU OF RECEPTACLES OR VICE VERSA AS REQUIRED.
  - PROVIDE TANDEM BREAKERS FOR CIRCUITS SHOWN AS A/B. (TYP.)

GENERAL NOTES:

- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS, DETAILS AND SPECIFICATIONS ON SITE AND REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK
- DRAWINGS ARE NOT TO BE SCALED
- BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST SUBMIT ALL NECESSARY SAMPLES AND SHOP DRAWINGS TO YORK REGION REPRESENTATIVE FOR APPROVAL
- ALL DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF YORK REGION. AS SUCH, THEY ARE NOT INTENDED FOR USE ON OTHER PROJECTS OR EXTENSIONS OF THE PROJECT SPECIFIED

SUBMISSION	DATE	DESCRIPTION
5	2020-11-30	ISSUED FOR ADDENDUM E-01
4	2020-11-05	ISSUED FOR TENDER
3	2020-06-29	ISSUED FOR PERMIT/TENDER
2	2020-05-18	ISSUED FOR 90% REVIEW
1	2020-03-18	ISSUED FOR 60% REVIEW

**G.Bruce Stratton Architects**  
217 Richmond Street West, Suite 300  
Toronto Ontario M5V 1W2  
telephone: 416.351.8145  
facsimile: 416.351.8146

**Smith + Andersen**  
1100 - 105, Papez Avenue East, Toronto, ON, M6P 0B8  
416 467 8151 / 416 467 8104 [smithandandersen.com](mailto:smithandandersen.com)

**PROJECT CONTACT**

NAME: ANGELICA SABANDAL  
TEL: 416-218-7021  
EMAIL: [angelica.sabandal@smithandandersen.com](mailto:angelica.sabandal@smithandandersen.com)

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ELECTRICAL SPECIFICATION SUBMITTED FOR THIS PROJECT.

**York Region**

**PROPERTY SERVICES**

DEPARTMENT: BUILDING & FACILITIES

FLOOR: 003

BASE DATE: 03-01-2020

PROJECT:

**PROJECT # 14008.009**

**YORK REGION**  
Administrative Centre  
17250 Yonge Street  
Newmarket, Ontario

SCALE: AS SHOWN

DRAWN BY: AS

SUBMITTED TO: MUNICIPALITY OF YORK

SHEET TITLE:

**LEVEL 3 WASHROOMS –  
POWER AND SYSTEMS  
LAYOUT**

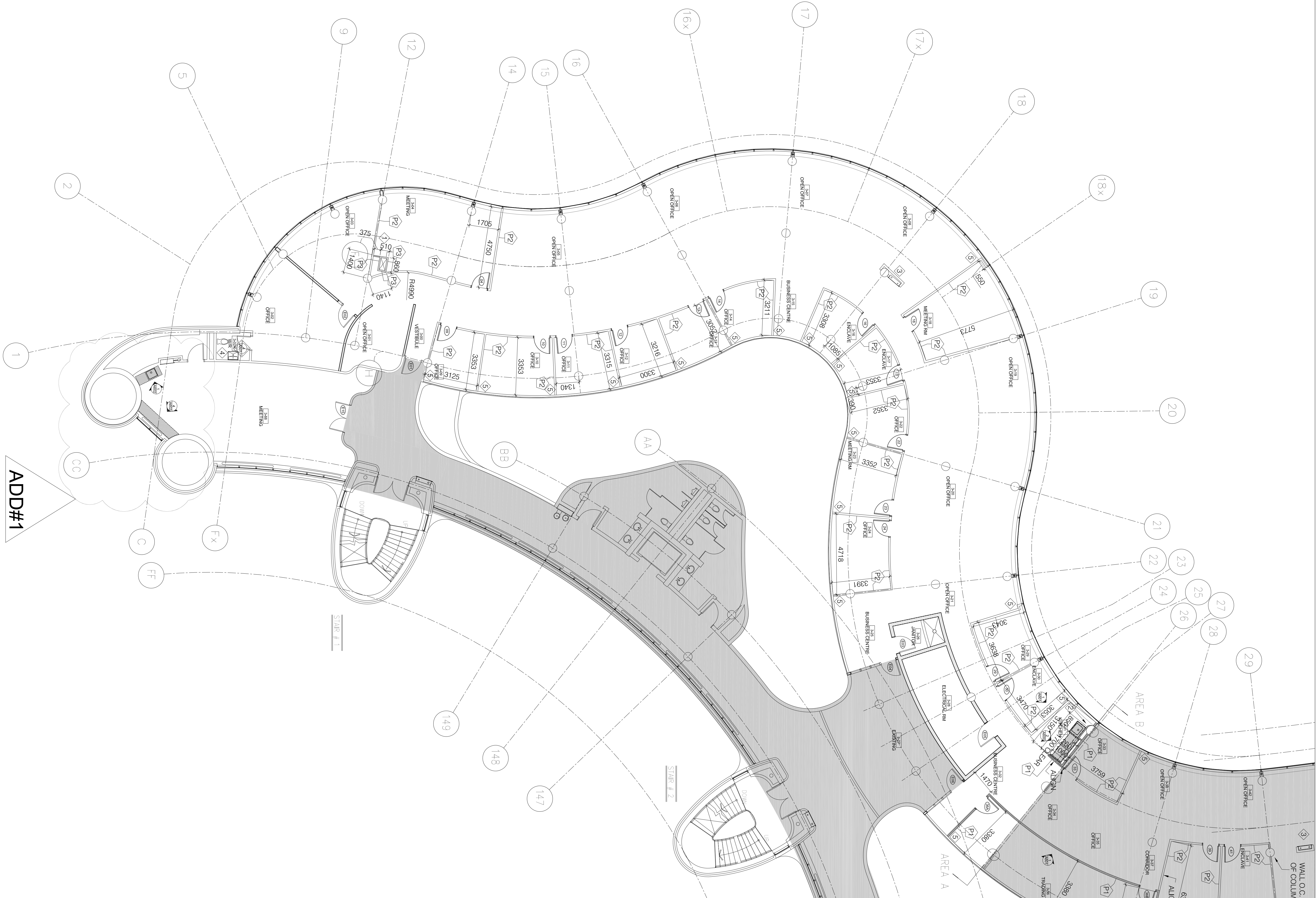
SHEET NUMBER:

**E-3.6**



## ADDENDUM#1 - Dec.4, 2020

- 5.5 In addition to the requirements of GC 5.4, the Contractor shall submit to the Region for approval on a weekly basis, a written statement showing the number of Days lost due to delay caused by abnormal inclement weather in the preceding week, the extension of Contract Time (in terms of Working Days) which is requested by the Contractor as a result of such delay, and the number of Working Days remaining to complete the Work. The Region shall advise the Contractor as to the length of extension granted, if any, within five Business Days of receipt of the Contractor's written statement. In the event that the Contractor fails to provide a statement requesting an Extension of Contract Time for any given week within five Business Days of the end of that particular week, the Contractor shall be deemed to have waived any right to request an Extension of Contract Time for that week.
- 5.6 For the purposes of this GC 5 - Extension of Contract Time, a delay caused by abnormal inclement weather occurs when, in the Region's sole opinion, the Contractor is prevented by inclement weather or other related conditions, for a period of at least six hours in a Working Day, from proceeding with at least 60% of the normal labour and equipment force engaged on any component of the Work which, if delayed, will delay the completion of the Work.
- 5.7 The parties acknowledge that in March 2020 the World Health Organization declared a global pandemic of the virus leading to COVID-19. The Government of Canada and the Province of Ontario responded to the pandemic with legislative amendments, controls, orders, requests of the public, and requests and requirements to the parties to change their activities in various ways (collectively, the "**Governmental Response**"). It is uncertain how long the pandemic, and the related Governmental Response, will continue, and it is unknown whether there may be a resurgence of the virus leading to COVID-19 or any mutation thereof (collectively, the "**Virus**") and resulting or supplementary renewed Government Response. Notwithstanding any other provision in the Contract Documents, if the Contractor is delayed in the performance of the Work by the continued spread of the Virus and/or the continuation of or a renewed Governmental Response to control the spread of the Virus (which was not reasonably foreseeable at the time of entering into the Contract), the parties agree it shall constitute a delay pursuant to GC5.1. The Contractor shall not be entitled to any payment for costs incurred by such delays, save and except as provided for in GC 5.8. Nothing in this GC 5.7 shall excuse the Contractor from complying with any application notification requirements in the Contract including, without limitation, those contained in GC 5.4 and GC 5.5.
- 5.8 In the event of a delay to the Contractor's performance of the Work pursuant to GC 5.7, notwithstanding GC 4.1, the Contractor shall be entitled to payment of the direct costs it reasonably incurs, without any mark-up for overhead and profit, as a result of having to comply with new legislative amendments, controls, and orders that are implemented by



1 PARTITION PLAN: 3RD FLOOR AREA 'A'  
A200 SCALE: 1:100

- GENERAL PARTITION NOTES
- CONTRACTOR WORK CAN ONLY OCCUR MONDAY-FRIDAY BETWEEN THE HOURS OF 4:30PM - 8:30AM & WEEKENDS.
  - CONTRACTOR TO PROTECT ALL EXISTING WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION. CONTRACTOR TO GATHER WINDOW COVERINGS PRIOR TO START OF CONSTRUCTION.
  - ALL EXISTING CONCRETE WALLS TO REMAIN.
  - GO TO PROVIDE 2MR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED. GO TO ALLOW FOR UP TO 425 100MM WIDE FLOOR SLAB PENETRATIONS (0.15100) FOR TYPICAL FIRESTOP DETAIL.
  - GO TO ALLOW FOR EXTENSIVE PATCH/SPRINT/PAINT OF SECOND FLOOR GYPSUM BLU/HEAD CEILING WHERE THE FAN COIL UNITS ARE BEING REMOVED FROM THE 3RD FLOOR AND FOR EXTENT OF MECHANICAL DEMOLITION.
  - GO TO CHALKLINE ALL NEW TENSION FURNITURE WALLS FOR SIGNOFF BY YORK REGION PRIOR TO THE INSTALL OF RIGID BATT INSULATION IN PLenum SPACE.
  - REFER TO 20601 FOR TYPICAL INFILL DETAIL WHERE ALL NEW WALLS MEET GLAZING.
  - REFER TO DOOR HARDWARE SCHEDULE ON A601 DRAWING.

LEGEND:

DENOTES AREA OUTSIDE OF CURRENT SCOPE

EXISTING GYPSUM AND CONCRETE WALLS, COLUMNS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

EXISTING WALLS, DOORS & SIDELIGHTS AND FRAMES TO REMAIN

P-1 PARTITION TYPE DENOTES NEW GYPSUM WALL FROM FLOOR SLAB TO 19MM PAST FINISHED CEILING (GIC RATING 45 - U-1400) GYP WALL CW 12MM GYP ON BOTH SIDES OF 90MM HEAVY GAUGE METAL STUDS SPACED 457MM O.C. AND SPACED HORIZONTALLY AT EACH 163 HEIGHT OF WALL FOR PENETRATION INFILL WALL CAVITY WITH CW POL. BOTH SIDES FROM 19MM ABOVE FINISHED CEILING TO US OF CONCRETE SLAB ABOVE. ALL BATTLE JOINTS TO BE TAPED. FRICTION FT W/ FSK.

P-2 PARTITION TYPE DENOTES NEW ALTO'S WALL FROM FLOOR SLAB TO US OF FINISHED CEILING. NEW ALTO'S WALL SUPPLIED BY CLIENT INSTALLED BY CONTRACTOR. CONTRACTOR TO PROVIDE 2MR FIRE STOP AT EXISTING CONCRETE SLAB WHERE FAN COIL UNITS ARE BEING REMOVED FROM THE 3RD FLOOR AND FOR EXTENT OF MECHANICAL DEMOLITION. CEILING TO US OF CONCRETE SLAB ABOVE. ALL BATTLE JOINTS TO BE TAPED. FRICTION FT W/ FSK.

\*GCS PRE-QUALIFIED FURNITURE INSTALLER TO CONSULT WITH CLIENT FOR EXACT PLACEMENT OF ALTO'S WALLS. DO NOT REFERENCE CLIENT INPUT.

NEW MILLWORK

WASHROOM 3-60A. REFER TO MECHANICAL ENGINEER'S DRAWINGS FOR WASHROOM EXPLANE SHEETS.

KEYNOTES:

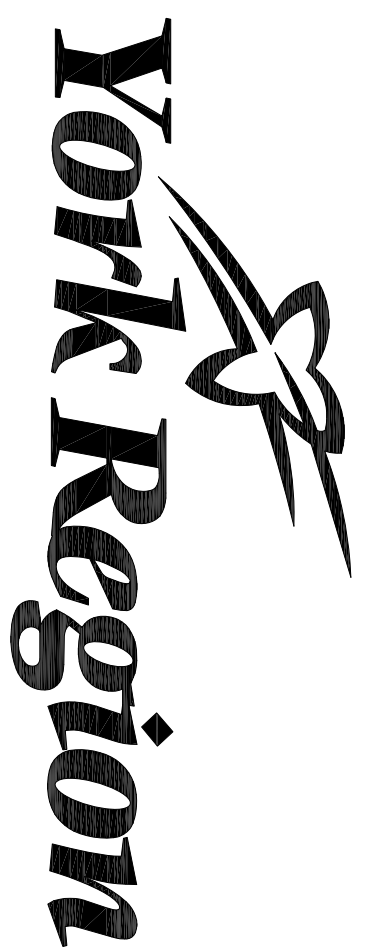
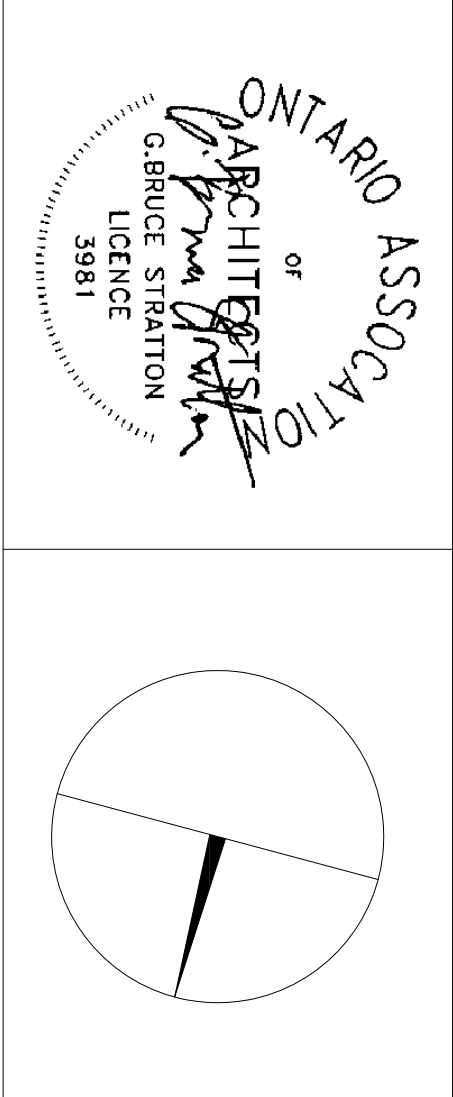
- GO TO CHALKLINE THE SHAFT LOCATIONS ON SITE FOR REVIEW BY PM, ARCHITECT AND STRUCTURAL ENGINEER PRIOR TO CUTTING SLAB. DO NOT PROCEED WITH CUTTING OF SLAB UNTIL WRITTEN INSTRUCTION IS PROVIDED BY PRIME CONSULTANT.
- FLIR WALL AT THIS LOCATION TO MAKE SEAMLESS TRANSITION FROM BUILT-OUT PORTION TO COLUMN.
- ROTATE FIRE HOSE CABINET, MODIFY EXISTING CABINET AND ASSOCIATED PIPING TO SUIT NEW FIRE HOSE CABINET. CONTRACTOR TO RECONSTRUCT FIRE HOSE CABINET SURROUND. ALLOW FOR FIRE PROTECTION FOR ALL GYPSUM WALLS.
- WASHROOM 3-60A. GO TO SUPPLY INSTALL BACKLIT MIRROR BY LUMIDESIGN (P&W487) KELLY.
- CONTRACT 302-597-2588.

ALLOW FOR GAP INFILL WHERE TENSION WALLS MEET INSIDE PERIMETER WALL. REFER TO DETAIL 20601.

- GENERAL NOTES:
- CONTRACTOR MUST CHECK AND VERIFY ALL SITE AND EXISTING CONDITIONS PRIOR TO START OF WORK. REPORT ANY DISCREPANCIES IN WRITING TO YORK REGION REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
  - DRAWINGS ARE NOT TO BE SCALED.
  - BEFORE PROCEEDING WITH THE WORK, CONTRACTOR MUST OBTAIN ALL NECESSARY PERMITS AND APPROVALS FROM YORK REGION REPRESENTATIVE FOR APPROVAL.
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SUBMISSION	DATE	DESCRIPTION
1	03-20-2020	ISSUED FOR 60% REVIEW
2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT
4	11-12-2020	ISSUED FOR TENDER
5	12-07-2020	ISSUED WITH ADDENDUM

G. Bruce Stratton Architects  
217 Richmond Street West, Suite 300  
Toronto, Ontario M5V 1W2  
Telephone: 416 351 8145  
Facsimile: 416 351 0146



PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

TENDER NO.: T-19-349

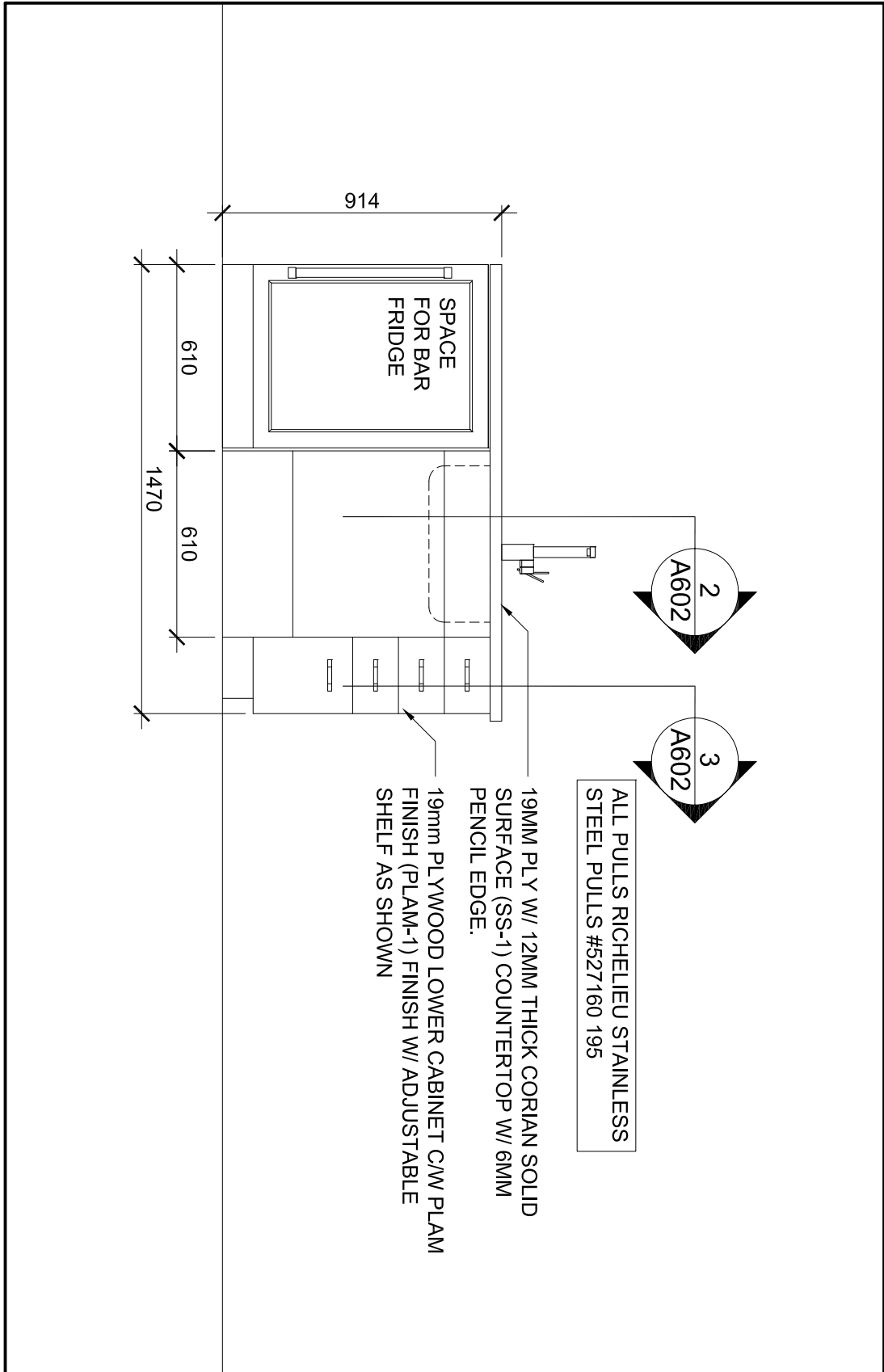
YORK REGION

Administrative Centre  
17250 Yonge Street  
Newmarket, Ontario

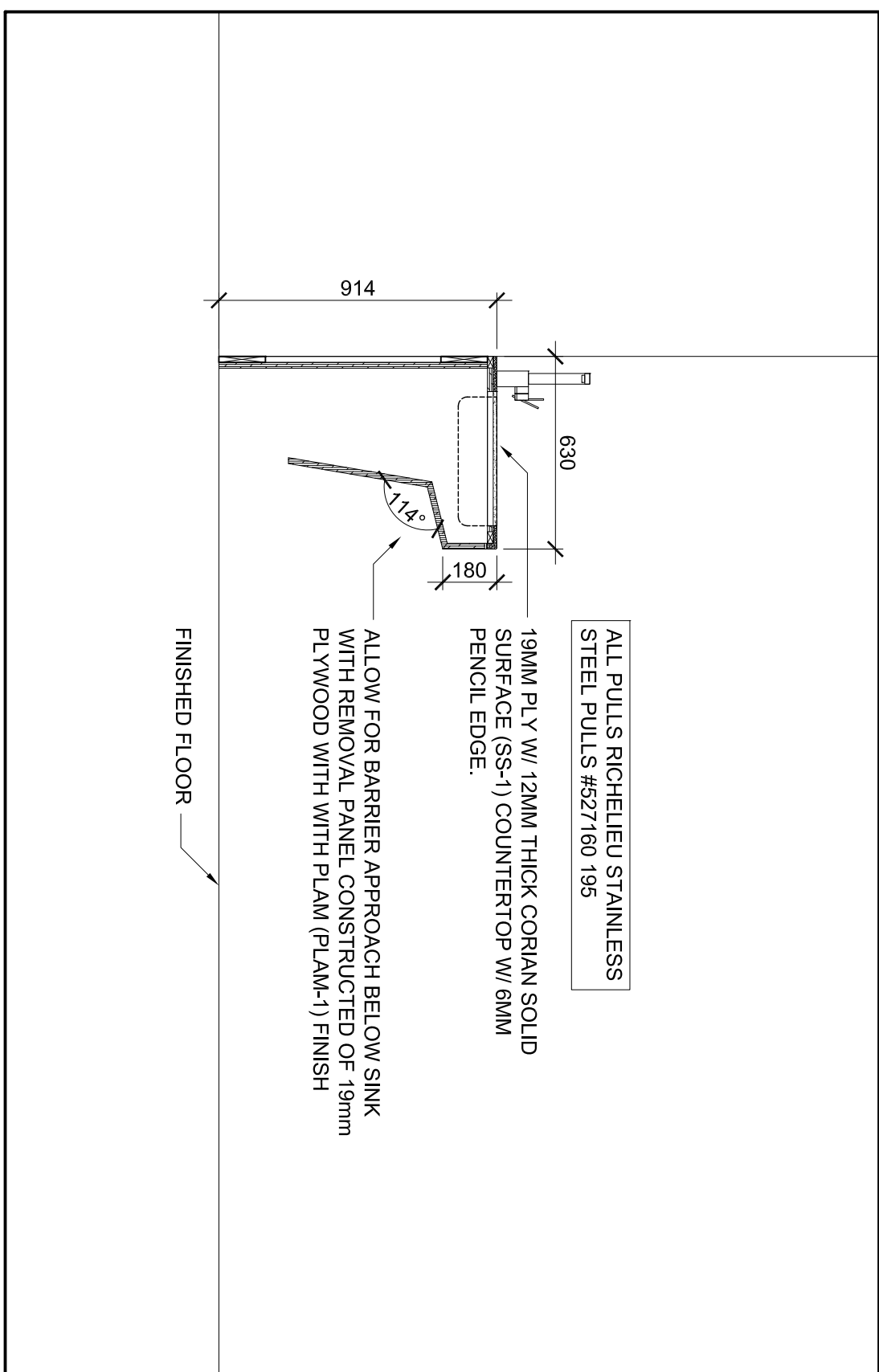
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SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

PARTITION PLAN  
AREA 'A'

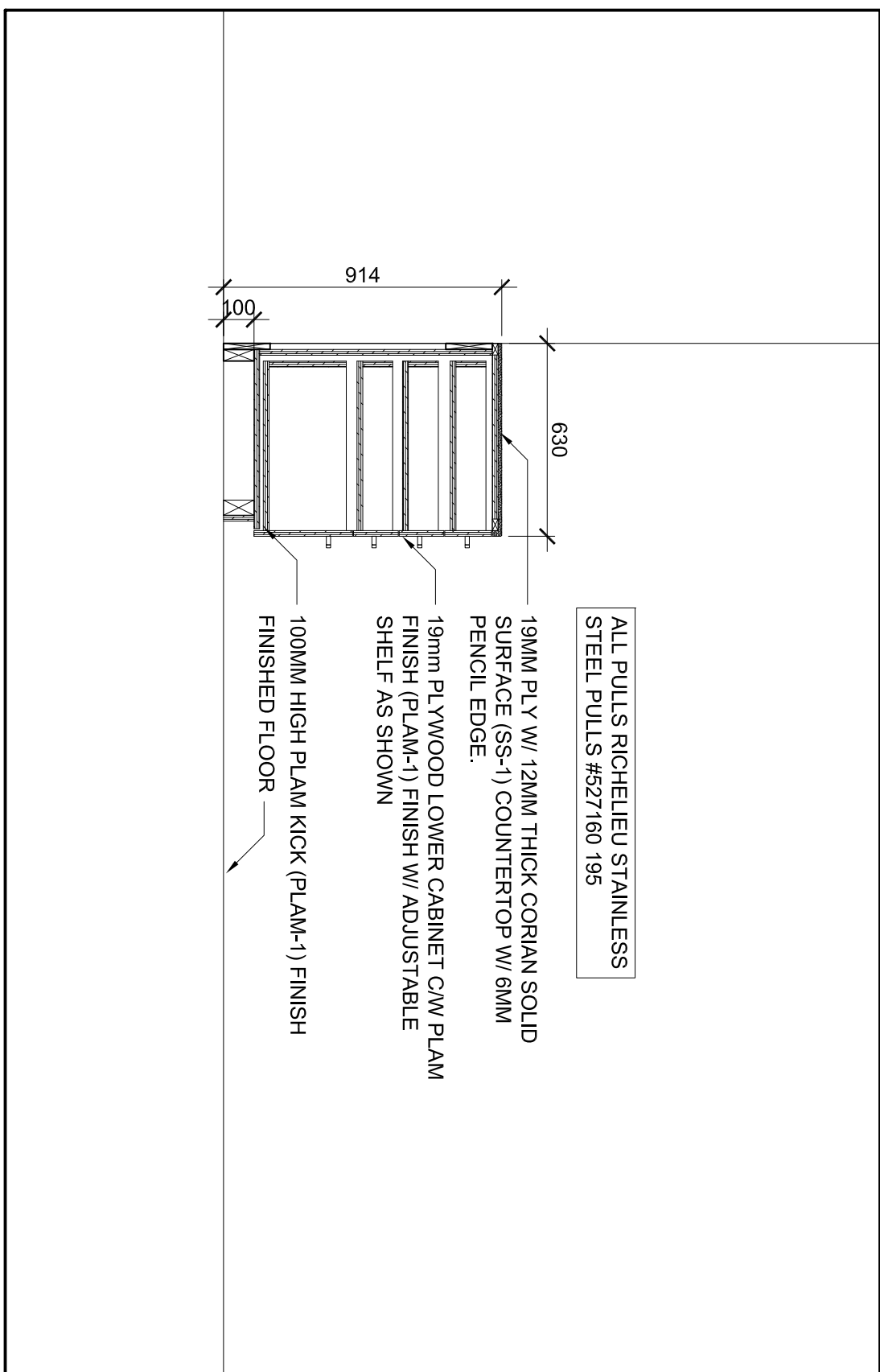
SHEET NUMBER:  
A200



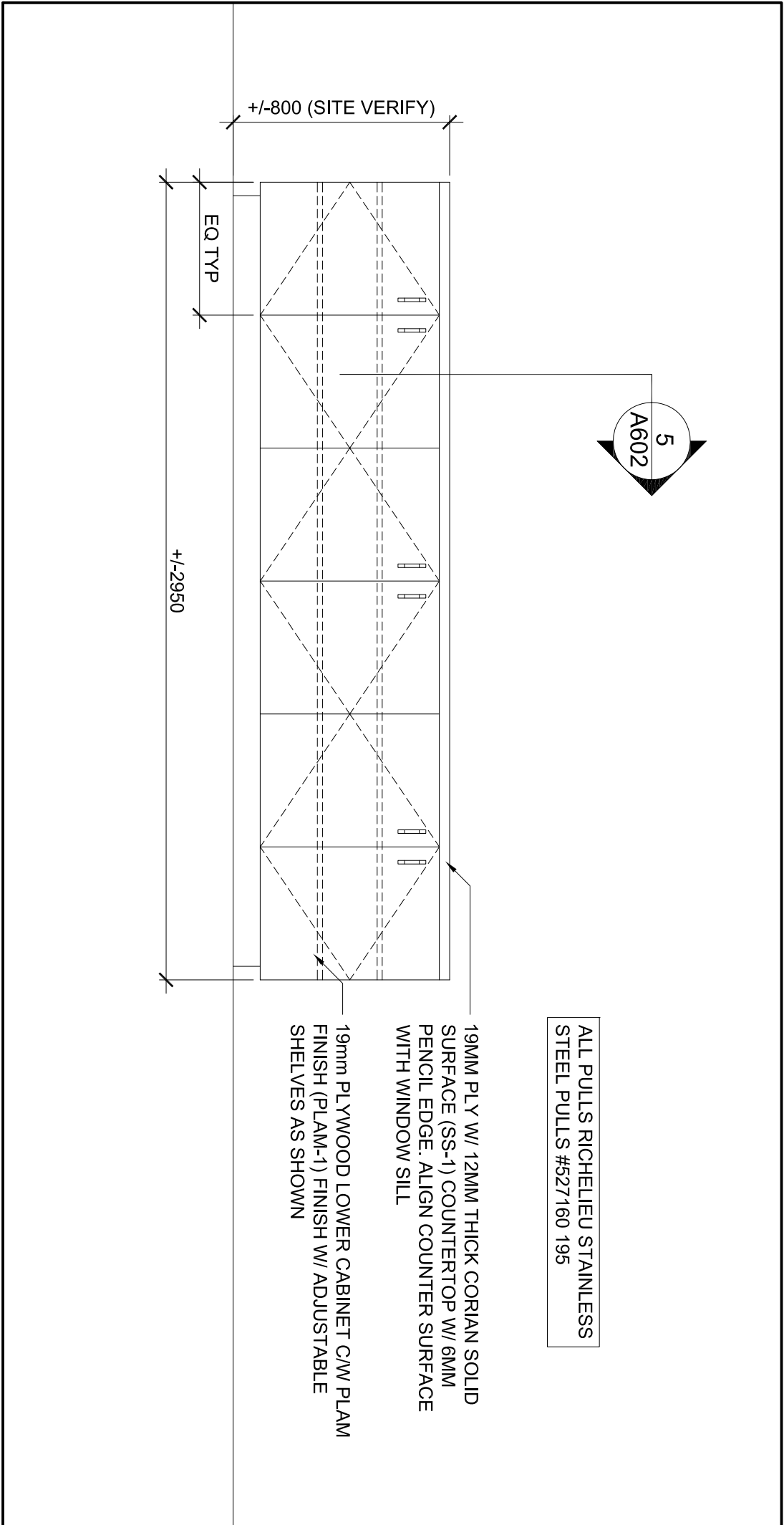
1 ELEVATION: MILLWORK - MEETING 3-88  
A602 SCALE: NTS



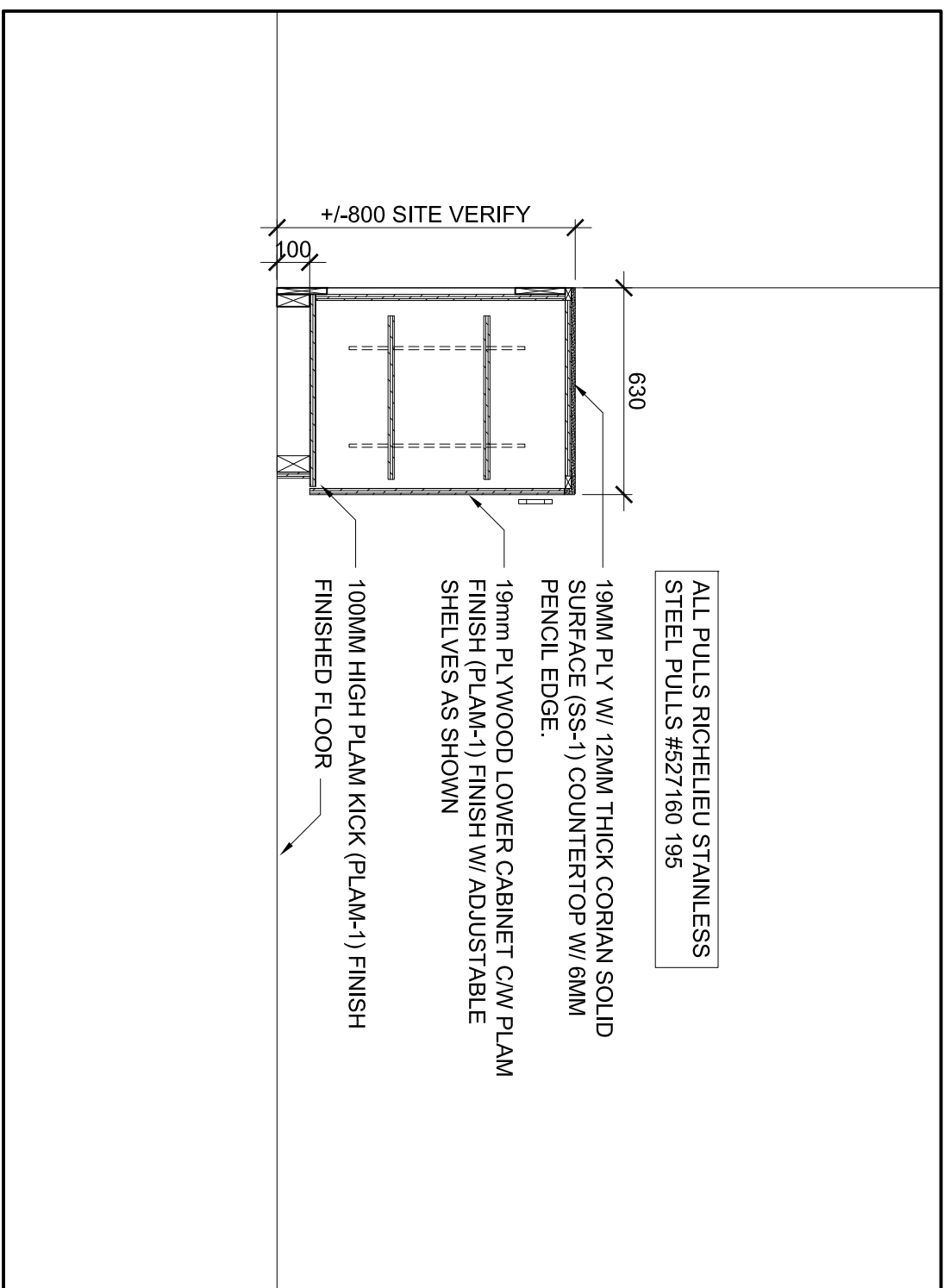
2 SECTION: MILLWORK - MEETING 3-88  
A602 SCALE: NTS



3 SECTION: MILLWORK - MEETING 3-88  
A602 SCALE: NTS



4 ELEVATION: MILLWORK - MEETING 3-88  
A602 SCALE: NTS

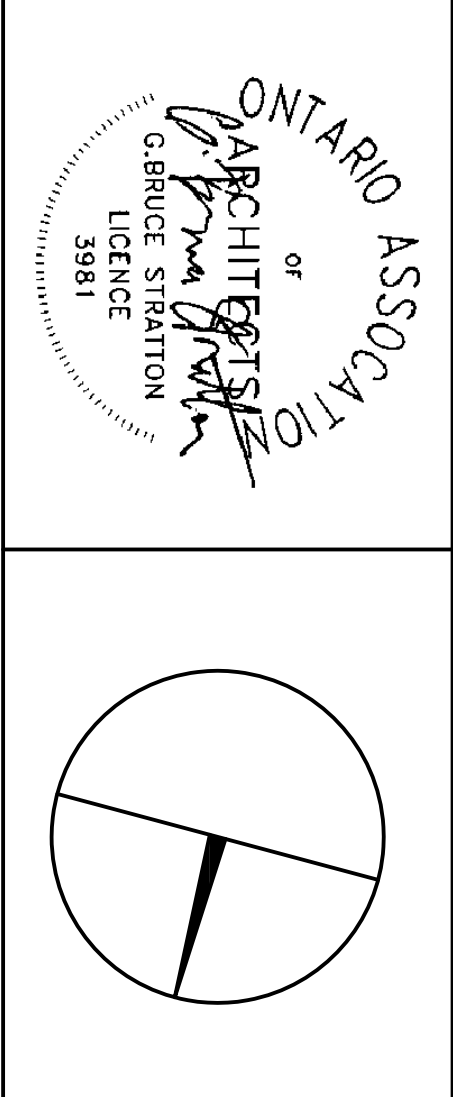


5 SECTION: MILLWORK - MEETING 3-88  
A602 SCALE: NTS

- GENERAL NOTES:
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1	03-20-2020	ISSUED FOR 60% REVIEW
2	05-18-2020	ISSUED FOR 90% REVIEW
3	05-25-2020	ISSUED FOR PERMIT
4	11-12-2020	ISSUED FOR TENDER
5	12-07-2020	ISSUED WITH ADDENDA

G. Bruce Stratton Architects  
217 Richmond Street West, Suite 300  
Toronto, Ontario M5V 1W2  
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Facsimile: 416.351.8146



**York Region**

## PROPERTY SERVICES

DEPARTMENT:	BUILDING & FACILITIES
FLOOR:	003
BASE DATE:	03-01-2020
PROJECT:	

TENDER NO.: T-19-349

## YORK REGION

Administrative Centre  
17250 Yonge Street  
Newmarket, Ontario

SCALE AS SHOWN
DRAWN BY: SK
SUBMITTED TO: MUNICIPALITY OF YORK
SHEET TITLE:

## DETAILS

SHEET NUMBER:

A602



