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1.1 Ontario Building Code Analysis

1.1.1 General

Introduction

The purpose of this review is to identify the Ontario Building Code (OBC) requirements and summarize JLR's approach with regard to fire and life safety applicable for the extensive renovation to Building 046 for the University of Guelph, located at 50 College Avenue West in Guelph, Ontario. This document is based on the requirements of the 2012 OBC, Ontario Regulation 332/12. [ ] indicates an OBC article reference. All references are to Division B unless otherwise noted.

Description

The scope of this project involves extensive renovation [1.1.3.3.2.] to wings B and C of Building 046. As described in OBC Appendix A, when an existing building undergoes an extensive renovation, it should generally conform to the requirements of Part 3 once the renovations are complete.

Wings B and C will be occupied by separate tenants, both under the same occupancy classification. The project is organized to accommodate program spaces as noted below:

Ground Floor

- |                         |                        |                    |
|-------------------------|------------------------|--------------------|
| • Entrance foyer        | • Mechanical room      | • Storage rooms    |
| • Vestibule             | • Washrooms            | • Elevator         |
| • Therapy rooms         | • Custodian room       | • Electrical rooms |
| • Viewing rooms         | • Research rooms       | • IT Server rooms  |
| • Large group room      | • Student Work area    | • Exits            |
| • Offices               | • Kitchenette          | • Exit stairs      |
| • Administration spaces | • Closed file storage  | • Corridor         |
| • Waiting area          | • Medical records room |                    |

Second Floor

- |                         |                  |                   |
|-------------------------|------------------|-------------------|
| • Lounge                | • Therapy rooms  | • Classrooms      |
| • Offices               | • Viewing rooms  | • Playrooms       |
| • Large group room      | • Washrooms      | • Storage rooms   |
| • Administration spaces | • Custodian room | • IT server rooms |
| • Waiting area          | • Wellness room  | • Exit stairs     |
| • Elevator              | • Prayer room    | • Corridor        |

Wings B and C will be considered separate suites. Roof, floors, walls and ceilings are being removed and replaced in Wing B. All ceilings are removed and replaced in Wing C. Therefore, the renovation must comply with the following:

- 1 All structural and fire-resistance elements shall be constructed in compliance with all other Parts [11.3.3.2 (1)].
- 2 Wing B must comply to [3.8] Barrier-Free Design [11.3.3.2.(2)(a)].

The remainder of this section will relate to Part 3 of the OBC.

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- The building is served by an elevator. [3.3.1.7]
- Corridors are greater than 1,100 mm. [3.3.1.9]
- No obstructions within the corridor will project more than 100 mm between 680 mm and 1,980 mm above the floor.
- No doors open into access to exits. [3.3.1.10]
- Capacity of access to exits are as follows (6.1mm/person [3.3.1.16(2)]):
  - 1 Doors (narrowest door DST203) = 158 people (965 mm) (2<sup>nd</sup> fl)
  - 2 Corridor (typical width location) = 375 people (2,275 mm) (2<sup>nd</sup> fl)
  - 3 Corridor (narrowest width location) = 150 people (1,200 mm) (2<sup>nd</sup> fl)
- Guards are required in the following locations:
  - 1 At stairs and landings
- No transparent panels are used that could be mistaken as a means of egress. [3.3.1.18.(3)]
- No obstructions exist within means of egress. Owner is required to comply with this requirement. [3.3.1.22]
- No welding or cutting is planned within the building. [3.3.1.24]
- Classrooms have occupancy loads less than 200. [3.3.2.2.(8)]
- The building is sprinklered; no fire rating is required at the corridor. [3.3.2.5.(3)]

1.1.5 Exits [3.4]

- Each floor area is served by two exits. [3.4.2.1.(1)]
- The travel distance within the building is less than 45 m. [3.4.2.5.(1).(c)]
- Capacity of existing exits are as follows [3.4.3.2]:

Area	Wing B – Level 1	Wing B – Level 2	Wing C
Occupant Load	258	333	65
Occupant Load Contributing to each Exit Stair	129	167	33
Required Width of Exit Doors (6.1 mm/person)	787 mm	1,019 mm	201 mm
Provided Width of Exit Doors (smallest represented)	965 mm	1,930 mm	1,930 mm
Required Width of Exit Stair (8 mm/person)	1,032 mm	1,336 mm	N/A
Provided Width of Exit Stair	1,400 mm	1,400 mm	N/A
Required Exit Door Width to the Exterior (6.1 mm/person)	787 mm	1,019 mm	201 mm
Provided Exit Door Width to the Exterior	1,930 mm	1,930 mm	1,930 mm

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1.1.2 General [3.1]

Rating of Firewall [3.1.10]

The rating of the existing firewall separating Wing A and Wing B shall be constructed from masonry or and shall have a fire-resistance rating of not less than 2hrs

Occupant Load [3.1.17]

The occupant load of Building 046 is as follows:

- Ground Floor Wing B = 258 persons
- Second Floor Wing B = 333 persons
- Wing C = 65

1.1.3 Building Fire Safety [3.2]

Occupancy Classification

- |                                |  |
|--------------------------------|--|
| • Major occupancy:             | College and schools – Assembly – Group A, Division 2                         |
| • Building area:               | 1,858.1 sq.m   |
| • Building height:             | Two (2) Storeys  |
| • Ground floor area:           | 1,844.7 sq.m (19,856 sq.ft.)   |
| • Second floor area:           | 1,151 sq.m (12,389 sq.ft.)   |
| • Mezzanine area:              | N/A  |
| • Gross building area:         | 2,995.7 (32,245 sq.ft.)  |
| • # of streets facing:         | One (1)  |
| • 2012 OBC classification:     | Group A, Division 2, up to 2 storeys, increased area, sprinklered [3.2.2.26] |
| • Max permitted building area: | 2,400 sq.m [3.2.2.26]  |

Building Size and Construction Relative to Occupancy

Construction Required:

- Combustible or non-combustible construction shall be used singly, and,
- 1 Floor assemblies shall be fire separations with a 0hr fire resistance rating (fr).
  - 2 Loadbearing walls, columns and arches shall be of non-combustible construction. [3.2.2.26]

Proposed Construction:

- |  |                 |
|--|-----------------|
| 1 Construction:                                | Non-combustible |
| 2 Roof assembly:                               | No rating       |
| 3 Sprinklers:                                  | Required        |
| 4 No mezzanine is proposed within the building |                 |
| 5 Floor assembly:                              | fr 0hr          |
| 6 Load bearing components:                     | fr 0hr          |

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Spatial Separation and Exposure Protection [3.2.3]

- Exterior walls of exit enclosures will not be exposed to fire from:
  - 1 Openings in the exterior walls of the building. [3.2.3.13]
  - 2 No openings in exterior wall of a fire compartment will be exposed to openings in the exterior walls of another fire compartment.
- 3 Based on the limiting distances in [Table 3.2.3.1.D], the areas of unprotected openings permitted in the exposing building faces are as follows:

Proposed Building Face	Area (sq.m)	Limiting Distance	%Unprotected openings permitted	% Openings
Fire Compartment 1 (Wing C)				
North	> 137.1	> 9 m	100 %	< 46.6%
South	> 127.8	> 9 m	100 %	< 49.5%
East	> 22.4	> 4 m	90 %	< 38.2%
West	> 19.2	> 7.2 m	100 %	< 27.5%
Fire Compartment 2 (Vestibule C100)				
North	> 573.8	> 9 m	100 %	< 90.3%
South	N/A	N/A	N/A	N/A
East	N/A	N/A	N/A	N/A
West	N/A	N/A	N/A	N/A
Fire Compartment 3 (Wing B)				
North	> 304.5	> 9 m	100 %	< 58.1%
South	> 200.1	> 9 m	100 %	< 50.4%
East-1	> 10.2	> 7.2 m	100 %	< 0%
East-2	> 113.19	> 9 m	100 %	< 56.9%
West	> 153.7	> 9 m	100 %	< 54.0%
Fire Compartment 4 (Wing B)				
North	N/A	N/A	N/A	N/A
South	N/A	N/A	N/A	N/A
East	N/A	N/A	N/A	N/A
West	> 16.5	> 9 m	100 %	< 90.0%
Fire Compartment 5 (Wing B)				
North	N/A	N/A	N/A	N/A
South	> 26.3	> 9 m	100 %	< 0%
East	N/A	N/A	N/A	N/A
West	> 61.7	> 9 m	100 %	< 8.0%

Construction of Exposing Building face [3.2.3.7]

- Building faces where the permitted % of unprotected openings is greater than 25% and less than 100% shall have a fire-resistance rating of 45 min and are permitted to be of combustible or non-combustible construction.

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- As per 3.2.3.1(3) for determination of the construction of the assembly, the limiting distance shall be taken as the project of the exterior wall onto a vertical plane located so that no portion of the exterior wall of the building or of a fire compartment is beyond that vertical plane. This impacts one elevation listed below.

Proposed Building Face	Area (sq.m)	Limiting Distance	%Unprotected openings permitted	Required Rating of Exposed Building Face
Fire Compartment 1 (Wing C)				
East	> 22.4	> 3.0 m	60 %	45 mins

Fire Alarm [3.2.4]

- A fire alarm is required for the building. [3.2.4.1 (2) (f)]
- Manual pull stations are required as per [3.2.4.18]

Provisions for Fire Fighting [3.2.5]

- The building is sprinklered.
- Openings for access to above grade storeys are not required. [3.2.5.1]
- Roof access is not required. [3.2.5.3]
- A sprinkler fire department connection is being added. No revisions to the existing fire-route will be required.
- Portable fire extinguishers will be provided as per part 6 of the fire code. [3.2.5.17]
- Emergency lighting will be provided. [3.2.7.3]
- There are no mezzanines or openings through floor assemblies. [3.2.8]
- The building does not contain an interconnected floor space. [3.2.8.1]
- As per [3.2.8.2.(6)], Articles [3.2.8.3] to [3.2.8.11] do not apply to the building.

Removal of Existing Standpipe [3.2.9]

- A standpipe system is not required [3.2.9.1 (1) to (6)]
- An existing standpipe system exists within the building.
- Through the removal of the standpipe and installation of a sprinkler system, the performance level of fire protective equipment is not being decreased.
- Correspondence with the City of Guelph officials established this approach is acceptable. (Becky Montyro, CBCO, Plans Examiner III, Building Services, Infrastructure, Development and Enterprise City of Guelph - August 28, 2018).

1.1.4 Safety Within Floor Areas [3.3]

General Safety

- There are two suites within the building. A fire separation with a fire-resistance rating of 45 min will be required between suites. [3.3.1.1(2)]
- There is no storage of hazardous substances within the building. [3.3.1.2]
- Access to the roof is for personnel servicing roof top equipment and general maintenance only. Access to roof top is by stairway and access ladders. [3.3.1.3.(10)]
- There is no public corridor within the building. [1.4.1.2], [3.3.1.4]
- Two egress doors are to be provided from each. [3.3.1.5]

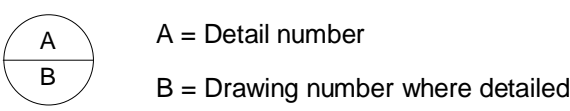
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DO NOT SCALE DRAWINGS:

Contractors must check and verify all site conditions. Notify the Owner's Representative in writing before proceeding with the work if discrepancies are evident between the drawings and the site condition. No extras to the contract will be allowed if discrepancies were evident prior to start of work.

UNEXPECTED DISCOVERY OF ASBESTOS:

Where a friable material is discovered during construction, renovations and/or demolition, and it is suspected to contain asbestos, the Contractor must stop all work that may disturb the material. The Contractor shall advise the Owner of the discovery and await instructions from the owner.



1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal



Project <b>BUILDING #046 RENOVATIONS</b>	
Drawing Title <b>ARCHITECTURAL OBC REVIEW</b>	
Project No. <b>504034</b>	
Location <b>UNIVERSITY OF GUELPH BUILDING #046</b>	
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No.  <b>A01</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



## OBC REFERENCE 18

Diagram illustrating the layout of Wing A, showing five fire compartments and their dimensions. The diagram includes a dashed line indicating the "FACE OF ADJACENT BUILDING".

Dimensions and Labels:

- Overall width: 7219
- Overall height: 9000
- Fire Compartment #1: 4200 (width), 2204 (height)
- Fire Compartment #2: 9000 (width), 9000 (height)
- Fire Compartment #3: 9000 (width), 9000 (height)
- Fire Compartment #4: 41200 (width), 6726 (height)
- Fire Compartment #5: 6726 (width), 6726 (height)
- Wing A
- FACE OF ADJACENT BUILDING
- NOTE: REFER TO DRAWING A01 FOR PERCENTAGE OF EXPOSED BUILDING FACES

SCALE : 1 : 500

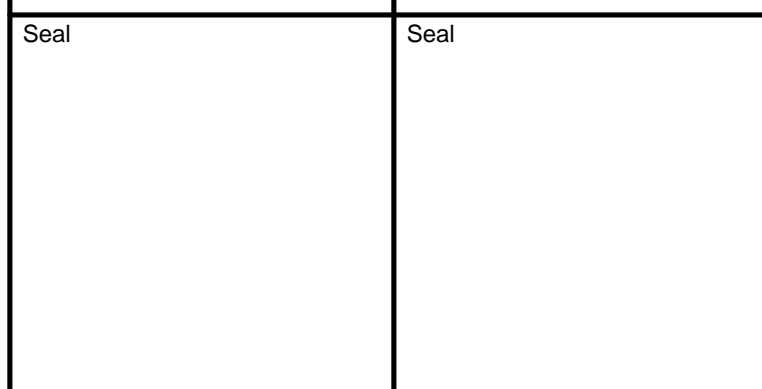
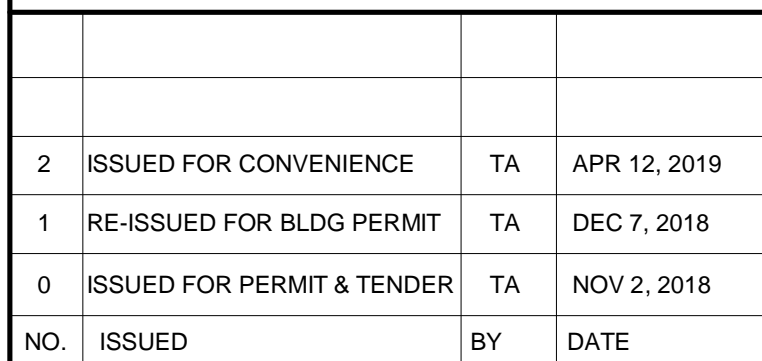


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Project

**BUILDING #046  
RENOVATIONS**

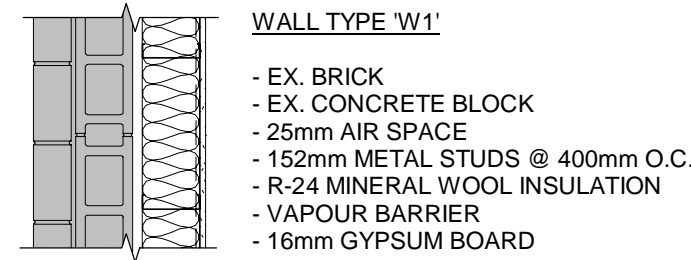
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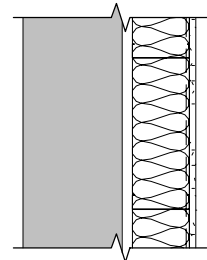
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**504034**

Location  
UNIVERSITY OF GUELPH  
BUILDING #046

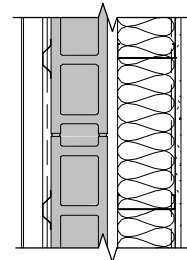
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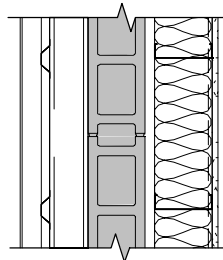
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- EX. BRICK
  - EX. CONCRETE BLOCK
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  - 152mm METAL STUDS @ 400mm O.C.
  - R-24 MINERAL WOOL INSULATION
  - VAPOUR BARRIER
  - 16mm GYPSUM BOARD



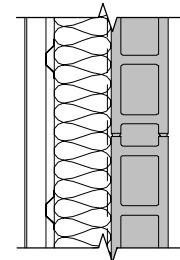
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- EX. FOUNDATION WALL
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  - 16mm GYPSUM BOARD



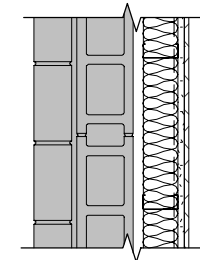
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  - WATER RESISTANT VAPOUR PERMEABLE AIR BARRIER MEMBRANE
  - EX. CONCRETE BLOCK
  - 25mm AIR SPACE
  - 152mm METAL STUDS @ 400mm O.C.
  - R-24 MINERAL WOOL INSULATION
  - VAPOUR BARRIER
  - 16mm GYPSUM BOARD



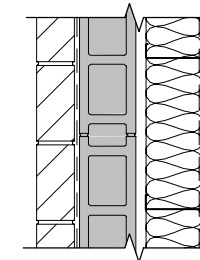
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  - 127mm HORIZONTAL Z-GIRTS @ 400mm O.C.
  - WATER RESISTANT VAPOUR PERMEABLE AIR BARRIER MEMBRANE
  - EX. CONCRETE BLOCK
  - 25mm AIR SPACE
  - 152mm METAL STUDS @ 400mm O.C.
  - R-24 MINERAL WOOL INSULATION
  - VAPOUR BARRIER
  - 16mm GYPSUM BOARD



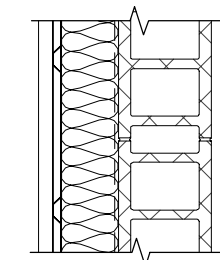
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- ALUMINUM COMPOSITE PANELS
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  - 152mm THERMALLY BROKEN HORIZONTAL Z-GIRTS @ 400mm O.C.
  - 152mm SEMI-RIGID MINERAL WOOL INSULATION
  - AIR/VAPOUR BARRIER
  - EX. CONCRETE BLOCK



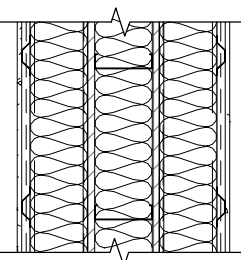
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- EX. BRICK
  - EX. CONCRETE BLOCK
  - 25mm AIR SPACE
  - 92mm METAL STUDS @ 400mm O.C.
  - R-14 MINERAL WOOL INSULATION
  - VAPOUR BARRIER
  - 16mm GYPSUM BOARD
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE



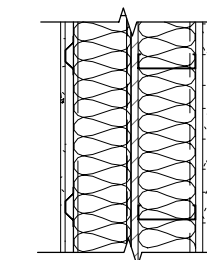
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  - WATER RESISTANT VAPOUR PERMEABLE AIR BARRIER MEMBRANE
  - EX. CONCRETE BLOCK
  - 25mm AIR SPACE
  - 152mm METAL STUDS @ 400mm O.C.
  - R-24 MINERAL WOOL INSULATION
  - VAPOUR BARRIER
  - 16mm GYPSUM BOARD



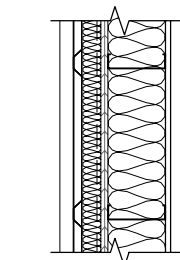
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  - 22mm VERTICAL HAT CHANNELS @ 400mm O.C.
  - 152mm HORIZONTAL Z-GIRTS @ 400mm O.C.
  - 152mm SEMI-RIGID MINERAL WOOL INSULATION
  - AIR/VAPOUR BARRIER
  - 245mm CONCRETE BLOCK



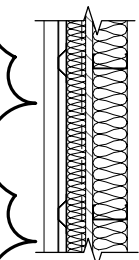
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- EXTRUDED CONCRETE CLADDING
  - 22mm VERTICAL HAT CHANNELS @ 400mm O.C.
  - BLACK AIR BARRIER
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  - 152mm SEMI-RIGID MINERAL WOOL INSULATION
  - 16mm EXTERIOR GRADE PLYWOOD
  - AIR/VAPOUR BARRIER
  - 152mm STRUCTURAL METAL STUDS @ 400mm O.C.
  - 16mm EXTERIOR GRADE PLYWOOD
  - AIR/VAPOUR BARRIER
  - 152mm SEMI-RIGID MINERAL WOOL INSULATION
  - 152mm HORIZONTAL Z-GIRTS @ 400mm O.C.
  - BLACK AIR BARRIER
  - 22mm VERTICAL HAT CHANNELS @ 400mm O.C.
  - EXTRUDED CONCRETE CLADDING



- WALL TYPE 'W8a'**
- EXTRUDED CONCRETE CLADDING
  - 22mm VERTICAL HAT CHANNELS @ 400mm O.C.
  - 152mm HORIZONTAL Z-GIRTS @ 400mm O.C.
  - 152mm SEMI-RIGID MINERAL WOOL INSULATION
  - AIR/VAPOUR BARRIER
  - 16mm EXTERIOR GRADE PLYWOOD
  - 152mm METAL STUDS @ 400mm O.C.
  - VAPOUR BARRIER
  - 19mm STRAPPING
  - 16mm GYPSUM BOARD



- WALL TYPE 'W9'**
- HORIZONTAL METAL CLADDING
  - 22mm VERTICAL HAT CHANNELS @ 400mm O.C.
  - 50mm HORIZONTAL Z-GIRTS @ 400mm O.C.
  - 50mm SEMI-RIGID INSULATION
  - WATER RESISTANT VAPOUR PERMEABLE AIR BARRIER MEMBRANE
  - 16mm EXTERIOR GRADE SHEATHING
  - 152mm METAL STUDS @ 400mm O.C.
  - R-24 MINERAL WOOL INSULATION
  - METAL LINER, SEAL ALL JOINTS

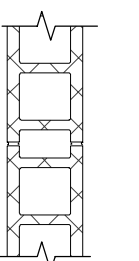


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  - 50mm SEMI-RIGID INSULATION
  - WATER RESISTANT VAPOUR PERMEABLE AIR BARRIER MEMBRANE
  - 16mm EXTERIOR GRADE SHEATHING
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  - R-12 MINERAL WOOL INSULATION

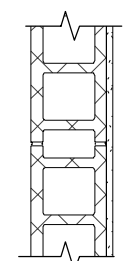
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## WALL TYPES

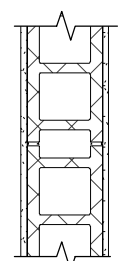
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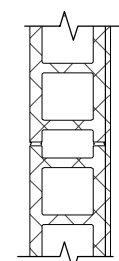
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- EX. CONCRETE BLOCK OR CONCRETE BLOCK, WIDTH TO MATCH EXISTING
  - SEAL CONCRETE BLOCK WITH MINIMUM TWO COATS LATEX PAINT.
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 50
  - OBC DESIGN NO. B1b



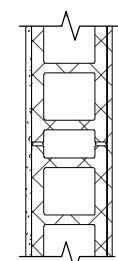
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- EX. CONCRETE BLOCK OR CONCRETE BLOCK, WIDTH TO MATCH EXISTING
  - LAMINATED 16mm GYPSUM BOARD, TO ASTM C840
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 50
  - SIMILAR TO OBC DESIGN NO. B1b



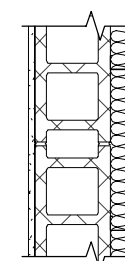
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- LAMINATED 16mm GYPSUM BOARD, TO ASTM C840
  - EX. CONCRETE BLOCK OR CONCRETE BLOCK, WIDTH TO MATCH EXISTING
  - LAMINATED 16mm GYPSUM BOARD, TO ASTM C840
  - 3 HR FRR WHERE APPLICABLE
  - STC 50
  - OBC DESIGN NO. B2e



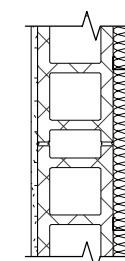
- PARTITION TYPE 'P4'**
- EX. CONCRETE BLOCK OR CONCRETE BLOCK, WIDTH TO MATCH EXISTING
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 50
  - SIMILAR TO OBC DESIGN NO. B1b



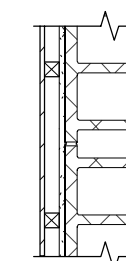
- PARTITION TYPE 'P5'**
- LAMINATED 16mm GYPSUM BOARD, TO ASTM C840
  - EX. CONCRETE BLOCK OR CONCRETE BLOCK, WIDTH TO MATCH EXISTING
  - 92mm METAL STUDS @ 400mm O.C.
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 50
  - SIMILAR TO OBC DESIGN NO. B1b



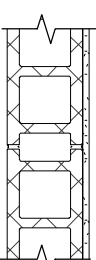
- PARTITION TYPE 'P5a'**
- LAMINATED 16mm GYPSUM BOARD, TO ASTM C840
  - EX. CONCRETE BLOCK OR CONCRETE BLOCK, WIDTH TO MATCH EXISTING
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE
  - 3 HR FRR WHERE APPLICABLE
  - STC 54
  - SIMILAR TO OBC DESIGN NO. B5a



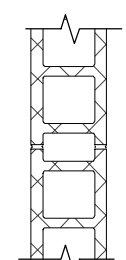
- PARTITION TYPE 'P6'**
- LAMINATED 16mm GYPSUM BOARD, TO ASTM C840
  - EX. CONCRETE BLOCK OR CONCRETE BLOCK, WIDTH TO MATCH EXISTING
  - 64mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - 3 HR FRR WHERE APPLICABLE
  - STC 54
  - SIMILAR TO OBC DESIGN NO. B5a



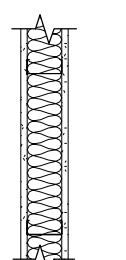
- PARTITION TYPE 'P6a'**
- COMPOSITE WOOD VENEER PANELS, FULLY ADHERED
  - 38mm VERTICAL SOLID WOOD BATTENS @ 400mm O.C., PAINT/PRIMED BLACK ON EXPOSED FACE
  - LAMINATED 16mm GYPSUM BOARD, TO ASTM C840
  - EX. CONCRETE BLOCK OR CONCRETE BLOCK, WIDTH TO MATCH EXISTING
  - 64mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - 3 HR FRR WHERE APPLICABLE
  - STC 54
  - SIMILAR TO OBC DESIGN NO. B5a



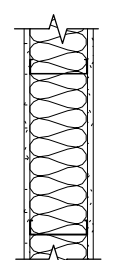
- PARTITION TYPE 'P7'**
- 245mm CONCRETE BLOCK
  - LAMINATED 16mm GYPSUM BOARD, TO ASTM C840
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 50
  - SIMILAR TO OBC DESIGN NO. B1b



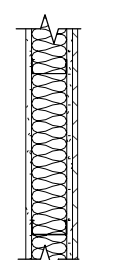
- PARTITION TYPE 'P8'**
- 245mm CONCRETE BLOCK
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 50
  - SIMILAR TO OBC DESIGN NO. B1b



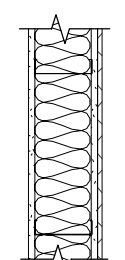
- PARTITION TYPE 'P9'**
- 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - 1 HR FRR WHERE APPLICABLE
  - STC 47
  - OBC DESIGN NO. S4b



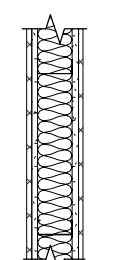
- PARTITION TYPE 'P9a'**
- 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - 1 HR FRR WHERE APPLICABLE
  - STC 47
  - OBC DESIGN NO. S4b



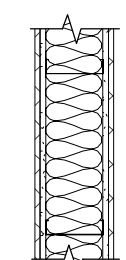
- PARTITION TYPE 'P10'**
- 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE
  - 1 HR FRR WHERE APPLICABLE
  - STC 47
  - SIMILAR TO OBC DESIGN NO. S4b



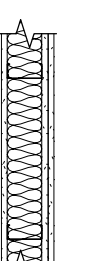
- PARTITION TYPE 'P10a'**
- 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE
  - 1 HR FRR WHERE APPLICABLE
  - STC 51
  - SIMILAR TO OBC DESIGN NO. S7a



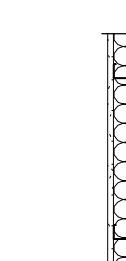
- PARTITION TYPE 'P11'**
- PORCELAIN TILE
  - MORTAR BED AND METAL LATHE
  - 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE
  - 1 HR FRR WHERE APPLICABLE
  - STC 47
  - SIMILAR TO OBC DESIGN NO. S4b



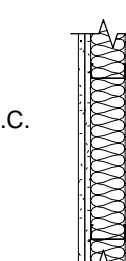
- PARTITION TYPE 'P11a'**
- PORCELAIN TILE
  - MORTAR BED AND METAL LATHE
  - 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 16mm GYPSUM BOARD
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE
  - 1 HR FRR WHERE APPLICABLE
  - STC 51
  - OBC DESIGN NO. S7a



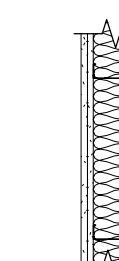
- PARTITION TYPE 'P12'**
- 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 2-LAYERS 16mm GYPSUM BOARD
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 52
  - OBC DESIGN NO. S5b



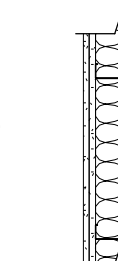
- PARTITION TYPE 'P12a'**
- 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 2-LAYERS 16mm GYPSUM BOARD
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 52
  - OBC DESIGN NO. S5b



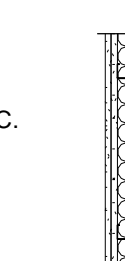
- PARTITION TYPE 'P13'**
- 2-LAYERS 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 2-LAYERS 16mm GYPSUM BOARD
  - 2 HR FRR WHERE APPLICABLE
  - STC 55
  - OBC DESIGN NO. S6b



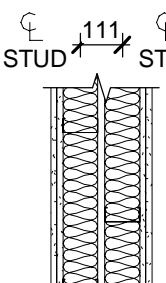
- PARTITION TYPE 'P13a'**
- 2-LAYERS 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 2-LAYERS 16mm GYPSUM BOARD
  - MORTAR BED AND METAL LATHE
  - PORCELAIN TILE
  - 2 HR FRR WHERE APPLICABLE
  - STC 55
  - OBC DESIGN NO. S6b



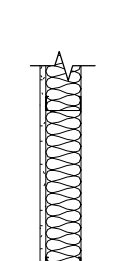
- PARTITION TYPE 'P13b'**
- 2-LAYERS 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 2-LAYERS 16mm GYPSUM BOARD
  - 2 HR FRR WHERE APPLICABLE
  - STC 55
  - OBC DESIGN NO. S6b



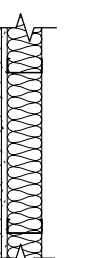
- PARTITION TYPE 'P13c'**
- 2-LAYERS 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 2-LAYERS 16mm GYPSUM BOARD
  - 38mm VERTICAL SOLID WOOD BATTENS @ 400mm O.C.
  - PAINT/PRIMED BLACK ON EXPOSED FACE
  - COMPOSITE WOOD VENEER PANELS, FULLY ADHERED
  - 2 HR FRR WHERE APPLICABLE
  - STC 55
  - OBC DESIGN NO. S6b



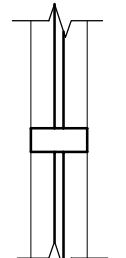
- PARTITION TYPE 'P14'**
- 2-LAYERS 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 19mm AIR SPACE
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 2-LAYERS 16mm GYPSUM BOARD
  - NOTE: METAL STUDS TO BE STAGGERED
  - 1 HR FRR WHERE APPLICABLE
  - STC 68
  - OBC DESIGN NO. S15a



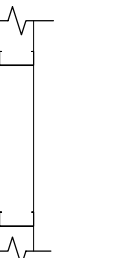
- PARTITION TYPE 'P15'**
- 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 1 HR FRR WHERE APPLICABLE
  - STC 51
  - OBC DESIGN NO. S7a



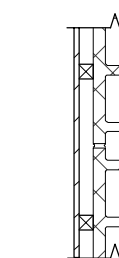
- PARTITION TYPE 'P15a'**
- PORCELAIN TILE
  - MORTAR BED AND METAL LATHE
  - 16mm GYPSUM BOARD
  - 92mm METAL STUDS @ 400mm O.C.
  - ACUSTIC BATT INSULATION
  - 1 HR FRR WHERE APPLICABLE
  - STC 51
  - OBC DESIGN NO. S7a



- PARTITION TYPE 'P16'**
- FIRE RATED GLASS WALL ASSEMBLY
  - 1 HR FRR WHERE APPLICABLE

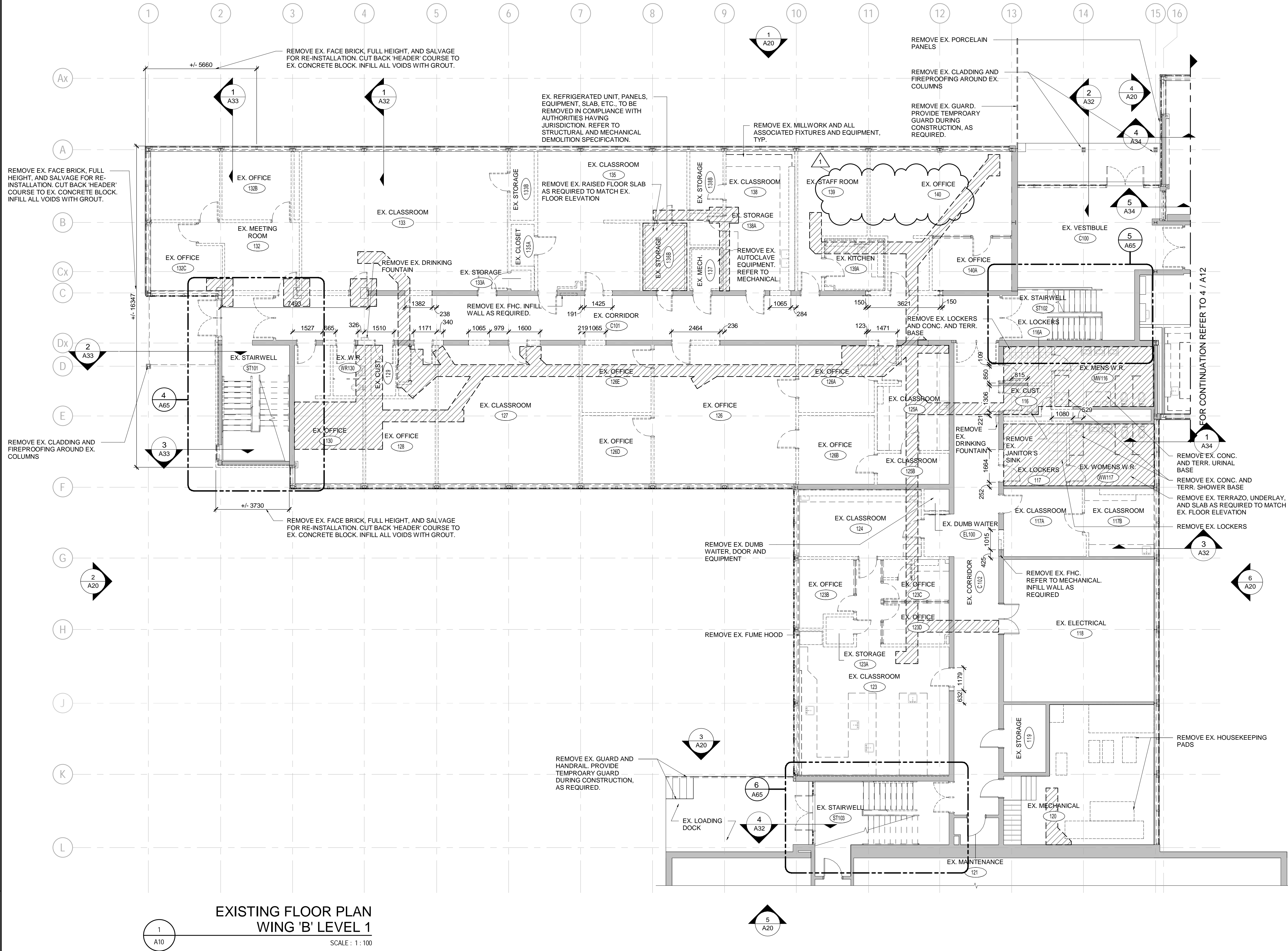


- PARTITION TYPE 'P17'**
- EXTRUDED CONCRETE CLADDING
  - 22mm HORIZONTAL HAT CHANNELS @ 400mm O.C.
  - 92mm METAL STUDS @ 400mm O.C.
  - 1.5 HR FRR WHERE APPLICABLE
  - STC 50
  - SIMILAR TO OBC DESIGN NO. B1b



- PARTITION TYPE 'P18'**
- COMPOSITE WOOD VENEER PANELS
  - 38mm VERTICAL SOLID





EXISTING FLOOR PLAN  
WING 'B' LEVEL 1

SCALE : 1 : 100

**LEGEND:**

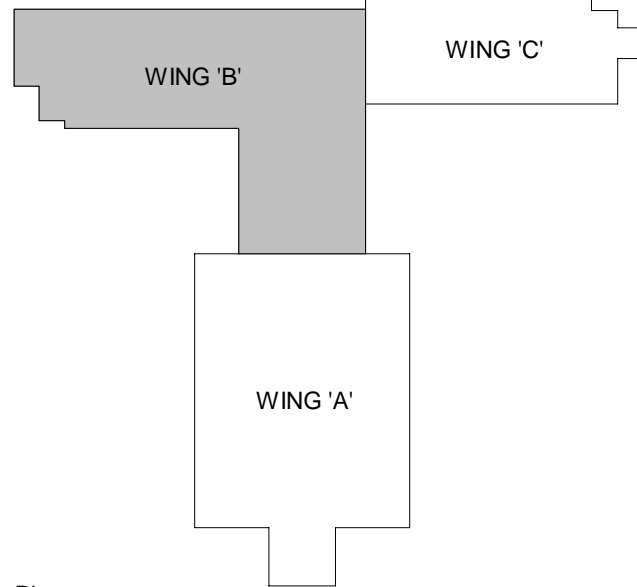
- 000 ROOM NUMBER
- DENOTES APPROXIMATE EXTENT OF EX. FLOORING TO BE REMOVED AND EX. CONCRETE SLAB TO BE SAWCUT AND REMOVED TO SUIT NEW STRUCTURE, PLUMBING OR ELECTRICAL BOXES. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.

**NOTES:**

- DASHED LINES DENOTES EXTENT OF REMOVALS. REMOVALS TO INCLUDE EXISTING WINDOWS, CURTAIN WALLS, EXTERIOR DOORS, INTERIOR WALLS, CEILINGS AND BULKHEADS, DOORS AND FRAMES, MILLWORK, TOILET PARTITIONS, PLUMBING FIXTURES, LOCKERS AND FLOORING, AS INDICATED ON DRAWINGS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF M&E REMOVALS.
- REMOVE EX. WALLS TO U/S OF CEILING ABOVE EX. ELECTRICAL PANEL REMOVALS TO ALLOW FOR REMOVAL OF EX. CONDUIT. PATCH AND REPAIR WALLS WITH MATERIALS OF LIKE KIND AND QUALITY. REFER TO ELECTRICAL DRAWING FOR LOCATIONS.
- PATCH AND REPAIR EXISTING FLOORS AND WALLS AT ALL REMOVAL LOCATIONS WITH MATERIALS OF LIKE KIND AND QUALITY.
- 'INFILL WALLS' TO BE INFILLED WITH MATERIALS OF LIKE KIND AND QUALITY.
- CONTRACTOR TO SUPPLY, INSTALL AND MAINTAIN WEATHER TIGHT AND VANDAL RESISTANT HOARDING IN AREAS OF WINDOW REMOVAL DURING THE ENTIRE COURSE OF THE PROJECT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL MATERIALS UNLESS OTHERWISE NOTED.
- WHERE BUILDING COMPONENTS, MATERIALS AND EQUIPMENT ARE INDICATED FOR REMOVAL CONTRACTOR TO REMOVE ALL COMPONENTS. ATTACHMENTS AND ACCESSORIES BACK TO STRUCTURE AND/OR SUBSTRATE UNLESS OTHERWISE NOTED.
- AREAS OF FLOOR REMOVALS/REPAIRS DIAGROMETRIC IN NATURE. CONTRACTOR TO CONFIRM EXACT SIZE AND LOCATION PRIOR TO COMMENCEMENT OF WORK.

**ABBREVIATIONS:**

- CONC CONCRETE  
EX EXISTING  
FHC FIRE HOSE CABINET  
TERR TERRAZZO



Key Plan

**DO NOT SCALE DRAWINGS:**

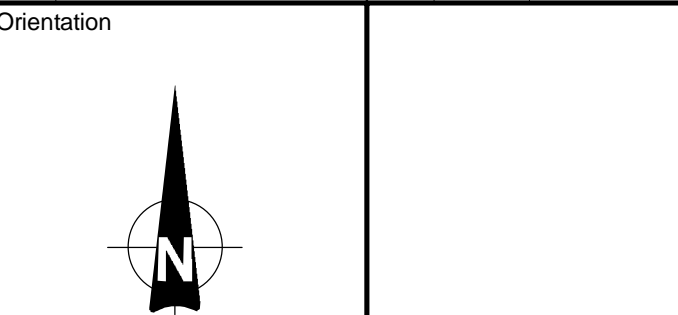
Contractors must check and verify all site conditions. Notify the Owner's Representative in writing before proceeding with the work if discrepancies are evident between the drawings and the site condition. No extras to the contract will be allowed if discrepancies were evident prior to start of work.

**UNEXPECTED DISCOVERY OF ASBESTOS:**

Where a friable material is discovered during construction, renovations and/or demolition, and it is suspected to contain asbestos, the Contractor must stop all work that may disturb the material. The Contractor shall advise the Owner of the discovery and await instructions from the owner.

- A = Detail number  
B = Drawing number where detailed

NO.	ISSUED	BY	DATE
2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
1	POST-TENDER ADDENDUM NO.1	TA	FEB 26, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018



Seal	Seal
------	------

**UNIVERSITY of GUELPH**  
Design, Engineering & Construction  
Physical Resources  
Guelph, Ontario, N1G 2W1

Consultant [www.jlrichards.ca](http://www.jlrichards.ca)

**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
EXISTING FLOOR PLAN  
WING B LEVEL 1**

Project No.  
**504034**

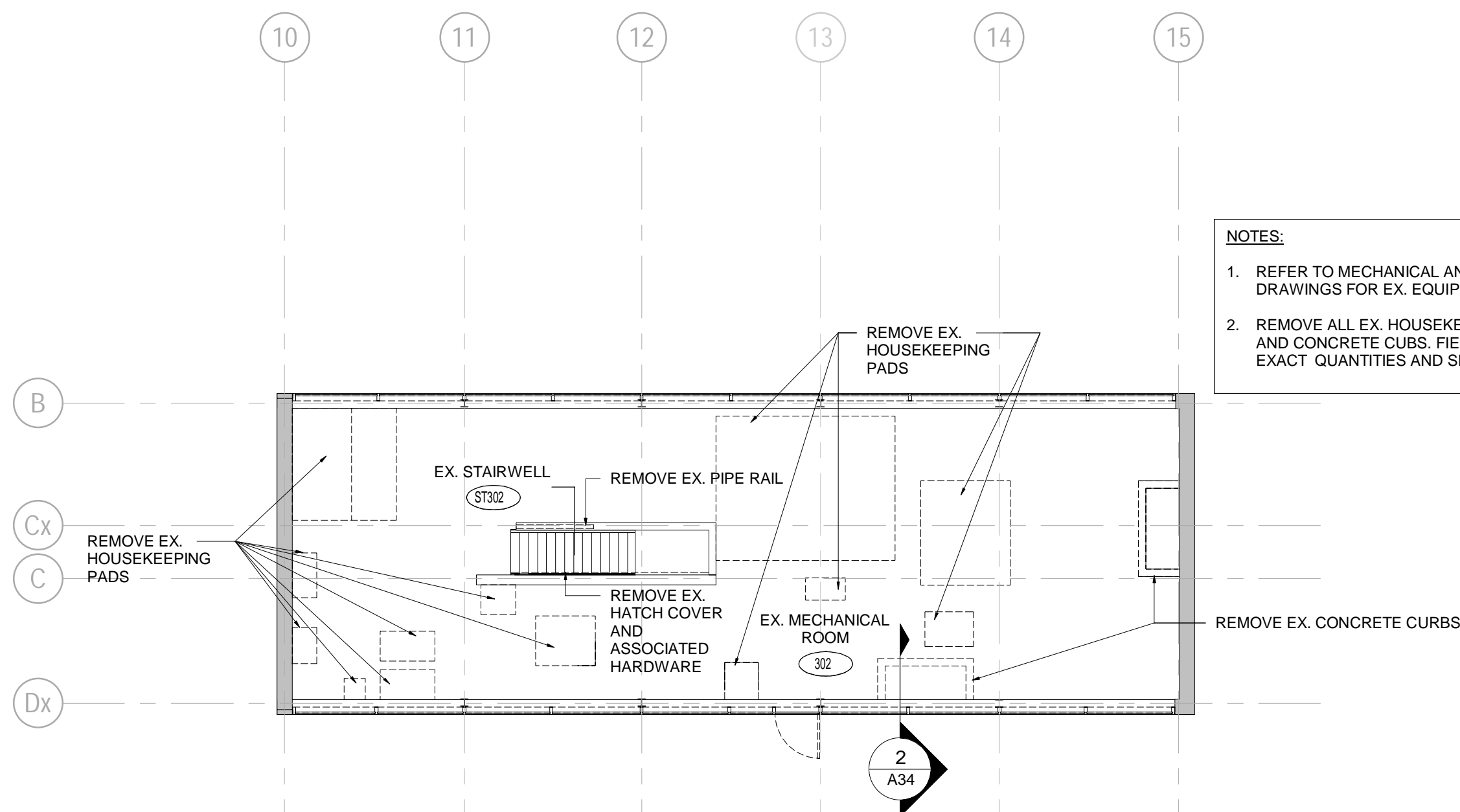
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No.
Checked By TA	<b>A10</b>
Approved By RPC	
JLR #: 27915	
Cad File No.	





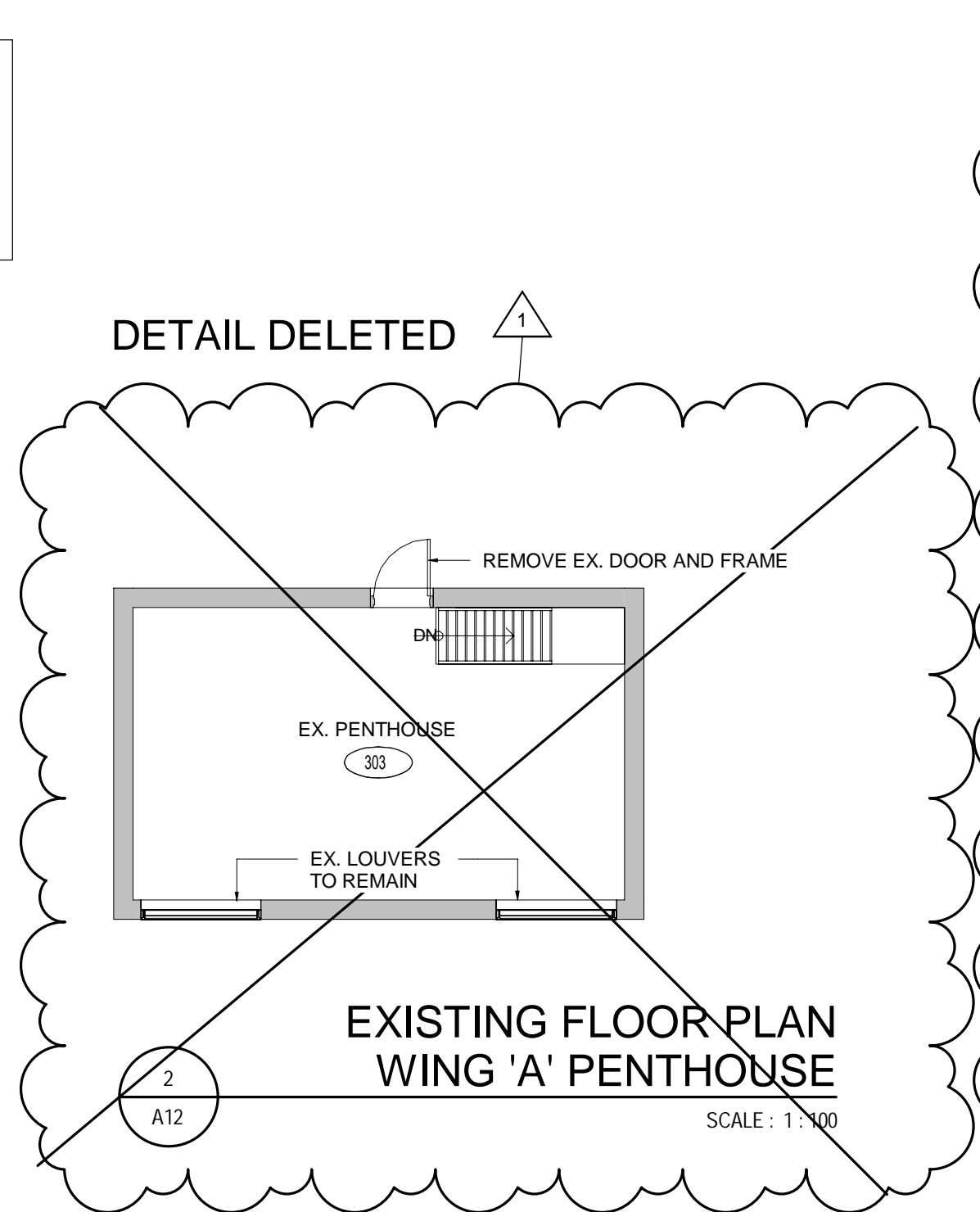




EXISTING FLOOR PLAN  
WING 'B' PENTHOUSE

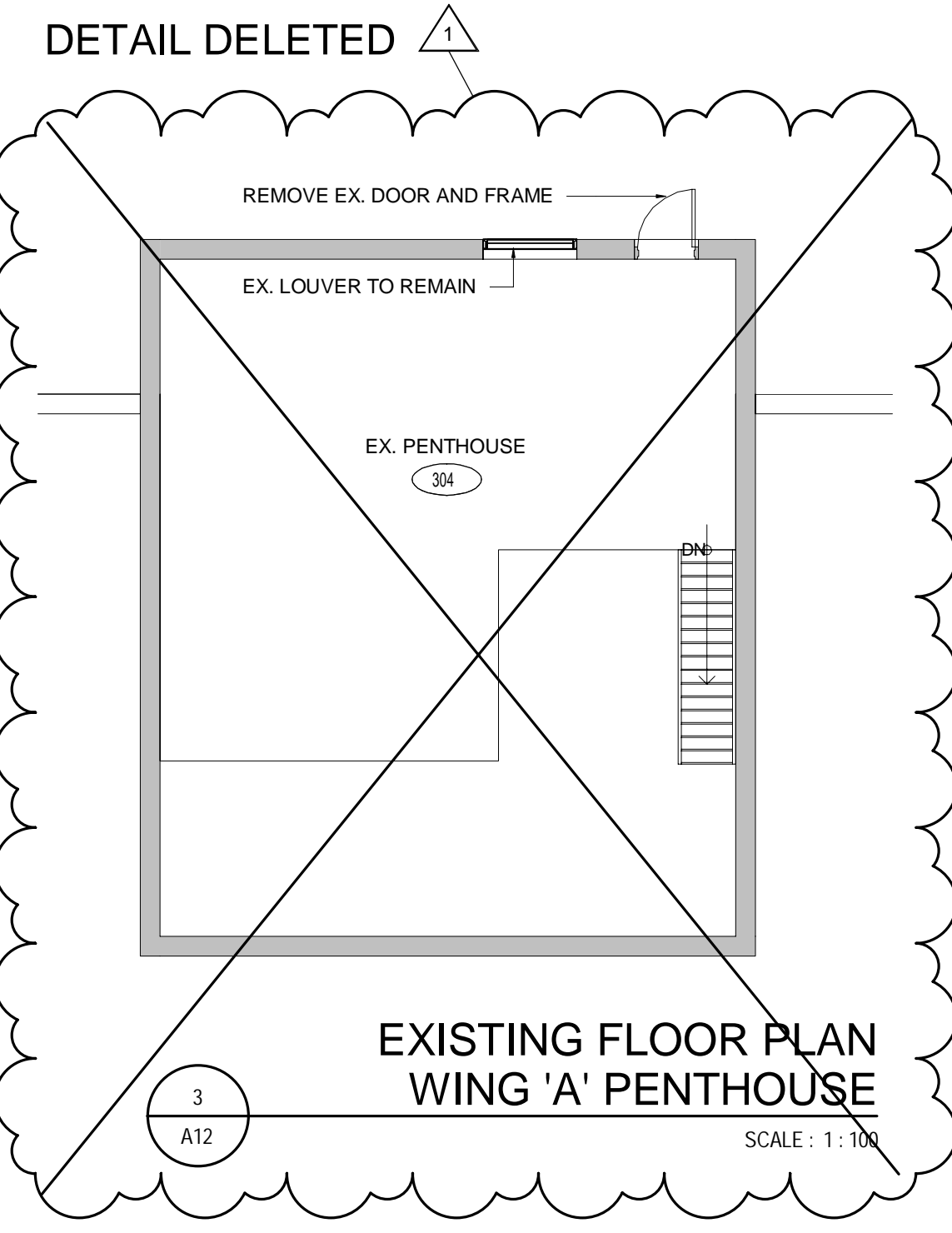
SCALE: 1:100

- NOTES:
1. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EX. EQUIPMENT REMOVAL
  2. REMOVE ALL EX. HOUSEKEEPING PADS AND CONCRETE CURBS. FIELD VERIFY EXACT QUANTITIES AND SIZES



EXISTING FLOOR PLAN  
WING 'A' PENTHOUSE

SCALE: 1:100



EXISTING FLOOR PLAN  
WING 'A' PENTHOUSE

SCALE: 1:100

LEGEND:

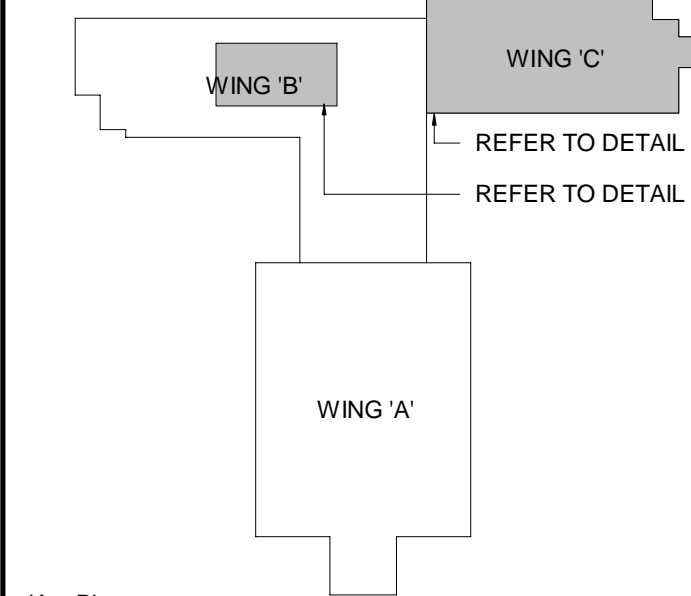
- 000 ROOM NUMBER
- DENOTES APPROXIMATE EXTENT OF EX. FLOORING TO BE REMOVED AND EX. CONCRETE SLAB TO BE SAWCUT AND REMOVED TO SUIT NEW STRUCTURE, PLUMBING OR ELECTRICAL BOXES. REFER TO STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.

NOTES:

1. DASHED LINES DENOTES EXTENT OF REMOVALS. REMOVALS TO INCLUDE EXISTING WINDOWS, CURTAIN WALLS, EXTERIOR DOORS, INTERIOR WALLS, CEILINGS AND BULKHEADS, DOORS AND FRAMES, MILLWORK, TOILET PARTITIONS, PLUMBING FIXTURES, LOCKERS AND FLOORING, AS INDICATED ON DRAWINGS.
2. REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF M&E REMOVALS.
3. REMOVE EX. WALLS TO U/S OF CEILING ABOVE EX. ELECTRICAL PANEL REMOVALS TO ALLOW FOR REMOVAL OF EX. CONDUIT. PATCH AND REPAIR WALLS WITH MATERIALS OF LIKE KIND AND QUALITY. REFER TO ELECTRICAL DRAWING FOR LOCATIONS.
4. PATCH AND REPAIR EXISTING FLOORS AND WALLS AT ALL REMOVAL LOCATIONS WITH MATERIALS OF LIKE KIND AND QUALITY.
5. 'INFILL WALLS' TO BE INFILLED WITH MATERIALS OF LIKE KIND AND QUALITY.
6. CONTRACTOR TO SUPPLY, INSTALL AND MAINTAIN WEATHER TIGHT AND VANDAL RESISTANT HOARDING IN AREAS OF WINDOW REMOVAL DURING THE ENTIRE COURSE OF THE PROJECT.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ALL MATERIALS UNLESS OTHERWISE NOTED.
8. WHERE BUILDING COMPONENTS, MATERIALS AND EQUIPMENT ARE INDICATED FOR REMOVAL, CONTRACTOR TO REMOVE ALL COMPONENTS, ATTACHMENTS AND ACCESSORIES BACK TO STRUCTURE AND/OR SUBSTRATE UNLESS OTHERWISE NOTED.
9. AREAS OF FLOOR REMOVALS/REPAIRS DIAGNOSTIC IN NATURE. CONTRACTOR TO CONFIRM EXACT SIZE AND LOCATION PRIOR TO COMMENCEMENT OF WORK.

ABBREVIATIONS:

- CONC CONCRETE  
EX EXISTING  
FHC FIRE HOSE CABINET  
TERR TERRAZZO



Key Plan

DO NOT SCALE DRAWINGS:

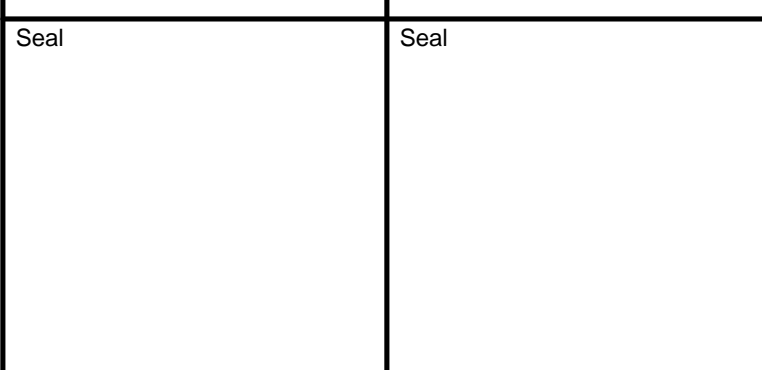
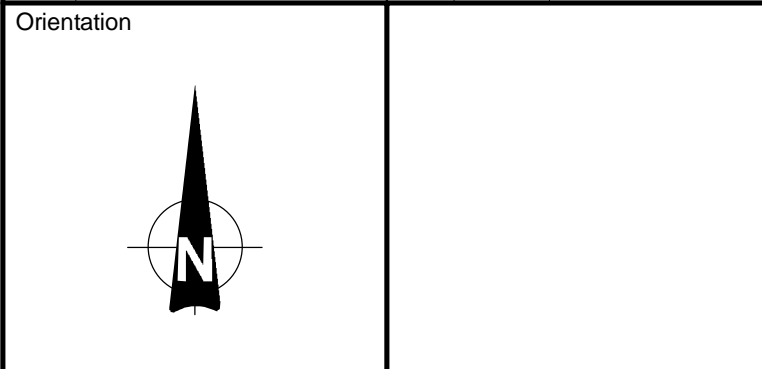
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UNEXPECTED DISCOVERY OF ASBESTOS:

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- A = Detail number  
B = Drawing number where detailed

NO.	ISSUED	BY	DATE
2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
1	POST-TENDER ADDENDUM NO.1	TA	FEB 26, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018



UNIVERSITY OF GUELPH  
Design, Engineering & Construction  
Physical Resources  
Guelph, Ontario, N1G 2W1

Consultant: www.jrichards.ca



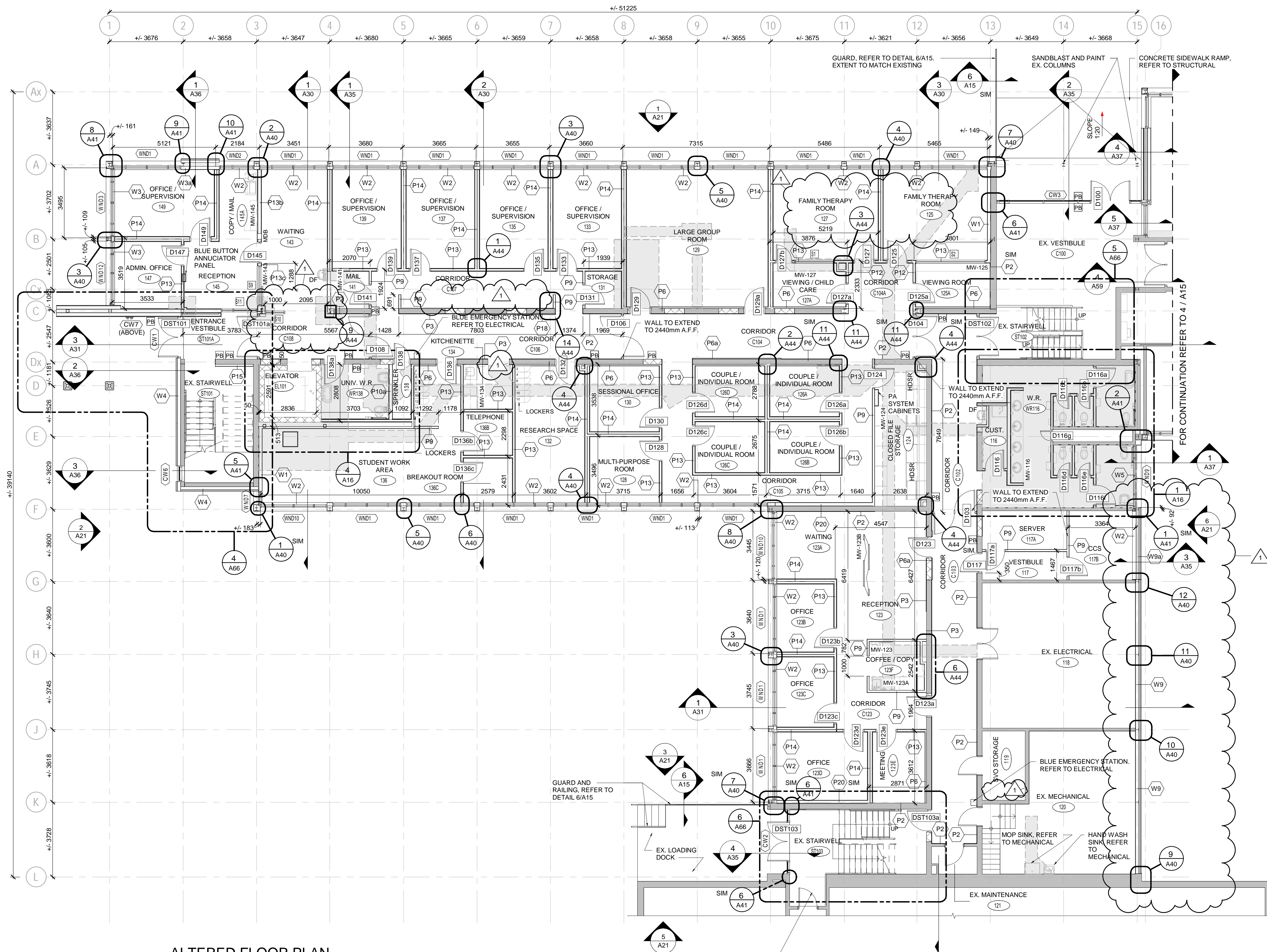
Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
EXISTING FLOOR PLAN  
PENTHOUSES AND WING C**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No.
Checked By TA	<b>A12</b>
Approved By RPC	
JLR #: 27915	
Cad File No.	





ALTERED FLOOR PLAN  
WING 'B' LEVEL 1

SCALE: 1 : 100

CONTRACTOR TO MAINTAIN PUBLIC ACCESS TO WING 'A' AT THIS LOCATION DURING ENTIRETY OF PROJECT. CONSTRUCT HOARDING ENCLOSURE AND SCHEDULE WORK AS REQUIRED.

#### LEGEND:

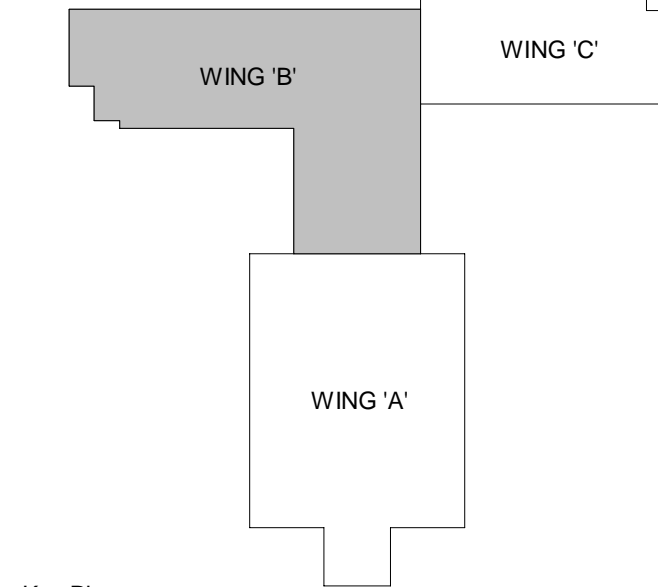
- ROOM NUMBER
- DOOR NUMBER
- WINDOW TYPE
- INTERIOR SCREEN TYPE
- CONSTRUCTION TYPE
- MW-000 MILLWORK TAG
- DENOTES CONCRETE BLOCK INFILL
- DENOTES APPROXIMATE EXTENT OF CONCRETE SLAB REPAIR. REFER TO STRUCTURAL DRAWINGS FOR SLAB REPAIR/INFILL DETAILS AND ROOM FINISH SCHEDULE AND FLOOR FINISH PLANS.

#### NOTES:

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#### ABBREVIATIONS:

- BSD BIOHAZARD DISPOSAL UNIT - OWNER SUPPLIED, CONTRACTOR INSTALLED.
- DF DRINKING FOUNTAIN / BOTTLE FILLING STATION
- EX EXISTING
- HDSR HIGH DENSITY STORAGE RACK (N.I.C.). REFER TO STRUCTURAL FOR SLAB REINFORCING
- MDB MAIL DROP BOX
- PB DOOR OPERATOR PUSH BUTTON



Key Plan

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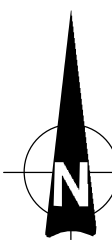
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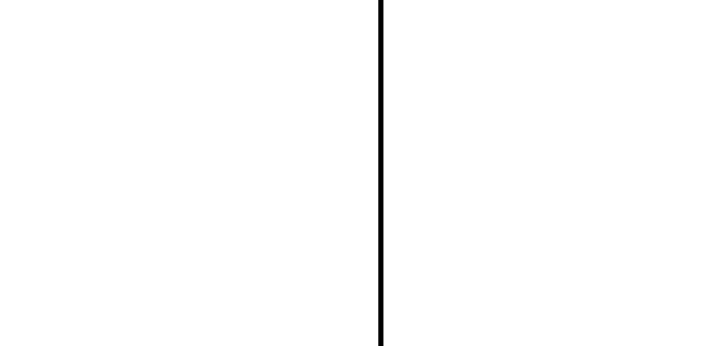
- A = Detail number
- B = Drawing number where detailed

2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
1	POST-TENDER ADDENDUM NO.1	TA	FEB 26, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

#### Orientation



#### Seal



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Physical Resources  
Guelph, Ontario, N1G 2W1

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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

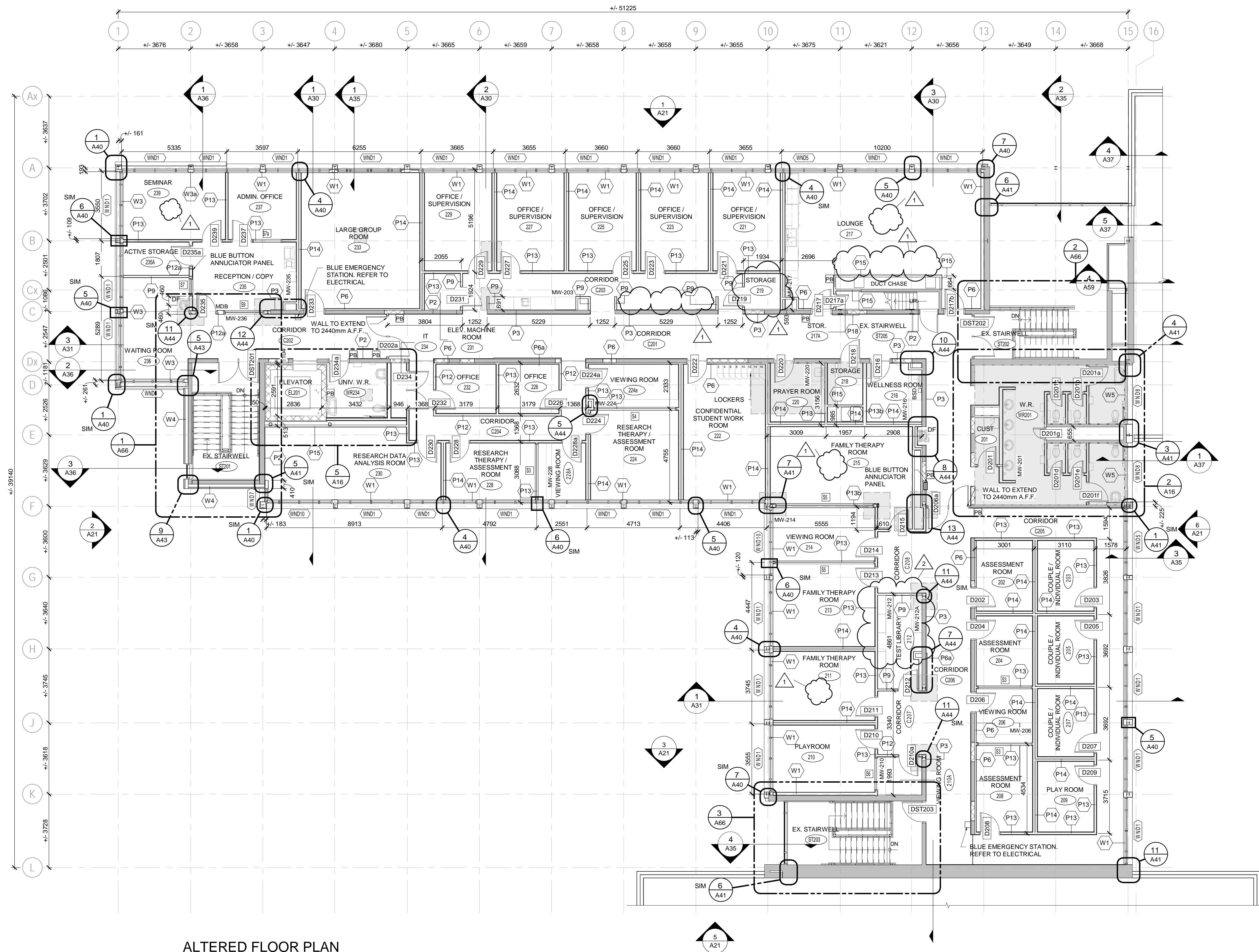
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**ARCHITECTURAL  
ALTERED FLOOR PLAN  
WING B LEVEL 1**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A13</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	





ALTERED FLOOR PLAN  
WING 'B' LEVEL 2

SCALE: 1:100

#### LEGEND:

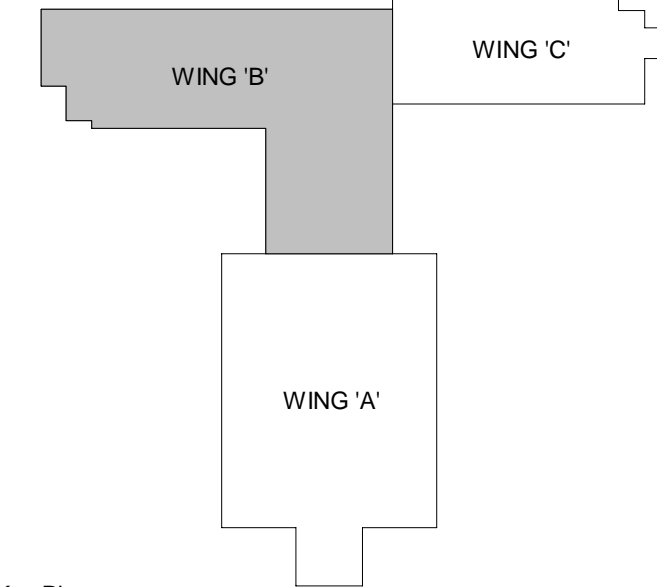
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- DOOR NUMBER
- WINDOW TYPE
- INTERIOR SCREEN TYPE
- CONSTRUCTION TYPE
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Orientation	Seal

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ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

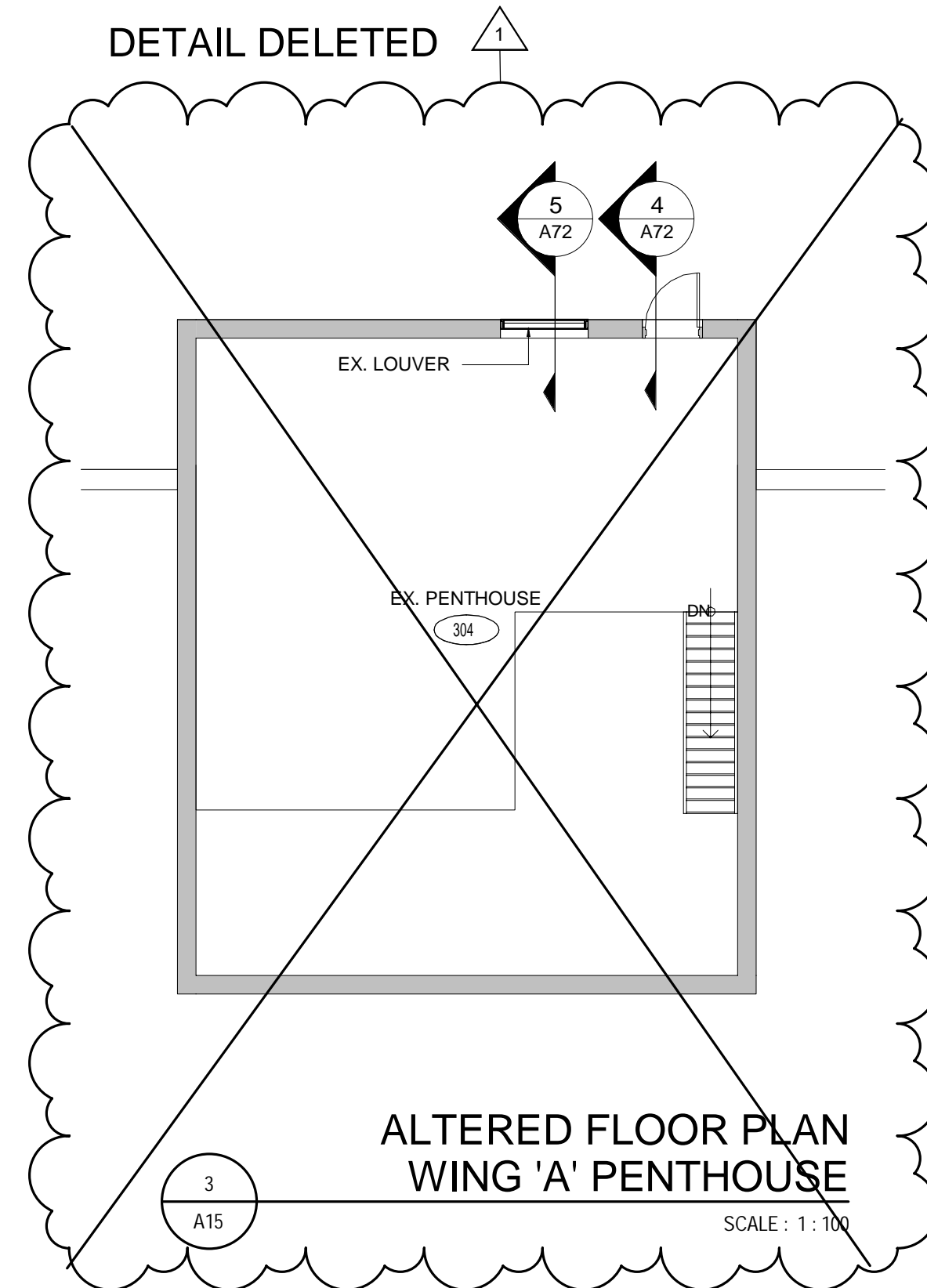
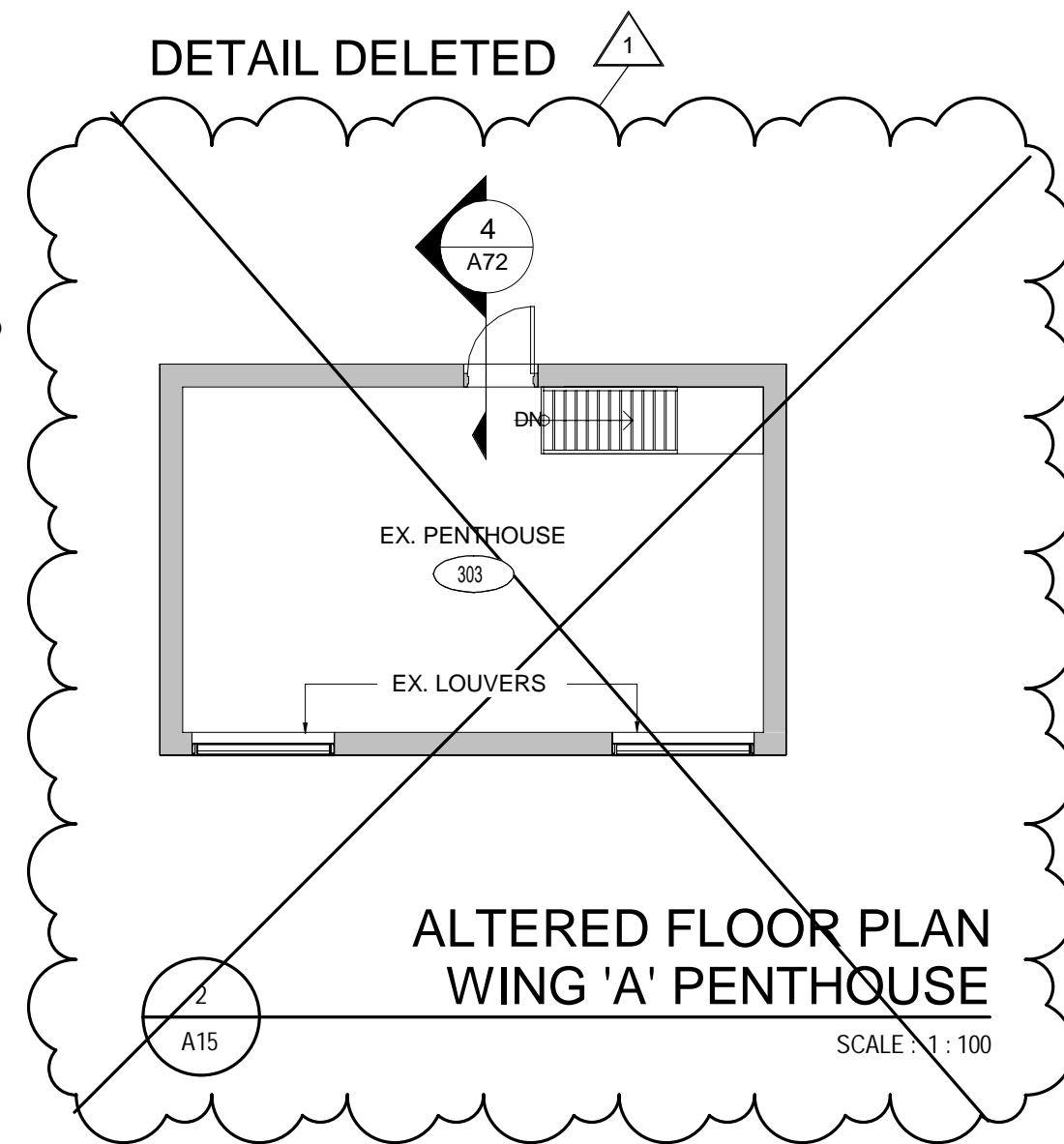
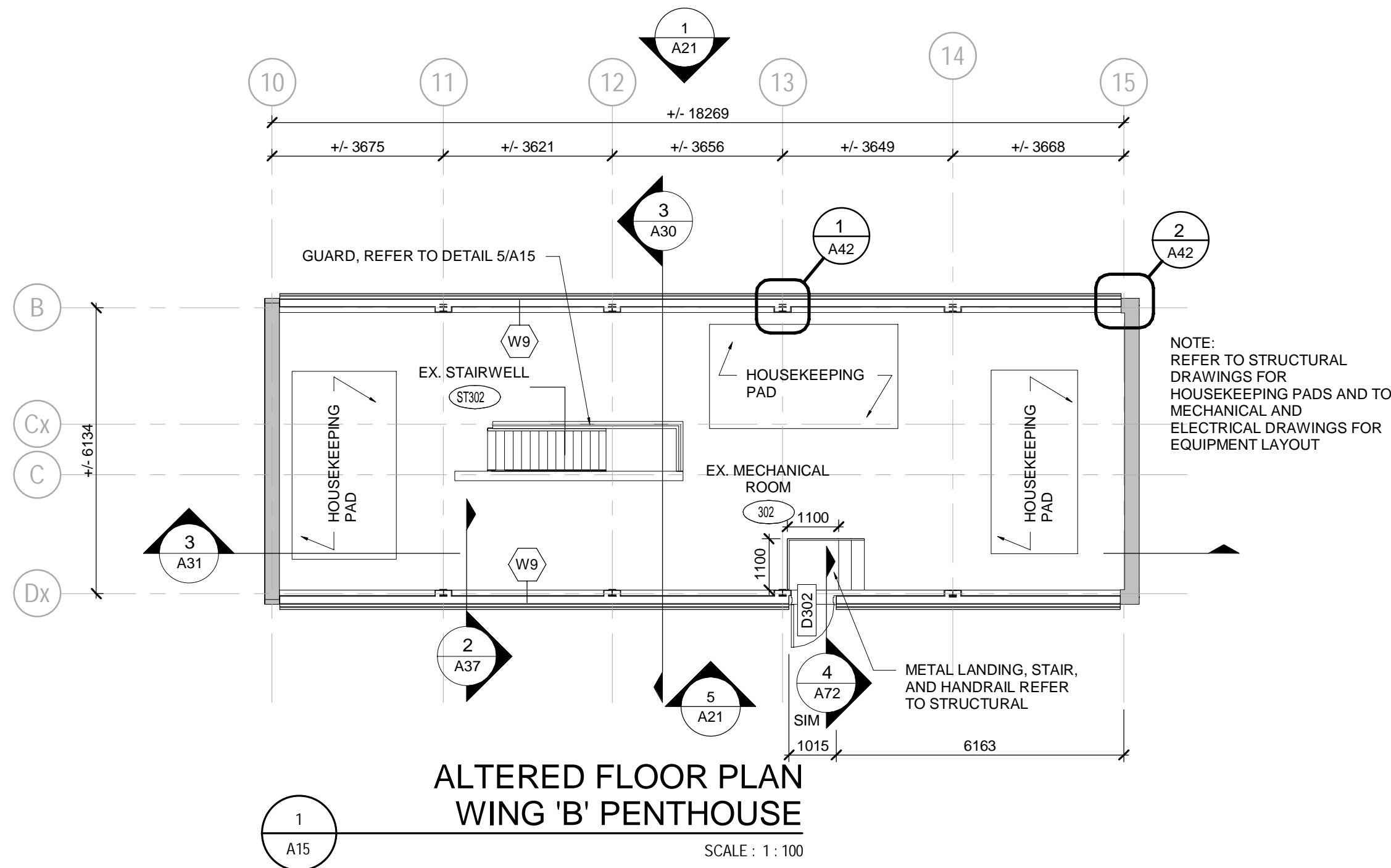
Drawing Title  
**ARCHITECTURAL  
ALTERED FLOOR PLAN  
WING B LEVEL 2**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No.
Checked By TA	<b>A14</b>
Approved By RPC	
JLR #: 27915	
Cad File No.	





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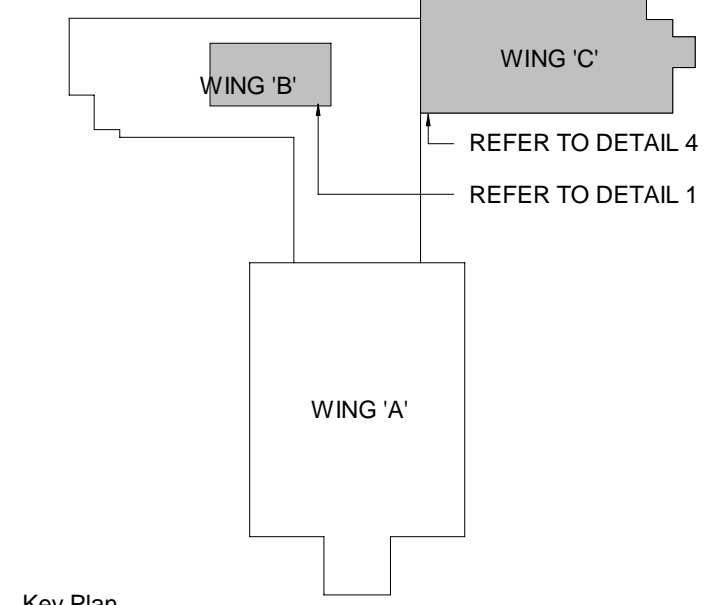
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- DOOR NUMBER
- WINDOW TYPE
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Key Plan

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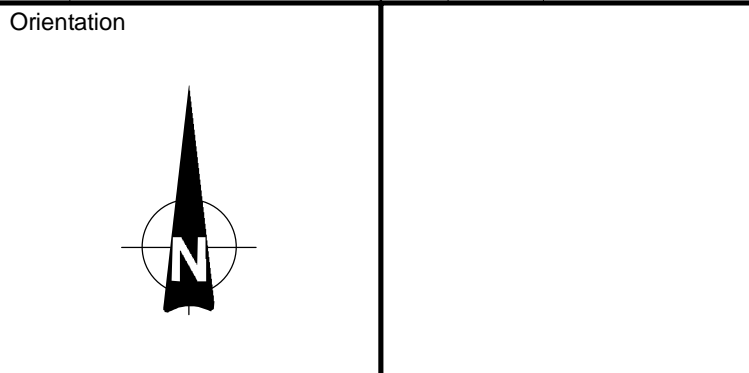
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Seal	Seal
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Project

**BUILDING #046 RENOVATIONS**

Drawing Title

**ARCHITECTURAL ALTERED FLOOR PLAN PENTHOUSES AND WING C**

Project No.

**504034**

Location

**UNIVERSITY OF GUELPH BUILDING #046**

Scale

AS INDICATED

Drawn By

DCJ

Checked By

TA

Approved By

RPC

JLR #:

27915

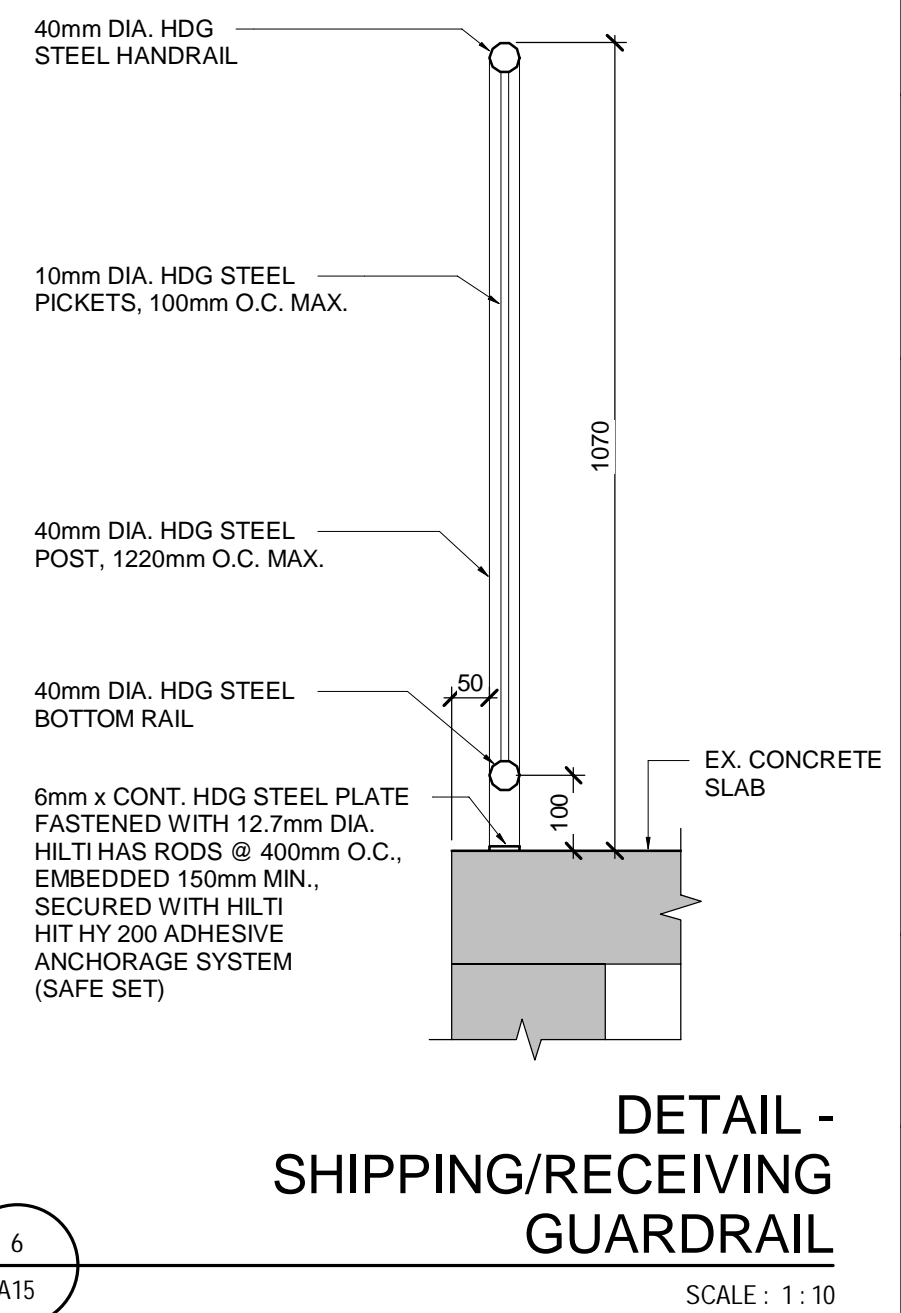
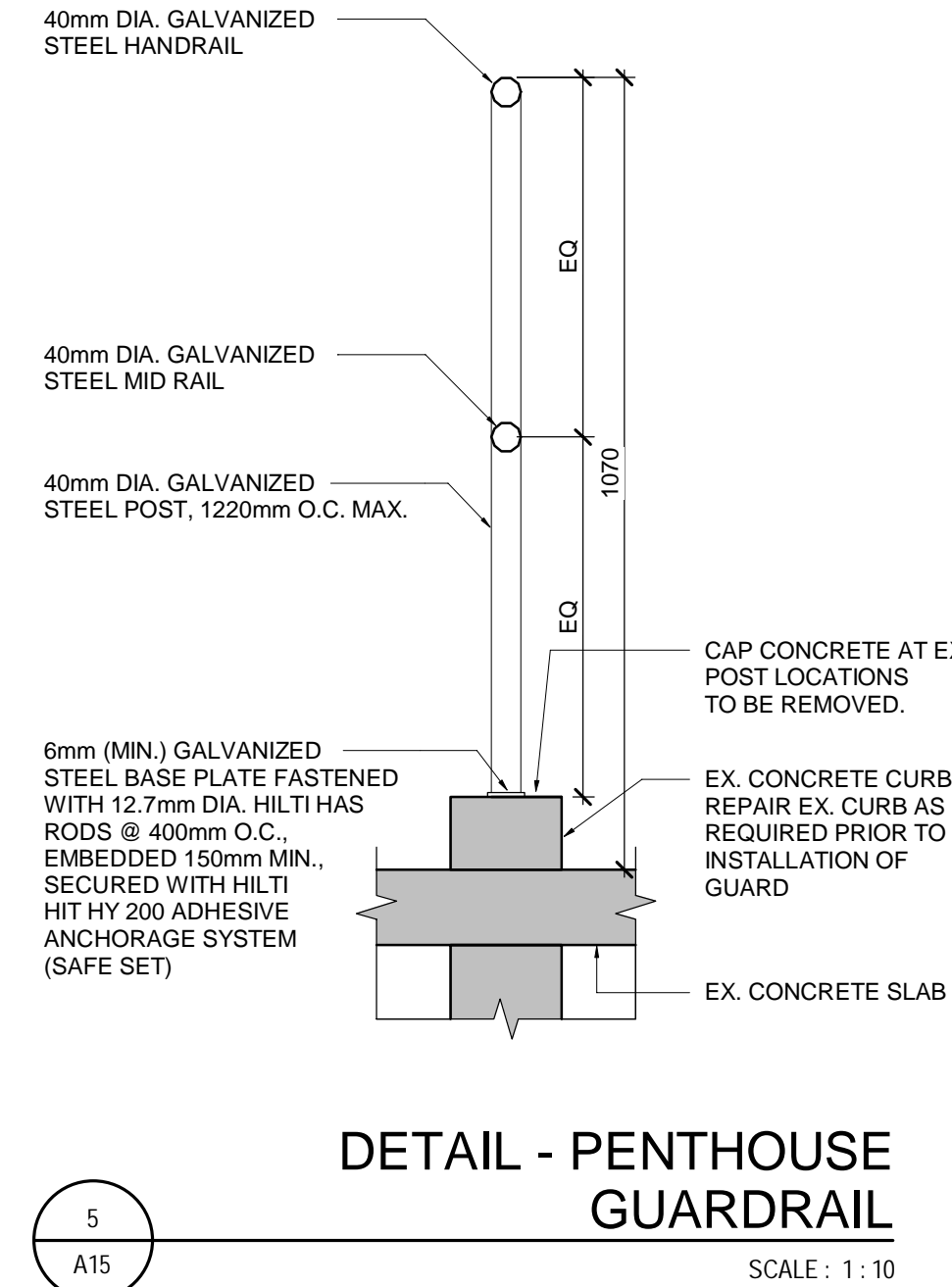
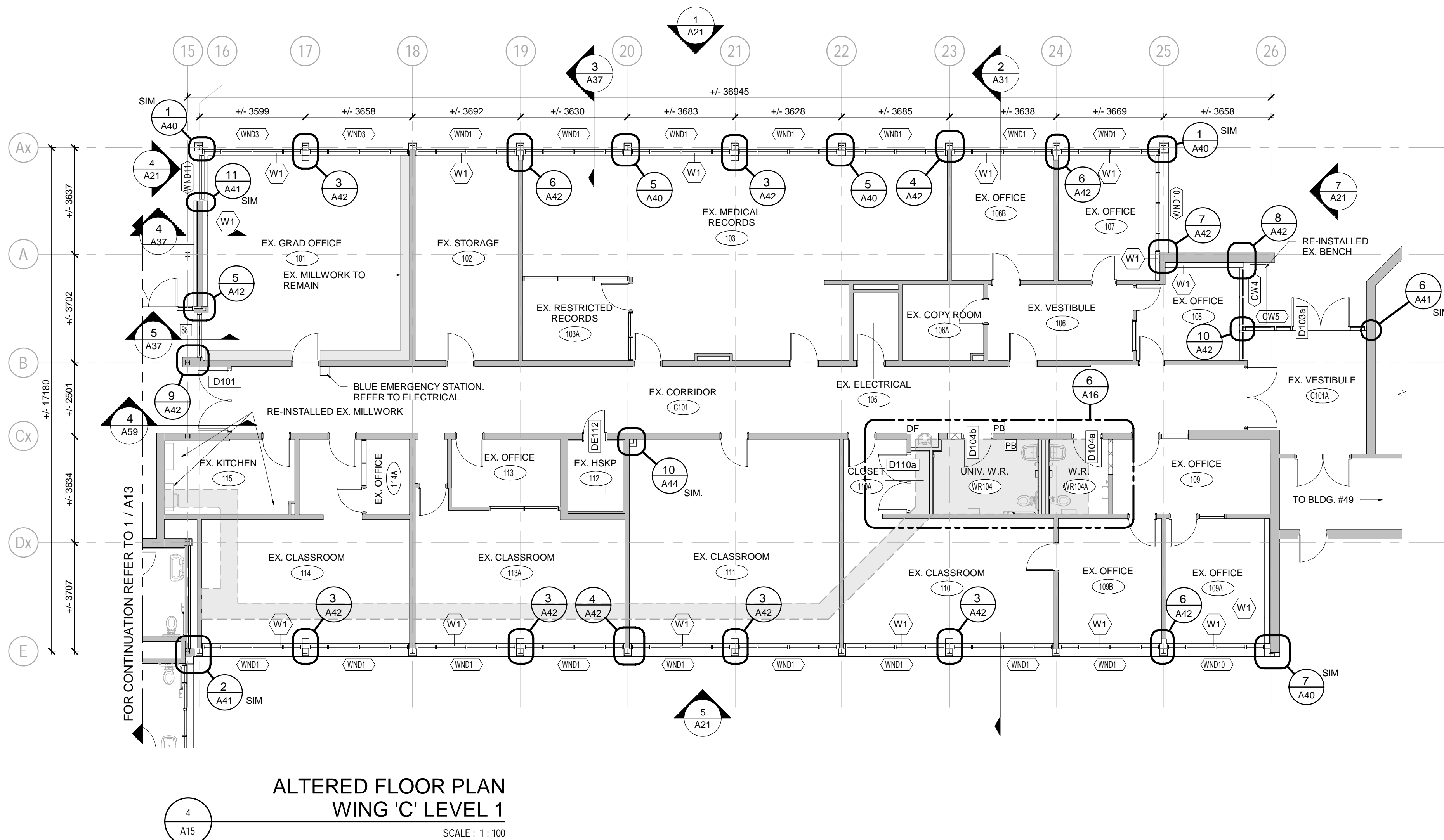
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Date

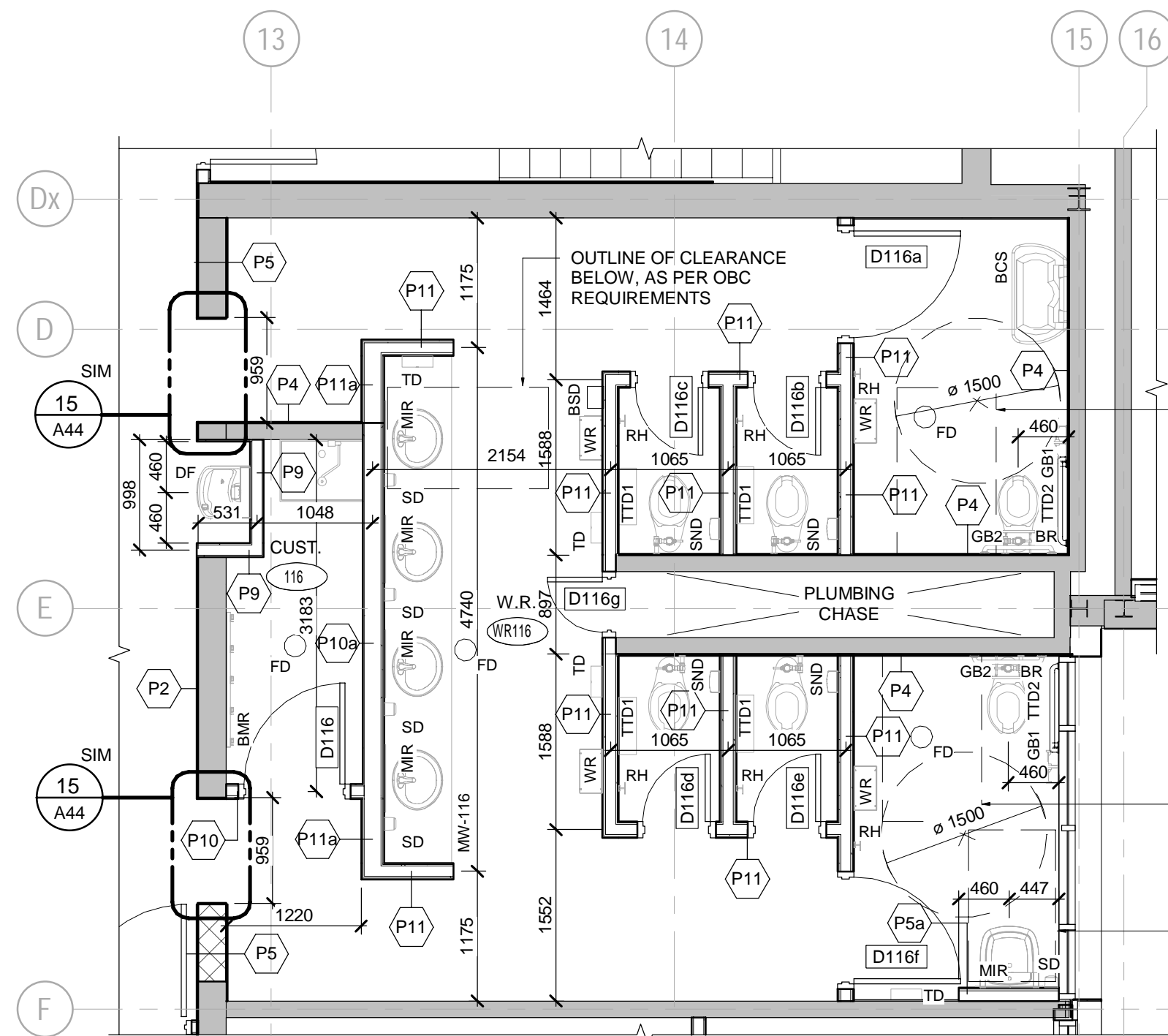
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Drawing No.

**A15**

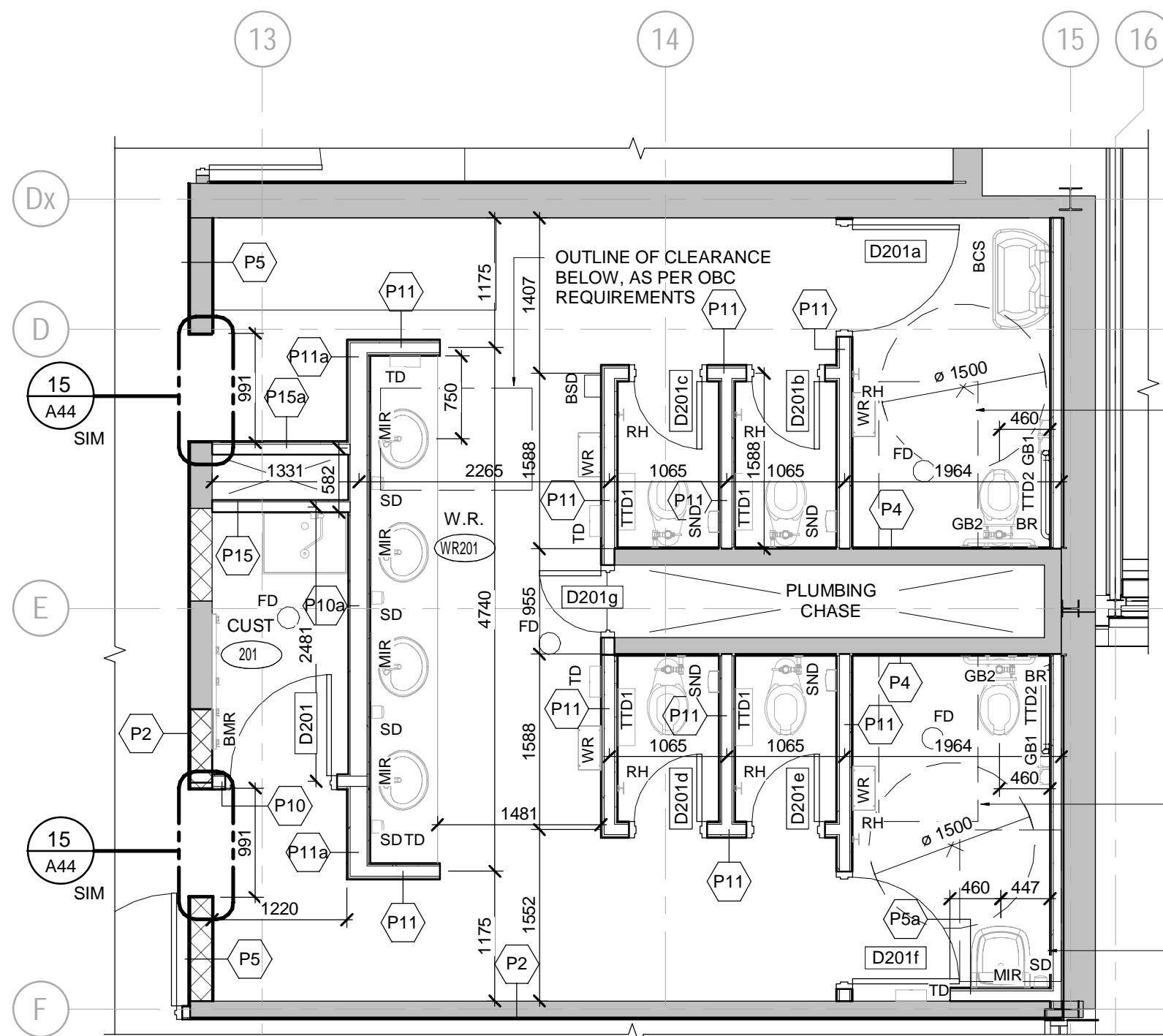






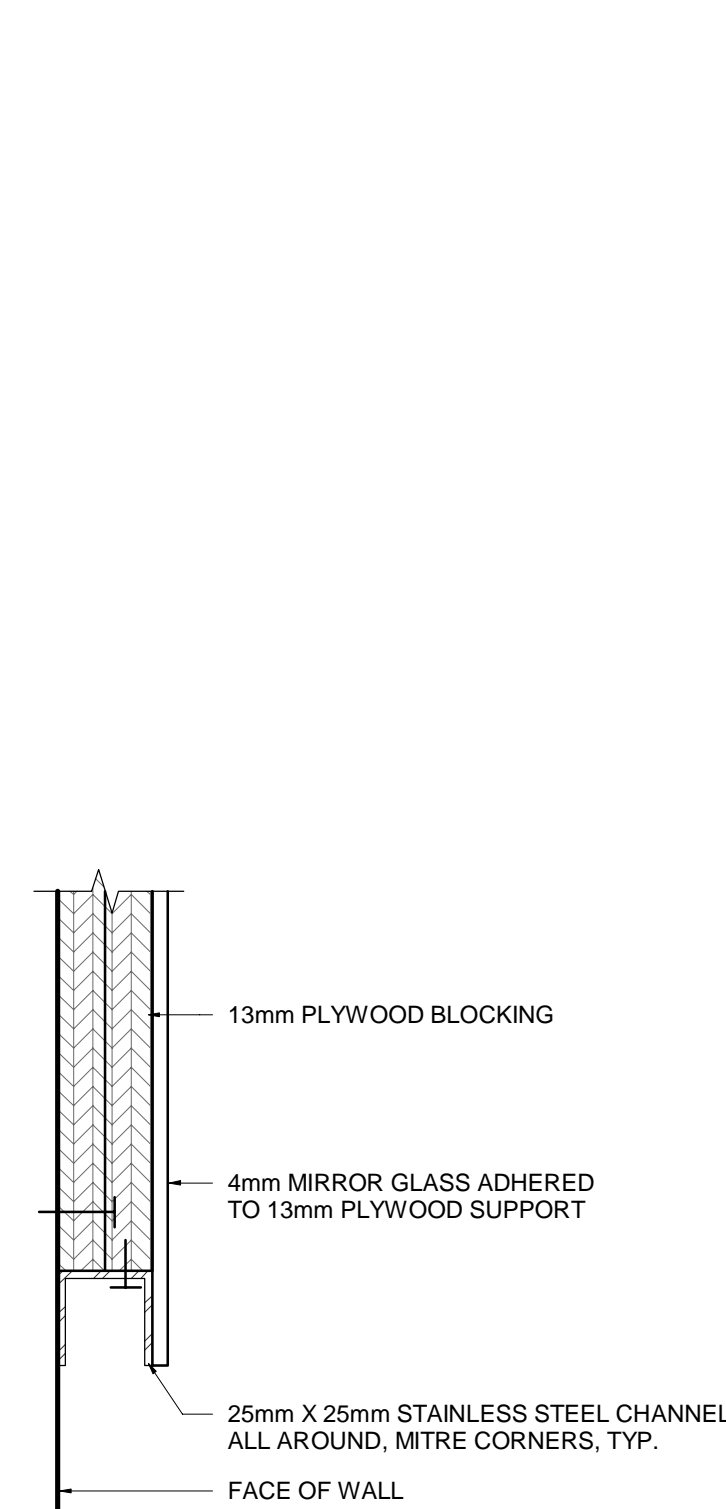
PARTIAL ALTERED FLOOR  
PLAN - WR116

SCALE: 1:50



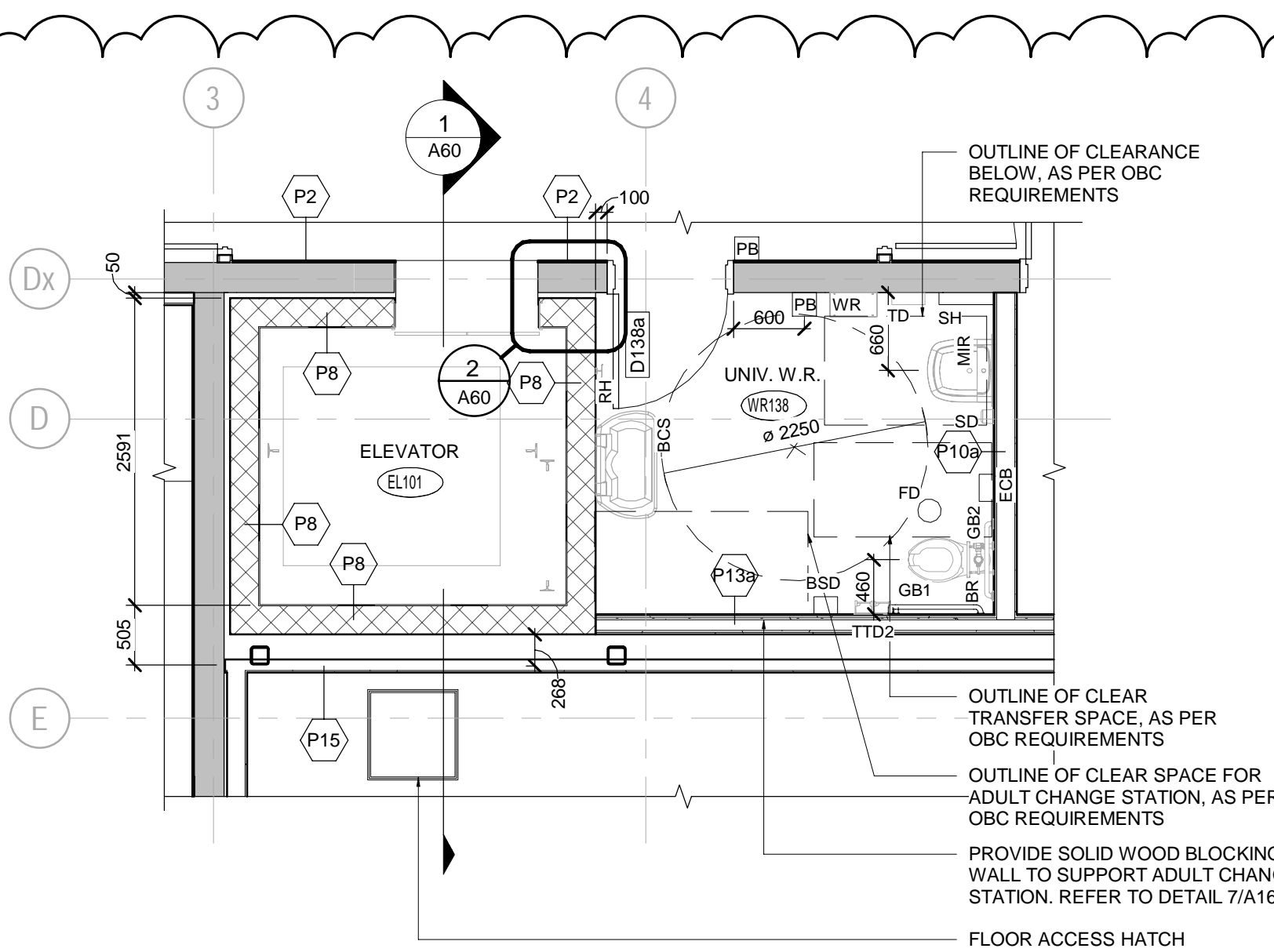
PARTIAL ALTERED FLOOR  
PLAN - WR201

SCALE: 1:50



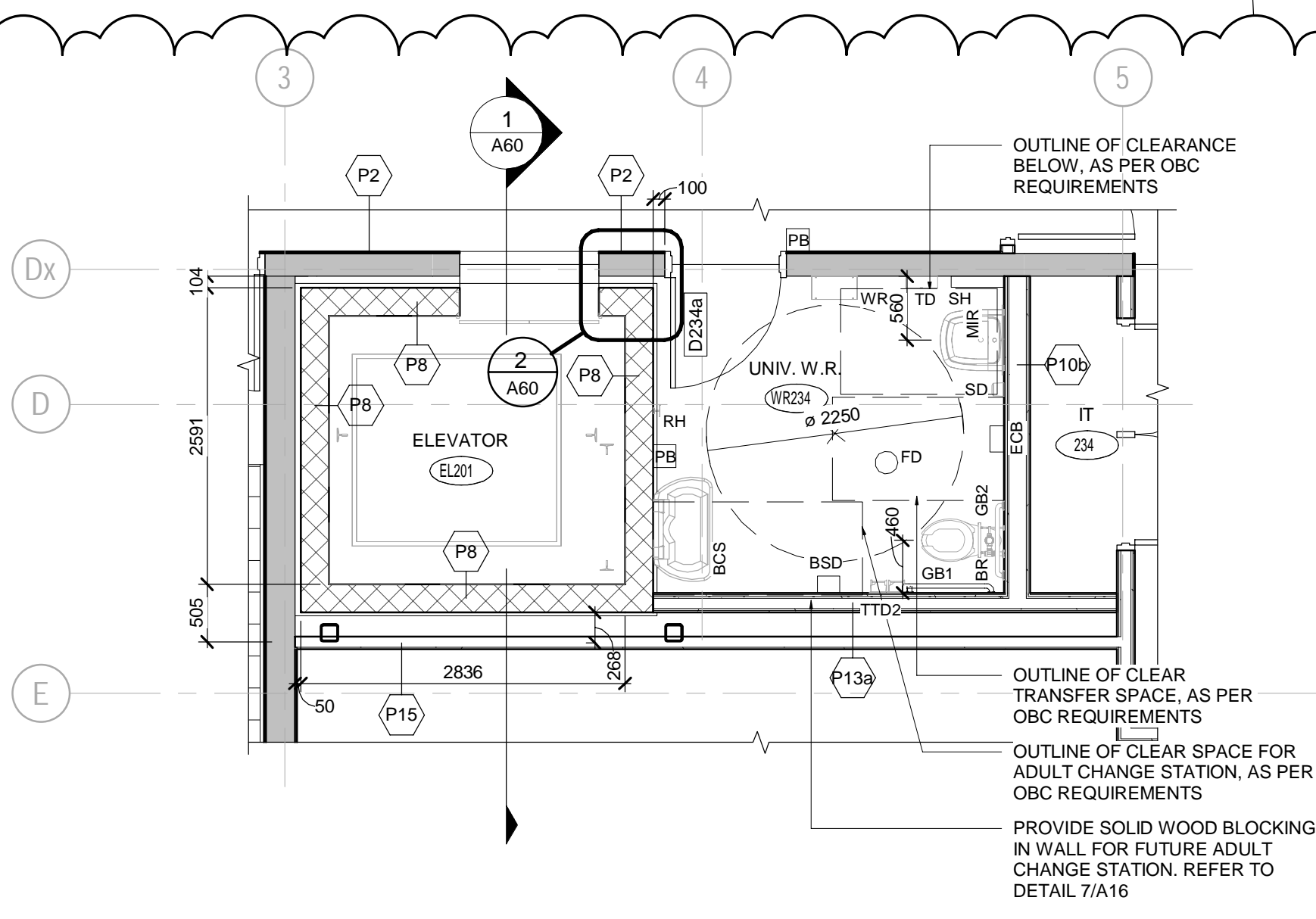
TYPICAL MIRROR DETAIL

SCALE: 1:2



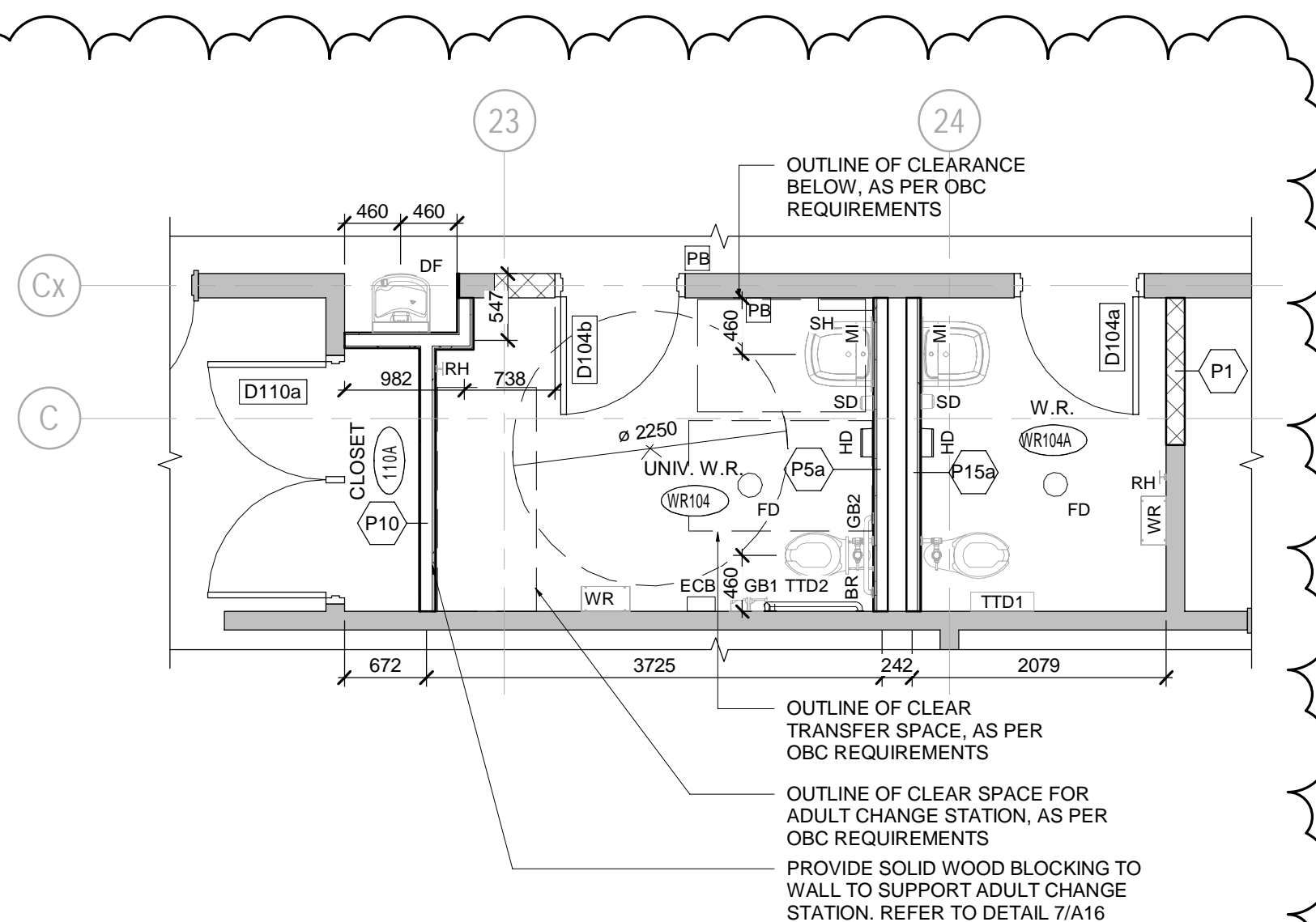
PARTIAL ALTERED FLOOR  
PLAN - EL101 AND WR138

SCALE: 1:50



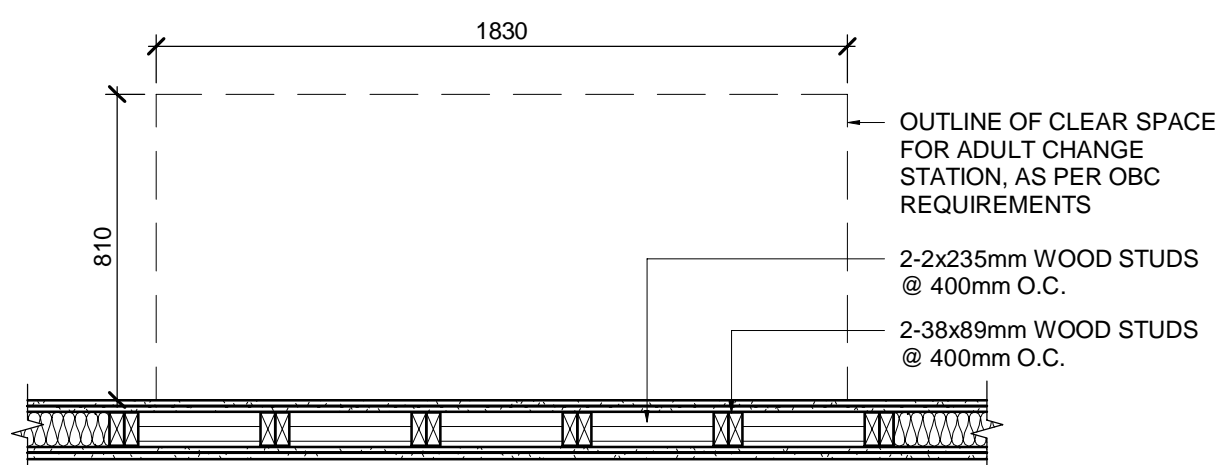
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PLAN - EL201 AND WR234

SCALE: 1:50



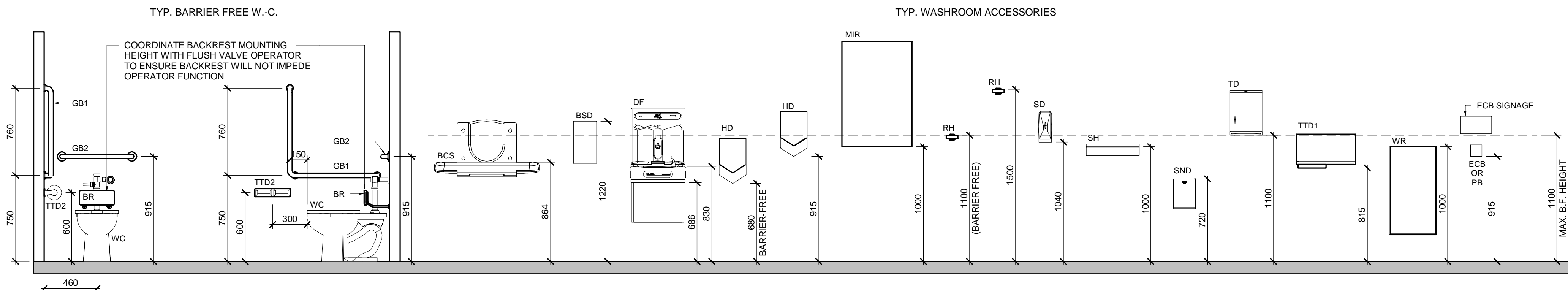
PARTIAL ALTERED FLOOR  
PLAN  
WASHROOMS WING 'C'

SCALE: 1:50



DETAIL - ADULT CHANGE  
STATION SUPPORT  
BLOCKING

SCALE: 1:20



TYP. WR ACCESSORY  
MOUNTING HEIGHTS

SCALE: 1:25

LEGEND:

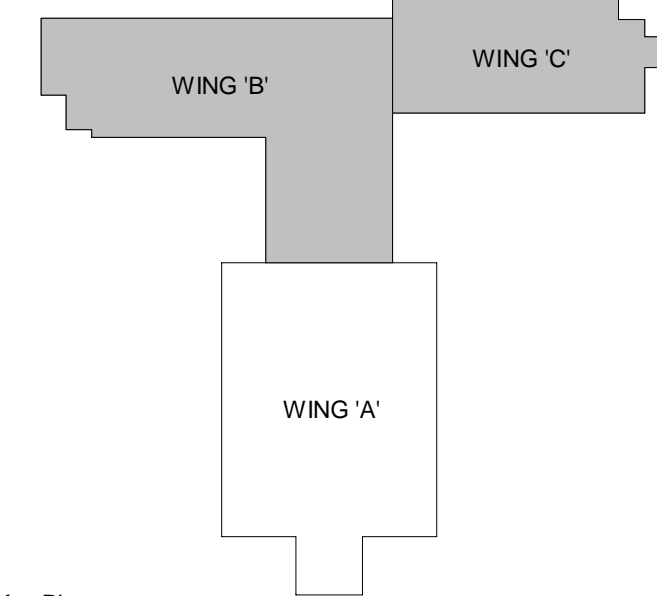
- ROOM NUMBER  
DOOR NUMBER  
CONSTRUCTION TYPE  
MILLWORK TAG

NOTES:

1. CONTRACTOR TO PROVIDE BLOCKING IN WALLS AT ALL LOCATIONS OF MILLWORK, WALL MOUNTED EQUIPMENT, WASHROOM ACCESSORIES, ETC.

ABBREVIATIONS:

- ACS ADULT CHANGE STATION  
BCS BABY CHANGING STATION  
BMR BROOM / MOP RACK  
BR BACKREST  
BSD BIOHAZARD DISPOSAL UNIT - OWNER SUPPLIED, CONTRACTOR INSTALLED  
DF DRINKING FOUNTAIN / BOTTLE FILLING STATION  
ECB EMERGENCY CALL BUTTON  
EX EXISTING  
FD FLOOR DRAIN  
GB1 GRAB BAR TYPE 1  
GB2 GRAB BAR TYPE 2  
HD HAND DRYER  
MIR MIRROR - REFER TO DETAIL 3/A16  
PB DOOR OPERATOR PUSH BUTTON  
RH ROBE HOOK  
SD SOAP DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
SH SHELF  
SND SANITARY NAPKIN DISPONAL - OWNER SUPPLIED, CONTRACTOR INSTALLED  
TD TOWEL DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
TTD1 TOILET TISSUE DISPENSER TYPE 1 - OWNER SUPPLIED, CONTRACTOR INSTALLED  
TTD2 TOILET TISSUE DISPENSER TYPE 2  
WC WATER CLOSET  
WR WASTE RECEPTACLE



Key Plan

DO NOT SCALE DRAWINGS:

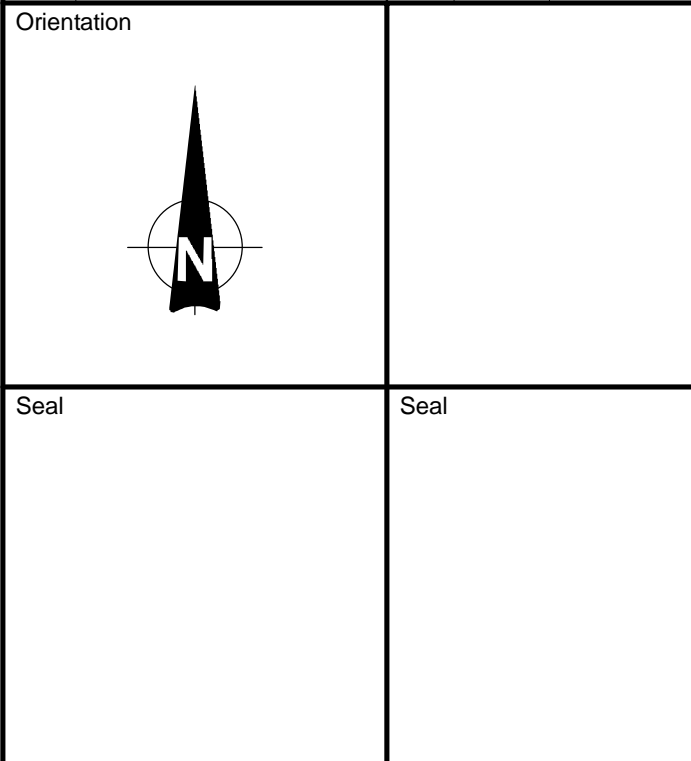
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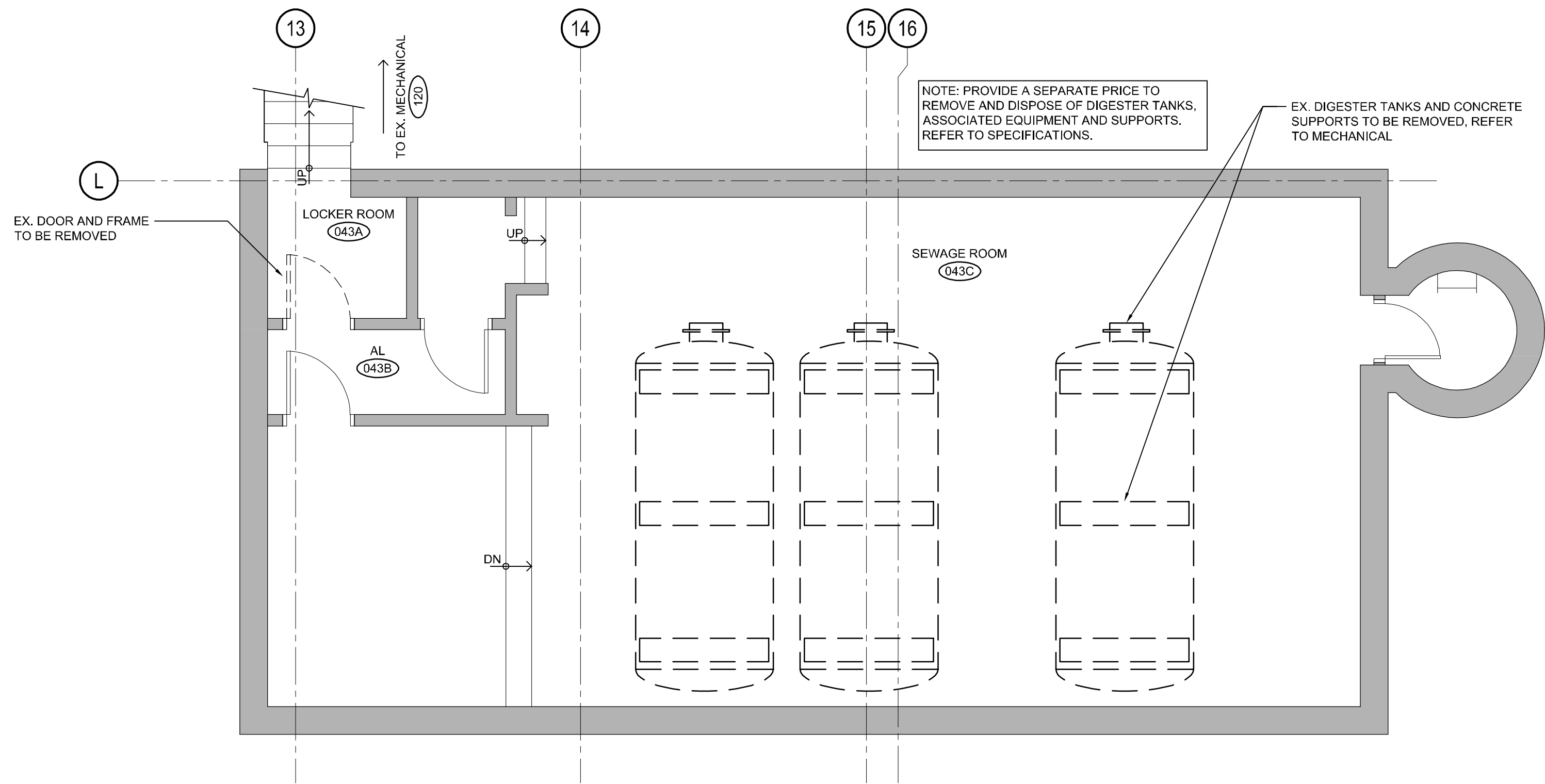
Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
PARTIAL ALTERED FLOOR  
PLANS**  
Project No.  
**504034**

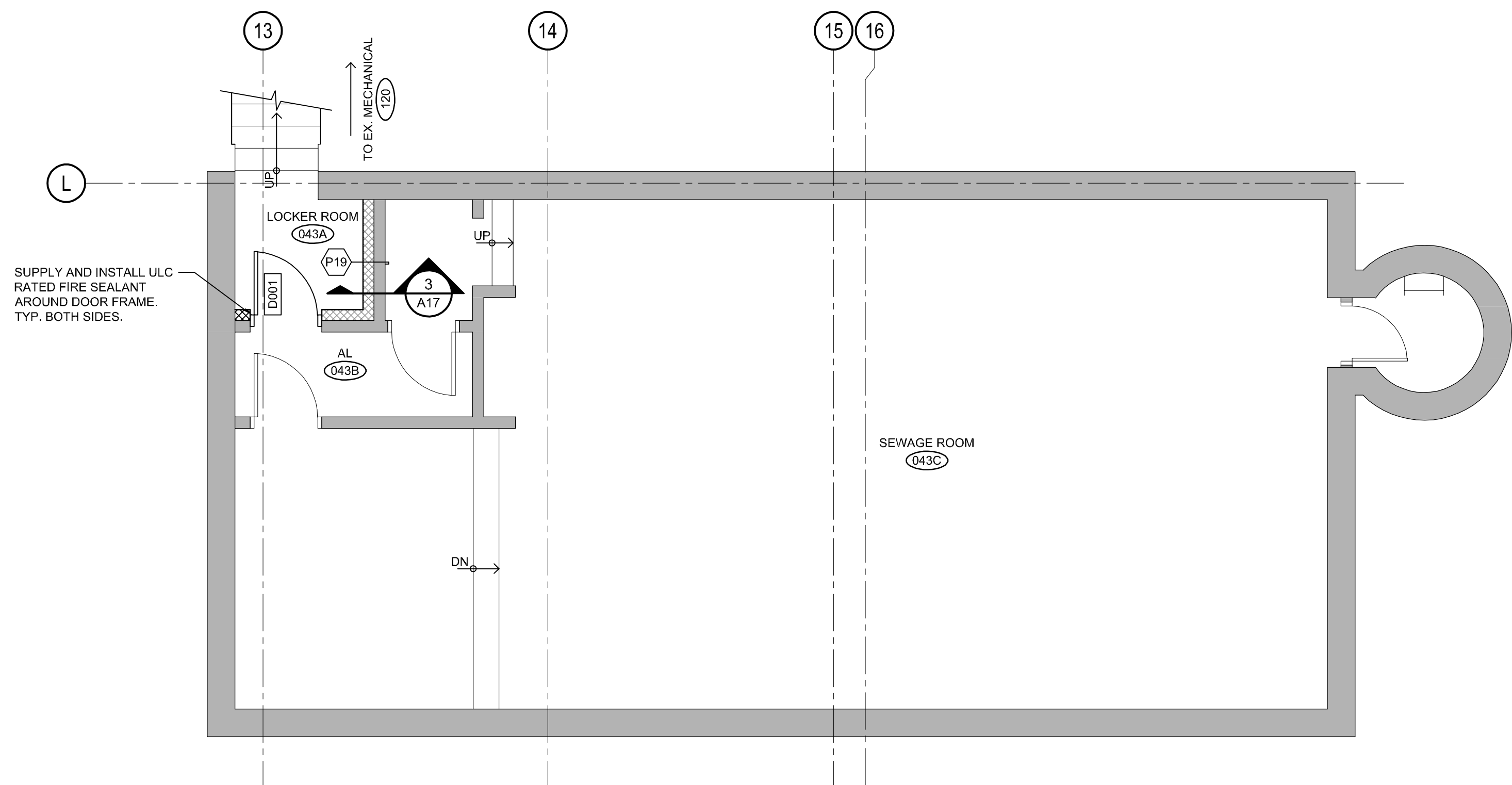
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A16</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

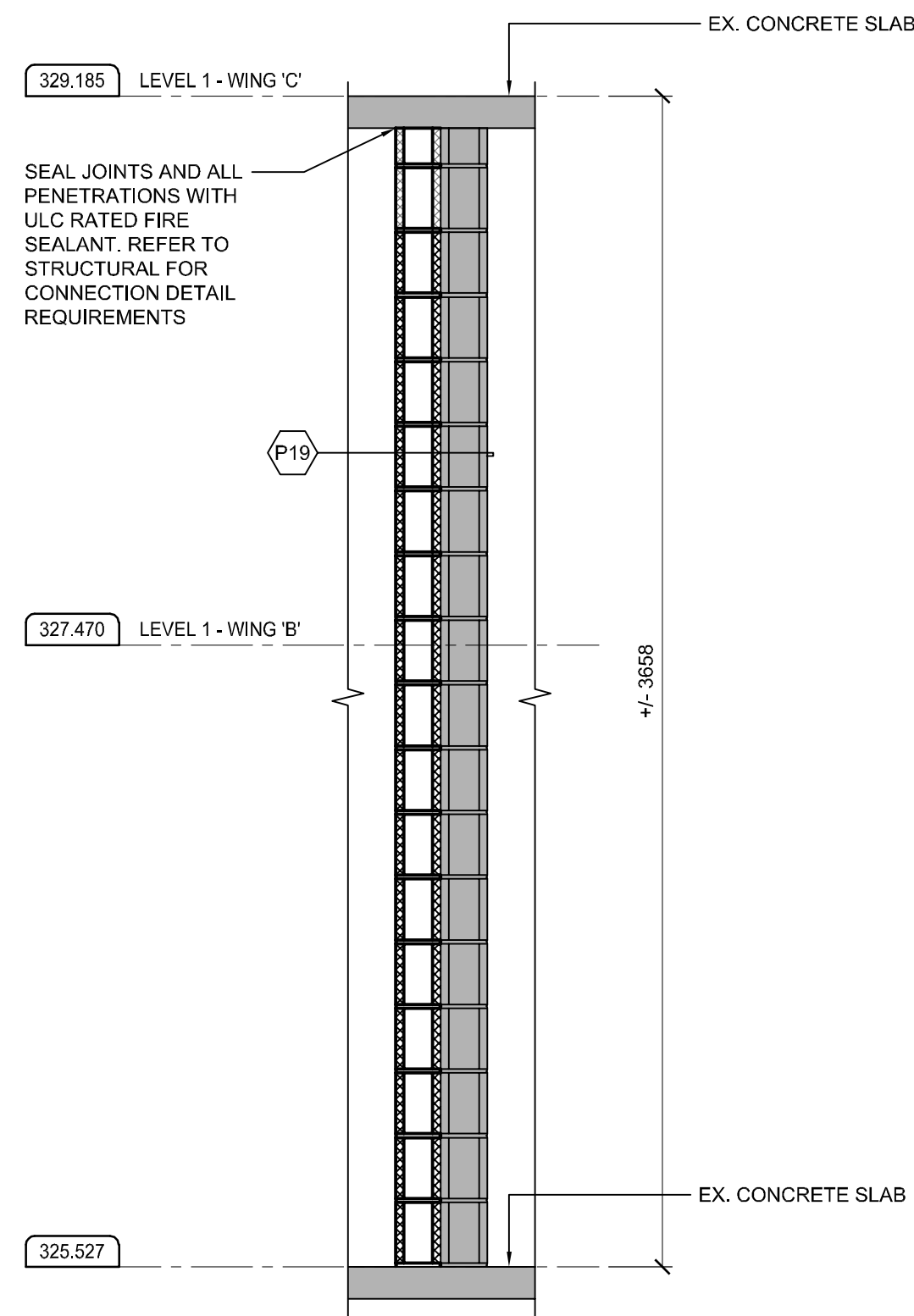




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A17  
PARTIAL EXISTING FLOOR  
PLAN - DIGESTER ROOM  
SCALE: 1:50



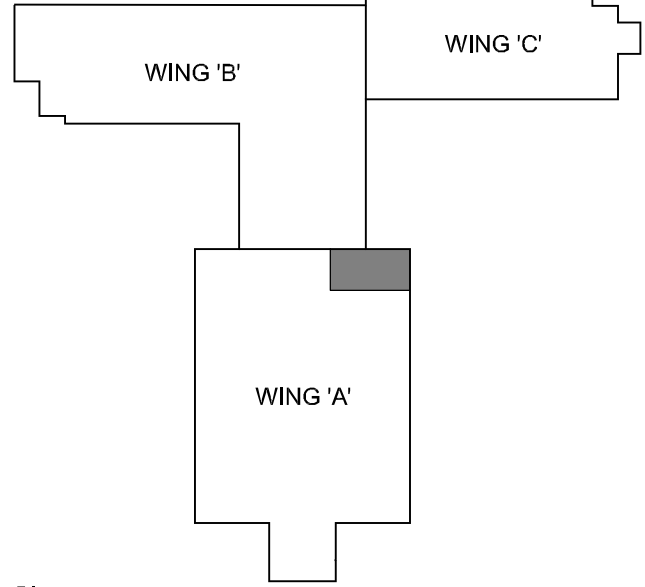
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A17  
PARTIAL ALTERED FLOOR  
PLAN - DIGESTER ROOM  
SCALE: 1:50



3  
A17  
WALL SECTION  
SCALE: 1:20

**LEGEND:**

- 000 ROOM NUMBER
- D000 DOOR NUMBER
- 00 CONSTRUCTION TYPE
- DENOTES CONCRETE BLOCK INFILL



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Orientation

Seal

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Consultant

J.L.Richards  
ENGINEERS · ARCHITECTS · PLANNERS

Project

BUILDING #046  
RENOVATIONS

Drawing Title

ARCHITECTURAL  
ALTERATIONS TO DIGESTER  
ROOM

Project No.  
504034

Location

UNIVERSITY OF GUELPH  
BUILDING #46

Scale AS NOTED	Date APR 12, 2019
Drawn by KM	Drawing No.
Checked By TA	A17
Approved By RPC	
JLR # 27915	
Cad File No. ----	

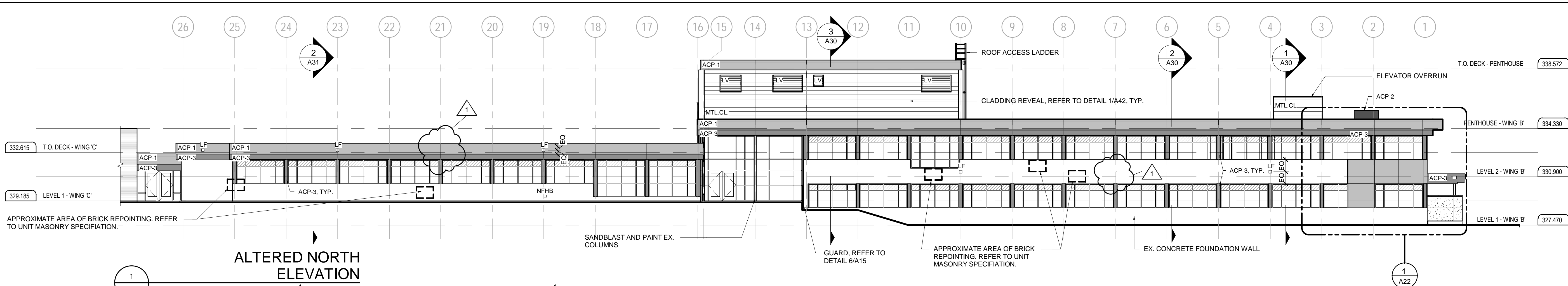




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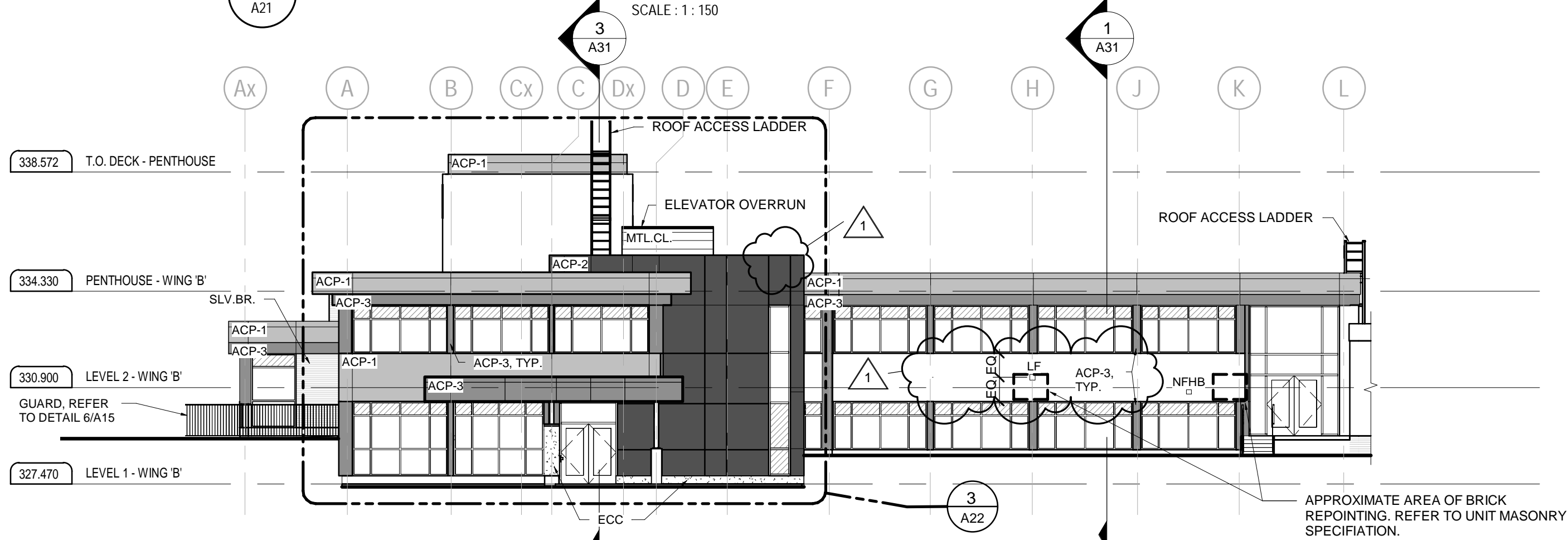


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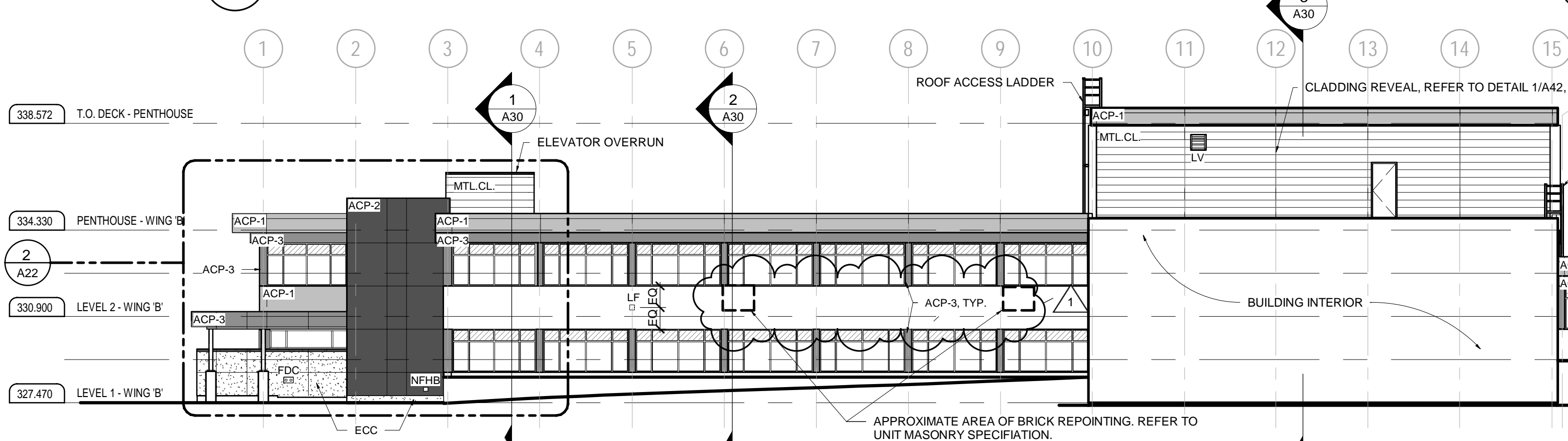
ALTERED NORTH ELEVATION

SCALE : 1 : 150



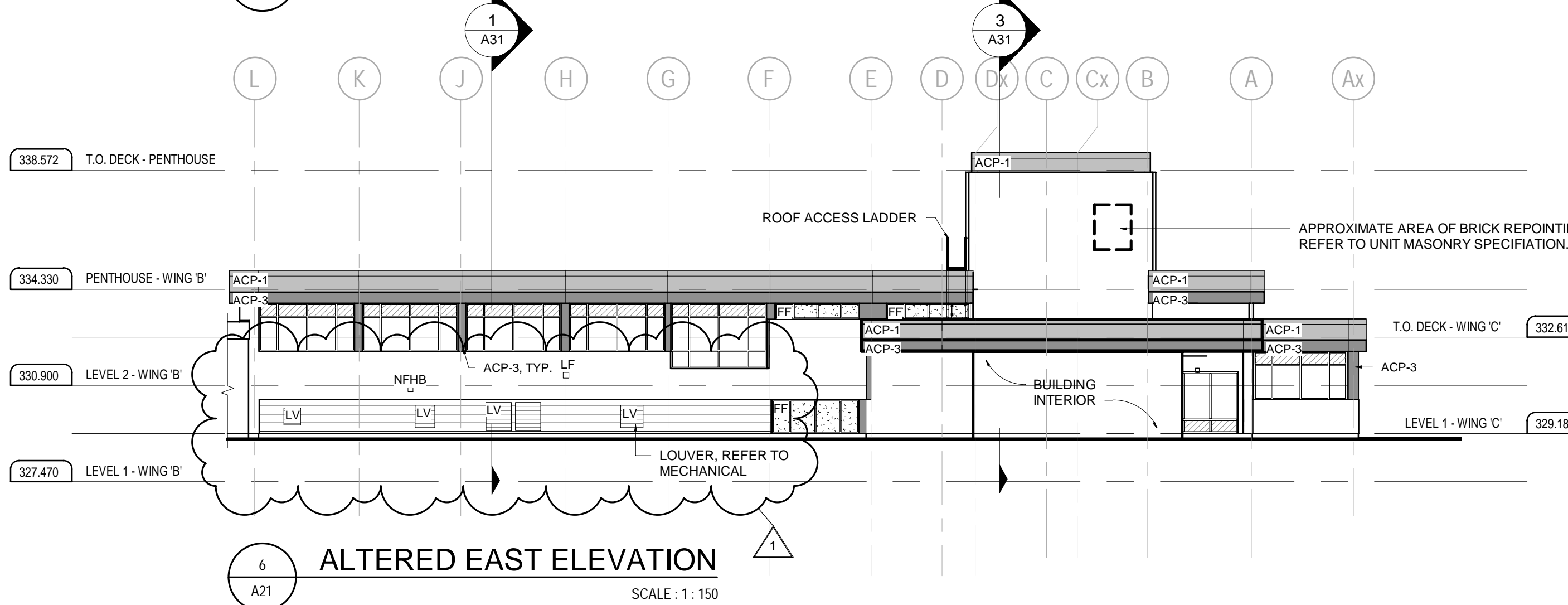
ALTERED WEST ELEVATION

SCALE : 1 : 150



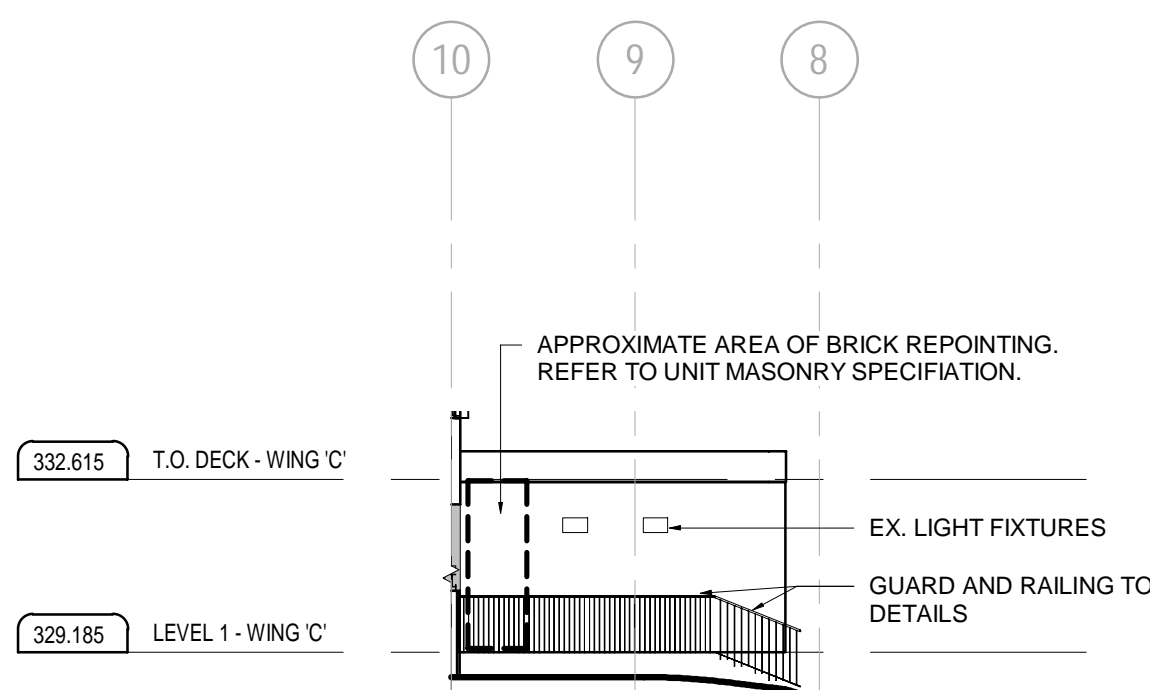
ALTERED SOUTH ELEVATION

SCALE : 1 : 150



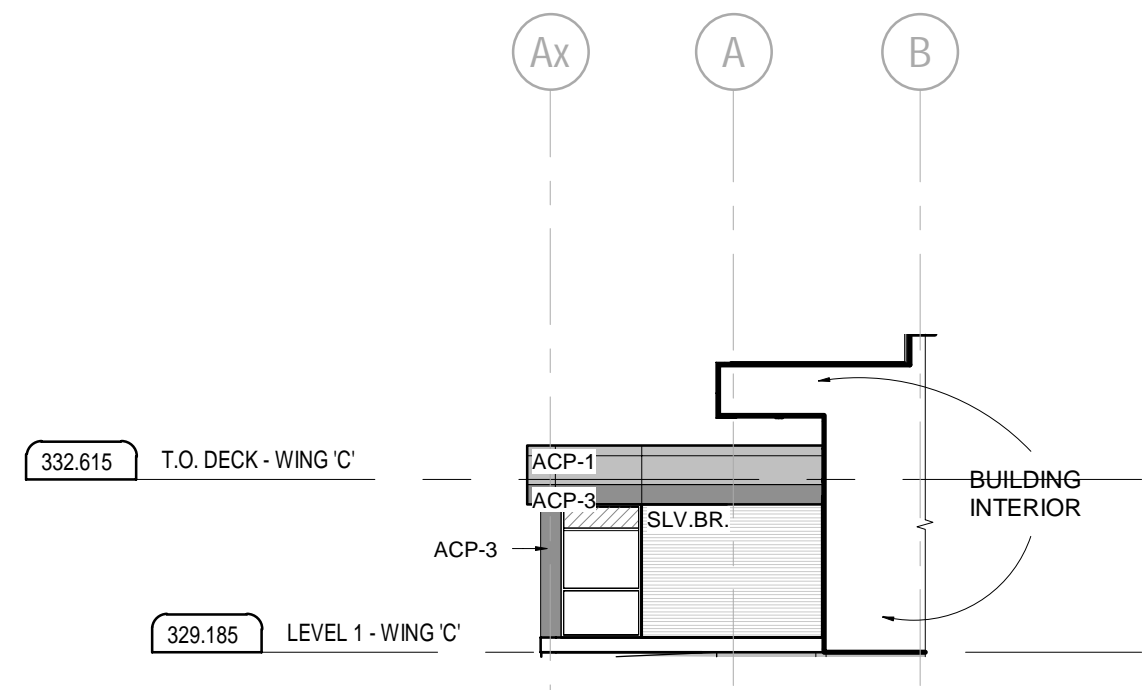
ALTERED EAST ELEVATION

SCALE : 1 : 150



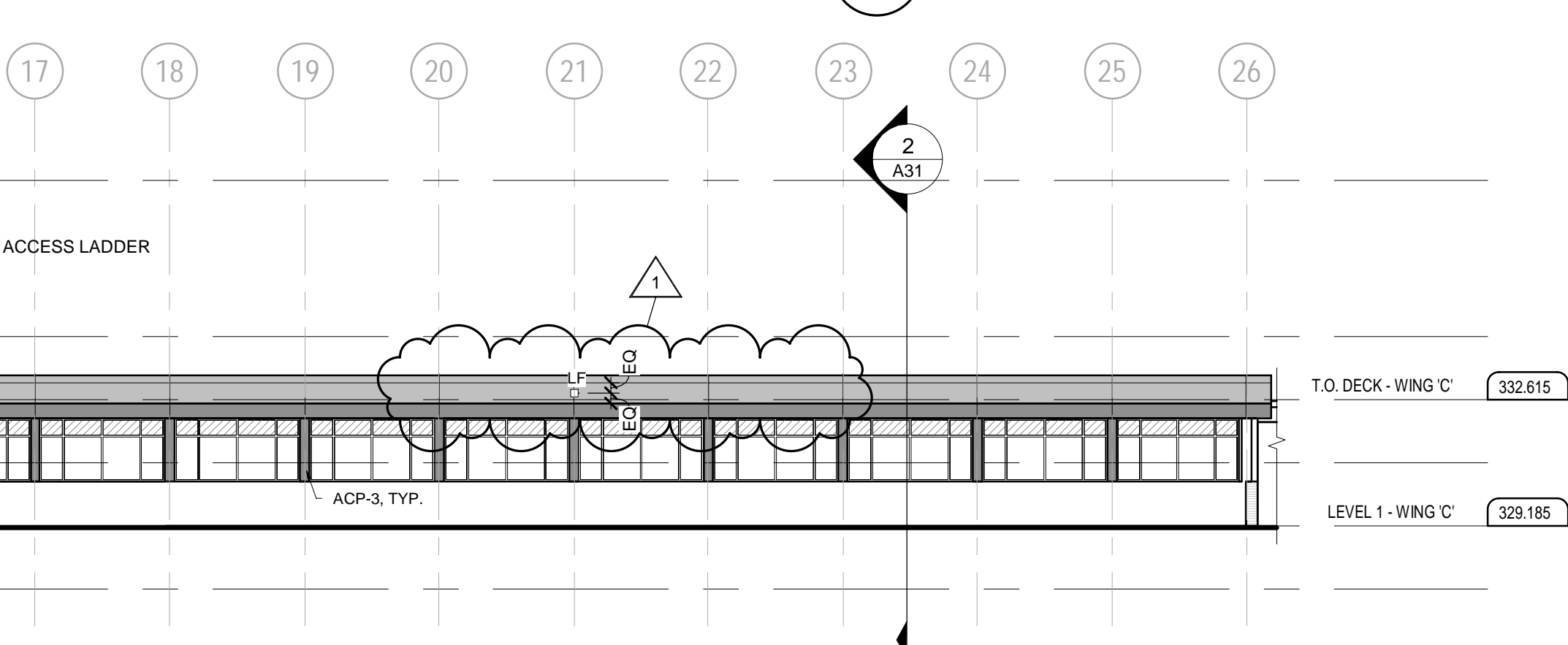
ALTERED PARTIAL NORTH ELEVATION

SCALE : 1 : 150



ALTERED PARTIAL WEST ELEVATION

SCALE : 1 : 150



ALTERED PARTIAL EAST ELEVATION

SCALE : 1 : 150

LEGEND:

	ALUMINUM COMPOSITE PANEL TYPE 1 (ACP-1)
	ALUMINUM COMPOSITE PANEL TYPE 2 (ACP-2)
	ALUMINUM COMPOSITE PANEL TYPE 3 (ACP-3)
	METAL CLADDING
	SALVAGED BRICK, COURSING TO MATCH EXISTING
	SPANDREL PANEL

ABBREVIATIONS:

ACP-1	ALUMINUM COMPOSITE PANEL - TYPE 1
ECC	EXTRUDED CONCRETE CLADDING
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION, REFER TO MECHANICAL
FF	FROSTED FILM
LF	EXTERIOR LIGHT FIXTURE, REFER TO ELECTRICAL
LV	LOUVER
MTL.CL.	METAL CLADDING
NFHB	NON-FREEZE HOSE BIBB, CONTRACTOR TO PROVIDE SUPPORT FRAMING AS REQUIRED, REFER TO MECHANICAL
SLV.BR.	SALVAGED BRICK, COURSING TO MATCH EXISTING

NOTES:

- ALL SALVAGED FACE BRICK FOR RE-USE TO BE THOROUGHLY CLEANED AND FREE OF ALL EXISTING MORTAR.

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Orientation	
Seal	Seal

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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL ALTERED EXTERIOR ELEVATIONS**

Project No.  
**504034**

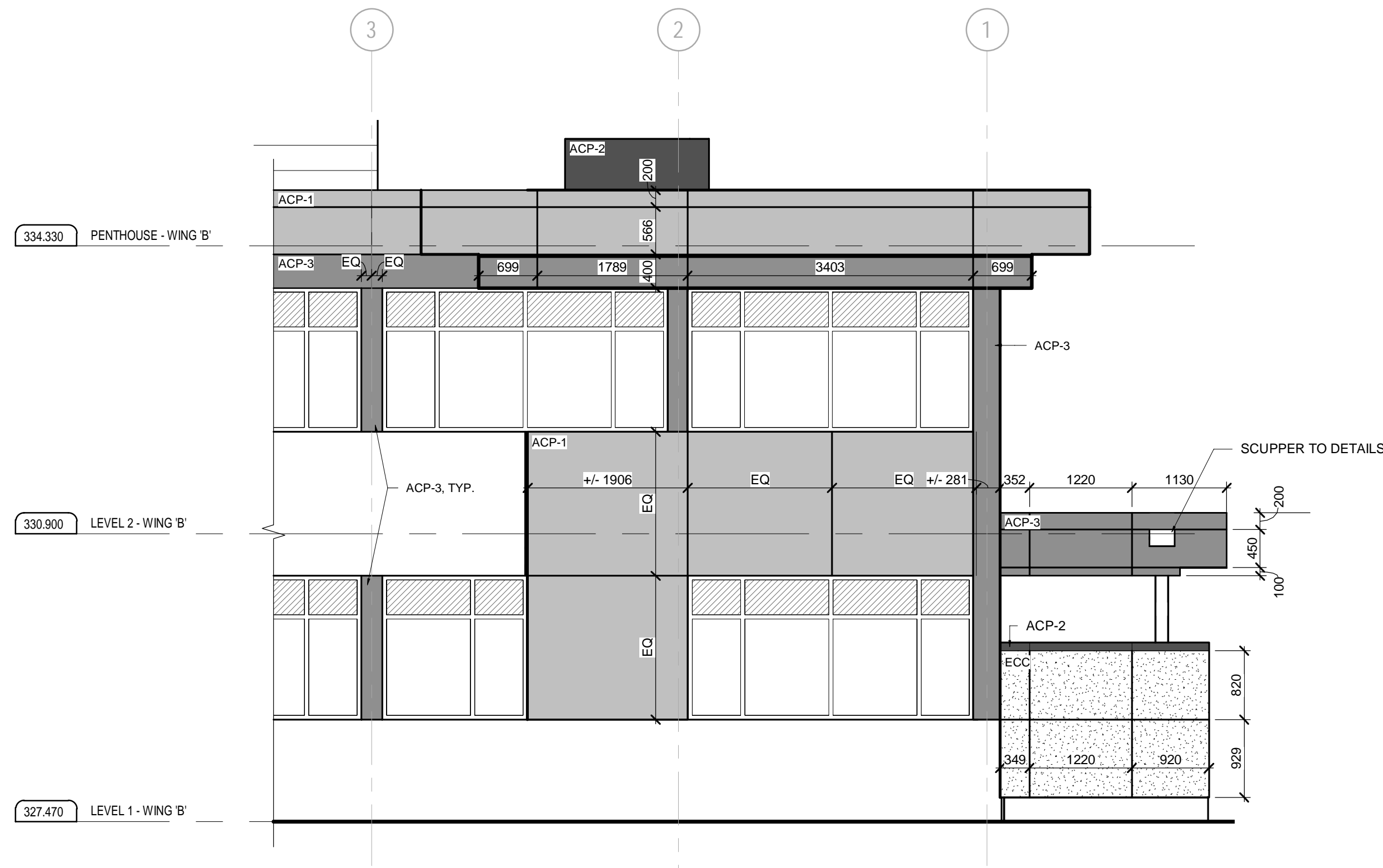
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**UNIVERSITY OF GUELPH BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
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Checked By TA	<b>A21</b>
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JLR #: 27915	
Cad File No.	

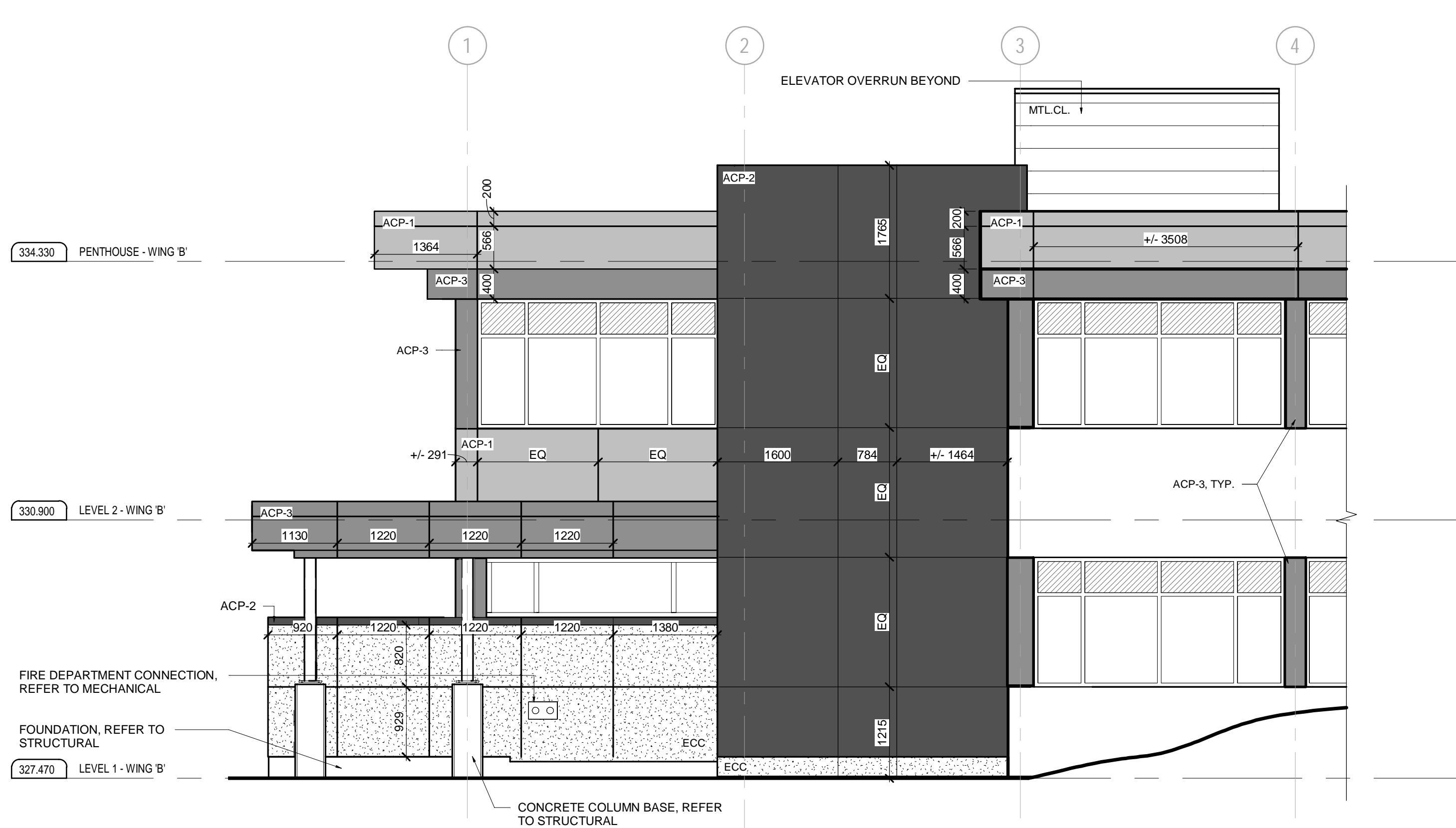
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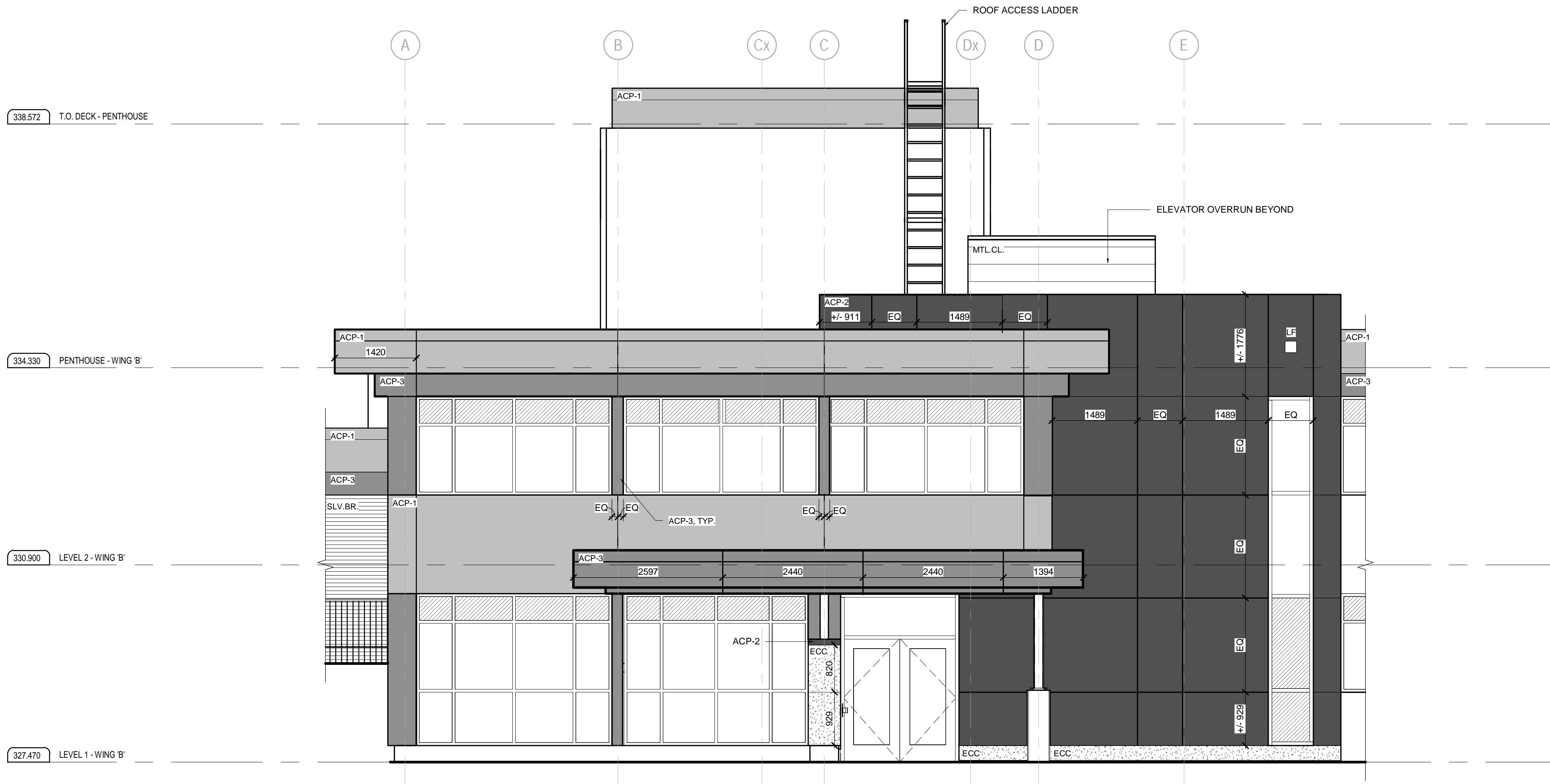
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1  
A22  
PARTIAL ALTERED NORTH  
ELEVATION  
SCALE : 1 : 50



2  
A22  
PARTIAL ALTERED SOUTH  
ELEVATION  
SCALE : 1 : 50



3  
A22  
PARTIAL ALTERED WEST  
ELEVATION  
SCALE : 1 : 50

LEGEND:	
	ALUMINUM COMPOSITE PANEL TYPE 1 (ACP-1)
	ALUMINUM COMPOSITE PANEL TYPE 2 (ACP-2)
	ALUMINUM COMPOSITE PANEL TYPE 3 (ACP-3)
	METAL CLADDING
	SALVAGED BRICK, COURSING TO MATCH EXISTING
	SPANDREL PANEL

#### ABBREVIATIONS:

ACP-	ALUMINUM COMPOSITE PANEL - TYPE
ECC	EXTRUDED CONCRETE CLADDING
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION, REFER TO
FF	MECHANICAL
LF	FROSTED FILM
LV	EXTERIOR LIGHT FIXTURE, REFER TO
MTL.CL.	ELECTRICAL
NFHB	LOUVER
SLV.BR.	METAL CLADDING
	NON-FREEZE HOSE BIBB, CONTRACTOR TO
	PROVIDE SUPPORT FRAMING AS REQUIRED.
	REFER TO MECHANICAL
	SALVAGED BRICK, COURSING TO MATCH
	EXISTING

#### NOTES:

1. ALL SALVAGED FACE BRICK FOR RE-USE TO BE THOROUGHLY CLEANED AND FREE OF ALL EXISTING MORTAR.

#### DO NOT SCALE DRAWINGS:

Contractors must check and verify all site conditions. Notify the Owner's Representative in writing before proceeding with the work if discrepancies are evident between the drawings and the site condition. No extras to the contract will be allowed if discrepancies were evident prior to start of work.

#### UNEXPECTED DISCOVERY OF ASBESTOS:

Where a friable material is discovered during construction, renovations and/or demolition, and it is suspected to contain asbestos, the Contractor must stop all work that may disturb the material. The Contractor shall advise the Owner of the discovery and await instructions from the owner.

A	A = Detail number
B	B = Drawing number where detailed

1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

**UNIVERSITY of GUELPH**  
Design, Engineering & Construction  
Physical Resources  
Guelph, Ontario, N1G 2W1

Consultant [www.jlrichards.ca](http://www.jlrichards.ca)

**JLR** J.L.Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
PARTIAL ALTERED EXTERIOR  
ELEVATIONS**

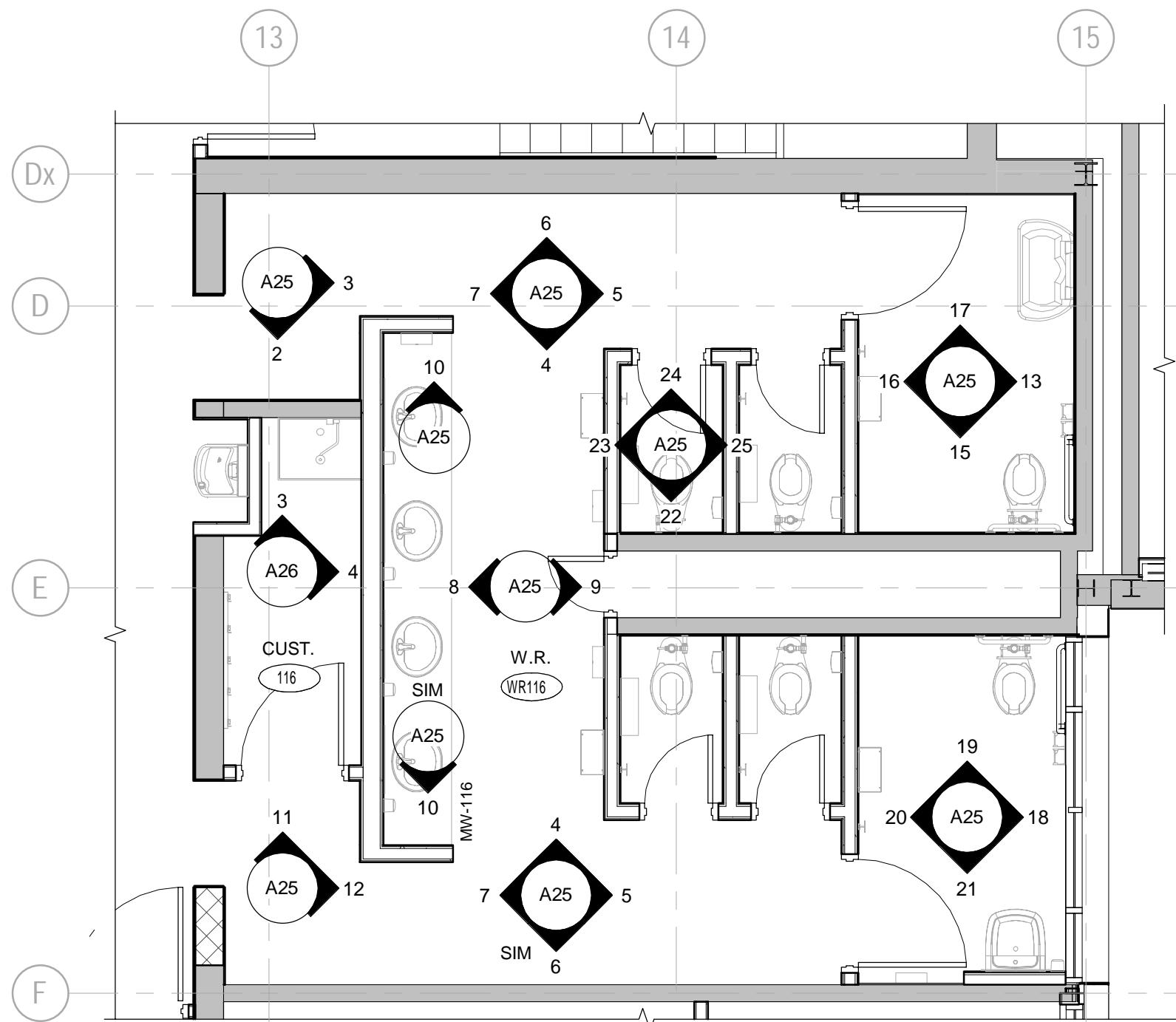
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

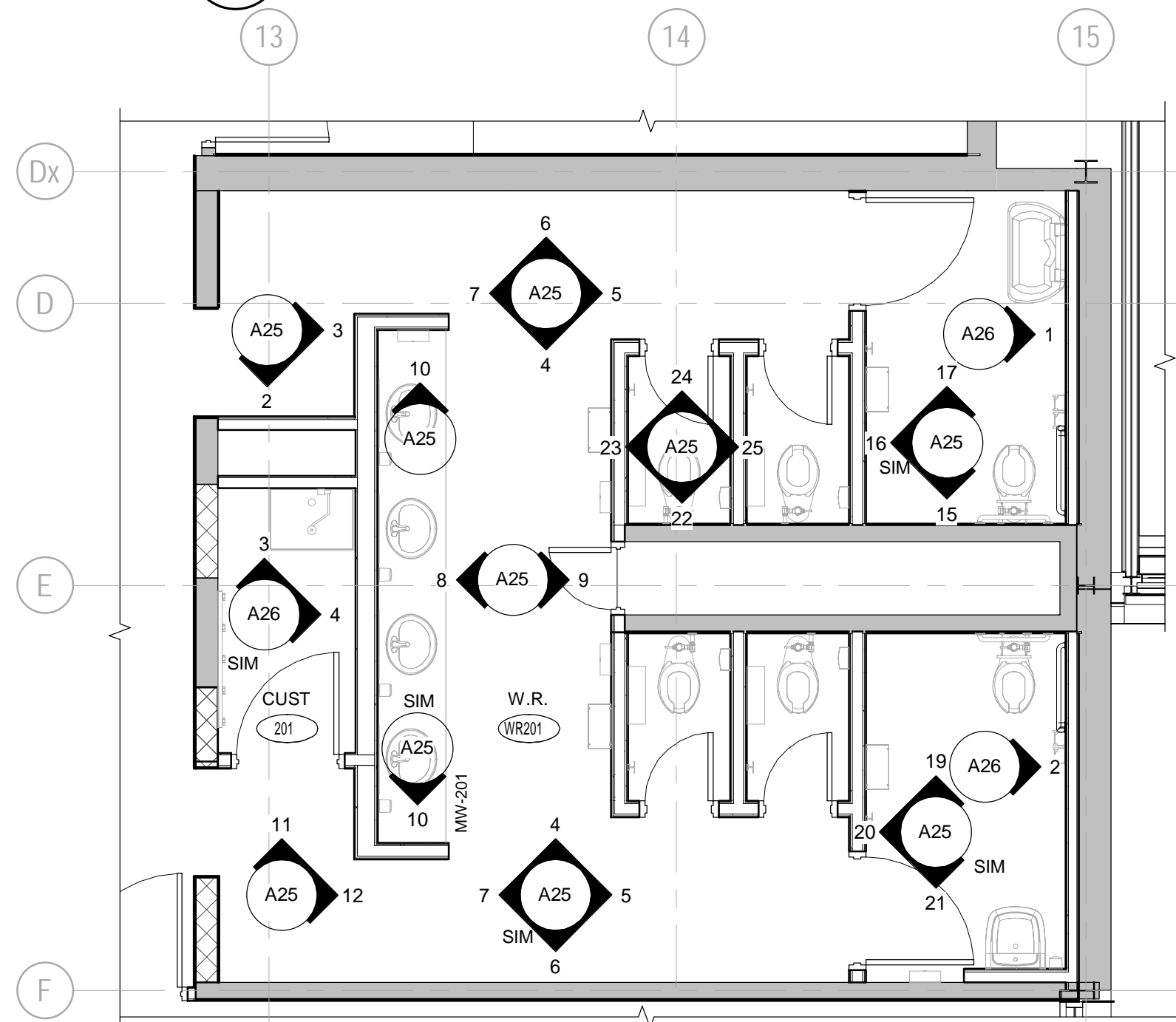
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Drawn By DCJ	Drawing No.
Checked By TA	<b>A22</b>
Approved By RPC	
JLR #: 27915	

Cad File No.

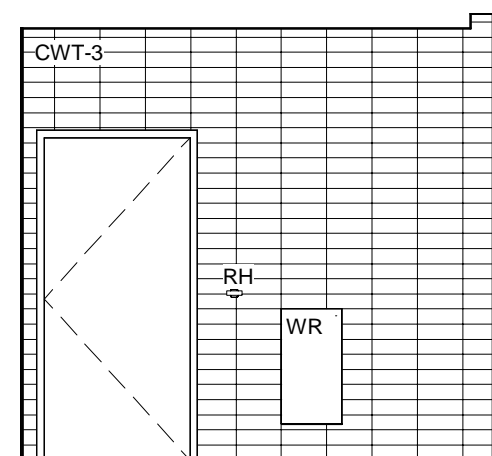
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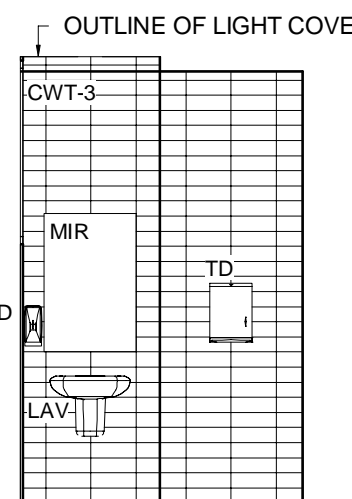
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PLAN - WR116  
SCALE: 1:50



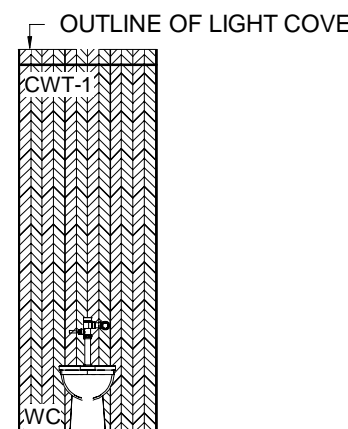
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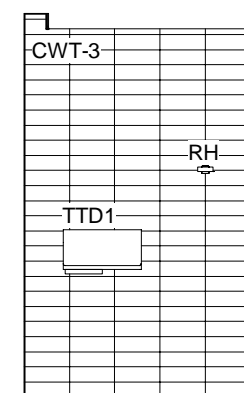
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SCALE: 1:50



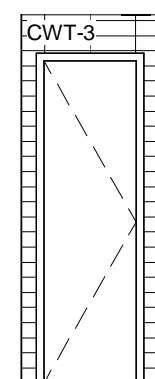
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SCALE: 1:50



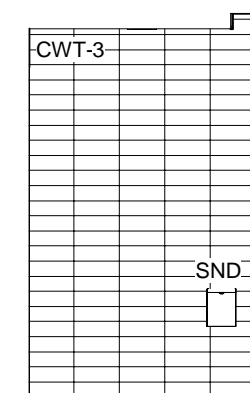
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WR116 - TYP. STALL  
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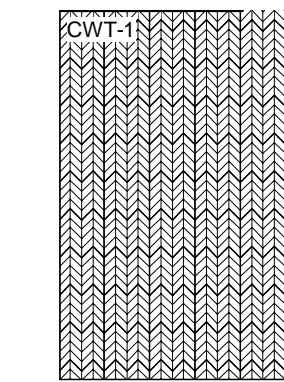
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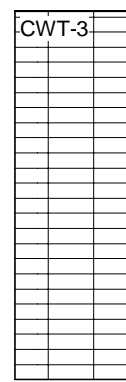
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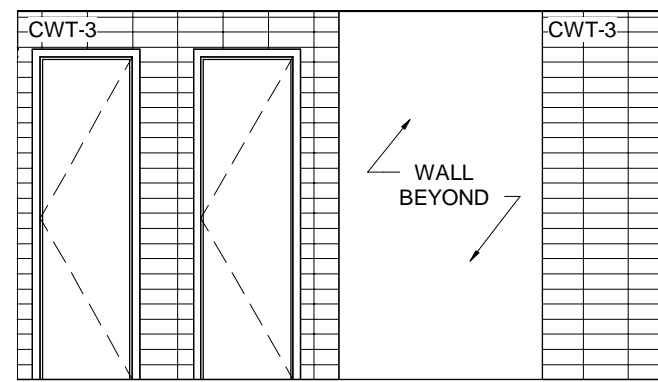
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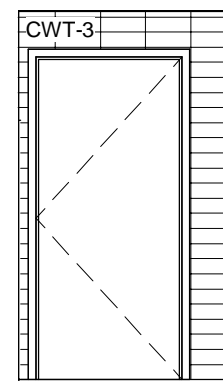
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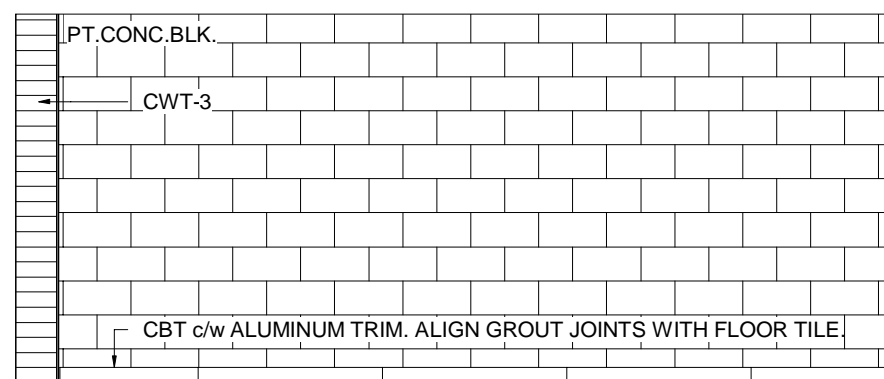
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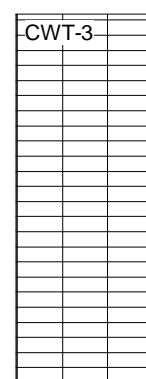
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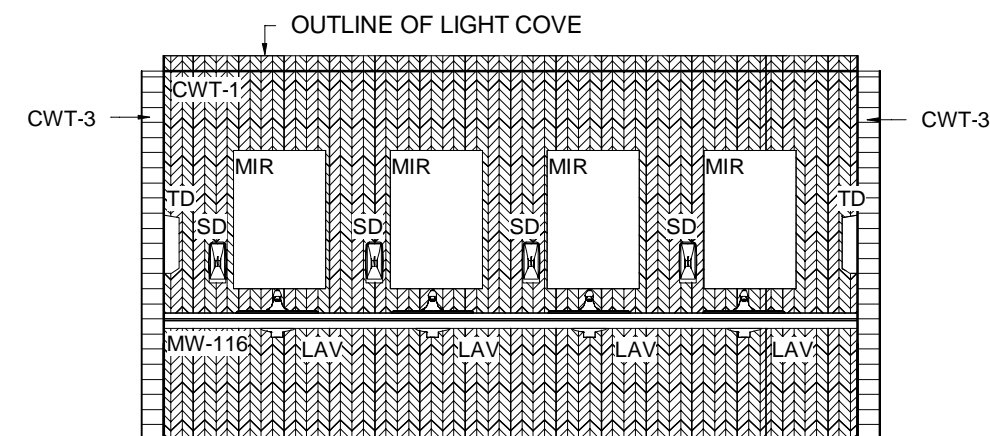
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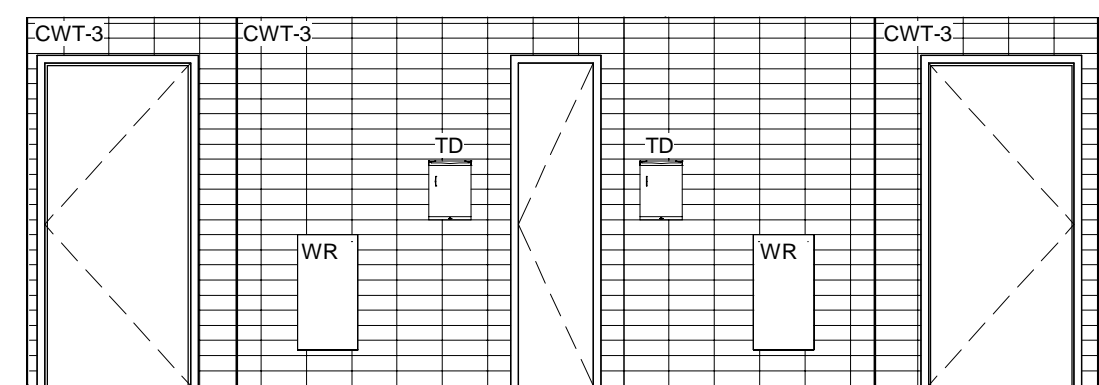
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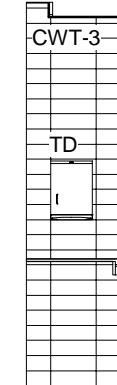
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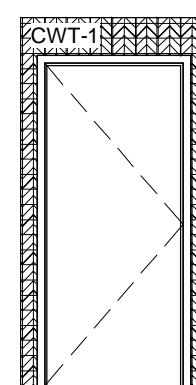
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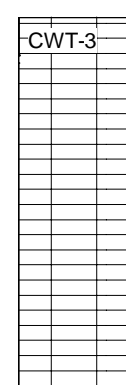
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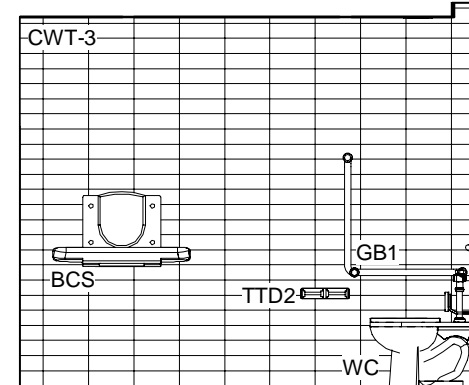
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SCALE: 1:50



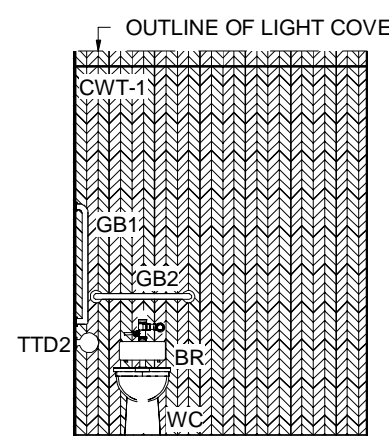
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SCALE: 1:50



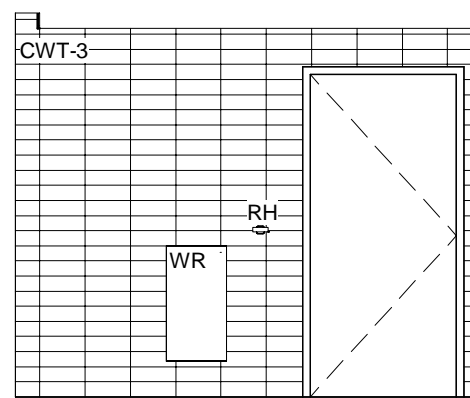
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WR116  
SCALE: 1:50



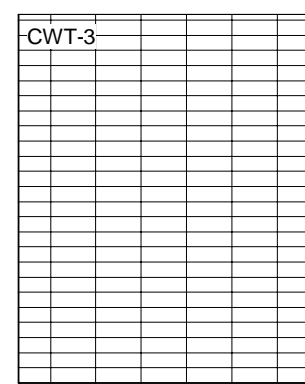
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WR116 - B.F. STALL  
SCALE: 1:50



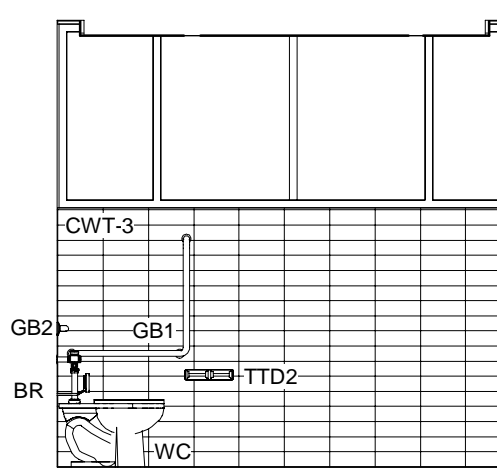
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WR116 - B.F. STALL  
SCALE: 1:50



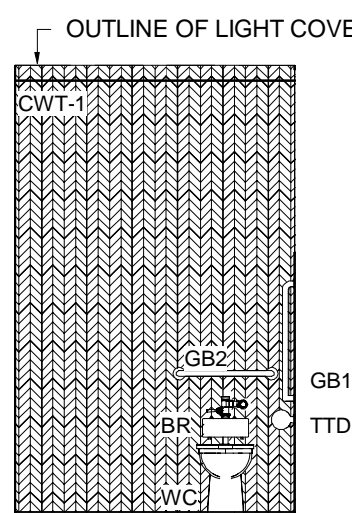
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WR116 - B.F. STALL  
SCALE: 1:50



INTERIOR ELEVATION  
WR116 - B.F. STALL  
SCALE: 1:50



INTERIOR ELEVATION  
WR116 - B.F. STALL  
SCALE: 1:50



INTERIOR ELEVATION  
WR116 - B.F. STALL  
SCALE: 1:50

#### LEGEND:

000 ROOM NUMBER  
MW-000 MILLWORK TAG

#### ABBREVIATIONS:

ACS ADULT CHANGE STATION  
BCS BABY CHANGE STATION  
BPGWB BACK PAINTED GLASS WHITE BOARD  
BR BACKREST  
CBT CERAMIC BASE TILE  
CONC.BLK CONCRETE BLOCK  
CWT- CERAMIC WALL TILE - TYPE  
DW DISHWASHER, N.I.C.  
ECB EMERGENCY CALL BUTTON  
EX EXISTING  
EWS EYE WASH STATION  
GB1 GRAB BAR TYPE 1  
GB2 GRAB BAR TYPE 2  
HD HAND DRYER  
LAV LAVATORY  
MIR MIRROR - REFER TO DETAIL 3/A16  
MS MOP SINK  
MW MICROWAVE, N.I.C.  
PB DOOR OPERATOR PUSH BUTTON  
PT PAINT  
REF REFRIGERATOR, N.I.C.  
RH ROBE HOOK  
SD SOAP DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
SH SHELF  
SND SANITARY NAPKIN DISPONAL - OWNER SUPPLIED, CONTRACTOR INSTALLED  
SNK SINK  
TD TOWEL DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
TTD1 TOILET TISSUE DISPENSER TYPE 1 - OWNER SUPPLIED, CONTRACTOR INSTALLED  
TTD2 TOILET TISSUE DISPENSER TYPE 2  
UIC REF UNDER COUNTER REFRIGERATOR, N.I.C.  
WC WATER CLOSET  
WR WASTE RECEPTACLE

#### DO NOT SCALE DRAWINGS:

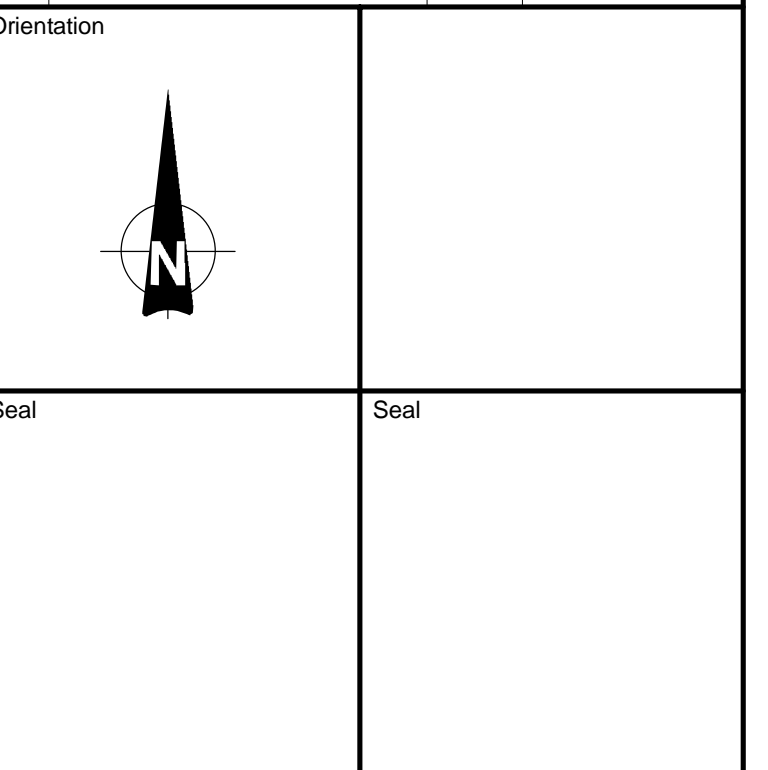
Contractors must check and verify all site conditions. Notify the Owner's Representative in writing before proceeding with the work if discrepancies are evident between the drawings and the site condition. No extras to the contract will be allowed if discrepancies are evident prior to start of work.

#### UNEXPECTED DISCOVERY OF ASBESTOS:

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A = Detail number  
B = Drawing number where detailed

1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE



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Design, Engineering & Construction  
Physical Resources  
Guelph, Ontario, N1G 2W1

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**J.R. J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

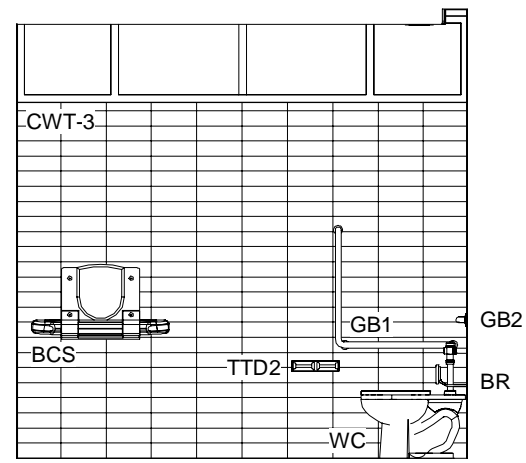
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**ARCHITECTURAL  
INTERIOR ELEVATIONS**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

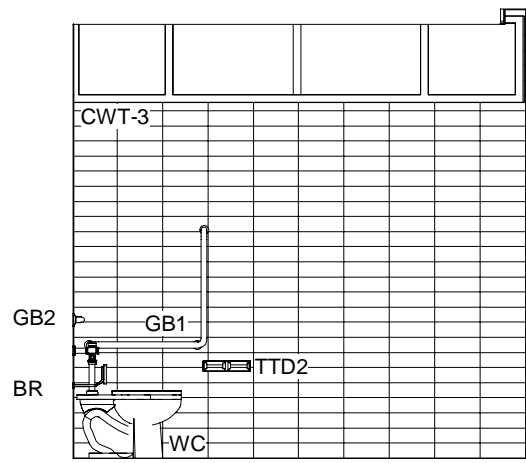
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Drawn By DCJ	Drawing No.
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Approved By RPC	
JLR #: 27915	
Cad File No.	





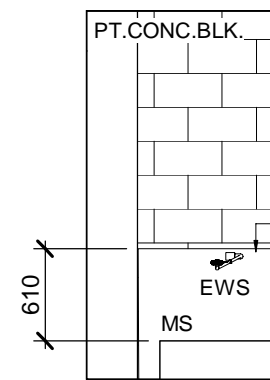
INTERIOR ELEVATION  
WR201 - B.F. STALL

SCALE : 1 : 50



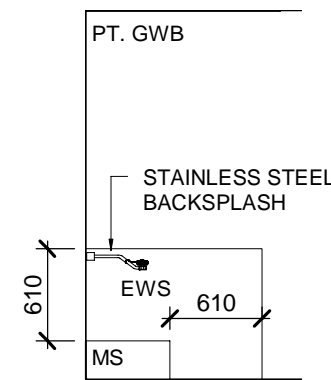
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WR201 - B.F. STALL

SCALE : 1 : 50



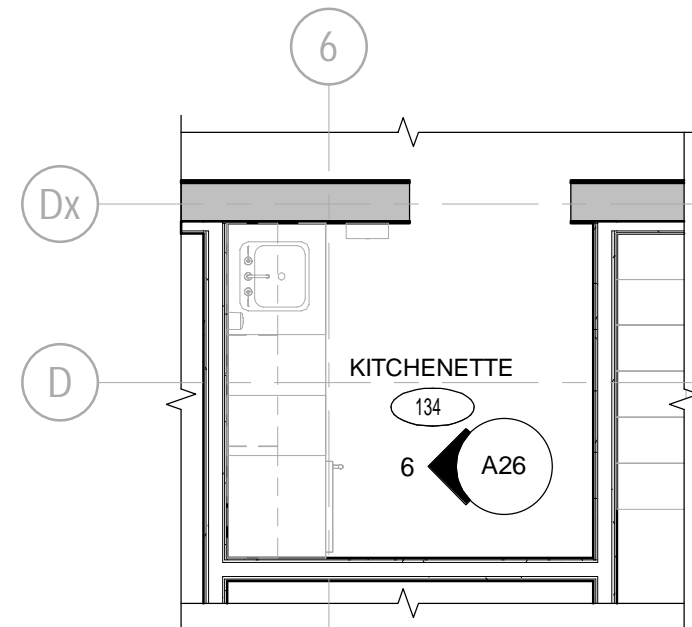
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CUST. 116

SCALE : 1 : 50



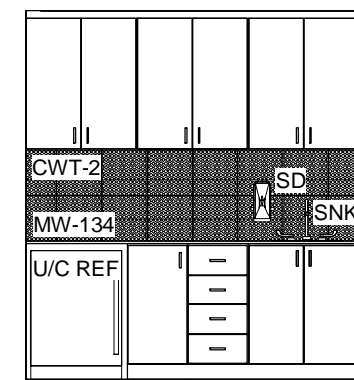
INTERIOR ELEVATION  
CUST. 116

SCALE : 1 : 50



PARTIAL ALTERED FLOOR  
PLAN - KITCHENETTE 134

SCALE : 1 : 50



INTERIOR ELEVATION  
KITCHENETTE 134

SCALE : 1 : 50

**LEGEND:**

ROOM NUMBER  
MW-000 MILLWORK TAG

**ABBREVIATIONS:**

ACS ADULT CHANGE STATION  
BCS BABY CHANGE STATION  
BPGWB BACK PAINTED GLASS WHITE BOARD  
BR BACKREST  
CBT CERAMIC BASE TILE  
CONC.BLK CONCRETE BLOCK  
CWT- CERAMIC WALL TILE - TYPE  
DW DISHWASHER, N.I.C.  
ECB EMERGENCY CALL BUTTON  
EX EXISTING  
EWS EYE WASH STATION  
GB1 GRAB BAR TYPE 1  
GB2 GRAB BAR TYPE 2  
HD HAND DRYER  
LAV LAVATORY  
MIR MIRROR - REFER TO DETAIL 3/A16  
MS MOP SINK  
MV MICROWAVE, N.I.C.  
PB DOOR OPERATOR PUSH BUTTON  
PT PAINT  
REF REFRIGERATOR, N.I.C.  
RH ROBE HOOK  
SD SOAP DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
SH SHELF  
SND SANITARY NAPKIN DISPONAL - OWNER SUPPLIED, CONTRACTOR INSTALLED  
SNK SINK  
TD TOWEL DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
TTD1 TOILET TISSUE DISPENSER TYPE 1 - OWNER SUPPLIED, CONTRACTOR INSTALLED  
TTD2 TOILET TISSUE DISPENSER TYPE 2  
U/C REF UNDER COUNTER REFRIGERATOR, N.I.C.  
WC WATER CLOSET  
WR WASTE RECEPTACLE

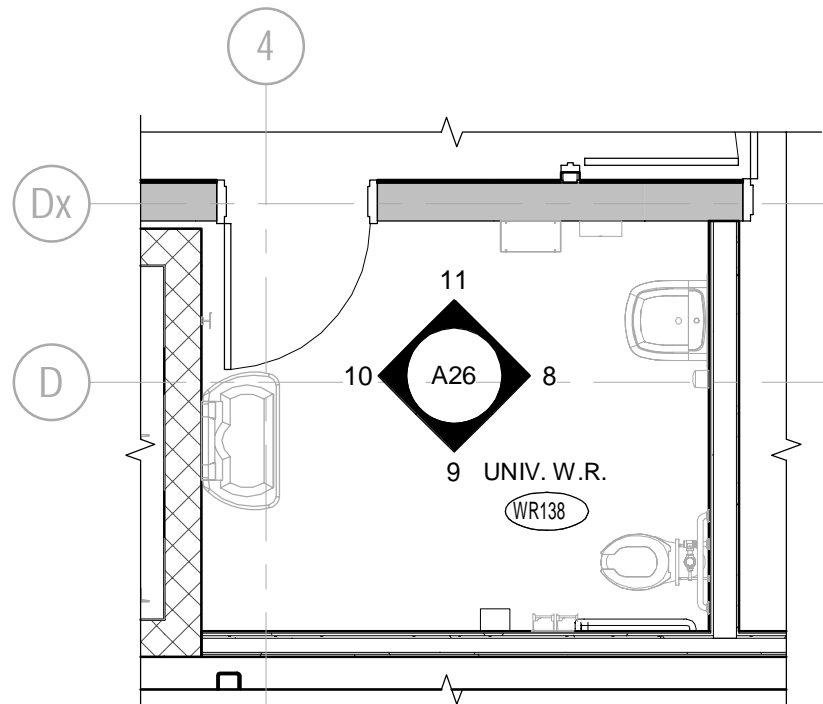
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**UNEXPECTED DISCOVERY OF ASBESTOS:**

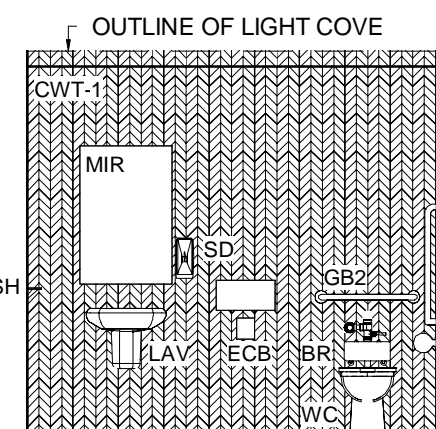
Where a friable material is discovered during construction, renovations and/or demolition, and it is suspected to contain asbestos, the Contractor must stop all work that may disturb the material. The Contractor shall advise the Owner of the discovery and await instructions from the owner.

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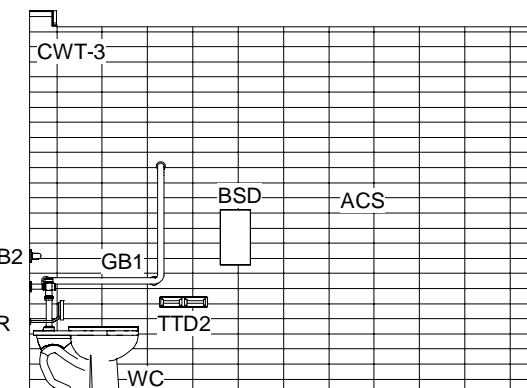
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PLAN - WR138

SCALE : 1 : 50



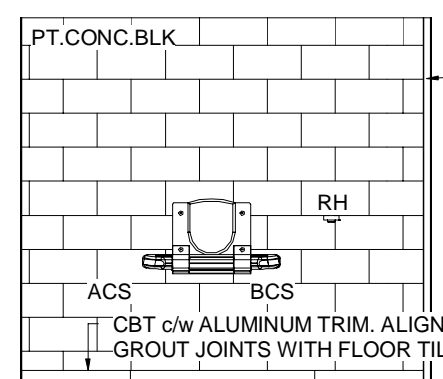
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WR138

SCALE : 1 : 50



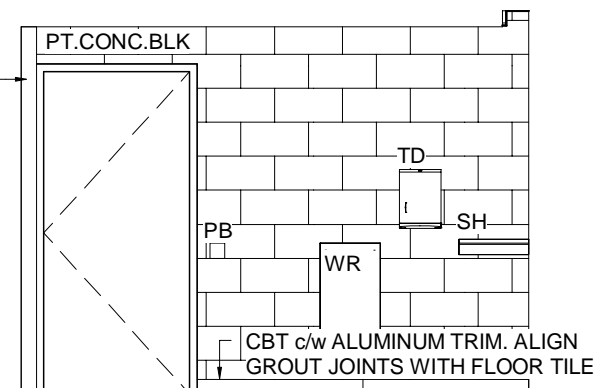
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WR138

SCALE : 1 : 50



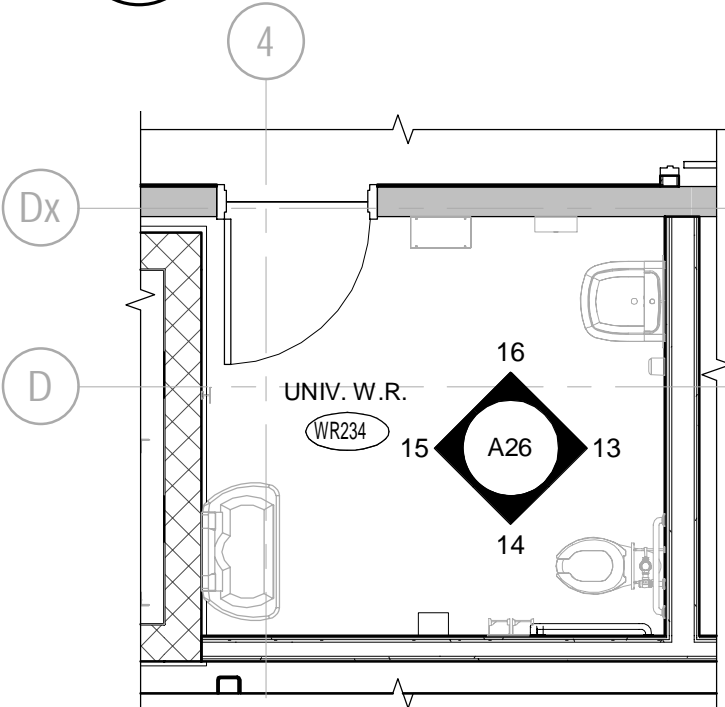
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WR138

SCALE : 1 : 50



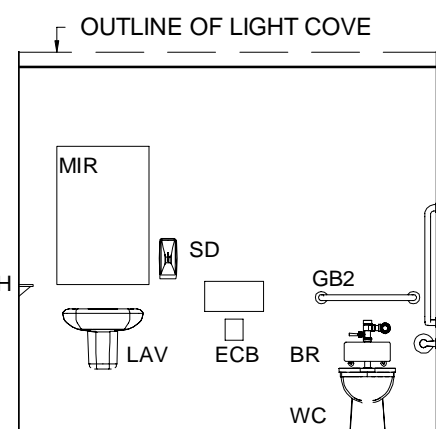
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SCALE : 1 : 50



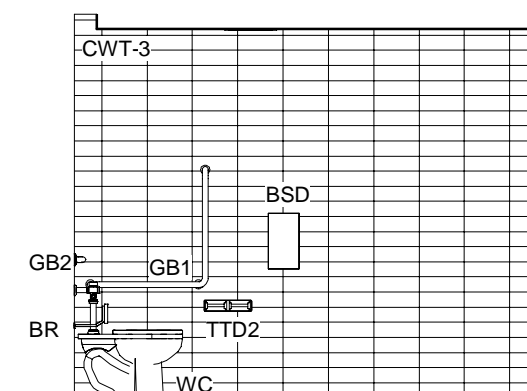
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PLAN - WR234

SCALE : 1 : 50



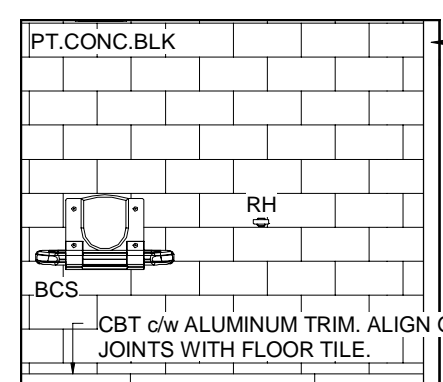
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WR234

SCALE : 1 : 50



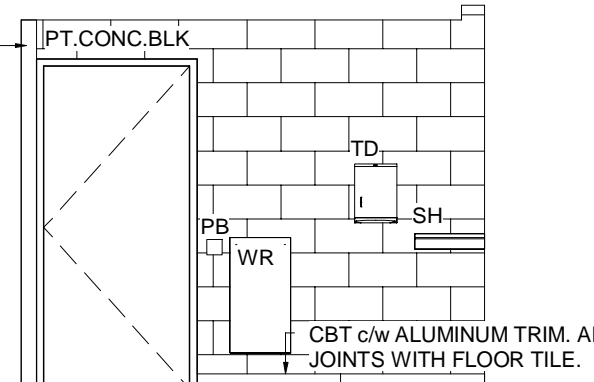
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SCALE : 1 : 50



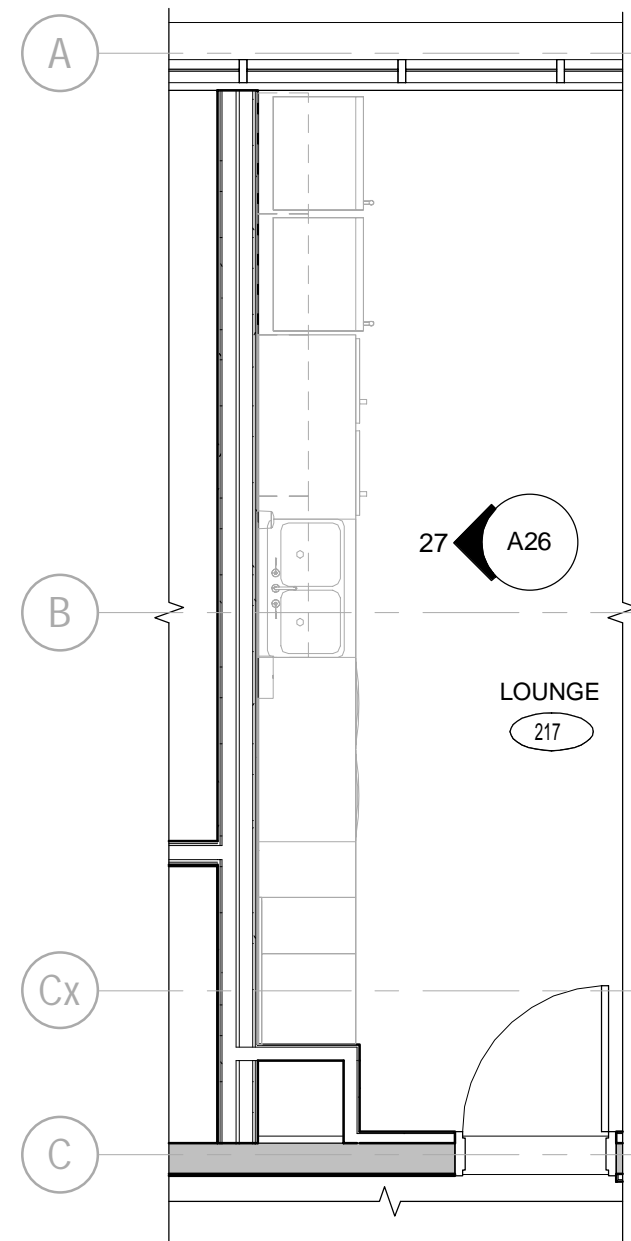
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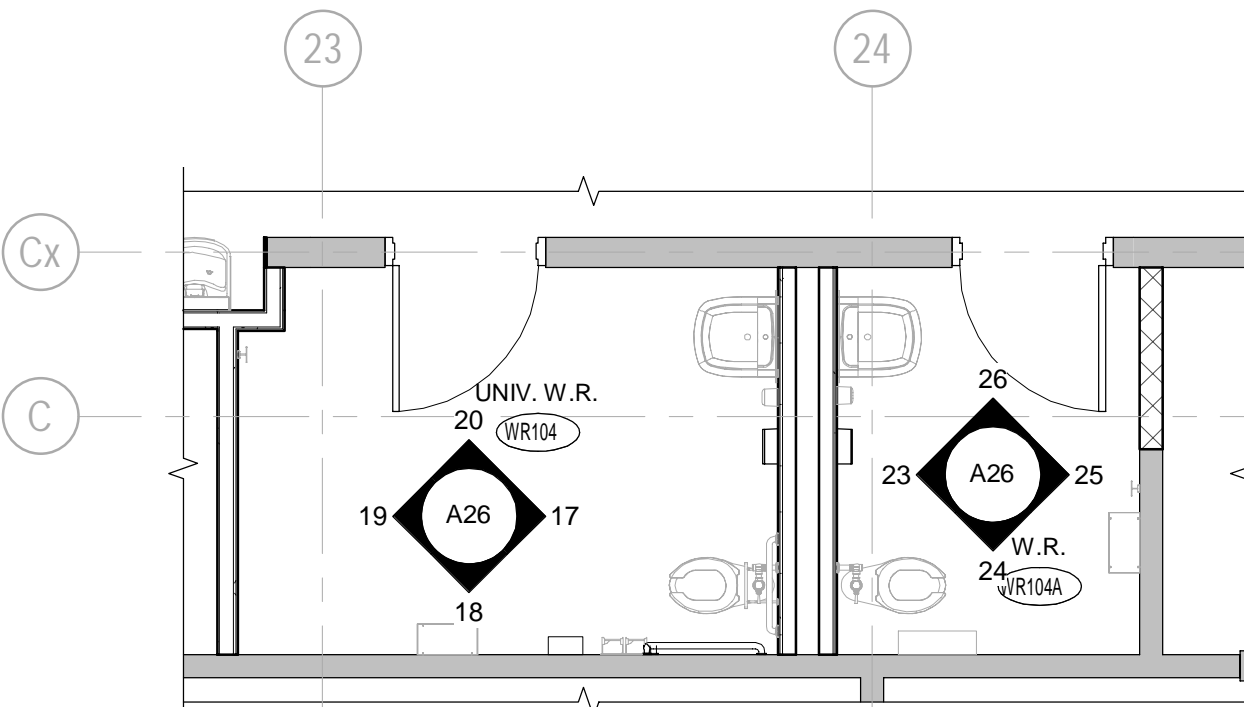
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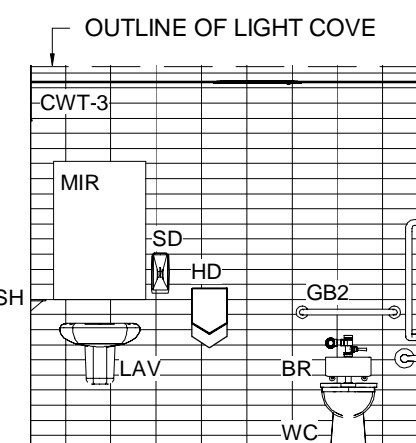
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PLAN - LOUNGE 217

SCALE : 1 : 50



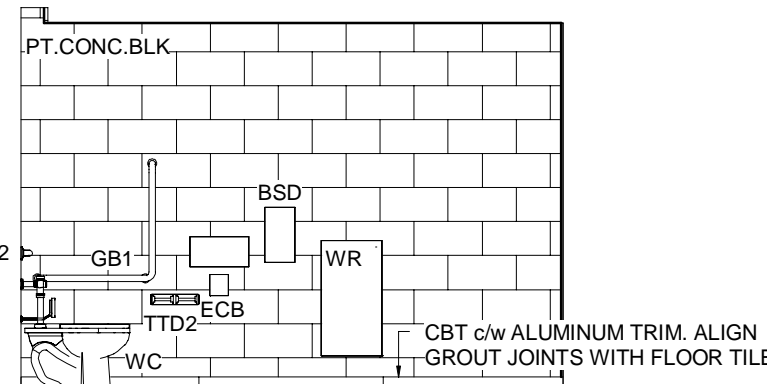
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PLAN - WR WING 'C'

SCALE : 1 : 50



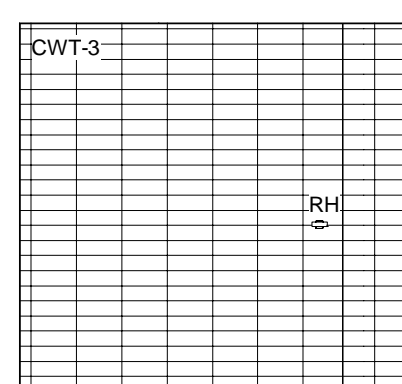
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WR104

SCALE : 1 : 50



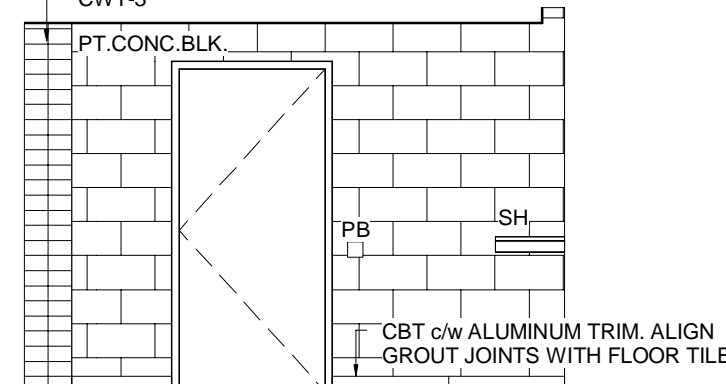
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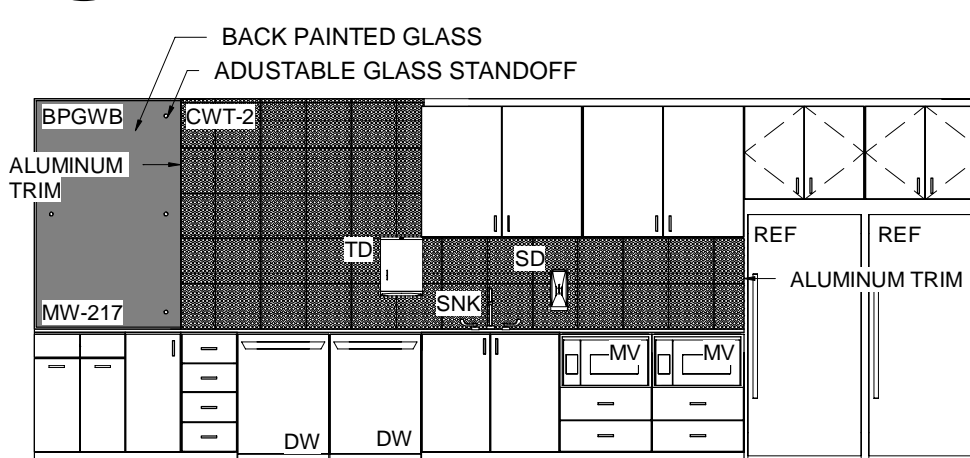
INTERIOR ELEVATION  
WR104

SCALE : 1 : 50



INTERIOR ELEVATION  
WR104

SCALE : 1 : 50



INTERIOR ELEVATION  
LOUNGE 217

SCALE : 1 : 50

UNIVERSITY  
of GUELPH

Design, Engineering & Construction  
Physical Resources  
Guelph, Ontario, N1G 2W1

Consultant www.jlrichards.ca

J.L.Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
INTERIOR ELEVATIONS**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale  
AS INDICATED  
Drawn By  
DCJ  
Checked By  
TA  
Approved By  
RPC  
JLR #: 27915  
Cad File No.

Date  
APR 12, 2019

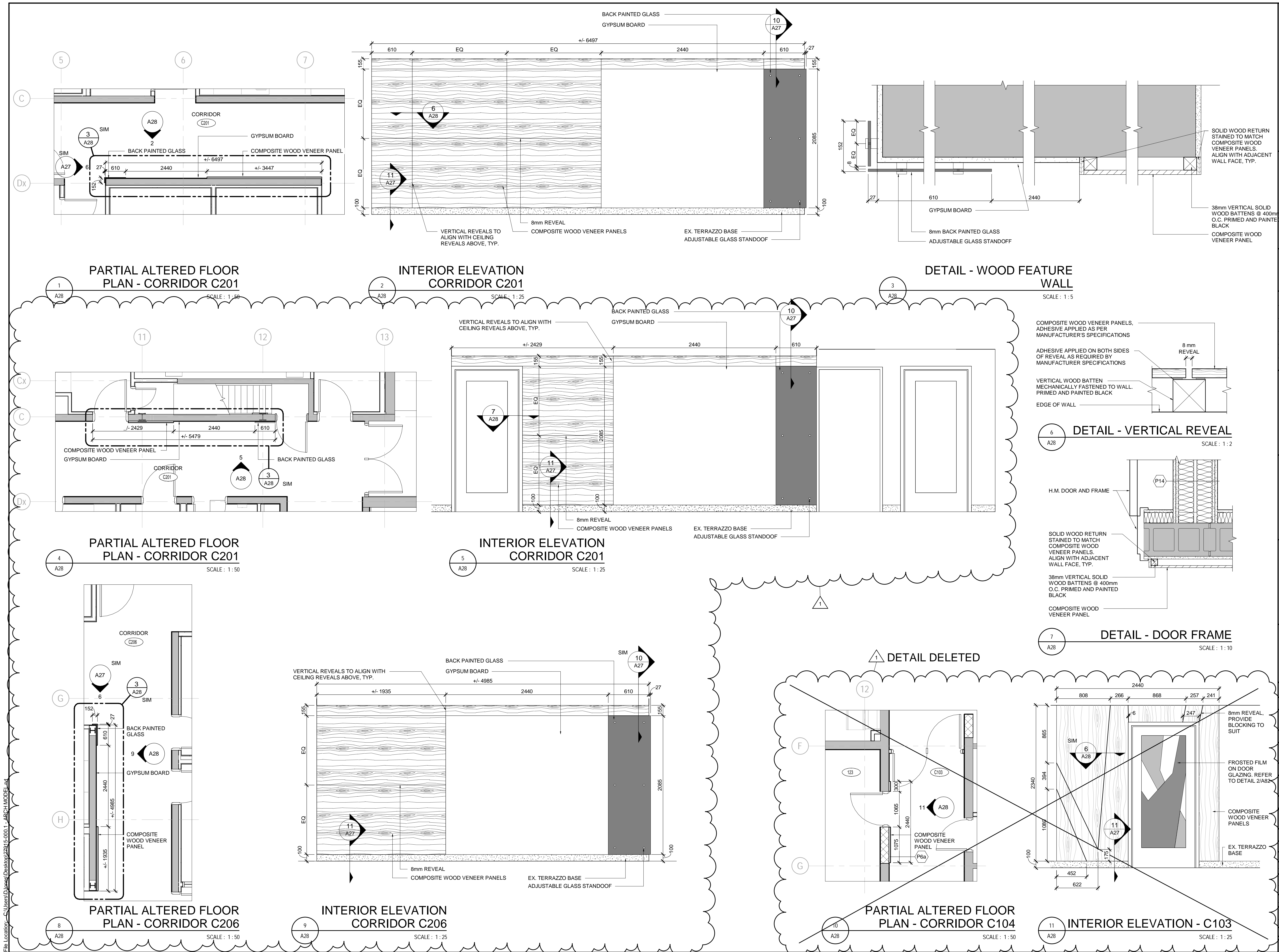
Drawing No.

**A26**



ad File No.





**DO NOT SCALE DRAWINGS:**

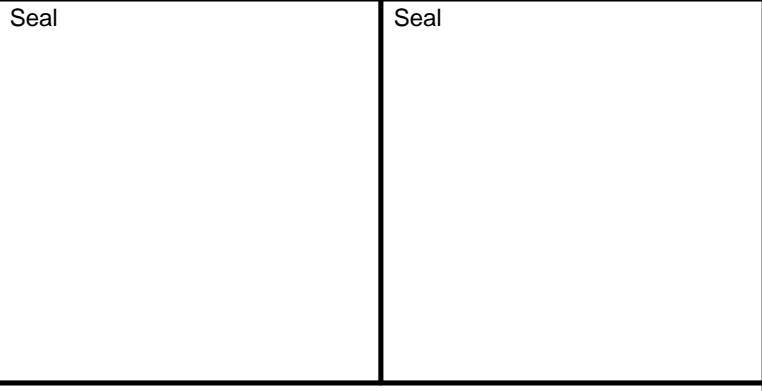
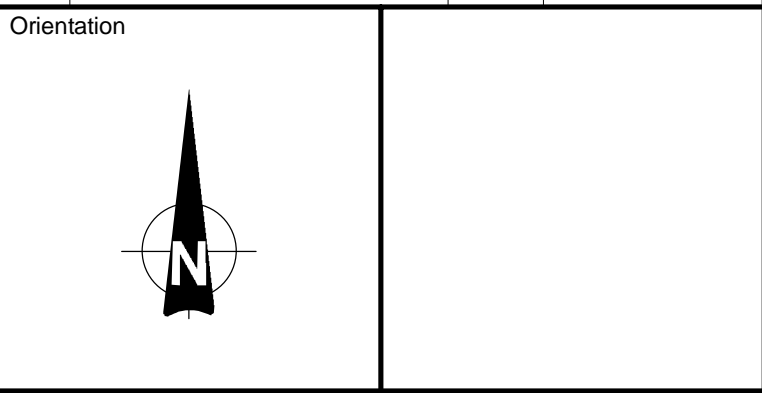
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0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE



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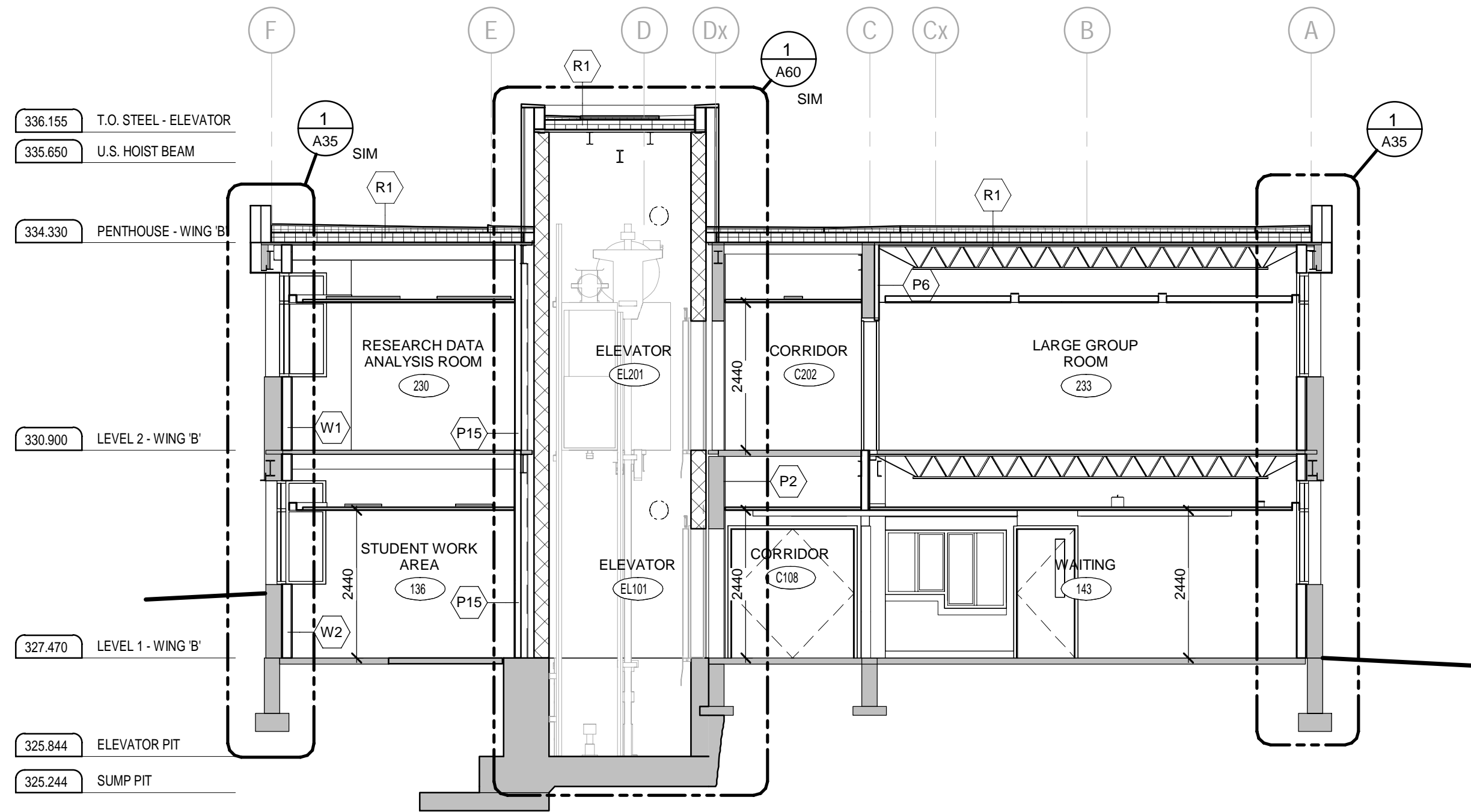
Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL INTERIOR ELEVATIONS AND DETAILS**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

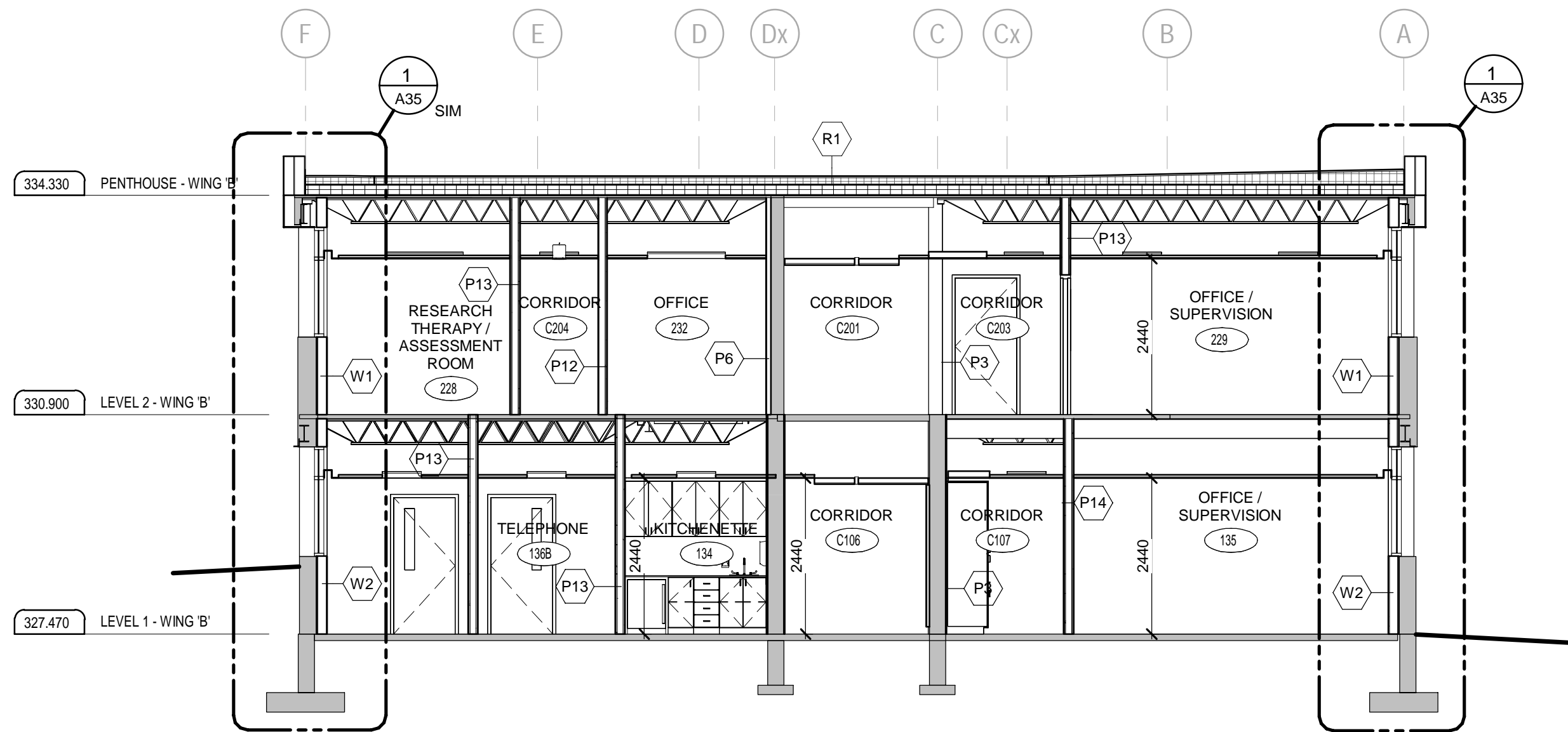
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Drawn By DCJ / NJB	Drawing No. <b>A28</b>
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Approved By RPC	
JLR #: 27915	
Cad File No.	

File Location: C:\Users\DJones\Desktop\27915-000-1 - ARCH MODEL.dwg



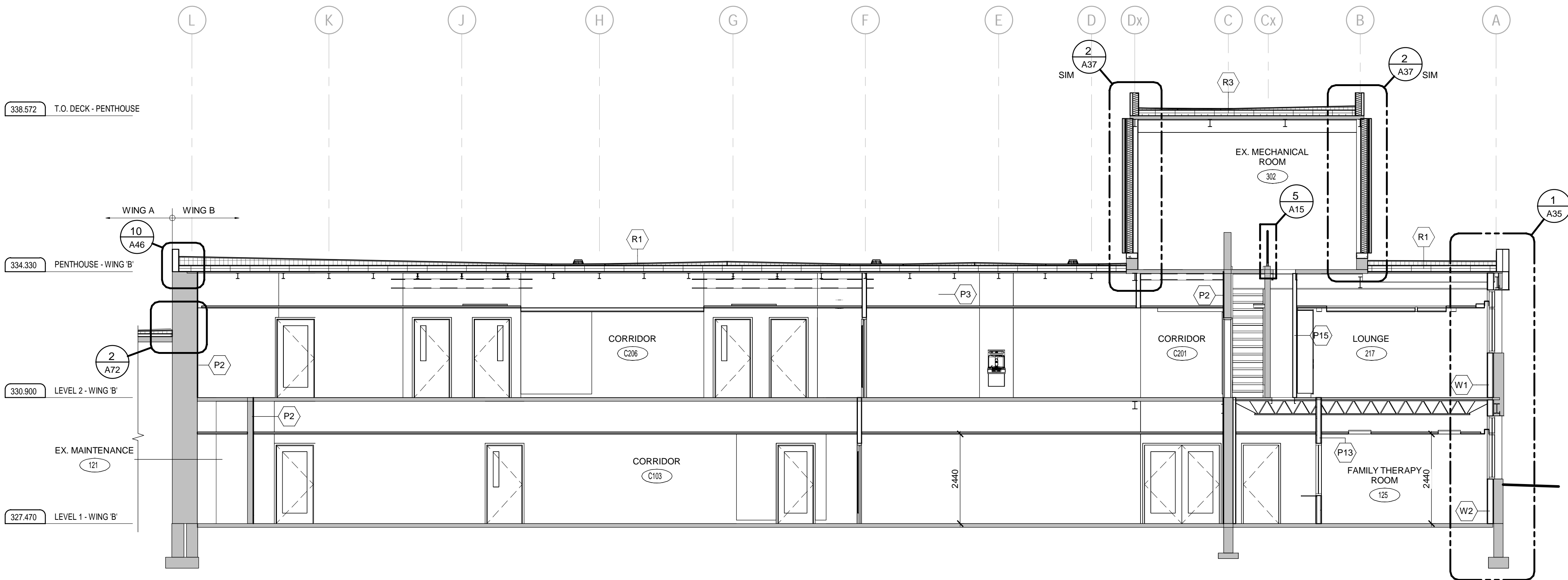
BUILDING SECTION  
GRIDLINE 4

SCALE : 1 : 75



BUILDING SECTION  
GRIDLINE 6

SCALE : 1 : 75



BUILDING SECTION  
GRIDLINE 12

SCALE : 1 : 75

LEGEND:

- 000 ROOM NUMBER  
00 CONSTRUCTION TYPE

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Orientation	
Seal	Seal

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Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
BUILDING SECTIONS**

Project No.  
**504034**

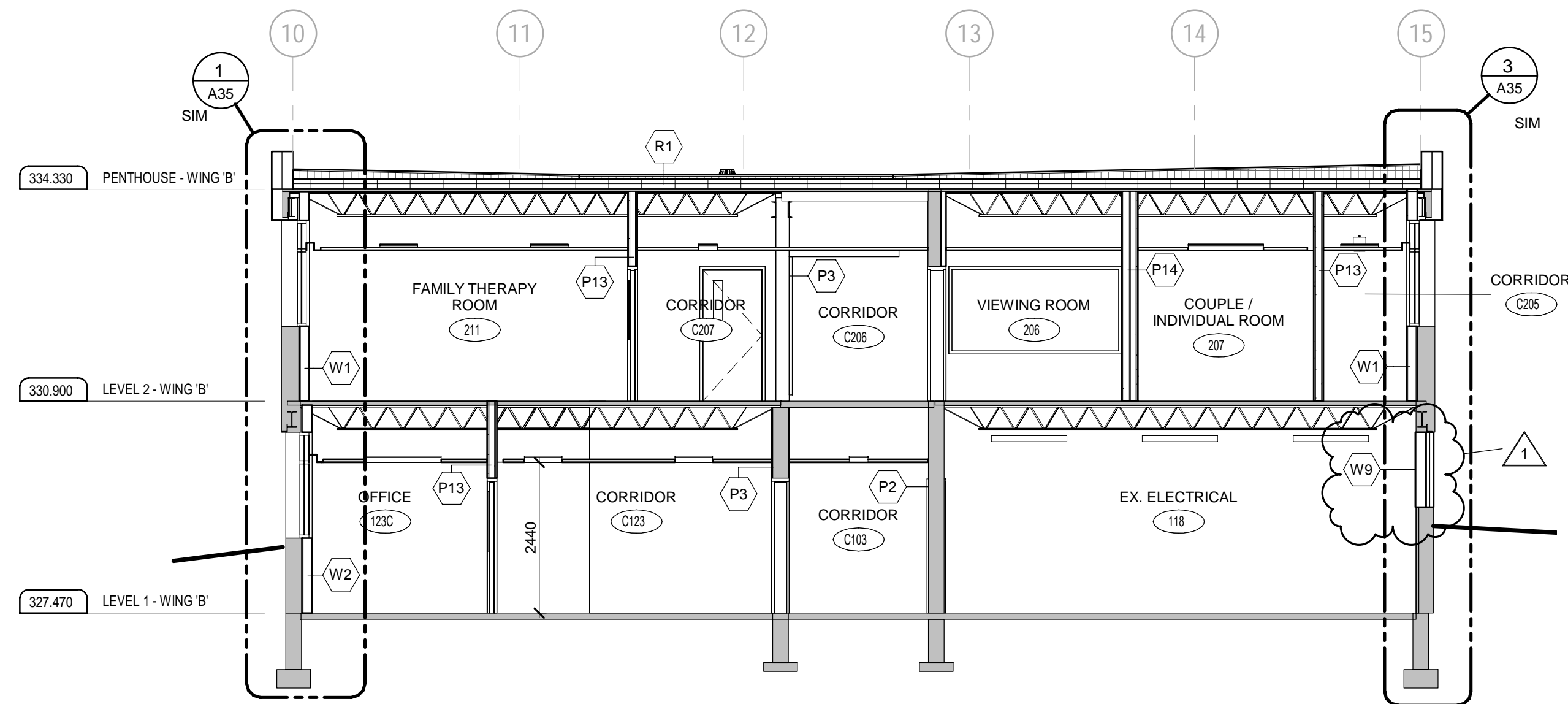
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
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Approved By RPC	
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Cad File No.	

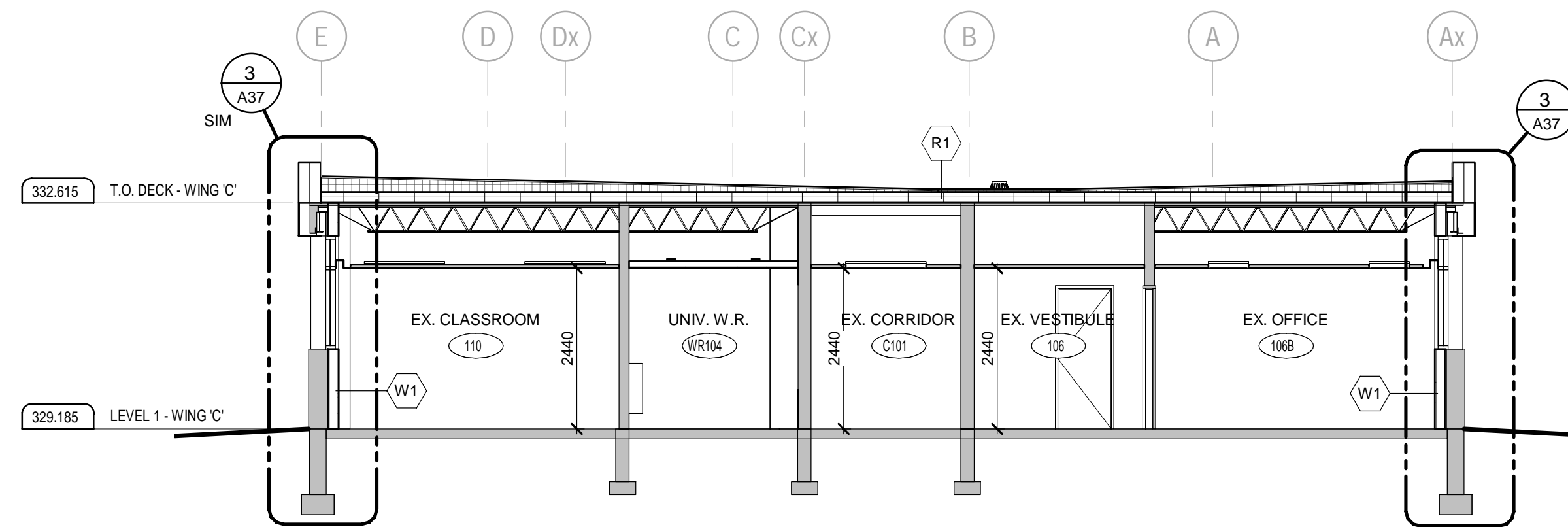
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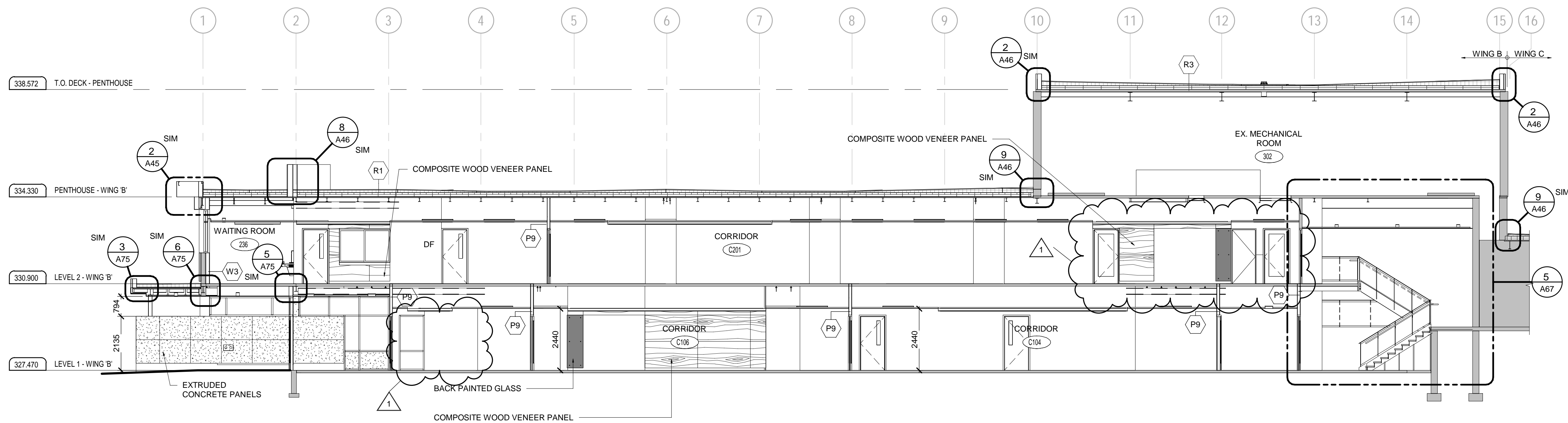
File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.dwg



**BUILDING SECTION  
GRIDLINE J**  
SCALE : 1 : 75



**BUILDING SECTION  
GRIDLINE 23**  
SCALE : 1 : 75



**BUILDING SECTION  
GRIDLINE Dx**  
SCALE : 1 : 100

**LEGEND:**

- 000 ROOM NUMBER  
00 CONSTRUCTION TYPE

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Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
BUILDING SECTIONS**

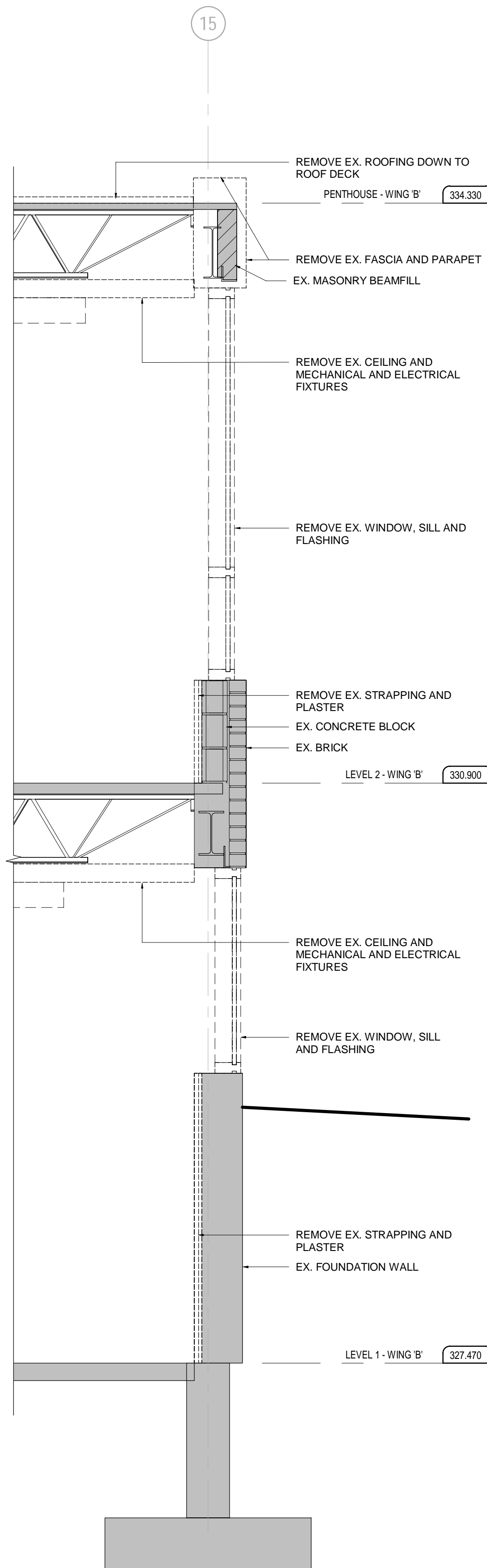
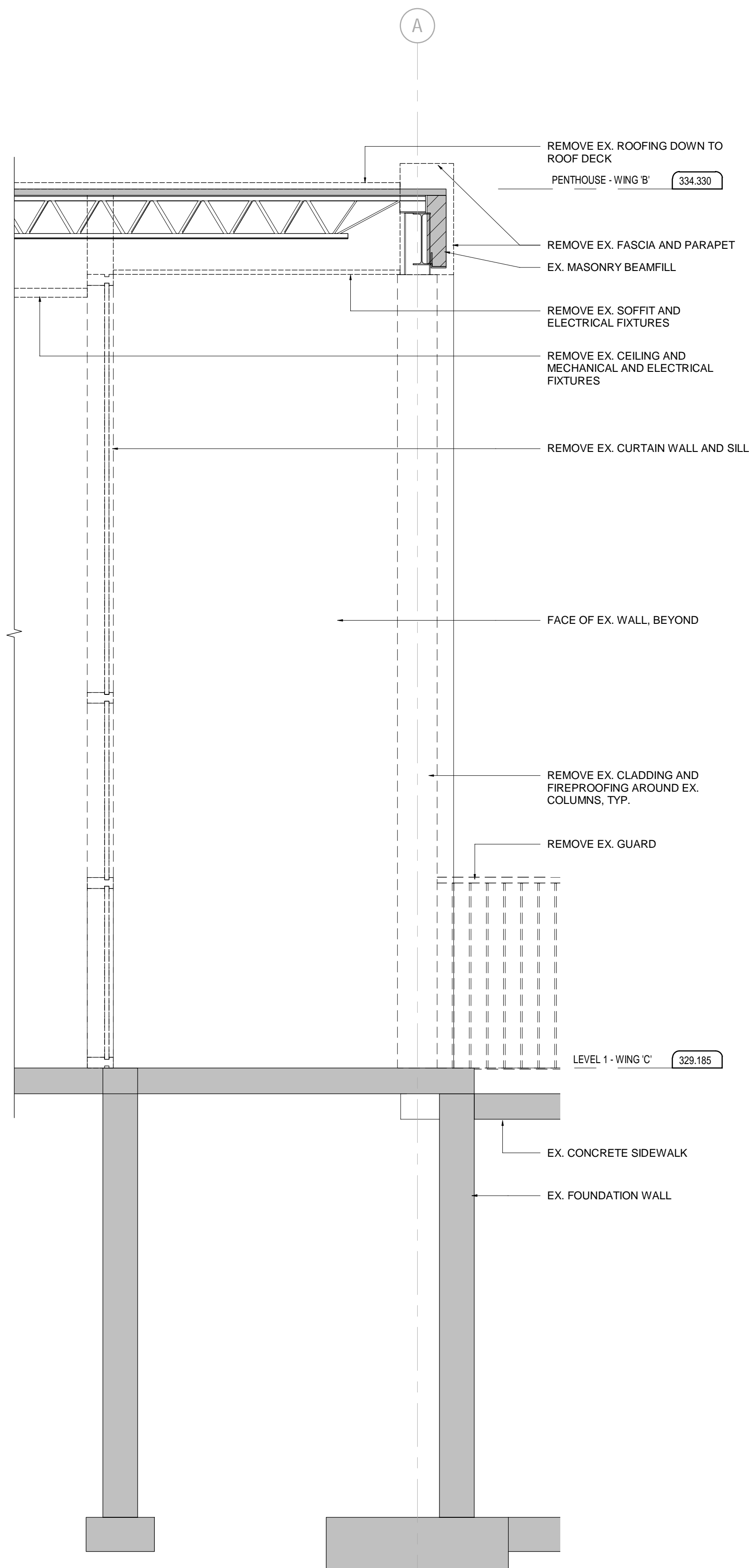
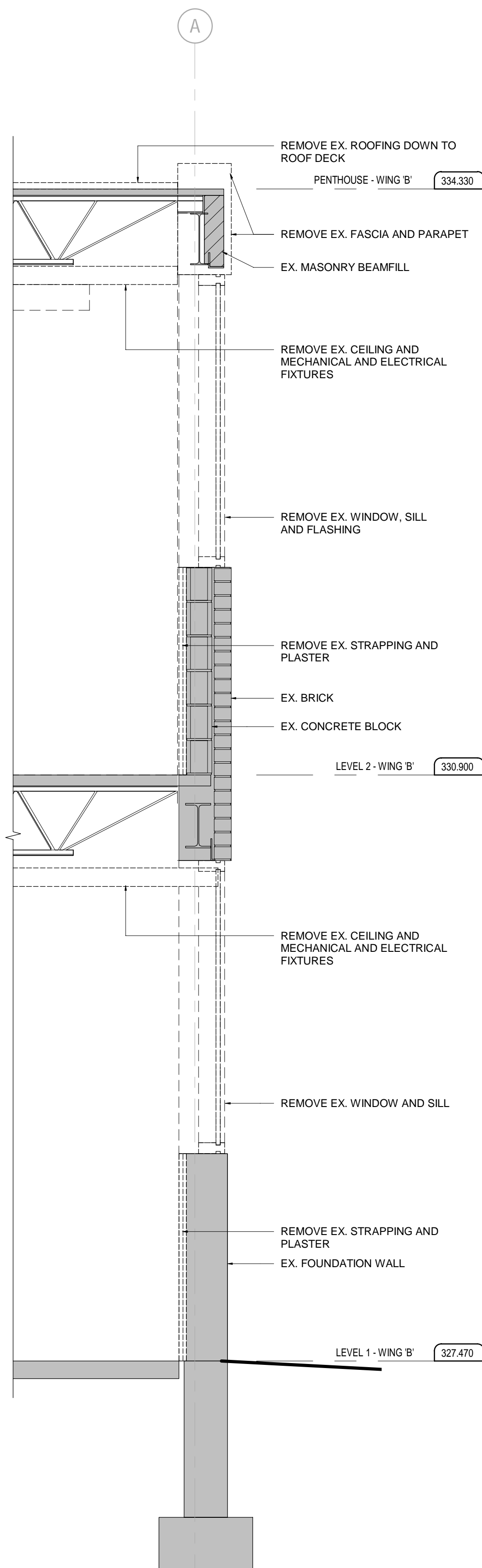
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	<b>A31</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:56:02 AM

File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.dwg



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Orientation	
Seal	Seal

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Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL EXISTING WALL SECTIONS**

Project No.  
**504034**

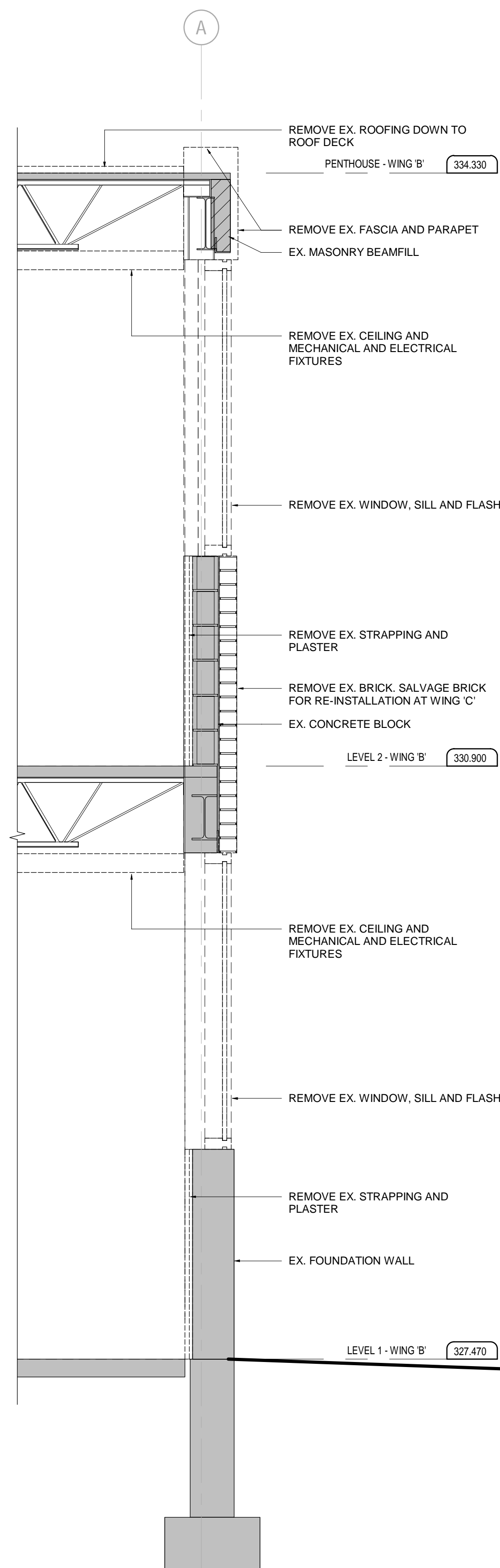
Location  
**UNIVERSITY OF GUELPH BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A32</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

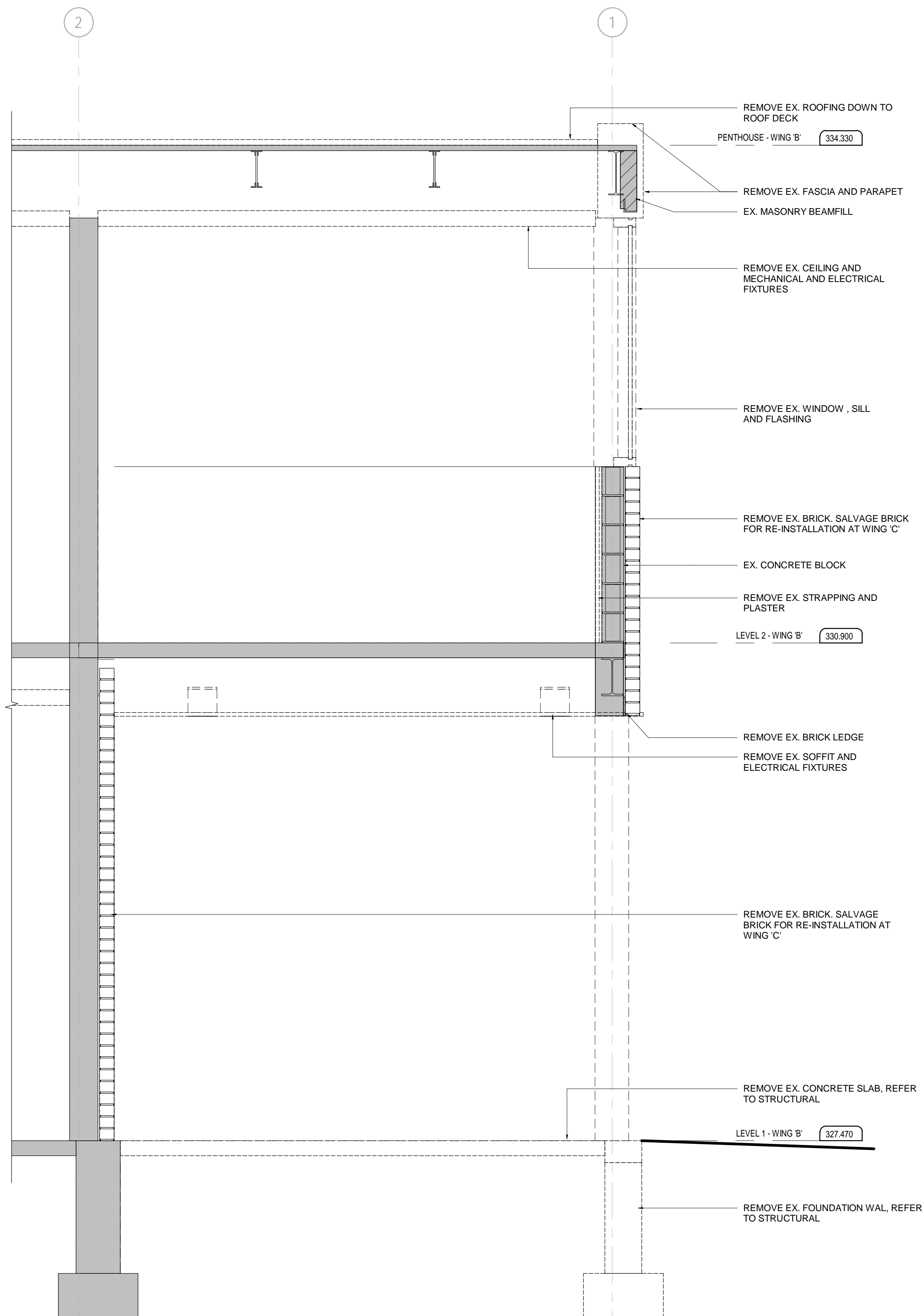
PLOT DATE: 2019-04-11 8:56:05 AM



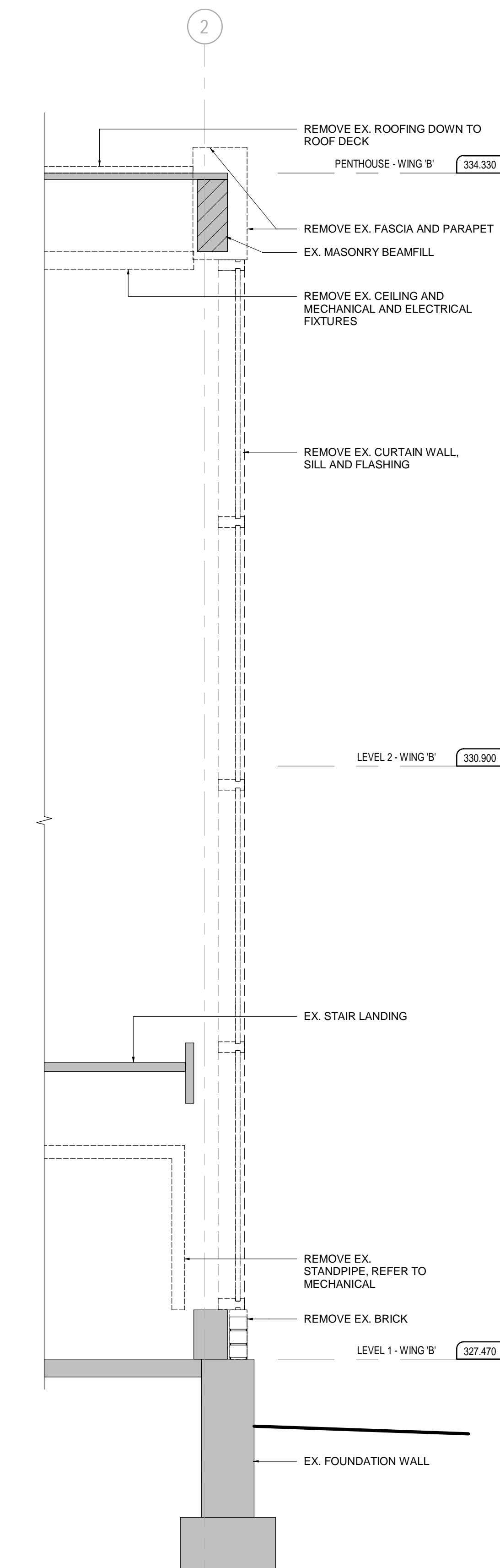
File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.dwg



1  
A33  
EXISTING WALL SECTION  
SCALE : 1 : 20



2  
A33  
EXISTING WALL SECTION  
SCALE : 1 : 20



3  
A33  
EXISTING WALL SECTION  
SCALE : 1 : 20

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Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL EXISTING WALL SECTIONS**

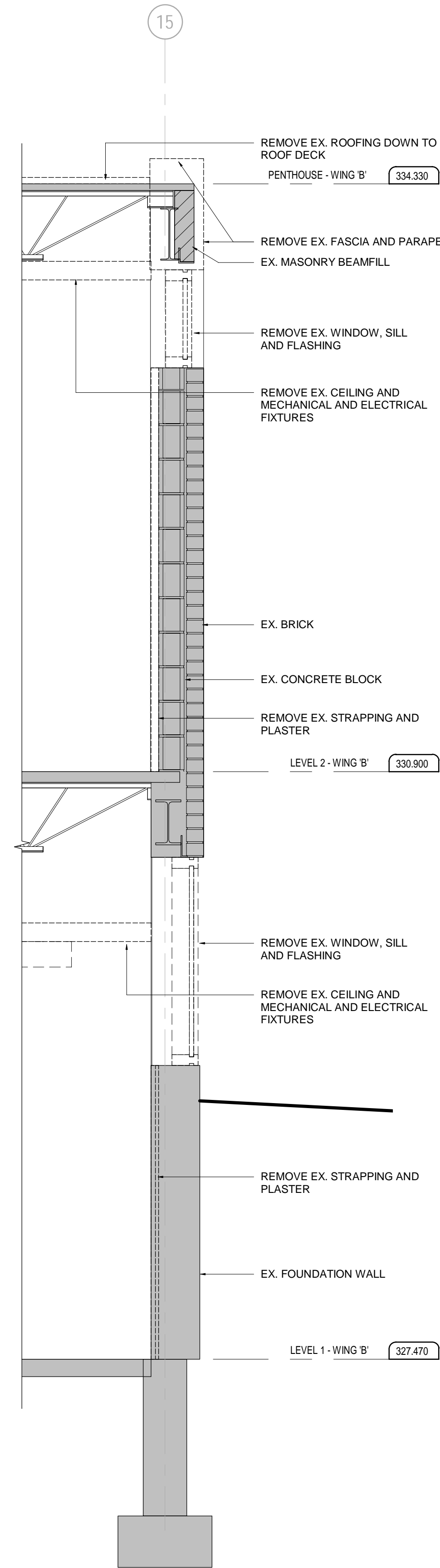
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

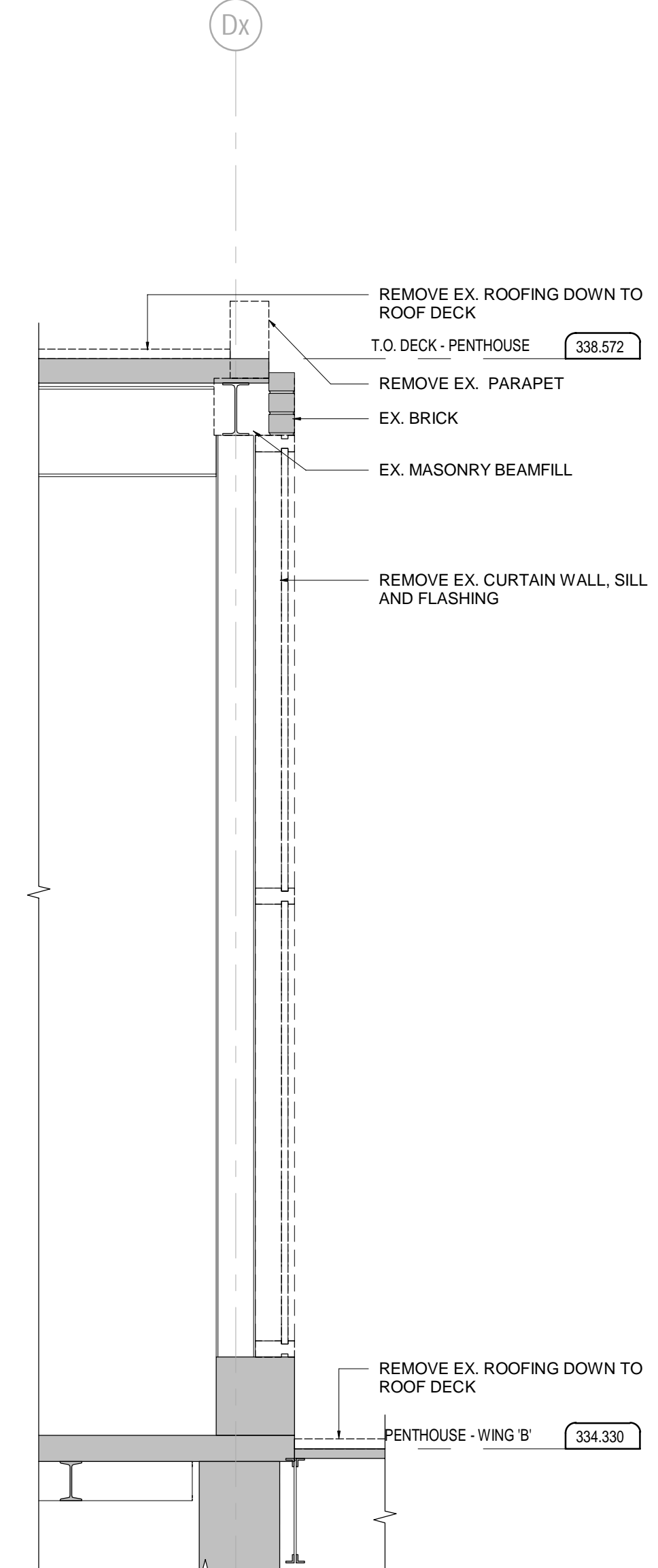
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A33</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:56:07 AM

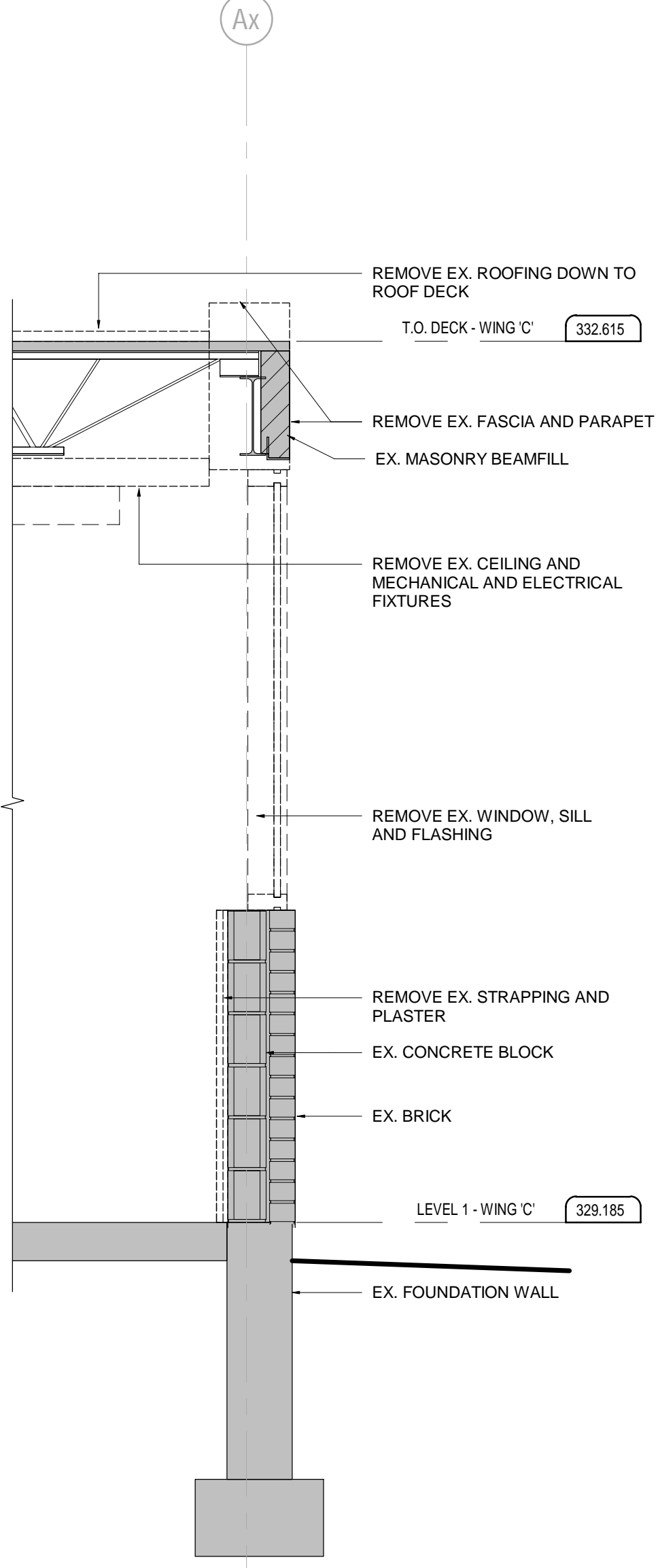
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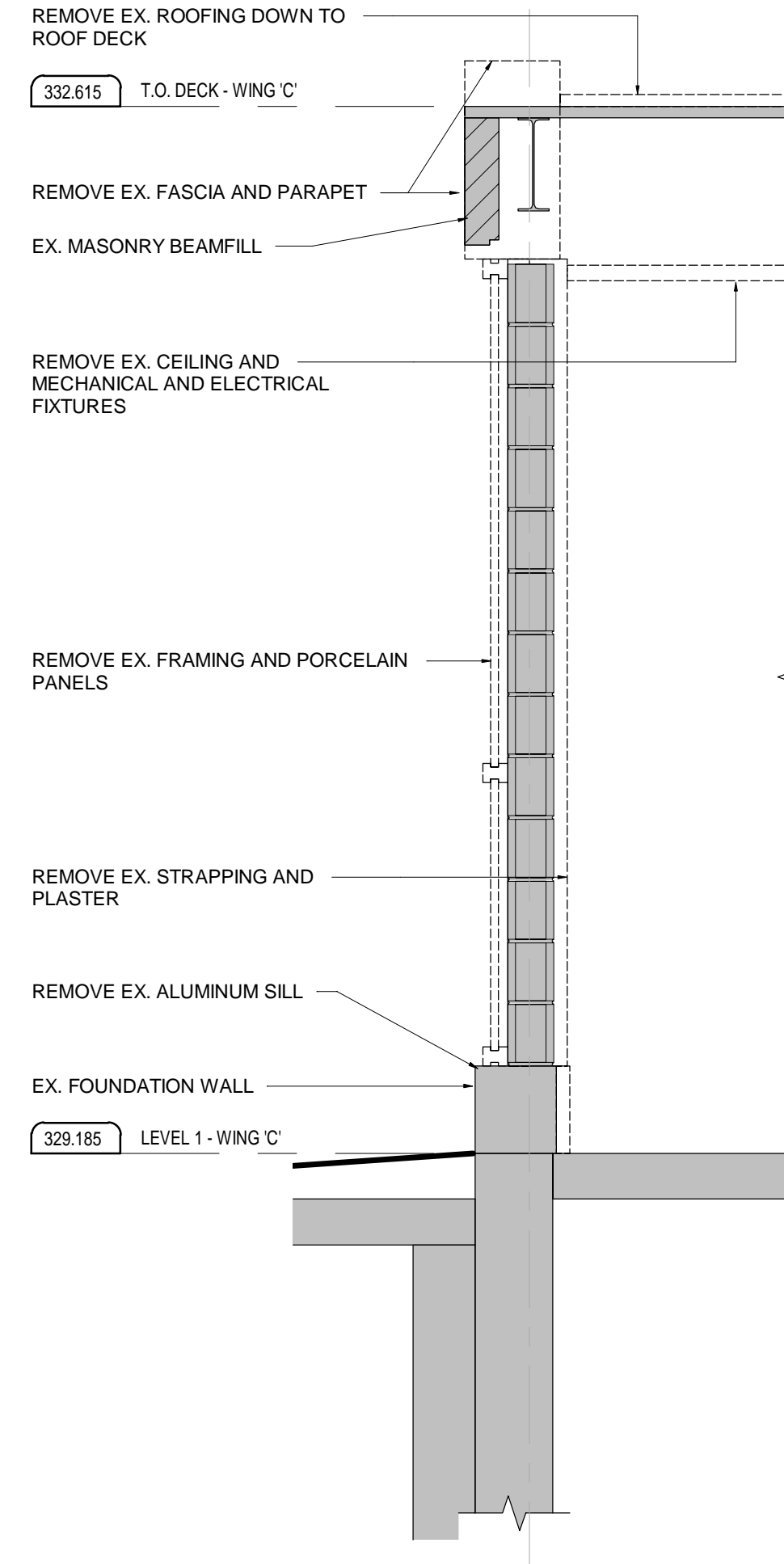
1  
A34  
EXISTING WALL SECTION  
SCALE : 1 : 20



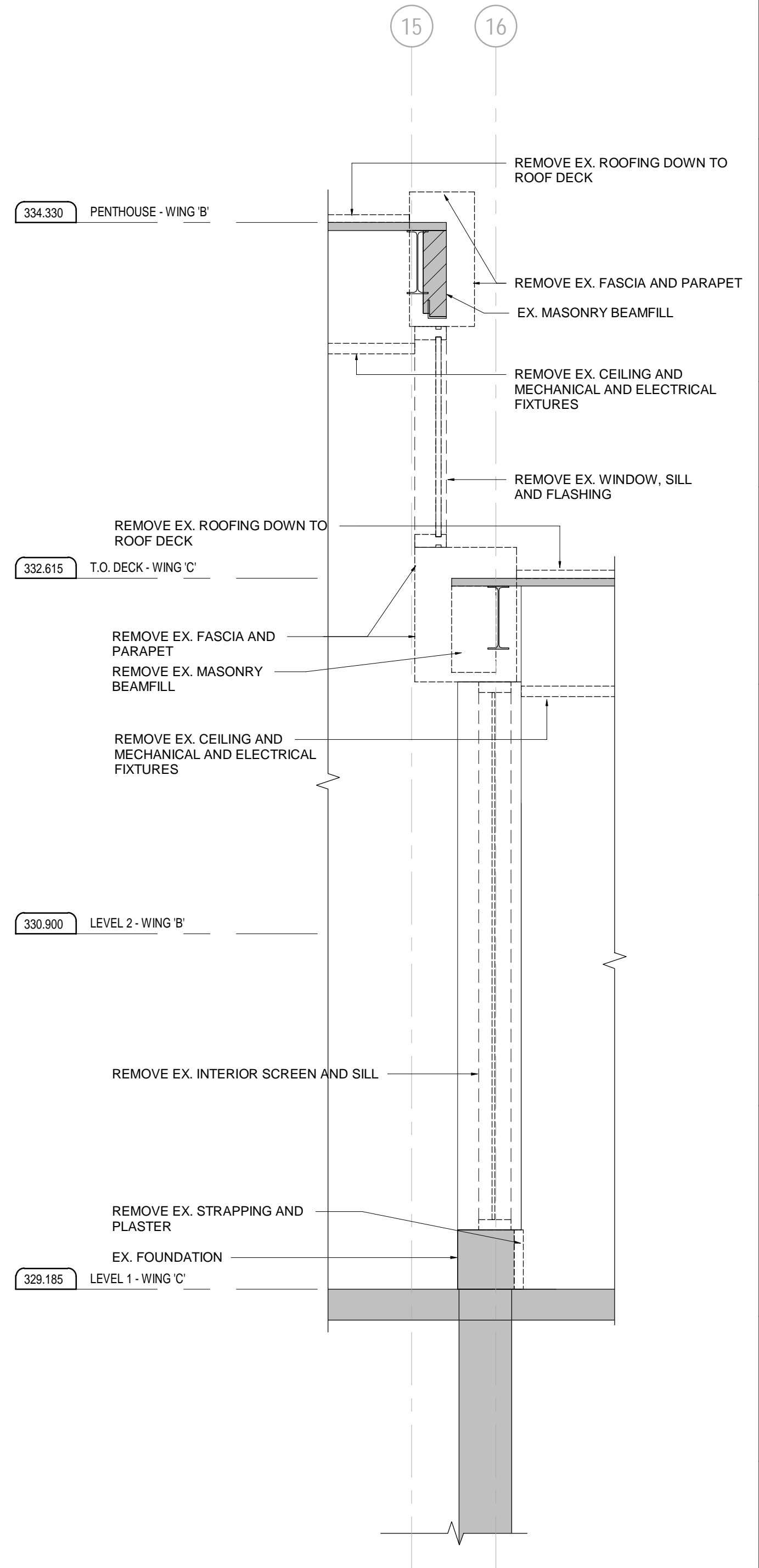
2  
A34  
EXISTING WALL SECTION  
SCALE : 1 : 20



3  
A34  
EXISTING WALL SECTION  
SCALE : 1 : 20



4  
A34  
EXISTING WALL SECTION  
SCALE : 1 : 20



5  
A34  
EXISTING WALL SECTION  
SCALE : 1 : 20

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Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL EXISTING WALL SECTIONS**

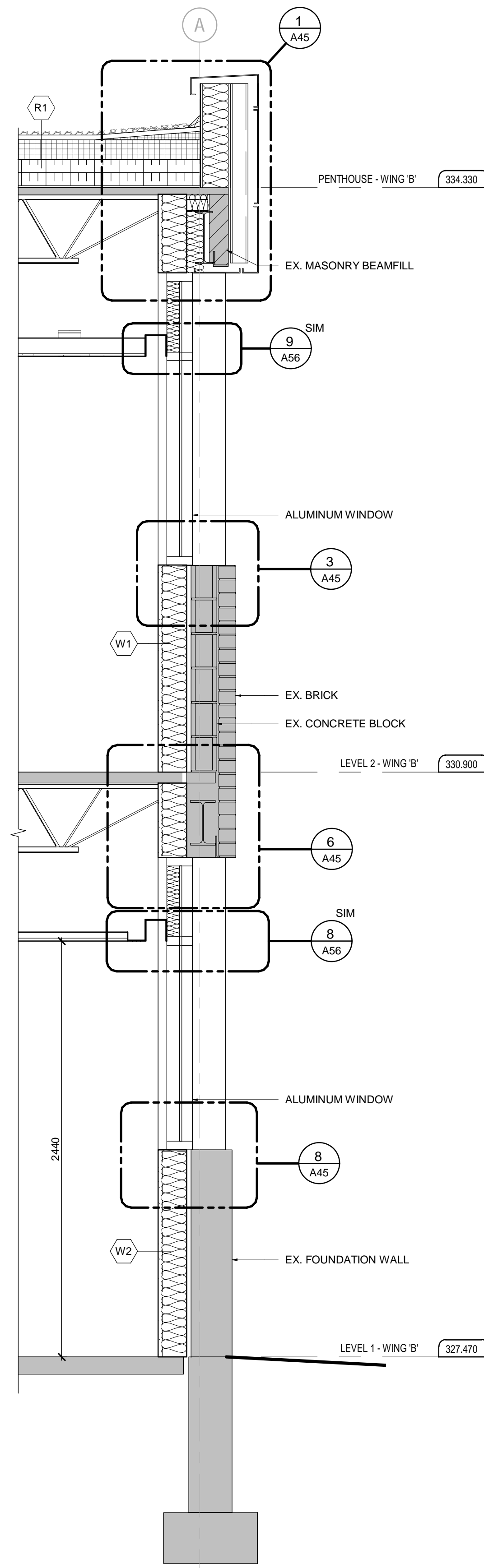
Project No.  
**504034**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A34</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

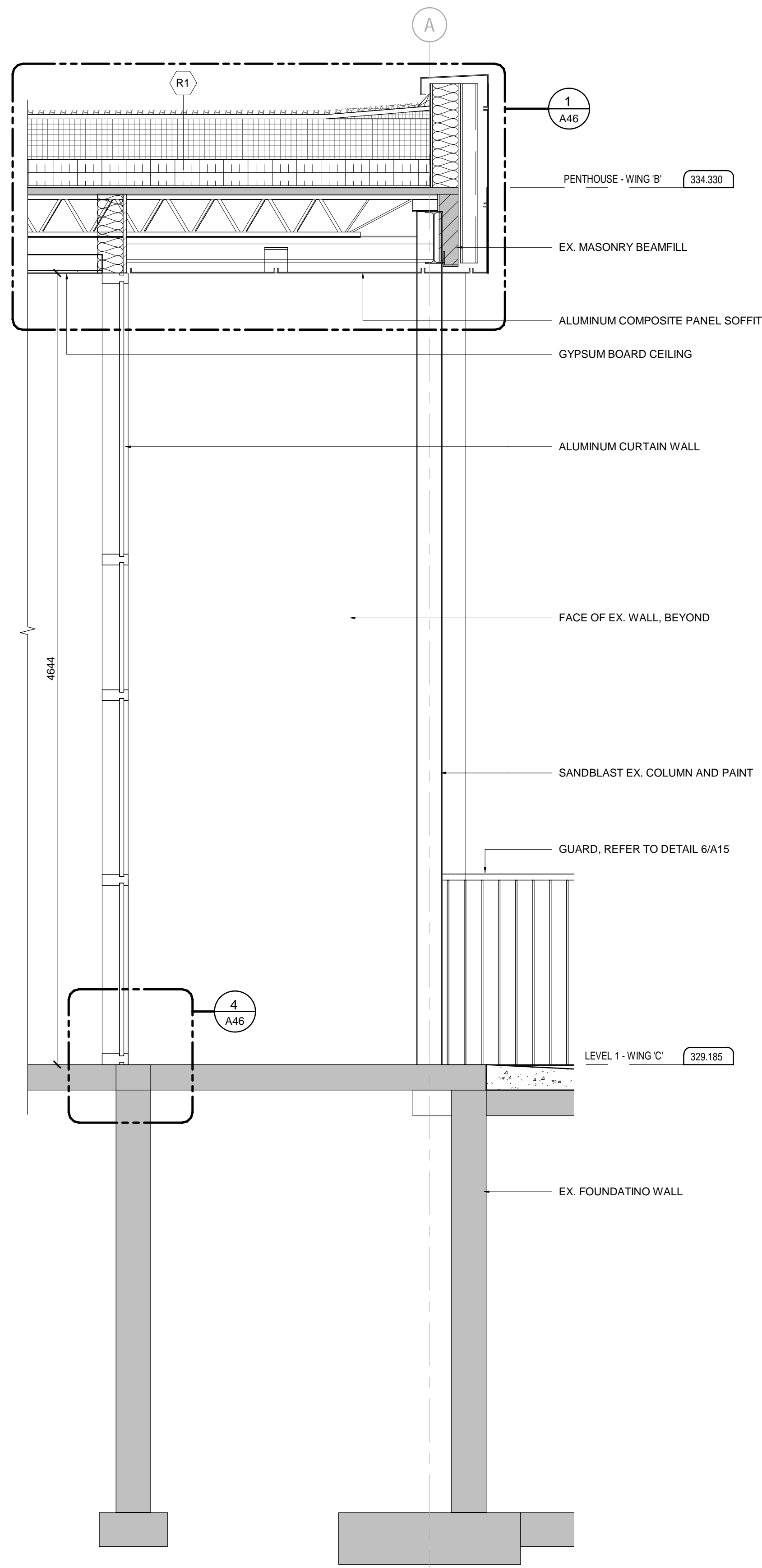
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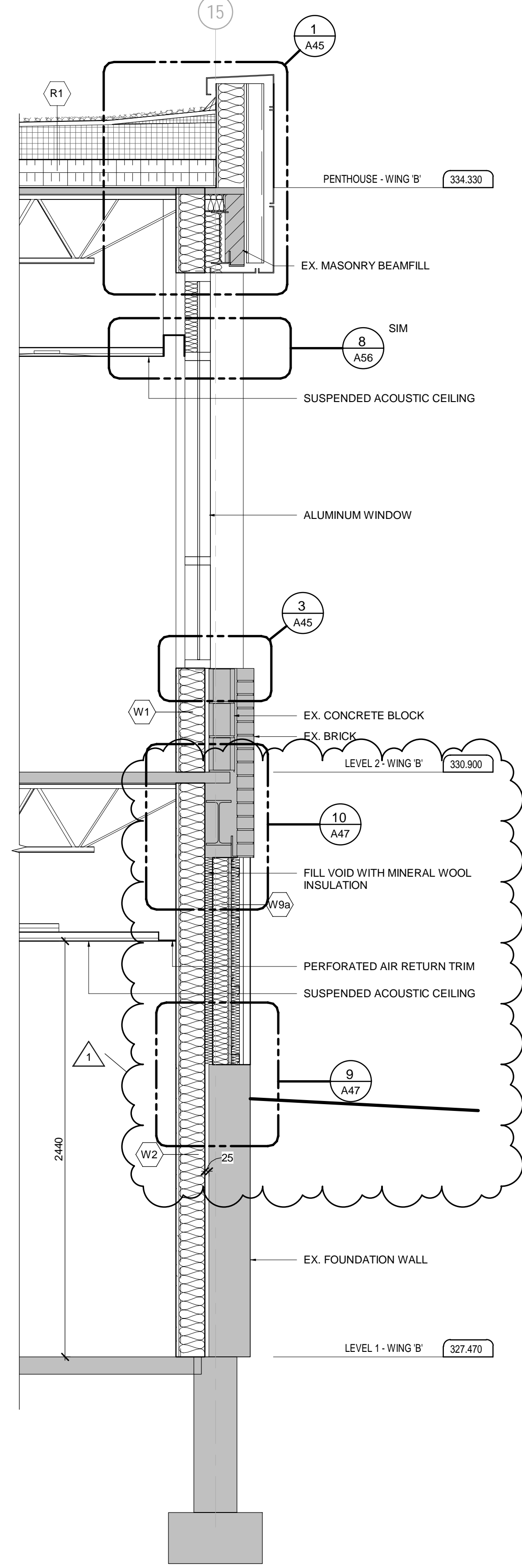
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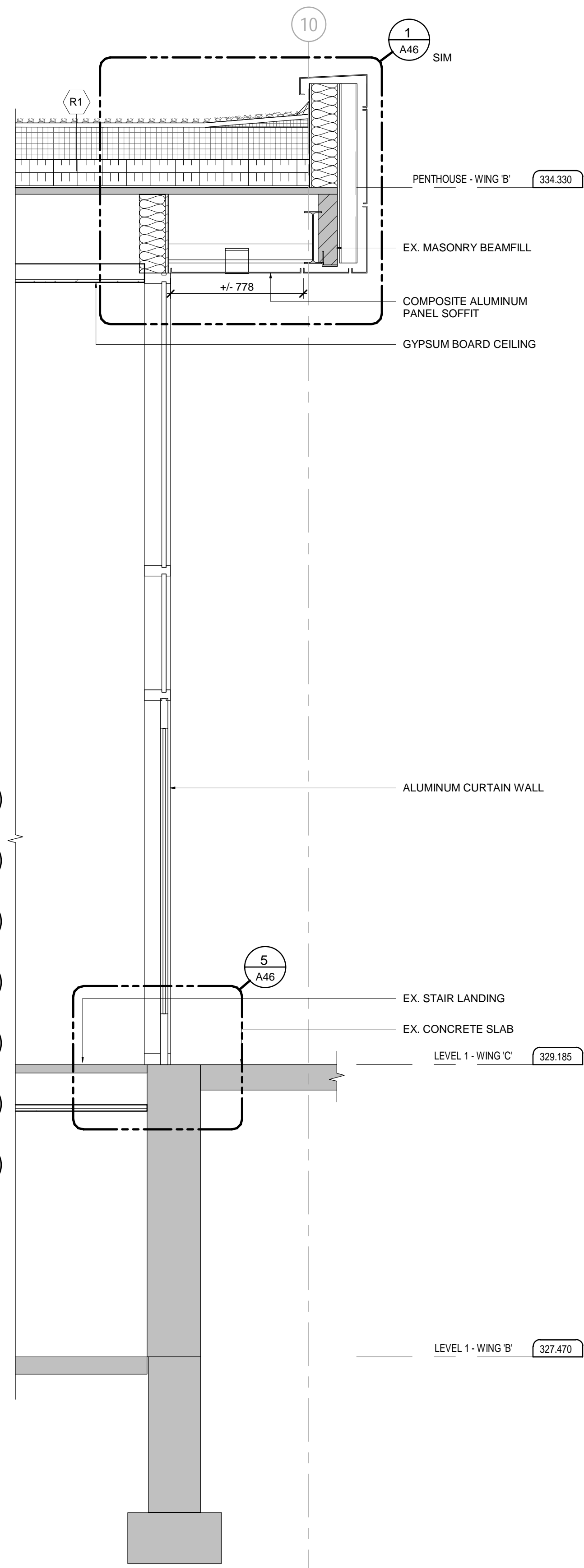
1 ALTERED WALL SECTION  
SCALE: 1:20



2 ALTERED WALL SECTION  
SCALE: 1:20



3 ALTERED WALL SECTION  
SCALE: 1:20



4 ALTERED WALL SECTION  
SCALE: 1:20

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Orientation	
Seal	Seal

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Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
ALTERED WALL SECTIONS**

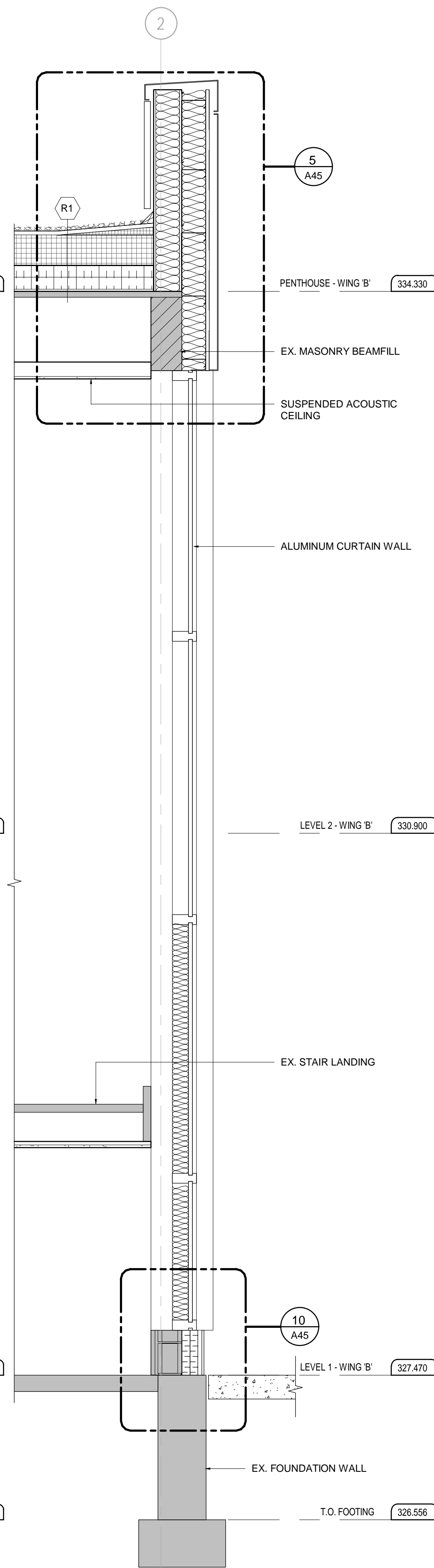
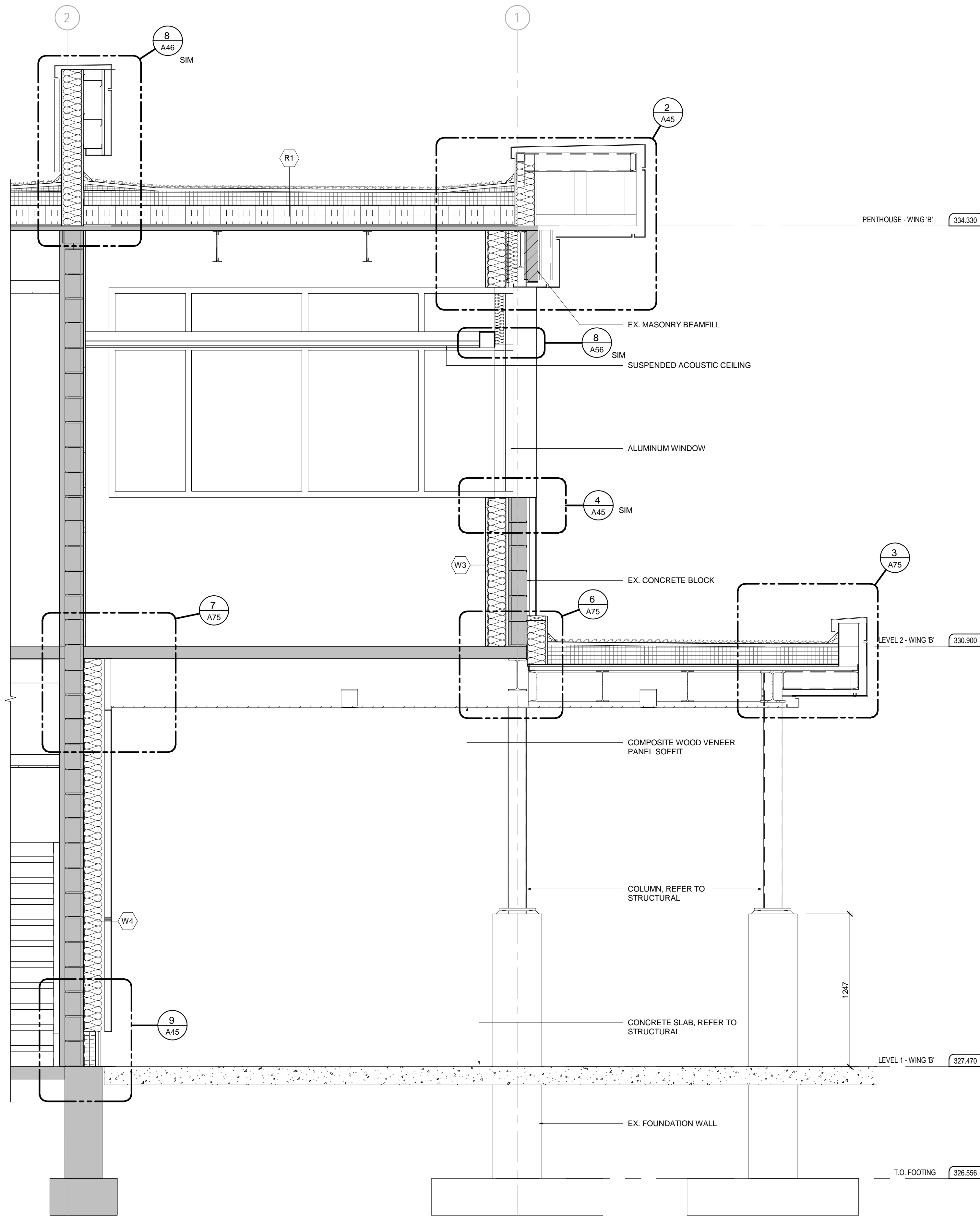
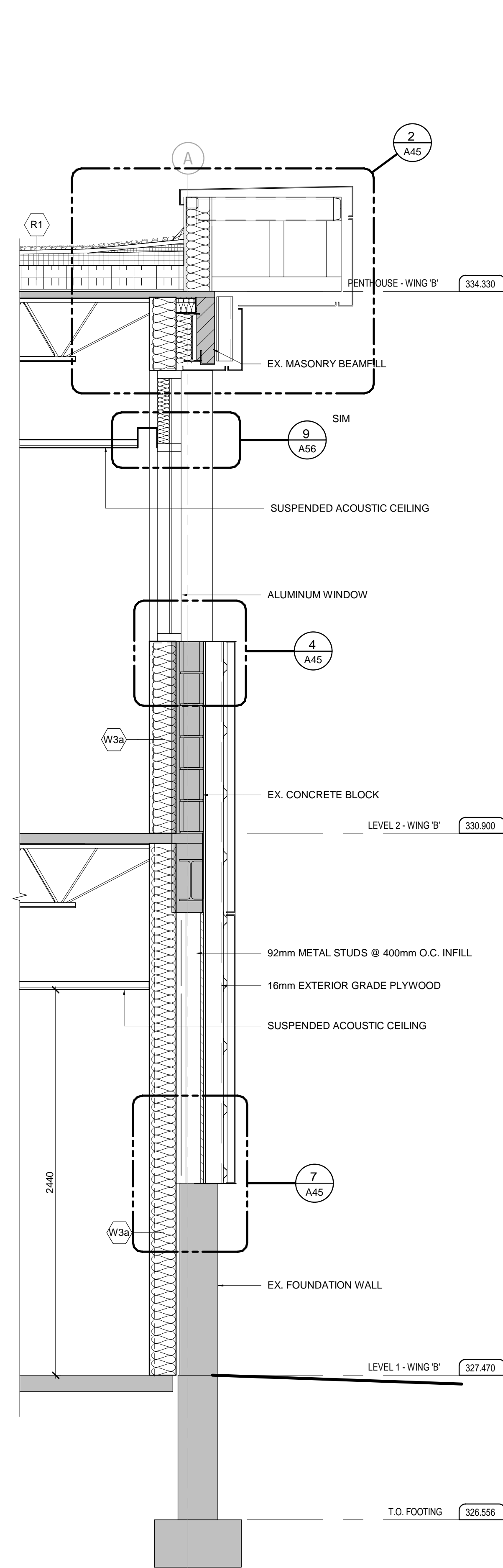
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A35</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:56:13 AM

File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.dwg



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Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
ALTERED WALL SECTIONS**

Project No.  
**504034**

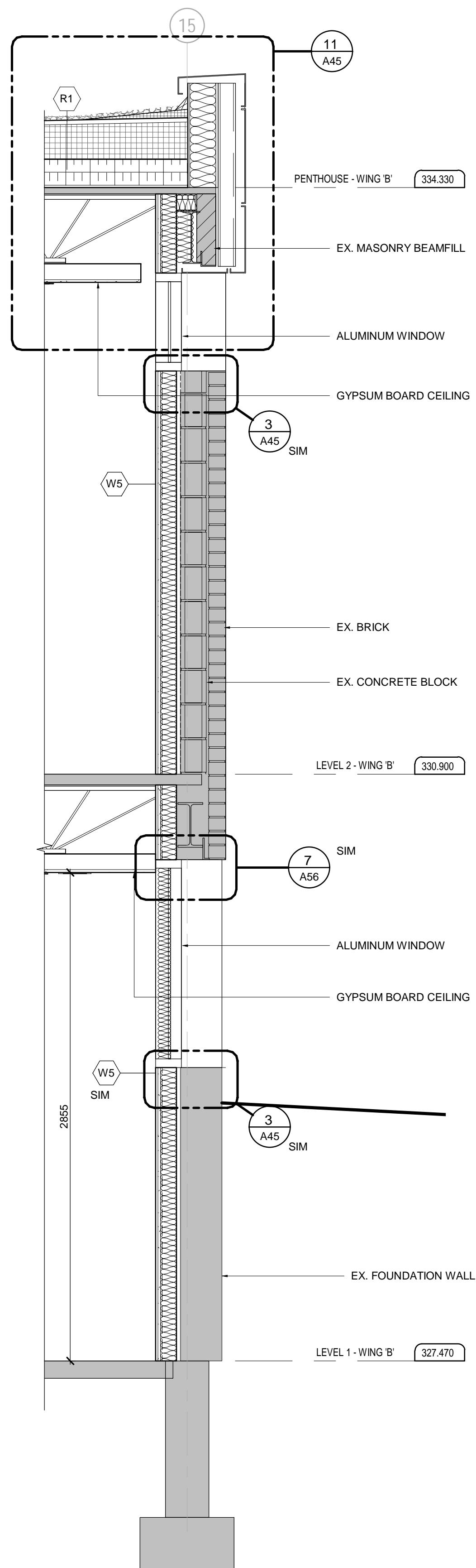
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
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Checked By TA	
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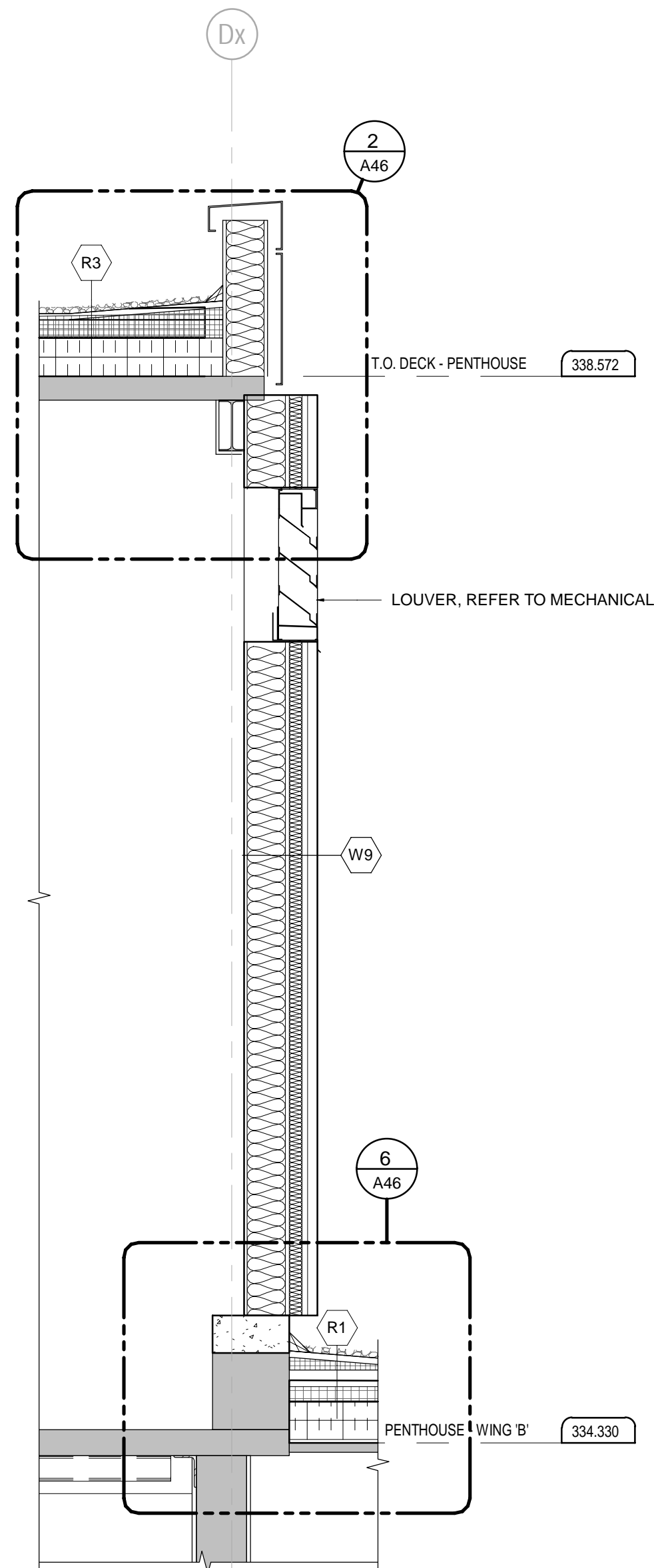
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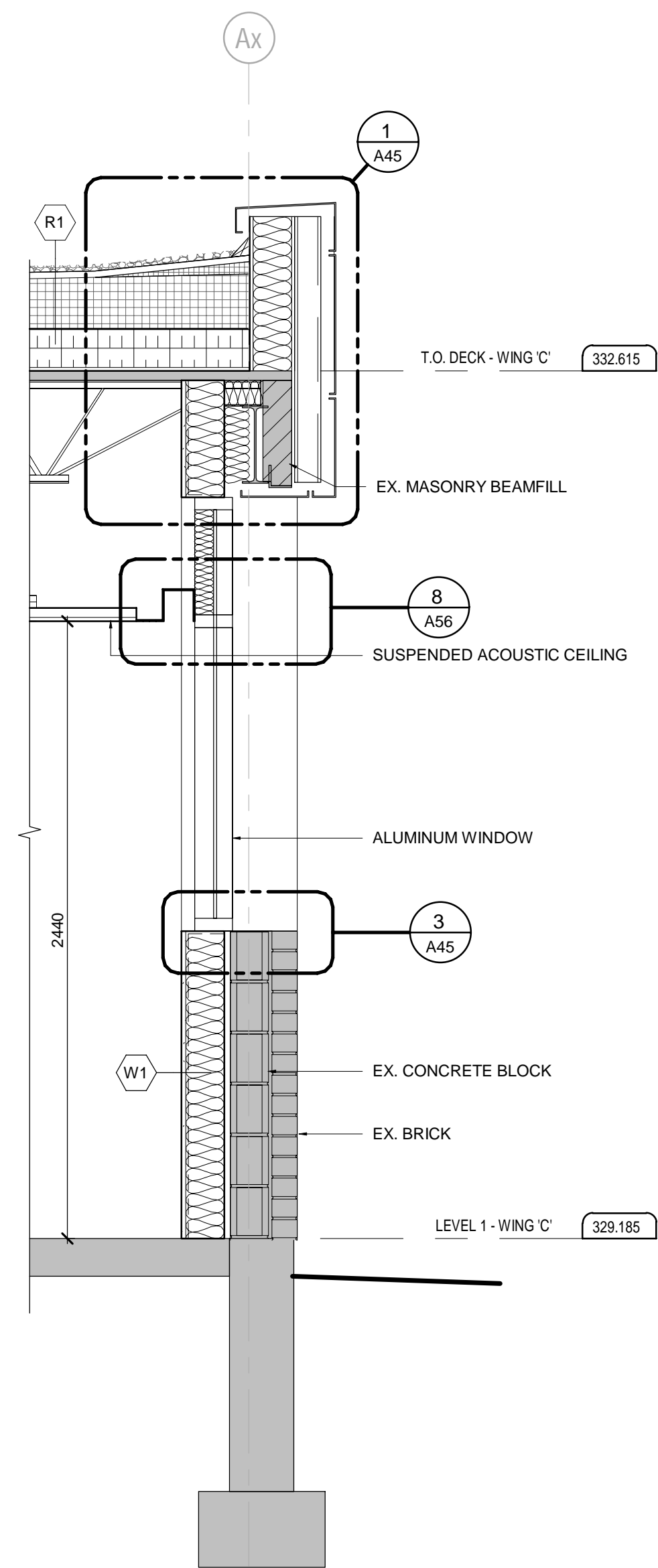
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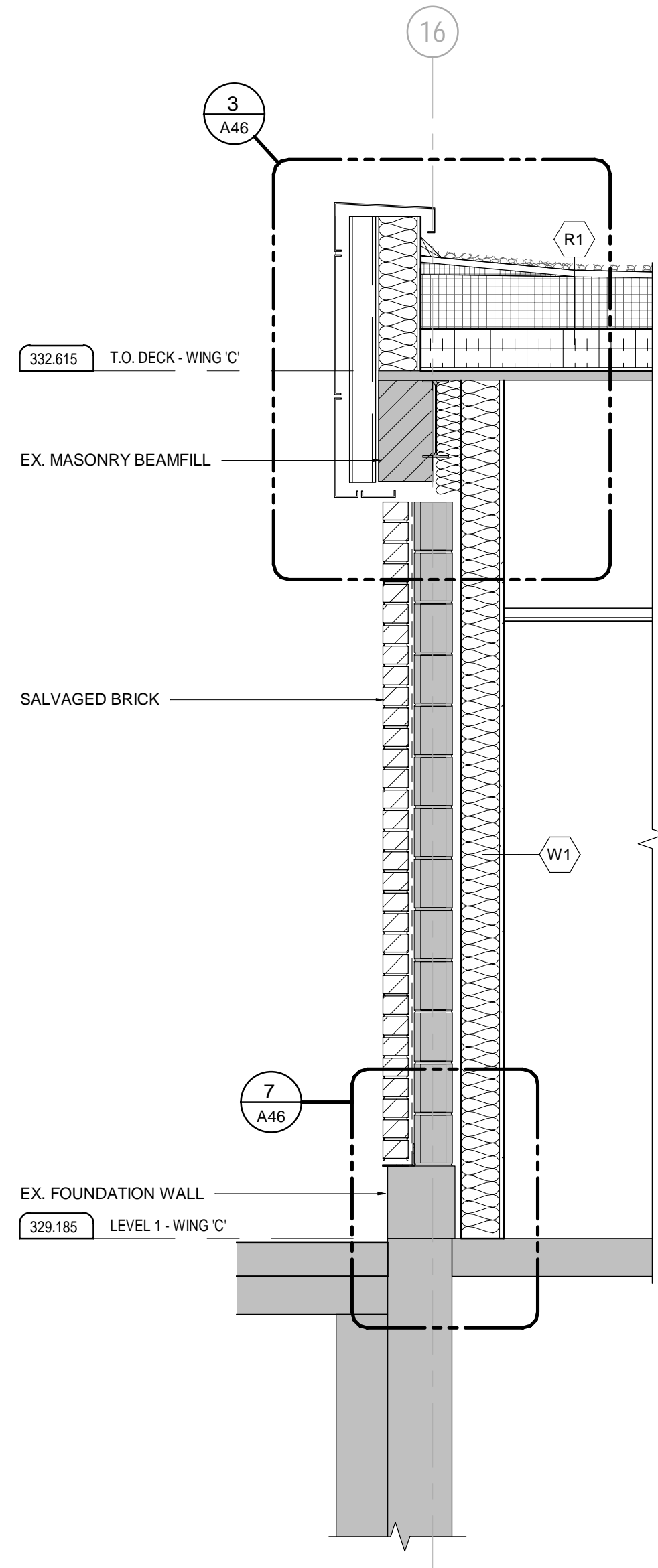
1  
A37  
ALTERED WALL SECTION  
SCALE : 1 : 20



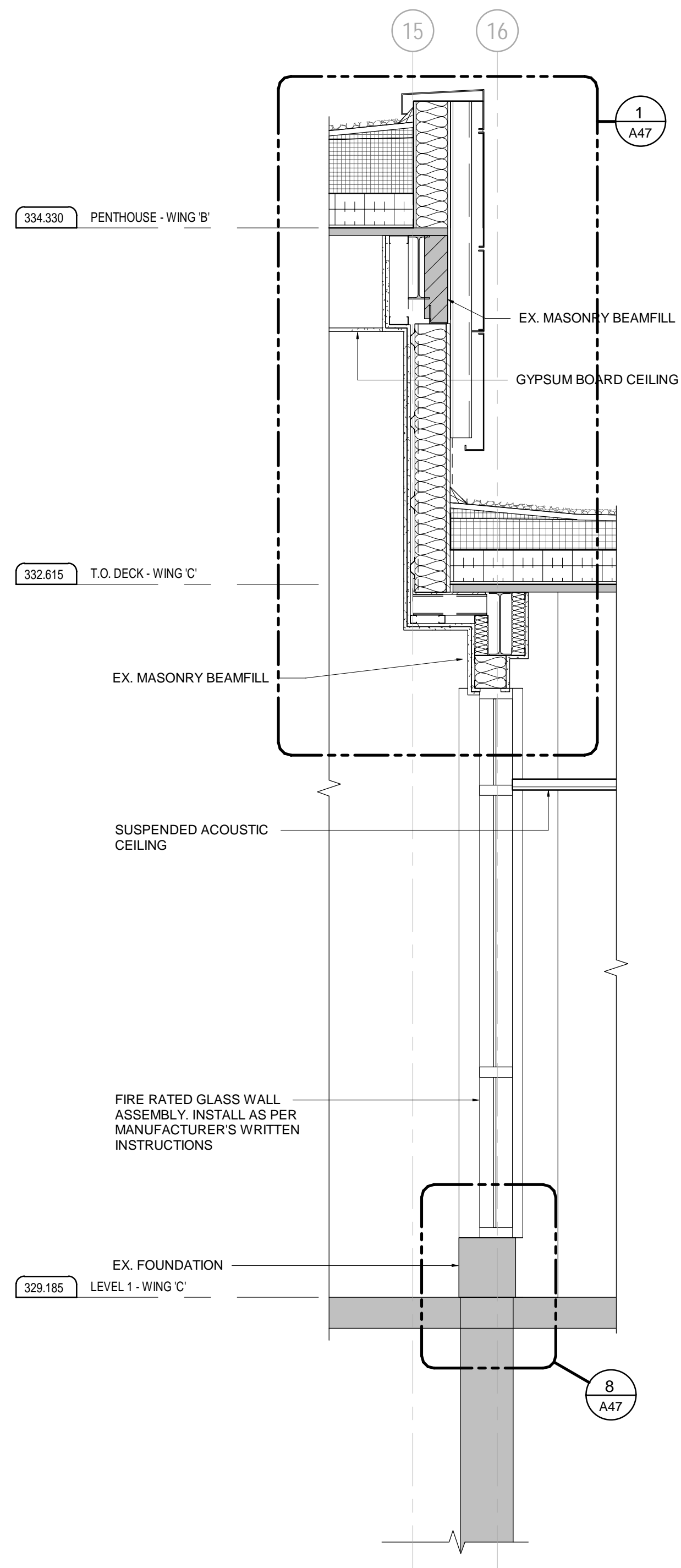
2  
A37  
ALTERED WALL SECTION  
SCALE : 1 : 20



3  
A37  
ALTERED WALL SECTION  
SCALE : 1 : 20



4  
A37  
ALTERED WALL SECTION  
SCALE : 1 : 20



5  
A37  
ALTERED WALL SECTION  
SCALE : 1 : 20

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Orientation

Seal

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Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
ALTERED WALL SECTIONS**

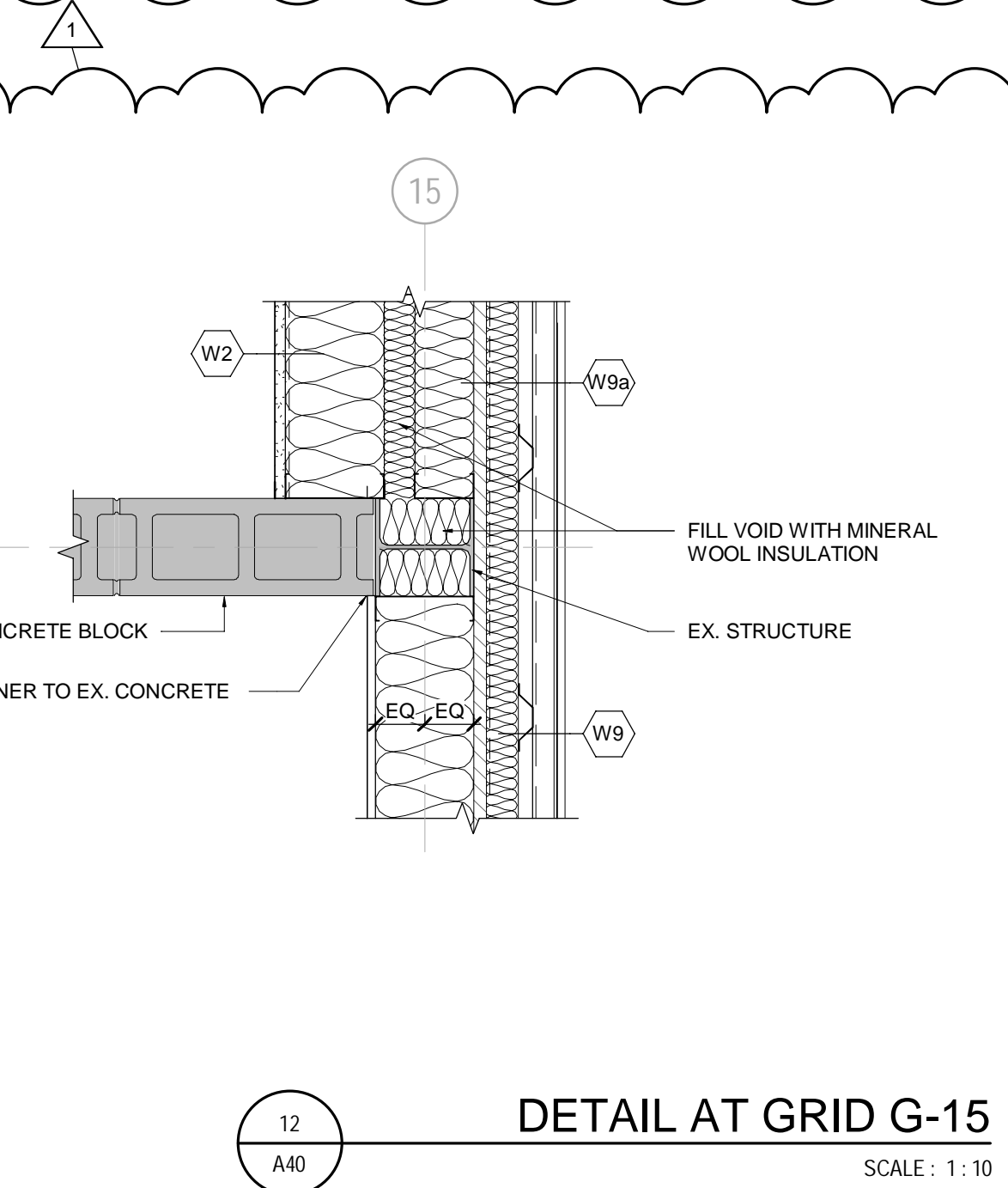
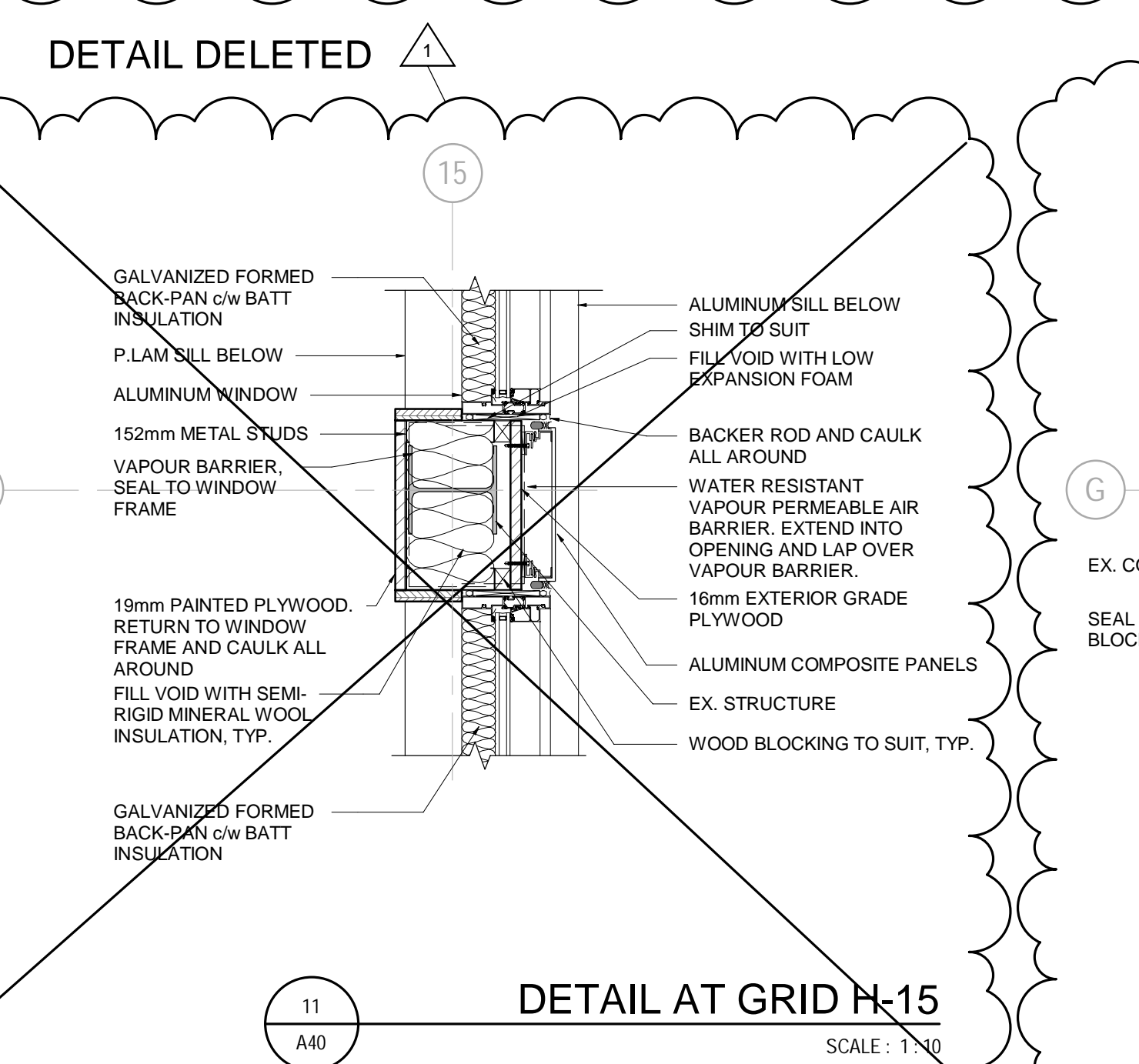
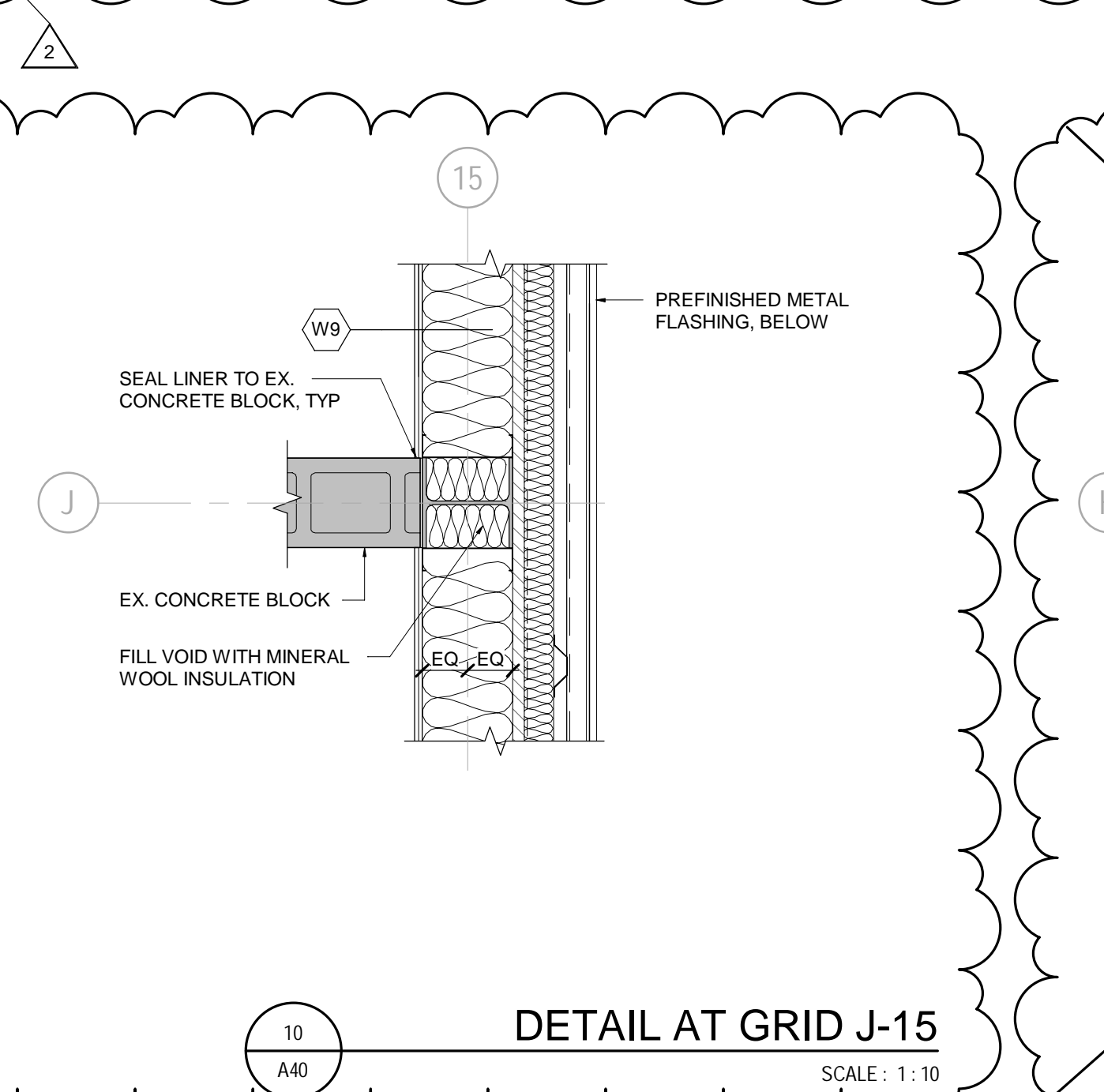
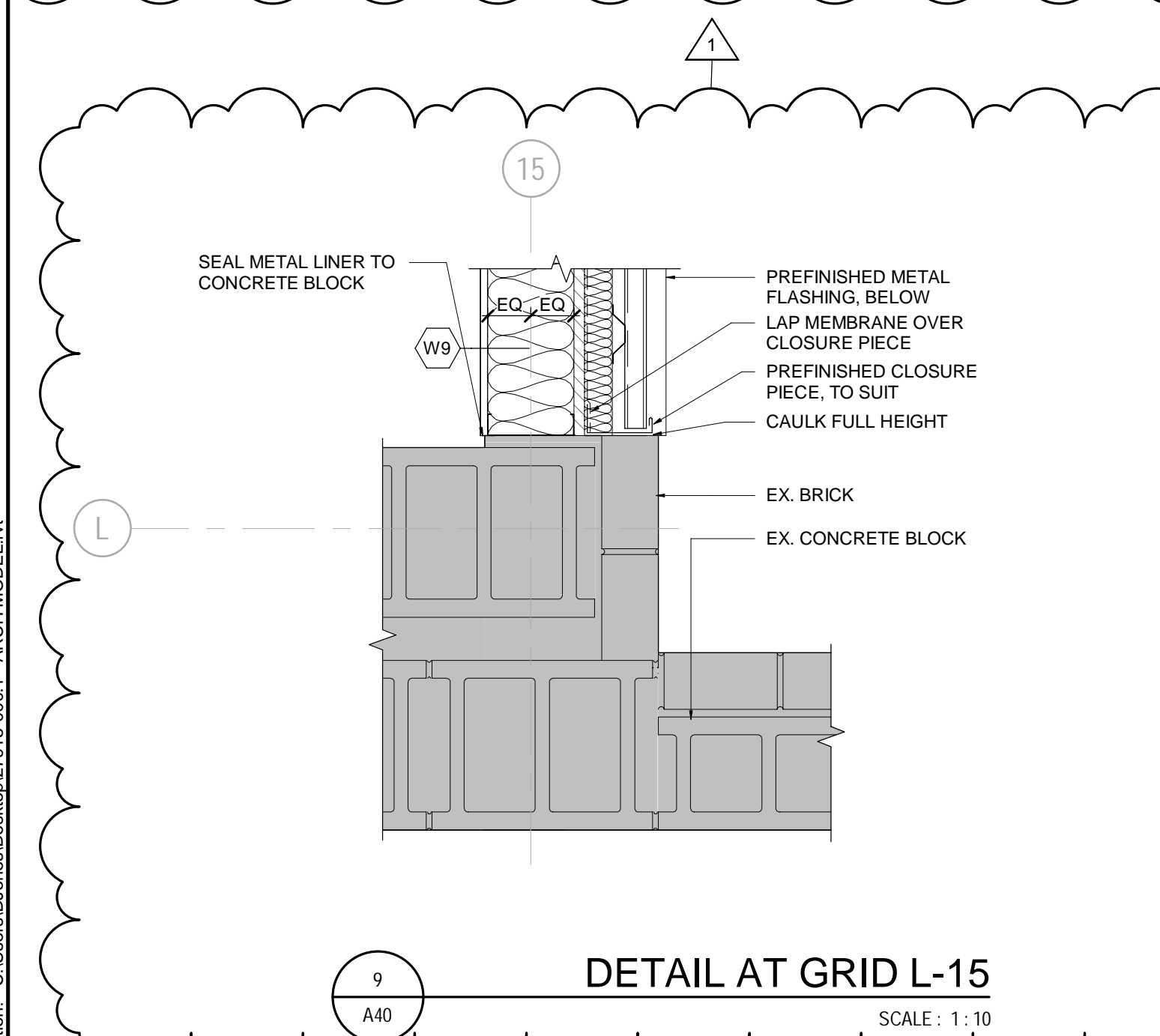
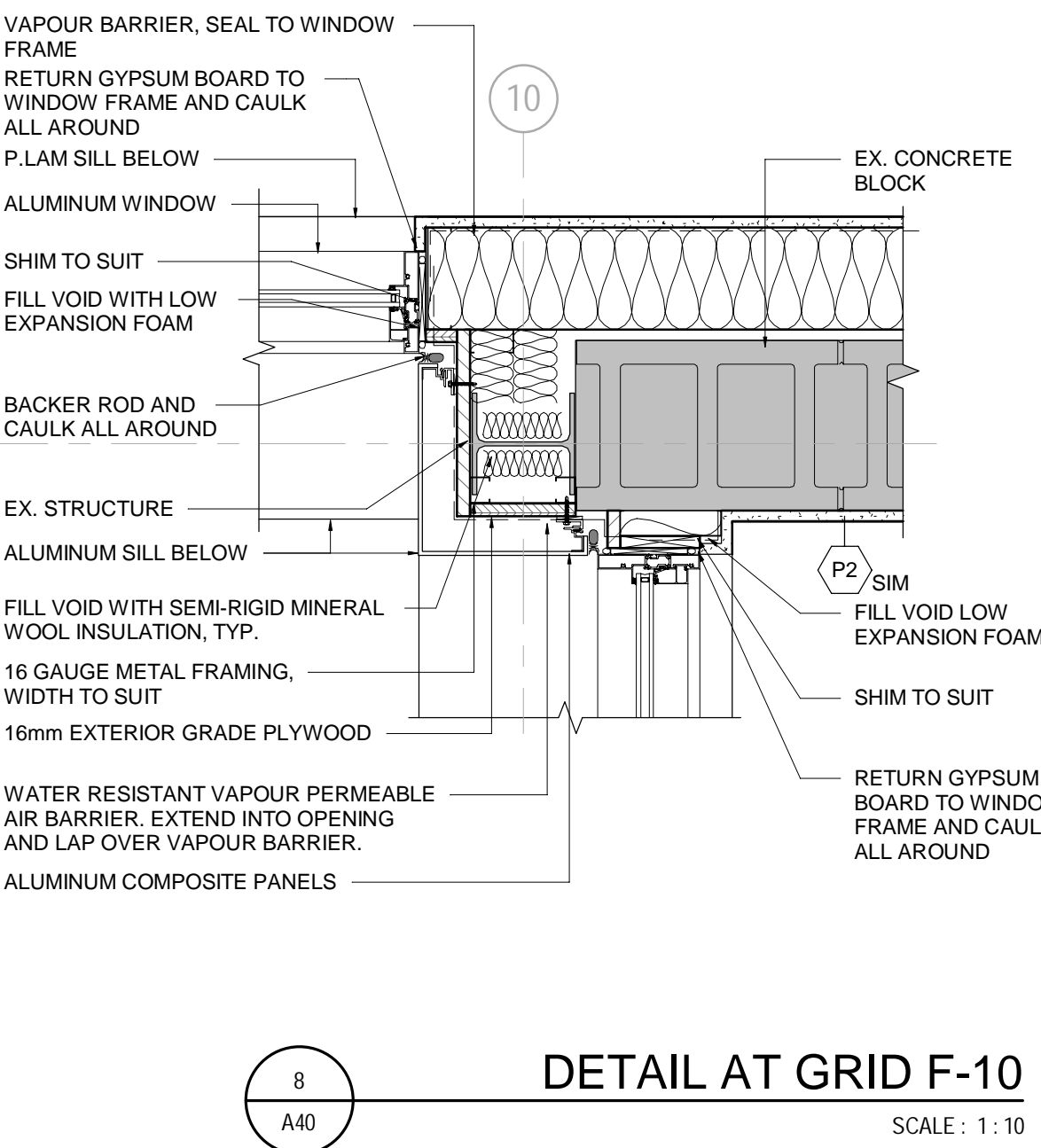
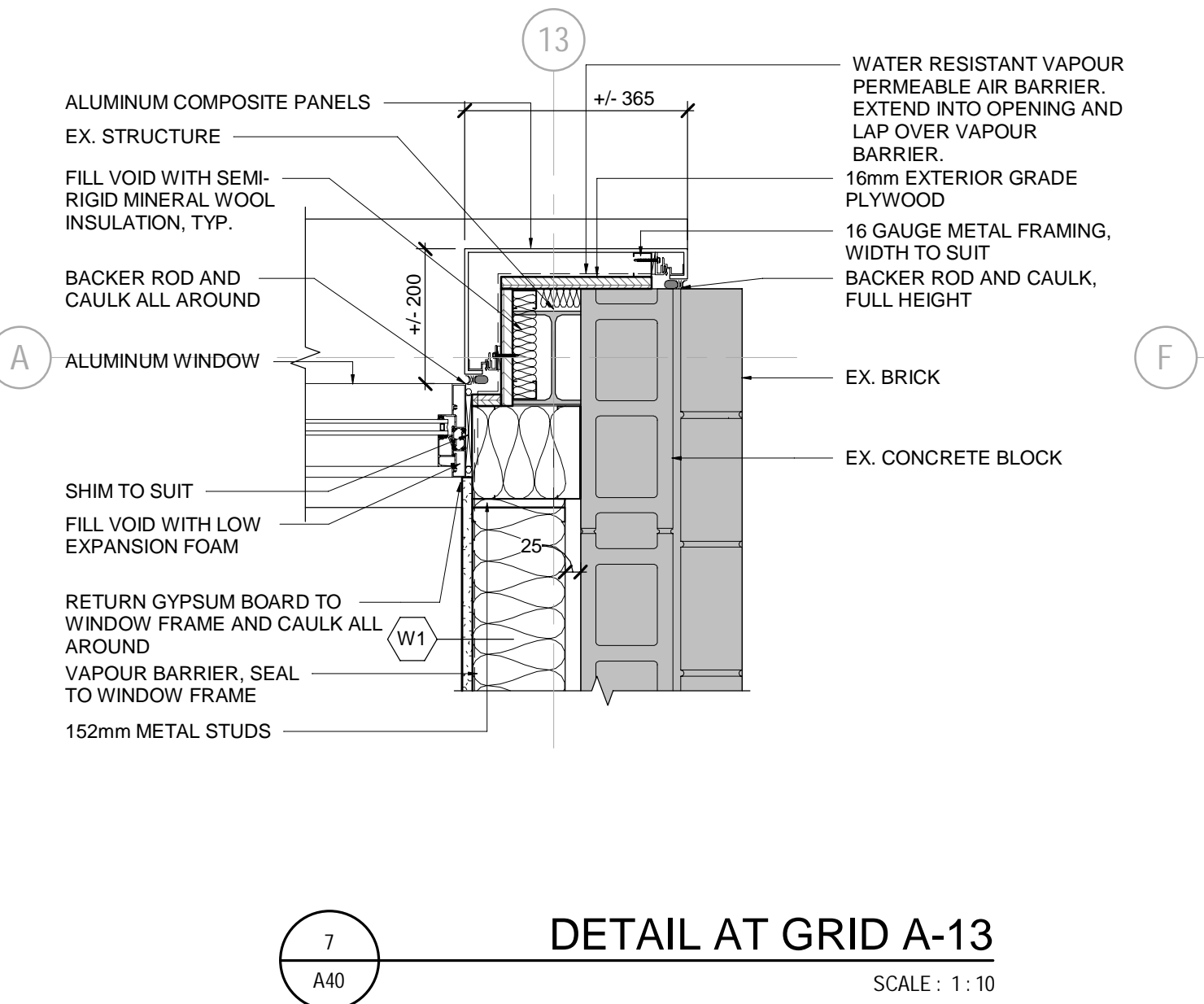
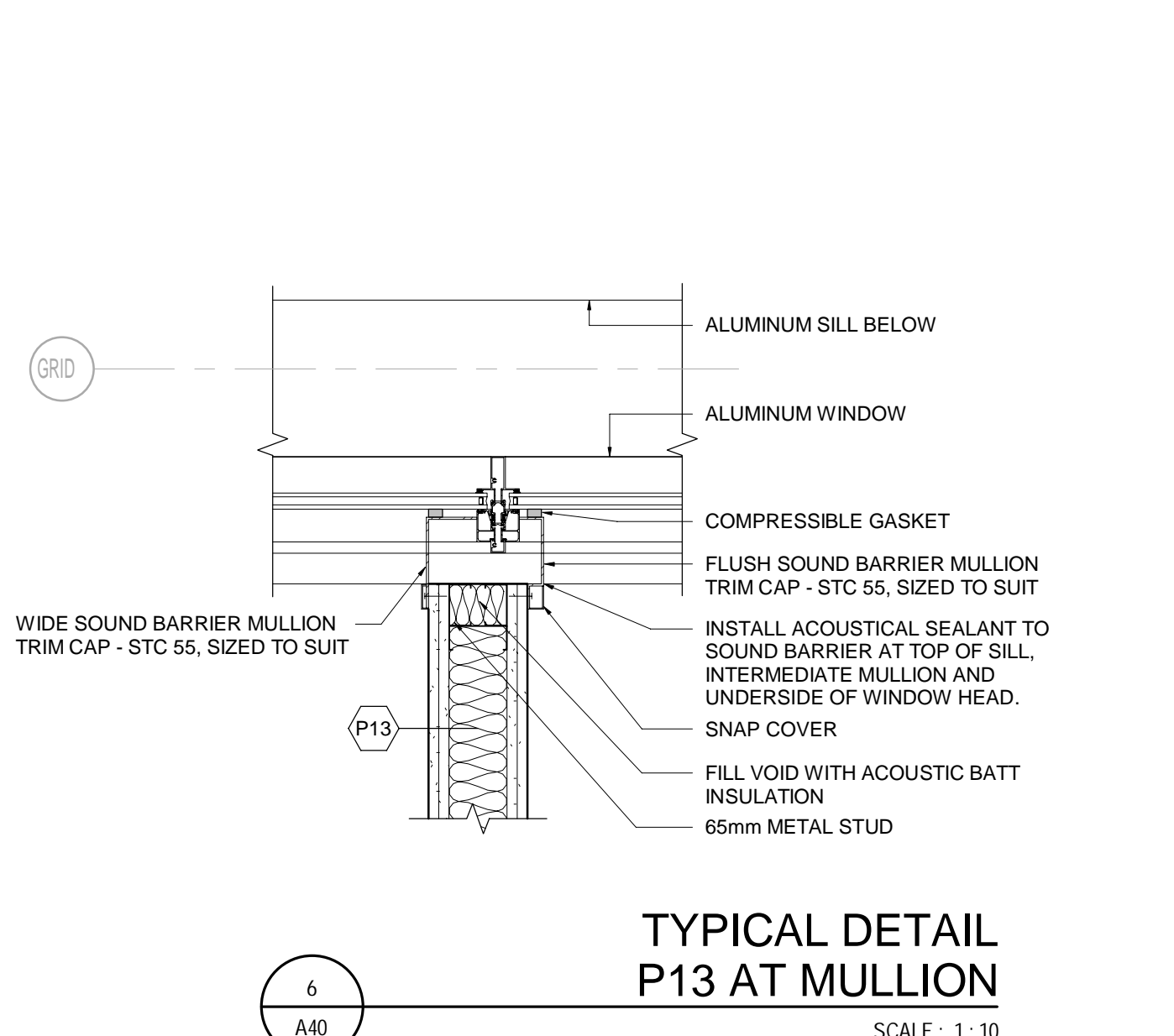
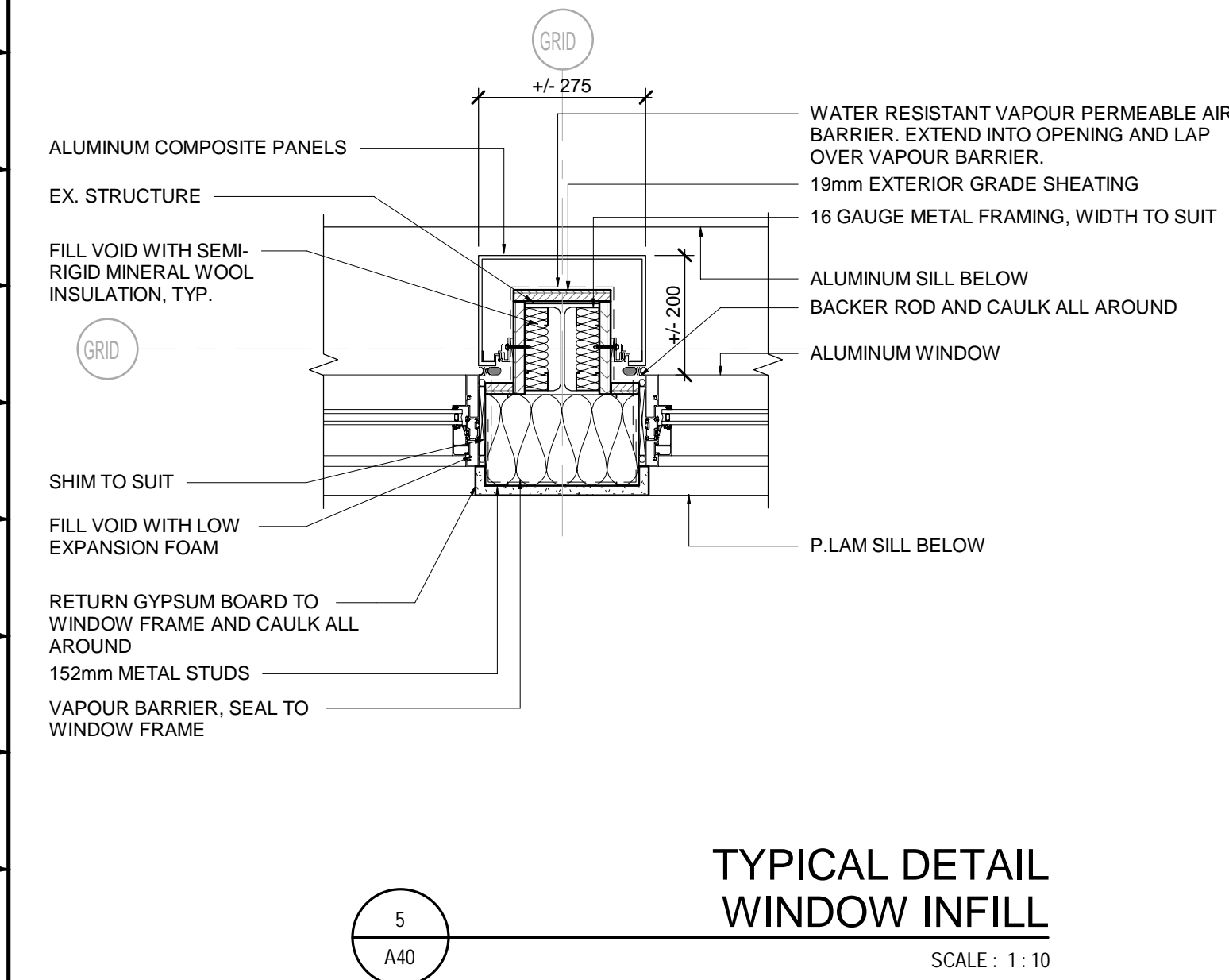
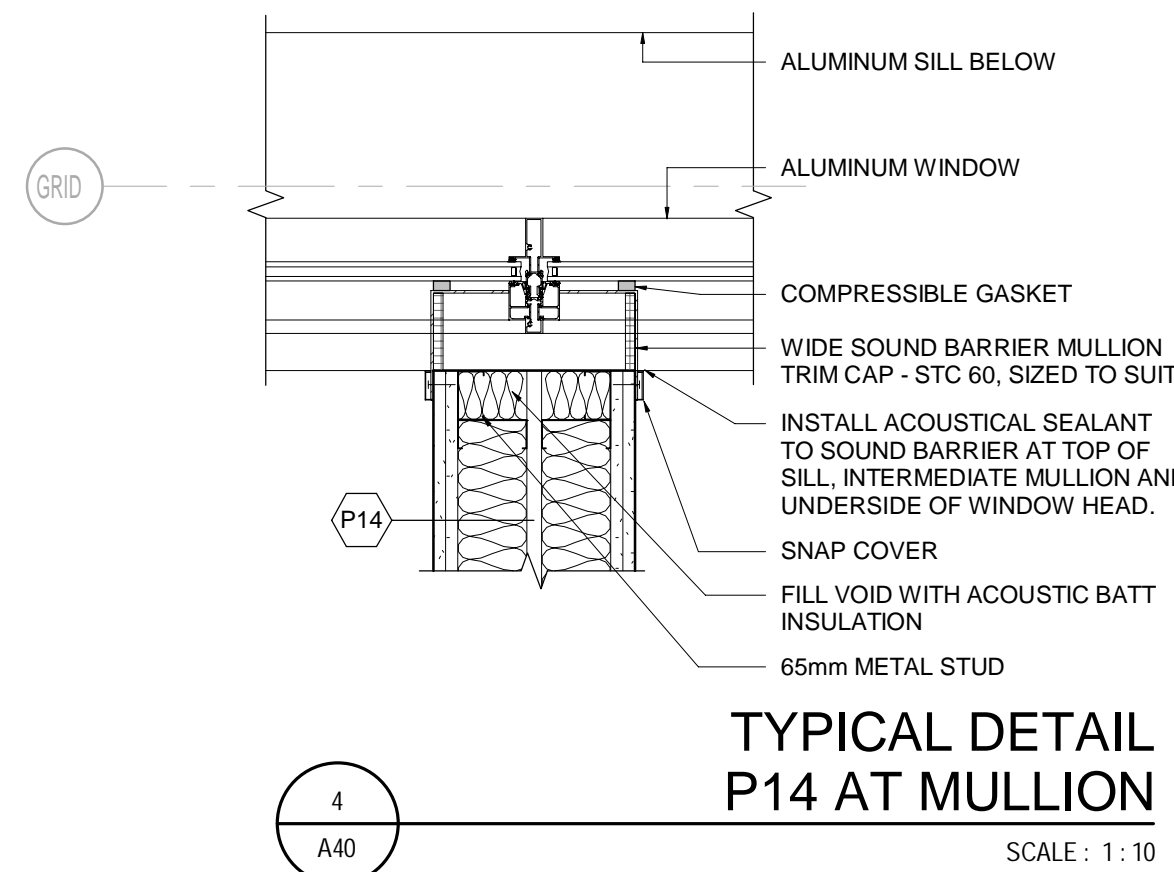
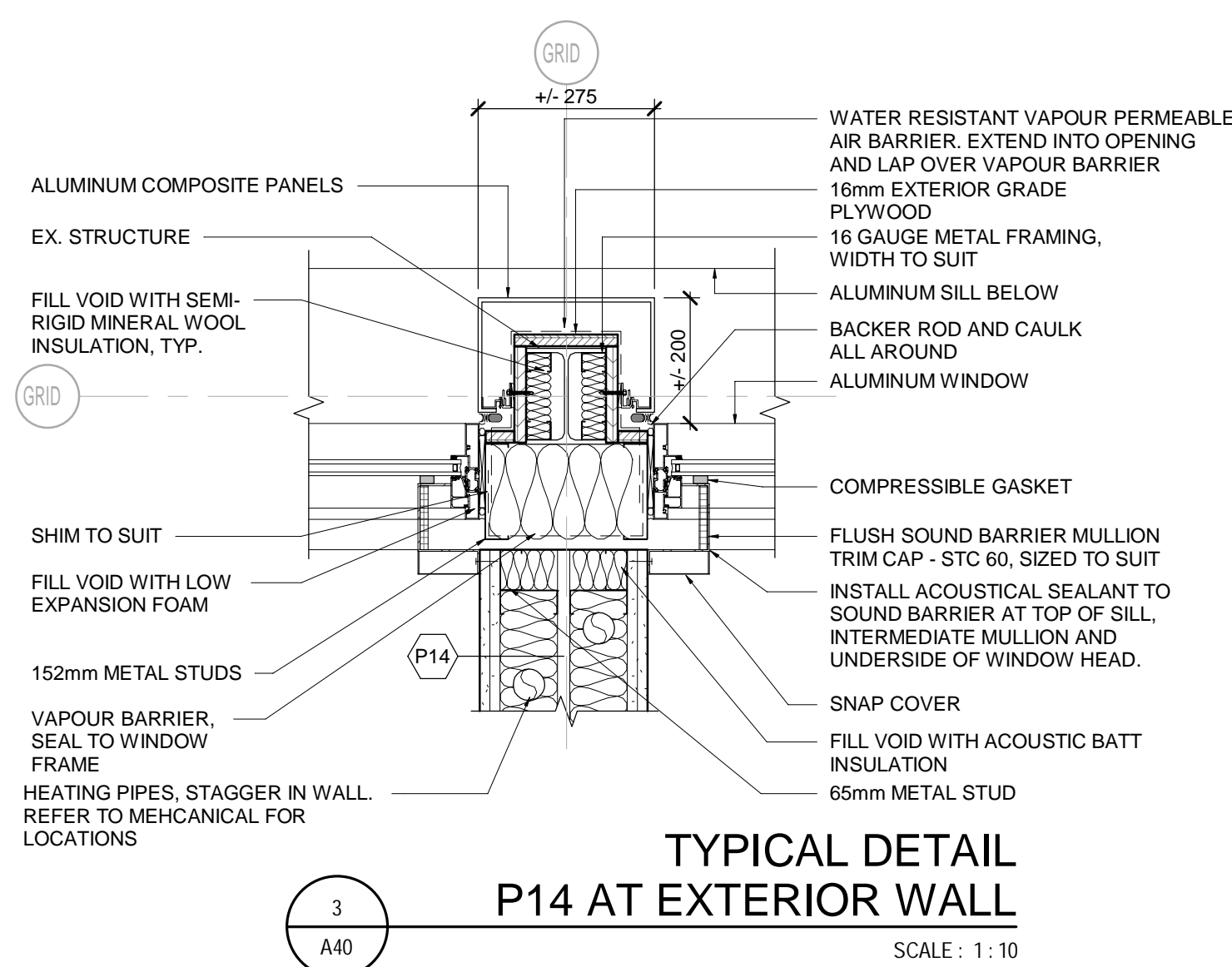
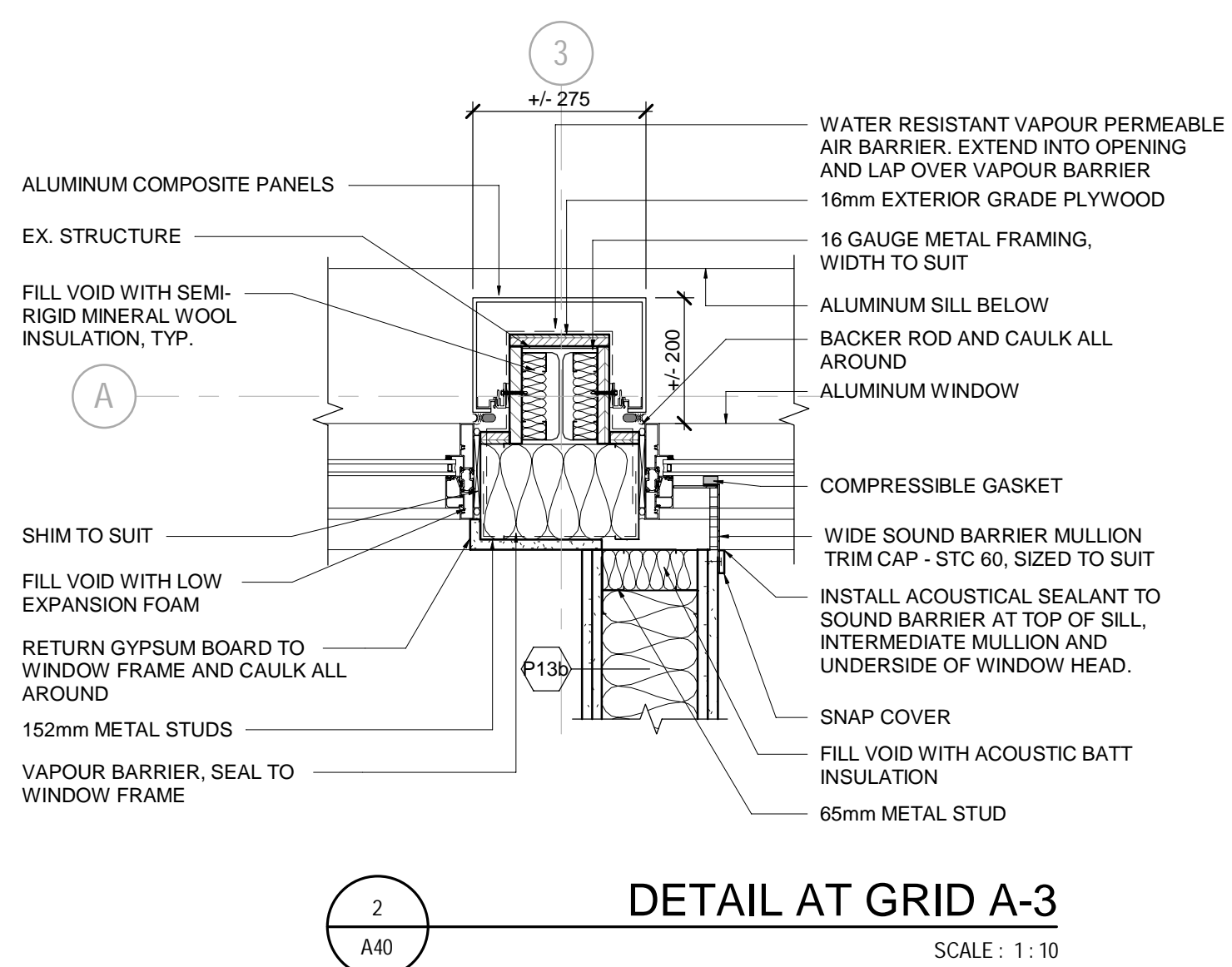
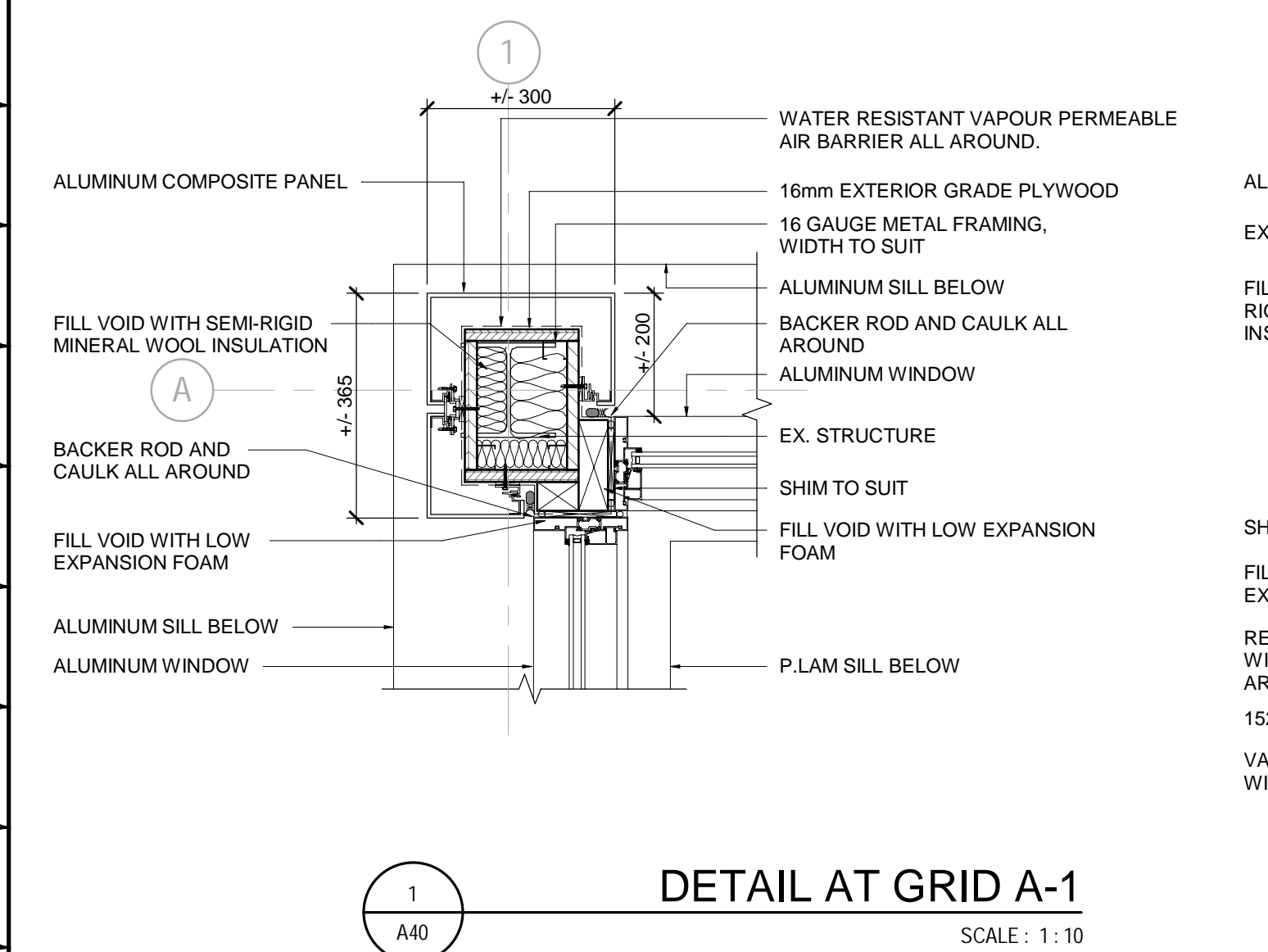
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A37</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:56:21 AM

File Location: C:\Users\DJones\Desktop\27915-000-1 - ARCH MODEL.rvt



#### NOTES:

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A = Detail number  
B = Drawing number where detailed

NO.	ISSUED FOR	TA	DATE
2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
1	POST-TENDER ADDENDUM NO.1	TA	FEB 26, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL PLAN DETAILS**

Project No.  
**504034**

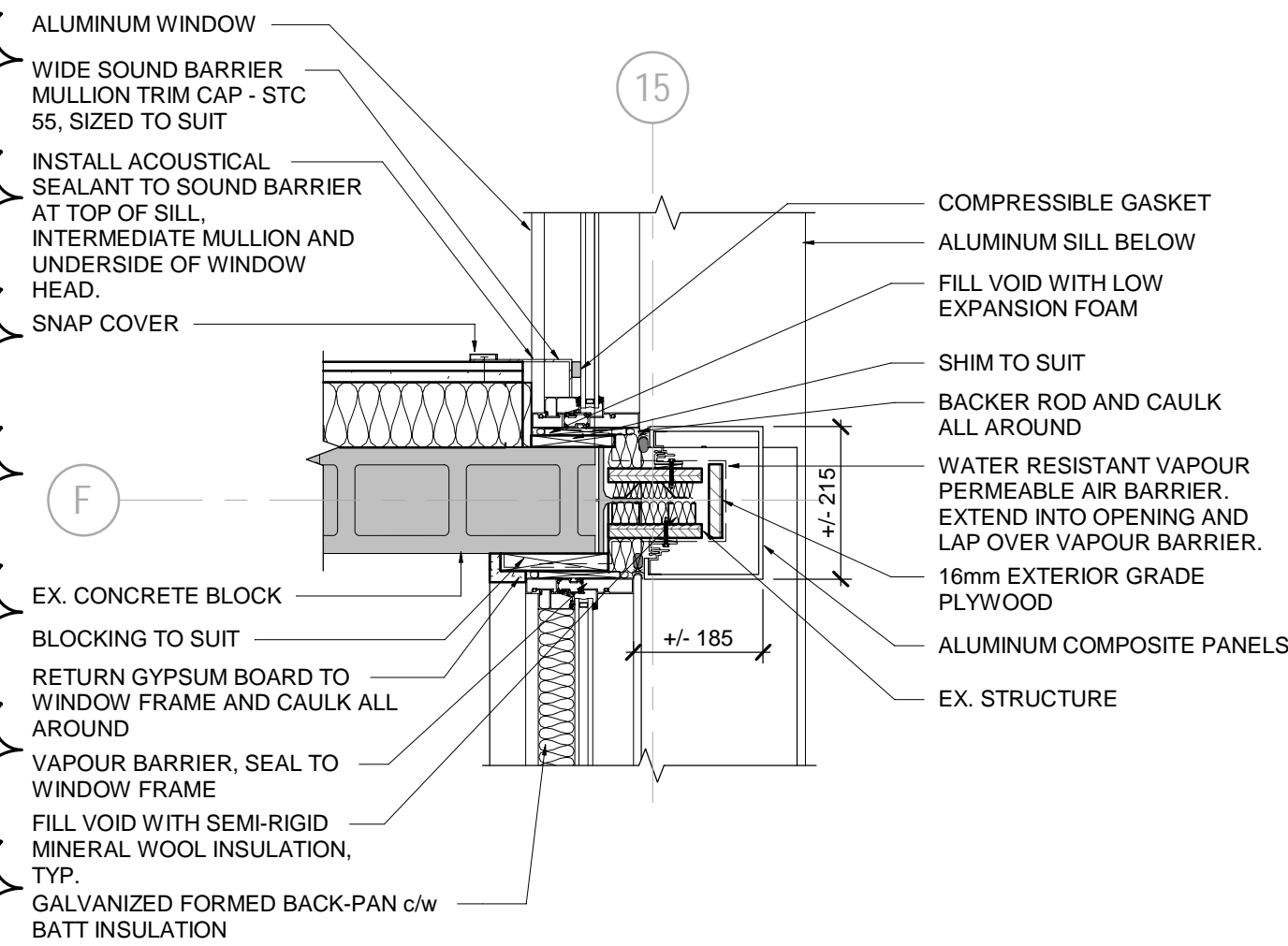
Location  
**UNIVERSITY OF GUELPH BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A40</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:56:28 AM

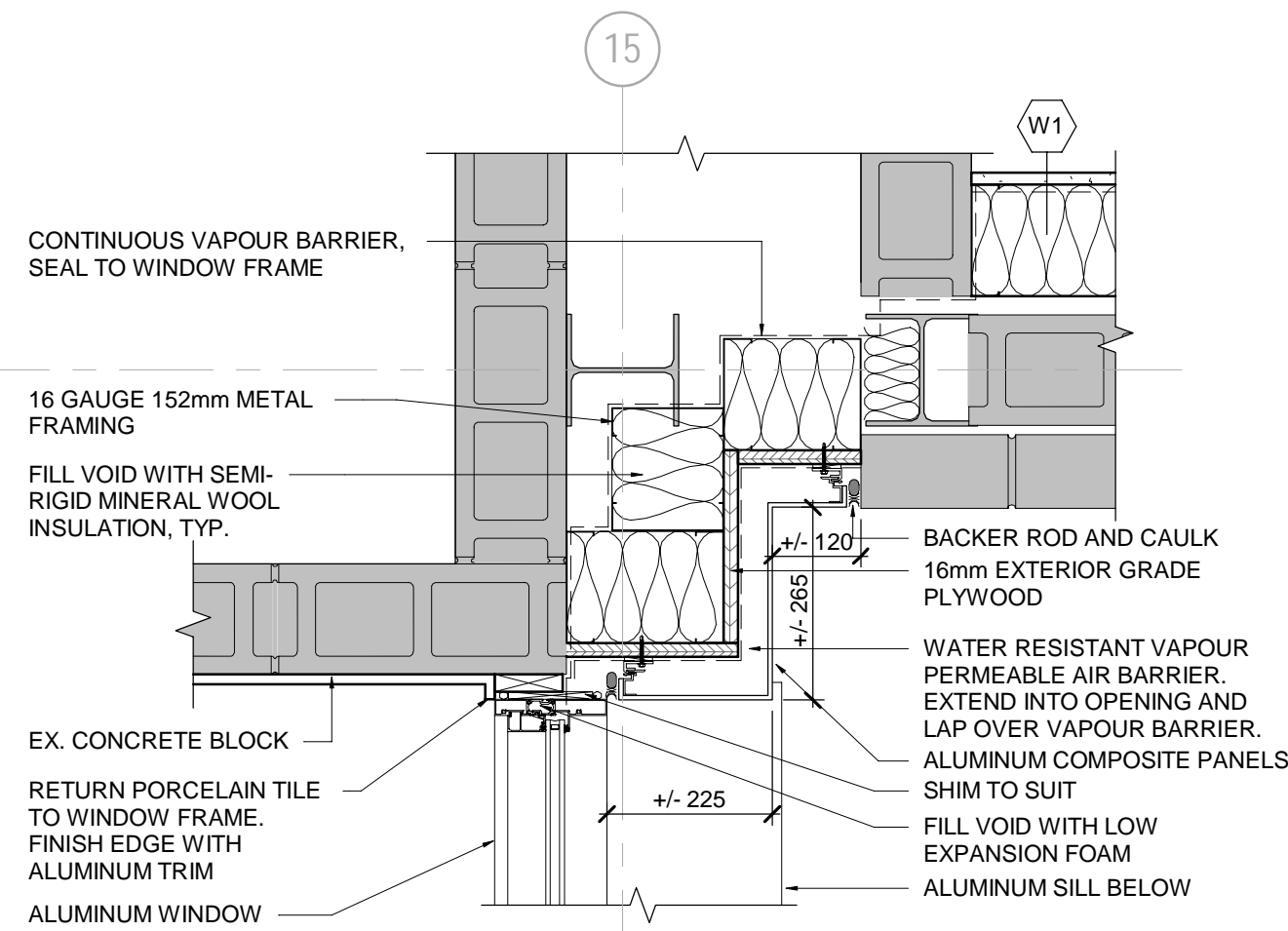


File Location: C:\Users\DJones\Documents\27915\001 - ARCH MODEL



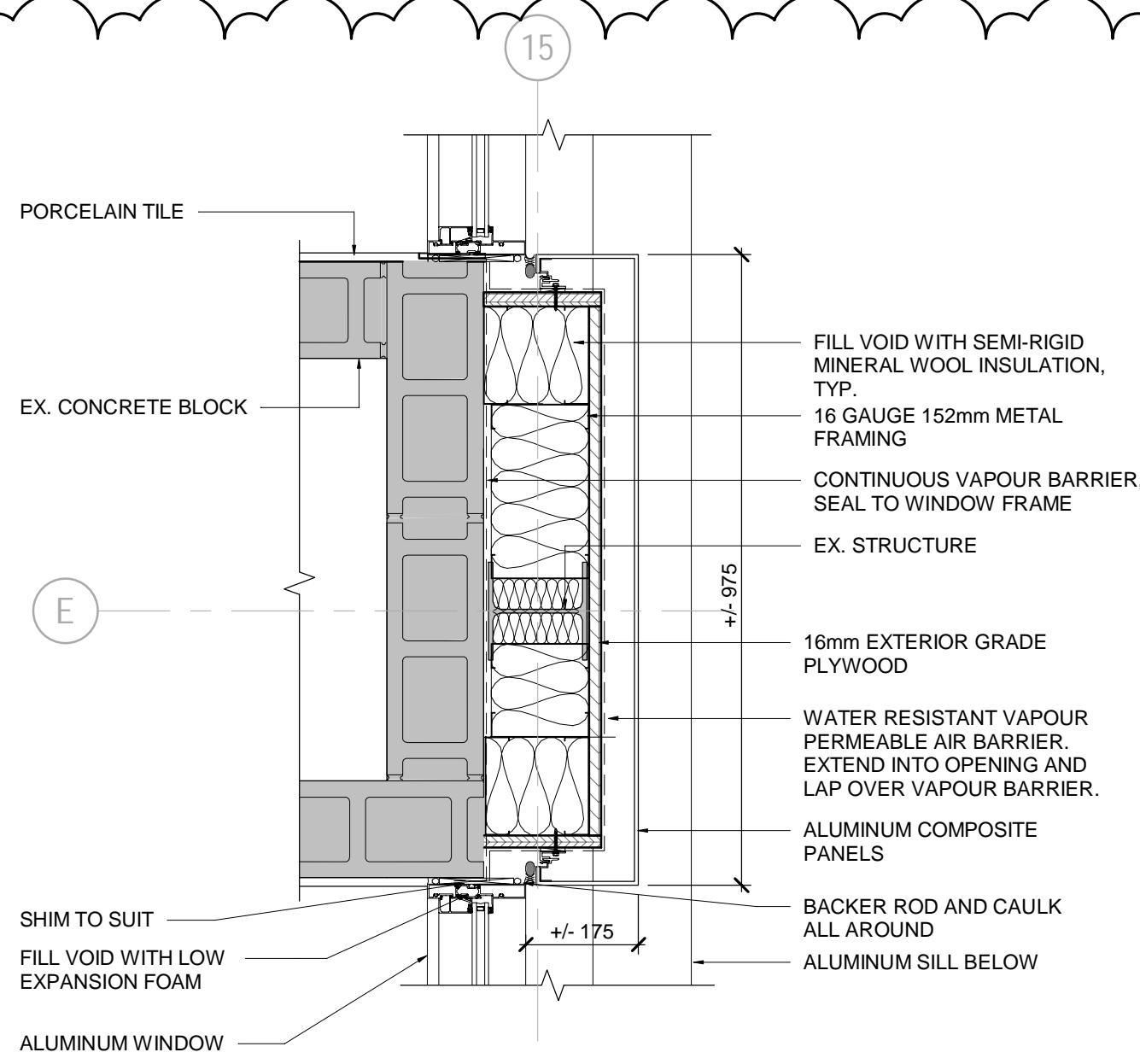
DETAIL AT GRID F-15

SCALE: 1:10



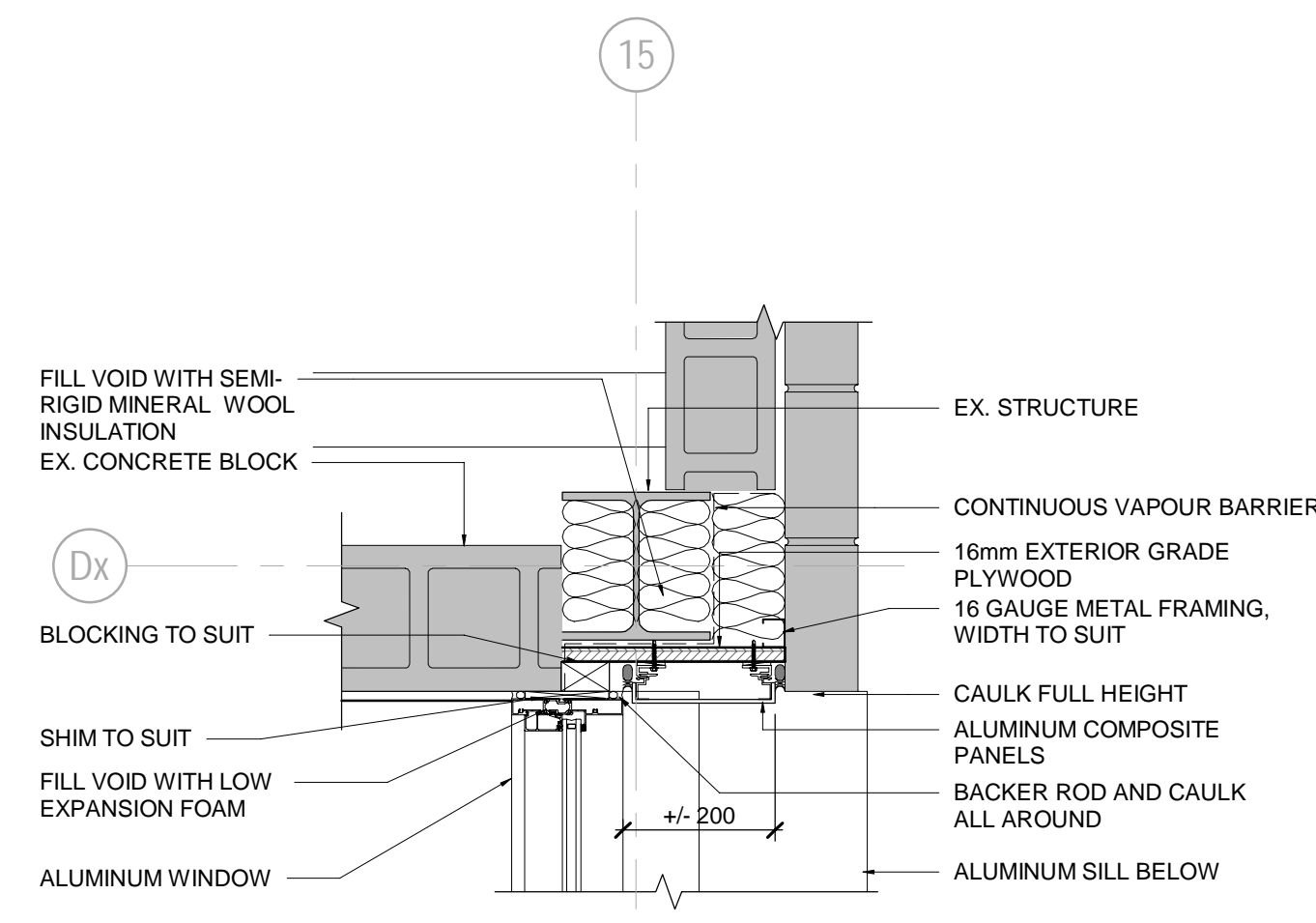
DETAIL AT GRID E-15

SCALE: 1:10



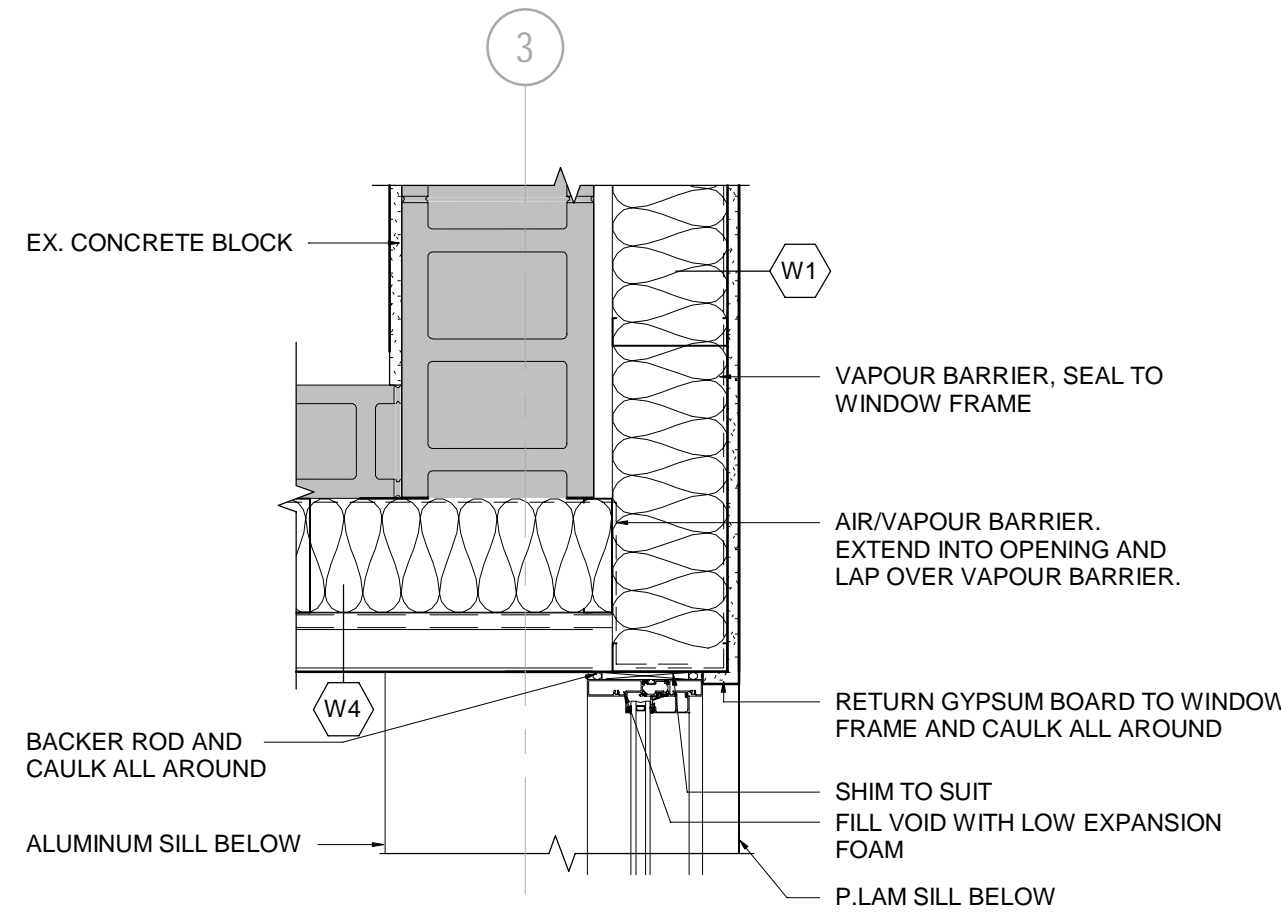
DETAIL AT GRID E-15

SCALE: 1:10



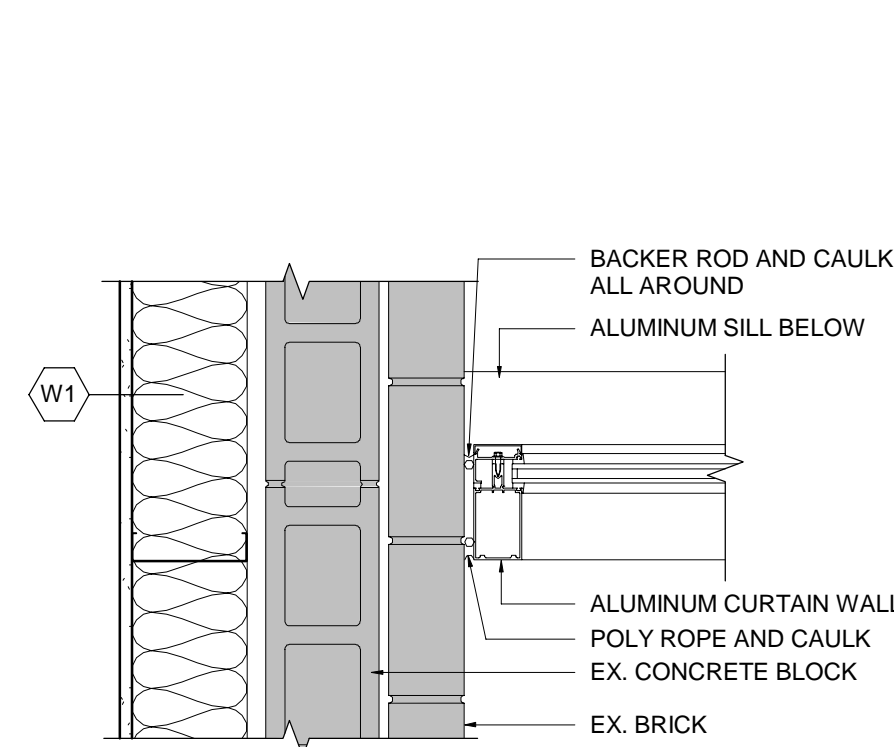
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SCALE: 1:10



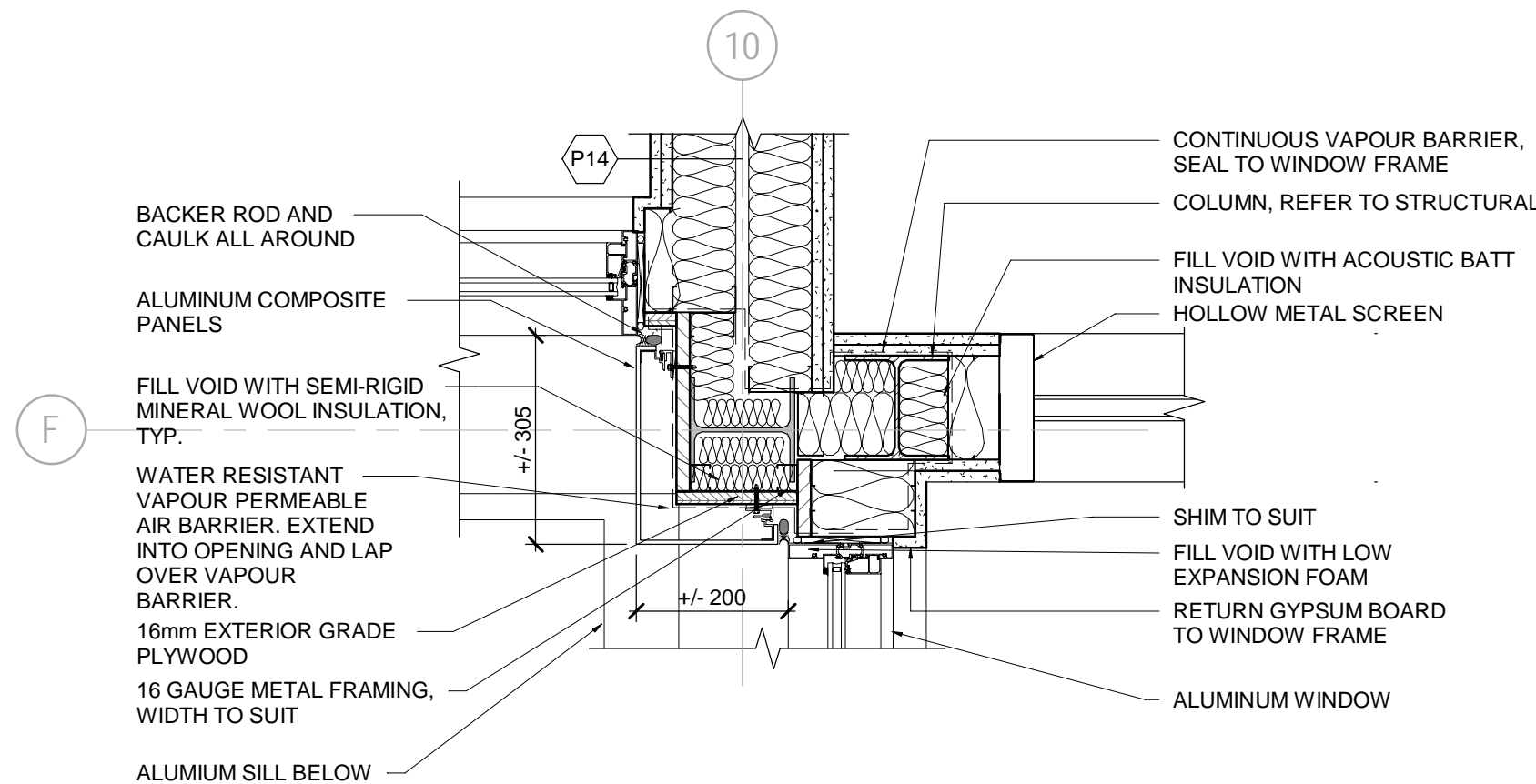
DETAIL - WINDOW FRAME

SCALE: 1:10



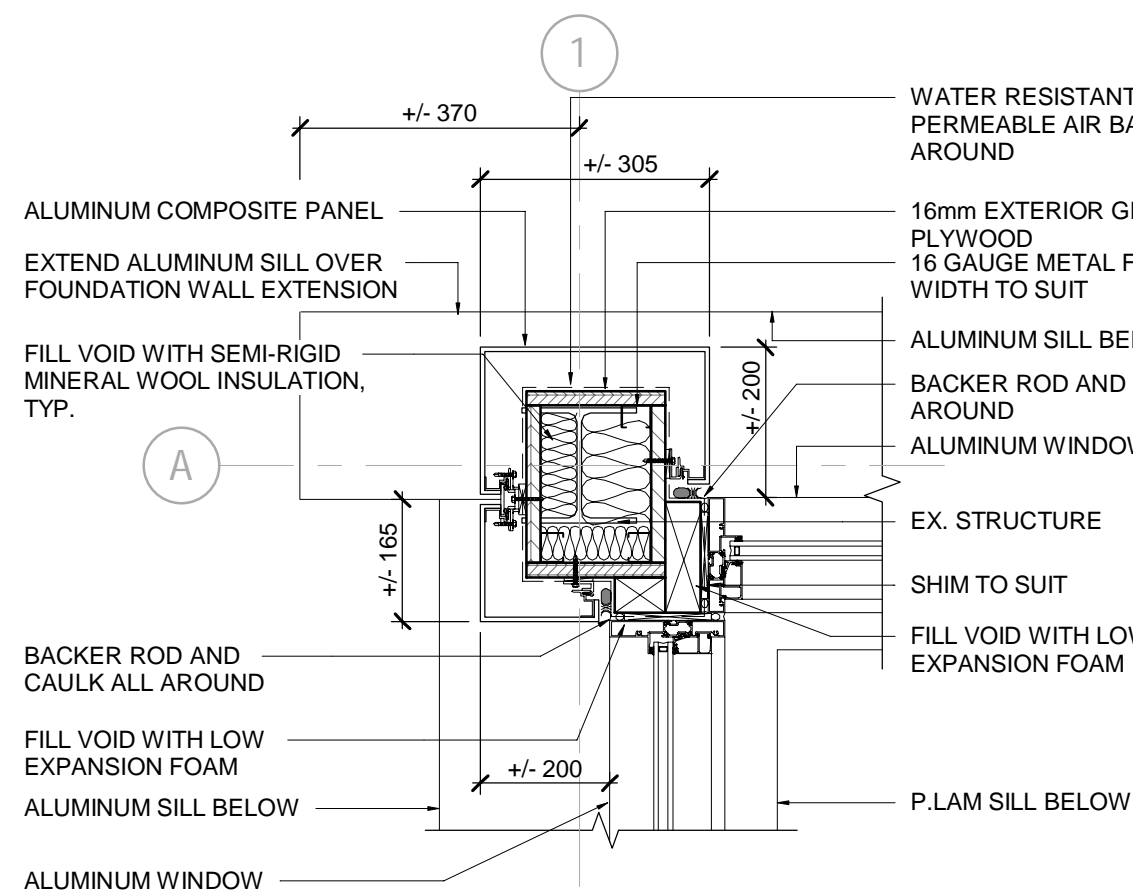
DETAIL - CW MULLION AT BRICK

SCALE: 1:10



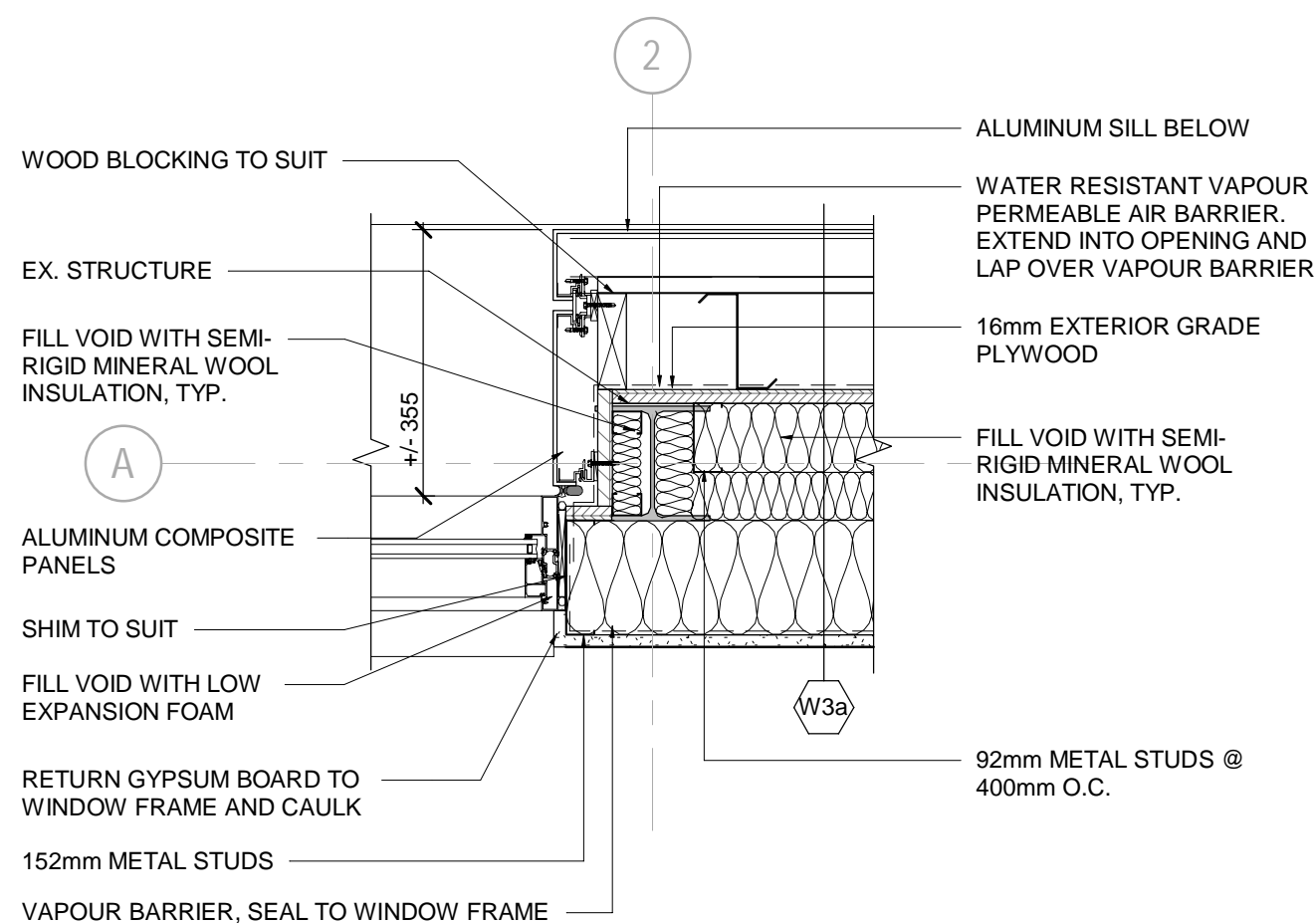
DETAIL AT GRID F-10

SCALE: 1:10



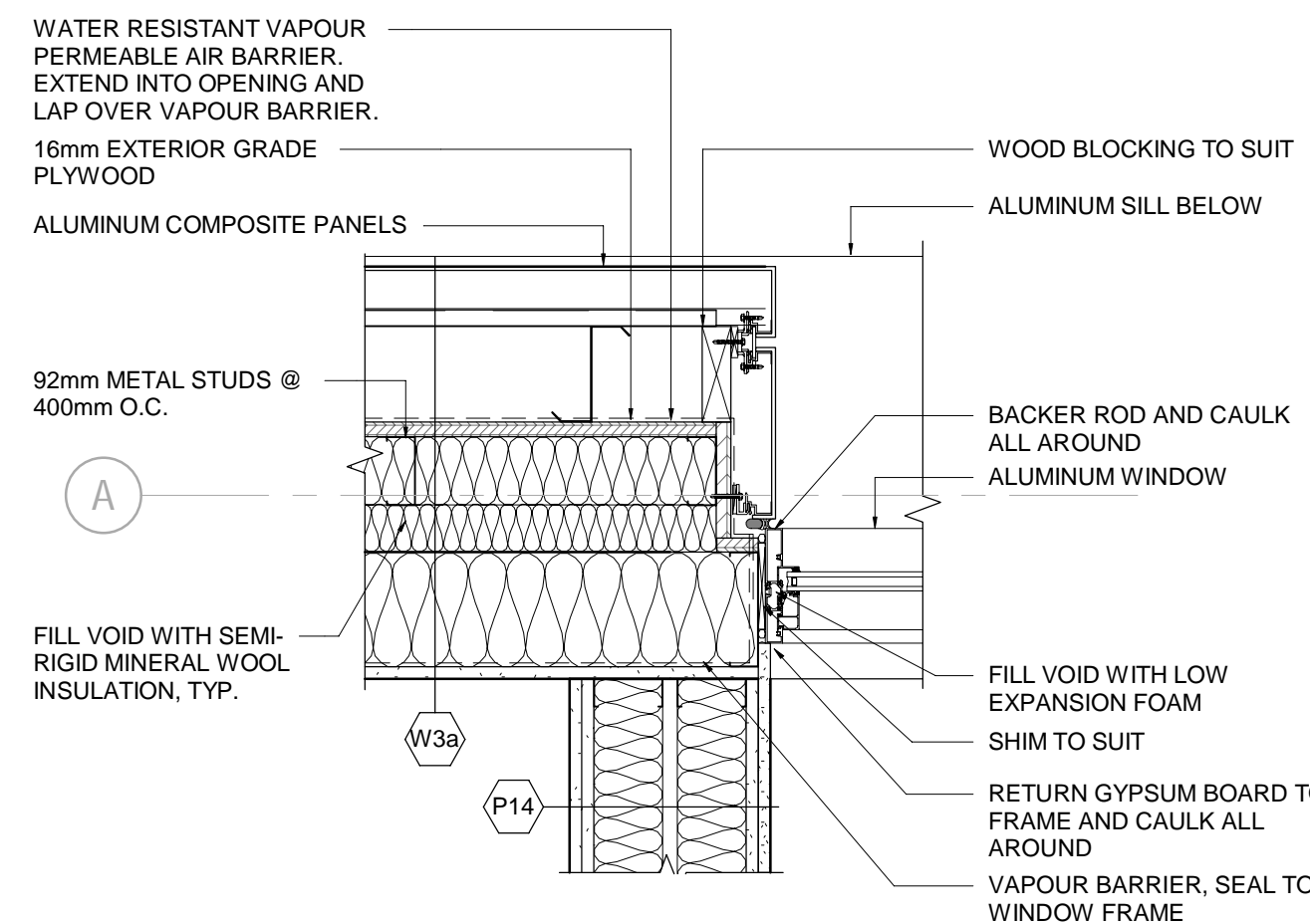
DETAIL AT GRID A-1

SCALE: 1:10



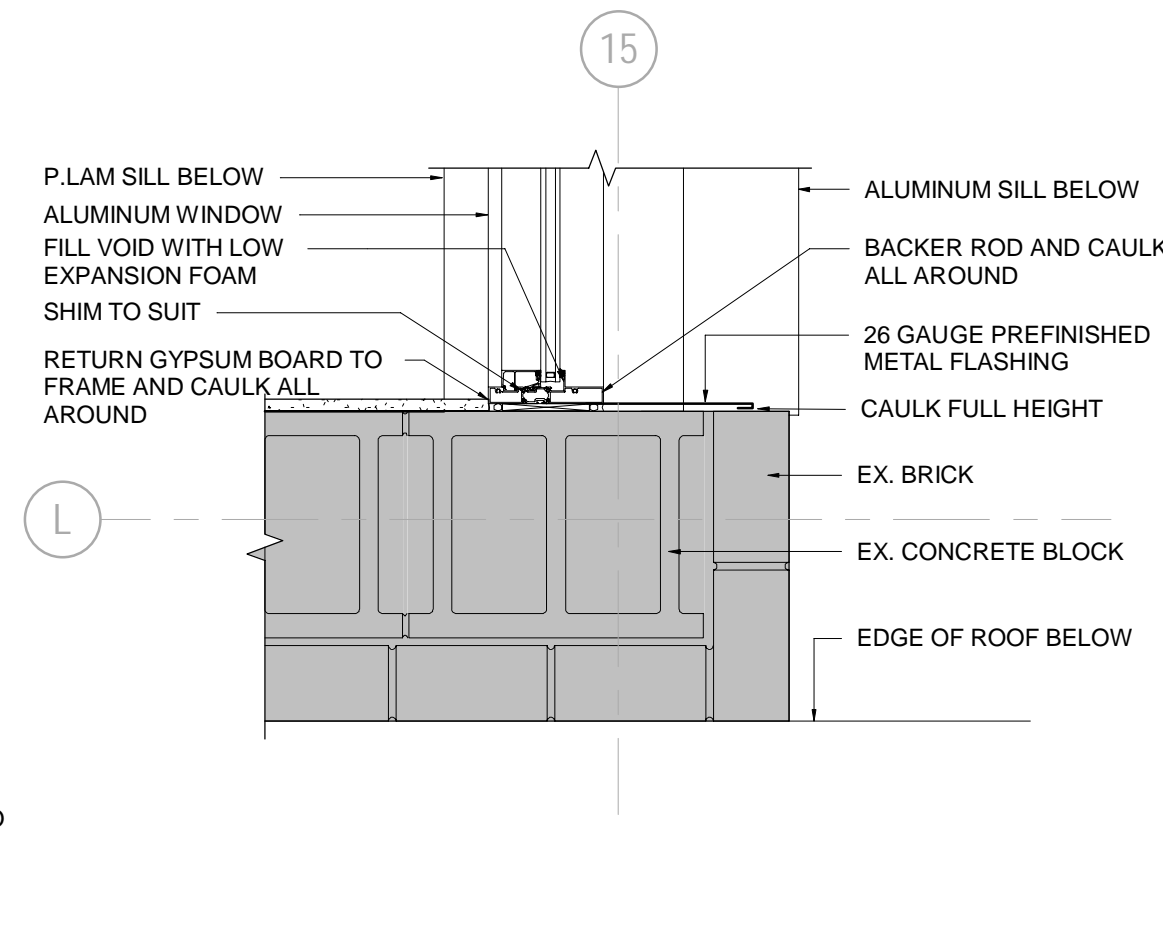
DETAIL AT GRID A-2

SCALE: 1:10



DETAIL AT COPY/MAIL

SCALE: 1:10



DETAIL AT GRID L-15

SCALE: 1:10

#### NOTES:

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Orientation	
Seal	Seal

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J.L. Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

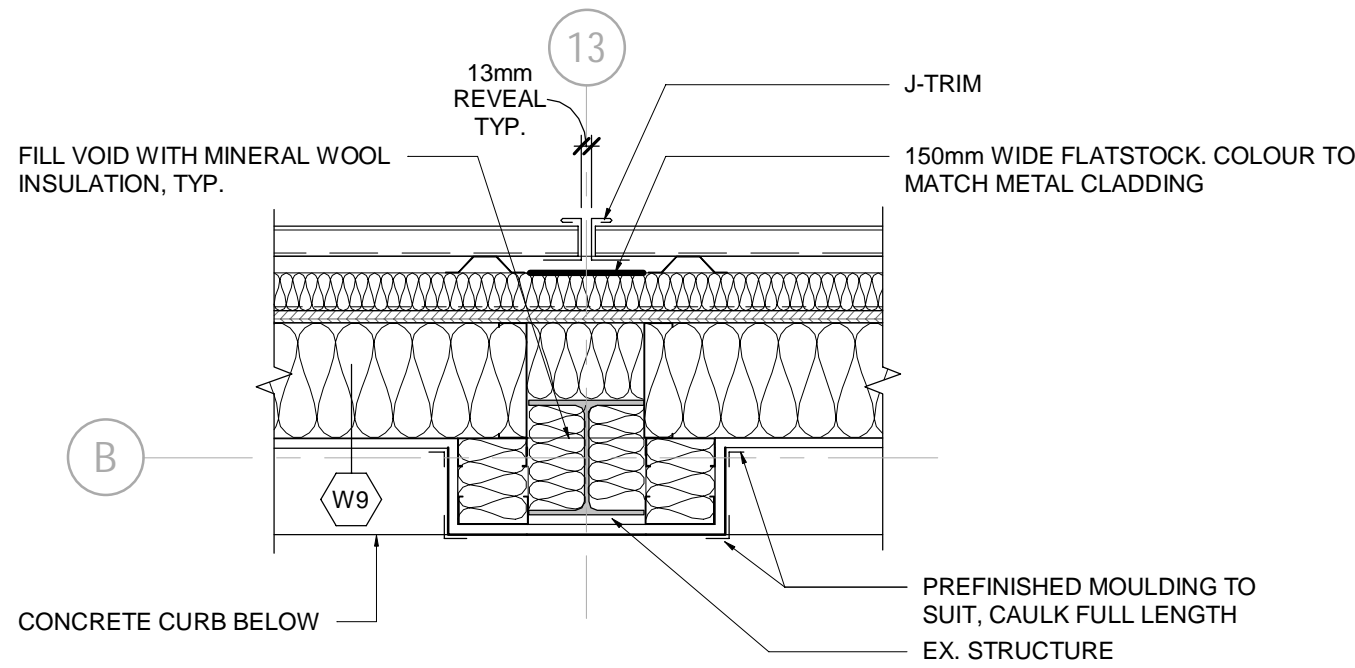
Drawing Title  
**ARCHITECTURAL  
PLAN DETAILS**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

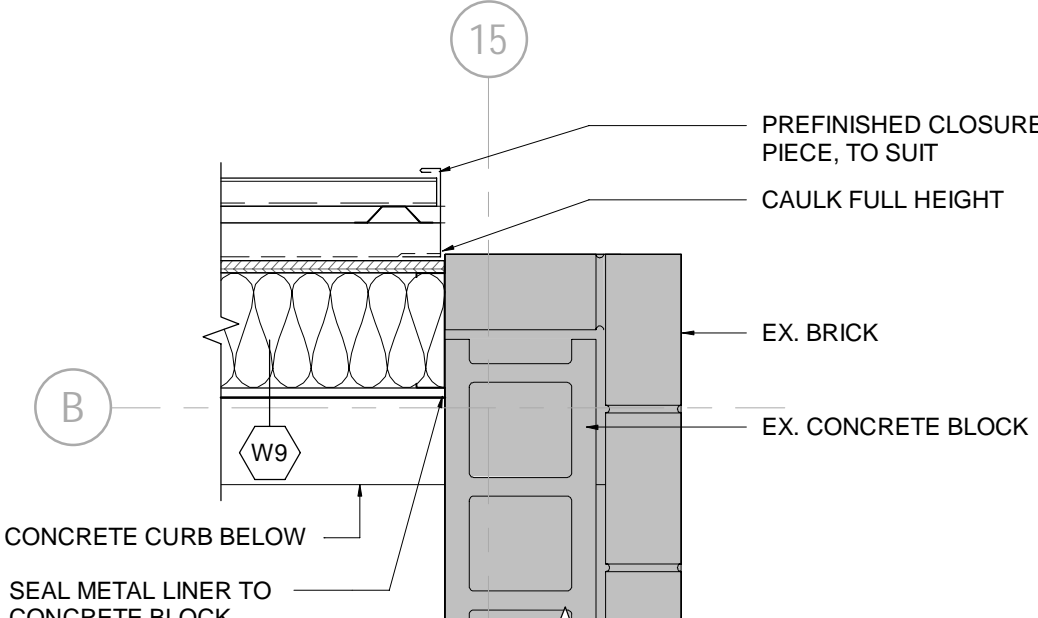
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No.
Checked By TA	<b>A41</b>
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:56:35 AM



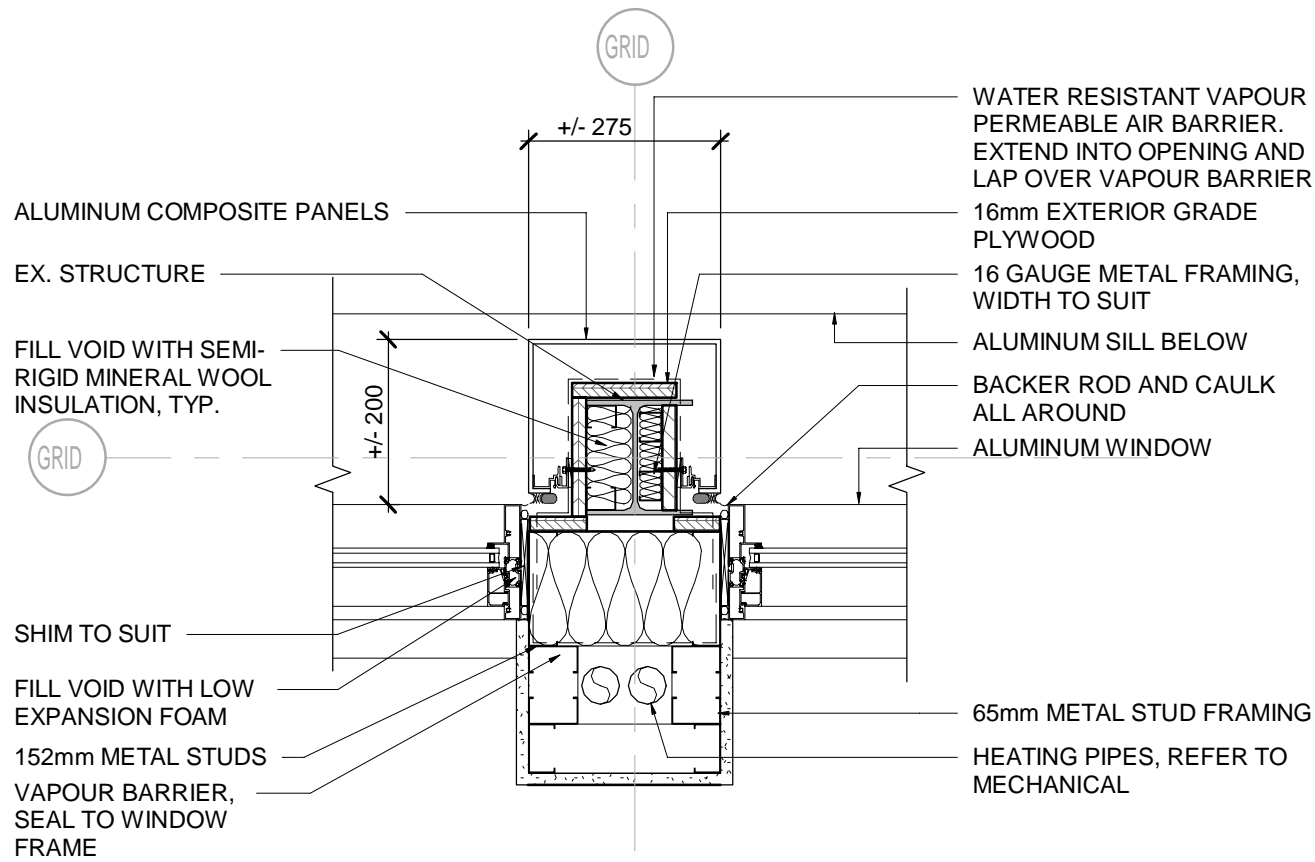
DETAIL - METAL CLADDING REVEAL

1  
A42  
SCALE : 1 : 10



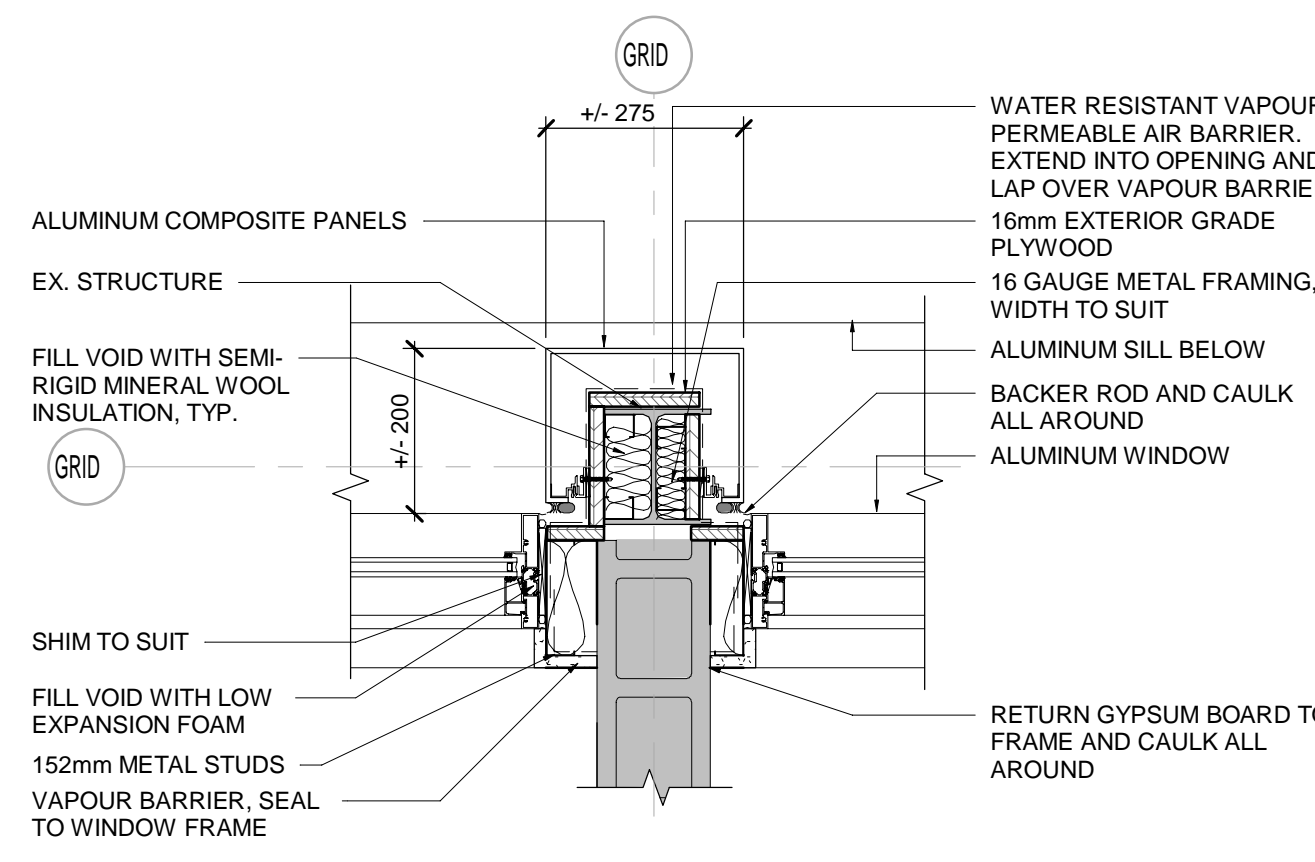
DETAIL - METAL CLADDING

2  
A42  
SCALE : 1 : 10



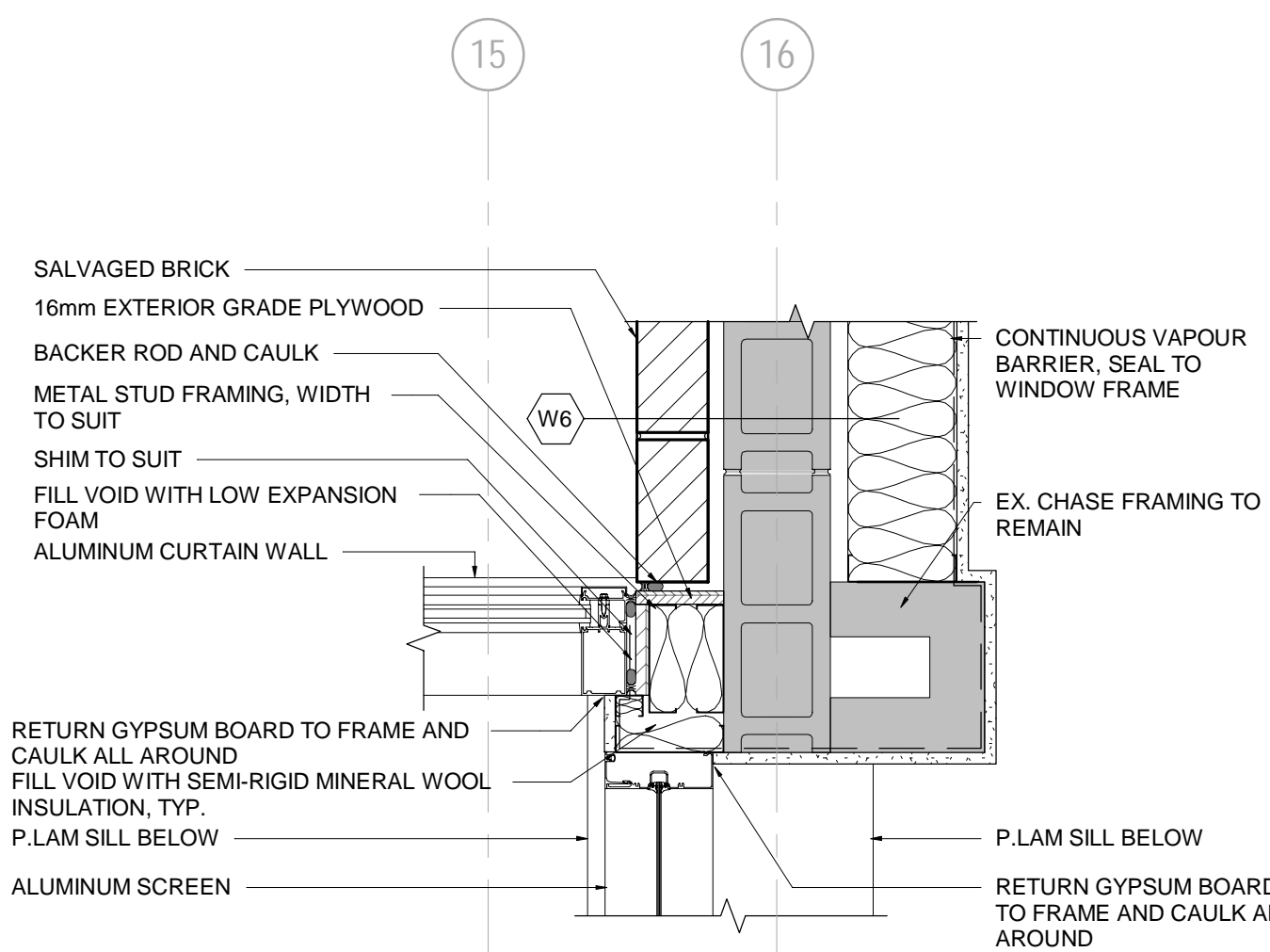
DETAIL - PIPE CHASE

3  
A42  
SCALE : 1 : 10



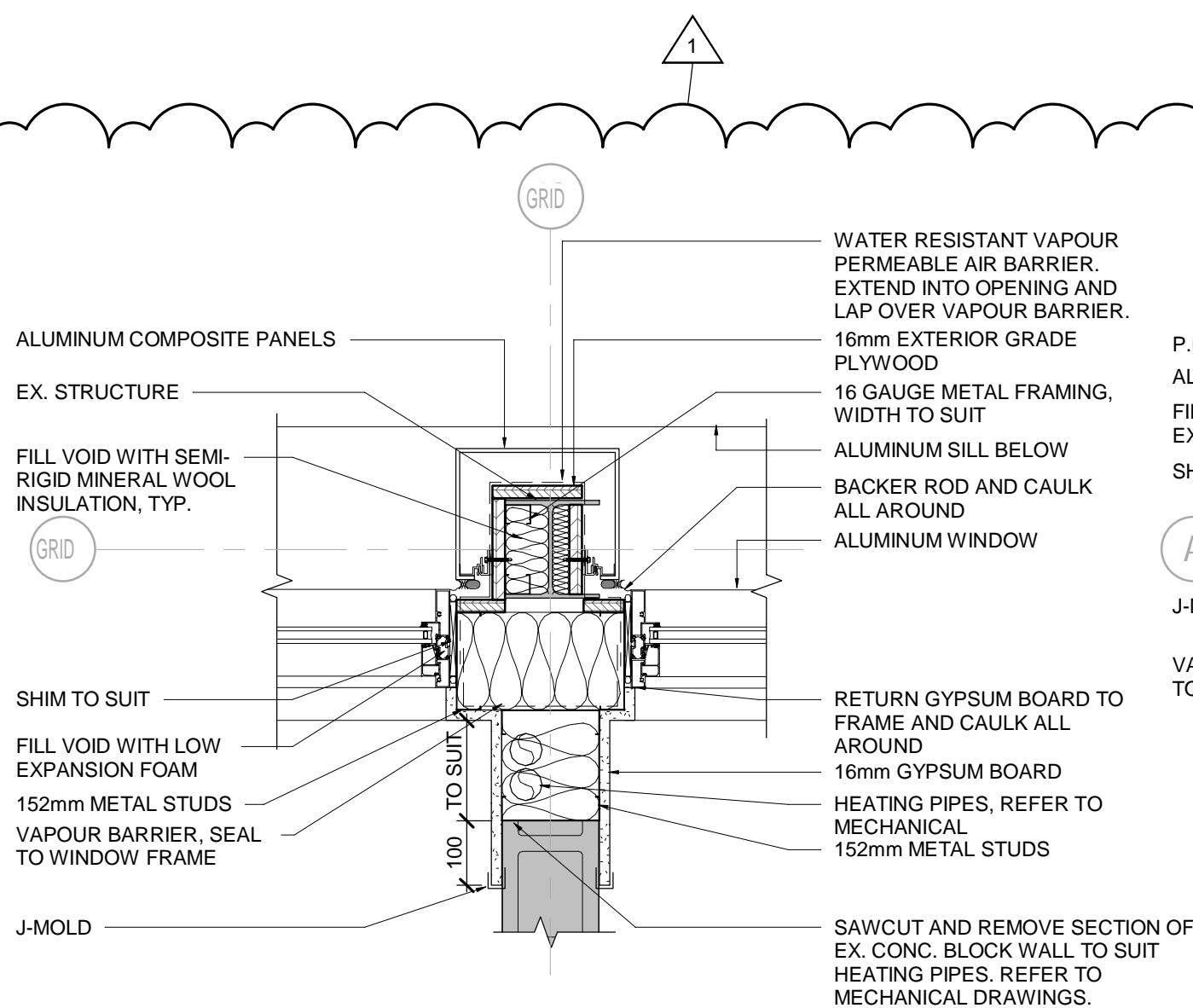
DETAIL - CONC. BLOCK PARTITION

4  
A42  
SCALE : 1 : 10



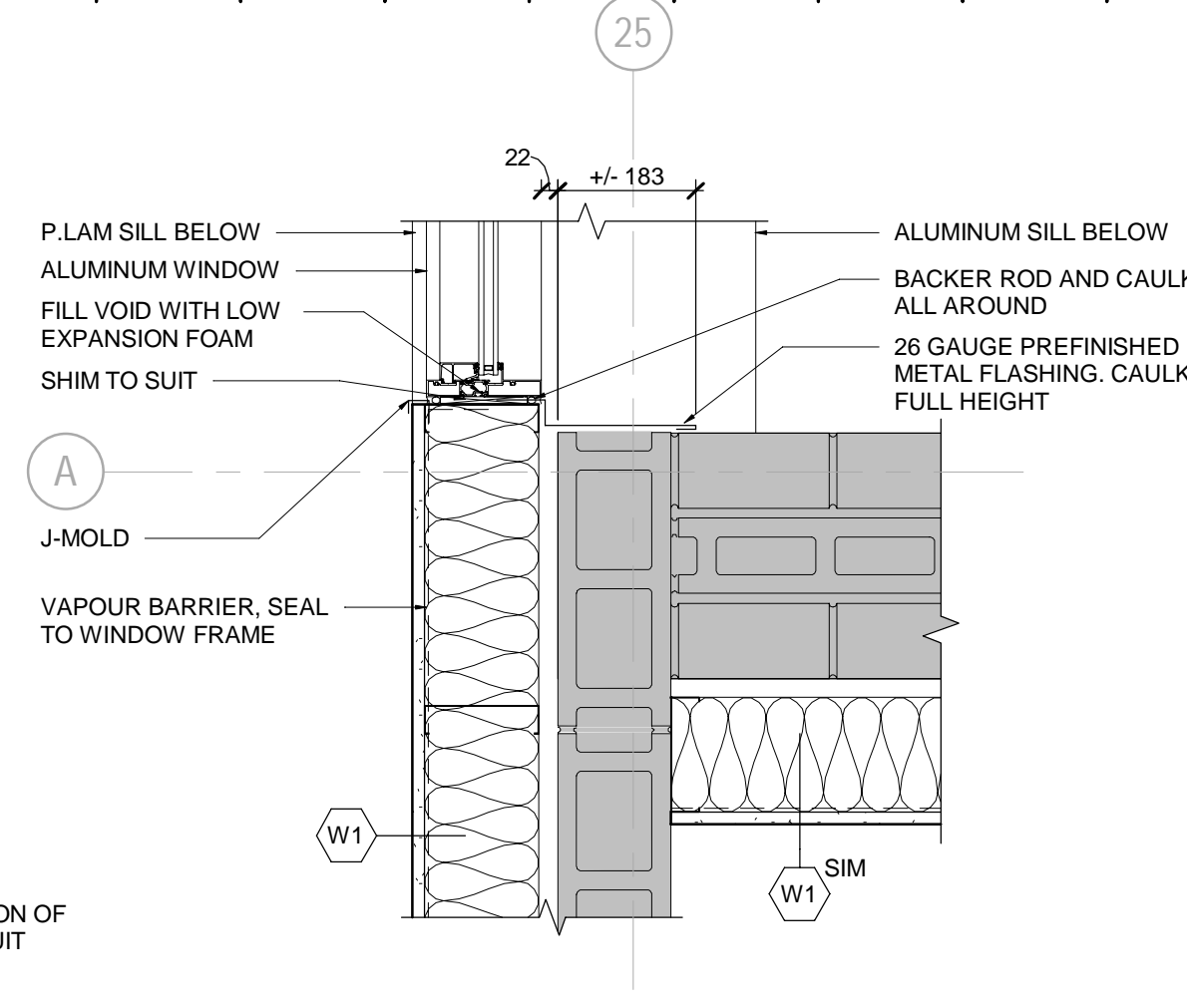
DETAIL - CURTAIN WALL

5  
A42  
SCALE : 1 : 10



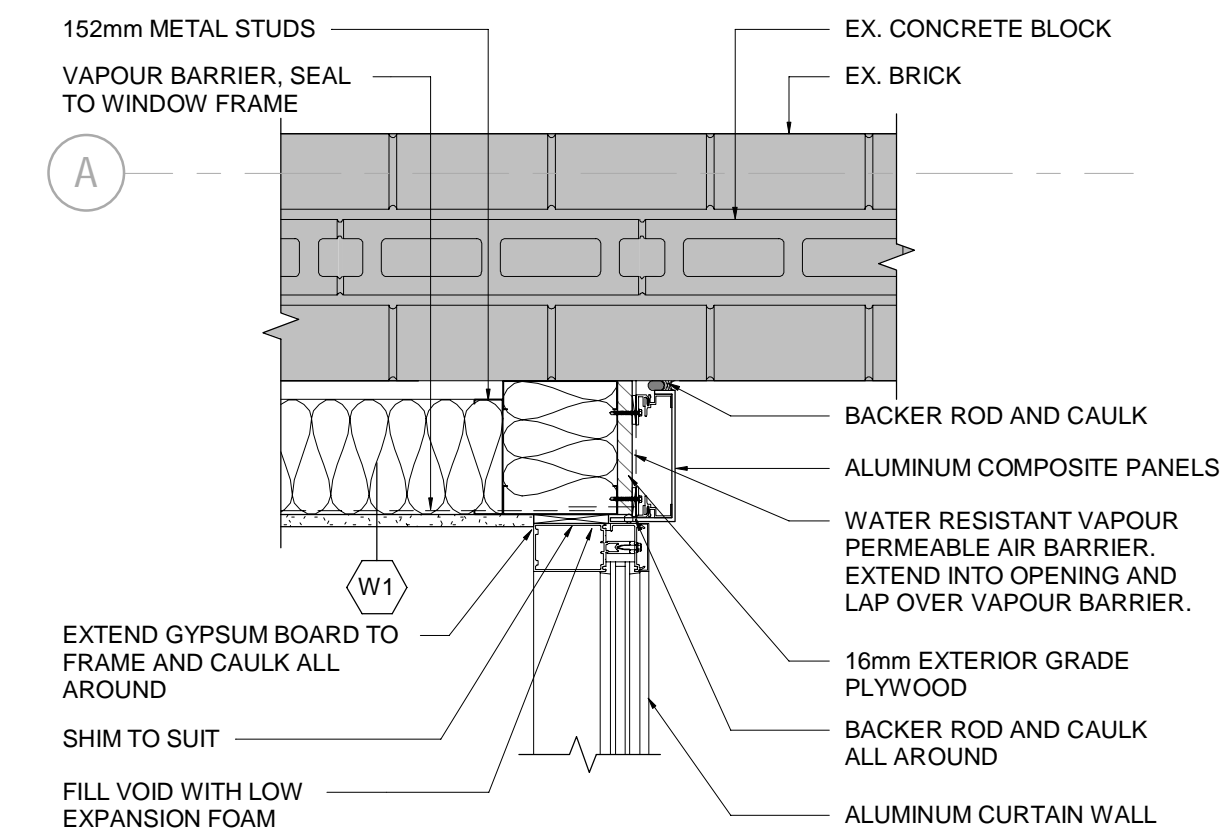
DETAIL - INFILL AT PIPE CHASE

6  
A42  
SCALE : 1 : 10



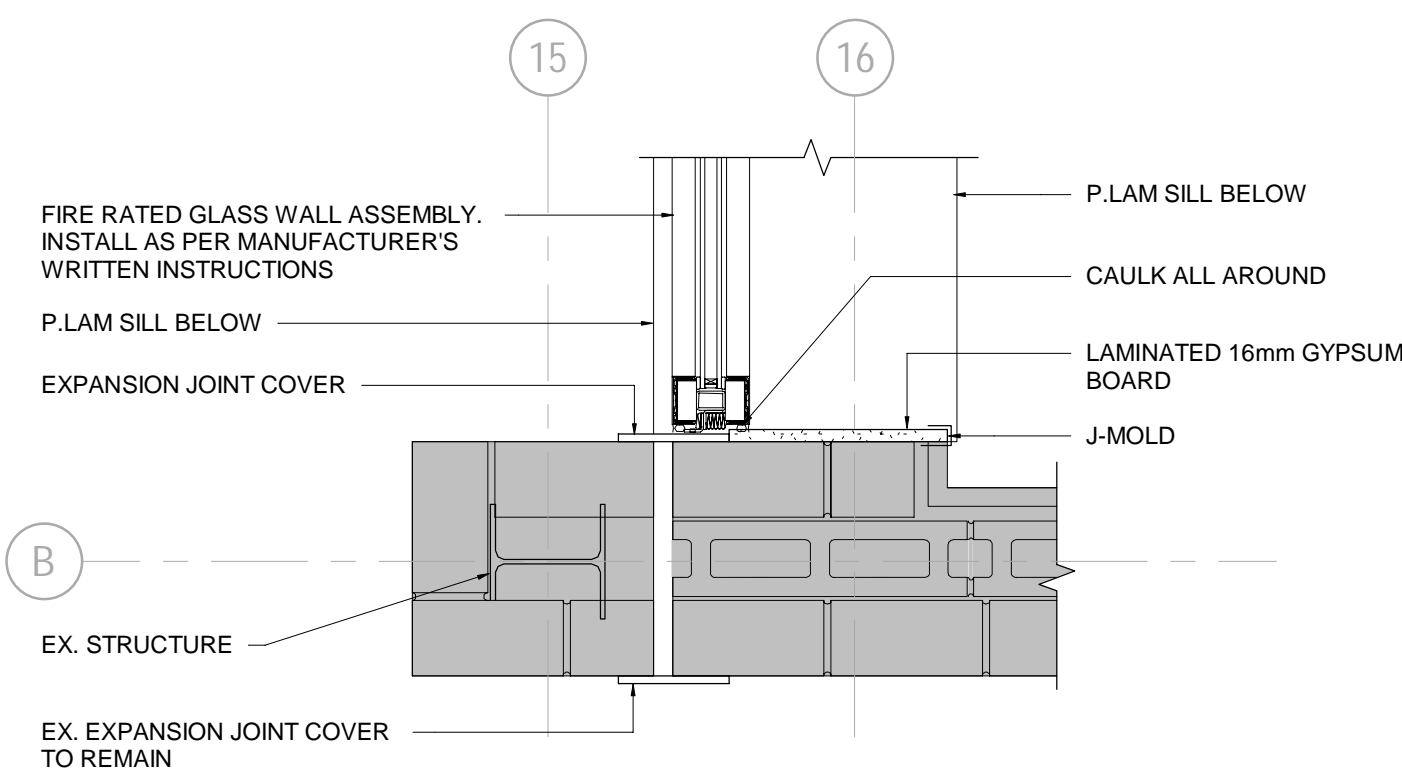
DETAIL AT GRID A-25

7  
A42  
SCALE : 1 : 10



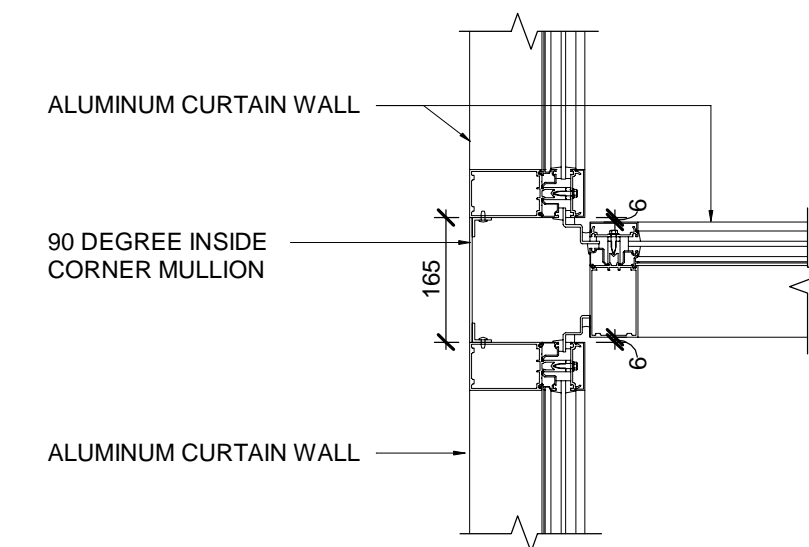
DETAIL - CURTAIN WALL

8  
A42  
SCALE : 1 : 10



DETAIL - EXPANSION JOINT

9  
A42  
SCALE : 1 : 10



DETAIL - CURTAIN WALL

10  
A42  
SCALE : 1 : 10

NOTES:

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Orientation	
Seal	Seal

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**J.L.Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL PLAN DETAILS**

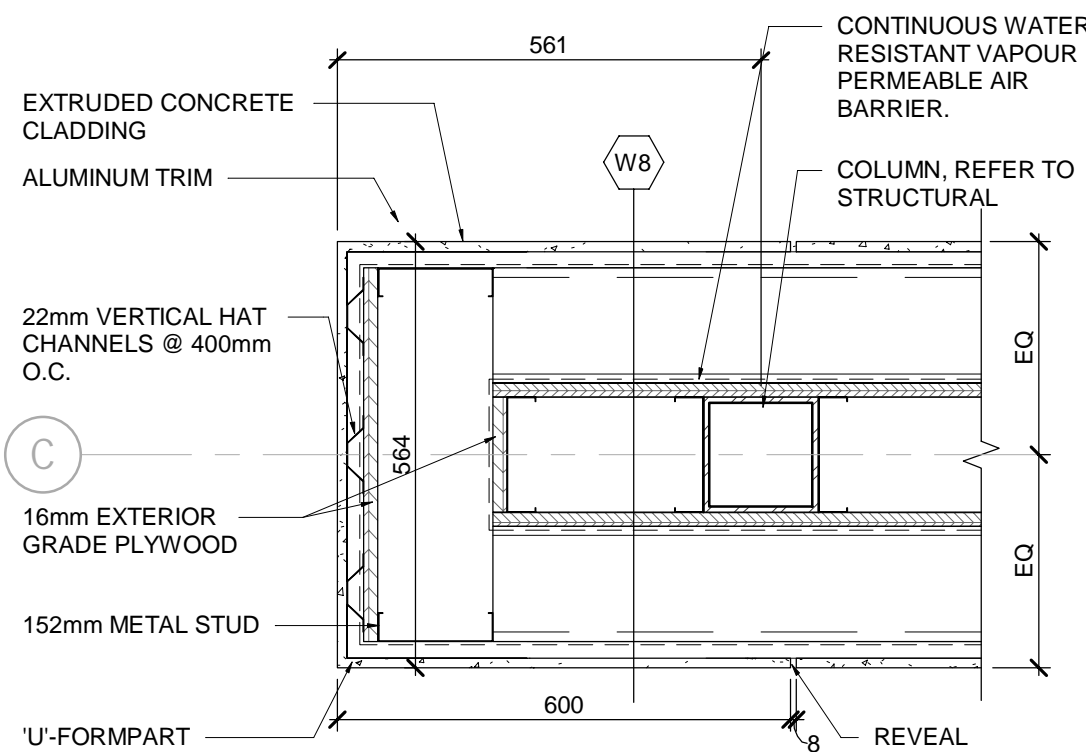
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

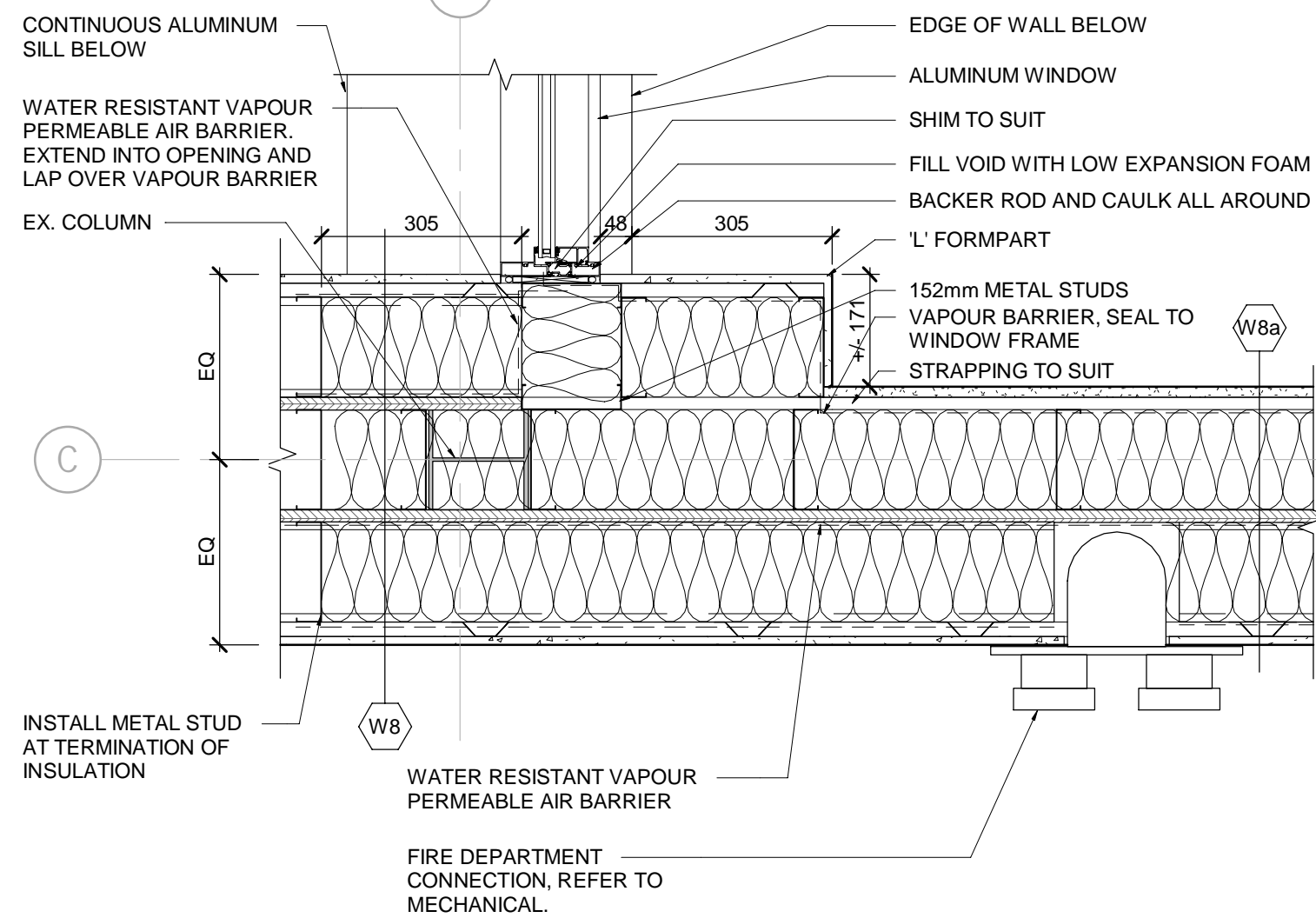
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A42</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



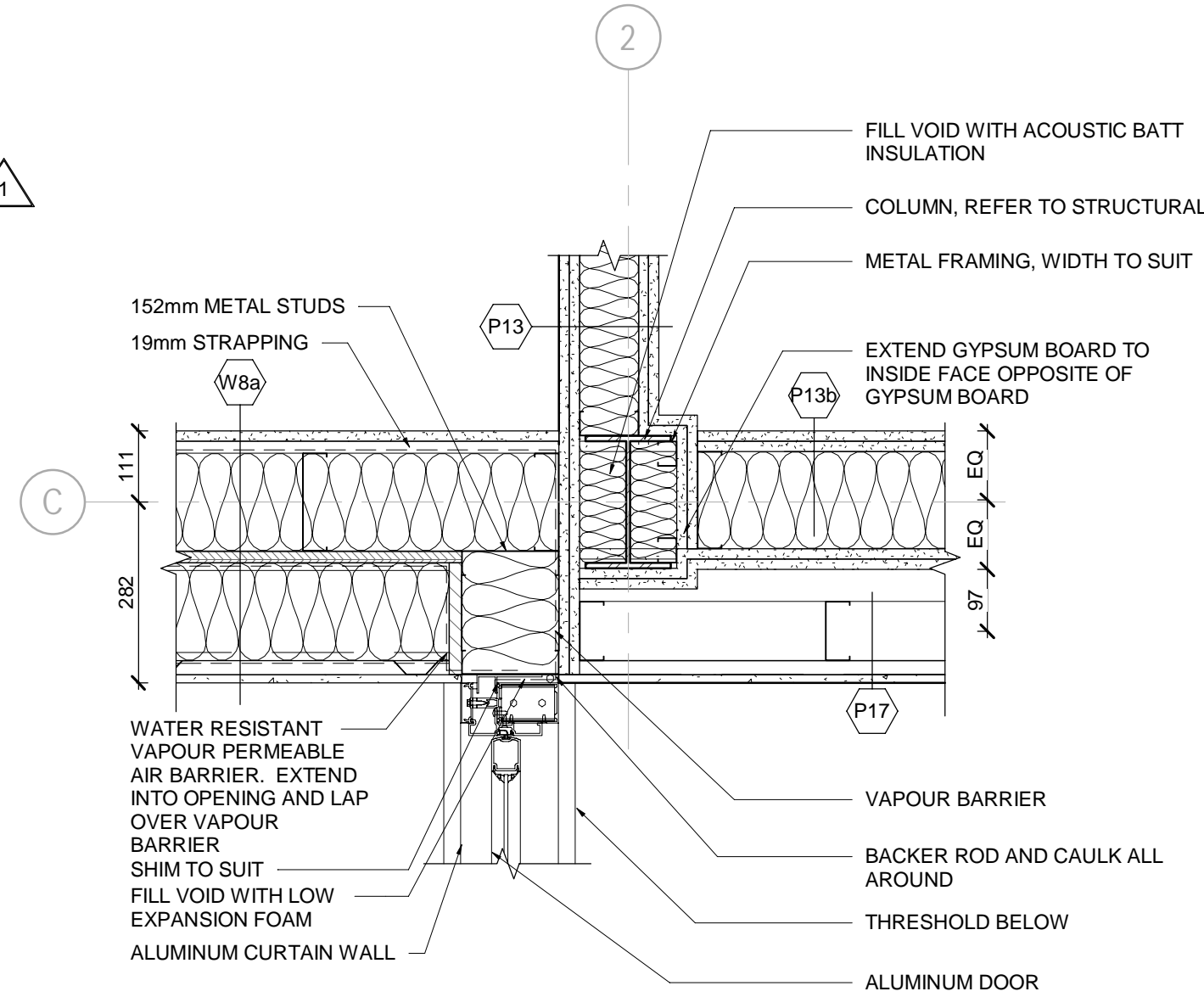
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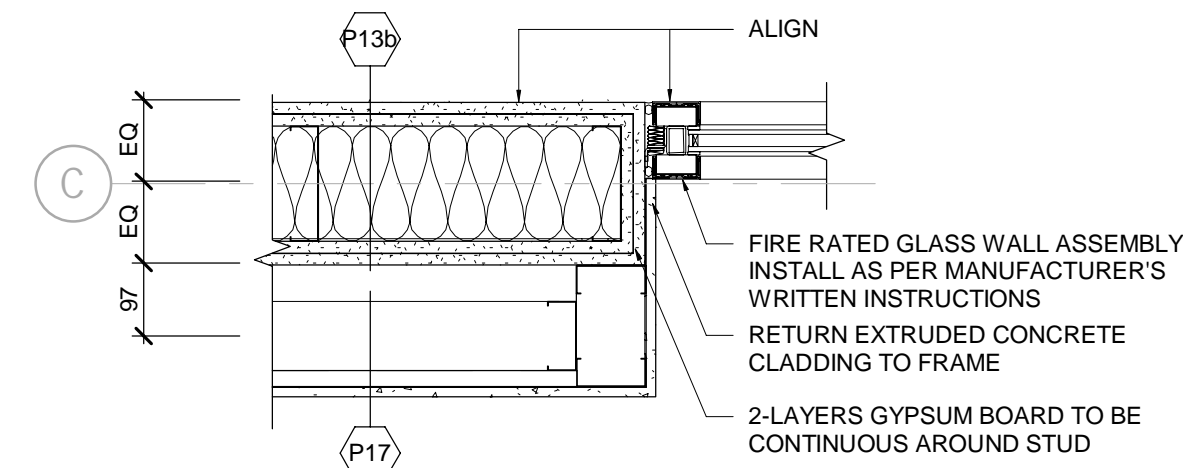
1  
A43  
DETAIL - COLUMN  
SCALE : 1 : 10



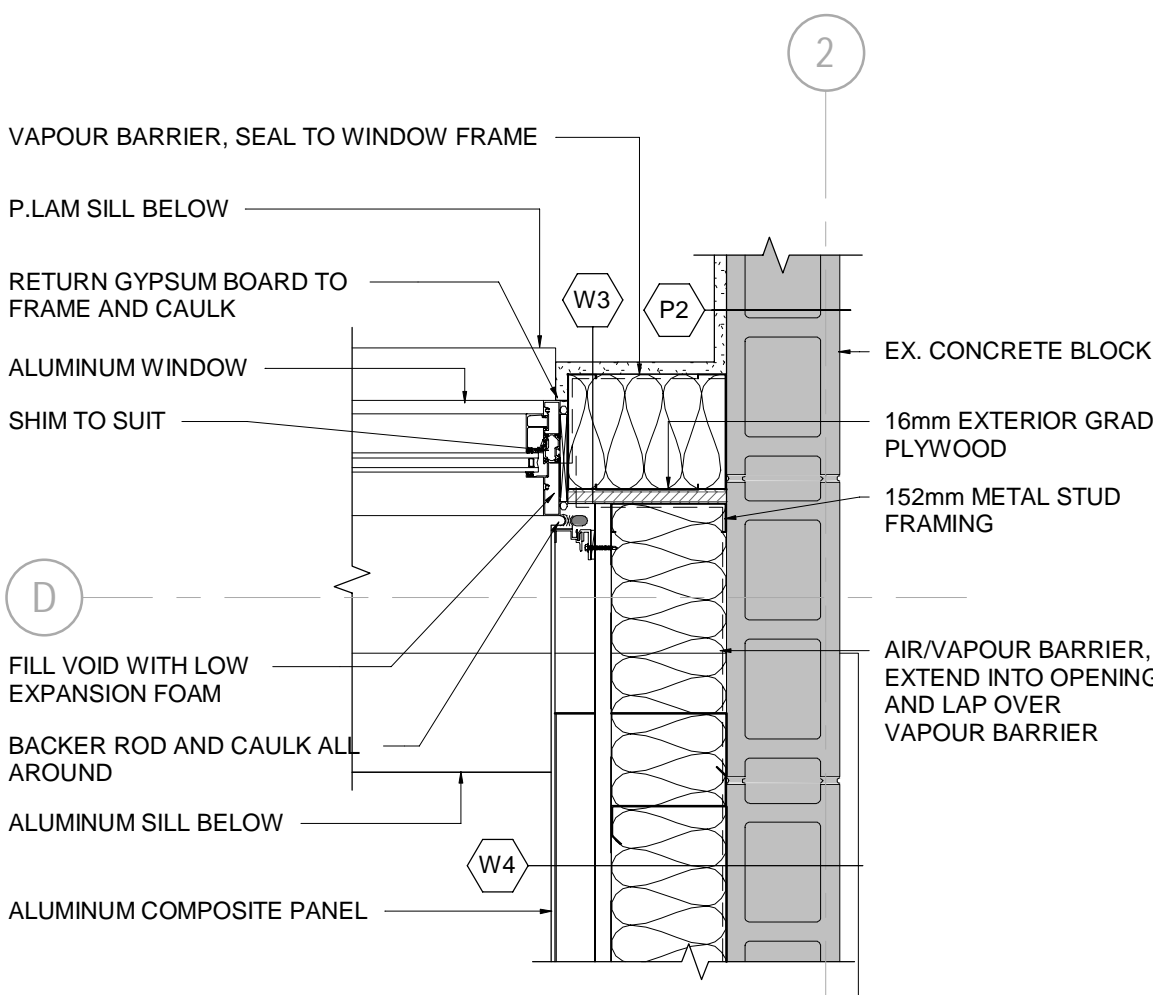
2  
A43  
DETAIL - FDC  
SCALE : 1 : 10



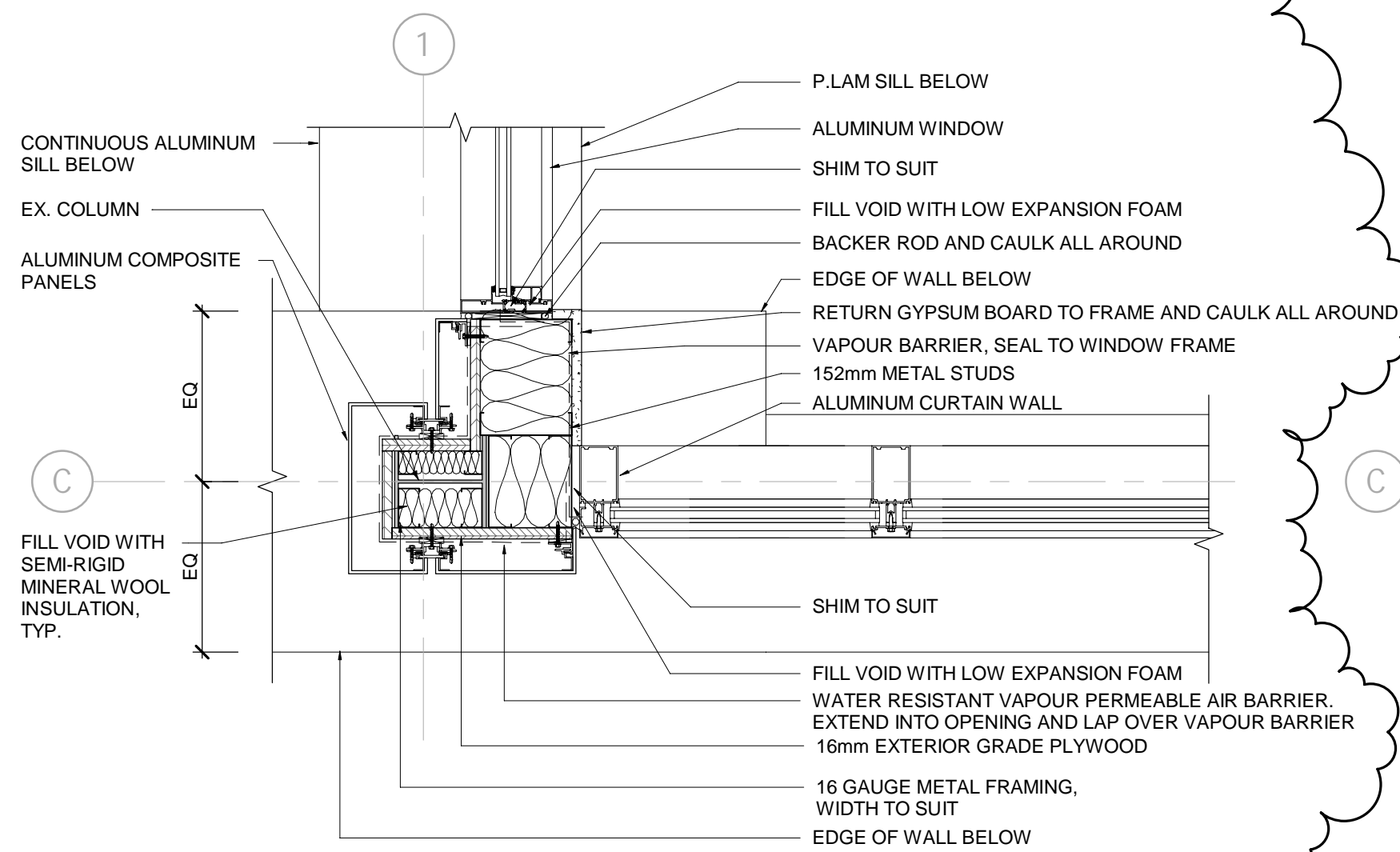
3  
A43  
DETAIL - DOOR  
SCALE : 1 : 10



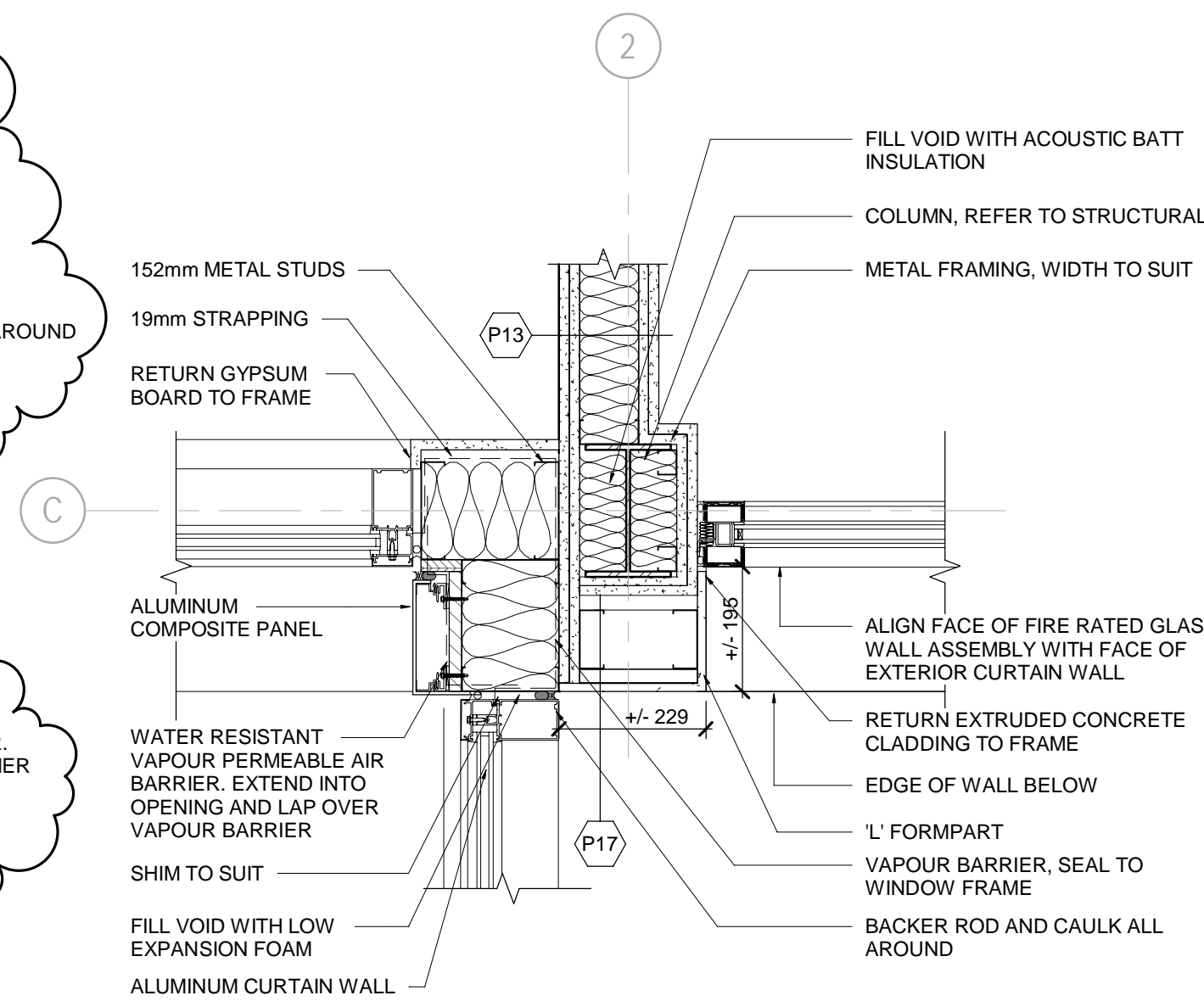
4  
A43  
DETAIL - FRR GLASS ASSEMBLY  
SCALE : 1 : 10



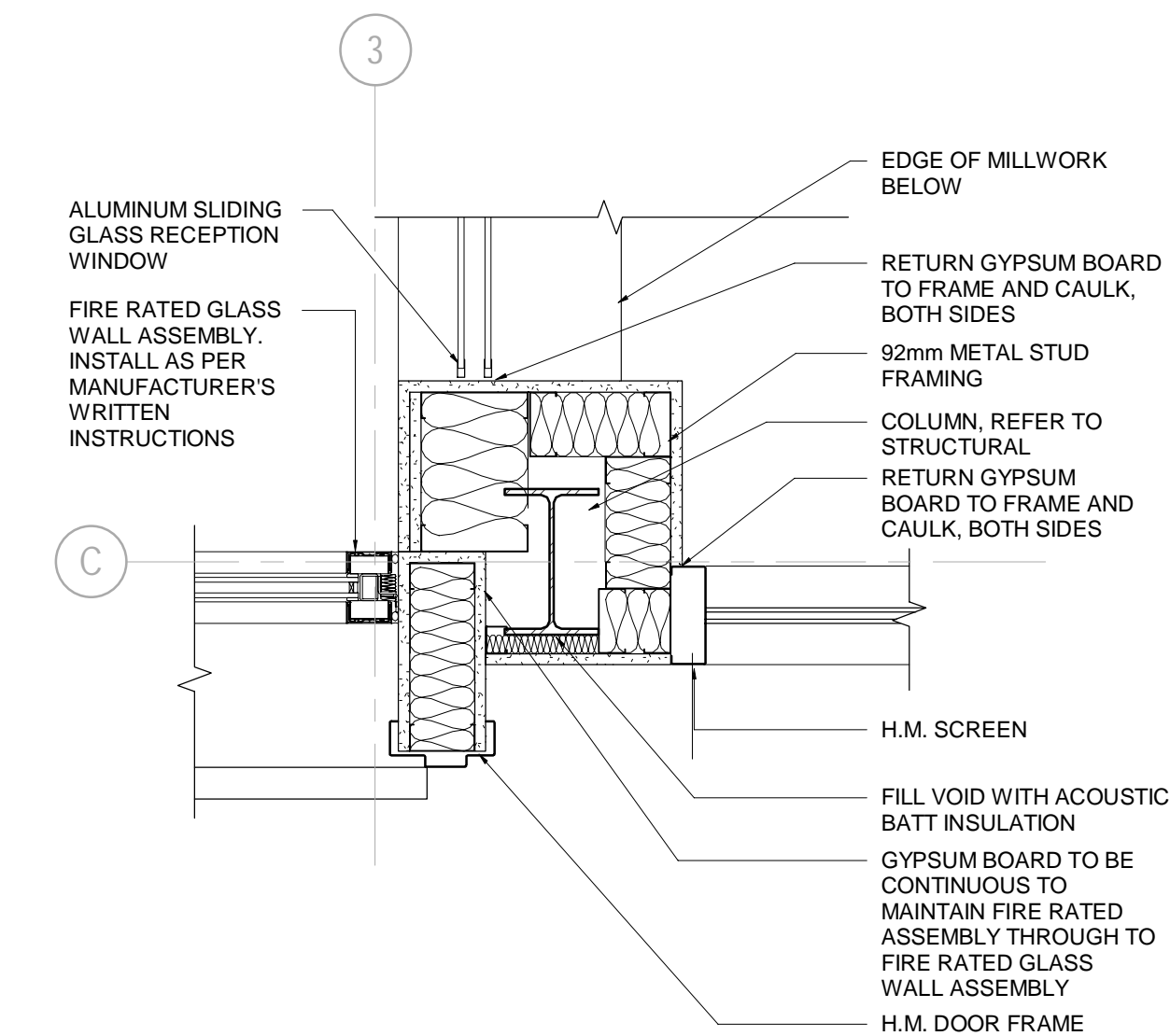
5  
A43  
DETAIL AT GRID D-2  
SCALE : 1 : 10



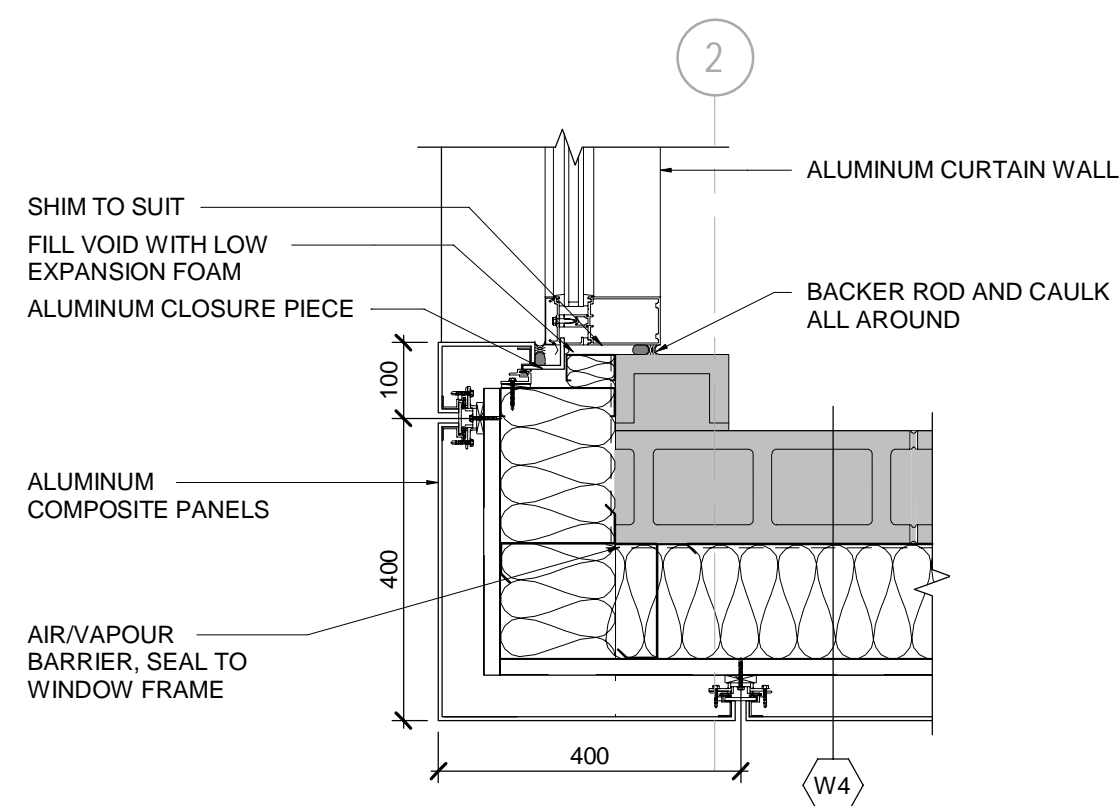
6  
A43  
DETAIL AT GRID C-1  
SCALE : 1 : 10



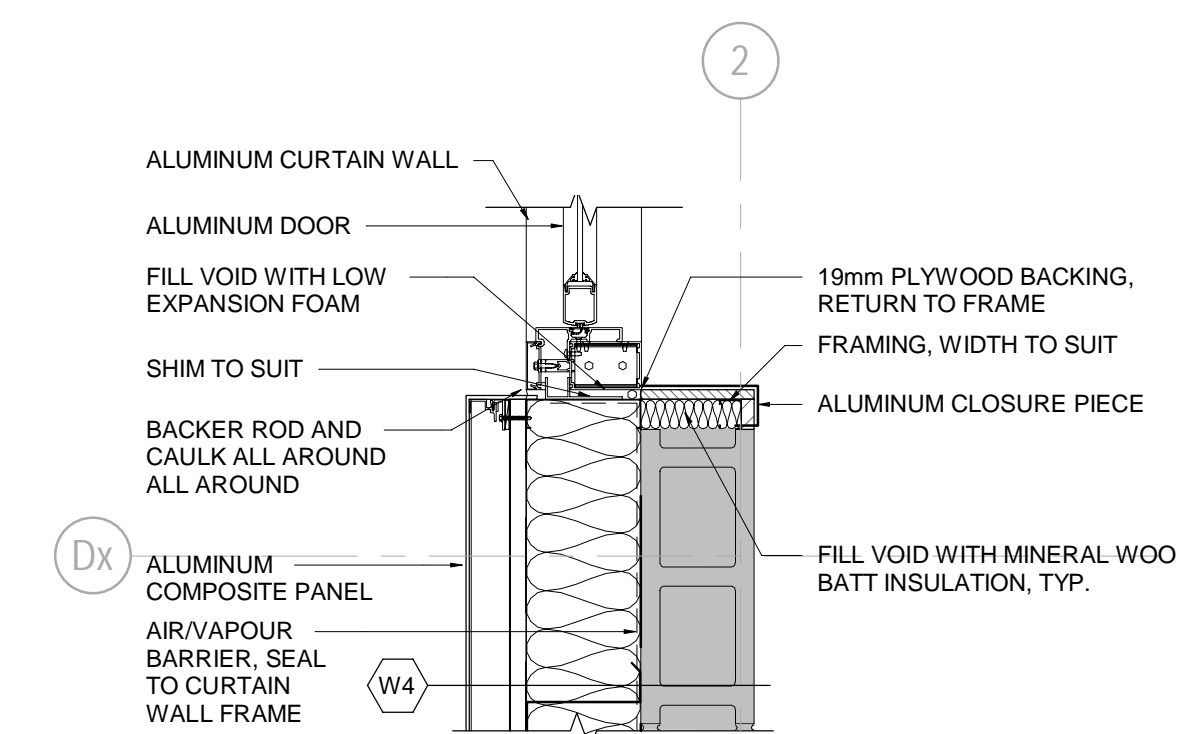
7  
A43  
DETAIL AT GRID C-2  
SCALE : 1 : 10



8  
A43  
DETAIL AT GRID C-3  
SCALE : 1 : 10



9  
A43  
DETAIL - CURTAIN WALL  
SCALE : 1 : 10



10  
A43  
DETAIL - DOOR  
SCALE : 1 : 10

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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
PLAN DETAILS**

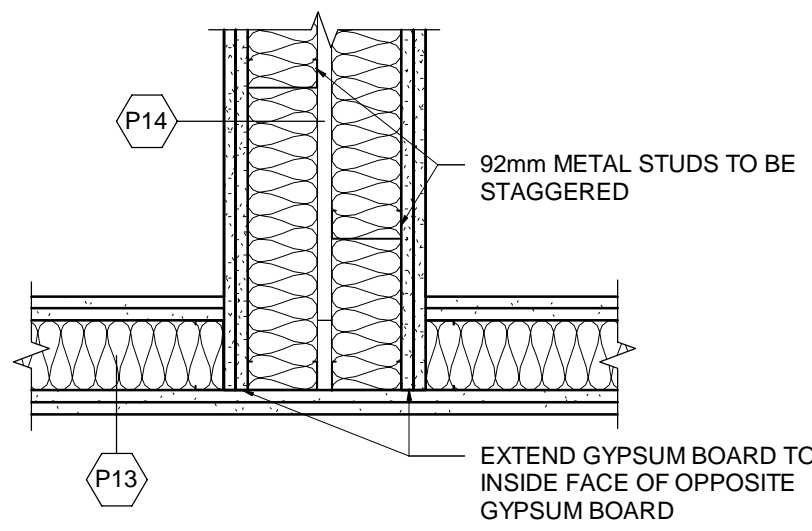
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

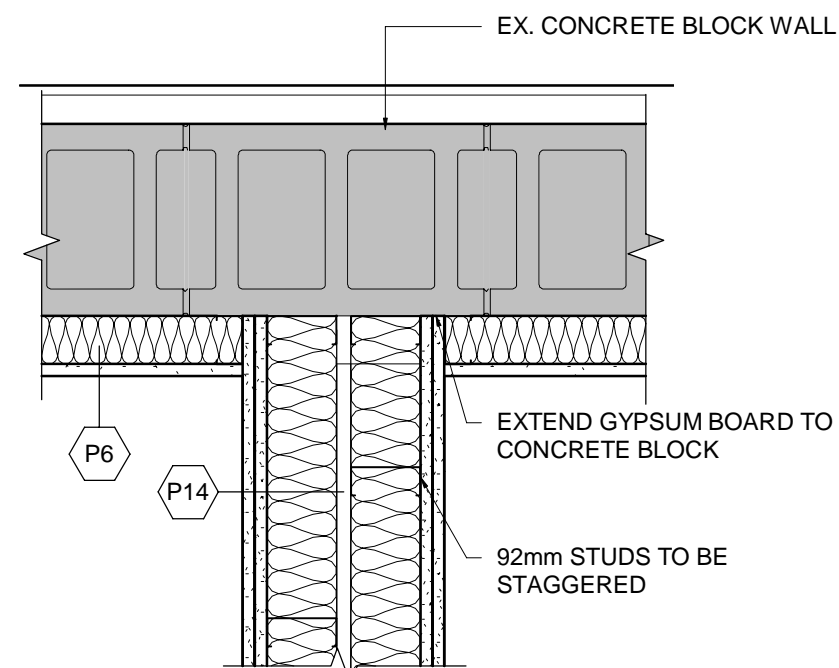
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No.
Checked By TA	<b>A43</b>
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:56:46 AM

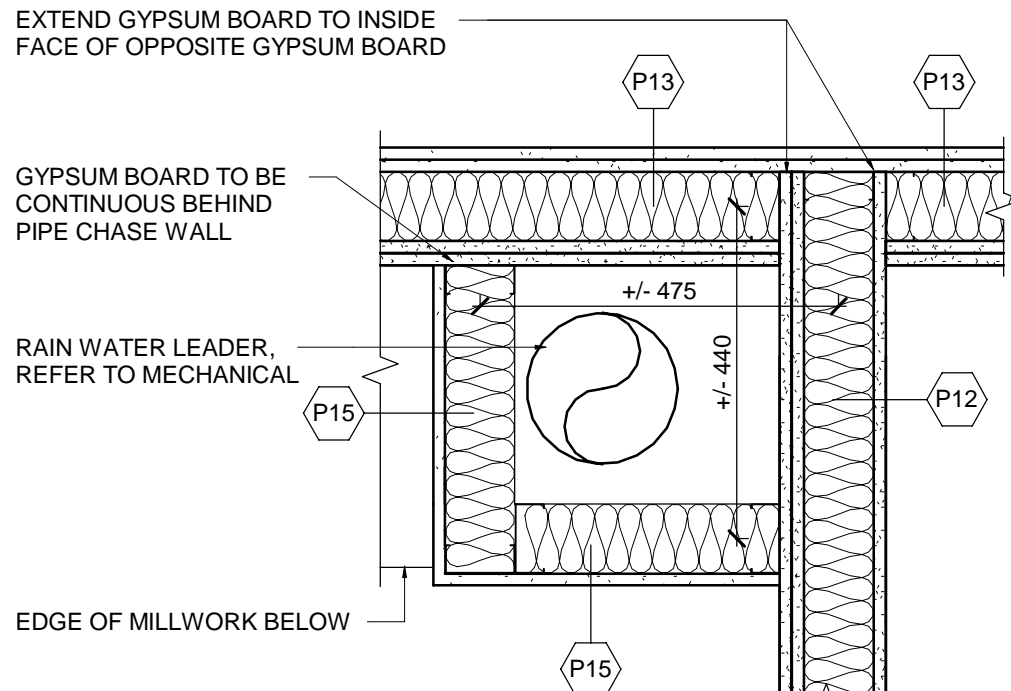




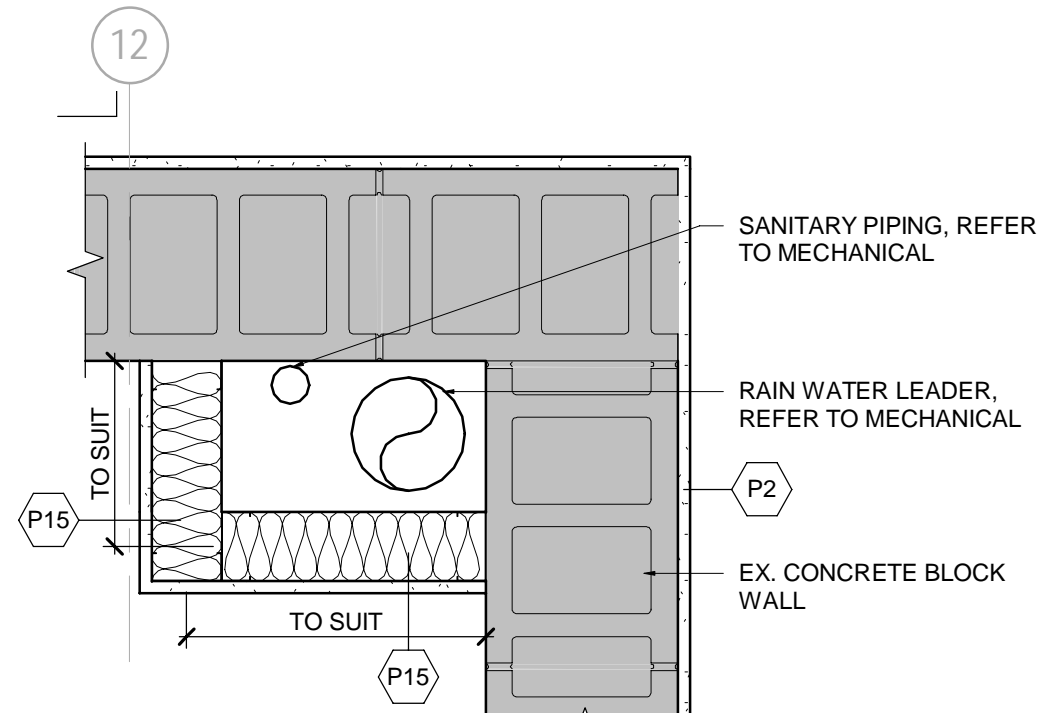
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A44  
**TYPICAL DETAIL  
P14 CONNECTION TO P6**  
SCALE : 1 : 10



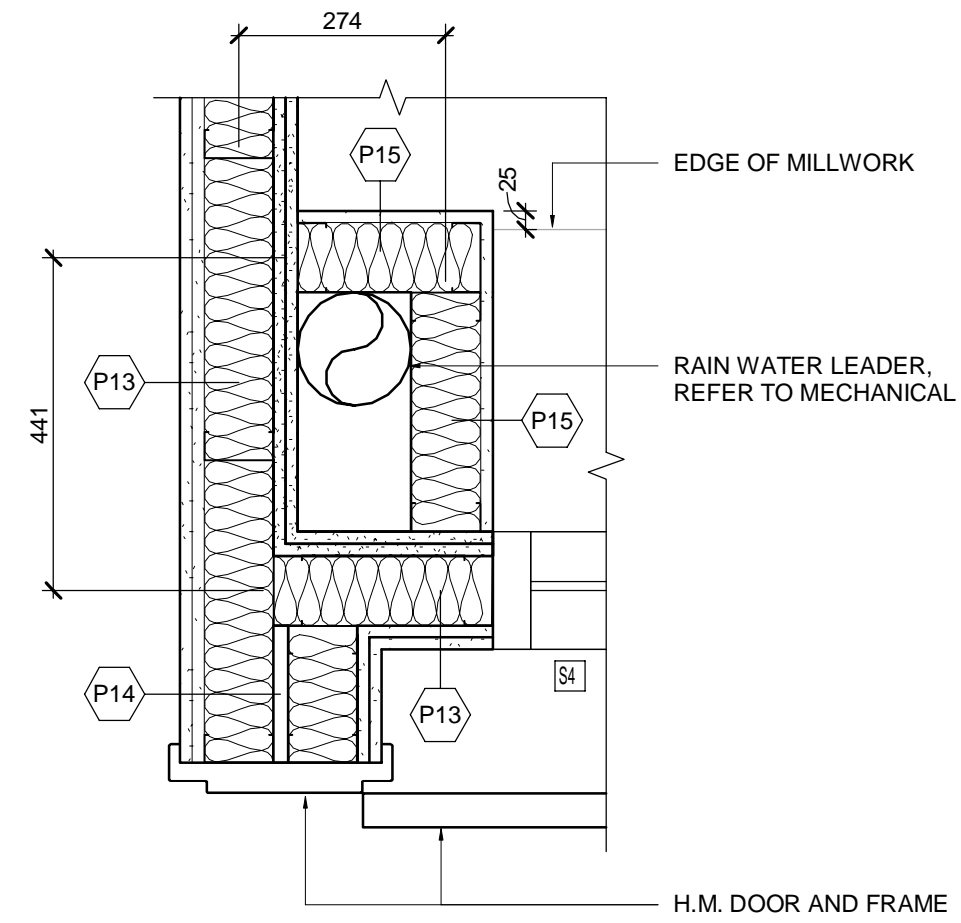
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A44  
**TYPICAL DETAIL  
P14 CONNECTION TO P6**  
SCALE : 1 : 10



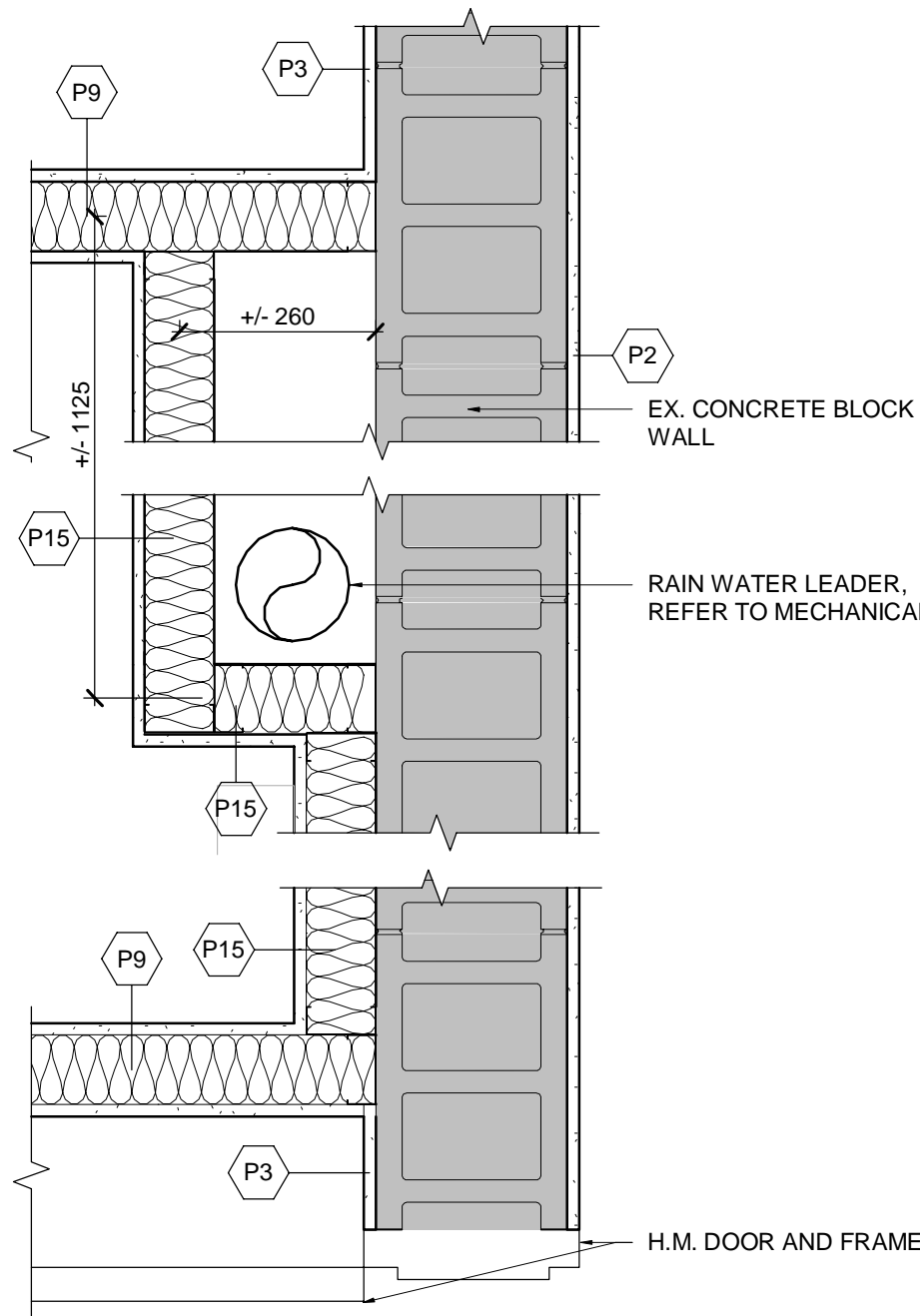
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A44  
**DETAIL - PIPE CHASE**  
SCALE : 1 : 10



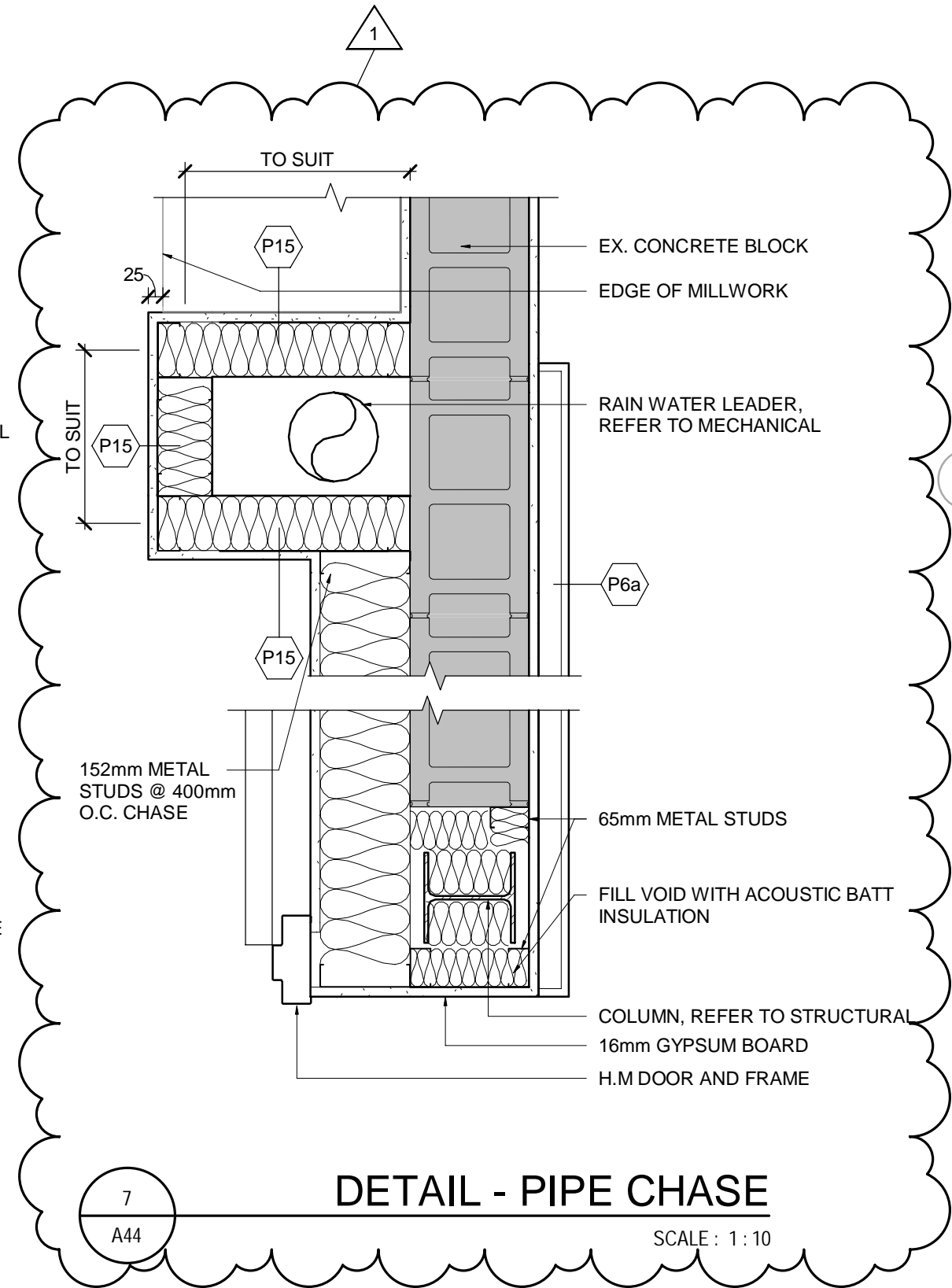
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A44  
**DETAIL - PIPE CHASE**  
SCALE : 1 : 10



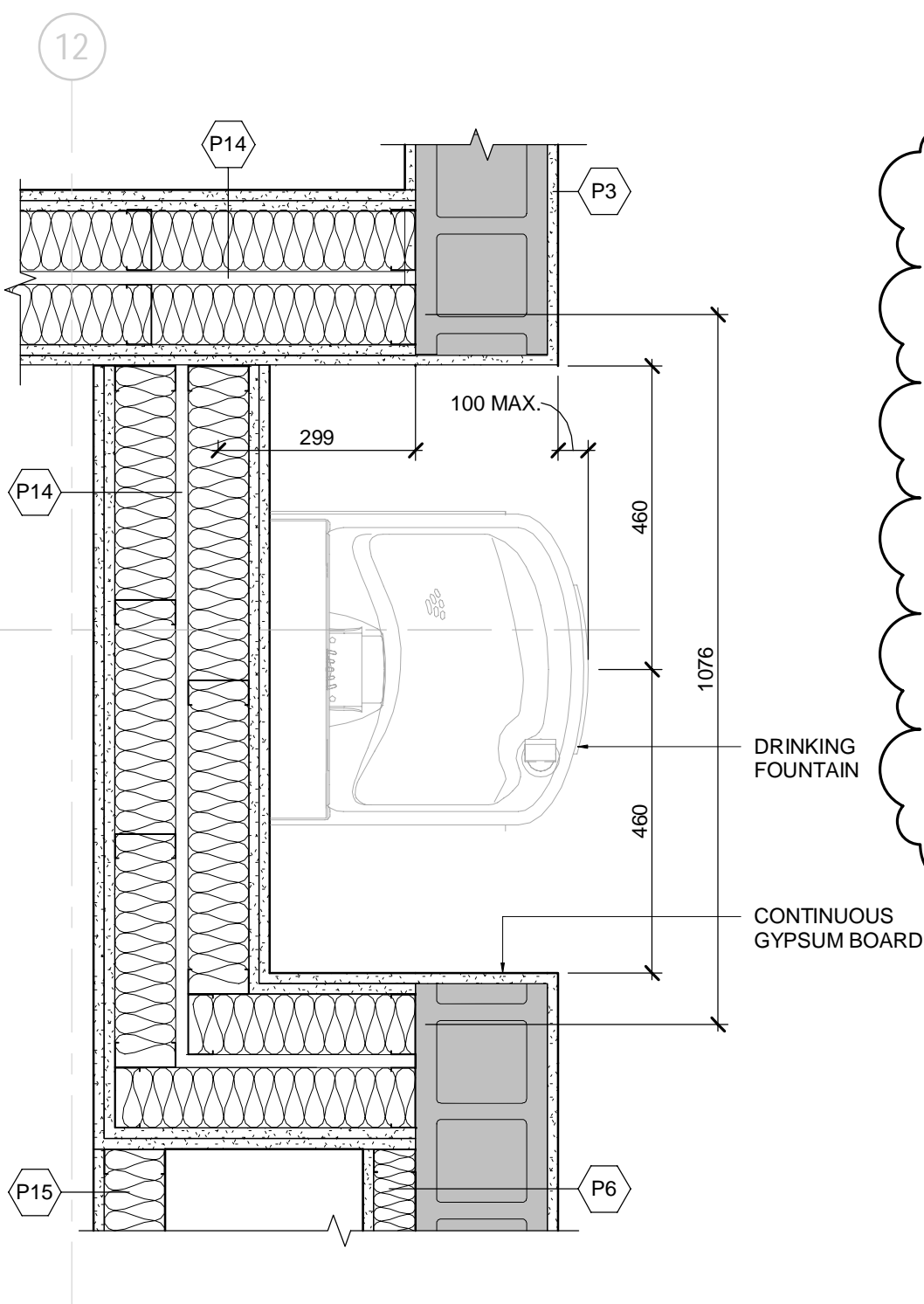
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A44  
**DETAIL - PIPE CHASE**  
SCALE : 1 : 10



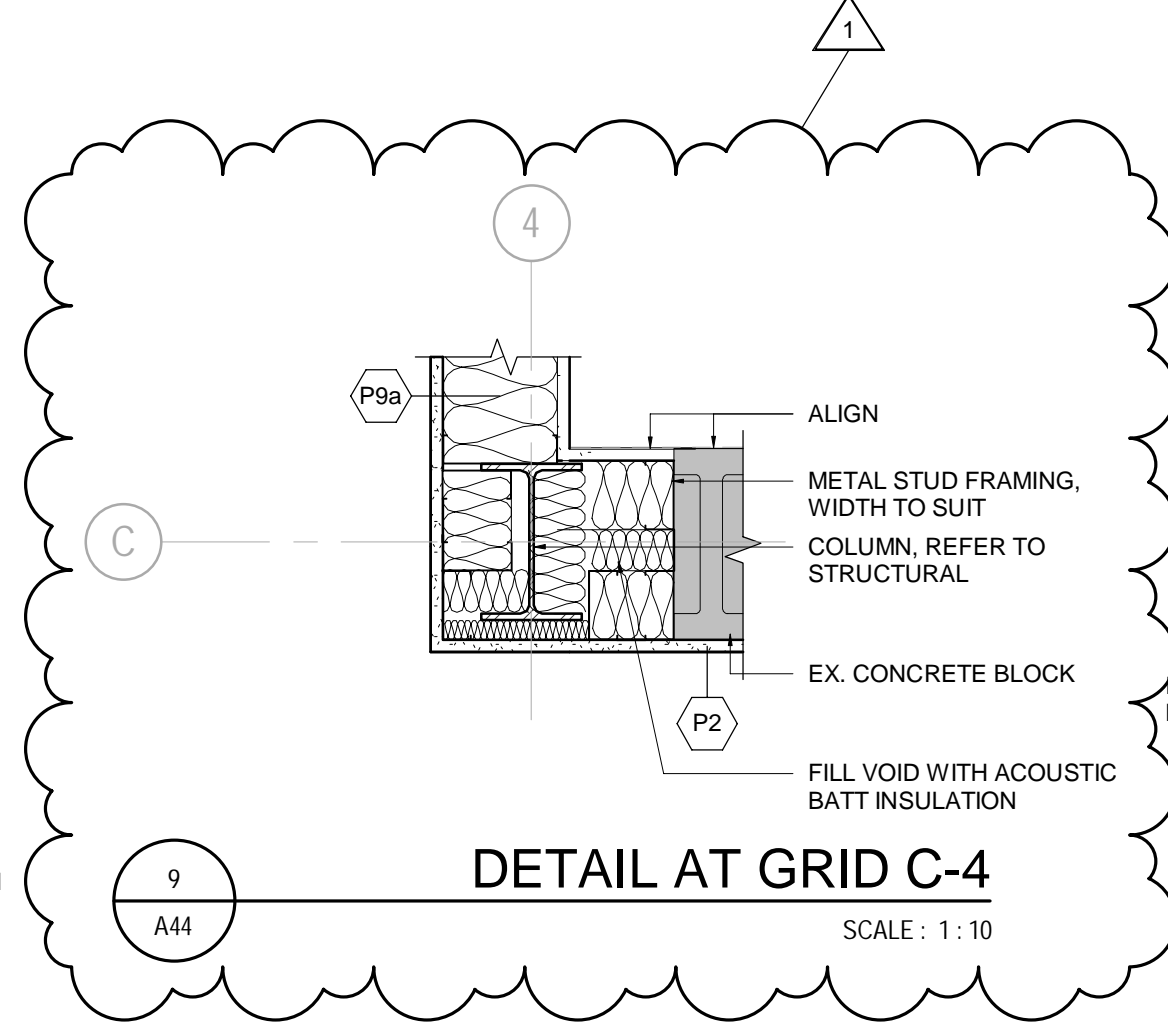
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A44  
**DETAIL - PIPE CHASE**  
SCALE : 1 : 10



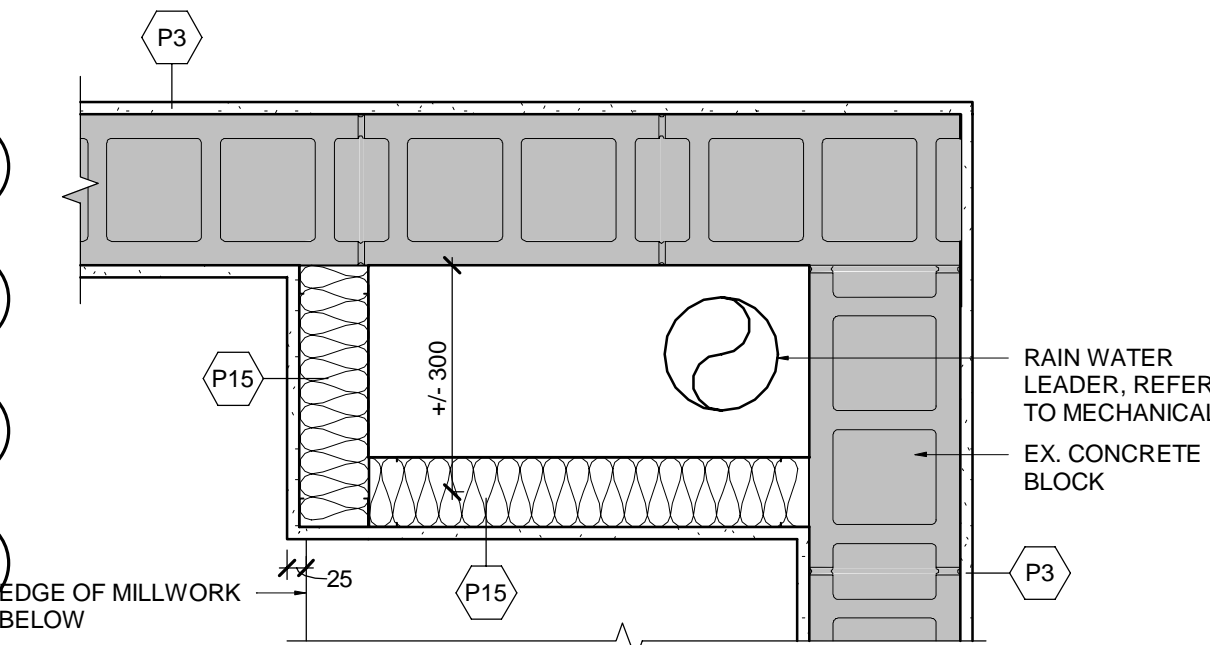
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A44  
**DETAIL - PIPE CHASE**  
SCALE : 1 : 10



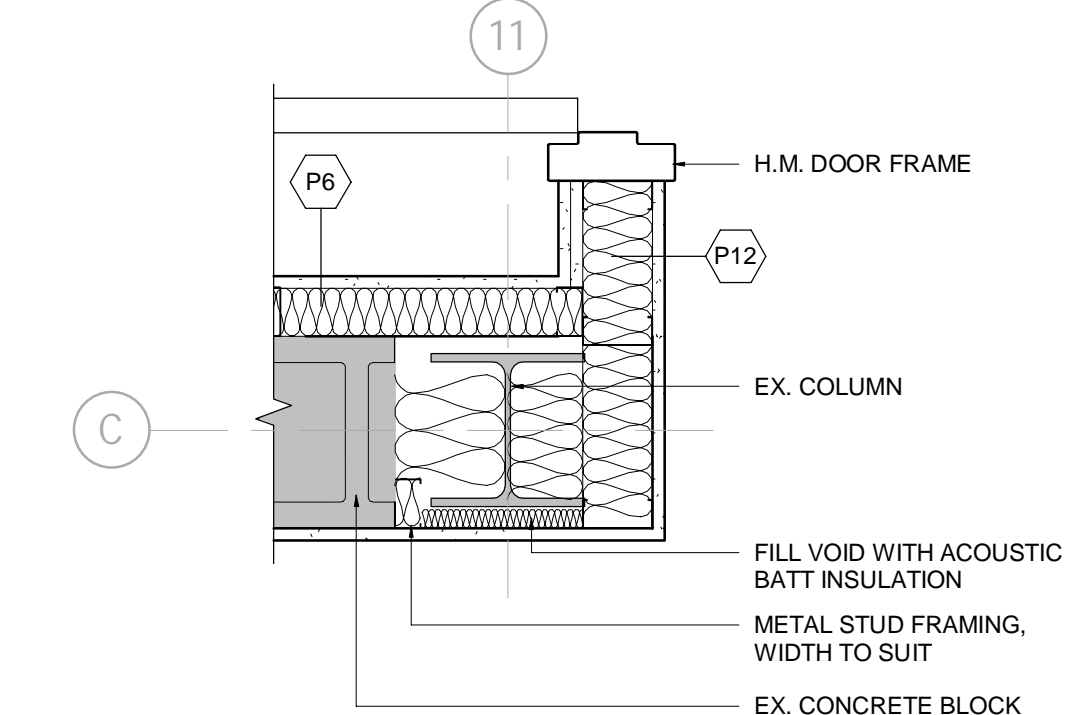
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A44  
**DETAIL  
DRINKING FOUNTAIN**  
SCALE : 1 : 10



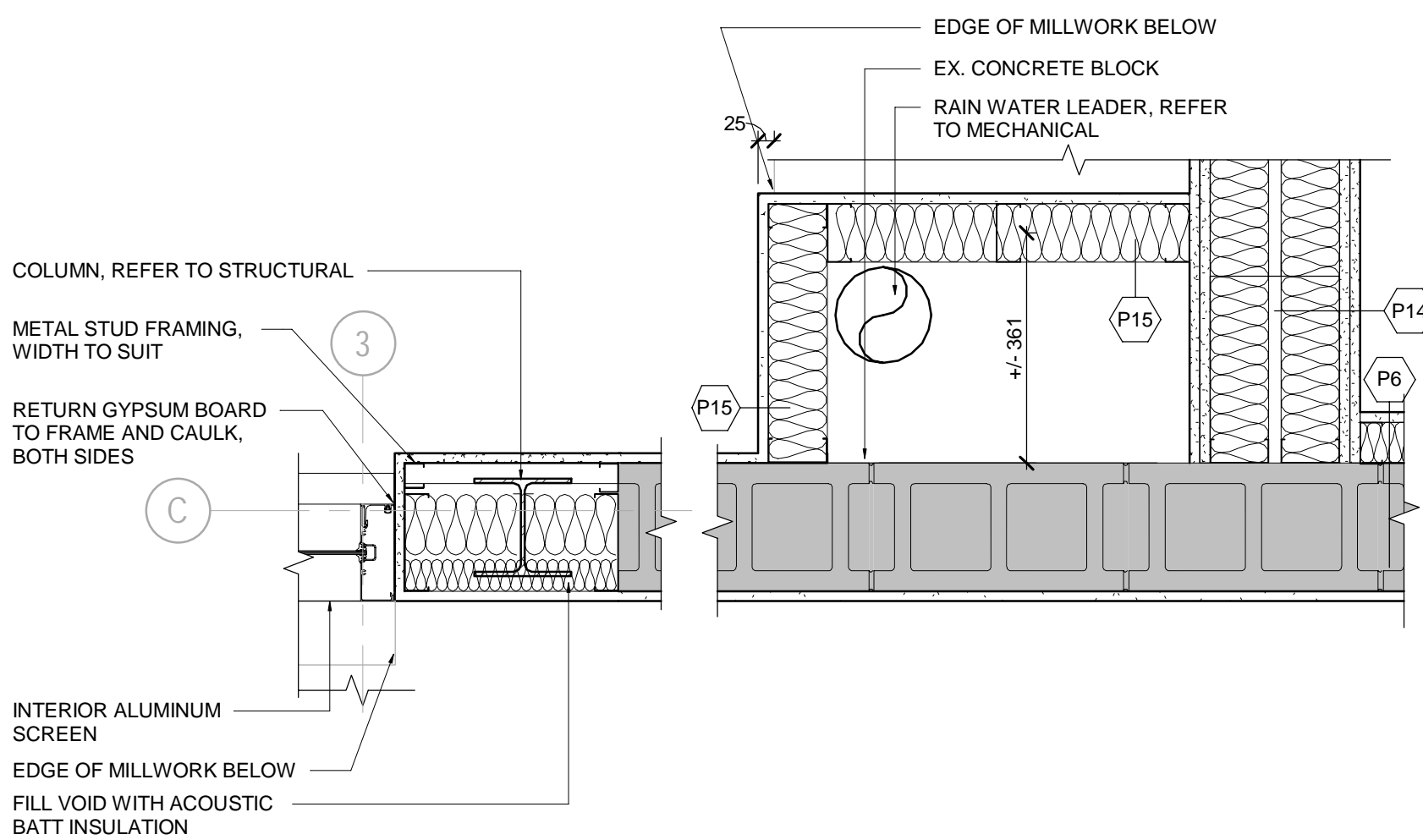
9  
A44  
**DETAIL AT GRID C-4**  
SCALE : 1 : 10



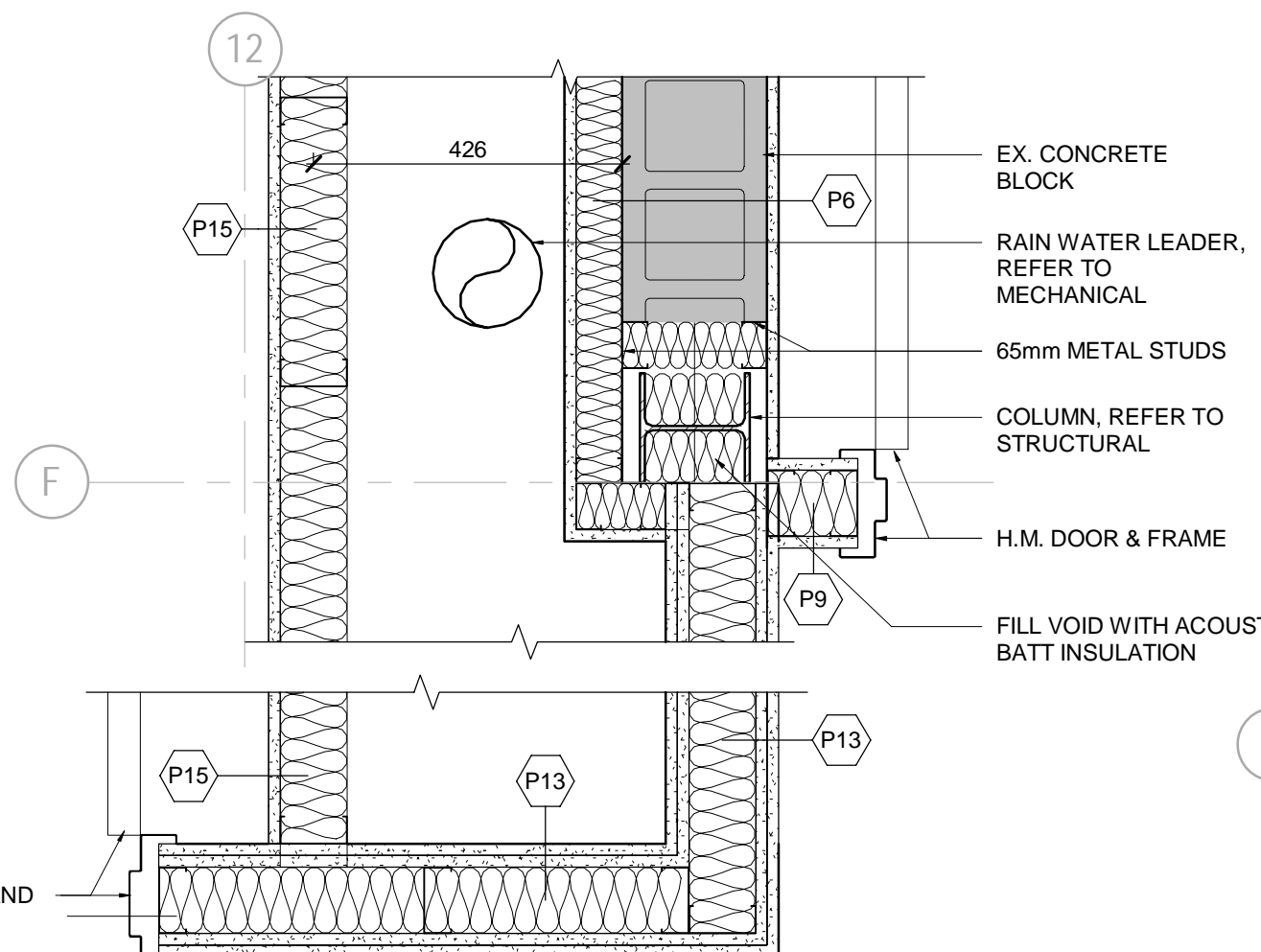
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**DETAIL - PIPE CHASE**  
SCALE : 1 : 10



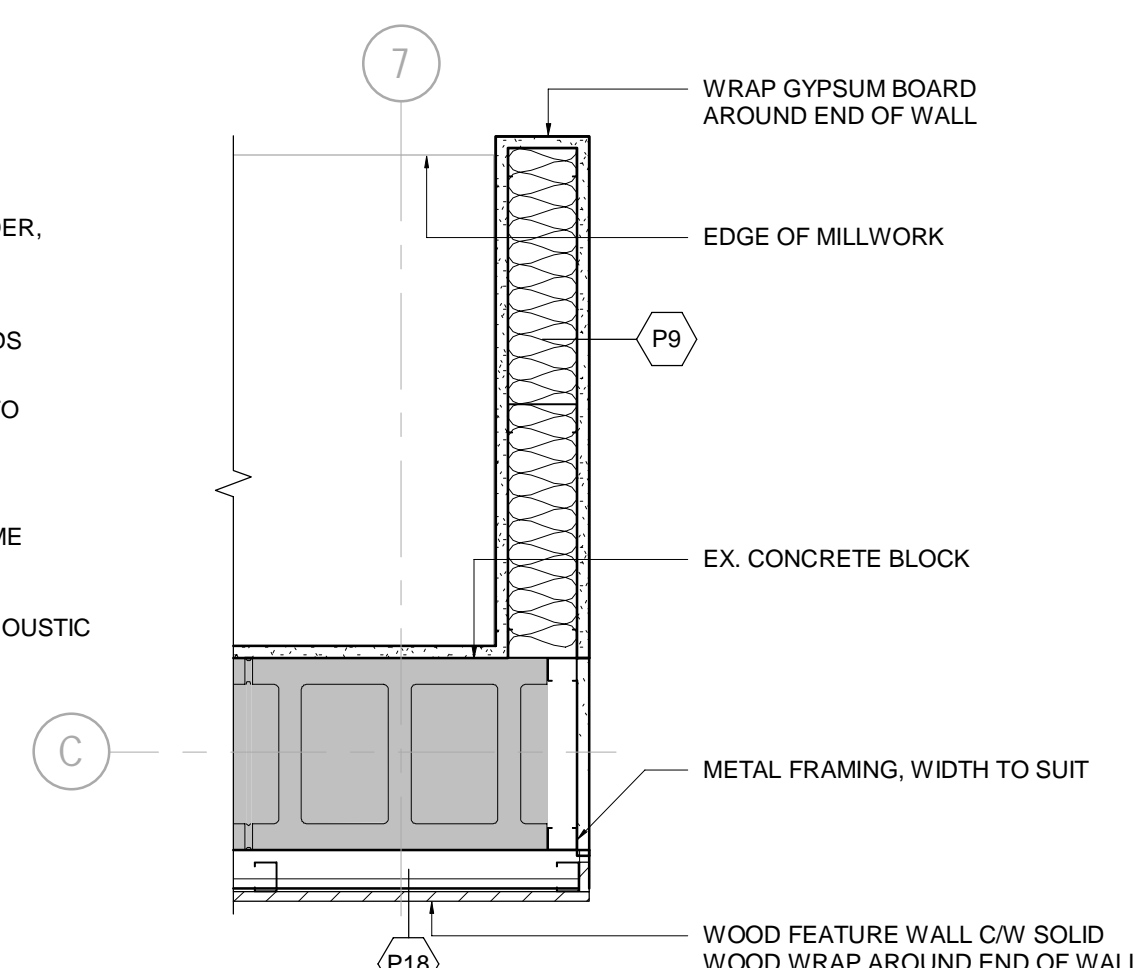
11  
A44  
**DETAIL AT COLUMN INFILL**  
SCALE : 1 : 10



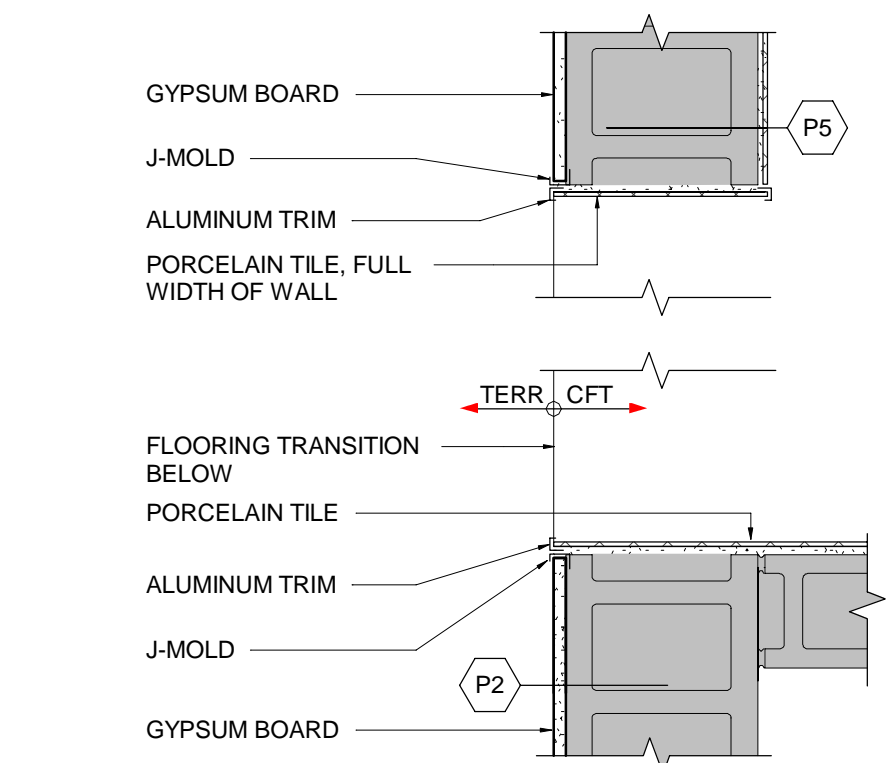
12  
A44  
**DETAIL AT COLUMN INFILL**  
SCALE : 1 : 10



13  
A44  
**DETAIL - PIPE CHASE**  
SCALE : 1 : 10



14  
A44  
**DETAIL - CORRIDOR C107**  
SCALE : 1 : 10



15  
A44  
**DETAIL - WR OPENING**  
SCALE : 1 : 10

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Orientation

Seal

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ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
PLAN DETAILS**

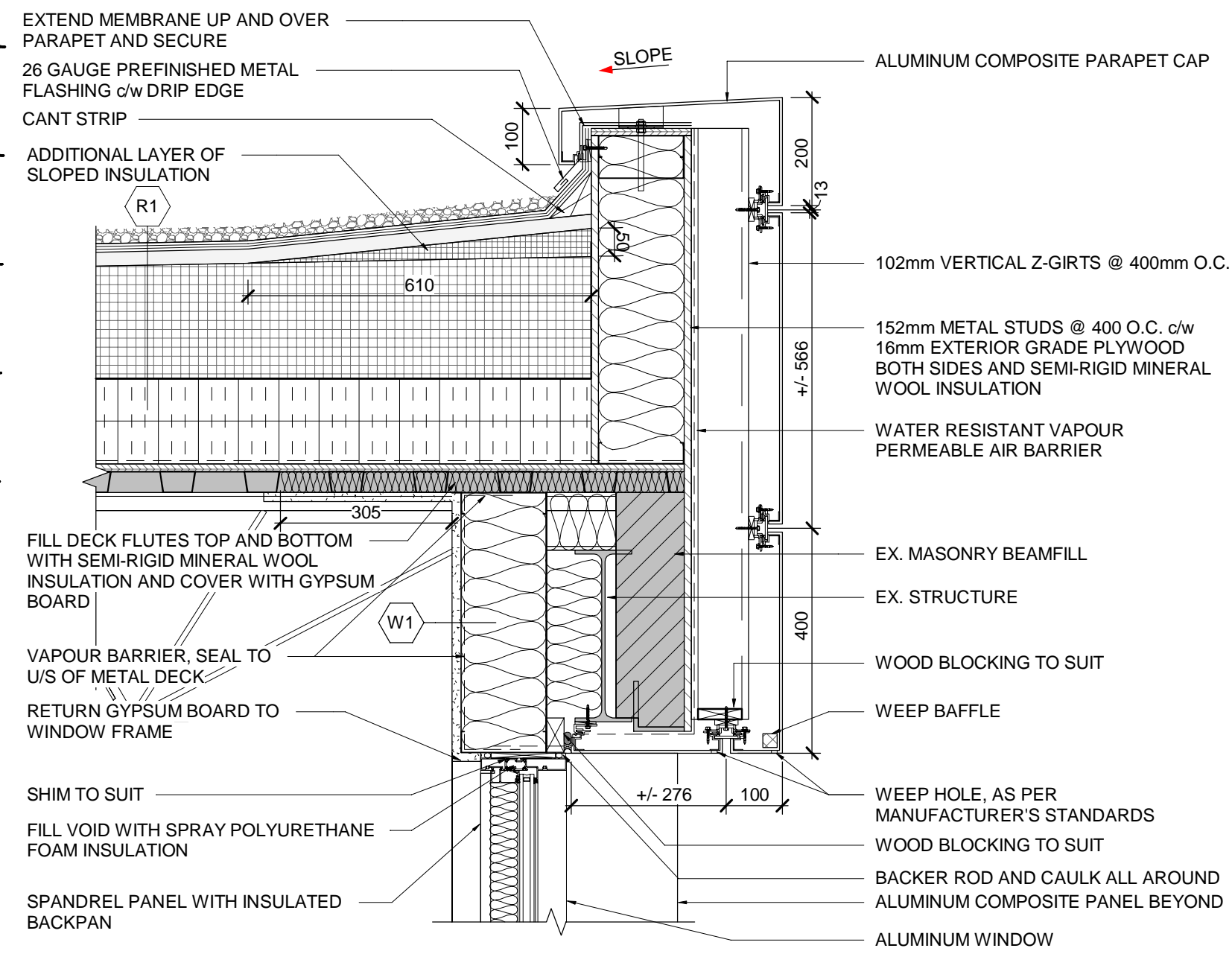
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A44</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

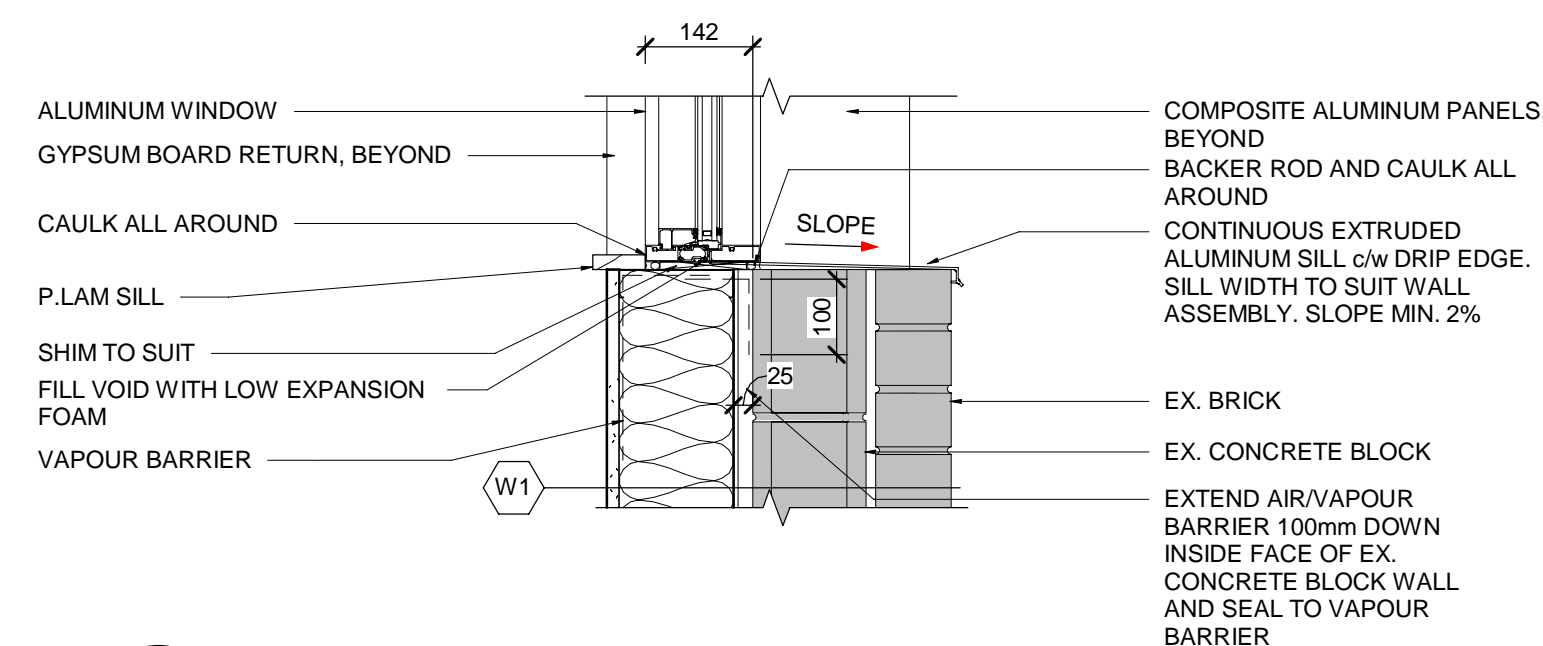


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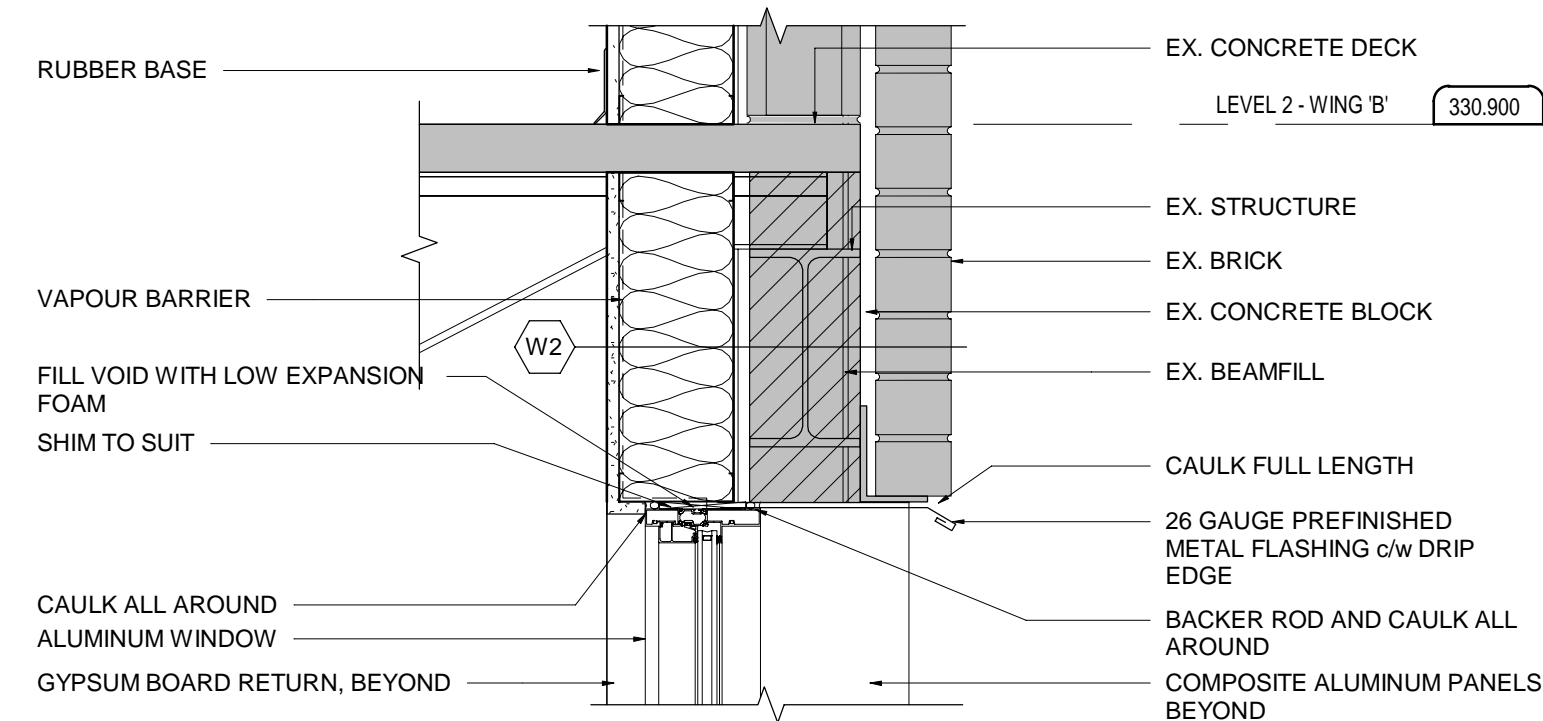
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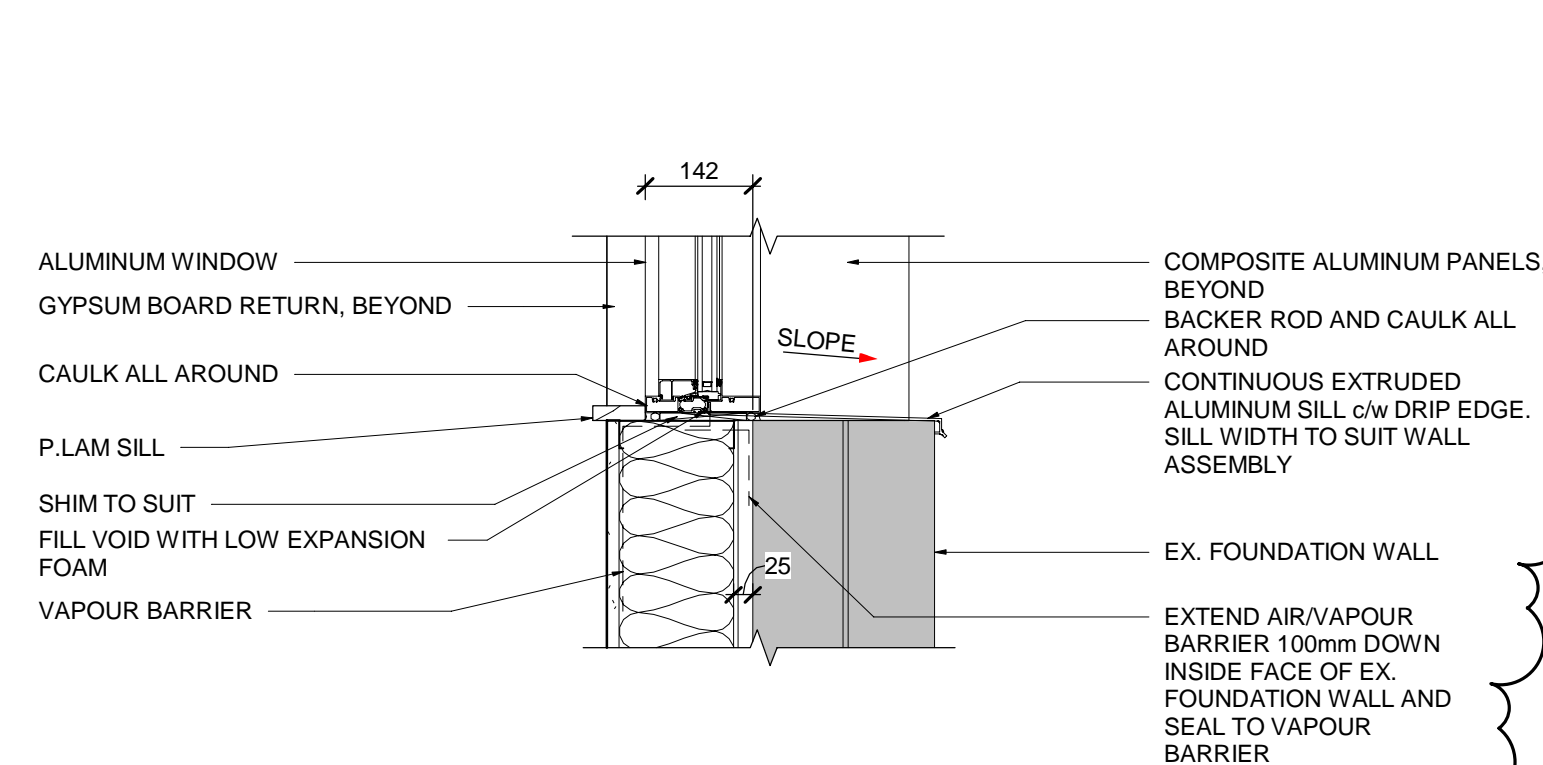
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SCALE: 1:10



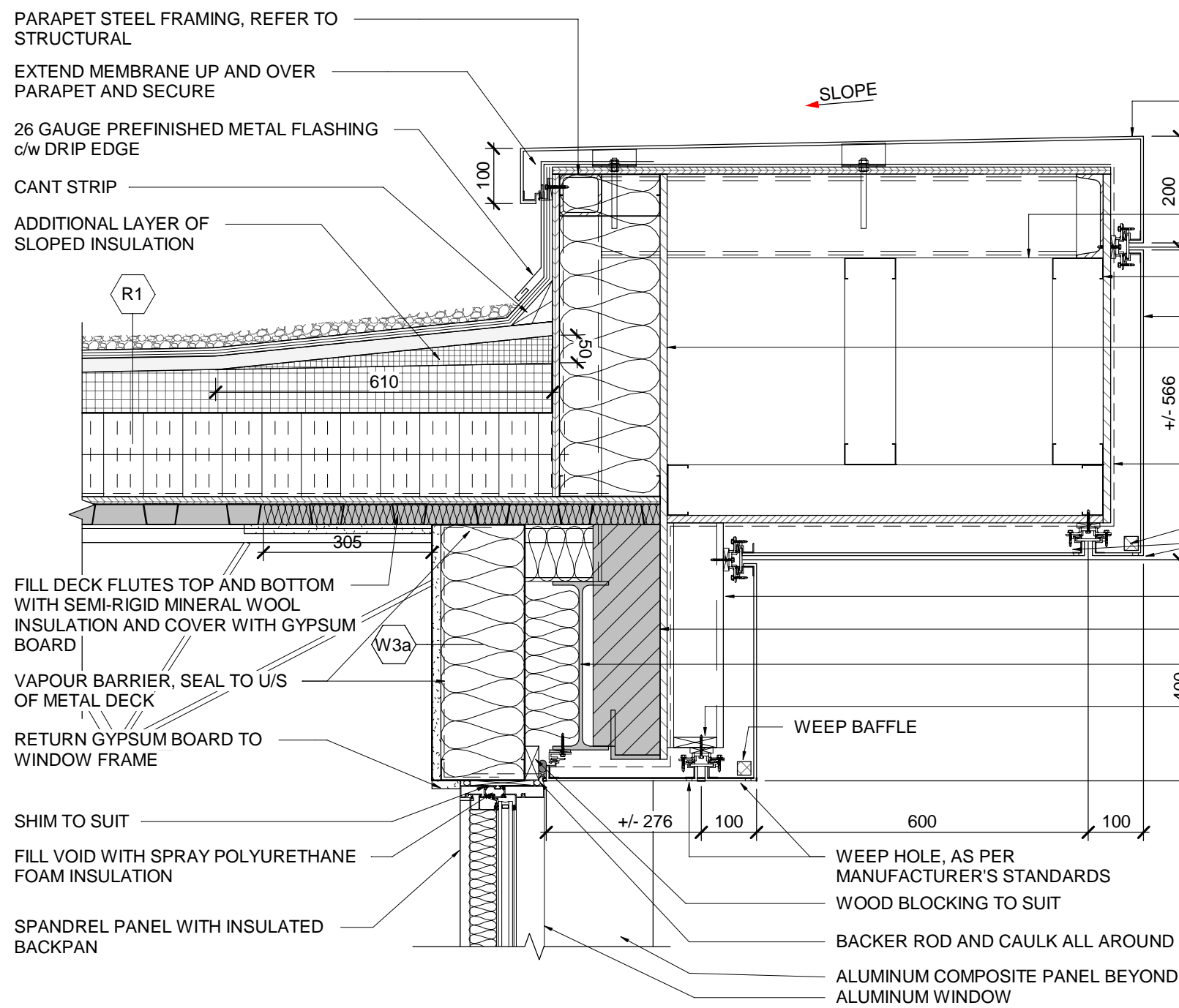
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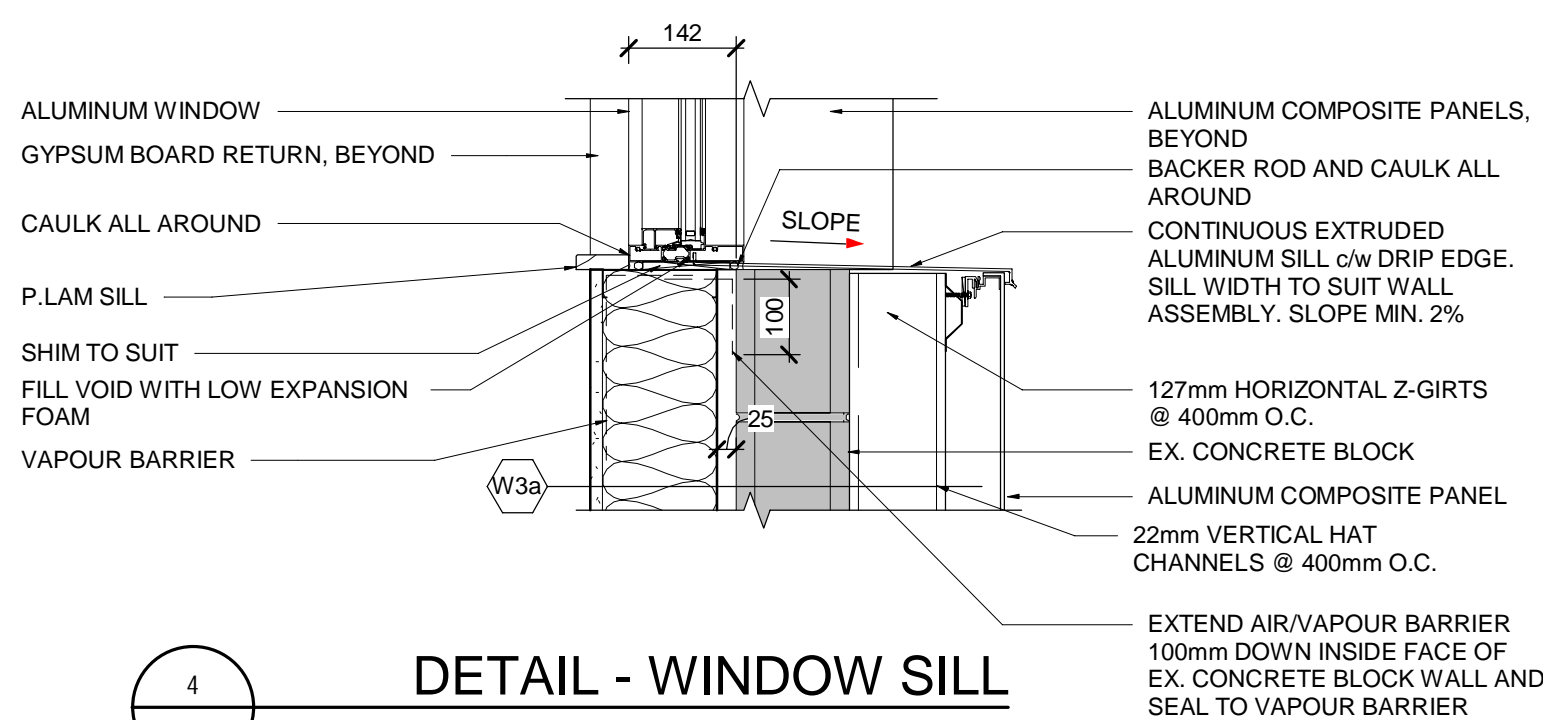
DETAIL - WINDOW SILL

SCALE: 1:10



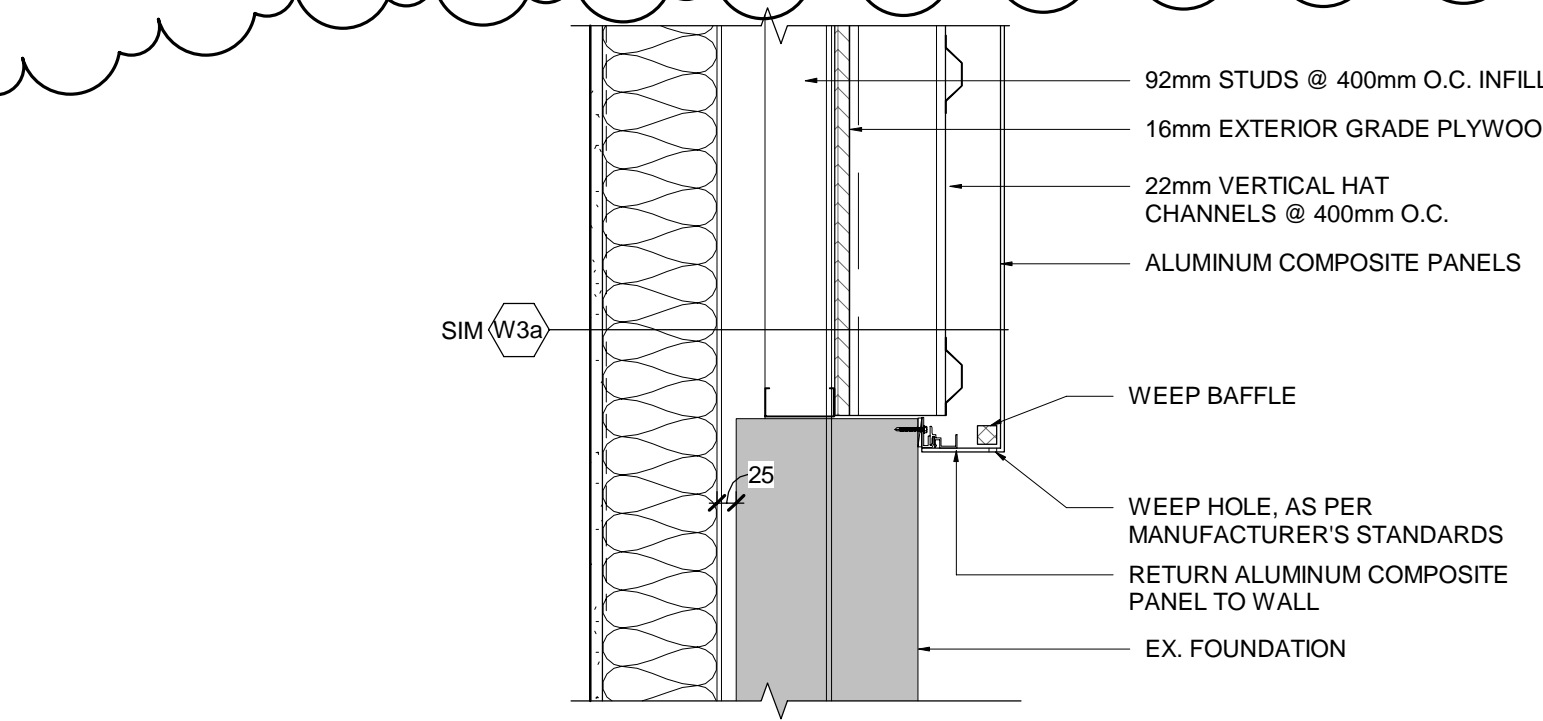
DETAIL - PARAPET

SCALE: 1:10



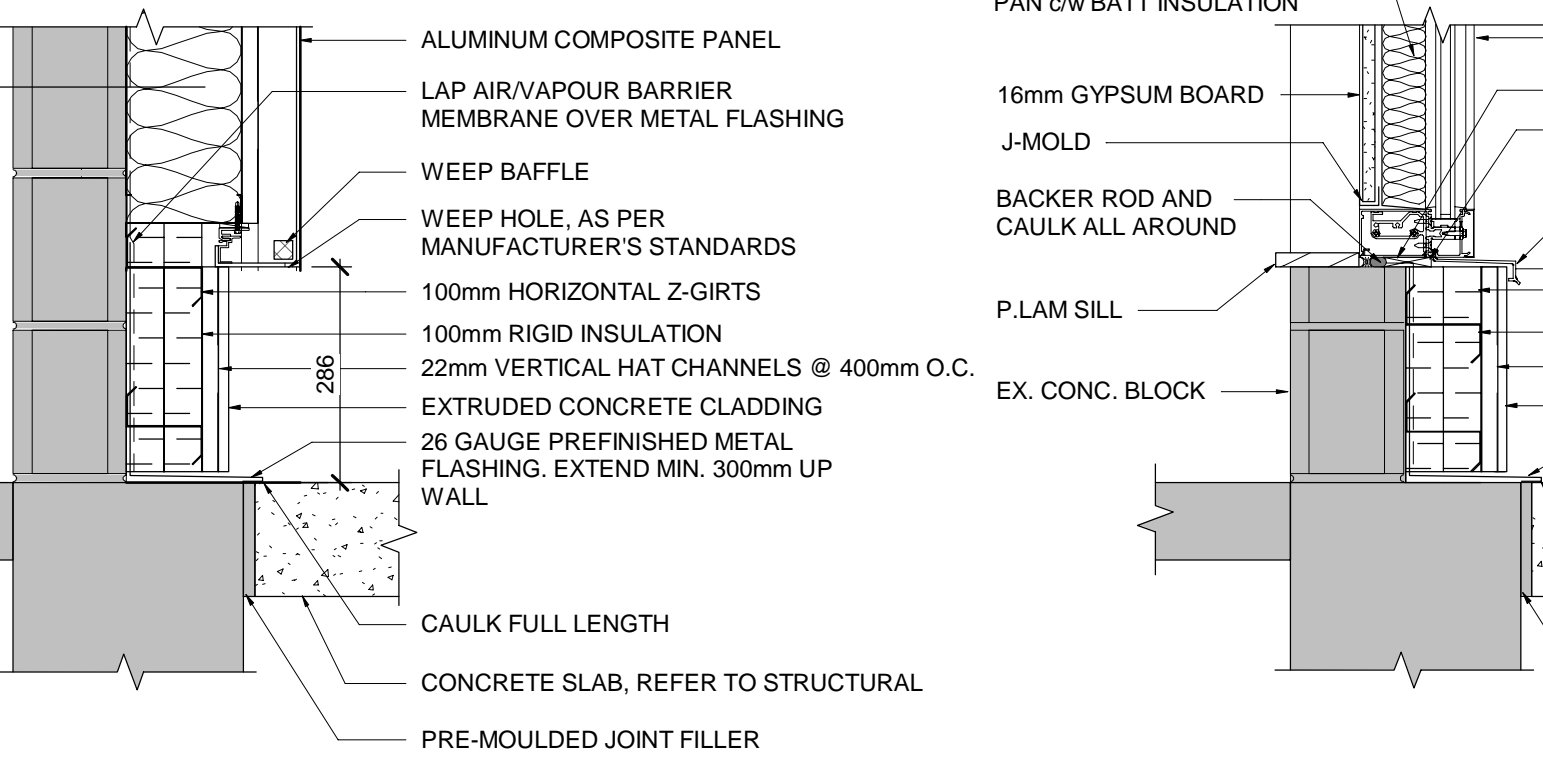
DETAIL - WINDOW SILL

SCALE: 1:10



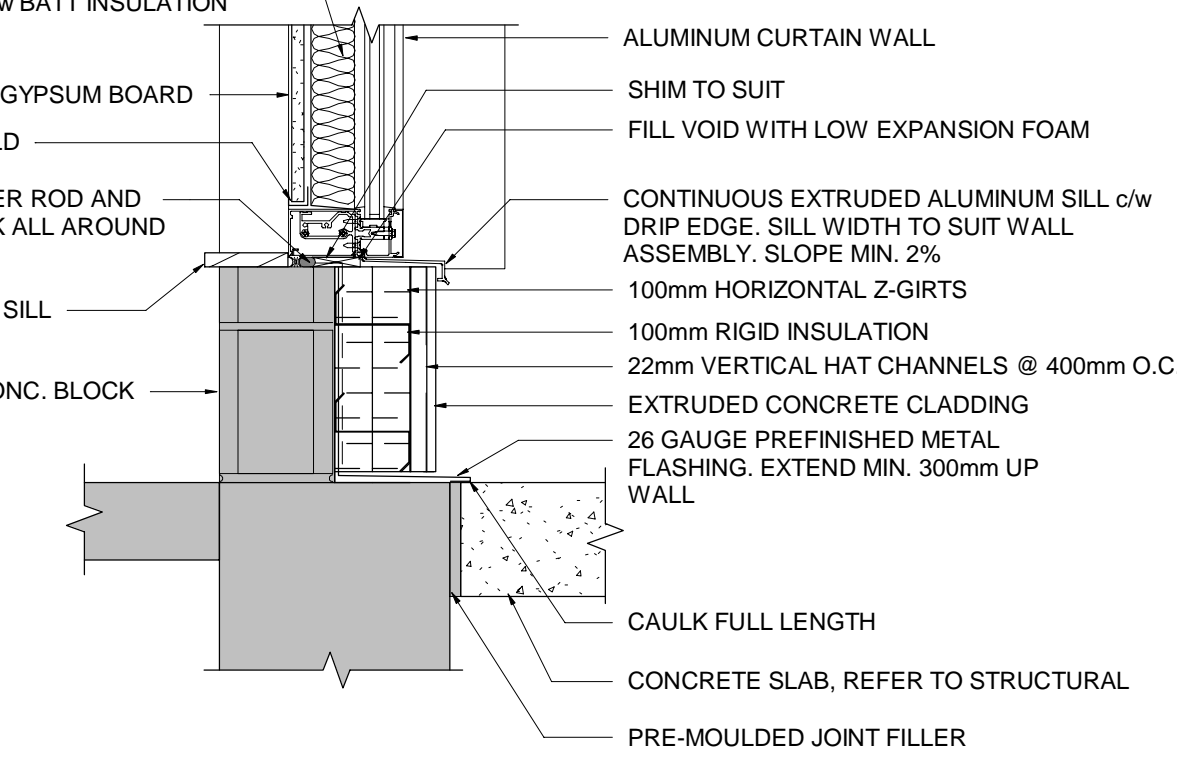
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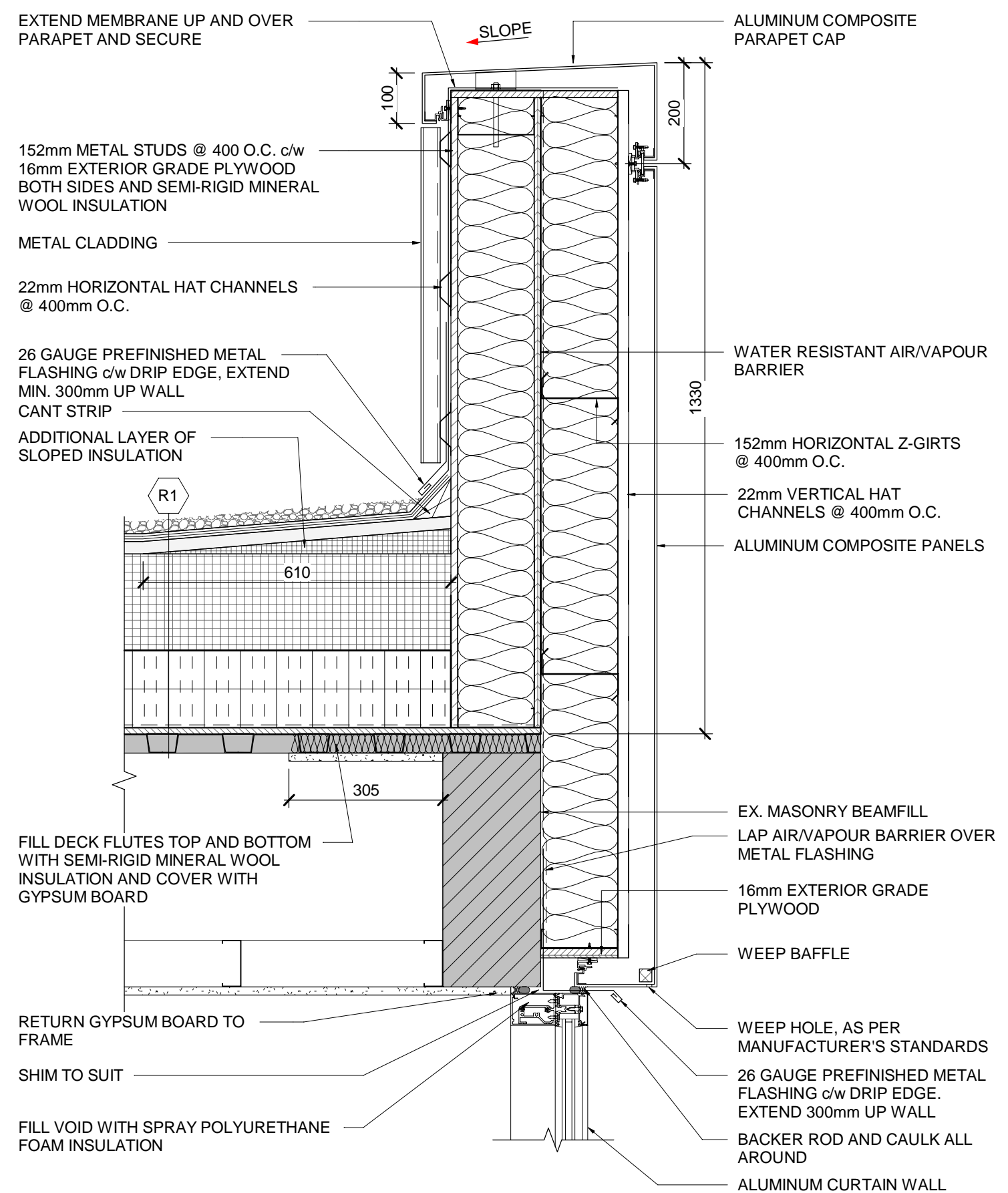
DETAIL - ACP

SCALE: 1:10



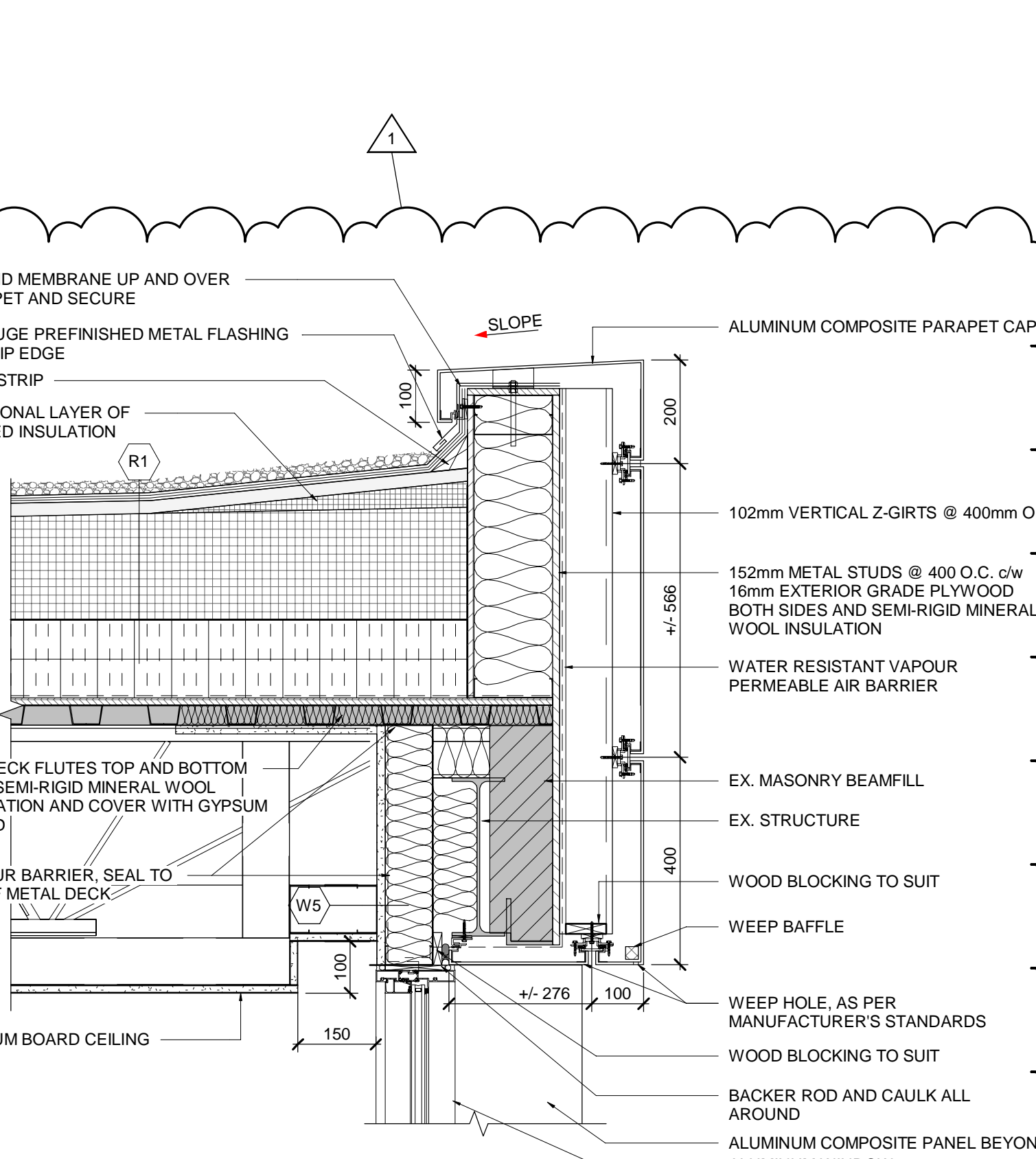
DETAIL - CURTAIN WALL

SCALE: 1:10



DETAIL - PARAPET

SCALE: 1:10



DETAIL - PARAPET

SCALE: 1:10

NOTES:

- CONTRACTOR TO SEAL AND MAKE WEATHER TIGHT ALL PENETRATIONS THROUGH ALUMINUM COMPOSITE PANELS.

DO NOT SCALE DRAWINGS:

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A	A = Detail number
B	B = Drawing number where detailed

1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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Design, Engineering & Construction  
Physical Resources  
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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
SECTION DETAILS**

Project No.  
**504034**

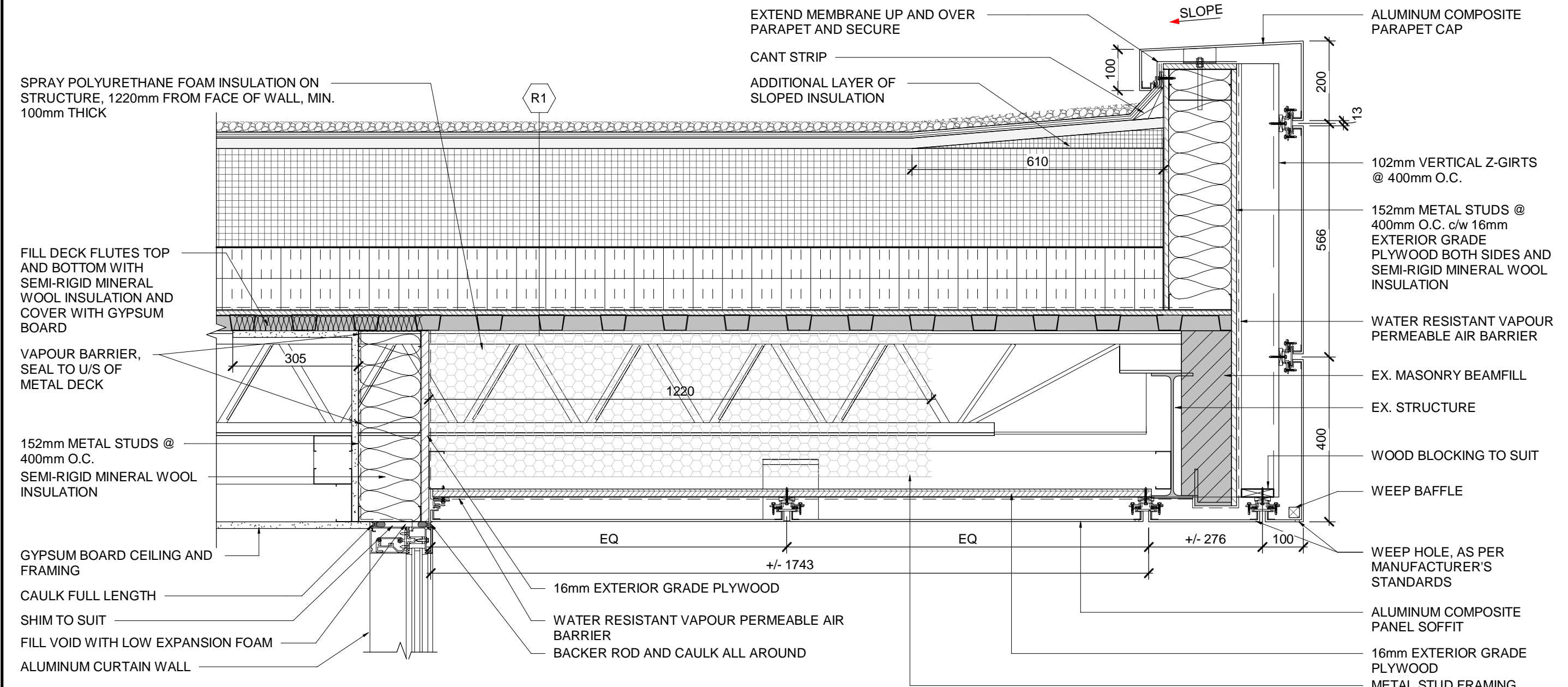
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A45</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

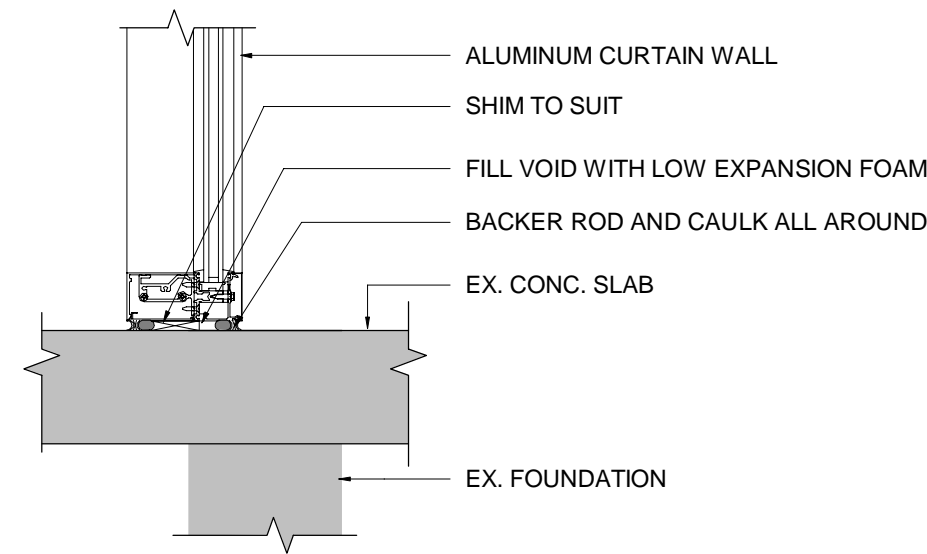
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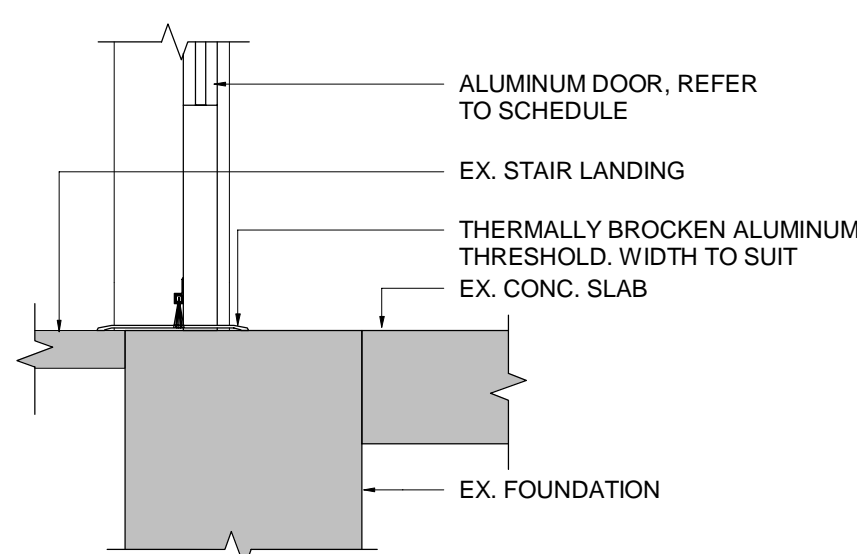
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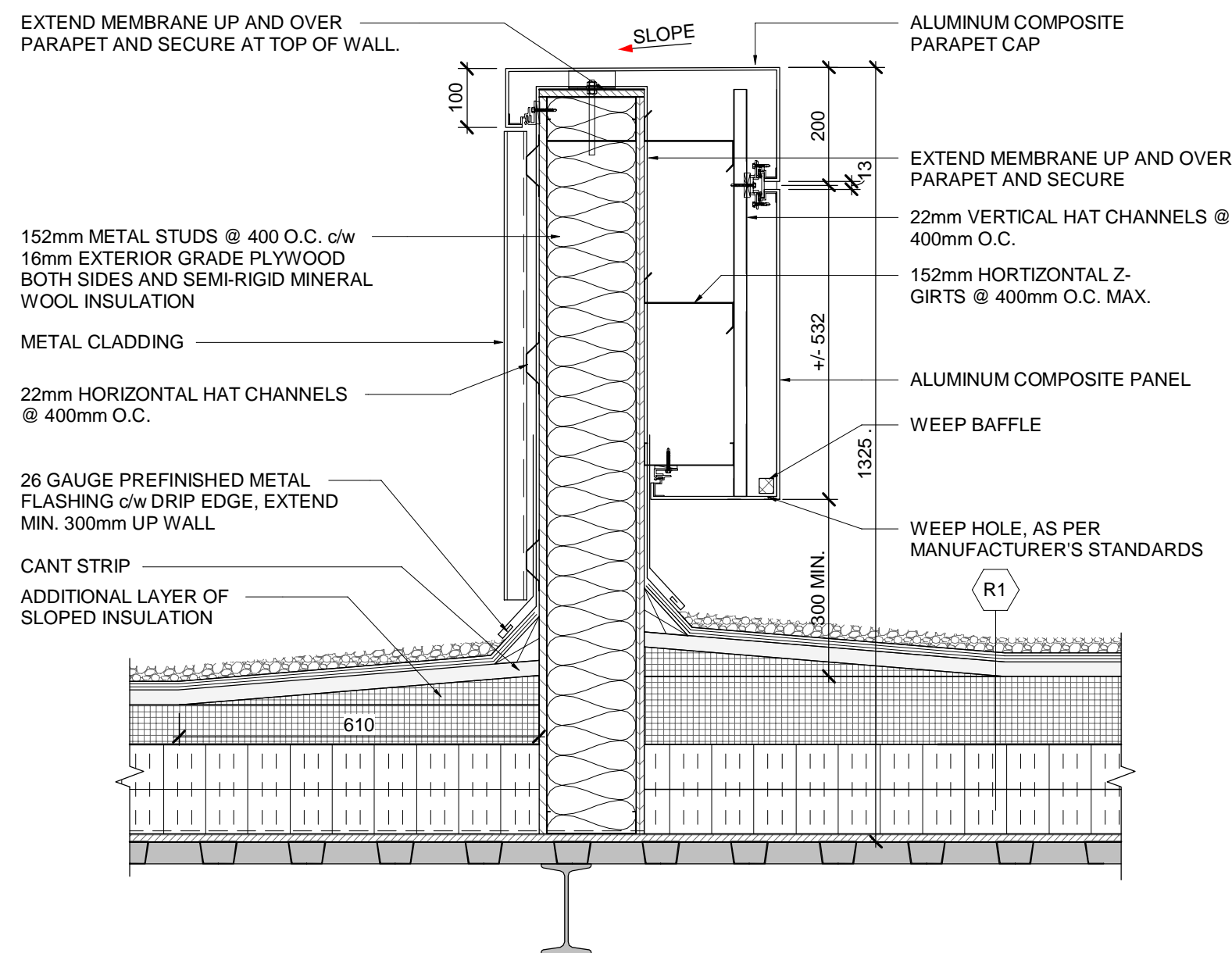
1  
A46  
**DETAIL - SOFFIT AT C100**  
SCALE: 1:10



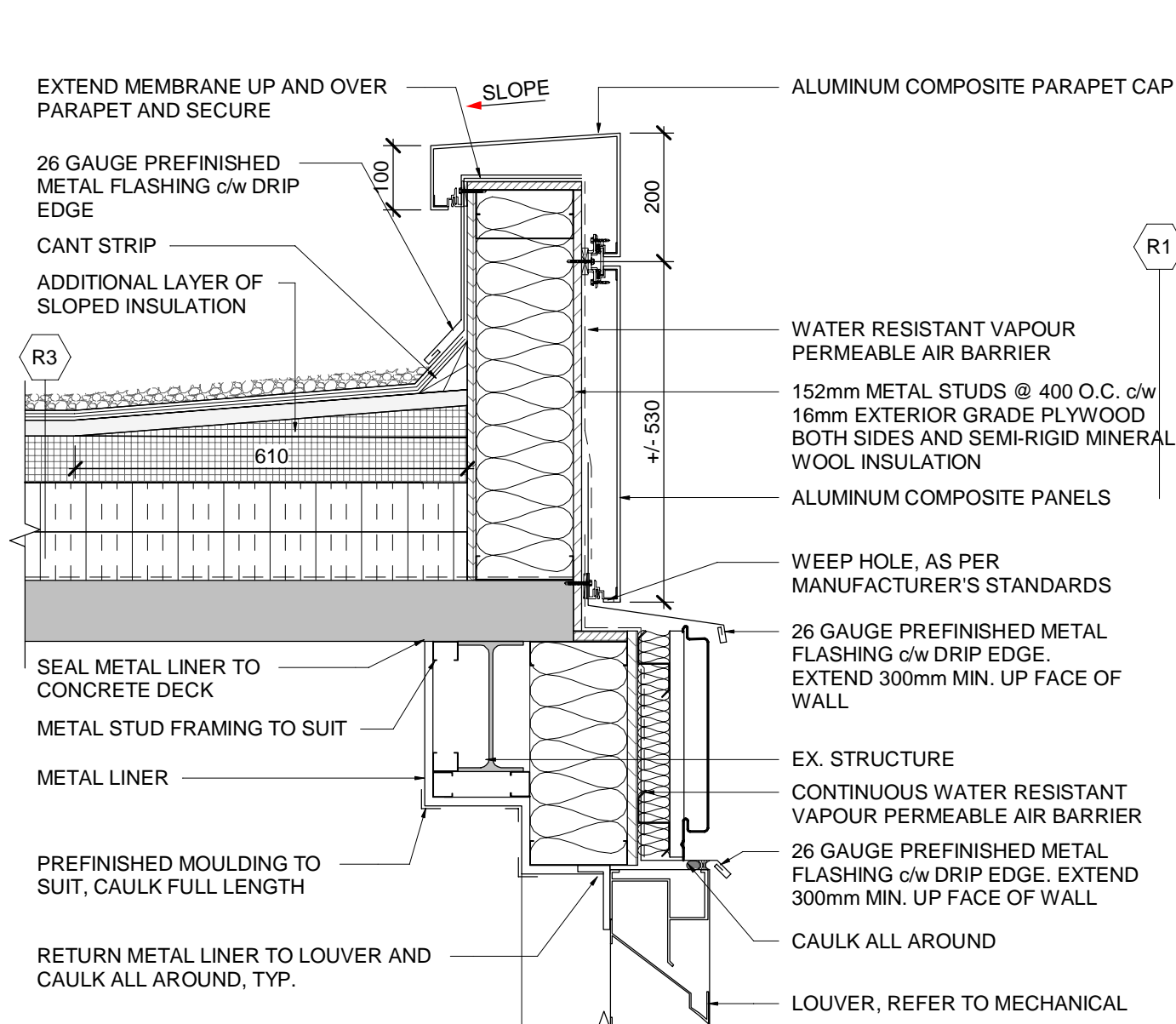
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A46  
**DETAIL CURTAIN WALL SILL**  
SCALE: 1:10



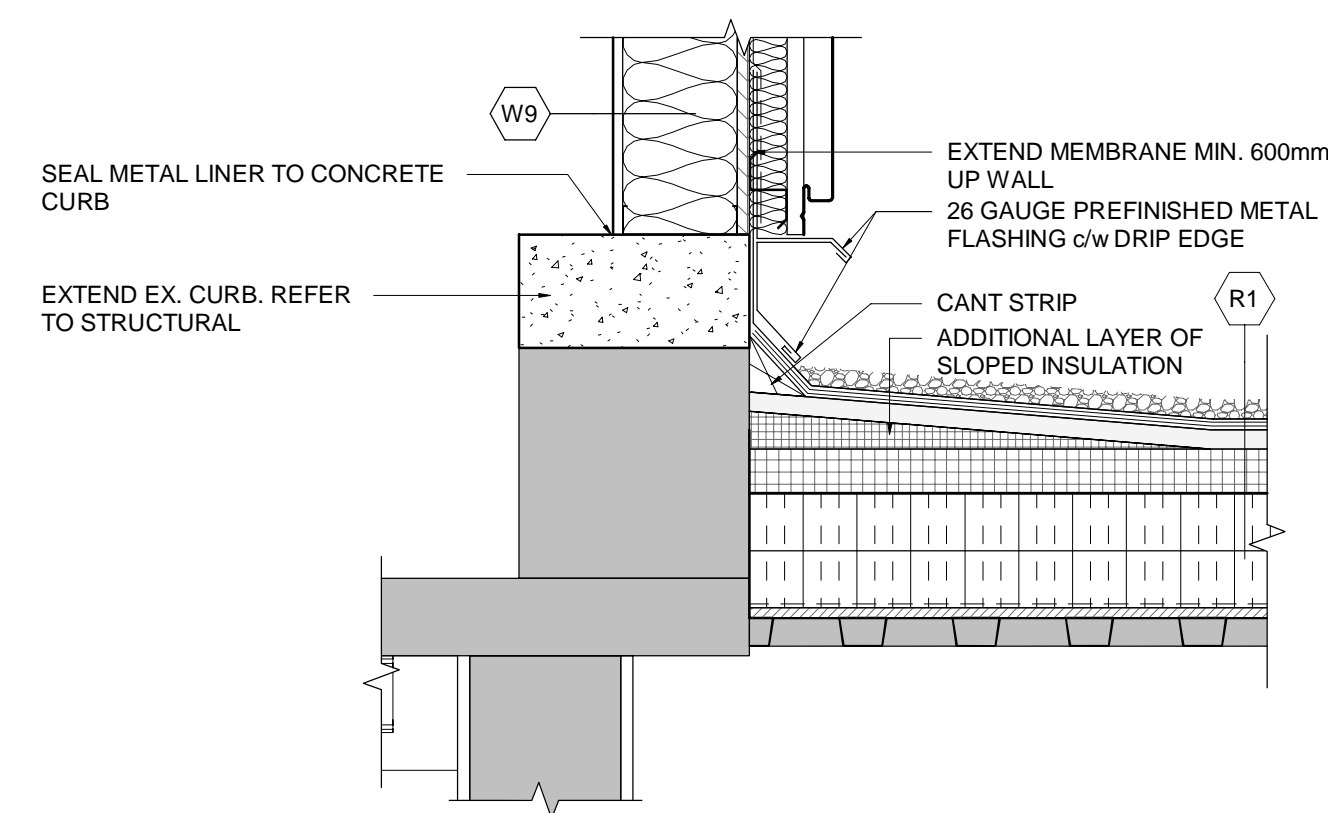
5  
A46  
**DETAIL CURTAIN WALL THRESHOLD**  
SCALE: 1:10



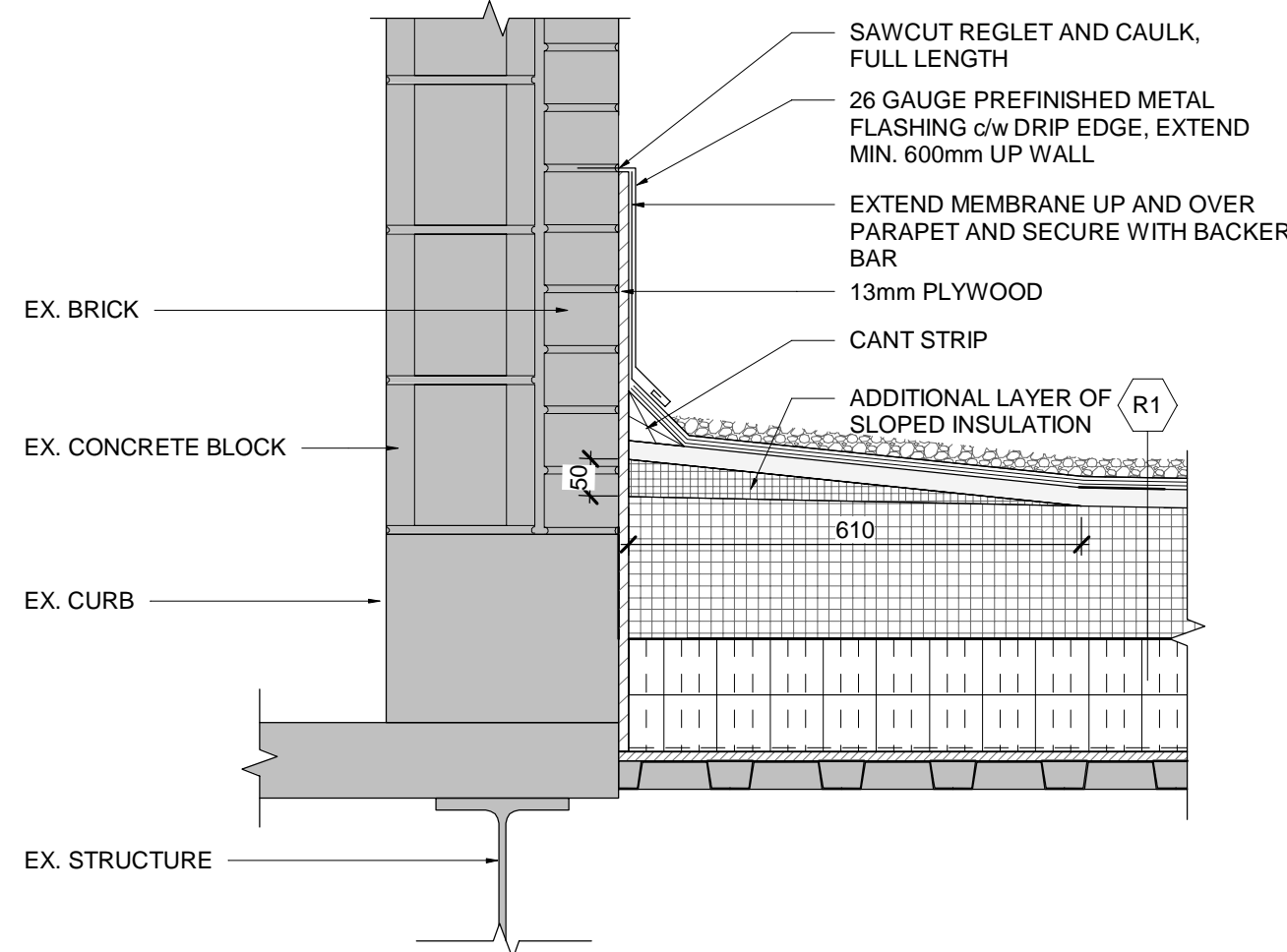
8  
A46  
**DETAIL - PARAPET**  
SCALE: 1:10



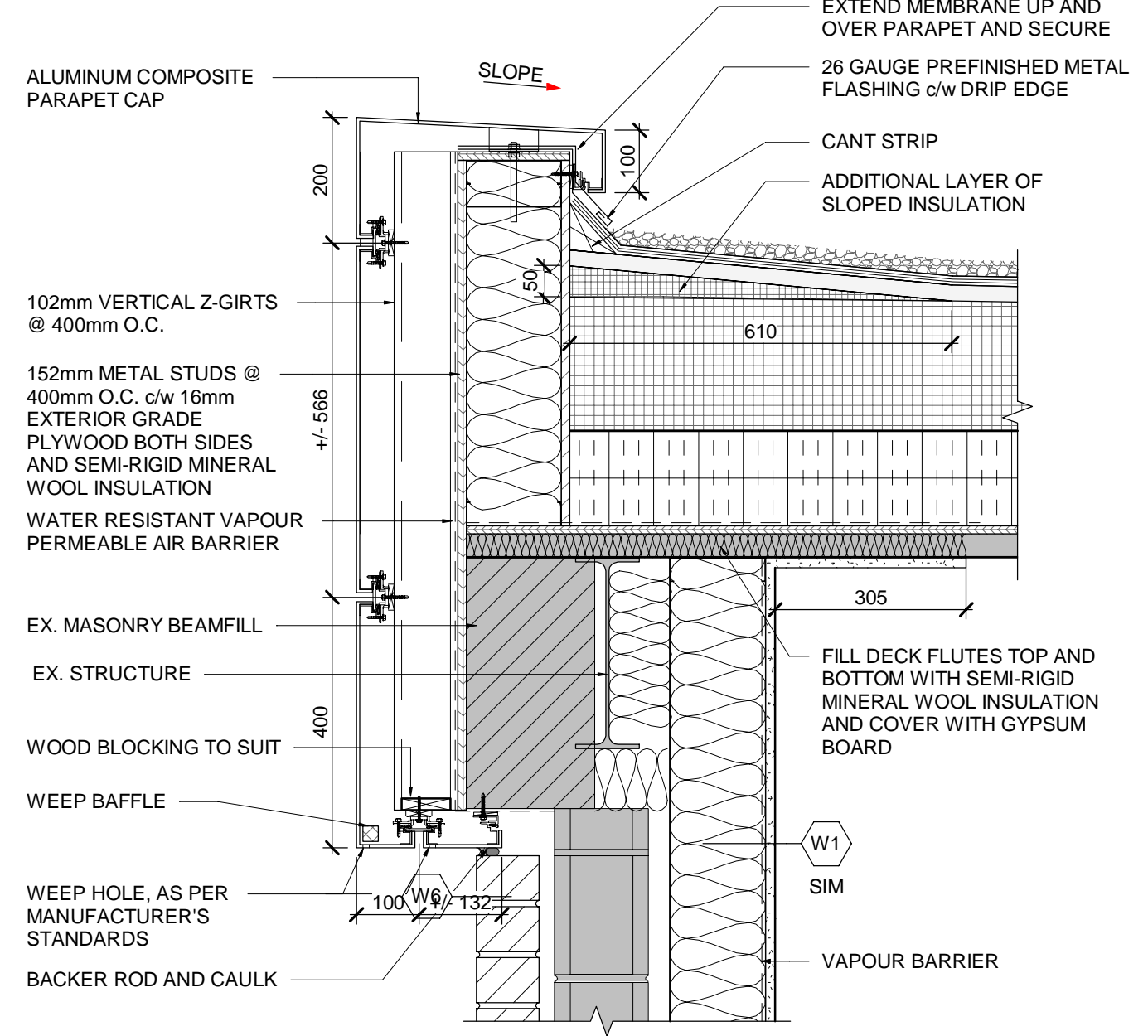
2  
A46  
**DETAIL - PENTHOUSE PARAPET**  
SCALE: 1:10



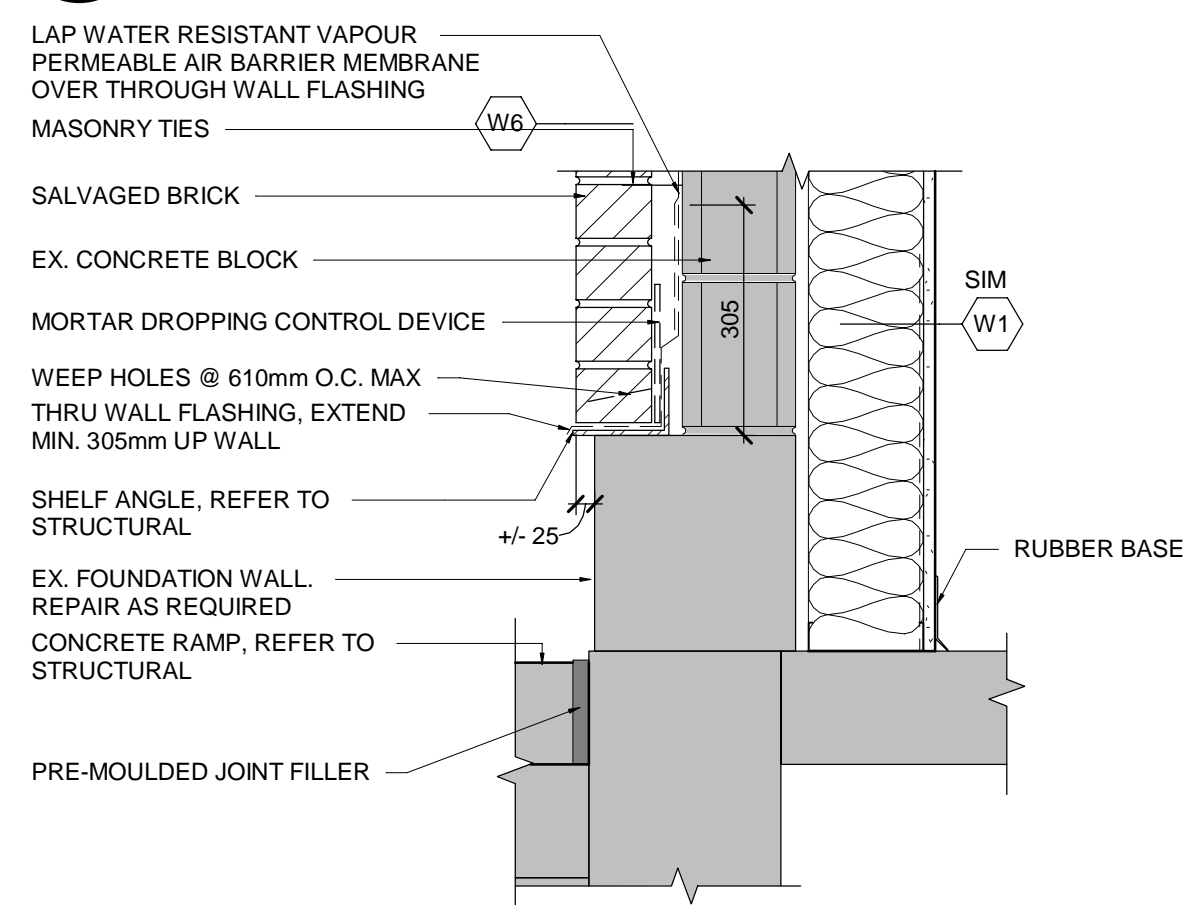
6  
A46  
**DETAIL - PENTHOUSE SILL**  
SCALE: 1:10



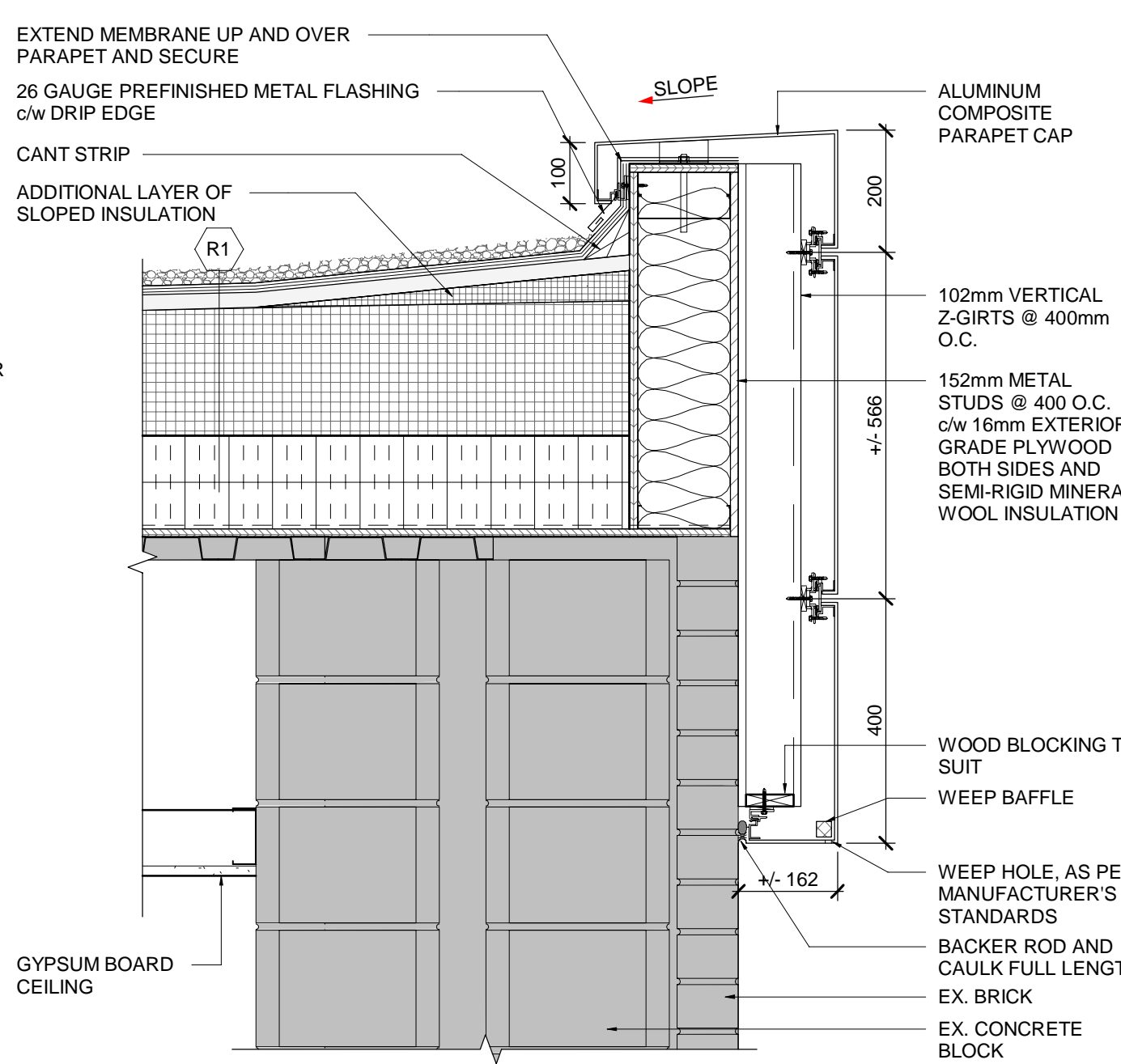
9  
A46  
**DETAIL - PENTHOUSE BASE**  
SCALE: 1:10



3  
A46  
**DETAIL - PARAPET**  
SCALE: 1:10



7  
A46  
**DETAIL - BRICK**  
SCALE: 1:10



10  
A46  
**DETAIL - PARAPET**  
SCALE: 1:10

#### NOTES:

- CONTRACTOR TO SEAL AND MAKE WEATHER TIGHT ALL PENETRATIONS THROUGH ALUMINUM COMPOSITE PANELS.

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A	A = Detail number
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1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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Guelph, Ontario, N1G 2W1

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**J.R. J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL SECTION DETAILS**

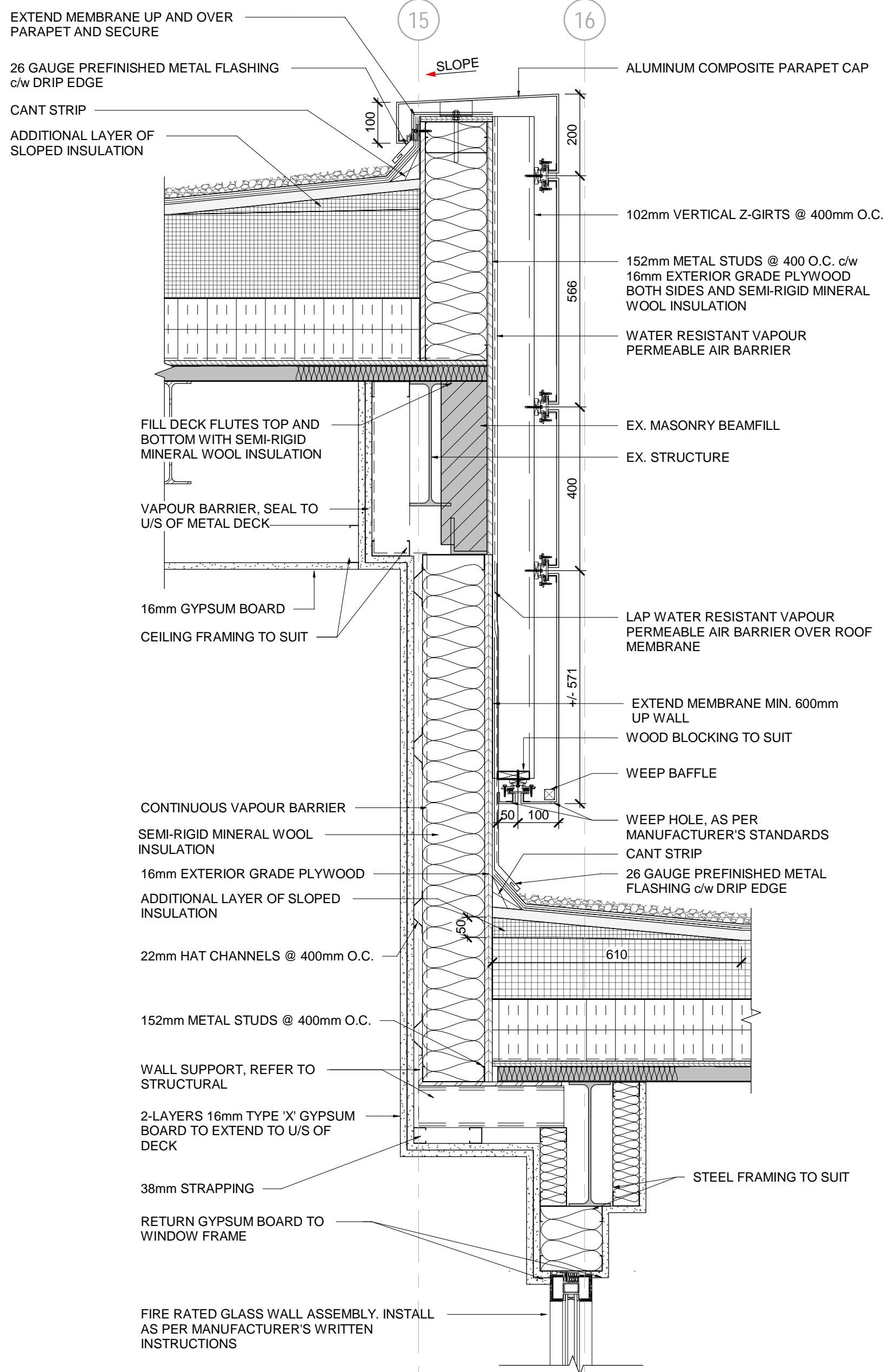
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

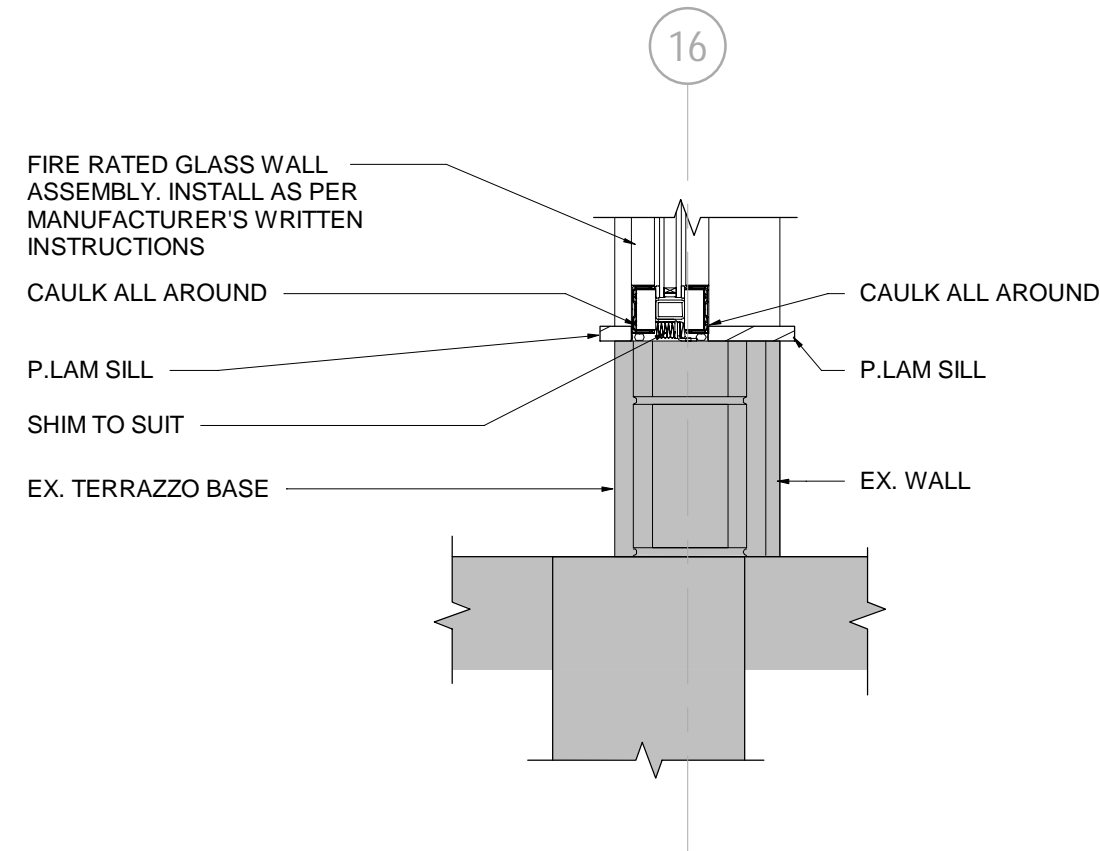
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A46</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:57:14 AM

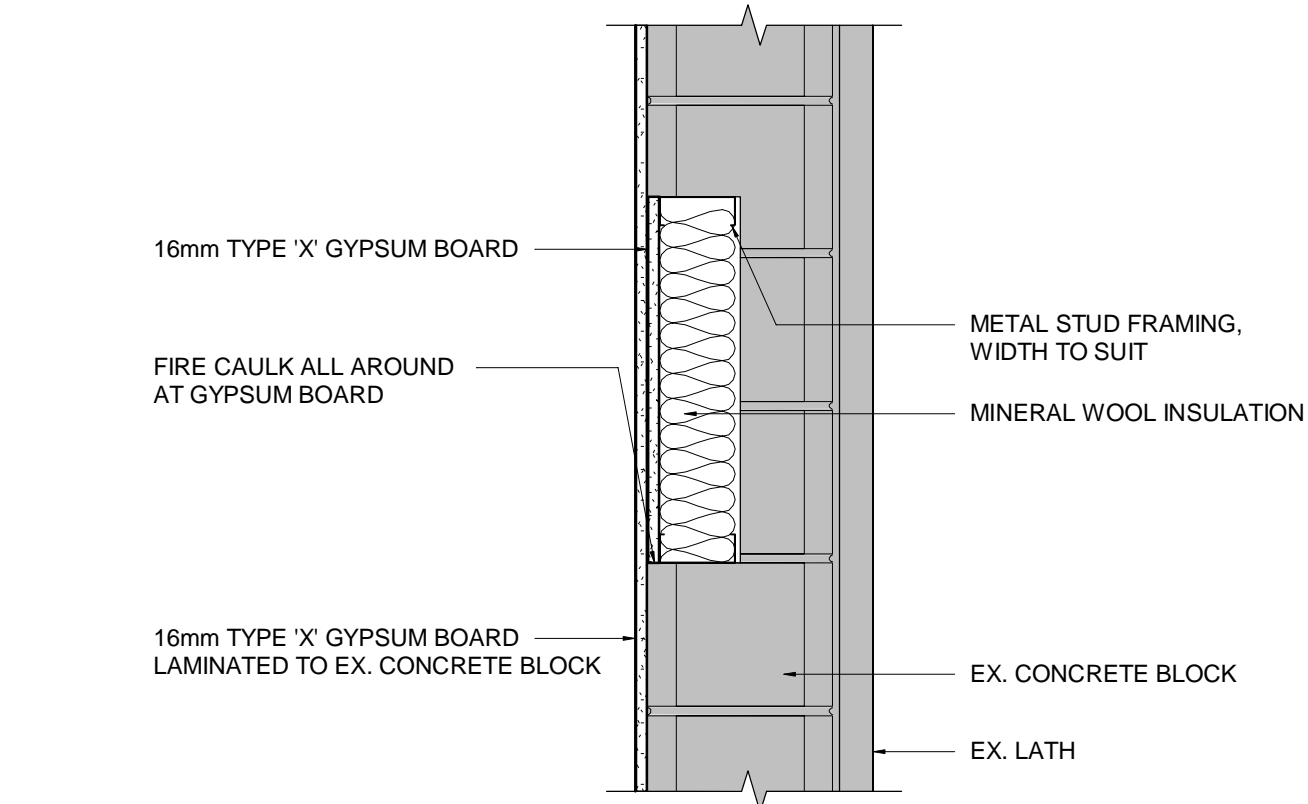




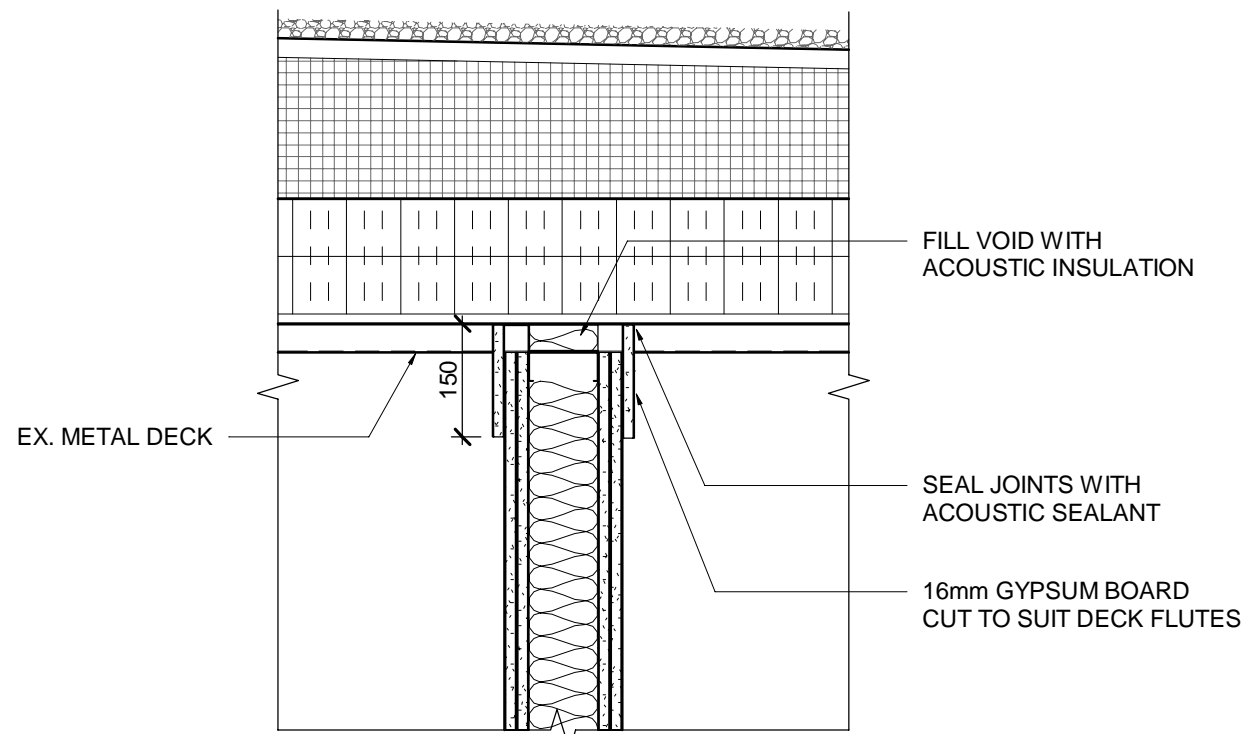
1  
A47  
DETAIL - PARAPET  
SCALE : 1 : 10



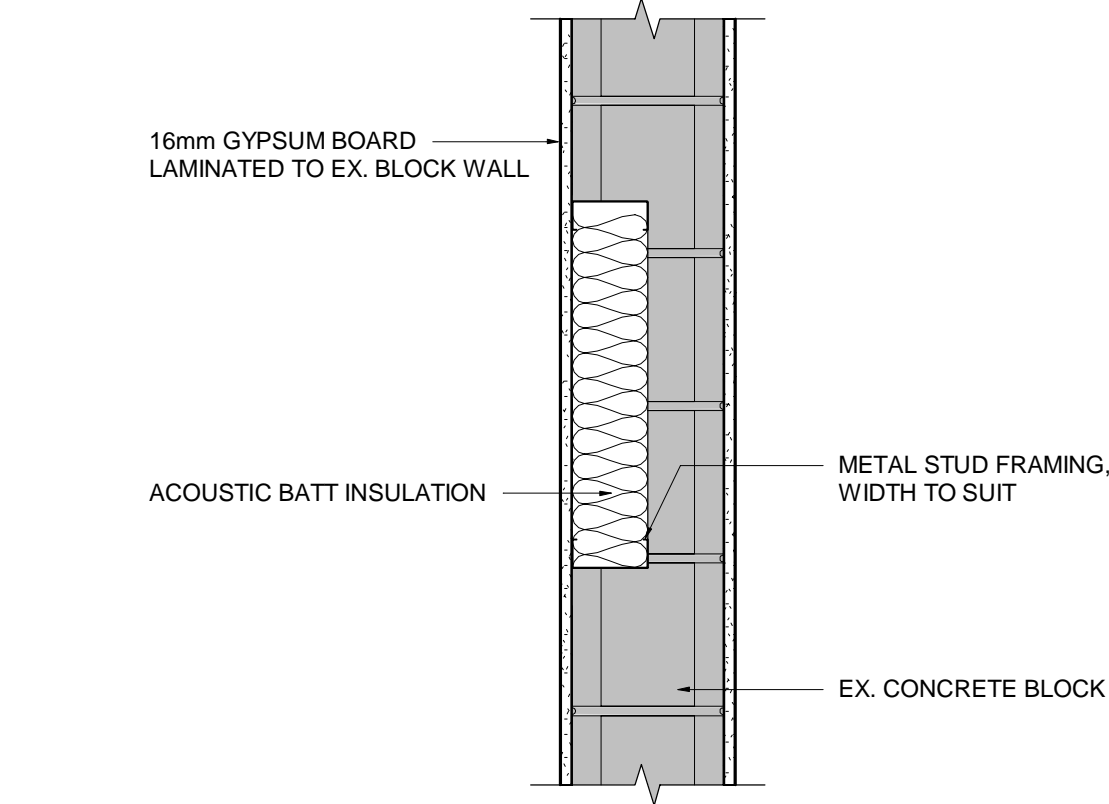
8  
A47  
DETAIL - INTERIOR SCREEN SILL  
SCALE : 1 : 10



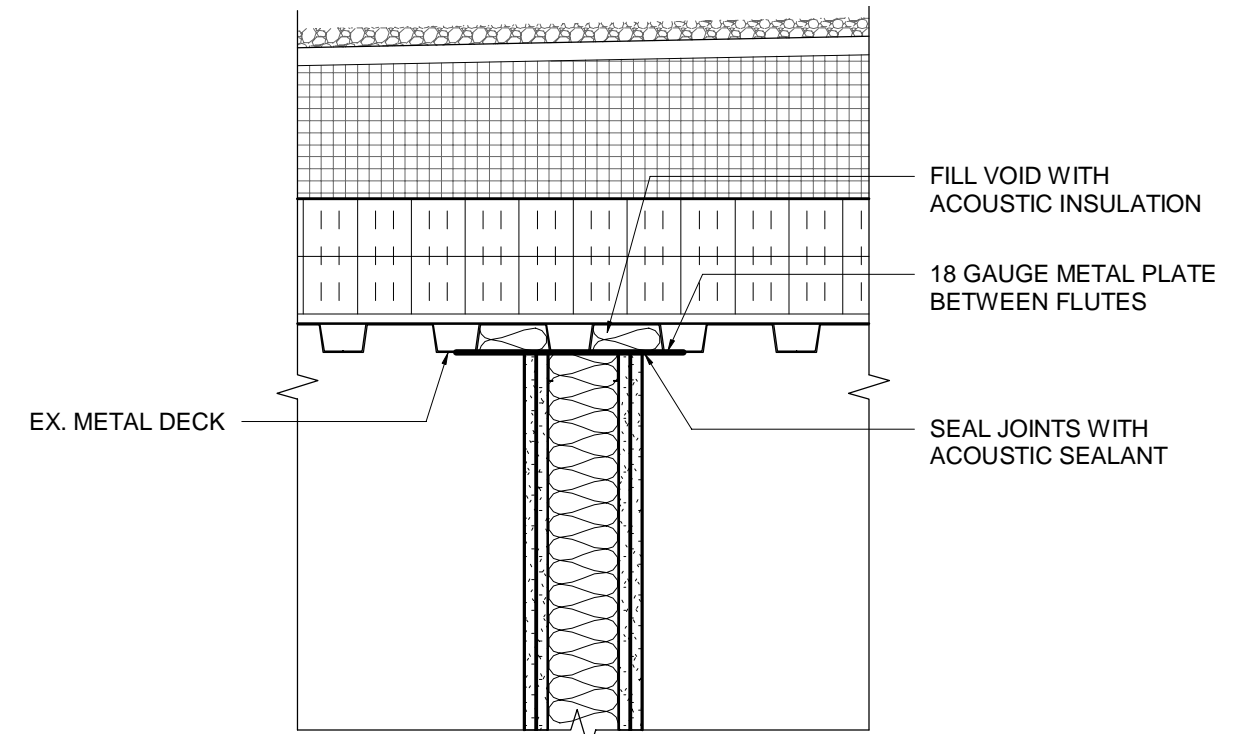
2  
A47  
DETAIL - WALL INFILL @ FIRE RATED WALL  
SCALE : 1 : 10



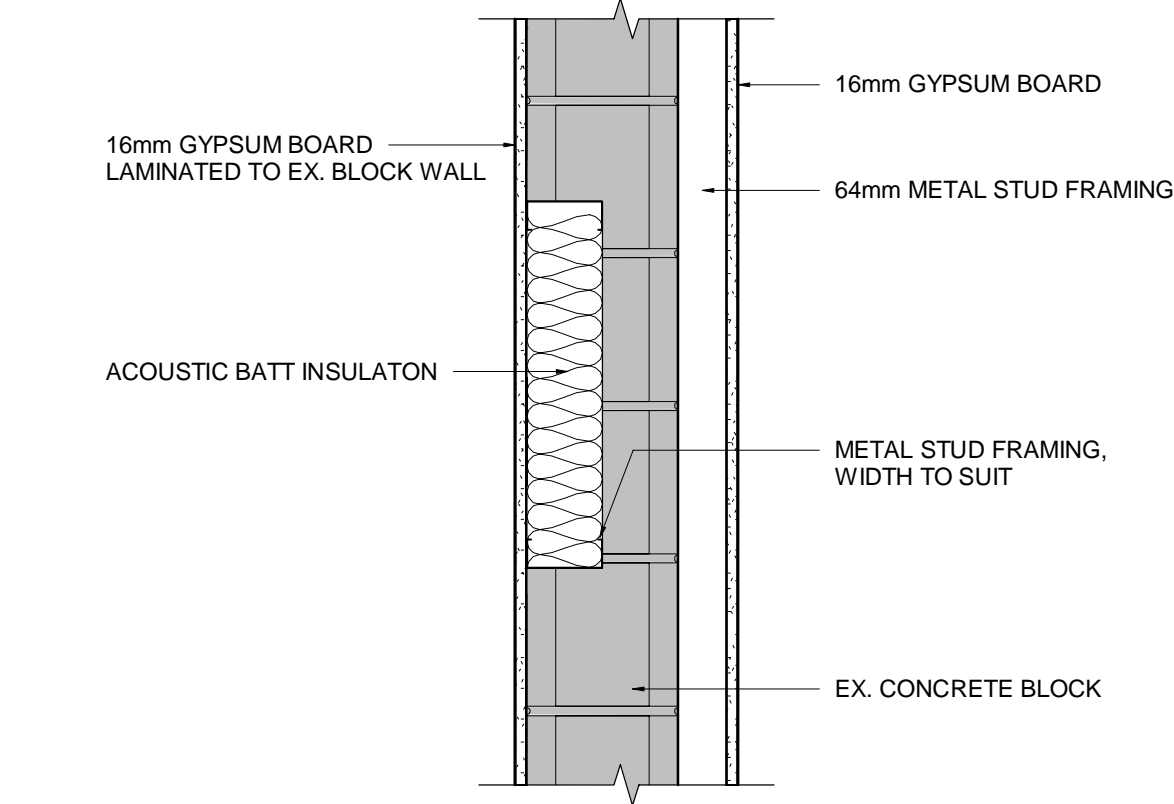
5  
A47  
DETAIL - SOUND RATED WALL AT METAL DECK PERPENDICULAR TO DECK FLUTES  
SCALE : 1 : 10



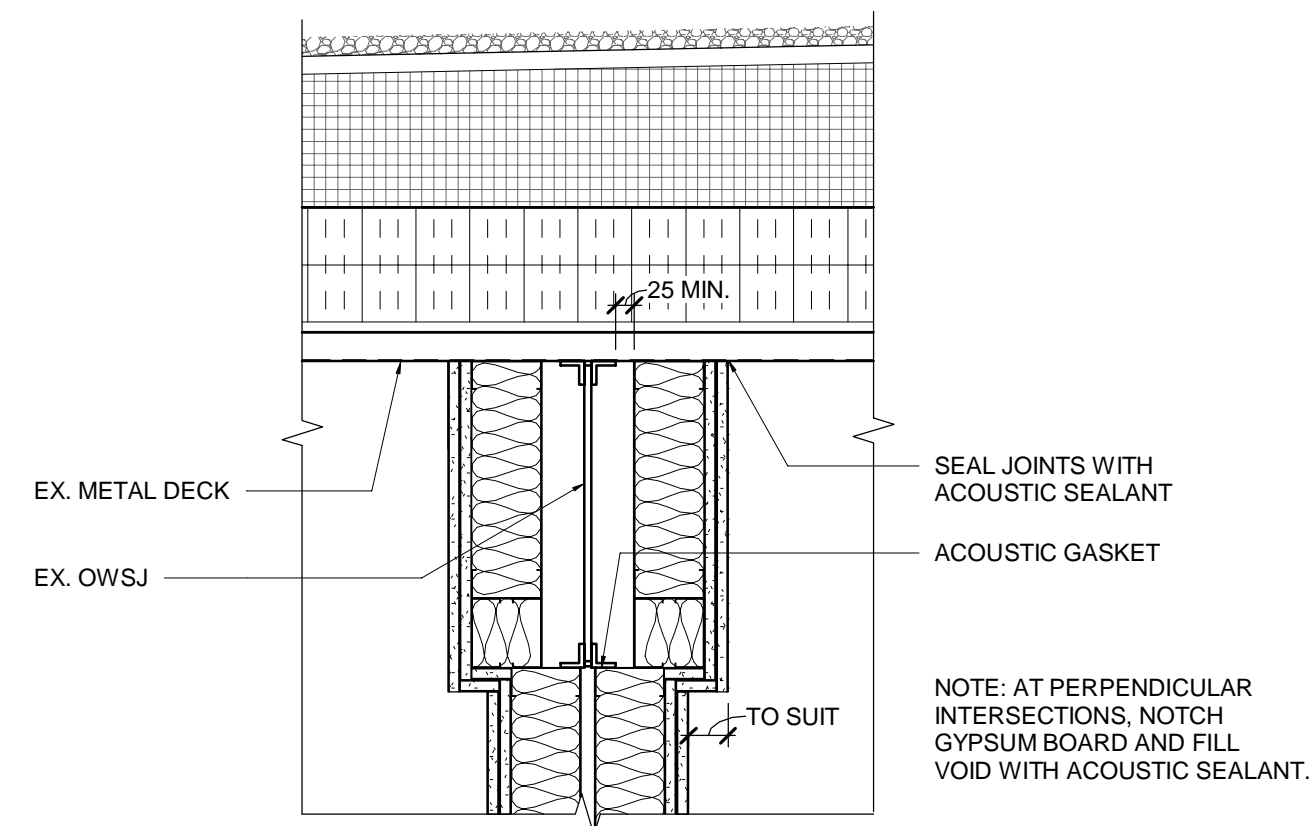
3  
A47  
DETAIL - WALL INFILL @ EXISTING BLOCK WALL  
SCALE : 1 : 10



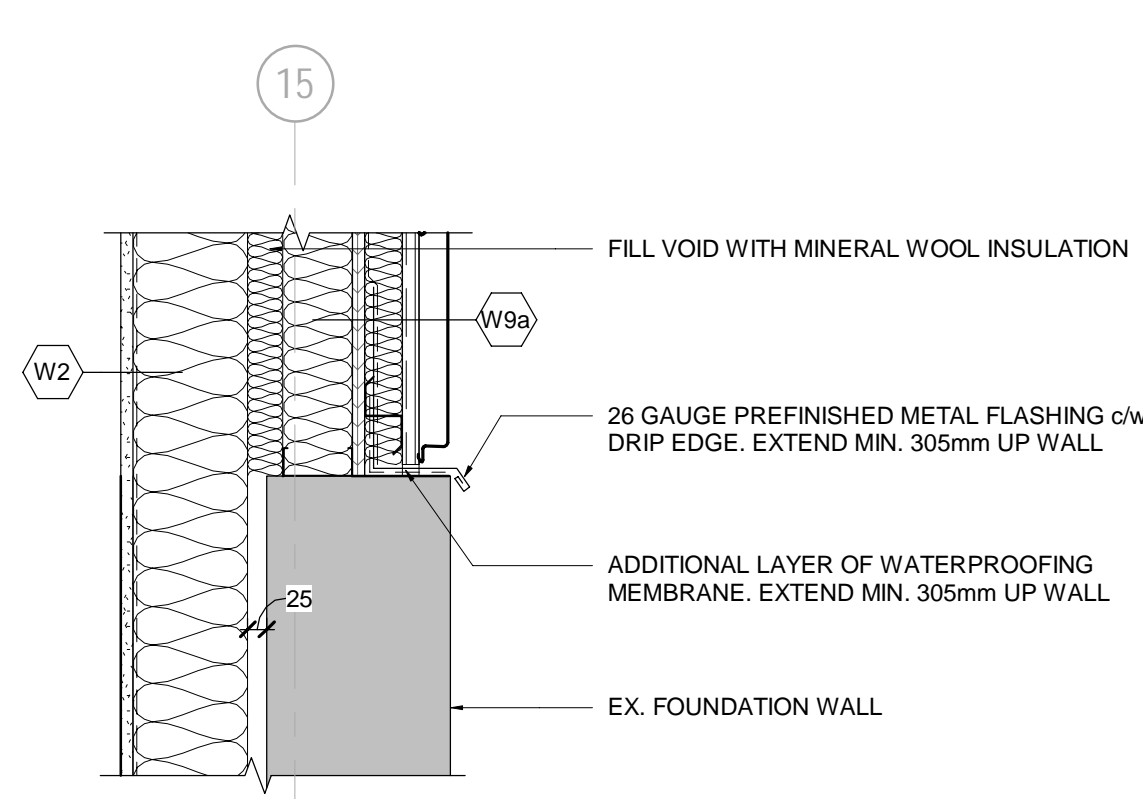
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A47  
DETAIL - SOUND RATED WALL AT METAL DECK PARALLEL TO DECK FLUTES  
SCALE : 1 : 10



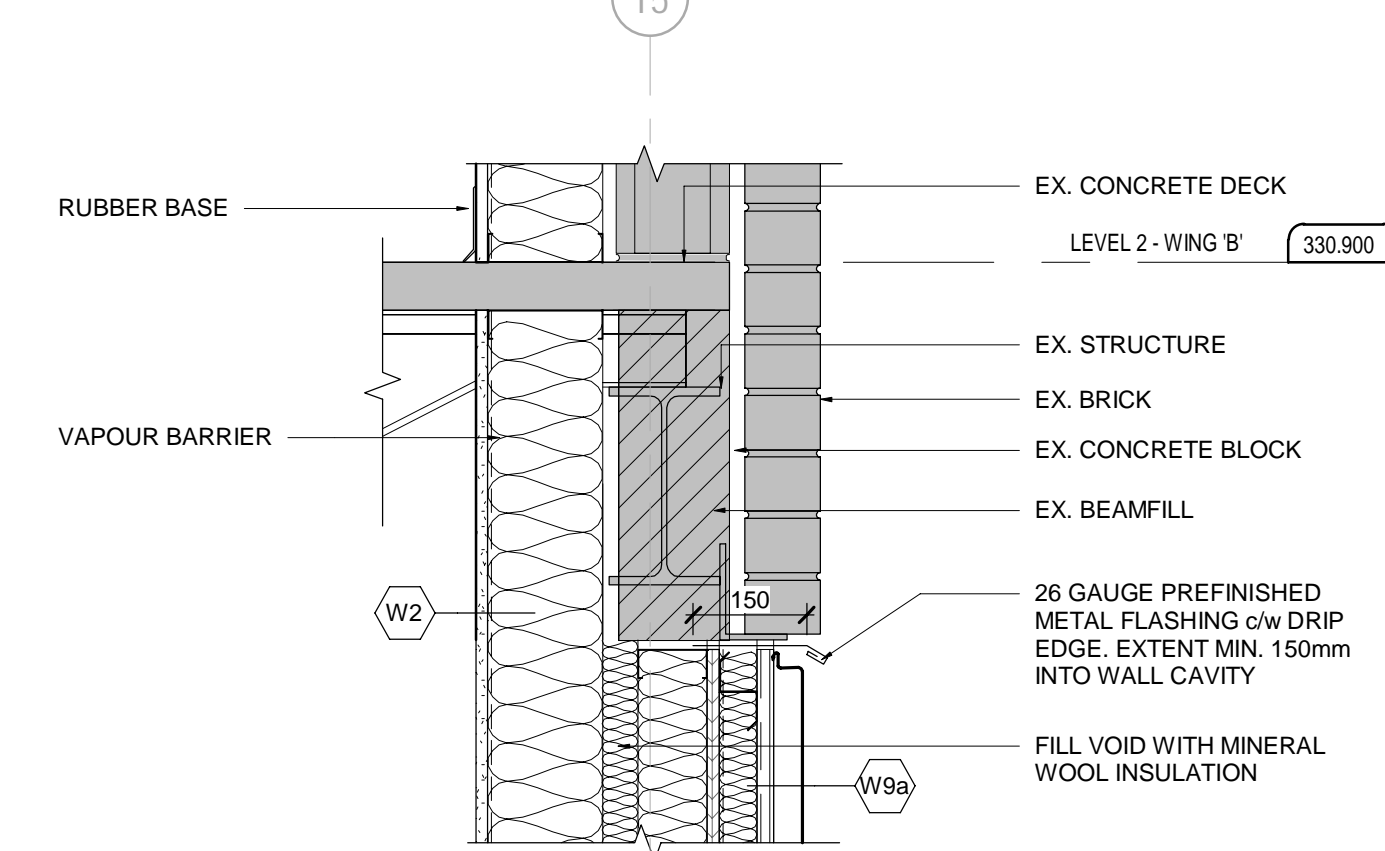
4  
A47  
DETAIL - WALL INFILL @ EXISTING BLOCK WALL  
SCALE : 1 : 10



7  
A47  
DETAIL - SOUND RATED WALL AT OWSJ PARALLEL TO JOIST  
SCALE : 1 : 10



9  
A47  
DETAIL - FOUNDATION AT WINDOW INFILL  
SCALE : 1 : 10



10  
A47  
DETAIL - WINDOW INFILL  
SCALE : 1 : 10

**NOTES:**

- CONTRACTOR TO SEAL AND MAKE WEATHER TIGHT ALL PENETRATIONS THROUGH ALUMINUM COMPOSITE PANELS.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF EX. EQUIPMENT REMOVAL INFILL EX. WALLS AS DETAILED.

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A = Detail number  
B = Drawing number where detailed

2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
1	POST-TENDER ADDENDUM NO.1	TA	FEB 26, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046 RENOVATIONS**

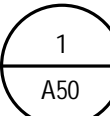
Drawing Title  
**ARCHITECTURAL SECTION DETAILS**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

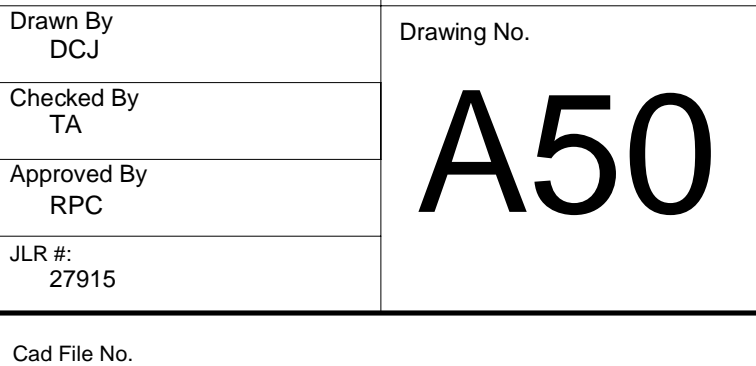
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A47</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	





SCALE : 1 : 100

- |    |          |
|----|----------|
| EX | EXISTING |
|----|----------|



File Location: C:\Users\DJones\Desktop\27915-000-1 - ARCH MODEL.dwg



EXISTING REFLECTED  
CEILING PLAN  
WING 'B' LEVEL 2

SCALE : 1 : 100

#### LEGEND:

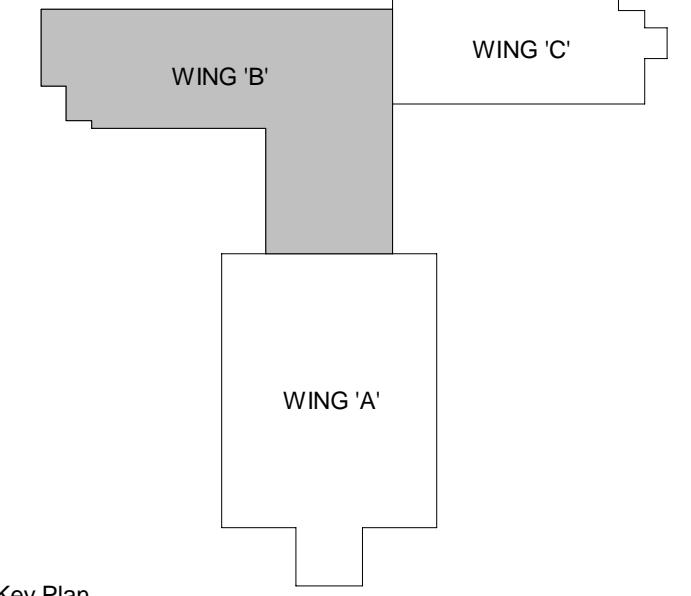
- ROOM NUMBER
- EX. DIFFUSER TO BE REMOVED.  
REFER TO MECHANICAL.
- EX. DIFFUSER TO BE REMOVED.  
REFER TO MECHANICAL.
- EX. GRILLE / EXHAUST FAN TO BE  
REMOVED. REFER TO MECHANICAL.
- EX. LIGHT FIXTURE TO BE  
REMOVED. REFER TO ELECTRICAL.
- EX. LIGHT FIXTURE TO BE  
REMOVED. REFER TO ELECTRICAL.

#### NOTES:

- DASHED LINES DENOTES EXTENT OF  
REMOVALS. REMOVALS TO INCLUDE  
EXISTING CEILINGS AND BULKHEADS, LIGHT  
FIXTURES, DIFFUSERS, GRILLES, ETC., AS  
INDICATED ON DRAWINGS.
- REFER TO MECHANICAL AND ELECTRICAL  
DRAWINGS FOR EXTENT OF M&E  
REMOVALS.
- CONTRACTOR TO ENSURE EX. IT/DATA  
CABLING IS NOT TO BE DAMAGED DURING  
ASBESTOS ABATEMENT AND REMOVAL OF  
EX. CEILINGS.

#### ABBREVIATIONS:

EX EXISTING



Key Plan

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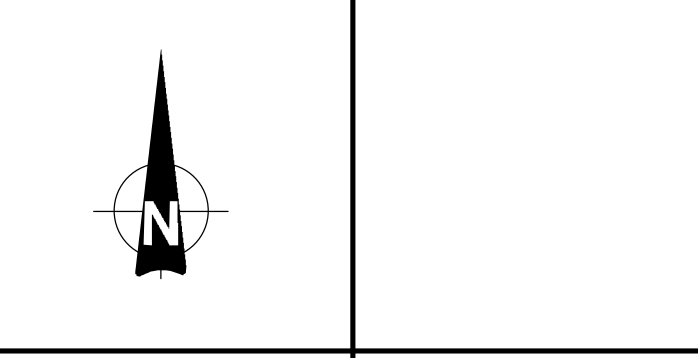
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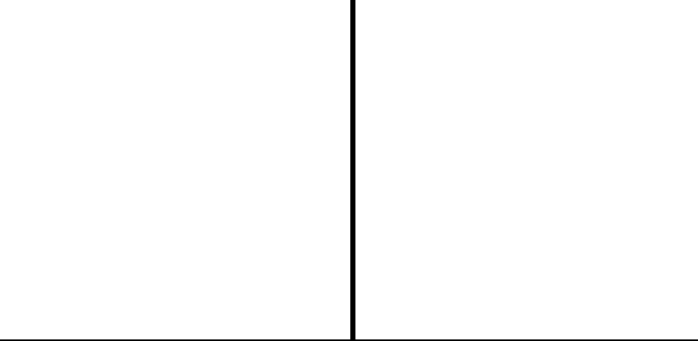
A = Detail number  
B = Drawing number where detailed

1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation



Seal



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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

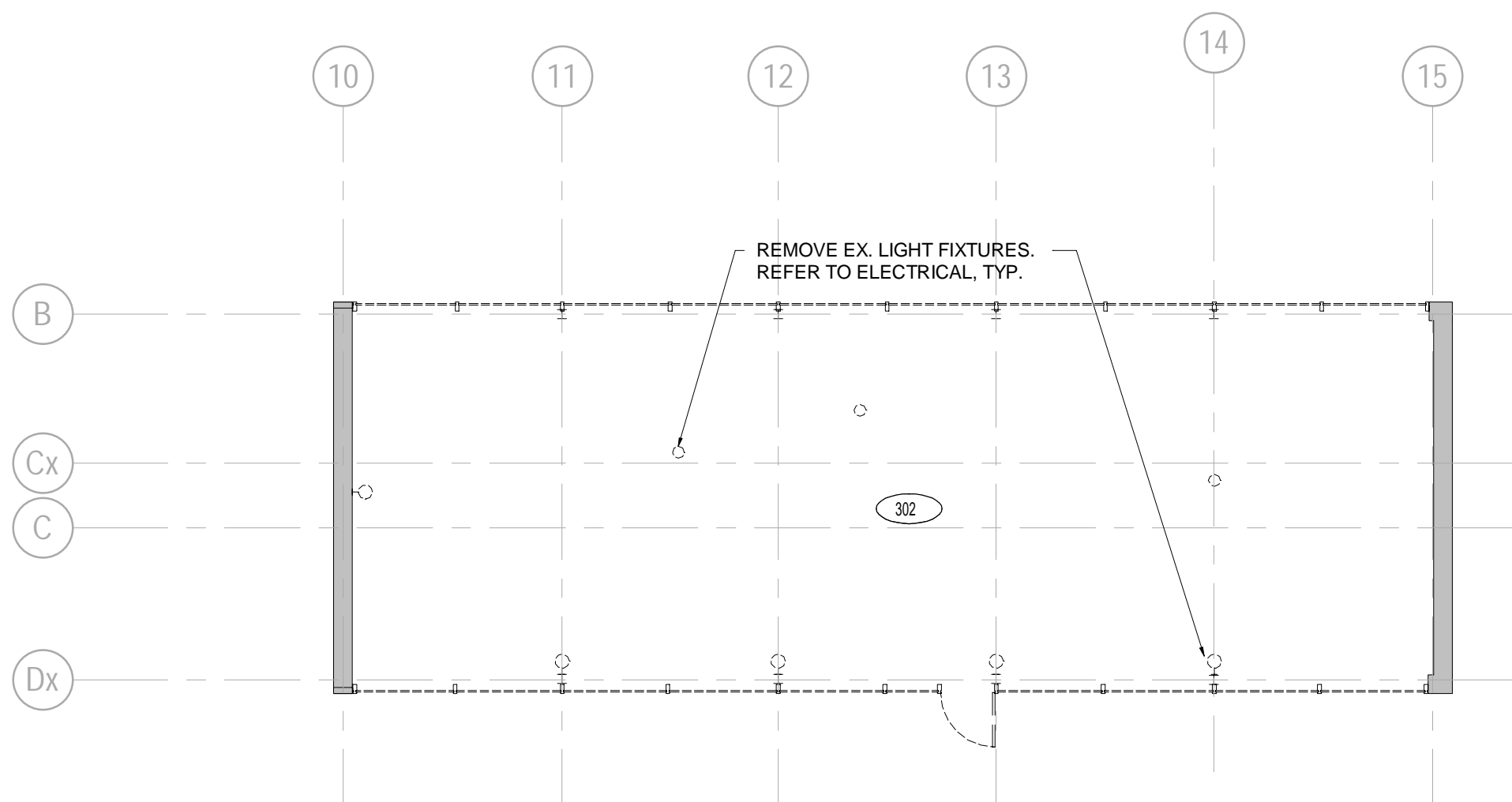
Drawing Title  
**ARCHITECTURAL  
EXISTING RCP  
WING B LEVEL 2**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A51</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:57:53 AM

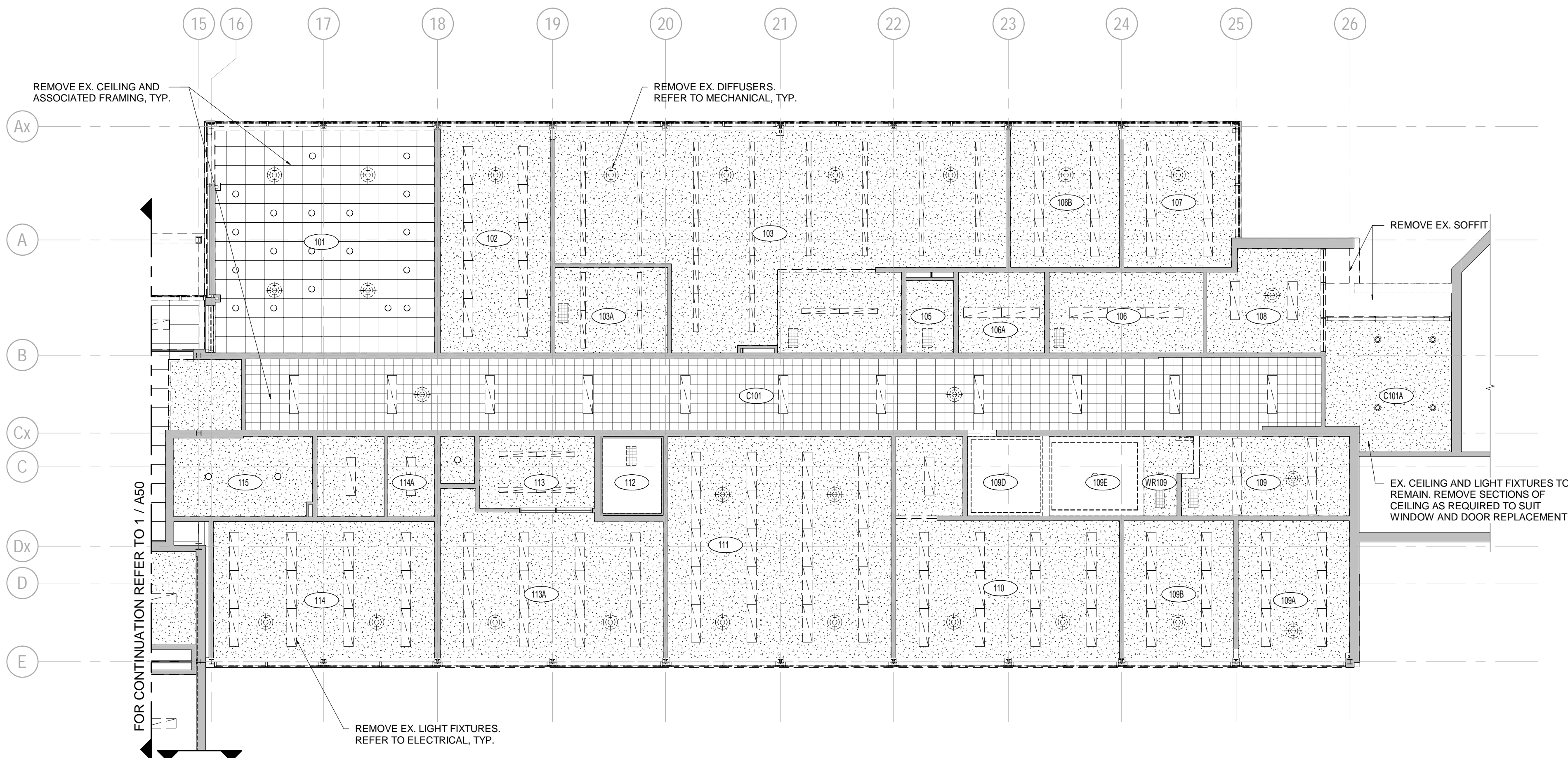




EXISTING REFLECTED  
CEILING PLAN  
WING 'B' PENTHOUSE

1  
A52

SCALE : 1 : 100



EXISTING REFLECTED  
CEILING PLAN  
WING 'C' LEVEL 1

2  
A52

SCALE : 1 : 100

**LEGEND:**

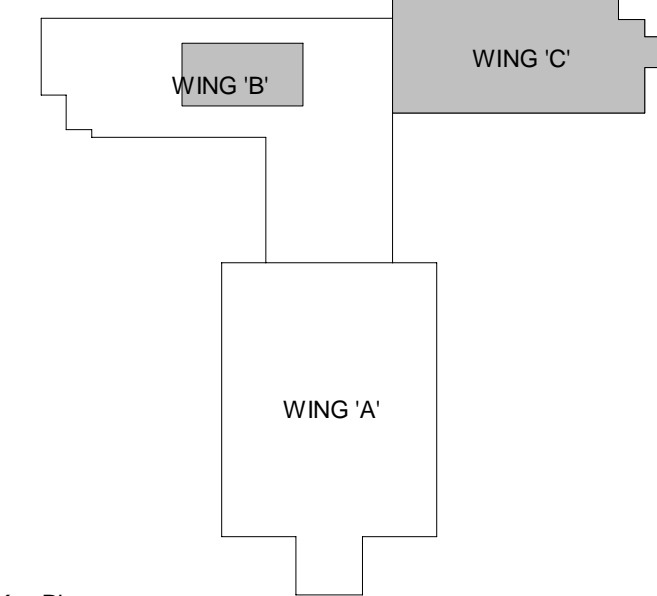
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- EX. DIFFUSER TO BE REMOVED. REFER TO MECHANICAL.
- EX. DIFFUSER TO BE REMOVED. REFER TO MECHANICAL.
- EX. GRILLE / EXHAUST FAN TO BE REMOVED. REFER TO MECHANICAL.
- EX. LIGHT FIXTURE TO BE REMOVED. REFER TO ELECTRICAL.
- EX. LIGHT FIXTURE TO BE REMOVED. REFER TO ELECTRICAL.

**NOTES:**

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- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EXTENT OF M&E REMOVALS.
- CONTRACTOR TO ENSURE EX. IT/DATA CABLING IS NOT TO BE DAMAGED DURING ASBESTOS ABATEMENT AND REMOVAL OF EX. CEILINGS.

**ABBREVIATIONS:**

EX EXISTING



Key Plan

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1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation

Seal

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Physical Resources  
Guelph, Ontario, N1G 2W1

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**J.R. J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

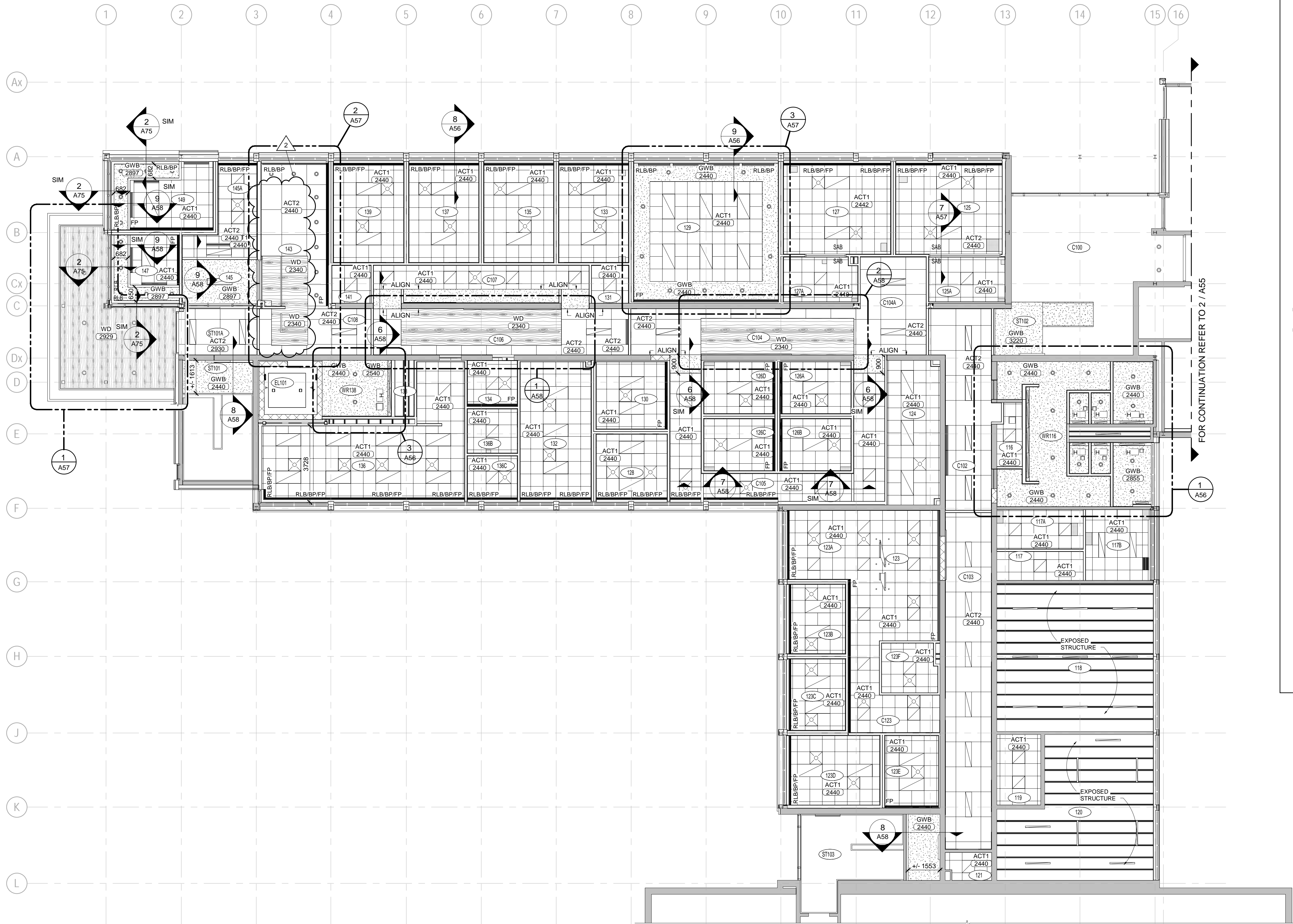
Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
EXISTING RCP  
PENTHOUSE AND WING C**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A52</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



ALTERED REFLECTED  
CEILING PLAN  
WING 'B' LEVEL 1

SCALE : 1 : 100

#### LEGEND:

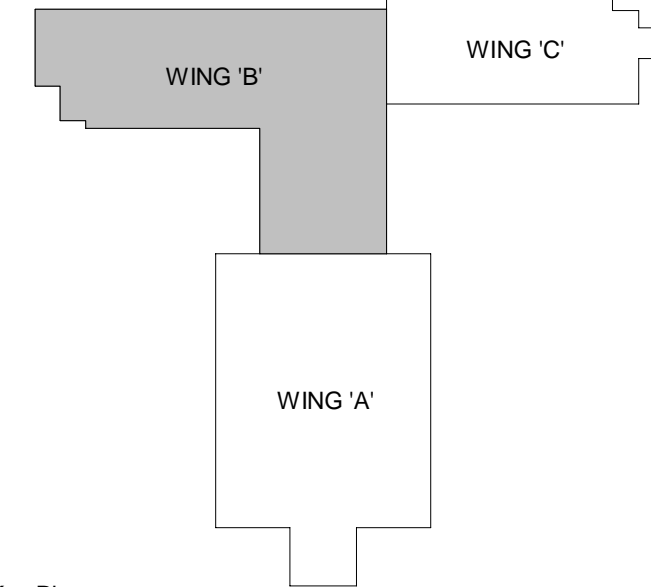
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- ACOUSTIC CEILING TILE  
TYPE 1 (ACT1)  
610mm X 610mm
- ACOUSTIC CEILING TILE  
TYPE 2 (ACT2)  
1220mm X 1220mm
- ACOUSTIC CEILING TILE  
TYPE 3 (ACT3)  
1220mm X 610mm
- GYPSUM BOARD CEILING AND/OR  
BULKHEAD (GWB)
- WOOD FEATURE CEILING (WD)
- 610 X 610 LIGHT FIXTURE
- 305 X 1220 LIGHT FIXTURE
- 610 X 1220 LIGHT FIXTURE
- 150 X 610 ALCOVE LIGHT FIXTURE
- LINEAR SURFACE MOUNT LIGHT FIXTURE
- CONTINUOUS LED RECESSED LIGHT FIXTURE
- POT LIGHT FIXTURE
- DIFFUSER
- LINEAR DIFFUSER
- EGGCRATE DIFFUSER
- EXHAUST GRILLE
- 305 x 610 CEILING HATCH
- SPEAKER, REFER TO IT DRAWINGS

#### ABBREVIATIONS:

- EX EXISTING  
ACP ALUMINUM COMPOSITE PANEL  
BP CONTINUOUS BLIND POCKET  
FP CONTINUOUS FACEPLATE  
RLB ROLLER BLIND, SIZED TO SUIT  
WINDOW  
SAB SOUND ABSORBING BLIND, SIZED  
TO SUIT INTERIOR SCREEN  
WD COMPOSITE WOOD VENEER PANEL

#### NOTES:

- POT LIGHT FIXTURES TO BE CENTERED IN CEILING TILE UNLESS NOTED OTHERWISE.
- REFER TO FURNITURE AND EQUIPMENT PLANS FOR LOCATIONS OF ALL OWNER SUPPLIED EQUIPMENT.
- COORDINATE LOCATION OF WALL MOUNT LIGHT FIXTURES WITH LOCATION OF WALL MOUNTED EQUIPMENT. REFER TO FURNITURE AND EQUIPMENT PLANS.
- LOCATIONS AND MOUNTING HEIGHTS OF ALL WALL MOUNTED LIGHT FIXTURES TO BE CONFIRMED BY OWNER PRIOR TO INSTALLATION.



Key Plan

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3	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
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NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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Design, Engineering & Construction  
Physical Resources  
Guelph, Ontario, N1G 2W1

Consultant [www.jlrichards.ca](http://www.jlrichards.ca)

**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

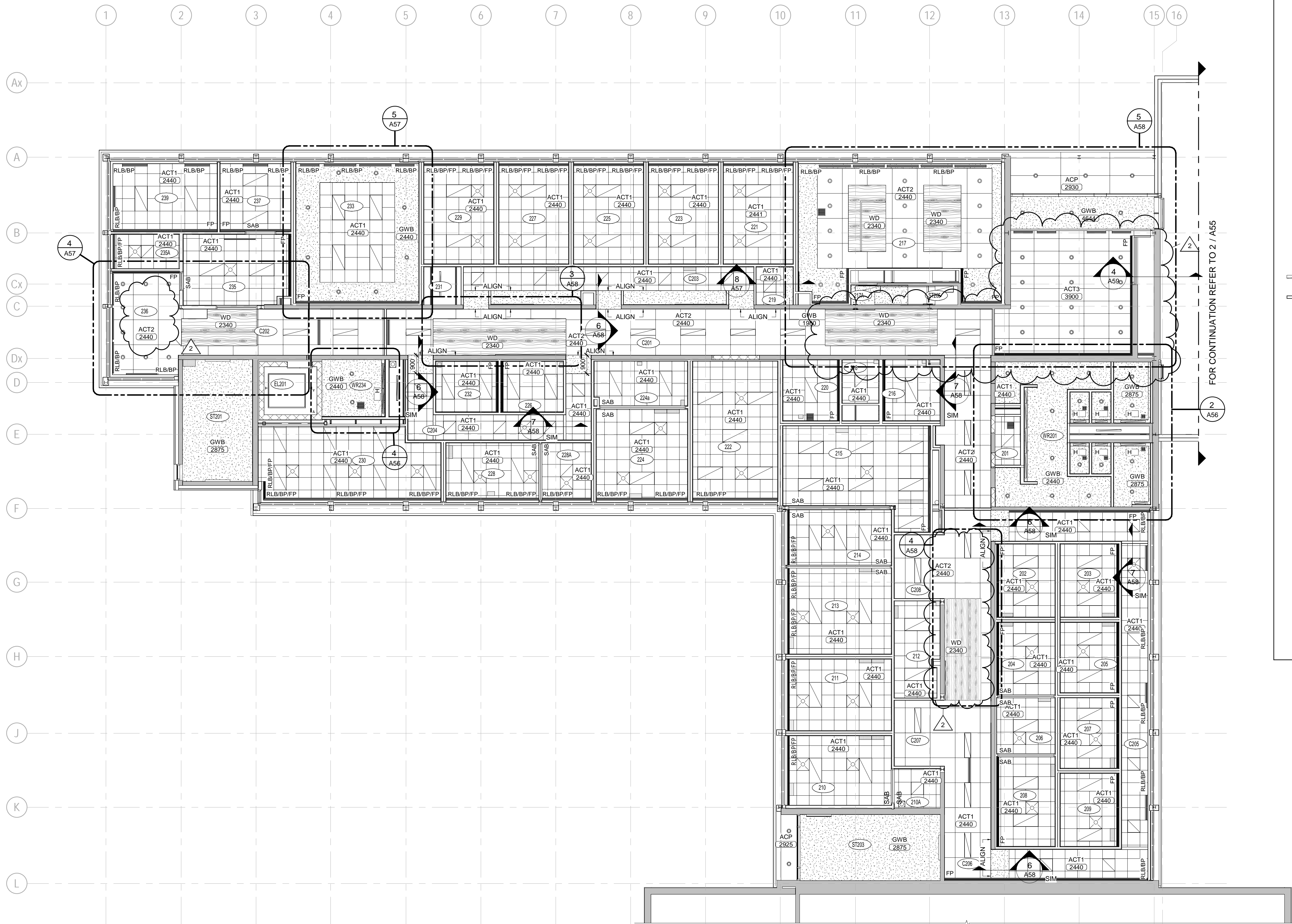
Drawing Title  
**ARCHITECTURAL  
ALTERED RCP  
WING B LEVEL 1**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A53</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.dwg



ALTERED REFLECTED  
CEILING PLAN  
WING 'B' LEVEL 2

SCALE: 1:100

LEGEND:

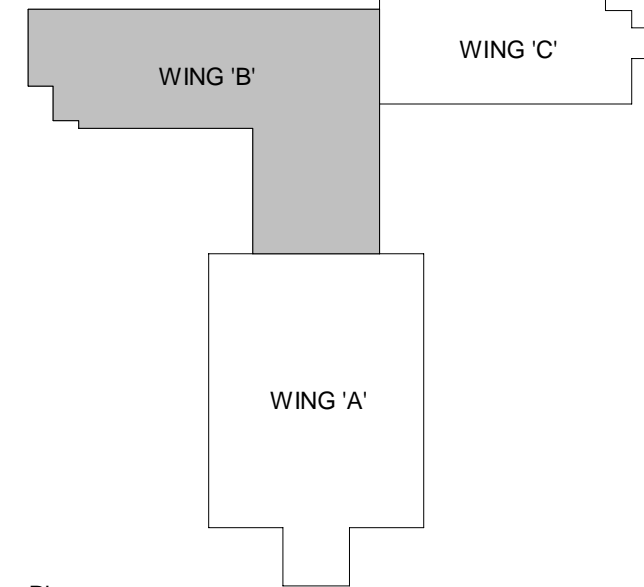
- 000 ROOM NUMBER
- ACOUSTIC CEILING TILE  
TYPE 1 (ACT1)  
610mm X 610mm
- ACOUSTIC CEILING TILE  
TYPE 2 (ACT2)  
1220mm X 1220mm
- ACOUSTIC CEILING TILE  
TYPE 3 (ACT3)  
1220mm X 610mm
- GYPSUM BOARD CEILING AND/OR  
BULKHEAD (GWB)
- WOOD FEATURE CEILING (WD)
- 610 X 610 LIGHT FIXTURE
- 305 X 1220 LIGHT FIXTURE
- 610 X 1220 LIGHT FIXTURE
- 150 X 610 ALCOVE LIGHT FIXTURE
- LINEAR SURFACE MOUNT LIGHT FIXTURE
- CONTINUOUS LED RECESSED LIGHT FIXTURE
- POT LIGHT FIXTURE
- DIFFUSER
- LINEAR DIFFUSER
- EGGGRATE DIFFUSER
- EXHAUST GRILLE
- 305 x 610 CEILING HATCH
- SPEAKER, REFER TO IT DRAWINGS

ABBREVIATIONS:

- EX EXISTING
- ACP ALUMINUM COMPOSITE PANEL
- BP CONTINUOUS BLIND POCKET
- FP CONTINUOUS FACEPLATE
- RLB ROLLER BLIND, SIZED TO SUIT WINDOW
- SAB SOUND ABSORBING BLIND, SIZED TO SUIT INTERIOR SCREEN
- WD COMPOSITE WOOD VENEER PANEL

NOTES:

- POT LIGHT FIXTURES TO BE CENTERED IN CEILING TILE UNLESS NOTED OTHERWISE.
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- COORDINATE LOCATION OF WALL MOUNT LIGHT FIXTURES WITH LOCATION OF WALL MOUNTED EQUIPMENT. REFER TO FURNITURE AND EQUIPMENT PLANS.
- LOCATIONS AND MOUNTING HEIGHTS OF ALL WALL MOUNTED LIGHT FIXTURES TO BE CONFIRMED BY OWNER PRIOR TO INSTALLATION.



Key Plan

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Orientation



Seal

Seal

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Project

**BUILDING #046  
RENOVATIONS**

Drawing Title

**ARCHITECTURAL  
ALTERED RCP  
WING B LEVEL 2**

Project No.

**504034**

Location

**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale

AS INDICATED

Date

APR 12, 2019

Drawn By

DCJ

Drawing No.

**A54**

Checked By

TA

Approved By

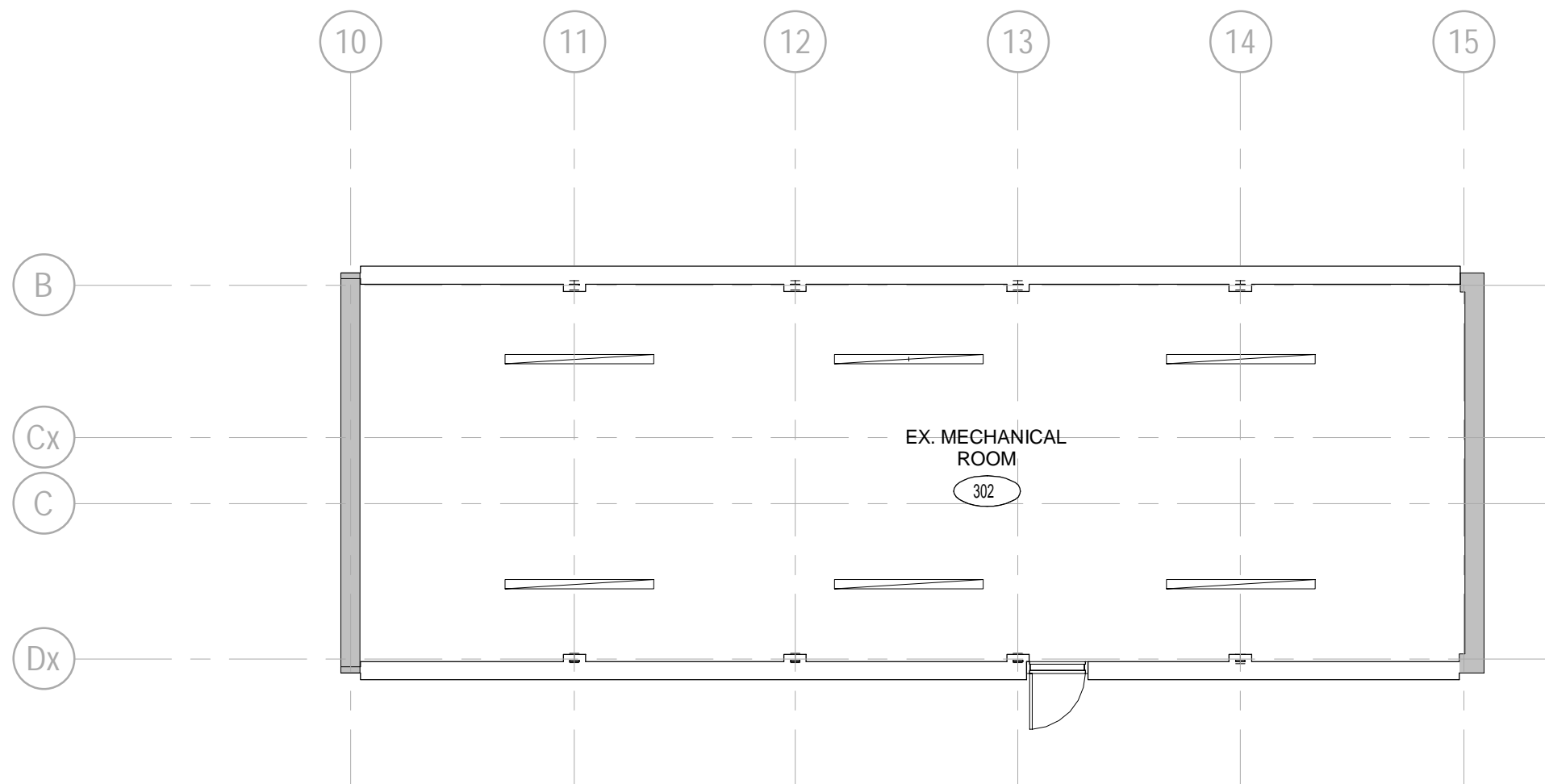
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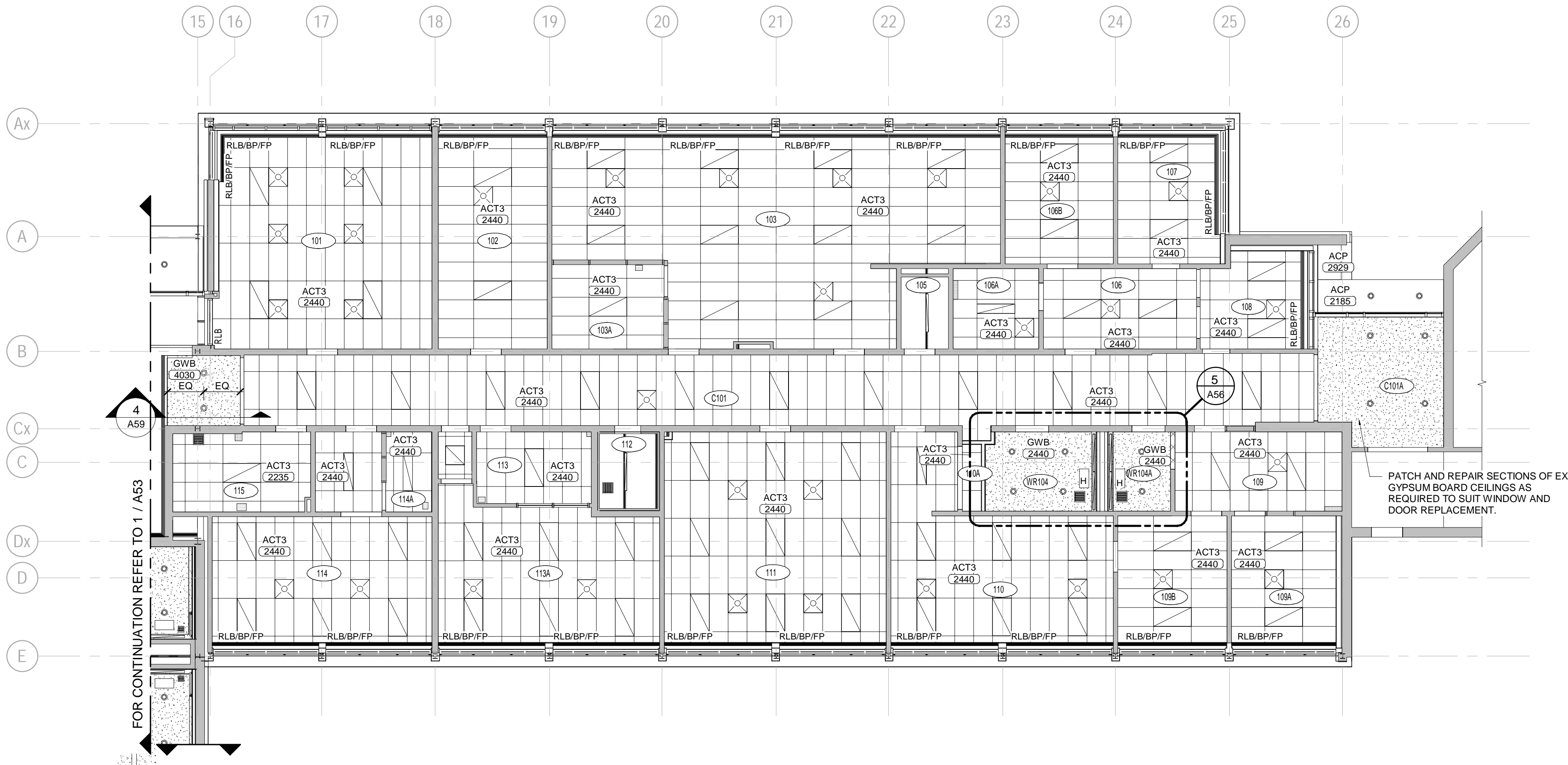
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Cad File No.

PLOT DATE: 2019-04-11 8:59:28 AM



1  
A55  
ALTERED REFLECTED  
CEILING PLAN  
WING 'B' PENTHOUSE  
SCALE : 1 : 100



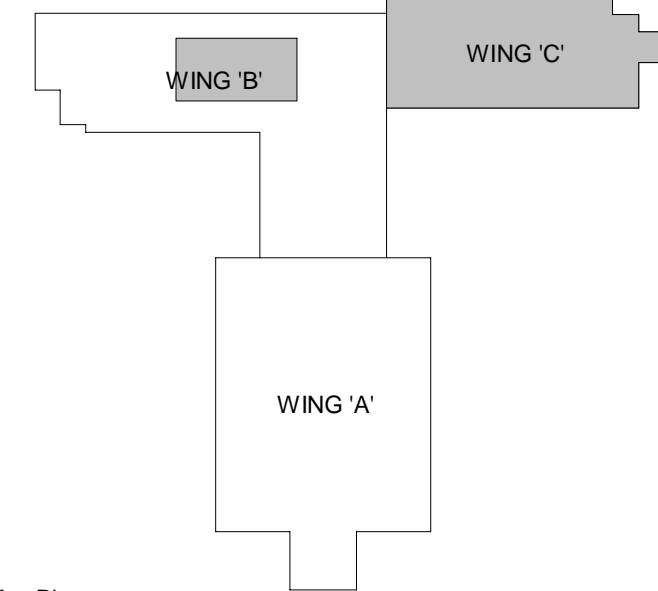
2  
A55  
ALTERED REFLECTED  
CEILING PLAN  
WING 'C' LEVEL 1  
SCALE : 1 : 100

#### LEGEND:

- 000 ROOM NUMBER
- ACOUSTIC CEILING TILE  
TYPE 3 (ACT3)  
1220mm X 610mm
- GYPSUM BOARD CEILING AND/OR  
BULKHEAD
- 610 X 610 LIGHT FIXTURE
- 305 X 1220 LIGHT FIXTURE
- 610 X 1220 LIGHT FIXTURE
- 150 X 610 ALCOVE LIGHT FIXTURE
- LINEAR SURFACE MOUNT LIGHT FIXTURE
- CONTINUOUS LED RECESSED LIGHT FIXTURE
- POT LIGHT FIXTURE
- LINEAR DIFFUSER
- DIFFUSER
- EGGCRATE DIFFUSER
- EXHAUST GRILLE
- 305 x 610 CEILING HATCH

#### ABBREVIATIONS:

- EX EXISTING  
ACP ALUMINUM COMPOSITE PANEL  
BP CONTINUOUS BLIND POCKET  
FP CONTINUOUS FACEPLATE  
RLB ROLLER BLIND, SIZED TO SUIT WINDOW



Key Plan

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Orientation

Seal

Seal

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Project  
**BUILDING #046  
RENOVATIONS**

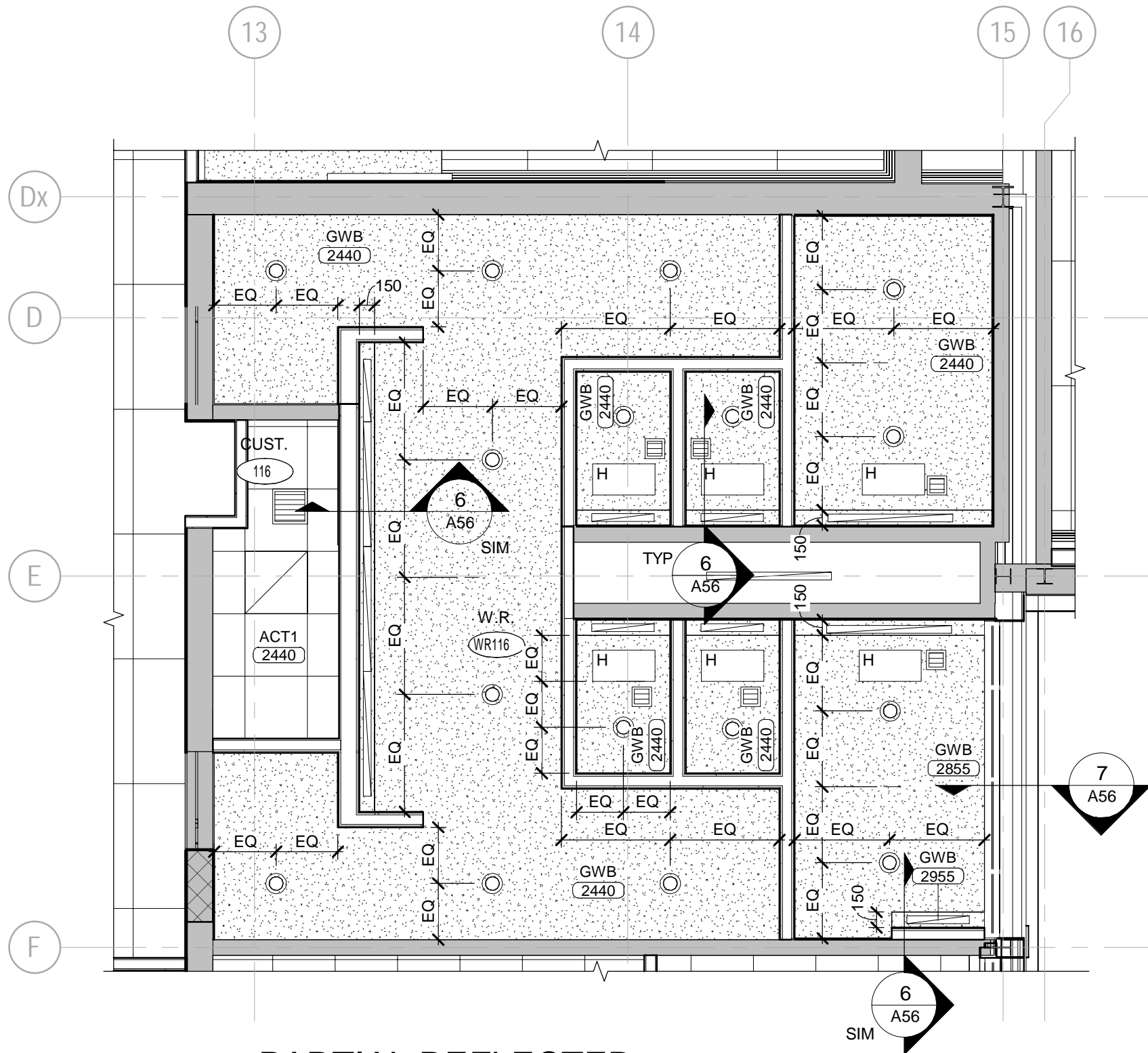
Drawing Title  
**ARCHITECTURAL  
ALTERED RCP  
PENTHOUSE AND WING C**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

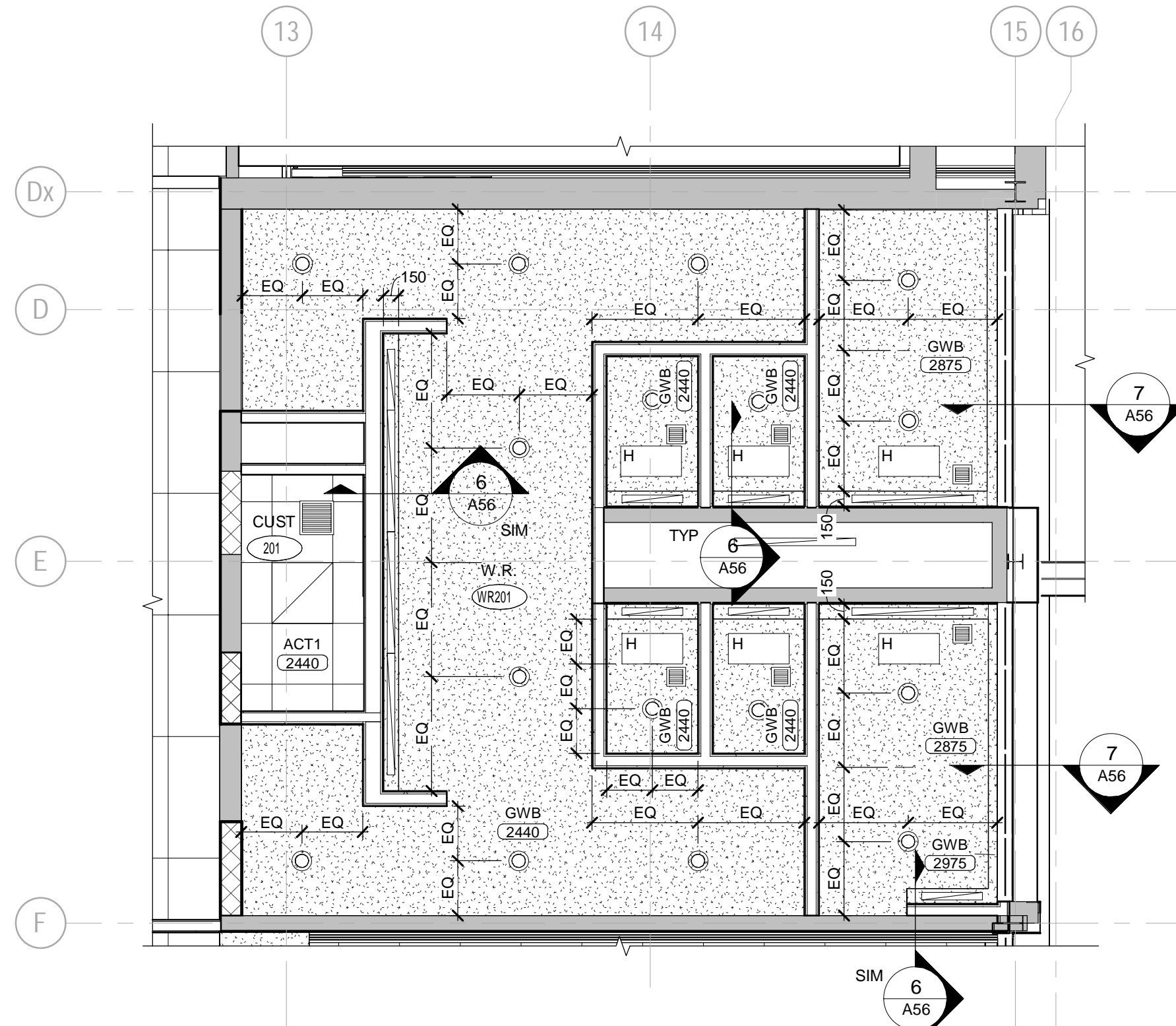
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Drawn By DCJ	Drawing No. <b>A55</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	





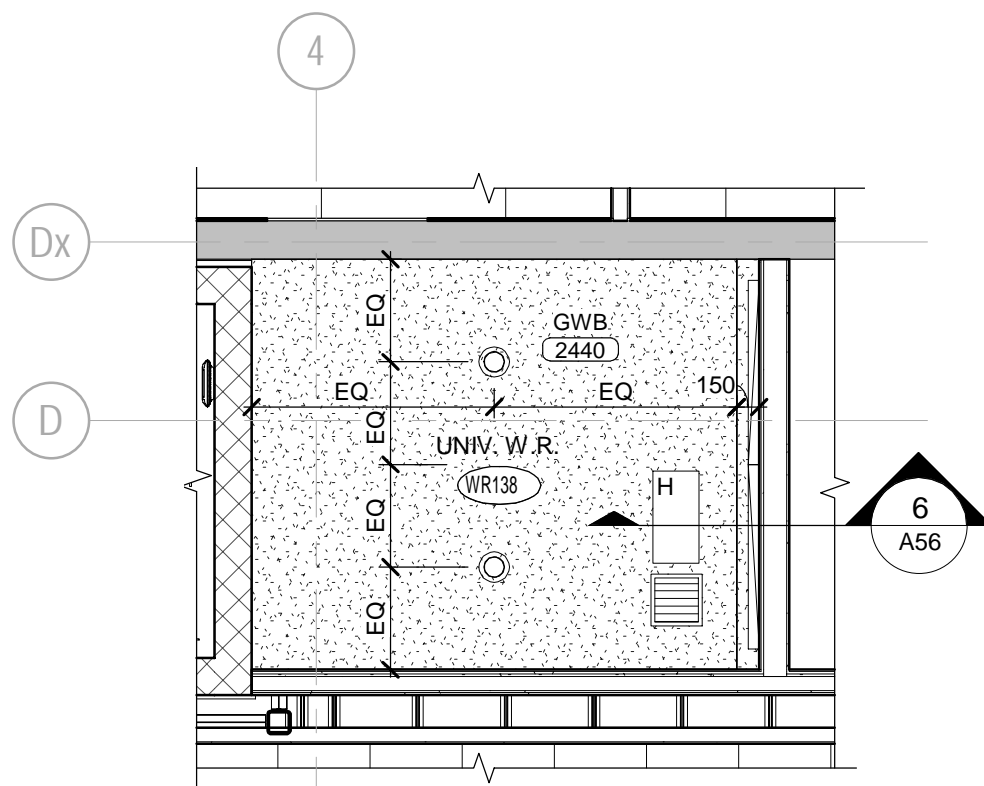
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CEILING PLAN - WR116

SCALE: 1:50



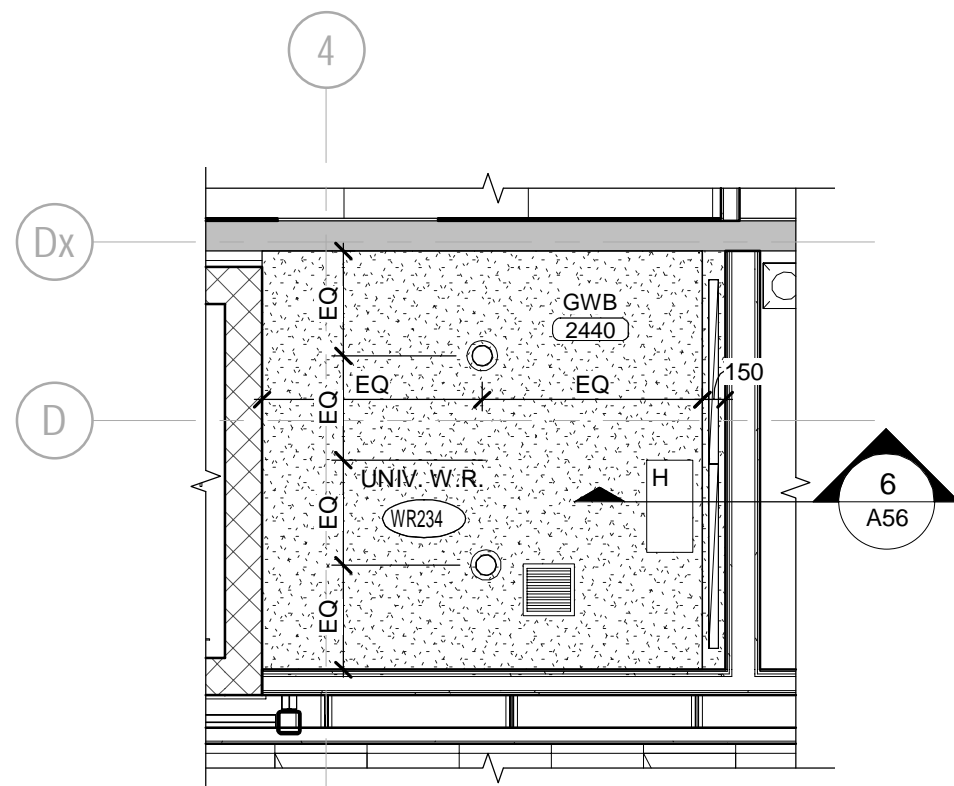
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SCALE: 1:50



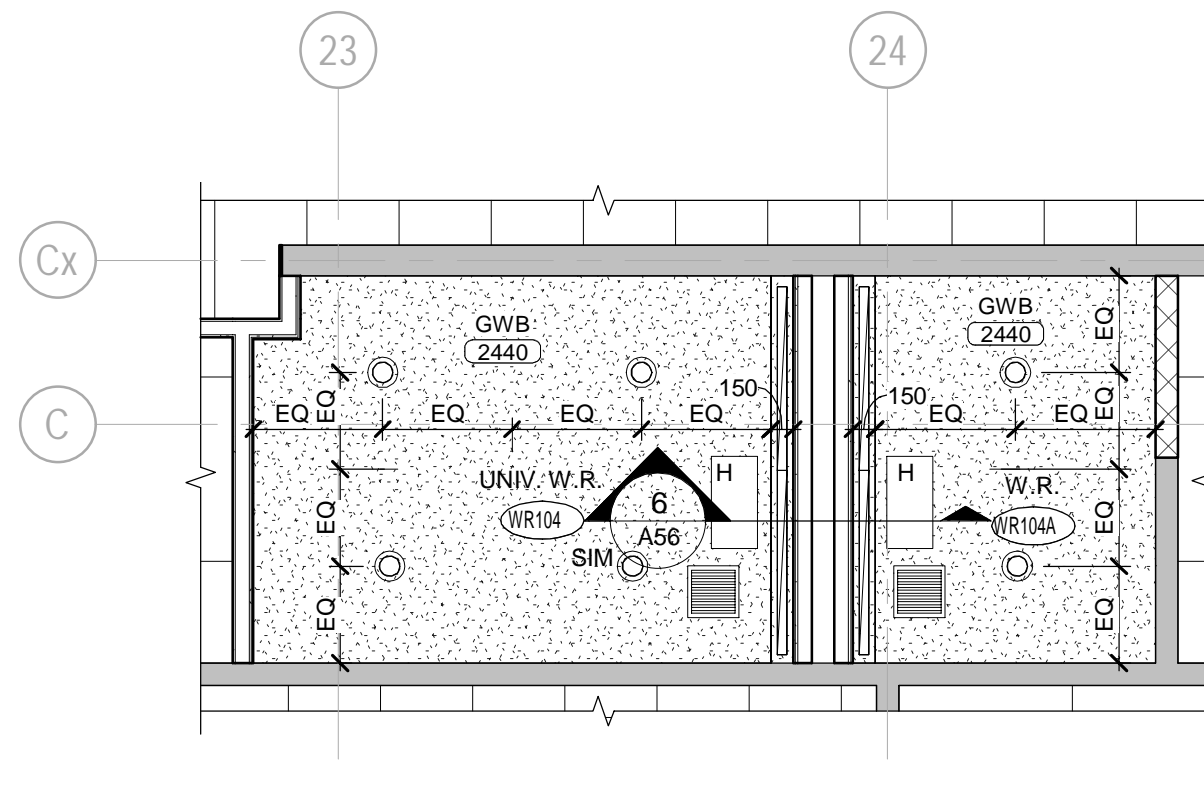
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CEILING PLAN - WR138

SCALE: 1:50



PARTIAL REFLECTED  
CEILING PLAN - WR234

SCALE: 1:50



PARTIAL REFLECTED  
CEILING PLAN - WING C

SCALE: 1:50

#### LEGEND:

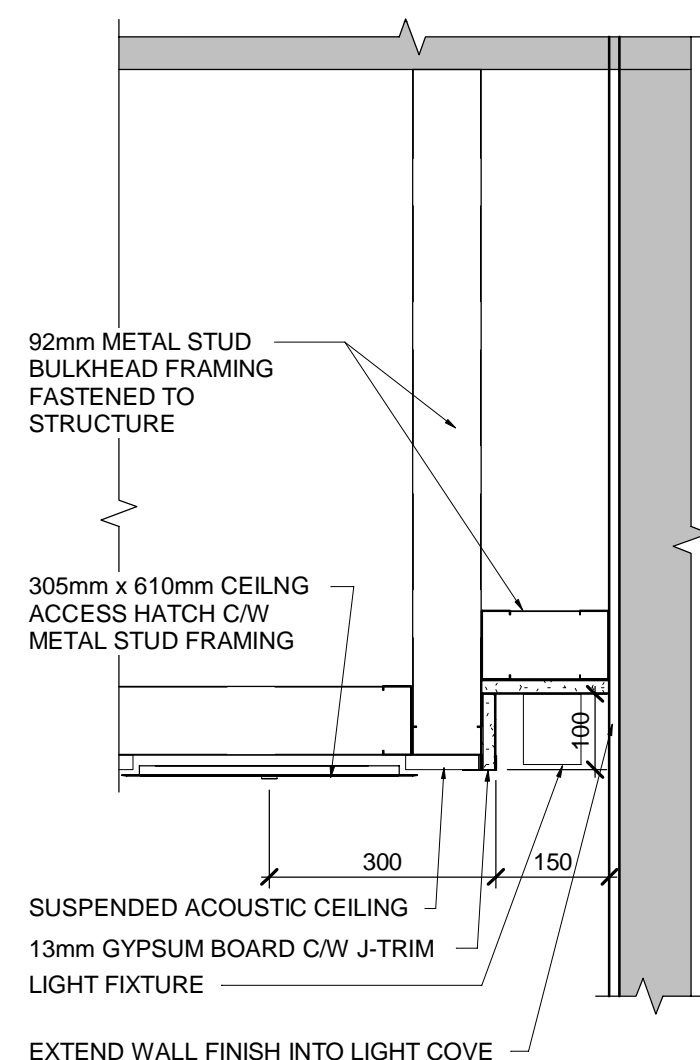
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- ACOUSTIC CEILING TILE TYPE 1 (ACT1) 610mm X 610mm
- ACOUSTIC CEILING TILE TYPE 2 (ACT2) 1220mm X 1220mm
- ACOUSTIC CEILING TILE TYPE 3 (ACT3) 1220mm X 610mm
- GYPSUM BOARD CEILING AND/OR BULKHEAD (GWB)
- WOOD FEATURE CEILING (WD)
- 610 X 610 LIGHT FIXTURE
- 305 X 1220 LIGHT FIXTURE
- 610 X 1220 LIGHT FIXTURE
- 150 X 610 ALCOVE LIGHT FIXTURE
- LINEAR SURFACE MOUNT LIGHT FIXTURE
- CONTINUOUS LED RECESSED LIGHT FIXTURE
- POT LIGHT FIXTURE
- DIFFUSER
- LINEAR DIFFUSER
- EGGCRATE DIFFUSER
- EXHAUST GRILLE
- 305 x 610 CEILING HATCH
- SPEAKER, REFER TO IT DRAWINGS

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- SAB SOUND ABSORBING BLIND, SIZED TO SUIT INTERIOR SCREEN
- WD COMPOSITE WOOD VENEER PANEL

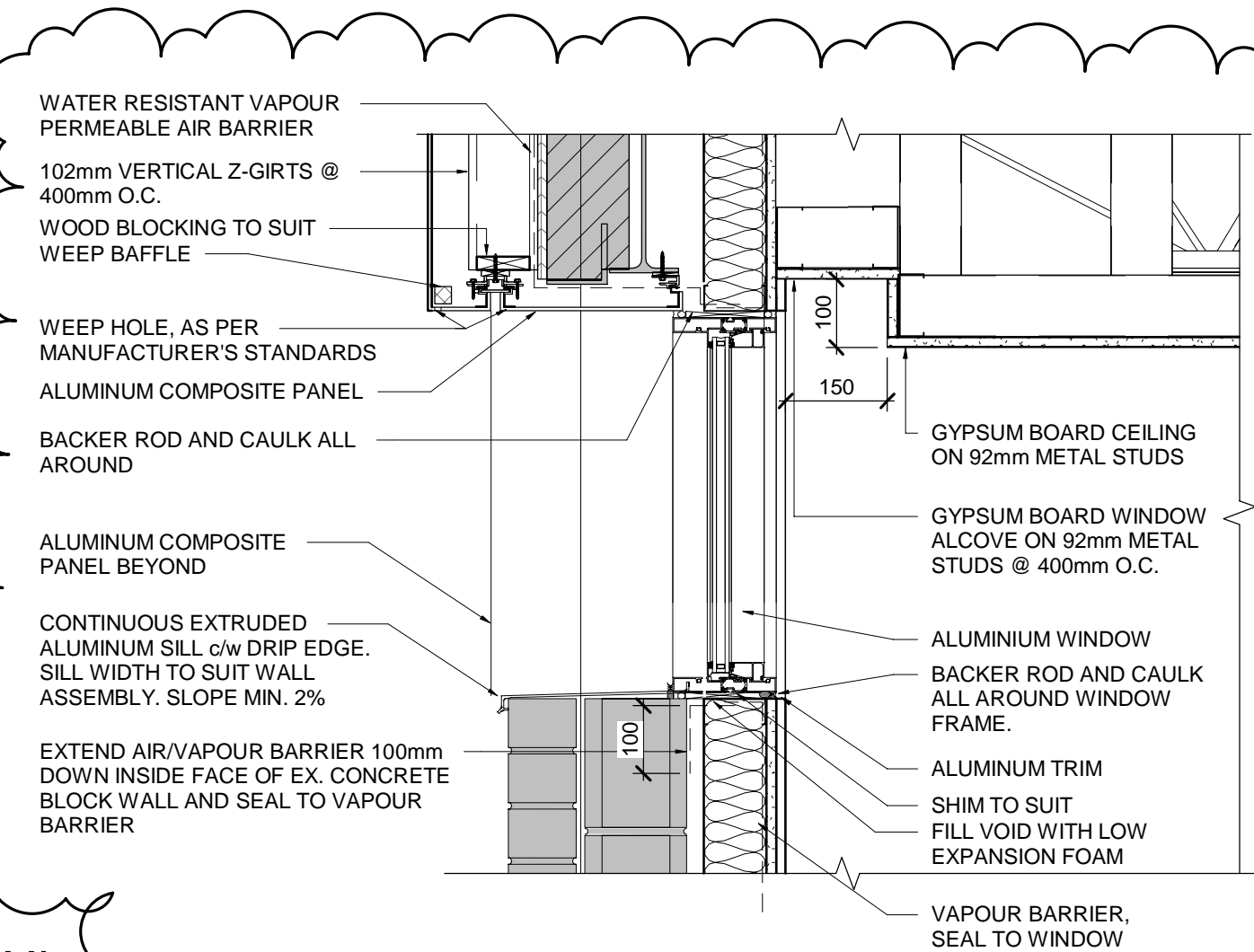
#### NOTES:

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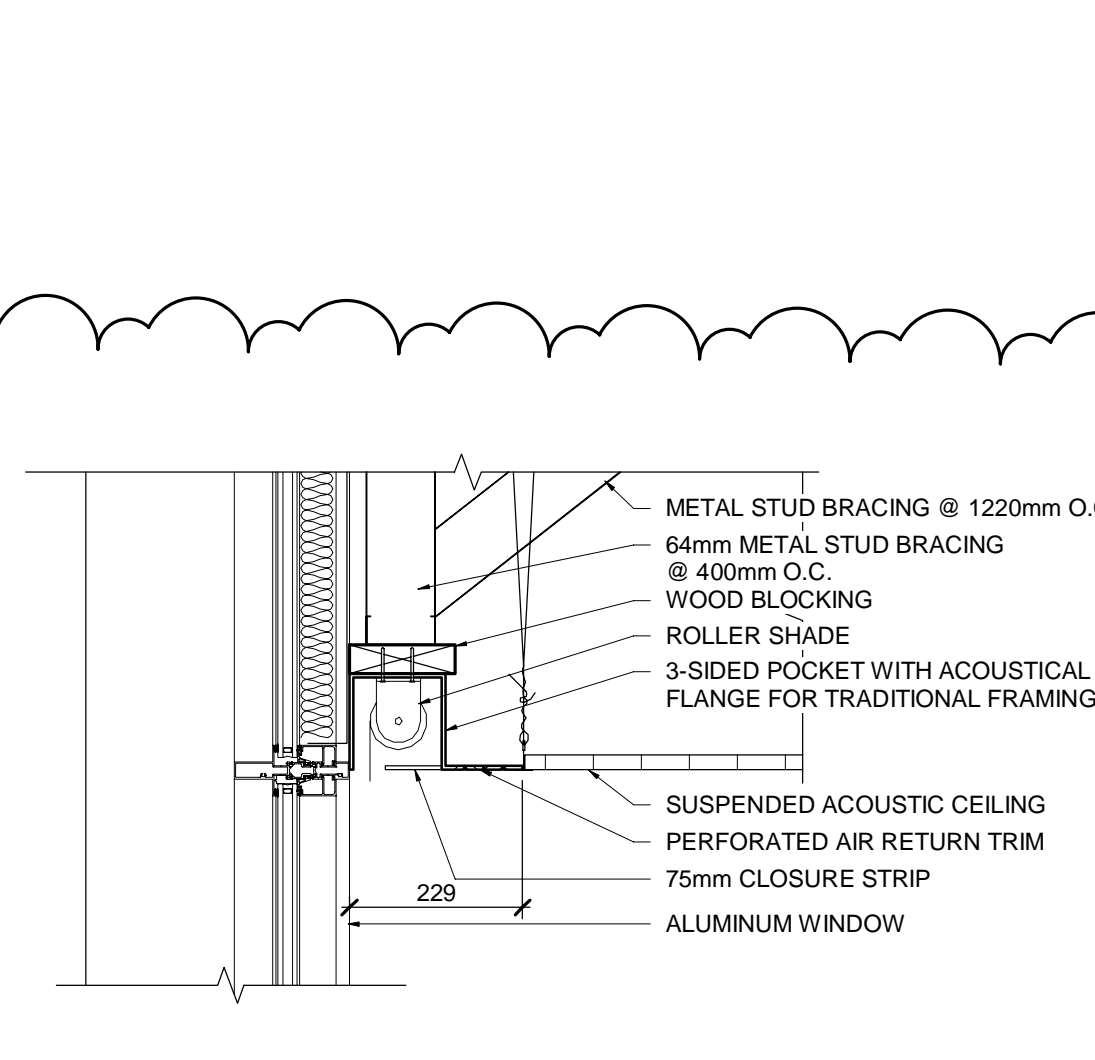
DETAIL  
LIGHT COVE BULKHEAD

SCALE: 1:10



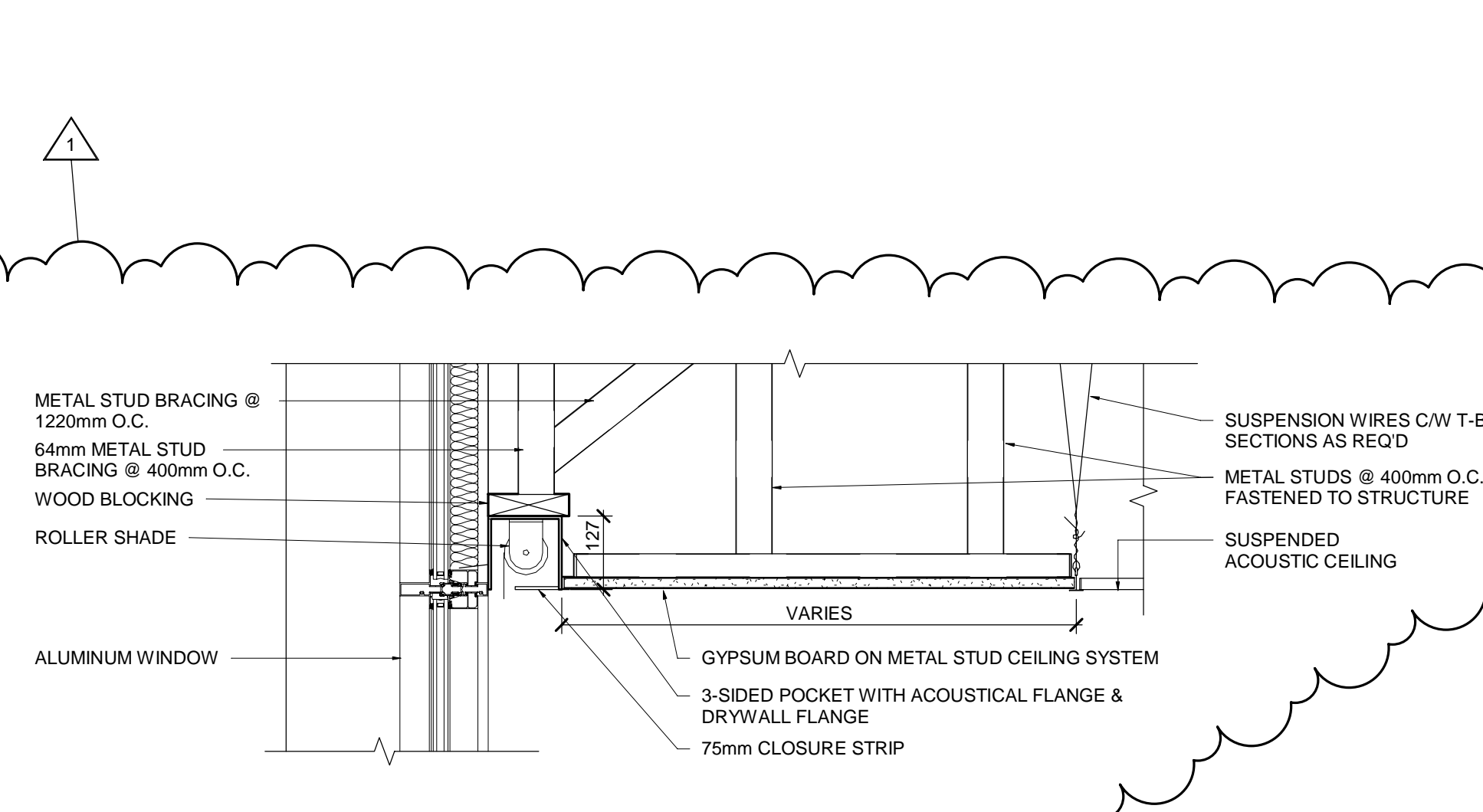
DETAIL - WINDOW ALCOVE

SCALE: 1:10



DETAIL - RLB TRIM

SCALE: 1:10



DETAIL - RLB TRIM

SCALE: 1:10

#### DO NOT SCALE DRAWINGS:

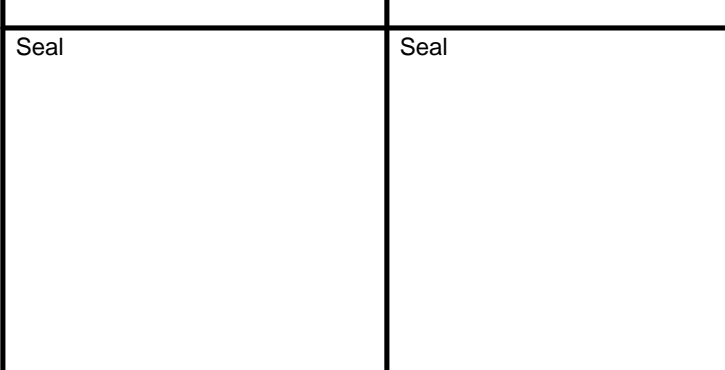
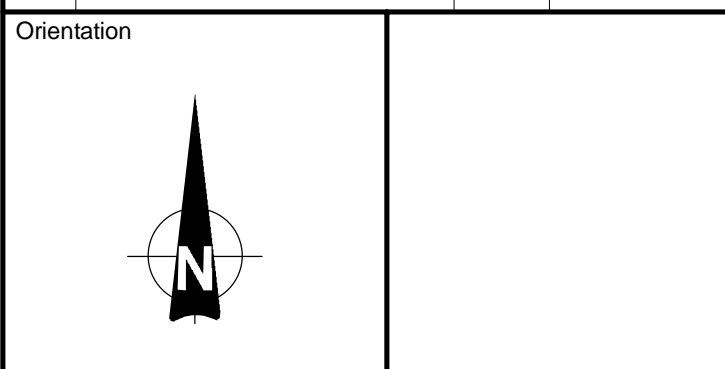
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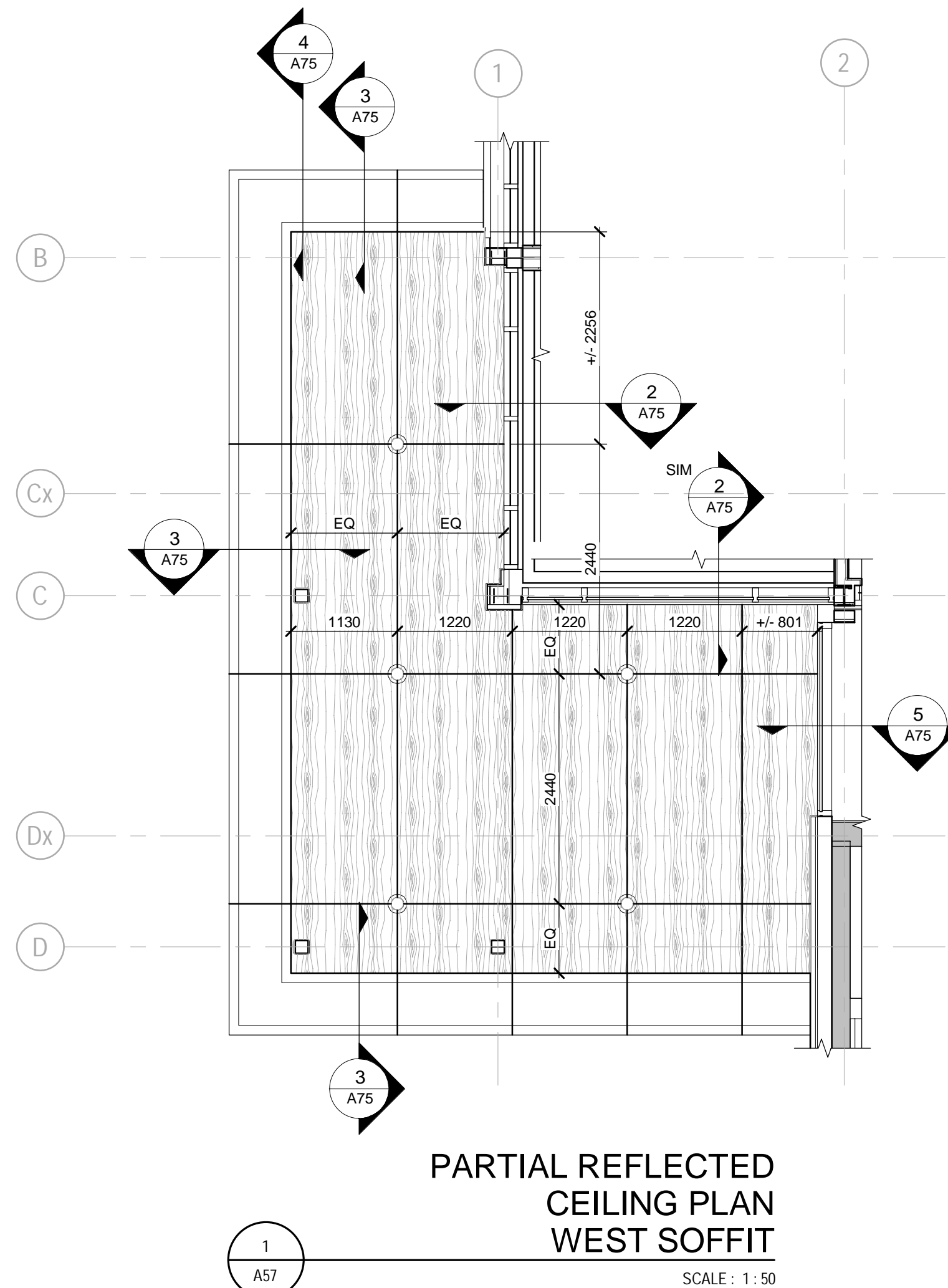
Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
PARTIAL REFLECTED CEILING  
PLANS AND DETAILS**

Project No.  
**504034**  
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

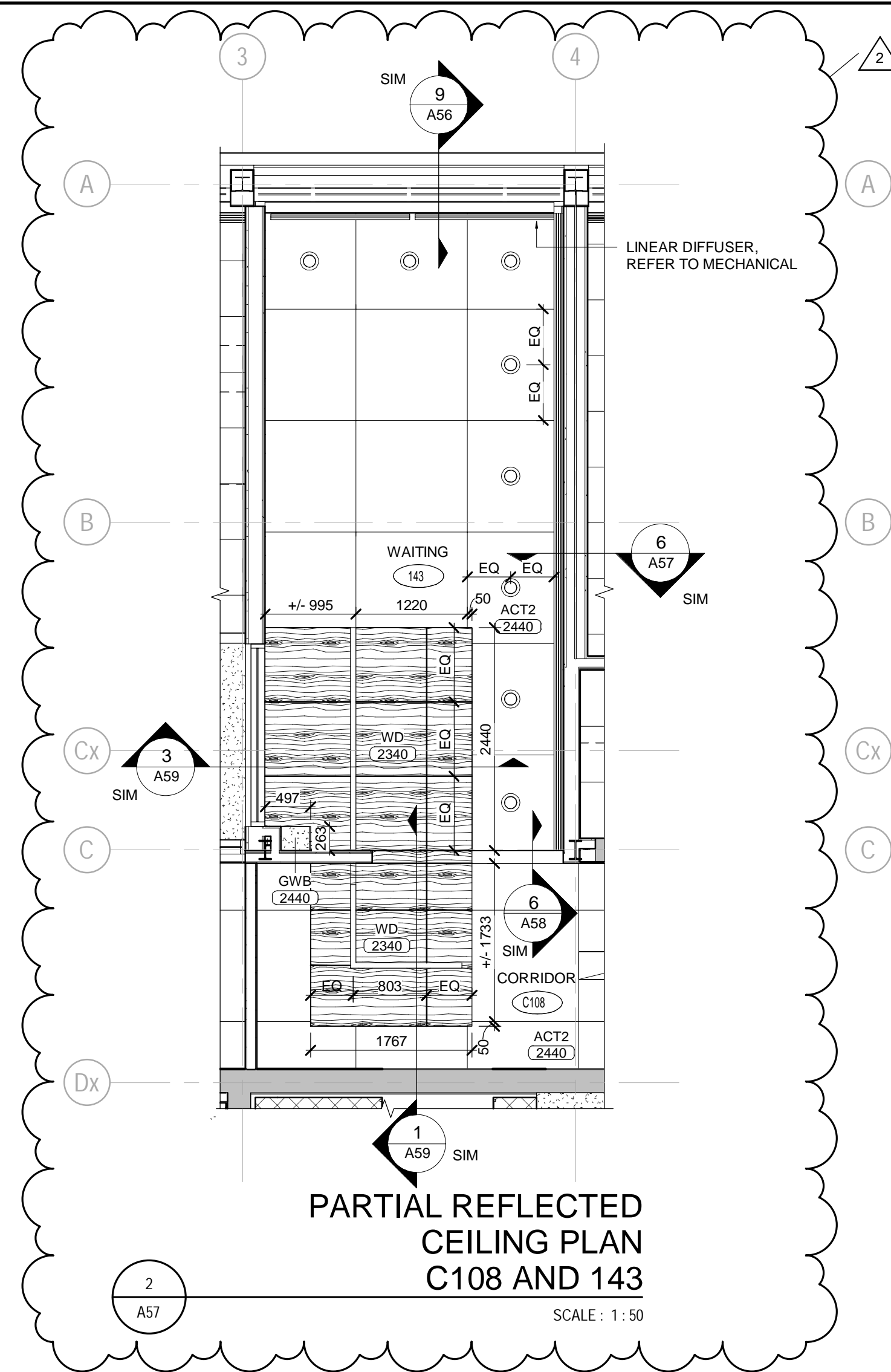
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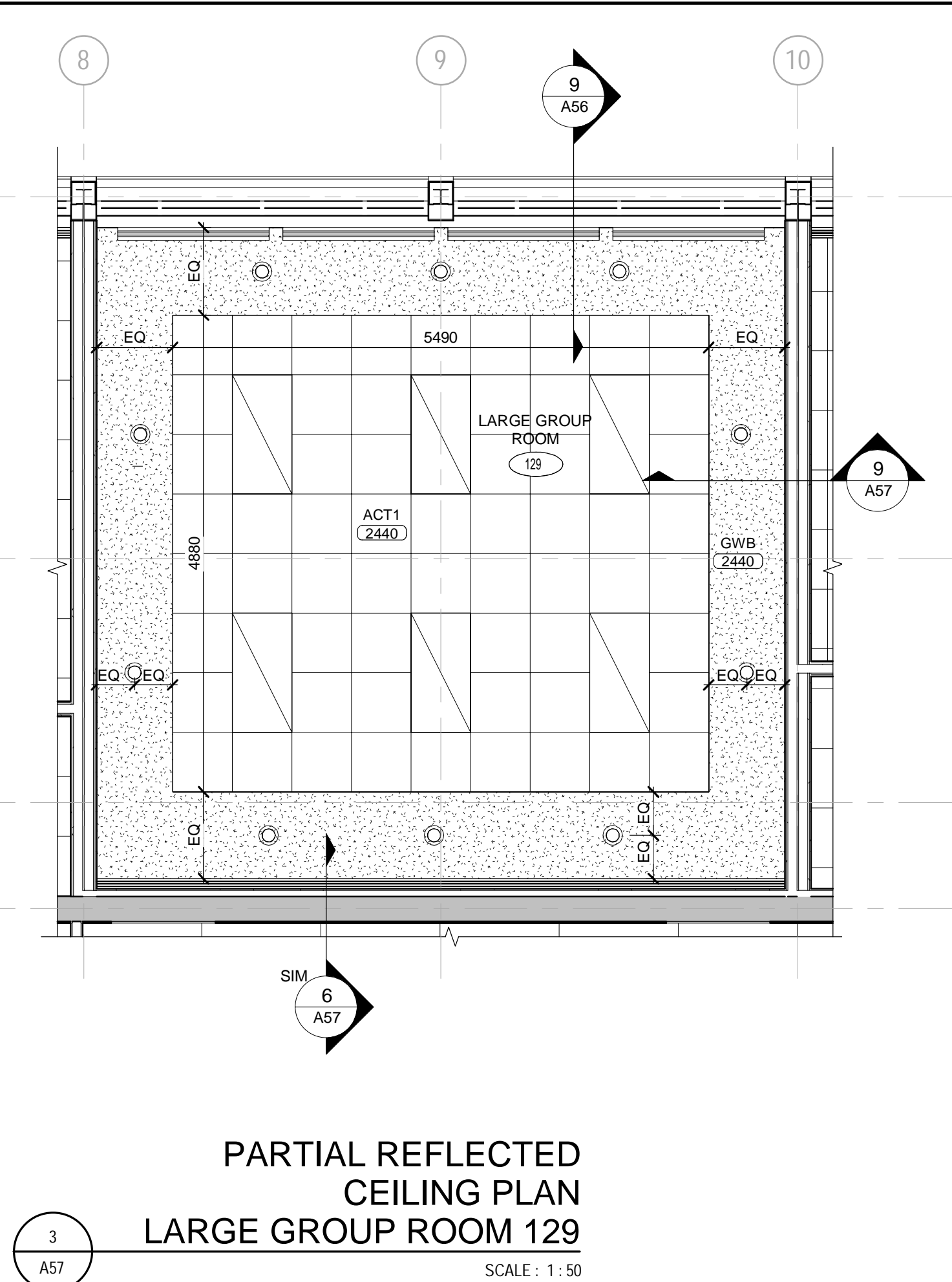
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CEILING PLAN  
WEST SOFFIT

SCALE : 1:50



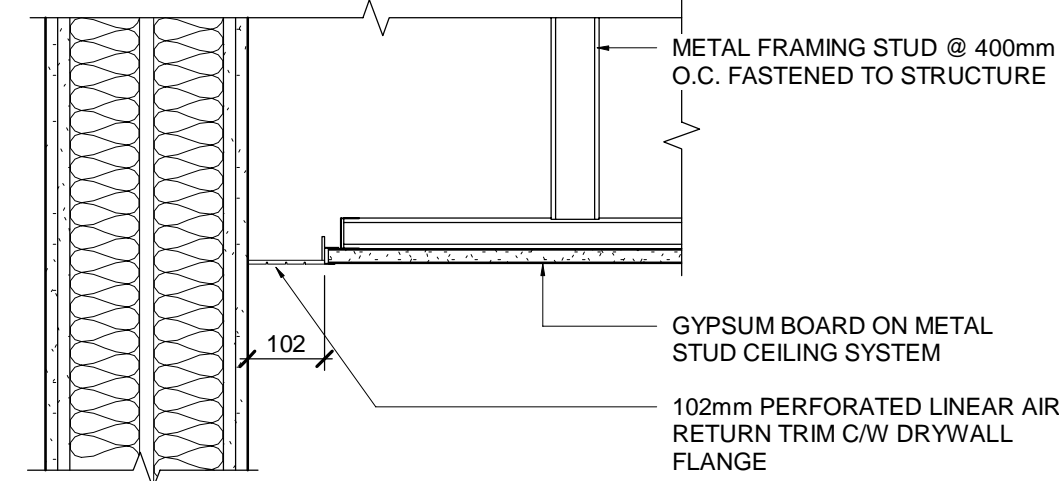
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CEILING PLAN  
C108 AND 143

SCALE : 1:50



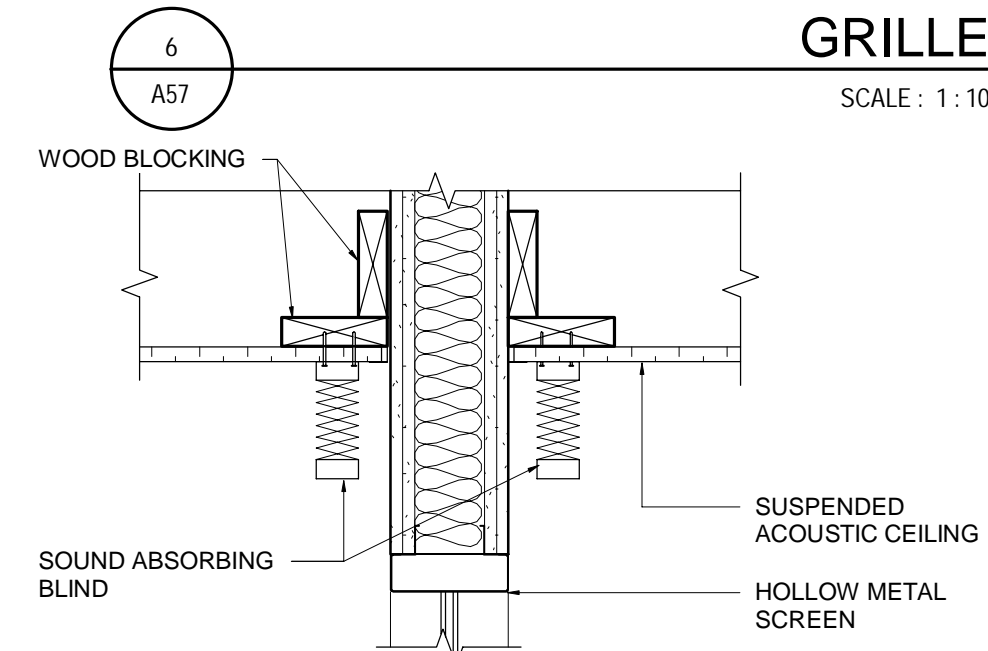
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CEILING PLAN  
LARGE GROUP ROOM 129

SCALE : 1:50



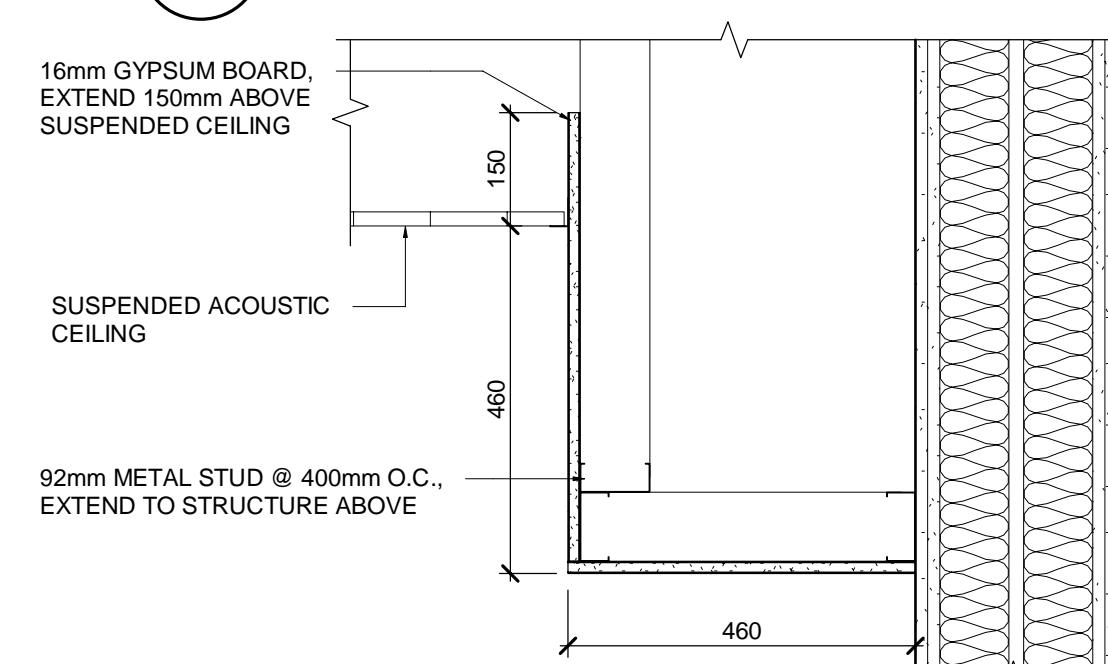
DETAIL - LINEAR RETURN  
GRILLE

SCALE : 1:10



DETAIL - INTERIOR ROLLER  
BLINDS

SCALE : 1:10



DETAIL - BULKHEAD IN 219

SCALE : 1:10

#### LEGEND:

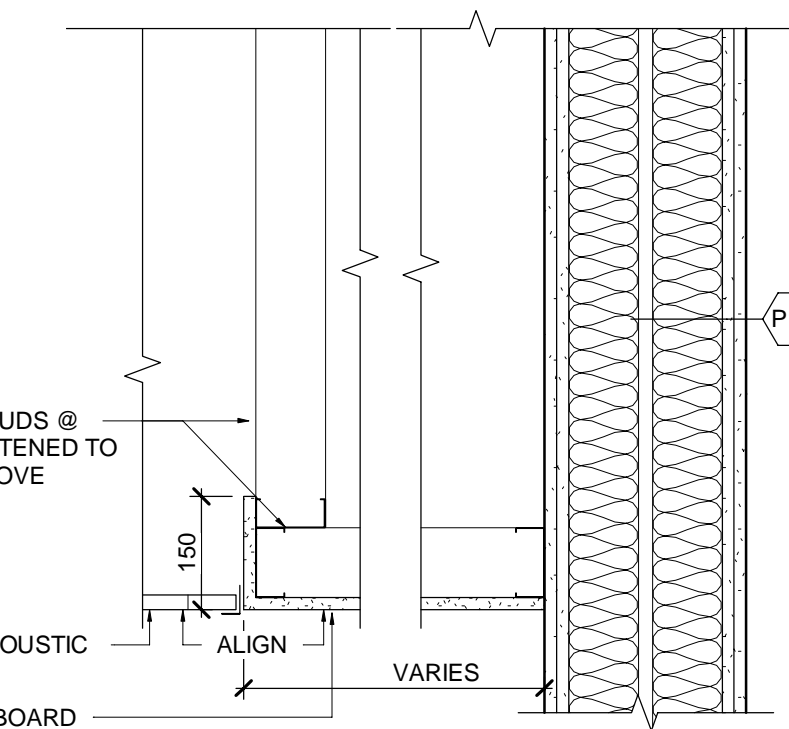
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TYPE 1 (ACT1)  
610mm X 610mm
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- 305 X 610 CEILING HATCH
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DETAIL - BULKHEAD

SCALE : 1:10

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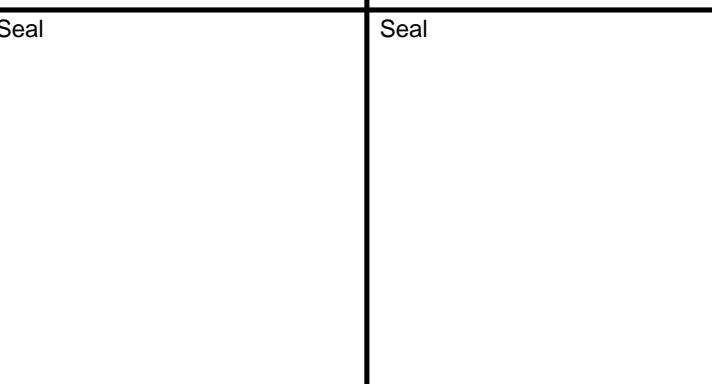
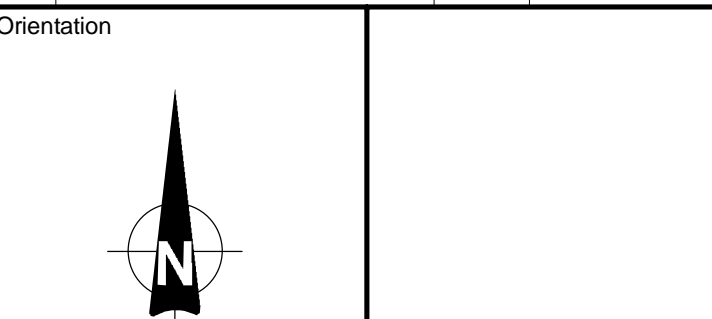
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Project  
**BUILDING #046  
RENOVATIONS**

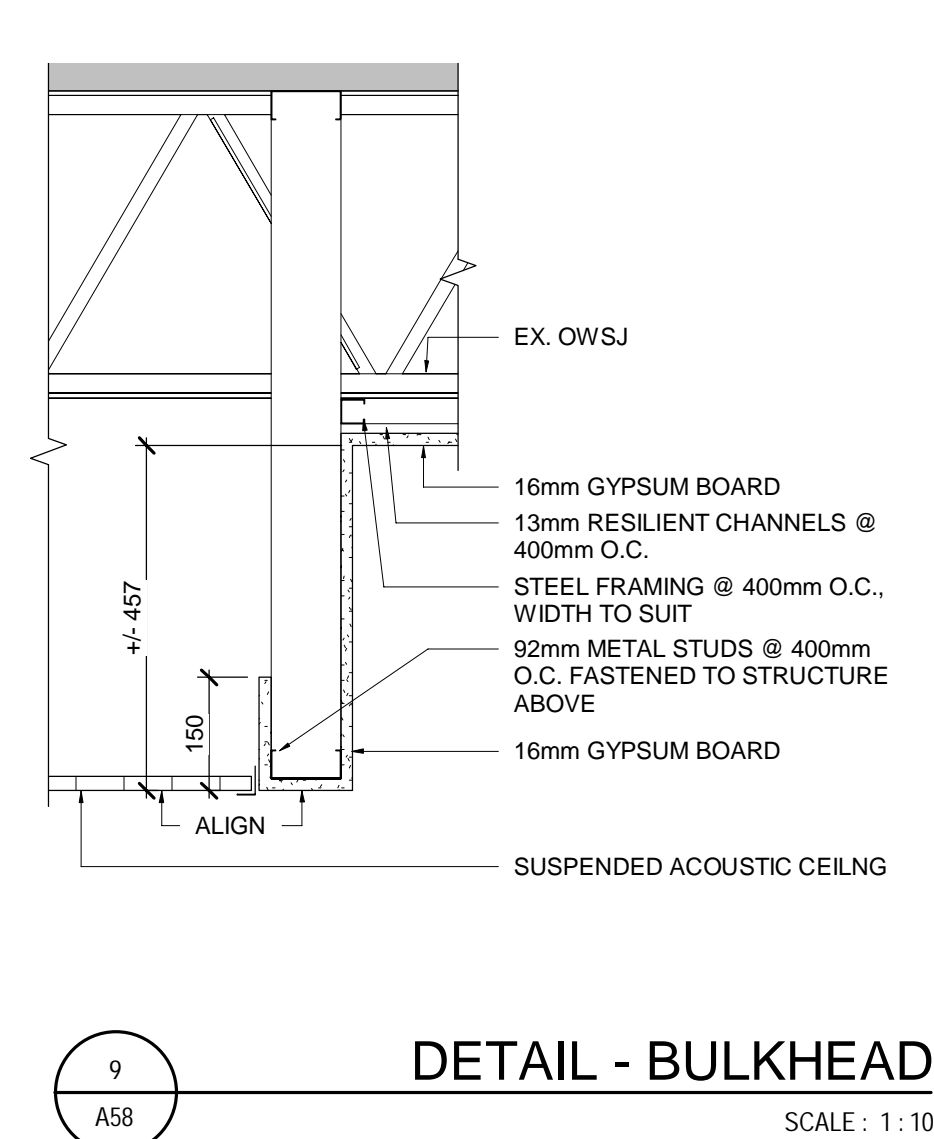
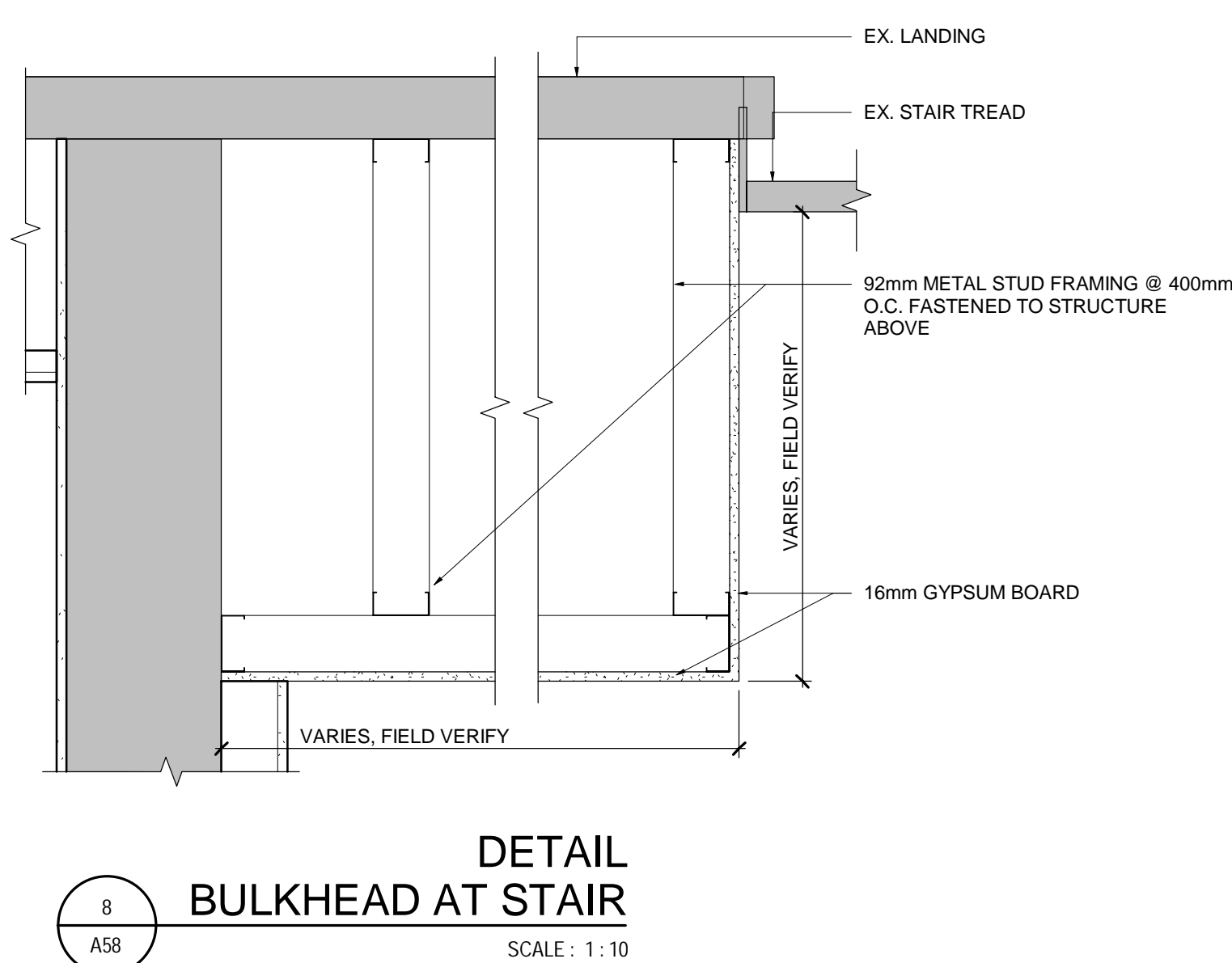
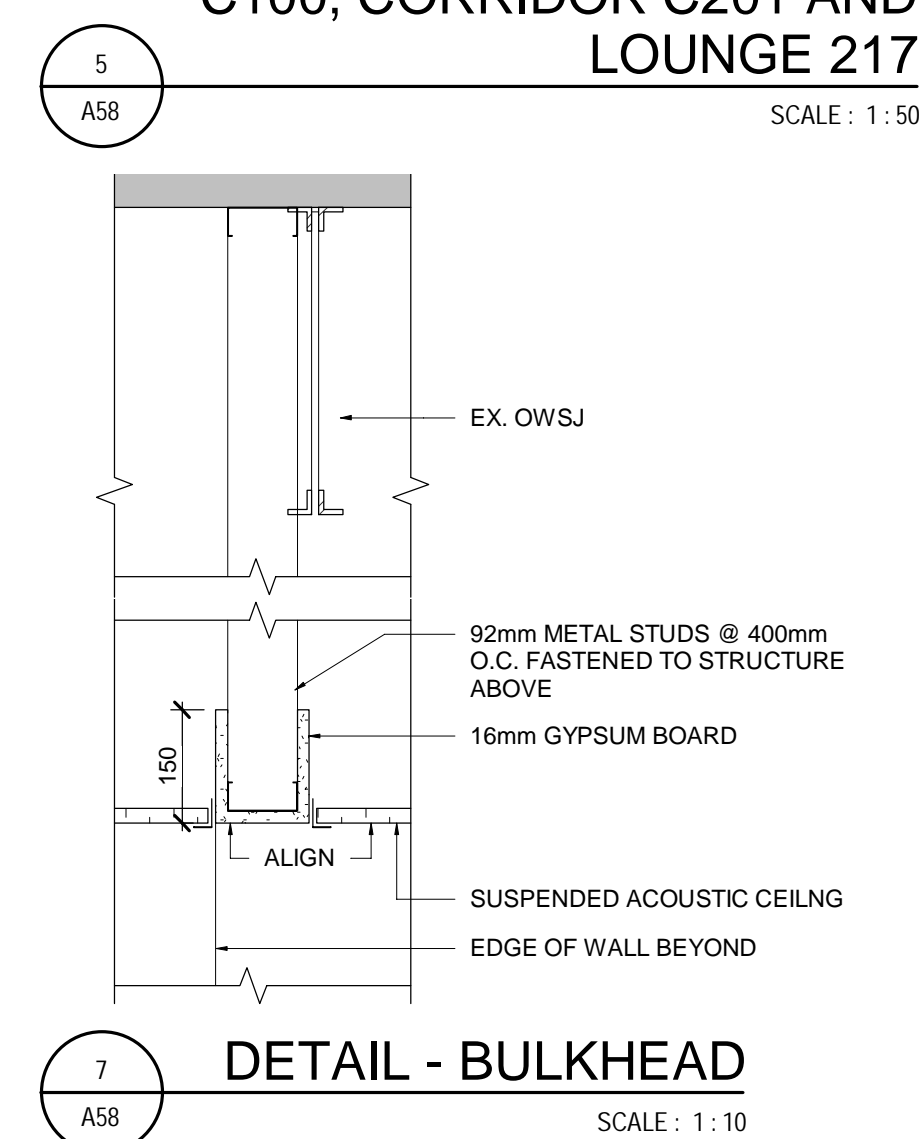
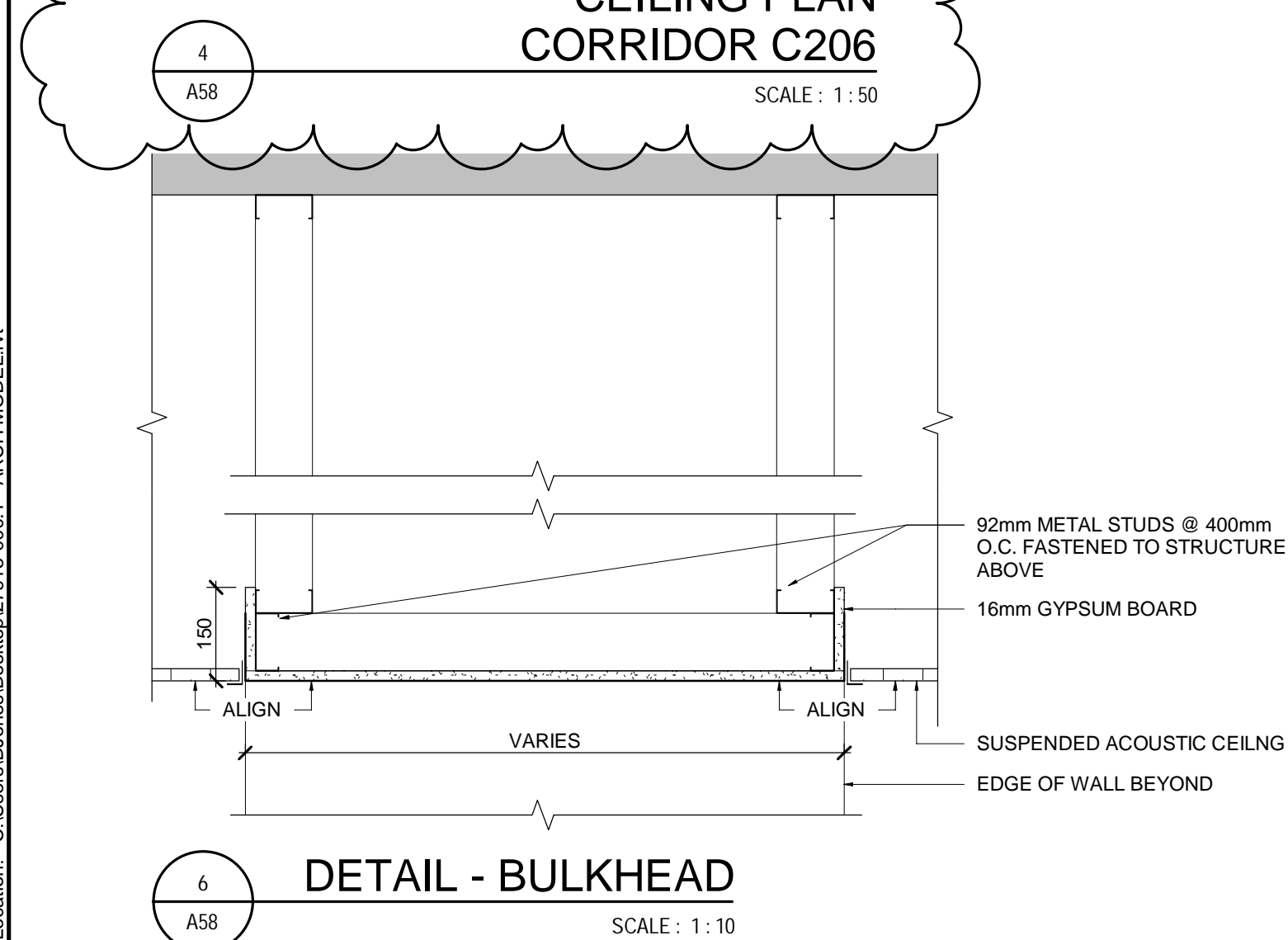
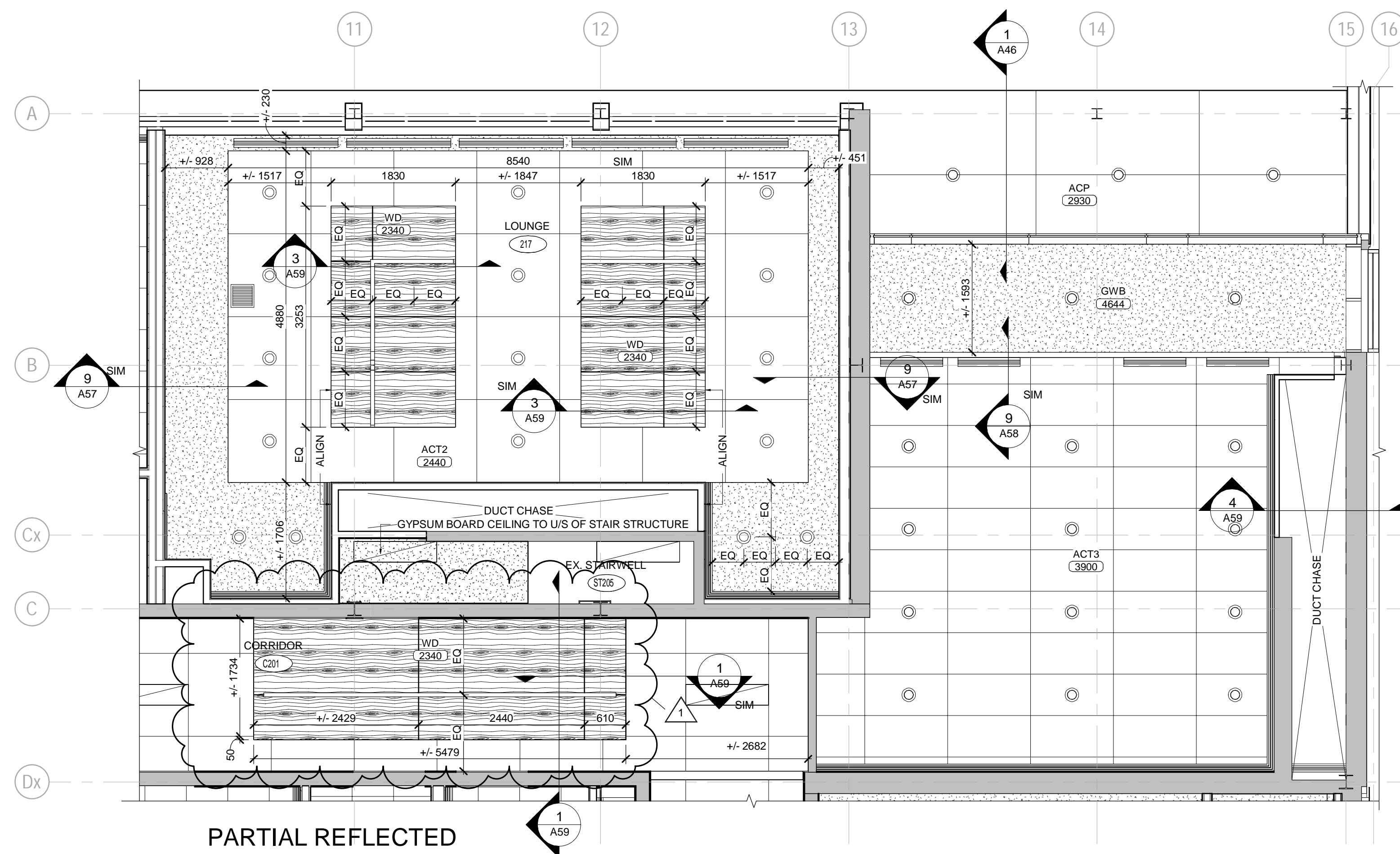
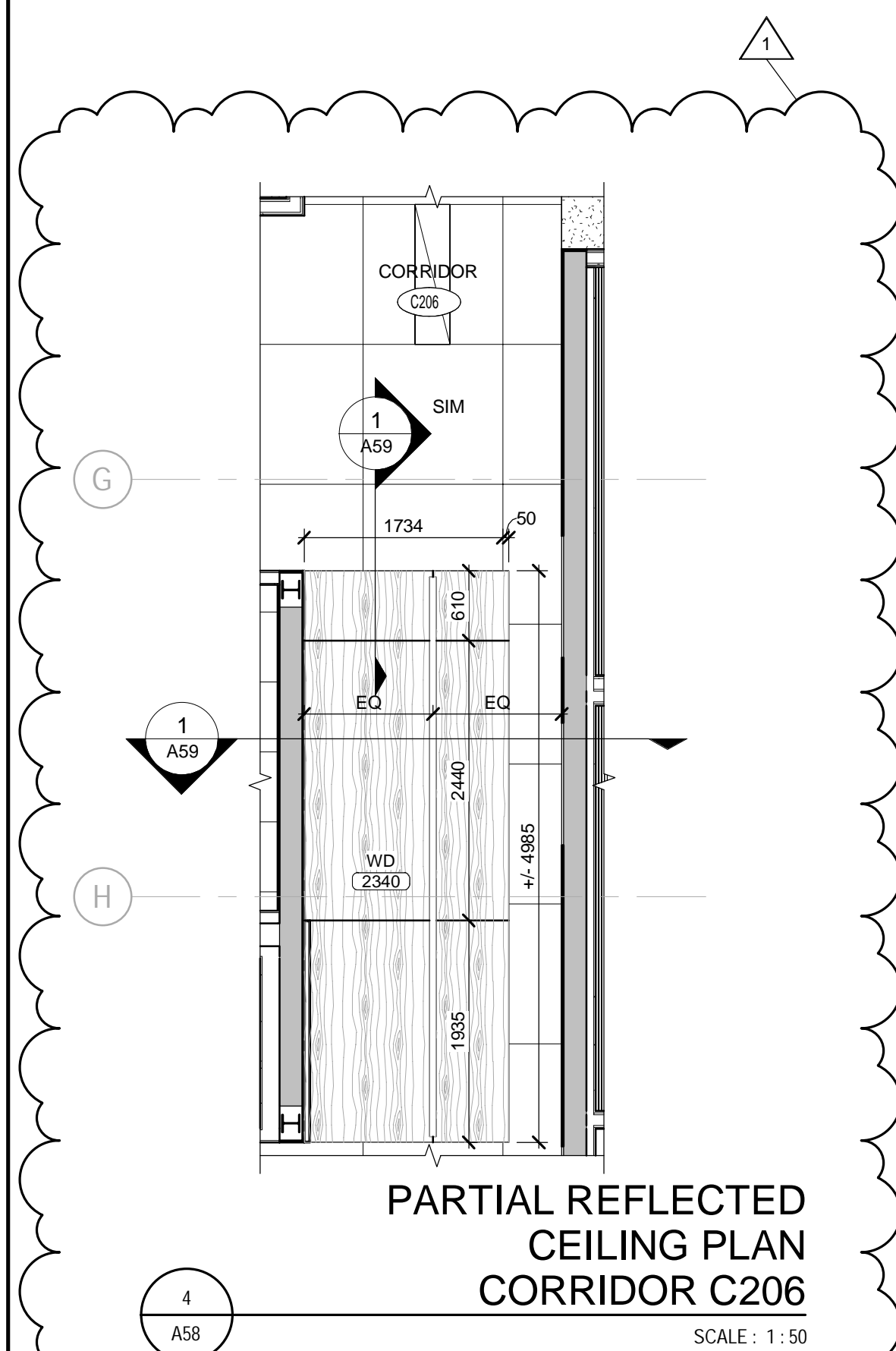
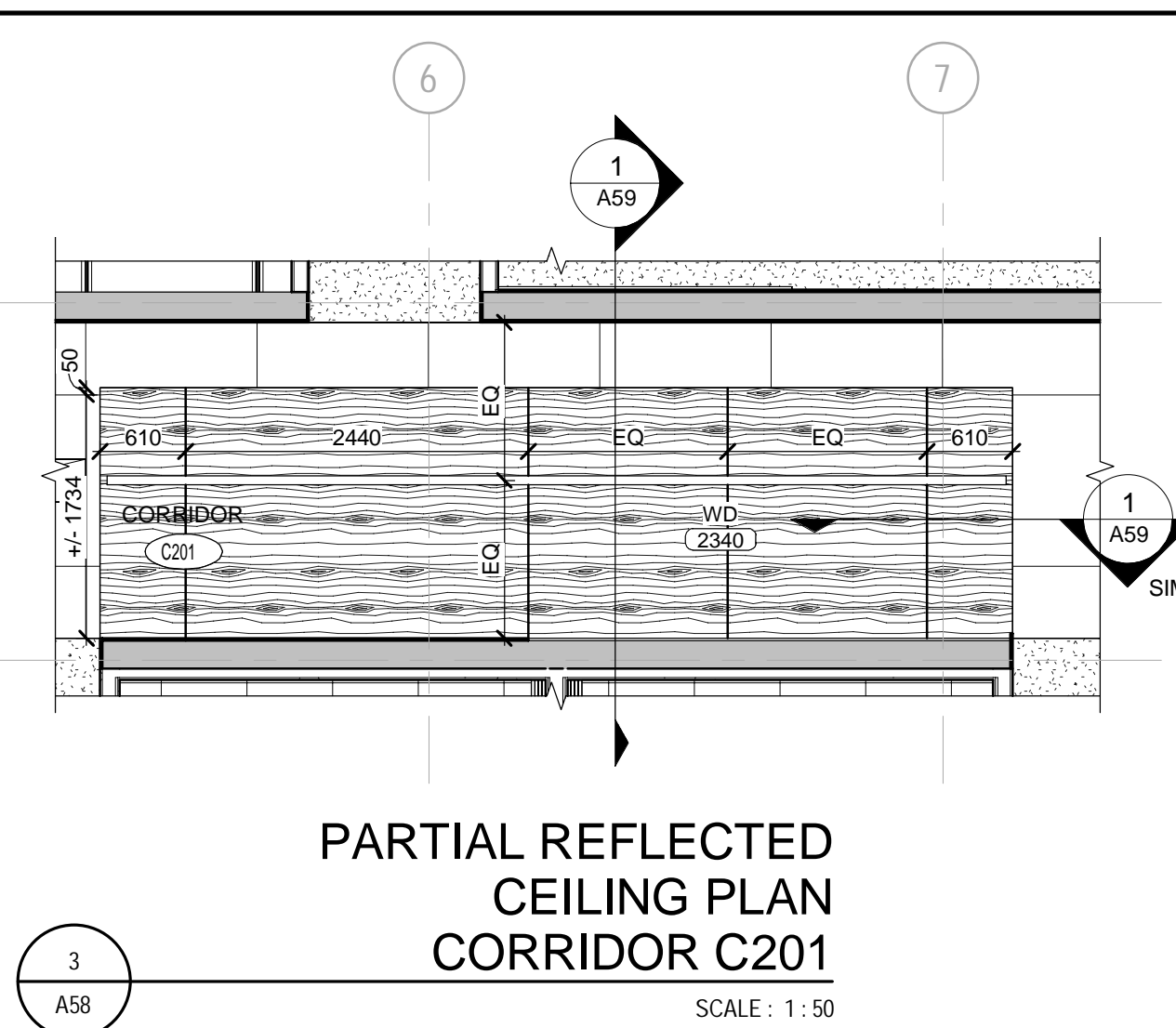
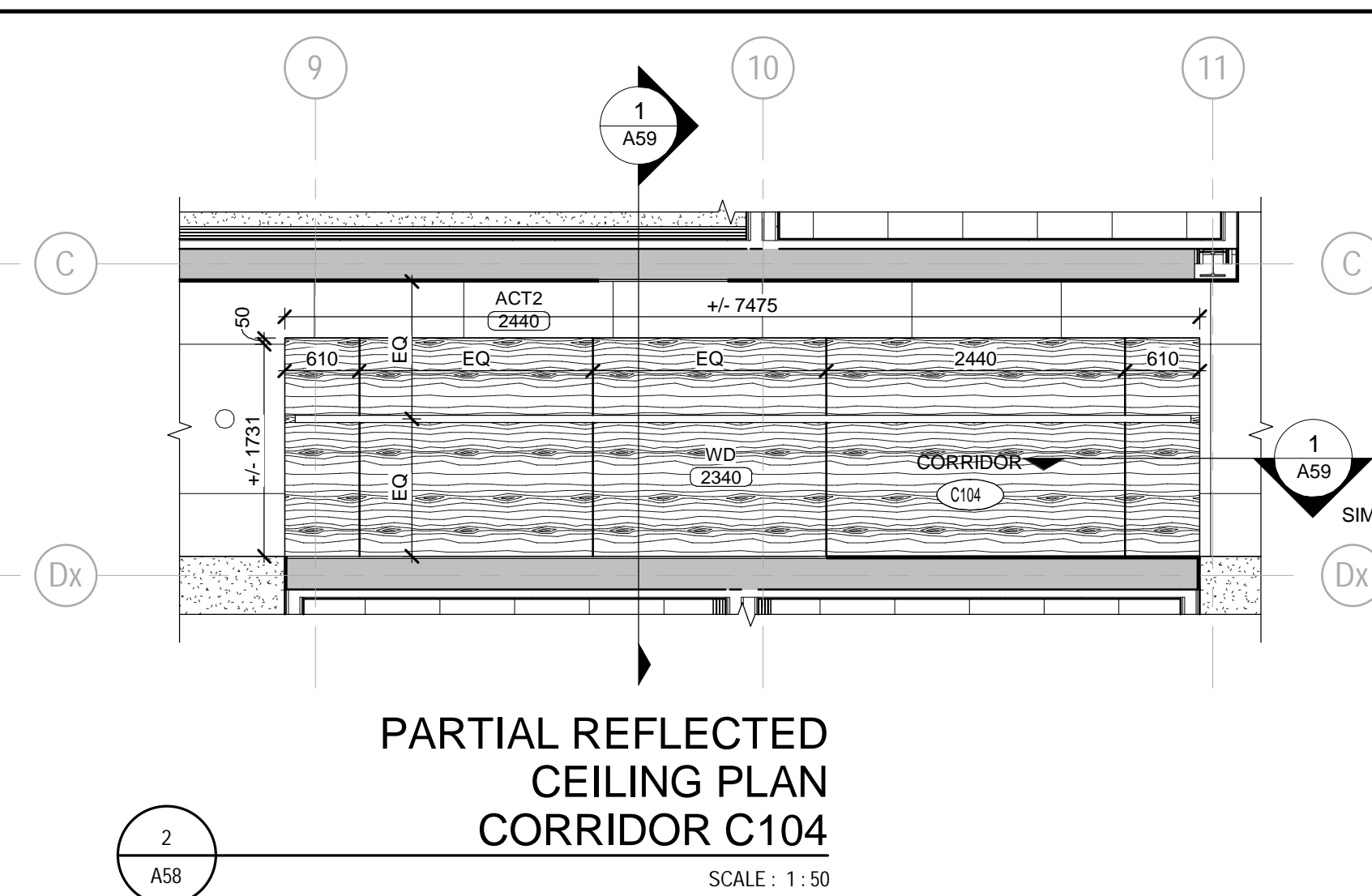
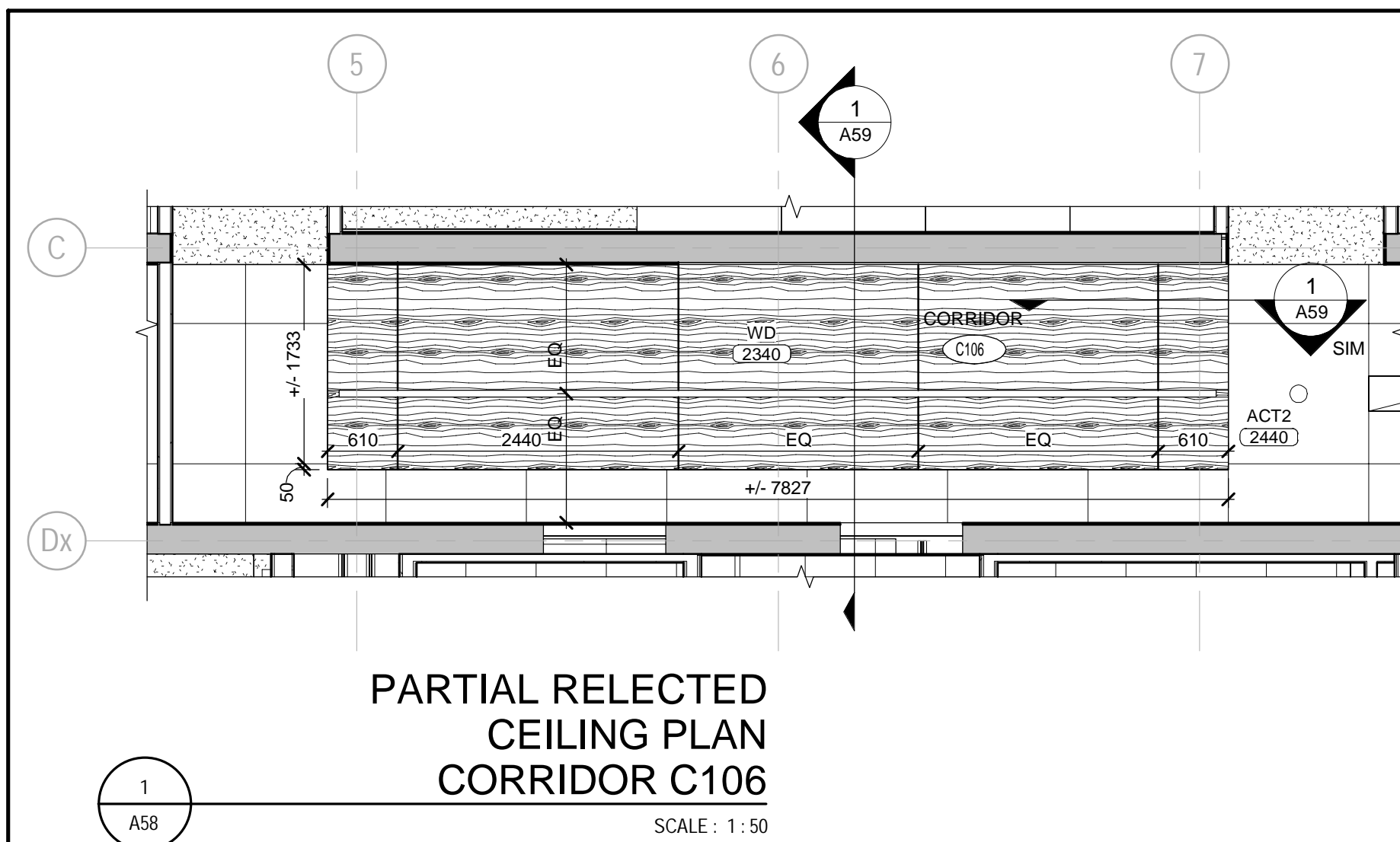
Drawing Title  
**ARCHITECTURAL  
PARTIAL REFLECTED CEILING  
PLANS AND DETAILS**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

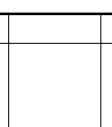
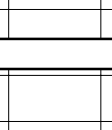
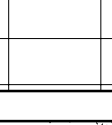

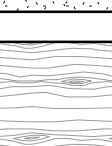
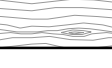


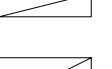
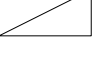
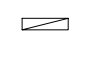







Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A57</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:59:03 AM





- LEGEND:

- | 100   | ROOM NUMBER   |
|---|---|
|  | ACOUSTIC CEILING TILE<br>TYPE 1 (ACT1)<br>610mm X 610mm   |
|  | ACOUSTIC CEILING TILE<br>TYPE 2 (ACT2)<br>1220mm X 1220mm |
|  | ACOUSTIC CEILING TILE<br>TYPE 3 (ACT3)<br>1220mm X 610mm  |
|  | GYPSUM BOARD CEILING AND/OR<br>BULKHEAD (GWB)             |
|  | WOOD FEATURE CEILING (WD)                                 |
|  | 610 X 610 LIGHT FIXTURE                                   |
|  | 305 X 1220 LIGHT FIXTURE                                  |
|  | 610 X 1220 LIGHT FIXTURE                                  |
|  | 150 X 610 ALCOVE LIGHT FIXTURE                            |
|  | LINEAR SURFACE MOUNT LIGHT FIXTURE                        |
|  | CONTINUOUS LED RECESSED LIGHT FIXTURE                     |
|  | POT LIGHT FIXTURE   |
|  | DIFFUSER  |
|  | LINEAR DIFFUSER   |
|  | EGGCRATE DIFFUSER   |
|  | EXHAUST GRILLE  |
|  | 305 x 610 CEILING HATCH                                   |
|  | SPEAKER. REFER TO IT DRAWINGS                             |

ABBREVIATIONS:

- |     |  |
|-----|--|
| EX  | EXISTING   |
| ACP | ALUMINUM COMPOSITE PANEL                             |
| BP  | CONTINUOUS BLIND POCKET                              |
| FP  | CONTINUOUS FACEPLATE                                 |
| RLB | ROLLER BLIND, SIZED TO SUIT WINDOW                   |
| SAB | SOUND ABSORBING BLIND, SIZED TO SUIT INTERIOR SCREEN |
| WD  | COMPOSITE WOOD VENEER PANEL                          |

NOTES:


1. POT LIGHT FIXTURES TO BE CENTERED IN CEILING TILE UNLESS NOTED OTHERWISE.
2. REFER TO FURNITURE AND EQUIPMENT PLANS FOR LOCATIONS OF ALL OWNER SUPPLIED EQUIPMENT.
3. COORDINATE LOCATION OF WALL MOUNT LIGHT FIXTURES WITH LOCATION OF WALL MOUNTED EQUIPMENT. REFER TO FURNITURE AND EQUIPMENT PLANS.
4. LOCATIONS AND MOUNTING HEIGHTS OF ALL WALL MOUNTED LIGHT FIXTURES TO BE CONFIRMED BY OWNER PRIOR TO INSTALLATION.

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UNEXPECTED DISCOVERY OF ASBESTOS:

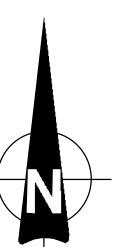
Where a friable material is discovered during construction, renovations and/or demolition, and it is suspected to contain asbestos, the Contractor must stop all work that may disturb the material. The Contractor shall advise the Owner of the discovery and await instructions from the owner.



A = Detail number  
B = Drawing number where detailed

2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
1	POST-TENDER ADDENDUM NO.1	TA	FEB 26, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

## Orientation



Seal

real

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Consultant

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Project

## BUILDING #046 RENOVATIONS

Drawing Title

## ARCHITECTURAL PARTIAL REFLECTED CEILING PLANS AND DETAILS

Project No.  
504034

UNIVERSITY OF GUELPH  
BUILDING #046

Scale  
AS INDICATED

Date  
APR 12, 2019

Drawn By  
DCJ / NJB

Drawing No.

Checked By  
TA

Approved By  
RPC

JLR #: 27915

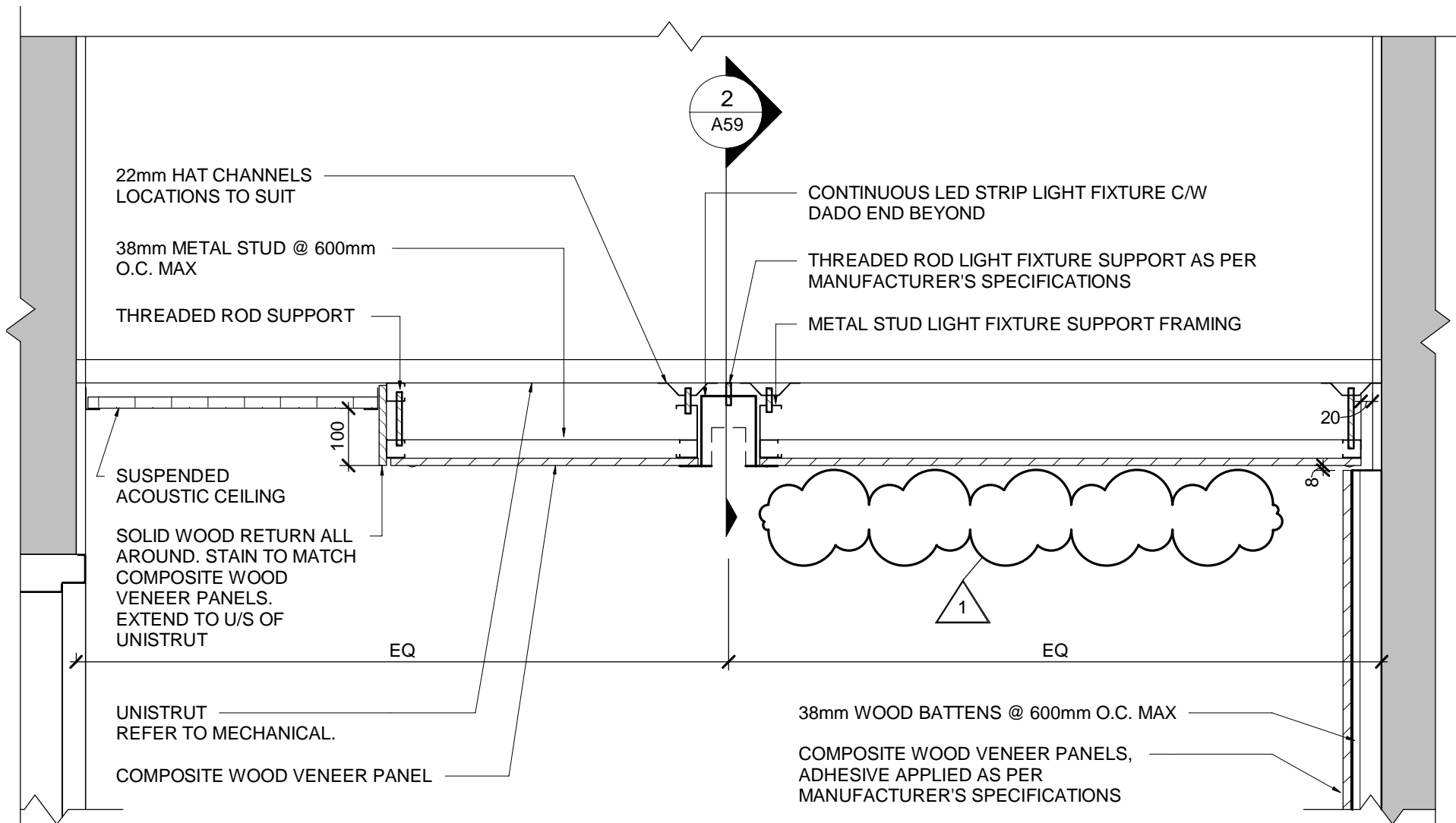
# A58

Cad File No.

File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.rvt

PLOT DATE: 2019-04-11 8:59:15 AM

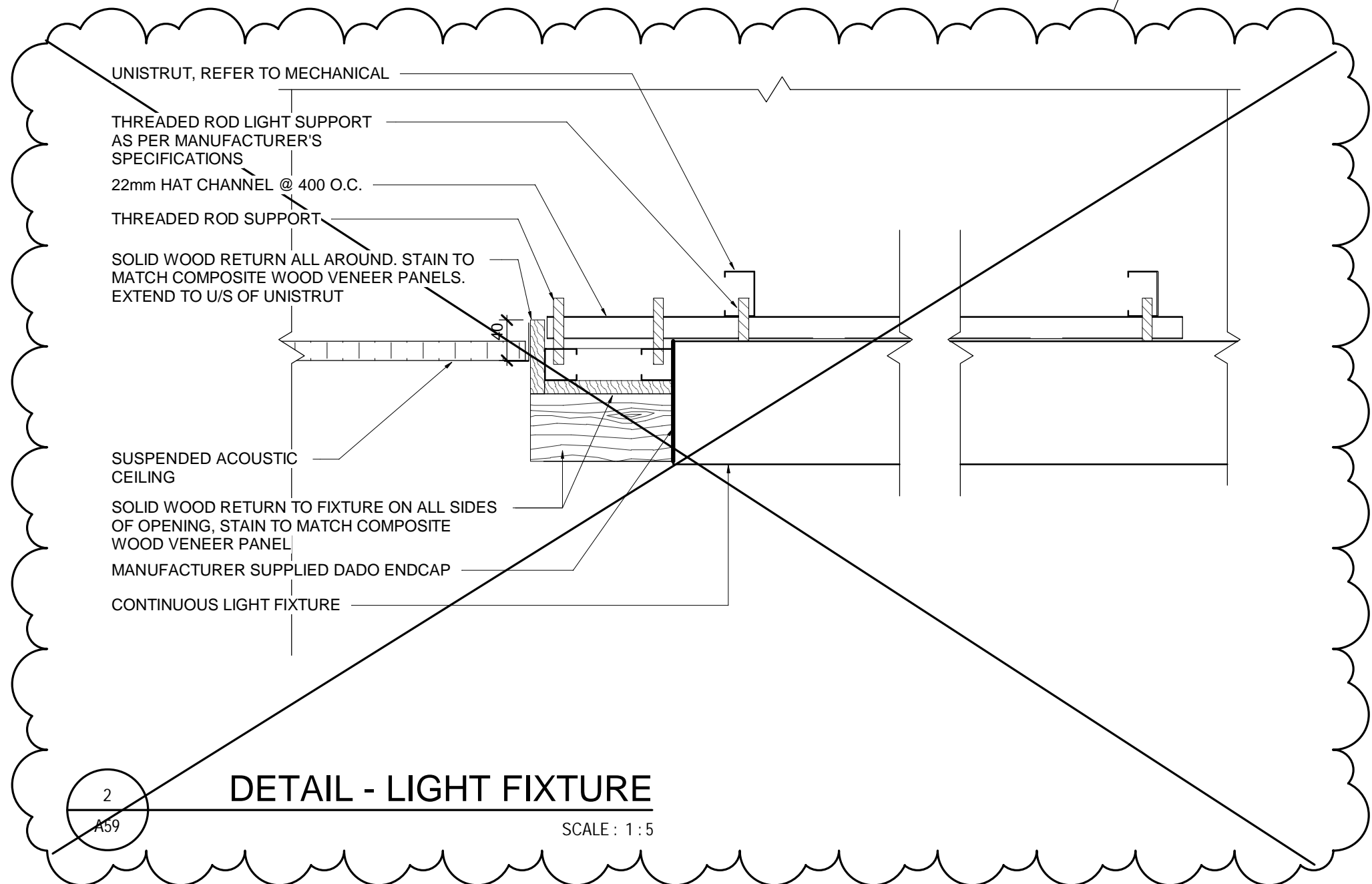
File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.rvt



DETAIL - BULKHEAD & LIGHT  
FIXTURE AT CORRIDOR  
C104

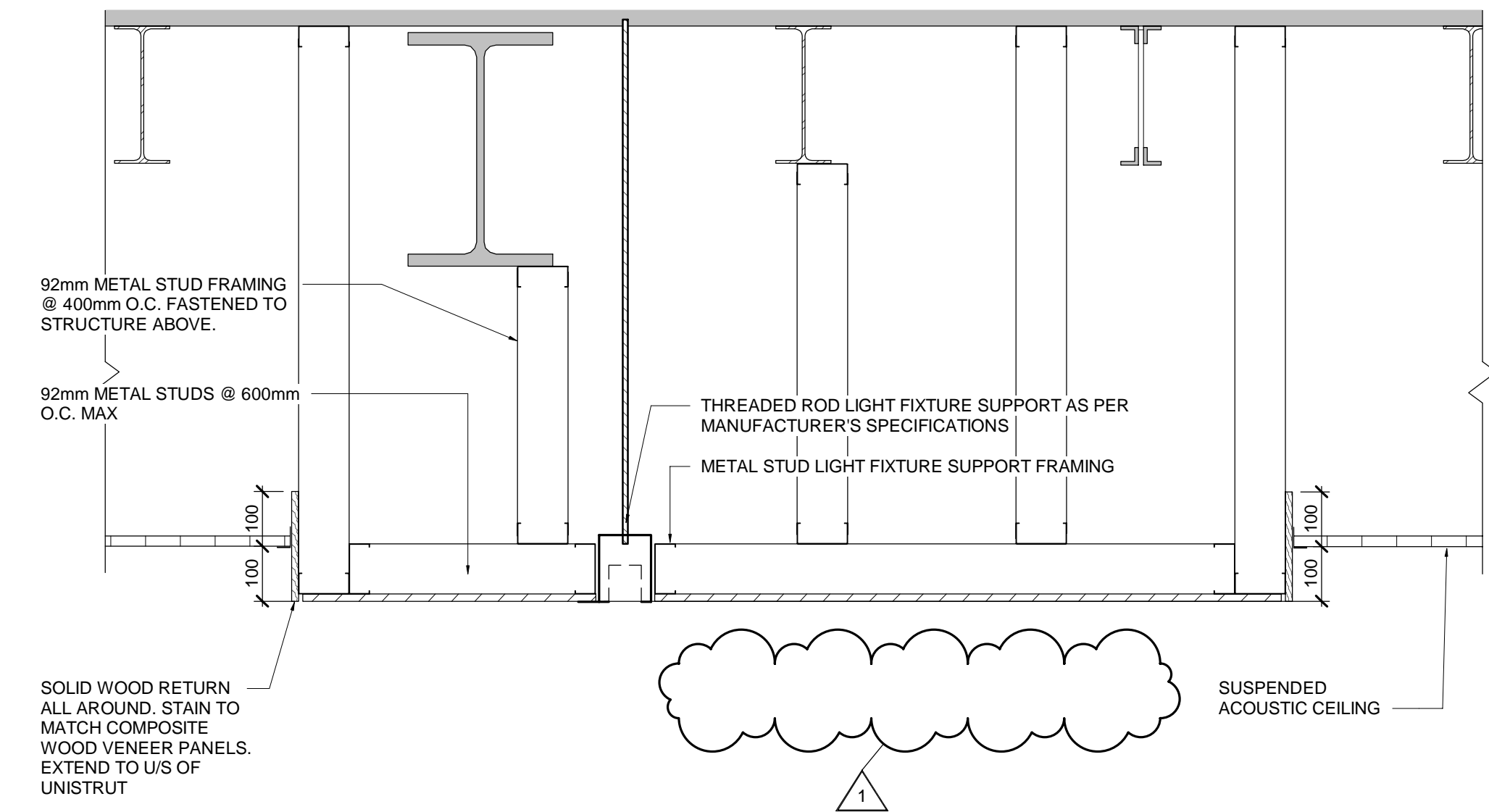
SCALE : 1 : 10

DETAIL DELETED



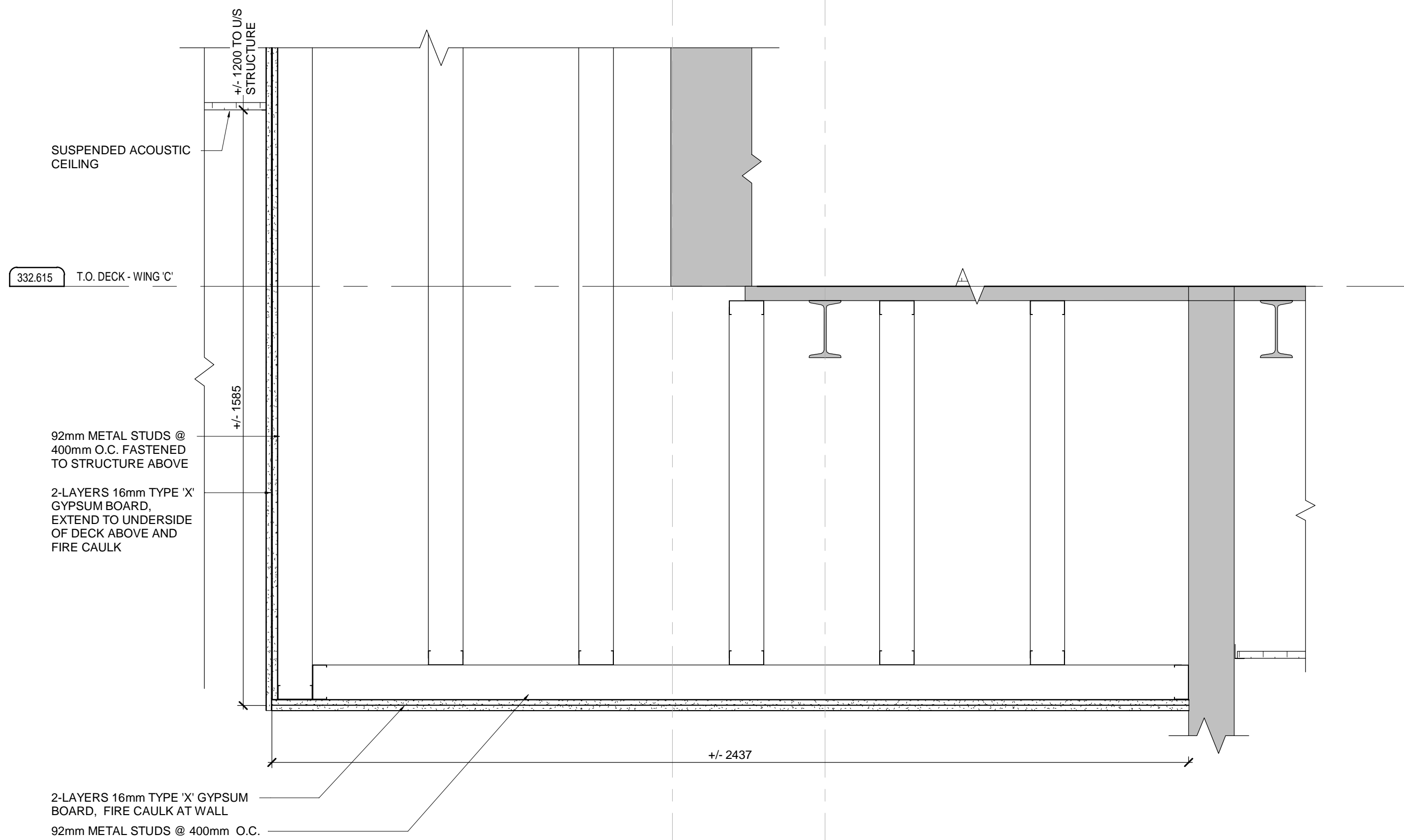
DETAIL - LIGHT FIXTURE

SCALE : 1 : 5



DETAIL - WOOD CEILING @  
ACT

SCALE : 1 : 10



DETAIL - BULKHEAD AT  
LOBBY

SCALE : 1 : 10

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0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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Consultant [www.jlrichards.ca](http://www.jlrichards.ca)

**JLR** J.L.Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
CEILING AND BULKHEAD  
DETAILS**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ / NJB	Drawing No. <b>A59</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

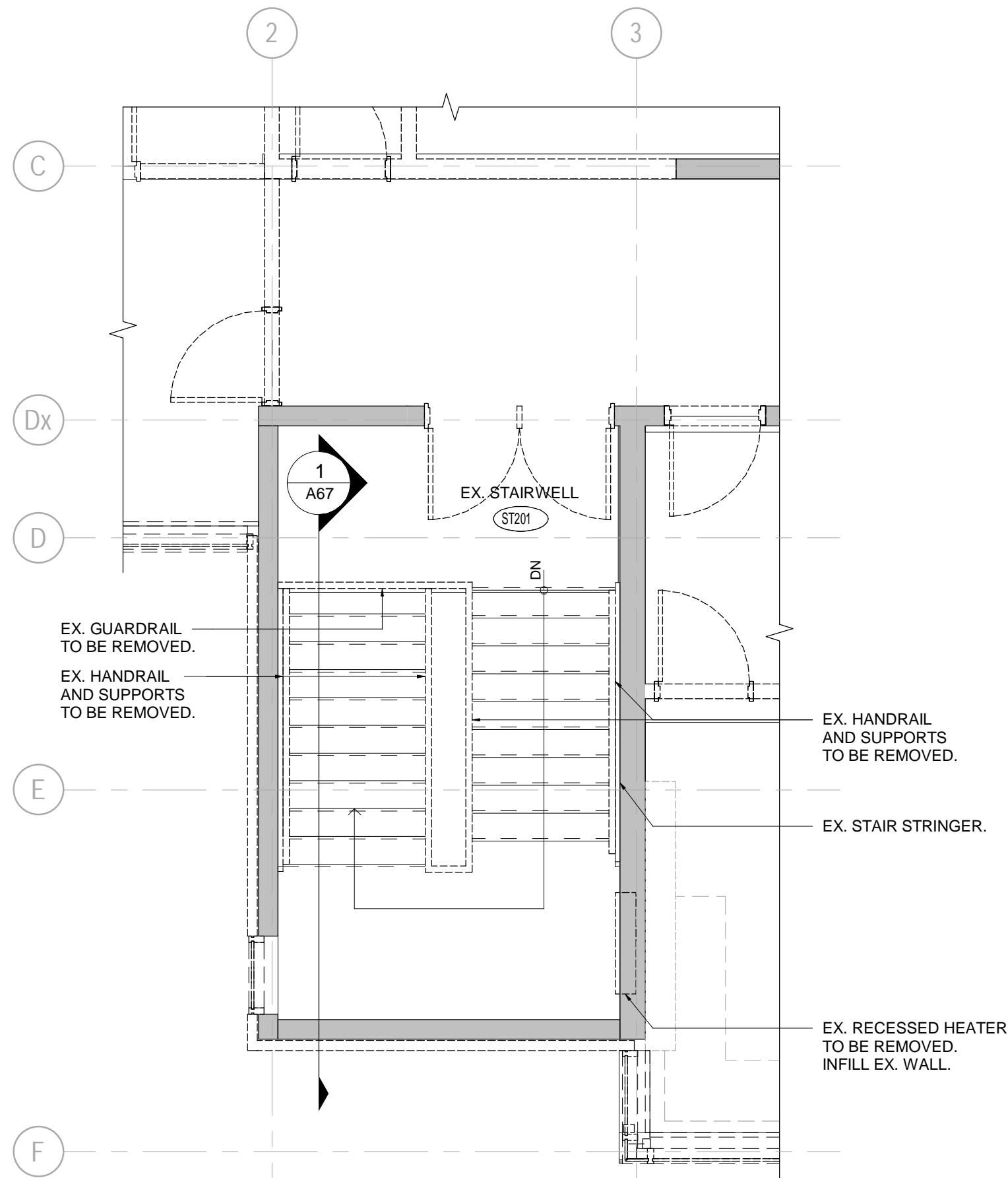
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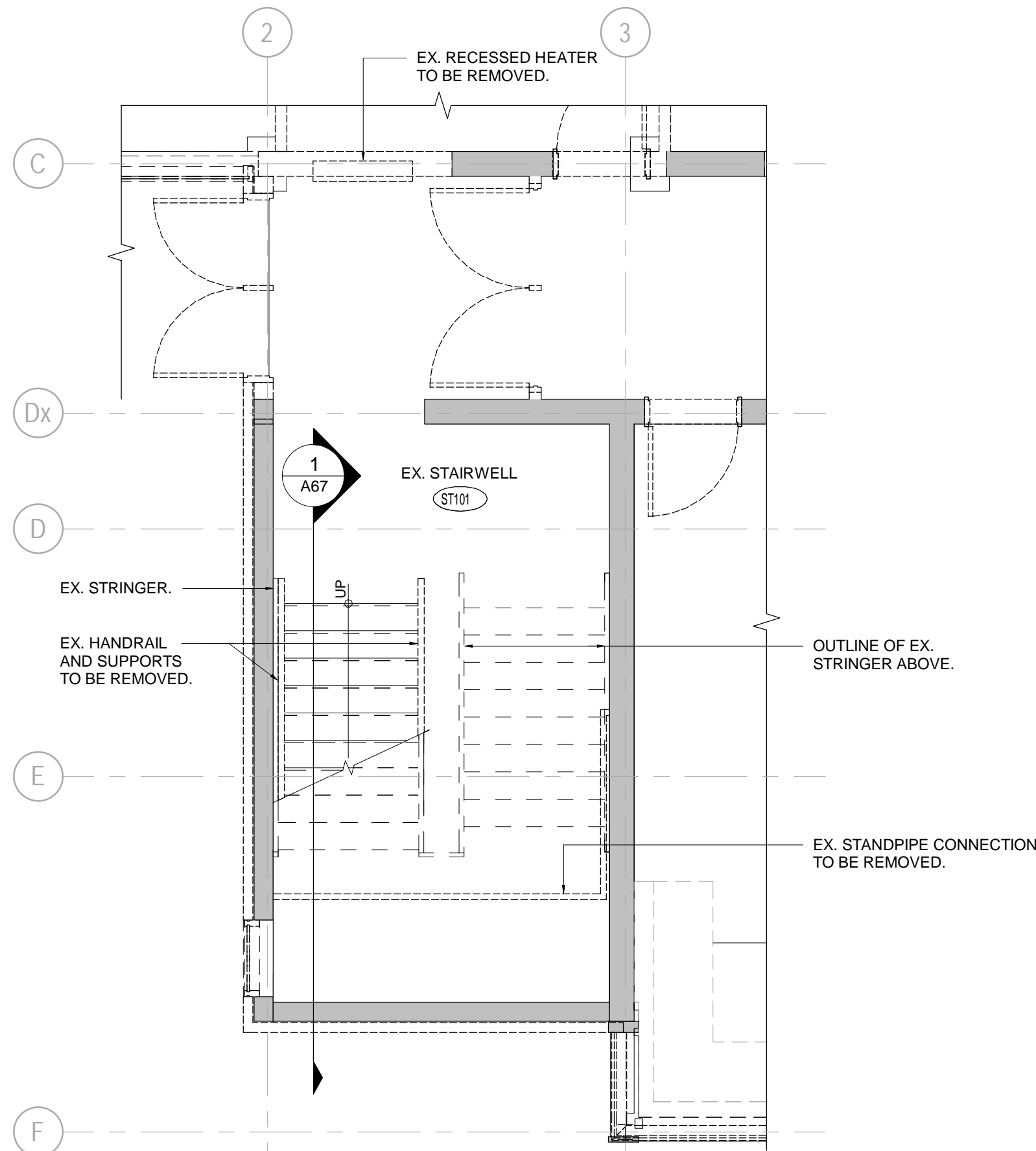
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File Location: C:\Users\DJones\Desktop\27915-000-1 - ARCH MODEL.dwg



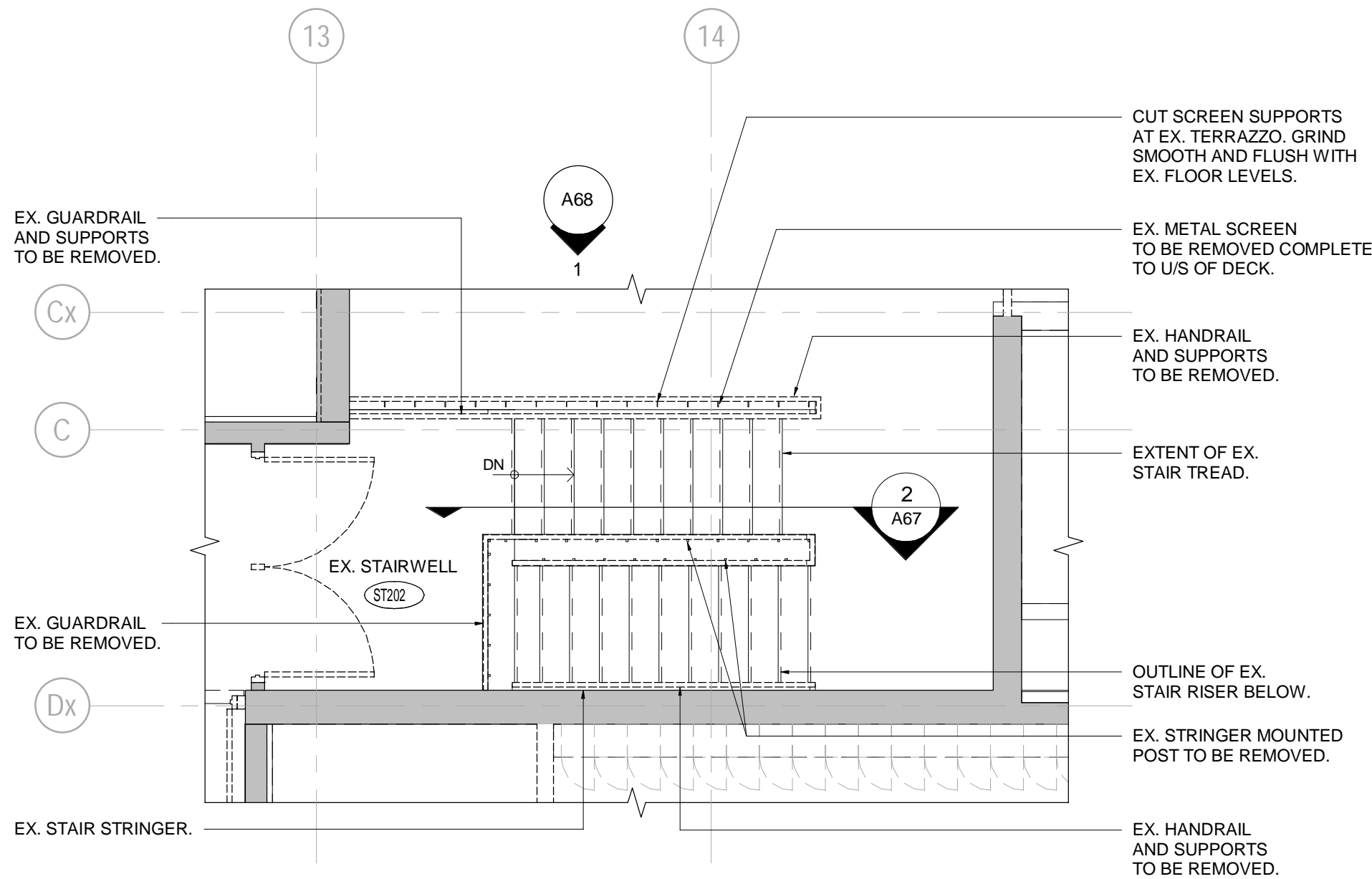
EXISTING PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST101 LEVEL 2

1  
A65  
SCALE : 1 : 50



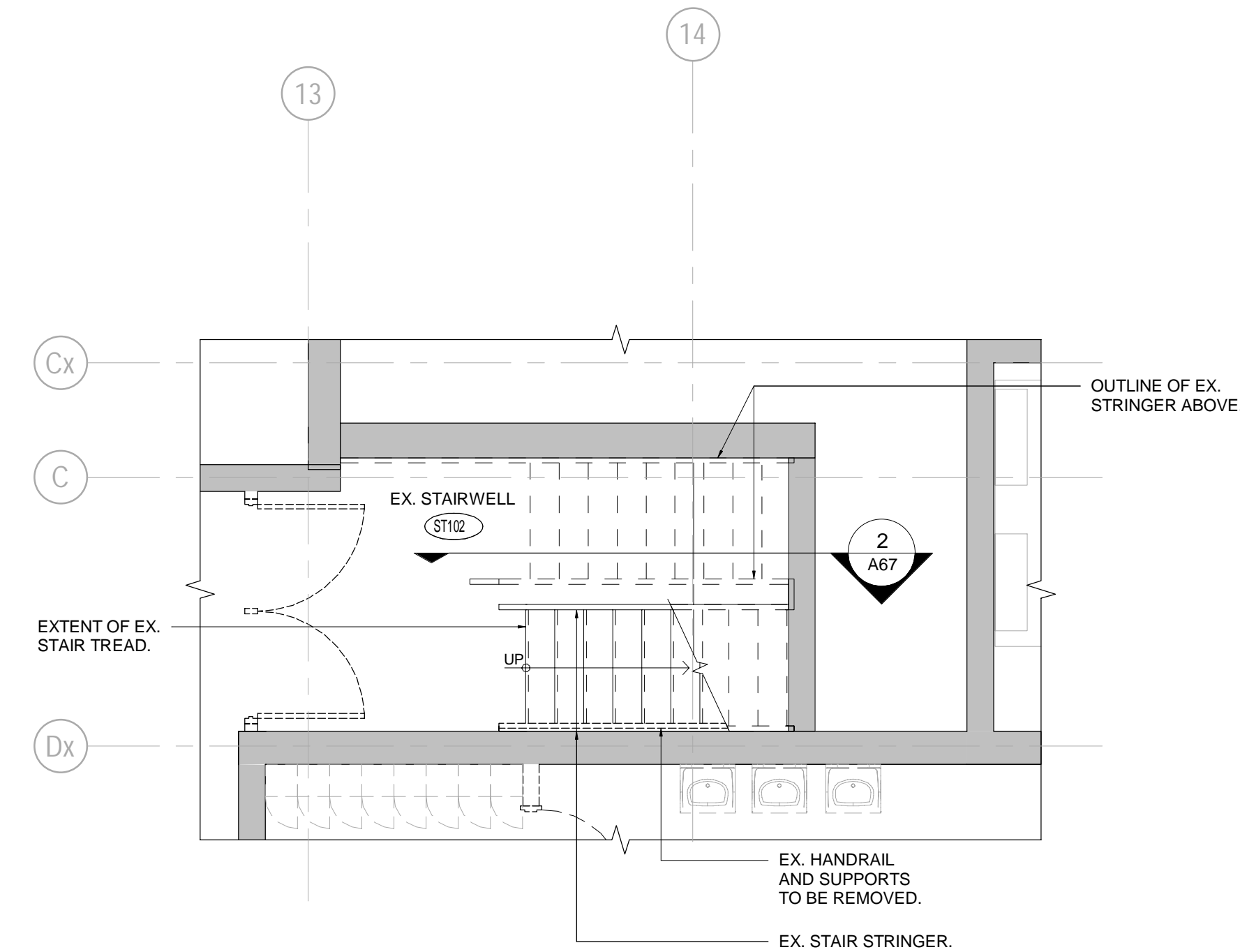
EXISTING PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST101 LEVEL 1

4  
A65  
SCALE : 1 : 50



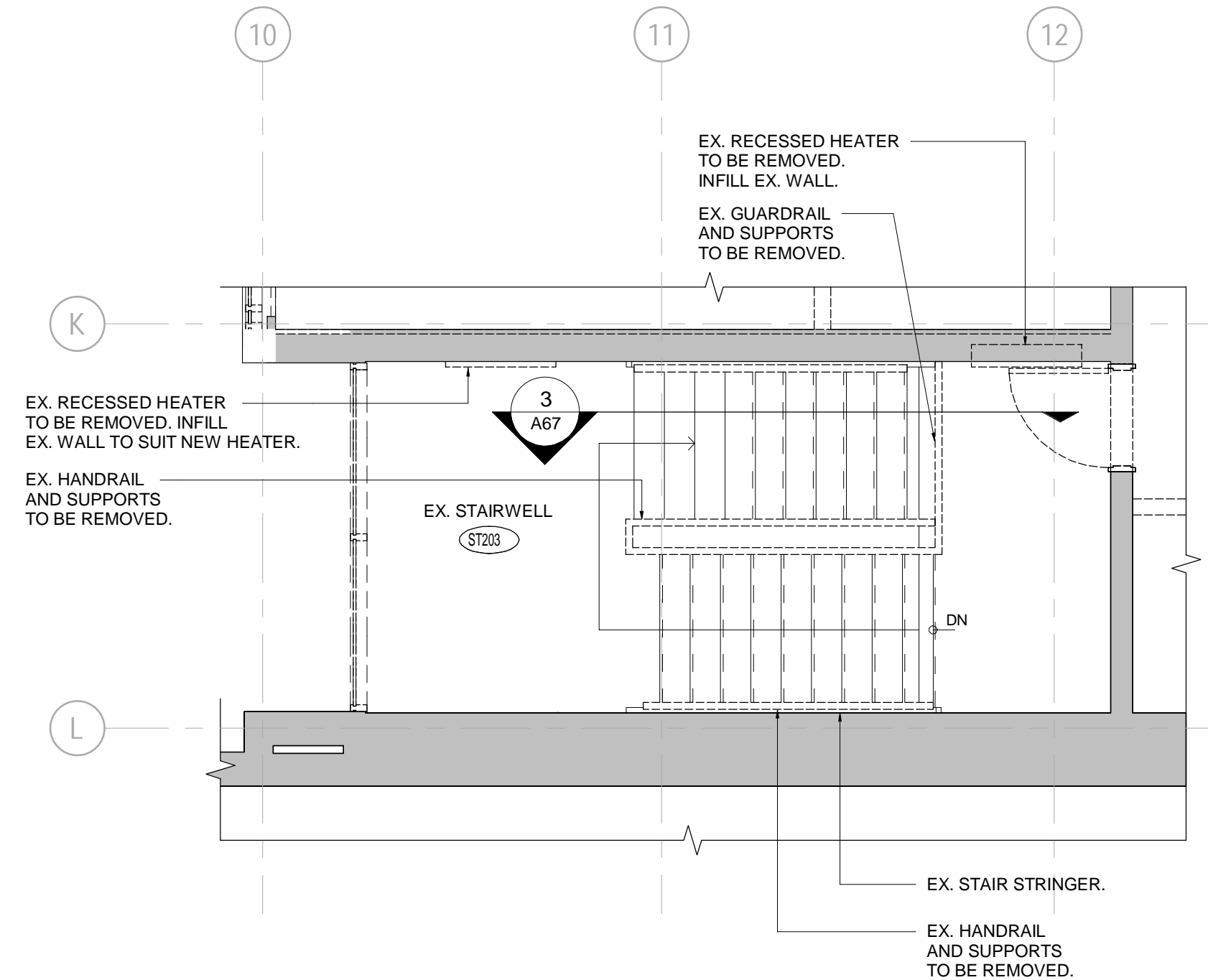
EXISTING PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST102 LEVEL 2

2  
A65  
SCALE : 1 : 50



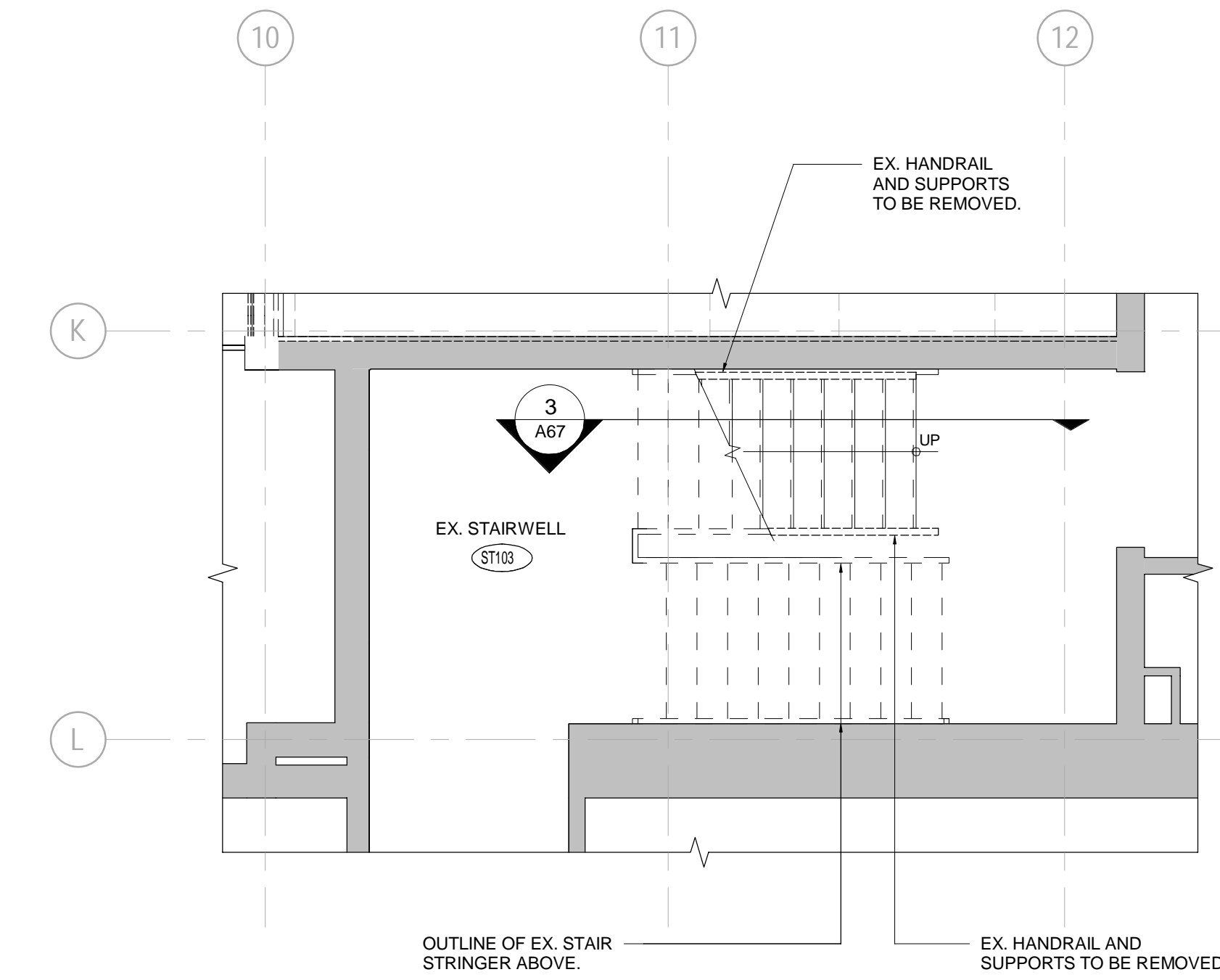
EXISTING PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST102 LEVEL 1

5  
A65  
SCALE : 1 : 50



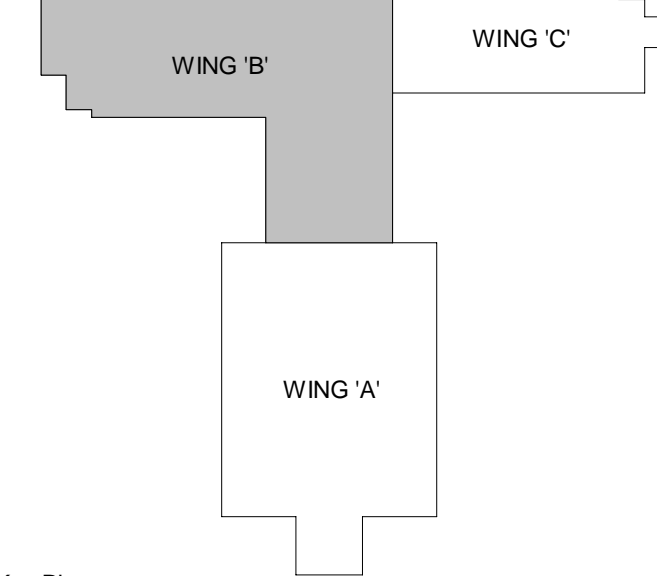
EXISTING PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST103 LEVEL 2

3  
A65  
SCALE : 1 : 50



EXISTING PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST103 LEVEL 1

6  
A65  
SCALE : 1 : 50



Key Plan

DO NOT SCALE DRAWINGS:

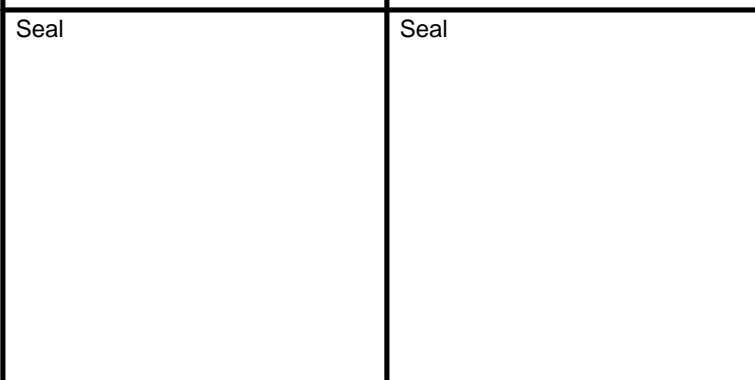
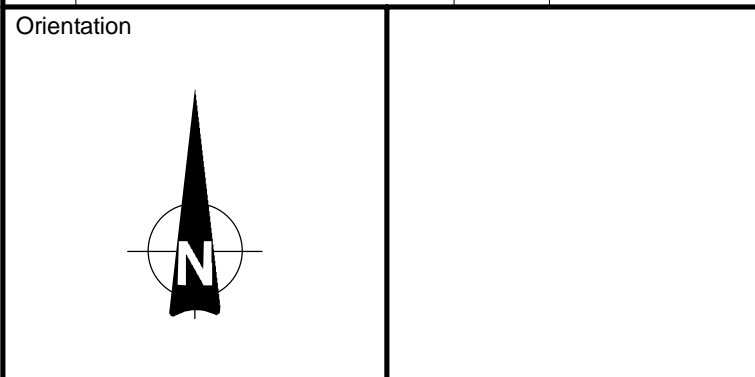
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1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE



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Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
EXISTING PARTIAL FLOOR  
PLANS - STAIRS**  
Project No.  
**504034**


Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By KM	Drawing No.
Checked By TA	<b>A65</b>
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:59:32 AM



ALTERED PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST101 LEVEL 2



SCALE : 1 : 50

ALTERED PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST101 LEVEL 1

4  
A66

SCALE : 1 : 50

ALTERED PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST102 LEVEL 2

2  
A66

SCALE : 1 : 50

ALTERED PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST102 LEVEL 1

5  
A66

SCALE : 1 : 50

ALTERED PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST103 LEVEL 2

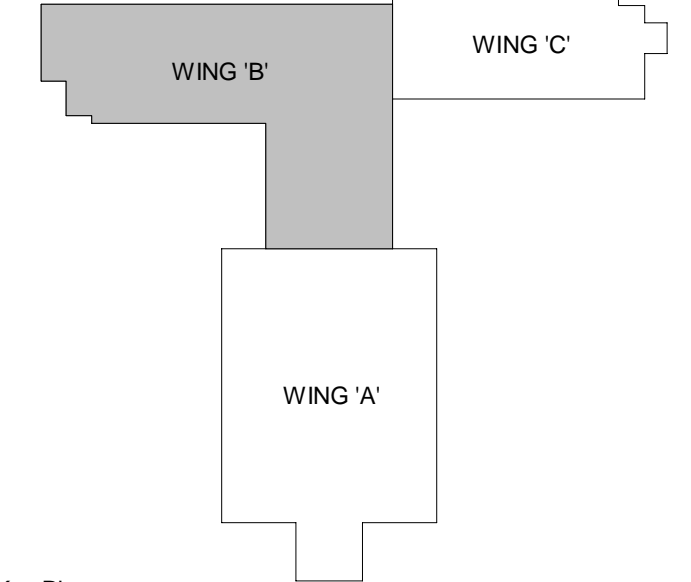
3  
A66

SCALE : 1:50

ALTERED PARTIAL FLOOR  
PLAN - EXISTING  
STAIRWELL ST103 LEVEL 1

6  
A66

SCALE : 1:50




### Key Plan

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0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
O.	ISSUED	BY	DATE

orientation



deal

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## BUILDING #046 RENOVATIONS

Drawing Title

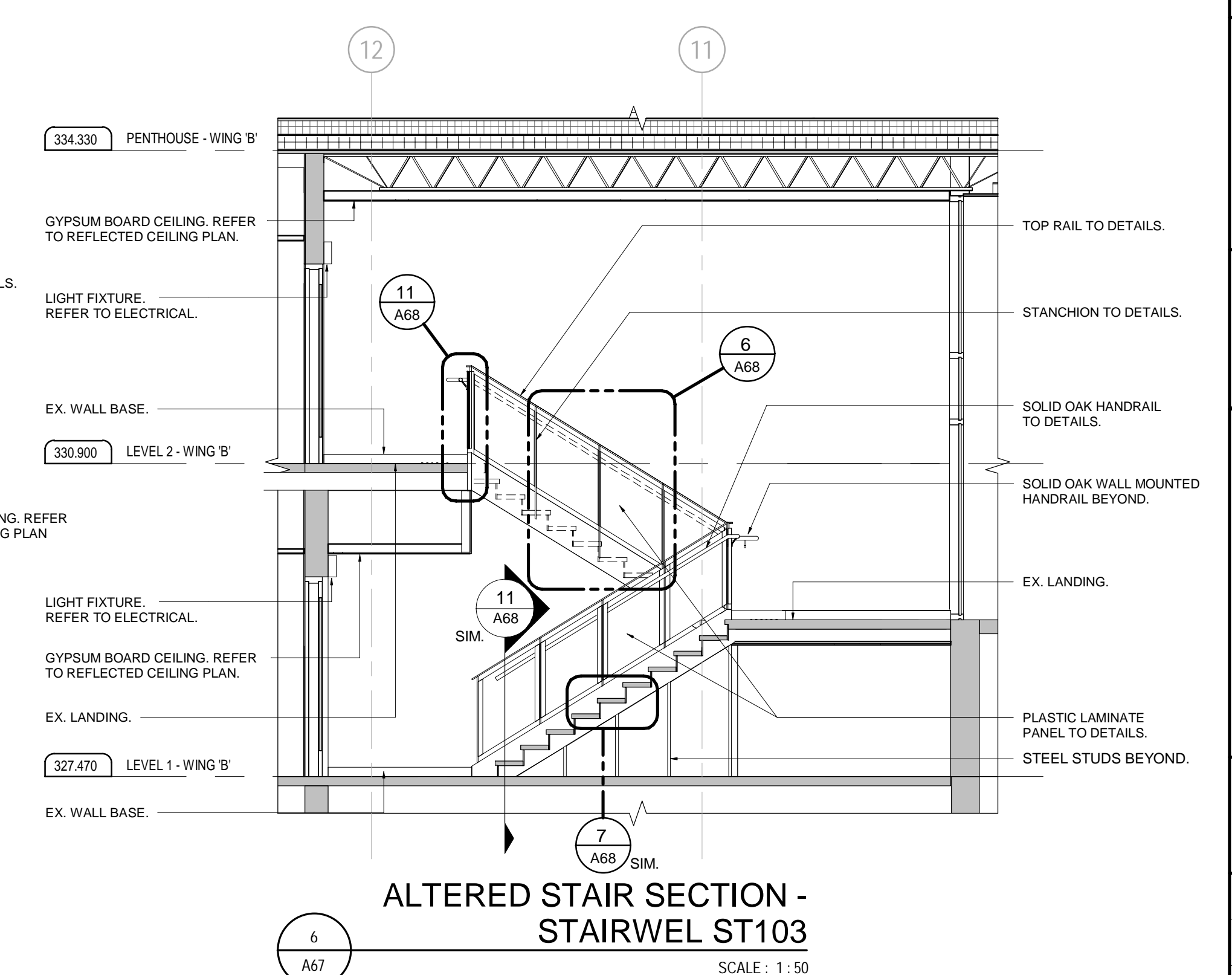
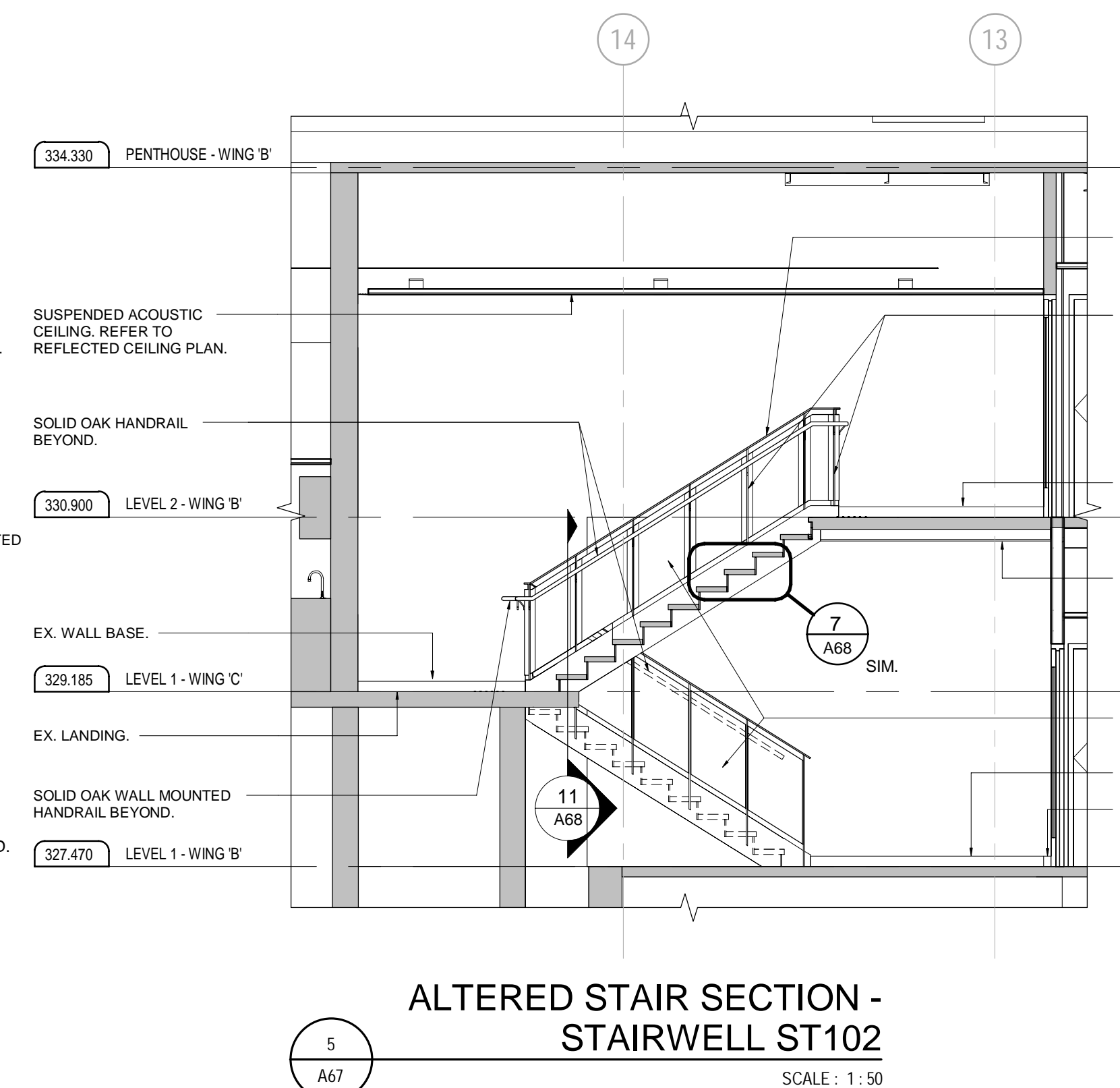
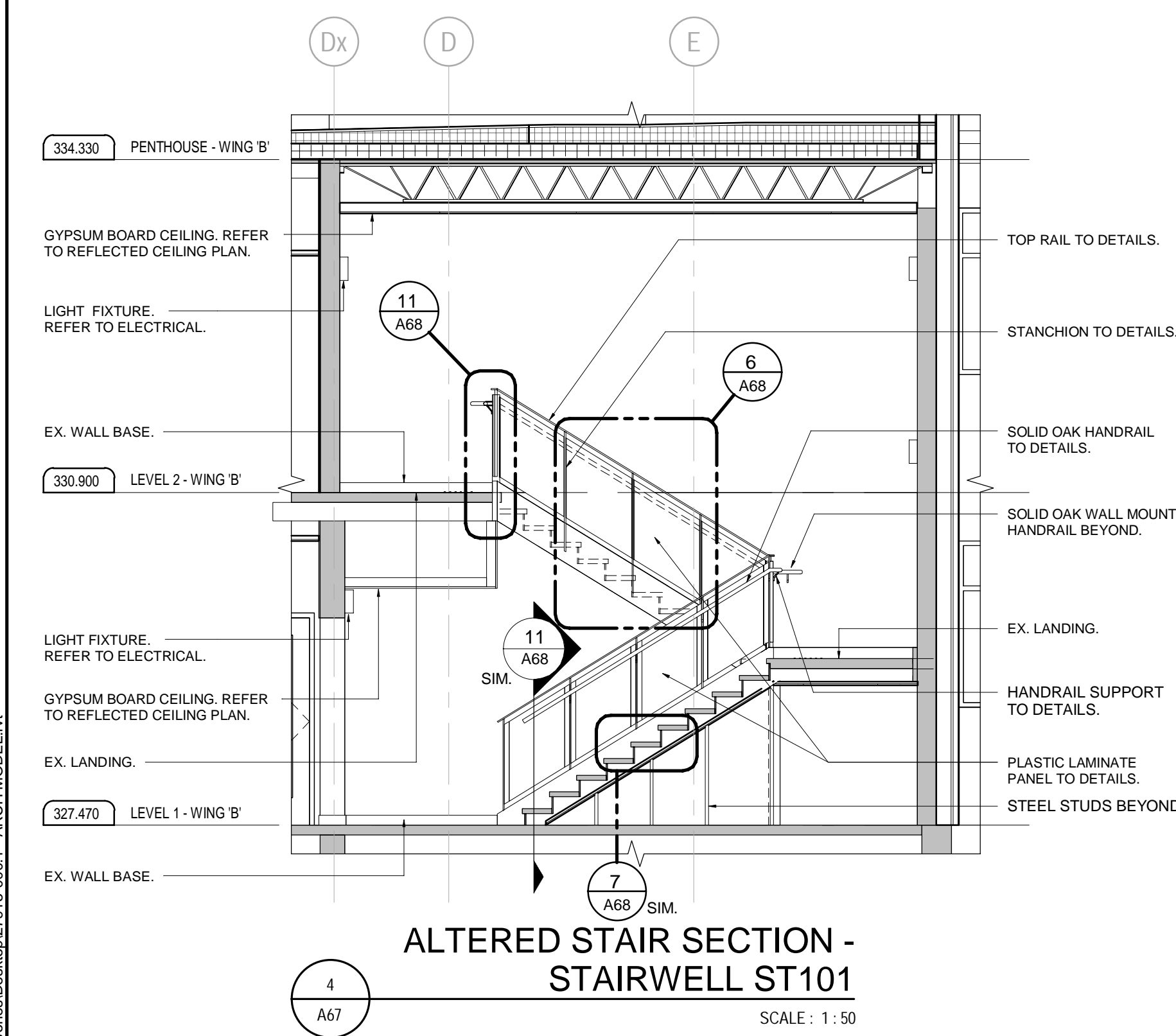
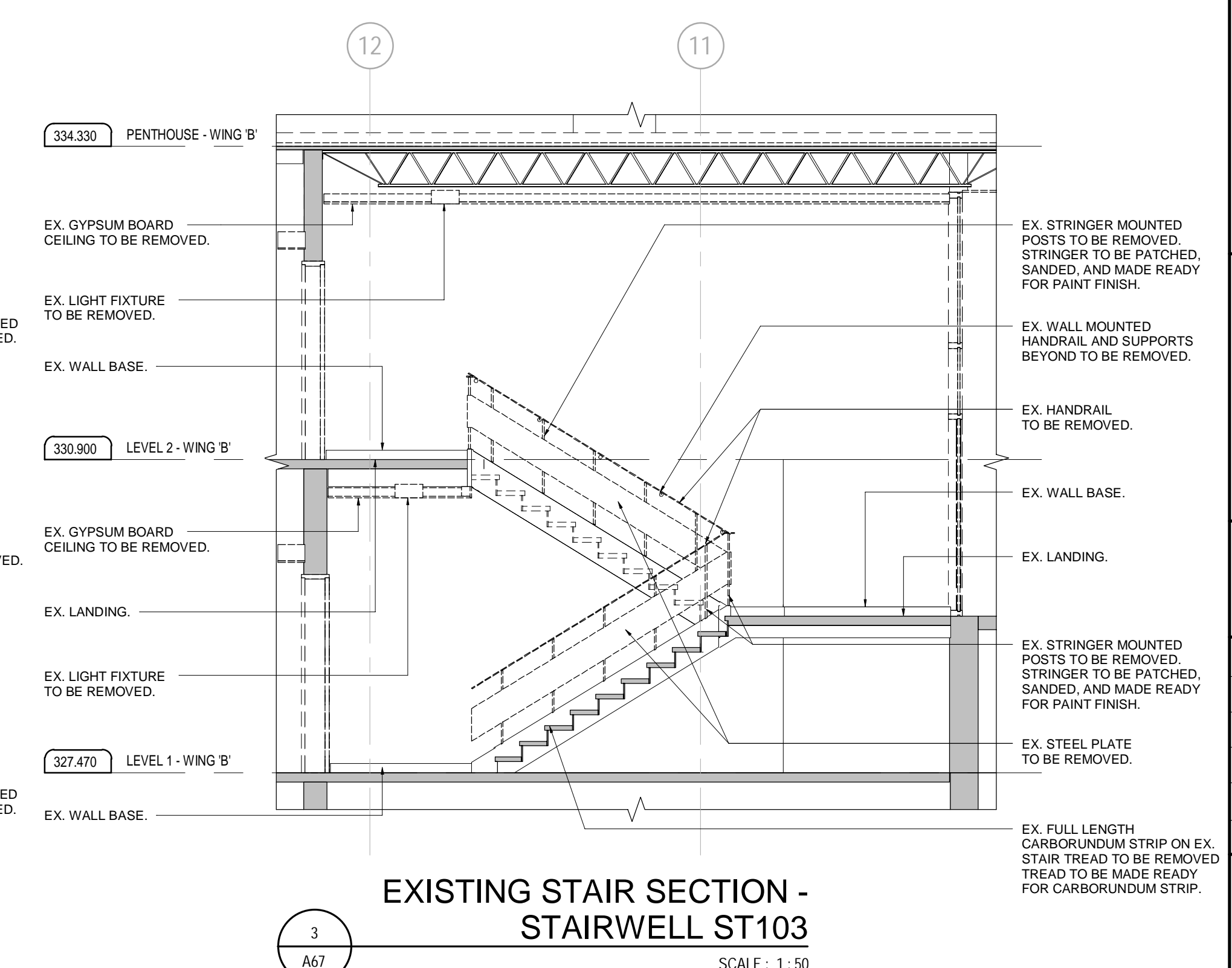
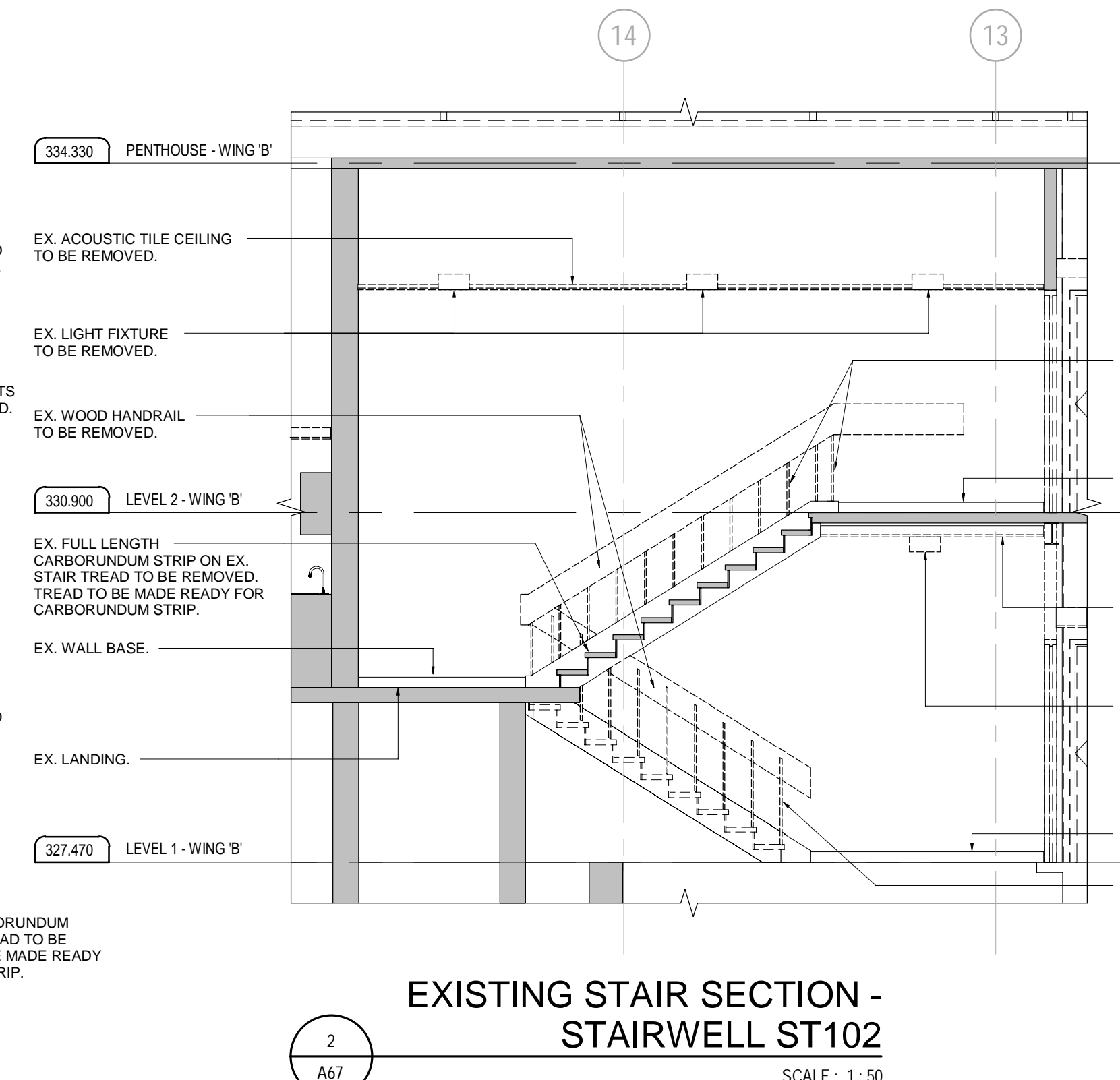
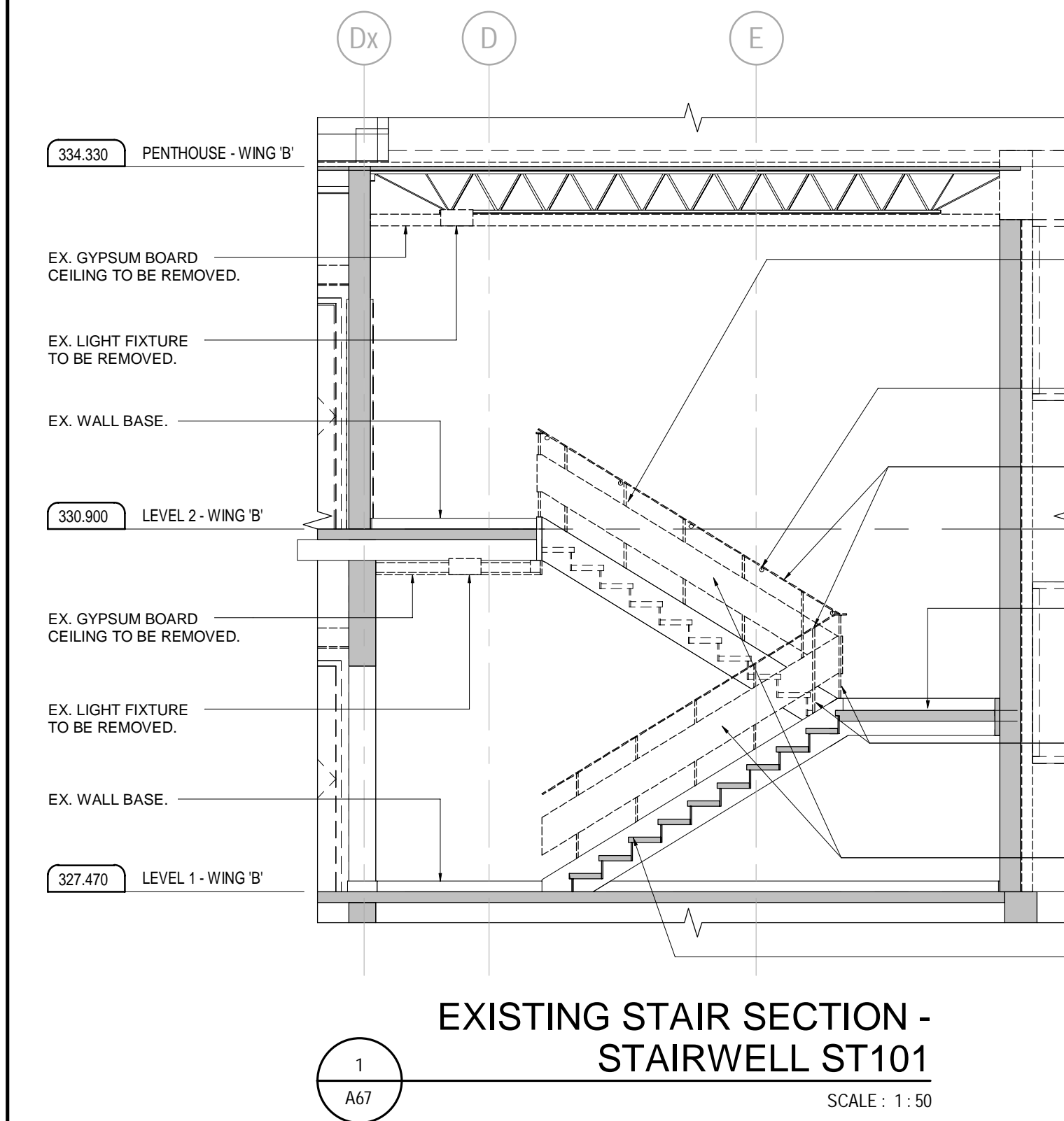
**ARCHITECTURAL  
ALTERED PARTIAL FLOOR  
PLANS - STAIRS**

Project No.

UNIVERSITY OF GUELPH  
BUILDING #046

Case AS INDICATED Drawn By DCJ / KM Checked By TA Approved By RPC R #: 27915	Date APR 12, 2019 Drawing No. <div style="font-size: 48pt; font-weight: bold; text-align: center;">A66</div>
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File Location: C:\Users\DJones\Desktop\27915-000-1 - ARCH MODEL.dwg



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1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL STAIR SECTIONS**

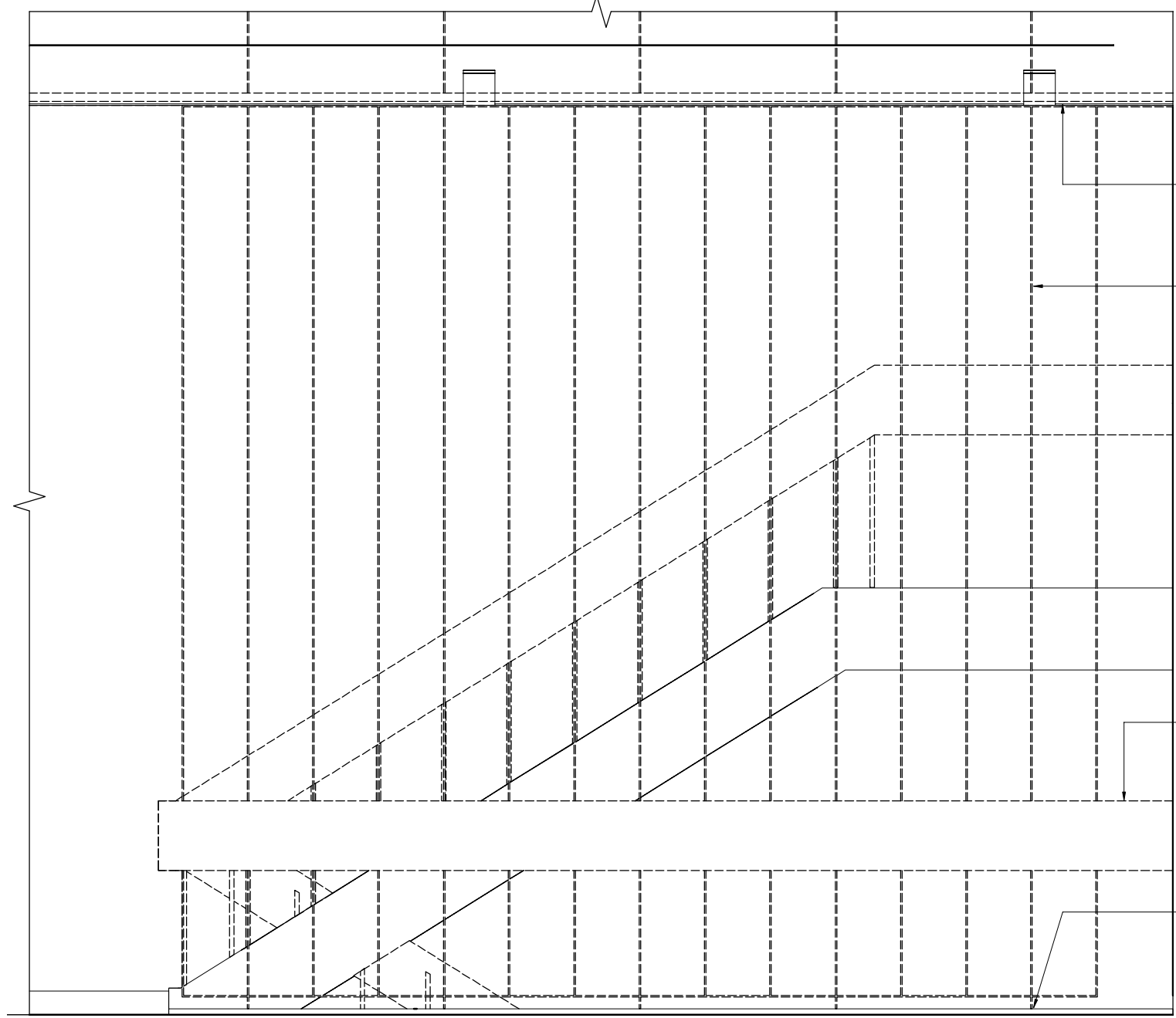
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

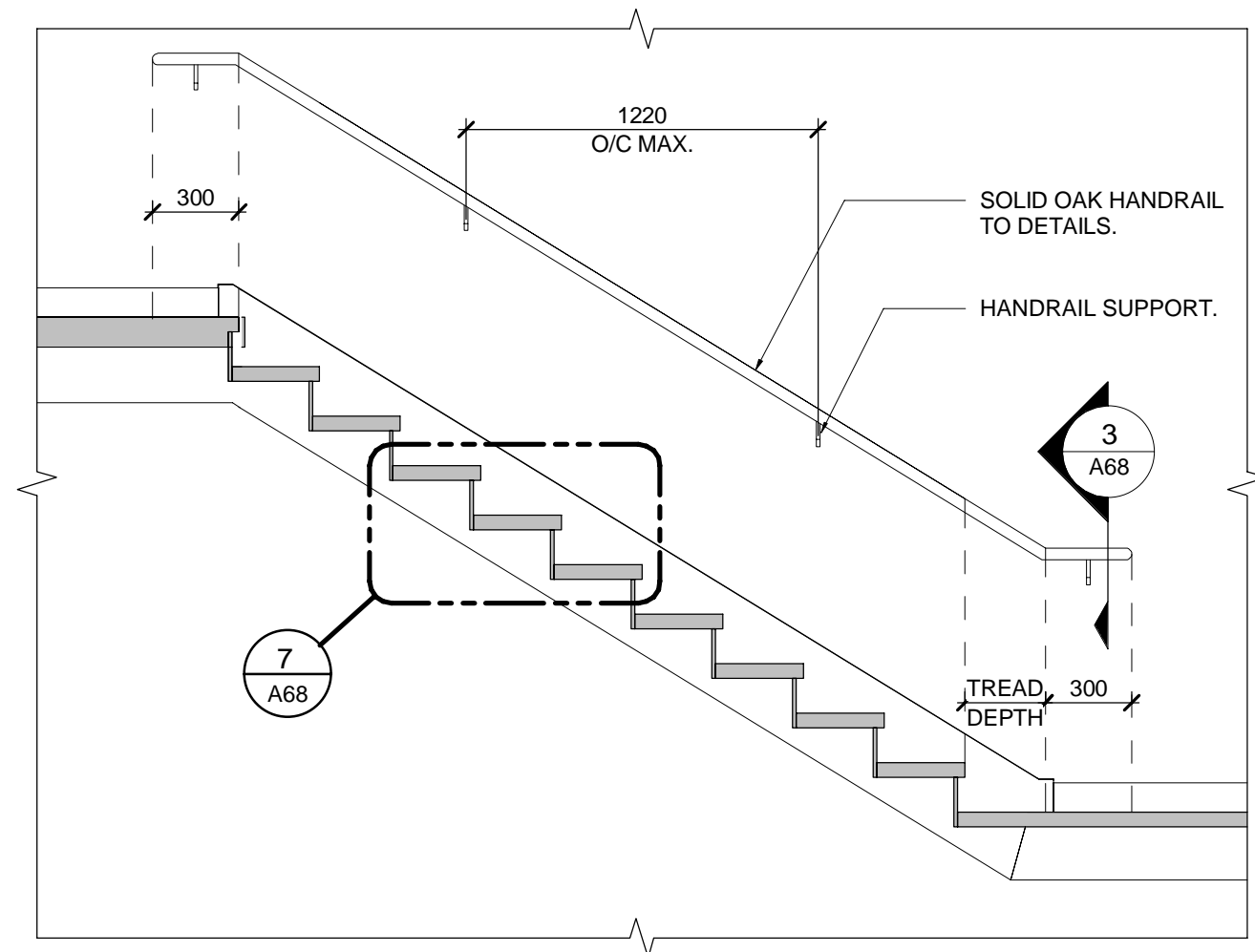
Scale AS INDICATED	Date APR 12, 2019
Drawn By KM	Drawing No. <b>A67</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 8:59:45 AM

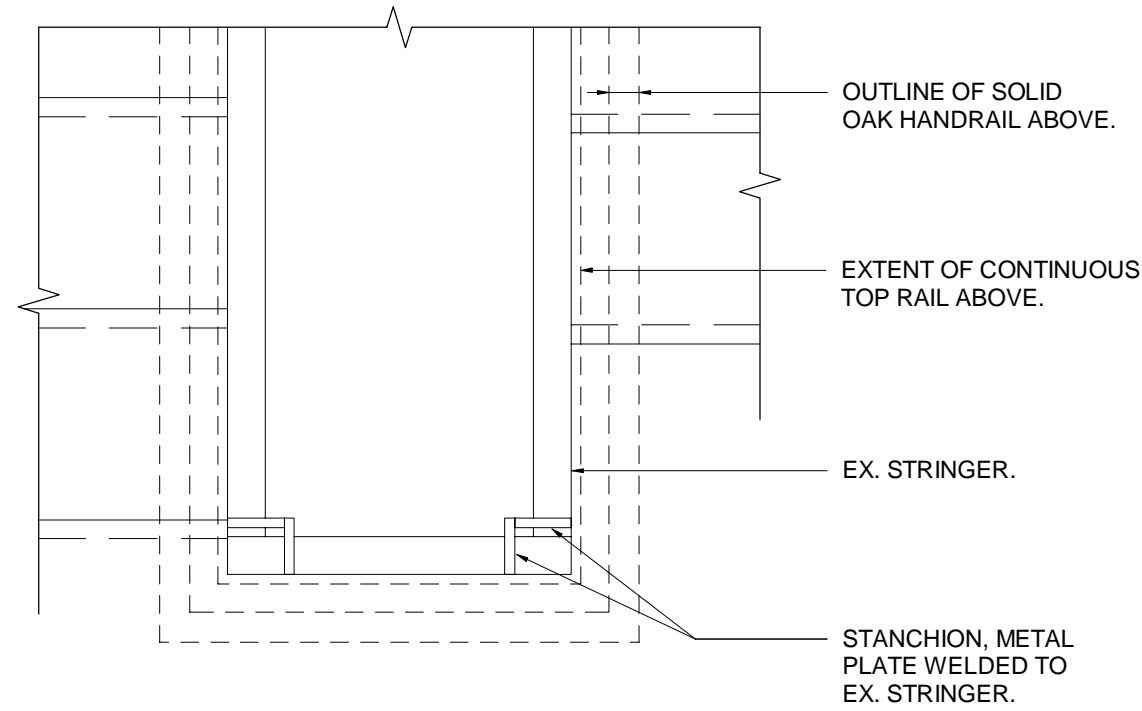




1  
A68  
STAIRWELL ST102 EXISTING ELEVATION  
SCALE: 1:25

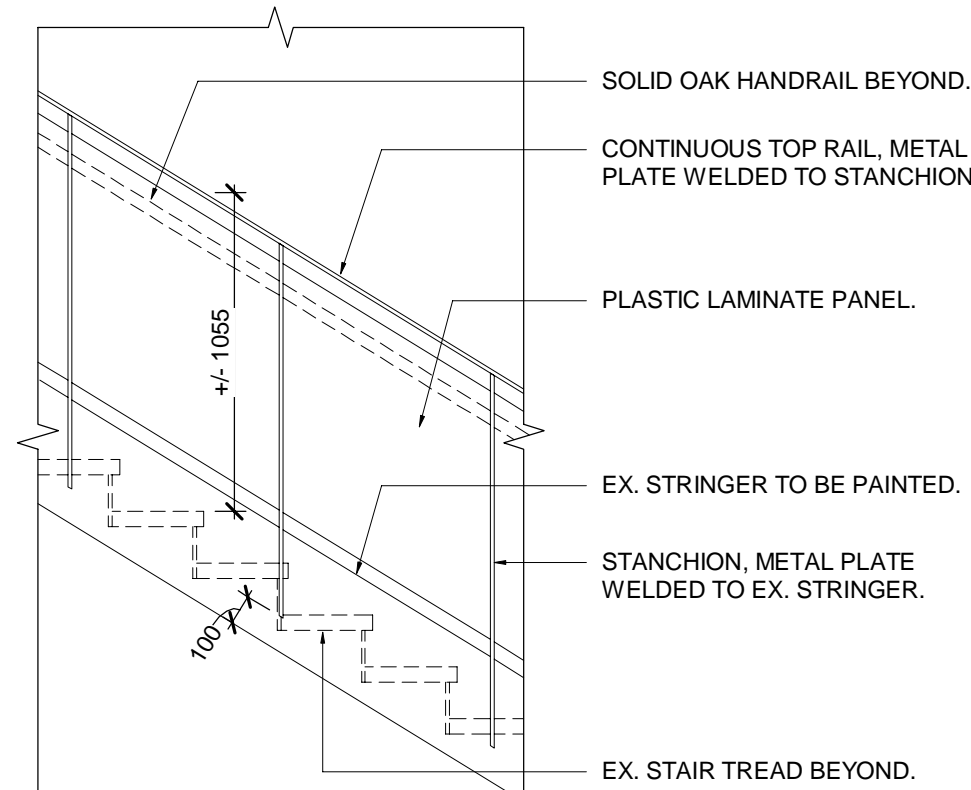


5  
A68  
TYPICAL WALL MOUNTED HANDRAIL ELEVATION  
SCALE: 1:25

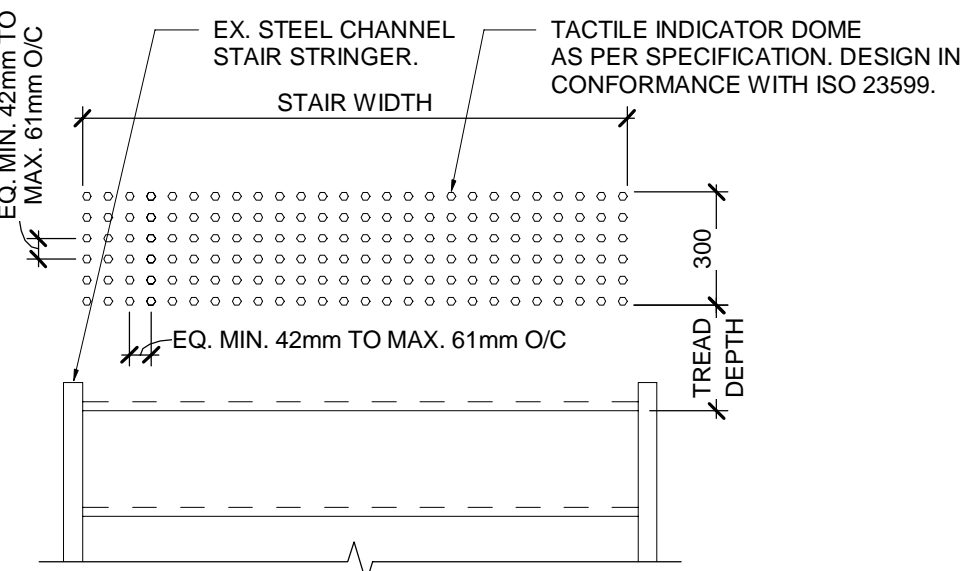


8  
A68  
TYPICAL STANCHION PLACEMENT AT INTERMEDIATE STAIR LANDING  
SCALE: 1:10

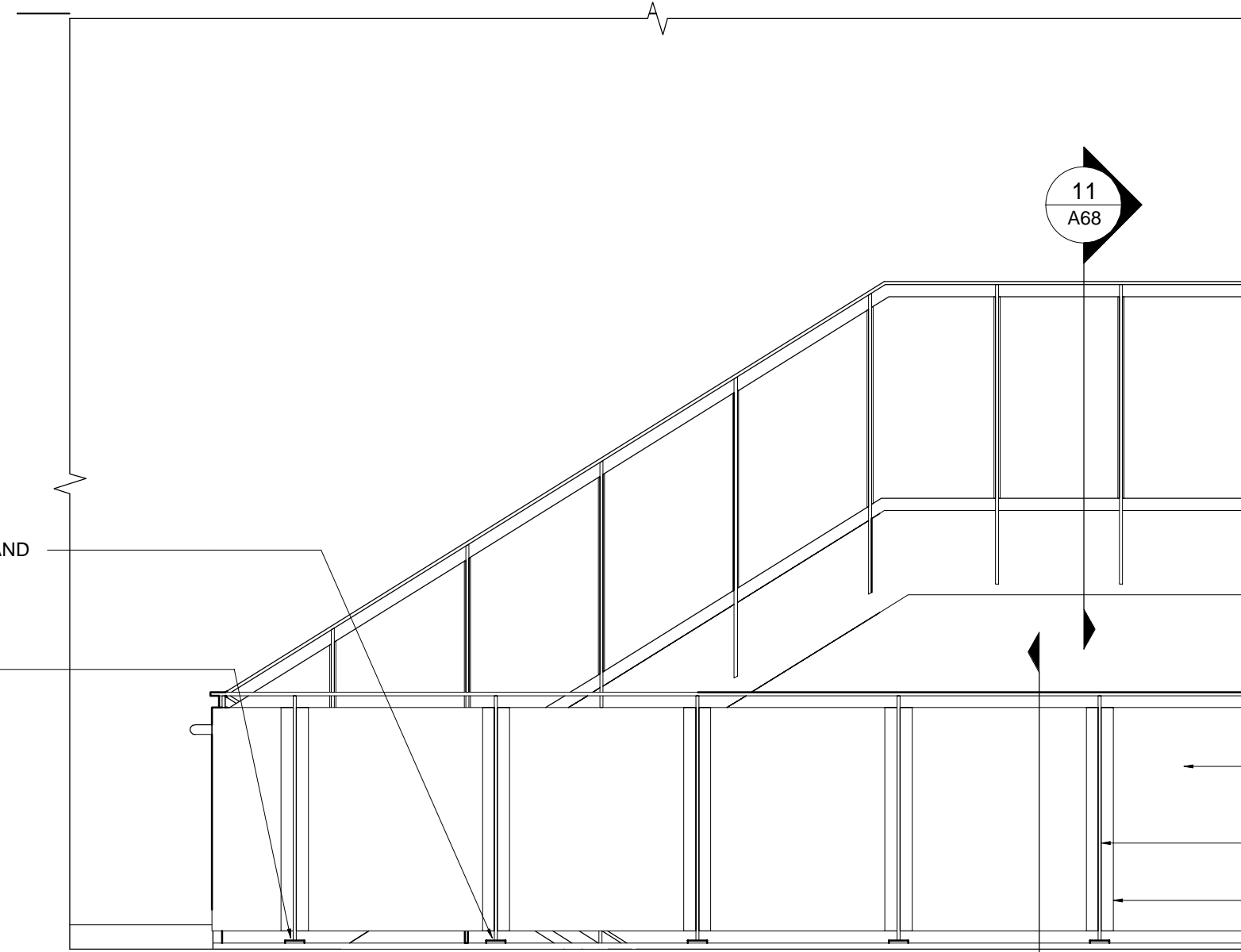
GUARDRAIL STANCHIONS AND BASEPLATES CONCEAL EMBEDDED PORTION OF EXISTING METAL SCREEN.  
BASEPLATE, REFER TO STRUCTURAL.  
EX. STEEL CHANNEL STAIR STRINGER, STRINGER TO BE MADE GOOD TO RECEIVE PAINT FINISH.



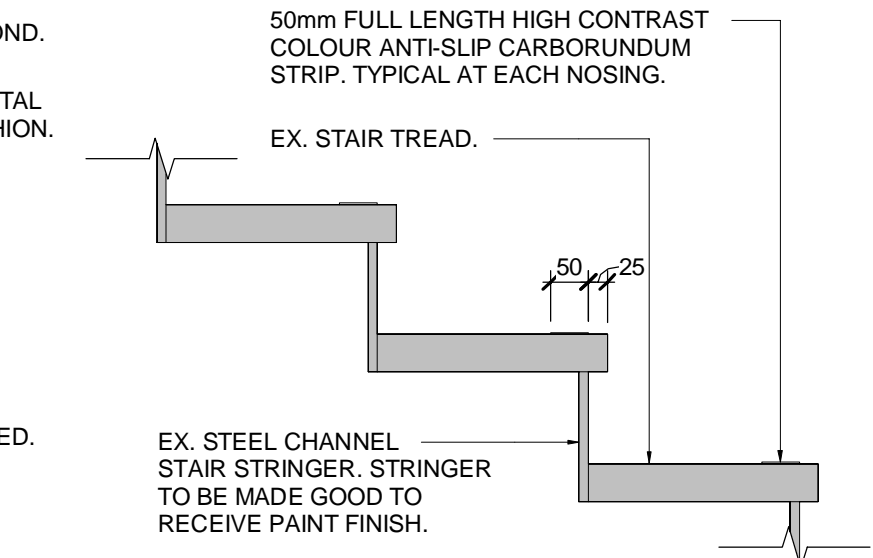
6  
A68  
TYPICAL GUARDRAIL ELEVATION DETAIL  
SCALE: 1:25



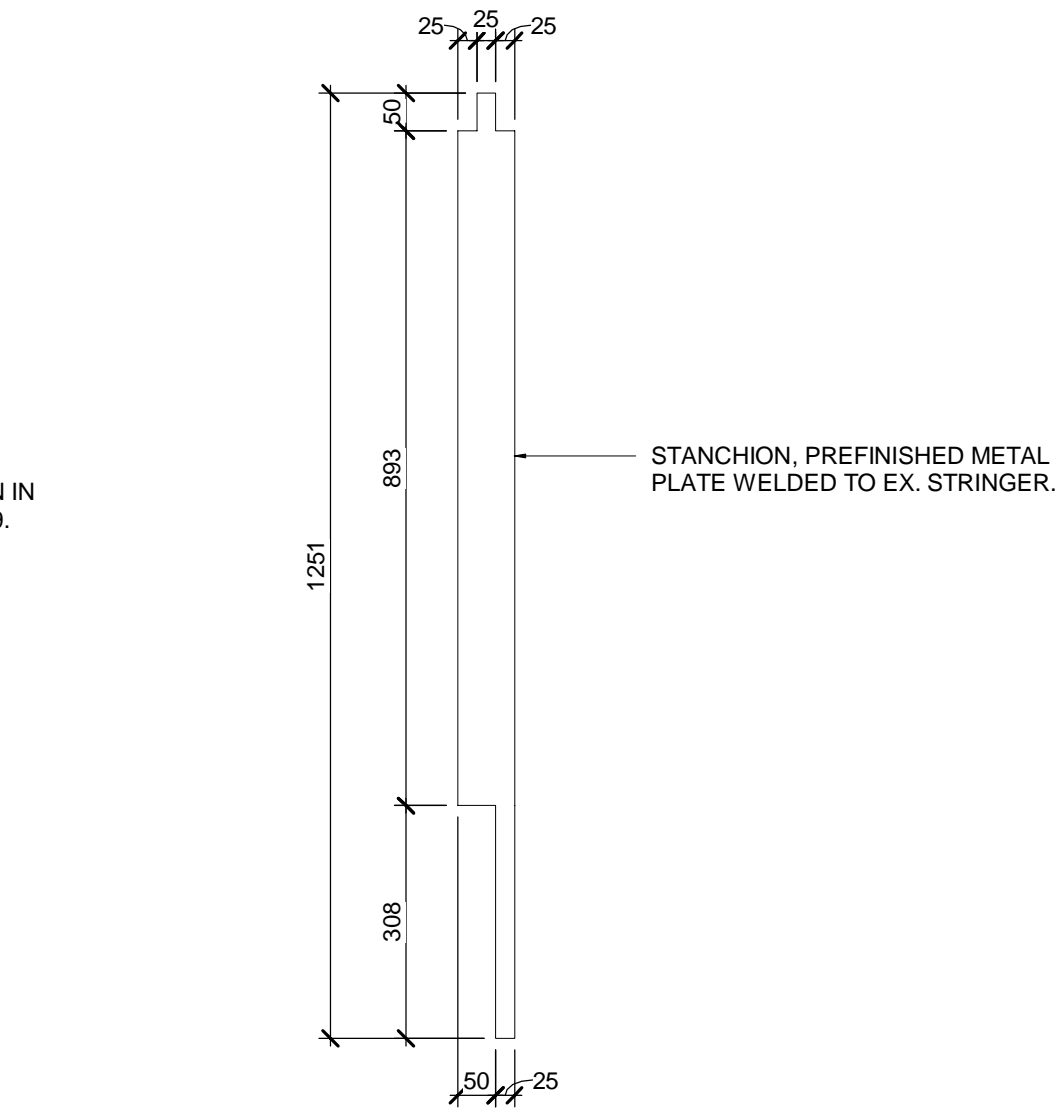
9  
A68  
TYPICAL TACTILE INDICATOR DOME PLACEMENT DETAIL  
SCALE: 1:20



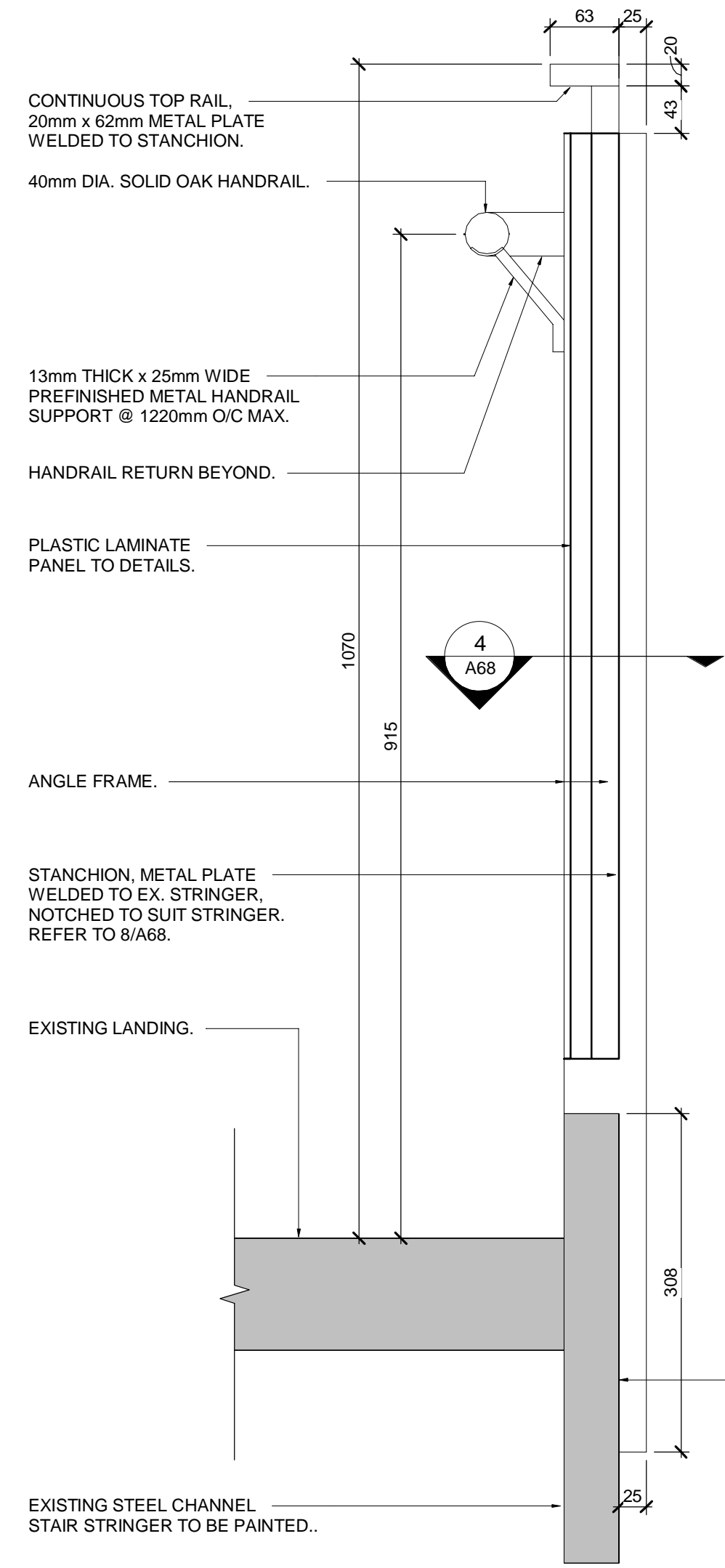
2  
A68  
STAIRWELL ST102 ELEVATION  
SCALE: 1:25



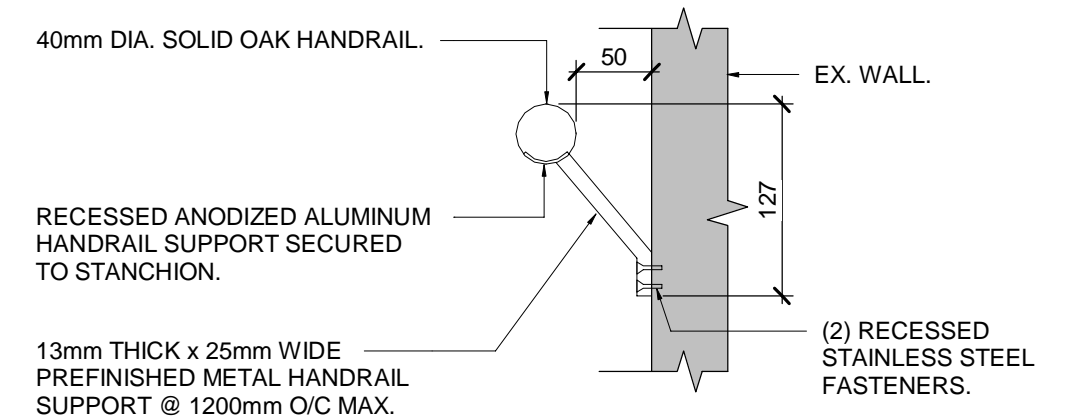
7  
A68  
TYPICAL STAIR TREAD SECTION DETAIL  
SCALE: 1:10



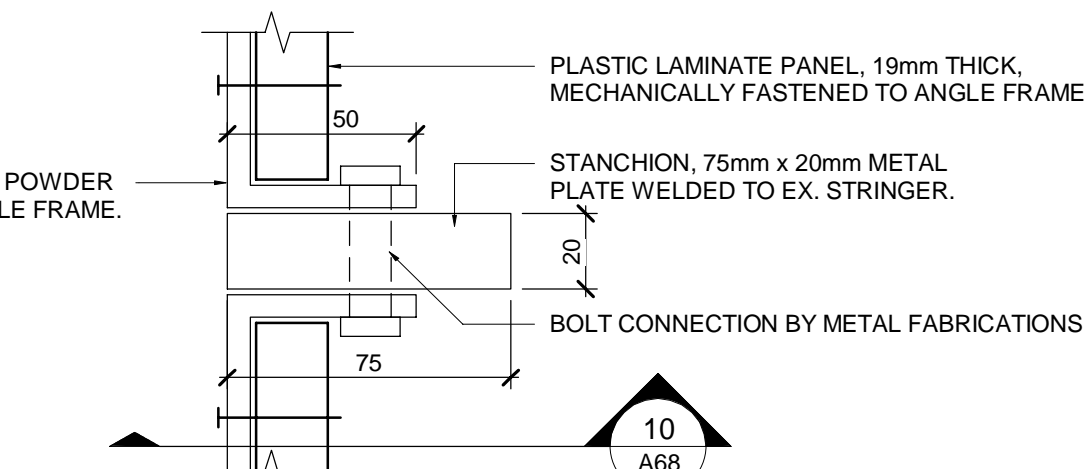
10  
A68  
STANCHION ELEVATION DETAIL AT STAIR LANDING  
SCALE: 1:10



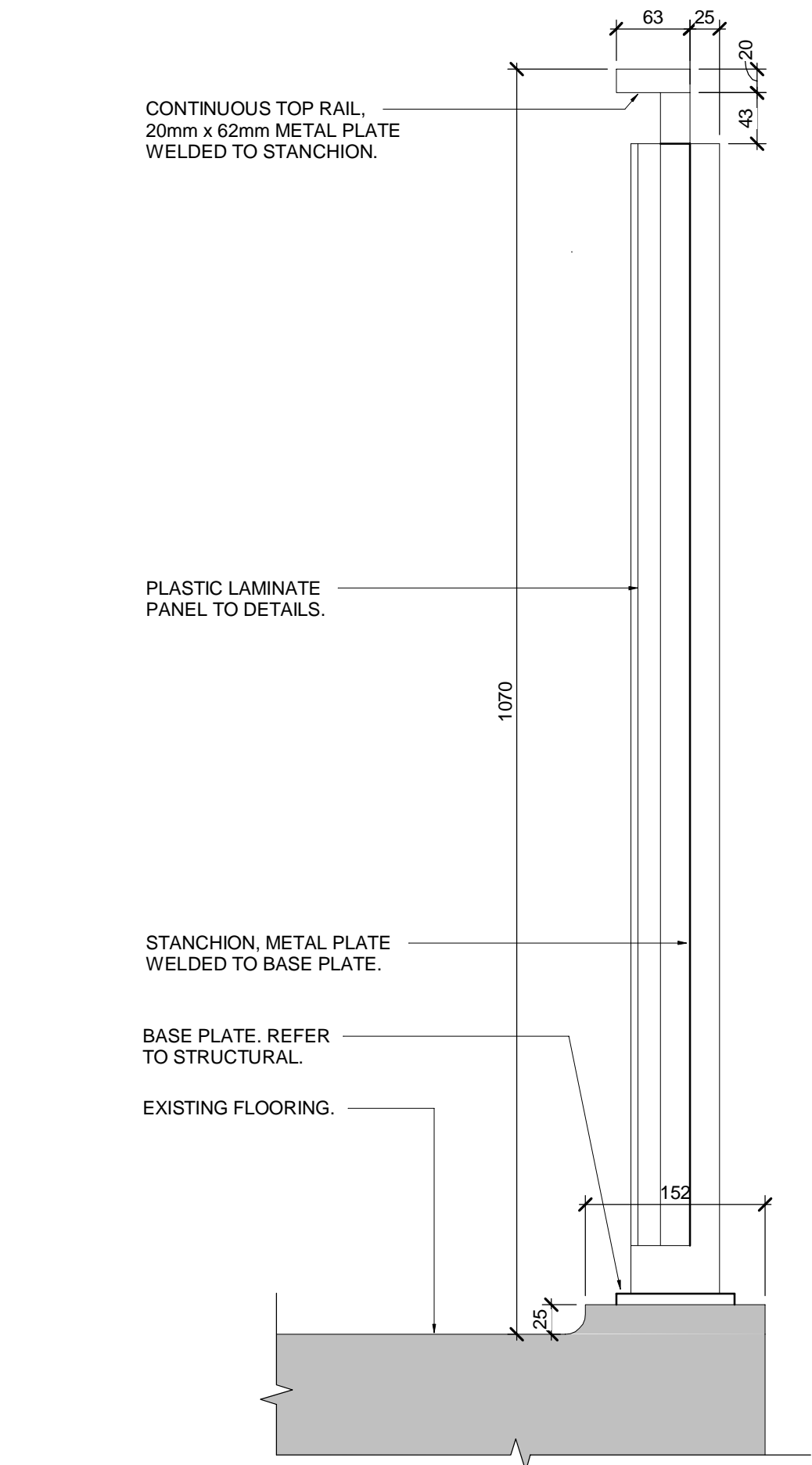
11  
A68  
TYPICAL GUARDRAIL SECTION AT STAIR LANDING  
SCALE: 1:5



3  
A68  
HANDRAIL SECUREMENT DETAIL AT WALL  
SCALE: 1:5



4  
A68  
METAL PANEL SECUREMENT DETAIL AT SANCHION  
SCALE: 1:2



12  
A68  
GUARDRAIL SECTION  
SCALE: 1:5

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1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
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NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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JR J.L.Richards  
ENGINEERS - ARCHITECTS - PLANNERS

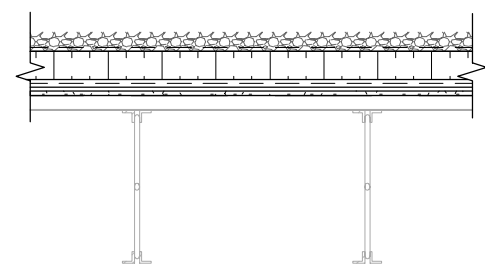
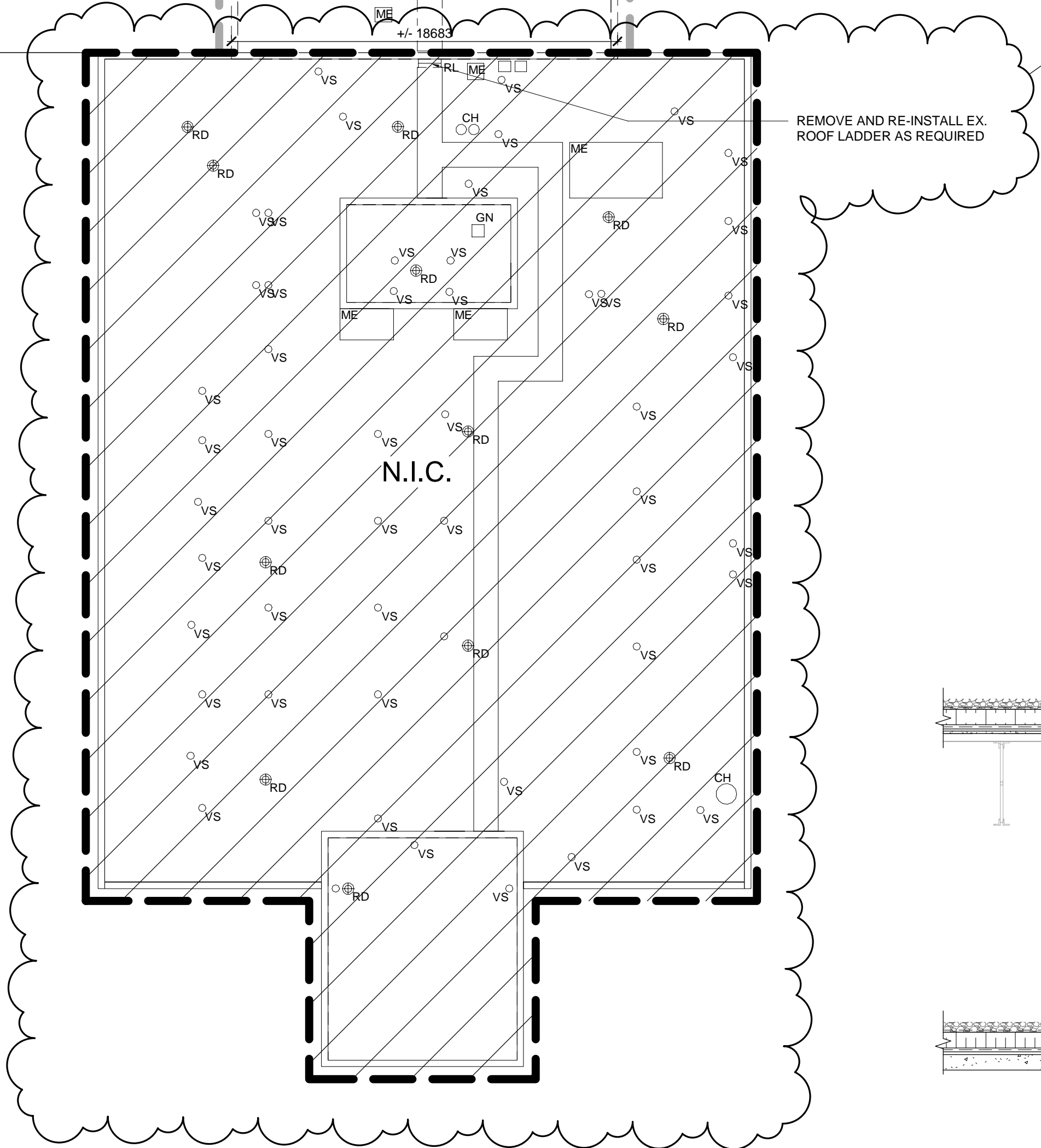
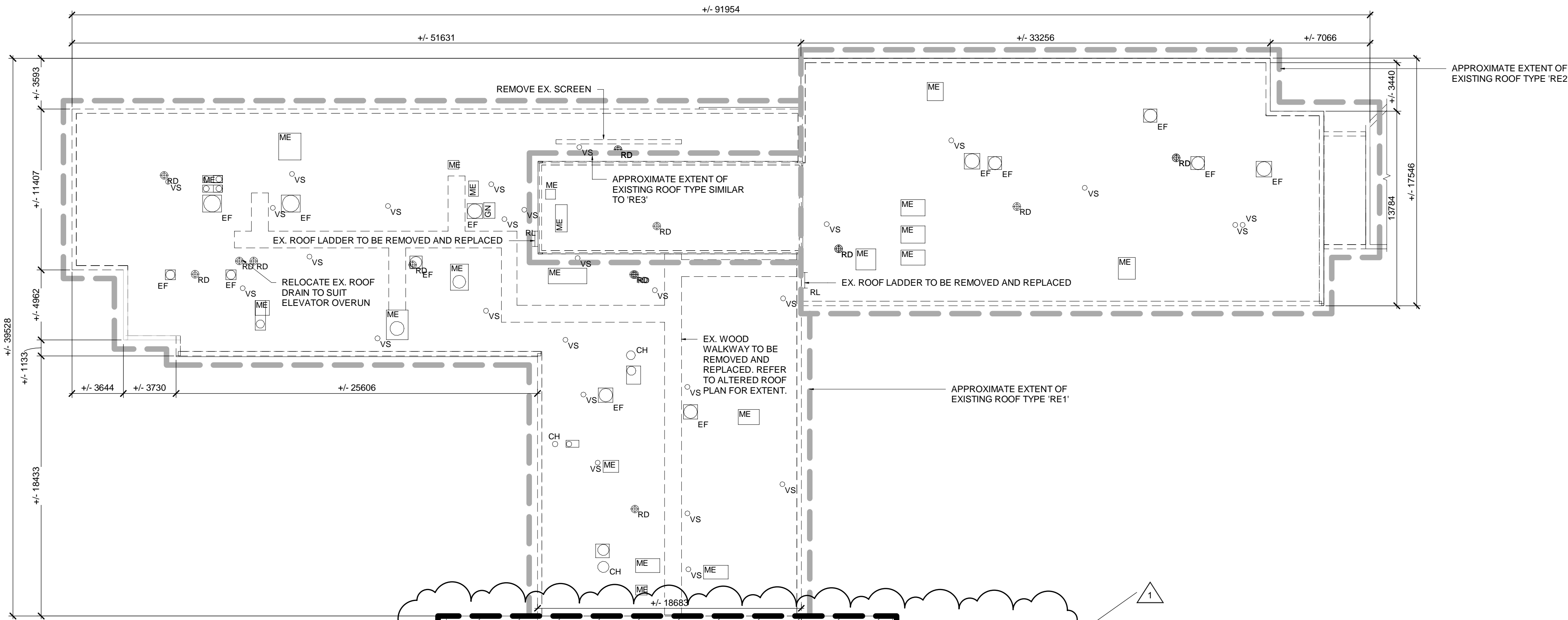
Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL STAIR DETAILS**

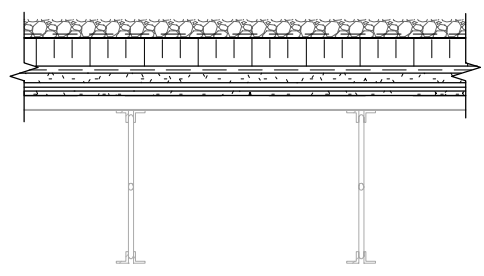
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

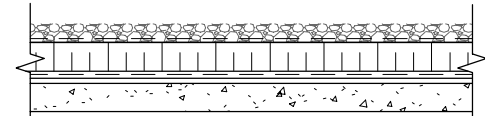
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A68</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



- ROOF TYPE 'RE1'**
- EX. BALLAST TO BE REMOVED
  - EX. PROTECTION SHEET TO BE REMOVED
  - EX. 75mm INSULATION TO BE REMOVED
  - EX. POLY BARRIER TO BE REMOVED
  - EX. WATERPROOFING MEMBRANE TO BE REMOVED
  - EX. 16mm GYPSUM BOARD TO BE REMOVED
  - EX. METAL DECK



- ROOF TYPE 'RE2'**
- EX. BALLAST TO BE REMOVED
  - EX. PROTECTION SHEET TO BE REMOVED
  - EX. 75mm INSULATION TO BE REMOVED
  - EX. POLY BARRIER TO BE REMOVED
  - EX. WATERPROOFING MEMBRANE TO BE REMOVED
  - EX. 25mm FIBREBOARD TO BE REMOVED
  - EX. ADHESIVE TO BE REMOVED
  - EX. 16mm GYPSUM BOARD TO BE REMOVED
  - EX. METAL DECK



- ROOF TYPE 'RE3'**
- EX. BALLAST TO BE REMOVED
  - EX. PROTECTION SHEET TO BE REMOVED
  - EX. 75mm INSULATION TO BE REMOVED
  - EX. POLY BARRIER TO BE REMOVED
  - EX. WATERPROOFING MEMBRANE TO REMAIN
  - EX. PRECAST CONCRETE DECK

**LEGEND:**

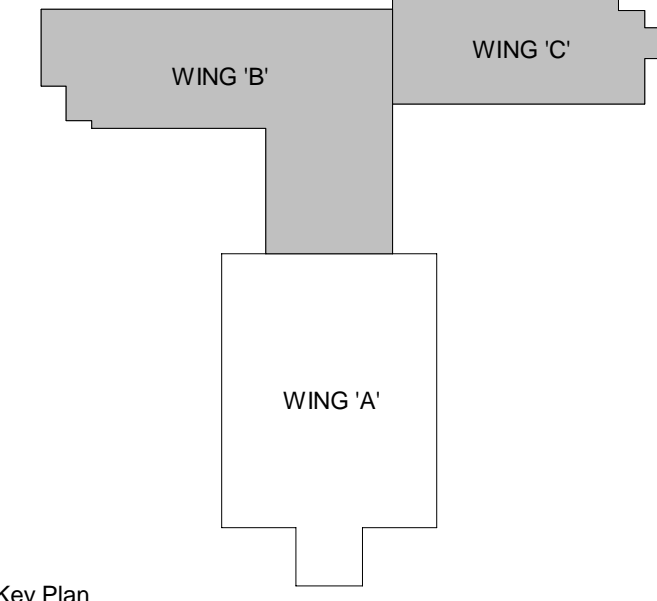
- RD ROOF DRAIN
- VS VENT STACK
- ME MECHANICAL EQUIPMENT
- CH CHIMNEY
- EF EXHAUST FAN

**NOTES:**

1. REMOVE ALL EXISTING ROOFING AND ROOFING ACCESSORIES TO DECK IN AREA OF WORK.
2. REMOVE EXISTING METAL FLASHING
3. REFER TO MECHANICAL DRAWINGS FOR EXTENT OF REMOVAL OF EXISTING ROOF-TOP EQUIPMENT.
4. CONTRACTOR IS RESPONSIBLE TO CONFIRM THE QUANTITY AND EXACT LOCATIONS ON SITE OF ALL THE EXISTING STRUCTURAL, MECHANICAL AND ELECTRICAL ROOF PENETRATIONS.
5. REPLACE ALL ROOF DRAINS. REFER TO DETAIL 2/A71.
6. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
7. LEAVE WORK AREA CLEAN AT END OF EACH DAY.
8. ALL EXISTING VENT STACKS AND MECHANICAL EQUIPMENT ON WING 'A' TO BE RE-INSTALLED. CONTRACTOR TO PROVIDE EXTENSIONS AND NEW METAL COLLARS AS REQUIRED TO ACCOMMODATE NEW ROOF ASSEMBLY.

**ABBREVIATIONS:**

- CH CHIMNEY
- EF EXHAUST FAN
- EX EXISTING
- ME MECHANICAL EQUIPMENT
- RD ROOF DRAIN
- RL ROOF LADDER
- VS VENT STACK



Key Plan

**DO NOT SCALE DRAWINGS:**

Contractors must check and verify all site conditions. Notify the Owner's Representative in writing before proceeding with the work if discrepancies are evident between the drawings and the site condition. No extras to the contract will be allowed if discrepancies were evident prior to start of work.

**UNEXPECTED DISCOVERY OF ASBESTOS:**

Where a friable material is discovered during construction, renovations and/or demolition, and it is suspected to contain asbestos, the Contractor must stop all work that may disturb the material. The Contractor shall advise the Owner of the discovery and await instructions from the owner.

- A = Detail number
- B = Drawing number where detailed

2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
1	POST-TENDER ADDENDUM NO.1	TA	FEB 26, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation

Seal

Seal

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Project

**BUILDING #046 RENOVATIONS**

Drawing Title

**ARCHITECTURAL EXISTING ROOF PLAN**

Project No.

**504034**

Location

**UNIVERSITY OF GUELPH BUILDING #046**

Scale	AS INDICATED	Date	APR 12, 2019
Drawn By	DCJ	Drawing No.	<b>A70</b>
Checked By	TA		
Approved By	RPC		
JLR #:	27915		
Cad File No.			

1

A70

EXISTING ROOF PLAN

SCALE : 1 : 200

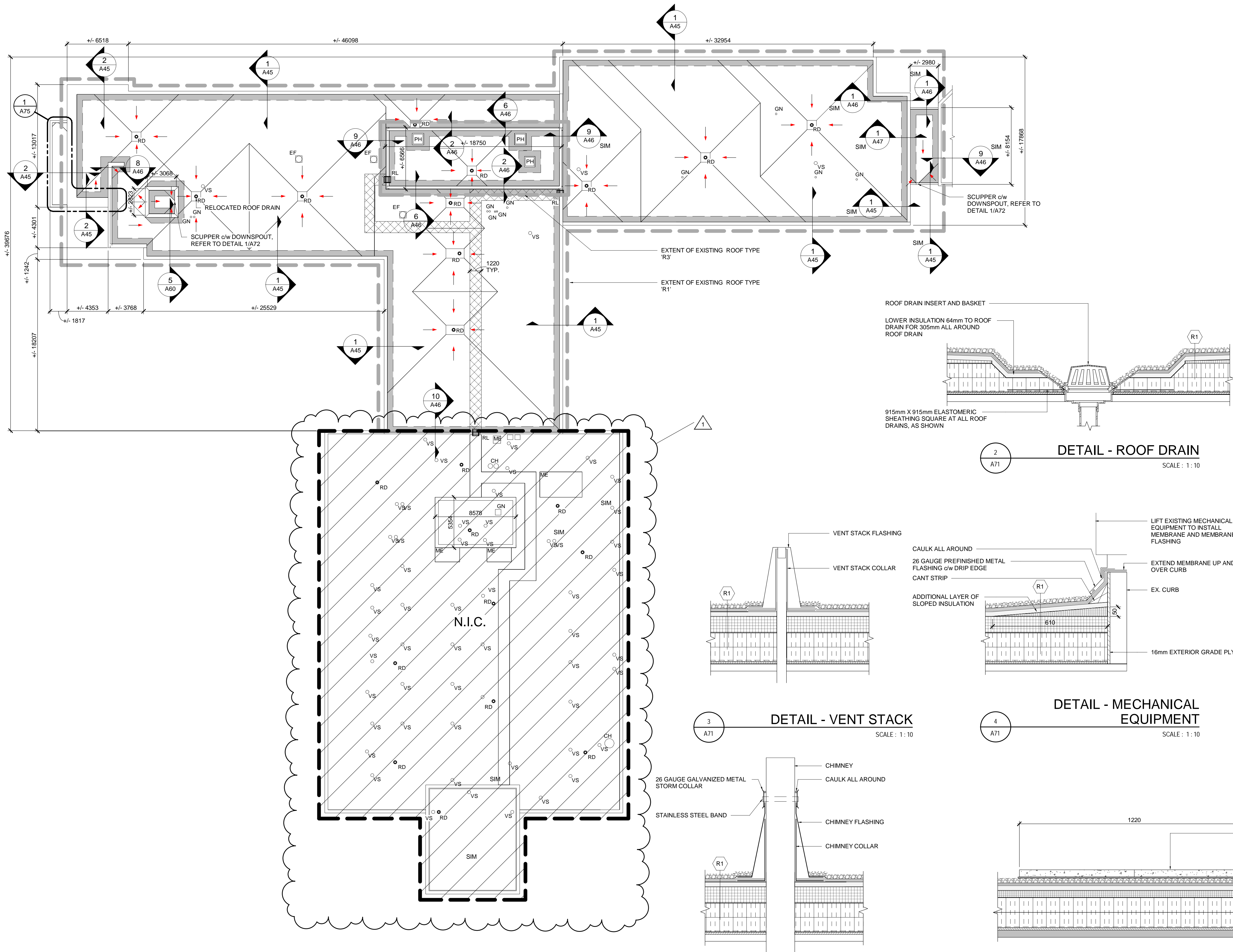
2

A70

EXISTING ROOF TYPES

SCALE : 1:20





#### LEGEND:

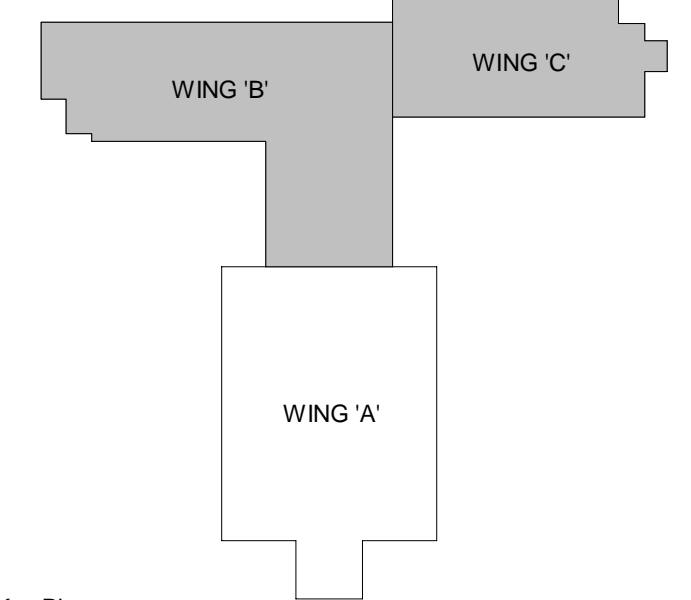
- DENOTES EXTENT OF ADDITIONAL LAYER OF SLOPED INSULATION, 50mm TO 0mm
- ▨ DENOTES EXTENT OF 610mm X 610mm CONCRETE PAVERS, REFER TO DETAIL 6/A71
- DENOTES DIRECTION OF ROOF SLOPE, MIN. 2%
- ⊙ CONSTRUCTION TYPE
- ⊙ RD ROOF DRAIN, REFER TO DETAIL 2/A71
- ⊙ VS VENT STACK, REFER TO DETAIL 3/A71
- ME MECHANICAL EQUIPMENT, REFER TO DETAIL 4/A71
- PH LOUVERED PENTHOUSE, SIMILAR TO DETAIL 4/A71
- EF EXHAUST FAN, SIMILAR TO DETAIL 4/A71
- CH CHIMNEY, REFER TO DETAIL 5/A71
- GN GOOSE NECK, SIMILAR TO DETAIL 5/A71

#### NOTES:

- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
- SLOPED INSULATION TO BE INSTALLED OVER ENTIRE AREA OF ROOF. PROVIDE MIN. 2% SLOPE, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO FIELD VERIFY EXACT LOCATIONS OF EXISTING ROOF DRAINS AND COORDINATE ALL DISCIPLINES PRIOR TO INSTALLATION OF EQUIPMENT IN CEILING SPACE.
- CONTRACTOR TO FIELD VERIFY EXACT NUMBER AND LOCATION OF EXISTING ROOF DRAINS PRIOR TO LAYOUT, FABRICATION AND INSTALLATION OF SLOPED INSULATION.
- REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EXACT EQUIPMENT LOCATIONS.
- CONTRACTOR TO SEAL AND MAKE WEATHER TIGHT ALL PENETRATIONS THROUGH ALUMINUM COMPOSITE PANELS.

#### ABBREVIATIONS:

- |    |                      |
|----|----------------------|
| CH | CHIMNEY              |
| EF | EXHAUST FAN          |
| EX | EXISTING             |
| GN | GOOSENECK            |
| ME | MECHANICAL EQUIPMENT |
| PH | LOUVERED PENTHOUSE   |
| RD | ROOF DRAIN           |
| RL | ROOF LADDER          |
| VS | VENT STACK           |



Key Plan

#### DO NOT SCALE DRAWINGS:

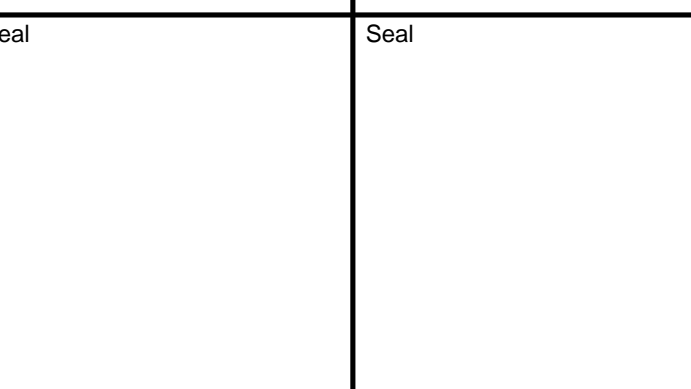
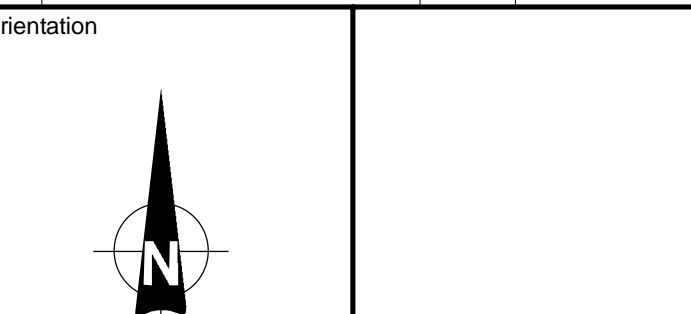
Contractors must check and verify all site conditions. Notify the Owner's Representative in writing before proceeding with the work if discrepancies are evident between the drawings and the site condition. No extras to the contract will be allowed if discrepancies are evident prior to start of work.

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- |   |                                   |
|---|-----------------------------------|
| A | A = Detail number                 |
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2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
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0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE



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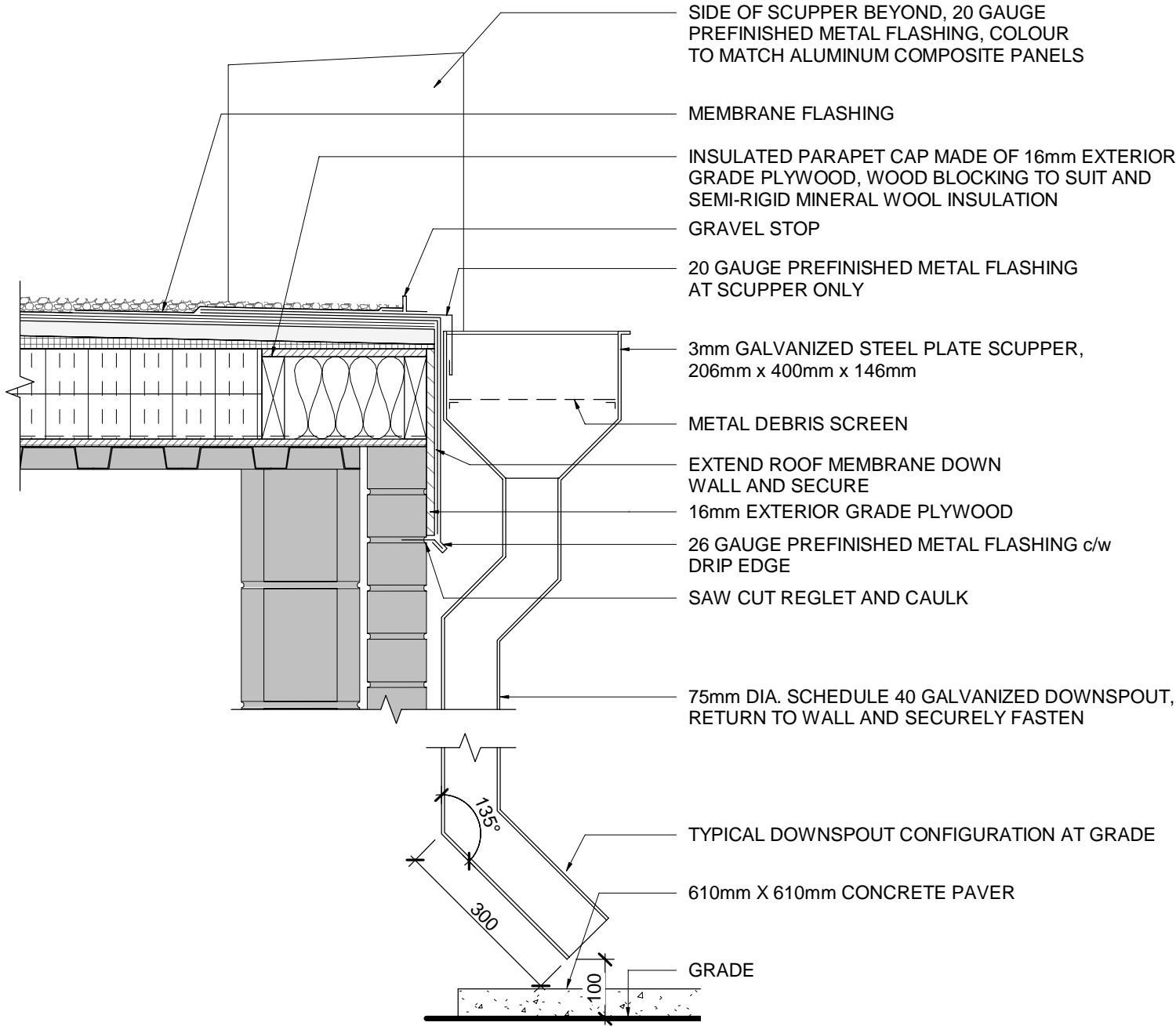
Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL ALTERED ROOF PLAN AND DETAILS**  
Project No.  
**504034**

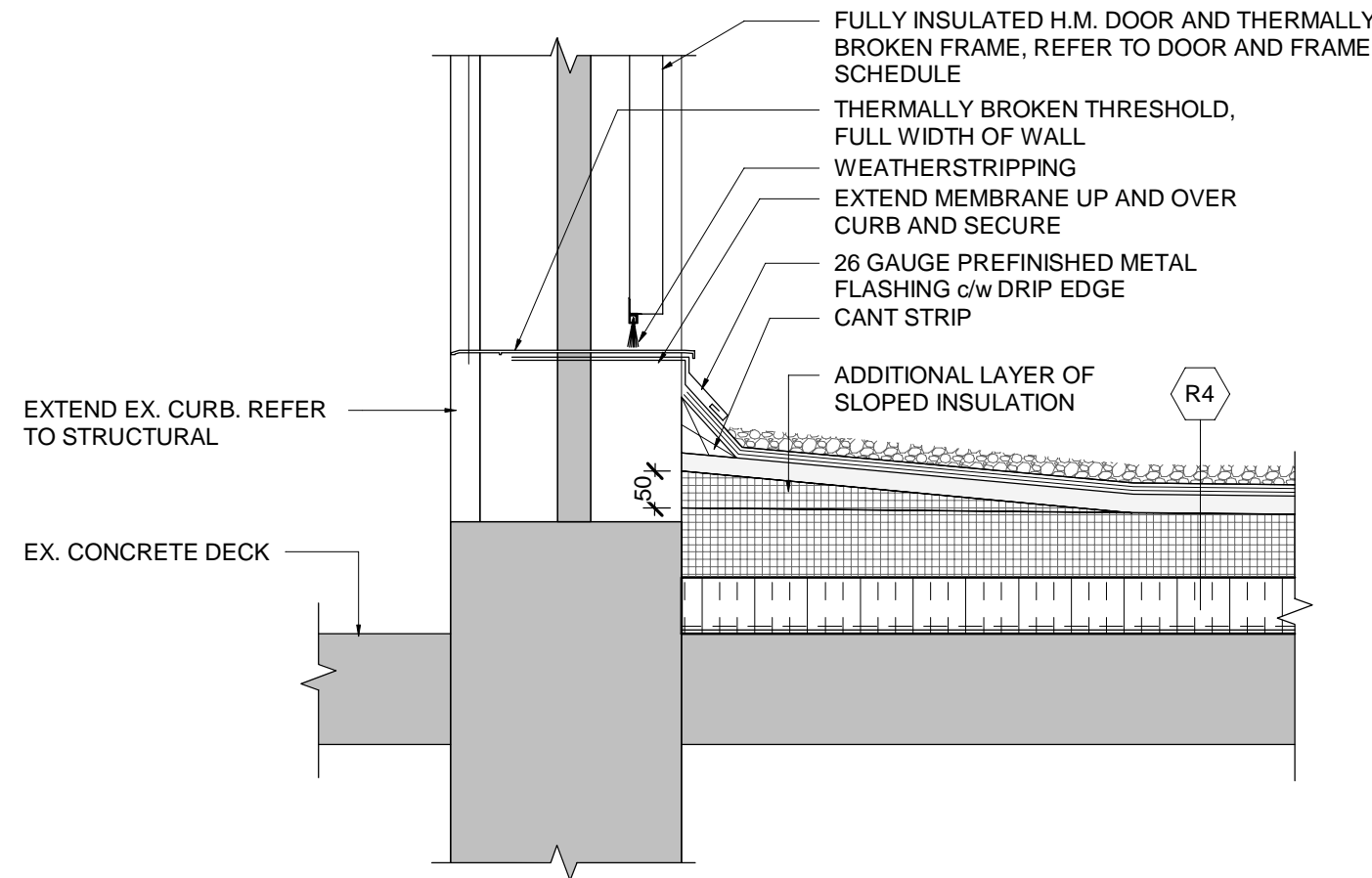
Location  
**UNIVERSITY OF GUELPH BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No.
Checked By TA	<b>A71</b>
Approved By RPC	
JLR #: 27915	
Cad File No.	

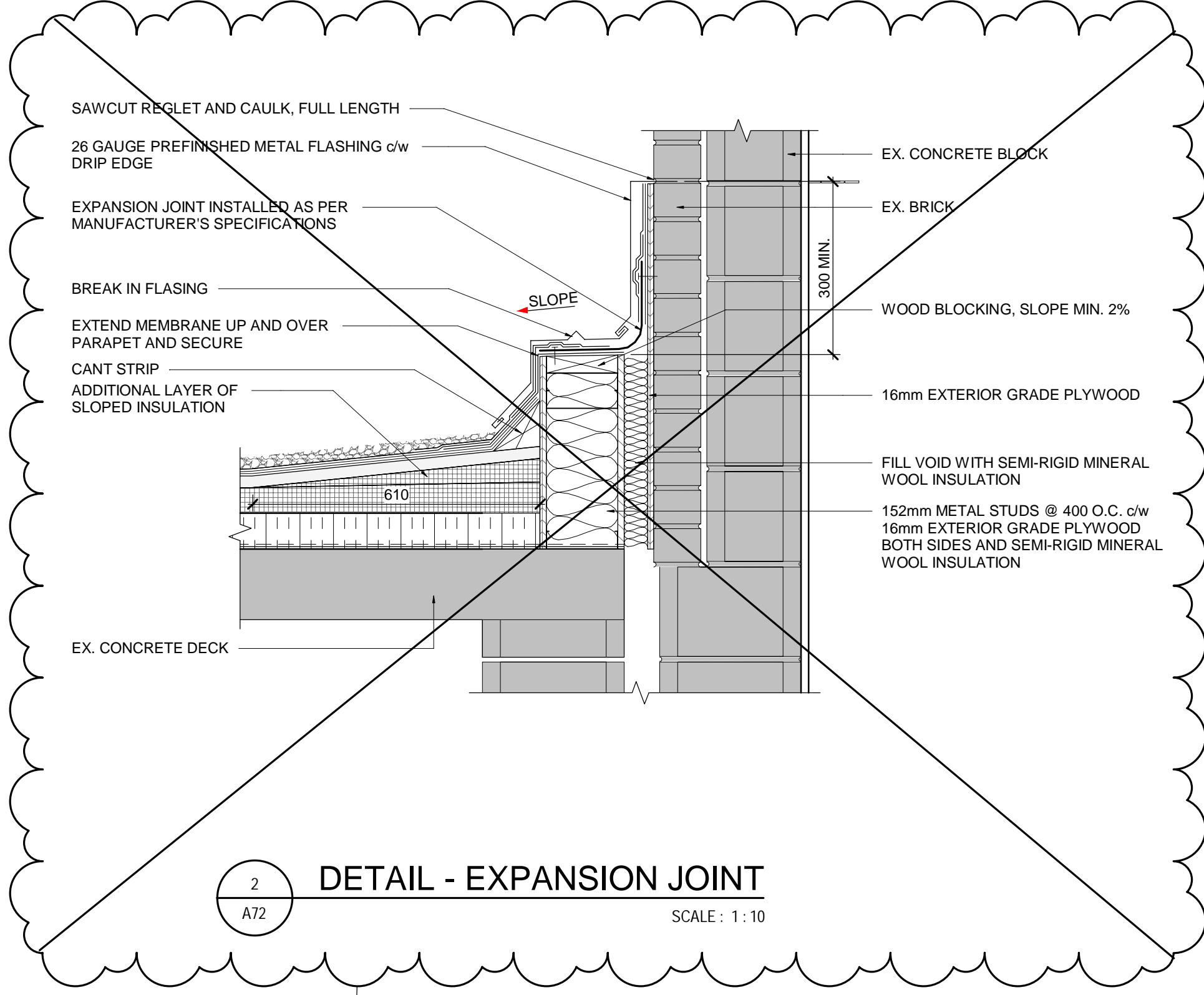




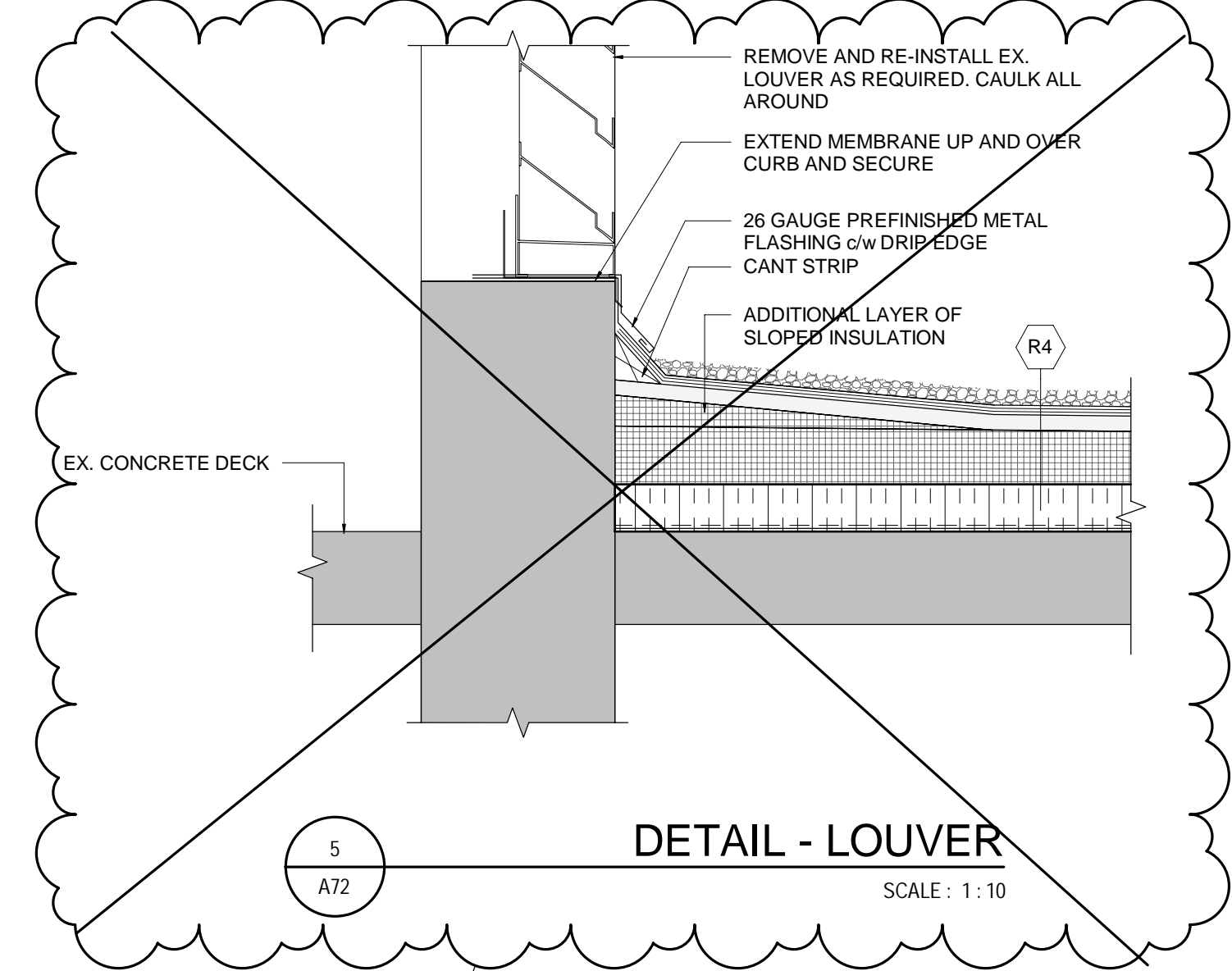
1  
A72  
DETAIL - SCUPPER  
SCALE : 1 : 10



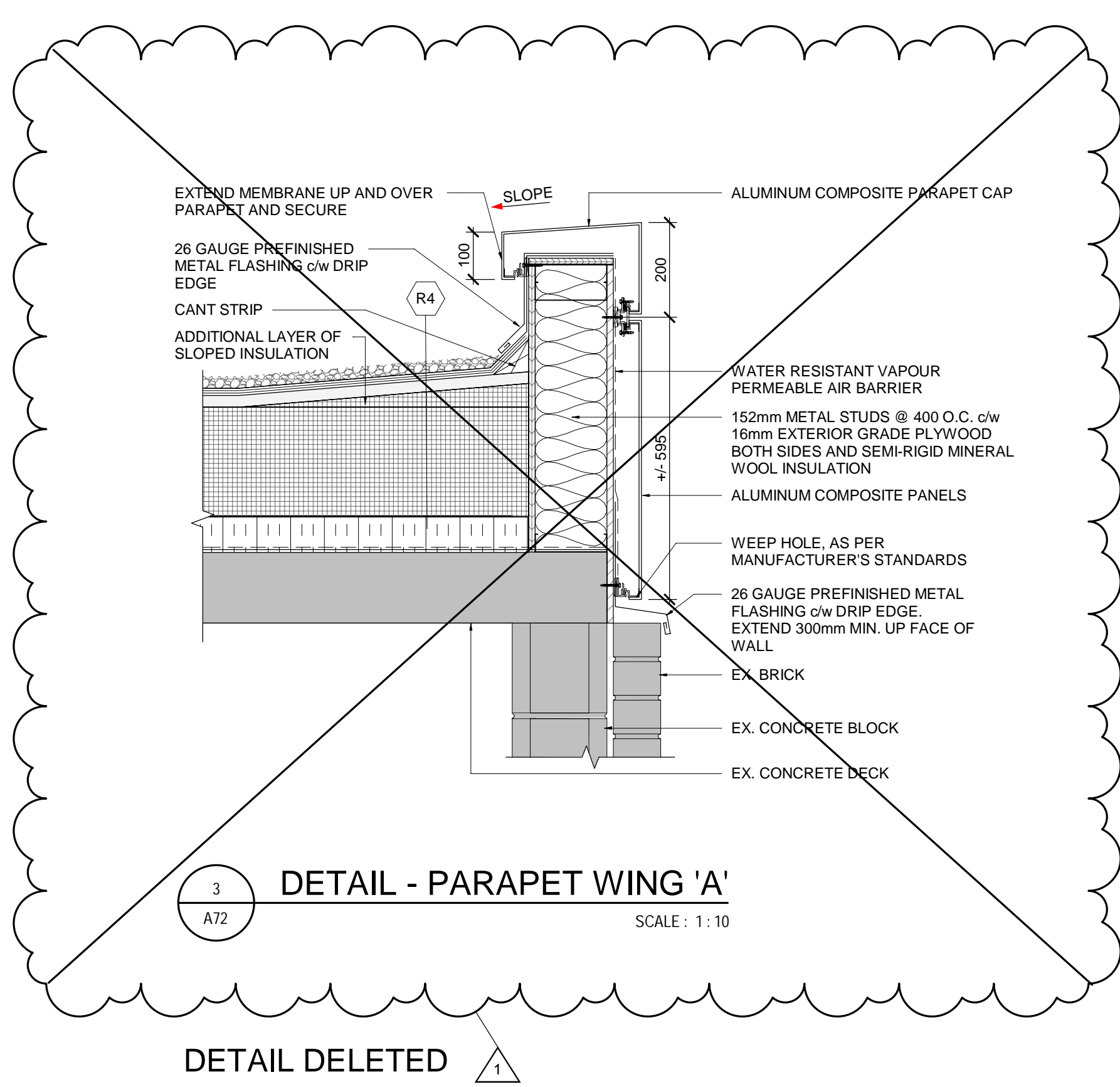
4  
A72  
DETAIL - PENTHOUSE CURB  
SCALE : 1 : 10



2  
A72  
DETAIL - EXPANSION JOINT  
SCALE : 1 : 10



5  
A72  
DETAIL - LOUVER  
SCALE : 1 : 10



3  
A72  
DETAIL - PARAPET WING 'A'  
SCALE : 1 : 10

NOTES:

- CONTRACTOR TO SEAL AND MAKE WEATHER TIGHT ALL PENETRATIONS THROUGH ALUMINUM COMPOSITE PANELS.

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0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

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Project  
**BUILDING #046 RENOVATIONS**

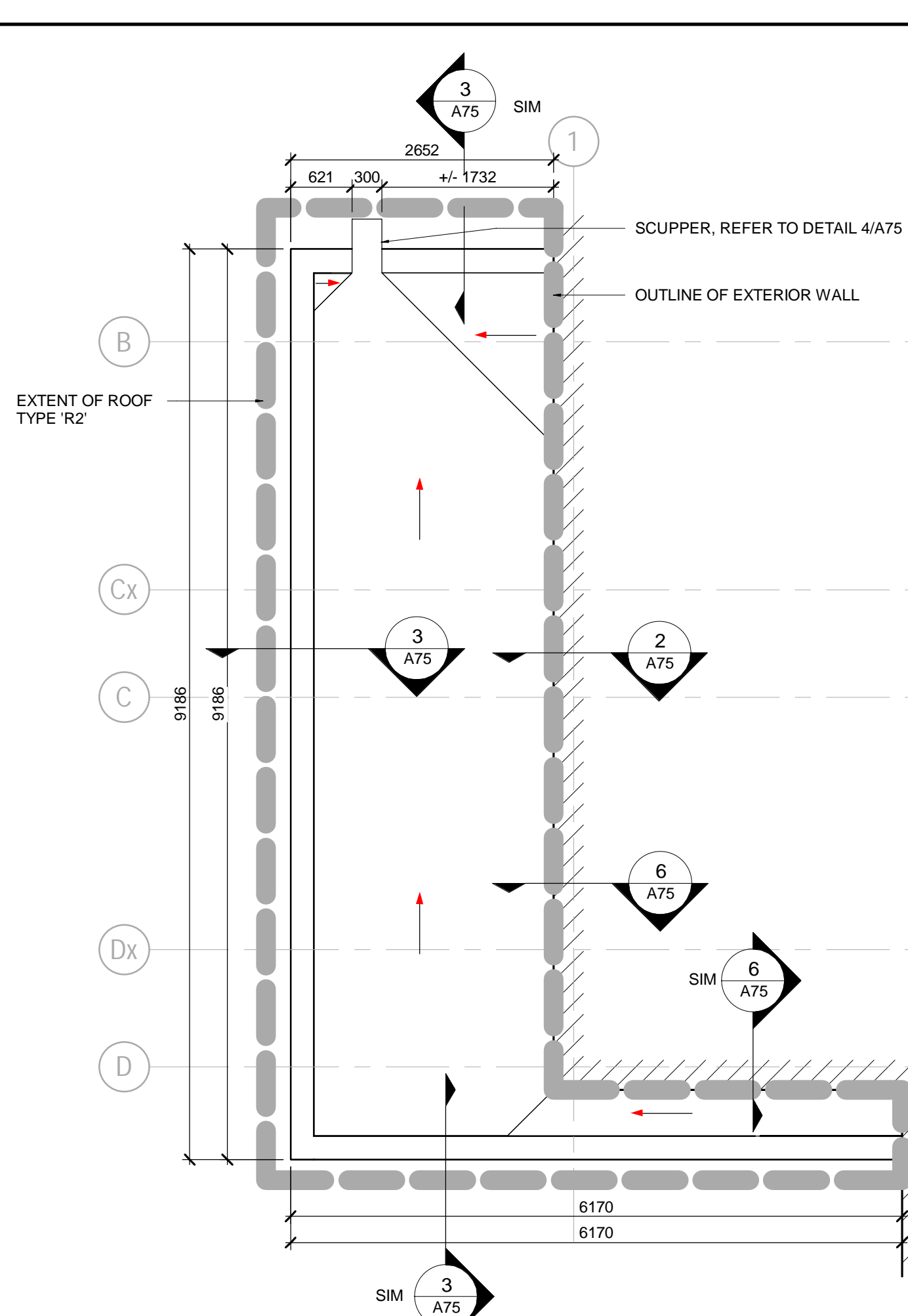
Drawing Title  
**ARCHITECTURAL ROOF DETAILS**

Project No.  
**504034**

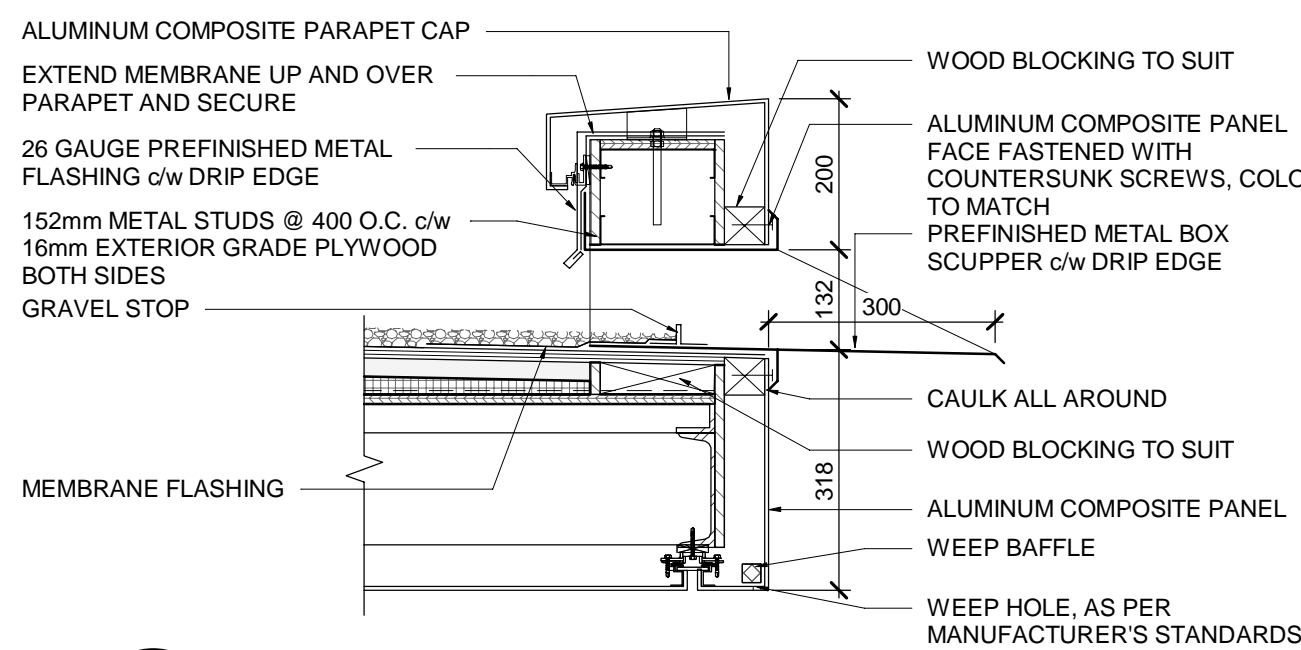
Location  
**UNIVERSITY OF GUELPH BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A72</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

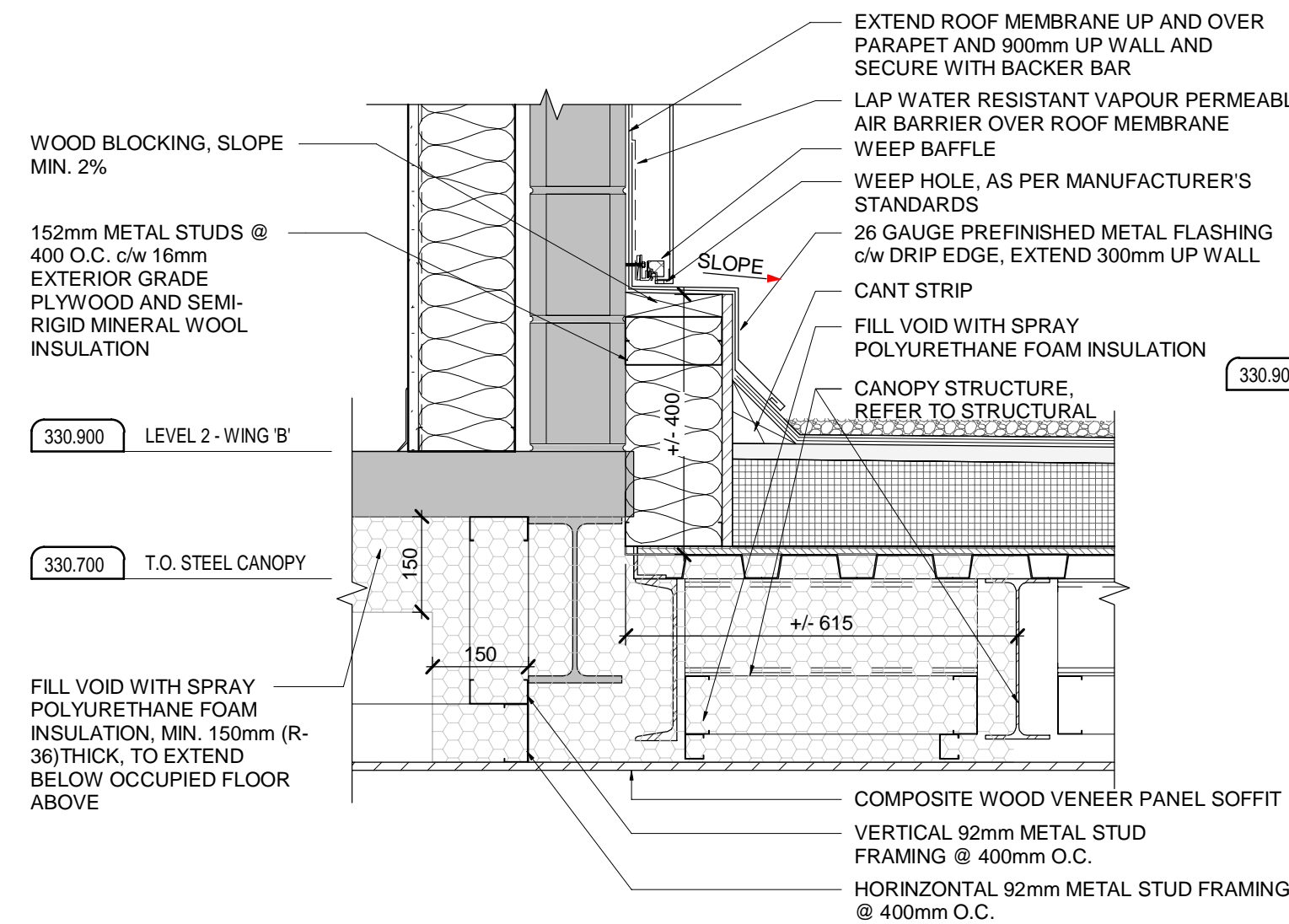




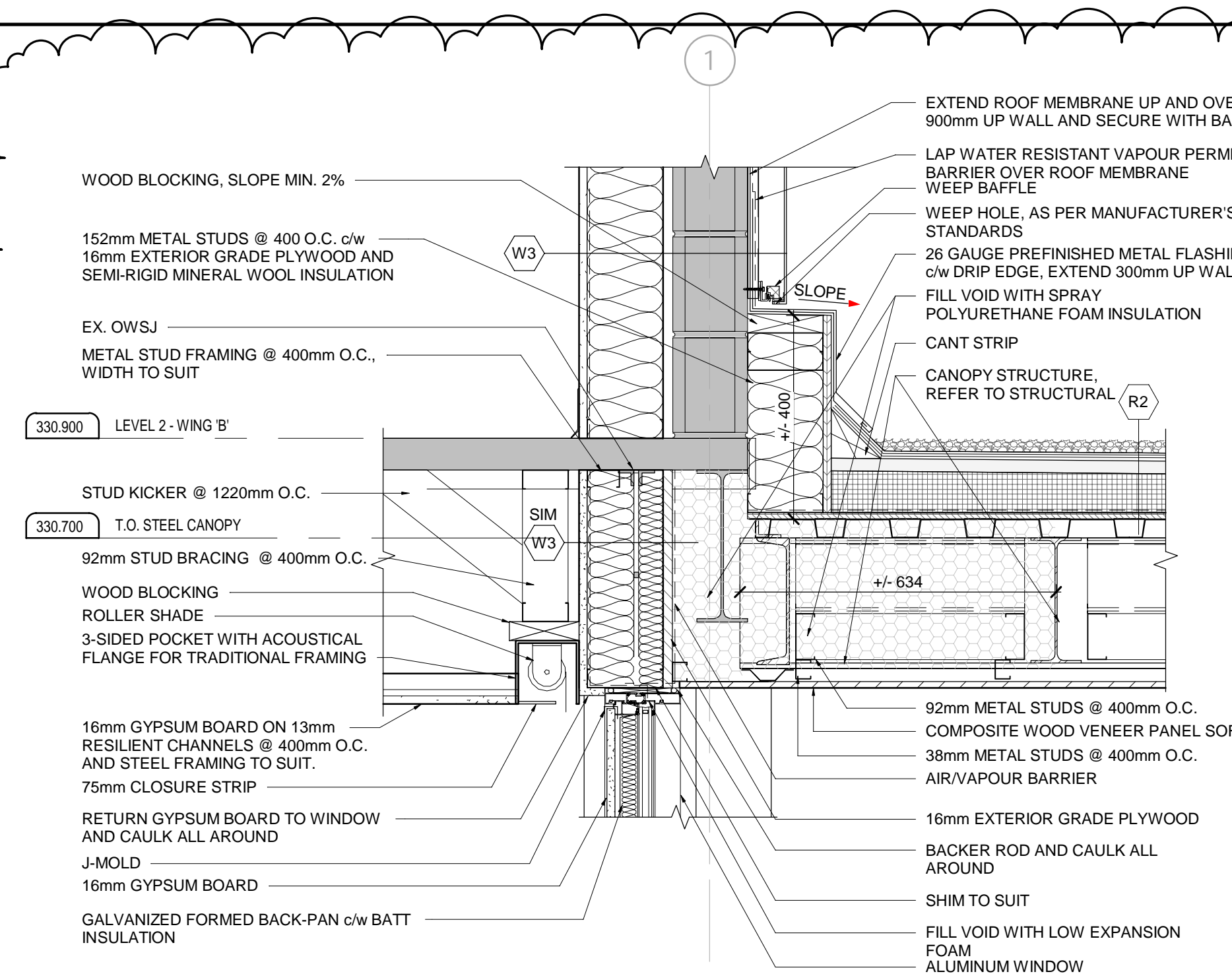
PARITAL ROOF PLAN  
CANOPY  
SCALE : 1 : 50



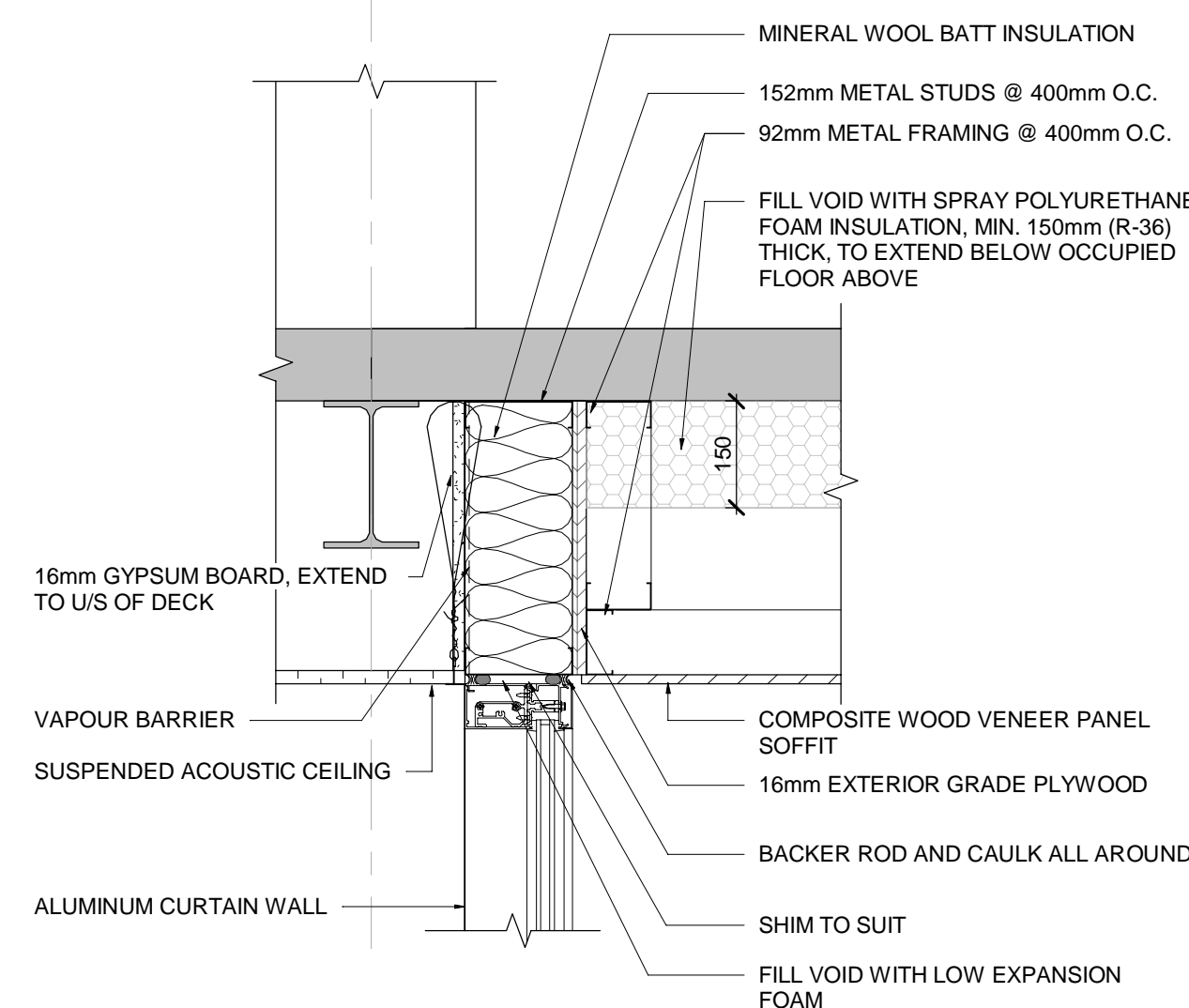
4  
A75  
DETAIL - CANOPY SCUPPER  
SCALE : 1 : 10



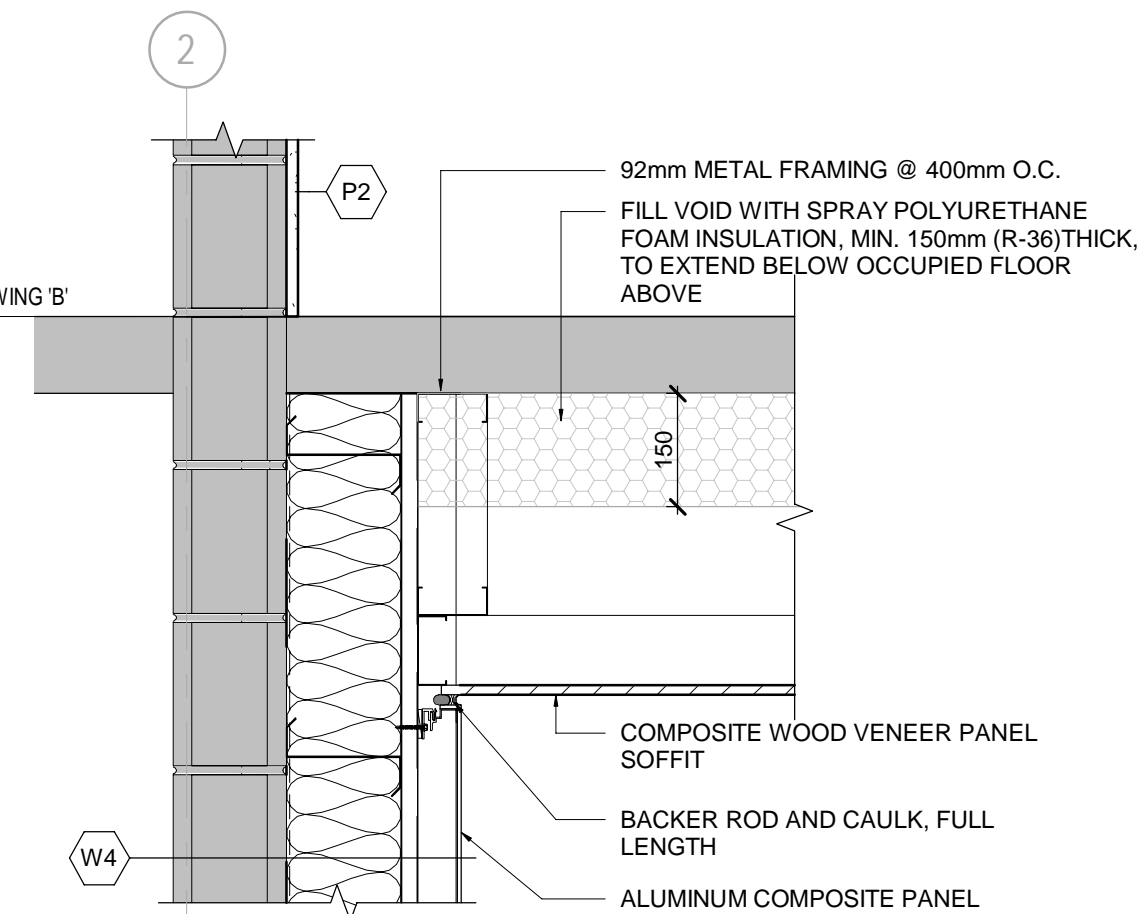
6  
A75  
DETAIL - CANOPY SOFFIT  
SCALE : 1 : 10



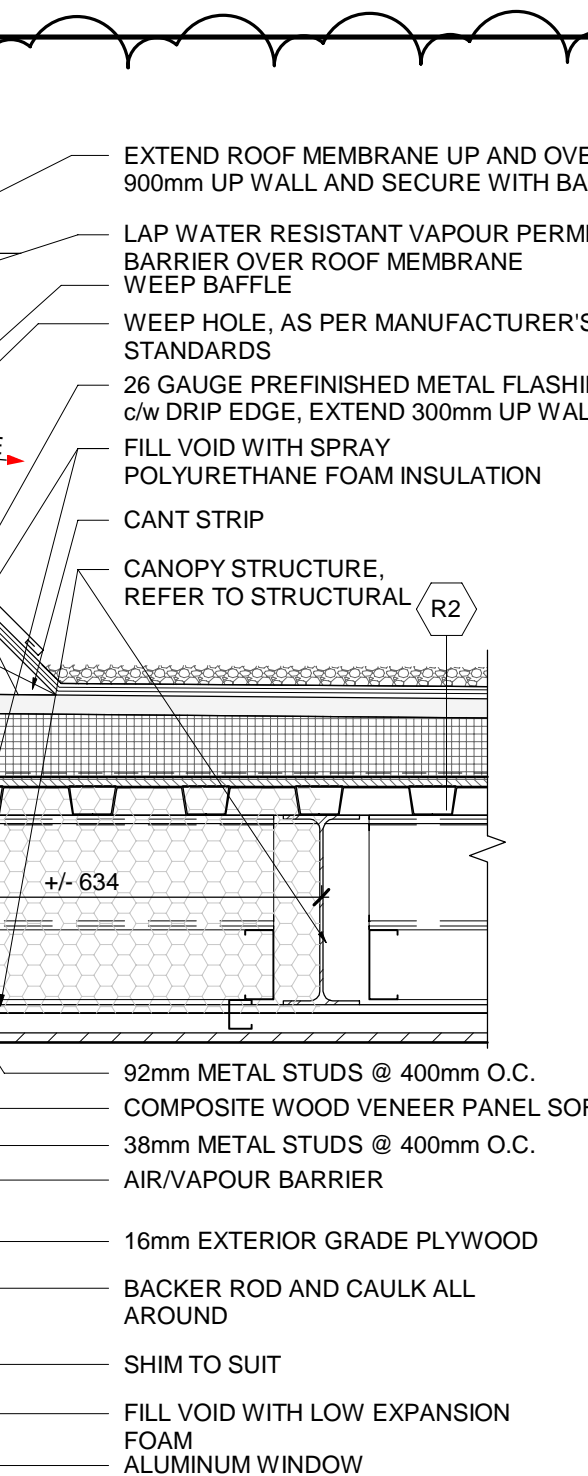
2  
A75  
DETAIL - CANOPY  
SCALE : 1 : 10



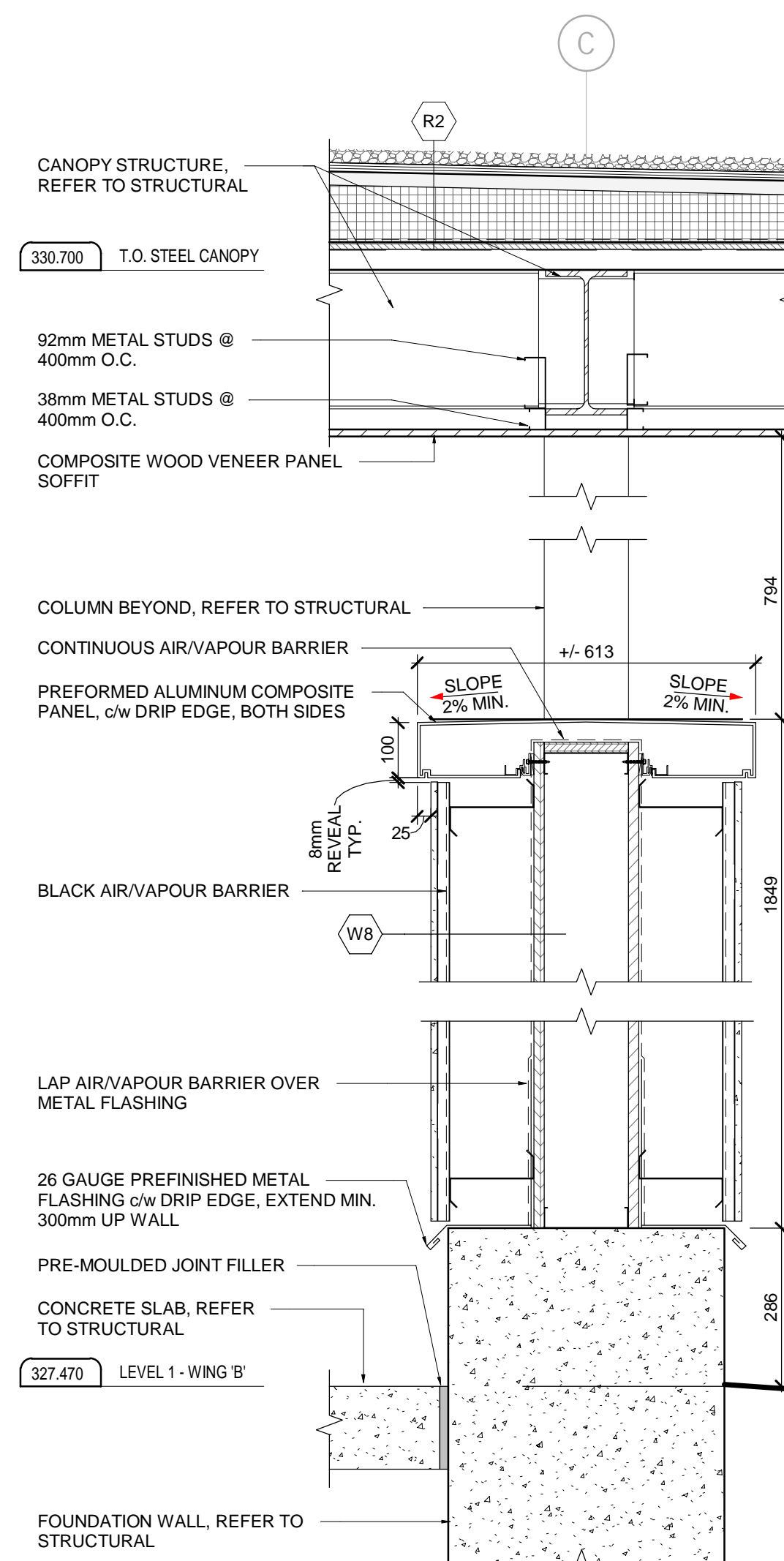
5  
A75  
DETAIL - CANOPY SOFFIT  
SCALE : 1 : 10



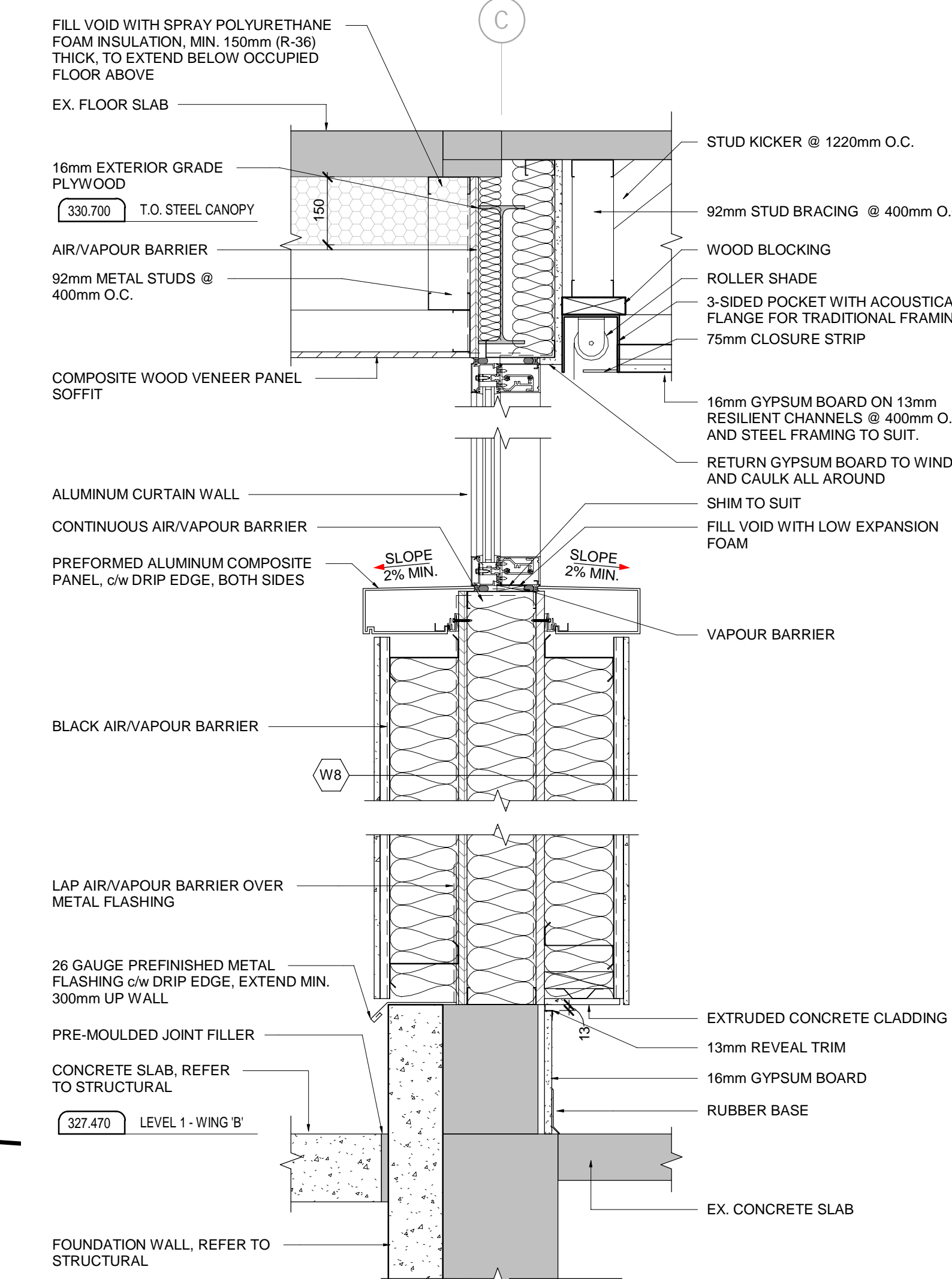
7  
A75  
DETAIL - CANOPY SOFFIT  
SCALE : 1 : 10



3  
A75  
DETAIL - CANOPY PARAPET  
SCALE : 1 : 10



8  
A75  
WALL SECTION - CANOPY  
SCALE : 1 : 10



9  
A75  
WALL SECTION - CANOPY  
SCALE : 1 : 10

- LEGEND:**
- DENOTES DIRECTION OF ROOF SLOPE, MIN. 2% U.N.O.
  - CONSTRUCTION TYPE
- NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS.
  - SLOPED INSULATION TO BE INSTALLED OVER ENTIRE AREA OF ROOF. PROVIDE MIN. 2% SLOPE.
  - REFER TO MECHANICAL AND ELECTRICAL DRAWINGS FOR EXACT EQUIPMENT LOCATIONS.
  - CONTRACTOR TO SEAL AND MAKE WEATHER TIGHT ALL PENETRATIONS THROUGH ALUMINUM COMPOSITE PANELS.

Key Plan

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B = Drawing number where detailed

Orientation

Seal

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Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL CANOPY DETAILS**

Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

Scale  
AS INDICATED

Drawn By  
DCJ

Checked By  
TA

Approved By  
RPC

JLR #: 27915

Cad File No.

Date  
APR 12, 2019

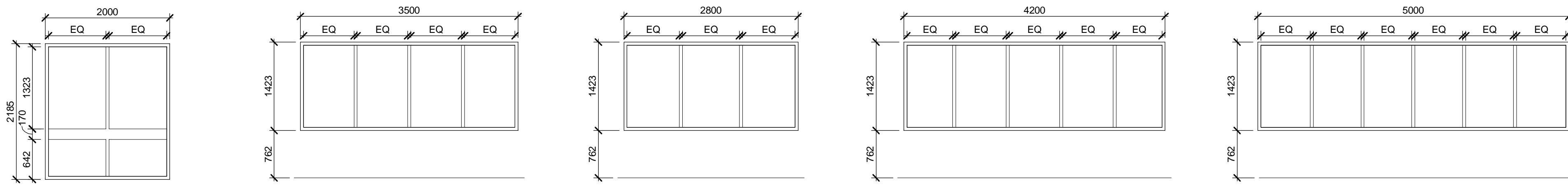
Drawing No.  
**A75**



DOOR AND FRAME SCHEDULE																		
DOOR NO.	DOOR						FRAME			MISC.								REMARKS
	TYPE	WIDTH	HEIGHT	MATERIAL	FINISH		TYPE	MATERIAL	FINISH	STC	THERMALLY BROKEN	FIRE RATED	GLAZING	DOOR GRILLE	DOOR OPERATOR	CONTROLLED ACCESS	DOOR CONTACTS	
D201b	A	610mm	2135mm	HM	PT	A	HM	PT										UNDERCUT DOOR 25mm
D201c	A	610mm	2135mm	HM	PT	A	HM	PT										UNDERCUT DOOR 25mm
D201d	A	610mm	2135mm	HM	PT	A	HM	PT										UNDERCUT DOOR 25mm
D201e	A	610mm	2135mm	HM	PT	A	HM	PT										UNDERCUT DOOR 25mm
D201f	A	965mm	2135mm	HM	PT	A	HM	PT										UNDERCUT DOOR 25mm
D201g	A	+/-555mm	2135mm	HM	PT	A	HM	PT										DOOR WIDTH TO SUIT PLUMBING CHASE. CONTRACTOR TO FIELD VERIFY.
D202	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D202a	D + D	1018mm x 1018mm	2135mm	HM	PT	B	HM	PT				LAM			YES	YES	YES	
D203	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D204	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D205	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D206	A	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35									
D206a	D + D	1018mm x 1018mm	2135mm	HM	PT	B	HM	PT				LAM			YES	YES	YES	
D207	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D208	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D209	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D210	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D210a	A	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35									
D211	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D212	B	965mm	2135mm	HM	PT	A	HM	PT	STC 20							YES		YES
D213	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D214	A	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35									
D215	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D216	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S					YES	YES
D217	F	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S			YES	YES	YES	YES
D217a	A	610mm	2135mm	HM	PT	A	HM	PT										
D217b	F	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S				YES		YES
D218	A	965mm	2135mm	IHM	PT	A	IHM	PT				F.I.N.S						
D219	A	965mm	2135mm	HM	PT	A	HM	PT										
D220	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S				YES		YES
D221	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D222	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S				YES		YES
D223	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D224	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D224a	A	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35									
D225	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D226	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D227	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D228	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D228a	A	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35									
D229	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D230	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D231	C	965mm	2135mm	IHM	PT	A	IHM	PT			3/4 HR			YES			YES	FIRE RATED DOOR GRILLE
D232	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
D233	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35							YES		YES
D234	A + A	965mm x 965mm	2135mm	IHM	PT	B	IHM	PT										
D234a	A	965mm	2135mm	IHM	PT	A	IHM	PT							YES			UNDERCUT DOOR 25mm. REFER TO DETAIL 3/A82
D235	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			INS						
D235a	A	965mm	2135mm	HM	PT	A	HM	PT								YES		YES
D237	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			INS						SCREEN TYPE 'S'7a'
D239	B	965mm	2135mm	IHM	PT	A	IHM	PT	STC 35			F.I.N.S						
DST201	D + D	1018mm x 1018mm	2135mm	HM	PT	B	HM	PT			3/4 HR	FRSG				YES		YES
DST202	D + D	1018mm x 1018mm	2135mm	HM	PT	B	HM	PT			3/4 HR	FRSG				YES		YES
DST203	D	1018mm	2135mm	HM	PT	A	HM	PT			3/4 HR	FRSG				YES		YES
PENTHOUSE - WING B'																		
D302	A	915mm	2135mm	IHM	PT	A	IHM	PT			YES							







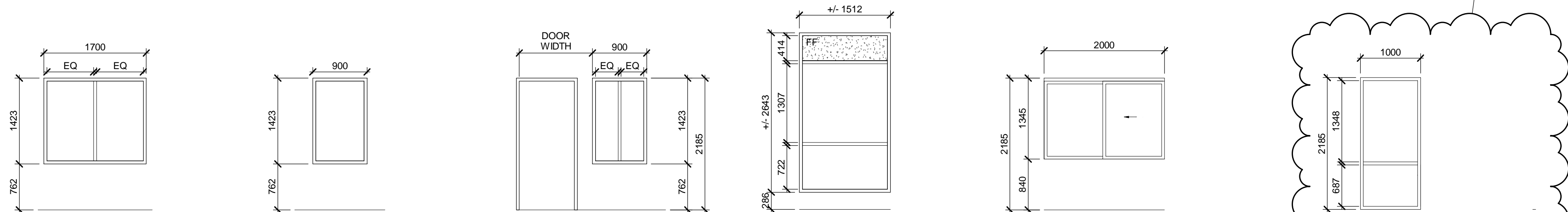
INTERIOR SCREEN TYPE 'S1' FULLY INSULATED HOLLOW METAL FRAME 8mm REFLECTIVE LAMINATED GLASS 13mm AIR SPACE 8mm CLEAR LAMINATED GLASS

INTERIOR SCREEN TYPE 'S2' FULLY INSULATED HOLLOW METAL FRAME 8mm REFLECTIVE LAMINATED GLASS 13mm AIR SPACE 8mm CLEAR LAMINATED GLASS

INTERIOR SCREEN TYPE 'S3' FULLY INSULATED HOLLOW METAL FRAME 8mm REFLECTIVE LAMINATED GLASS 13mm AIR SPACE 8mm CLEAR LAMINATED GLASS

INTERIOR SCREEN TYPE 'S4' FULLY INSULATED HOLLOW METAL FRAME 8mm REFLECTIVE LAMINATED GLASS 13mm AIR SPACE 8mm CLEAR LAMINATED GLASS

INTERIOR SCREEN TYPE 'S5' FULLY INSULATED HOLLOW METAL FRAME 8mm REFLECTIVE LAMINATED GLASS 13mm AIR SPACE 8mm CLEAR LAMINATED GLASS



INTERIOR SCREEN TYPE 'S6' FULLY INSULATED HOLLOW METAL FRAME 8mm REFLECTIVE LAMINATED GLASS 13mm AIR SPACE 8mm CLEAR LAMINATED GLASS

INTERIOR SCREEN TYPE 'S7' HOLLOW METAL FRAME 8mm CLEAR LAMINATED GLASS

INTERIOR SCREEN TYPE 'S7a' HOLLOW METAL FRAME 8mm CLEAR LAMINATED GLASS

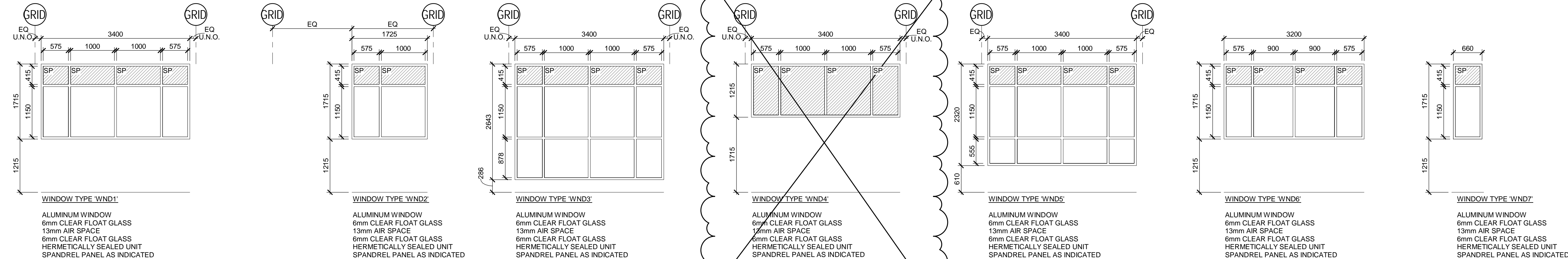
INTERIOR SCREEN TYPE 'S8' FIRE RATED GLASS WALL ASSEMBLY PARTITION TYPE 'P16' FROSTED FILM ON GRAD OFFICE SIDE OF GLAZING

INTERIOR SCREEN TYPE 'S9' ALUMINUM SLIDING GLASS RECEPTION WINDOW 8mm CLEAR LAMINATED GLASS OPERABLE UNITS AS INDICATED

INTERIOR SCREEN TYPE 'S10' HOLLOW METAL FRAME 8mm CLEAR LAMINATED GLASS

INTERIOR SCREEN TYPE 'S11' FIRE RATED GLASS WALL ASSEMBLY PARTITION TYPE 'P16' FROSTED FILM ON RECEPTION SIDE OF GLAZING

1 INTERIOR SCREEN TYPES SCALE : 1:50



WINDOW TYPE 'WND1' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED

WINDOW TYPE 'WND2' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED

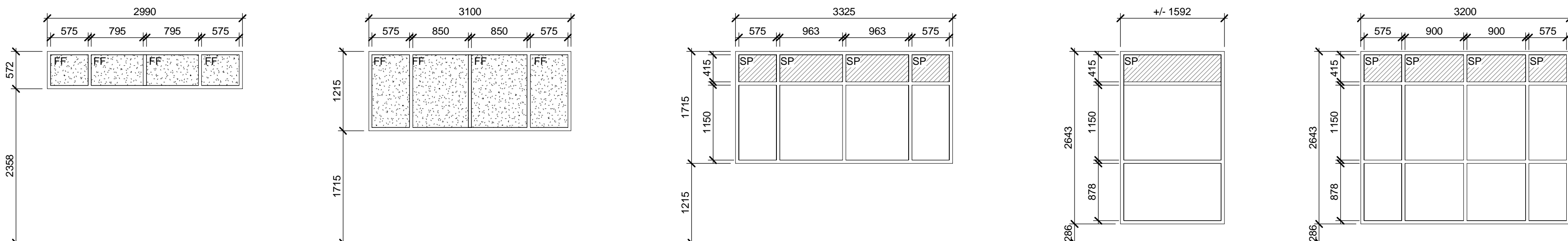
WINDOW TYPE 'WND3' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED

WINDOW TYPE 'WND4' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED NOTE: LOUVERS IN LOCATIONS NOTED ON EXTERIOR ELEVATIONS, REFER TO MECHANICAL

WINDOW TYPE 'WND5' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED

WINDOW TYPE 'WND6' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED

WINDOW TYPE 'WND7' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED



WINDOW TYPE 'WND8' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT NOTE: FROSTED FILM AS INDICATED

WINDOW TYPE 'WND9' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT NOTE: FROSTED FILM AS INDICATED

WINDOW TYPE 'WND10' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED

WINDOW TYPE 'WND11' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED

WINDOW TYPE 'WND12' ALUMINUM WINDOW 6mm CLEAR FLOAT GLASS 13mm AIR SPACE 6mm CLEAR FLOAT GLASS HERMETICALLY SEALED UNIT SPANDREL PANEL AS INDICATED

2 WINDOW TYPES SCALE : 1:50

#### ABBREVIATIONS:

FF FROSTED FILM  
LV LOUVER  
SP SPANDREL PANEL

#### DO NOT SCALE DRAWINGS:

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#### UNEXPECTED DISCOVERY OF ASBESTOS:

Where a friable material is discovered during construction, renovations and/or demolition, and it is suspected to contain asbestos, the Contractor must stop all work that may disturb the material. The Contractor shall advise the Owner of the discovery and await instructions from the owner.

A = Detail number  
B = Drawing number where detailed

2	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
1	POST-TENDER ADDENDUM NO.1	TA	FEB 26, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

**UNIVERSITY of GUELPH**  
Design, Engineering & Construction  
Physical Resources  
Guelph, Ontario, N1G 2W1

Consultant [www.jrichards.ca](http://www.jrichards.ca)

**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

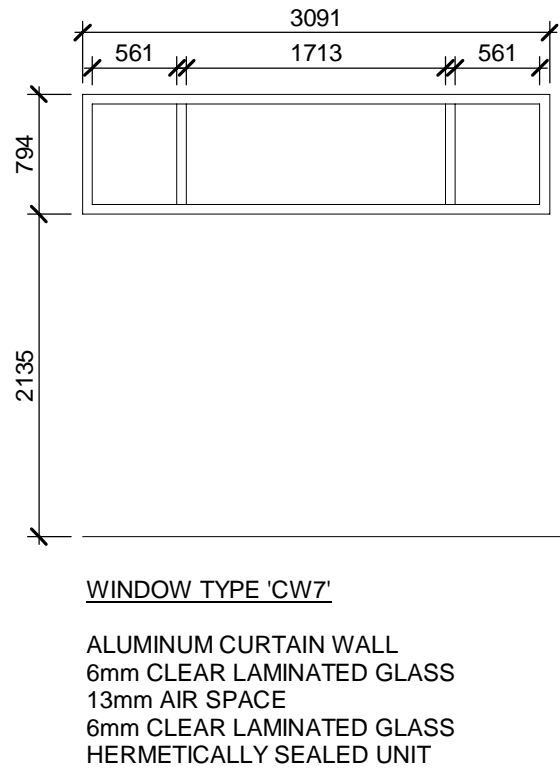
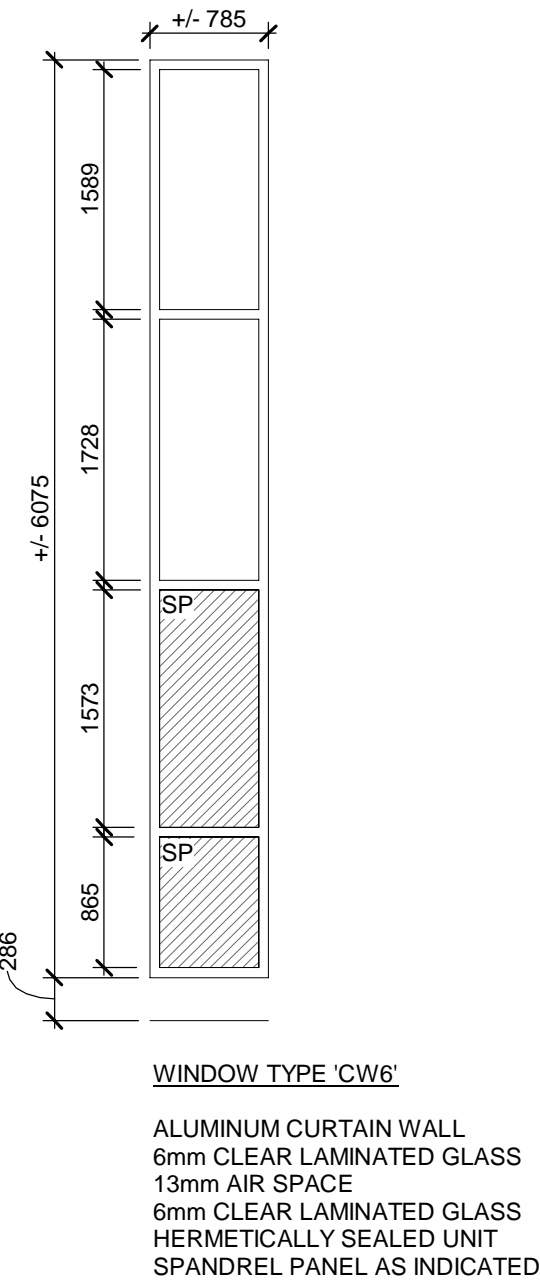
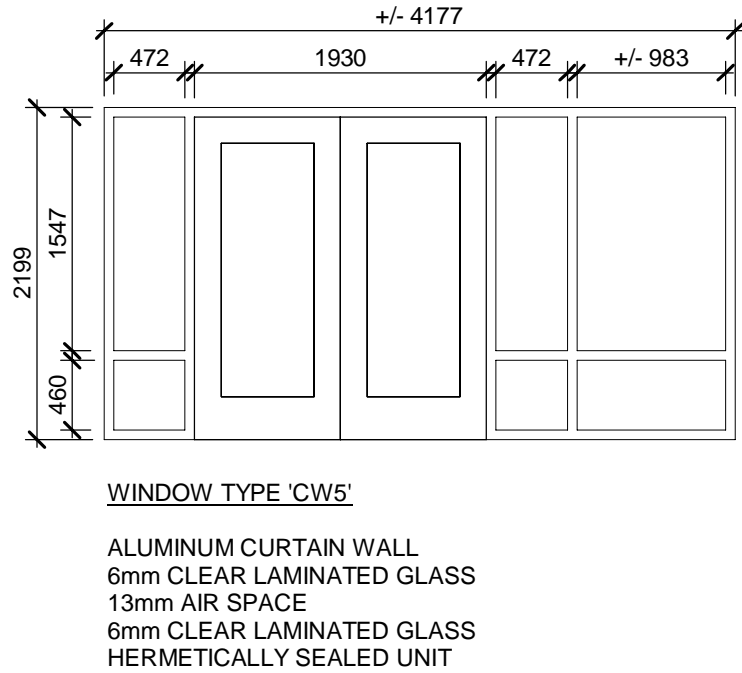
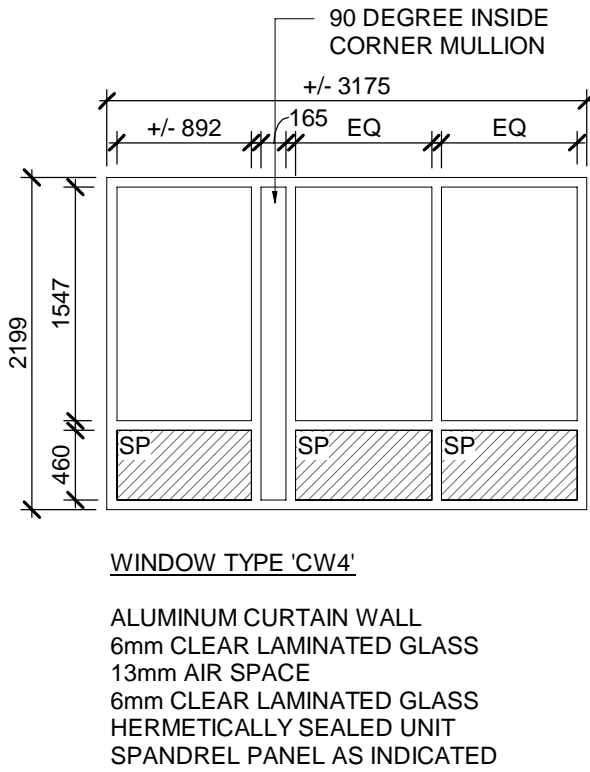
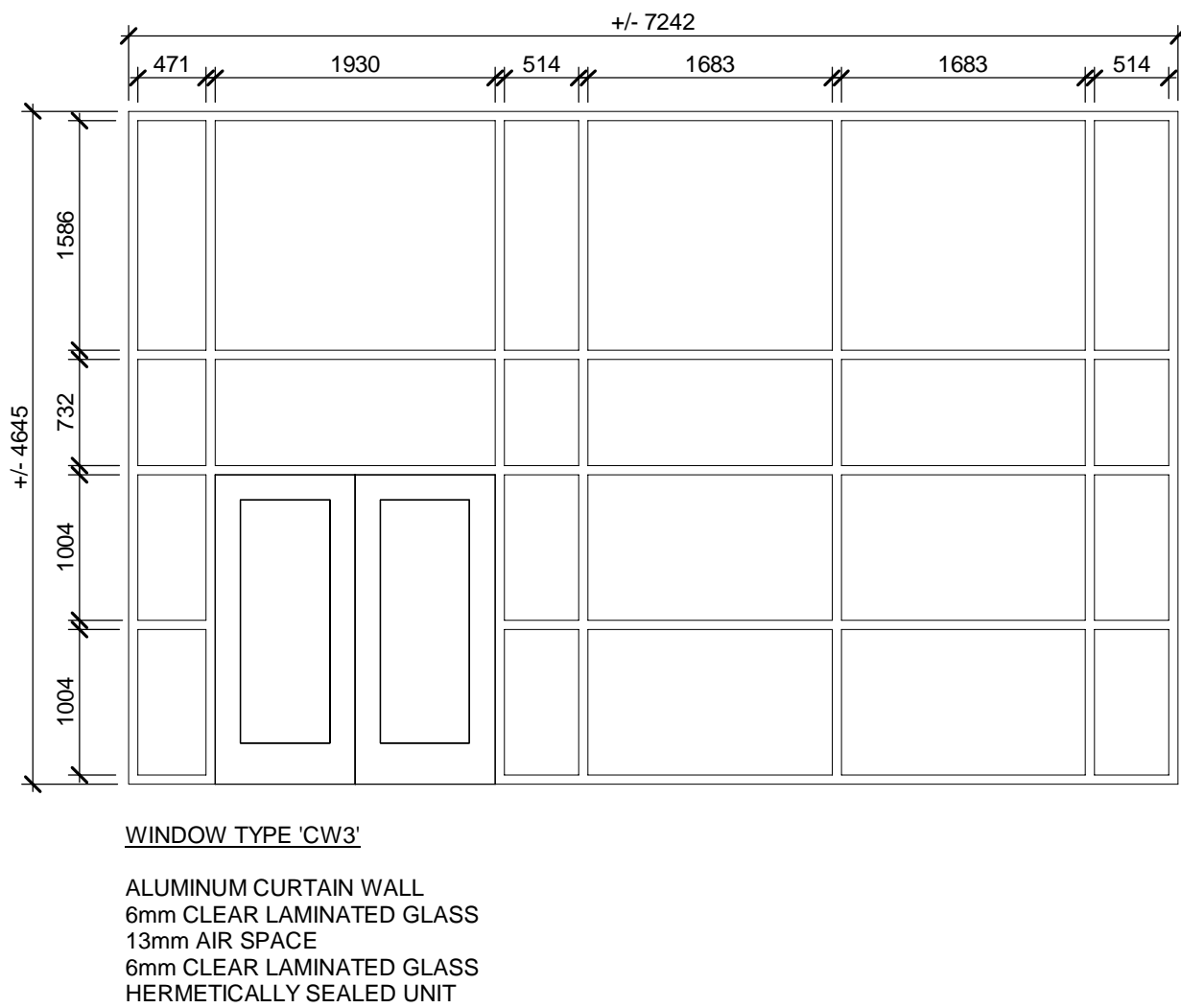
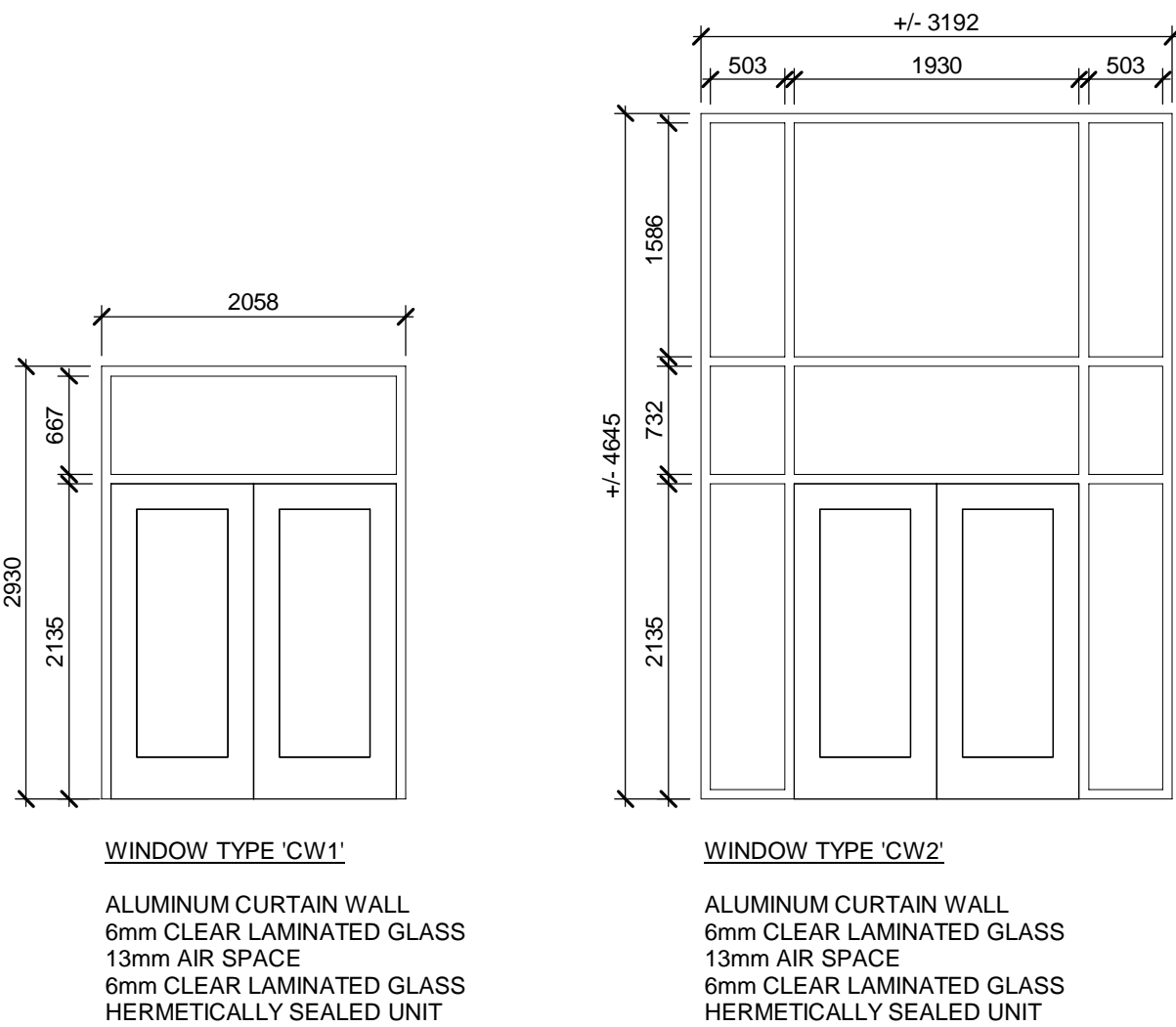
Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL INTERIOR SCREEN AND WINDOW TYPES**

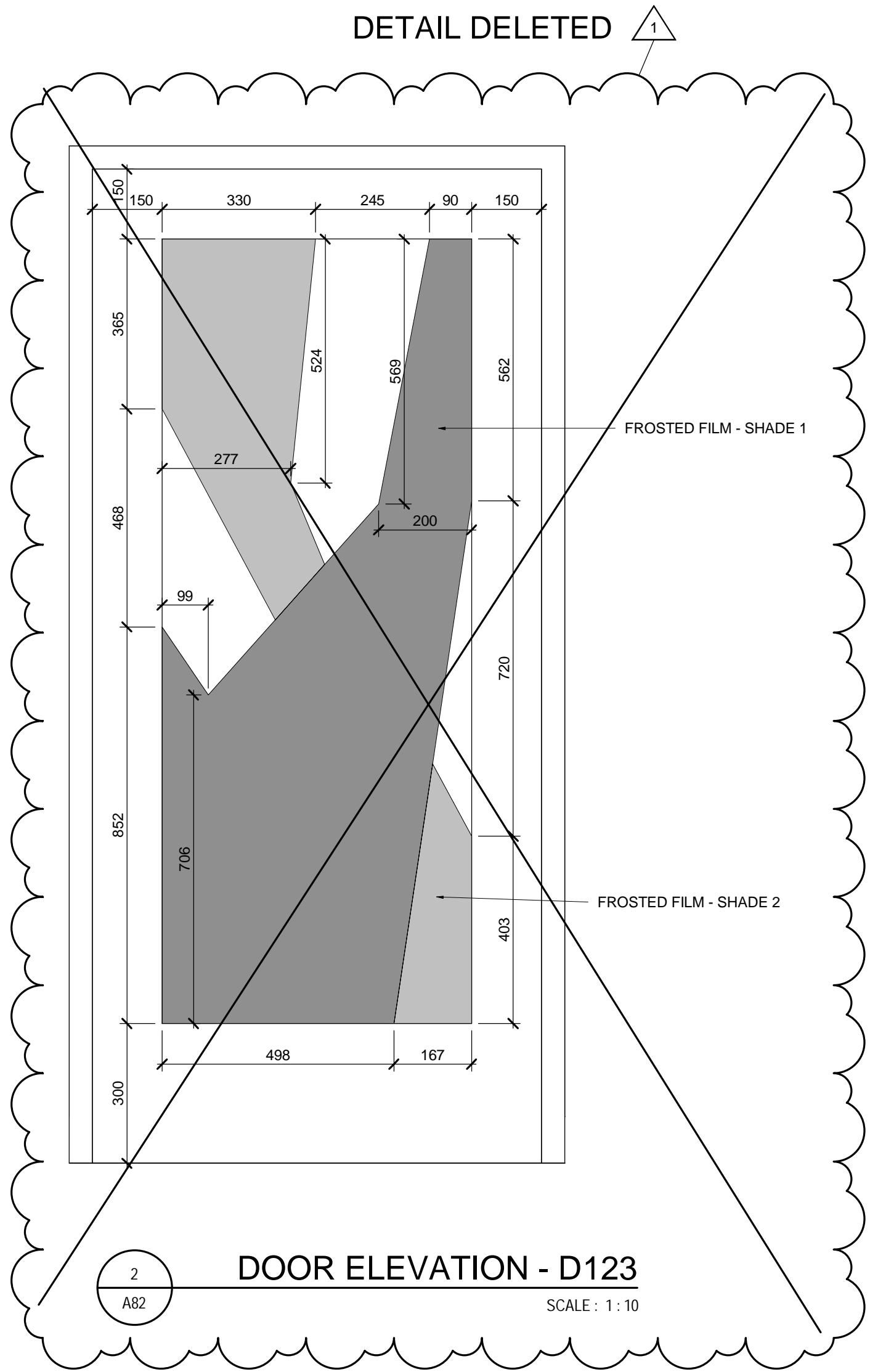
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

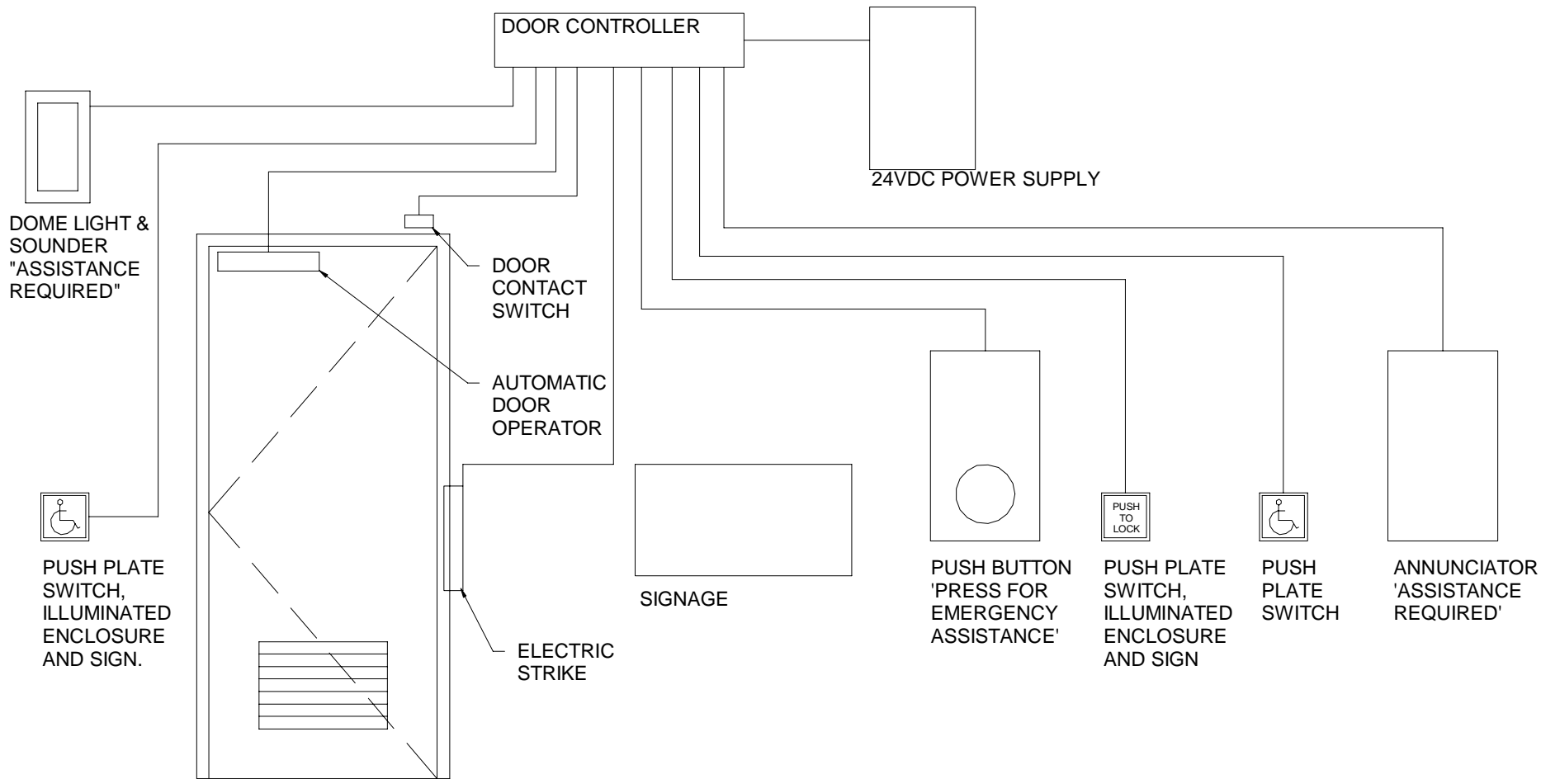
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A81</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



1 CURTAIN WALL TYPES  
A82 SCALE : 1:50



2 DOOR ELEVATION - D123  
A82 SCALE : 1:10



- NOTES:
1. ALL WIRING SHALL BE PROVIDED PER MANUFACTURER AND BE INSTALLED IN EMT/CONDUITS OF MINIMUM 21mm DIAMETER.
  2. PROVIDE ALL REQUIRED BACK BOXES TO SUIT. COORDINATE LOCATION WITH WASHROOM ACCESSORIES (GRAB BARS, TOILET PAPER HOLDER, ETC.)
  3. REFER TO FLOOR PLAN FOR LOCATION OF DEVICES.
  4. PROVIDE CONNECTION FOR POWER AND CONTROL TO ELECTRIC STRIKE AND DOOR OPERATOR.
  5. PROVIDE POWER SUPPLY AS NOTED. SEE ELECTRICAL DRAWINGS.
  6. PROVIDE ELECTRIC STRIKE AS NOTED.
  7. EMERGENCY CALL SYSTEM PART NUMBERS BY CAMDEN AS LISTED ABOVE, OR APPROVED EQUAL.
    - 1. MULTI-FUNCTION RELAY TO CONTROL DOOR OPERATIONS. MOUNTED IN CEILING SPACE, PROVIDE J.BOX SUITABLE FOR ENCLOSURE.
    - 2. PUSH/PULL MAINTAINED MUSHROOM PUSHBUTTON WITH STAINLESS COVERPLATE ENGRAVED WITH 'PRESS FOR EMERGENCY ASSISTANCE'. MOUNT IN SINGLE GANG BOX AT 1000mm.
    - 3. LED ANNUNCIATOR WITH SOUNDER. ILLUMINATED MESSAGE WITH 'ASSISTANCE REQUESTED' C/W STAINLESS COVERPLATE. MOUNT IN SINGLE GANG BOX AT 1000mm, NEXT TO PUSHBUTTON.
    - 4. WHITE, FIRE RATED EXPANDED PVC SIGNAGE. SIGN SHALL CONTAIN "IN THE EVENT OF AN EMERGENCY, PUSH EMERGENCY BUTTON AND AUDIBLE AND VISUAL SIGNAL WILL ACTIVATE." IN LETTERS AT LEAST 25mm HIGH WITH A 5mm STROKE. MOUNT ABOVE PUSHBUTTON.
    - 5. DOME LIGHT WITH SOUNDER C/W WHITE WEDGE SHAPED LENS AND STAINLESS COVERPLATE. MOUNT IN SINGLE GANG BOX ABOVE DOOR AT WASHROOM EXTERIOR.
    - 6. ILLUMINATED PUSHPLATE "PUSH TO LOCK", WITH LEGEND SIGN. MOUNT INSIDE WASHROOM. DISABLE SOUNDER.
    - 7. ILLUMINATED PUSHPLATE WITH THE UNIVERSAL SYMBOL OF ACCESSIBILITY. WITH LEGEND SIGN. MOUNT OUTSIDE WASHROOM. DISABLE SOUNDER.
    - 8. PUSHPLATE WITH THE UNIVERSAL SYMBOL OF ACCESSIBILITY. MOUNT INSIDE WASHROOM.
    - 9. MAGNETIC DOOR CONTACT FOR COMMUNICATION WITH DOOR CONTROLLER. MOUNT INSIDE WASHROOM.
    - 10. 24VDC POWER SUPPLY FOR DOOR CONTROLLER, ILLUMINATED PUSH BUTTONS, DOOR STRIKE, DOME LIGHT, SOUNDER, AND ANNUNCIATOR.
    - 11. DOOR OPERATOR AND DOOR STRIKE TO BE COORDINATED WITH OTHER TRADES TO ENSURE COMPATIBILITY.

3 UNIV. W.R. EMERGENCY  
CALL SYSTEM WITH DOOR  
OPERATORS  
A82 SCALE : 1:25

ABBREVIATIONS:

FF FROSTED FILM  
LV LOUVER  
SP SPANDREL PANEL

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B = Drawing number where detailed

1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE

Orientation	
Seal	Seal

UNIVERSITY  
of GUELPH  
Design, Engineering & Construction  
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JR J.L.Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
CURTAIN WALL TYPES AND  
DETAILS**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A82</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



ROOM FINISH SCHEDULE										
ROOM NO.	ROOM NAME	FLOOR		WALLS		CEILING			REMARKS	
		FINISH	BASE	MATERIAL	FINISH	MATERIAL	FINISH	HEIGHT		
LEVEL 1 - WING 'B'										
116	CUST.	RSF	RB	EX, C.BLK, GWB	PT	ACT1	-	2440mm	STAINLESS STEEL BACKSPLASH AT MOP SINK	
117	VESTIBULE	RSF	RB	EX, GWB	PT	ACT1	-	2440mm		
117A	SERVER	RSF	RB	EX, GWB	PT	ACT1	-	2440mm		
117B	COS	RSF	RB	EX, GWB	PT	ACT1	-	2440mm		
118	EX. ELECTRICAL	EX CONC	-	EX	-	EX ST.	PT	-		
119	SVO STORAGE	RSF	RB	EX	PT	ACT1	-	2440mm		
120	EX. MECHANICAL	EX CONC	-	EX	-	EX ST.	PT	-		
121	EX. MAINTENANCE	EX TERR	EX TERR	EX	PT	ACT1	-	2440mm		
123	RECEPTION	RSF	RB	GWB	PT	ACT1	-	2440mm		
123A	WAITING	RSF	RB	GWB	PT	ACT1	-	2440mm		
123B	OFFICE	CPT	RB	GWB	PT	ACT1	-	2440mm		
123C	OFFICE	CPT	RB	GWB	PT	ACT1	-	2440mm		
123D	OFFICE	CPT	RB	GWB	PT	ACT1	-	2440mm		
123E	MEETING	CPT	RB	GWB	PT	ACT1	-	2440mm		
123F	COFFEE / COPY	RSF	RB	GWB	PT	ACT1	-	2440mm	MILLWORK TO DETAILS	
124	CLOSED FILE STORAGE	RSF	RB	EX, GWB	PT	ACT1	-	2440mm	MILLWORK TO DETAILS	
125	FAMILY THERAPY ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		
125A	VIEWING ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm	MILLWORK TO DETAILS	
126A	COUPLE / INDIVIDUAL ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		
126B	COUPLE / INDIVIDUAL ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		
126C	COUPLE / INDIVIDUAL ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		
126D	COUPLE / INDIVIDUAL ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		
127	FAMILY THERAPY ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		
127A	VIEWING / CHILD CARE	CPT	RB	GWB	PT	ACT1	-	2440mm	MILLWORK TO DETAILS	
128	MULTI-PURPOSE ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		
129	LARGE GROUP ROOM	CPT	RB	GWB	PT	GWB, ACT1	PT	2440mm		
130	SESSIONAL OFFICE	CPT	RB	GWB	PT	ACT1	-	2440mm		
131	STORAGE	RSF	RB	EX, GWB	PT	ACT1	-	2440mm		
132	RESEARCH SPACE	RSF	RB	GWB	PT	ACT1	-	2440mm		
133	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm		
135	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm		
136B	TELEPHONE	CPT	RB	GWB	PT	ACT1	-	2440mm		
136C	BREAKOUT ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		
137	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm		
138	SPRINKLER	CONC	RB	EX, GWB	PT	EX ST.	PT	-		
139	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm		
141	MAIL	RSF	RB	EX, GWB	PT	ACT1	-	2440mm	MILLWORK TO DETAILS	
145	RECEPTION	CPT	RB	GWB	PT	GWB, ACT1	PT	VARIES	BULKHEAD TO DETAILS	
145A	COPY / MAIL	CPT	RB	GWB	PT	ACT1	-	2440mm	MILLWORK TO DETAILS	
147	ADMIN. OFFICE	CPT	RB	GWB	PT	GWB, ACT1	PT	VARIES	BULKHEAD TO DETAILS	
149	OFFICE / SUPERVISION	CPT	RB	GWB	PT	GWB, ACT1	PT	VARIES	BULKHEAD TO DETAILS	
C102	CORRIDOR	EX TERR	EX TERR	GWB	PT	ACT2	-	2440mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL	
C103	CORRIDOR	EX TERR	EX TERR	GWB	PT	ACT2	-	2440mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL	
C104	CORRIDOR	EX TERR	EX TERR	GWB, WD	PT	ACT2, WD	-	2440mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL. REFER TO INTERIOR ELEVATIONS	
C104A	CORRIDOR	RSF	RB	GWB	PT	ACT2	-	2440mm		
C105	CORRIDOR	RSF	RB	GWB	PT	GWB, ACT1	PT	2440mm	BULKHEAD TO DETAILS	
C106	CORRIDOR	EX TERR	EX TERR	GWB, WD	PT	ACT2, WD	-	2440mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL. REFER TO INTERIOR ELEVATIONS	
C107	CORRIDOR	RSF	RB	GWB	PT	GWB, ACT1	PT	2440mm	MILLWORK TO DETAILS BULKHEAD TO DETAILS	
C108	CORRIDOR	EX TERR	EX TERR	GWB	PT	ACT2, WD	-	2440mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL	
C123	CORRIDOR	RSF	RB	GWB	PT	ACT1	-	2440mm		
EL101	ELEVATOR	CFT	CBT	-	-	-	-	-		
ST101	EX. STAIRWELL	EX TERR	EX TERR	GWB, EX	PT	GWB	PT	2440mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL. BULKHEAD TO DETAILS	
ST101A	ENTRANCE VESTIBULE	EX TERR	EX TERR	EX, GWB	PT	ACT2	-	2930mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL	
ST102	EX. STAIRWELL	EX TERR	EX TERR	EX	EX	GWB	-	2440mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL	
ST103	EX. STAIRWELL	EX TERR	EX TERR	EX	PT	-	-	-		
WR116	W.R.	CFT	CBT	EX, CWT-1, CWT-3	PT	GWB	PT	2440mm	REFER TO INTERIOR ELEVATIONS, MILLWORK TO DETAILS	
WR138	UNIV. W.R.	CFT	CBT	EX, CWT-1, CWT-3	PT	GWB	PT	2440mm	REFER TO INTERIOR ELEVATIONS	
LEVEL 1 - WING 'C'										
101	EX. GRAD OFFICE	EX	EX, RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
102	EX. STORAGE	RSF	RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
103	EX. MEDICAL RECORDS	RSF	RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
103A	EX. RESTRICTED RECORDS	RSF	RB	EX	-	ACT3	-	2440mm		
105	EX. ELECTRICAL	EX	EX	EX	-	EX ST.	-	-		
106	EX. VESTIBULE	CPT	RB	EX	-	ACT3	-	2440mm		
106A	EX. COPY ROOM	CPT	RB	EX	-	ACT3	-	2440mm		
106B	EX. OFFICE	CPT	RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
107	EX. OFFICE	CPT	RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
108	EX. OFFICE	EX	EX, RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
109	EX. OFFICE	EX	EX	EX	-	ACT3	-	2440mm		
109A	EX. OFFICE	EX	EX, RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
109B	EX. OFFICE	EX	EX, RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
110	EX. CLASSROOM	RSF	RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
110A	CLOSET	RSF	RB	EX, GWB	PT	ACT3	-	2440mm		
111	EX. CLASSROOM	RSF	RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
112	EX. HSKP	RSF	RB	EX	-	EX ST.	-	-		
113	EX. OFFICE	RSF	RB	EX	-	ACT3	-	2440mm		
113A	EX. CLASSROOM	RSF	RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
114	EX. CLASSROOM	RSF	RB	EX, GWB	PT	ACT3	-	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88.	
114A	EX. OFFICE	RSF	RB	EX	-	ACT3	-	2440mm		
115	EX. KITCHEN	RSF	RB	EX	-	ACT3	-	2235mm		
C100	EX. VESTIBULE	EX TERR	EX TERR	EX	PT	GWB, ACT3	PT	VARIES	BULKHEAD TO DETAILS	
C101	EX. CORRIDOR	EX TERR	EX TERR	EX	PT	ACT3	-	2440mm	PATCH AND REPAIR EX. TERRAZZO FLOORING AND BASE IN AREAS OF WALL REMOVAL AND/OR INFILL. PAINT WALL TO EXTENT SHOWN ON 1/A88.	
C101A	EX. VESTIBULE	EX	EX	EX, GWB	PT	EX	PT	2440mm	PAINT WALL TO EXTENT SHOWN ON 1/A88. PATCH AND REPAIR EX. CEILING AS REQUIRED AND PAINT	
WR104	UNIV. W.R.	CFT	CBT	EX, CWT-3	PT	GWB	PT	2440mm	REFER TO INTERIOR ELEVATIONS	
WR104A	W.R.	CFT	CBT	EX, CWT-3	PT	GWB	PT	2440mm	REFER TO INTERIOR ELEVATIONS	
LEVEL 2 - WING 'B'										
201	CUST	RSF	RB	EX, GWB	PT	ACT1	-	2440mm		
202	ASSESSMENT ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm		

ROOM FINISH SCHEDULE								
ROOM NO.	ROOM NAME	FLOOR		WALLS		CEILING		REMARKS
		FINISH	BASE	MATERIAL	FINISH	MATERIAL	FINISH	
203	COUPLE / INDIVIDUAL ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
204	ASSESSMENT ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
205	COUPLE / INDIVIDUAL ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
206	VIEWING ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
207	COUPLE / INDIVIDUAL ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
208	ASSESSMENT ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
209	PLAY ROOM	RSF	RB	GWB	PT	ACT1	-	2440mm
210	PLAYROOM	RSF	RB	GWB	PT	ACT1	-	2440mm
210A	VIEWING ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
211	FAMILY THERAPY ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
212	TEST LIBRARY	RSF	RB	GWB	PT	ACT1	-	2440mm
213	FAMILY THERAPY ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
214	VIEWING ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
215	FAMILY THERAPY ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
216	WELLNESS ROOM	RSF	RB	GWB	PT	ACT1	-	2440mm
217	LOUNGE	RSF	RB	GWB, CWT-2	PT	GWB, ACT2, WD	PT	2440mm
217A	STOR.	CFT	CBT	GWB	PT	GWB	PT	VARIES
218	STORAGE	RSF	RB	GWB	PT	ACT1	-	2440mm
219	STORAGE	RSF	RB	EX, GWB	PT	GWB, ACT1	PT	2440mm
220	PRAYER ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
221	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm
222	CONFIDENTIAL STUDENT WORK ROOM	RSF	RB	GWB	PT	ACT1	-	2440mm
223	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm
224	RESEARCH THERAPY / ASSESSMENT ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
224a	VIEWING ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
225	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm
226	OFFICE	CPT	RB	GWB	PT	ACT1	-	2440mm
227	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm
228	RESEARCH THERAPY / ASSESSMENT ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
228A	VIEWING ROOM	CPT	RB	GWB	PT	ACT1	-	2440mm
229	OFFICE / SUPERVISION	CPT	RB	GWB	PT	ACT1	-	2440mm
230	RESEARCH DATA ANALYSIS ROOM	RSF	RB	GWB	PT	ACT1	-	2440mm
231	ELEV. MACHINE ROOM	RSF	RB	EX, GWB	PT	EX ST.	PT	2440mm
232	OFFICE	CPT	RB	GWB	PT	ACT1	-	2440mm
233	LARGE GROUP ROOM	CPT	RB	GWB	PT	GWB, ACT1	PT	2440mm
234	IT	RSF	RB	GWB	PT	EX ST.	PT	-
235	RECEPTION / COPY	CPT	RB	GWB	PT	ACT1	-	2440mm
235A	ACTIVE STORAGE	CPT	RB	GWB	PT	ACT1	-	2440mm
236	WAITING ROOM	RSF	RB	GWB	PT	ACT2, WD	-	2440mm
237	ADMIN. OFFICE	CPT	RB	GWB	PT	ACT1	-	2440mm
239	SEMINAR	CPT	RB	GWB	PT	ACT1	-	2440mm
C201	CORRIDOR	EX TERR	EX TERR	GWB, WD	PT	ACT2, WD	-	2440mm
C202	CORRIDOR	EX TERR	EX TERR	GWB, WD	PT	ACT2, WD	-	2440mm
C203	CORRIDOR	RSF	RB	GWB	PT	GWB, ACT1	PT	2440mm
C204	CORRIDOR	RSF	RB	GWB	PT	GWB, ACT1	PT	2440mm
C205	CORRIDOR	RSF	RB	GWB	PT	GWB, ACT1	PT	2440mm
C206	CORRIDOR	EX TERR	EX TERR	GWB, WD	PT	ACT2, WD	-	2440mm
C207	CORRIDOR	RSF	RB	GWB	PT	ACT2	-	2440mm
C208	CORRIDOR	RSF	RB	GWB	PT	ACT2	-	2440mm
EL201	ELEVATOR	CFT	CBT	-	-	-	-	-
ST201	EX. STAIRWELL	EX TERR	EX TERR	GWB, EX	PT	GWB	PT	2875mm
ST202	EX. STAIRWELL	EX TERR	EX TERR	EX	PT	ACT2	-	3900mm
ST203	EX. STAIRWELL	EX TERR	EX TERR	EX	PT	GWB	PT	2875mm
ST205	EX. STAIRWELL	EX	EX	EX	EX	EX	EX	-
WR201	W.R.	CFT	CBT	EX, CWT-1, CWT-3	PT	GWB	PT	VARIES
WR234	UNIV. W.R.	CFT	CBT	EX, CWT-1, CWT-3	PT	GWB	PT	2440mm
PENTHOUSE - WING 'A'								
303	EX. PENTHOUSE	EX	EX	EX	-	EX	-	-
304	EX. PENTHOUSE	EX	EX	EX	-	EX	-	-
PENTHOUSE - WING 'B'								
302	EX. MECHANICAL ROOM	EX	EX	EX	-	EX	-	-
ST302	EX. STAIRWELL	EX	-	EX	-	EX	-	-

ABBREVIATIONS:

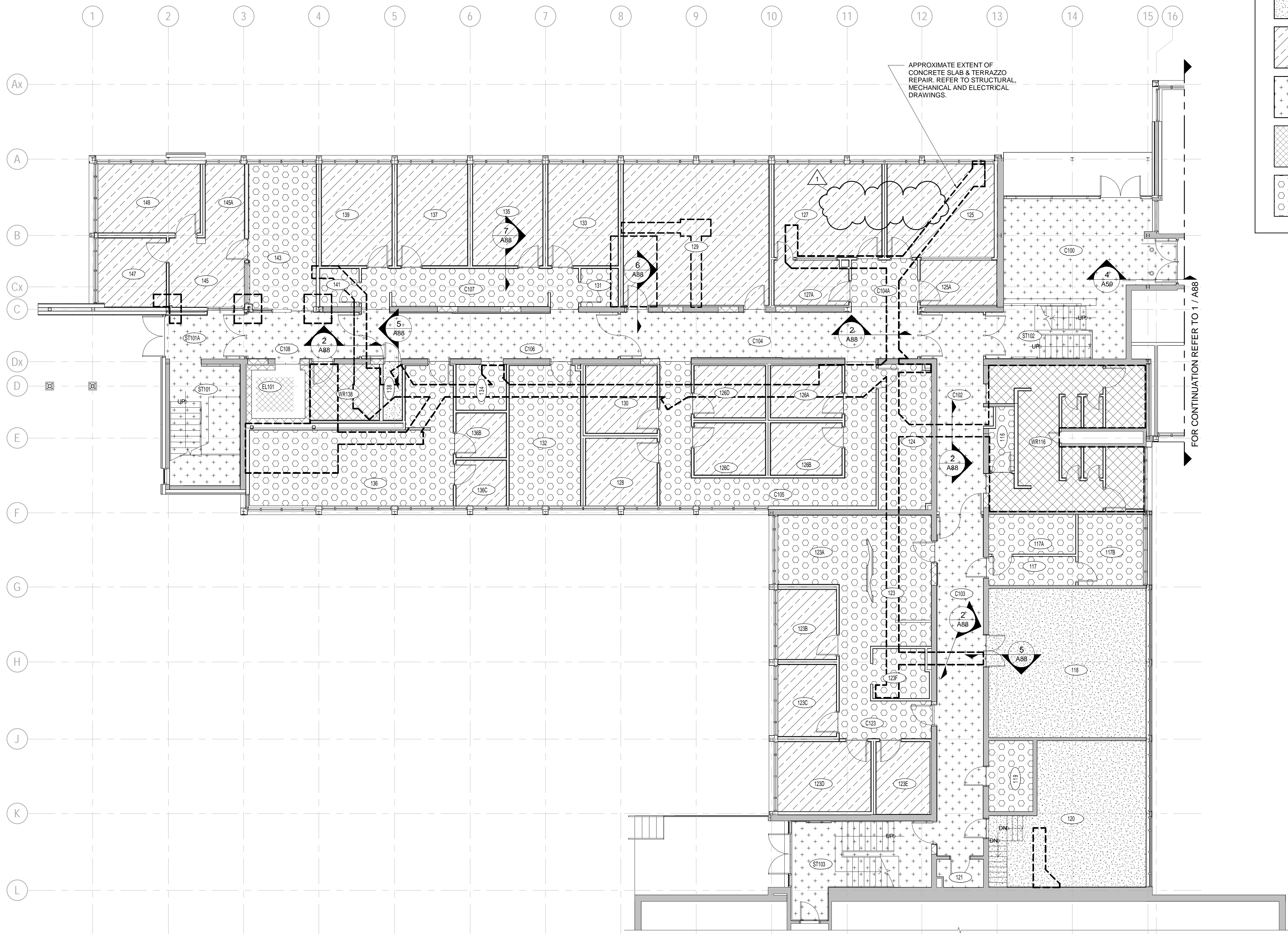
ACT-  
C.BLK  
CBT-  
CFT  
CONC  
CPT  
CWT-  
EX  
EX CONC  
EX TERR  
EX ST.  
GWB  
PT  
RB  
RSF  
SDF  
WD

ACOUSTIC CEILING TILE - TYPE  
CONCRETE BLOCK  
CERAMIC BASE TILE - TYPE  
SEALED CONCRETE  
CARPET TILE  
CERAMIC WALL TILE - TYPE  
EXISTING TO REMAIN  
EXISTING CONCRETE TO REMAIN  
EXISTING TERRAZZO TO REMAIN  
EXPOSED STRUCTURE  
GYPSUM BOARD  
PAINT  
RUBBER BASE  
RESILIENT SHEET FLOORING  
STATIC DISSIPATIVE FLOORING  
WOOD

DO NOT SCALE DRAWINGS:

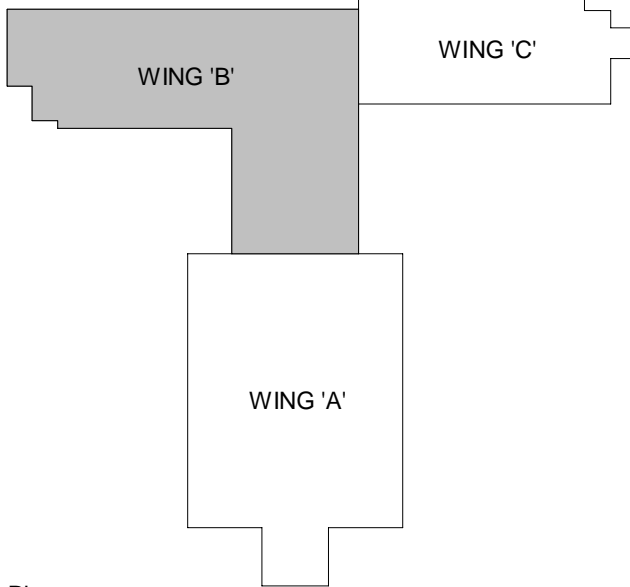
Contractors must check and verify all site conditions. Notify the Owner's Representative in writing before proceeding with the work if discrepancies are evident between the drawings and the site condition. No extras to the contract will be allowed if discrepancies were evident

File Location: C:\Users\DJones\Desktop\27915-000-1 - ARCH MODEL.dwg



**LEGEND:**

- SEALED CONCRETE (CONC)
- CARPET TILE (CPT)
- EXISTING TERRAZZO - REPAIR AS REQUIRED (EX. TERR)
- PORCELAIN TILE (CFT)
- RESILIENT SHEET FLOORING (RSF)



Key Plan

**DO NOT SCALE DRAWINGS:**

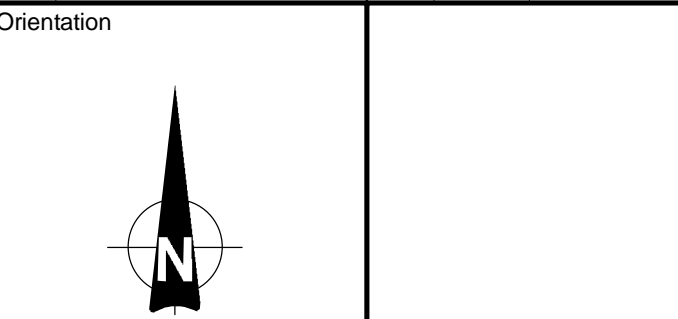
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**UNEXPECTED DISCOVERY OF ASBESTOS:**

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1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE



Seal	Seal
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Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
FLOOR FINISH PLAN  
WING B LEVEL 1**  
Project No.  
**504034**

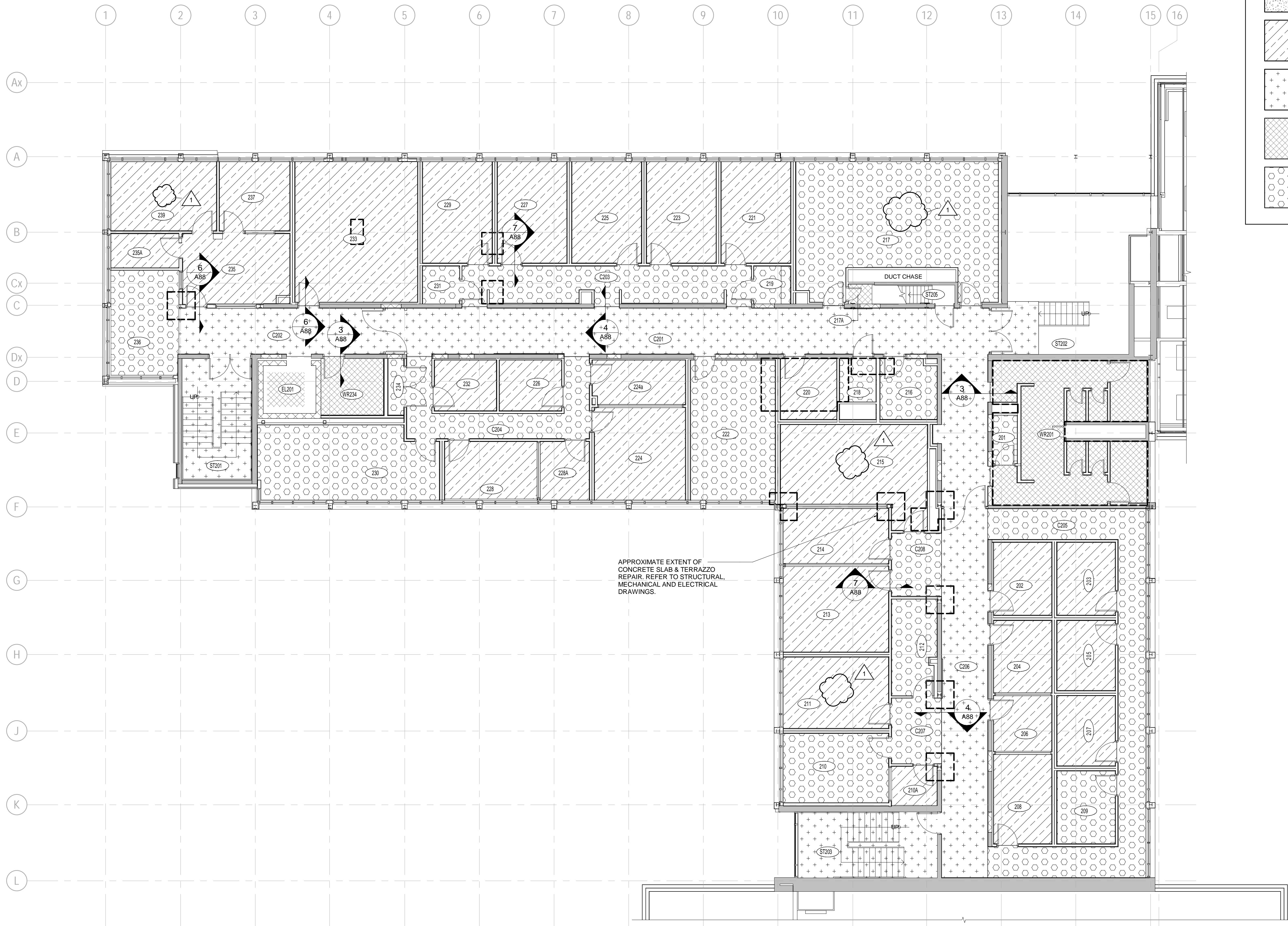
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A86</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 9:00:44 AM



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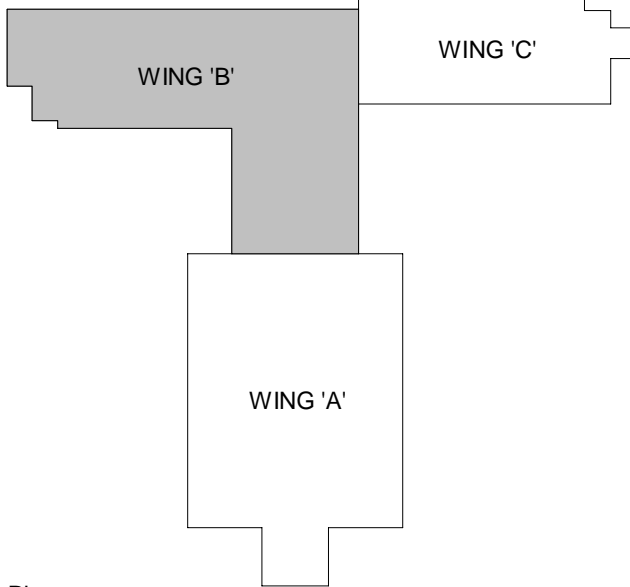
1  
A87

FLOOR FINISH PLAN  
WING 'B' LEVEL 2

SCALE: 1:100

LEGEND:

- SEALED CONCRETE (CONC)
- CARPET TILE (CPT)
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- RESILIENT SHEET FLOORING (RSF)



Key Plan

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UNEXPECTED DISCOVERY OF ASBESTOS:

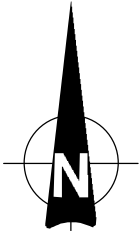
Where a friable material is discovered during construction, renovations and/or demolition, and it is suspected to contain asbestos, the Contractor must stop all work that may disturb the material. The Contractor shall advise the Owner of the discovery and await instructions from the owner.

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1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
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NO. ISSUED BY DATE

Orientation



Seal

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Consultant www.jrichards.ca

J.L. Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

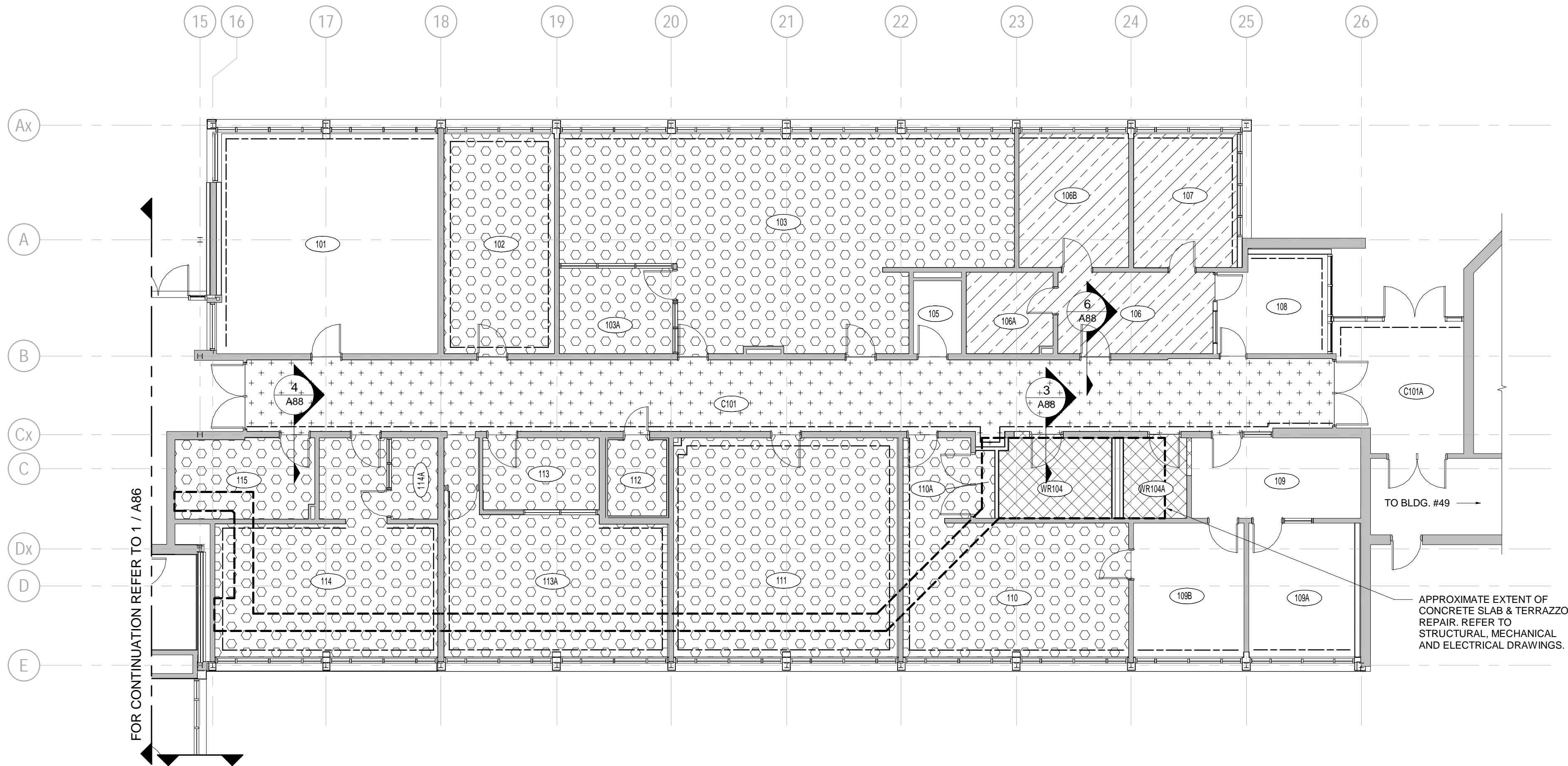
Drawing Title  
**ARCHITECTURAL  
FLOOR FINISH PLAN  
WING B LEVEL 2**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A87</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

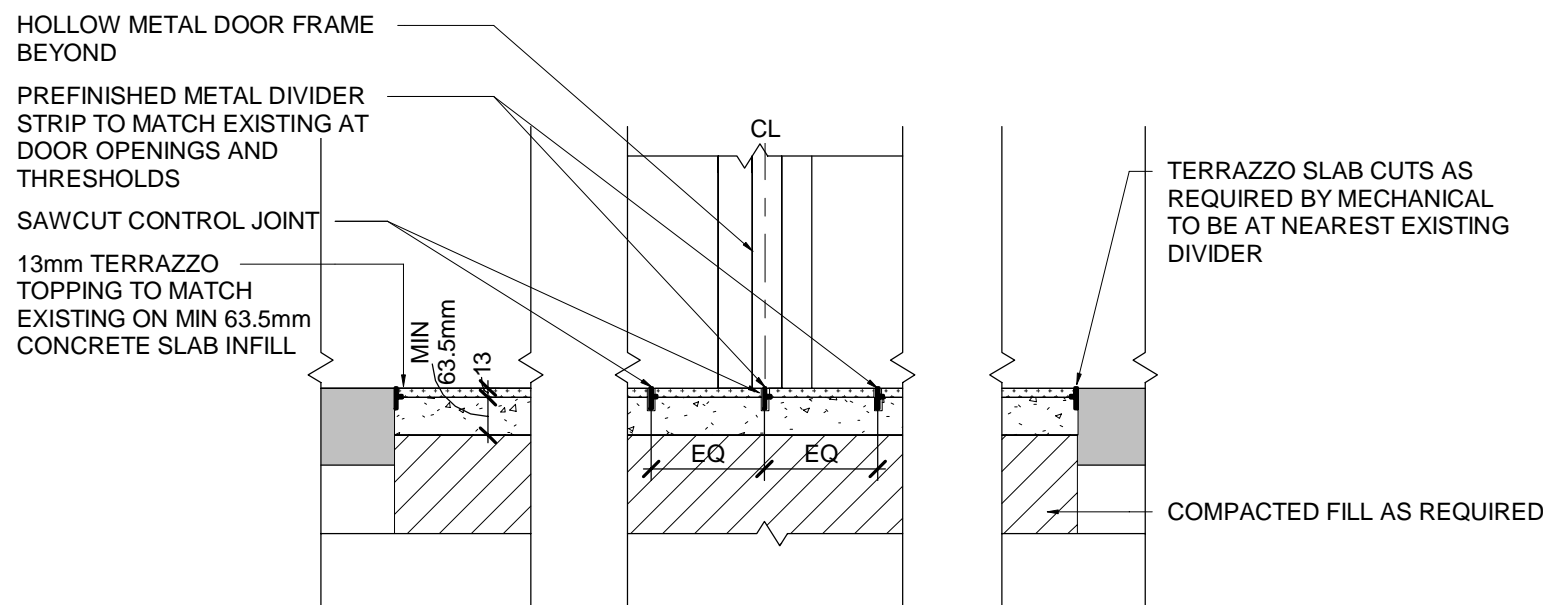
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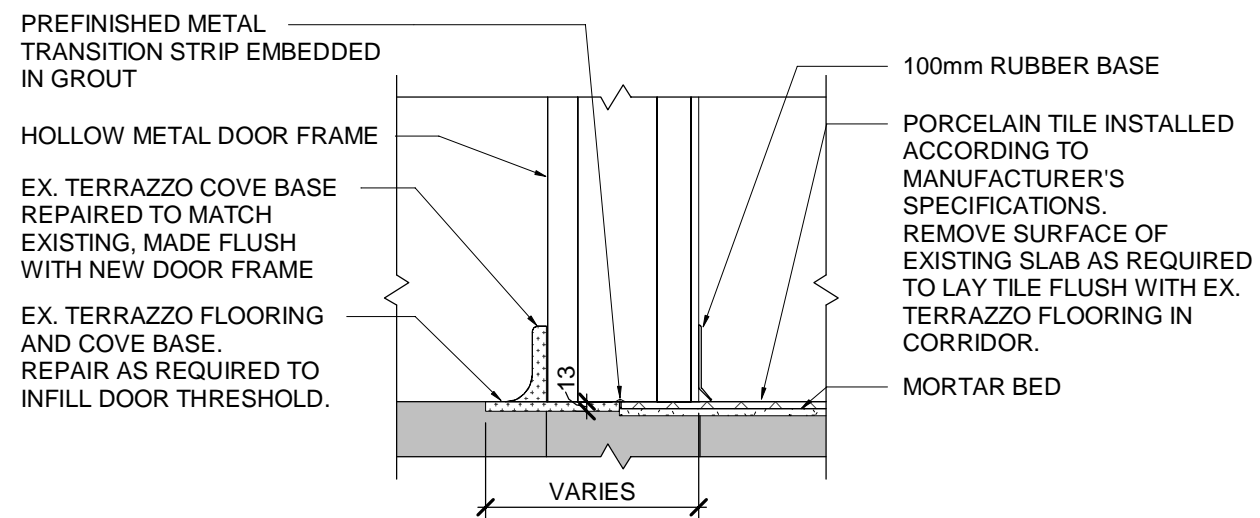
FLOOR FINISH PLAN  
WING 'C' LEVEL 1

SCALE : 1 : 100



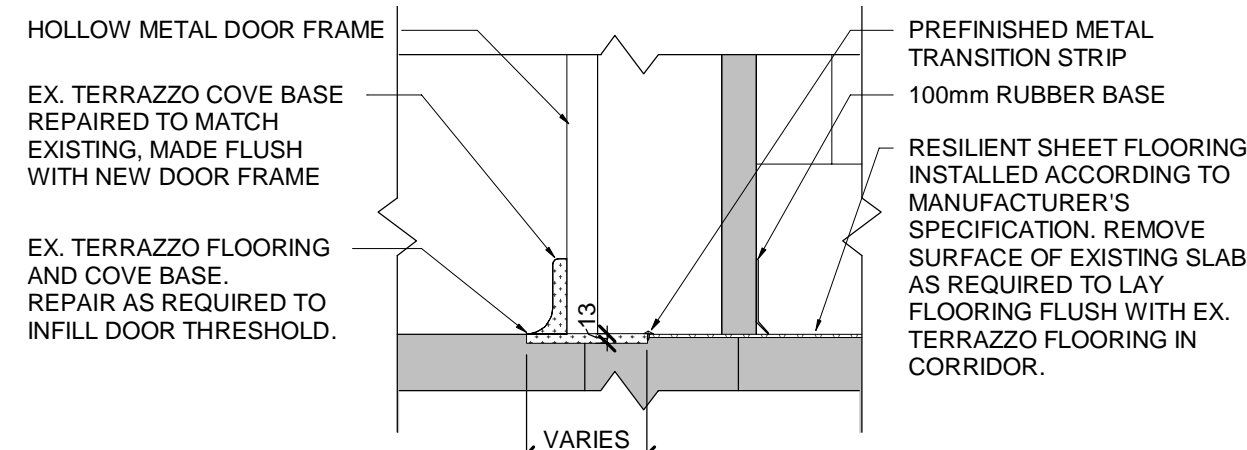
DETAIL - TERRAZZO INFILL

SCALE : 1 : 10



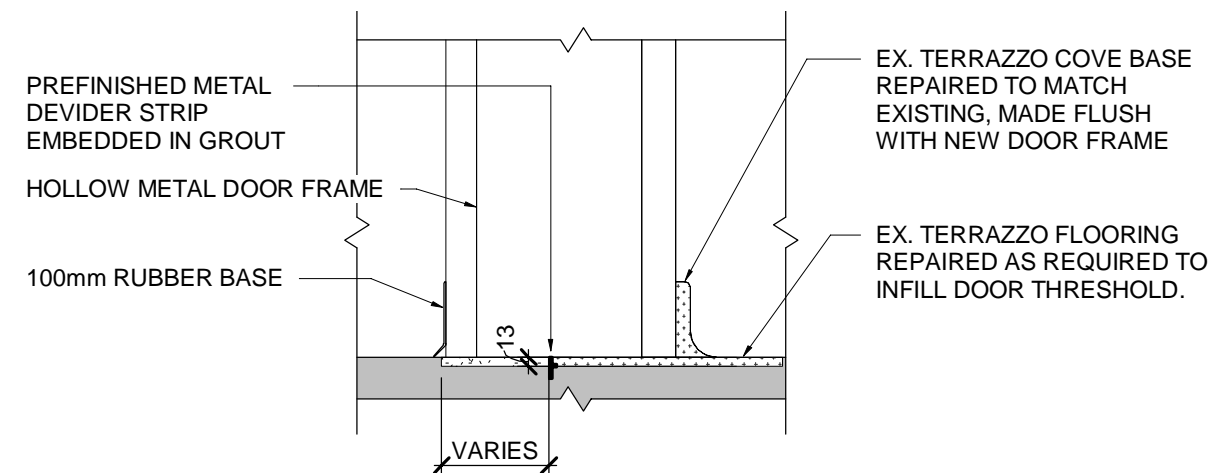
DETAIL - FLOORING  
TRANSITION - TERRAZZO TO  
CFT

SCALE : 1 : 10



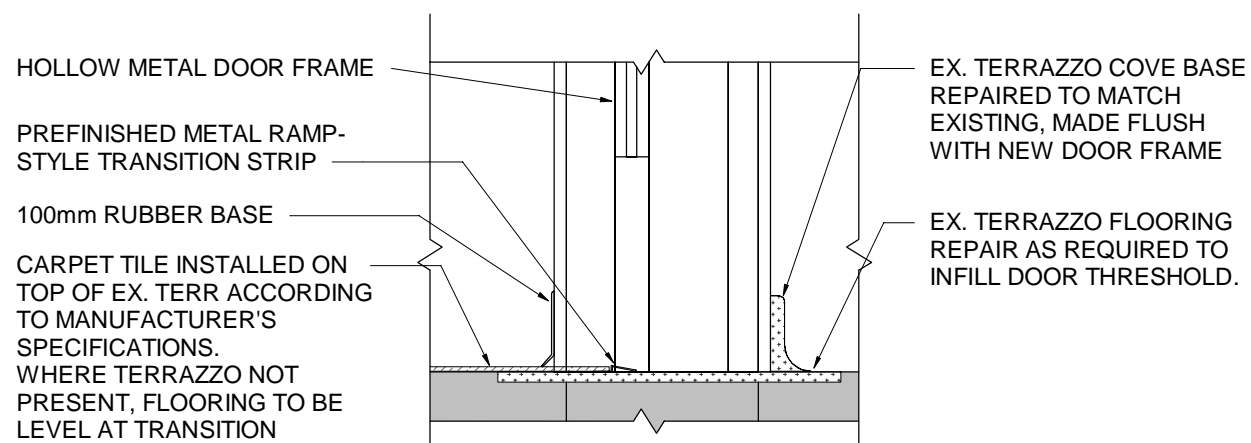
DETAIL - FLOORING  
TRANSITION - TERRAZZO TO  
RSF

SCALE : 1 : 10



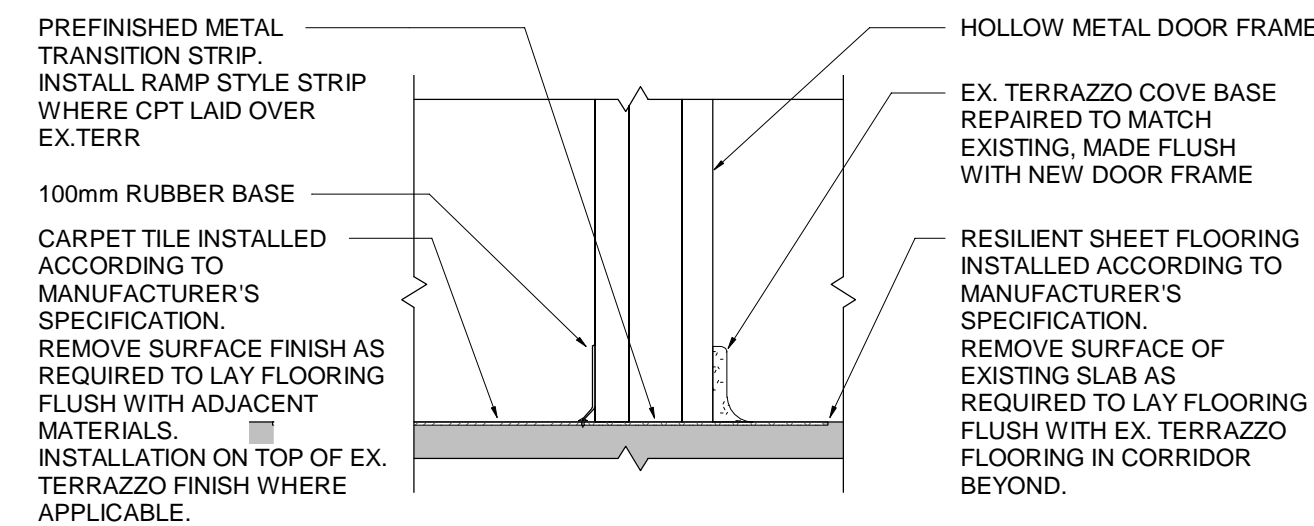
DETAIL - FLOORING  
TRANSITION - TERRAZZO TO  
CONCRETE

SCALE : 1 : 10



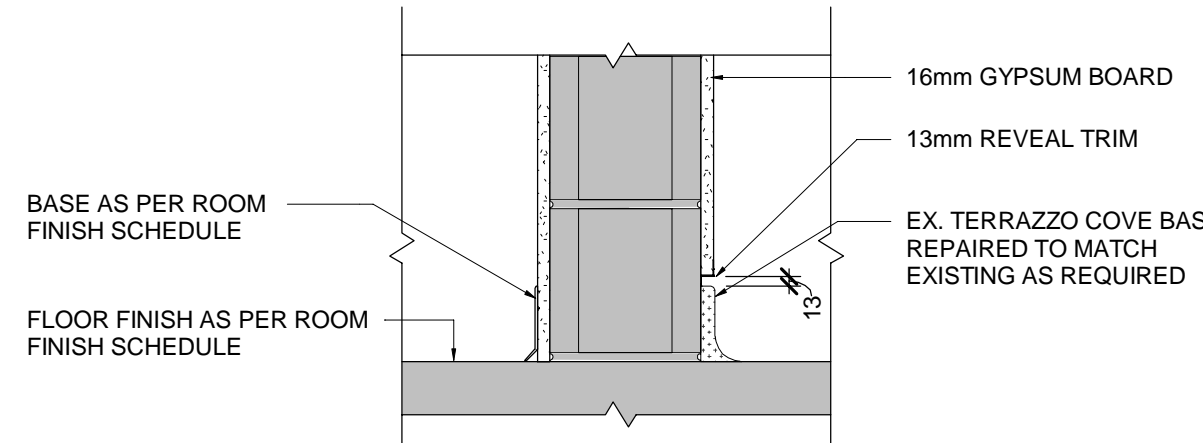
DETAIL - FLOORING  
TRANSITION - TERRAZZO TO  
CPT

SCALE : 1 : 10



DETAIL - FLOORING  
TRANSITION - RSF TO CPT

SCALE : 1 : 10

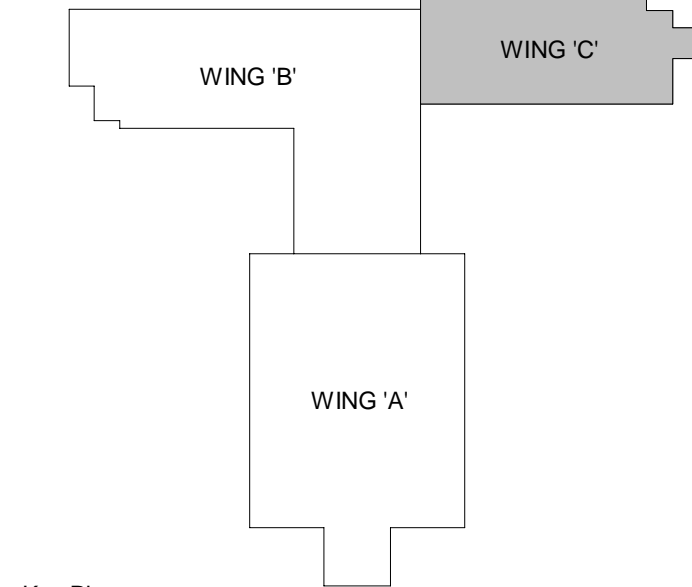


TYPICAL DETAIL - GWB  
REVEAL AT TERRAZZO  
BASE

SCALE : 1 : 10

LEGEND:

- SEALED CONCRETE (CONC)
- CARPET TILE (CPT)
- EXISTING TERRAZZO - REPAIR AS REQUIRED (EX. TERR)
- PORCELAIN TILE (CFT)
- RESILIENT SHEET FLOORING (RSF)
- EXTENT OF EXISTING WALL TO BE PAINTED. REFER TO ROOM FINISH SCHEDULE



Key Plan

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NO.	ISSUED	BY	DATE



Seal

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J.L. Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
FLOOR FINISH PLAN  
WING C AND DETAILS**  
Project No.  
**504034**

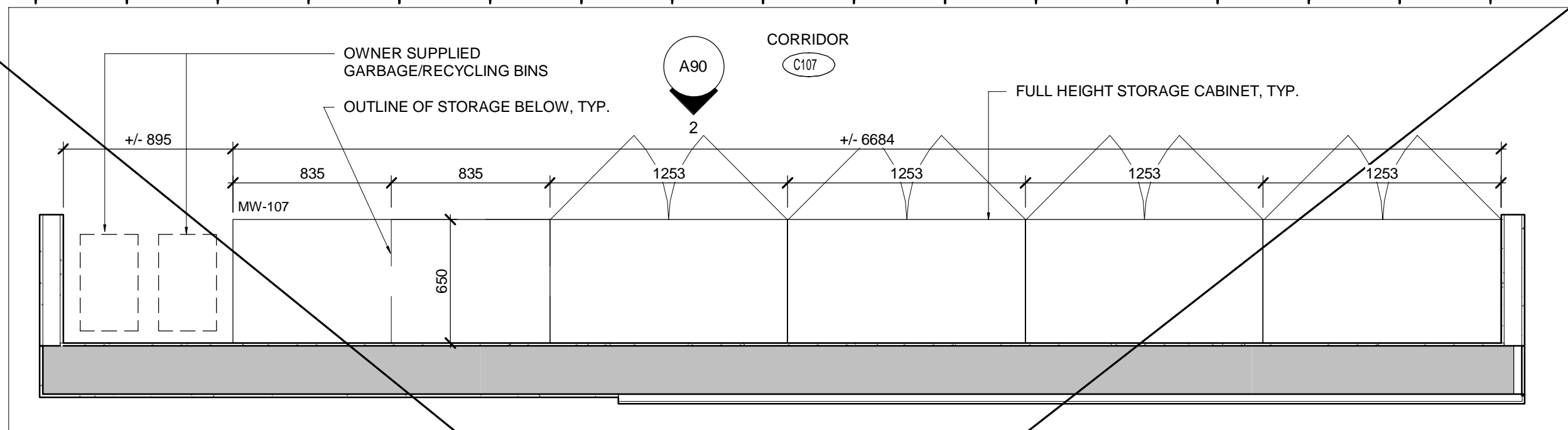
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A88</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 9:01:03 AM

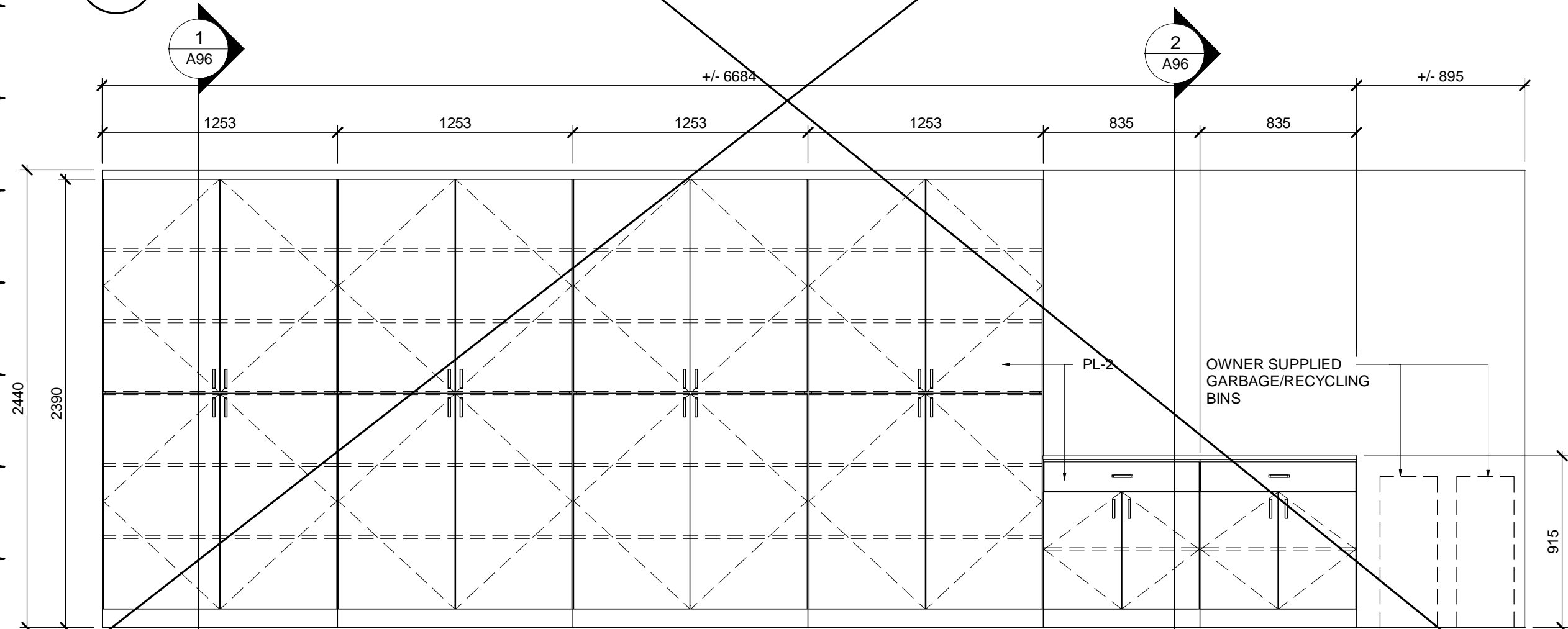


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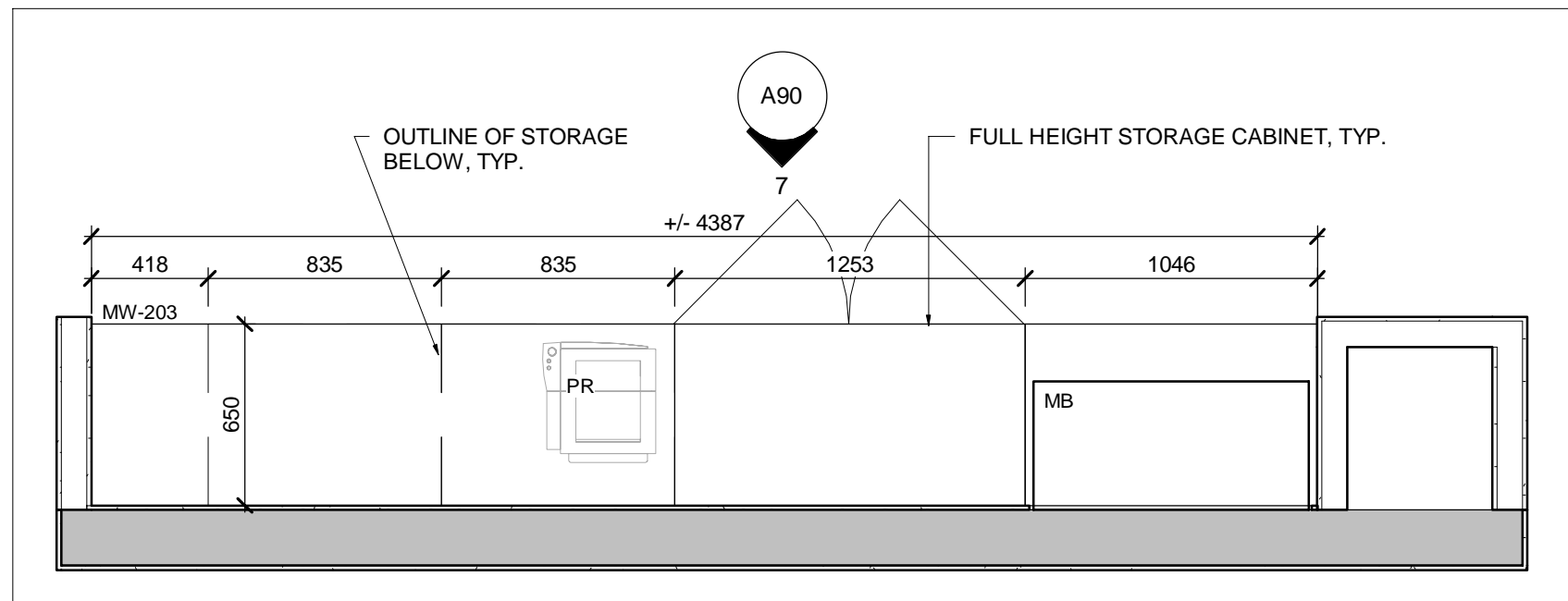
REVISED MILLWORK PLAN  
MW-107

SCALE: 1:25



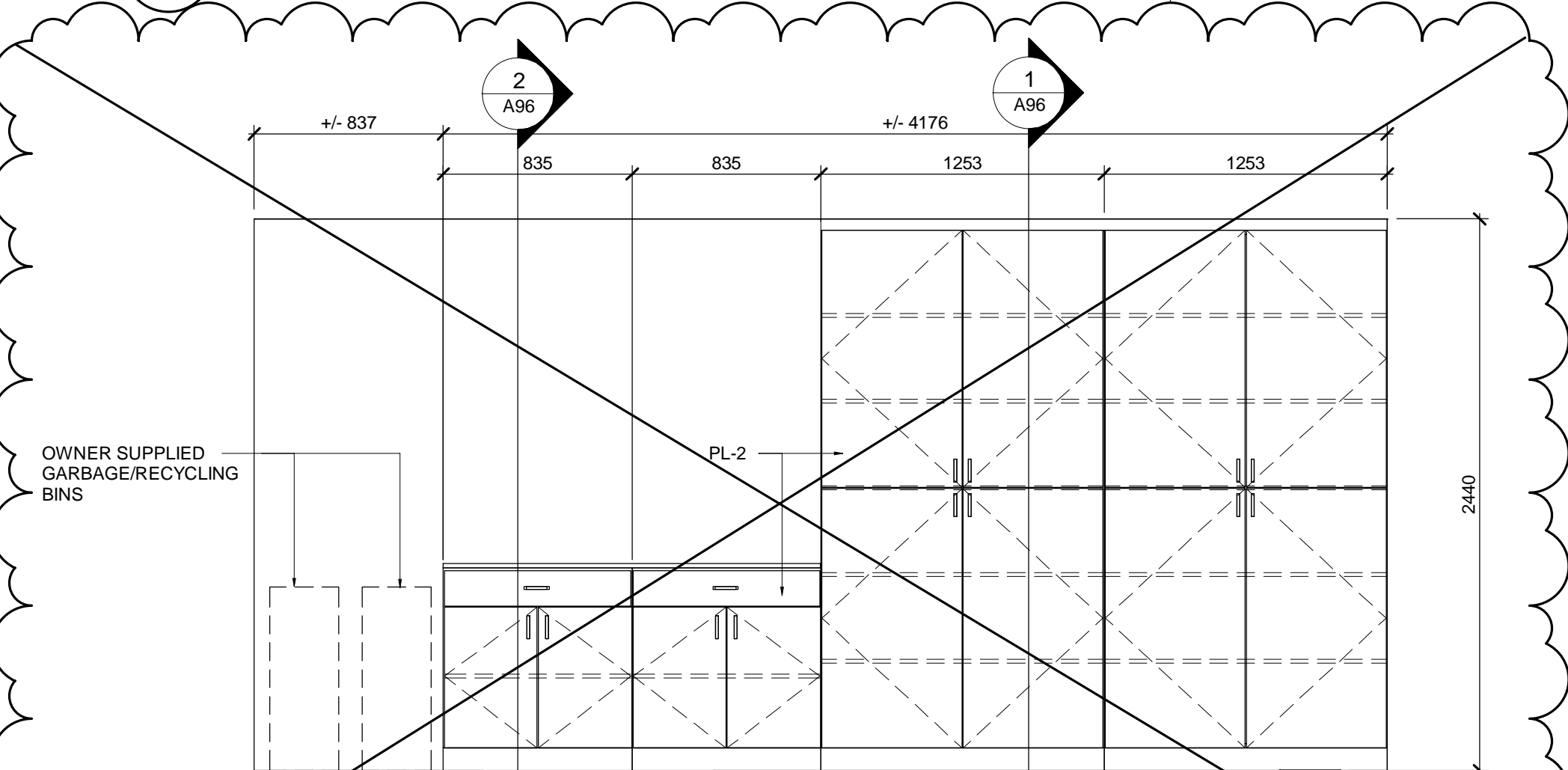
REVISED MILLWORK  
ELEVATION - MW-107

SCALE: 1:25



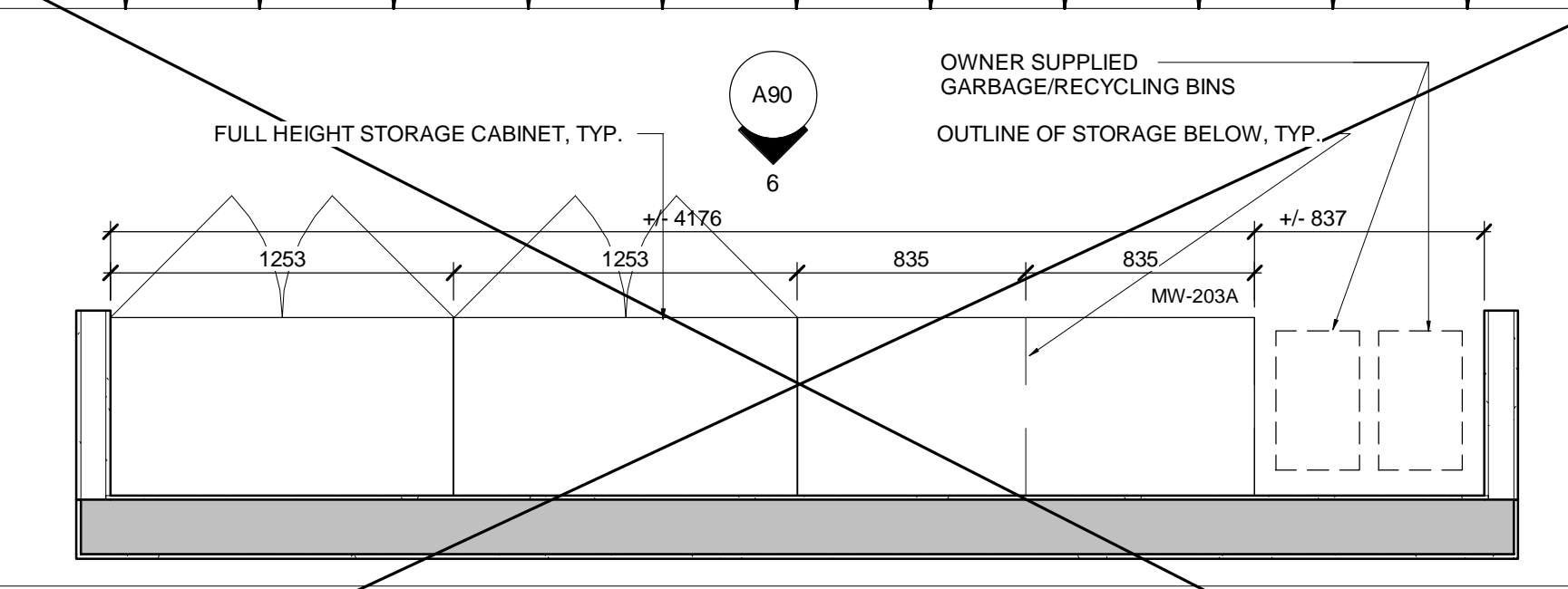
MILLWORK PLAN  
MW-203 AND MW-203A

SCALE: 1:25



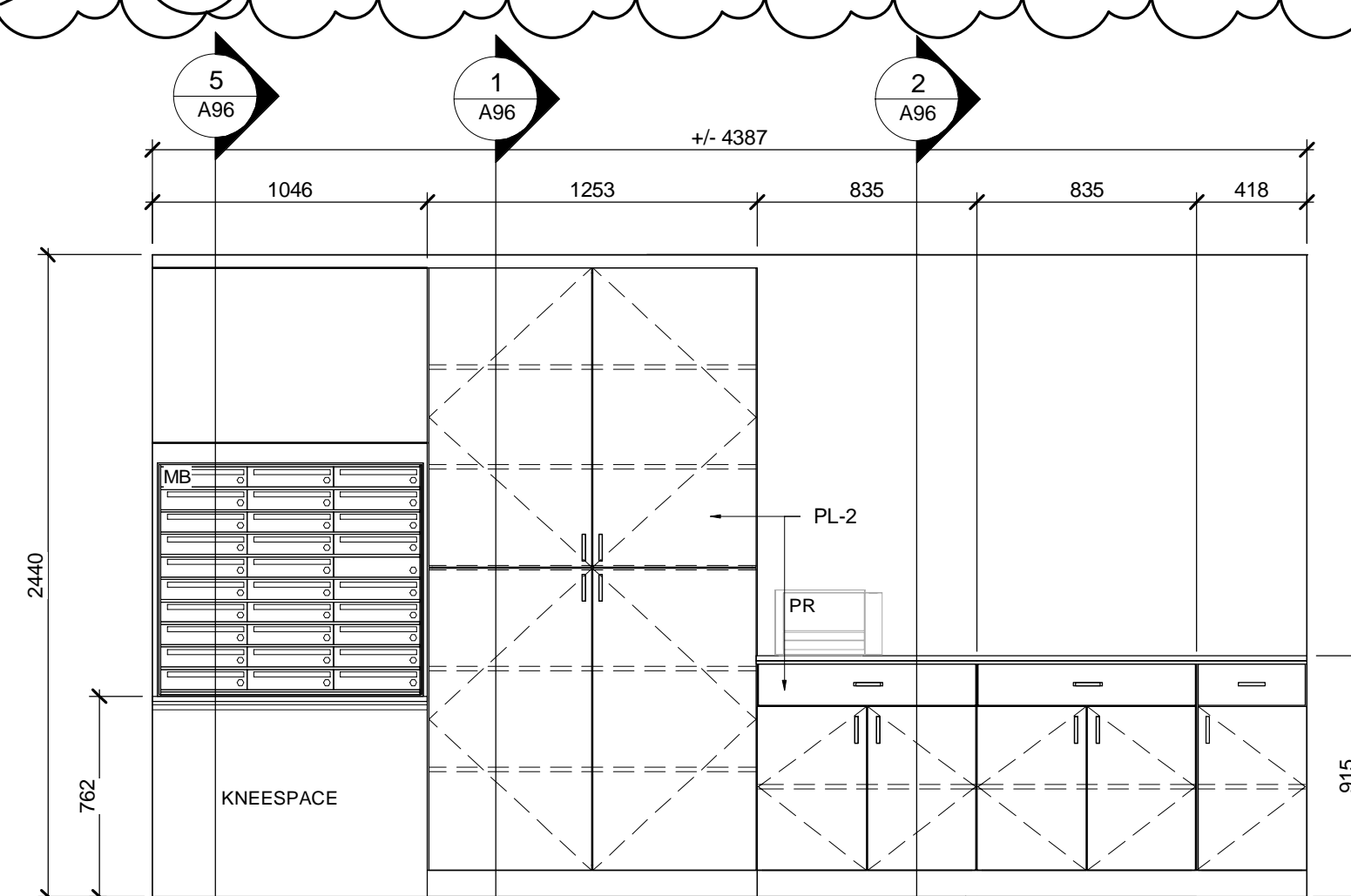
MILLWORK ELEVATION  
MW-203A

SCALE: 1:25



REVISED MILLWORK PLAN  
MW-203A

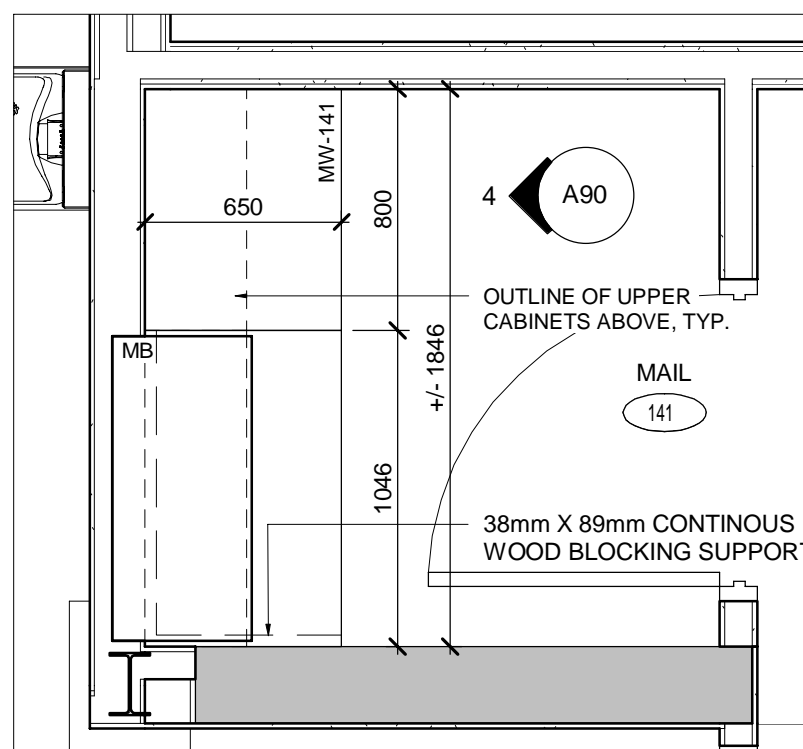
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MILLWORK ELEVATION  
MW-203

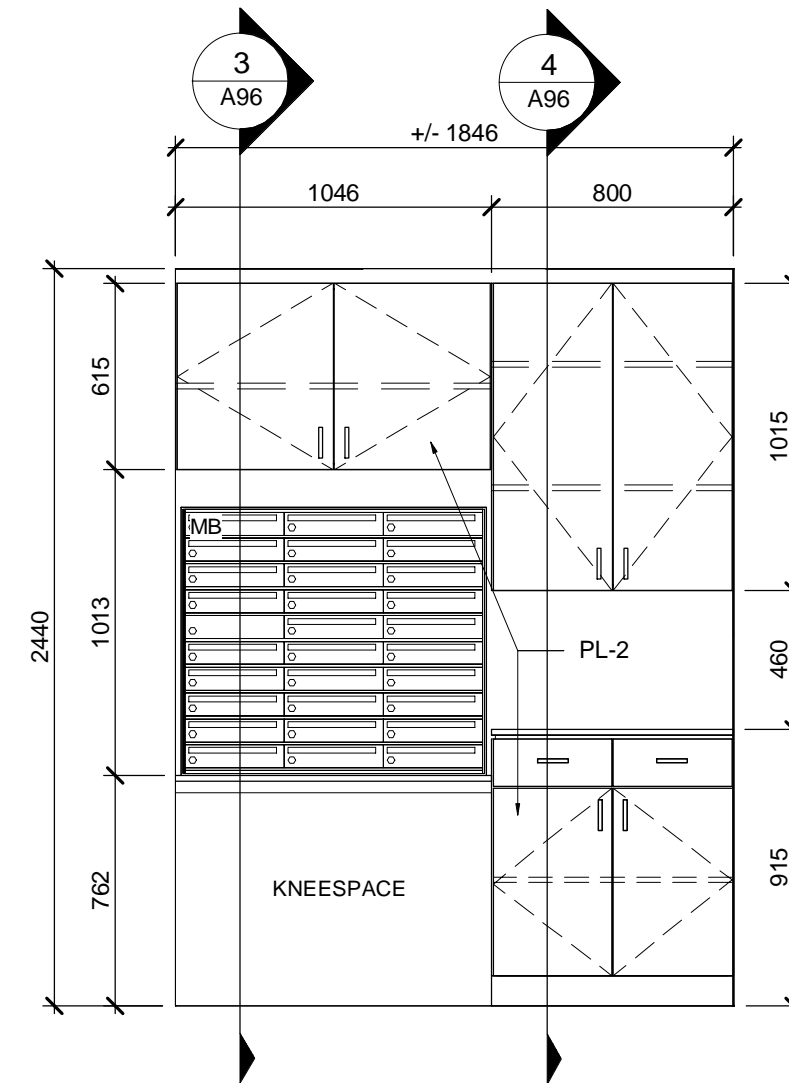
SCALE: 1:25

DETAIL DELETED



MILLWORK PLAN - MW-141

SCALE: 1:25



MILLWORK ELEVATION  
MW-141

SCALE: 1:25

DETAIL DELETED

#### LEGEND:

ROOM NUMBER  
MILLWORK TAG

#### NOTES:

- FOR MILLWORK PLANS, ELEVATIONS AND DETAILS, ALL 'CLEAR' DIMENSIONS ARE MEASURED FROM FACE OF MATERIAL.
- CONTRACTOR TO COORDINATE ALL MILLWORK WITH OWNER SUPPLIED FIXTURES AND APPLIANCES.
- ALL MILLWORK TO BE FABRICATED TO ARCHITECTURAL WOODWORK INSTITUTE 'CUSTOM' QUALITY GRADE.
- UNDERSIDE OF ALL UPPER CABINETS TO RECEIVE P.LAM FINISH TO MATCH CABINET DOORS.
- ALL EXPOSED FACES OF CABINETS TO BE FINISHED WITH P.LAM, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR TO COORDINATE CUT OUTS FOR ALL SINKS, LAVATORIES, FAUCETS, GROMMETS AND ALL OTHER ACCESSORIES.
- REFER TO SPECIFICATIONS FOR HINGES, DRAWER SLIDES, PULL TYPES AND ANY OTHER MILLWORK INFORMATION NOT OTHERWISE SPECIFIED.
- ALL MILLWORK TO BE LOCKABLE. DRAWERS TO BE GANGED LOCKED.
- ALL LOCKSET KEYING INFORMATION TO BE PROVIDED BY, AND COORDINATED WITH THE OWNER PRIOR TO INSTALLATION.
- ALL SHELVES ARE ADJUSTABLE UNLESS OTHERWISE NOTED.
- ALL DRAWERS AND DOORS TO BE FITTED WITH BUMPERS (BMP) UNLESS OTHERWISE SPECIFIED.
- MAINTAIN 3mm GAP BETWEEN DOORS AND DRAWER FRONTS UNLESS OTHERWISE NOTED.
- SOLID SURFACE COUNTERS TO BE FINISHED WITH 3mm RADIUS AT ALL EXPOSED EDGES.

#### ABBREVIATIONS:

BPGWB BACK PAINTED GLASS WHITE BOARD  
BSD BIOHAZARD DISPOSAL UNIT  
CF COFFEE MAKER, N.I.C.  
DW DISHWASHER, N.I.C.  
GRB GARBAGE BIN  
LAV LAVATORY  
MB MAILBOX  
MDB MAIL DROP BOX  
MIR MIRROR - REFER TO DETAIL 3/A16  
MV MICROWAVE, N.I.C.  
PC PHOTOCOPIER, N.I.C.  
PL PLASTIC LAMINATE TYPE  
P.LAM PLASTIC LAMINATE  
PR PRINTER, N.I.C.  
REF REFRIGERATOR, N.I.C.  
SD SOAP DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
SNK SINK  
U/C REF UNDER COUNTER REFRIGERATOR, N.I.C.  
TD TOWEL DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED

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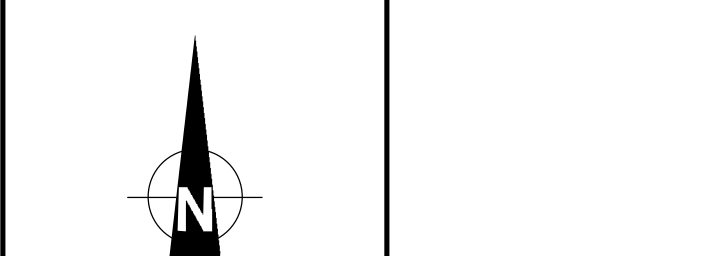
A = Detail number  
B = Drawing number where detailed

1 ISSUED FOR CONVENIENCE TA APR 12, 2019

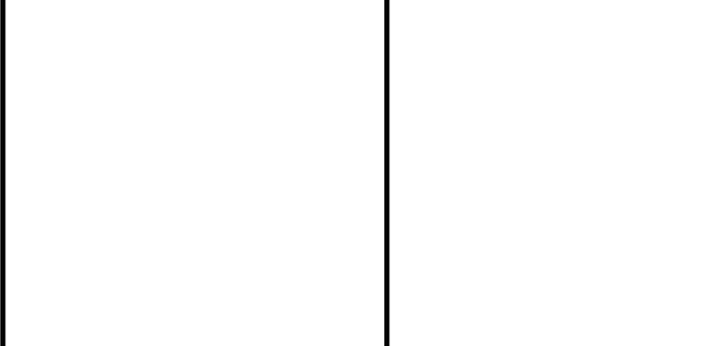
0 ISSUED FOR PERMIT & TENDER TA NOV 2, 2018

NO. ISSUED BY DATE

Orientation



Seal



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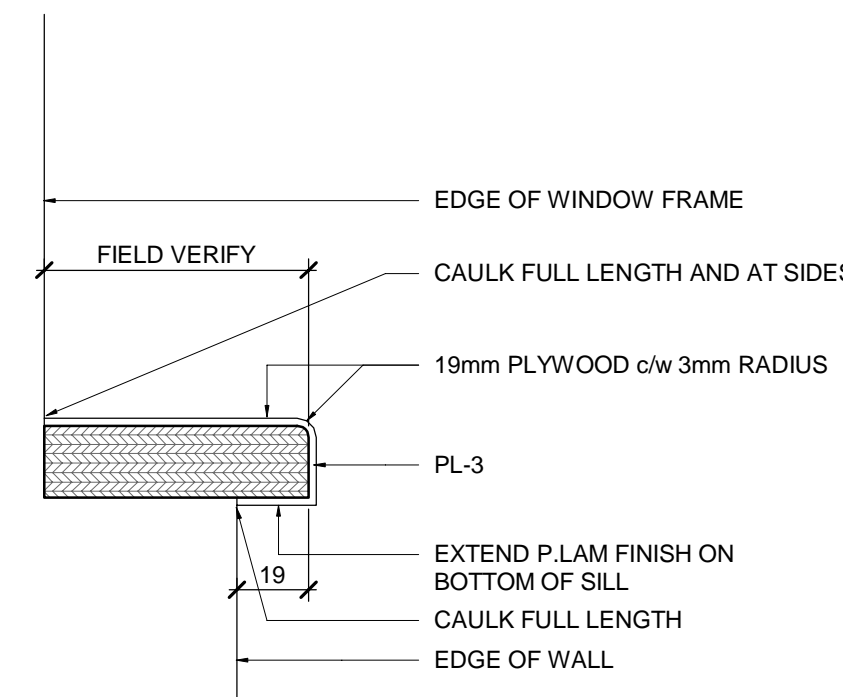
**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
MILLWORK PLANS,  
ELEVATIONS AND DETAILS**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

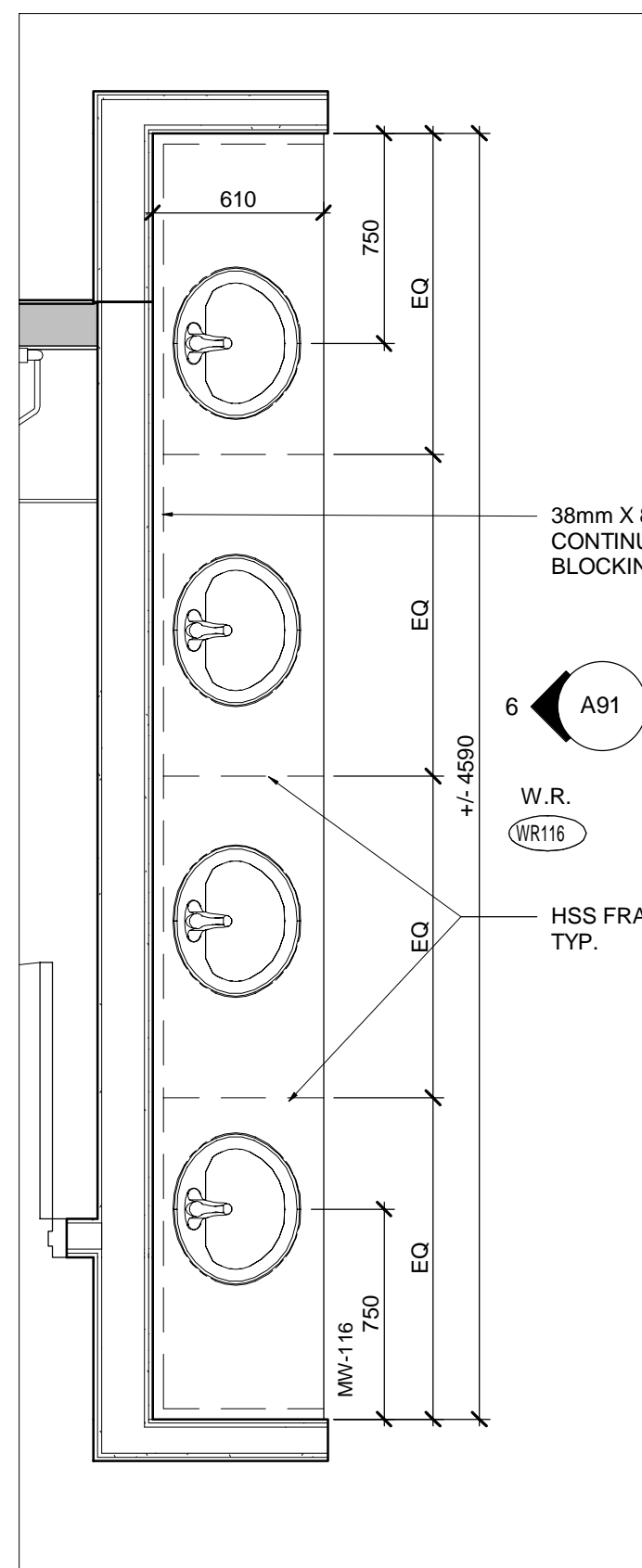
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AS INDICATED  
Date  
APR 12, 2019  
Drawn By  
DCJ  
Checked By  
TA  
Approved By  
RPC  
JLR #: 27915  
Drawing No.  
**A90**  
Cad File No.



DETAIL  
TYPICAL WINDOW SILL

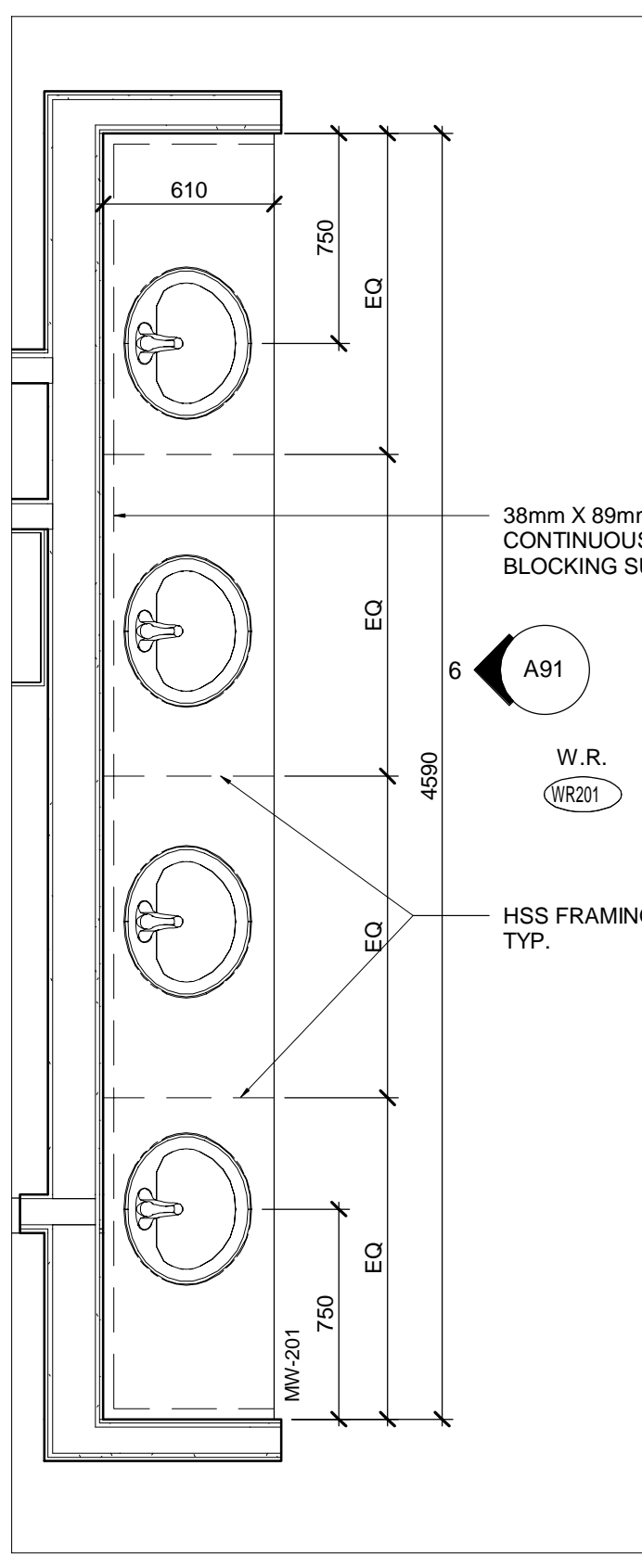
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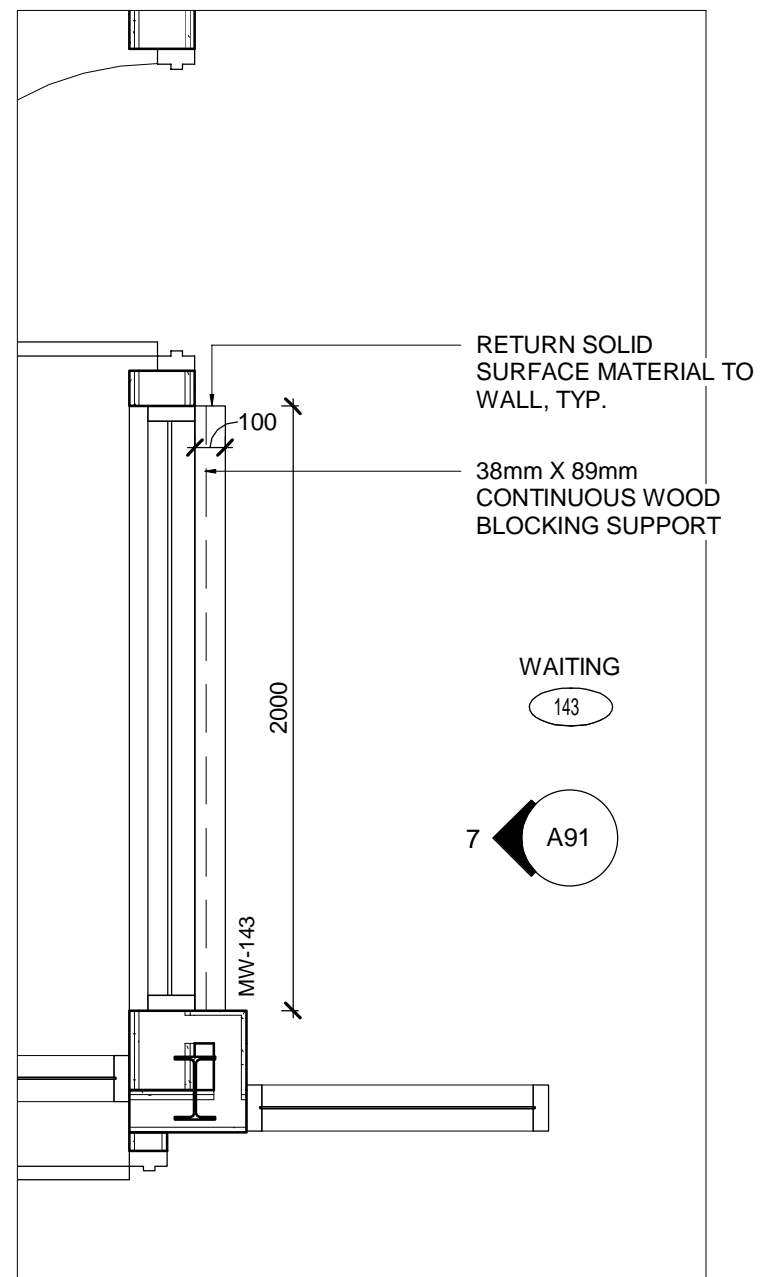
MILLWORK PLAN  
MW-116

SCALE : 1 : 25



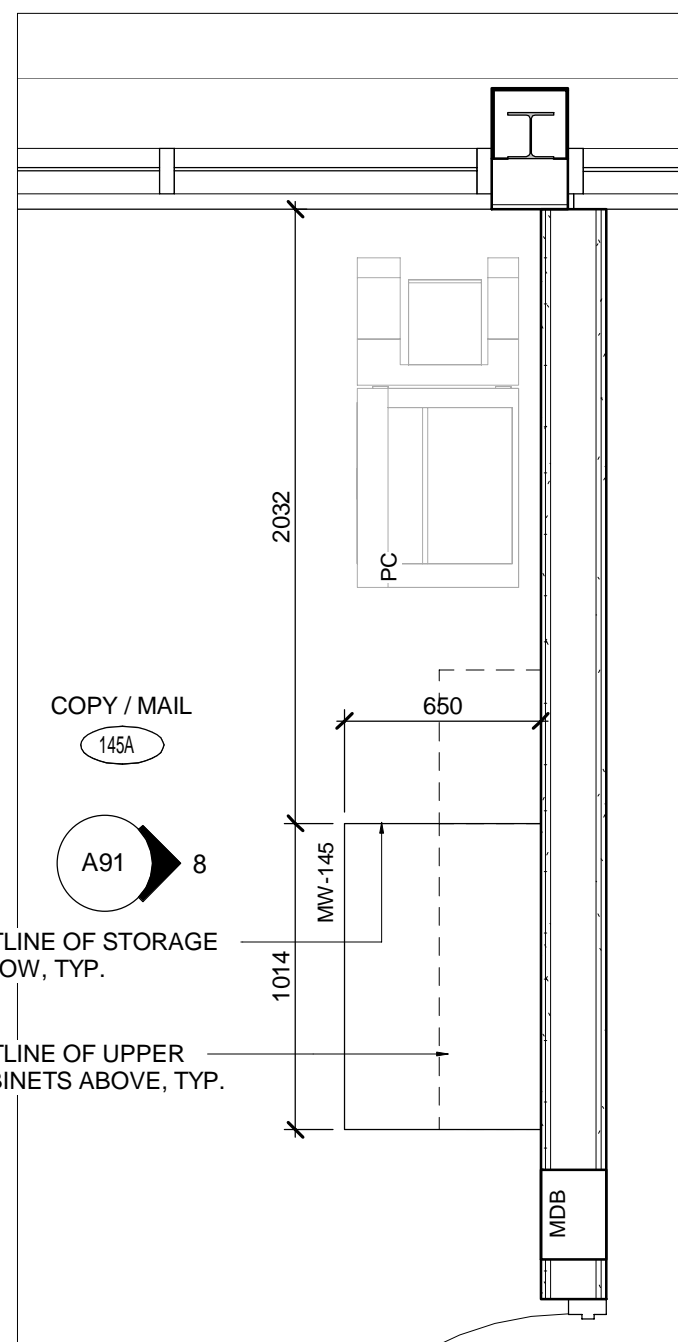
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MW-201

SCALE : 1 : 25



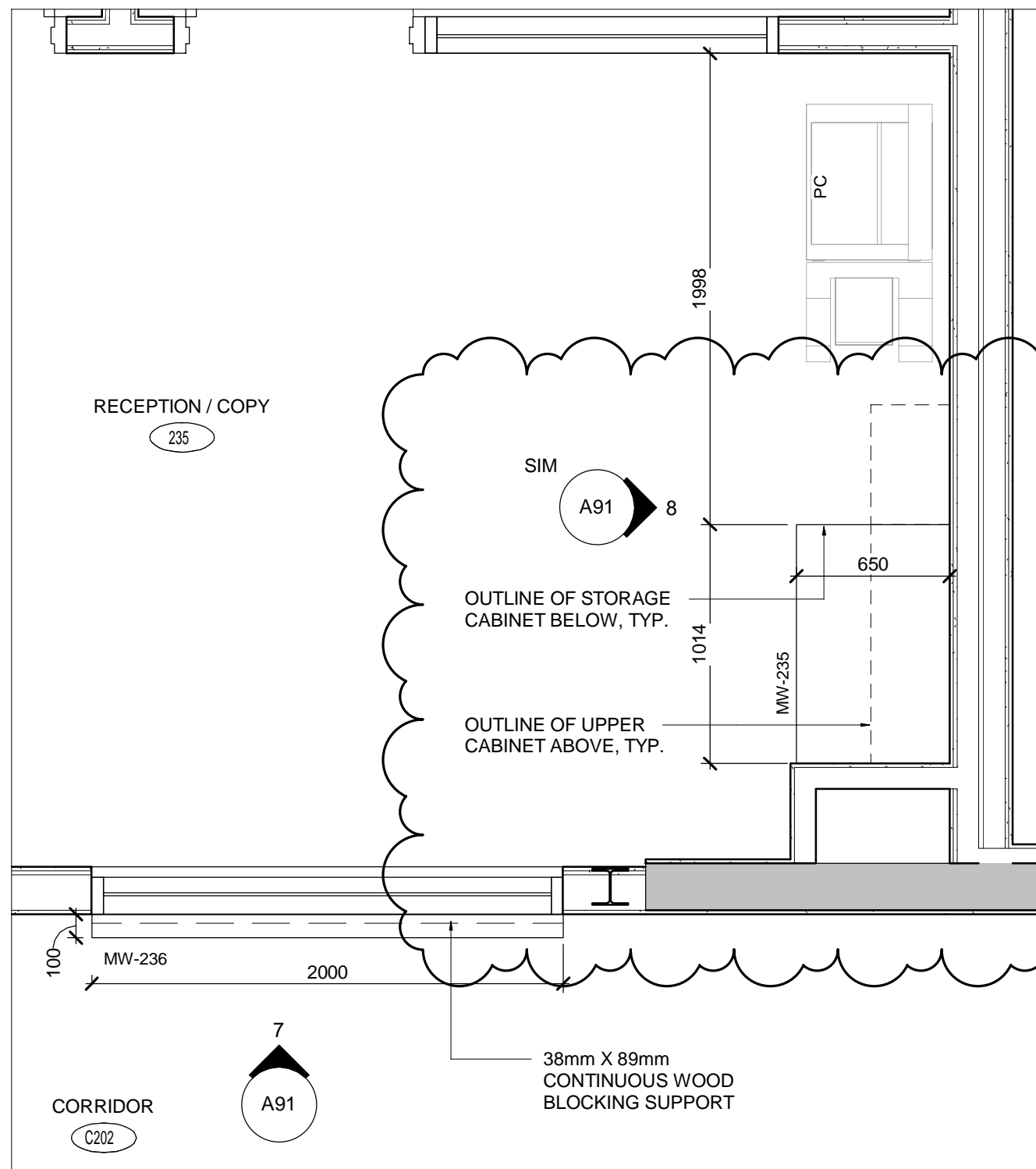
MILLWORK PLAN  
MW-143

SCALE : 1 : 25



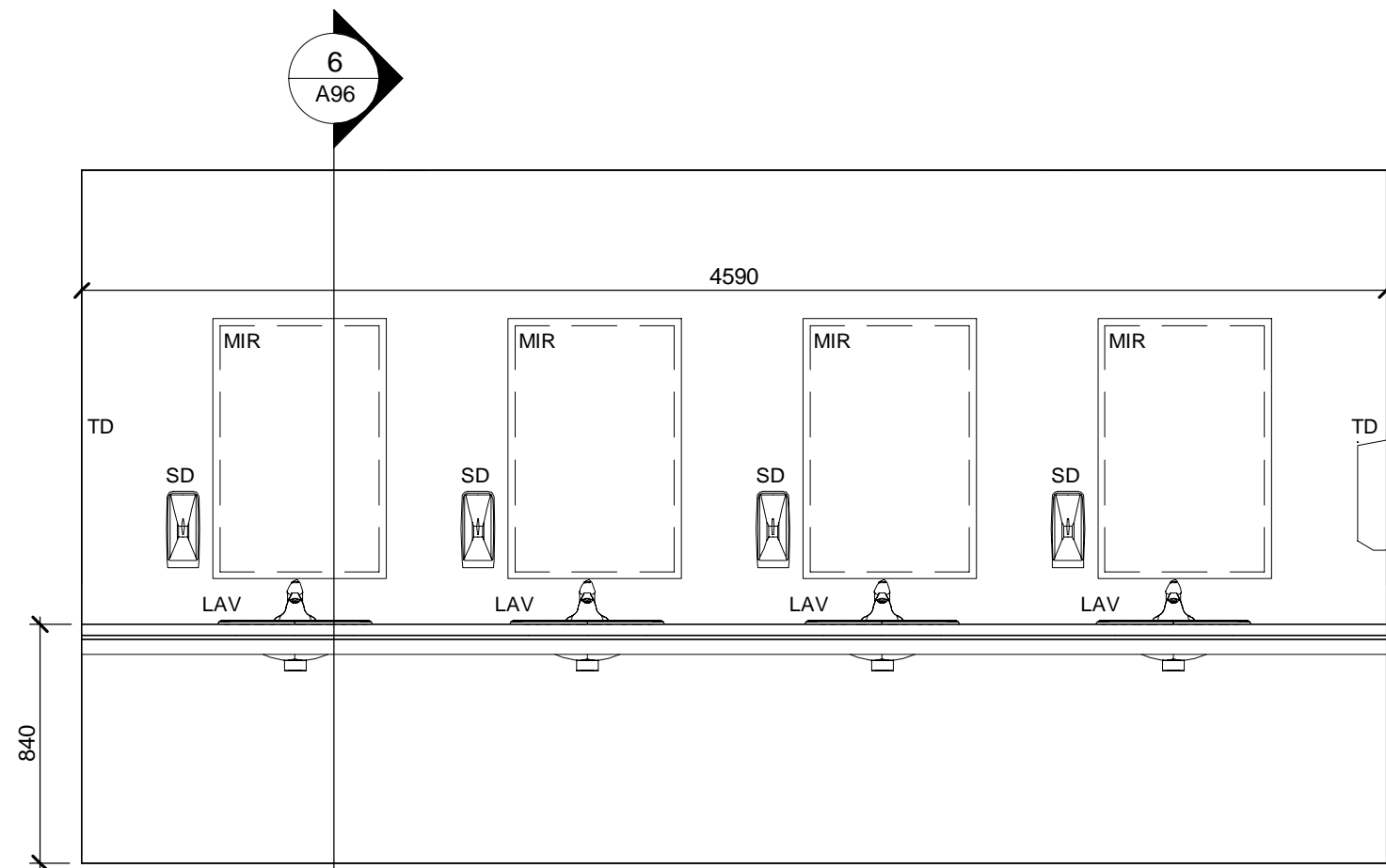
MILLWORK PLAN  
MW-145

SCALE : 1 : 25



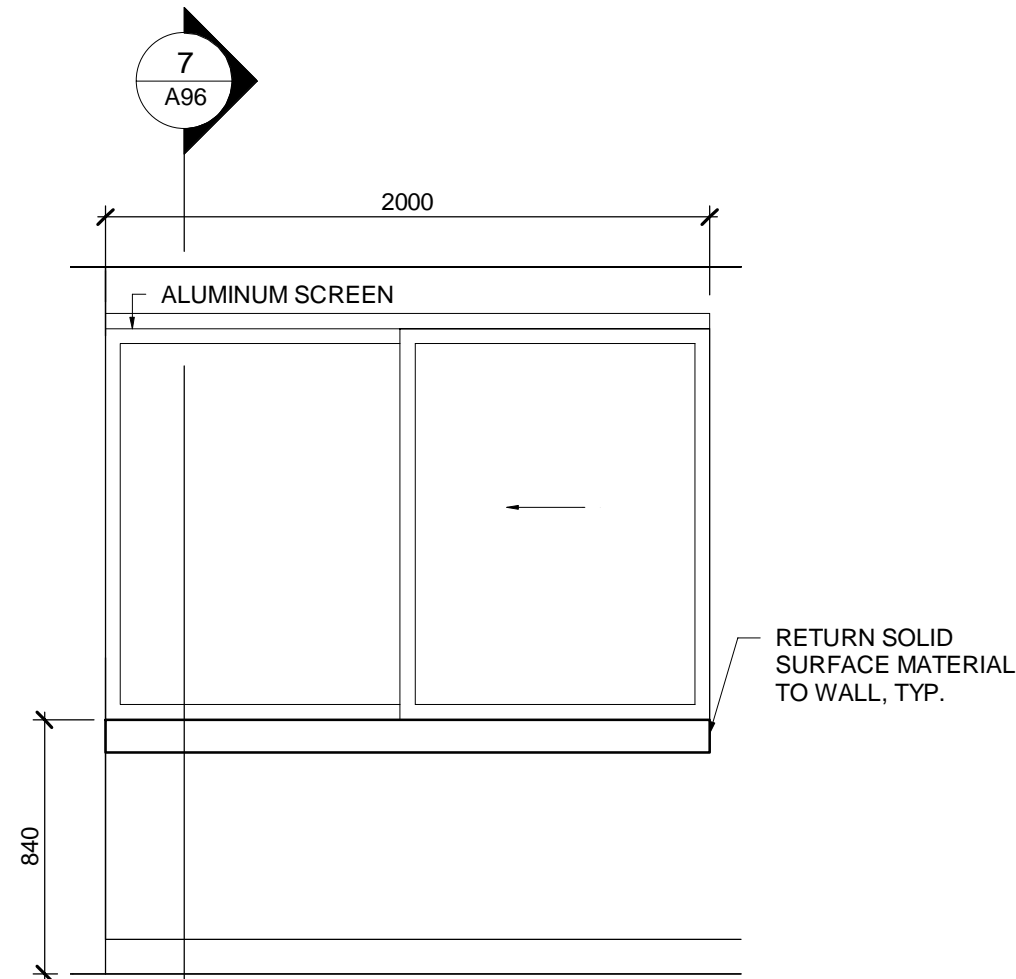
MILLWORK PLAN  
MW-235 AND MW-236

SCALE : 1 : 25



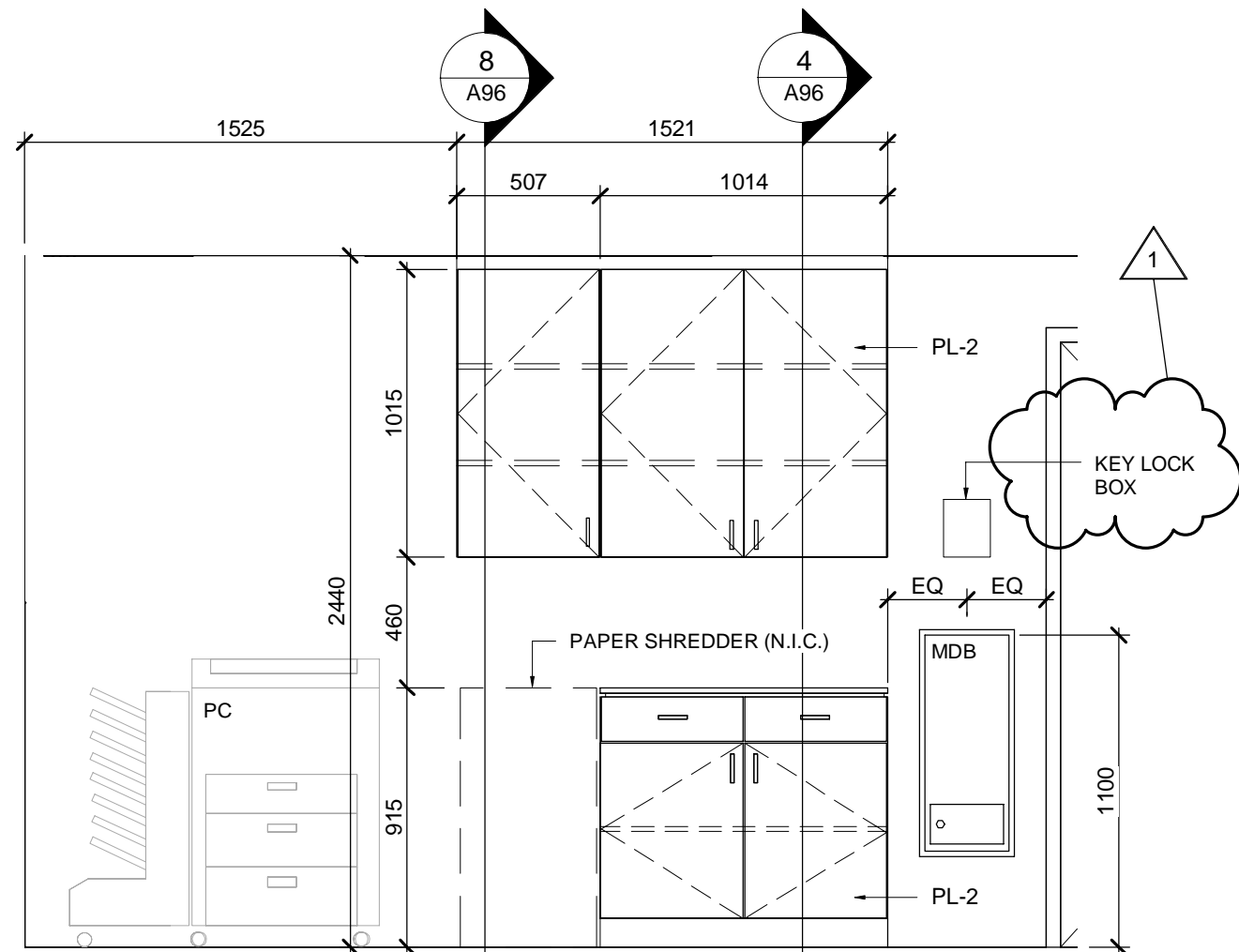
MILLWORK ELEVATION  
MW-116 AND MW-201

SCALE : 1 : 25



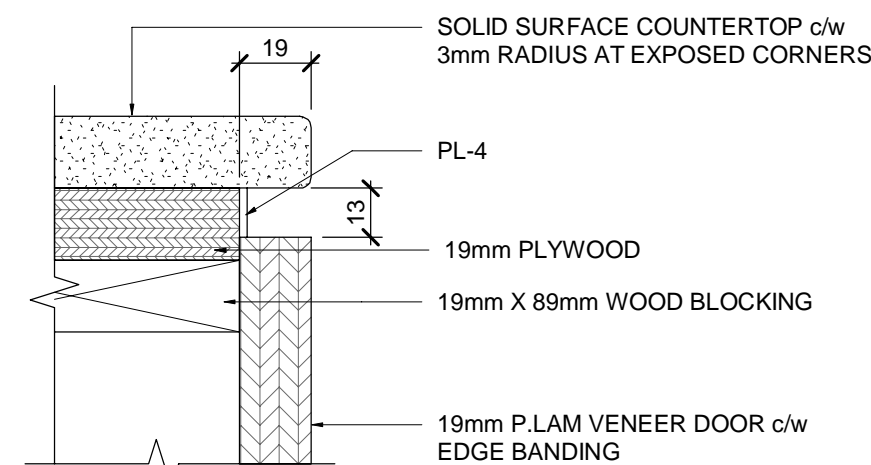
MILLWORK ELEVATION  
MW-143 AND MW-236

SCALE : 1 : 25



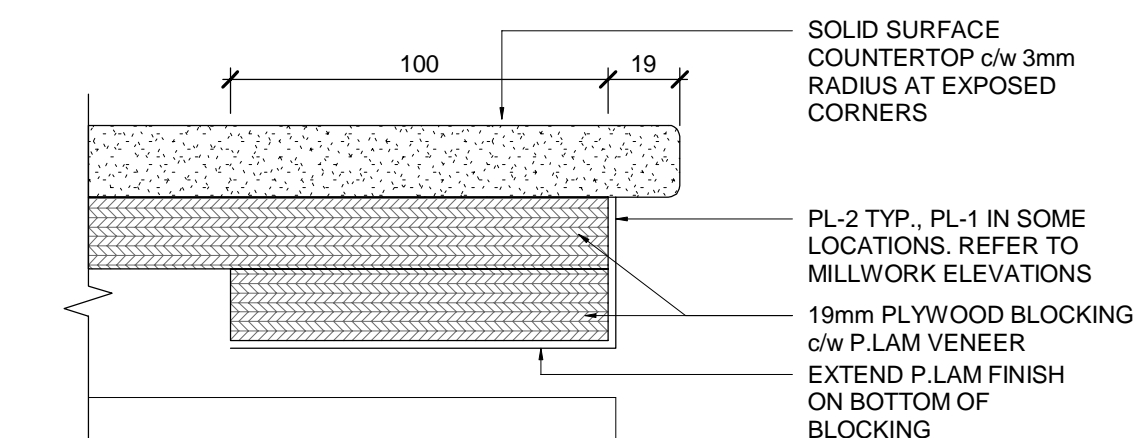
MILLWORK ELEVATION  
MW-145 AND MW-235

SCALE : 1 : 25



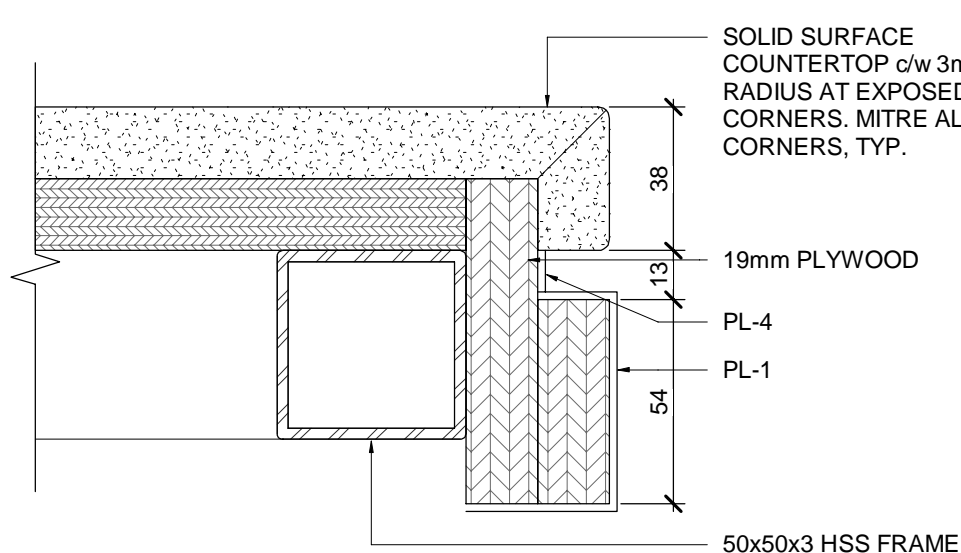
DETAIL  
COUNTERTOP NOSING

SCALE : 1 : 2



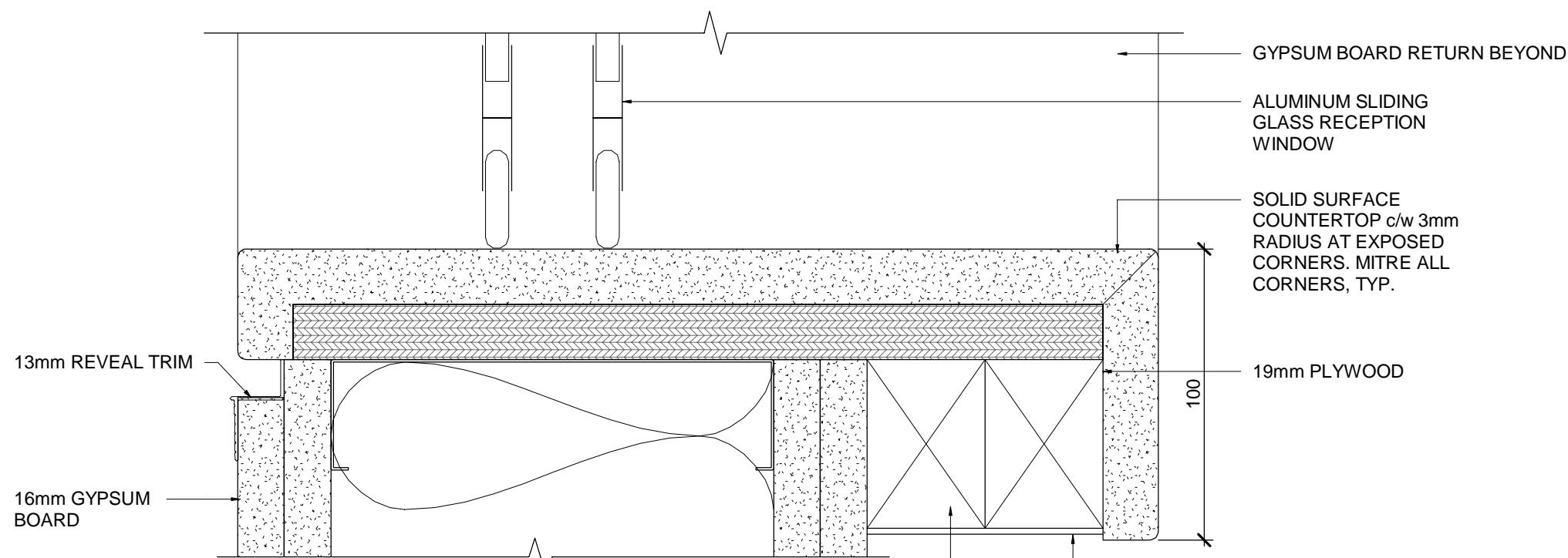
DETAIL  
COUNTERTOP NOSING

SCALE : 1 : 2



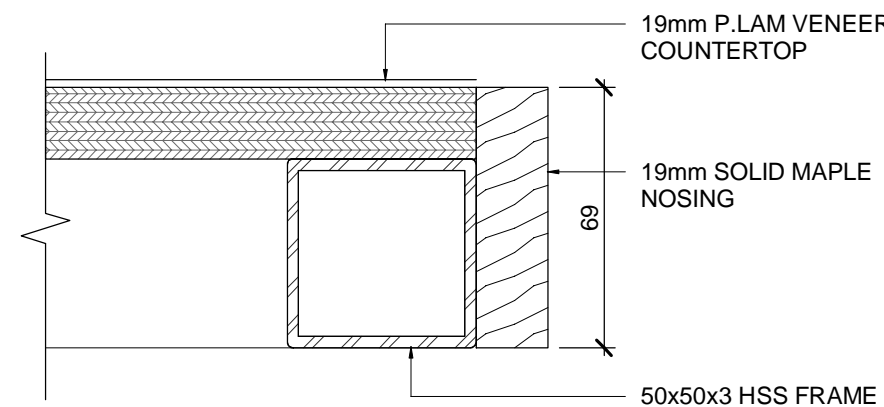
DETAIL  
VANITY NOSING

SCALE : 1 : 2



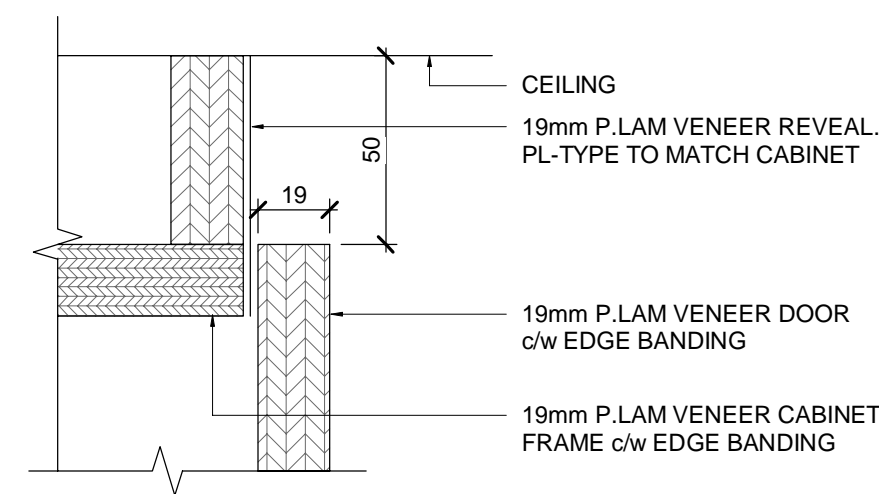
DETAIL  
RECEPTION NOSING

SCALE : 1 : 2



DETAIL  
VIEWING ROOM NOSING

SCALE : 1 : 2



DETAIL - REVEAL

SCALE : 1 : 2

#### LEGEND:

- ROOM NUMBER  
MILLWORK TAG

#### NOTES:

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- ALL MILLWORK TO BE FABRICATED TO ARCHITECTURAL WOODWORK INSTITUTE 'CUSTOM QUALITY GRADE'.
- UNDERSIDE OF ALL UPPER CABINETS TO RECEIVE P.LAM FINISH TO MATCH CABINET DOORS.
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- SOLID SURFACE COUNTERTOPS TO BE FINISHED WITH 3mm RADIUS AT ALL EXPOSED EDGES.

#### ABBREVIATIONS:

- BPGWB BACK PAINTED GLASS WHITE BOARD  
BSD BIOHAZARD DISPOSAL UNIT  
CF COFFEE MAKER, N.I.C.  
DW DISHWASHER, N.I.C.  
GRB GARBAGE BIN  
LAV LAVATORY  
MB MAILBOX  
MDB MAIL DROP BOX  
MIR MIRROR - REFER TO DETAIL 3/A16  
MW MICROWAVE, N.I.C.  
PC PHOTOCOPIER, N.I.C.  
PL PLASTIC LAMINATE TYPE  
P.LAM PLASTIC LAMINATE  
PR PRINTER, N.I.C.  
REF REFRIGERATOR, N.I.C.  
SD SOAP DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
SNK SINK  
UC REF UNDER COUNTER REFRIGERATOR, N.I.C.  
TD TOWEL DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED

#### DO NOT SCALE DRAWINGS:

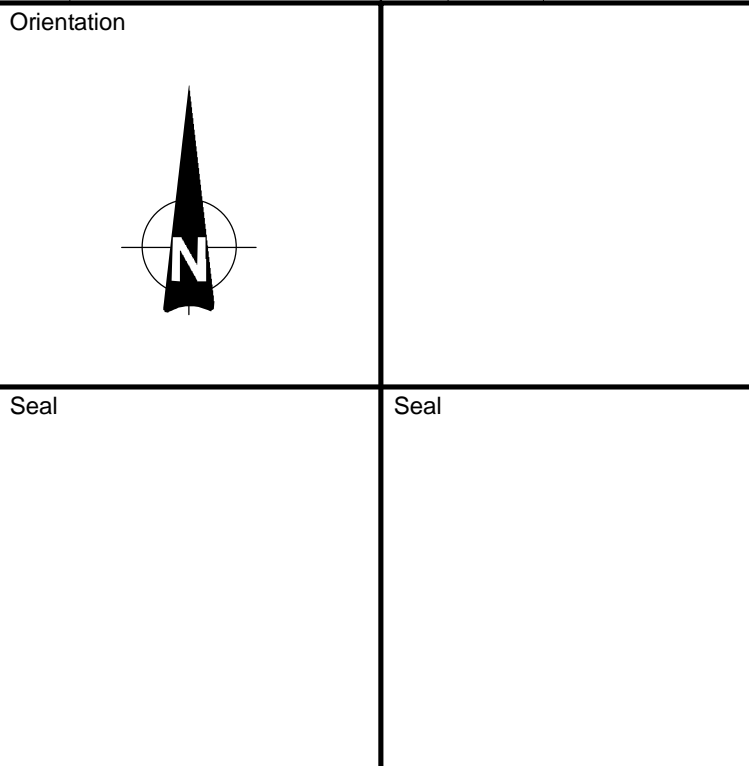
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B = Drawing number where detailed

1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE



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Guelph, Ontario, N1G 2W1

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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

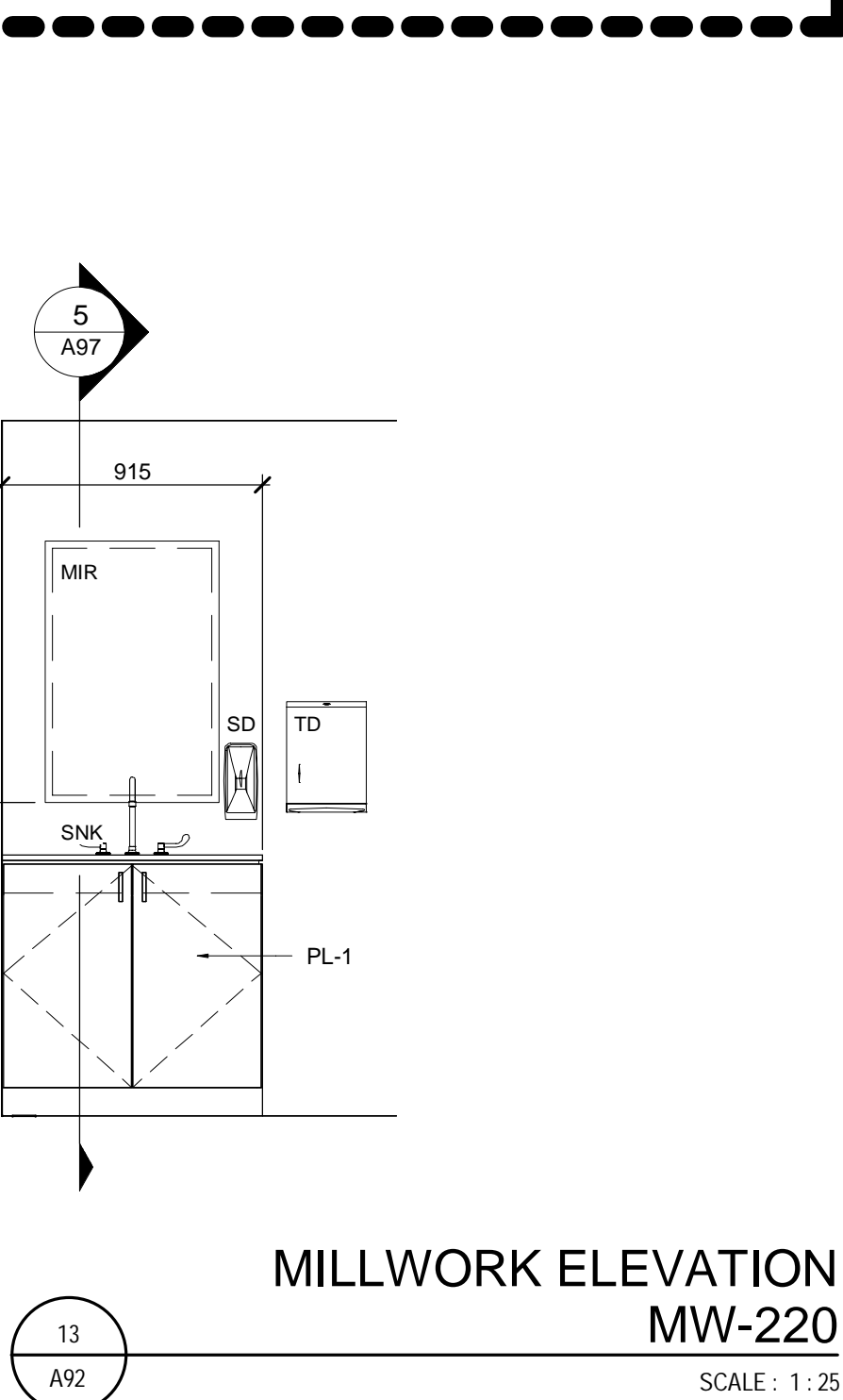
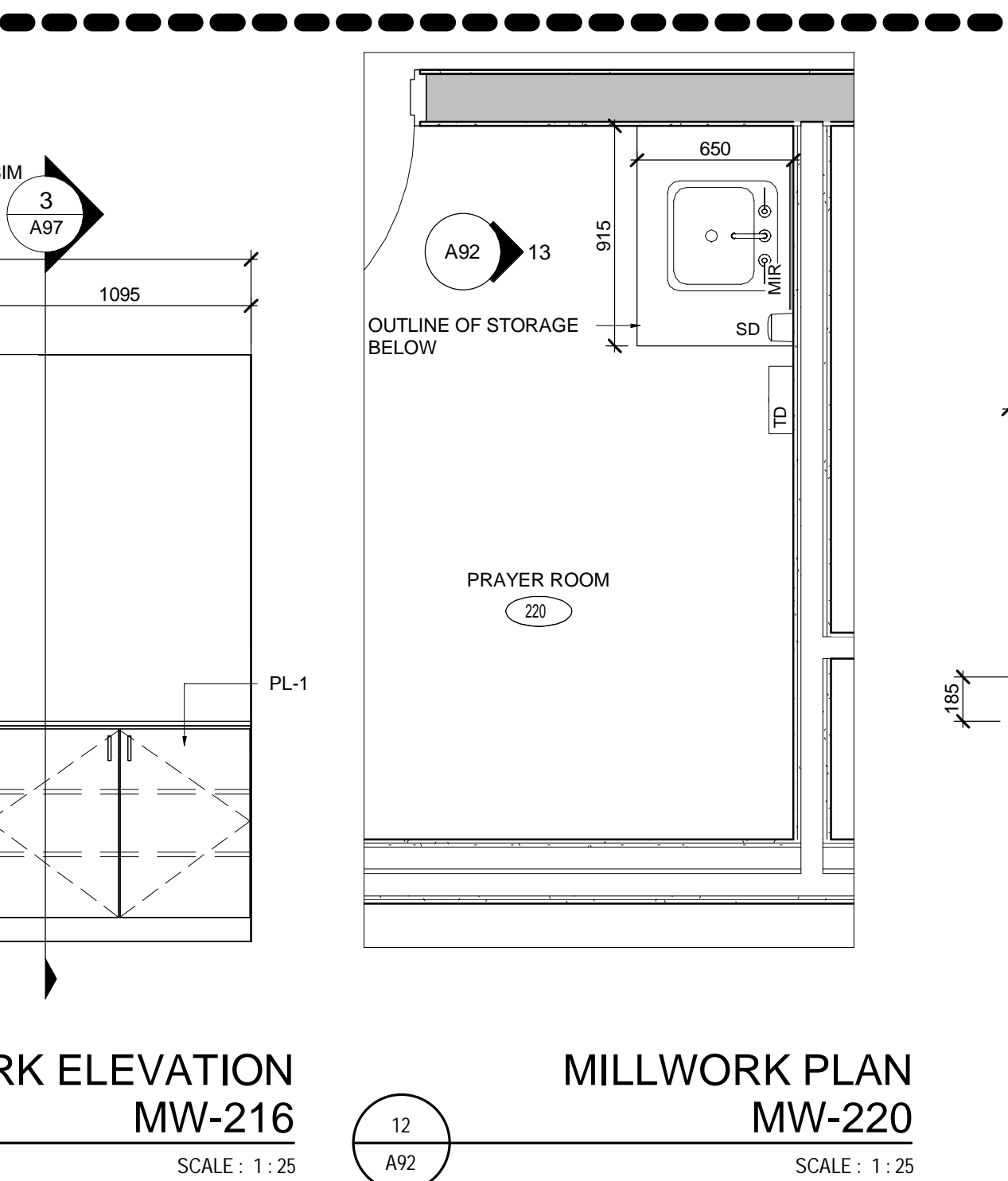
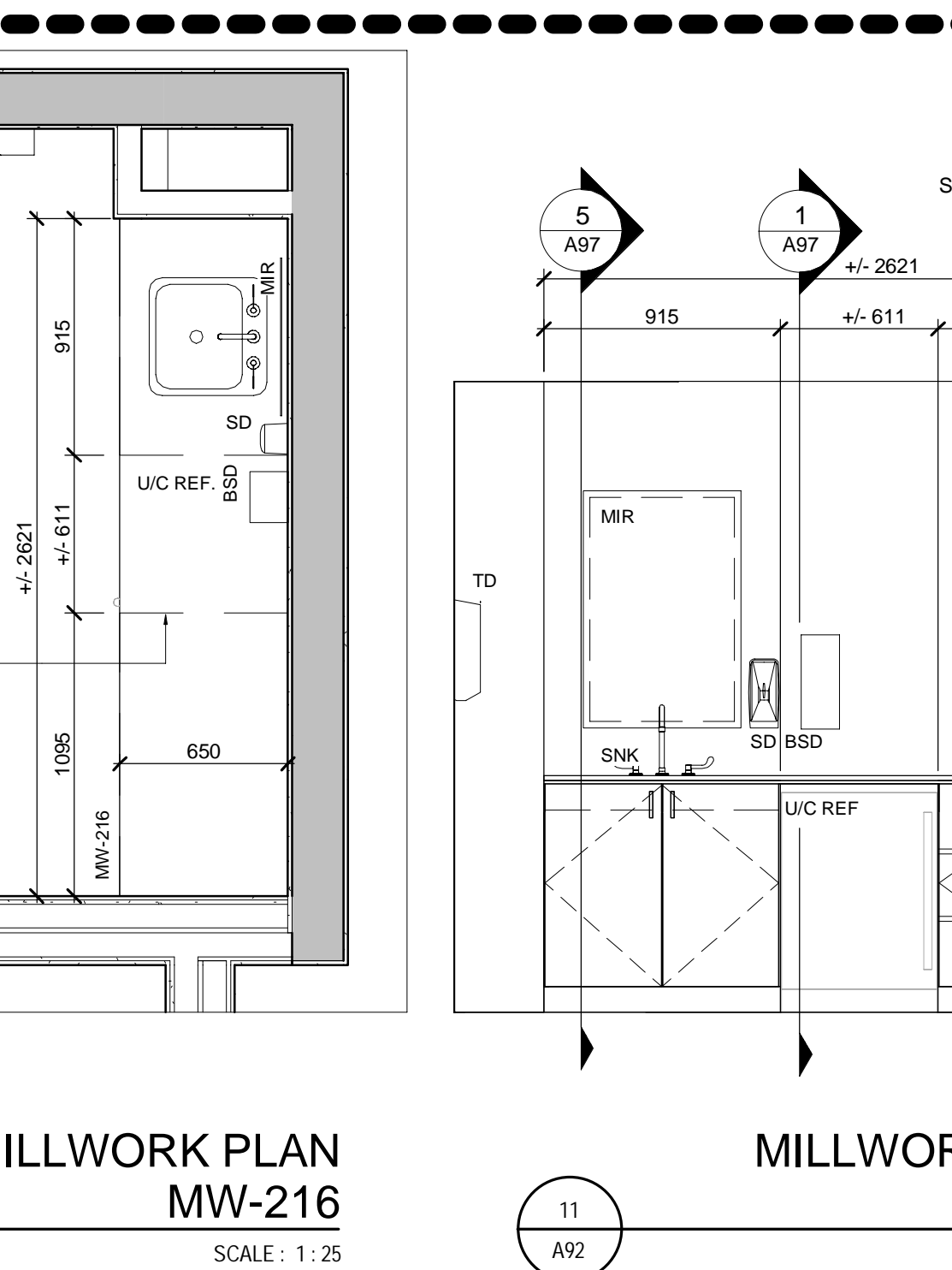
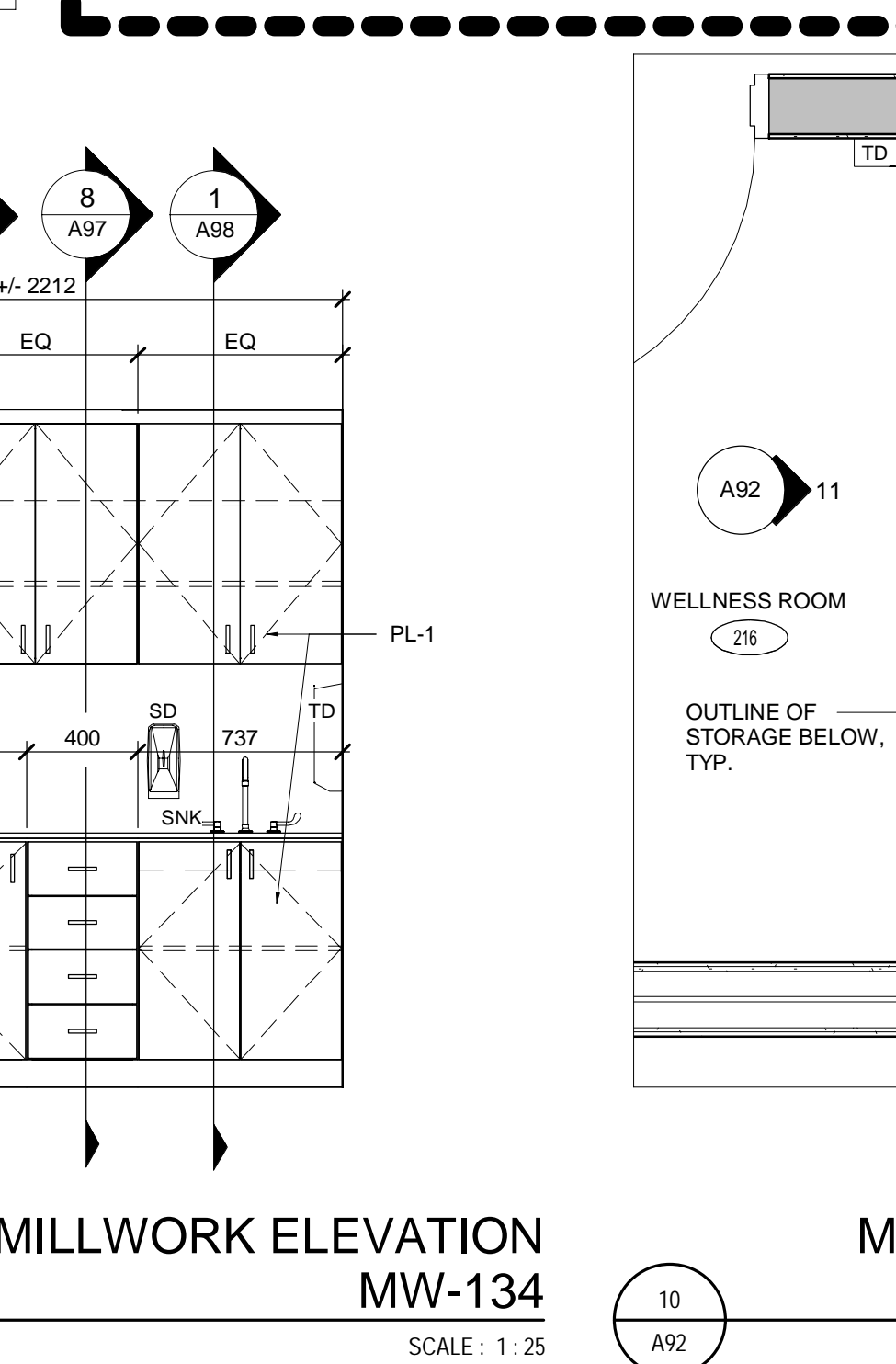
Project  
**BUILDING #046 RENOVATIONS**

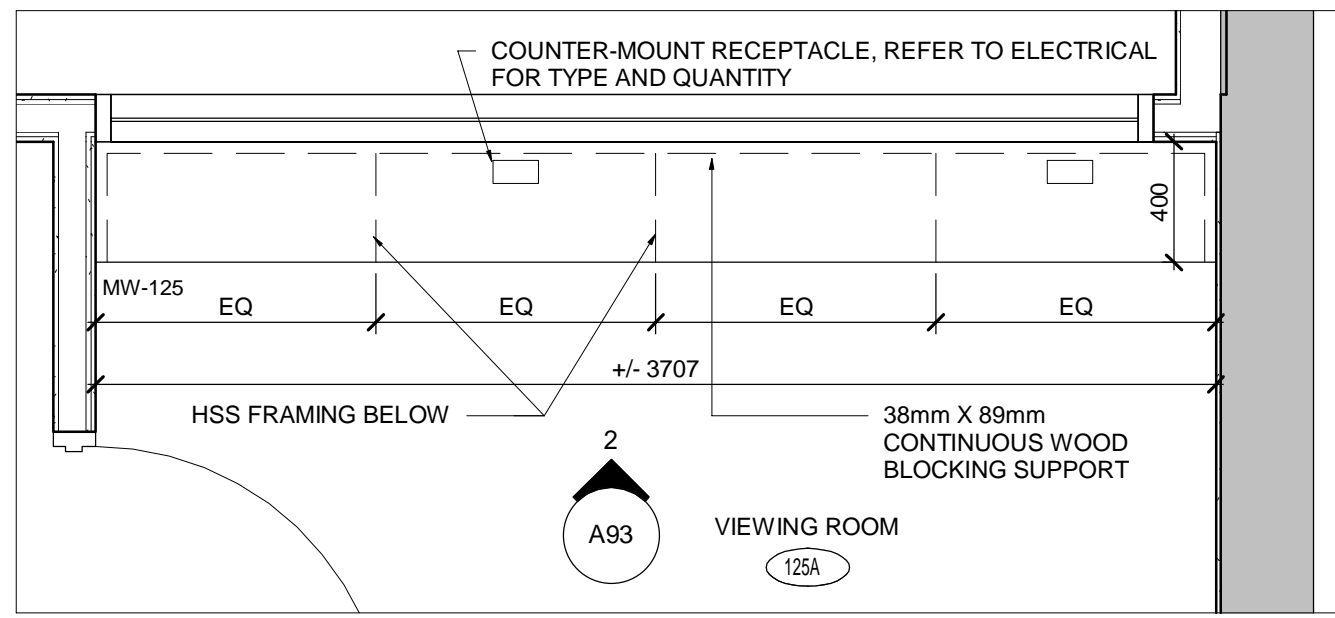
Drawing Title  
**ARCHITECTURAL MILLWORK PLANS, ELEVATIONS AND DETAILS**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

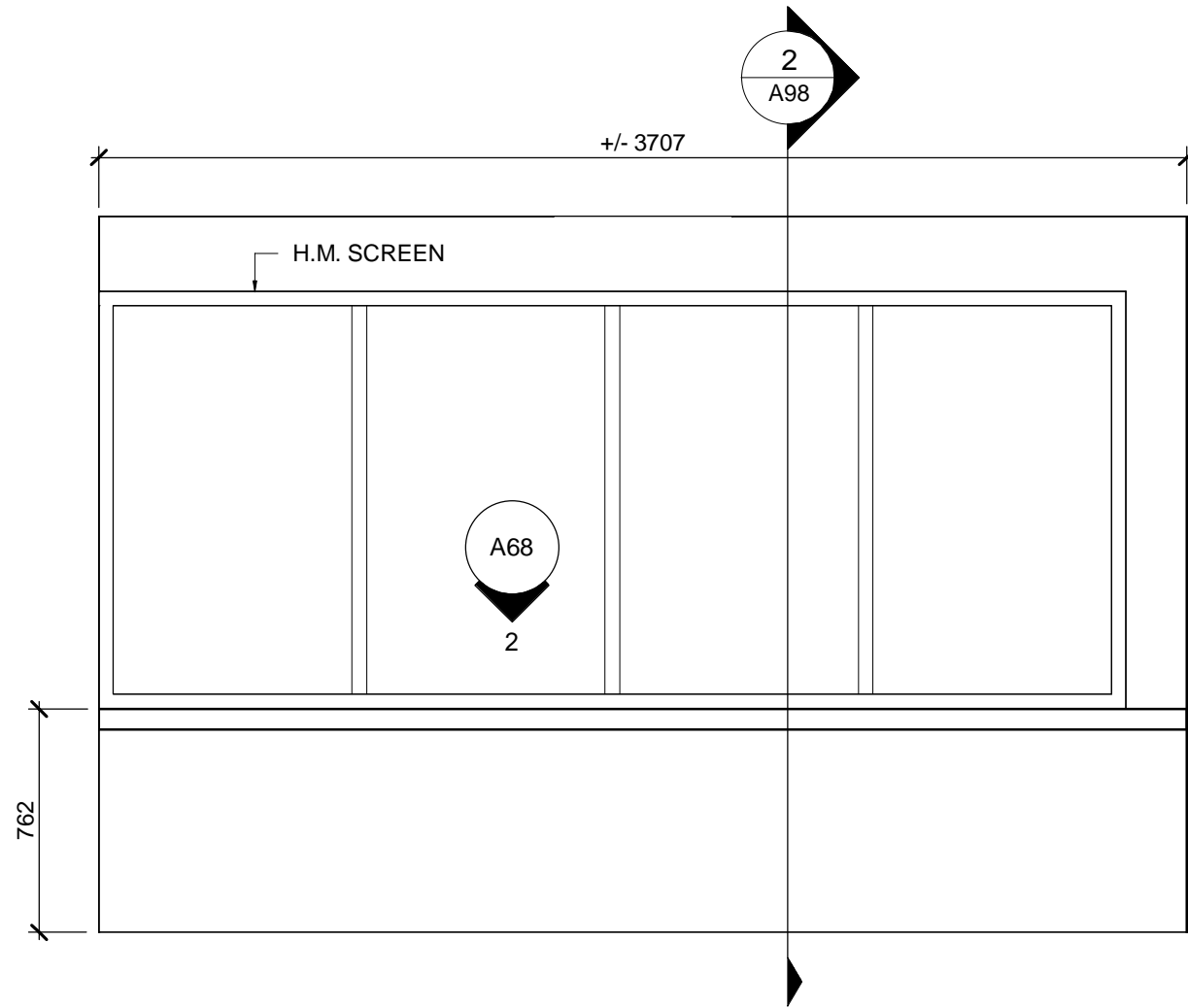
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A91</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



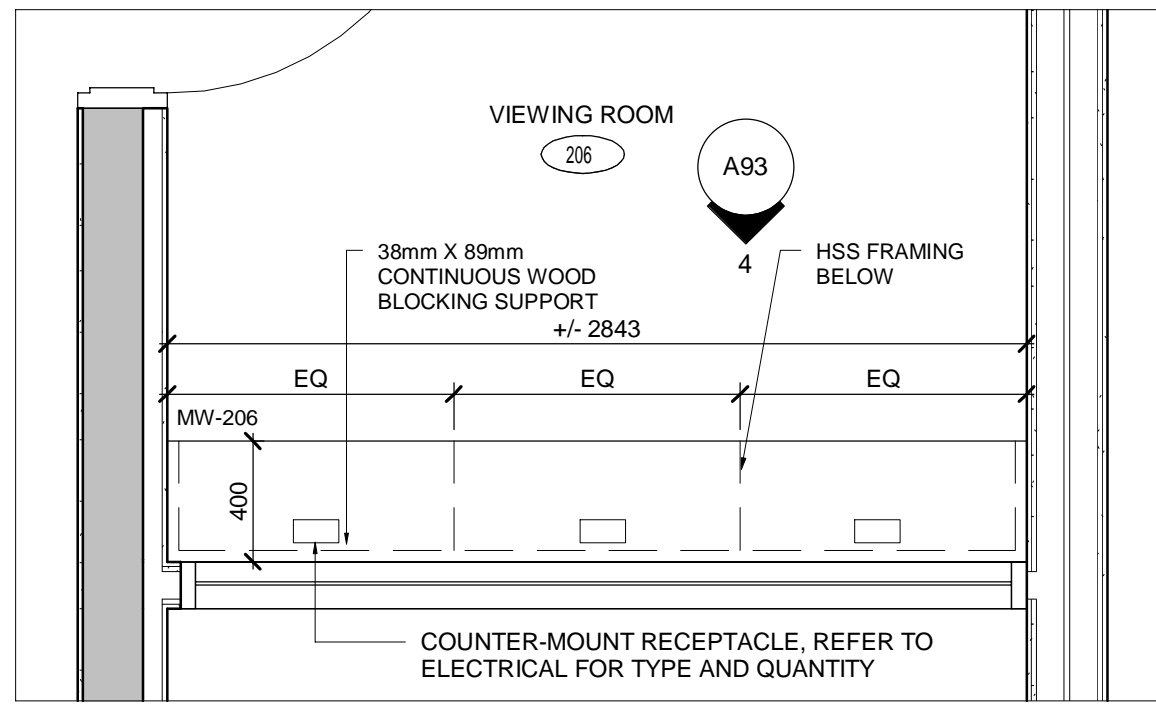
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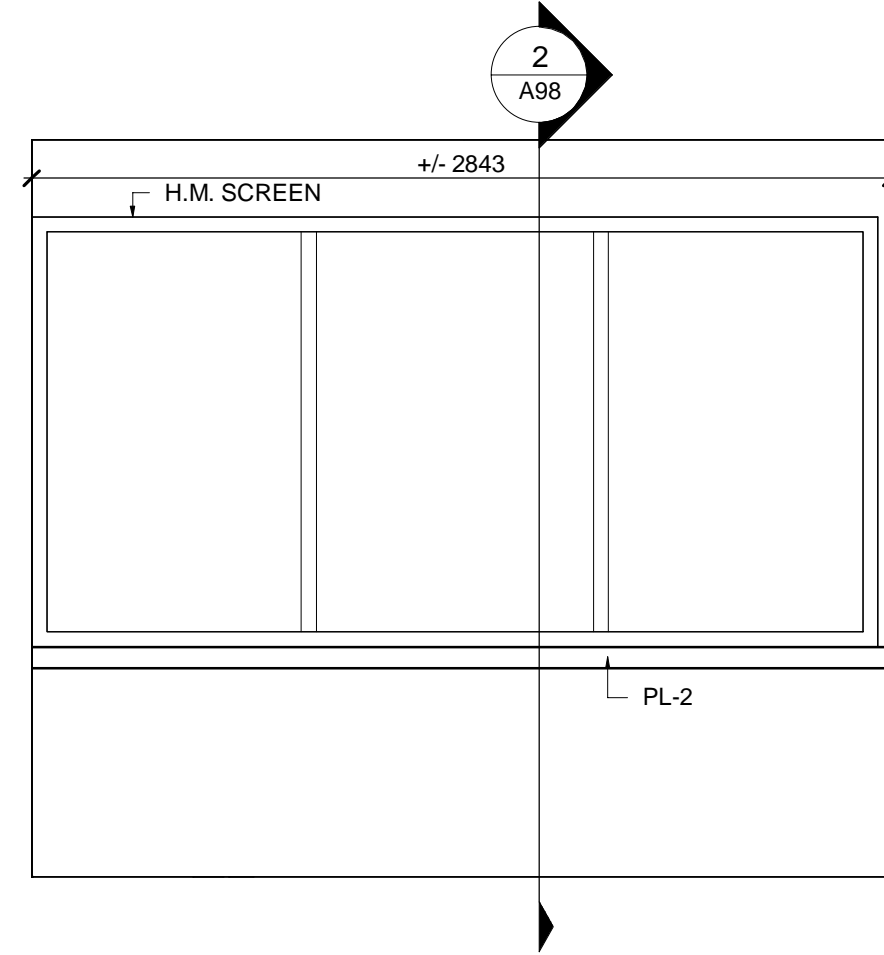
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MILLWORK PLAN - MW-125  
SCALE : 1 : 25



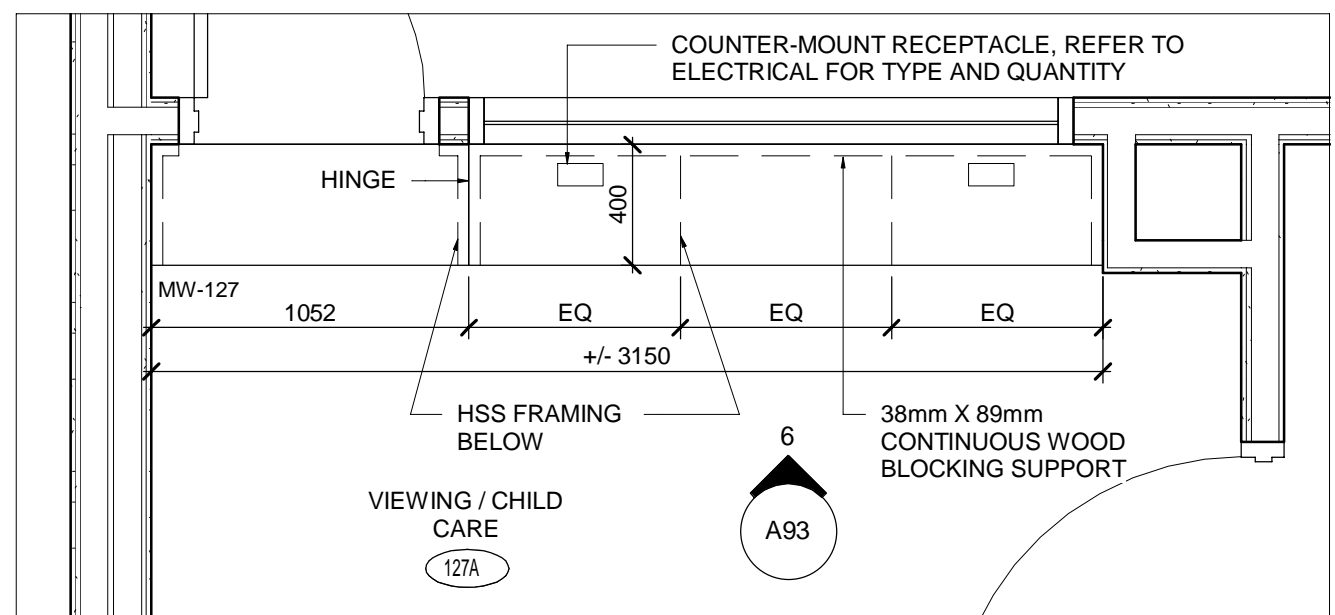
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MILLWORK ELEVATION  
MW-125  
SCALE : 1 : 25



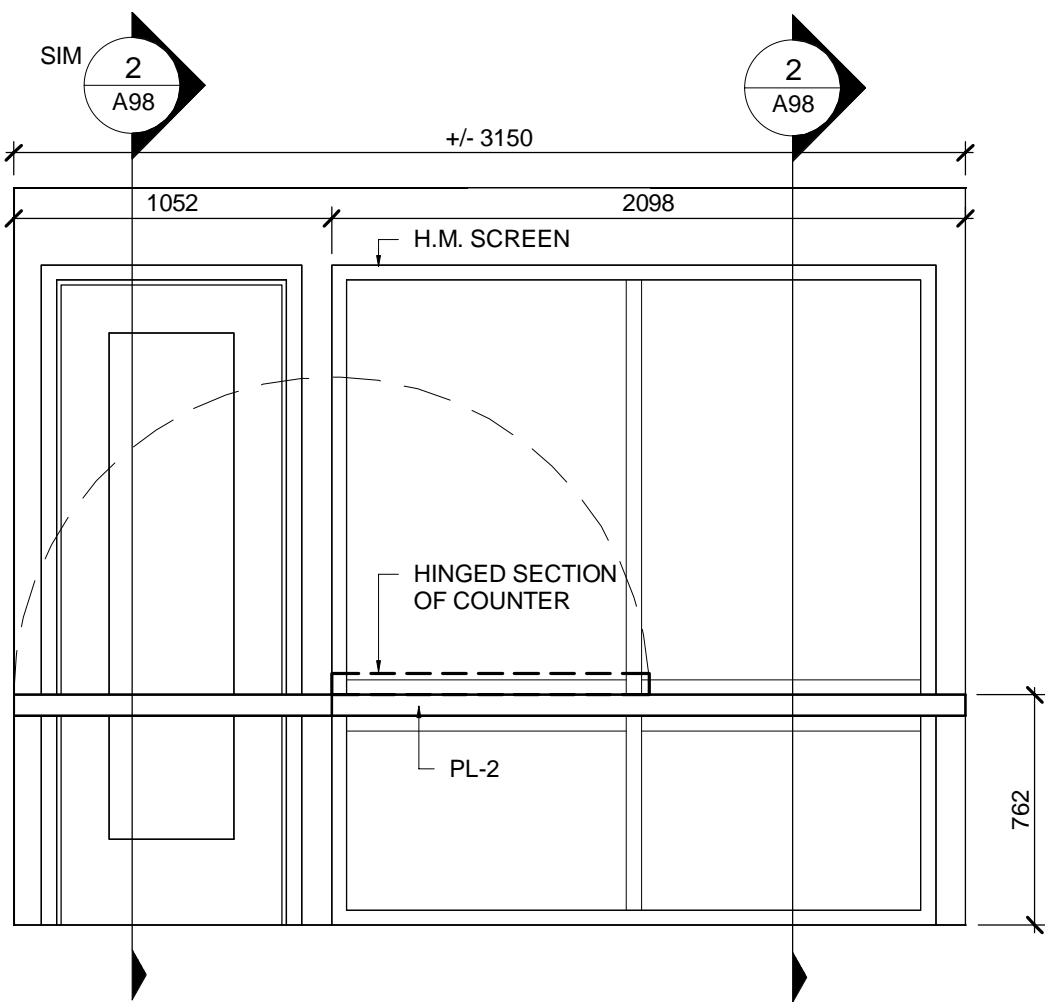
3  
A93  
MILLWORK PLAN - MW-206  
SCALE : 1 : 25



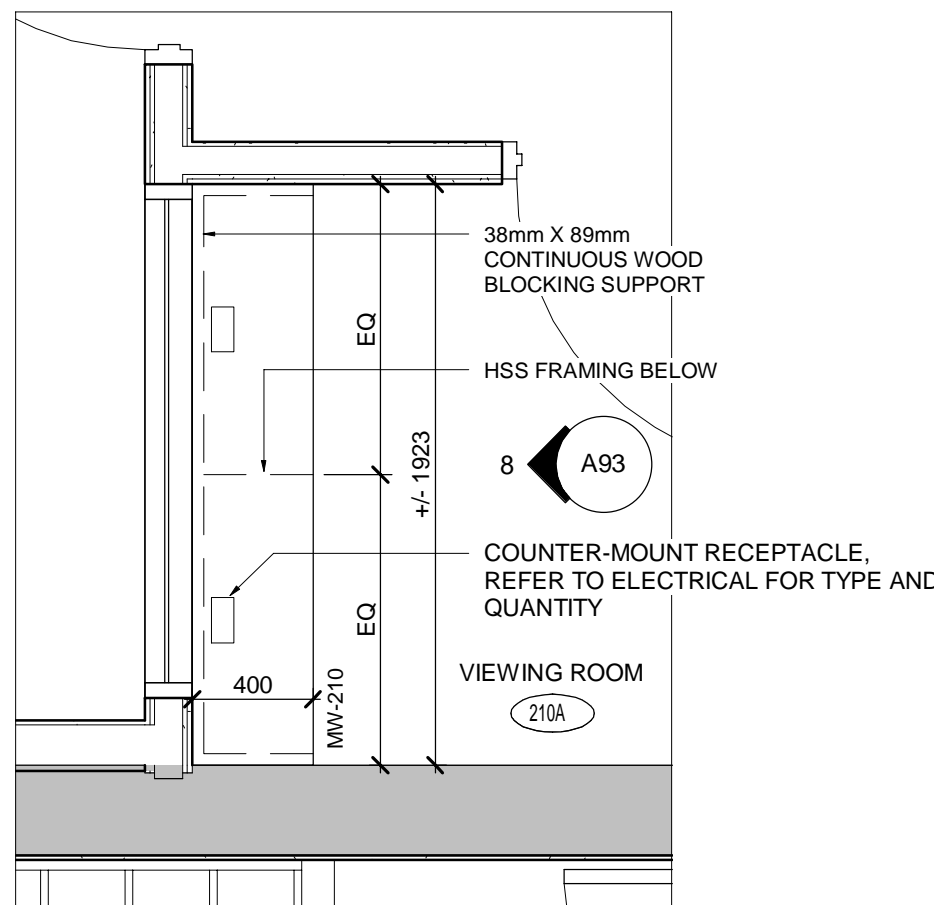
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MILLWORK ELEVATION  
MW-206  
SCALE : 1 : 25



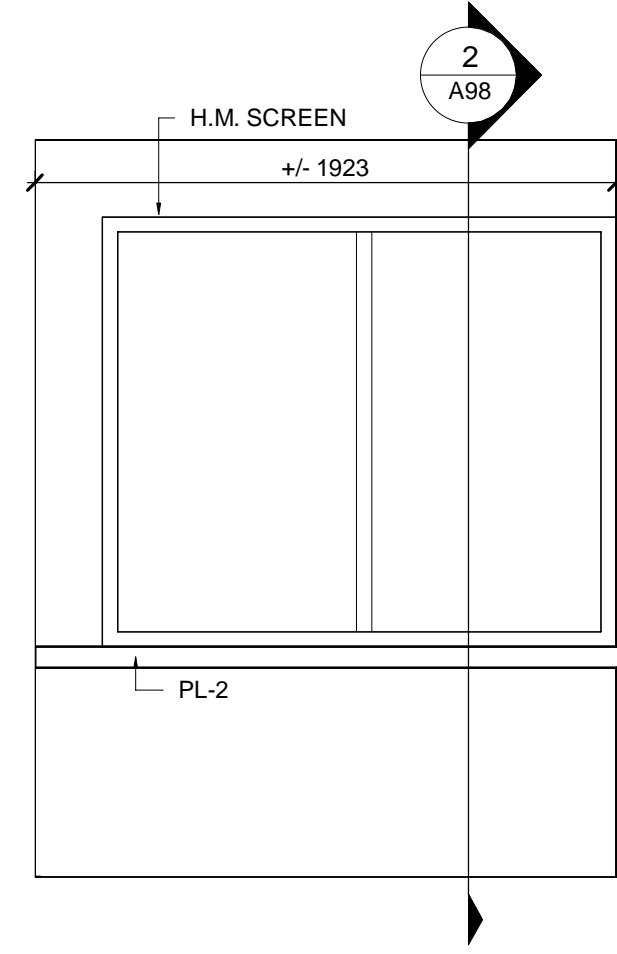
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A93  
MILLWORK PLAN - MW-127  
SCALE : 1 : 25



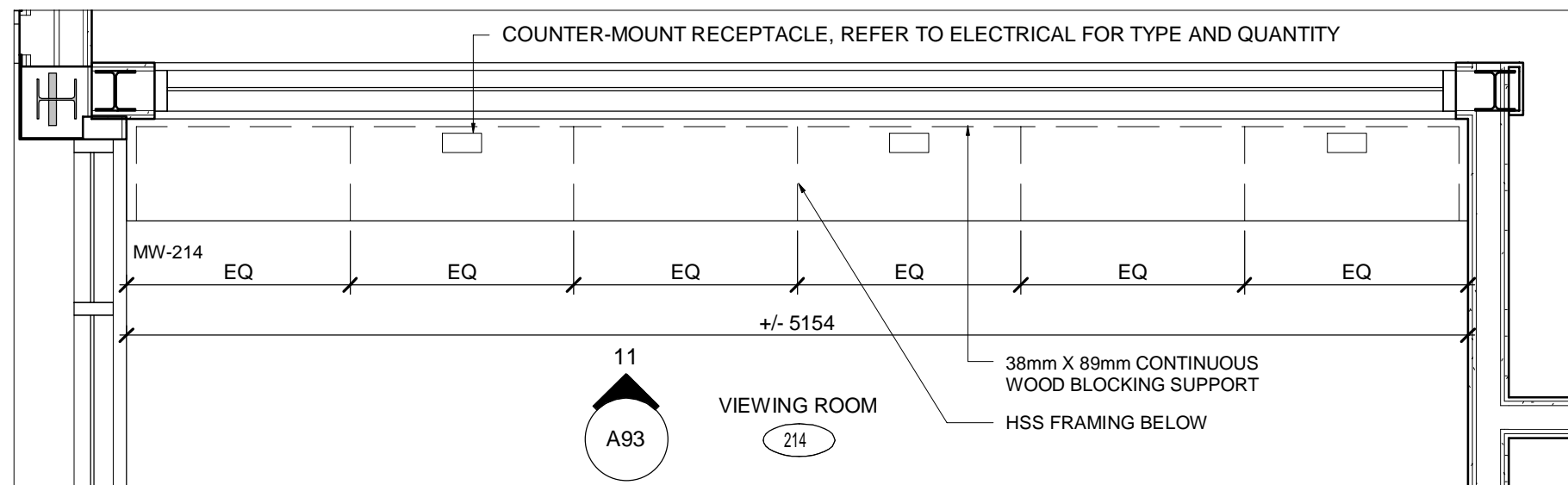
6  
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MILLWORK ELEVATION  
MW-127  
SCALE : 1 : 25



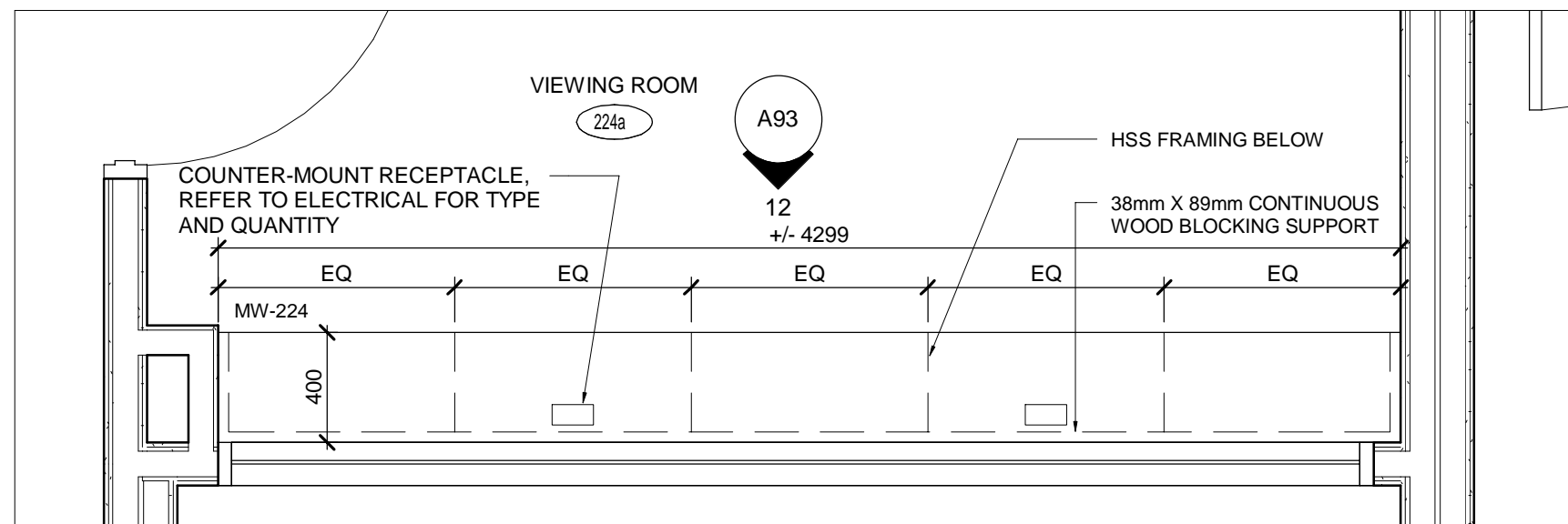
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A93  
MILLWORK PLAN - MW-210  
SCALE : 1 : 25



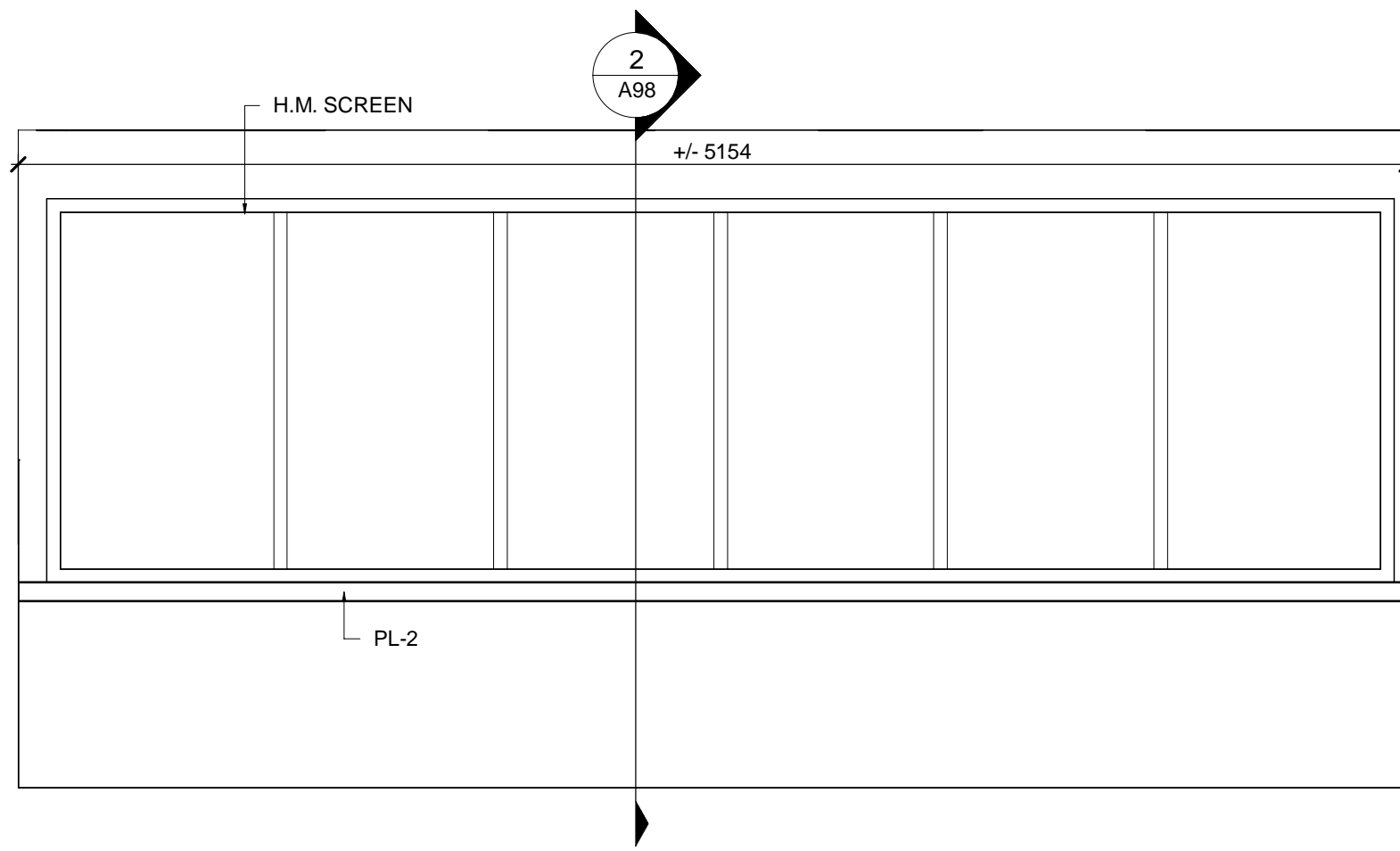
8  
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MILLWORK ELEVATION  
MW-210  
SCALE : 1 : 25



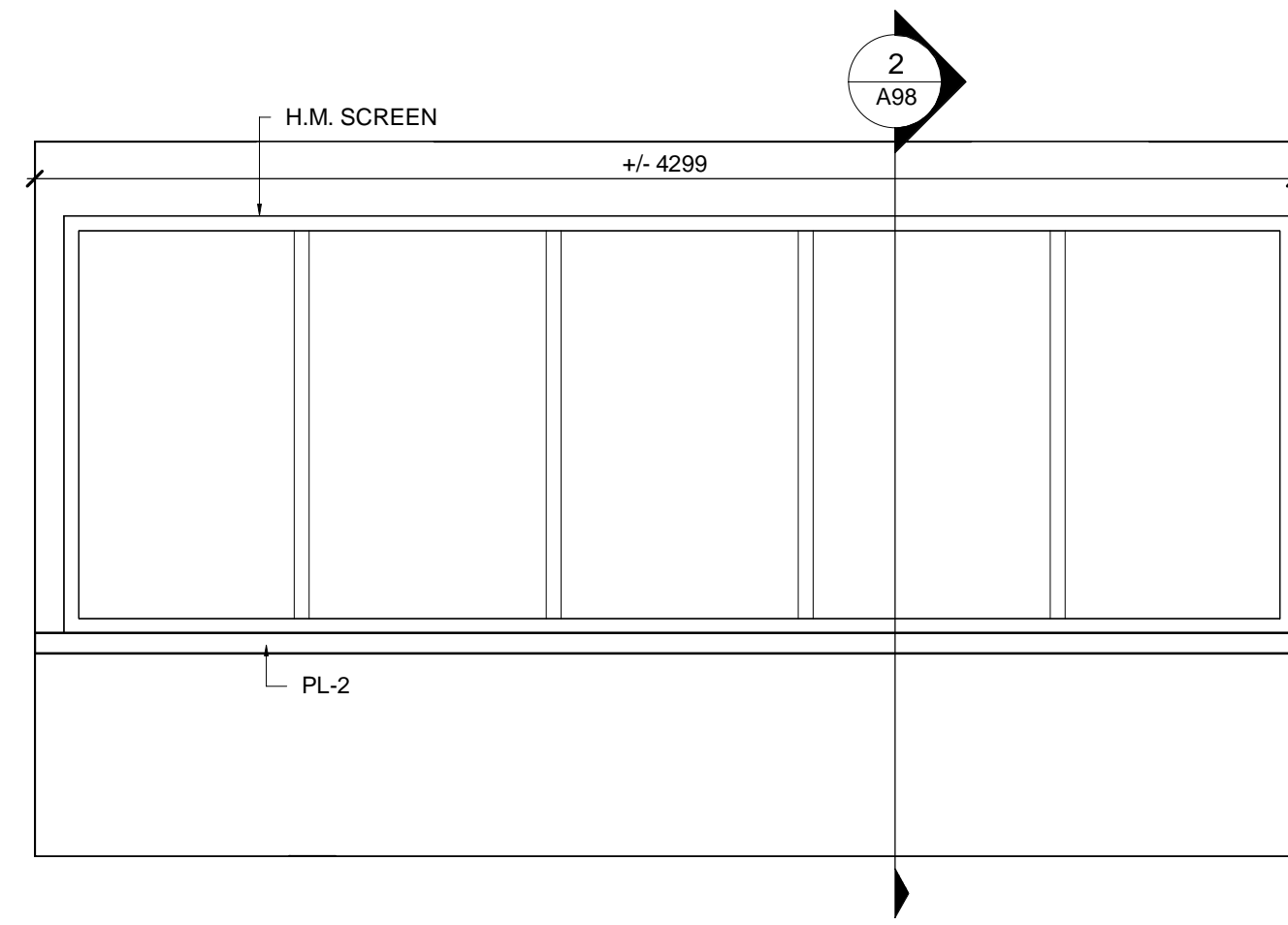
9  
A93  
MILLWORK PLAN - MW-214  
SCALE : 1 : 25



10  
A93  
MILLWORK PLAN - MW-224  
SCALE : 1 : 25



11  
A93  
MILLWORK ELEVATION  
MW-214  
SCALE : 1 : 25



12  
A93  
MILLWORK ELEVATION  
MW-224  
SCALE : 1 : 25

#### LEGEND:

ROOM NUMBER  
MILLWORK TAG

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LAV LAVATORY  
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P.LAM PLASTIC LAMINATE  
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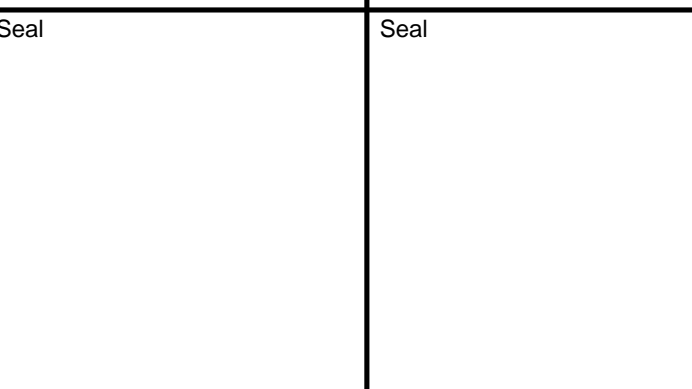
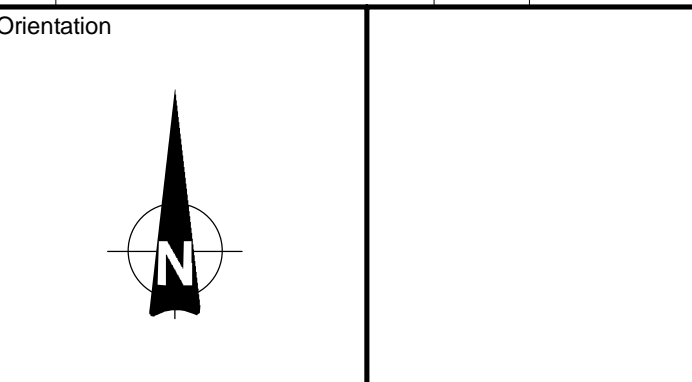
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0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE



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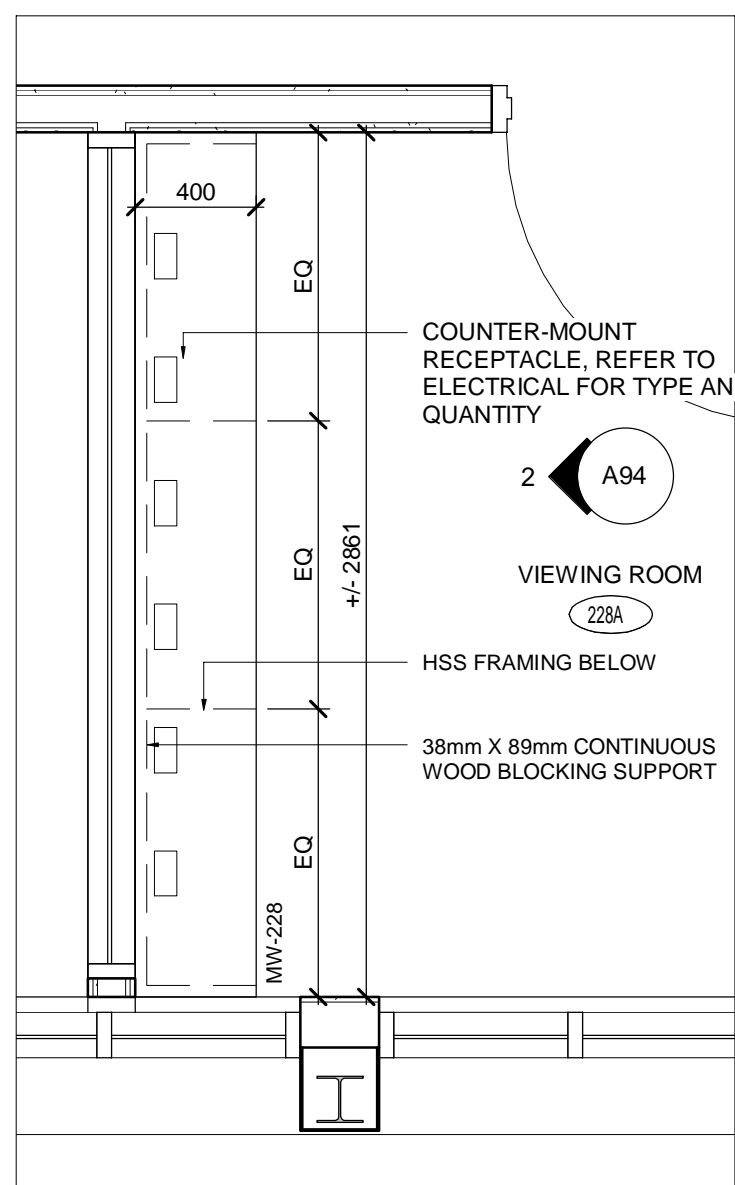
Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
MILLWORK PLANS AND  
ELEVATIONS**  
Project No.  
**504034**

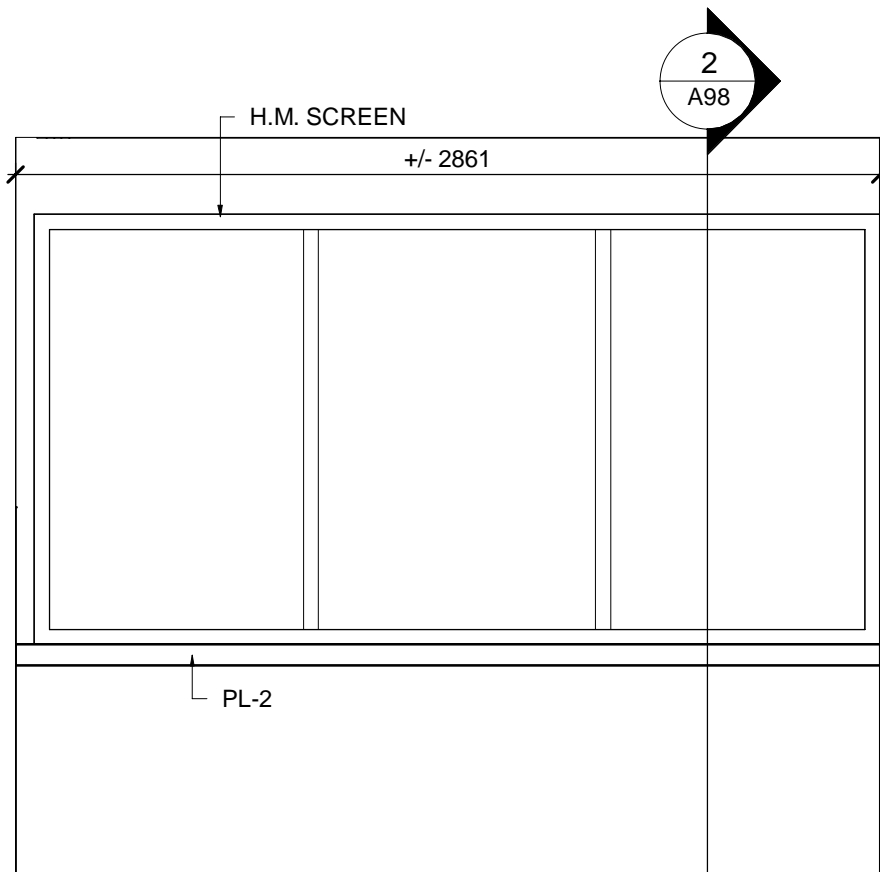
Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A93</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

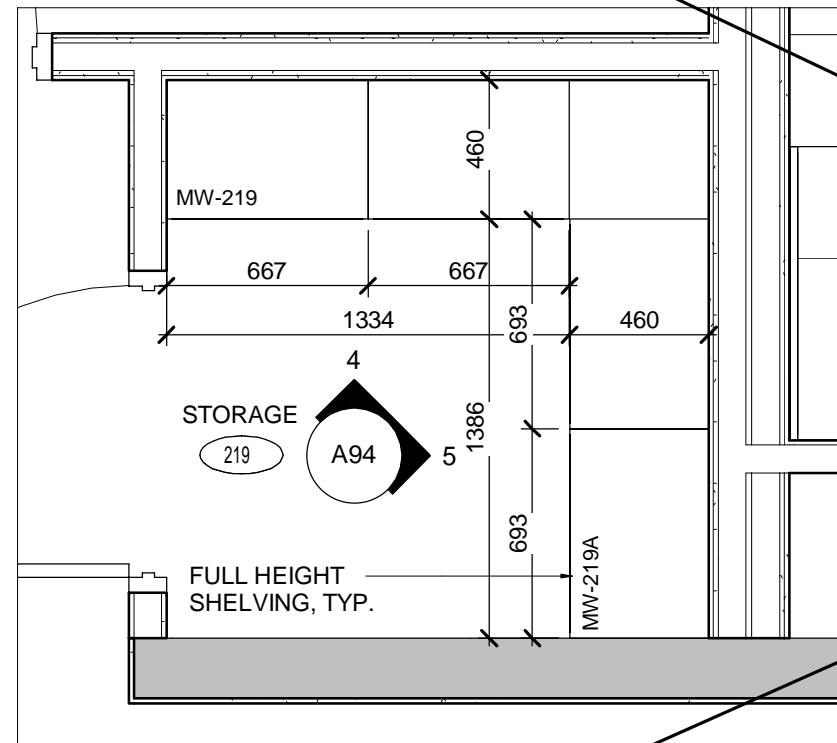




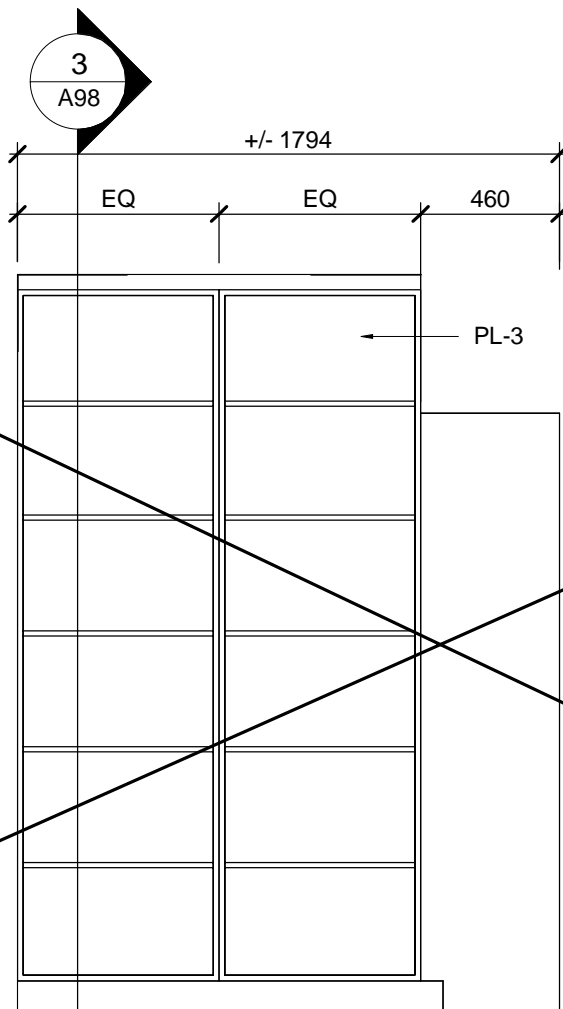
1 MILLWORK PLAN - MW-228  
A94 SCALE: 1:25



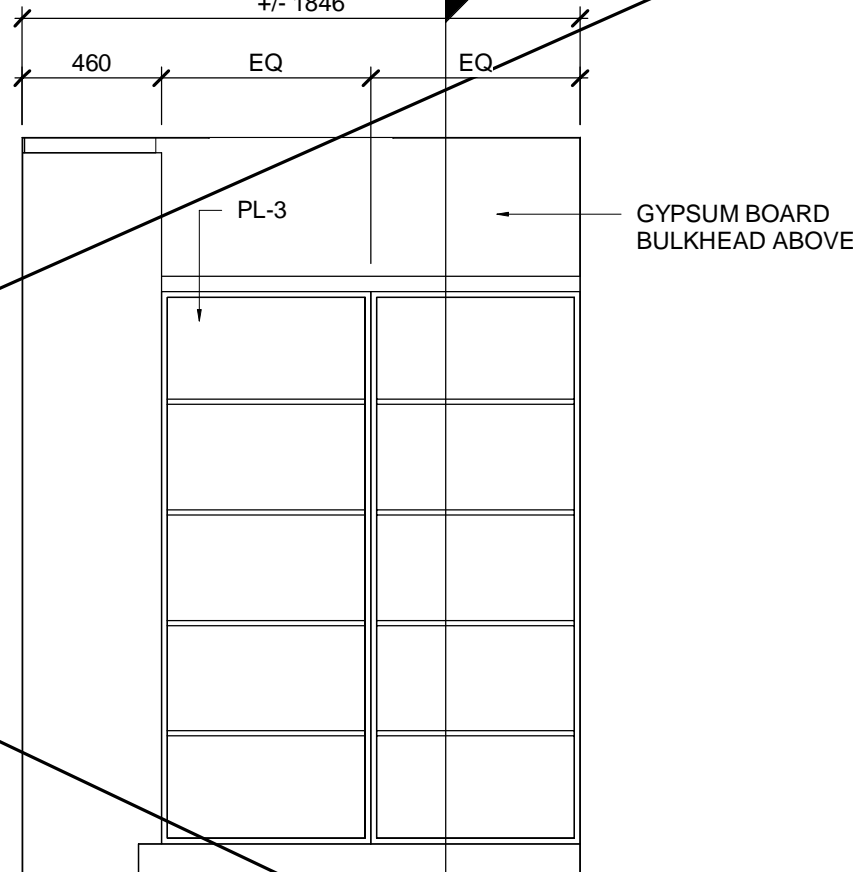
2 MILLWORK ELEVATION MW-228  
A94 SCALE: 1:25



3 MILLWORK PLAN MW-219 AND MW-219A  
A94 SCALE: 1:25



4 MILLWORK ELEVATION MW-219  
A94 SCALE: 1:25



5 MILLWORK ELEVATION MW-219A  
A94 SCALE: 1:25

DETAIL DELETED 1

LEGEND:

- 000 ROOM NUMBER
- MW-000 MILLWORK TAG

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ABBREVIATIONS:

- |         |  |
|---------|--|
| BPGWB   | BACK PAINTED GLASS WHITE BOARD                         |
| BSD     | BIOHAZARD DISPOSAL UNIT                                |
| CF      | COFFEE MAKER, N.I.C.                                   |
| DW      | DISHWASHER, N.I.C.                                     |
| GRB     | GARBAGE BIN  |
| LAV     | LAVATORY   |
| NB      | MAILBOX  |
| MDB     | MAIL DROP BOX  |
| MIR     | MIRROR - REFER TO DETAIL 3/A16                         |
| MW      | MICROWAVE, N.I.C.                                      |
| PC      | PHOTOCOPIER, N.I.C.                                    |
| PL      | PLASTIC LAMINATE TYPE                                  |
| P.LAM   | PLASTIC LAMINATE                                       |
| PR      | PRINTER, N.I.C.  |
| REF     | REFRIGERATOR, N.I.C.                                   |
| SD      | SOAP DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  |
| SNK     | SINK   |
| UIC REF | UNDER COUNTER REFRIGERATOR, N.I.C.                     |
| TD      | TOWEL DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED |

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Orientation

Seal

Seal

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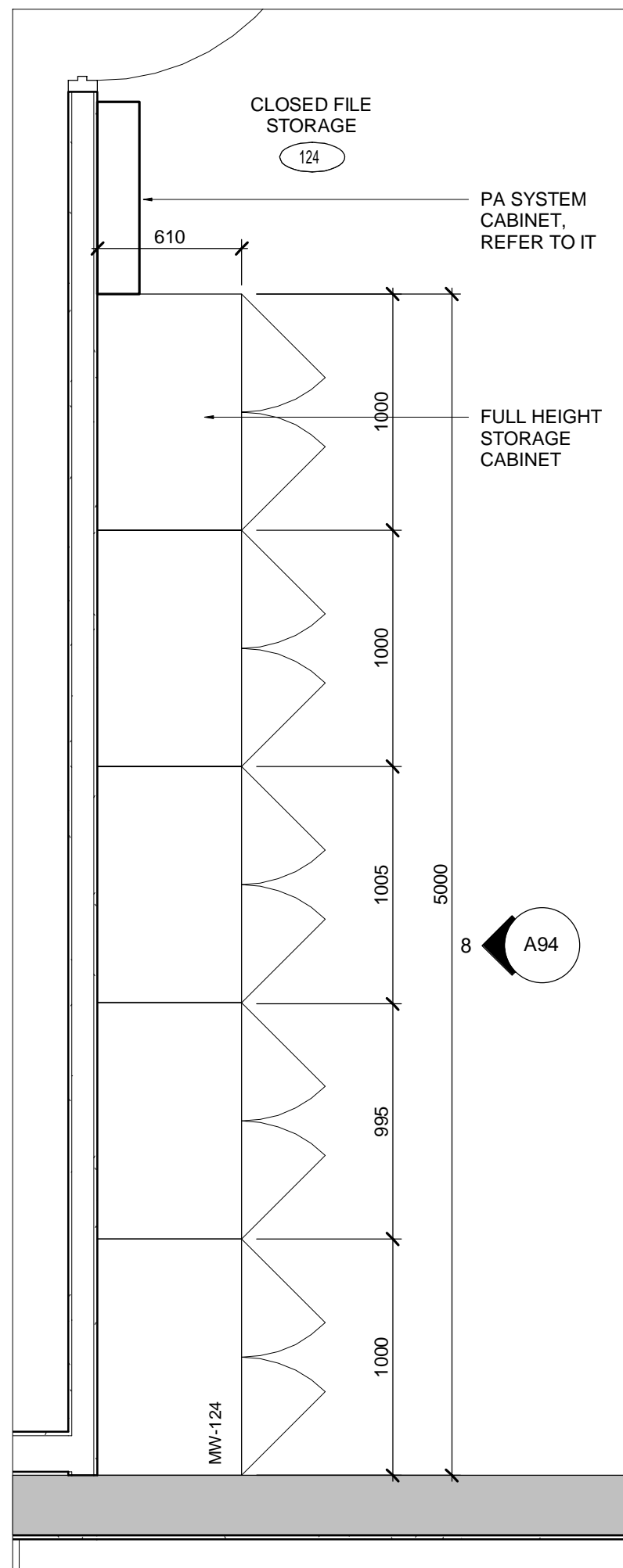
Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
MILLWORK PLANS AND  
ELEVATIONS**

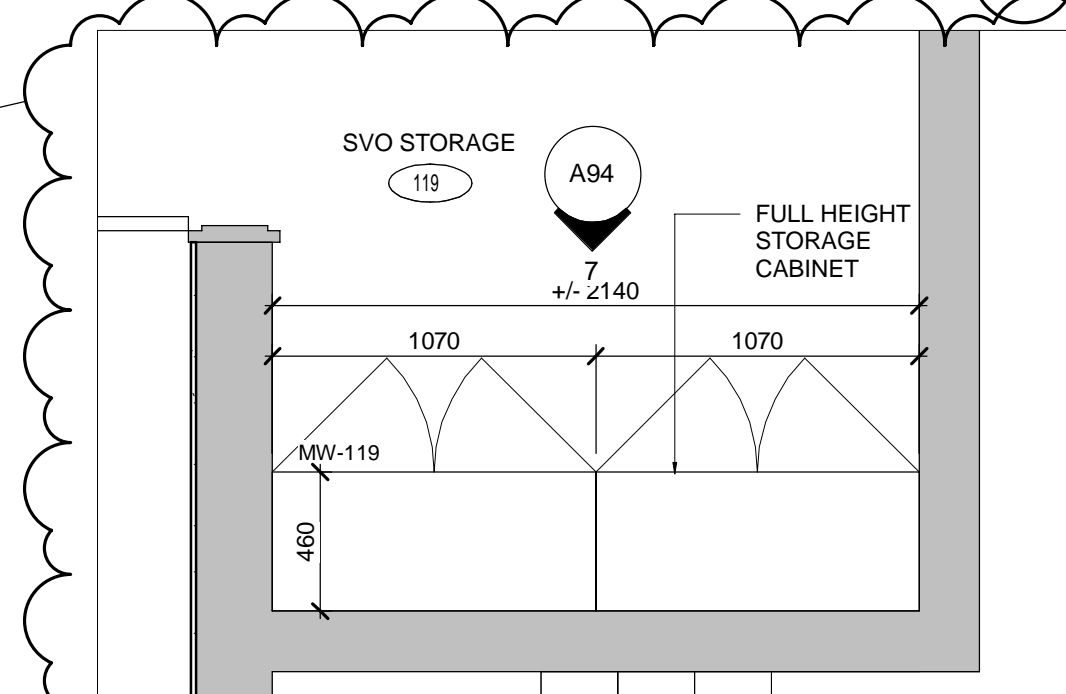
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

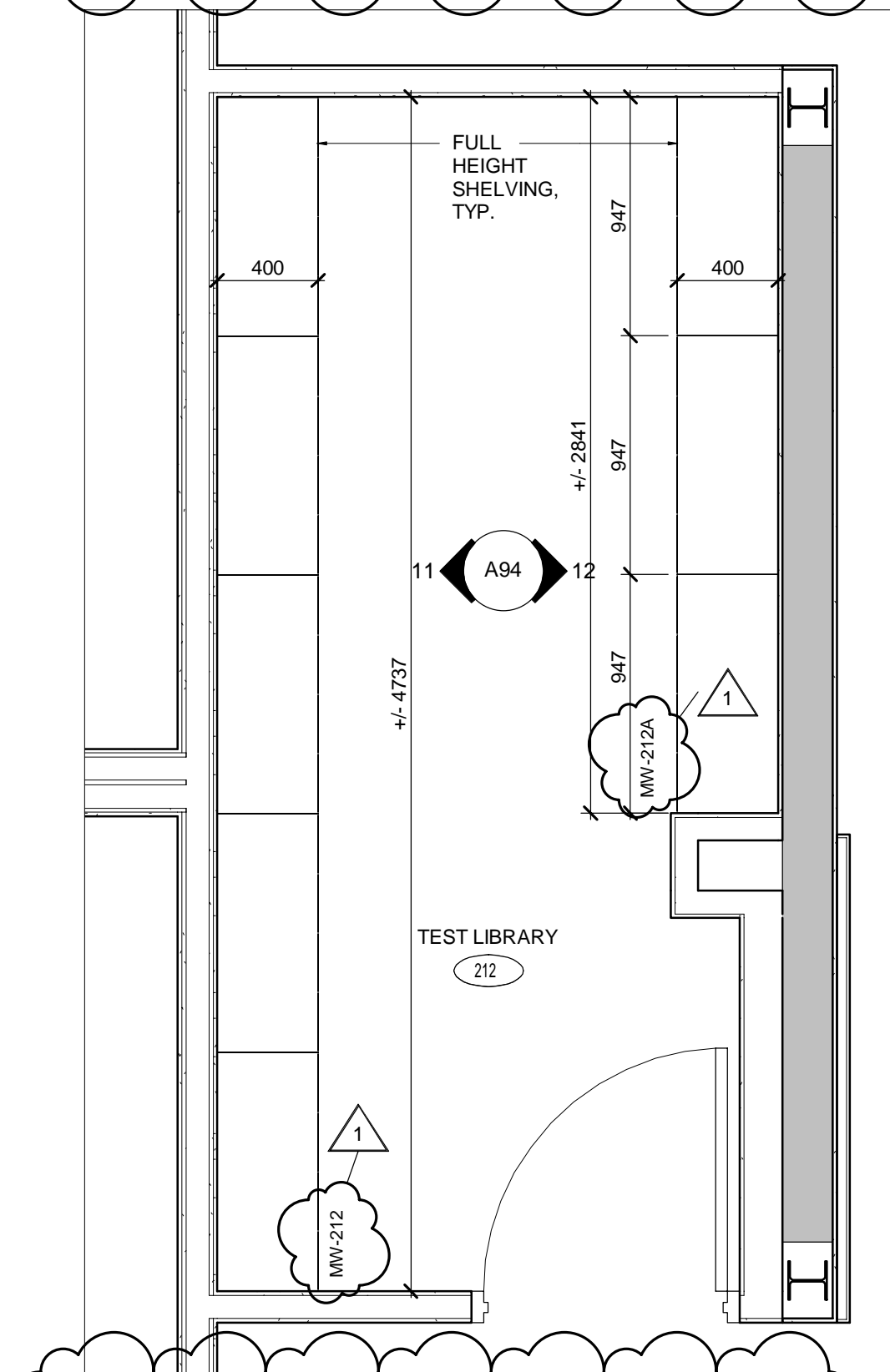
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Drawn By DCJ	Drawing No. <b>A94</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



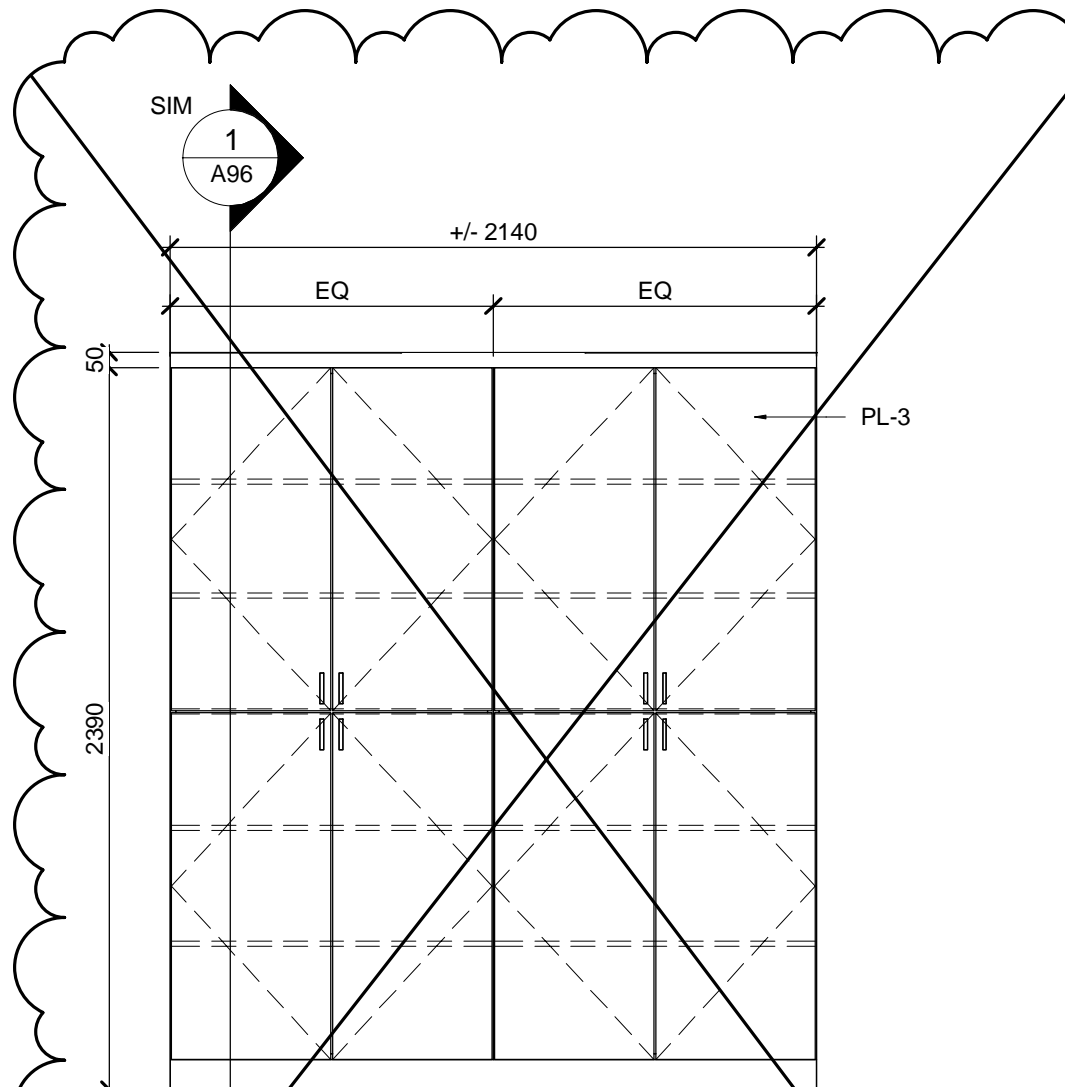
9 MILLWORK PLAN MW-124  
A94 SCALE: 1:25



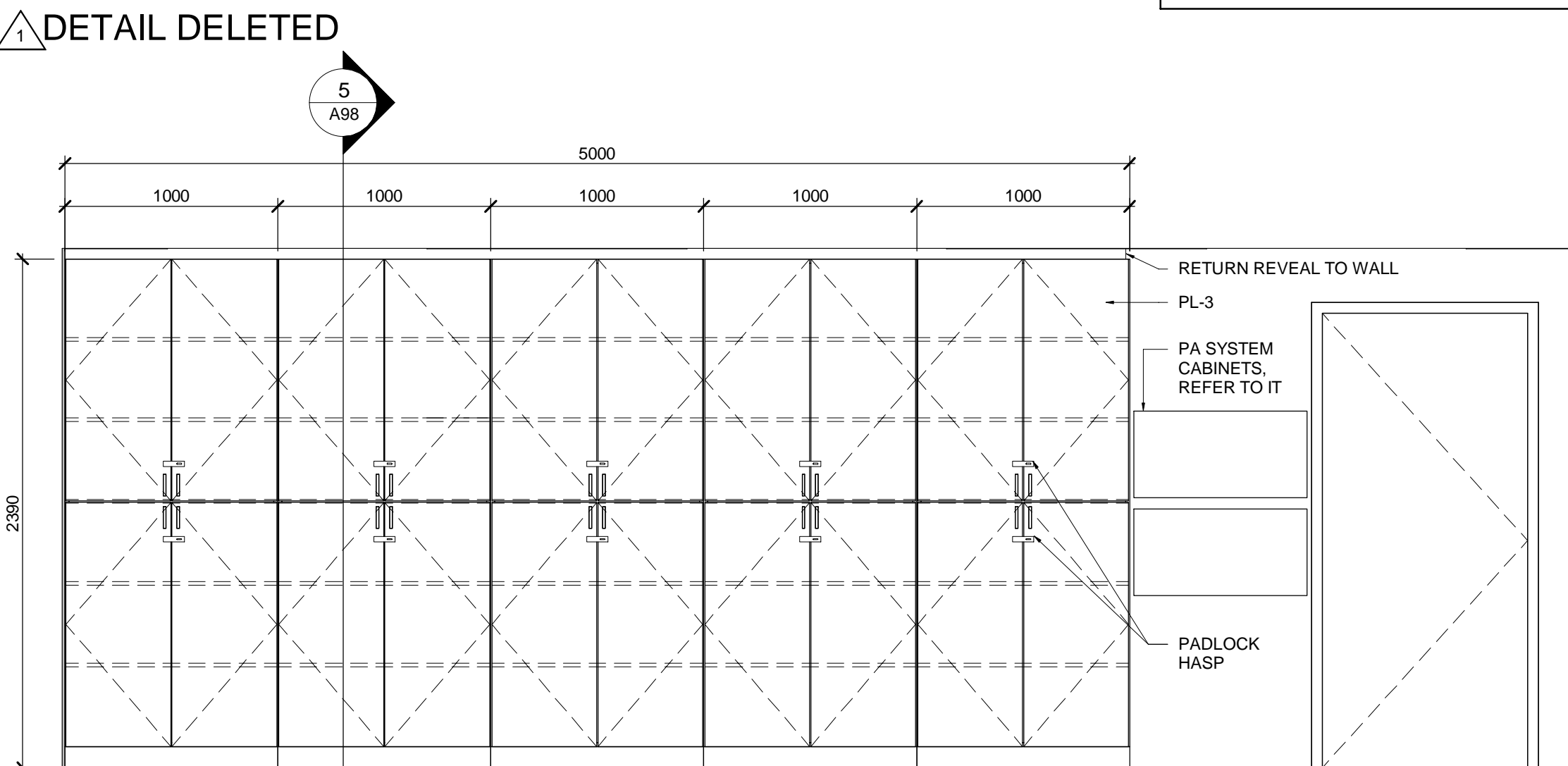
6 MILLWORK PLAN MW-119  
A94 SCALE: 1:25



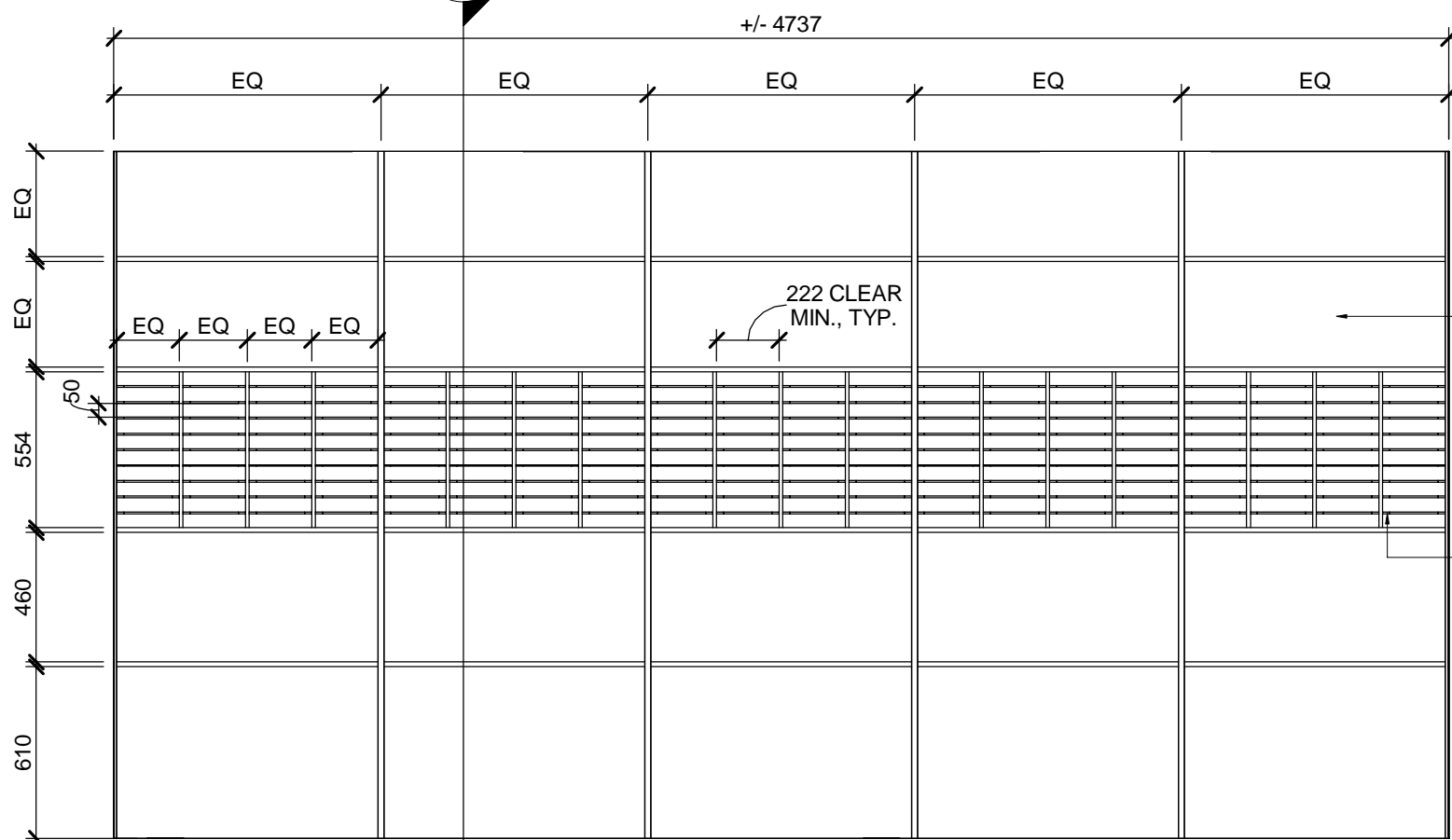
10 MILLWORK PLAN MW-212 AND MW-212A  
A94 SCALE: 1:25



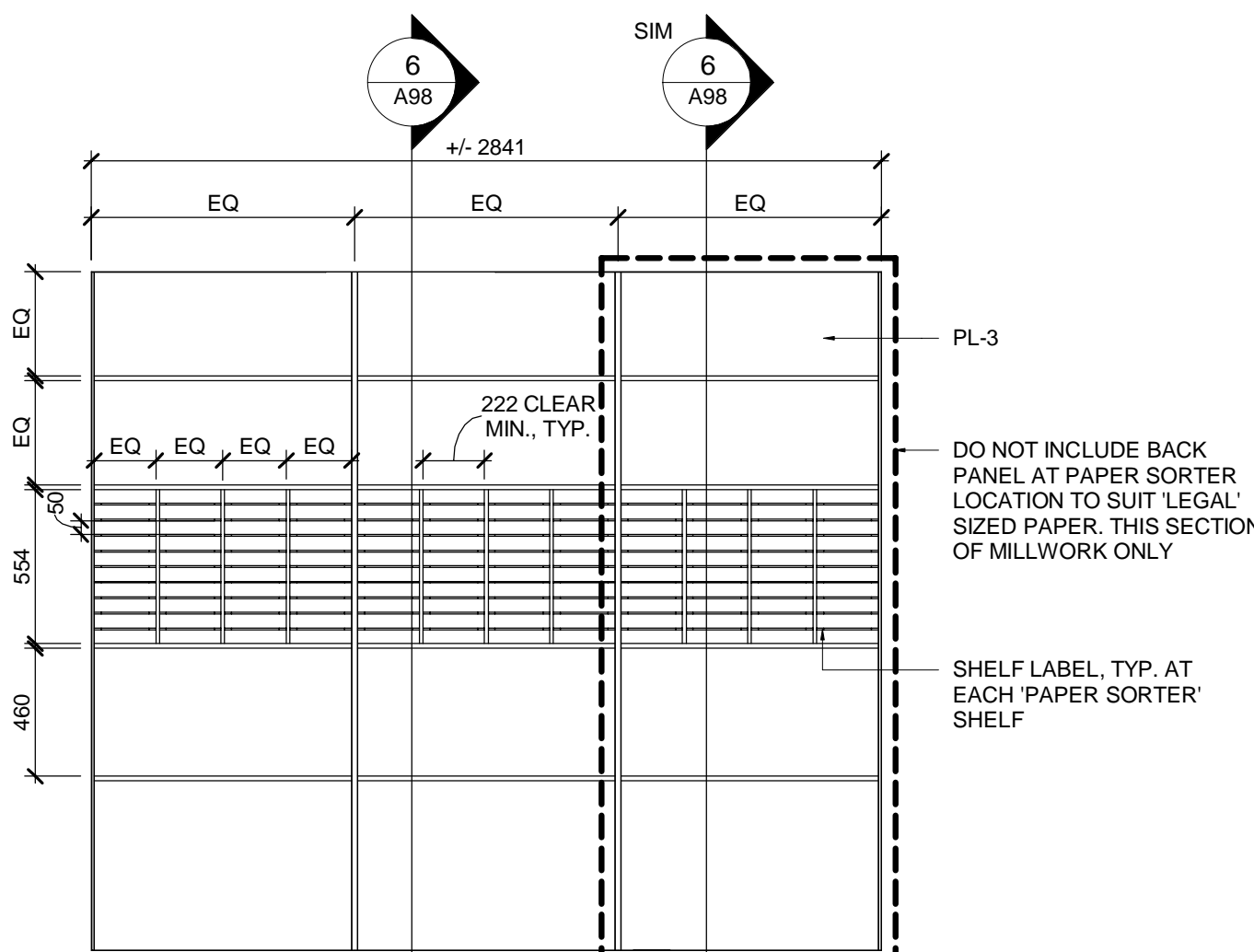
7 MILLWORK ELEVATION MW-119  
A94 SCALE: 1:25



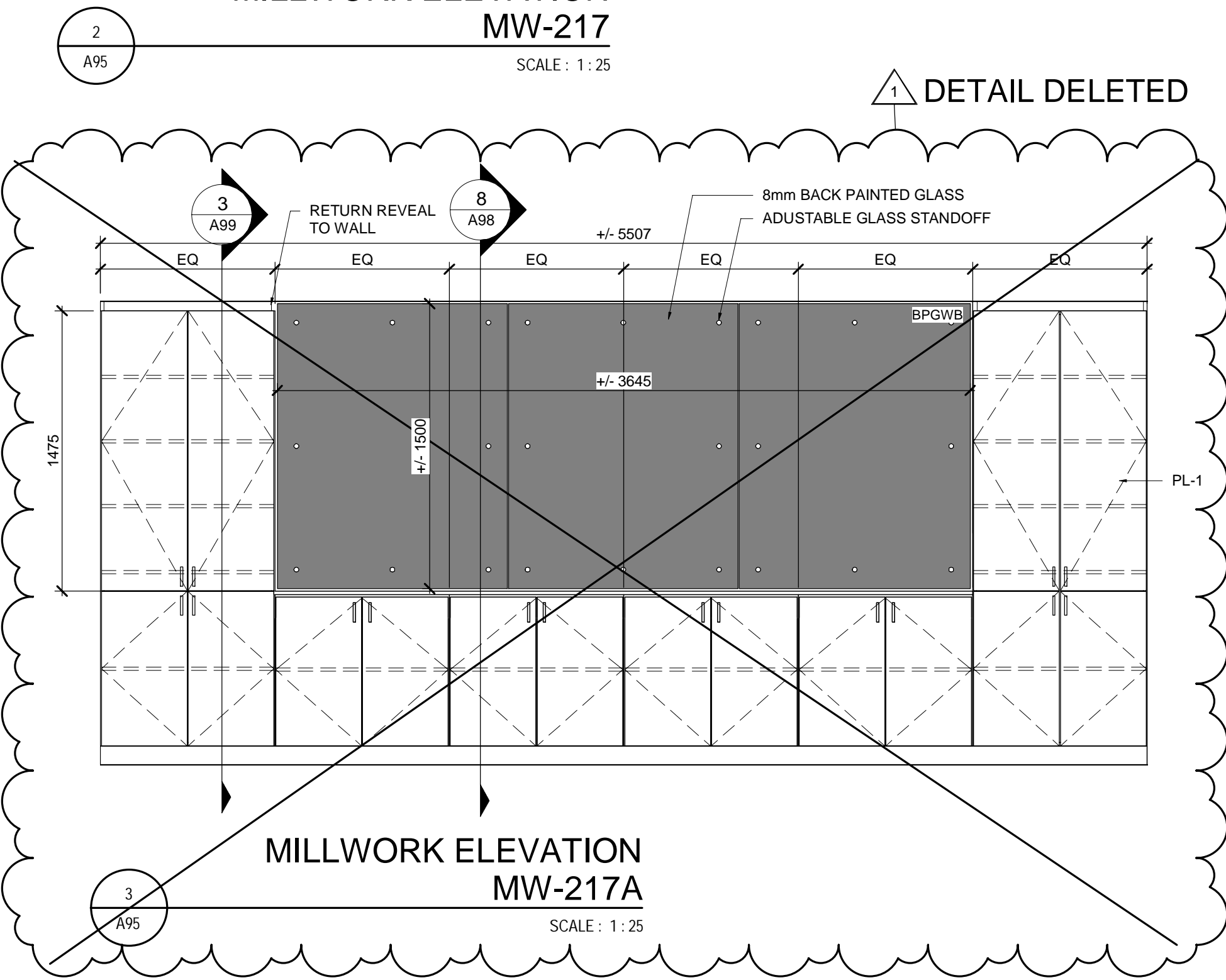
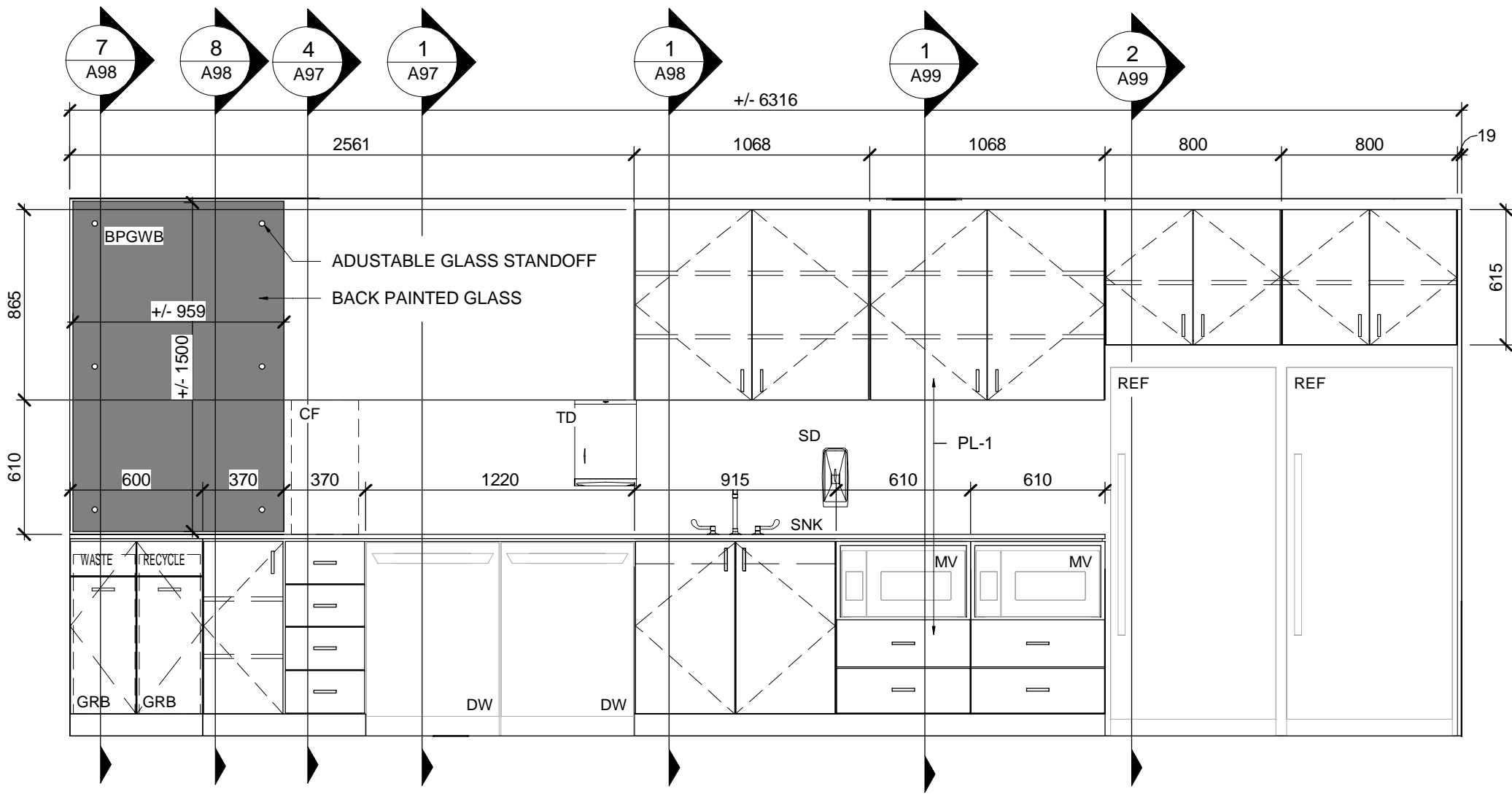
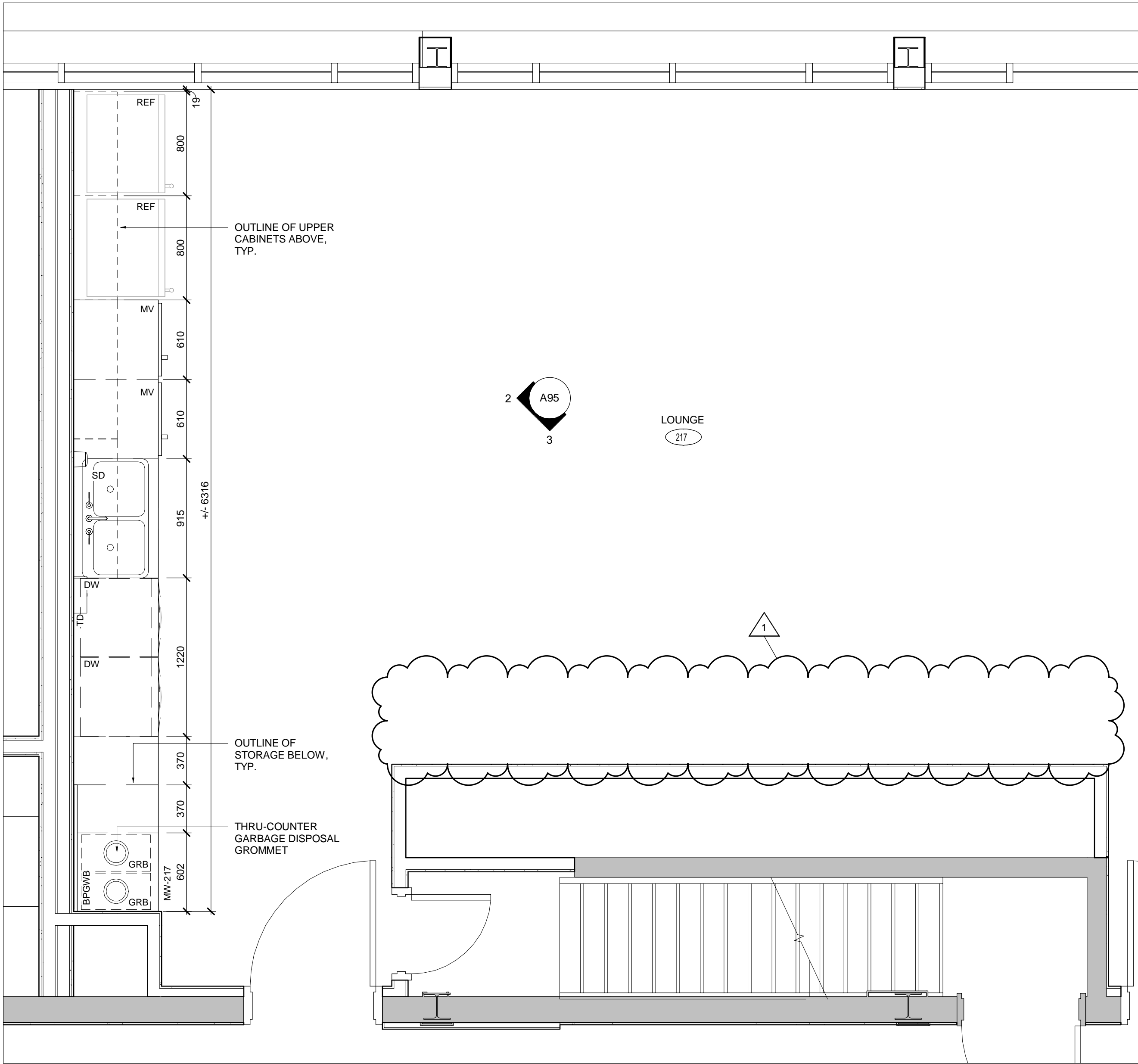
8 MILLWORK ELEVATION MW-124  
A94 SCALE: 1:25



11 MILLWORK ELEVATION MW-212  
A94 SCALE: 1:25



12 MILLWORK ELEVATION MW-212A  
A94 SCALE: 1:25



LEGEND:

- ROOM NUMBER  
MILLWORK TAG

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MV MICROWAVE, N.I.C.  
PC PHOTOCOPIER, N.I.C.  
PL- PLASTIC LAMINATE TYPE  
P.LAM PLASTIC LAMINATE  
PR PRINTER, N.I.C.  
REF REFRIGERATOR, N.I.C.  
SD SOAP DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED  
SNK SINK  
U/C REF UNDER COUNTER REFRIGERATOR, N.I.C.  
TD TOWEL DISPENSER - OWNER SUPPLIED, CONTRACTOR INSTALLED

DO NOT SCALE DRAWINGS:

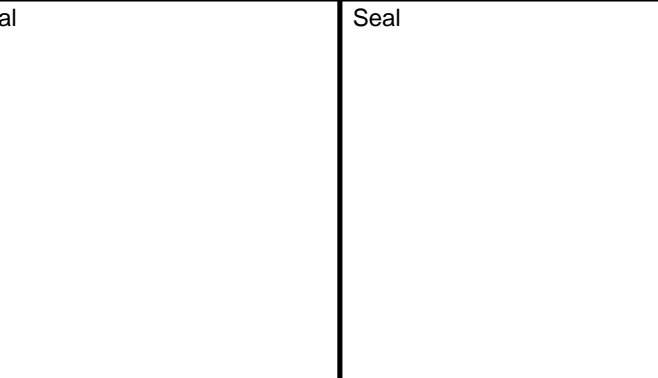
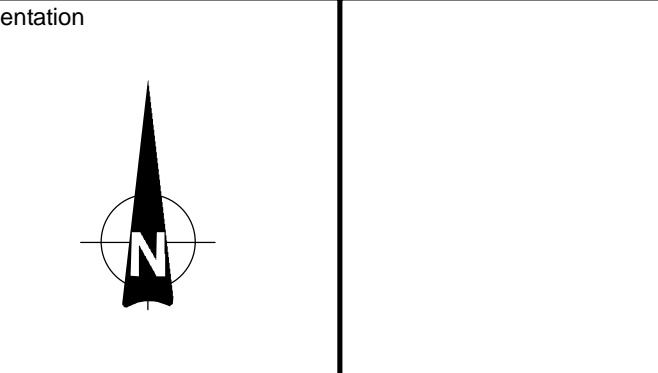
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1	ISSUED FOR CONVENIENCE	TA	APR 12, 2019
0	ISSUED FOR PERMIT & TENDER	TA	NOV 2, 2018
NO.	ISSUED	BY	DATE



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Project  
**BUILDING #046 RENOVATIONS**

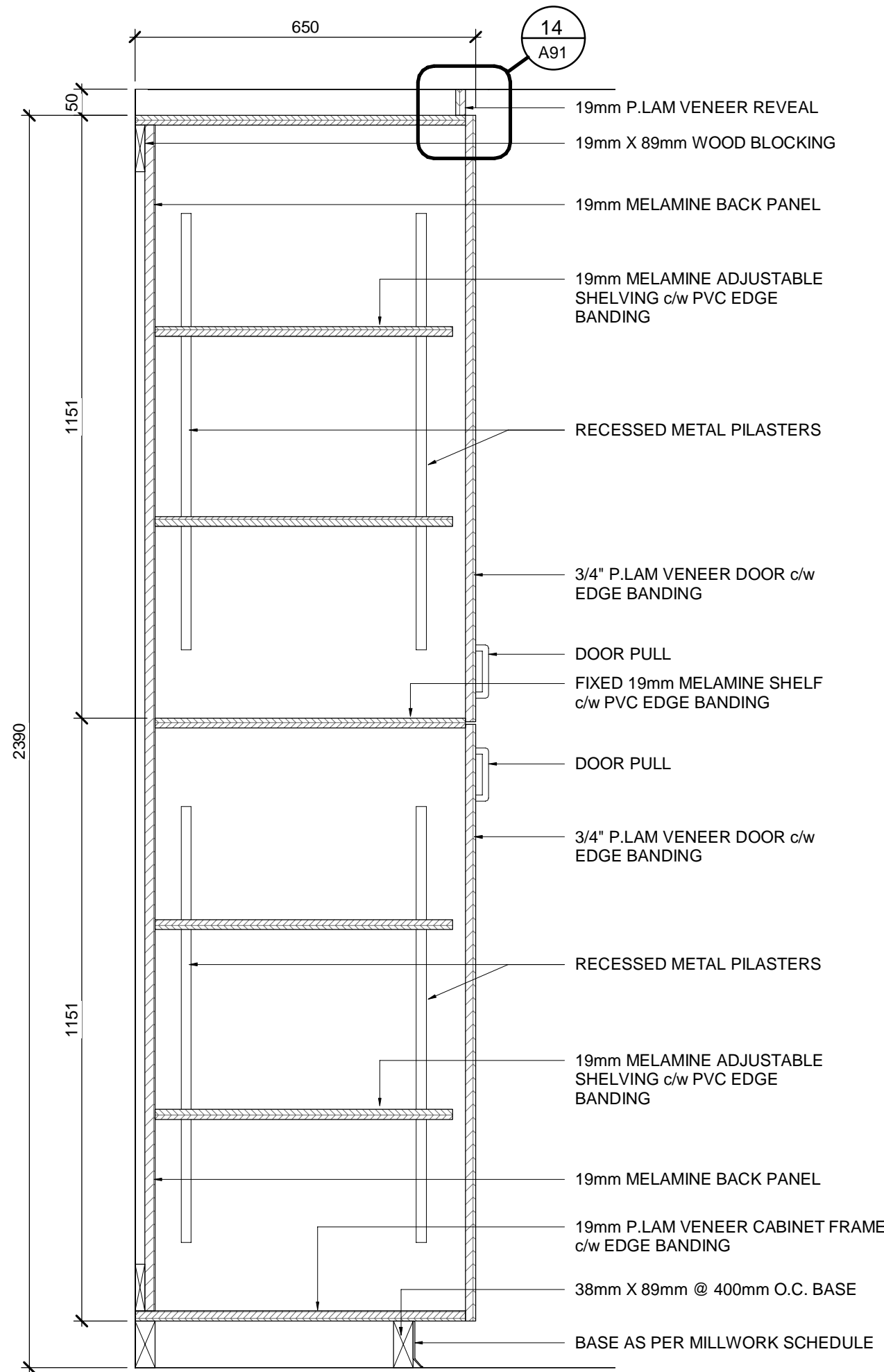
Drawing Title  
**ARCHITECTURAL MILLWORK PLANS AND ELEVATIONS**  
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

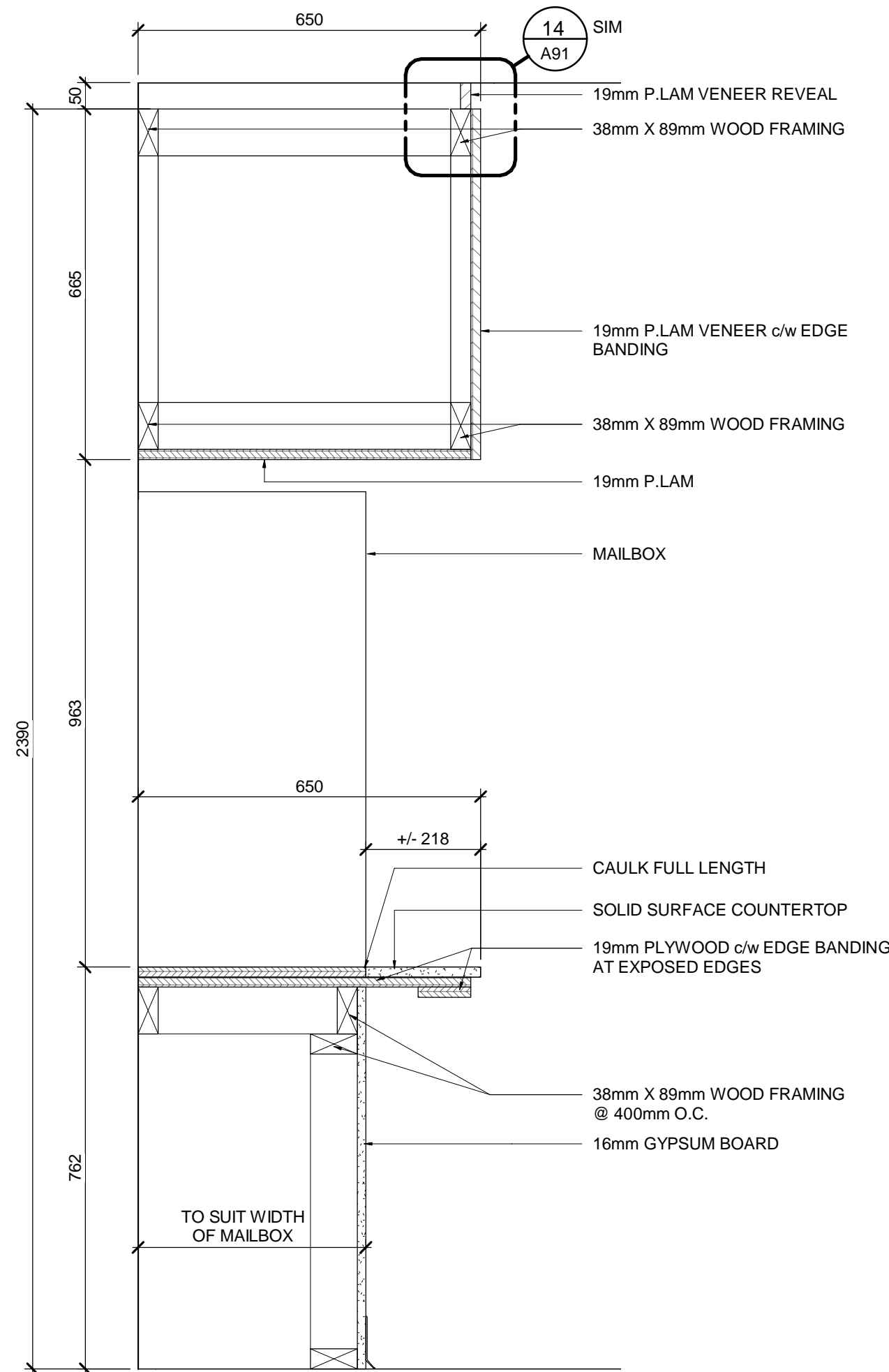
Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A95</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	



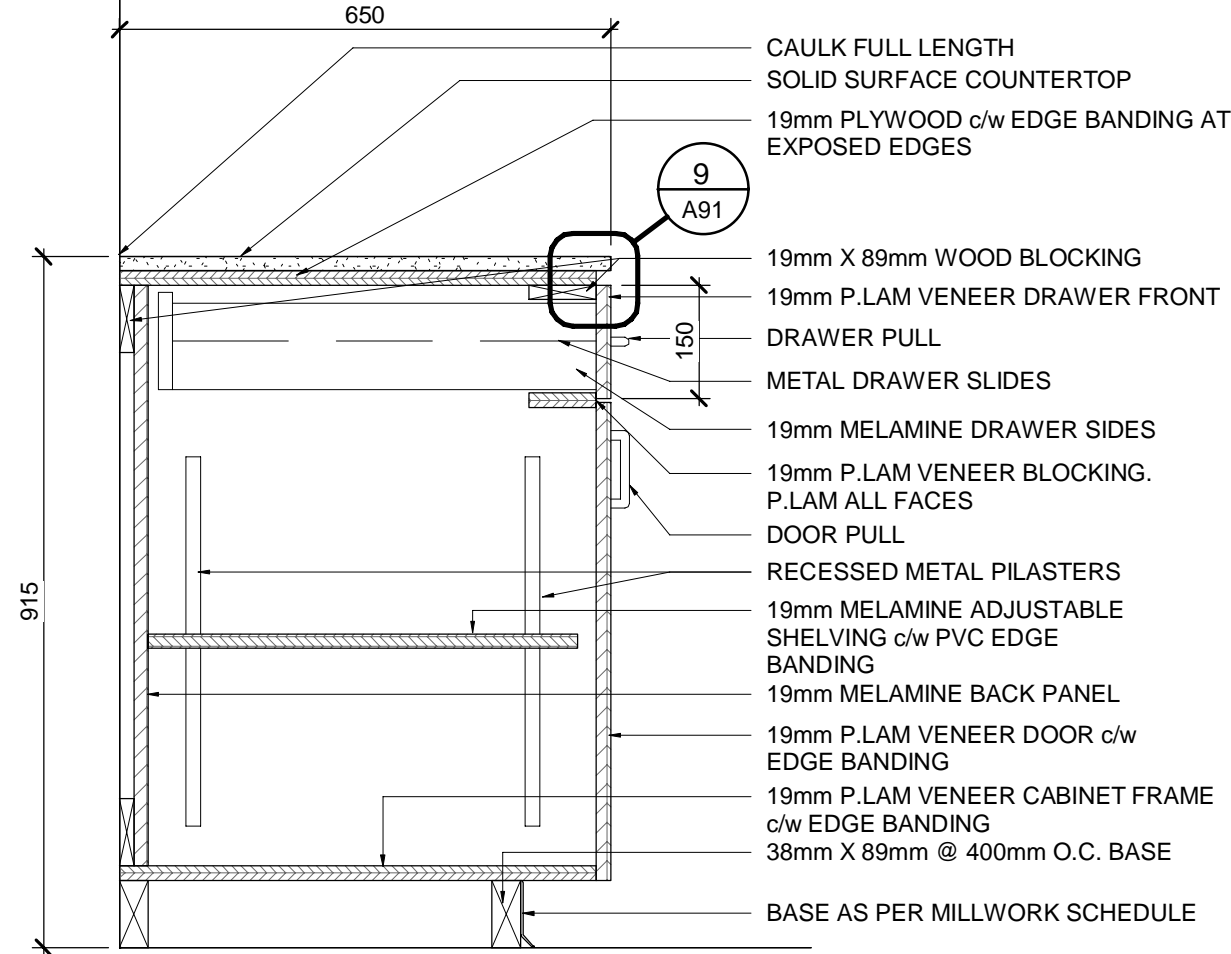
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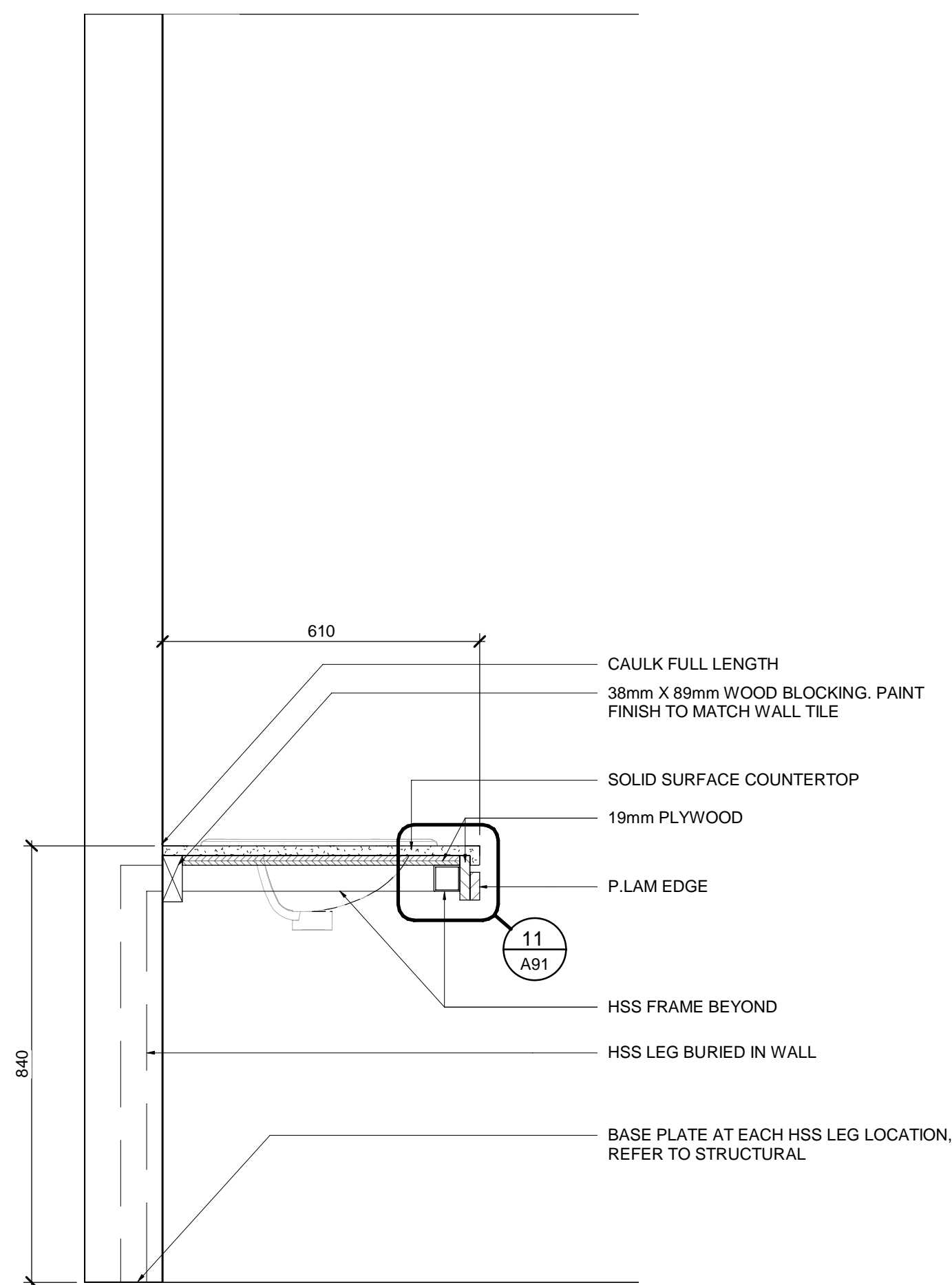
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A96  
MILLWORK SECTION  
SCALE: 1:10



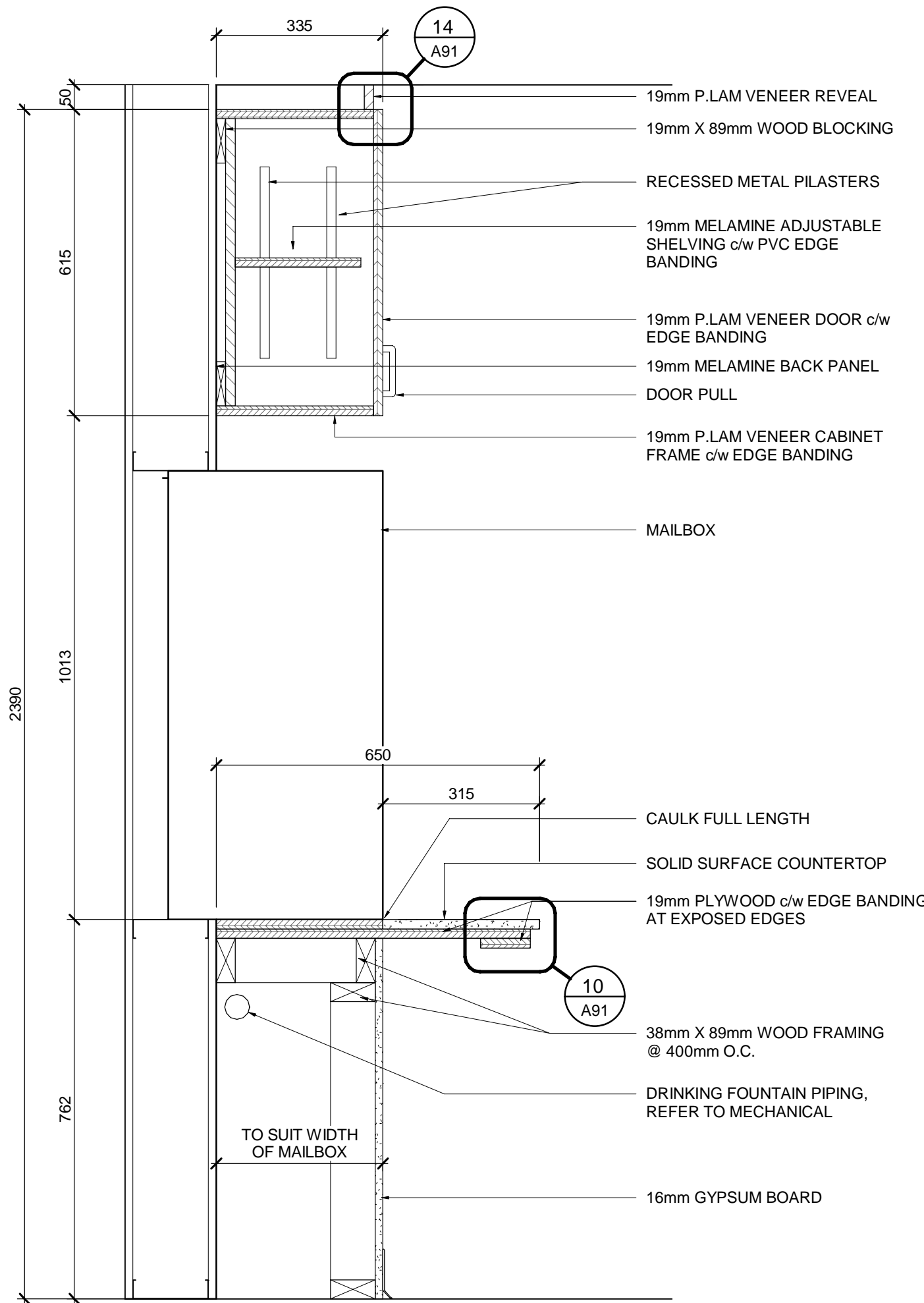
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MILLWORK SECTION  
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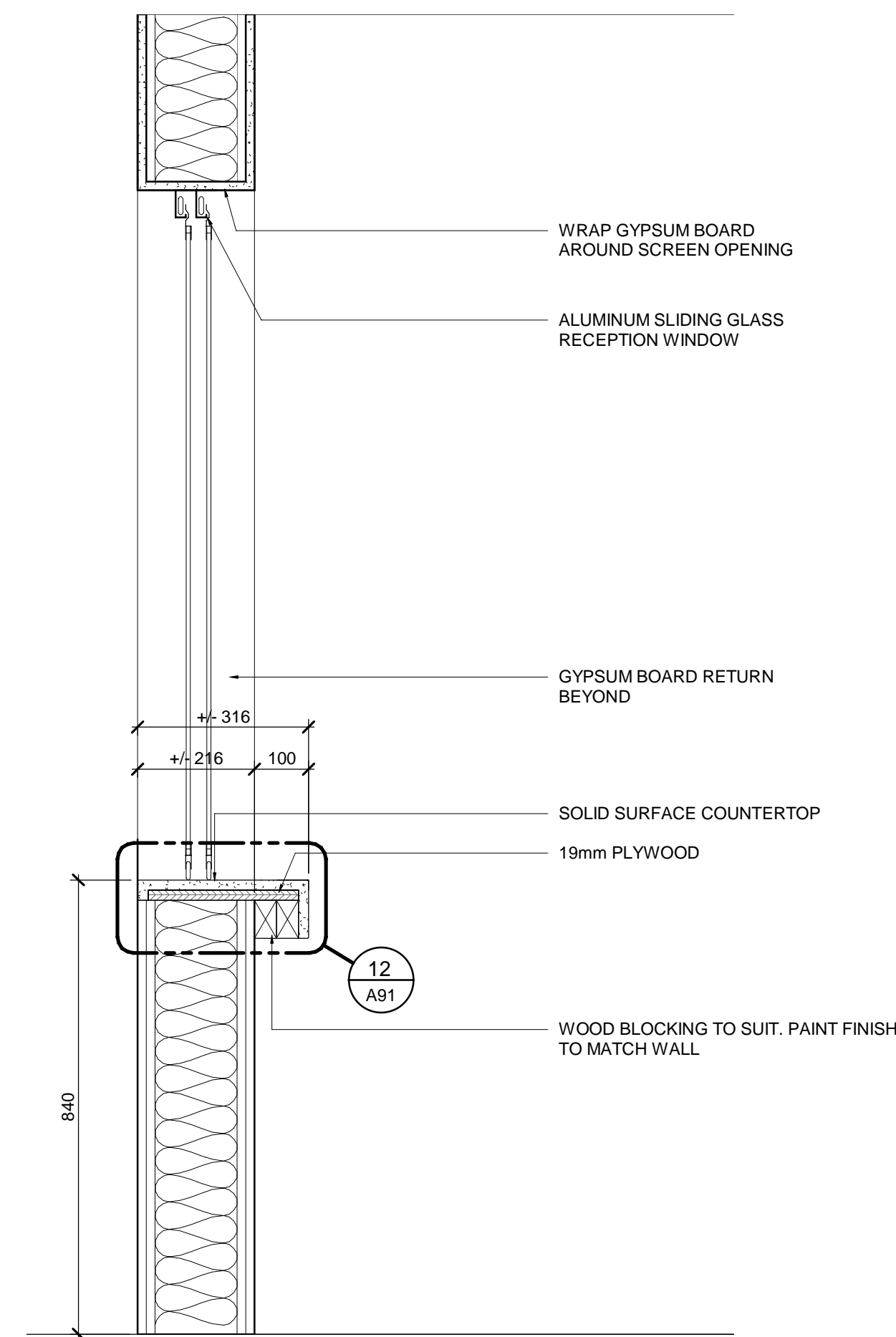
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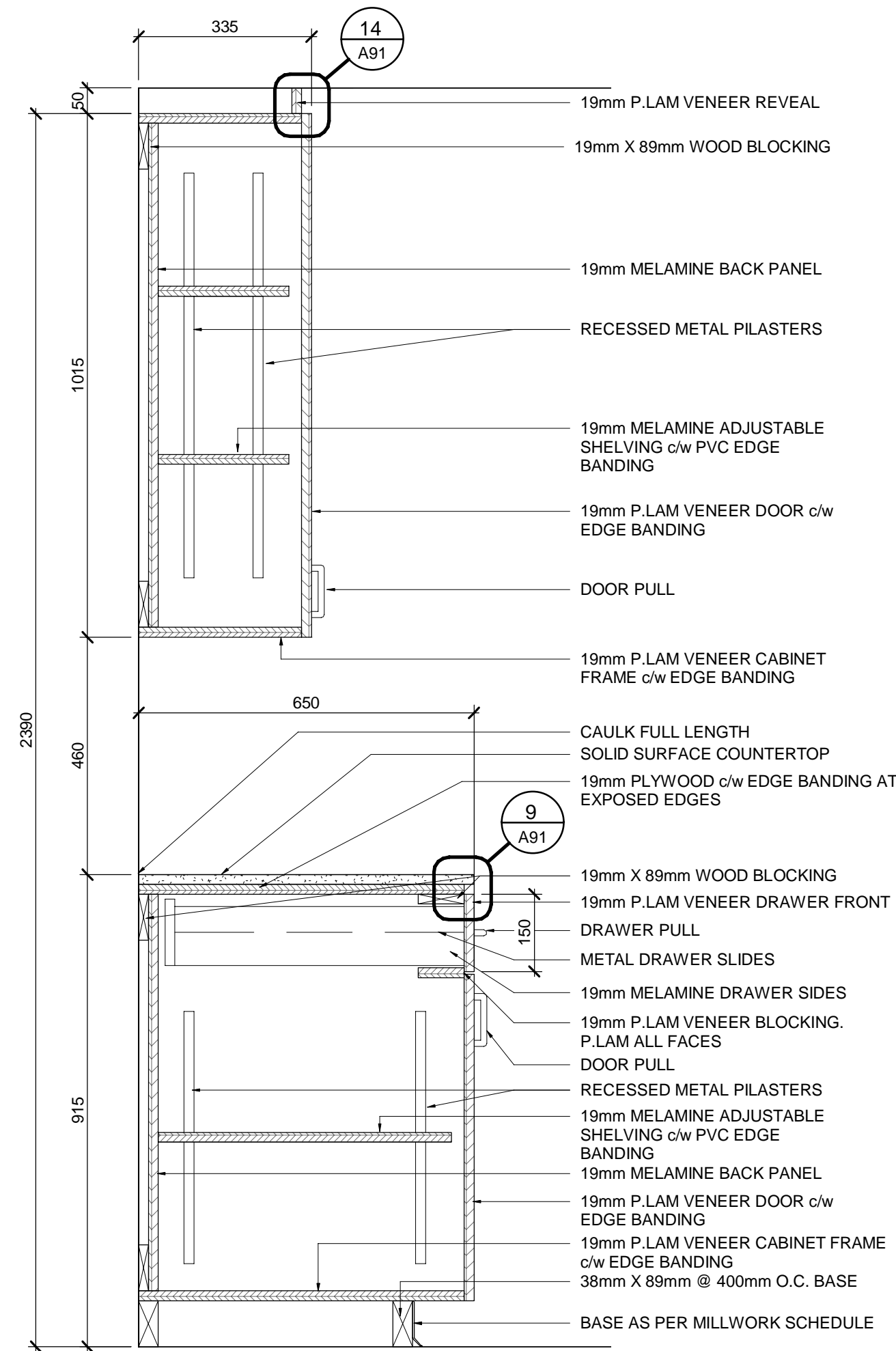
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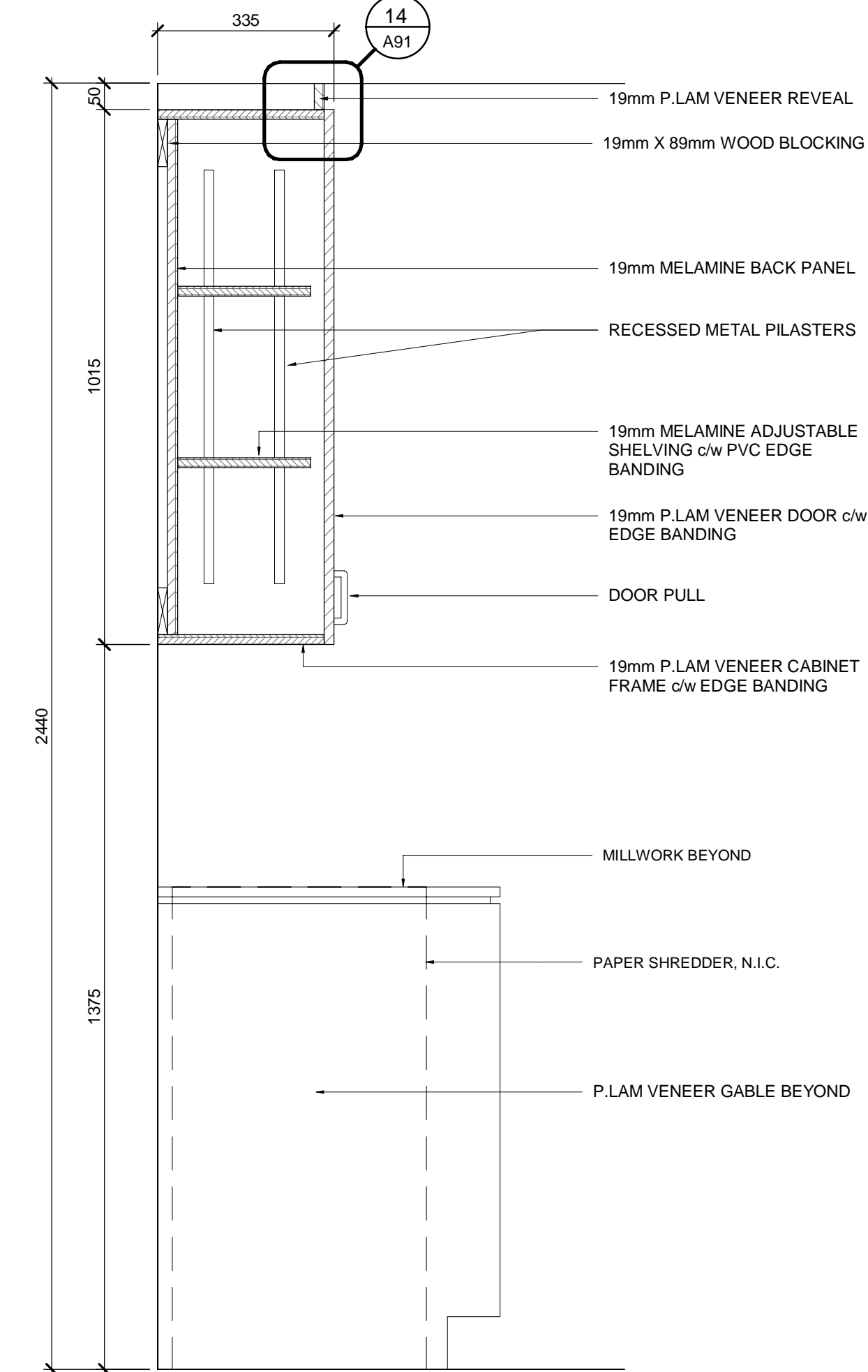
3  
A96  
MILLWORK SECTION  
SCALE: 1:10



7  
A96  
MILLWORK SECTION  
SCALE: 1:10



4  
A96  
MILLWORK SECTION  
SCALE: 1:10



8  
A96  
MILLWORK SECTION  
SCALE: 1:10

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Orientation	
Seal	Seal

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Consultant www.jrichards.ca

JR J.L.Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046  
RENOVATIONS**

Drawing Title  
**ARCHITECTURAL  
MILLWORK SECTIONS**

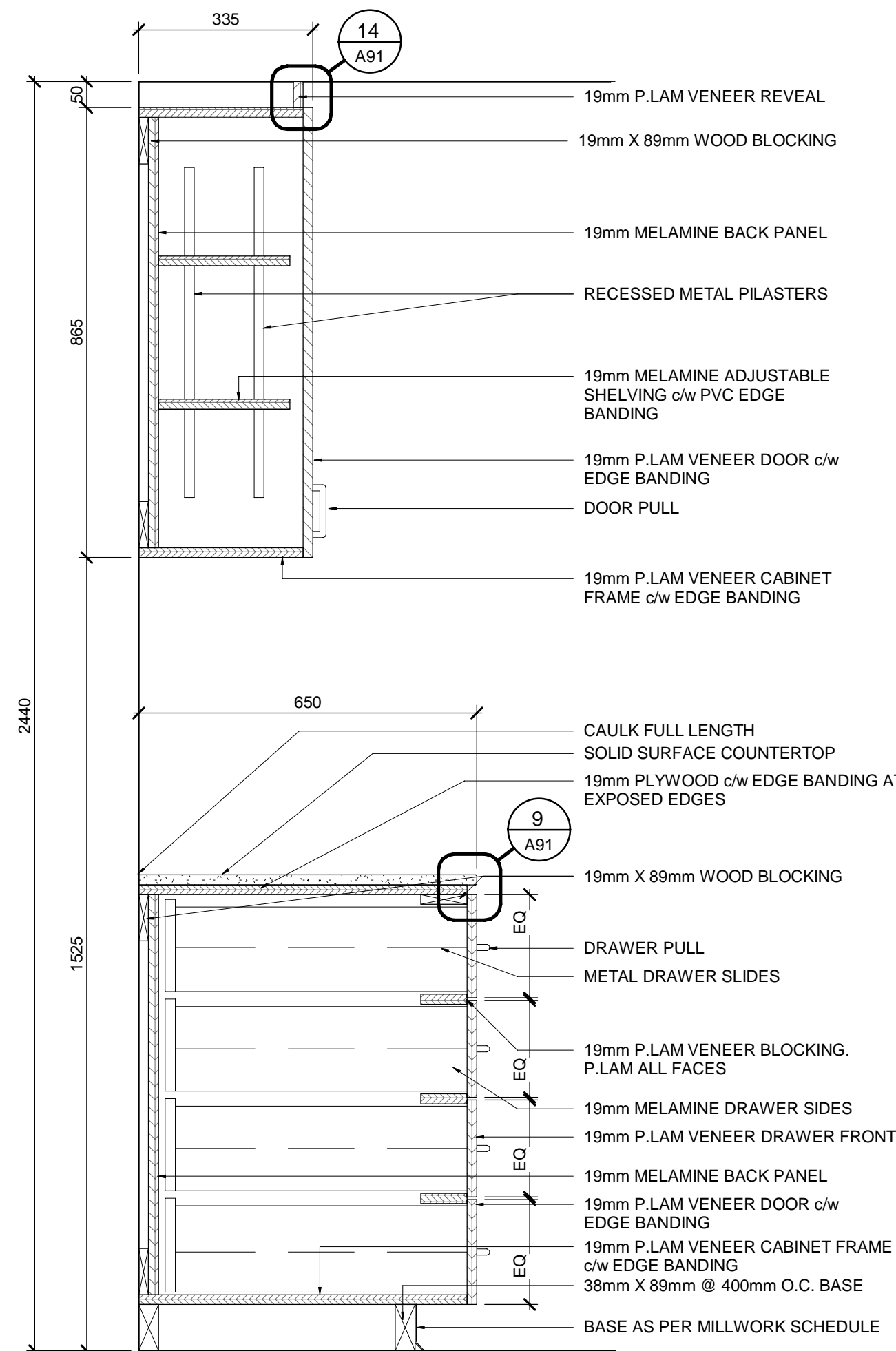
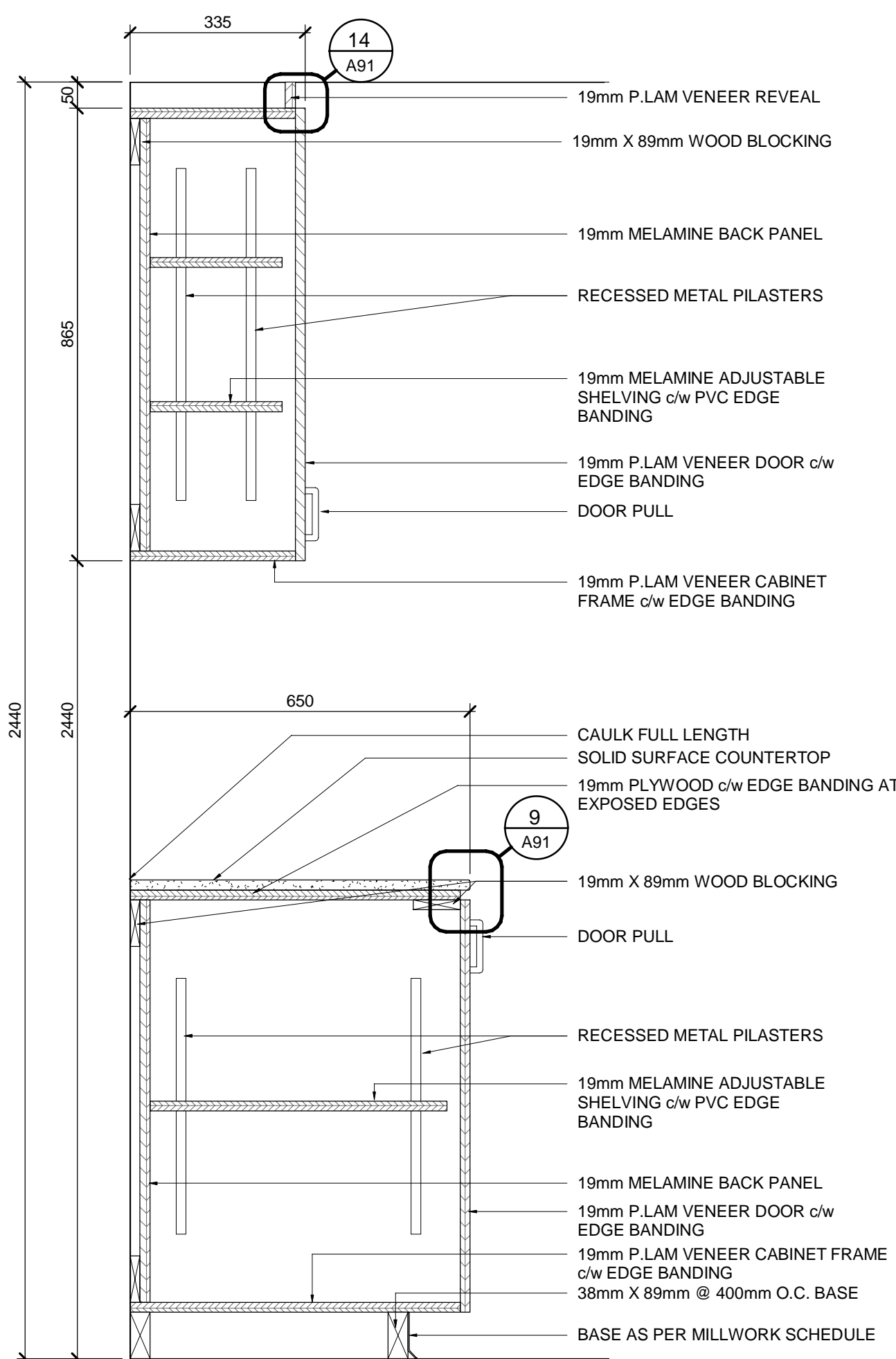
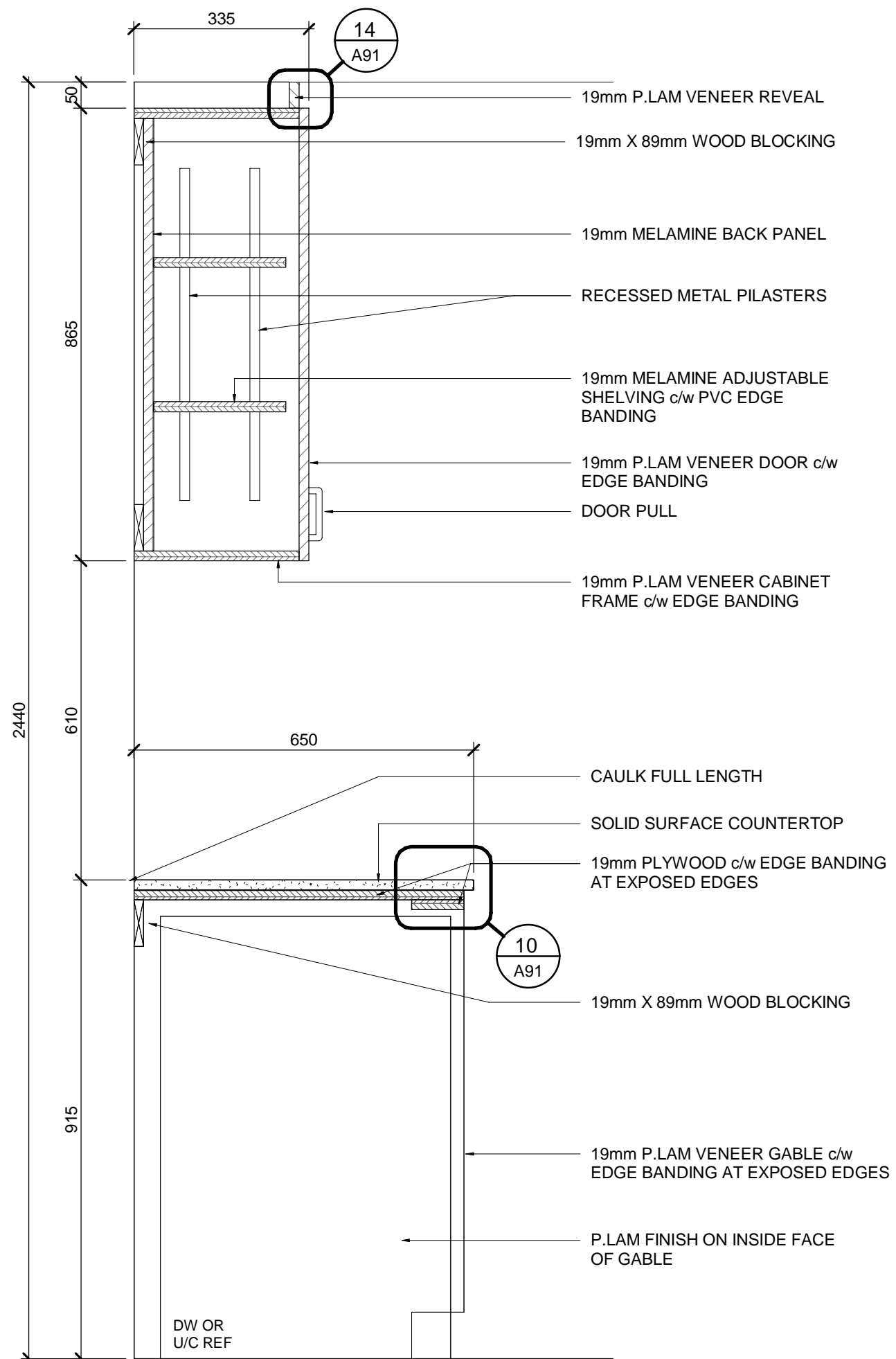
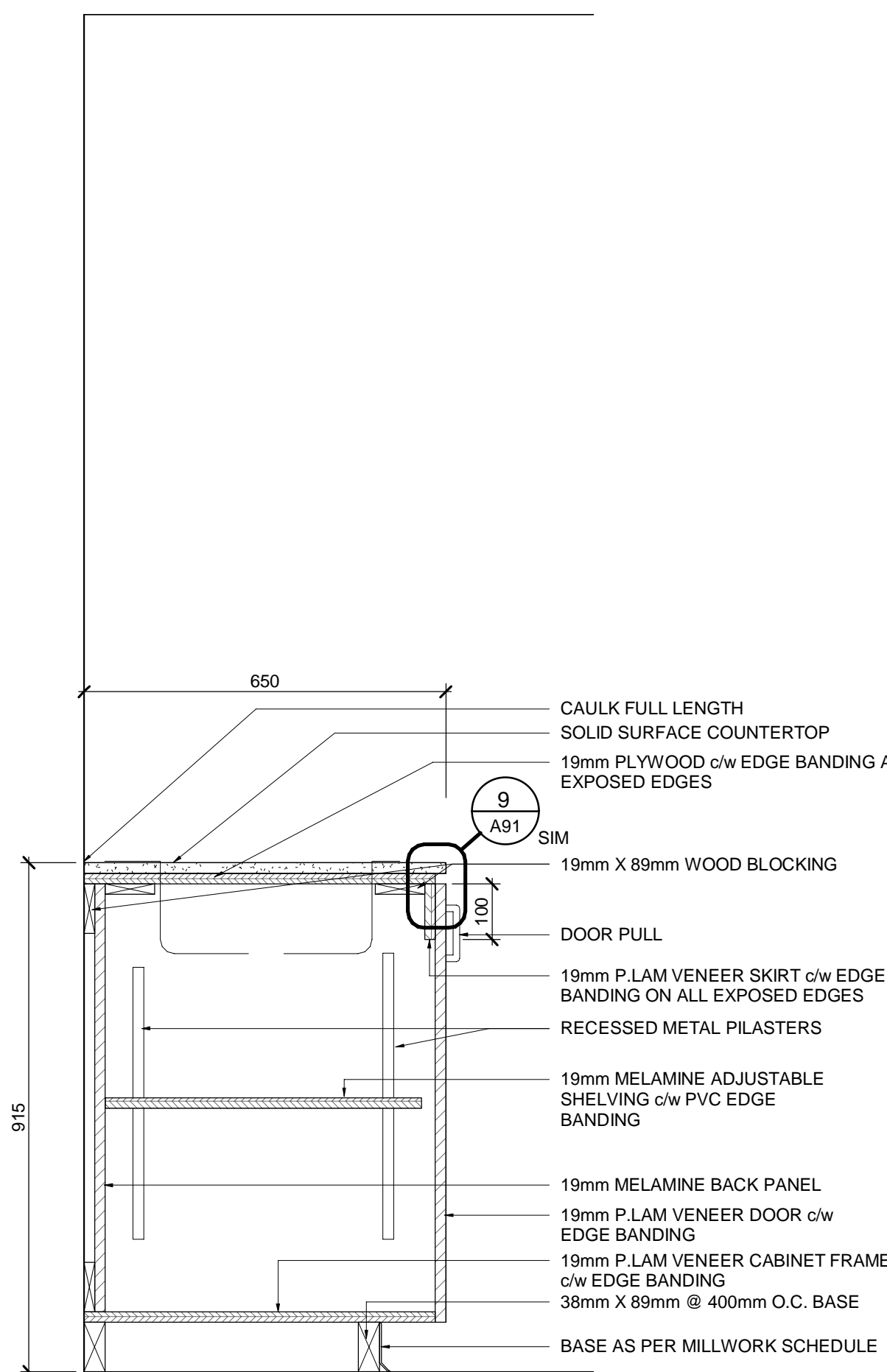
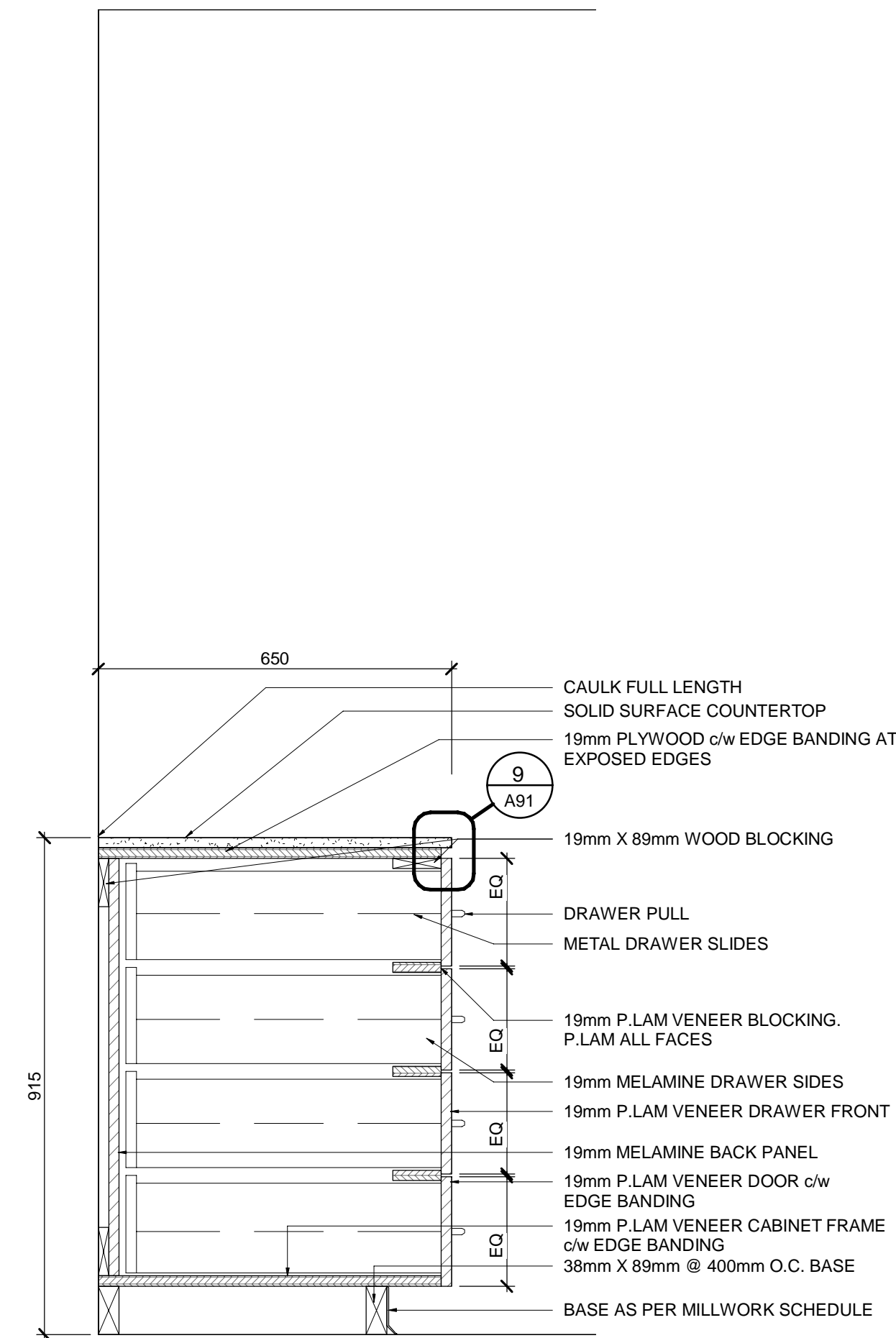
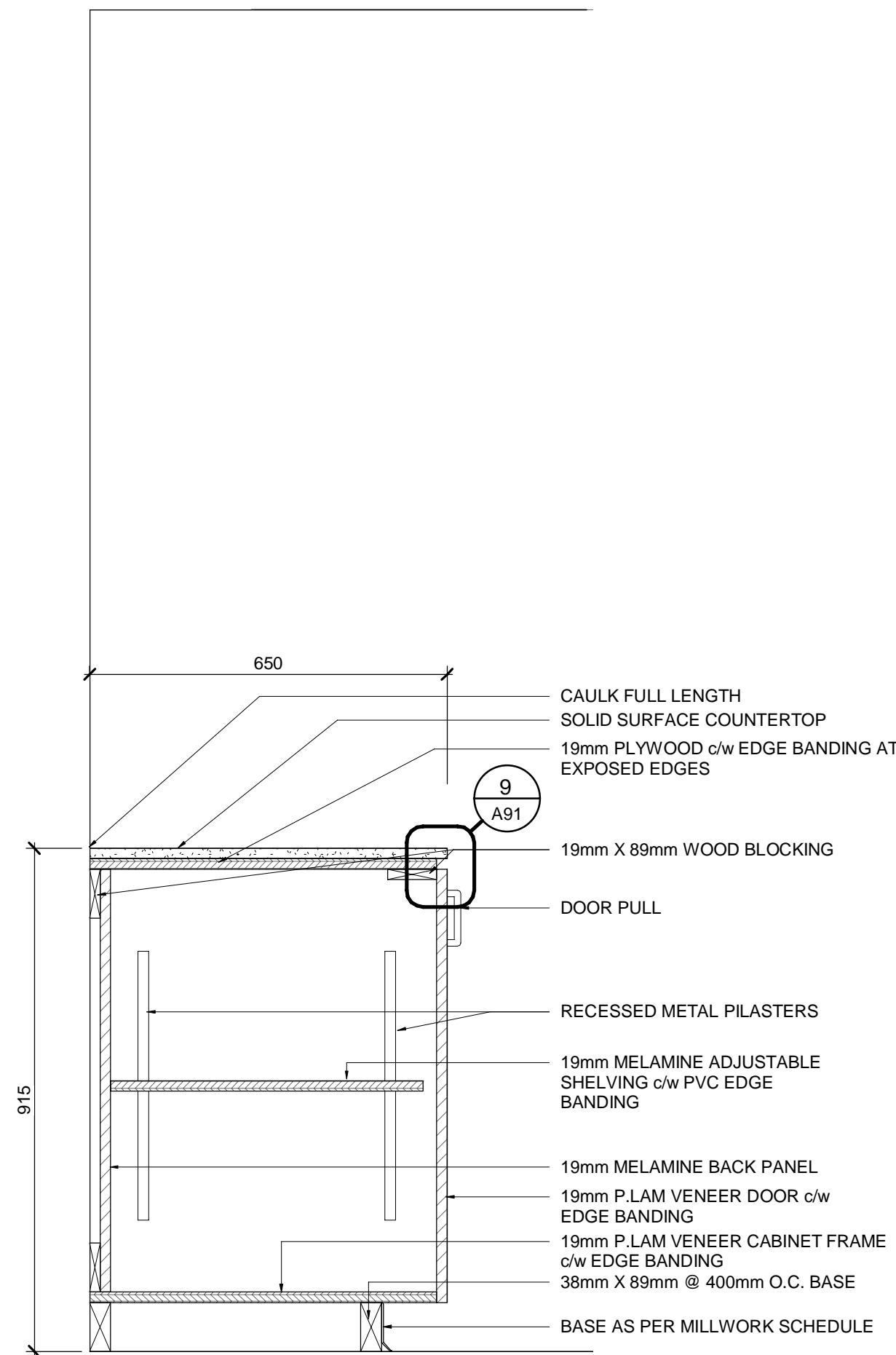
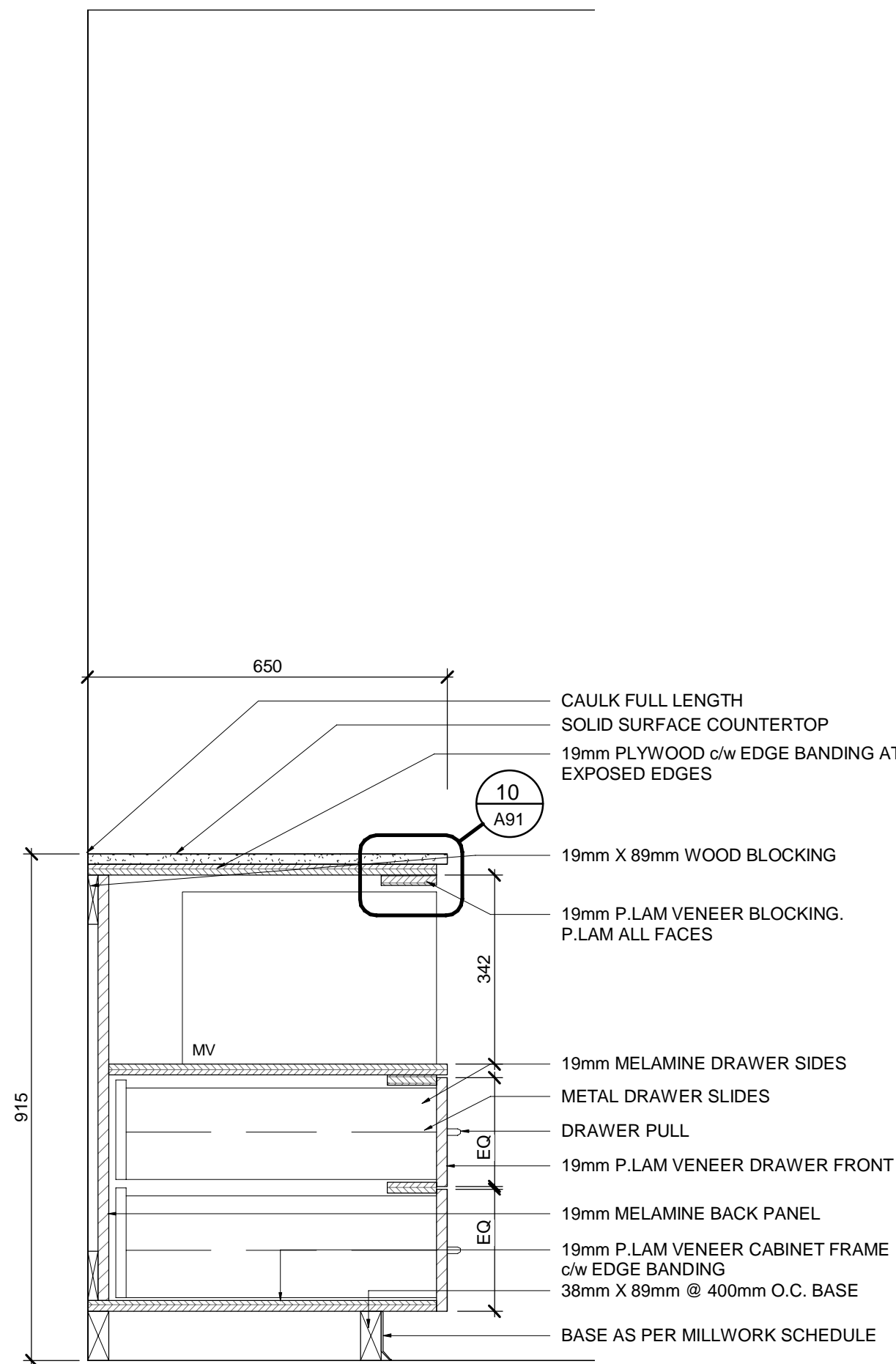
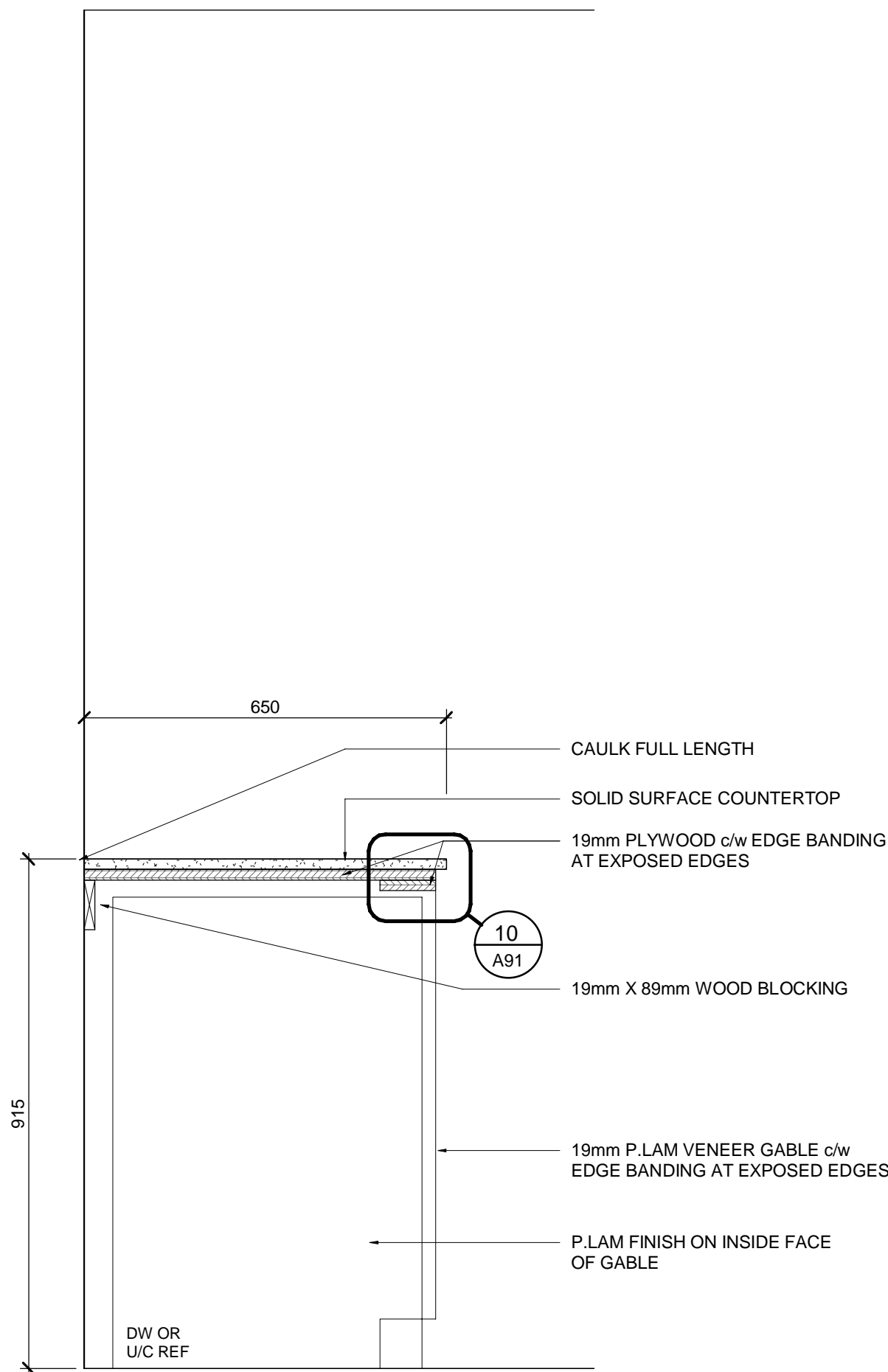
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A96</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 9:01:38 AM

File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.dwg



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Orientation

Seal

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**J.R.** J.L.Richards  
ENGINEERS - ARCHITECTS - PLANNERS

Project

**BUILDING #046  
RENOVATIONS**

Drawing Title

**ARCHITECTURAL  
MILLWORK SECTIONS**

Project No.

**504034**

Location

**UNIVERSITY OF GUELPH  
BUILDING #046**

Scale

AS INDICATED

Drawn By

DCJ

Checked By

TA

Approved By

RPC

JLR #:

27915

Cad File No.

Date

APR 12, 2019

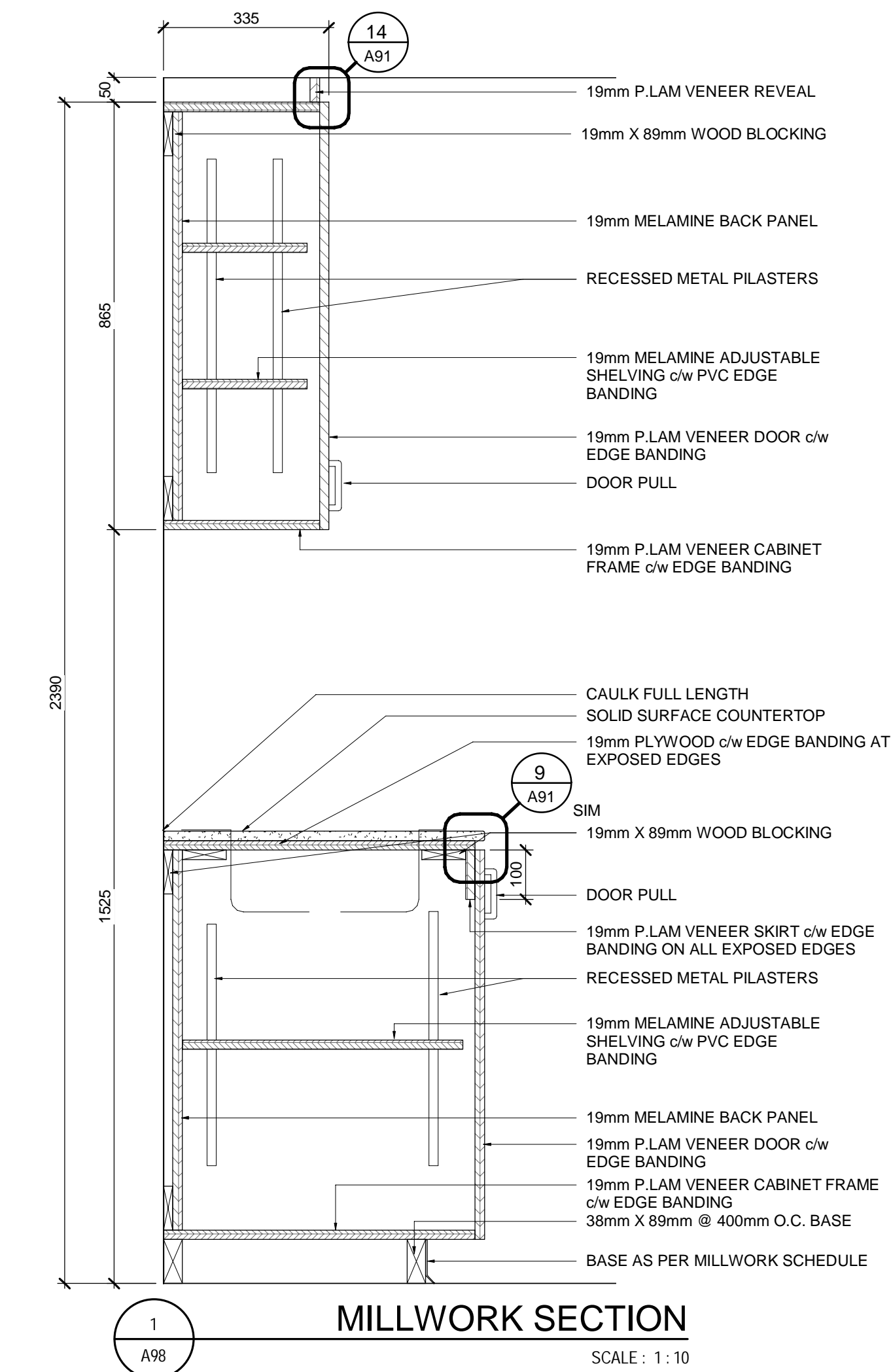
Drawing No.

**A97**

PLOT DATE: 2019-04-11 9:01:44 AM

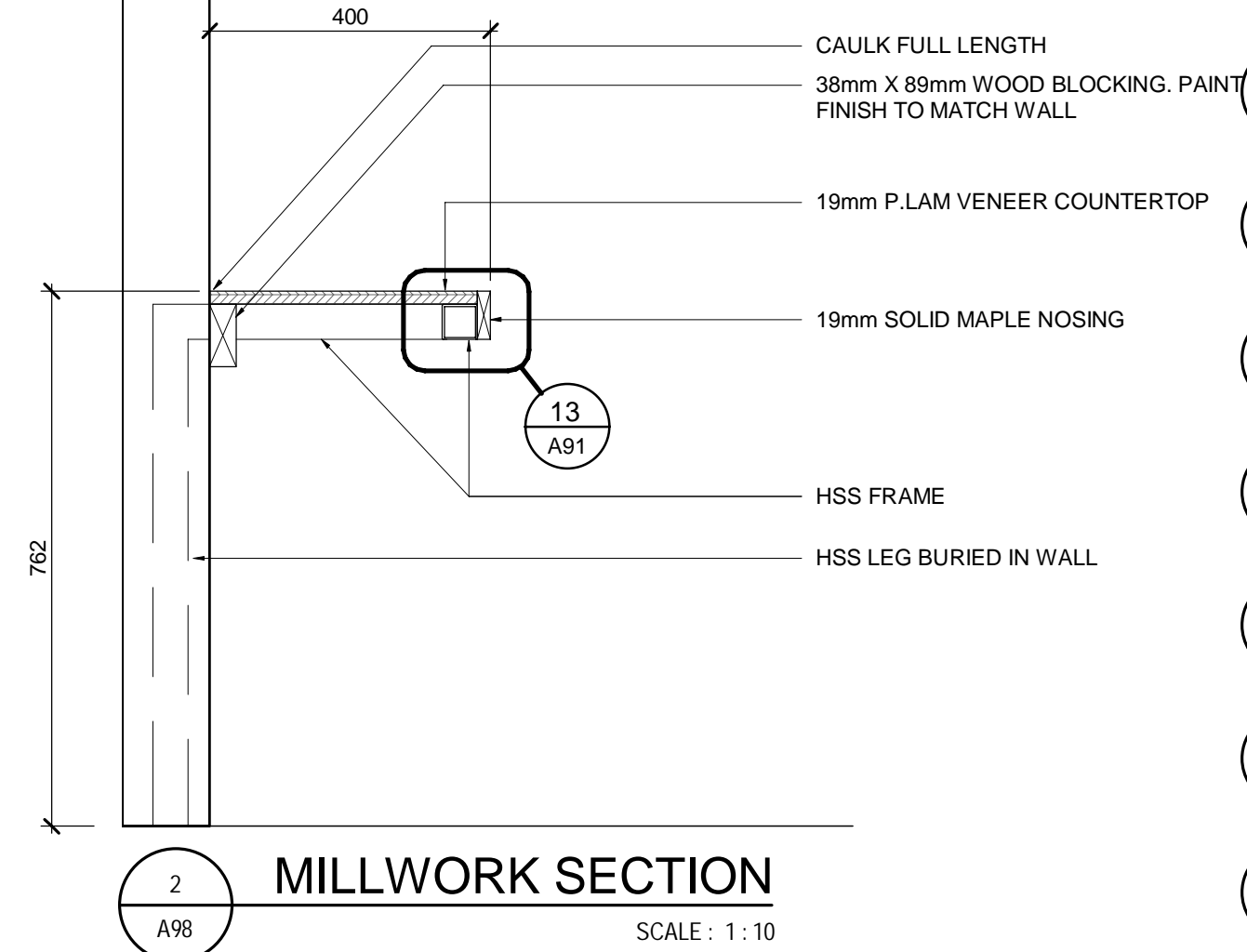


File Location: C:\Users\DJones\Desktop\27915-000-1 - ARCH MODEL.dwg



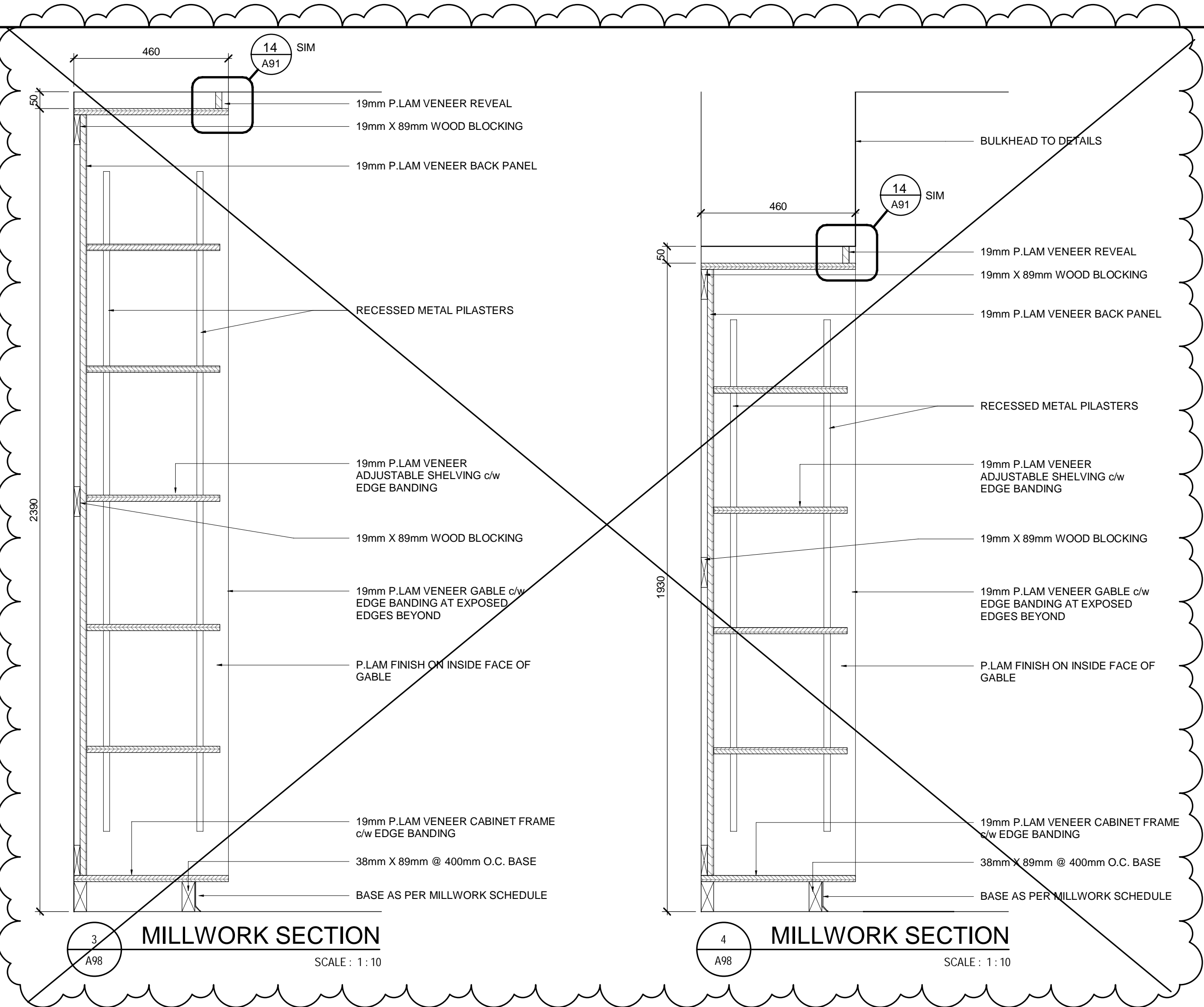
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SCALE : 1 : 10



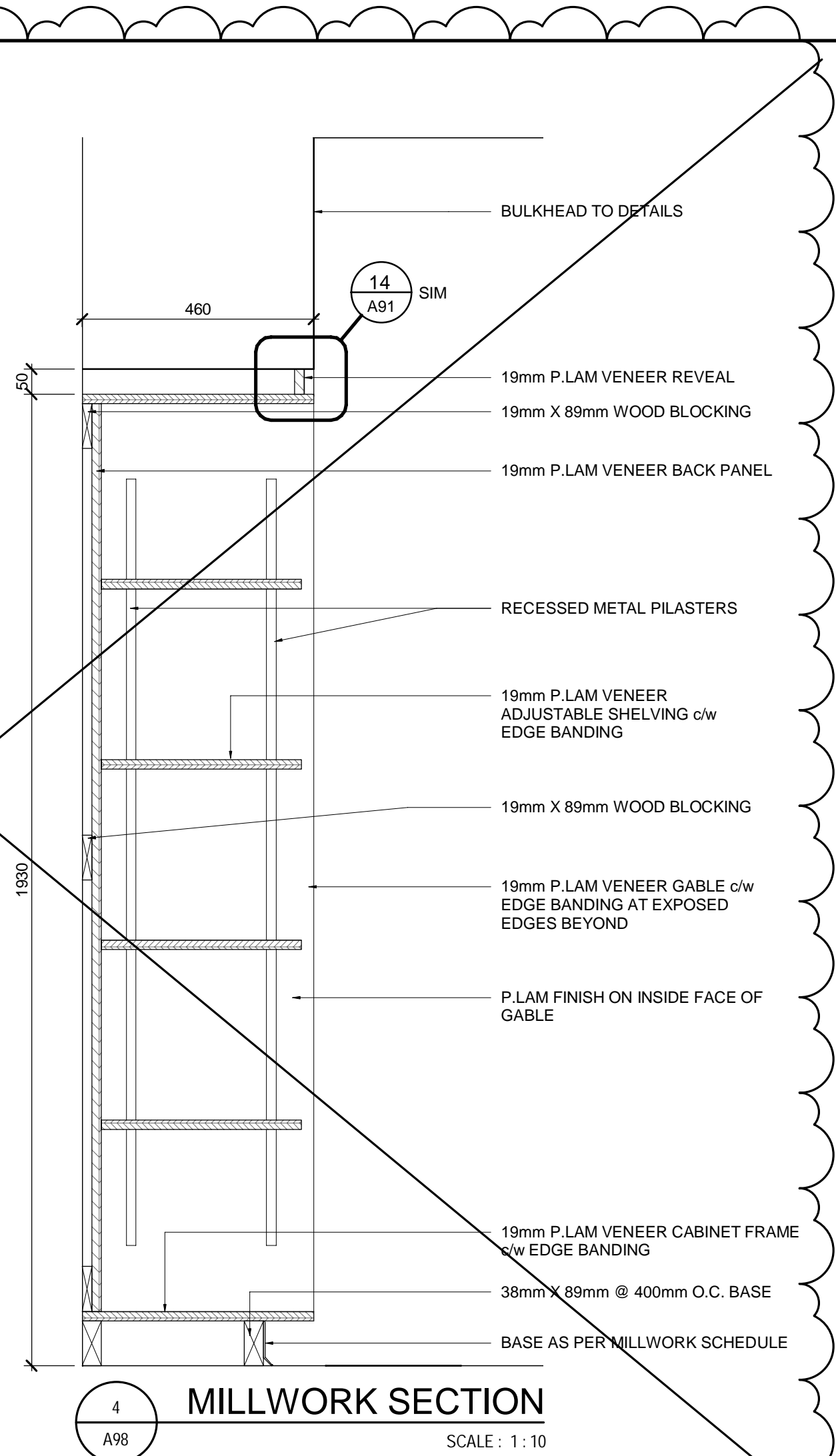
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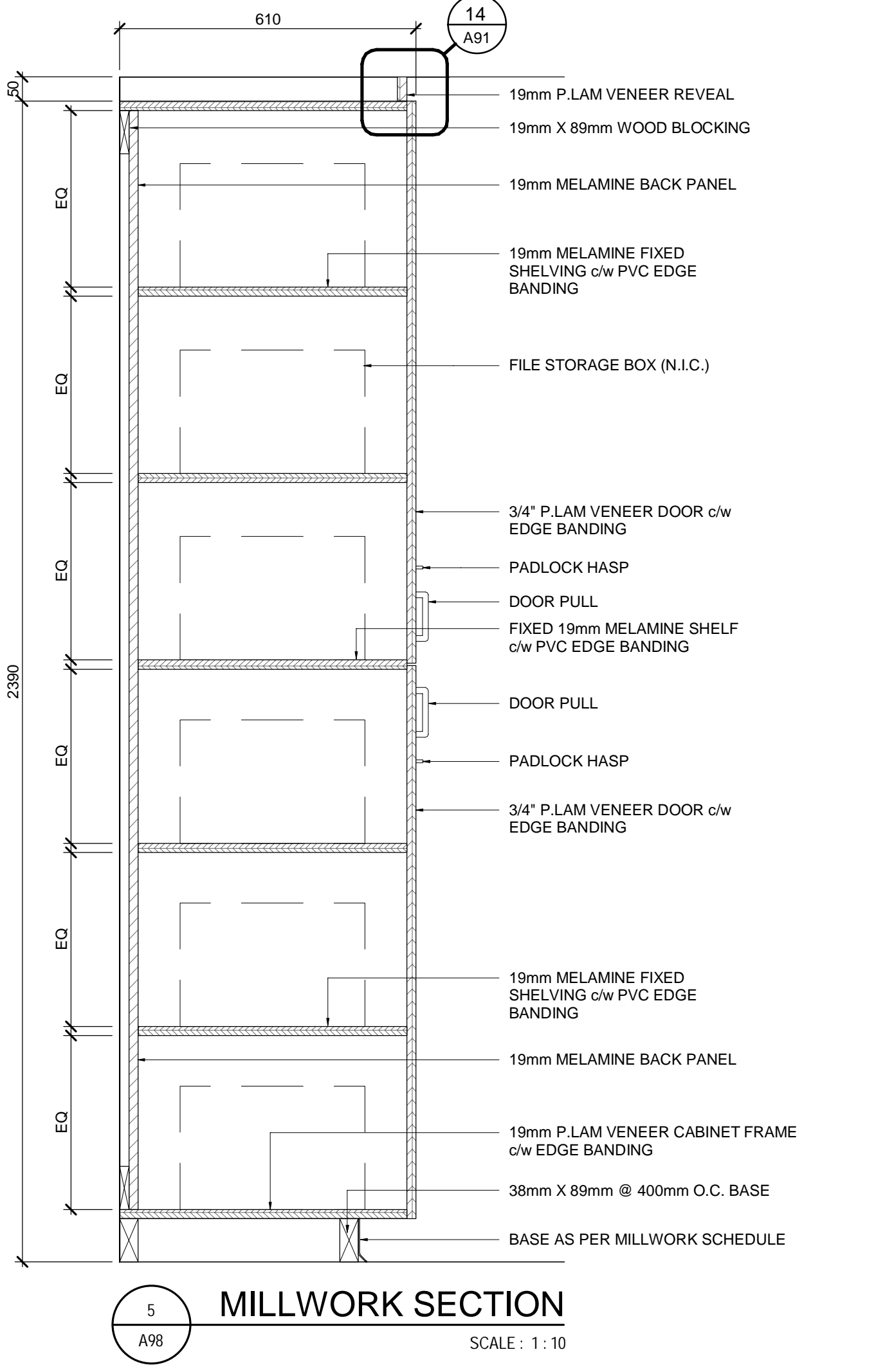
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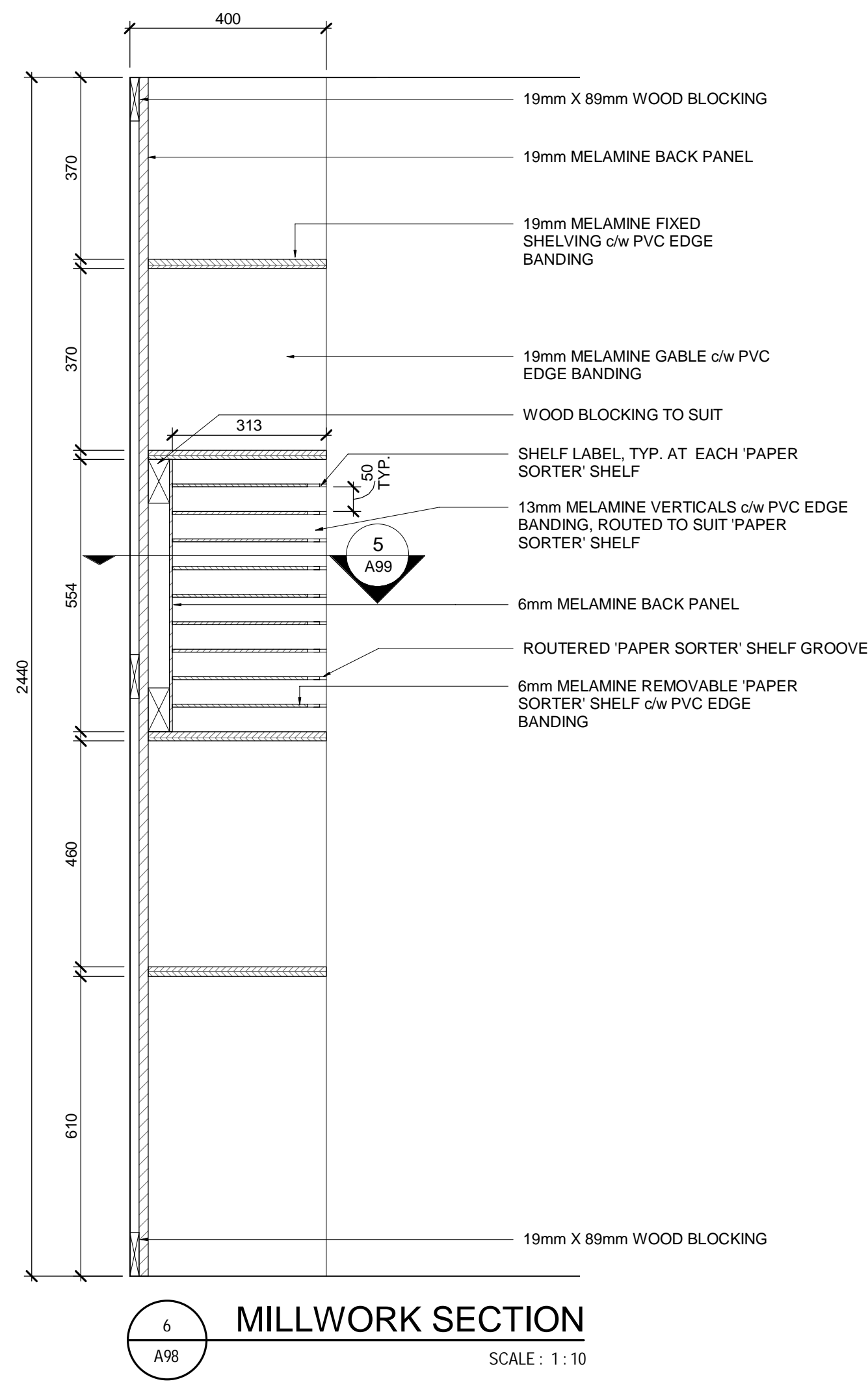
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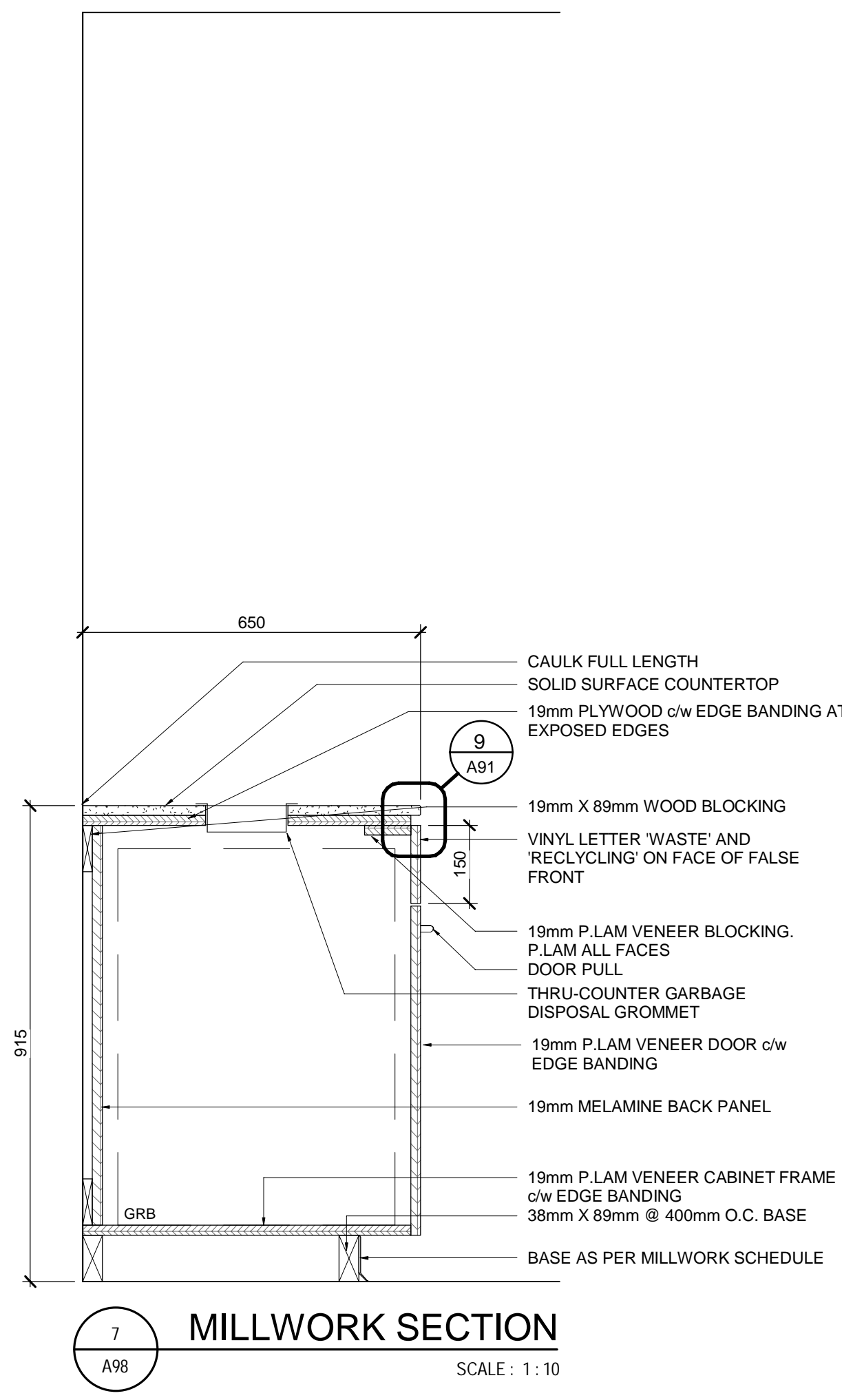
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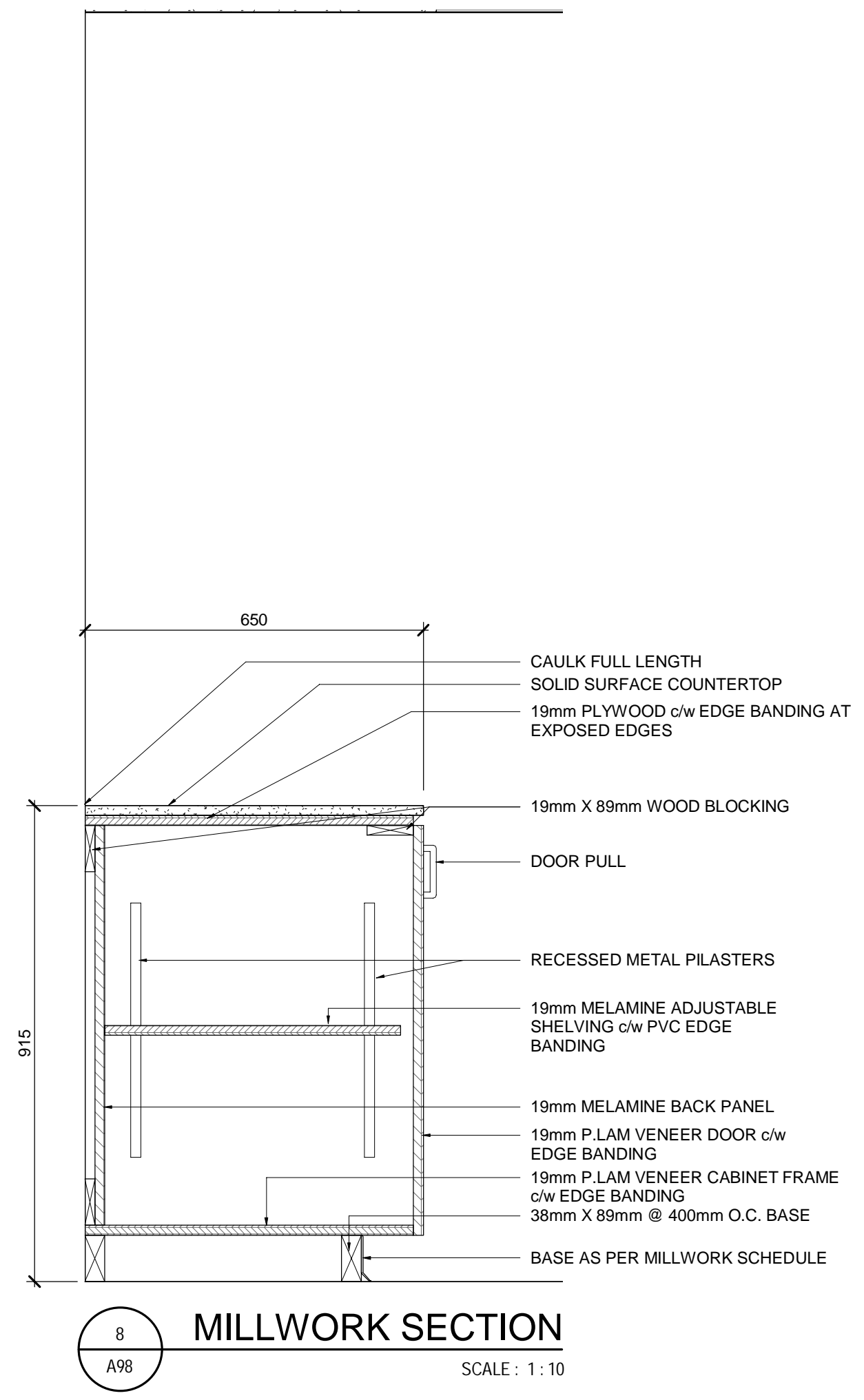
**MILLWORK SECTION**

SCALE : 1 : 10



**MILLWORK SECTION**

SCALE : 1 : 10



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SCALE : 1 : 10

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Seal	Seal

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**J.L. Richards**  
ENGINEERS - ARCHITECTS - PLANNERS

Project  
**BUILDING #046 RENOVATIONS**

Drawing Title  
**ARCHITECTURAL MILLWORK SECTIONS**

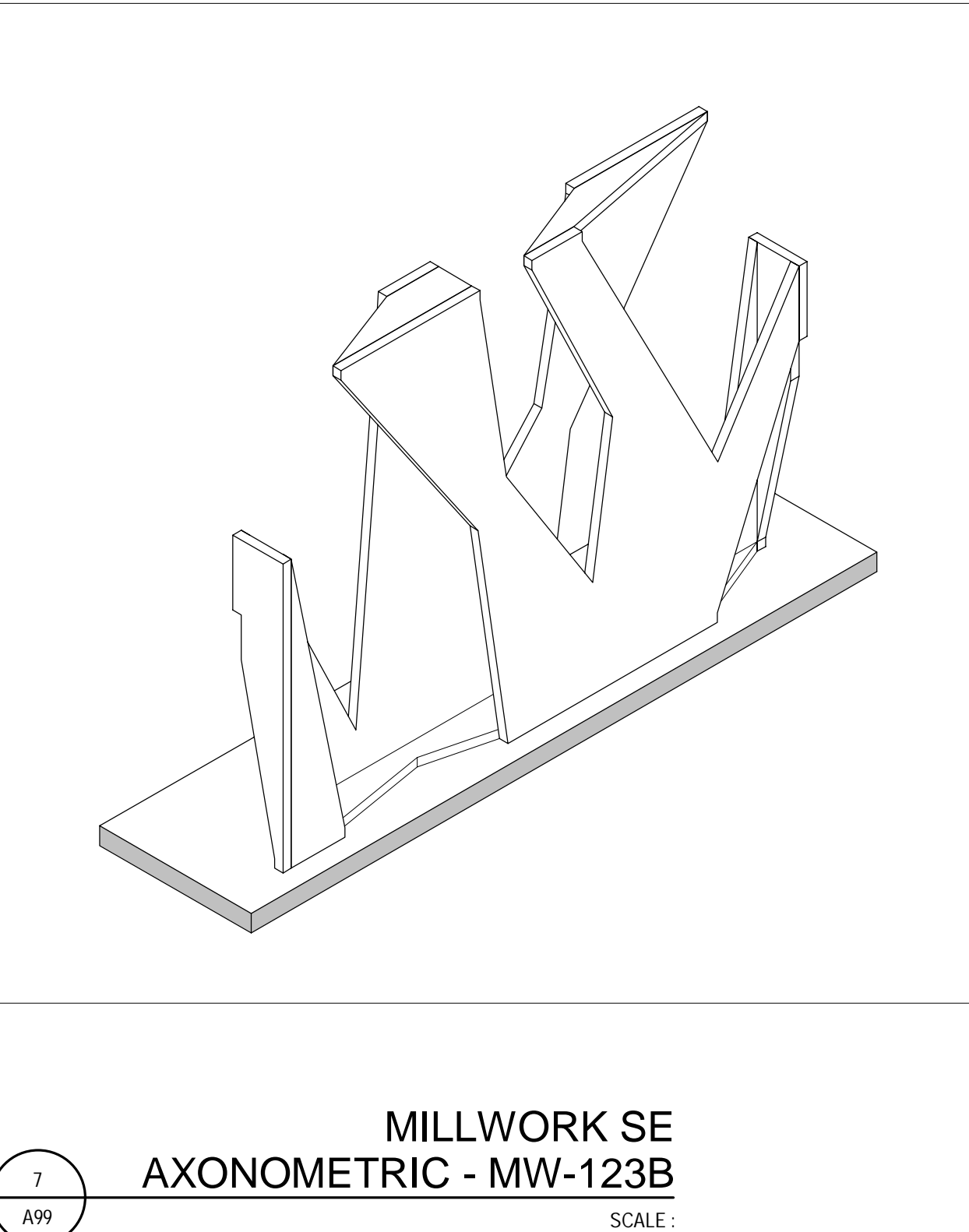
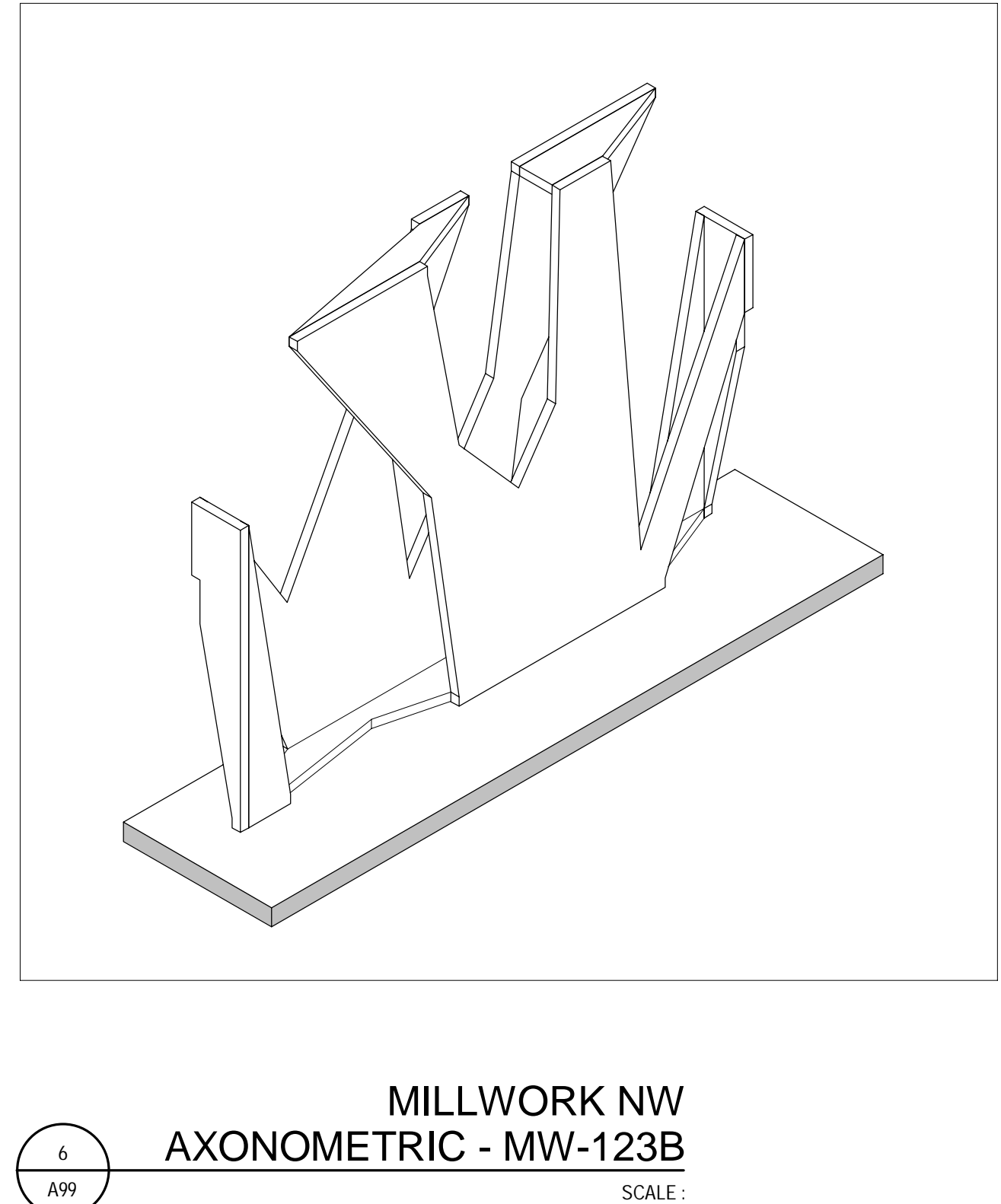
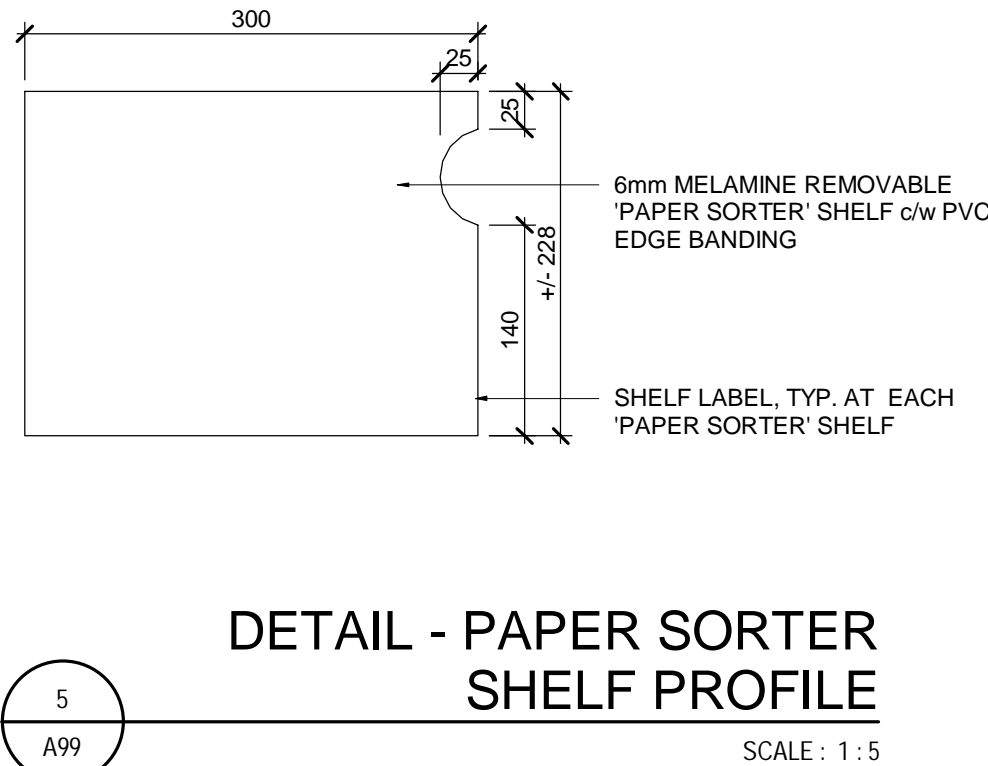
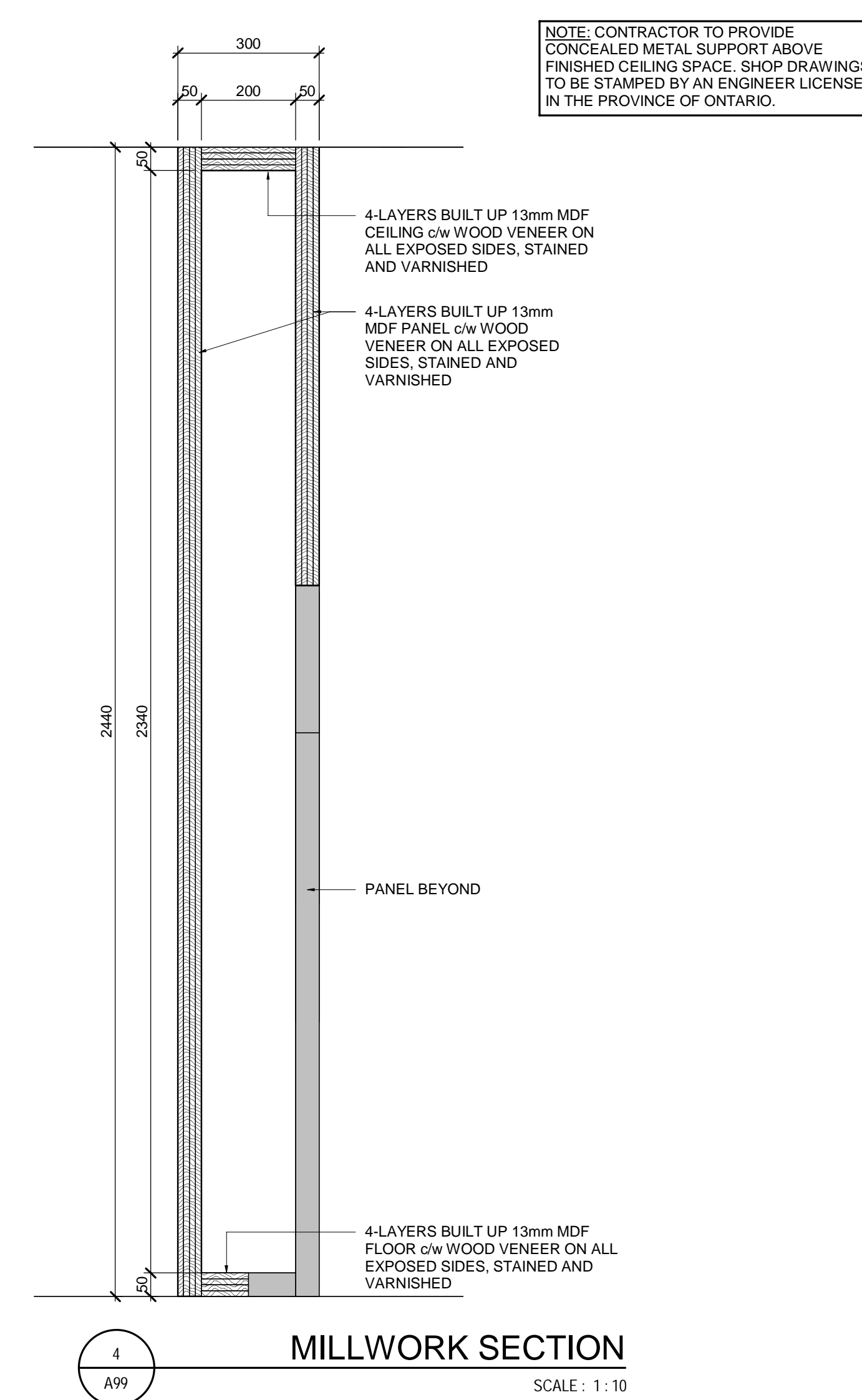
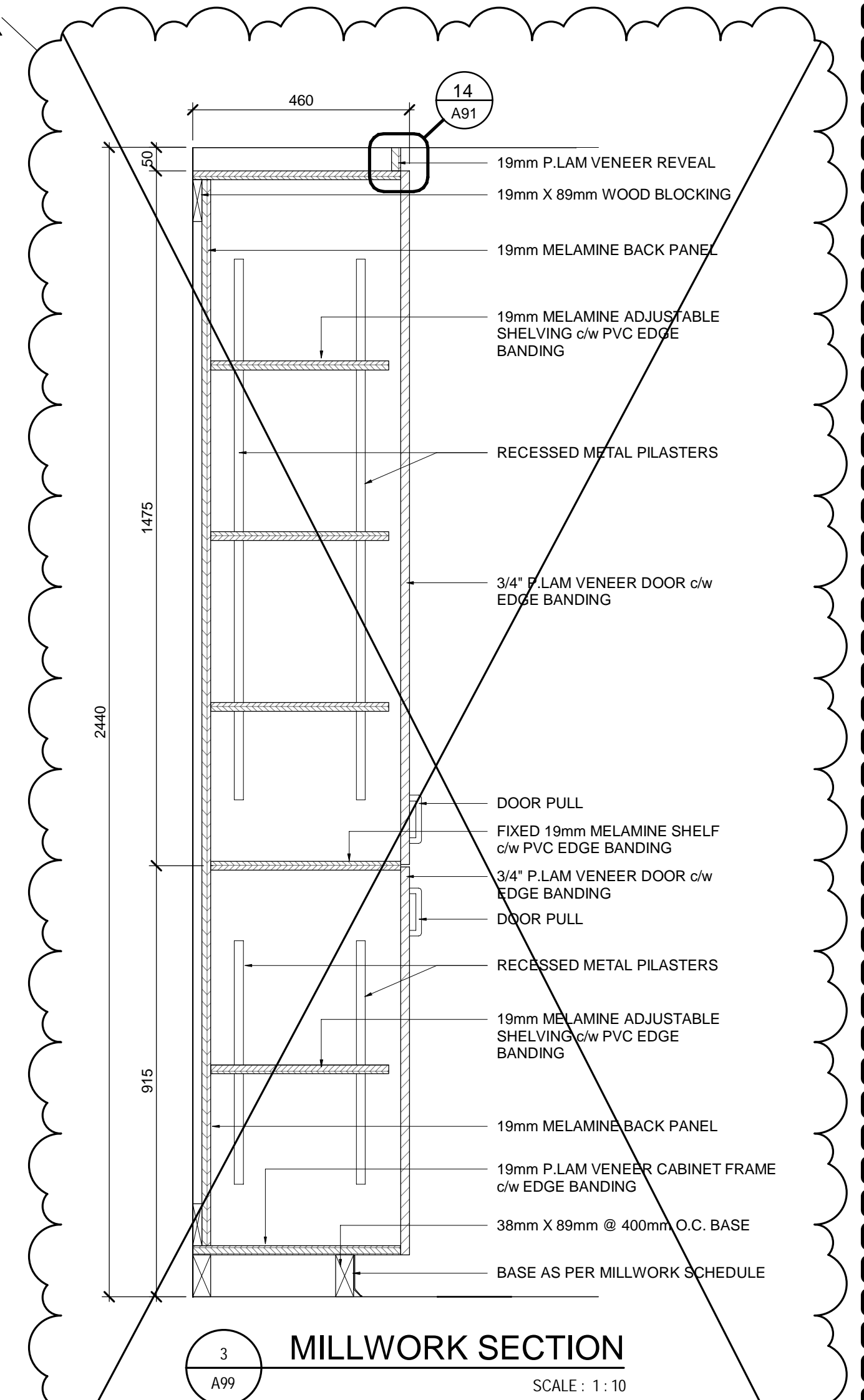
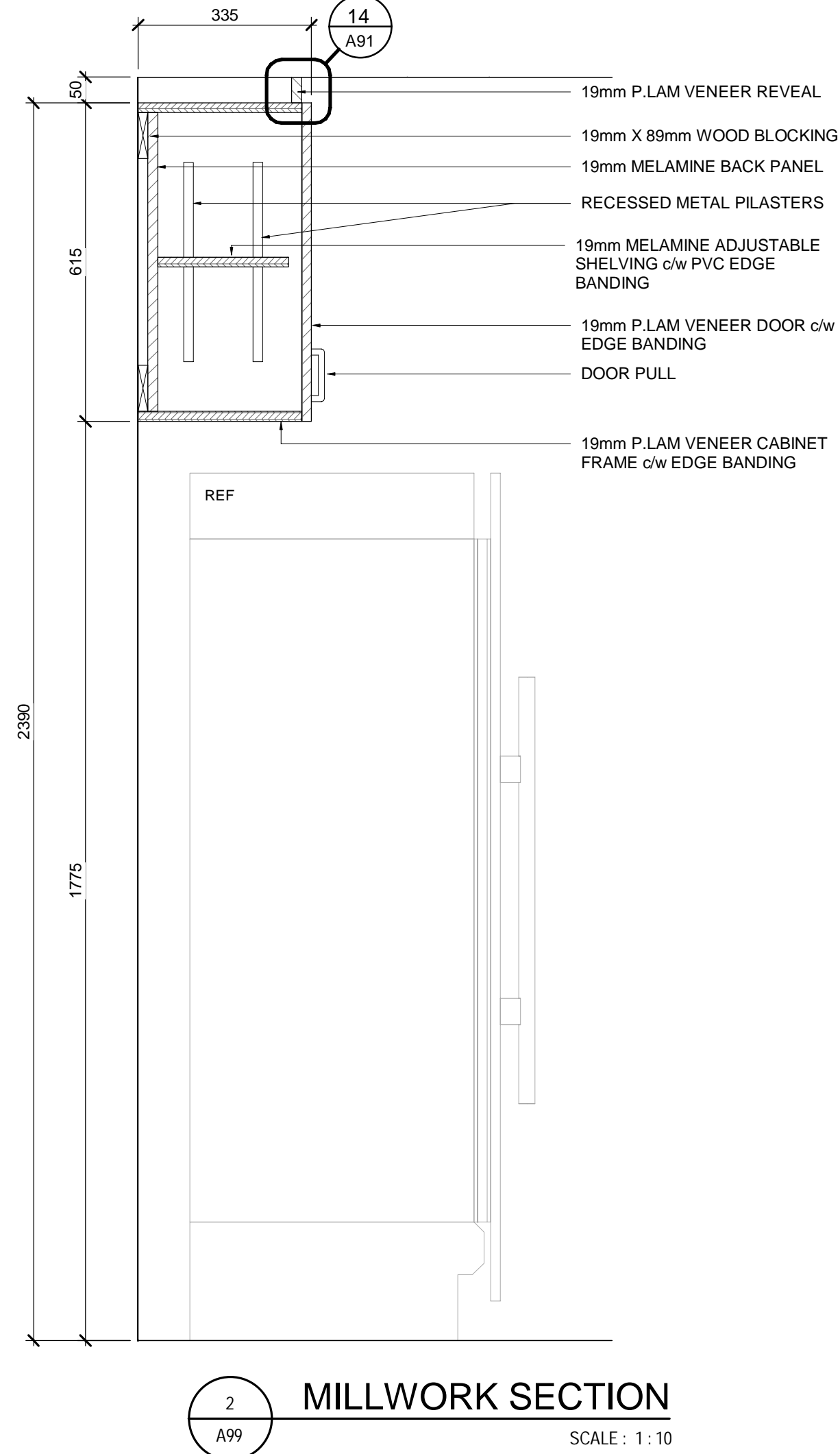
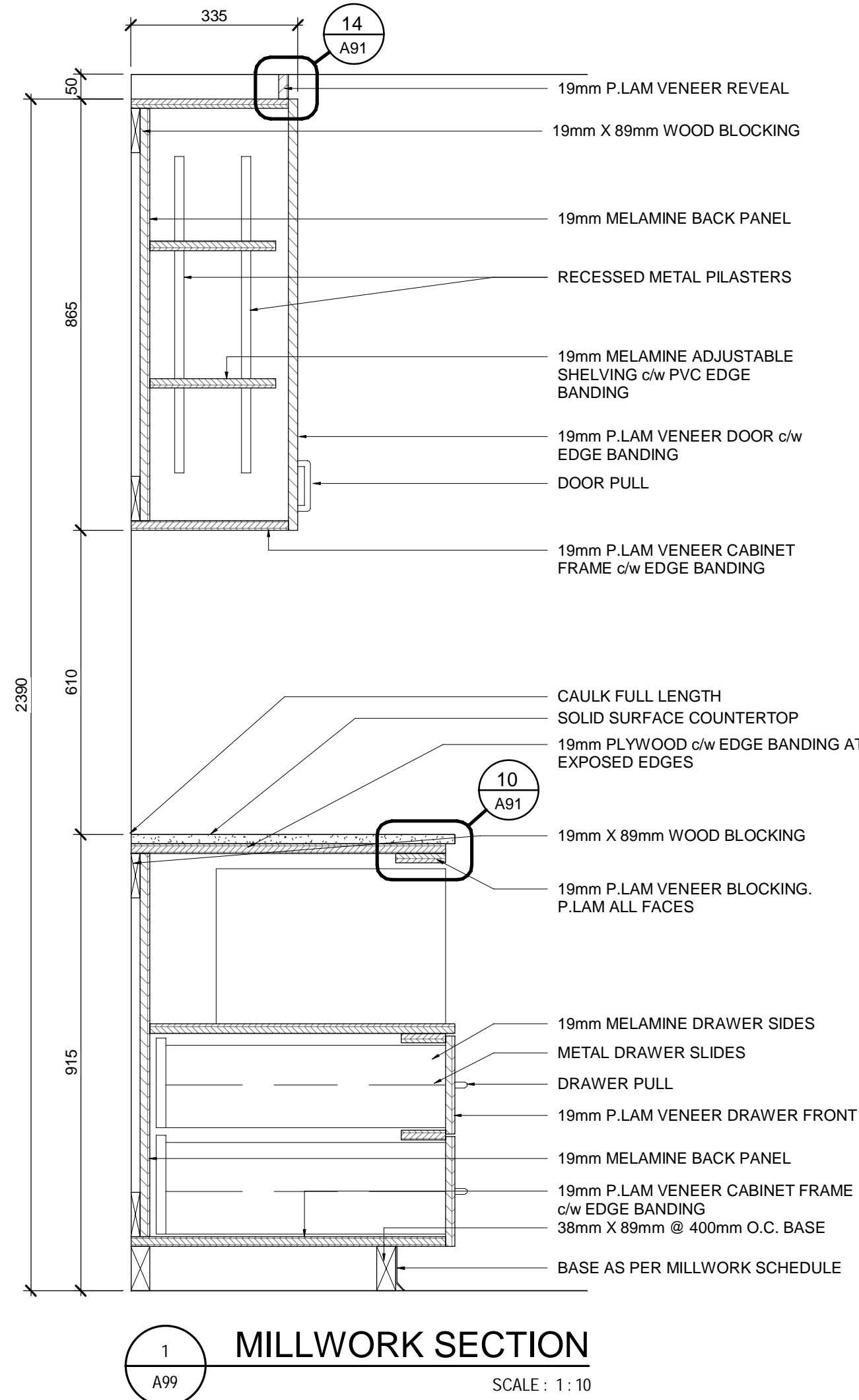
Project No.  
**504034**

Location  
**UNIVERSITY OF GUELPH BUILDING #046**

Scale AS INDICATED	Date APR 12, 2019
Drawn By DCJ	Drawing No. <b>A98</b>
Checked By TA	
Approved By RPC	
JLR #: 27915	
Cad File No.	

PLOT DATE: 2019-04-11 9:01:50 AM

File Location: C:\Users\DJones\Desktop\27915-000.1 - ARCH MODEL.dwg



**NOTE: CONTRACTOR TO PROVIDE CONCEALED METAL SUPPORT ABOVE FINISHED CEILING SPACE. SHOP DRAWINGS TO BE STAMPED BY AN ENGINEER LICENSED IN THE PROVINCE OF ONTARIO.**

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Orientation			
Seal	Seal		

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ENGINEERS - ARCHITECTS - PLANNERS

Project

**BUILDING #046 RENOVATIONS**

Drawing Title

**ARCHITECTURAL MILLWORK SECTIONS AND DETAILS**

Project No.

**504034**

Location

**UNIVERSITY OF GUELPH BUILDING #046**

Scale	AS INDICATED	Date	APR 12, 2019
Drawn By	DCJ	Drawing No.	<b>A99</b>
Checked By	TA		
Approved By	RPC		
JLR #:	27915		
Cad File No.			

PLOT DATE: 2019-04-11 9:01:55 AM