

# BUILDING PERMIT

This card must be kept posted in a conspicuous place on site of construction.

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**18 197188 BLD 00 BA**

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Site Address 348 DAVENPORT RD

Project Description Municipal Shelter;

Interior Alterations

Date Issued Tuesday August 07, 2018

**Will Johnston**  
Chief Building Official and  
Executive Director

**Mario Angelucci**  
Deputy Chief Building Official and  
Director

**THIS IS YOUR PERMIT TO CONSTRUCT  
PERMIT NUMBER: 18 197188 BLD 00 BA**

**Owner:**  
CITY OF TORONTO

**Address:**  
C/O CHRISTINE WALLACE  
55 JOHN ST FLOOR 2  
TORONTO ON M5V 3C6

CITY OF TORONTO

C/O SSHA PROGRAM SUPPORT, METRO HALL  
55 JOHN ST 6 FL  
TORONTO, ON M5V 3C6  
CAN

**Project Description:** Municipal Shelter; Interior Alterations

**Project Location:** 348 DAVENPORT RD

**Ward:**

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The issuance of this permit is based on the drawings, specifications, details and information submitted with the application. The submitted documents have been reviewed for compliance with the Ontario Building Code, Zoning By-laws, applicable regulations and legislation.

The referenced permit number listed above and on your permit placard also appears on all plans reviewed for this building permit application. The validity of this permit is restricted to the person/company named as owner. Permit ownership cannot be transferred unless prior written authorization is given by the Chief Building Official.

The extent of construction authorized under this permit is limited to the description contained herein as follows: Proposal for interior alterations to convert existing 4 storey mixed use building to a municipal women's shelter. See also 18 180707 ZZC.

Stated work and use must be in accordance with the plans, specifications, building permit notes and other information issued with this building permit. Changes to any documents submitted are not to be made unless prior authorization is obtained from the Chief Building Official or designate. False information may be grounds for revocation of the building permit.

Notwithstanding, it is the responsibility of the owner to comply with requirements of the Ontario Building Code and applicable laws as well as to ensure compliance ..

The permit placard must be posted in a conspicuous place on the construction site.

Mario Angelucci  
Deputy Chief Building Official  
Toronto and East York District

**Issued by:** South District Issuance Team  
**Date Issued:** August 07, 2018

Please see the second page of this letter for additional requirements and inspection information.

## **WHEN YOU BEGIN DEMOLITION/CONSTRUCTION ...**

### **Site Fencing**

As soon as construction or demolition starts, your site must be entirely surrounded by a fence which is in compliance with the City of Toronto Municipal Code Chapter 363, Article III. The minimum requirement is plastic mesh fencing, 1.2 metres high, tied to posts spaced no more than 1.2 metres apart with an 11 gauge top and bottom wire threaded through the mesh and looped around each post. The Municipal Code is available on the City website at:

[http://www.toronto.ca/legdocs/municode/1184\\_363.pdf](http://www.toronto.ca/legdocs/municode/1184_363.pdf)

### **Construction Noise**

Any construction which generates noise is prohibited in residential areas between the hours of 7:00 p.m. one day to 7:00 a.m. the next day, 9:00 a.m. on Saturdays, and all day Sunday and Statutory holidays.

### **When To Call For Inspection**

You are required by Division C, Part 1, Article 1.3.5.1. of the Ontario Building Code, to notify the building inspection office at several prescribed stages of construction. Please contact the building inspection office at the telephone number listed below, when each of the following stages are substantially complete:

### **Inspection Stages**

- |                             |                             |                                |
|-----------------------------|-----------------------------|--------------------------------|
| * Structural Framing        | * Insulation/Vapour Barrier | * Fire Separations             |
| * Fire Protection Systems   | * Fire Access Routes        | * Interior Final Inspection    |
| * Exterior Final Inspection | * Site Grading Inspection   | * Pool Suction/Gravity Outlets |
| * Pool Circulation System   | * Occupancy                 |                                |

### **To Schedule your Next Mandatory Inspection**

When you are ready to book your inspection, you may request an inspection online from your computer or smart phone using Toronto Building's Inspection Request web application at [www.toronto.ca/building-inspection-request](http://www.toronto.ca/building-inspection-request).

Alternatively, you may contact your local building inspection office by telephone at 416-338-0700, by fax 416-696-4151 or by email to [TOBldgInsp@toronto.ca](mailto:TOBldgInsp@toronto.ca).

Inspections will take place within two days commencing at the start of business on the day following your notification (Inspection Request).

Please leave a telephone number where you can be reached or a message can be left.

The inspector assigned to your project is Keon Bull (416) 338-0847

## **PERMIT PLANS MUST BE ON SITE**

Your permit plans and specifications must be on site at all times. Inspections are conducted with your copy of the plans.

August 07, 2018

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## BULLETIN - CONSTRUCTION SAFETY

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The responsibilities of the City of Toronto under the Occupational Health and Safety Act apply to all our employees regardless of the location at which they are working.

Responsibilities for the Construction Safety Regulations on construction sites are clearly spelled out in the Act under the definitions of constructor, employer, supervisor and worker.

The City of Toronto believes that the goal of safe and injury free construction sites is a priority for all parties involved in building construction.

Safety training for the City of Toronto Building Inspectors is mandatory. However the delivery of a safe working environment on construction sites must include the compliance of individual builders with the Occupational Health and Safety Act.

Safety measures include the following:

1. Temporary guards on all openings,
2. Correct use of ladders,
3. Temporary or permanent stairs above or below grade by the time the sub floor is complete,
4. Clear and safe access to the site,
5. Protection of trenches and excavation below four feet deep, and
6. Correct use of fall prevention equipment where required.

As the employer responsible for the safety of building inspectors, the City of Toronto has instructed its Building Inspectors not to conduct inspections on sites where conditions exist that could jeopardize their health and safety.

The following are examples of conditions which may jeopardize the health and safety of inspectors:

1. Guards are missing,
2. Ladders do not meet regulations,
3. Temporary or permanent stairs, above or below grade, to all floor levels are not provided as required.
4. Access to the site has impediments or hazards, or
5. Trenches or excavations lack required shoring or slope of bank.

Prior to calling for an inspection the appropriate safety measures shall be in place as a site inadequately provided with these measures is not ready for inspection. The City of Toronto Building Inspectors will cooperate with builders regarding the timing of making provision for these safety measures. However, if the measures are not provided, an Order Not To Cover could be issued and the Ministry of Labour informed.

We look forward to working with you toward the goal of a safe environment for all workers.

Notice of Project - Please be advised that the Ministry of Labour requires a Notice of Project be filed with them before starting any project costing \$50,000 or more.

For more information about the Notice of Project form, please contact your local Ministry of Labour regional office at 416-314-5421 or 1-800-991-7454. Ministry of Labour construction information is available on their website at:

[http://www.labour.gov.on.ca/english/site/construction\\_info.html](http://www.labour.gov.on.ca/english/site/construction_info.html)

Construction of the work approved in this building permit must be carried out with reasonable care to ensure protection for everyone on the construction site from the hazards associated with all overhead and underground power lines. Obtain further information at: <http://www.torontohydro.com/powerlinesafety>

**TORONTO MUNICIPAL CODE 441  
FEES AND CHARGES  
Appendix C - Schedule 8, Toronto Building**

18 197188 BLD 00 BA  
348 DAVENPORT RD

Total Permit Fee **\$4,782.10**

**Work Proposed** *Interior Alterations*      **Sub** *Municipal Shelter*

<b>Building Classification</b>	<b>Service</b> <small><i>Dollars per Square Meter unless otherwise indicated</i></small>	<b>Index</b> <small><i>(unless otherwise indicated)</i></small>	<b>Value in Square Meters</b> <small><i>(unless otherwise indicated)</i></small>	<b>Fee</b>
<b>B. Alterations and Renovations:</b>				
Interior Alterations (Partitions, Finishings, Etc.):				
Groups C, E and F	4.93		970	4,782.10

Total Permit Fee **\$4,782.10**



Folder No.
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**District Offices**

<input checked="" type="checkbox"/> Toronto and East York	<input type="checkbox"/> North York	<input type="checkbox"/> Scarborough	<input type="checkbox"/> Etobicoke York
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**PART A – To be Completed by Owner**

Project Description  New accessible WCs, Universal WCs and an accessible ramp Changes to occupancy and plumbing count.
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Project Address (Street Number, Street Name, Suite/Unit Number, City/Town, Postal Code) 348 Davenport Road, Toronto ON, M6H 2G4
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**WHEREAS** the Ontario Building Code requires that the project described above be designed and reviewed during construction or demolition by an architect, professional engineer or both that are licensed to practice in Ontario;  
**WHEREAS** Ontario Law prohibits the construction or demolition of a building if a permit has not been issued to authorize it, and  
**WHEREAS** Architects and engineers are prohibited by law from undertaking reviews if a permit has not been issued,  
**NOW THEREFORE** the Owner, who intends to construct or demolish or have the building constructed or demolished hereby confirms that:

1. The undersigned architect and/or professional engineers have been retained to provide general reviews of the construction or demolition of the building to determine whether the work is in general conformity with the plans and other documents that form the basis for the issuance of a permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) and/or Professional Engineers of Ontario (PEO);
2. All general review reports by the architect and/or professional engineers will be forwarded promptly to the Chief Building Official;
3. Should any retained architect or professional engineer cease to provide general reviews for any reason during construction or demolition, the Chief Building Official will be notified in writing immediately, and another architect or engineer will be appointed so that general review continues without interruption; and
4. Construction or demolition will only be undertaken if an architect and/or professional engineers are retained to undertake general review, and a permit authorizing the proposed construction or demolition has been issued.

**The undersigned hereby certifies that he/she has read and agrees to the above.**

Owner's First Name Christine	Last Name Wallace
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Street Number 55	Street Name John Street	Postal Code M5V 3C6
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Telephone Number (416) 392-1545	Mobile Number (647) 331-7130	Fax Number (416) 392-4828
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	Christine Wallace	2018-07-13
Signature	Print Name	Date (yyyy-mm-dd)

Co-ordinator of the work of all consultants Workshop Architecture Inc.
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Street Number 1157	Street Name Davenport Road	Postal Code M6H 2G4
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Telephone Number 416-901-8055	Mobile Number	Fax Number 416-849-0383
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Continue on next page


The personal information on this form is collected under the City of Toronto Act, S.O. 2006, Chapter 11, Schedule A, s. 136 (c) and the Building Code Act, S.O. 1992, Chapter 23, s. 8(1) and (2). The information collected will be used for processing applications and creating aggregate statistical reports. Questions about this collection may be referred to the Customer Service Manager in the appropriate district. Toronto East York District, 100 Queen Street West, Ground Floor, West Tower, Toronto M5H 2N2; North York District, 5100 Yonge Street, 1st Floor, Toronto M2N 5W4; Etobicoke York District, 2 Civic Centre Court, 1st Floor, Toronto M9C 2Y2; Scarborough District, 150 Borough Drive, 3rd Floor, Toronto M1P 4N7 or by telephone at (416) 397-5330.

# Commitment to General Reviews


## PART B – To be completed by Consultants

The undersigned architect and/or professional engineer(s) hereby certify that they are qualified in and have been retained to provide general reviews of the parts of construction or demolition of the building indicated, to determine whether the work is in general conformity with the plans and other documents that form the basis for the issuance of a permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) or Professional Engineers Ontario (PEO).


### First Consultant Information and Declaration

<input checked="" type="checkbox"/> Architectural <input type="checkbox"/> Structural <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name David		Last Name Colussi		Firm Workshop Architecture Inc.
Street Number 1157	Street Name Davenport Road			Postal Code M6H 2G4
Telephone Number 416-901-8055		Mobile Number		Fax Number 416-849-0383
		Print Name David Colussi	Date (yyyy-mm-dd) 2018-07-13	
Signature		Print Name		Date (yyyy-mm-dd)

### Second Consultant Information and Declaration (if applicable)

<input type="checkbox"/> Architectural <input checked="" type="checkbox"/> Structural <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name PAUL		Last Name FRITZE		Firm READ JONES CHRISTOFFERSEN LTD.
Street Number 144	Street Name FRONT STREET WEST			Postal Code M5J 2L7
Telephone Number 647-792-0790		Mobile Number 416-998-0194		Fax Number 416-977-1427
		Print Name PAUL FRITZE	Date (yyyy-mm-dd) 2018-07-13	
Signature		Print Name		Date (yyyy-mm-dd)

### Third Consultant Information and Declaration (if applicable)

<input type="checkbox"/> Architectural <input type="checkbox"/> Structural <input checked="" type="checkbox"/> Mechanical <input checked="" type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name Alla		Last Name Prutkin		Firm Sharma & Partners Inc.
Street Number 85	Street Name Curlew Drive, Suite 108			Postal Code M3A 2P8
Telephone Number 416-291-8822		Mobile Number 647-523-8821		Fax Number 1-888-832-7160
		Print Name Alla Prutkin	Date (yyyy-mm-dd) 2018-07-13	
Signature		Print Name		Date (yyyy-mm-dd)



Folder No.

### Project Information

Street No.	Street Name
Existing Use	Proposed Use

### Fire Alarm System

1. Does this building have a fire alarm system?  Yes  No

Is the fire alarm system installed throughout the building?  Yes  No

### Standpipe and Hose System

2. Does this building have a standpipe and hose system?  Yes  No

If **yes**, the fire hose cabinets shall be located on the drawings.

Length of fire hose: \_\_\_\_\_

### Sprinkler System

3. Does the building have a sprinkler system?  Yes  No

Indicate where the sprinkler system is installed: \_\_\_\_\_

- The complete building  Yes  No
- All sub-grade levels  Yes  No
- Above grade levels  Yes  No

Indicate which levels:

Continue on next page.

# Existing Life Safety Systems for Building

## Storeys

4. Number of storeys:	a) Above grade _____	b) Below grade _____
5. Is the building considered highrise?	<input type="checkbox"/> Yes	<input type="checkbox"/> No
If <b>yes</b> , then voice communication requirements must be indicated.		
6. Is the alteration taking place on a cross-over floor?	<input type="checkbox"/> Yes	<input type="checkbox"/> No

## Tenants

7. The floor(s) involved in this application are:	<input type="checkbox"/> Single tenancy	or	<input type="checkbox"/> Multiple tenancy
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## Prepared By

Architect/Professional Engineer/Designer		
First Name	Last Name	Telephone No.
Company Name		FaxNo.
Signature _____		Date (yyyy-mm-dd) _____

The personal information on this form is collected under the City of Toronto Act, S.O. 2006, Chapter 11, Schedule A, s. 136 (b) & (c) and the Ontario Building Code Act, S.O. 1992, Chapter 23. The information collected will be used for processing applications and creating aggregate statistical reports. Questions about this collection may be referred to the Customer Service Manager in the appropriate district. Toronto East York District, 100 Queen Street West, Ground Floor, West Tower, Toronto M5H 2N2; North York District, 5100 Yonge Street, 1st Floor, Toronto M2N 5W4; Etobicoke York District, 2 Civic Centre Court, 1st Floor, Toronto M9C 2Y2; Scarborough District, 150 Borough Drive, 3rd Floor, Toronto M1P 4N7.  
Phone: (416) 397-5330

Folder No.
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## District Offices

<input type="checkbox"/> Toronto and East York	<input type="checkbox"/> North York	<input type="checkbox"/> Scarborough	<input type="checkbox"/> Etobicoke York
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## PART A – To be Completed by Owner

Project Description
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Project Address (Street Number, Street Name, Suite/Unit Number, City/Town, Postal Code)
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**WHEREAS the Ontario Building Code requires that the project described above be designed and reviewed during construction or demolition by an architect, professional engineer or both that are licensed to practice in Ontario;**  
**WHEREAS Ontario Law prohibits the construction or demolition of a building if a permit has not been issued to authorize it, and**  
**WHEREAS Architects and engineers are prohibited by law from undertaking reviews if a permit has not been issued,**  
**NOW THEREFORE** the Owner, who intends to construct or demolish or have the building constructed or demolished hereby confirms that:

1. The undersigned architect and/or professional engineers have been retained to provide general reviews of the construction or demolition of the building to determine whether the work is in general conformity with the plans and other documents that form the basis for the issuance of a permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) and/or Professional Engineers of Ontario (PEO);
2. All general review reports by the architect and/or professional engineers will be forwarded promptly to the Chief Building Official;
3. Should any retained architect or professional engineer cease to provide general reviews for any reason during construction or demolition, the Chief Building Official will be notified in writing immediately, and another architect or engineer will be appointed so that general review continues without interruption; and
4. Construction or demolition will only be undertaken if an architect and/or professional engineers are retained to undertake general review, and a permit authorizing the proposed construction or demolition has been issued.

**The undersigned hereby certifies that he/she has read and agrees to the above.**

Owner's First Name	Last Name
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Street Number	Street Name	Postal Code
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Telephone Number	Mobile Number	Fax Number
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Signature	Print Name	Date (yyyy-mm-dd)
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Co-ordinator of the work of all consultants
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Street Number	Street Name	Postal Code
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Telephone Number	Mobile Number	Fax Number
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The personal information on this form is collected under the City of Toronto Act, S.O. 2006, Chapter 11, Schedule A, s. 136 (c) and the Building Code Act, S.O. 1992, Chapter 23, s. 8(1) and (2). The information collected will be used for processing applications and creating aggregate statistical reports. Questions about this collection may be referred to the Customer Service Manager in the appropriate district. Toronto East York District, 100 Queen Street West, Ground Floor, West Tower, Toronto M5H 2N2; North York District, 5100 Yonge Street, 1st Floor, Toronto M2N 5W4; Etobicoke York District, 2 Civic Centre Court, 1st Floor, Toronto M9C 2Y2; Scarborough District, 150 Borough Drive, 3rd Floor, Toronto M1P 4N7 or by telephone at (416) 397-5330.

# Commitment to General Reviews

## PART B – To be completed by Consultants

The undersigned architect and/or professional engineer(s) hereby certify that they are qualified in and have been retained to provide general reviews of the parts of construction or demolition of the building indicated, to determine whether the work is in general conformity with the plans and other documents that form the basis for the issuance of a permit, in accordance with the performance standards of the Ontario Association of Architects (OAA) or Professional Engineers Ontario (PEO).

### First Consultant Information and Declaration

<input type="checkbox"/> Architectural <input type="checkbox"/> Structural <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name		Last Name		Firm
Street Number	Street Name			Postal Code
Telephone Number		Mobile Number		Fax Number
Signature		Print Name		Date (yyyy-mm-dd)

### Second Consultant Information and Declaration (if applicable)

<input type="checkbox"/> Architectural <input type="checkbox"/> Structural <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name		Last Name		Firm
Street Number	Street Name			Postal Code
Telephone Number		Mobile Number		Fax Number
Signature		Print Name		Date (yyyy-mm-dd)

### Third Consultant Information and Declaration (if applicable)

<input type="checkbox"/> Architectural <input type="checkbox"/> Structural <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name		Last Name		Firm
Street Number	Street Name			Postal Code
Telephone Number		Mobile Number		Fax Number
Signature		Print Name		Date (yyyy-mm-dd)

# Commitment to General Reviews

## Fourth Consultant Information and Declaration (if applicable)

<input type="checkbox"/> Architectural <input type="checkbox"/> Structural <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name		Last Name		Firm
Street Number	Street Name			Postal Code
Telephone Number		Mobile Number		Fax Number
Signature		Print Name		Date (yyyy-mm-dd)

## Fifth Consultant Information and Declaration (if applicable)

<input type="checkbox"/> Architectural <input type="checkbox"/> Structural <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name		Last Name		Firm
Street Number	Street Name			Postal Code
Telephone Number		Mobile Number		Fax Number
Signature		Print Name		Date (yyyy-mm-dd)

## Sixth Consultant Information and Declaration (if applicable)

<input type="checkbox"/> Architectural <input type="checkbox"/> Structural <input type="checkbox"/> Mechanical <input type="checkbox"/> Electrical <input type="checkbox"/> Site Services				
<input type="checkbox"/> Other:				
First Name		Last Name		Firm
Street Number	Street Name			Postal Code
Telephone Number		Mobile Number		Fax Number
Signature		Print Name		Date (yyyy-mm-dd)

### Building Permit 332\_12

The reviewed plans and specifications must be available on site during construction/demolition. Changes to these plans and specifications are not to be made unless prior written approval is obtained from the Chief Building Official.

The owner/permit holder is required to comply with the following Permit Notes, which are part of the reviewed permit documents:

- Electromagnetic locking devices are not part of this permit. Separate permit is required.
- Emergency lights shall be provided along paths of egress as per 3.2.7. or 9.9.12.  
Emergency lighting shall always be maintained to an average level of illumination of at least 10 lx at floor level.
- Exit signs shall consist of a green pictogram and white graphic symbol meeting the visibility specifications referered to in ISO 3864-1 and conform to the dimensions indicated in ISO 7010 for the following symbols:
  - (i) E001 emergency exit left;
  - (ii) E002 emergency exit right;
  - (iii) E005 90-degree directional arrow; and
  - (iv) E006 45-degree directional arow.
- Fire alarm systems shall comply with the requirements of the Ontario Building Code. The audibility level of the alarms shall be maintained in all areas of the building. Interior finish and furnishings may have an affect on the decibel level of the fire alarm system.
- Portable fire extinguishers shall be provided and installed in conformance with Section 6.2 of the Ontario Fire Code.
- In buildings of combustible construction, except for exit closures, flame-spread rating of all interior wall and ceiling finishes (including glazing) shall not exceed 150.
- The City has Relied upon the plans and drawings prepared and submitted by the qualified architects and/or engineers on this project.

The issuance of a permit does not imply a complete design review of this project has been performed and does not relieve the owner and designers from the need to comply with the Ontario Building Code and referenced standards where contravention are subsequently noted.

- Separate HVAC Permit is Required
- HVAC and PLUMBING are not part of this permit approval.
- Separate PLUMBING Permit is Required
- Sprinkler Systems shall comply with NFPA 13 Standard
- Standpipe and hose systems shall be installed in compliance with the Ontario Building Code and NFPA 14 standard.  
Reviewed based on a hose length of 30m.
- Transparent Panels which could be mistaken as a means of egress shall be made inaccessible by barrier or railing as per article 3.3.1.18 of the Ontario Building Code
- The sound pressure level in a sleeping room from a fire alarm audible signal device shall be not less than 75 dBA in a building of residential occupancy when any intervening doors between the device and the sleeping room are closed as per 3.2.4.20 (5).



**PERMIT REVIEWED FOR COMPLIANCE WITH  
THE ONTARIO BUILDING CODE**

**18 197188 BLD 00**

<b>ZONING</b>		
<b>O.B.C.</b>	<small>barrier or railing as per article 3.3.1.18 of</small>	
<b>FIRE SERVICES</b>		

**O.B.C. (S)**

- In a building or part of it classified as a residential occupancy separate circuits shall be provided for audible signal devices on each floor area, and audible signal devices within dwelling units or suites or residential occupancy shall be wired on separate signal circuits from those not within suites of residential occupancy or dwelling units as per 3.2.4.20 (11).
- Fire alarm systems, including those incorporating a voice communication system, shall be provided with an emergency power supply conforming to Sentences 3.2.7.8 (2) to (4).
- New fire alarm components shall be compatible with remaining devices. Upon completion of work all existing ancillary systems, devices, smoke control and exhaust systems shall be reconnected and shall function and operate as originally designed to operate.
- Fire alarm systems, including those with voice communication capability, shall be installed in conformance with CAN/ULC-S524, "Installation of Fire Alarm Systems".
- The fire alarm annunciator shall have a separate zone indication of the actuation of the alarm initiating devices in each fire extinguishing system required by NFPA 96.
- A fire alarm system shall be designed to notify the fire department in conformance with Article 3.2.4.8.
- Fire alarm audible signal devices shall be supplemented by visual signal devices in any floor area in which the ambient noise level is more than 87 dBA as per 3.2.4.20 (7)(a).
- Fire alarm visual signal devices shall be installed in addition to audible signal devices in a corridor used by the public and in a floor area or part of it where the public may congregate in a Group A occupancy as per 3.2.4.19.(4)(c)
- Audible signal devices forming part of a fire alarm system shall be installed in a building so that alert signals and alarm signals are clearly audible throughout the floor area in which they are installed and shall comply with the applicable sound pressure levels and signal pattern described in Article 3.2.4.20.

**Scope of Permit:**  
 Interior alterations to convert existing 4 storey mixed use building to a municipal women's shelter.

The issuance of this permit does NOT relieve the applicant/owner from the requirement to comply with any other applicable legislations, regulations, and standards including, but not limited to, the Ontario Human Rights Code, Accessibility for Ontarians with Disabilities Act, and Integrated Accessibility Standards Regulation.

All service (piping, cables, ducts, etc.) penetrations through fire separations (floor, stair shaft walls, other shafts, etc.) shall be protected at the penetrations by tight-fitting or fire stop material of same degree of fire resistance rating as the fire separation itself.

Exit Signs are to be reviewed on site to ensure they are visible along all paths of egress/exits as obstructions by ducts, pipes, etc. may not be obvious on plans. Add, relocate and adjust signs and emergency lighting as required to achieve their intended performance objective.



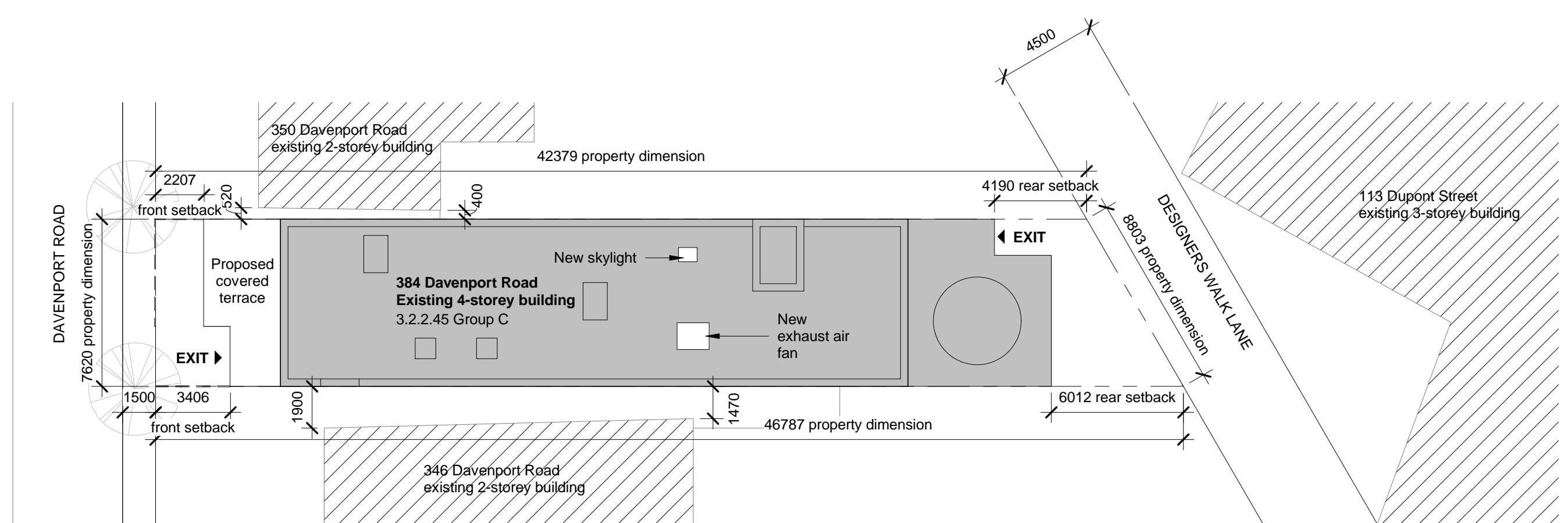
PERMIT REVIEWED FOR COMPLIANCE WITH  
 THE ONTARIO BUILDING CODE

18 197188 BLD 00

ZONING		
O.B.C.	Johnson, David	07/Aug/2018
FIRE SERVICES		

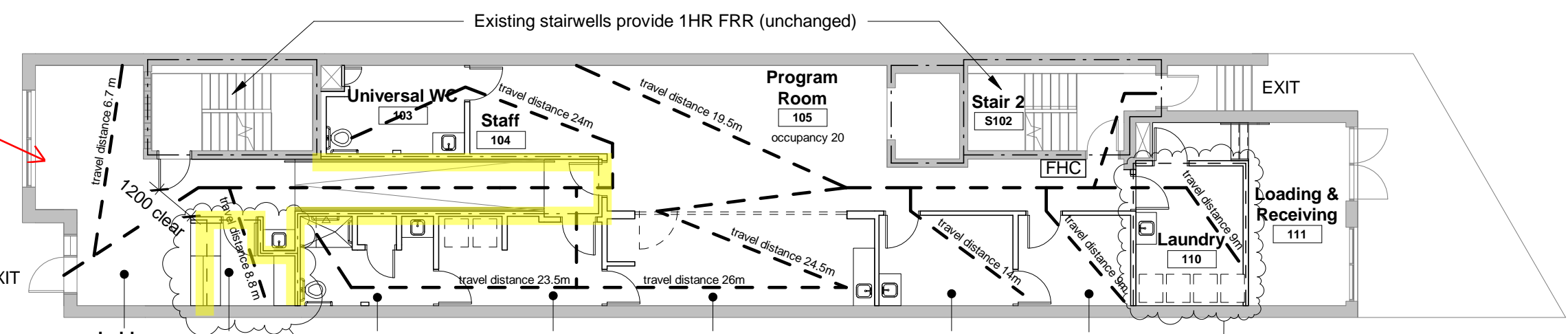
O.B.C. (S)

<b>FIRM NAME:</b> WORKSHOP ARCHITECTURE 1157 DAVENPORT ROAD Toronto, ON M6H 2G4 tel. 416.901.8055 fax 416.849.0383		<b>LOCATION:</b> 348 Davenport Road Toronto, ON MSR 1K6	
<b>NAME OF PROJECT:</b> Davenport Shelter		<b>Project Area:</b> 970m2 (renovation)	
<b>ITEM</b>		<b>OBC REFERENCE</b>	
<b>ONTARIO'S 2012 BUILDING CODE DATA MATRIX PARTS 3 &amp; 9</b>		References are to Division B unless noted [A] for Division A or [C] for Division C	
1	PROJECT DESCRIPTION: <input type="checkbox"/> NEW <input checked="" type="checkbox"/> PART 11 <input type="checkbox"/> PART 3 <input type="checkbox"/> PART 9 <input type="checkbox"/> CHANGE OF USE <input checked="" type="checkbox"/> ALTERATION	3.1.2.1(1) 1.1.2. [A]	9.10.2 1.1.2 [A] & 9.10.1.3
2	MAJOR OCCUPANCY(S): Group C (Levels 1-4); Subsidiary Group F3 (Basement Levels)	3.1.2.1(1)	9.10.2
3	BUILDING AREA (M <sup>2</sup> ) EXISTING 279 NEW 0 TOTAL no change	1.4.1.2.[A]	1.4.1.2.[A]
4	GROSS AREA EXISTING 1605 NEW 0 TOTAL no change	1.4.1.2.[A]	1.4.1.2.[A]
5	NUMBER OF STOREYS ABOVE GRADE 4 BELOW GRADE 2	1.4.1.2 [A] & 3.2.1.1.	1.4.1.2 [A] & 9.10.4
6	NUMBER OF STREETS / FIRE FIGHTER ACCESS 1 (EXISTING UNCHANGED)	3.2.2.10 & 3.2.5	9.10.20
7	BUILDING CLASSIFICATION 3.2.2.45	3.2.2.20-83	9.10.2.
8	SPRINKLER SYSTEM (PROPOSED) <input checked="" type="checkbox"/> ENTIRE BUILDING <input type="checkbox"/> SELECTED COMPARTMENTS <input type="checkbox"/> BASEMENT <input type="checkbox"/> IN LIEU OF ROOF RATING <input type="checkbox"/> SELECTED FLOOR AREAS <input type="checkbox"/> NOT REQUIRED	3.2.2.20-83 3.2.1.5 3.2.2.17	9.10.8.2.
9	STANDPIPE REQUIRED (REFER TO CA C28) <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.9	N/A
10	FIRE ALARM REQUIRED <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.4	9.10.18
11	WATER/SERVICE/SUPPLY IS ADEQUATE <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.5.7	N/A
12	HIGH BUILDING <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO	3.2.6	N/A
13	CONSTRUCTION RESTRICTIONS <input checked="" type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input type="checkbox"/> BOTH ACTUAL CONSTRUCTION <input type="checkbox"/> COMBUSTIBLE <input type="checkbox"/> NON-COMBUSTIBLE <input checked="" type="checkbox"/> BOTH	3.2.2.20-83	9.10.6
14	MEZZANINE(S) AREA M <sup>2</sup> NA	3.2.1.1.(3)-(8)	9.10.4.1
15	OCCUPANT LOAD BASED ON <input type="checkbox"/> M.SQ./PERSON <input checked="" type="checkbox"/> DESIGN OF BUILDING OCCUPANCY LOAD 65 PERSONS 56 Clients/Residents (female only) 4 fixtures required/6 provided 9 Staff (assume even distribution by gender) 2 required/2 provided (note: existing WCs in basement level are dedicated for staff use)	3.1.17	9.9.1.3
16	BARRIER-FREE DESIGN <input checked="" type="checkbox"/> YES <input type="checkbox"/> NO (EXPLAIN)	3.8	9.5.2
17	HAZARDOUS SUBSTANCES <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO	3.3.1.2. & 3.3.1.19	9.10.1.3(4)
18	REQUIRED FIRE RESISTANCE RATING (FRR) HORIZONTAL ASSEMBLIES FRR (HOURS) LISTED DESIGN NO. OR DESCRIPTION (SG-2) FLOORS 1 HR/2HR HOURS ROOF NA HOURS MEZZANINE NA HOURS Existing floors 2-3 provide 45min FRR (unchanged); Basement provides 2HR FRR (unchanged)	3.2.2.20-83 & 3.2.1.4	9.10.8 9.10.9
19	SPATIAL SEPARATION - CONSTRUCTION OF EXTERIOR WALLS NA	3.2.3	9.10.14
20	OTHER-DESCRIBE Proposed Basic Renovation necessitates Change of Major Occupancy as outlined in Part 11 Matrix below. New use reduces Hazard Index; Compensating Construction requirements are not necessary. Basement levels are F3 Occupancy, and shall remain unchanged under this proposal. There is an existing 2HR FRR between basement level and main floor Occupancy, which shall remain. Existing floor assemblies at 2nd and 3rd floor provide 45min FRR; this rating shall be maintained.  A Zoning Review has been carried out and it has been determined the proposal complies with applicable City Zoning Bylaws, as confirmed by Zoning Certificate 18 18077 ZCC 00 ZR.		



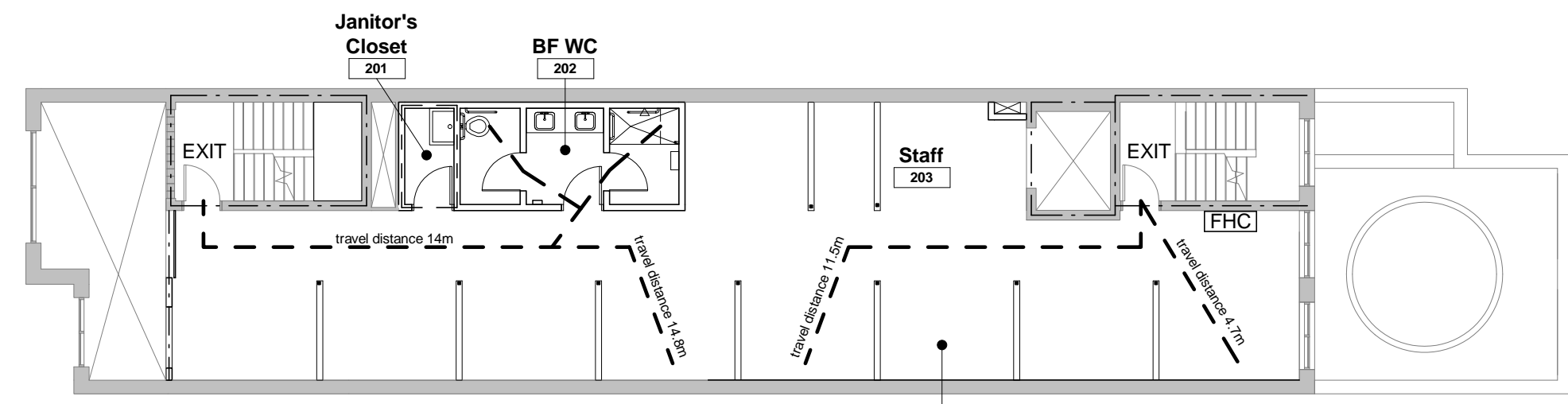
SCOPE OF THIS BUILDING PERMIT IS FOR CHANGE OF USE FROM OFFICE TO MUNICIPAL SHELTER USE (AS DEFINED IN BY-LAW 569-2013) AND CONSTRUCTION OF A PARTIALLY ENCLOSED TERRACE AT THE FRONT OF THE FOURTH STOREY.

2 Site Plan Proposed 1:200

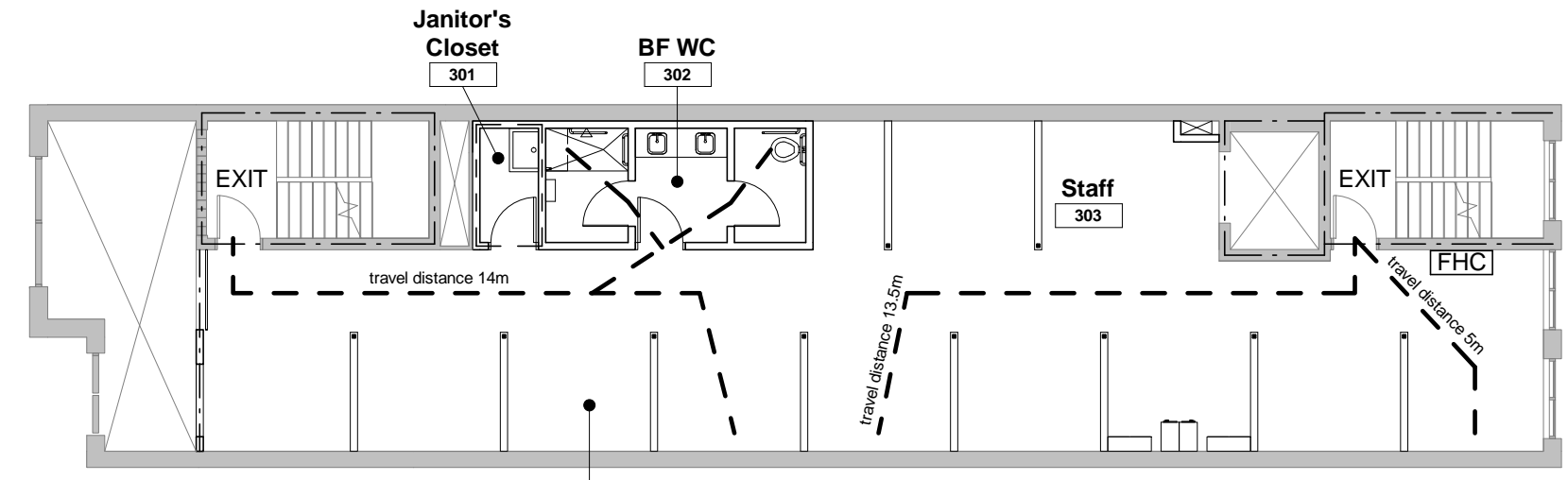


Exit Lobby to conform to 3.4.4.2.(2)

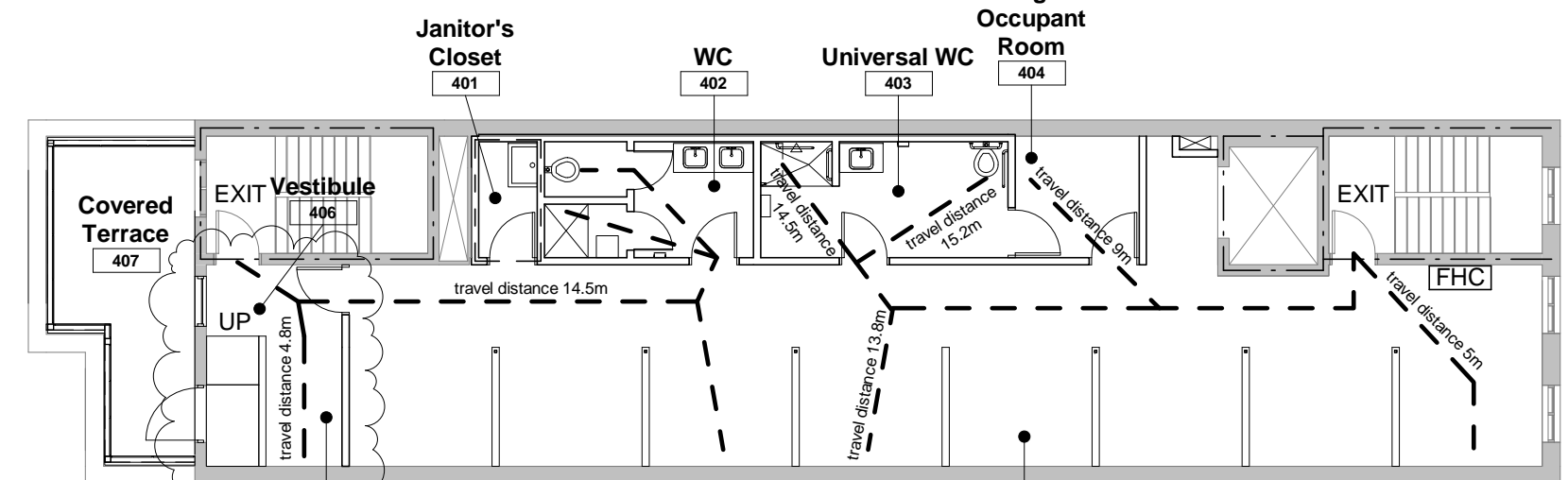
3 Level 1 Life Safety 1:150



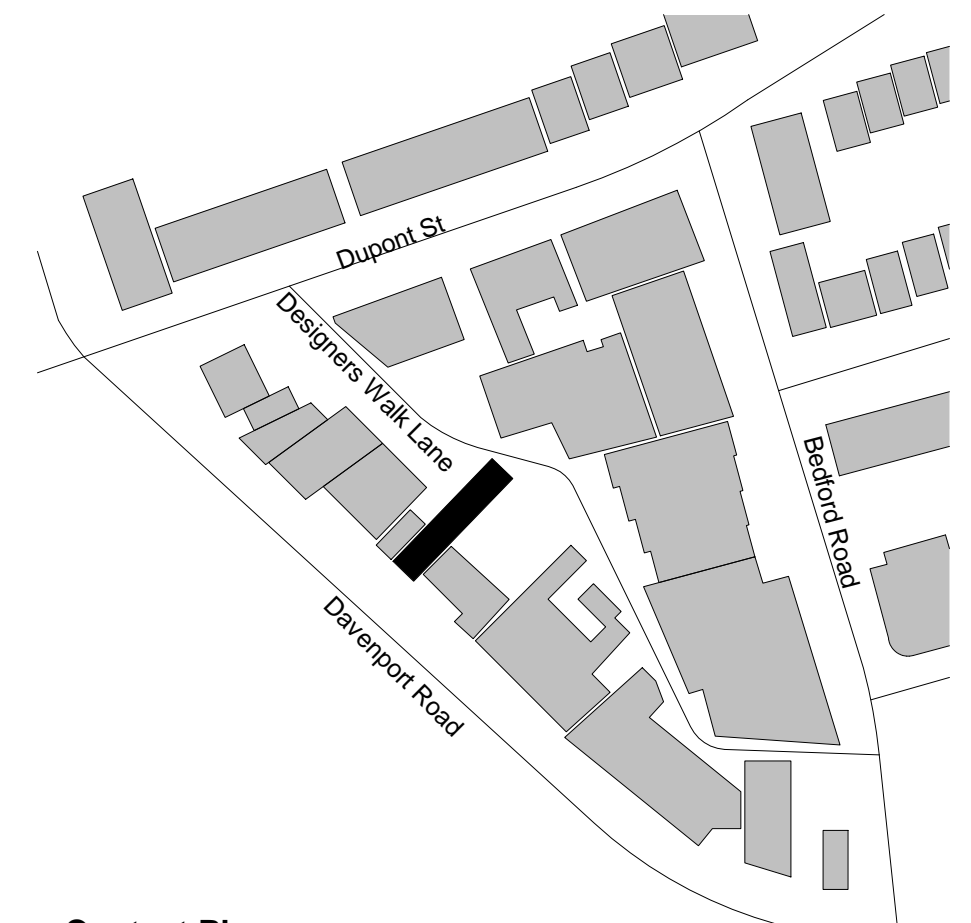
4 Level 2 Life Safety 1:150



5 Level 3 Life Safety 1:150



6 Level 4 Life Safety 1:150



1 Context Plan N.T.S.

Sheet Number	Sheet Name
ARCHITECTURAL	
A0.0	OBC Matrix, Life Safety Plan, Site Plan
A1.1	Existing & Demolition Plans
A1.2	Demolition RCP
A1.3	Proposed Plans & Schedules
A1.4	Reflected Ceiling Plans & Schedules
A2.0	Exterior Elevations
A2.1	Proposed Interior Elevations & Details
A2.2	Proposed Interior Elevations & Details
A2.3	Proposed Interior Elevations & Details
A3.0	Details - Covered Terrace
STRUCTURAL	
S0.1	General Notes
S0.2	General Notes
S1.1	Ground Floor Renovation Plan
S1.2	Level 2 Renovation Plan
S1.3	Level 3 Renovation Plan
S1.4	Level 4 Renovation Plan
S1.5	Roof Renovation Plan
S2.1	Sections and Details
MECHANICAL	
M-1	Mechanical Legend, Drawing List and Schedules
M-2	Basement 1 & 2 and Level 1 Plumbing Demolition
M-3	Level 2, 3 & 4 Plumbing Demolition
M-4	Basement 1 & 2 and Level 1 HVAC Demolition
M-5	Level 2, 3 & 4 HVAC Demolition
M-6	Basement 1 & 2 and Level 1 Fire Protection Demolition
M-7	Level 2, 3 & 4 Fire Protection Demolition
M-8	Basement 1 & 2 and Level 1 Plumbing New Layout
M-9	Level 2, 3 & 4 Plumbing New Layout
M-10	Basement 1 & 2 and Level 1 HVAC New Layout
M-11	Level 2, 3 & 4 HVAC New Layout
M-12	Basement 1 & 2 and Level 1 Fire Protection New Layout
M-13	Level 2, 3 & 4 Fire Protection New Layout
M-14	Mechanical Details
M-15	Mechanical Specification
ELECTRICAL	
E-1	Electrical Legend, Drawing List, Details and Schedules
E-2	Basement 1 & 2 and Level 1 Power Demolition
E-3	Level 2, 3 & 4 Power Demolition
E-4	Basement 1 & 2 and Level 1 Lighting Demolition
E-5	Level 2, 3 & 4 Lighting Demolition
E-6	Basement 1 & 2 and Level 1 Power New Layout
E-7	Level 2, 3 & 4 Power New Layout
E-8	Basement 1 & 2 and Level 1 Lighting New Layout
E-9	Level 2, 3 & 4 Lighting New Layout
E-10	Electrical Details
E-11	Panes Schedules
E-12	Electrical Specification
E-13	Fire Alarm System

**General Notes**

- All site access during the Work, including material delivery/removal and movement of personnel, shall be carried out via the west (Davenport Road). There is no contractor access via Designer's Walk Lane to the east. Contractor shall be responsible for obtaining Street Occupation Permits as required to complete the Work. Refer also to Specification 01500.
- Site visit is required by General Contractor to verify site conditions. Contact Architect for clarification if required.
- Make good all surfaces/areas/finishes damaged during demolition.
- All dimensions are to face of partition unless noted otherwise. Angles are 90 degrees unless noted otherwise.
- Contractor to chalk partition layout on floor for Architect's review prior to construction.
- Contractor to provide adequate blocking for all millwork, signage, grab bars, equipment, etc mounted to walls/ceilings.
- Patch, repair and make good all existing partitions, bulkheads, and ceilings within area of work. Prepare existing surfaces as required to receive new finishes.
- The General Contractor shall be responsible for all mechanical, electrical and plumbing work. The General Contractor shall be responsible for all chases, openings (including scanning/x-ray where required) and patching as required by mechanical, electrical, plumbing and IT cabling trades. Review requirements with these trades.
- The General Contractor shall be responsible for keeping areas clean (e. access to exit corridors, etc). Remove garbage and clean daily and as required. At the completion of the job, the General Contractor shall remove all protective materials and arrange for a professional cleaning service to clean/wipe down all surfaces, including walls, windows/glazing, sills, blinds and fixtures/fittings.
- General Contractor is to co-ordinate and co-operate with trades retained directly by Owner as applicable (eg. furniture installers, IT sub-trades etc.)
- The General Contractor shall be responsible for scheduling the trades identified in item 10, where such work affects the progress of the job.
- The General Contractor shall comply with all applicable Building and Fire Codes.
- All temporary shoring/support is the responsibility of the Contractor.

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Rev	Description	Date
1	ZCC Submission	15 June '18
2	Draft	28 June '18
3	Issued for Permit/Tender	13 July '18
4	Reissued for Building Permit	01 Aug '18

**Toronto Building**  
PERMIT REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE

18 197188 BLD 00

ZONING	O.B.C.	Johnson, David	07/Aug/2018
FIRE SERVICES			

O.B.C. (S)

**Life Safety Plan Legend**

- Travel Distance Max Allowable = 45m
- FHC Fire Hose Cabinet
- 0HR FRR
- 1HR FRR

**Toronto**  
The City has Relied upon the plans and drawings prepared and submitted by the qualified architects and/or engineers on this project.

The issuance of a permit does not imply a complete design review of this project has been performed and does not relieve the owner and designers from the need to comply with the Ontario Building Code and referenced standards where contravention are subsequently noted.



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Davenport Shelter

348 Davenport Road  
Toronto, ON  
MSR 1K6

PROJECT CODE:	SCALE:
18_22	As indicated
DATE:	STATUS:
August 2018	Permit/Tender

OBC Matrix, Life Safety Plan, Site Plan

Project North

drawing number

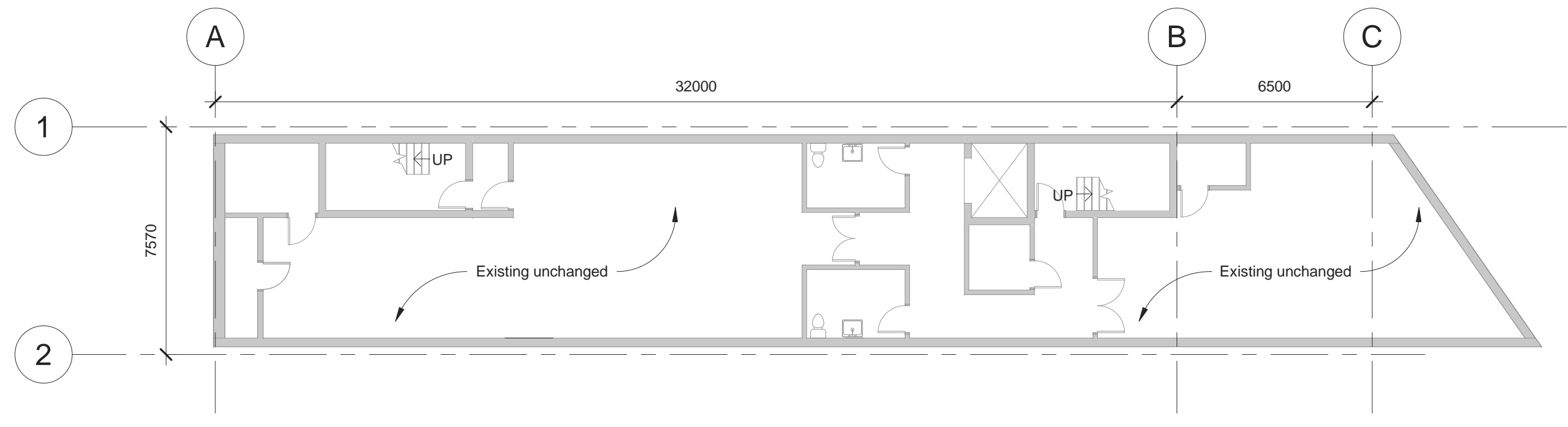
**A.O.O**

**Toronto Building** RECEIVED 07/Aug/2018

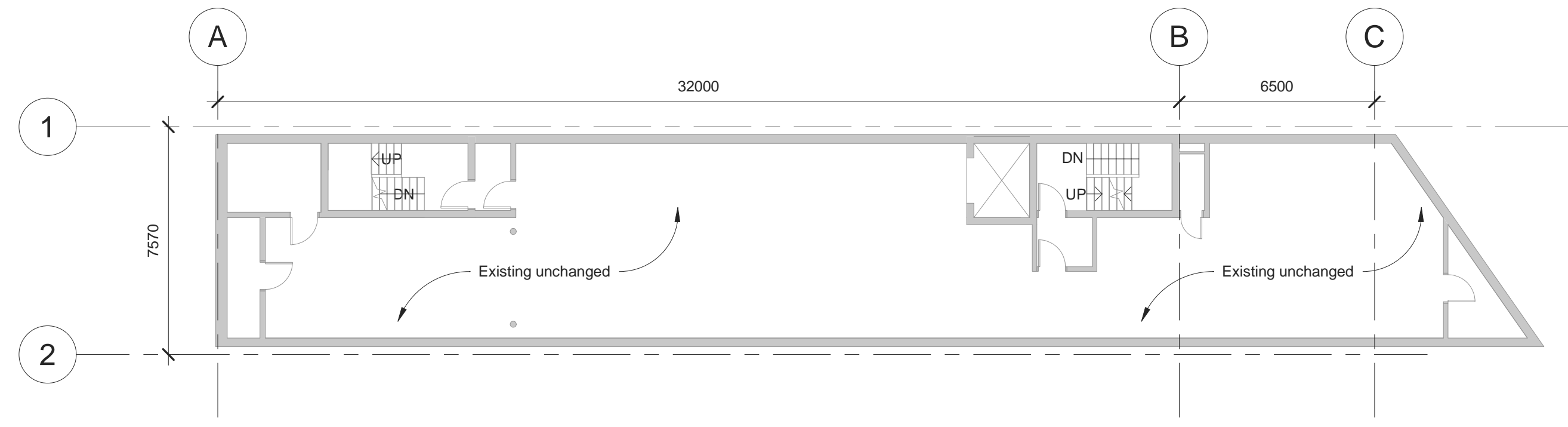
The issuance of this permit does NOT relieve the applicant/owner from the requirement to comply with any other applicable legislations, regulations, and standards including, but not limited to, the Ontario Human Rights Code, Accessibility for Ontarians with Disabilities Act, and Integrated Accessibility Standards Regulation.



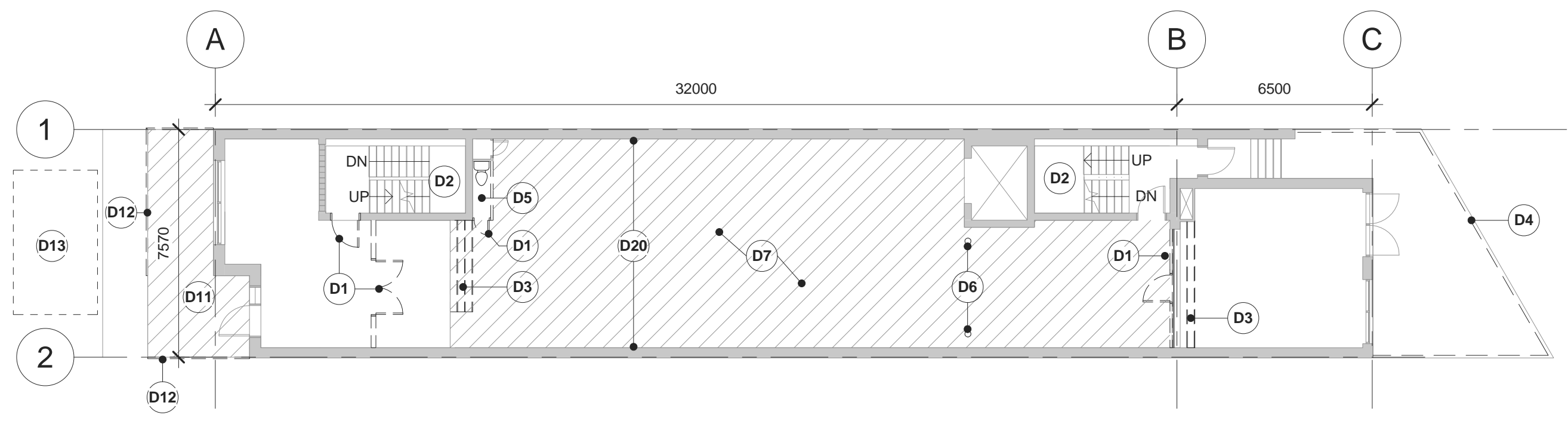
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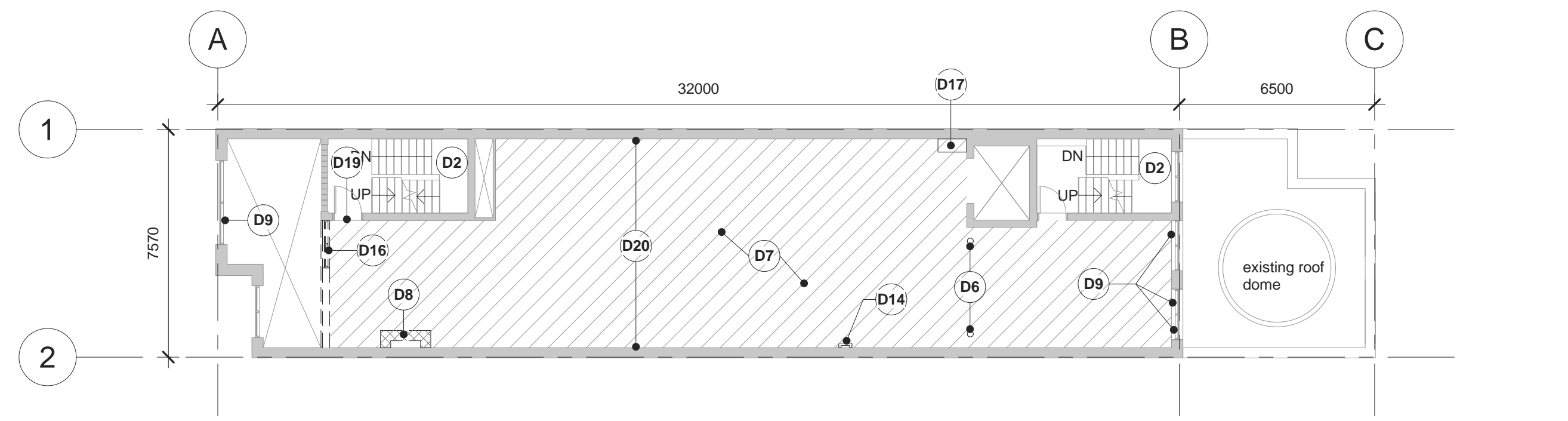
1 Basement 2 Existing  
1 : 150



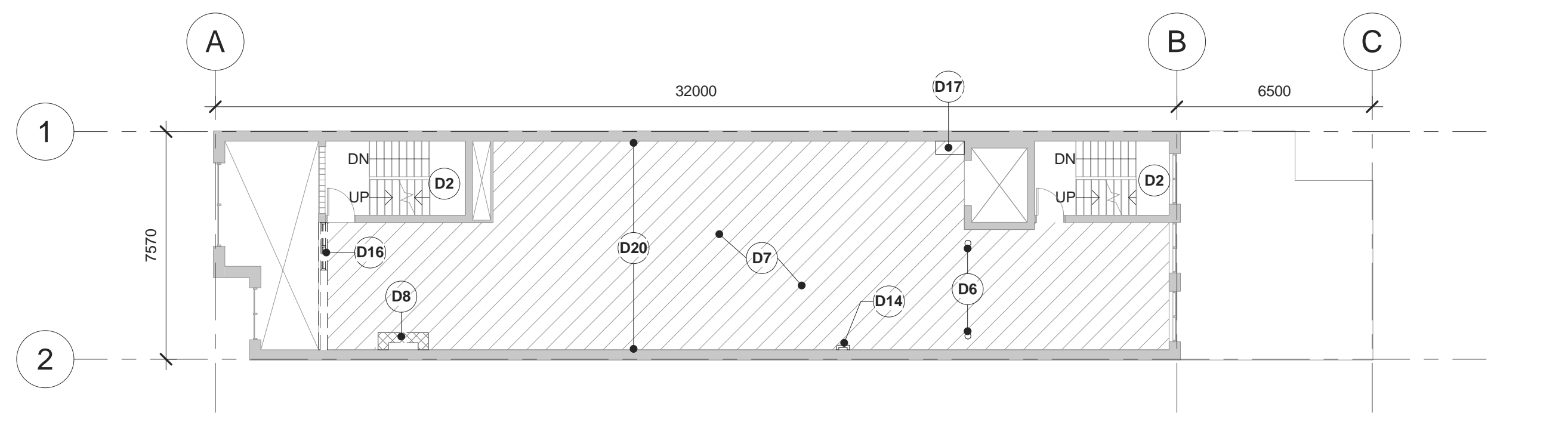
2 Basement 1 Existing  
1 : 150



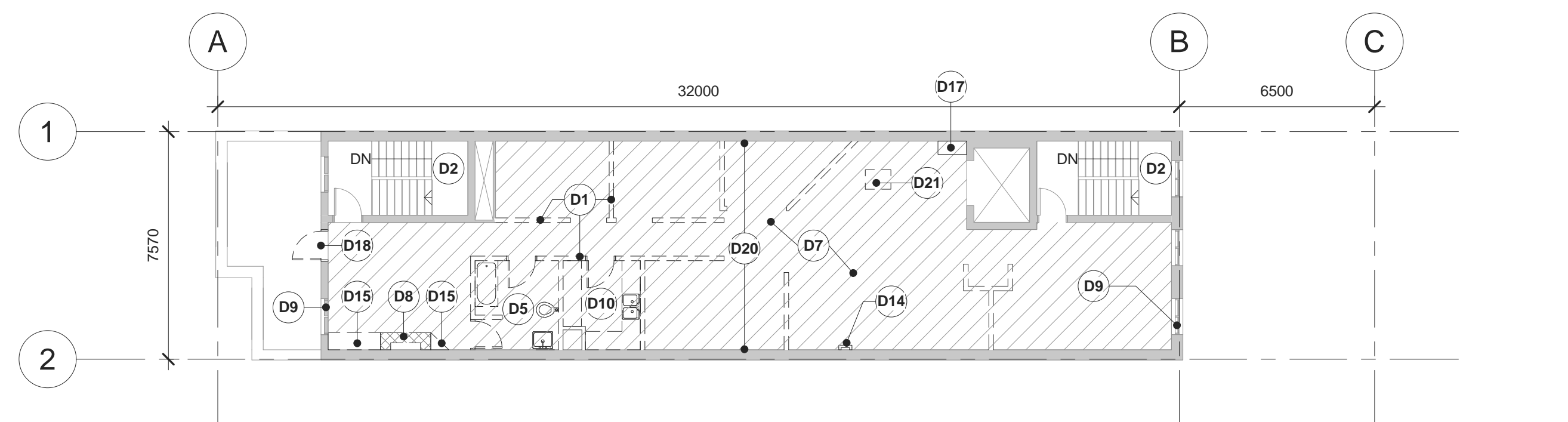
3 Level 1 Demolition  
1 : 150



4 Level 2 Demolition  
1 : 150



5 Level 3 Demolition  
1 : 150



6 Level 4 Demolition  
1 : 150

Rev	Description	Date
1	ZZC Submission	15 June '18
2	Draft	28 June '18
3	Issued for Permit/Tender	13 July '18

**Toronto Building**  
PERMIT REVIEWED FOR COMPLIANCE WITH  
THE ONTARIO BUILDING CODE

18 19 **FOR** D 00  
**REFERENCE ONLY**  
ZONING  
O.B.C.  
FIRE SERVICES  
O.B.C. (S)

**Demolition Legend**

- Existing CMU partition to be demolished
- Existing wall partition system to be demolished
- Existing element to be demolished
- Approximate extent of flooring to be removed
- Approximate extent of ceiling to be removed
- Existing door leaf and frame to be demolished



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**Davenport Shelter**

348 Davenport Road  
Toronto, ON  
M5R 1K6

PROJECT CODE:	SCALE:
18_22	As indicated
DATE:	STATUS:
July 2018	Permit/Tender

**Existing & Demolition Plans**



Demolition Notes	
Note	Description
D1	Demolish partition walls, doors and frames. Make good adjacent surfaces.
D2	Patch and level existing concrete at stair landings and treads to receive new floor finish throughout (typ)
D3	Demolish stairs. Make good adjacent surfaces.
D4	No access to lane.
D5	Demolish all plumbing fixtures, washroom accessories and floor finishes.
D6	Demolish decorative columns.
D7	Remove and dispose of flooring throughout. Prepare floor to receive new floor finish. Prepare concrete slab to receive new floor finish.
D8	Demolish masonry fireplace. Make good adjacent surfaces.
D9	Remove and replace damaged glazed unit in existing window - refer to exterior elevations for location of panels.
D10	Demolish all millwork, plumbing, kitchen appliances and floor finishes.
D11	Remove and dispose of paving. Prepare slab to receive new paving.
D12	Remove and dispose of existing railing.
D13	Street occupation permit if required.
D14	Demolish chisel/bump out. Make good adjacent surfaces.
D15	Demolish millwork. Make good adjacent surfaces.
D16	Demolish railing, partition and screen. Make good adjacent surfaces.
D17	New floor opening for shaft. Refer to structural and mechanical.
D18	Demolish exterior door and frame. Make good adjacent surfaces. Prepare floor for new curb/threshold.
D19	Remove and replace glazed lite in existing door.
D20	Remove wood baseboards at perimeter walls throughout. Prepare wall surface to receive new finish.
D21	New roof opening for skylight - see structural.

Ceiling Demolition Notes	
Note	Description
CD1	Demolish existing ceiling as required to accommodate new tie-ins. Demolish crown molding and light fixtures throughout. Patch and repair walls/ceilings as required. Refer to mechanical for additional demolition requirements.
CD2	New roof opening for skylight.
CD3	Remove and dispose of chandeliers. Patch and repair existing ceiling as required.
CD4	Remove and reinstate ceiling at stair landings (typ). Work to include stairs to B1 & B2.

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4	Reissued for Building Permit	01 Aug '18



18 197188 BLD 00

ZONING	O.B.C.	FIRE SERVICES	O.B.C. (S)

**Demolition Legend**

- Existing CMU partition to be demolished
- Existing wall partition system to be demolished
- Existing element to be demolished
- Approximate extent of flooring to be removed
- Approximate extent of ceiling to be removed
- Existing door leaf and frame to be demolished



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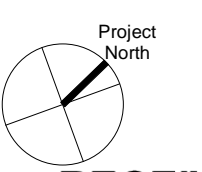
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**Davenport Shelter**

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M5R 1K6

PROJECT CODE:	SCALE:
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Demolition RCP



Project number

**A12**

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Note	Description
1	New flooring throughout. See room finish schedule.
2	Grey tone indicates new floor slab at elevation 11820.
3	New 1:12 accessible ramp as per Div B 3.8.3.4
4	New movable partition.
5	Storage with closer panel for movable partition panels.
6	New wooden stair and platform. See structural.
7	New partial height partitions between beds at 1219 A.F.F. (typ). Steel post at end of partition to u/s structure - see detail.
8	New 300 x 800 shaft.
9	New full height partitions to u/s ceiling.
10	New plumbing fixtures and washroom accessories.
11	New fire rated partition and glazed screen. Refer to elevations.
12	New stone pavers.
13	New glass guard. See details.
14	New water bottle filler.
15	New curb threshold at door. Refer to detail.
16	New glazed unit in existing window - refer to exterior elevations for location of panels.
18	Remove cap flashing around terrace perimeter and take care not to damage. Fully grout concrete blocks and restate cap flashing.
19	Line indicates change in floor finish colour (typ).
20	New wall mounted guardrail in front of glazed screen - see detail.
21	Recessed fire extinguisher.

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**Legend**

Existing partition to remain

New partition as scheduled

**Symbols Legend**

PW1 Partition Tag - refer to partition schedule

SX Glazed Screen tag - refer to schedule

DX1 New Door tag - refer to schedule

MW1 Millwork Tag

GWB Ceiling Material Height above Finished Floor

(E) Existing

N.I.C. Not in Contract

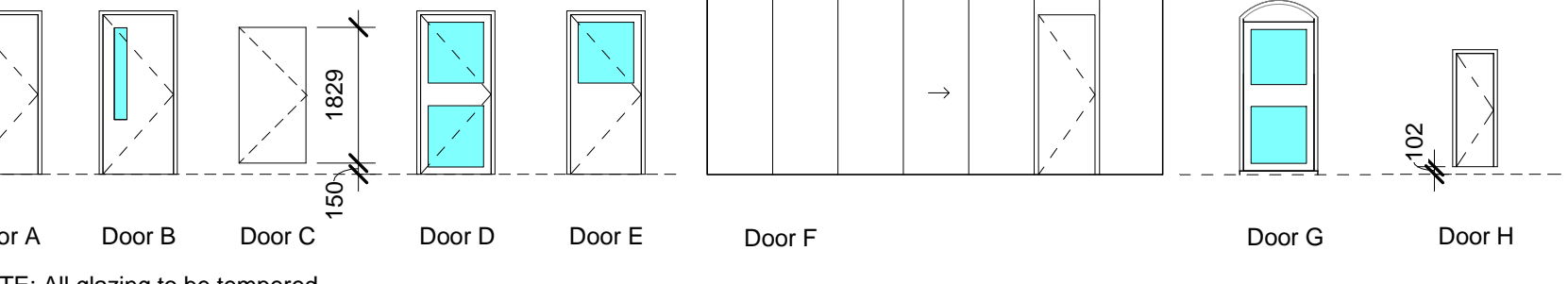
Bed (N.I.C.)

Storage Locker

Washer & Dryer (N.I.C.)

FRP at 1219 A.F.F.

Door No.	Room	Type	Mark	Height	Width	Door Mtl	Finish	Fram e Mtl	Frame Fin.	Comments	Card Reader	FRR
D100A	Lobby	-		2400	1016	HM	PT	HM	PT	New hardware at existing door. Power door operator. Door release switch from reception	Yes (future)	
D100B	Lobby	B		2150	950	HM	PT	HM	PT	Power door operator. Door release switch from reception.		45min
D101	Reception	B		2150	950	HM	PT	HM	PT	Power door operator.	Yes (future)	45min
D102Aa	Intake Room	B		2150	950	HM	PT	HM	PT			
D102Ab	Intake Room	B		2150	950	HM	PT	HM	PT			
D102C	BF WC	A		2150	950	HM	PT	HM	PT	Power door operator.		
D102D	Hot Room	A		2150	800	HM	PT	HM	PT			
D103	Universal WC	A		2150	950	HM	PT	HM	PT	Power door operator.		
D106	Community Room	F		2438	6130	-	SMB	-	-	Operable partition (7 panels) with pass through door.		
D108A	Counselling	B		2150	950	HM	PT	HM	PT			
D108B	Counselling	A		2150	950	HM	PT	HM	PT			
D109	Counselling	B		2150	950	HM	PT	HM	PT			
D110	Laundry	B		2150	950	HM	PT	HM	PT			
D111	Loading and Receiving	A		2150	950	HM	PT	HM	PT			
D201	Janitor's Closet	A		2150	950	HM	PT	HM	PT			
D202	BF WC	A		2150	950	HM	PT	HM	PT			
D202A	BF WC	C		1829	950	TP				Toilet Partition Door (Division 10)		
D202B	BF WC	C		1829	950	TP				Toilet Partition Door (Division 10)		
D301	Janitor's Closet	A		2150	950	HM	PT	HM	PT			
D302	BF WC	A		2150	950	HM	PT	HM	PT			
D302A	BF WC	C		1829	950	TP				Toilet Partition Door (Division 10)		
D302B	BF WC	C		1829	950	TP				Toilet Partition Door (Division 10)		
D401	Janitor's Closet	A		2150	950	HM	PT	HM	PT			
D402	WC	A		2150	950	HM	PT	HM	PT			
D402A	WC	C		1829	813	TP				Toilet Partition Door (Division 10)		
D402B	WC	C		1829	813	TP				Toilet Partition Door (Division 10)		
D403A	Universal WC	A		2150	950	HM	PT	HM	PT	Power door operator.		
D403B	Universal WC	A		2150	950	HM	PT	HM	PT	Power door operator.		
D404	Isolation Room	B		2150	950	HM	PT	HM	PT			
D406	Vestibule	D		2150	950	HM	PT	HM	PT			
D407	Covered Terrace	G		2007	1098	ALUM	GL	ALUM	ALUM	New door to fit existing frame dimensions.		
DB100	IT Closet	A		2150	950	HM	PT	HM	PT			
DC100	Chase	H		1524	900	HM	PT	HM	PT	New chase door to fit existing opening.		
DS100	Stair 1	E		2150	900	HM	PT	HM	PT	Use existing hardware on new door.	Yes	45min
DS102	Stair 2	-		2150	900	HM	PT	HM	PT	New hardware at existing door.	Yes (future)	



Room No.	Room Name	Wall Finish	Floor Finish	Base Finish	Ceiling Finish	Comments
000	Patio	-	PV	-	-	
100	Lobby	FRP/GWB	EXIST	FRP	-	FRP to 1219 A.F.F. Refer to dotted line on plan.
101	Reception	FRP/GWB	EXIST	FRP	-	FRP to 1219 A.F.F. Refer to dotted line on plan.
102A	Intake Room	FRP	EPO	EPO	GWB	
102B	Laundry	FRP	EPO	EPO	GWB	
102C	BF WC	FRP	EPO	EPO	GWB/FRP	FRP ceiling in shower room.
102D	Hot Room	FRP	EPO	EPO	GWB	
103	Universal WC	FRP	EPO	EPO	GWB	
104	Staff	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
105	Program Room	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
106	Community Room	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
107	Servery	SS	RES	-	GWB	
108	Counselling	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
109	Counselling	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
110	Laundry	GWB	RES	FRP	ACT	
111	Loading & Receiving	EXIST	EXIST	EXIST	EXIST	
200	BF Dorms - 19 beds	FRP/GWB	RES	FRP	GWB/ACT	FRP to 1219 A.F.F. Refer to dotted line on plan. Roller shades to be provided at all new screens and existing windows.
201	Janitor's Closet	FRP/SS	EPO	EPO	EXP	SS at mop sink.
202	BF WC	FRP	EPO	EPO	GWB/FRP	FRP ceiling in shower room.
203	Staff	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
300	Dorms - 20 beds	FRP/GWB	RES	FRP	GWB/ACT	FRP to 1219 A.F.F. Refer to dotted line on plan. Roller shades to be provided at all new screens and existing windows.
301	Janitor's Closet	FRP/SS	EPO	EPO	EXP	SS at mop sink.
302	BF WC	FRP	EPO	EPO	GWB	
303	Staff	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
400	Dorms - 17 beds	FRP/GWB	RES	FRP	GWB/ACT	FRP to 1219 A.F.F. Refer to dotted line on plan. Roller shades to be provided at all new screens and existing windows.
401	Janitor's Closet	FRP/SS	EPO	EPO	EXP	SS at mop sink.
402	WC	FRP	EPO	EPO	GWB	
403	Universal WC	FRP	EPO	EPO	GWB/FRP	FRP ceiling in shower room.
404	Single Occupant Room	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
405	Staff Area	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
406	Vestibule	FRP/GWB	RES	FRP	GWB	FRP to 1219 A.F.F. Refer to dotted line on plan.
407	Covered Terrace	TGL	-	-	EXP	
B100	IT Closet	EXIST	EXIST	EXIST	EXIST	
C100	Chase	-	-	-	-	
S100	Stair 1	EXIST	RES/RB	RB	EXIST	New rubber treads and nosing throughout. New resilient flooring at stair landings.
S102	Stair 2	EXIST	RES/RB	RB	EXIST	New rubber treads and nosing throughout. New resilient flooring at stair landings.

**Materials Legend**

ALUM Aluminum

EPO Epoxy

EXIST Existing

EXP Exposed

FRG Fire Rated Glass

FRP Fiberglass Reinforced Panel

GWB Gypsum Wallboard (Paint)

LGL Laminated Glass

MIR Mirror

PT Paint Finish

PV Paving Stones

QTZ Quartz

RB Rubber Base

RES Resilient Flooring

SP Solid Phenolic Toilet Partition

SS Stainless Steel

SMB Steel Marker Board

TGL Tempered Glass



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Davenport Shelter

348 Davenport Road  
Toronto, ON  
M5R 1K6

PROJECT CODE: 18\_22 SCALE: As indicated

DATE: August 2018 STATUS: Permit/Tender

Proposed Plans & Schedules

Project North

drawing number **A13**

TORONTO Building RECEIVED 07/AUG/2018



**TORONTO Building**  
PERMIT REVIEWED FOR COMPLIANCE WITH  
THE ONTARIO BUILDING CODE

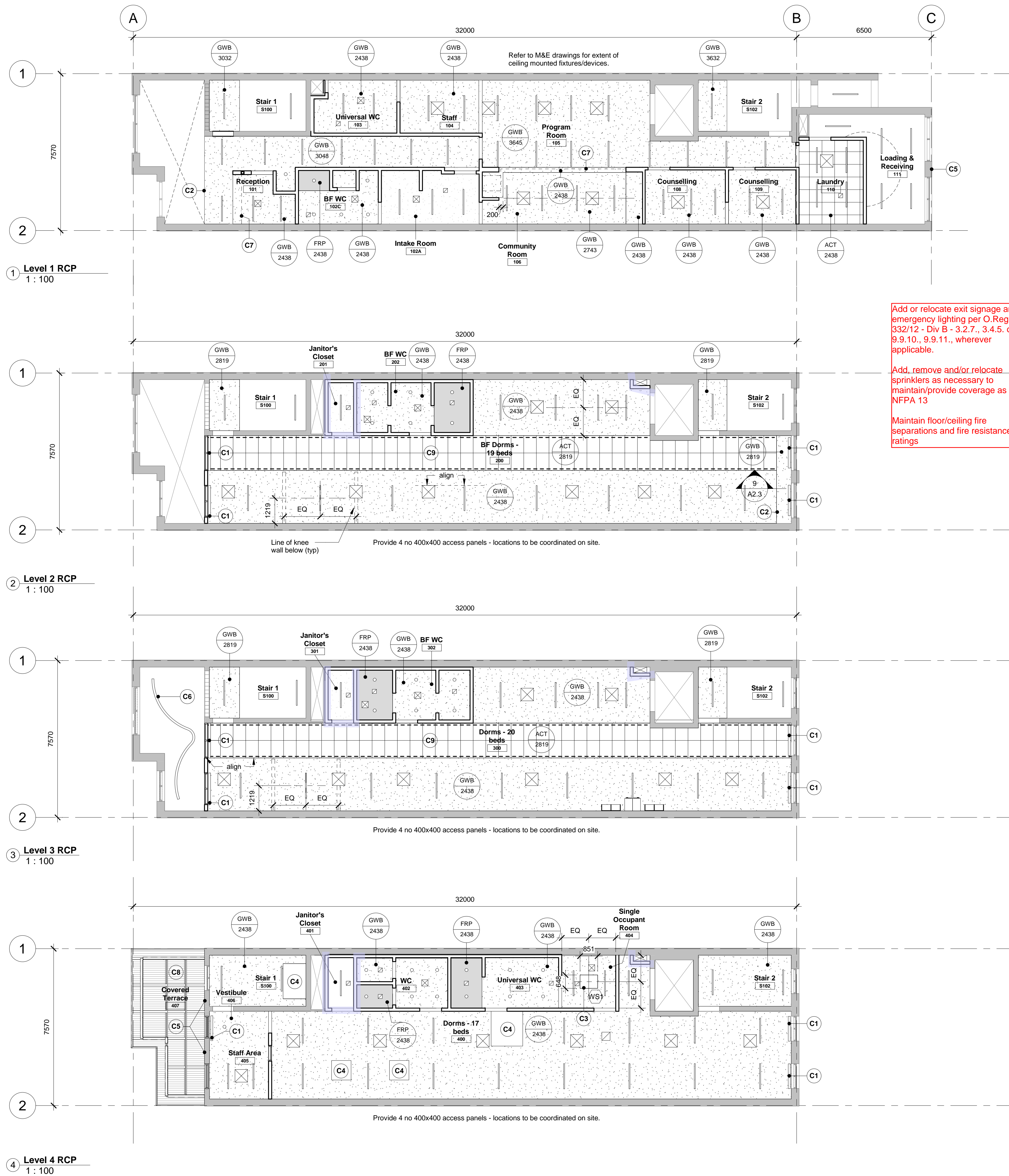
18 197188 BLD 00

ZONING: O.S.C. Johnson, David 07/AUG/2018

FIRE SERVICES: O.B.C. (S)

**TORONTO Building**

In buildings of combustible construction, except for exit closets, flame-spread rating of all interior wall and ceiling finishes (including glazing) shall not exceed 150.



Add or relocate exit signage and emergency lighting per O.Reg. 332/12 - Div B - 3.2.7., 3.4.5. or 9.9.10., 9.9.11., wherever applicable.

Add, remove and/or relocate sprinklers as necessary to maintain/provide coverage as per NFPA 13

Maintain floor/ceiling fire separations and fire resistance ratings

Ceiling Notes	
Note	Description
C1	New rollershades at window/screen (typ)
C2	New GWB downstand.
C3	New skylight. See structural.
C4	Existing skylight.
C5	New exterior wall mounted light - see electrical.
C6	Suspended feature light - see electrical.
C7	Support beam for door - see structural.
C8	Paint underside of roof deck
C9	Provide 19mm GWB finish at u/s roof joists above ACT ceiling for continuity of fire separation

**ASSEMBLY SCHEDULE**

- CEMENT BOARD SUBSTRATE TO BE PROVIDED THROUGHOUT ALL WASHROOM/SHOWER AREAS AND AT ALL LOCATIONS SCHEDULED TO RECEIVE FULL HEIGHT FRP FINISH - REFER TO SPECIFICATION 09250
- PROVIDE CONTINUOUS PLYWOOD BLOCKING BEHIND ALL MILLWORK CABINETS, SUSPENDED ITEMS, TELEVISIONS ETC.
- REFER TO DRAWINGS/DETAILS FOR TERMINATION HEIGHT OF PARTITIONS. ASSUME TERMINATION AT U/S DECK UNLESS NOTED OTHERWISE.
- PROVIDE FIRE RESISTANCE RATINGS AS INDICATED ON DRAWINGS

**INTERIOR PARTITIONS**

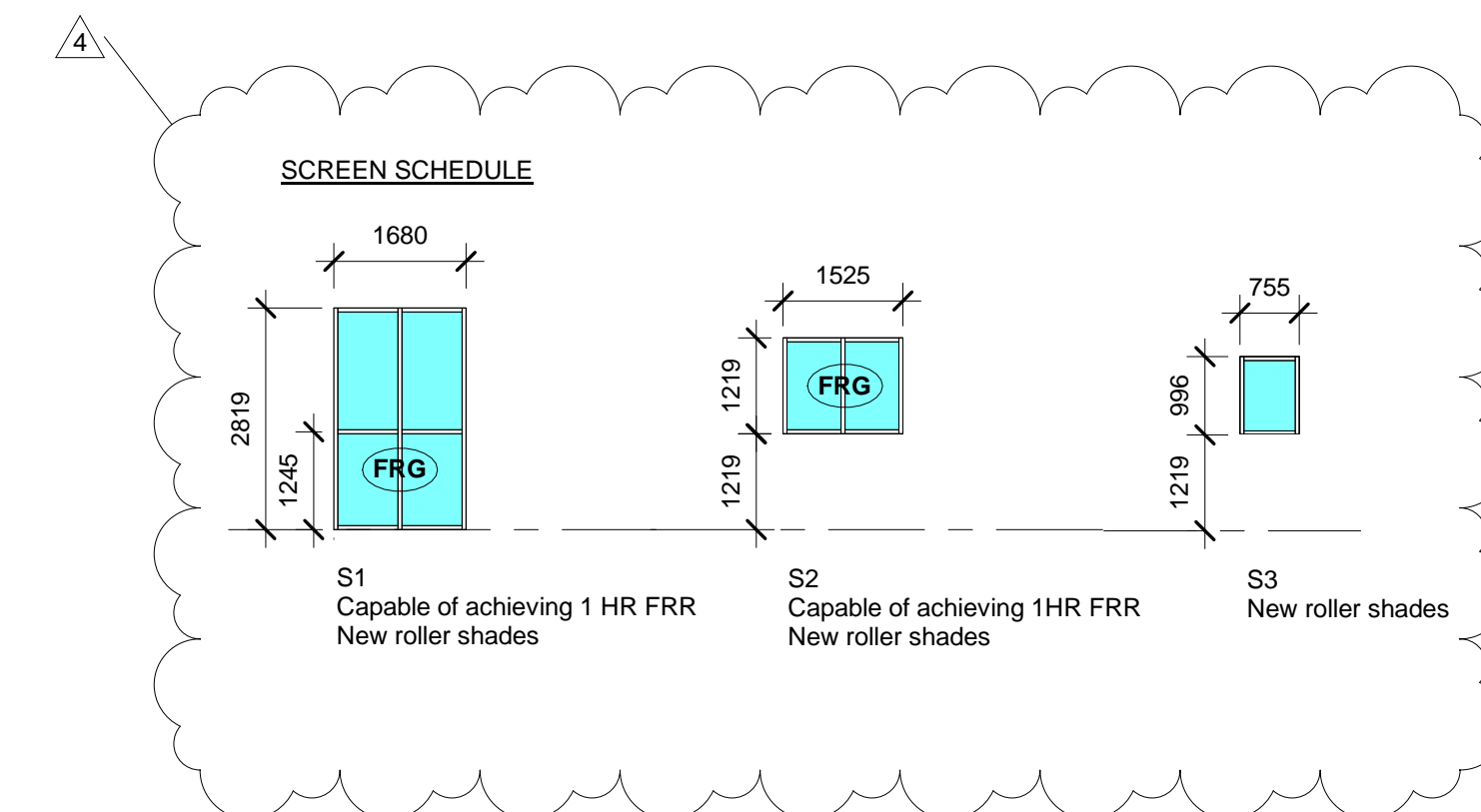
- PW1** 1 LAYER 16mm TYPE X GYPSUM WALLBOARD  
92mm STEEL STUDS  
1 LAYER 16mm TYPE X GYPSUM WALLBOARD  
FINISHES AS SCHEDULED
  - PW2** 1 LAYER 16mm TYPE X GYPSUM WALLBOARD  
150mm STEEL STUDS  
1 LAYER 16mm TYPE X GYPSUM WALLBOARD  
FINISHES AS SCHEDULED
- CAPABLE OF ACHIEVING 1HR FRR WHERE INDICATED PER ULC W453

**FLOOR ASSEMBLY**

- F1** FLOOR FINISH AS SCHEDULED  
2 LAYERs 19mm T&G PLYWOOD SUBFLOOR  
WOOD FRAMING (SEE STRUCTURAL)
- F2** UNIT PAVERS ON PEDESTALS  
PROTECTION BOARD  
EXISTING ROOF MEMBRANE/STRUCTURE

**ROOF ASSEMBLY**

- R1** METAL DECKING ON SLOPED STRUCTURE (SEE STRUCTURAL)



18 197188 BLD 00

ZONING		
O.B.C.		
FIRE SERVICES		
O.B.C. (S)		

Rev	Description	Date
2	Draft	28 June '18
3	Issued for Permit/Tender	13 July '18
4	Reissued for Building Permit	01 Aug '18

**Legend**

- Existing partition to remain
- New partition as scheduled

**Symbols Legend**

- PW Partition Tag - refer to partition schedule
- SX Glazed Screen tag - refer to schedule
- DX New Door tag - refer to schedule
- MW1 Millwork Tag
- GWB Ceiling Material Height above Finished Floor
- (E) Existing
- N.I.C. Not in Contract
- Bed (N.I.C.)
- Storage Locker
- Washer & Dryer (N.I.C.)
- FRP at 1219 A.F.F.

**Ceiling Legend**

- Potlight - see electrical
- LED cove light - see electrical
- LED lighting fixture - see electrical
- Return/exhaust grille
- Supply air diffuser



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**Davenport Shelter**

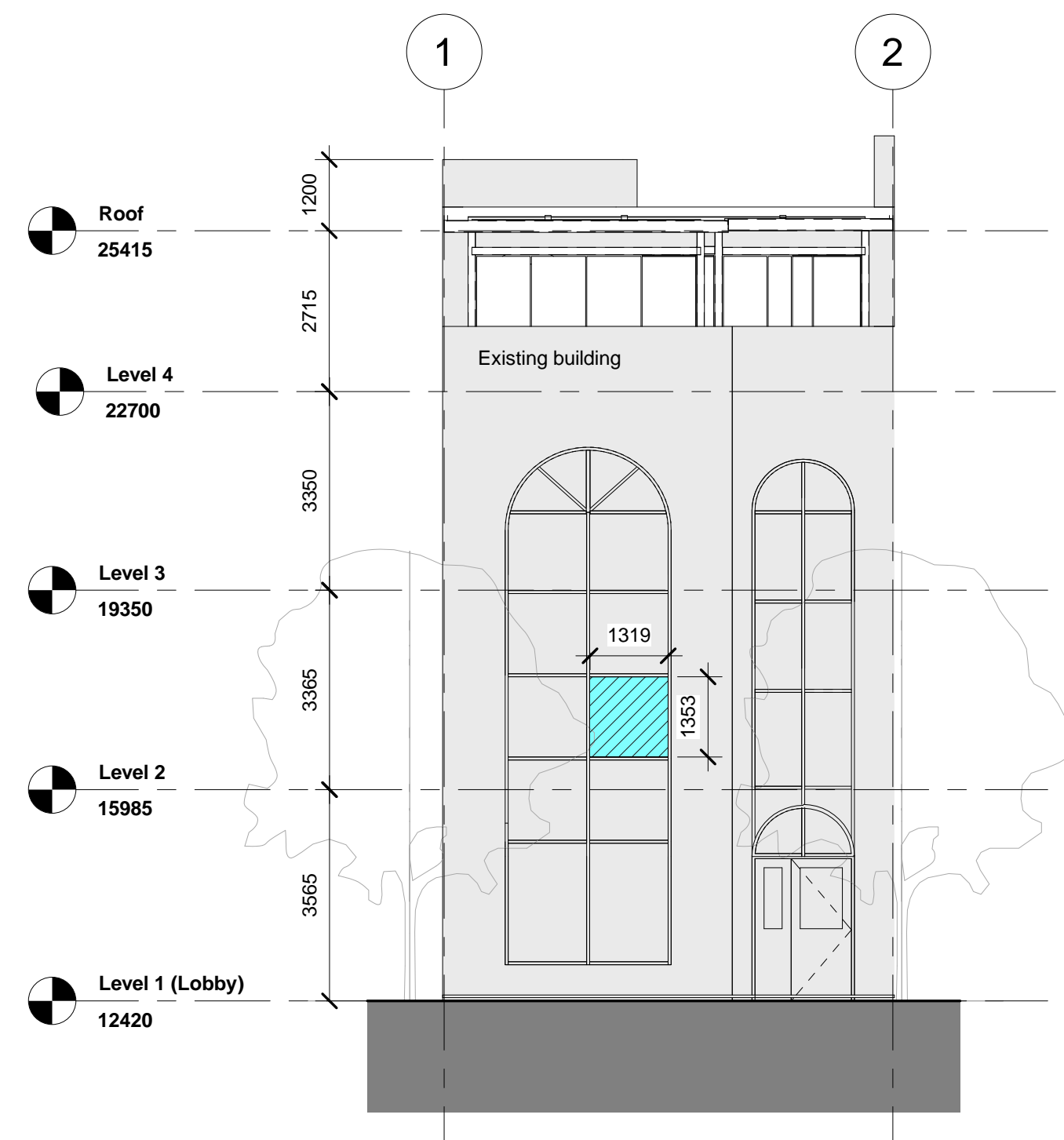
348 Davenport Road  
Toronto, ON  
M5R 1K6

PROJECT CODE: 18_22	SCALE: As indicated
DATE: August 2018	STATUS: Permit/Tender

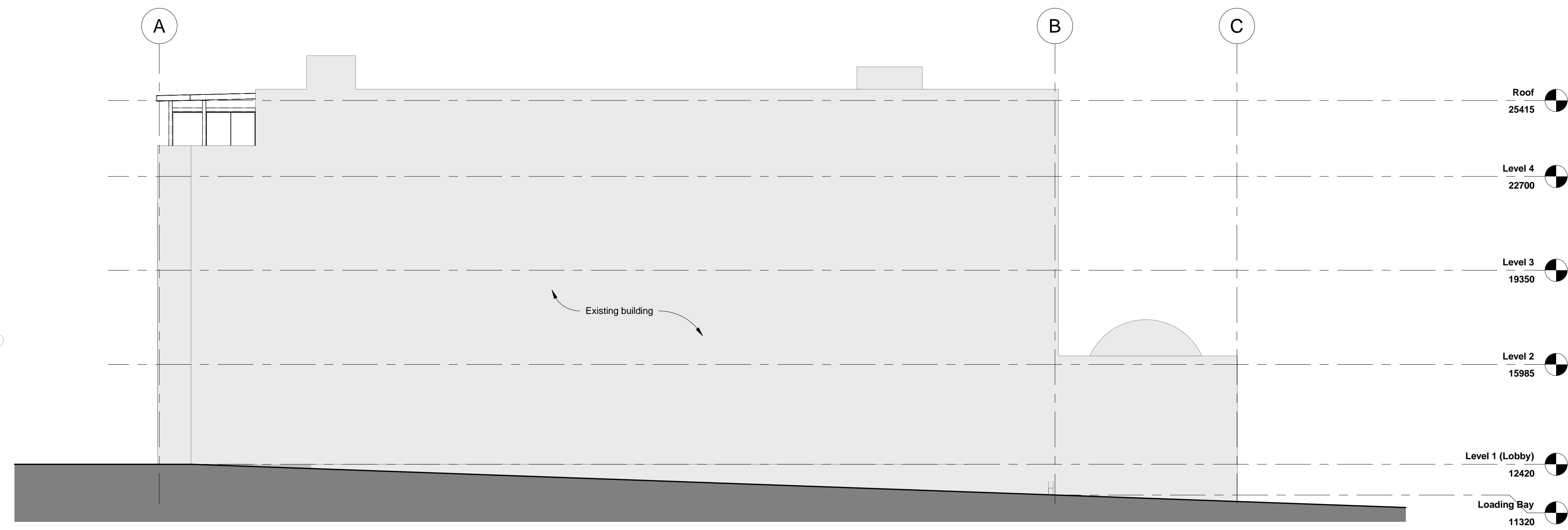
**Reflected Ceiling Plans & Schedules**



Rev	O.B.C. Description	Date
1	ZZC Submission	15 June '18
2	Draft	28 June '18
3	Issued for Permit/Tender	13 July '18
4	Reissued for Building Permit	01 Aug '18



1 West Elevation  
1 : 100



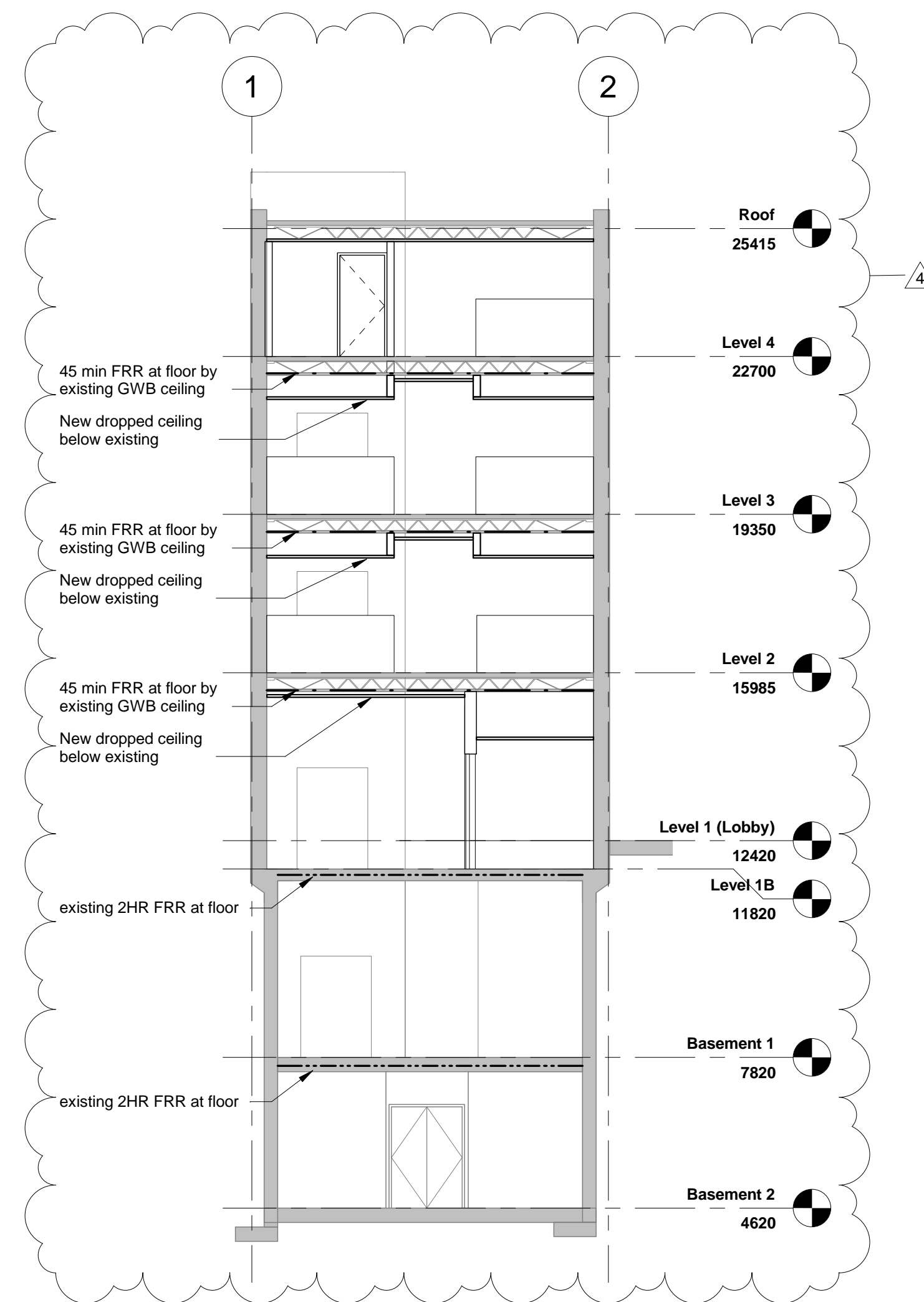
2 South Elevation  
1 : 100



3 East Elevation  
1 : 100

Sealed Insulated Glass Units to CAN/CGSB-12.8:  
Clear Tempered Glass (TGL) outdoor lite, minimum 4mm thickness.  
Low-E coating to #2 surface (Solarban 67 clear by PPG Industries Inc, SunGuard SN68 clear by Guardian or VE1-2M by Viracron)  
Hermetically sealed, dehydrated air space, 100% Argon filled, 25mm overall thickness  
Clear TGL inboard lite, minimum 4mm thickness

Glass Unit Performance Requirements:  
Visible Light Transmittance (VLT): .66 minimum  
U-Value: 0.38 (IP) maximum  
Solar Heat Gain Coefficient (SHG): .40 maximum



4 Section Looking East  
1 : 100

MAINTAIN EXISTING FLOOR/CEILING FIRE RESISTANCE RATINGS AND FIRE SEPARATIONS

Floor/Ceiling Assembly Legend

- 0HR FRR
- - - 45MIN FRR
- - - - 1HR FRR
- - - - - 2HR FRR



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18_22	As indicated
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Exterior Elevations

ZONING	O.B.C.	FIRE SERVICES

Rev	Description	Date
2	Draft	28 June '18
3	Issued for Permit/Tender	13 July '18
4	Reissued for Building Permit	01 Aug '18

**Materials Legend**

ALUM	Aluminum
EPO	Epoxy
EXIST	Existing
EXP	Exposed
FRG	Fire Rated Glass
FRP	Fiberglass Reinforced Panel
GWB	Gypsum Wallboard (Painted)
LGL	Laminated Glass
MIR	Mirror
PT	Paint Finish
PV	Paving Stones
QTZ	Quartz
RB	Rubber Base
RES	Resilient Flooring
SP	Solid Phenolic Toilet Partition
SS	Stainless Steel
SMB	Steel Marker Board
TGL	Tempered Glass

**Millwork Hardware Legend**

Adjustable Shelf Pins/Ferrules: Richelieu No 2291/2292-180 nickel finish at 2" centres or approved equivalent

Bumpers: 2 each per door: Richelieu No 2291/2292-180 nickel finish at 2" centres or approved equivalent

Cabinet Locks: Corbin 02067 x 7/8 or approved equivalent

Cabinet/Drawer Pulls: Richelieu Catalogue No BP2213175 or approved equivalent

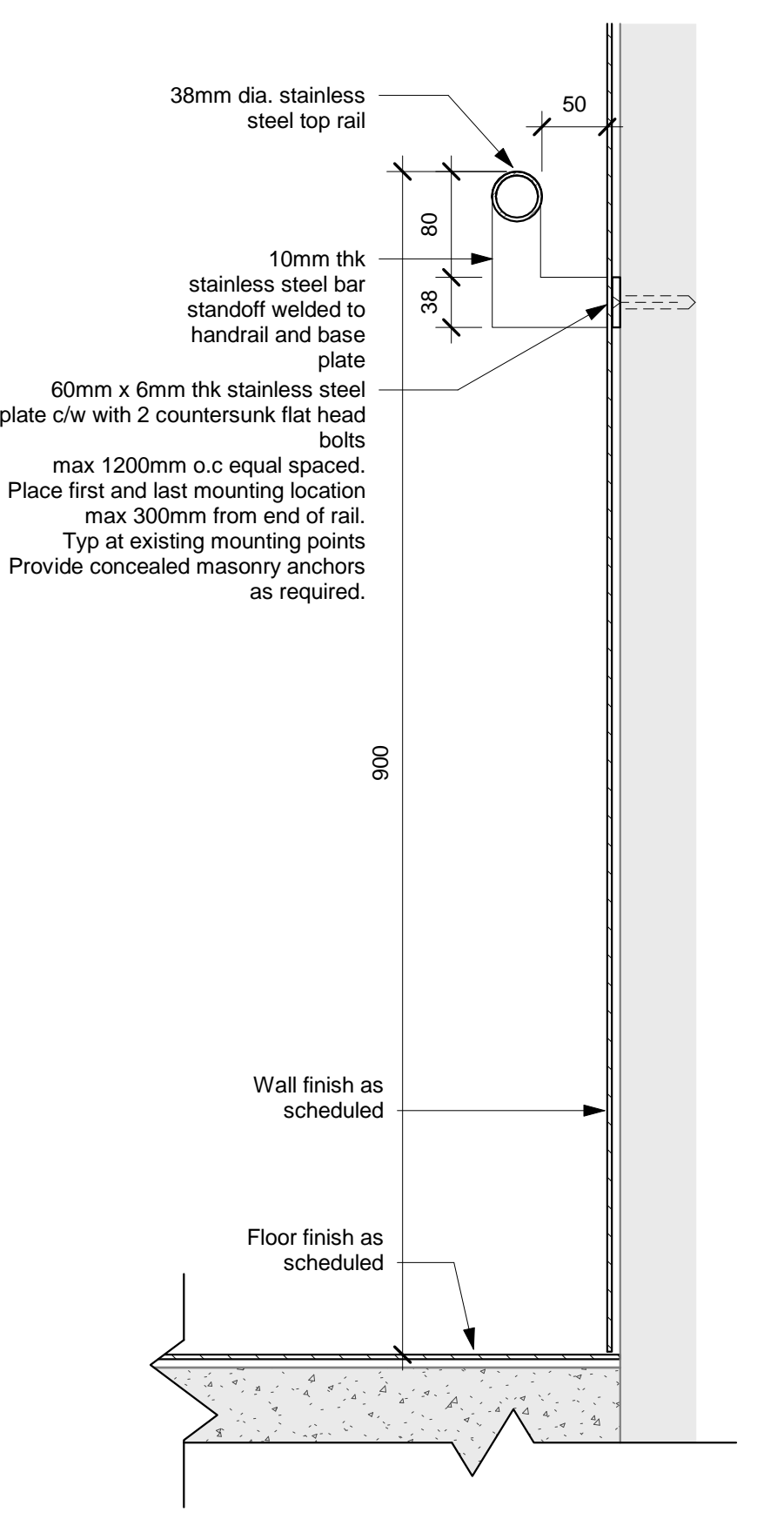
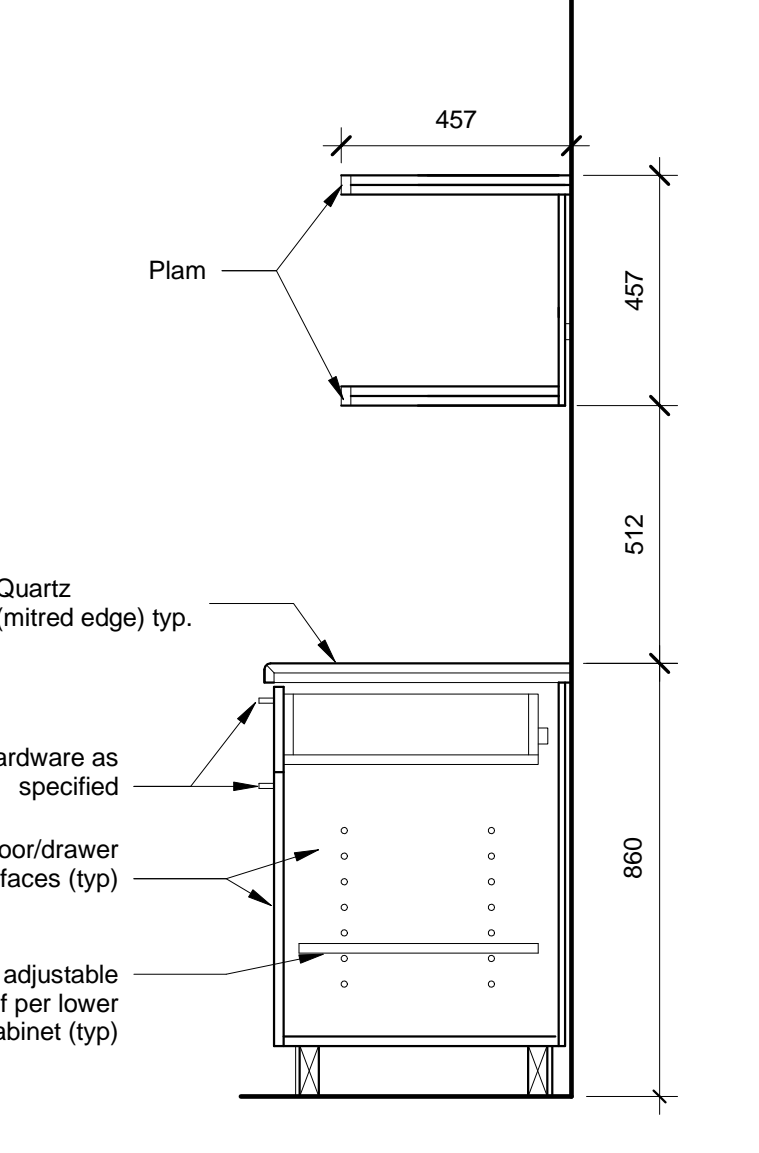
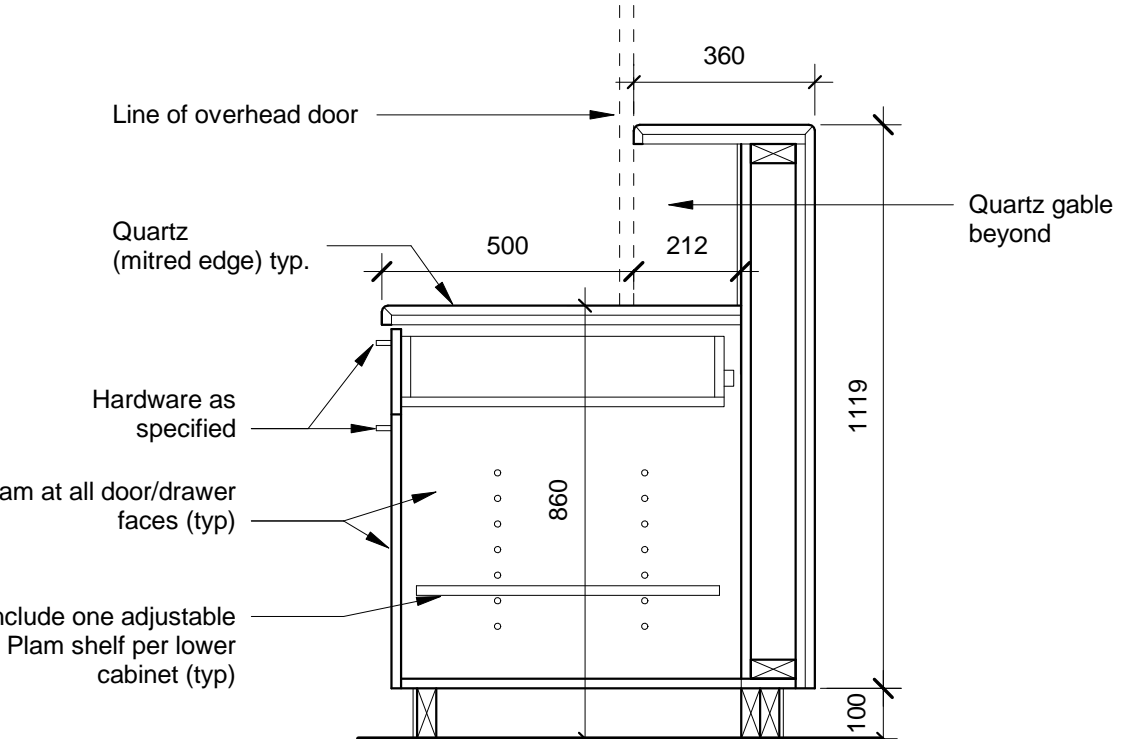
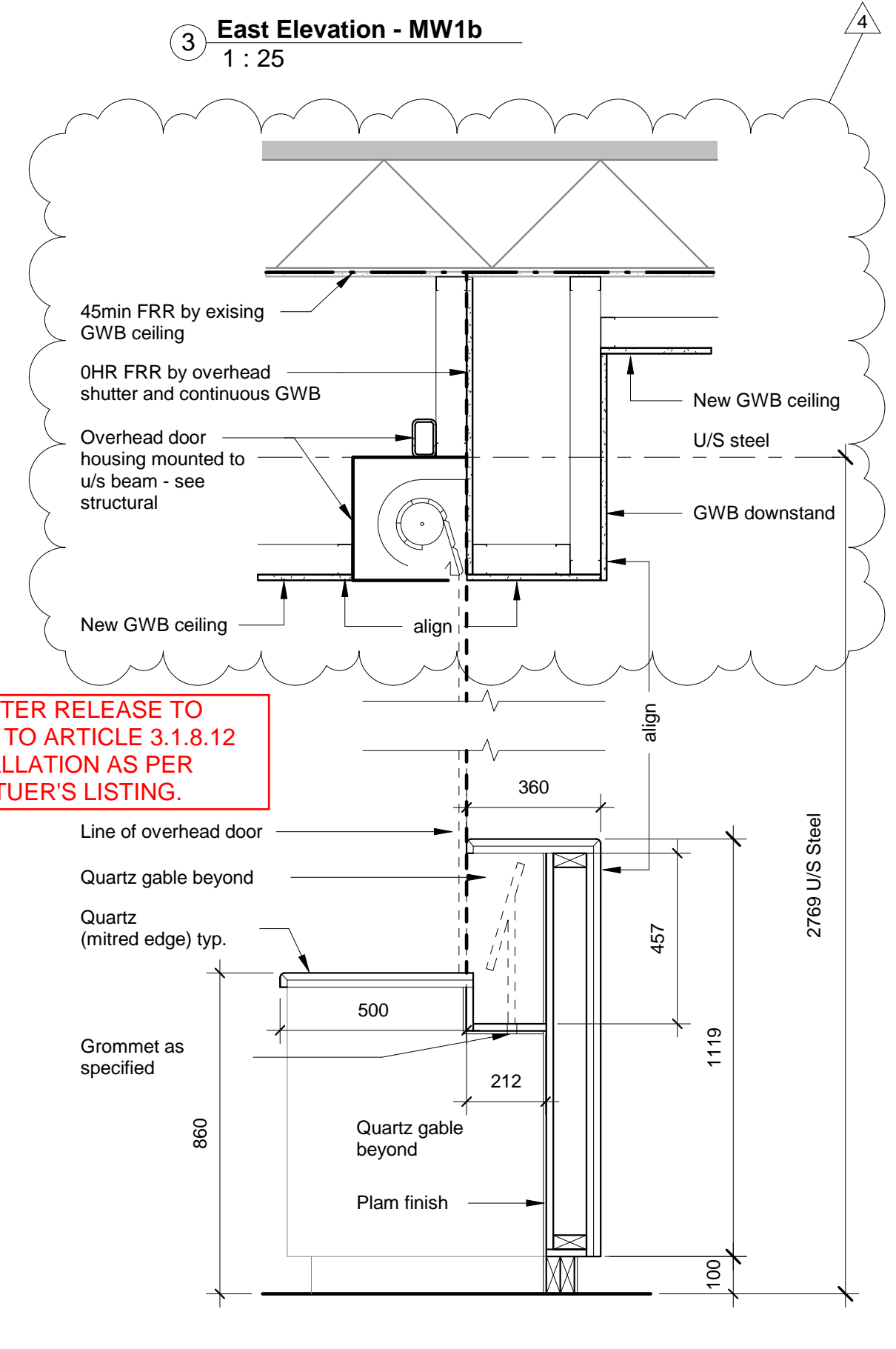
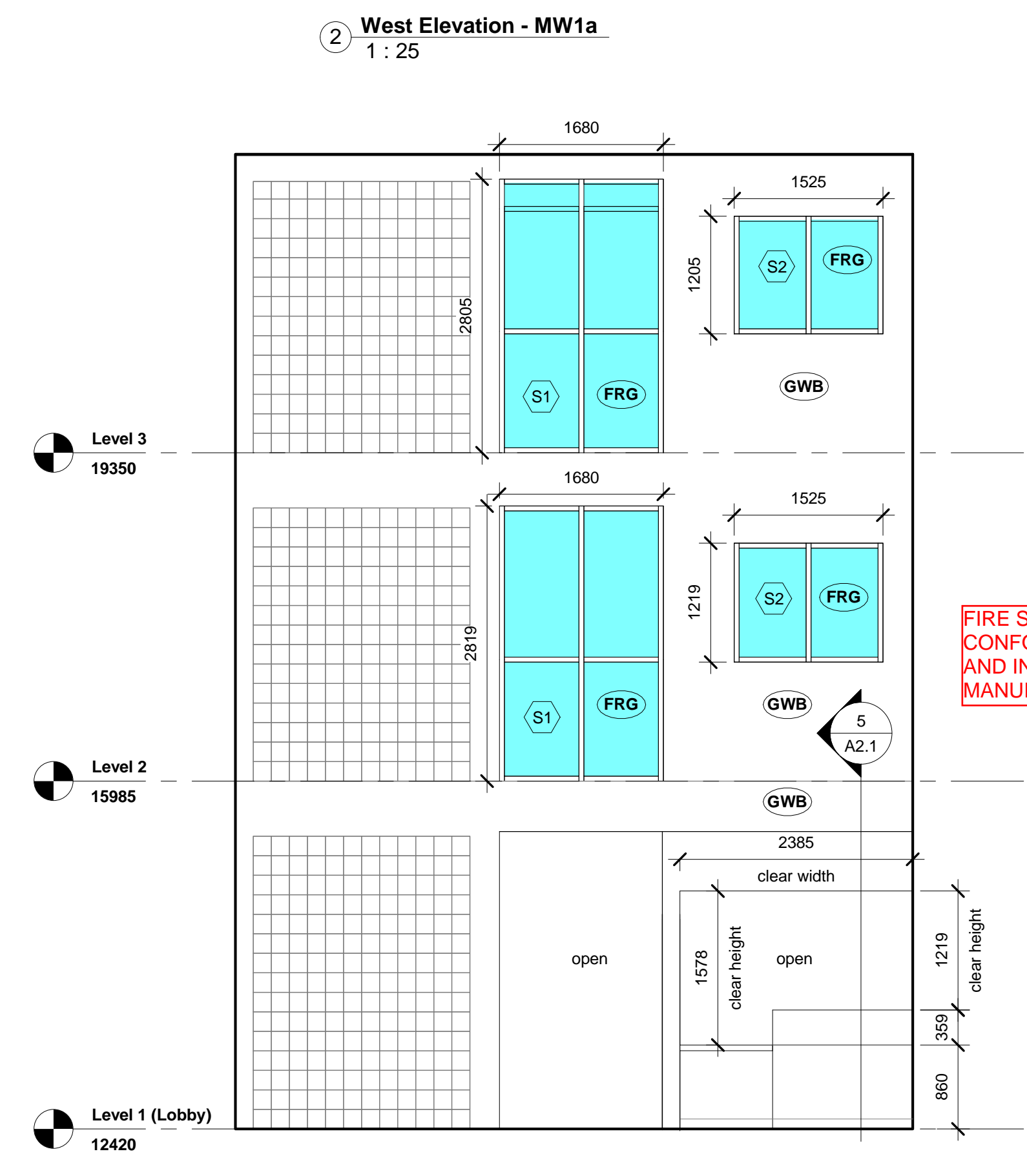
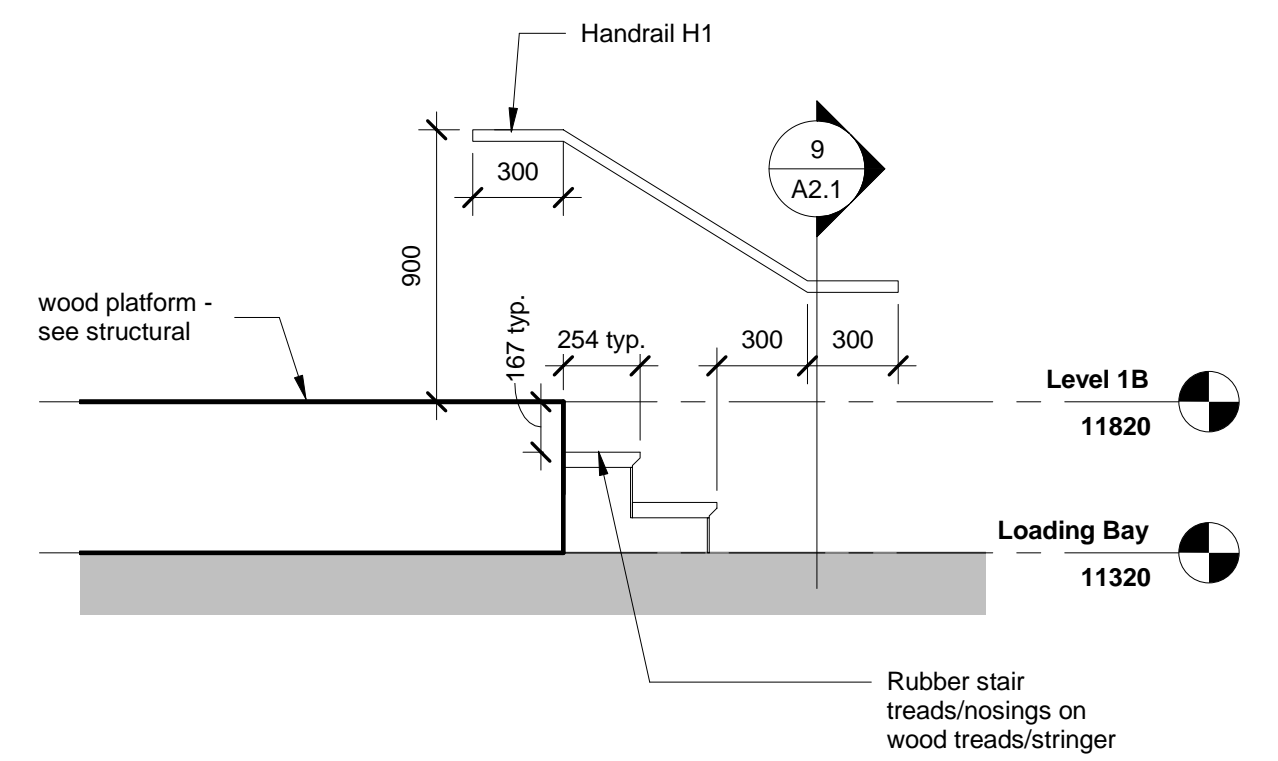
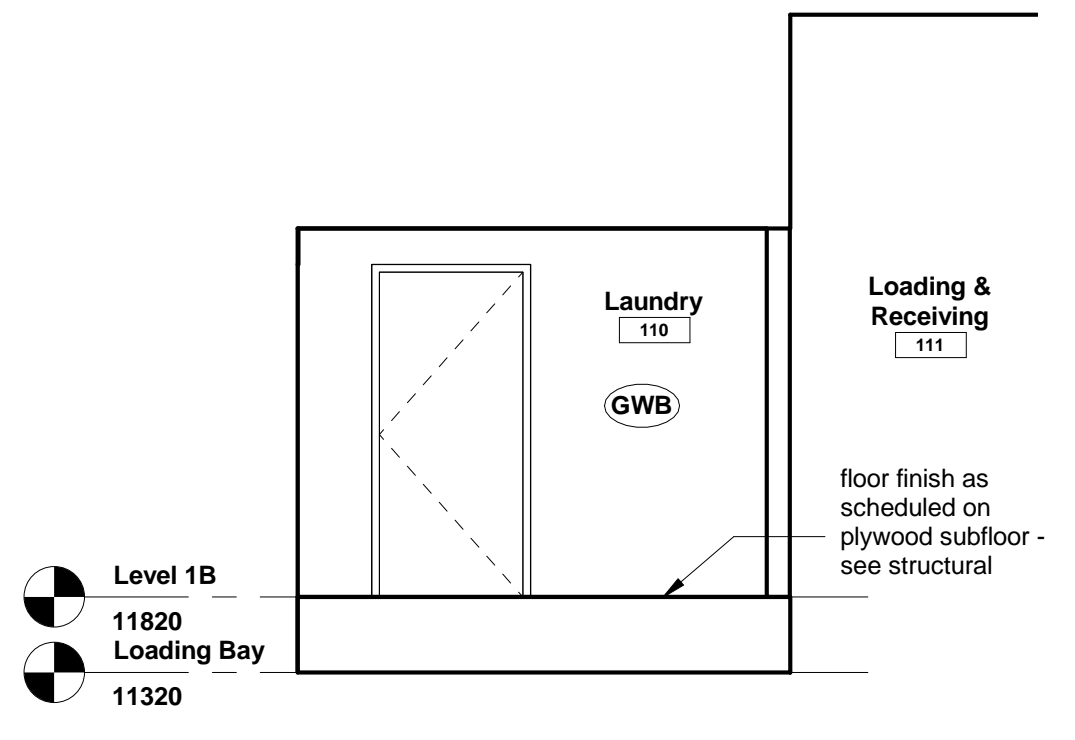
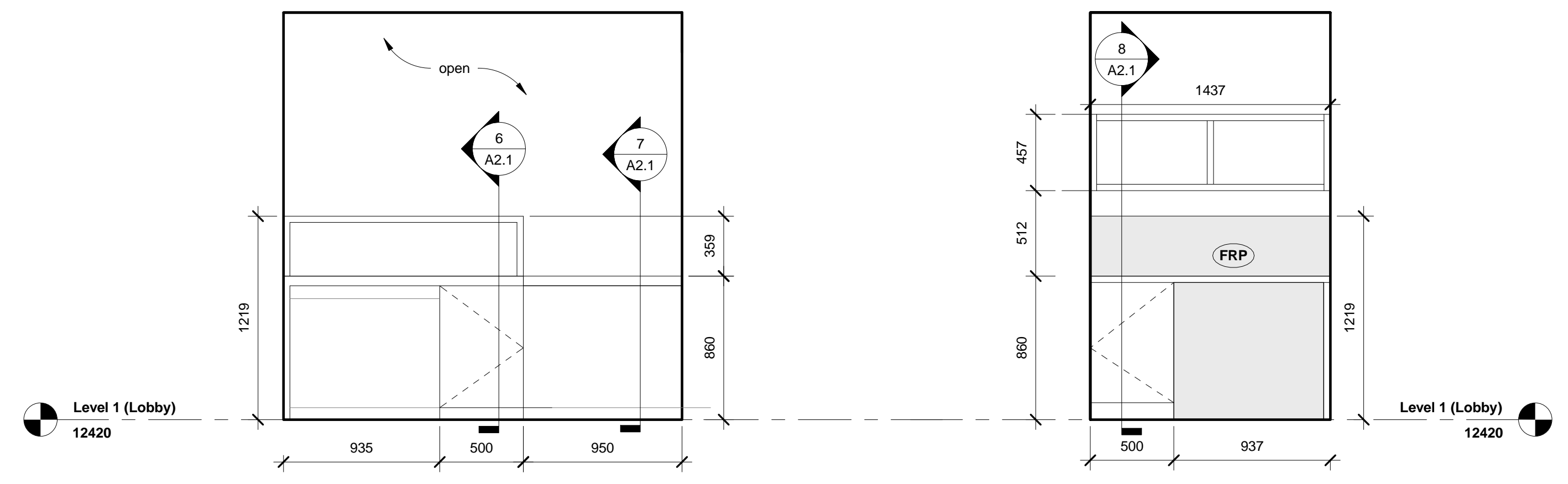
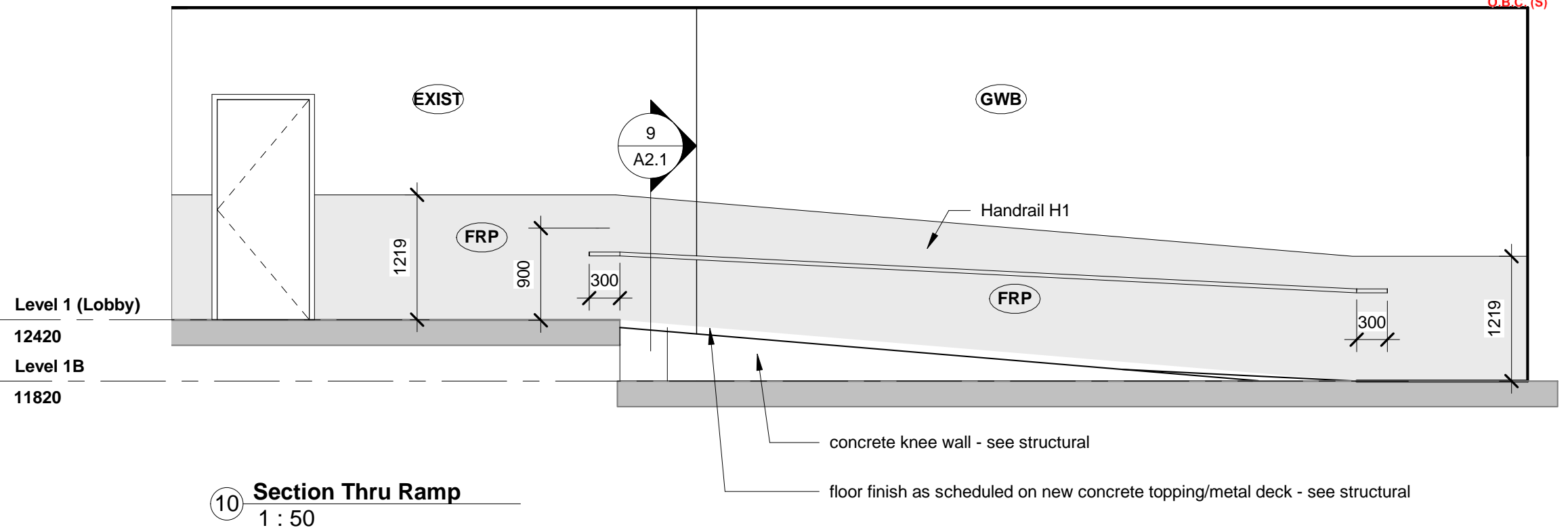
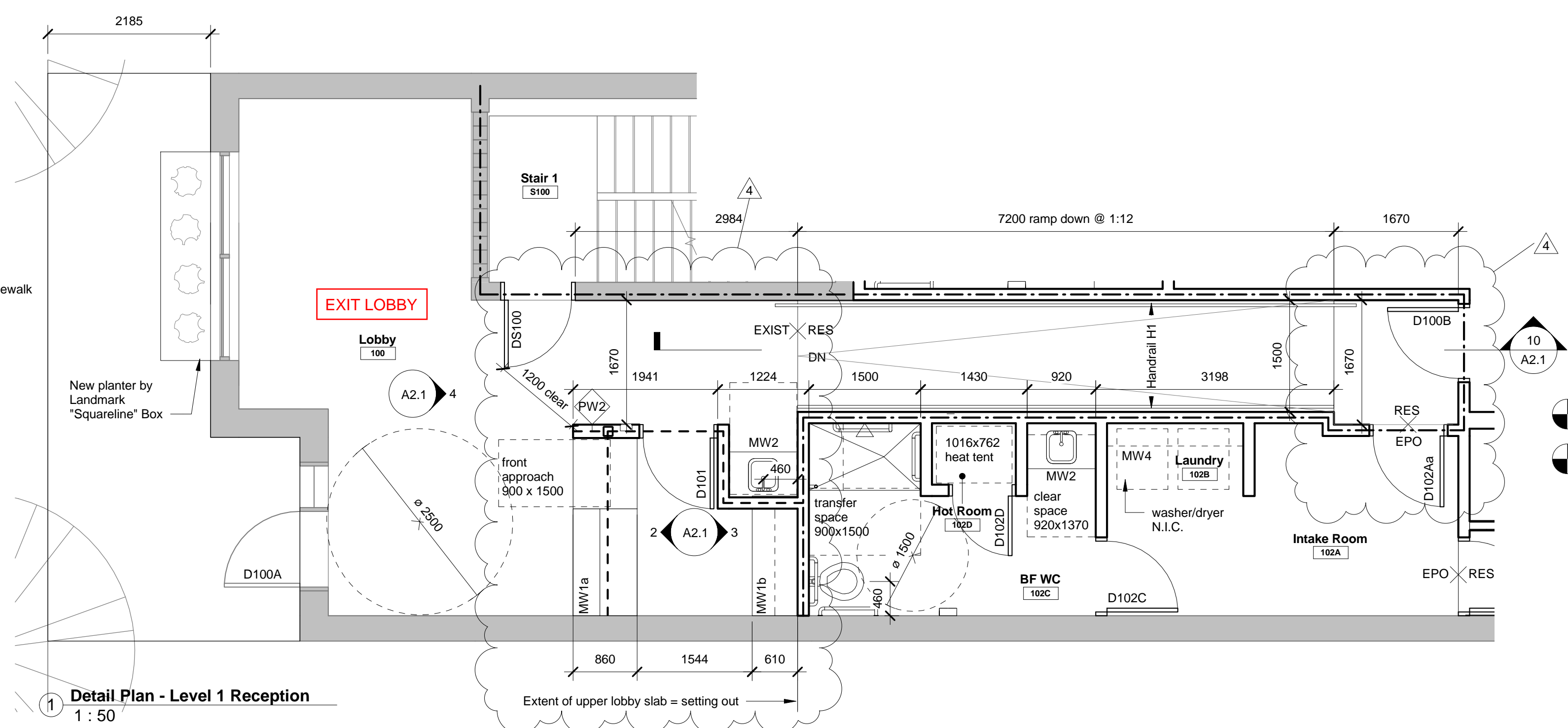
Concealed Hinges: Blum 110 degrees or approved equivalent

Drawer guides: Blum WEBKIT1058762 or approved equivalent

Drawer Locks: Corbin 02066 x 7/8 or approved equivalent

Grommets: Richelieu Catalogue No 60952140 or approved equivalent

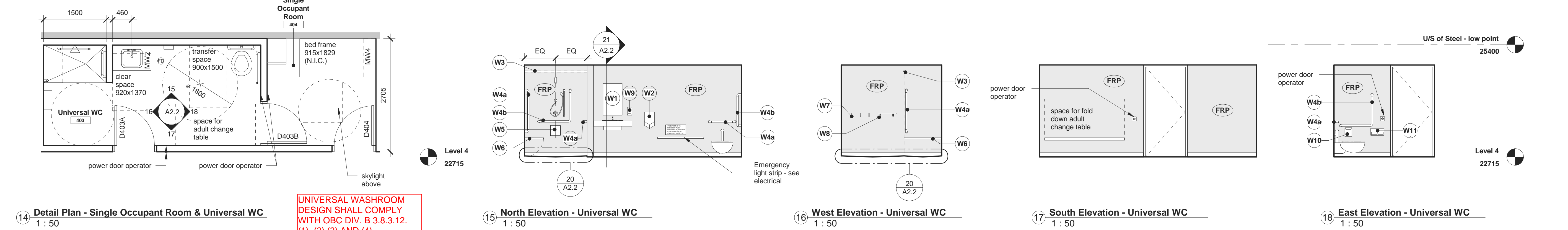
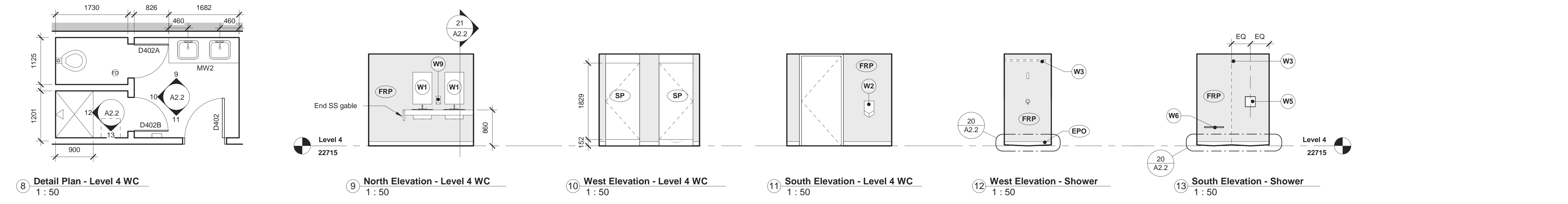
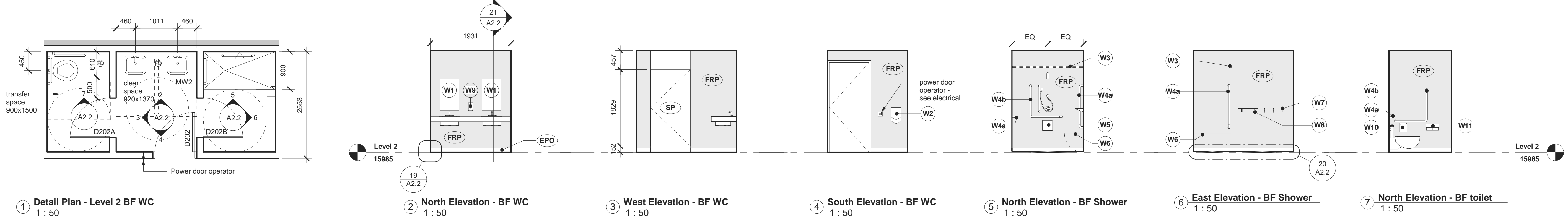
6 in total - location TBD



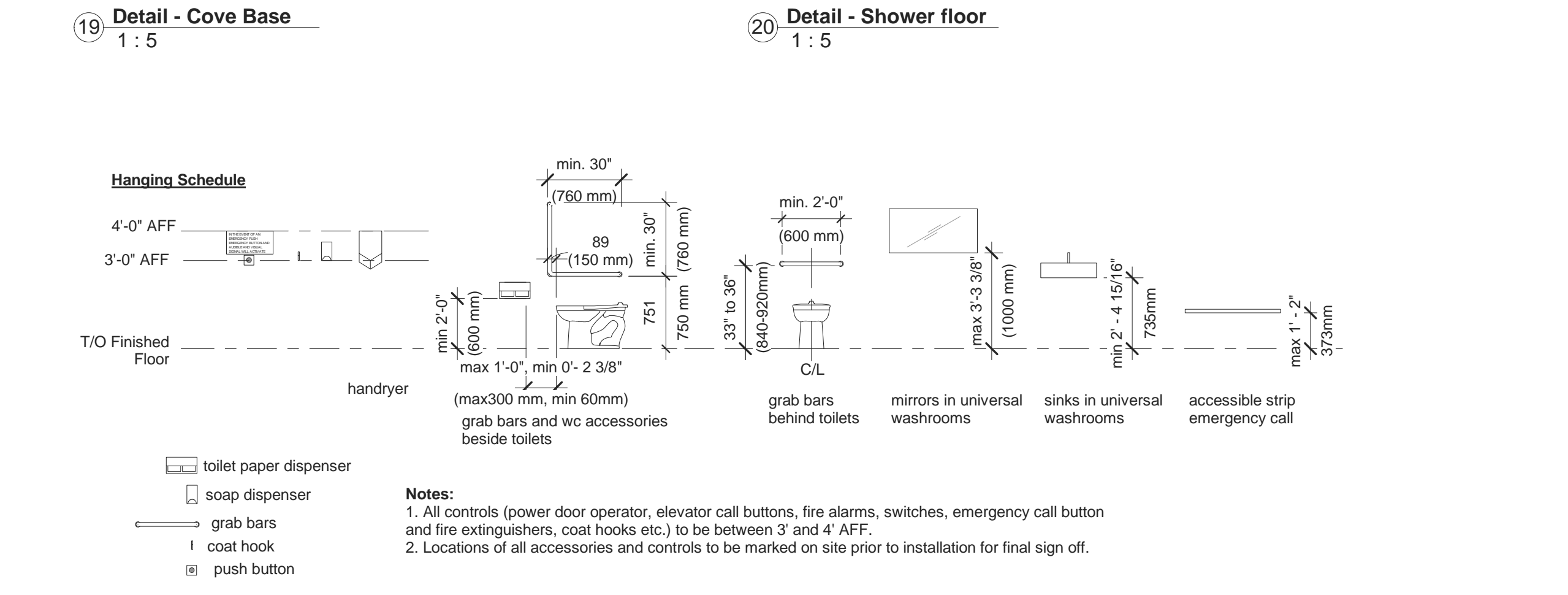
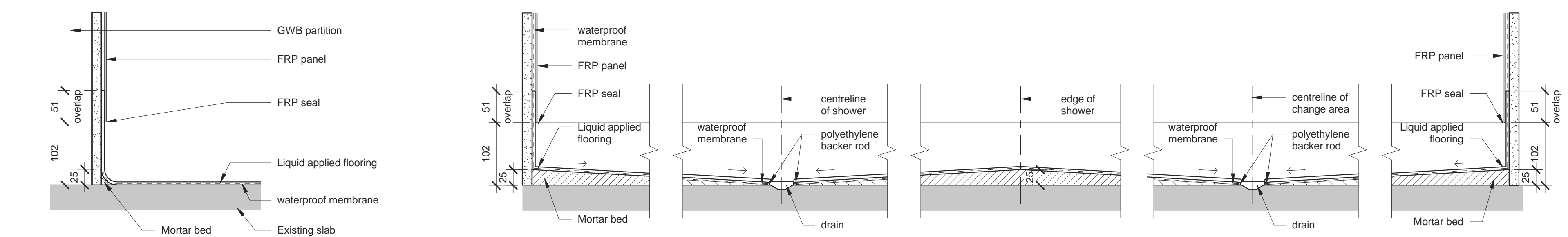
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Davenport Shelter  
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PROJECT CODE:	SCALE:
18_22	As indicated
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August 2018	Permit/Tender



**UNIVERSAL WASHROOM DESIGN SHALL COMPLY WITH OBC DIV. B 3.8.3.12. (1), (2) (3) AND (4).**



Washroom Accessories	
Note	Description
W1	457 x 762 mirror
W2	Hand dryer
W3	Shower curtain & rod
W4a	Grab bar
W4b	L' shaped grab bar
W5	250 x 250 recessed soap holder
W6	Fold down shower seat
W7	Coat hooks
W8	Shelf
W9	Soap dispenser - Owner supplied contractor installed
W10	Napkin disposal - Owner supplied contractor installed
W11	Toilet paper dispenser - Owner supplied contractor installed

**Notes:**  
 1. All controls (power door operator, elevator call buttons, fire alarms, switches, emergency call button and fire extinguishers, coat hooks etc.) to be between 3' and 4' AFF.  
 2. Locations of all accessories and controls to be marked on site prior to installation for final sign off.

Rev	Description	Date
1	Draft	28 June '18
2	Issued for Permit/Tender	13 July '18



18 197188 BLD 00

ZONING	O.B.C.	O.B.C. (S)

**Materials Legend**

ALUM	Aluminum
EPO	Epoxy
EXIST	Existing
EXP	Exposed
FRG	Fire Rated Glass
FRP	Fiberglass Reinforced Panel
GWB	Gypsum Wallboard (Painted)
LGL	Laminated Glass
MIR	Mirror
PT	Paint Finish
PV	Paving Stones
QZ	Quartz
RB	Rubber Base
RES	Resilient Flooring
SP	Solid Phenolic Toilet Partition
SS	Stainless Steel
SMB	Steel Marker Board
TGL	Tempered Glass



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Davenport Shelter

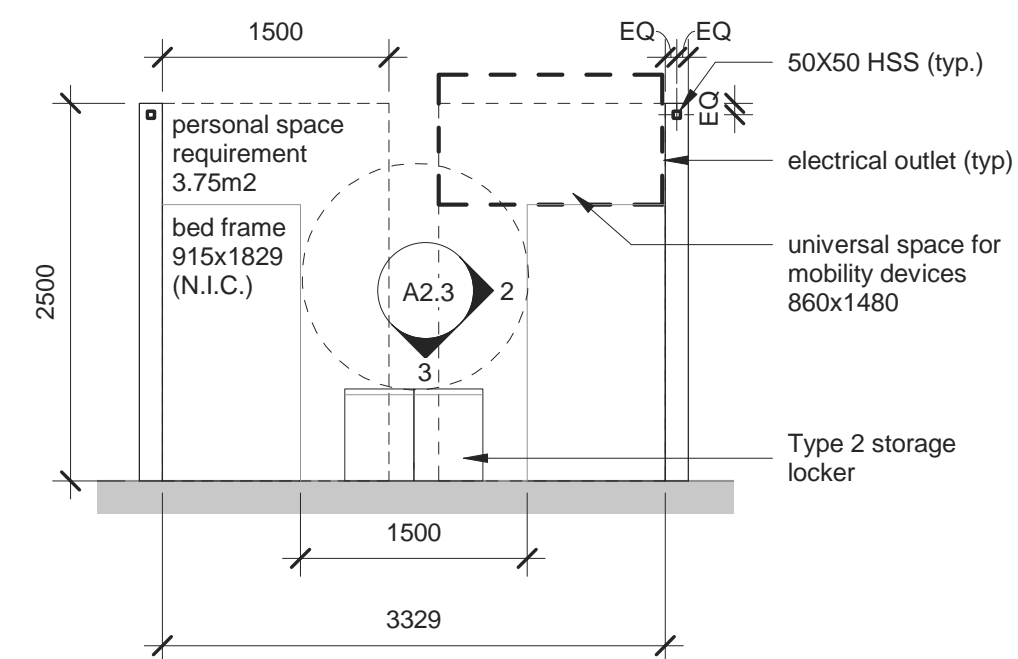
348 Davenport Road  
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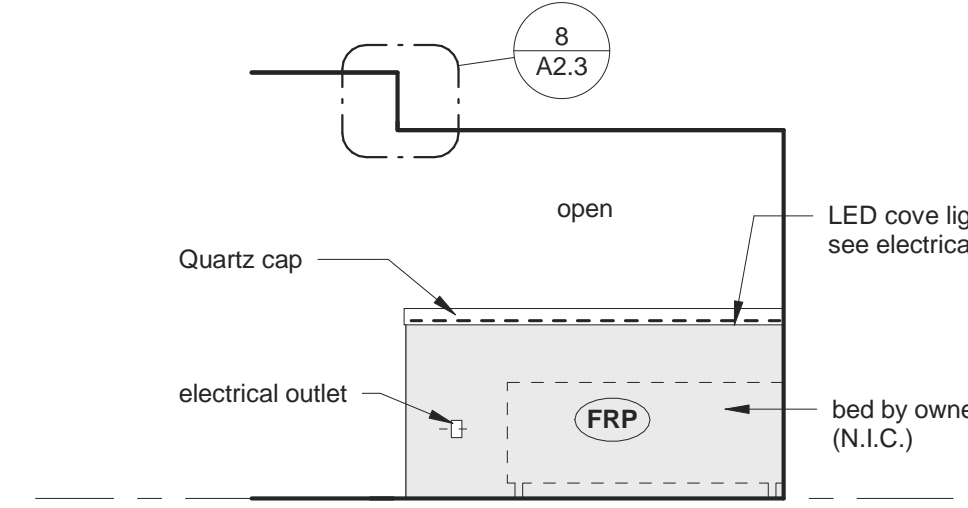
Proposed Interior Elevations & Details

ZONING	
O.B.C.	
FIRE SERVICES	
O.B.C. (B)	

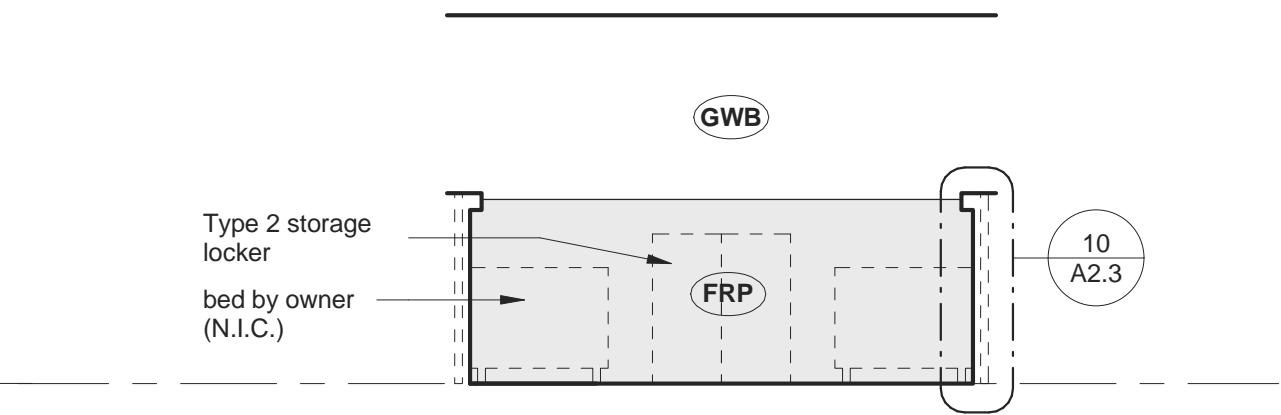
All drawings and related documents are the property of Workshop Architecture Inc. and may not be reproduced in whole or in part without the architect's permission. This drawing should not be used to calculate areas. All dimensions to be checked on site by the contractor and such dimensions to be their responsibility. This drawing shall not be used for construction unless identified as "Issued for Construction" Drawing errors or discrepancies are to be immediately reported to the architect.



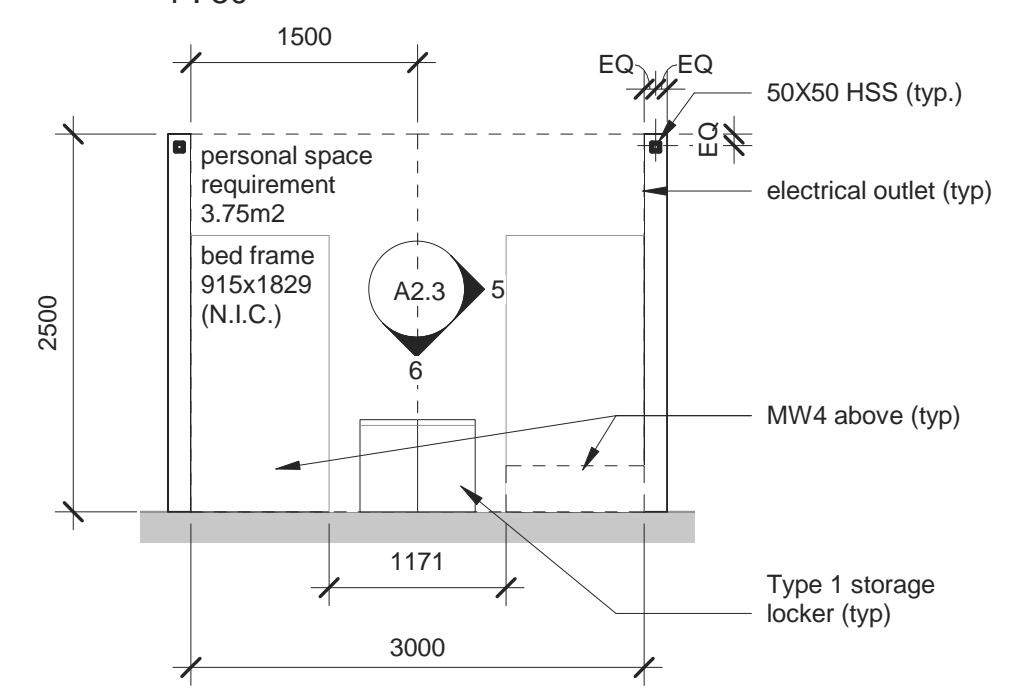
1 Detail Plan - BF Dorm  
1 : 50



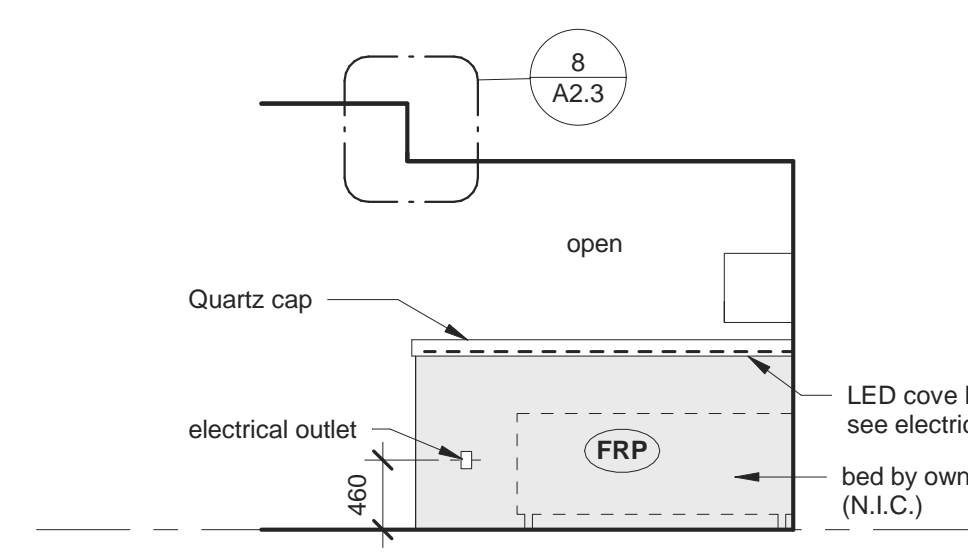
2 East/West Elevation - BF Dorm  
1 : 50



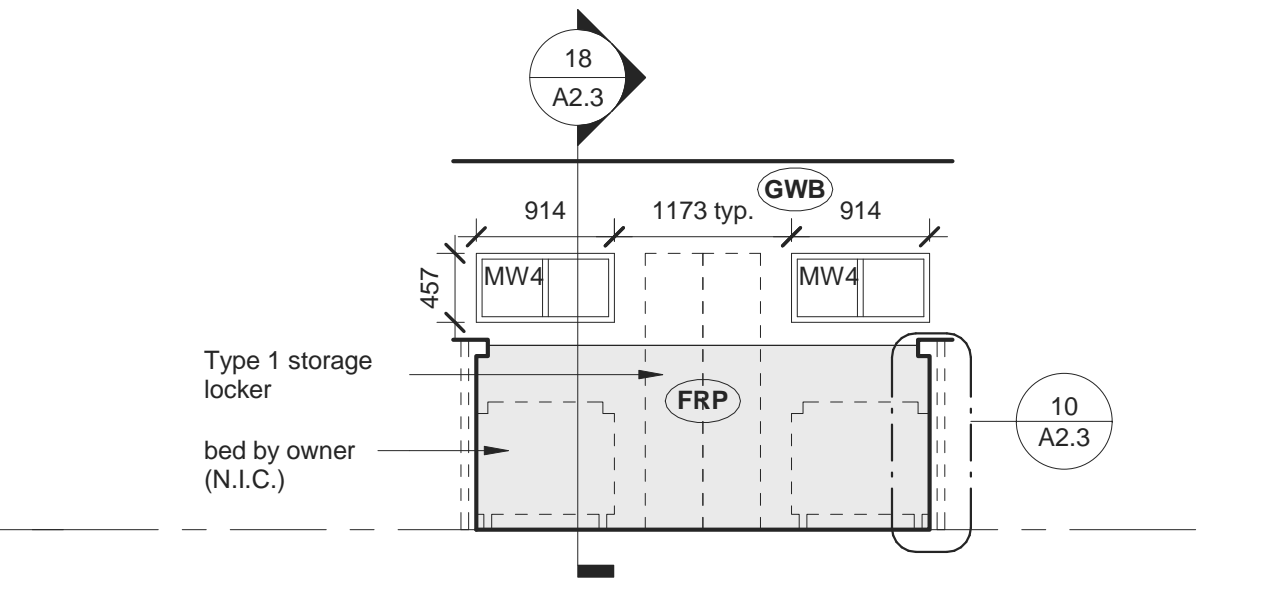
3 North/South Elevation - BF Dorm  
1 : 50



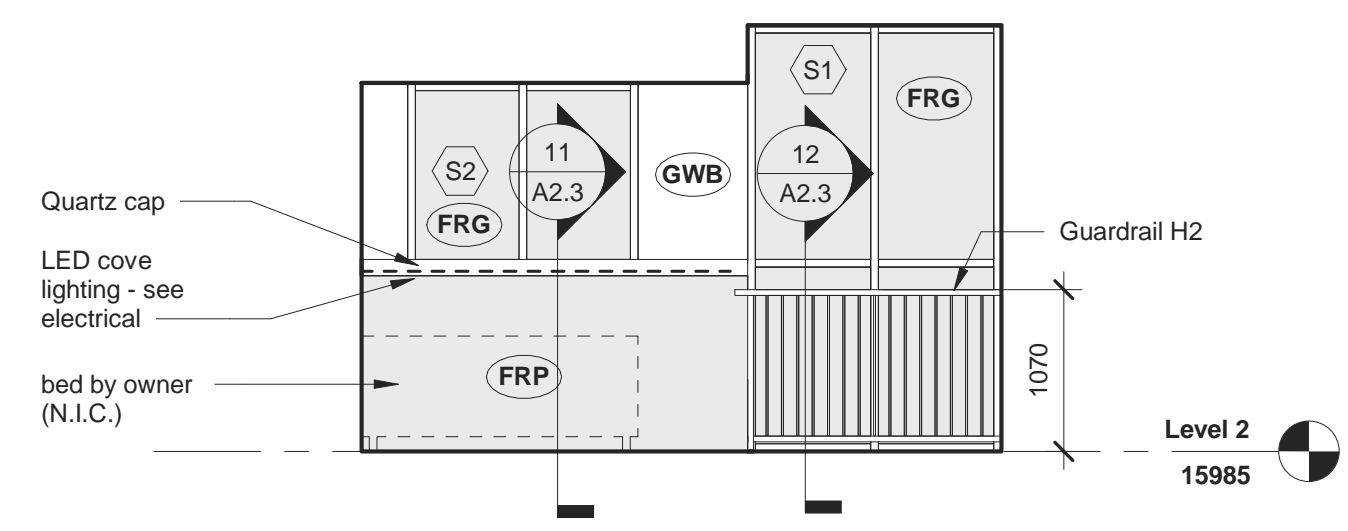
4 Detail Plan - Typical Dorm  
1 : 50



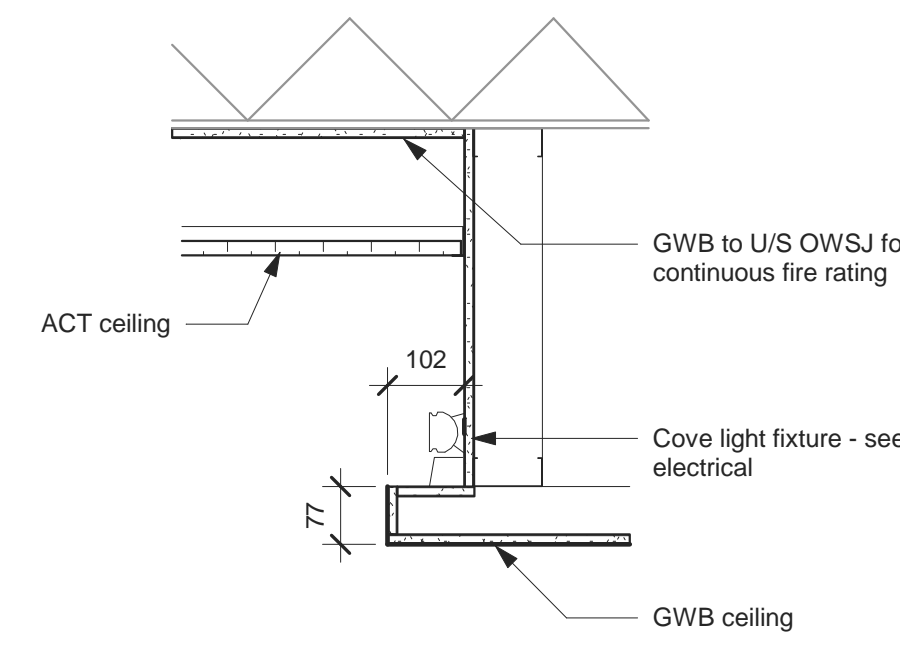
5 East/West Elevation - Typical Dorm  
1 : 50



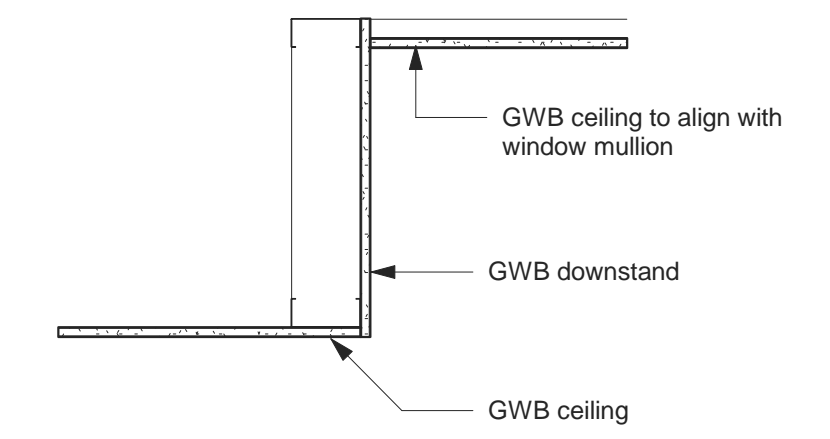
6 North/South Elevation - Typical Dorm  
1 : 50



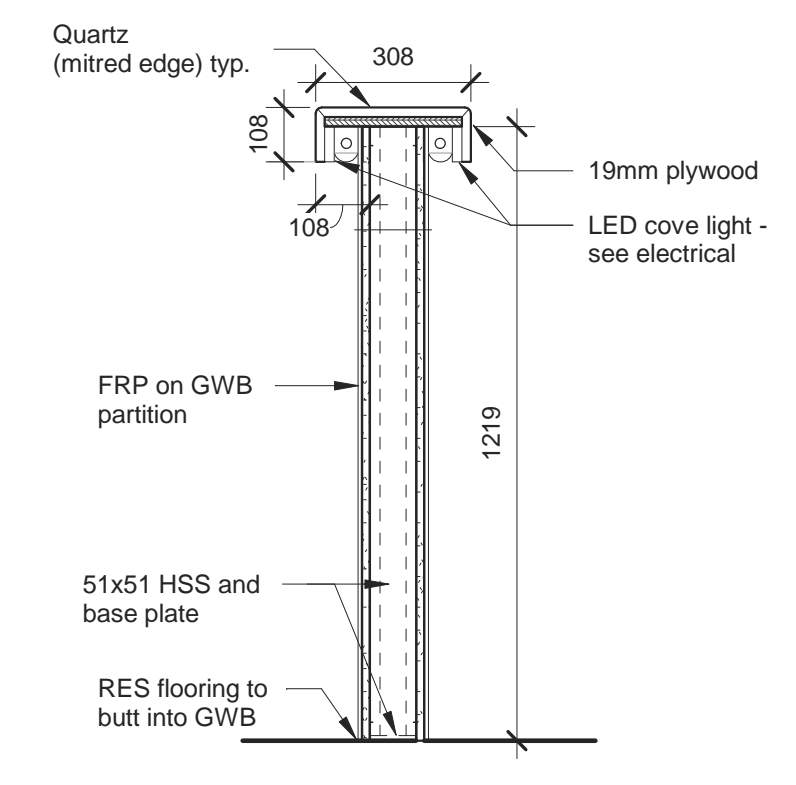
7 West Elevation - Dorms Level 2 & Level 3  
1 : 50



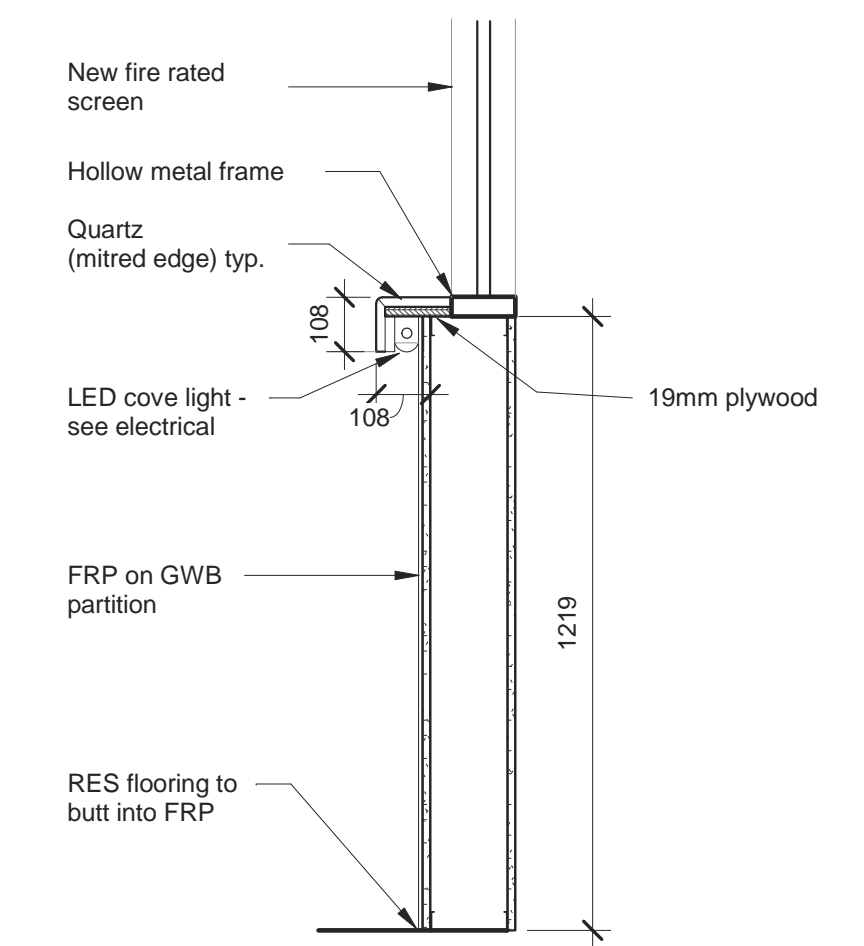
8 Detail Section - Dorm Ceiling Cove  
1 : 10



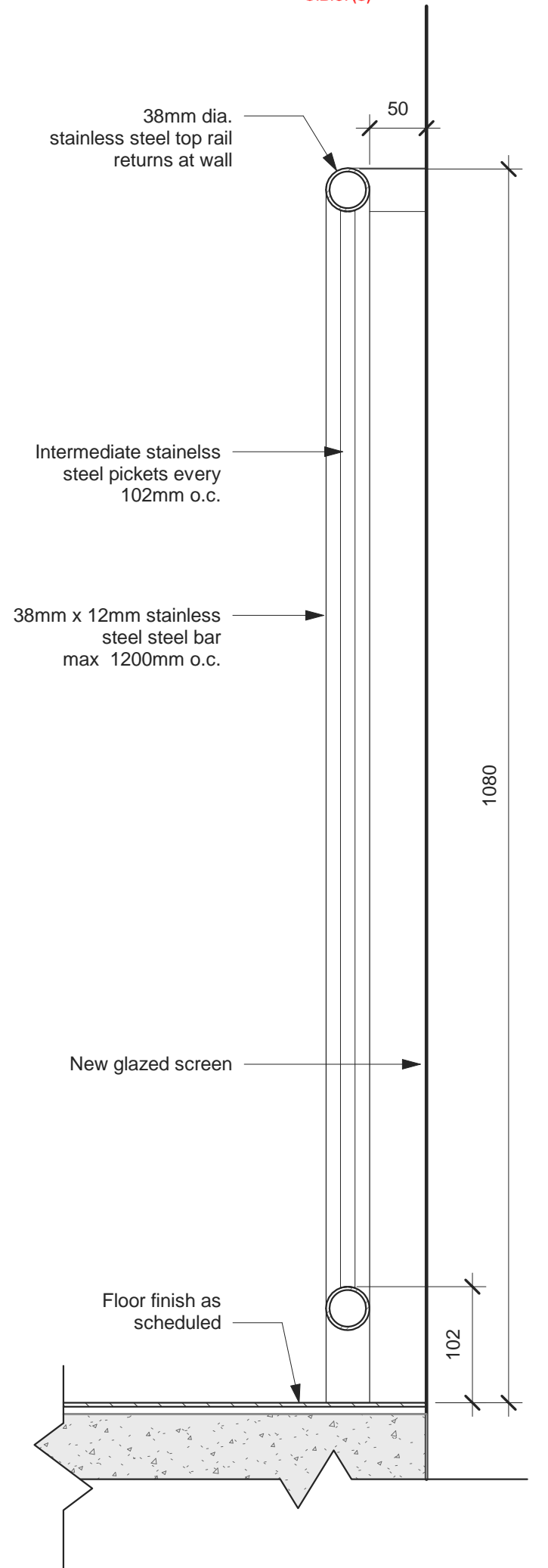
9 Detail Section - Dorm Ceiling at Level 2 East Window  
1 : 10



10 Detail Section - Dorm Partition Wall (typ)  
1 : 15



11 Detail Section - Dorm Cap at sill  
1 : 15



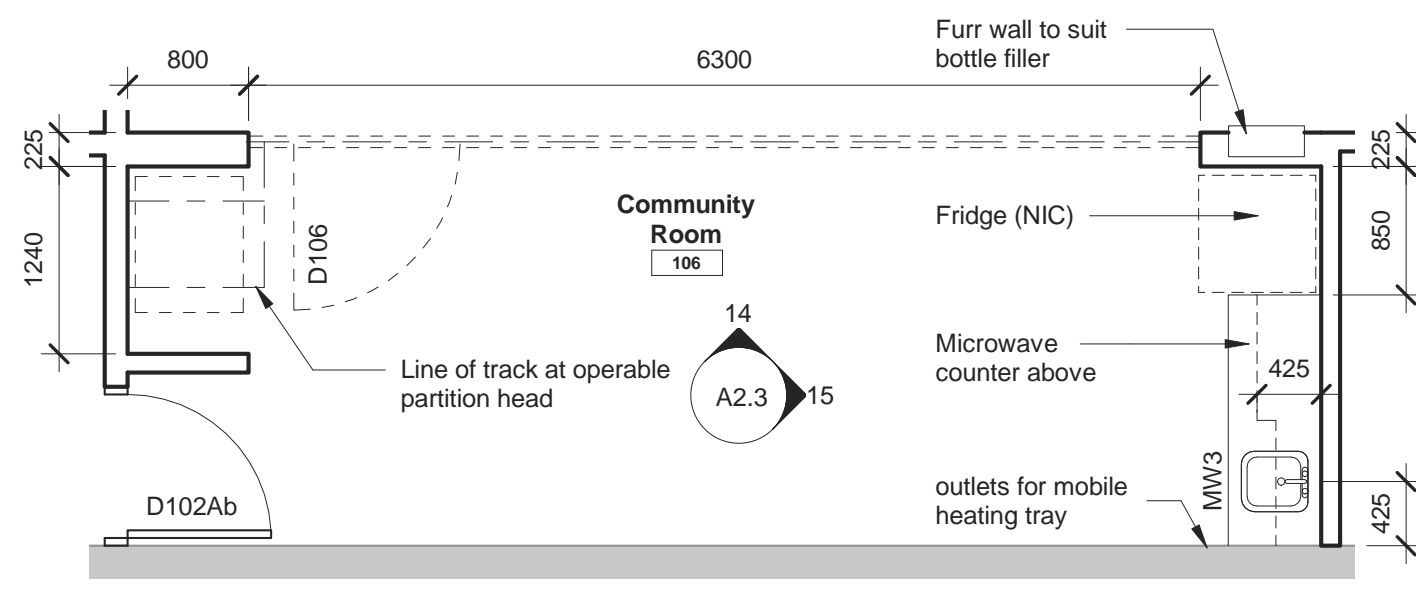
12 Detail - Guardrail H2  
1 : 5

**Materials Legend**

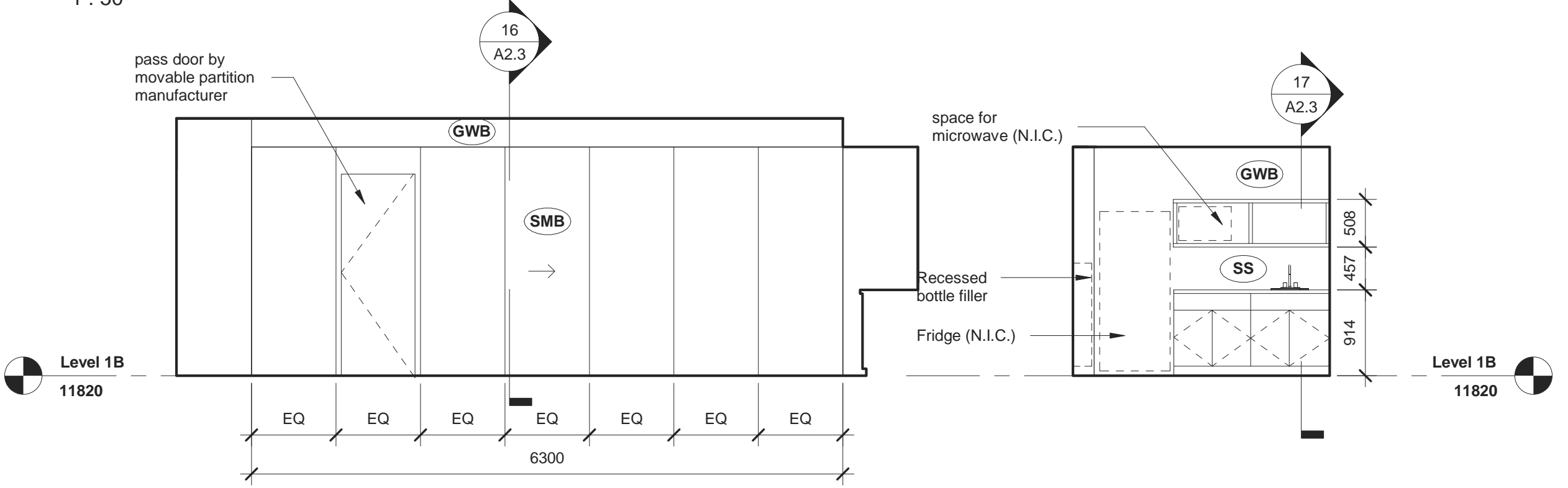
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**Millwork Hardware Legend**

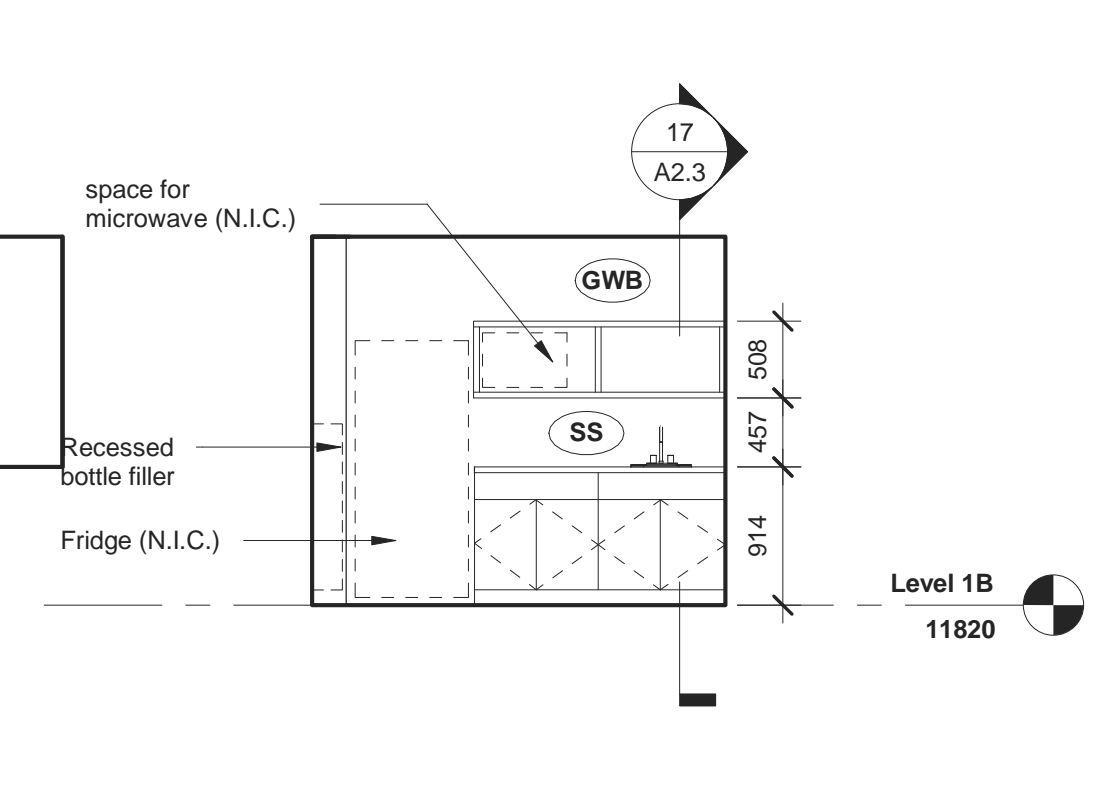
Adjustable Shelf Pins/Ferrules: Richelieu No 2291/2292-180 nickel finish at 2" centres or approved equivalent  
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Cabinet/Drawer Pulls: Richelieu Catalogue No BP2213175 or approved equivalent  
Concealed Hinges: Blum 110 degrees or approved equivalent  
Drawer guides: Blum WEBKIT1058762 or approved equivalent  
Drawer Locks: Corbin 02066 x 7/8 or approved equivalent  
Grommets: Richelieu Catalogue No 60952140 or approved equivalent  
6 in total - location TBD



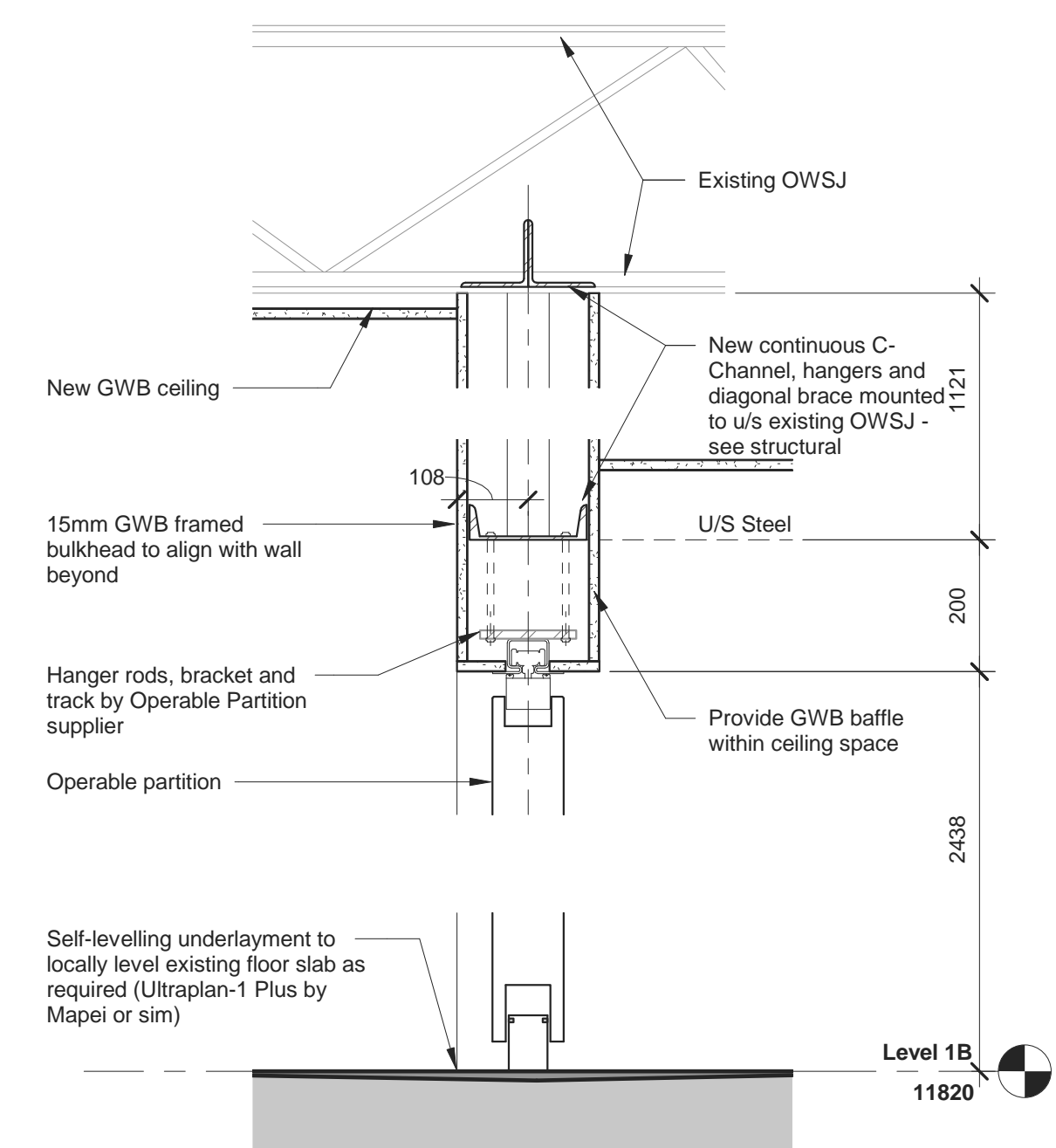
13 Detail Plan - Community Room  
1 : 50



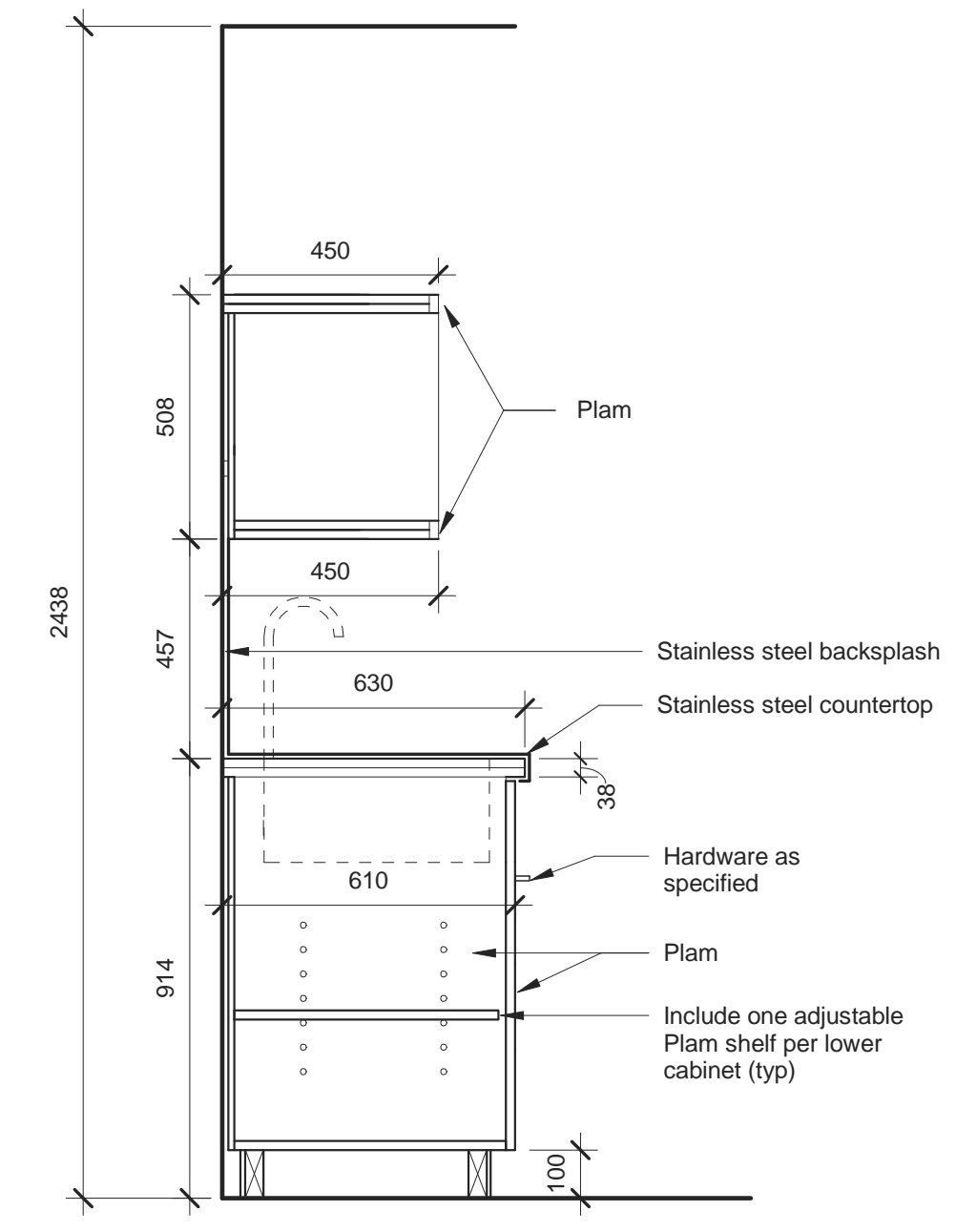
14 North Elevation - Movable Partition  
1 : 50



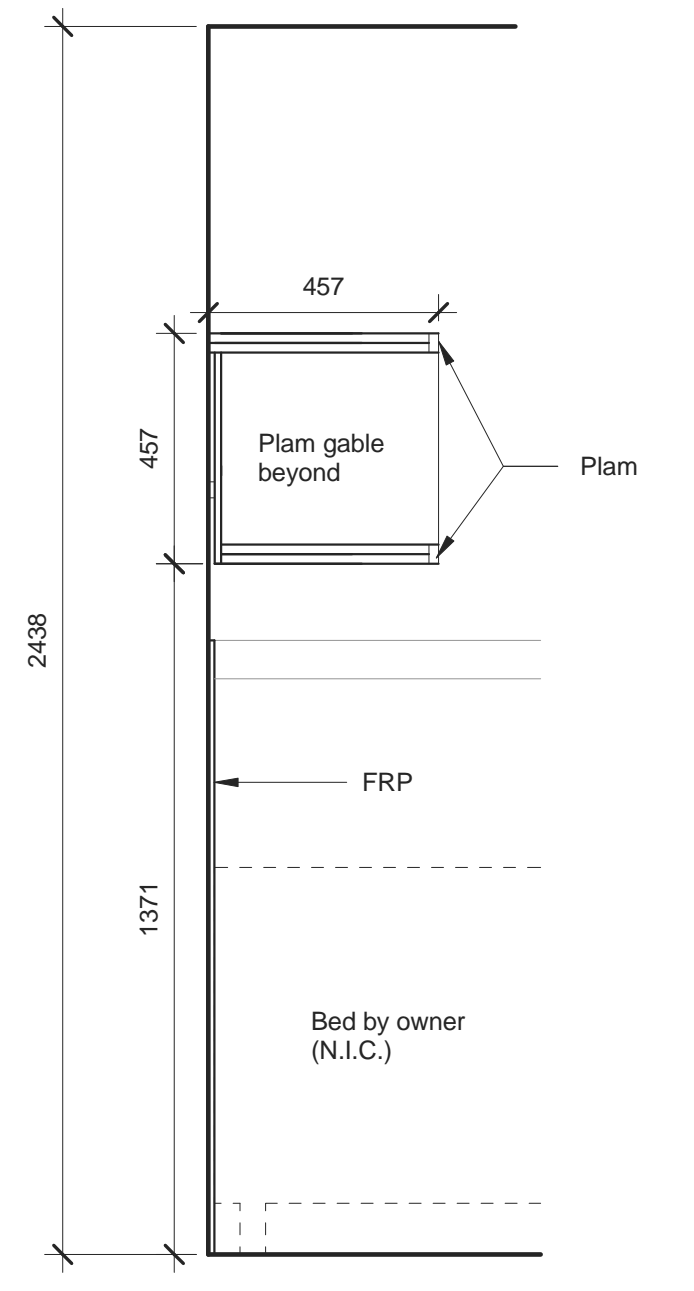
15 Front Elevation - MW3 Servery  
1 : 50



16 Detail Section - Operable Partition Track  
1 : 10



17 Detail Section - MW3 Servery Counter  
1 : 15



18 Detail Section - MW4 Open Shelf  
1 : 15



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PROJECT CODE:	SCALE:
18_22	As indicated
DATE:	STATUS:
July 2018	Permit/Tender

Proposed Interior Elevations & Details



Rev	Description	Date
1	Draft	28 June '18
2	Issued for Permit/Tender	13 July '18

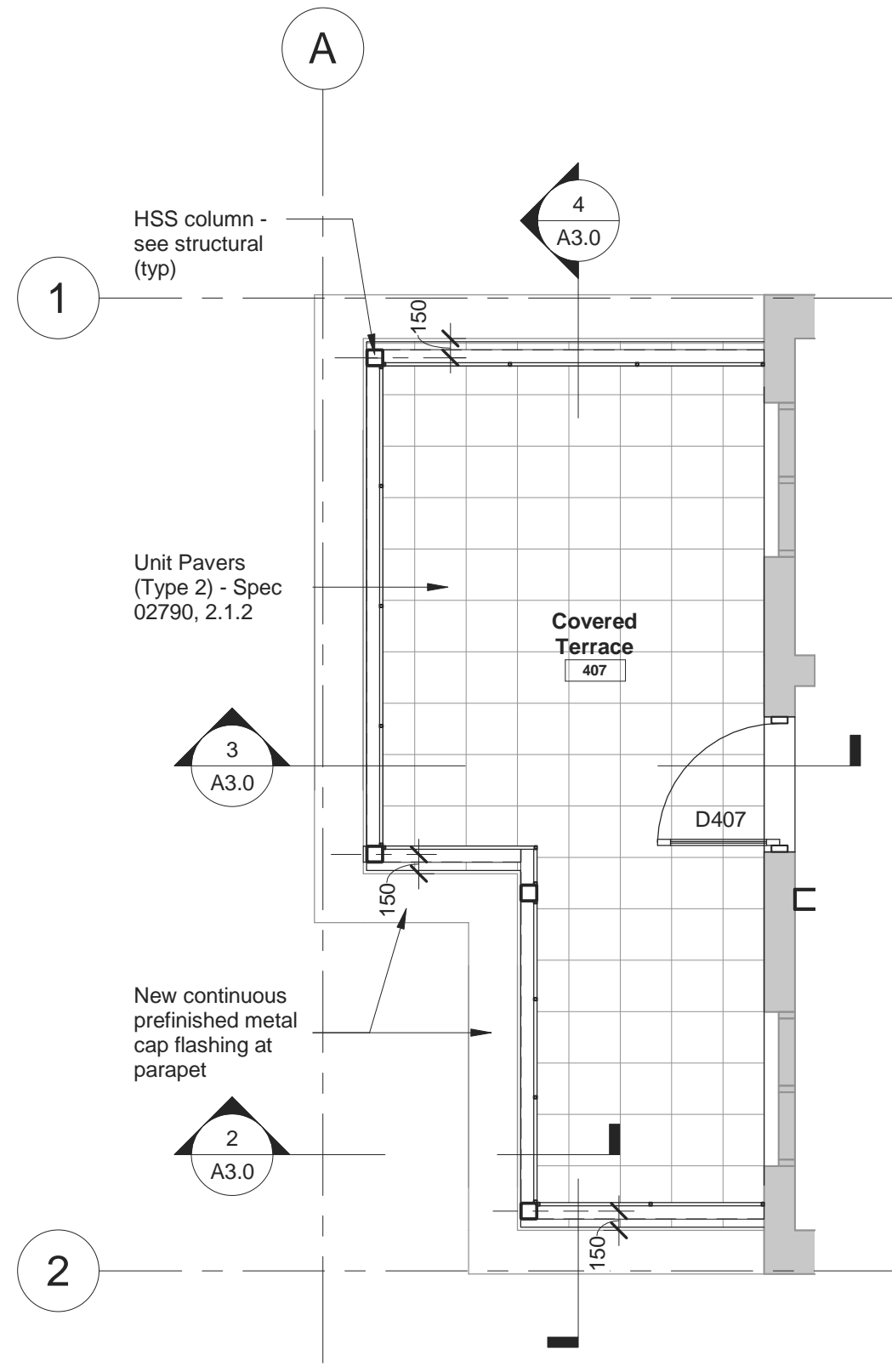


18 197188 BLD 00

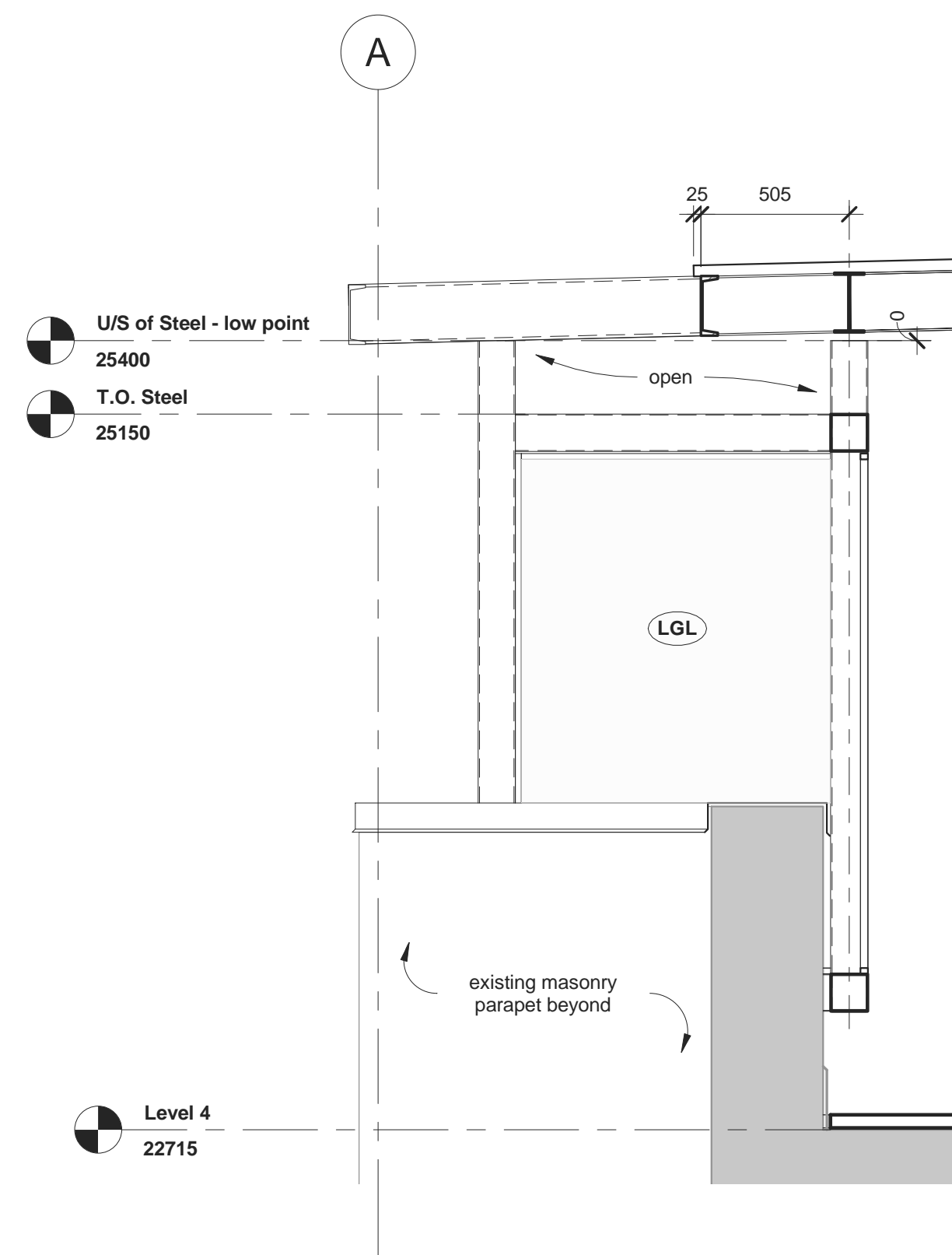
ZONING	O.B.C.
FIRE SERVICES	O.B.C. (S)

**Materials Legend**

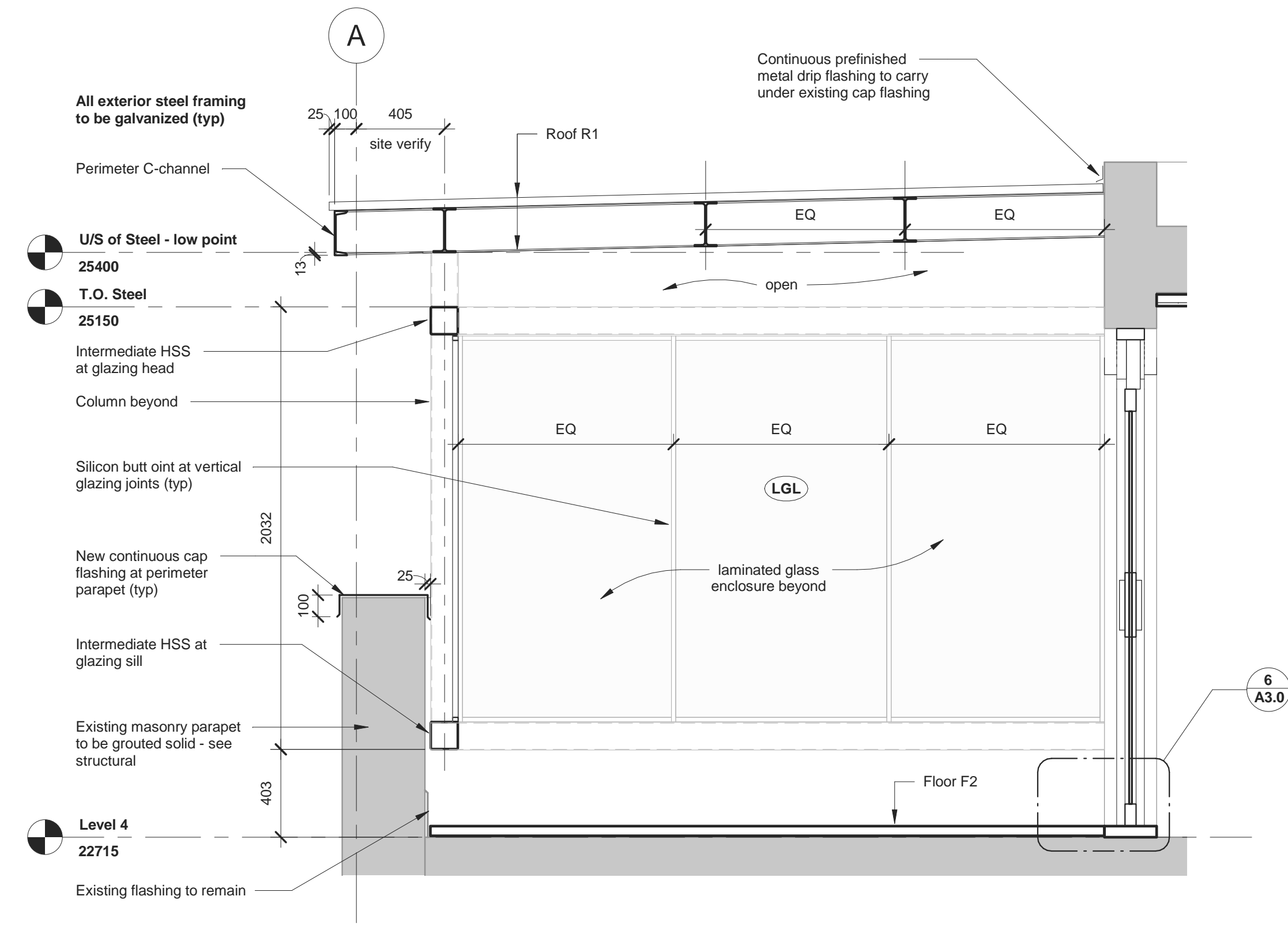
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SMB	Steel Marker Board
TGL	Tempered Glass



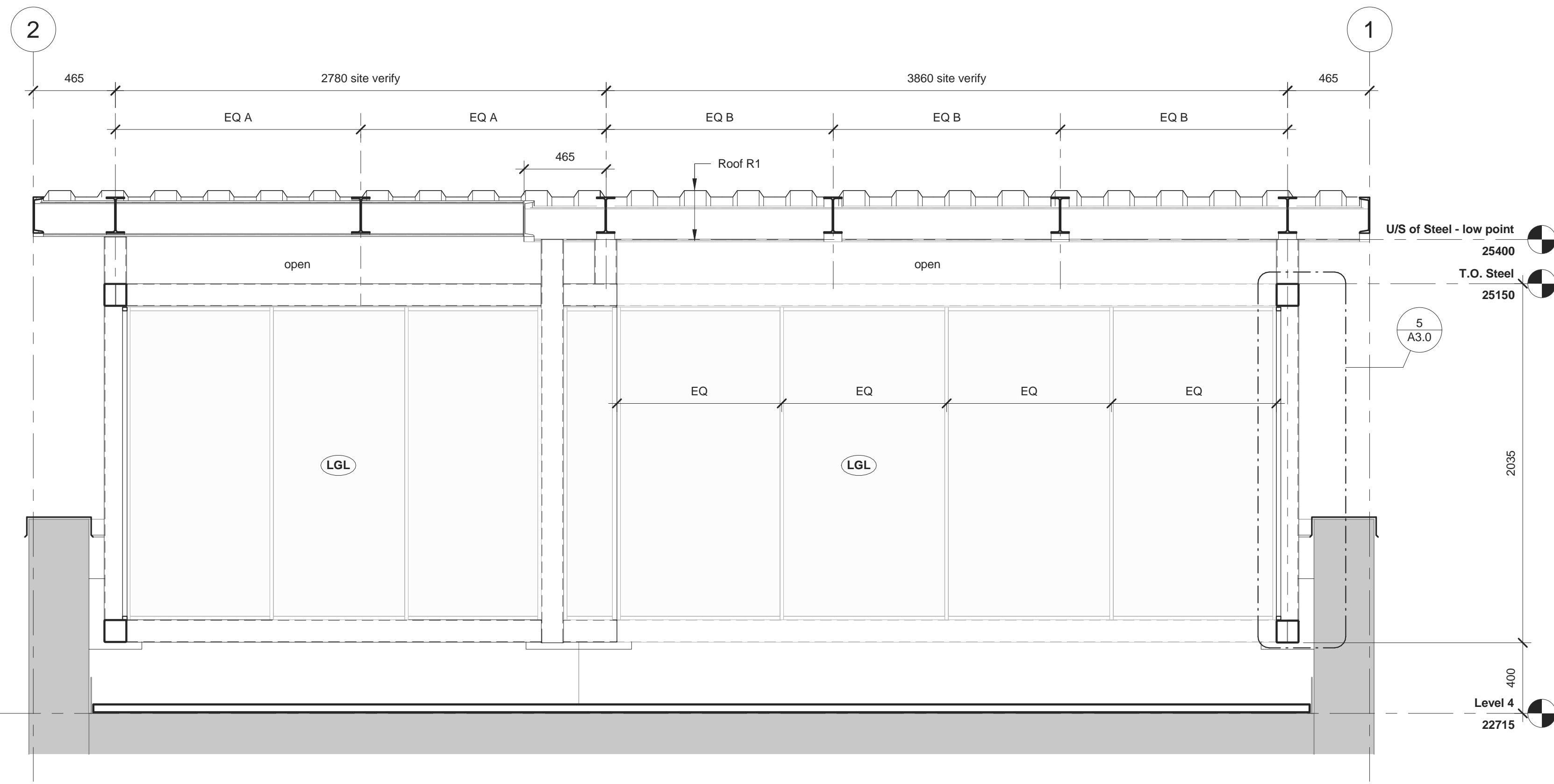
1 Detail Plan - Enclosed Terrace  
1 : 50



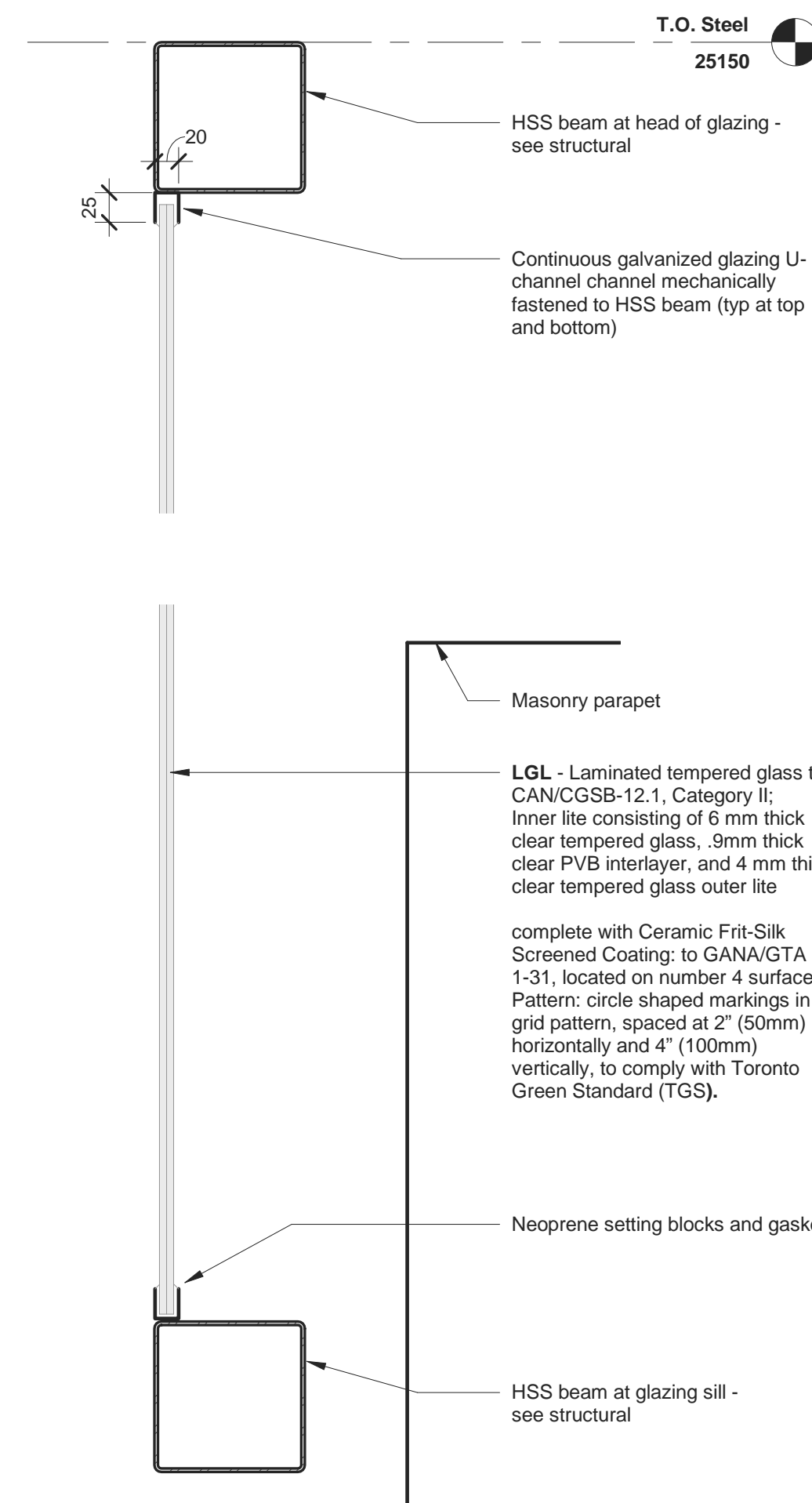
2 Section at Terrace - Looking North  
1 : 20



3 Section at Terrace - Looking North 2  
1 : 20

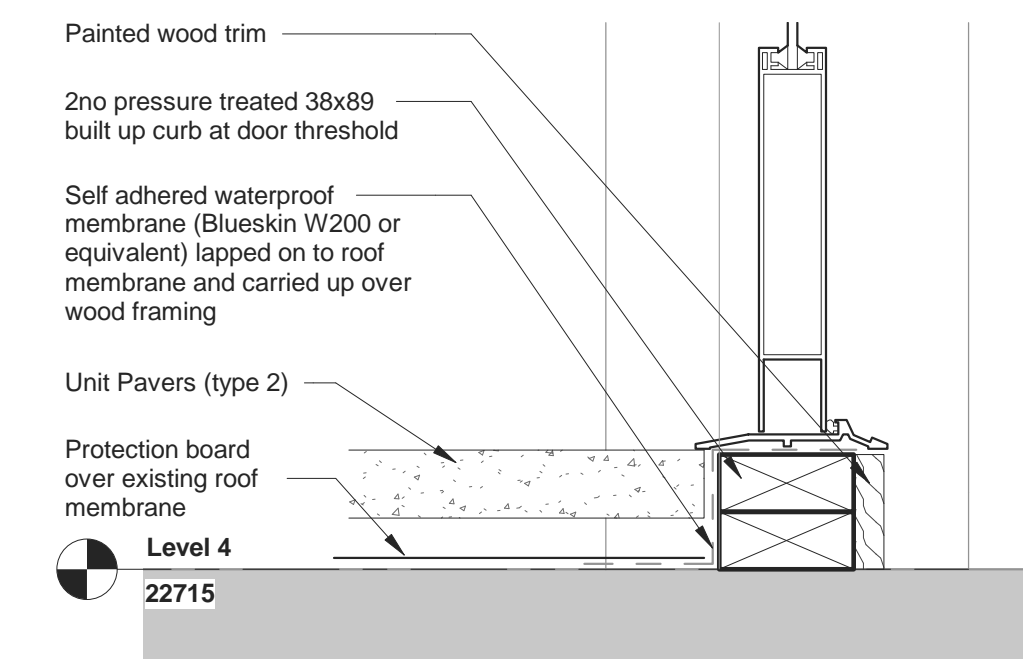


4 Section Looking West - Covered Terrace  
1 : 20



5 Section Looking West - Covered Terrace - Callout 1  
1 : 5

**GLASS GUARDS**  
**PROVIDE SHOP DRAWINGS OF GLASS GUARD TO THE BUILDING INSPECTOR. SHOP DRAWINGS SHALL:**  
**a) BEAR THE SEAL AND SIGNATURE OF A PROFESSIONAL ENGINEER OF ONTARIO.**  
**b) INCLUDE SPECIFICATION ON THE GLASS GUARD TO COMPLY WITH OBC 3.3.1.17, 4.1.5.14. FOR LOADS AND WITH OBC SB-13.**  
**c) INCLUDE CONNECTION DETAILS.**



6 Section Thru Curb/Threshold  
1 : 5



**WORKSHOP**  
architecture

WORKSHOP architecture inc  
 1157 Davenport Road  
 Toronto Ontario M5H 2C4  
 T 416.901.8055 F 416.849.0383  
 www.workshoparchitecture.ca

Davenport Shelter

348 Davenport Road  
 Toronto, ON  
 M5R 1K6

PROJECT CODE:	SCALE:
18_22	As indicated
DATE:	STATUS:
July 2018	Permit/Tender

Details - Covered Terrace

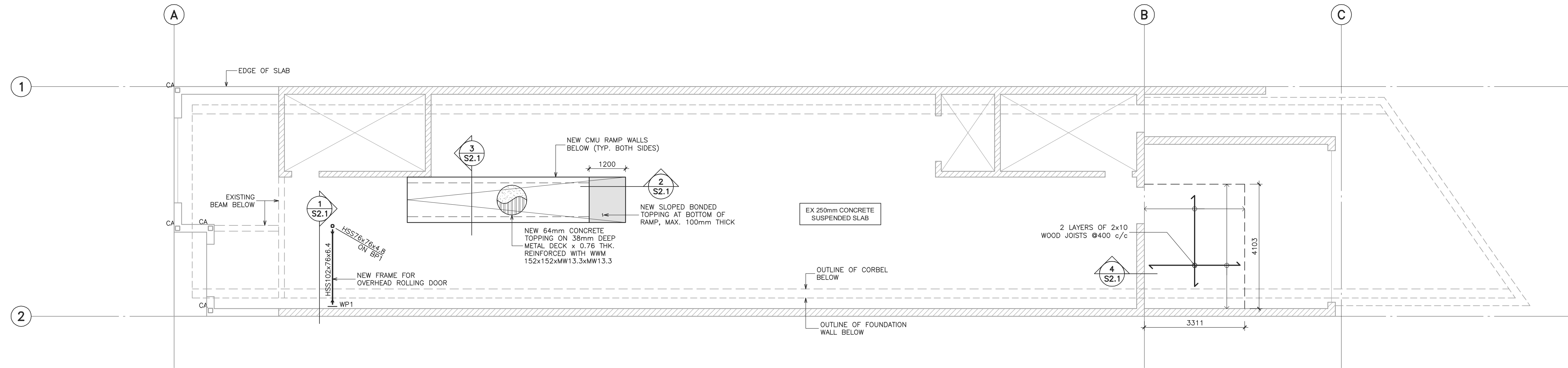




ZONING	
O.B.C.	
FIRE SERVICES	
O.B.C. (S)	



KEY PLAN



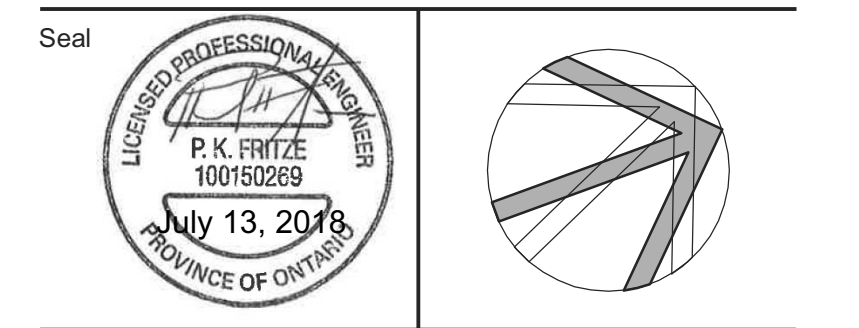
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2.	ISSUED FOR PERMIT	July 13/18	P.F.
1.	ISSUED FOR TENDER	July 13/18	P.F.
No.	Revision	Date	By

Drawing Notes

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Project Name  
**348 Davenport Street**  
Toronto, Ontario

**DAVENPORT SHELTER RENOVATION**

Sheet Title

**GROUND FLOOR RENOVATION PLAN**

Drawn By M.L. Scale 1:75  
Designed By P.F. Date July, 2018  
RJC Project Number TOR.121290.0001  
Sheet Number Revision

**S1.1**

BASE PLATE SCHEDULE				
TYPE	SIZE	ANCHORAGE	DETAILS	COMMENTS
BP1	150x150x13	4-13mm $\phi$ HILTI HAS RODS, EPOXIED WITH HILTI HY200, MIN. 106mm EMBED.		-
BP2	150x89x13	2-13mm $\phi$ HILTI HAS RODS THROUGH BOLTED		-

WALL PLATE SCHEDULE				
TYPE	SIZE	ANCHORAGE	DETAILS	COMMENTS
WP1	300x300x13	4-13mm $\phi$ HILTI KWIK HUS, HDG, 106mm EMBED.		- ANCHORS MIN. 100mm FROM ALL WALL EDGES - GROUT MASONRY SOLID PER DETAIL 11/S2.1 - SIMILAR FOR HSS SECTION
WP2	400x400x13	6-13mm $\phi$ HILTI KWIK HUS, HDG, 106mm EMBED.		- ANCHORS MIN. 100mm FROM ALL WALL EDGES - GROUT MASONRY SOLID PER DETAIL 11/S2.1

**LEGEND:**

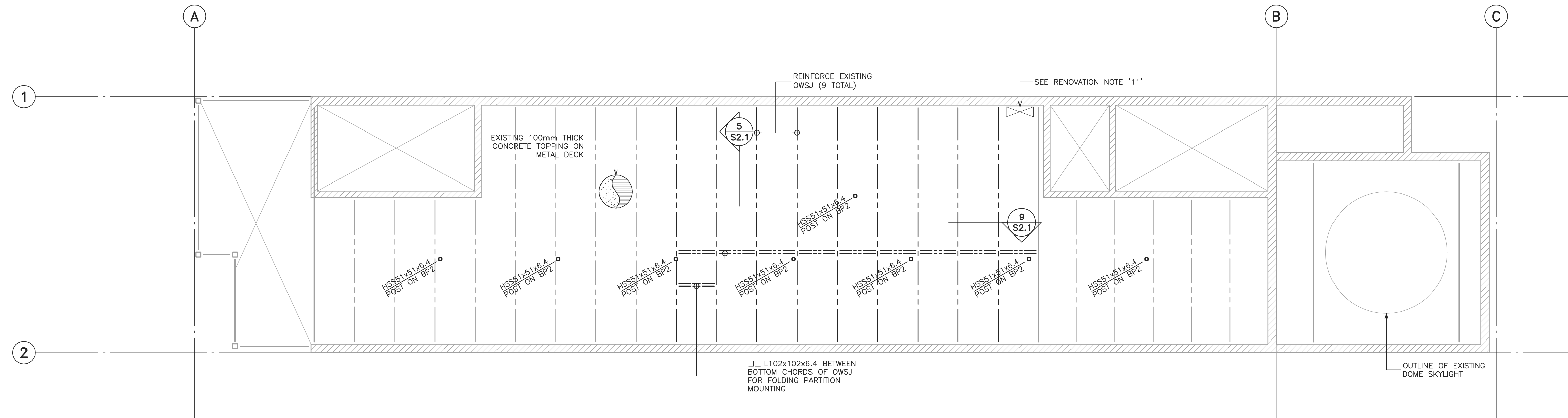
	LOAD BEARING MASONRY WALL
	NON-LOAD BEARING MASONRY WALL
	FOUNDATION WALL BELOW
	BEAM BELOW
	NEW 2x10 WOOD JOIST AND DIRECTION
	NEW SLOPED BONDED CONCRETE TOPPING
	NEW SLAB ON DECK AND DIRECTION
	EXISTING THROUGH SLAB OPENING
	NEW THROUGH SLAB OPENING
	NEW MASONRY PARAPET WALL
	NEW J.L. L102x102x6.4
	EXISTING STRUCTURAL STEEL FRAMING
	EXISTING 300 DP. OWSJ
	EXISTING 300 DP. OWSJ TO BE REINFORCED
	NEW STRUCTURAL STEEL FRAMING
	NEW STRUCTURAL STEEL COLUMN
	EXISTING COLUMN TO REMAIN
	NEW WALL PLATE (REFER TO SCHEDULE ON S1.1)
	FULL MOMENT CONNECTION

- RENOVATION NOTES:**
- REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS, SLOPES, ELEVATIONS, AND FINISH REQUIREMENTS.
  - COORDINATE THE REQUIREMENTS OF THE STRUCTURAL WORK WITH THE ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS.
  - THE CONTRACTOR SHALL DESIGN, INSTALL AND MAINTAIN ALL TEMPORARY WORKS AND SHORING AS REQUIRED TO CARRY OUT THE WORK. SUBMIT SHOP DRAWINGS SEALED BY THE CONTRACTOR'S SPECIALTY ENGINEER FOR REVIEW PRIOR TO INSTALLATION.
  - SUBMIT STRUCTURAL STEEL SHOP DRAWINGS PRIOR TO FABRICATION IN ACCORDANCE WITH SECTION 05 10 00, SEALED BY THE CONTRACTOR'S SPECIALTY ENGINEER.
  - SUBMIT STRUCTURAL STEEL DECK SHOP DRAWINGS PRIOR TO FABRICATION IN ACCORDANCE WITH SECTION 05 30 00, SEALED BY THE CONTRACTOR'S SPECIALTY ENGINEER.
  - ALL NEW STRUCTURAL STEEL DECK WITH NEW CONCRETE TOPPING SHALL BE CANAM P-3615 COMPOSITE, 38mm DEEP, 0.76mm THICK, VENTED.
  - ALL NEW STRUCTURAL STEEL DECK WITHOUT CONCRETE TOPPING SHALL BE CANAM P-3615, 38mm DEEP, 0.91mm THICK.
  - REFER TO SCHEDULE ON S1.1 FOR BASE AND WALL PLATE DETAILS.
  - INSTALL ALL REINFORCING PRIOR TO INSTALLATION OF NEW OPENINGS, STRUCTURES OR FINISHES.
  - SCAN OR X-RAY STRUCTURAL CONCRETE ELEMENTS TO LOCATE ALL EMBEDDED ITEMS (I.E. REBAR, CONDUIT, ETC.) PRIOR TO DRILLING. NOTIFY RJC 24 HOURS IN ADVANCE TO REVIEW PROPOSED CORING LOCATIONS. DO NOT SEVER EMBEDDED ITEMS TO REMAIN WITHOUT WRITTEN PERMISSION FROM RJC.
  - CORE ALL THROUGH-SLAB OPENINGS WITH 200mm CORES. DO NOT USE PERCUSSIVE DEMOLITION METHODS UNLESS APPROVED IN WRITING BY RJC.
  - DO NOT CUT OR MODIFY EXISTING STRUCTURAL MEMBERS WITHOUT AUTHORIZATION FROM RJC.
  - INSTALL LINTELS ABOVE NON-LOAD BEARING WALL OPENINGS SHOWN ON ARCHITECTURAL DRAWINGS, PER THE GENERAL STRUCTURAL NOTES.
  - INSTALL STRUCTURAL STEEL REINFORCING AROUND ALL NEW OPENINGS IN ROOF DECK PER THE GENERAL STRUCTURAL NOTES.
  - THE CONTRACTOR SHALL MAKE PROVISIONS TO REMOVE AND REINSTATE ALL ARCHITECTURAL FINISHES AND BRICK VENEER REQUIRED TO CARRY OUT THE STRUCTURAL WORK. COORDINATE WITH ARCHITECTURAL DRAWINGS.
  - CONTRACTOR SHALL CUT WOOD FRAMING TO SIZE TO MEET FINISHES FLOOR ELEVATIONS.
  - TOE FASTEN NEW WOOD JOISTS TO GROUND FLOOR SLAB WITH 83mm LONG HILTI KWIK CON II CONCRETE SCREWS  $\phi$ 400 c/c, EACH JOIST.
  - TOE FASTEN UPPER LAYER OF JOISTS AT EACH INTERSECTION WITH 83mm LONG #10 SCREW.
  - ALL STRUCTURAL STEEL EXPOSED TO EXTERIOR SHALL BE HOT DIPPED GALVANIZED WITH ALL WELDS SHOP WELDED. SITE CONNECTIONS SHALL BE BOLTED, MIN. 2-19mm A325 BOLTS, HDG.

ZONING	
O.B.C.	
FIRE SERVICES	
O.B.C. (S)	



KEY PLAN



**RENOVATION NOTES:**

- REFER TO RENOVATION NOTES ON DRAWING S1.1.

**LEGEND:**

	LOAD BEARING MASONRY WALL
	NON-LOAD BEARING MASONRY WALL
	FOUNDATION WALL BELOW
	BEAM BELOW
	NEW 2x10 WOOD JOIST AND DIRECTION
	NEW SLOPED BONDED CONCRETE TOPPING
	NEW SLAB ON DECK AND DIRECTION
	EXISTING THROUGH SLAB OPENING
	NEW THROUGH SLAB OPENING
	NEW MASONRY PARAPET WALL
	NEW L L102x102x6.4
	EXISTING STRUCTURAL STEEL FRAMING
	EXISTING 300 DP, OWSJ TO BE REINFORCED
	NEW STRUCTURAL STEEL FRAMING
	NEW STRUCTURAL STEEL COLUMN
	EXISTING COLUMN TO REMAIN
	NEW WALL PLATE (REFER TO SCHEDULE ON S1.1)
	FULL MOMENT CONNECTION

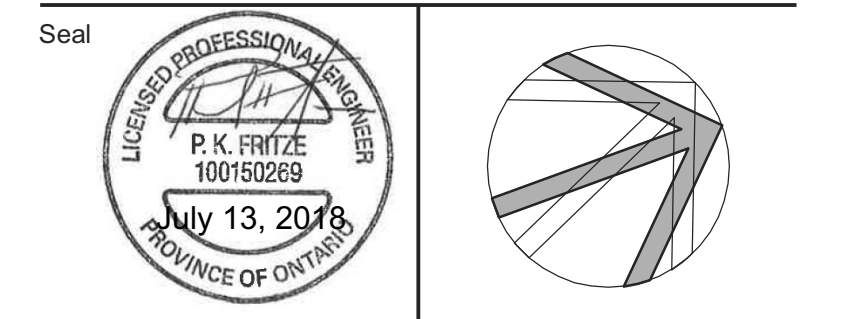
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No.	Revision	Date	By
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Project Name  
**348 Davenport Street**  
 Toronto, Ontario

**DAVENPORT SHELTER RENOVATION**

Sheet Title

**LEVEL 2 RENOVATION PLAN**

Drawn By M.L. Scale 1:75  
 Designed By P.F. Date July, 2018  
 RJC Project Number TOR.121290.0001

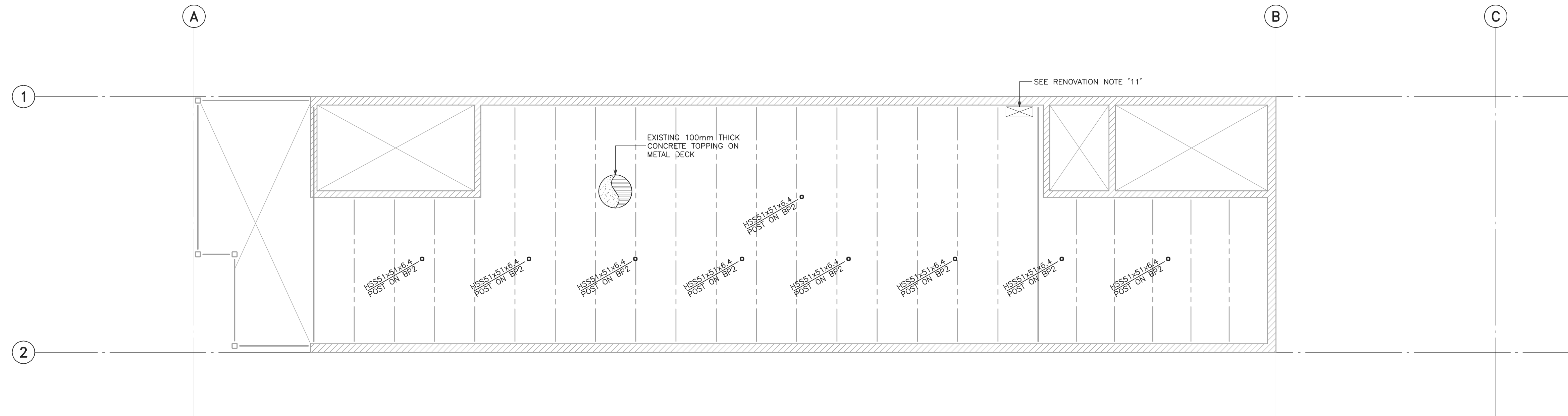
Sheet Number Revision

**S1.2**

ZONING	
O.B.C.	
FIRE SERVICES	
O.B.C. (S)	



KEY PLAN



**RENOVATION NOTES:**  
 1. REFER TO RENOVATION NOTES ON DRAWING S1.1.

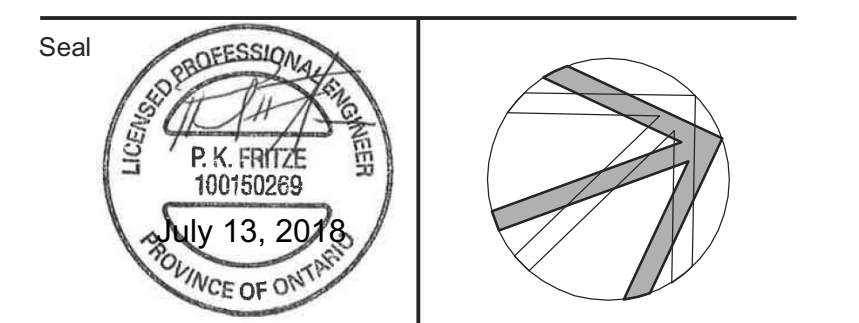
**LEGEND:**

	LOAD BEARING MASONRY WALL
	NON-LOAD BEARING MASONRY WALL
	FOUNDATION WALL BELOW
	BEAM BELOW
	NEW 2x10 WOOD JOIST AND DIRECTION
	NEW SLOPED BONDED CONCRETE TOPPING
	NEW SLAB ON DECK AND DIRECTION
	EXISTING THROUGH SLAB OPENING
	NEW THROUGH SLAB OPENING
	NEW MASONRY PARAPET WALL
	NEW J.L. L102x102x6.4
	EXISTING STRUCTURAL STEEL FRAMING
	EXISTING 300 DP, OWSJ TO BE REINFORCED
	NEW STRUCTURAL STEEL FRAMING
	NEW STRUCTURAL STEEL COLUMN
	EXISTING COLUMN TO REMAIN
	NEW WALL PLATE (REFER TO SCHEDULE ON S1.1)
	FULL MOMENT CONNECTION

**STRUCTURAL DESIGN BY PROFESSIONAL ENGINEER:**  
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1.	ISSUED FOR TENDER	July 13/18	P.F.

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Project Name  
**348 Davenport Street**  
 Toronto, Ontario

**DAVENPORT SHELTER RENOVATION**

**LEVEL 3 RENOVATION PLAN**

Drawn By M.L. Scale 1:75  
 Designed By P.F. Date July, 2018  
 RJC Project Number TOR.121290.0001

Sheet Number **S1.3** Revision

**STRUCTURAL DESIGN BY PROFESSIONAL ENGINEER:**  
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**Toronto Building**  
 PERMIT REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE  
 18 197188 BLD 00

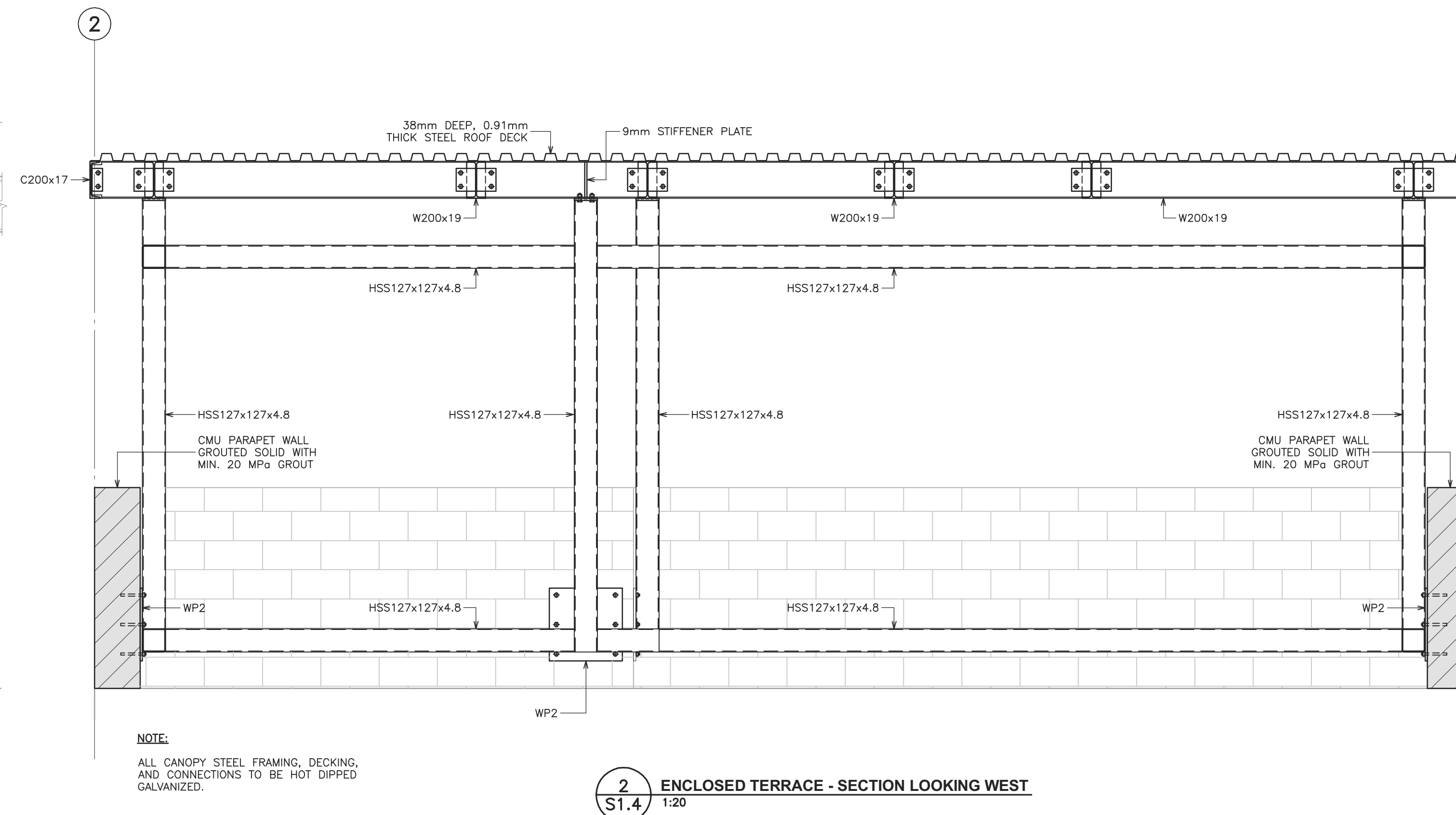
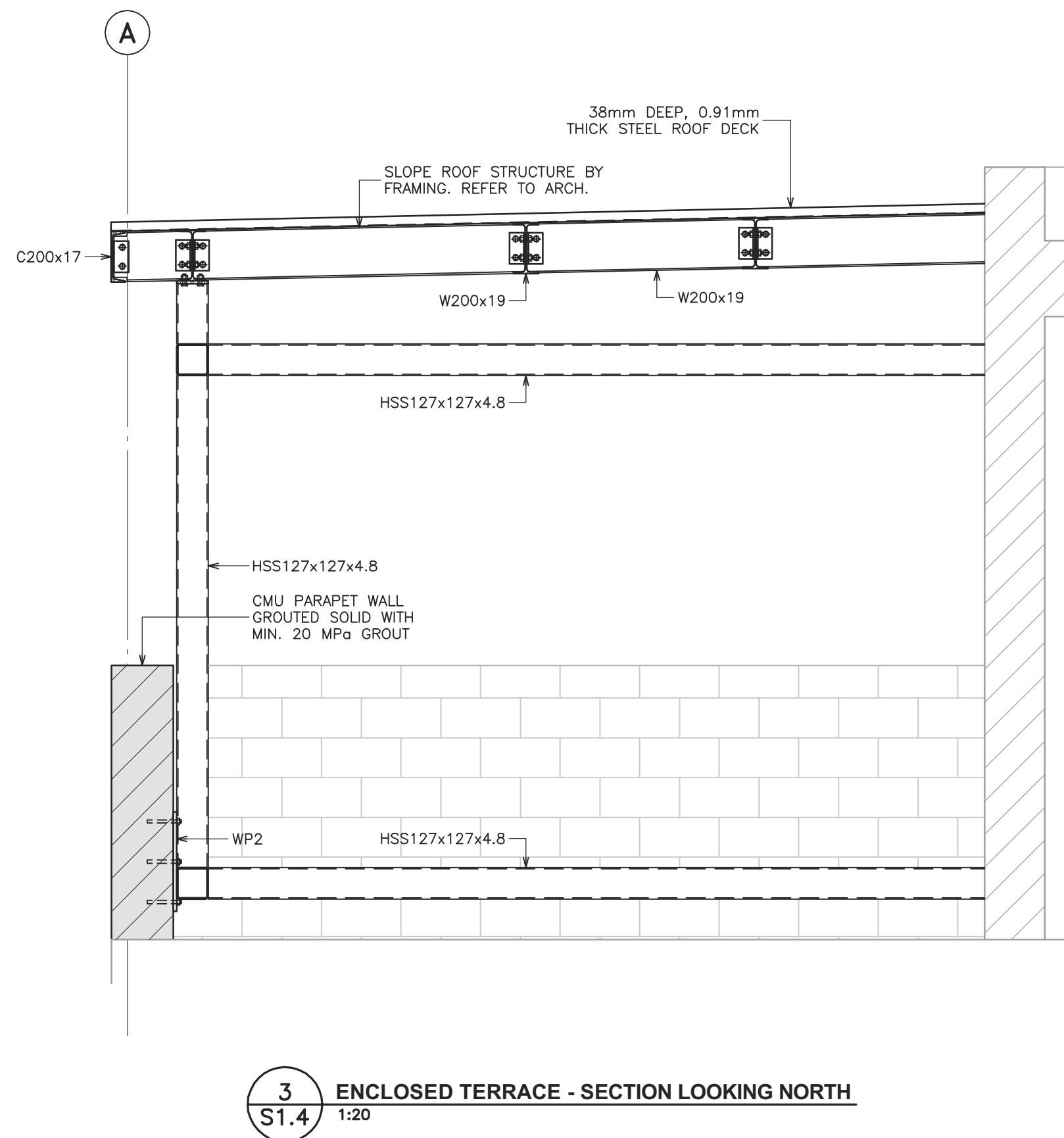
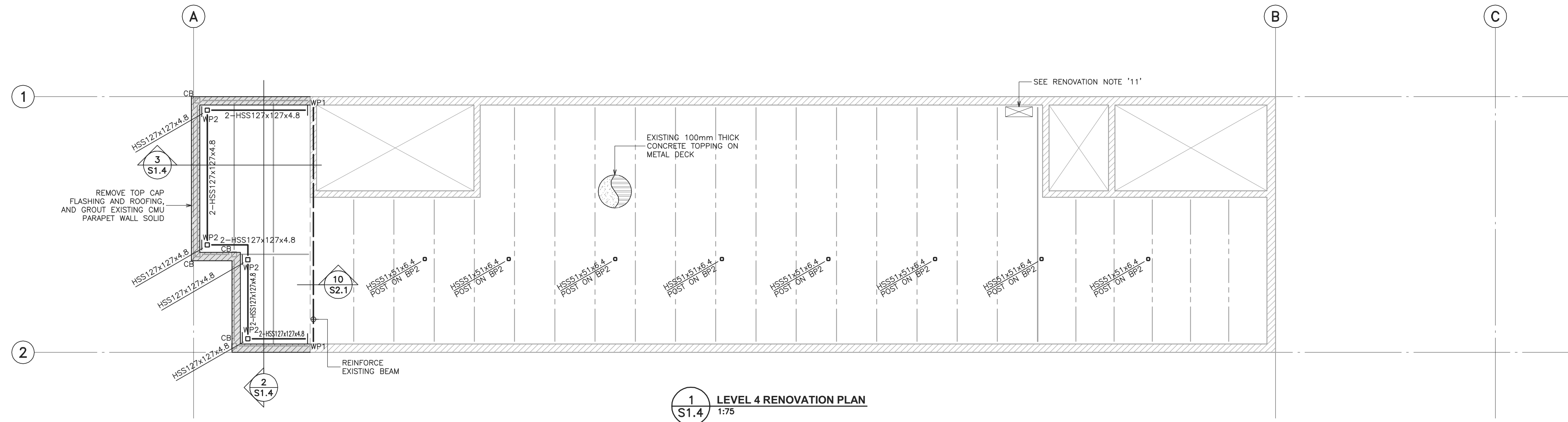
ZONING	
O.B.C.	
FIRE SERVICES	
O.B.C. (S)	

**rjc** Creative Thinking Practical Results

Read Jones Christoffersen Ltd. Engineers  
 rjc.ca  
 144 Front Street West, Suite 500  
 Toronto, ON M5J 2L7 Canada  
 tel 416-977-5335  
 fax 416-977-1427



KEY PLAN



**RENOVATION NOTES:**

- REFER TO RENOVATION NOTES ON DRAWING S1.1.

**LEGEND:**

- LOAD BEARING MASONRY WALL
- NON-LOAD BEARING MASONRY WALL
- FOUNDATION WALL BELOW
- BEAM BELOW
- NEW 2x10 WOOD JOIST AND DIRECTION
- NEW SLOPED BONDED CONCRETE TOPPING
- NEW SLAB ON DECK AND DIRECTION
- EXISTING THROUGH SLAB OPENING
- NEW THROUGH SLAB OPENING
- NEW MASONRY PARAPET WALL
- NEW JIL L102x102x6.4
- EXISTING STRUCTURAL STEEL FRAMING
- EXISTING 300 DP. OWSJ TO BE REINFORCED
- NEW STRUCTURAL STEEL FRAMING
- NEW STRUCTURAL STEEL COLUMN
- EXISTING COLUMN TO REMAIN
- NEW WALL PLATE (REFER TO SCHEDULE ON S1.1)
- FULL MOMENT CONNECTION

No.	Revision	Date	By
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Seal

Project Name  
**348 Davenport Street**  
 Toronto, Ontario

**DAVENPORT SHELTER RENOVATION**

Sheet Title

**LEVEL 4 RENOVATION PLAN**

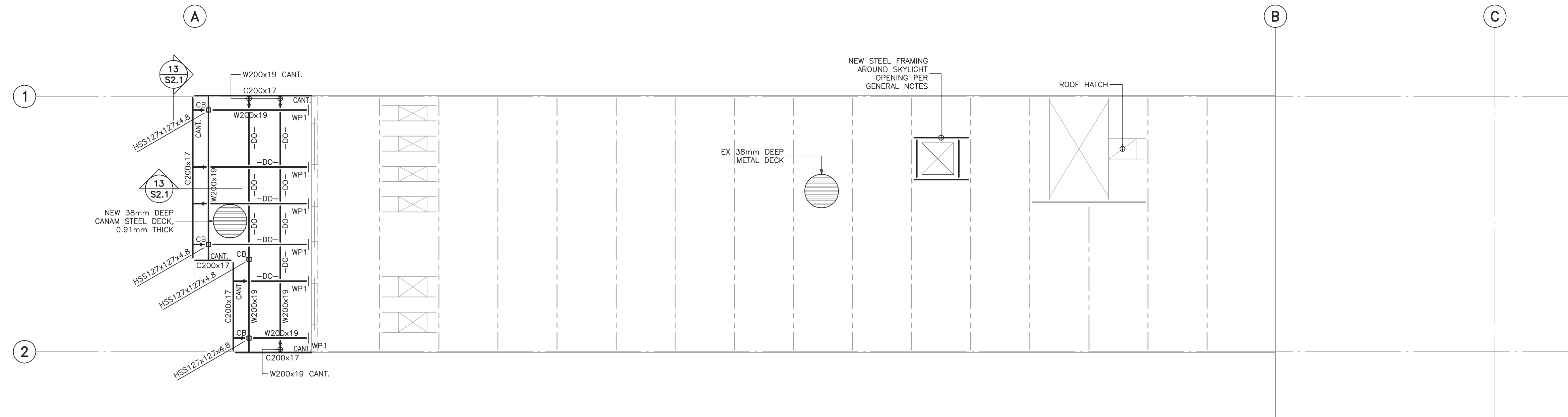
Drawn By M.L. Scale 1:75  
 Designed By P.F. Date July, 2018  
 RJC Project Number **TOR.121290.0001**  
 Sheet Number \_\_\_\_\_ Revision \_\_\_\_\_

**S1.4**

ZONING	
O.B.C.	
FIRE SERVICES	
O.B.C. (S)	



KEY PLAN



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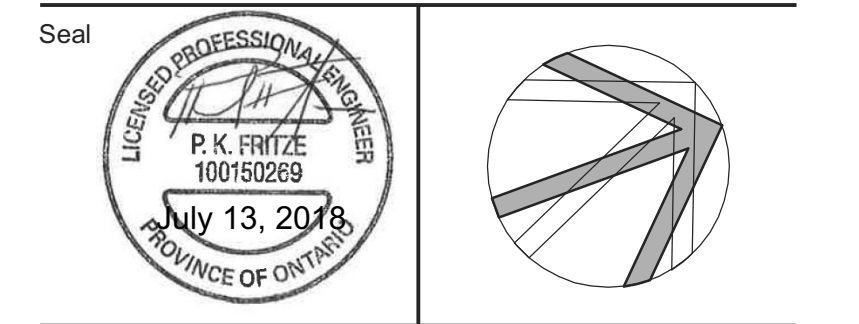
**RENOVATION NOTES:**  
 1. REFER TO RENOVATION NOTES ON DRAWING S1.1.

**LEGEND:**

	LOAD BEARING MASONRY WALL
	NON-LOAD BEARING MASONRY WALL
	FOUNDATION WALL BELOW
	BEAM BELOW
	NEW 2x10 WOOD JOIST AND DIRECTION
	NEW SLOPED BONDED CONCRETE TOPPING
	NEW SLAB ON DECK AND DIRECTION
	EXISTING THROUGH SLAB OPENING
	NEW THROUGH SLAB OPENING
	NEW MASONRY PARAPET WALL
	NEW J.L. L102x102x6.4
	EXISTING STRUCTURAL STEEL FRAMING
	EXISTING 300 DP, OWSJ TO BE REINFORCED
	EXISTING 300 DP, OWSJ TO BE REINFORCED
	NEW STRUCTURAL STEEL FRAMING
	NEW STRUCTURAL STEEL COLUMN
	EXISTING COLUMN TO REMAIN
	NEW WALL PLATE (REFER TO SCHEDULE ON S1.1)
	FULL MOMENT CONNECTION

No.	Revision	Date	By
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1.	ISSUED FOR TENDER	July 13/18	P.F.

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Project Name  
**348 Davenport Street**  
 Toronto, Ontario

**DAVENPORT SHELTER RENOVATION**

Sheet Title

**ROOF RENOVATION PLAN**

Drawn By M.L. Scale 1:75  
 Designed By P.F. Date July, 2018  
 RJC Project Number TOR.121290.0001

Sheet Number Revision

**S1.5**





KEY PLAN

**Toronto Building**  
PERMIT REVIEWED FOR COMPLIANCE WITH  
THE ONTARIO BUILDING CODE

18 197188 BLD 00

ZONING	
O.B.C.	
FIRE SERVICES	
O.B.C. (S)	

2.	ISSUED FOR PERMIT	July 13/18	P.F.
1.	ISSUED FOR TENDER	July 13/18	P.F.
No.	Revision	Date	By

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Project Name

**348 Davenport Street**  
Toronto, Ontario

**DAVENPORT  
SHELTER RENOVATION**

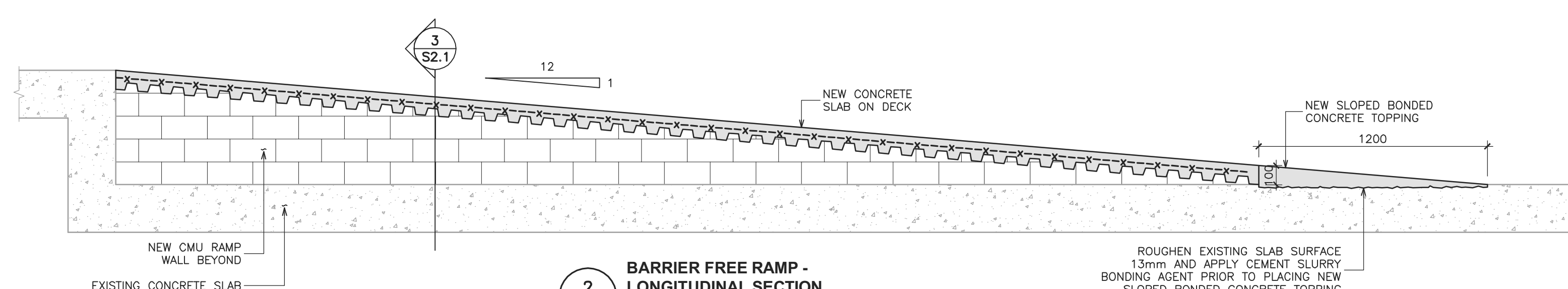
Sheet Title

**SECTIONS AND DETAILS**

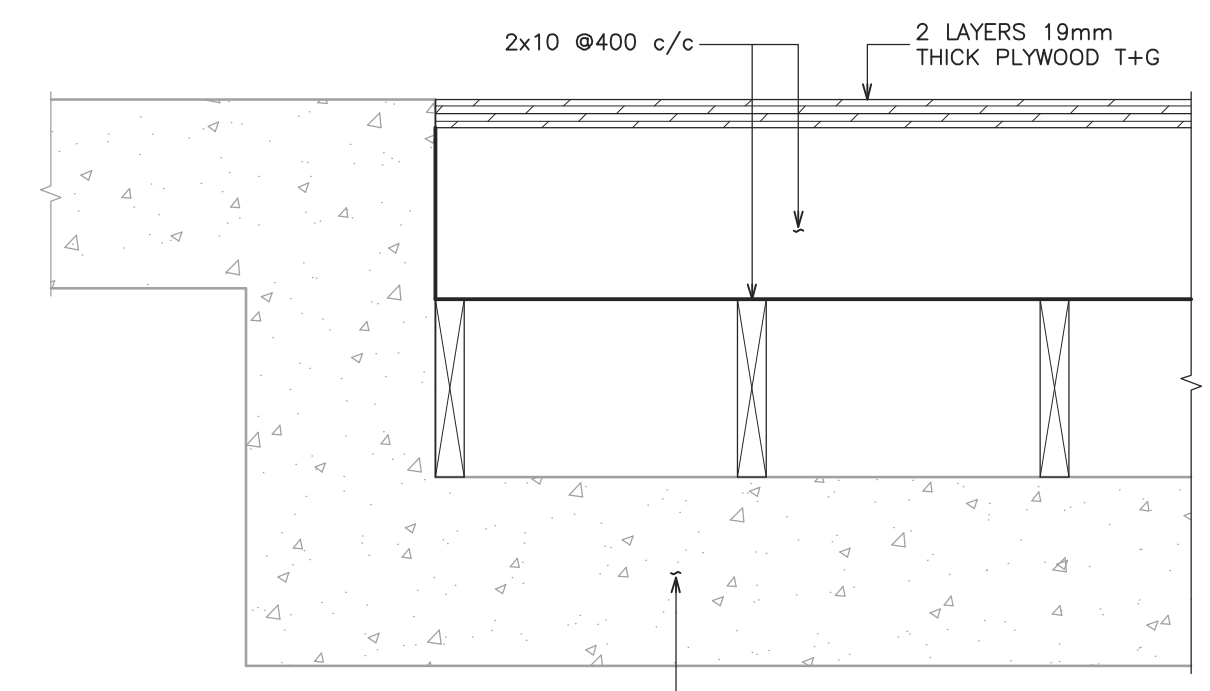
Drawn By **M.L.** Scale **AS NOTED**  
Designed By **P.F.** Date **July, 2018**  
RJC Project Number **TOR.121290.0001**

Sheet Number **S2.1** Revision

**S2.1**

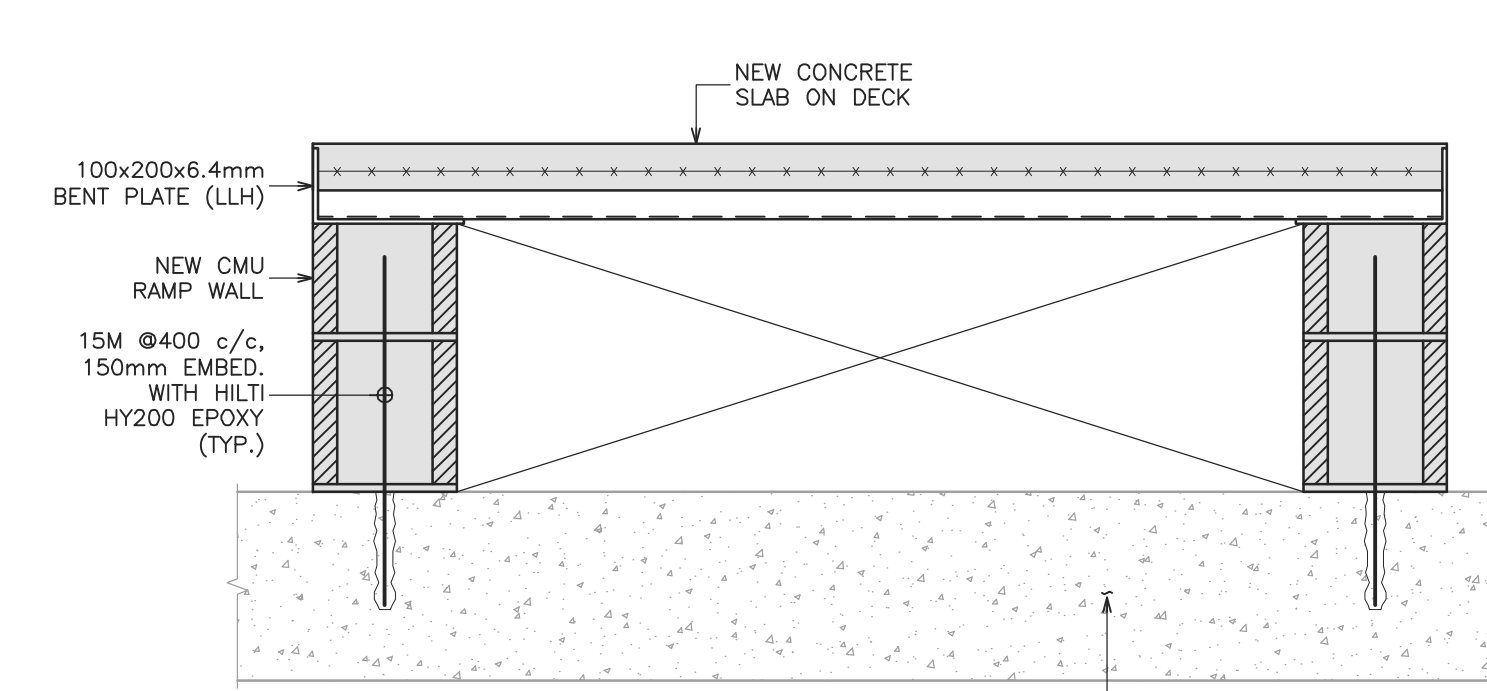


**2**  
**S2.1**  
**BARRIER FREE RAMP -  
LONGITUDINAL SECTION**  
N.T.S.

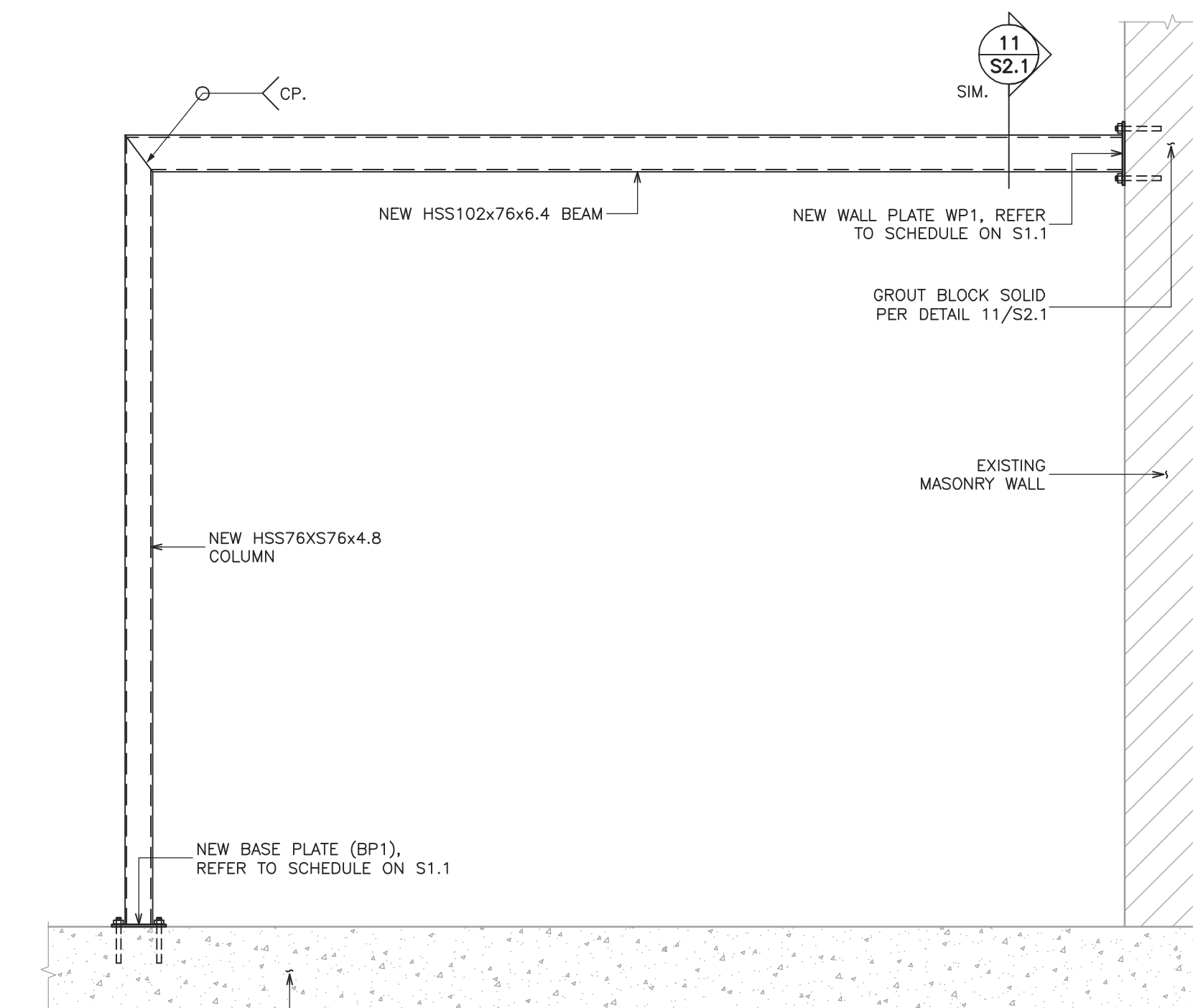


**4**  
**S2.1**  
**TYPICAL NEW WOOD JOIST DETAIL**  
N.T.S.

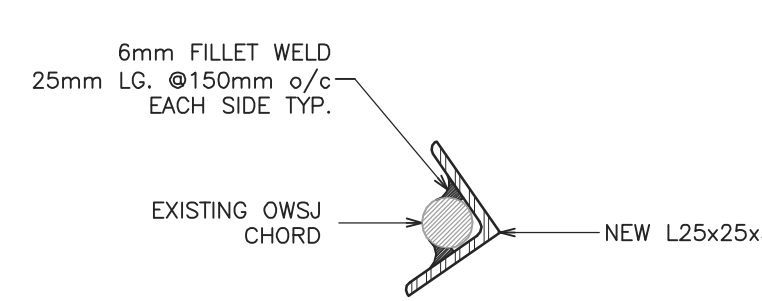
- NOTES:
- CONTRACTOR SHALL CUT WOOD FRAMING TO SIZE TO MEET FINISHED FLOOR ELEVATIONS.
  - TOE FASTEN NEW WOOD JOISTS TO GROUND FLOOR SLAB WITH 83mm LONG HILTI KWIK CON II CONCRETE SCREWS @ 400 c/c, EACH JOIST.
  - TOE FASTEN UPPER LAYER OF JOISTS AT EACH INTERSECTION WITH 83mm LONG #10 SCREW.



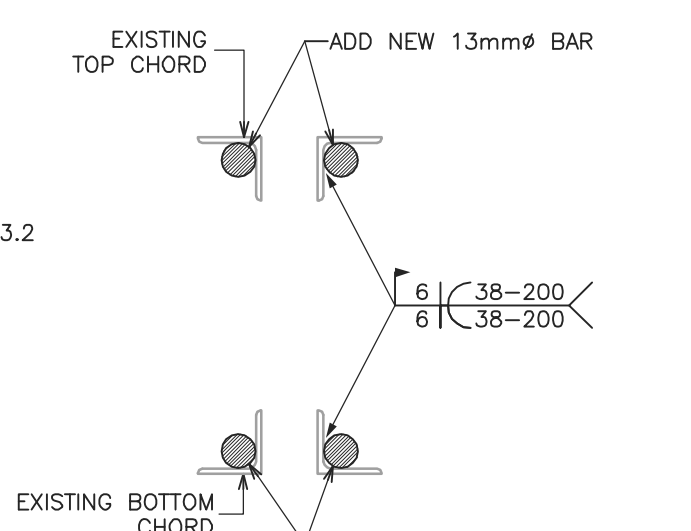
**3**  
**S2.1**  
**TYPICAL OWSJ REINFORCING FOR  
FOLDING PARTITION MOUNTING DETAIL**  
N.T.S.



**1**  
**S2.1**  
**OVERHEAD ROLL-UP DOOR FRAMING**  
N.T.S.

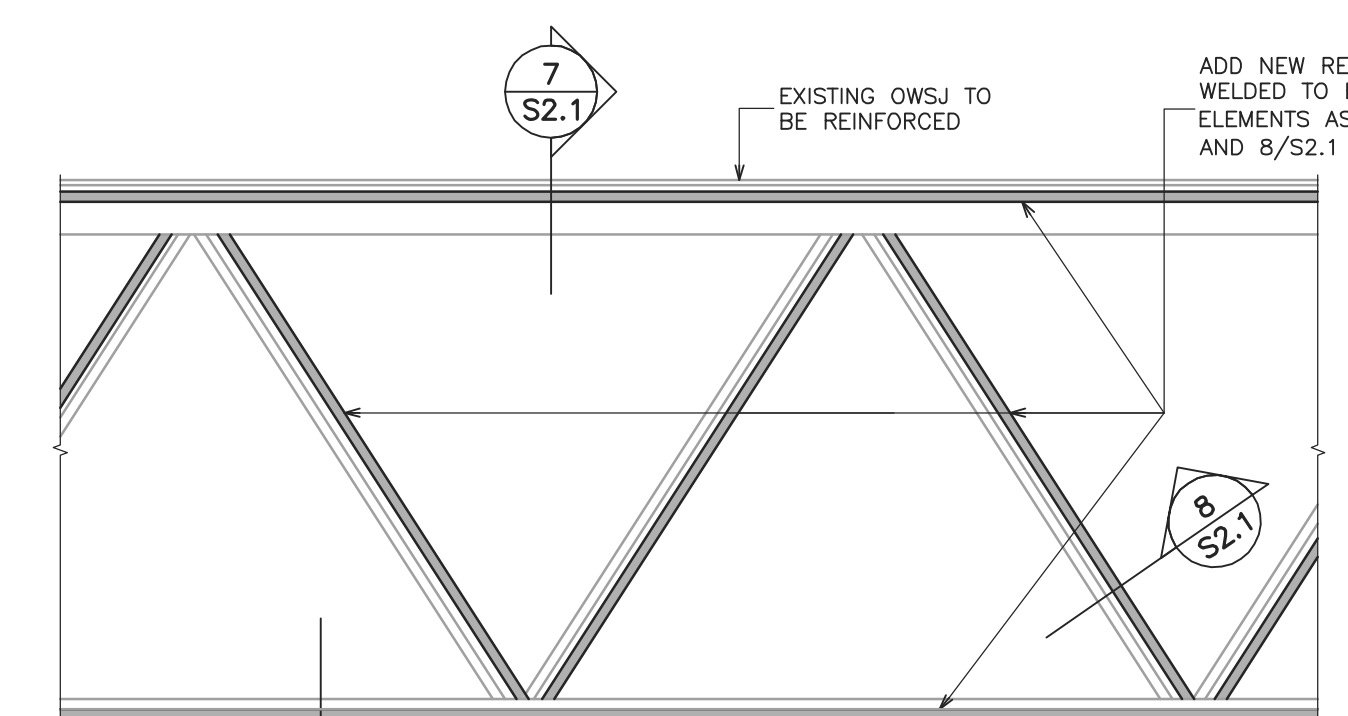


**8**  
**S2.1**  
**WEB REINFORCING DETAIL**  
N.T.S.

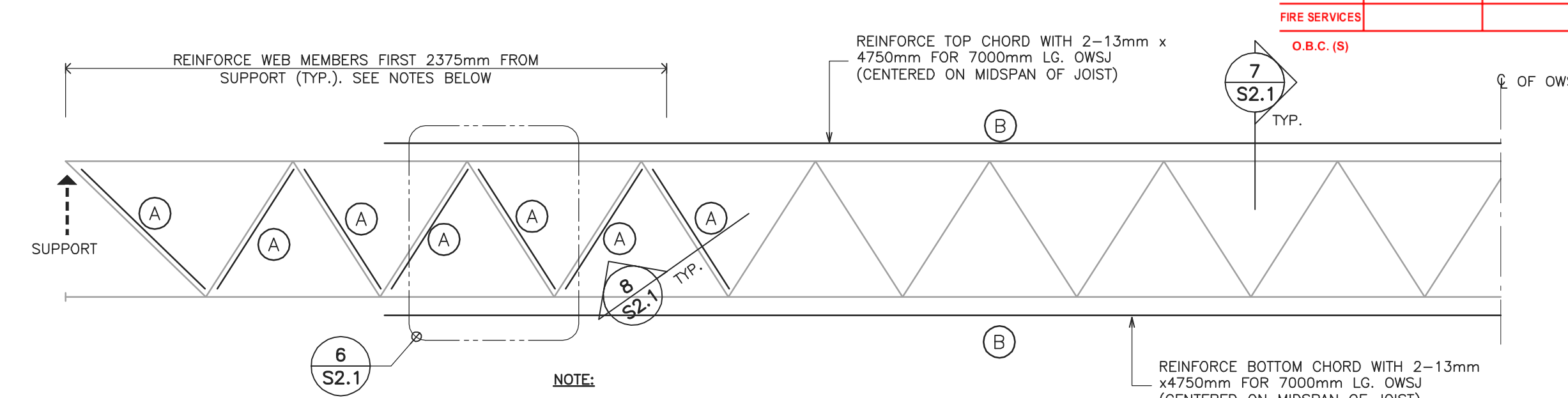


**7**  
**S2.1**  
**TYPICAL TOP AND BOTTOM  
JOIST CHORD REINFORCING**  
N.T.S.

- NOTE:
- SPLICE REINFORCING WITH FULL WELD ALL AROUND.
  - REINFORCING NOT REQUIRED WHERE PREVIOUS REINFORCING HAS BEEN INSTALLED.

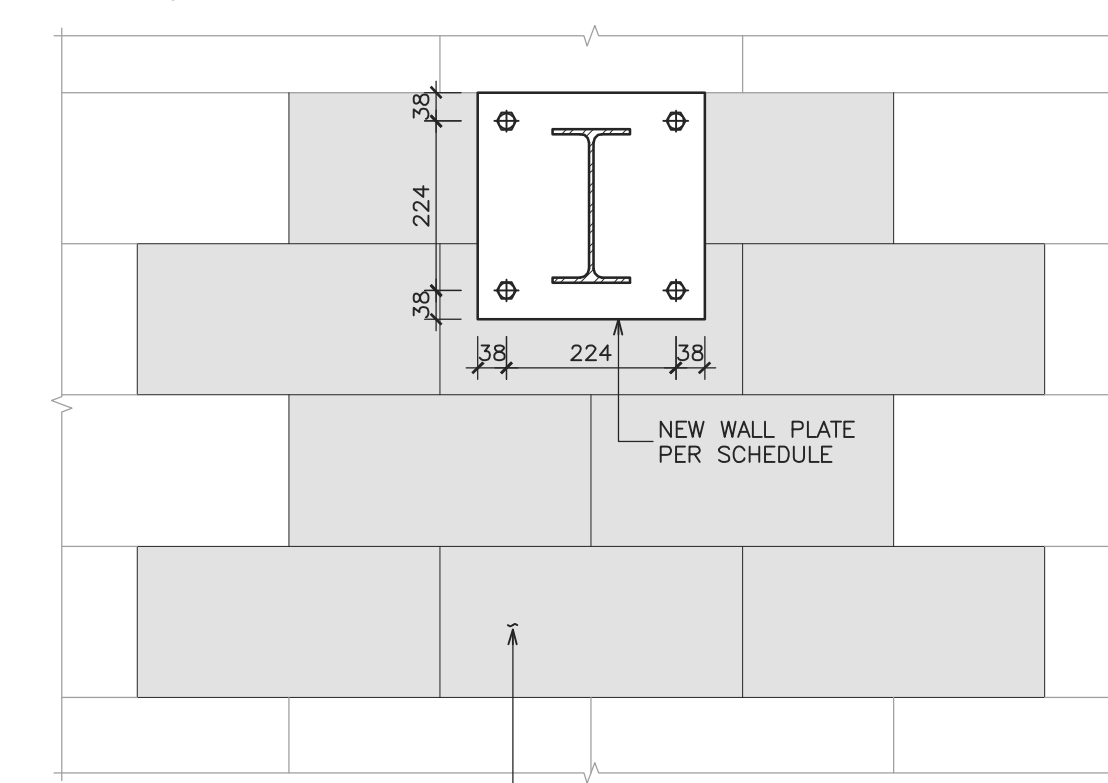


**6**  
**S2.1**  
**WEB MEMBER REINFORCING**  
N.T.S.

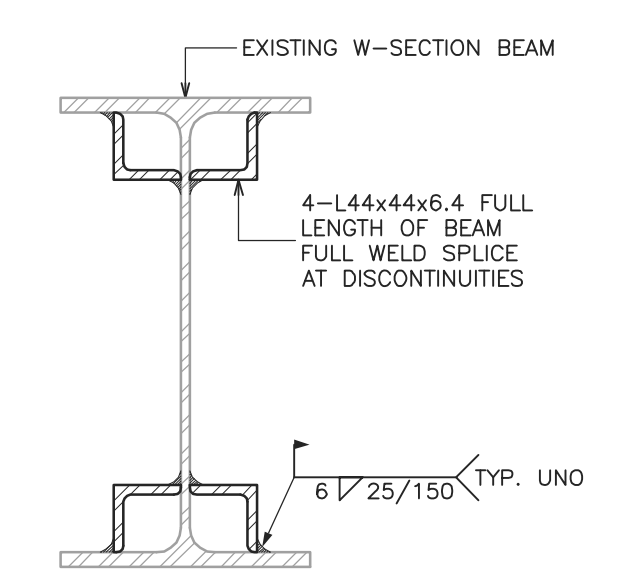


**5**  
**S2.1**  
**TYPICAL JOIST REINFORCING ELEVATION**  
N.T.S.

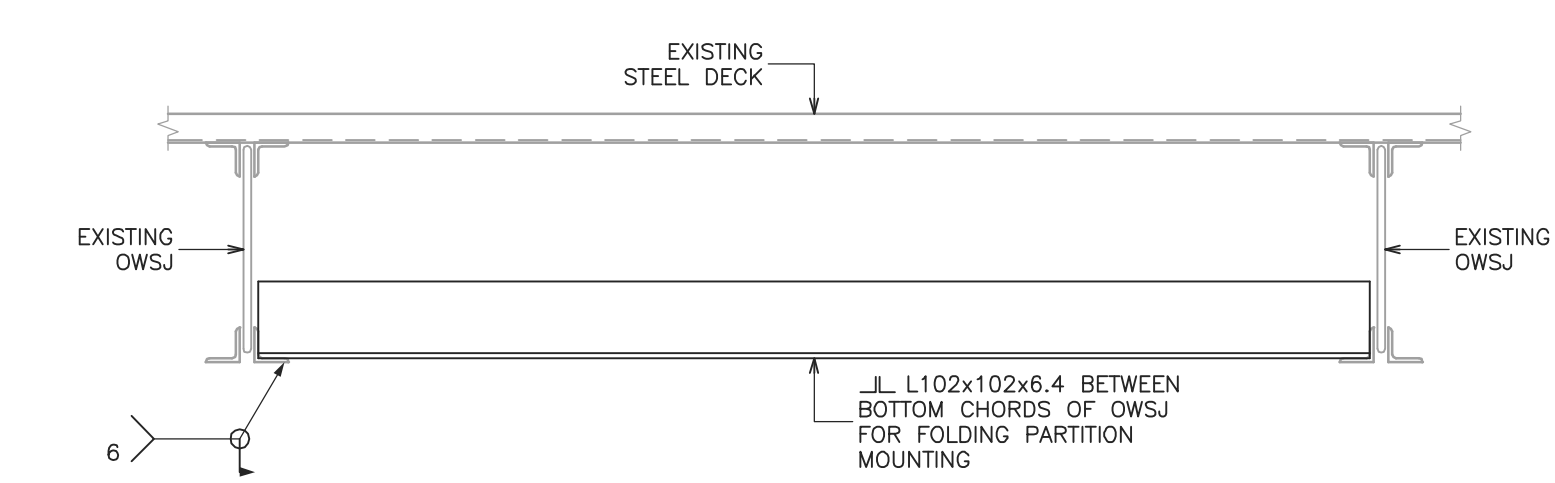
- NOTE:
- HALF OF TYPICAL OWSJ SHOWN. REINFORCING APPLIES TO BOTH ENDS OF OWSJ'S IDENTIFIED ON S1.2.



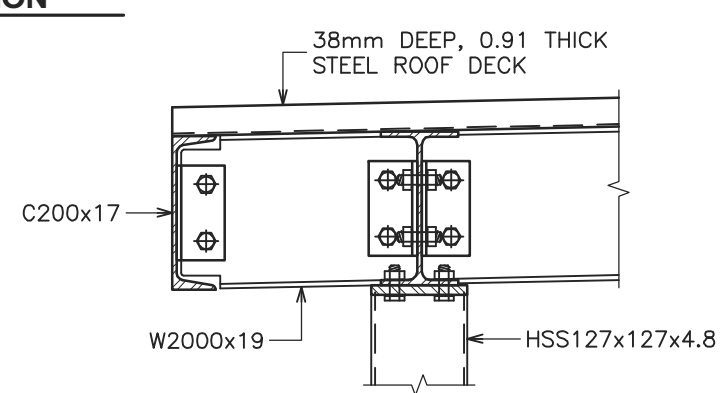
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**S2.1**  
**TYPICAL CMU WALL GROUTING  
AT NEW BEAM CONNECTION**  
N.T.S.



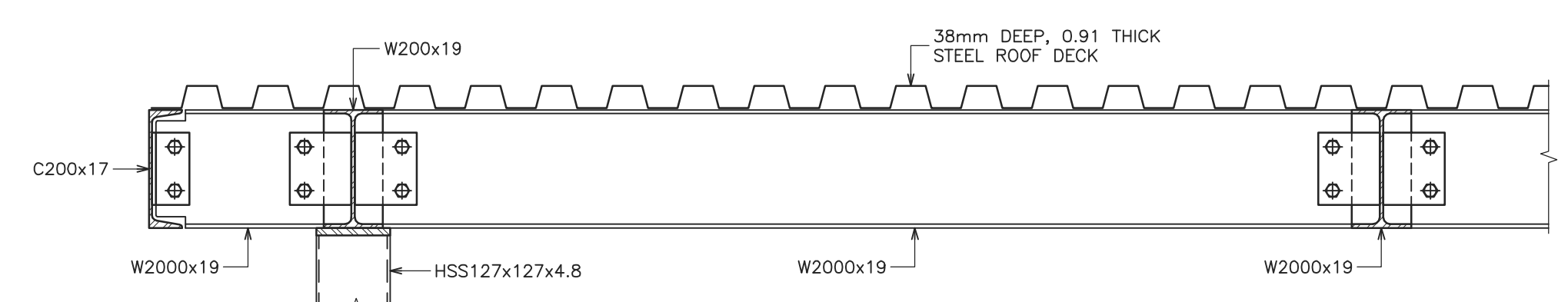
**10**  
**S2.1**  
**TYPICAL BEAM REINFORCING DETAIL**  
N.T.S.



**9**  
**S2.1**  
**TYPICAL FRAMING FOR  
FOLDING PARTITION DETAIL**  
N.T.S.



**13**  
**S2.1**  
**TYPICAL ENCLOSED TERRACE DETAIL**  
N.T.S.



**12**  
**S2.1**  
**TYPICAL ENCLOSED TERRACE DETAIL**  
N.T.S.

**STRUCTURAL DESIGN BY PROFESSIONAL ENGINEER:**  
The City has relied upon the plans and drawings prepared and submitted by the qualified architects and/or engineers on this project.  
  
The issuance of a building permit does not imply that a complete design review of this project has been performed and does not relieve the owner and designers from the need to comply with the Ontario Building Code and referenced standards where contraventions are subsequently noted.



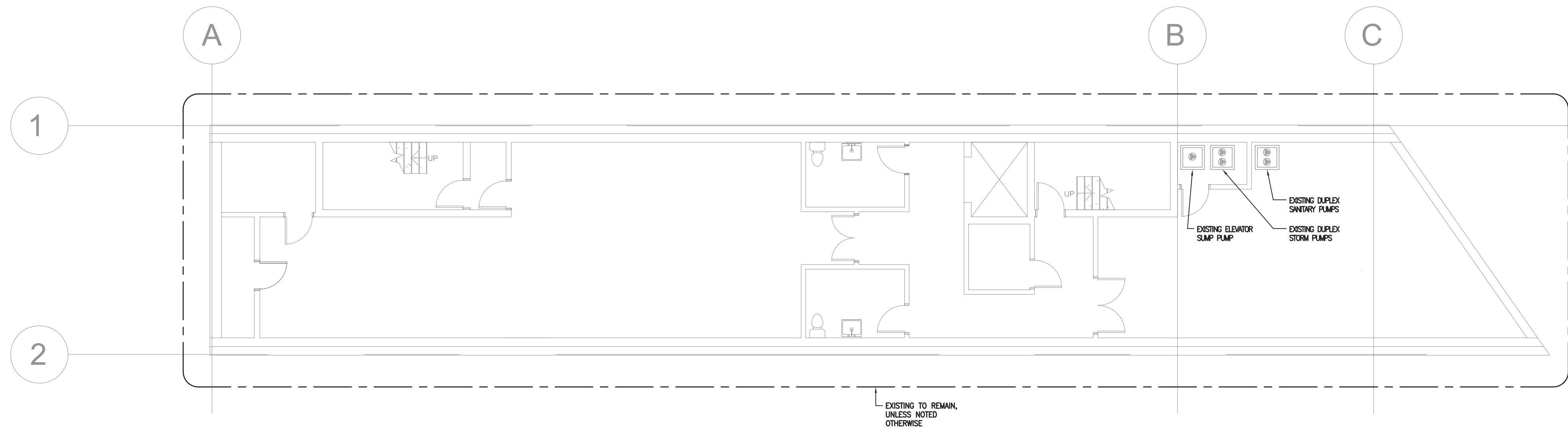
Rev	Description	Date
1	Final Review	16 July '18
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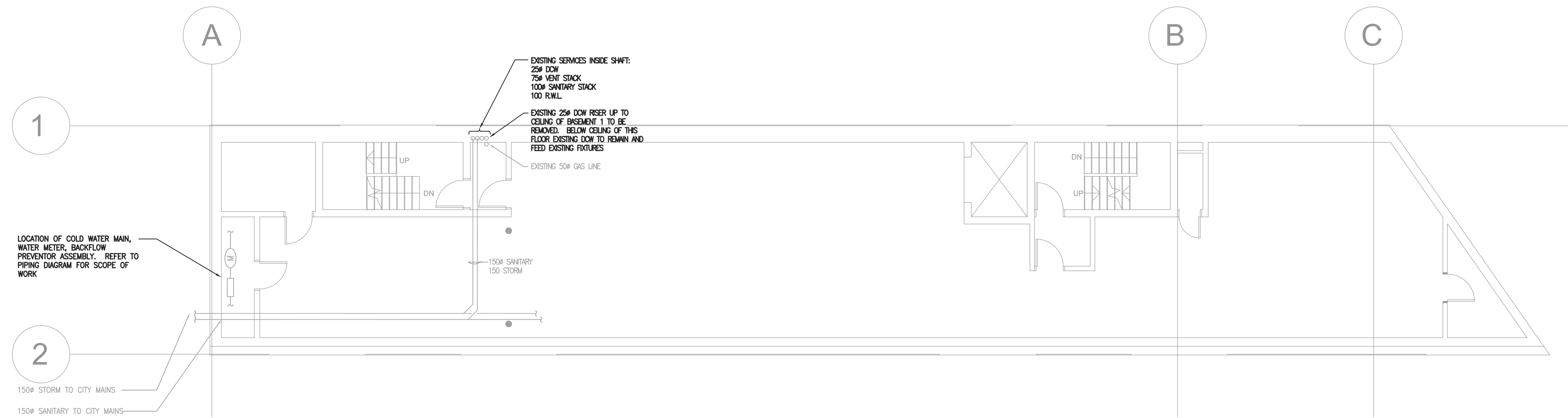
18 197188 BLD 00

ZONING: **FOR**  
O.B.C.: **REFERENCE**  
FIRE: **ONLY**  
O.B.C.(S)

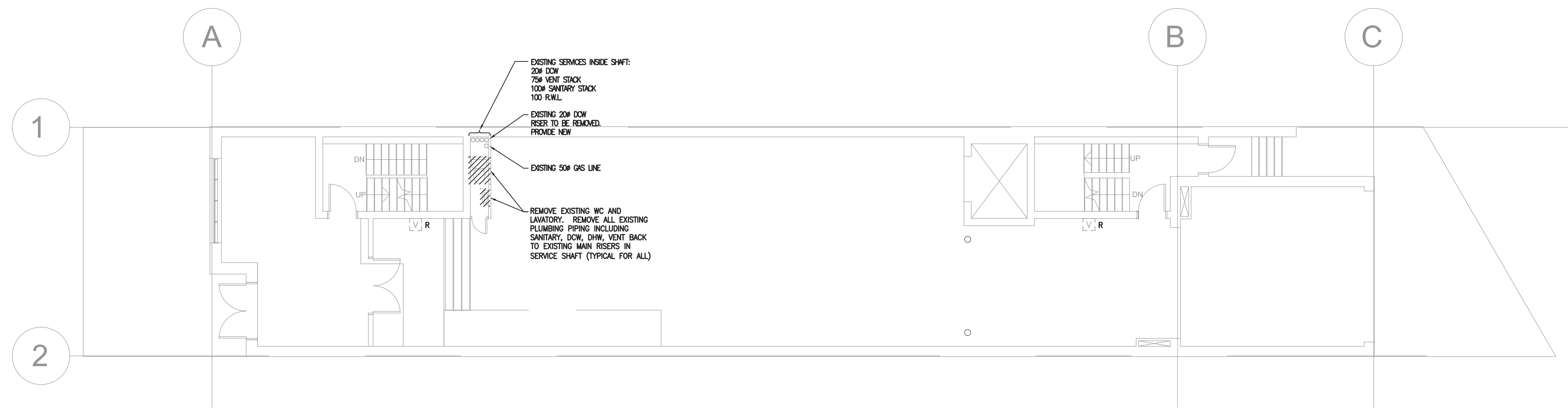
SEPARATE PERMITS REQUIRED FOR HVAC & PLUMBING.  
HVAC AND PLUMBING ARE NOT PART OF THIS PERMIT.



1 BASEMENT 2 - PLUMBING DEMOLITION  
M-2 SCALE: 1:100



2 BASEMENT 1 - PLUMBING DEMOLITION  
M-2 SCALE: 1:100



3 LEVEL 1 - PLUMBING DEMOLITION  
M-2 SCALE: 1:100

SHARMA & PARTNERS INC.  
Mechanical and Electrical Engineers  
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Toronto, Ontario  
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SPI PROJECT #: 2018-1039

**WORKSHOP**  
architecture

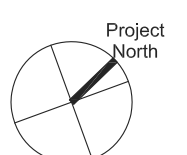
WORKSHOP architecture inc  
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Davenport Shelter

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PROJECT CODE:	SCALE:
18_22	As indicated
DATE:	STATUS:
16 July 2018	Permit / Tender

Basement 1 & 2 and Level 1  
Plumbing Demolition



Project North  
drawing number

M-2

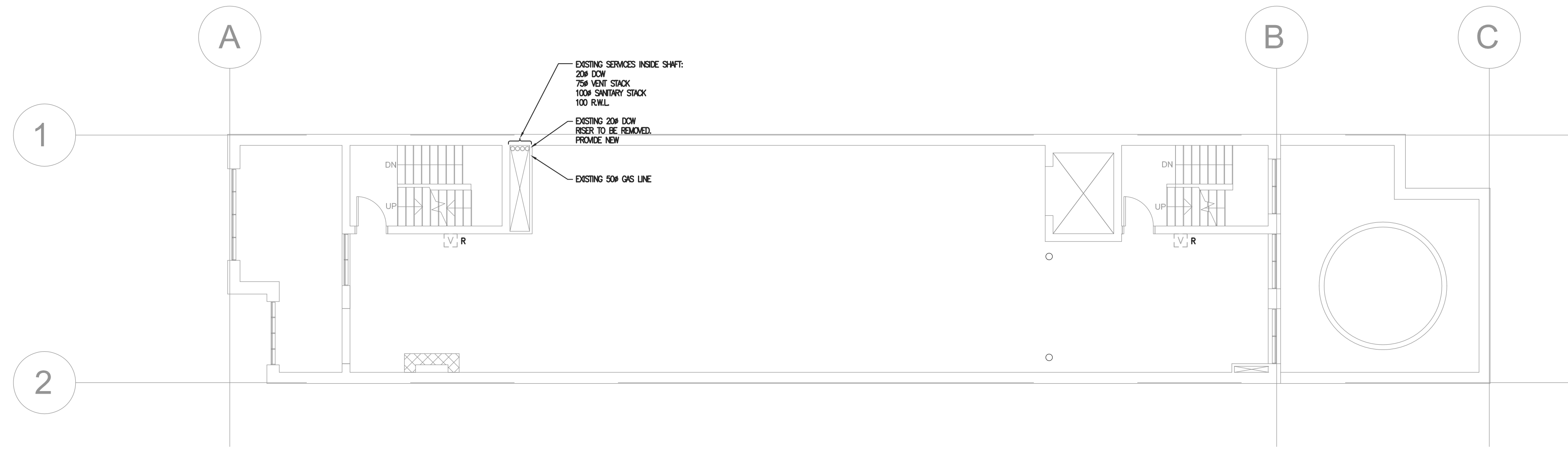
Rev	Description	Date
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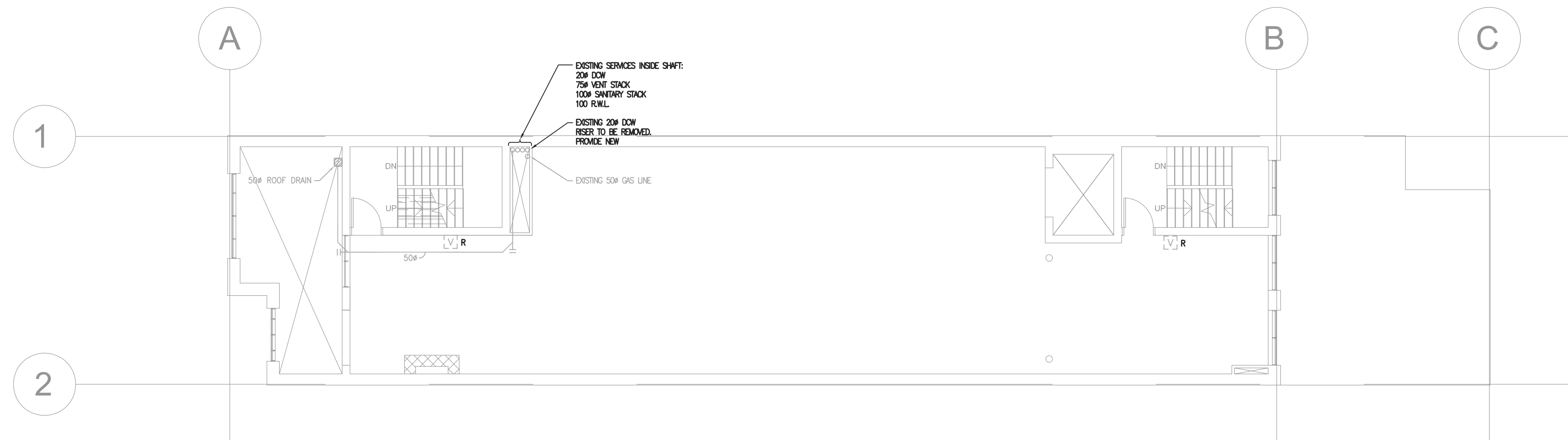
18 197188 BLD 00

**FOR REFERENCE ONLY**  
 ZONING: O.B.C.  
 FIRE SERVICES: O.B.C. (S)

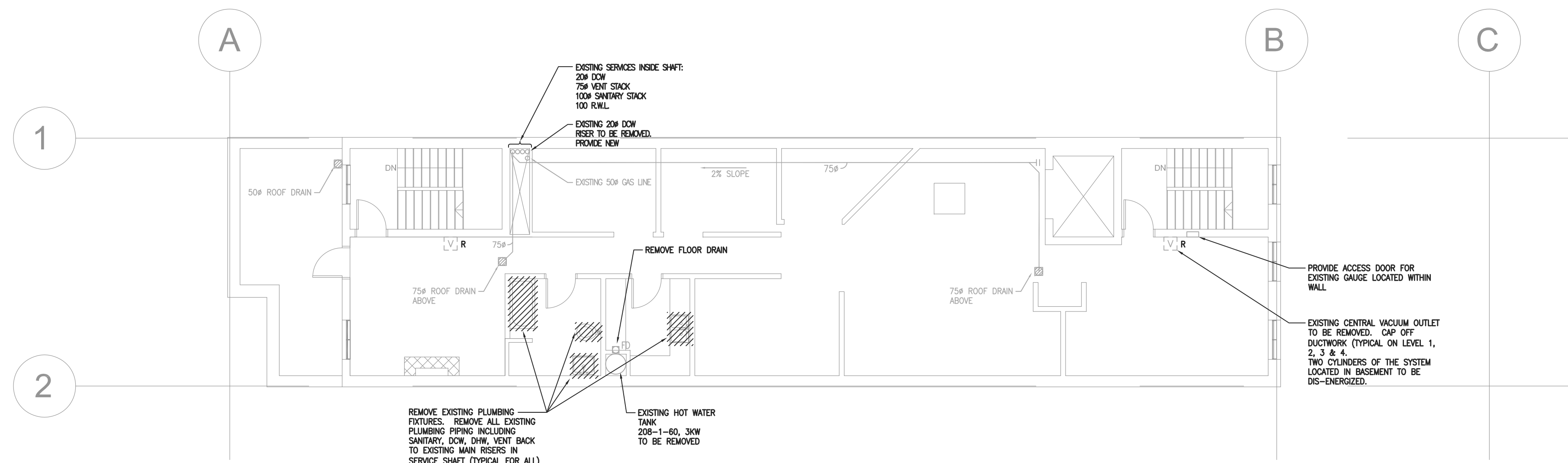
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1 LEVEL 2 - PLUMBING DEMOLITION  
 M-3 SCALE: 1:100



2 LEVEL 3 - PLUMBING DEMOLITION  
 M-3 SCALE: 1:100



3 LEVEL 4 - PLUMBING DEMOLITION  
 M-3 SCALE: 1:100

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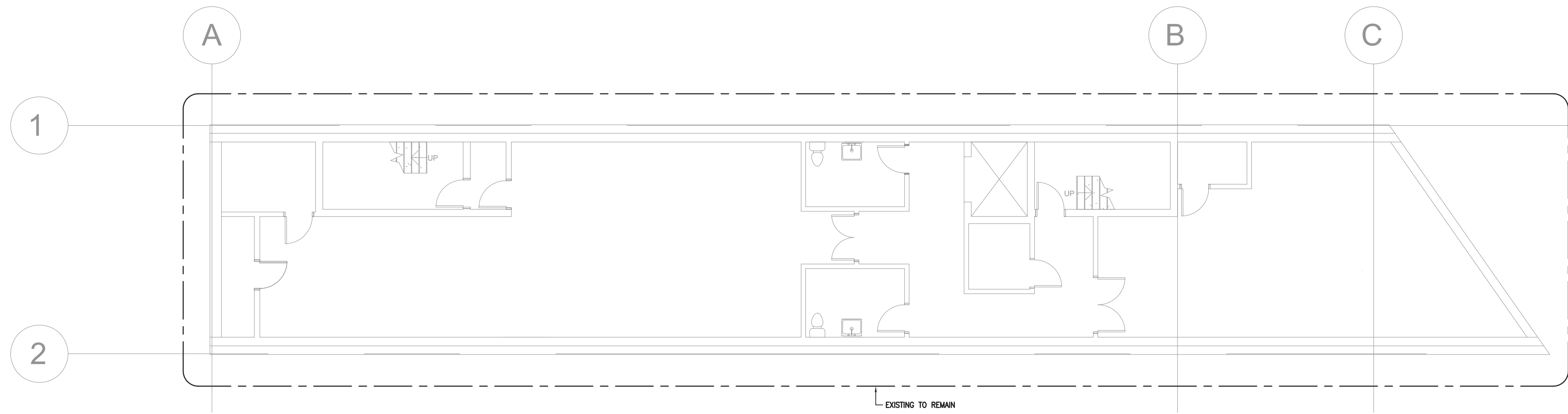
PROJECT CODE:	SCALE:
18 22	As indicated
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Level 2, 3 & 4  
 Plumbing Demolition

Rev	Description	Date
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**FOR REFERENCE ONLY**  
 ZONING  
 O.B.C.  
 FIRE SERVICES  
 O.B.C. (S)

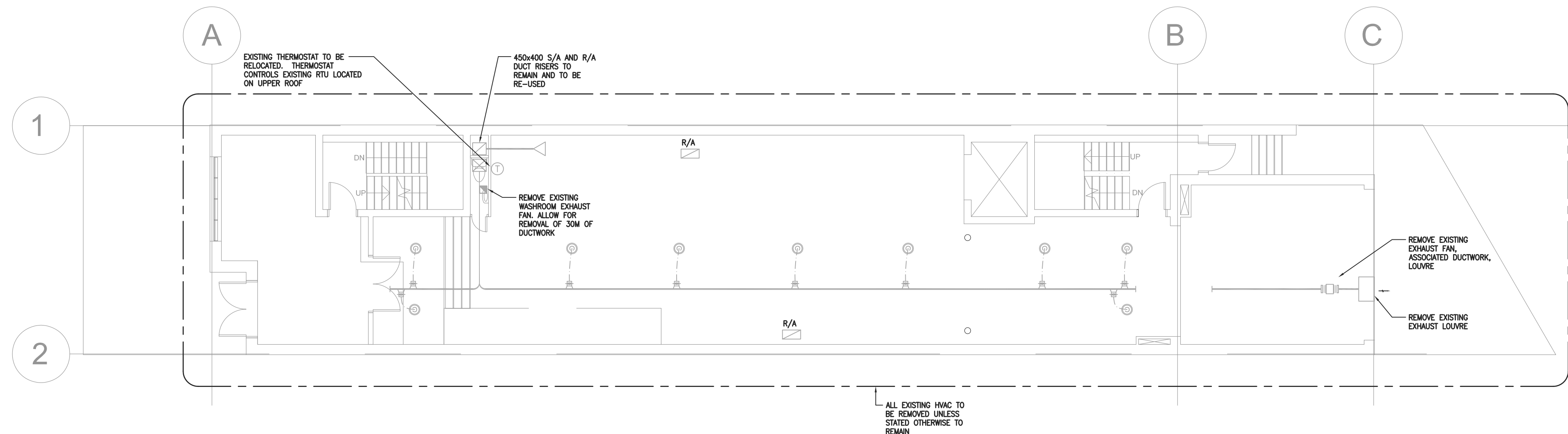
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1 BASEMENT 2 – HVAC DEMOLITION  
 M-4 SCALE: 1:100



2 BASEMENT 1 – HVAC DEMOLITION  
 M-4 SCALE: 1:100



3 LEVEL 1 – HVAC DEMOLITION  
 M-4 SCALE: 1:100

- DEMOLITION NOTES:**
- REMOVE ALL EXISTING DUCTWORK, FITTINGS, DIFFUSERS AND GRILLES UP TO MAINS BELOW ROOF FROM RTU.
  - EXISTING DUCTWORK LAYOUT IS SHOWN FOR REFERENCE ONLY. VERIFY ON SITE AS REQUIRED.
  - IN ADDITION TO SHOWN, ALLOW IN CONTRACT FOR REPLACEMENT OF 5 EXISTING FIRE DAMPERS WITH NEW ONES. (400x300 DUCT SIZE)

**SHARMA & PARTNERS INC.**  
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**A. PROTNIK**  
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**Davenport Shelter**

348 Davenport Road  
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PROJECT CODE: 18\_22 SCALE: As indicated  
 DATE: 16 July 2018 STATUS: Permit / Tender

Basement 1 & 2 and Level 1  
 HVAC Demolition

Rev	Description	Date
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 FIRE SERVICES: **FOR REFERENCE ONLY**  
 O.B.C. (S)

SEPARATE PERMITS REQUIRED FOR HVAC & PLUMBING.  
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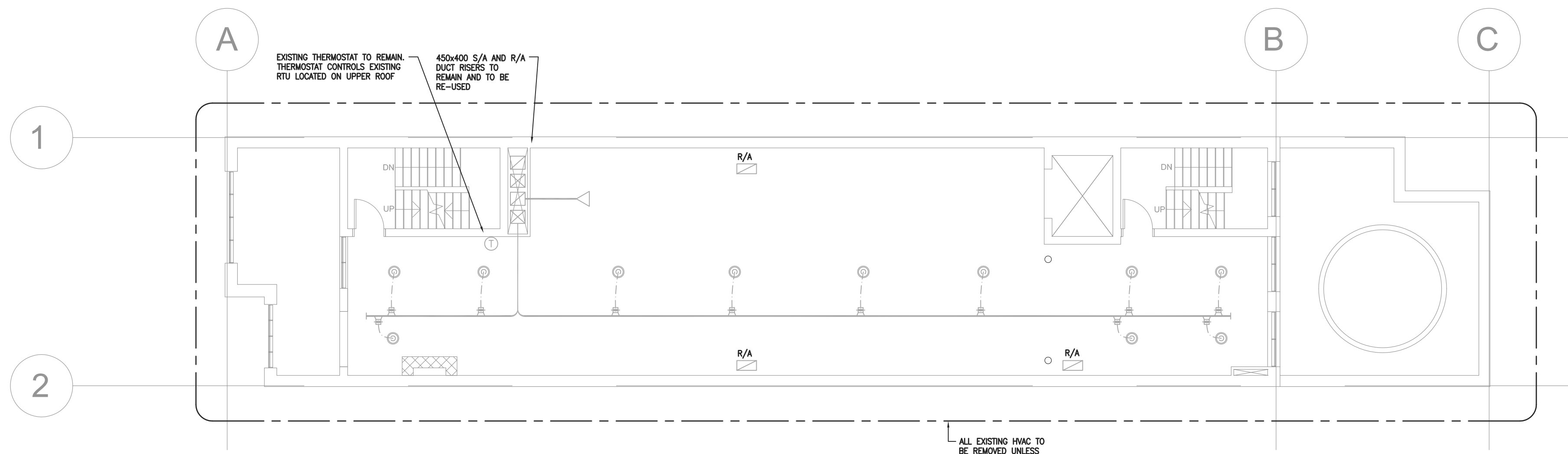
Davenport Shelter

348 Davenport Road  
 Toronto, ON  
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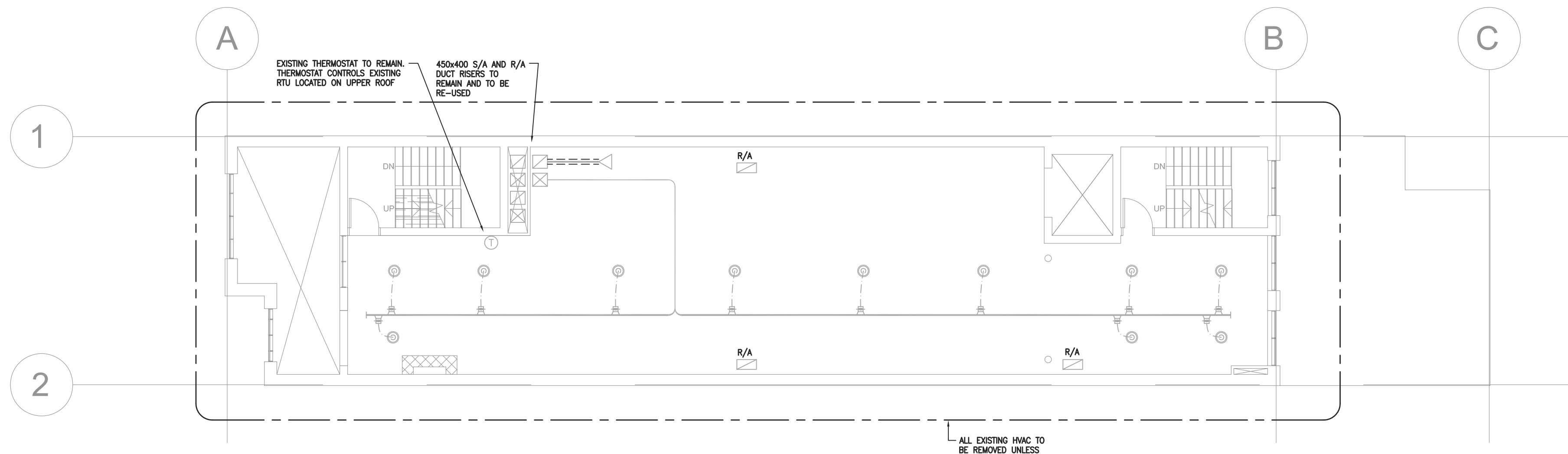
PROJECT CODE:	SCALE:
18_22	As indicated
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16 July 2018	Permit / Tender

Level 2, 3 & 4  
 HVAC Demolition

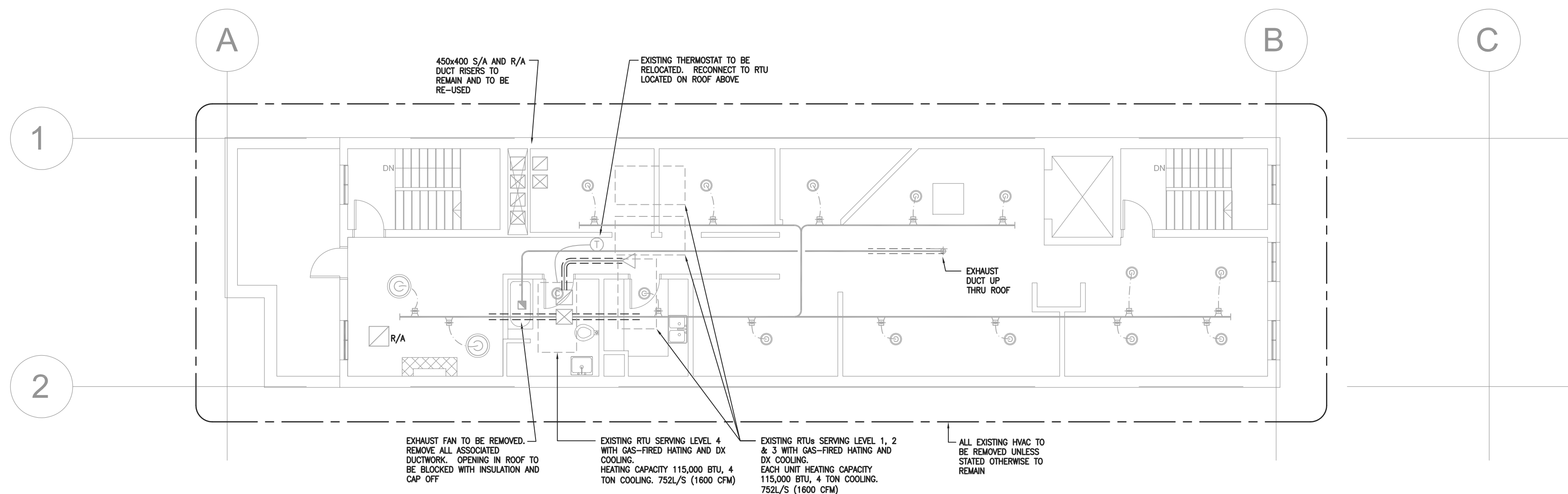
Project North  
 drawing number  
**M-5**  
**Toronto Building** RECEIVED 24/Jul/2018



1 LEVEL 2 – HVAC DEMOLITION  
 M-5 SCALE: 1:100



2 LEVEL 3 – HVAC DEMOLITION  
 M-5 SCALE: 1:100



3 LEVEL 4 – HVAC DEMOLITION  
 M-5 SCALE: 1:100

**DEMOLITION NOTES:**

- REMOVE ALL EXISTING DUCTWORK, FITTINGS, DIFFUSERS AND GRILLES UP TO MAINS BELOW ROOF FROM RTU.
- EXISTING DUCTWORK LAYOUT IS SHOWN FOR REFERENCE ONLY. VERIFY ON SITE AS REQUIRED.
- IN ADDITION TO SHOWN, ALLOW IN CONTRACT FOR REPLACEMENT OF 5 EXISTING FIRE DAMPERS WITH NEW ONES. (400x300 DUCT SIZE)

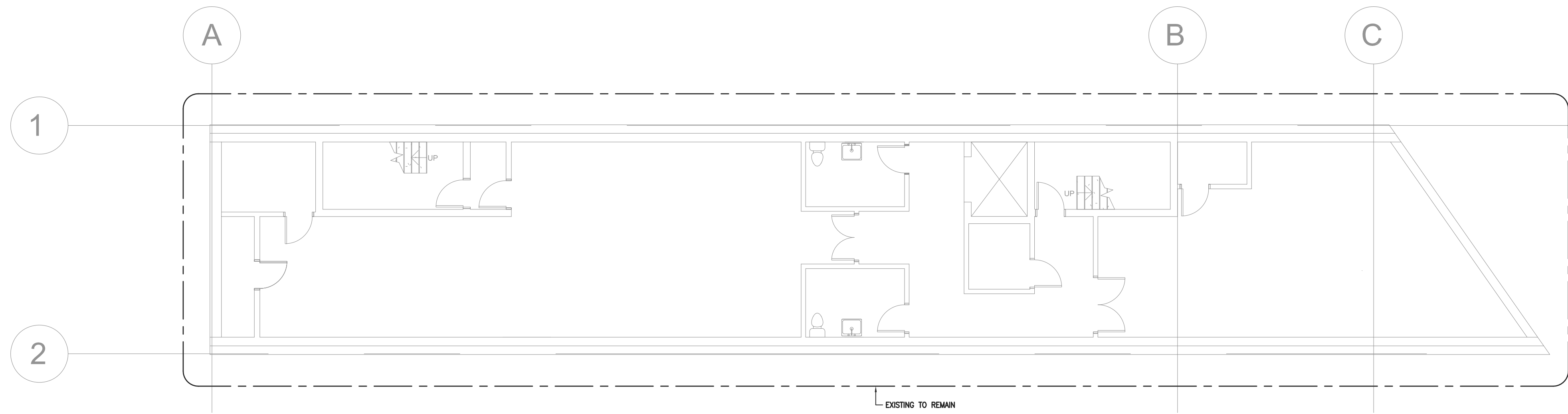
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18 197188 BLD 00

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O.B.C.: **REFERENCE**  
FIRE SERVICES: **ONLY**  
O.B.C. (S)

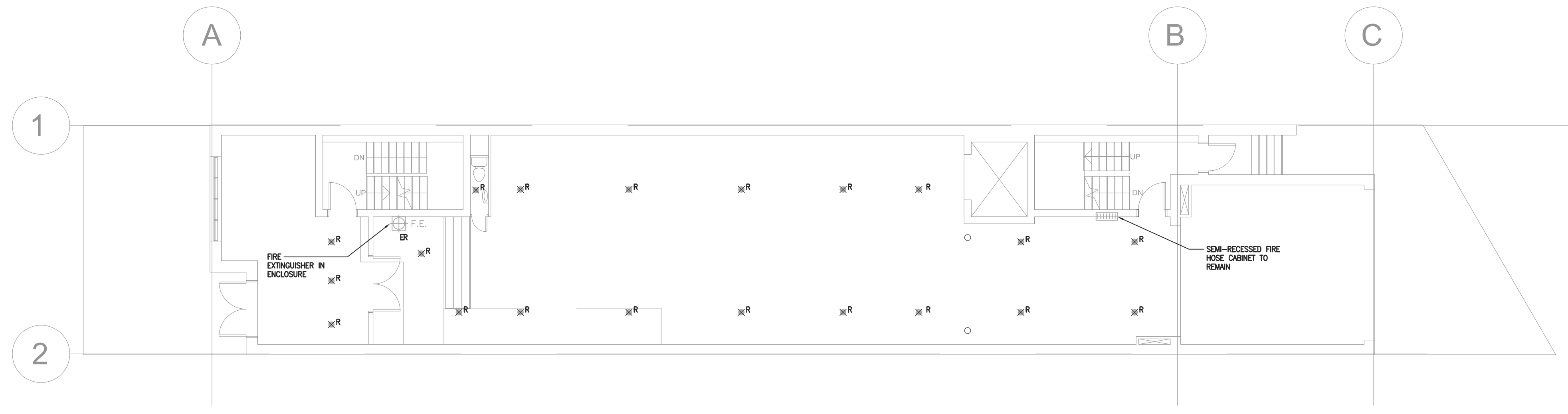
SEPARATE PERMITS REQUIRED FOR HVAC & PLUMBING.  
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1 BASEMENT 2 – FIRE PROTECTION DEMOLITION  
M-6 SCALE: 1:100



2 BASEMENT 1 – FIRE PROTECTION DEMOLITION  
M-6 SCALE: 1:100



3 LEVEL 1 – FIRE PROTECTION DEMOLITION  
M-6 SCALE: 1:100

- DEMOLITION NOTES:**
- REMOVE SPRINKLER HEADS IN RENOVATED AREAS WHERE SHOWN AND WHERE CEILING IS TO BE REPLACED.
  - REVISE SPRINKLER PIPING TO SUIT NEW CEILING HEIGHT AND LOCATION OF NEW SPRINKLER HEADS. REFER TO ARCHITECTURAL DRAWINGS FOR NEW CEILING HEIGHTS AND CEILING TYPE.
  - IN ADDITION TO PIPE REVISIONS ASSOCIATED WITH NEW SPRINKLER HEADS LAYOUT AND NEW CEILING HEIGHTS, ALLOW IN CONTRACT FOR REPLACEMENT OF 50 FT OF 50M & 50 FT OF 35M SPRINKLER LINE (FOR UNFORESEEN SITE CONDITIONS AND SERVICES INTERFERENCE).
  - FOR EXISTING AND NEW CEILING HEIGHTS – REFER TO ARCHITECTURAL DRAWINGS. REVISE SPRINKLER PIPING TO SUIT NEW CEILING HEIGHTS.

- LEGEND:**
- EX DENOTES EXISTING TO REMAIN
  - ER EXISTING TO BE RELOCATED (PROVIDE NEW SPRINKLER HEAD IN NEW LOCATION)
  - R EXISTING TO BE REMOVED
  - RP RELOCATED POSITION

**SHARMA & PARTNERS INC.**  
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PROJECT CODE:	SCALE:
18 22	As indicated
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16 July 2018	Permit / Tender

Basement 1 & 2 and Level 1  
Fire Protection Demolition

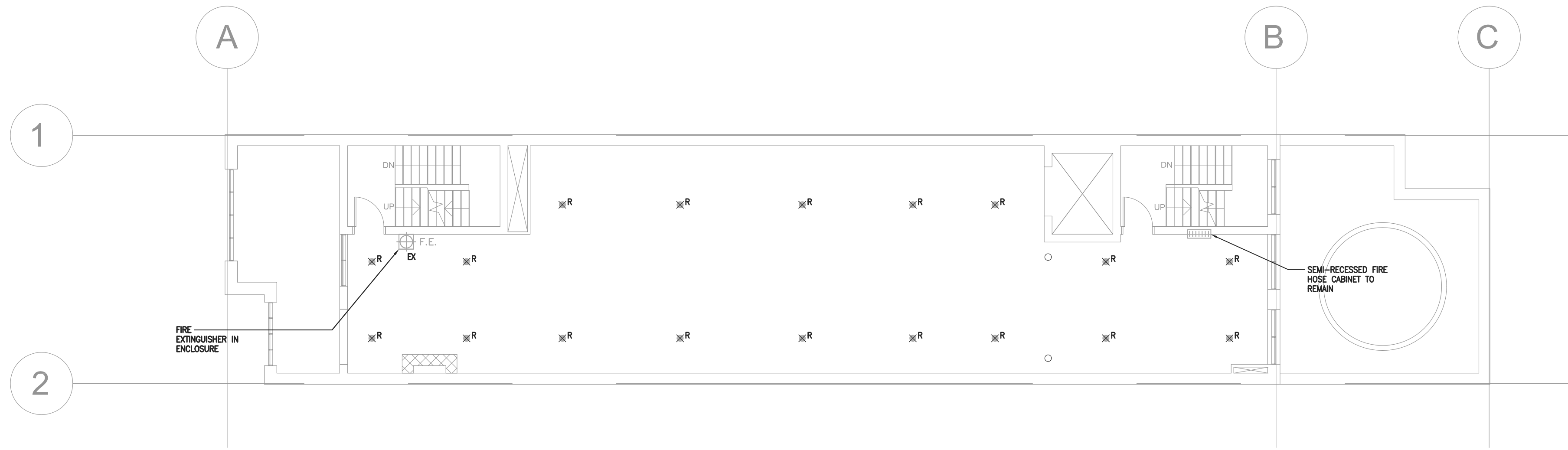
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 O.B.C. (S)  
 FIRE SERVICES: **FOR REFERENCE ONLY**  
 O.B.C. (S)

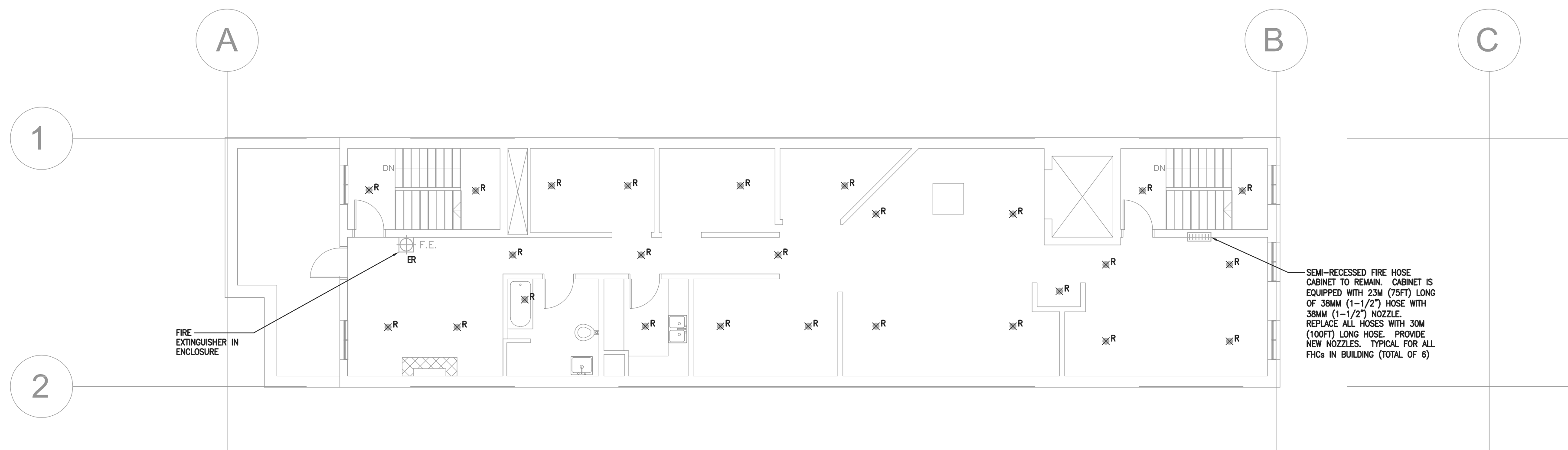
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1 LEVEL 2 – FIRE PROTECTION DEMOLITION  
 M-7 SCALE: 1:100



2 LEVEL 3 – FIRE PROTECTION DEMOLITION  
 M-7 SCALE: 1:100



3 LEVEL 4 – FIRE PROTECTION DEMOLITION  
 M-7 SCALE: 1:100

- DEMOLITION NOTES:**
- REMOVE SPRINKLER HEADS IN RENOVATED AREAS WHERE SHOWN AND WHERE CEILING IS TO BE REPLACED.
  - REVISE SPRINKLER PIPING TO SUIT NEW CEILING HEIGHT AND LOCATION OF NEW SPRINKLER HEADS. REFER TO ARCHITECTURAL DRAWINGS FOR NEW CEILING HEIGHTS AND CEILING TYPE.
  - IN ADDITION TO PIPE REVISIONS ASSOCIATED WITH NEW SPRINKLER HEADS LAYOUT AND NEW CEILING HEIGHTS, ALLOW IN CONTRACT FOR REPLACEMENT OF 50 FT OF 50M & 50 FT OF 38M SPRINKLER LINE (FOR UNFORESEEN SITE CONDITIONS AND SERVICES INTERFERENCE).
  - FOR EXISTING AND NEW CEILING HEIGHTS – REFER TO ARCHITECTURAL DRAWINGS. REVISE SPRINKLER PIPING TO SUIT NEW CEILING HEIGHTS.

- LEGEND:**
- EX DENOTES EXISTING TO REMAIN
  - ER EXISTING TO BE RELOCATED (PROVIDE NEW SPRINKLER HEAD IN NEW LOCATION)
  - R EXISTING TO BE REMOVED
  - RP RELOCATED POSITION

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Davenport Shelter  
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 MSR 1K6

PROJECT CODE: 18\_22 SCALE: As indicated  
 DATE: 16 July 2018 STATUS: Permit / Tender

Level 2, 3 & 4  
 Fire Protection Demolition



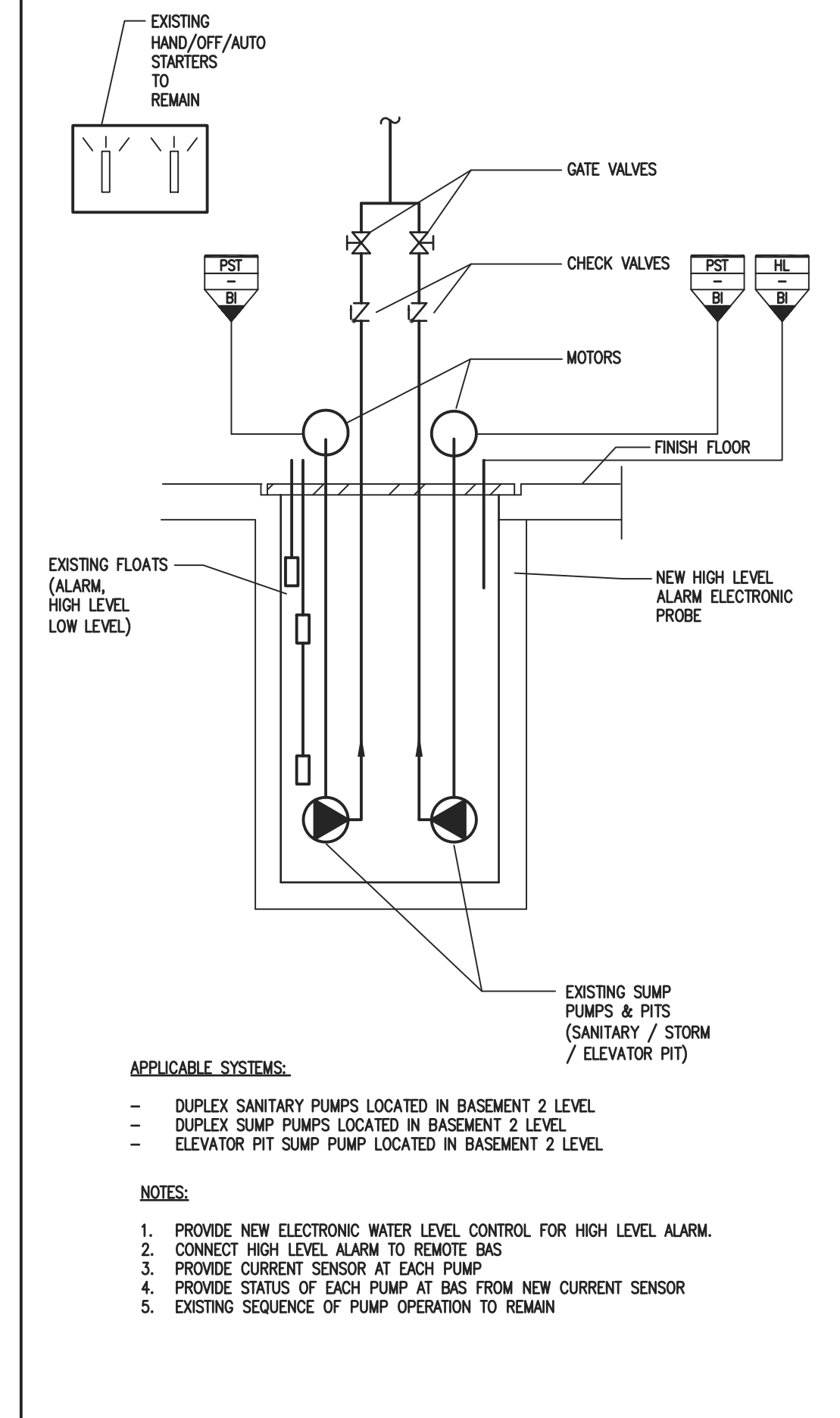
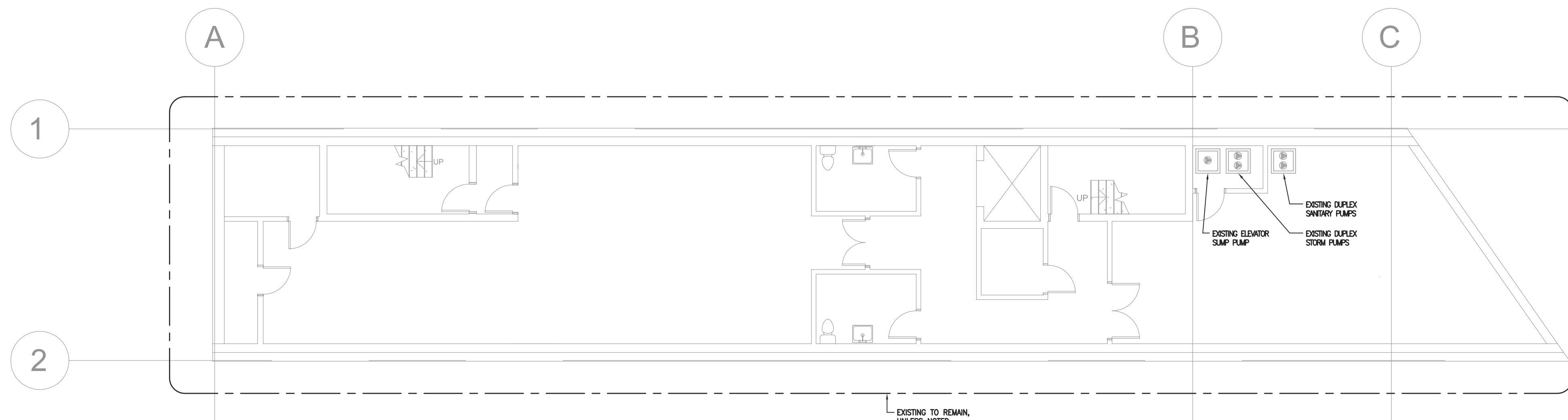
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ZONING: O.B.C.  
 FIRE SERVICES: O.B.C. (S)

SEPARATE PERMITS REQUIRED FOR HVAC & PLUMBING.  
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4 TYP. SUMP PUMP SYSTEM CONTROL, MONITORING & ALARM  
 M-8 N.T.S.

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SPI PROJECT # 2018-1039

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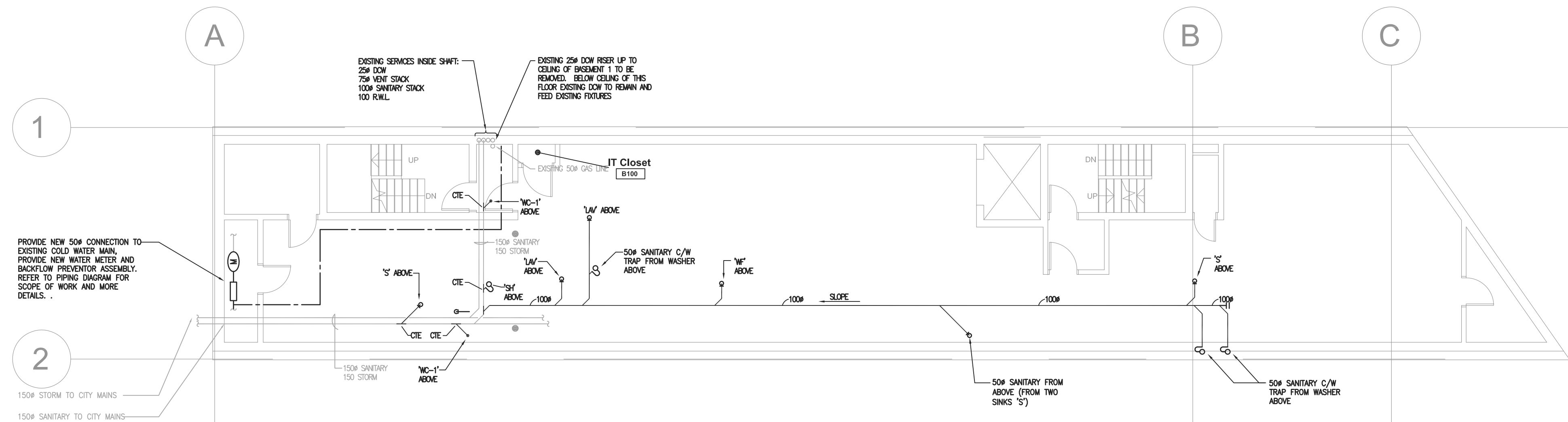
Basement 1 & 2 and Level 1  
 Plumbing New Layout

Project North

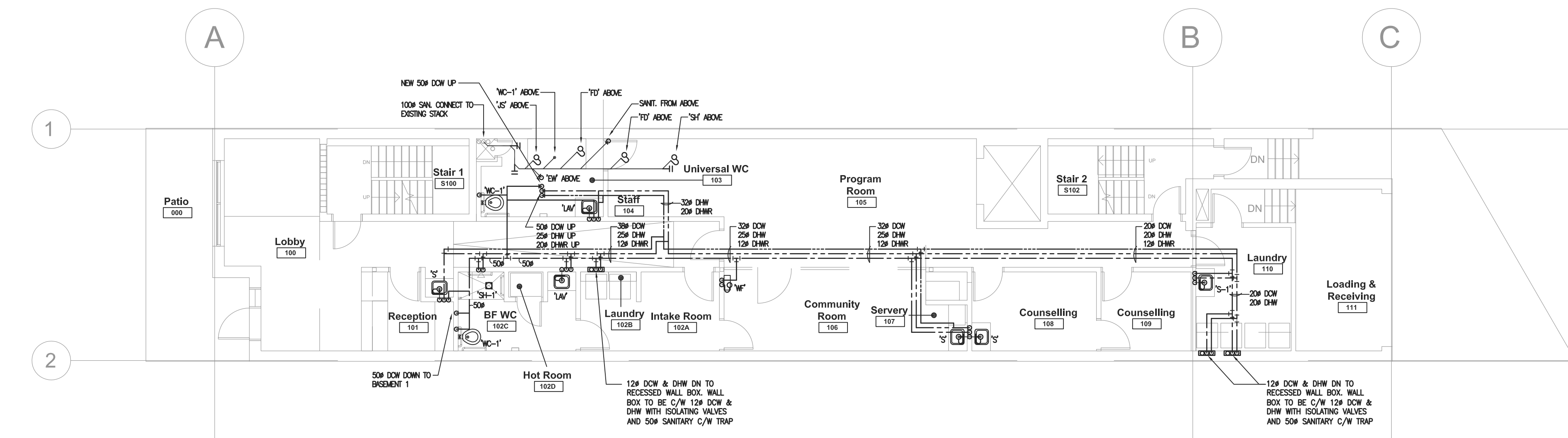
drawing number  
**M-8**

**Toronto Building RECEIVED 24/Jul/2018**

1 BASEMENT 2 - PLUMBING NEW LAYOUT  
 M-8 SCALE: 1:100



2 BASEMENT 1 - PLUMBING NEW LAYOUT  
 M-8 SCALE: 1:100



3 LEVEL 1 - PLUMBING NEW LAYOUT  
 M-8 SCALE: 1:100

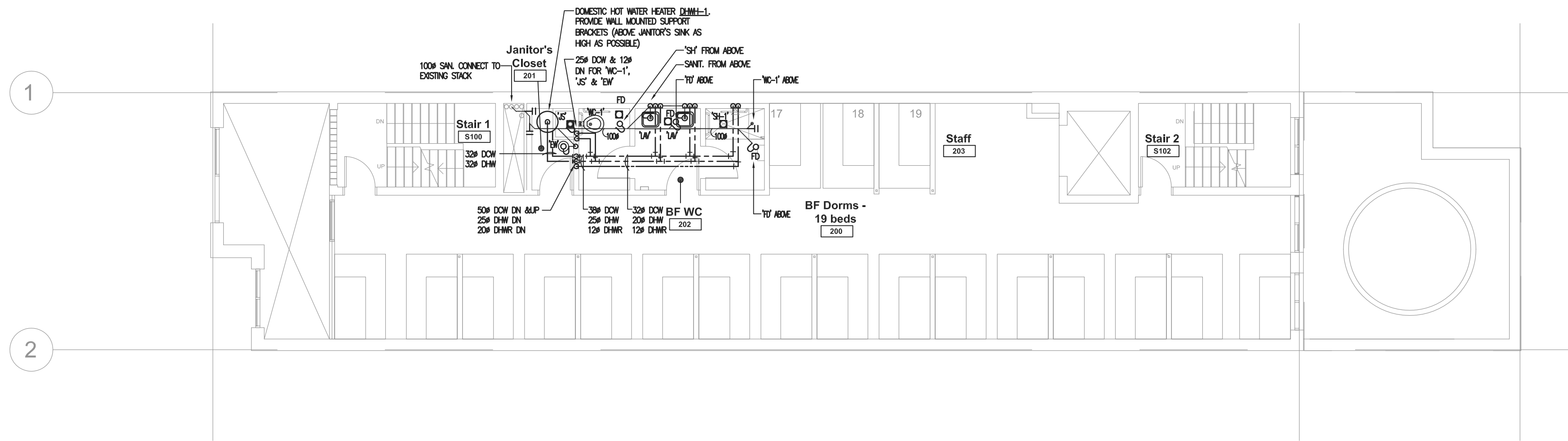
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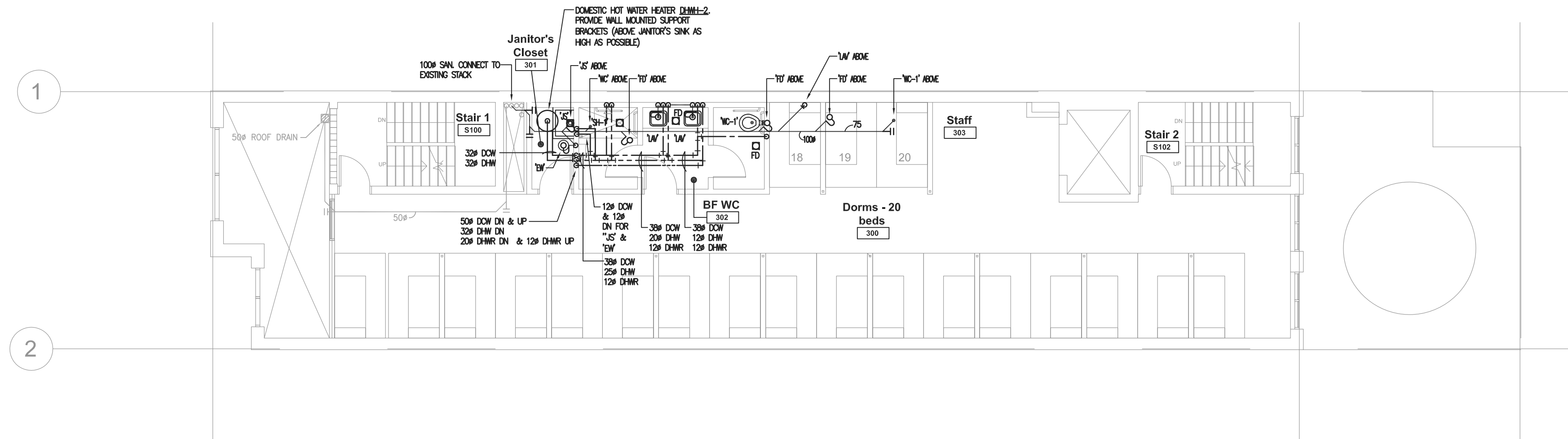
18 197188 BLD 00

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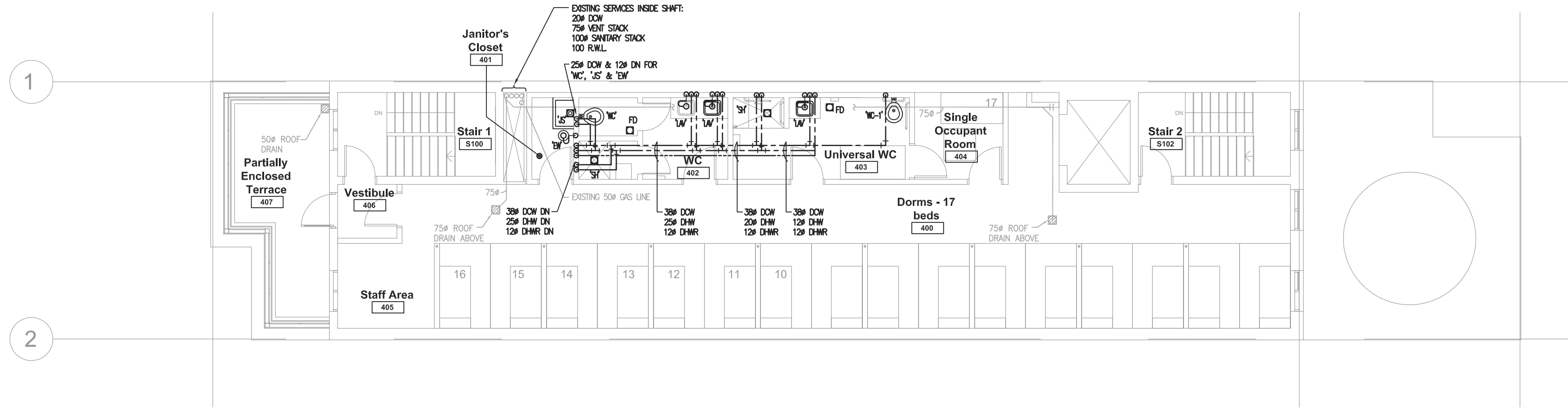
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1 LEVEL 2 – PLUMBING NEW LAYOUT  
 M-9 SCALE: 1:100



2 LEVEL 3 – PLUMBING NEW LAYOUT  
 M-9 SCALE: 1:100



3 LEVEL 4 – PLUMBING NEW LAYOUT  
 M-9 SCALE: 1:100

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Level 2, 3 & 4  
 Plumbing New Layout

Rev	Description	Date
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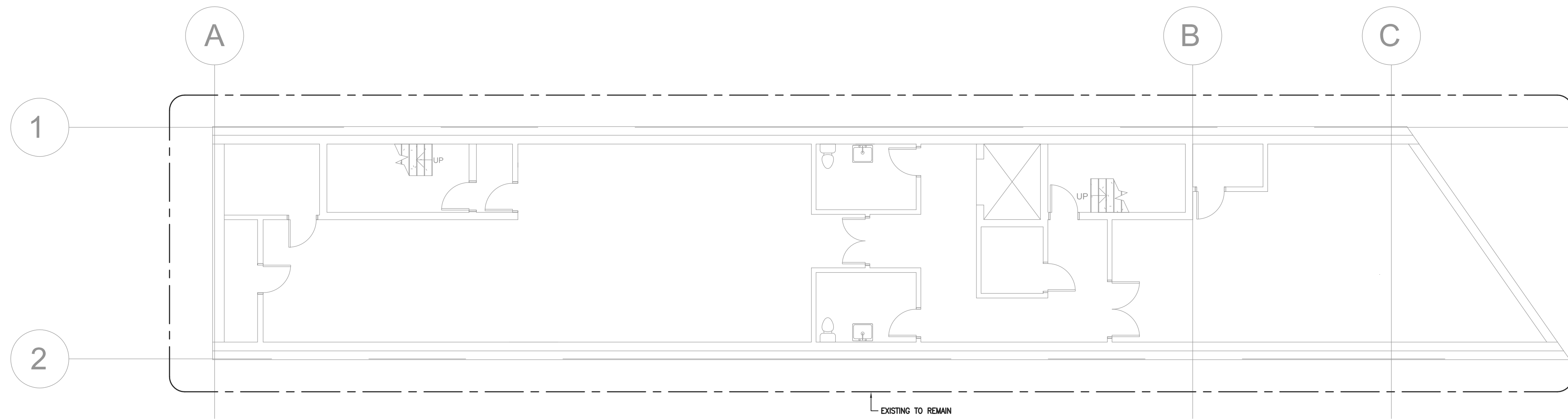
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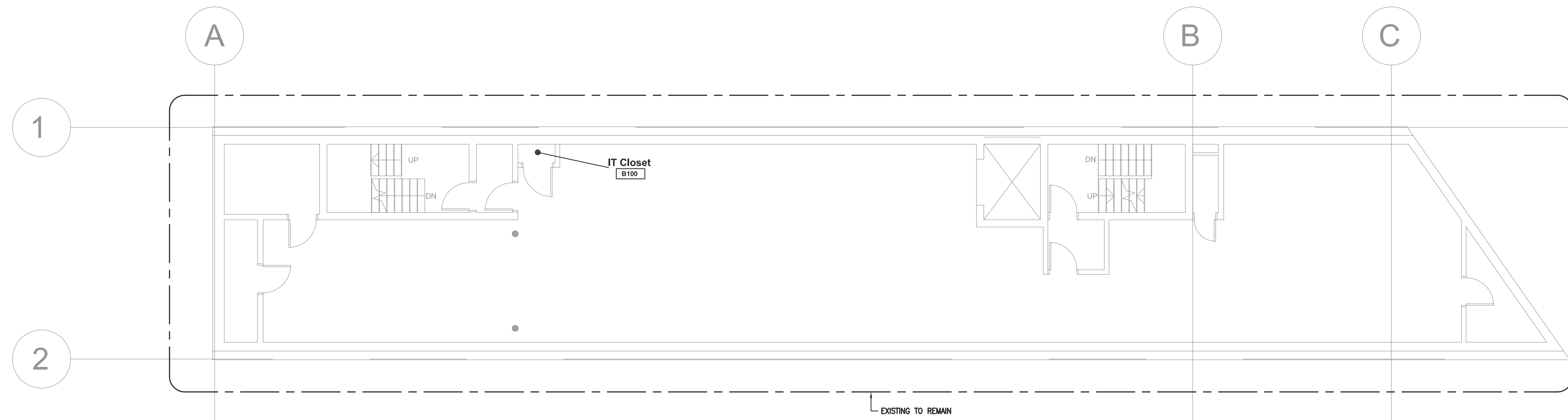
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ZONING  
 O.B.C.  
 FIRE SERVICES  
 O.B.C. (S)

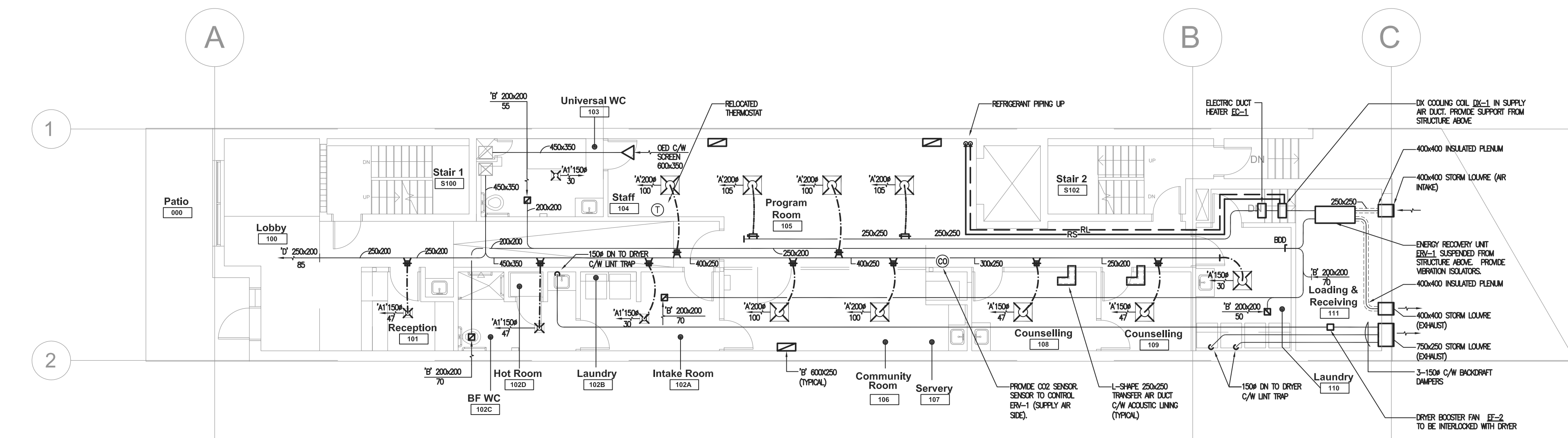
SEPARATE PERMITS REQUIRED FOR HVAC & PLUMBING.  
 HVAC AND PLUMBING ARE NOT PART OF THIS PERMIT.



1 BASEMENT 2 – HVAC NEW LAYOUT  
 M-10 SCALE: 1:100



2 BASEMENT 1 – HVAC NEW LAYOUT  
 M-10 SCALE: 1:100



3 LEVEL 1 – HVAC NEW LAYOUT  
 M-10 SCALE: 1:100

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SRI PROJECT # 2018-1039

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PROJECT CODE:	SCALE:
18_22	As indicated
DATE:	STATUS:
16 July 2018	Permit / Tender

Basement 1 & 2 and Level 1  
 HVAC New Layout

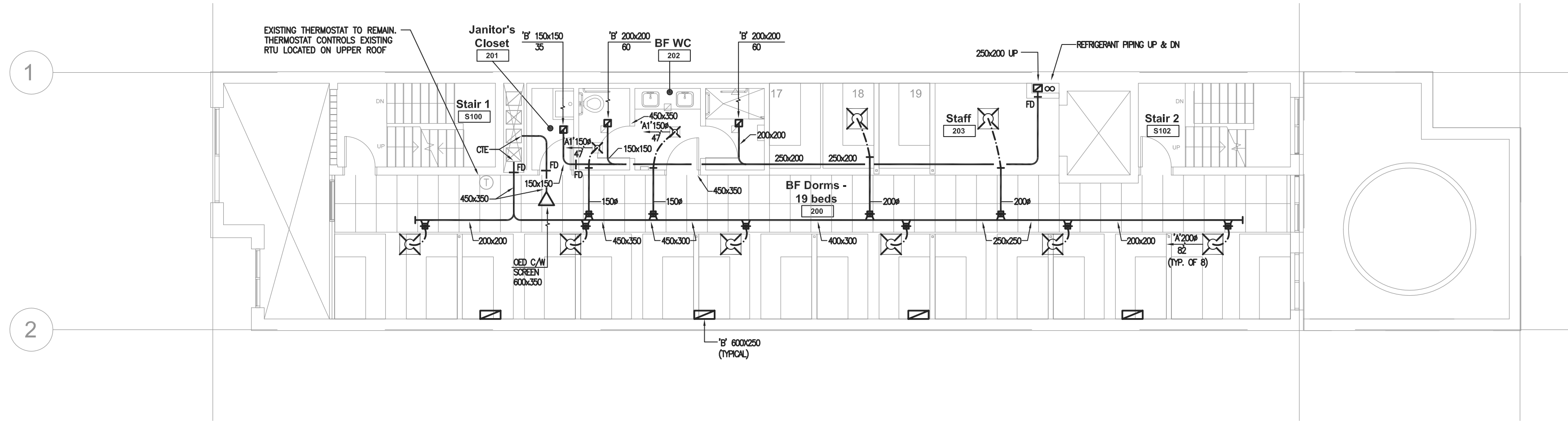
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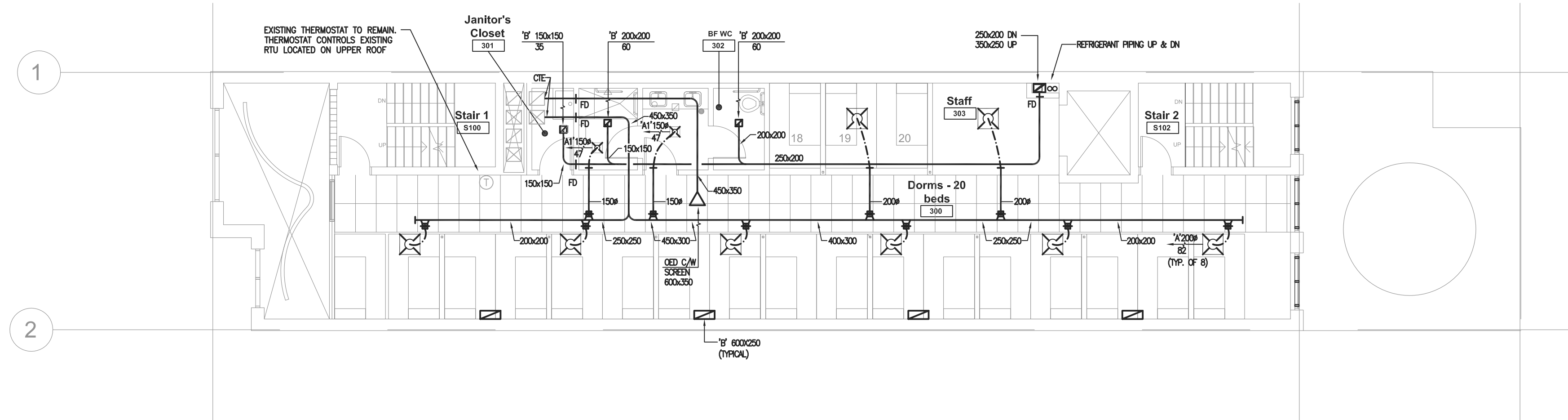
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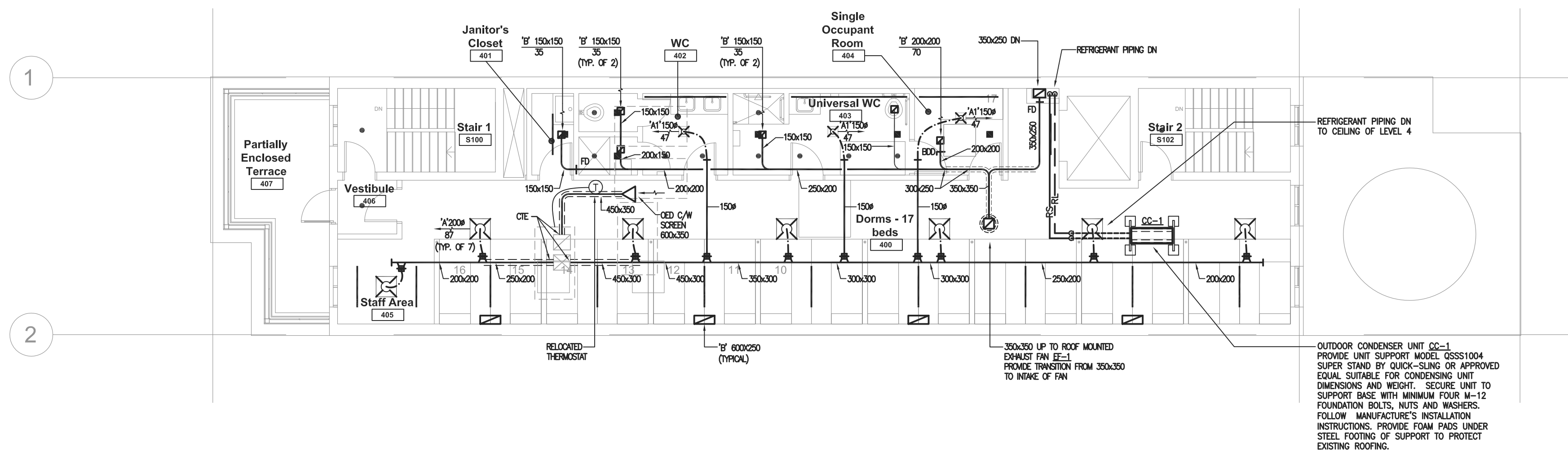
1 LEVEL 2 – HVAC NEW LAYOUT

M-11 SCALE: 1:100



2 LEVEL 3 – HVAC NEW LAYOUT

M-11 SCALE: 1:100



3 LEVEL 4 – HVAC NEW LAYOUT

M-11 SCALE: 1:100

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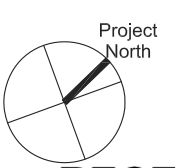
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Level 2, 3 & 4  
 HVAC New Layout



Project North  
 drawing number  
**M-11**

Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18

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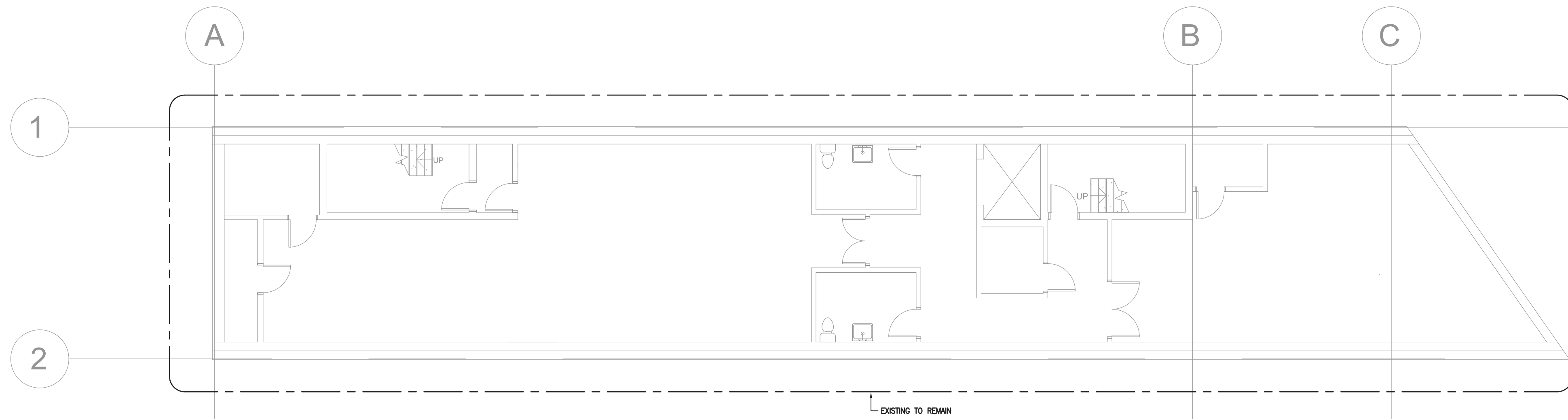
18 197188 BLD 00

ZONING	O.B.C.	FIRE SERVICES	Johnston, David	27/Jul/2018

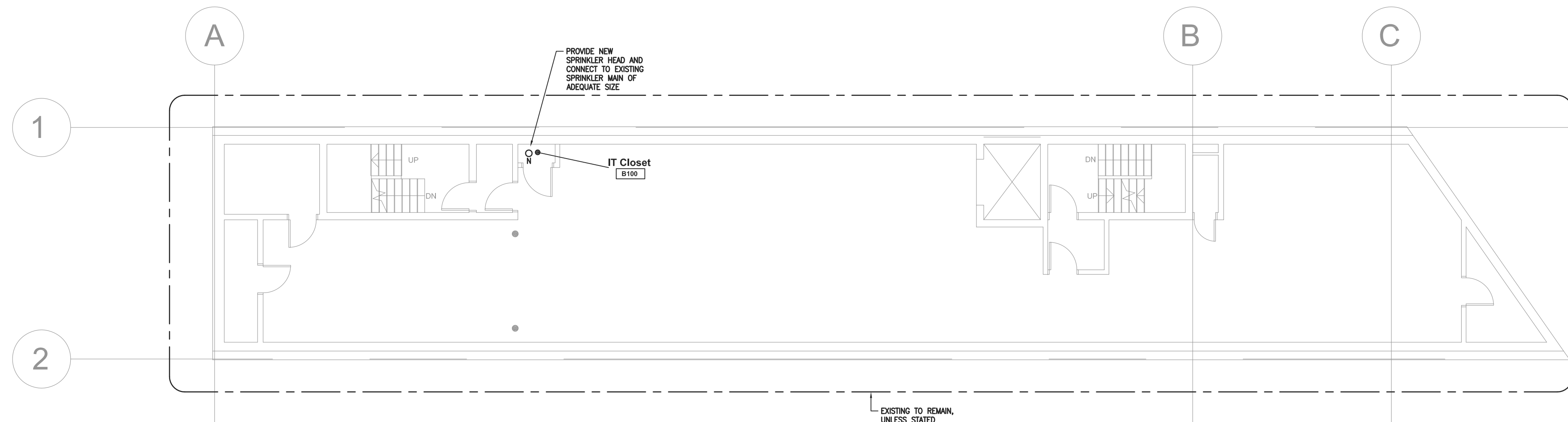


HVAC and PLUMBING are not part of this permit approval.

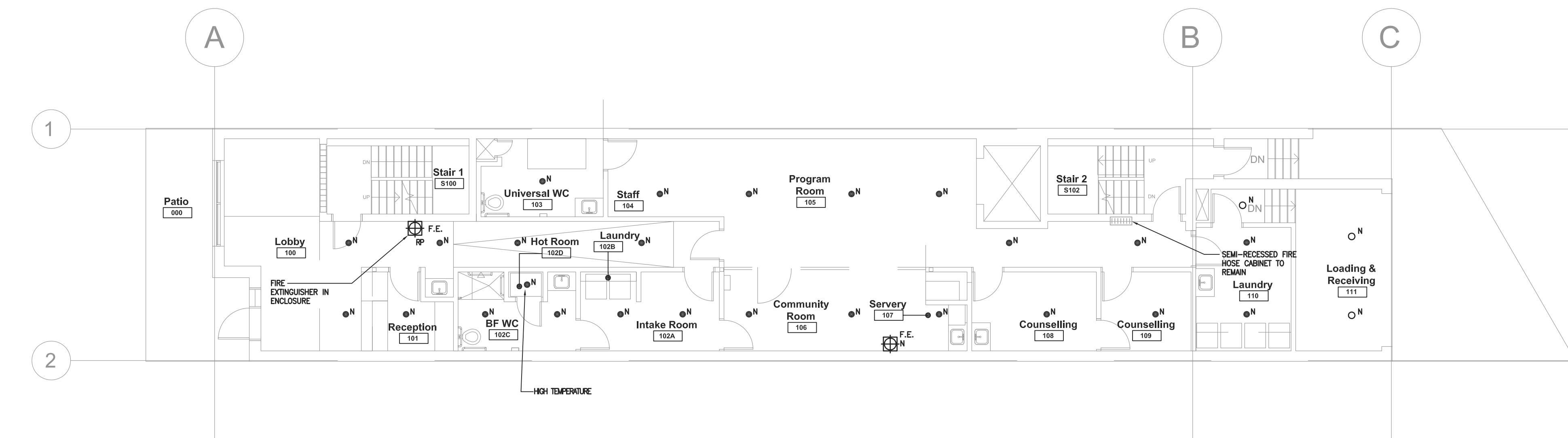
SEPARATE PERMITS REQUIRED FOR HVAC & PLUMBING.  
 HVAC AND PLUMBING ARE NOT PART OF THIS PERMIT.



1 BASEMENT 2 – FIRE PROTECTION NEW LAYOUT  
 M-12 SCALE: 1:100



2 BASEMENT 1 – FIRE PROTECTION NEW LAYOUT  
 M-12 SCALE: 1:100



3 LEVEL 1 – FIRE PROTECTION NEW LAYOUT  
 M-12 SCALE: 1:100



Sprinkler Systems shall comply with NFPA 13 Standard

Add, remove and/or relocate sprinklers as necessary to maintain/provide coverage as per NFPA 13



Portable fire extinguishers shall be provided and installed in conformance with Section 6.2 of the Ontario Fire Code.



Standpipe and hose systems shall be installed in compliance with the Ontario Building Code and NFPA 14 standard.  
 Reviewed based on a hose length of 2.3m

(REFER TO CA C28)



The City has Relied upon the plans and drawings prepared and submitted by the qualified architects and/or engineers on this project.

The issuance of a permit does not imply a complete design review of this project has been performed and does not relieve the owner and designers from the need to comply with the Ontario Building Code and referenced standards where contravention are subsequently noted.

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SR# PROJECT #: 2018-1039

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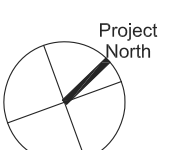
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Basement 1 & 2 and Level 1  
 Fire Protection New Layout



Project North  
 drawing number

M-12

Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18



18 197188 BLD 00

ZONING	O.B.C.	FIRE SERVICES
		Johnson, David 27/Jul/2018
		O.B.C. (S)



HVAC and PLUMBING are not part of this permit approval.

SEPARATE PERMITS REQUIRED FOR HVAC & PLUMBING. HVAC AND PLUMBING ARE NOT PART OF THIS PERMIT.



Portable fire extinguishers shall be provided and installed in conformance with Section 5.2 of the Ontario Fire Code.



Sprinkler Systems shall comply with NFPA 13 Standard

Add, remove and/or relocate sprinklers as necessary to maintain/provide coverage as per NFPA 13



Standpipe and hose systems shall be installed in compliance with the Ontario Building Code and NFPA 14 standard. Reviewed based on a hose length of 23m. (REFER TO CA C28)



The City has Relied upon the plans and drawings prepared and submitted by the qualified architects and/or engineers on this project.

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SPR PROJECT # : 2018-1039

**WORKSHOP**  
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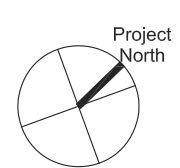
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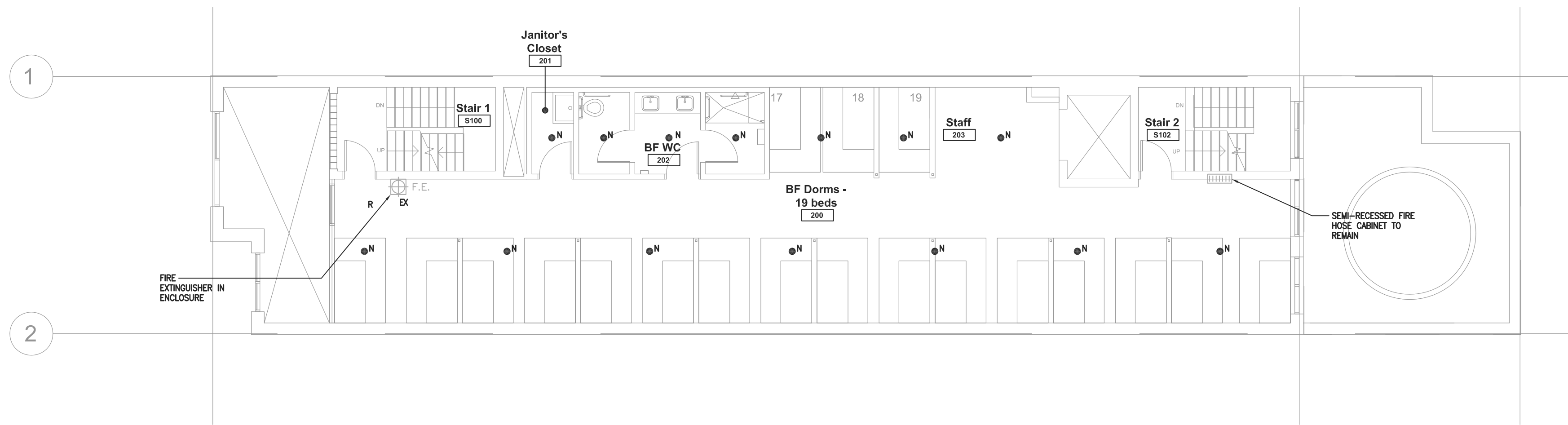
Level 2, 3 & 4  
Fire Protection New Layout



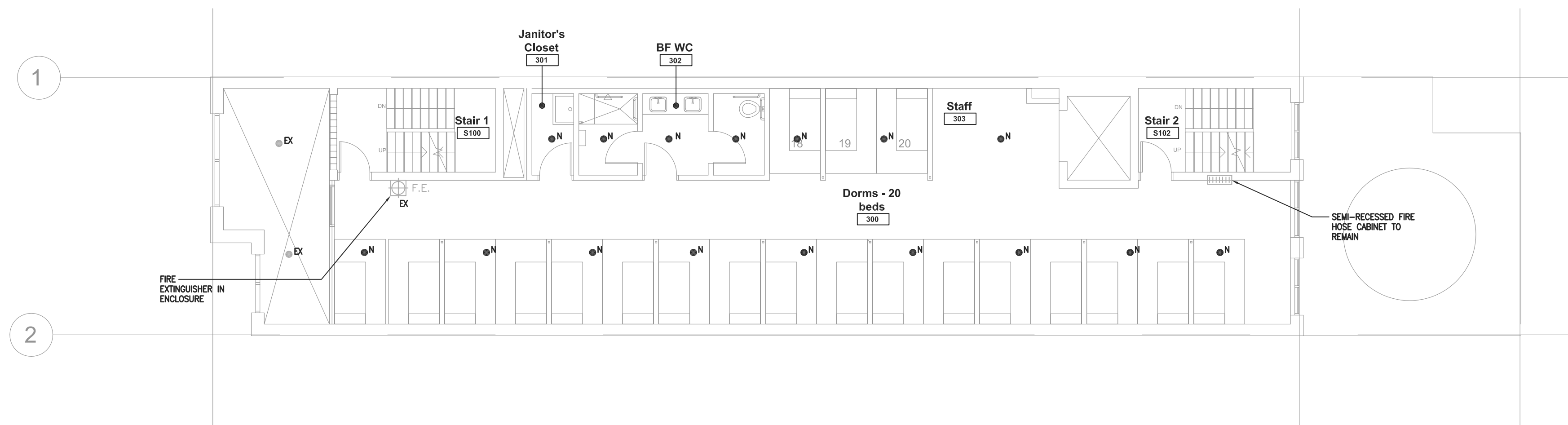
Project North

drawing number

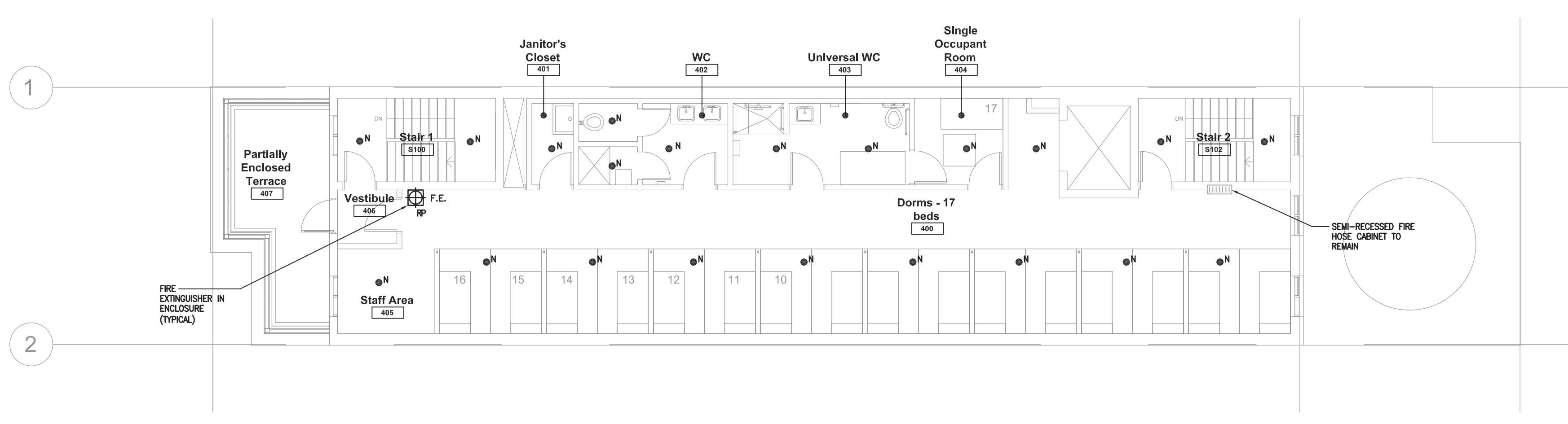
M-13



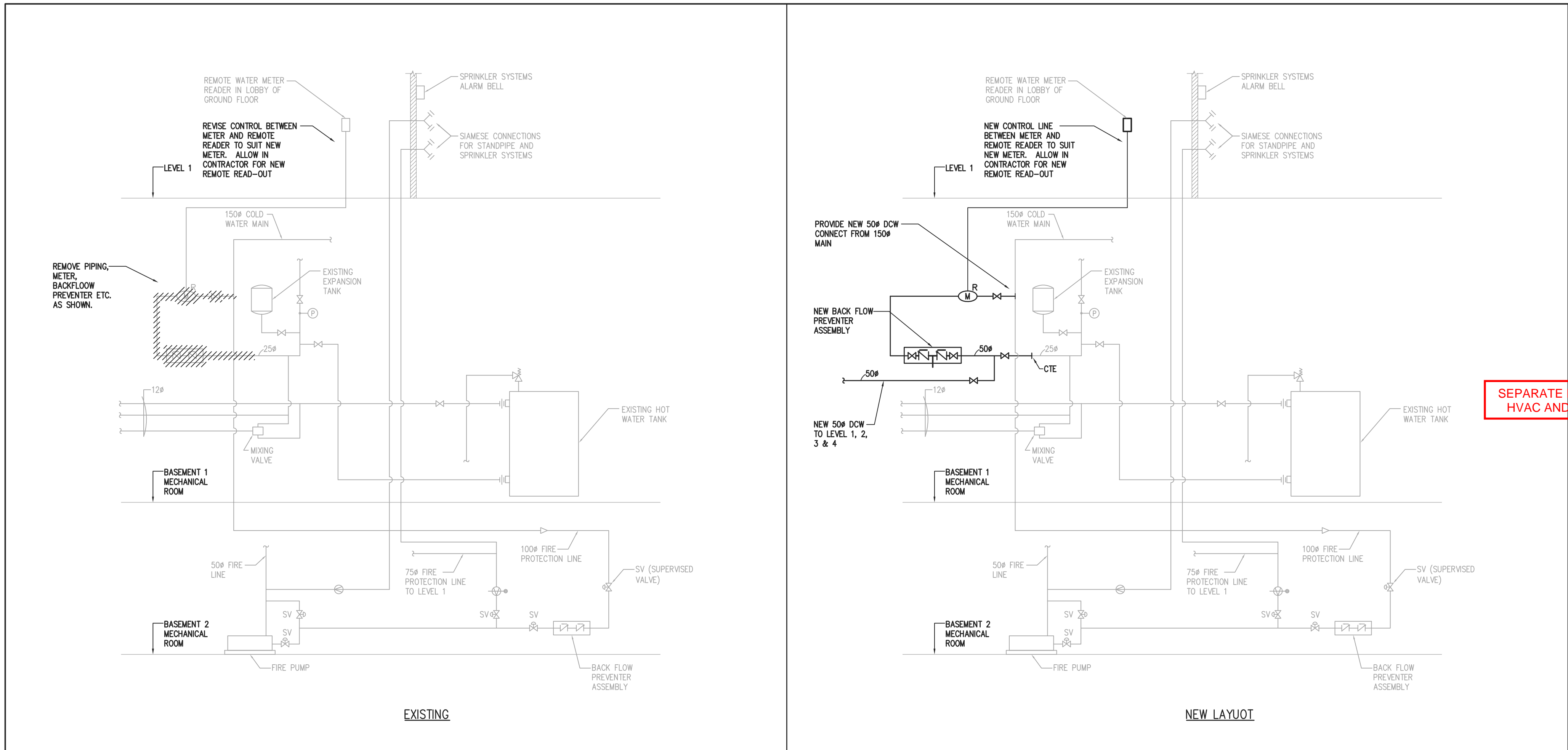
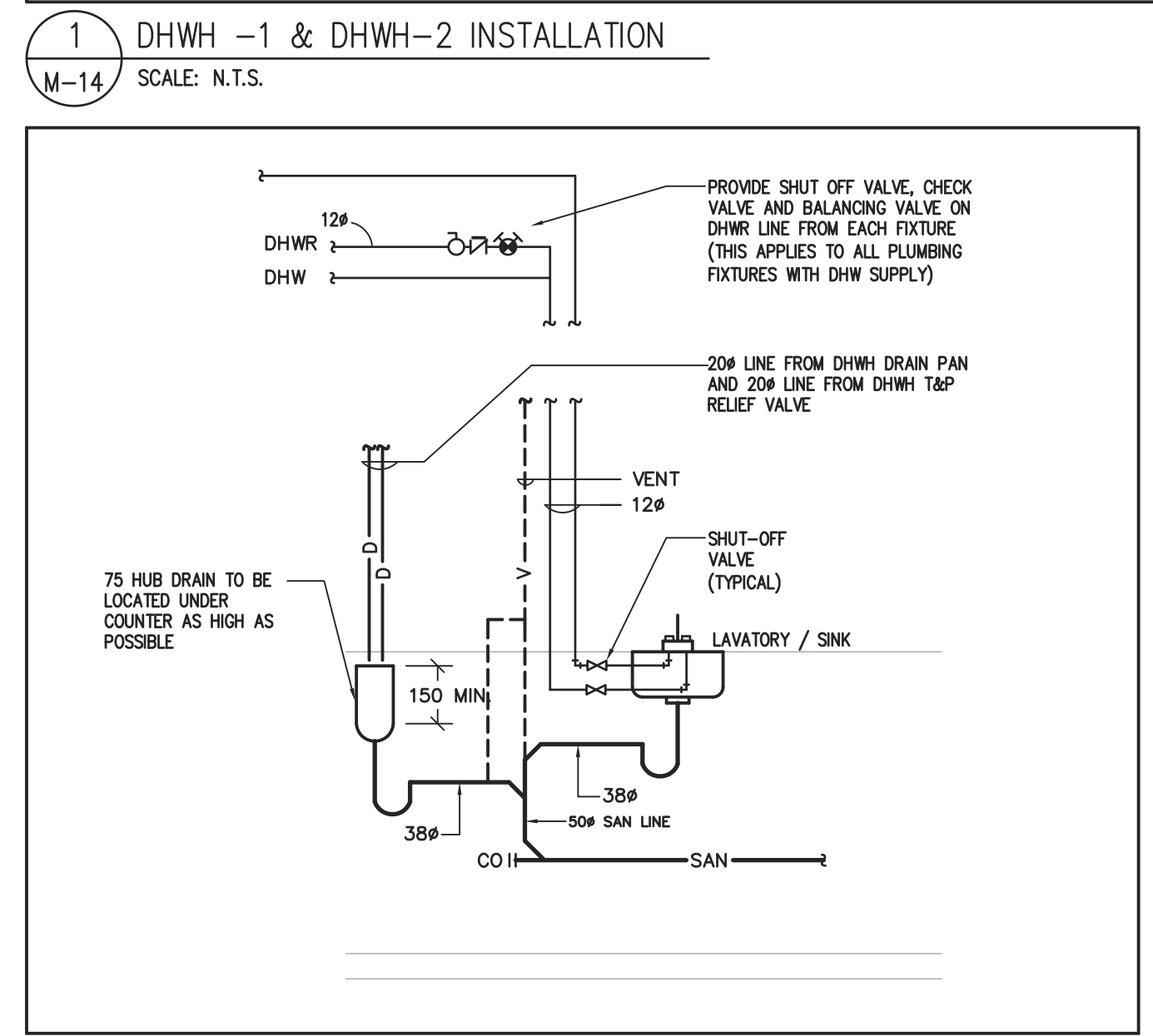
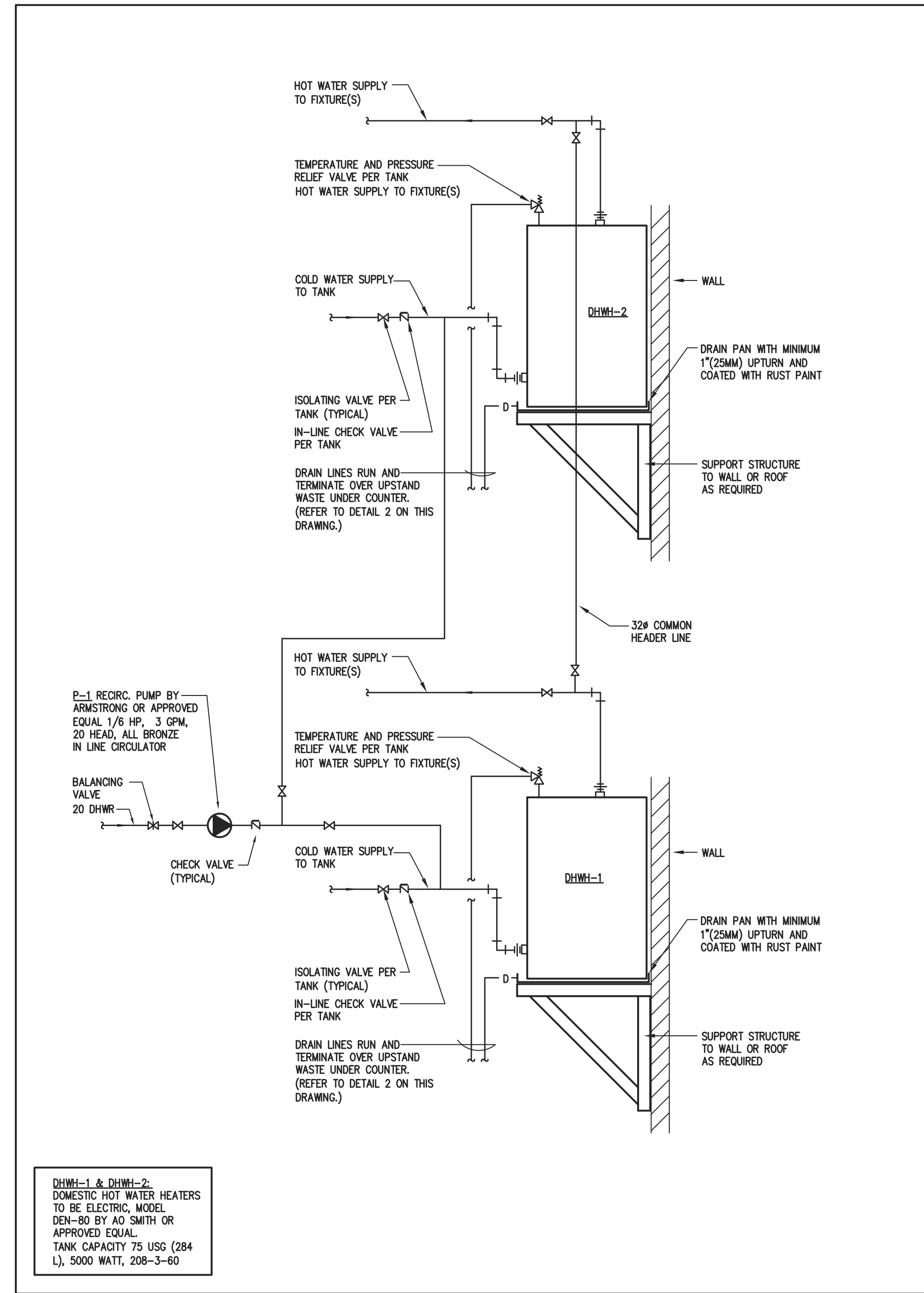
1 LEVEL 2 - FIRE PROTECTION DEMOLITION  
M-7 SCALE: 1:100



2 LEVEL 3 - FIRE PROTECTION DEMOLITION  
M-7 SCALE: 1:100



3 LEVEL 4 - FIRE PROTECTION DEMOLITION  
M-7 SCALE: 1:100



**3 COLD WATER AND FIRE PROTECTION PIPING DIAGRAM**  
SCALE: M-14

REF. LETTER	AREA SERVED / DESIGNATION	MANUFACTURE	MODEL	CAPACITY L/S (CFM)	E.S.P. PA ("W.G.)	ELECTRIC V-PH-HZ	HP	DRIVE	FAN RPM	REMARKS
EF-1	GENERAL EXHAUST	GREENHECK	G-123-VG	565 (1200)	150 (0.6)	120-1-60	1/2	DIRECT	1318	CENTRIFUGAL ROOF EXHAUST FAN C/W BACKDRAFT DAMPER, SPEED CONTROLLER (POTENTIOMETER DAL MOUNTED ON MOTOR), 350MM ROOF CURB WITH ALUMINUM CURB CAP, BIRD SCREEN, DISCONNECT
EF-2	DRYER BOOSTER FAN	REVERSONATIC	RI-150	AS DRYER	62 (0.25)	120-1-60	85W	DIRECT	2550	C/W BACKDRAFT DAMPER, DISCONNECT, WEATHERPROOF WALL BOX, SPEED CONTROLLER, FAN TO BE INTERLOCKED WITH DRYER

TAG	AHU No.	DESIGNATION	SEASON	SUPPLY AIR FLOW (L/S)	PRESSURE DROP (Pa)	ENTERING AIR		LEAVING AIR		EXHAUST AIRFLOW (L/S)	PRESSURE DROP (Pa)	ENTERING AIR		LEAVING AIR		MOTOR (HP)	SELECTION	REMARKS
						DB °C (°F)	WB °C (°F)	DB °C (°F)	WB °C (°F)			DB °C (°F)	WB °C (°F)	DB °C (°F)	WB °C (°F)			
HRW-1	HRU-1	BASEMENT	SUMMER	385	225	32.2 (90)	23.9 (75)	24.9 (76.9)	17.9 (64.3)	480	225	23.9 (75)	16.8 (62.2)	29.7 (85.5)	21.9 (71.4)	0.37	COOK ERY WHEEL	HEAT RECOVERY WHEEL IS PART OF HEAT RECOVERY UNIT HRU-1, FACTORY INSTALLED AND WIRED
			WINTER	385	225	-13.6 (8.5)	-14.6 (5.6)	17.8 (64)	9.56 (49.2)	480	225	22.2 (72)	12.8 (53.9)	-2.5 (27.5)	-4.4 (24.1)	0.37		

NOTES: WINTER OUTDOOR AIR TEMPERATURE IS ADJUSTED TO FROST PREVENTION CONDITIONS FOR WHEEL.

NO.	AREA SERVED	MAKER	REFRIGERANT	COOLING CAPACITY		ELECTRICAL DATA			REMARKS
				RATED BTU/H	CAPACITY RANGE TON	V-PH-HZ	MAX. BREAKER SIZE	MCA AMP	
CC-1	LEVEL 1	MITSUBISHI	R-410A	12,000	1.0	208-1-60	20	15	C/W INDOOR DX COIL, REFRIGERANT PIPING, WIRING, CONTROLS & ROOF SUPPORT.

REF. LETTER	APPLICATION	MANUFACTURER DATA		OPPOSED BLADE DAMPER	FINISH	REMARKS	
		SELECTION MFG.	MODEL DESCRIPTION AND SIZE (in x in)				
A	SQUARE PLAQUE SUPPLY AIR DIFFUSER	EH PRICE	SPD -600x600" ROUND NECK	NECK SIZE AS SHOWN ON DRGS	NO	WHITE	FRAME & BORDER TO SUIT APPLICATION
A1	SQUARE PLAQUE SUPPLY AIR DIFFUSER	EH PRICE	SPD -300x300" ROUND NECK	NECK SIZE AS SHOWN ON DRGS	NO	WHITE	FRAME & BORDER TO SUIT APPLICATION
B	EGGCRATE RETURN GRILLE	EH PRICE	50R 12x12x12 ALUMINUM CORE, SIZE AS SHOWN	SIZE AS SHOWN ON DRGS	NO	WHITE	FRAME & BORDER TO SUIT APPLICATION
C	RETURN / EXHAUST GRILLE	EH PRICE	535 STEEL	SIZE AS SHOWN ON DRGS 20 MM SPACING, 35° DEFLECTION	NO	WHITE	FRAME & BORDER TO SUIT APPLICATION
D	SUPPLY AIR GRILLE	EH PRICE	520 LOUVERED, STEEL	SIZE AS SHOWN ON DRGS 20MM SPACING DOUBLE DEFLECTION	NO	WHITE	FRAME & BORDER TO SUIT APPLICATION

NOTES: PROVIDE BALANCING DAMPERS AT GRILLE / DIFFUSER FOR DRYWALL APPLICATIONS FOR RETURN / EXHAUST GRILLES PROVIDE PLENUM BOX FOR DUCT CONNECTION (WHERE SUITABLE)

TAG	AREA SERVED	UNIT MODEL NO	FANS					UNIT ELECTRIC DATA			REMARKS		
			FUNCTION	AIR FLOW (l/s)	MIN. OUTSIDE AIR (%)	E.S.P. (PA)	FAN RPM	V-PH-HZ	MOTOR HP	V-PH-HZ		FLA	MCCP
ERV-1	LEVEL 1	COOK ERV-500	SUPPLY	210	100	275	1600	120-1-60	0.5	120-1-60		20	HEAT RECOVERY UNIT TO BE C/W TEMPERATURE SENSOR, MERV 13 SUPPLY AIR FILTER, CONTROLS
			EXHAUST	315	-	150	1750	120-1-60	0.5				

TAG	FUNCTION	AIR FLOW L/S	FIN PER IN	FACE AREA (FT²)	FACE VELOCITY (FPM)	FLUID TYPE	CAPACITY (MBT)		AIR			REMARKS
							SENSIBLE	TOTAL	E.A.T.(°F)	L.A.T.(°F)	A.P.D. (N.W.G.)	
DX-1	COOLING	210	12	1.2	261	261	-	1TON	76.9 / 64.3	62.6 / 59.4	0.2	

TAG	AIR FLOW CAPACITY (L/S)	HEATING CAPACITY (WATT)	DUCT SIZE (mm X mm)	POWER V-PH-HZ	REMARKS

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FIRE SERVICES: **FOR REFERENCE ONLY**  
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PROJECT CODE: 18 22  
DATE: 16 July 2018

SCALE: As indicated  
STATUS: Permit / Tender

Mechanical Details

MECHANICAL SPECIFICATION

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GENERAL MECHANICAL CONDITIONS – SECTION 15050

- 1. CONFORM TO INSTRUCTIONS TO BIDDERS, GENERAL CONDITIONS AND GENERAL REQUIREMENTS.
2. THIS SECTION 15050 SHALL APPLY TO ALL DIVISION 15 SECTIONS.
3. BEFORE SUBMITTING TENDERS, EXAMINE SITE, EXISTING SERVICES AND ALL DRAWINGS. EXTRAS WILL NOT BE ALLOWED FOR FAILURE TO DO SO.
4. PROVIDE ALL LABOUR, MATERIALS AND EQUIPMENT NECESSARY TO EXECUTE THE WORK SHOWN AND DESCRIBED.
5. OBTAIN PERMITS AND PAY ALL FEES FOR WORK AND REQUIRED INSPECTIONS.
6. MAINTAIN LIABILITY INSURANCE TO PROTECT OWNER AND THE CONTRACTOR FROM ANY AND ALL CLAIMS UNDER THE WORKER'S COMPENSATION ACT.
7. THE DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC ONLY. ALL MEASUREMENTS SHALL BE TAKEN FROM BUILDING SITE AND ARCHITECT'S DRAWINGS.
8. ALL MATERIALS SHALL CONFORM TO CSA, HEPC AND CEC REQUIREMENTS AND SHALL BEAR CSA LABEL. GAS FIRED EQUIPMENT SHALL BEAR CSA LABEL.
9. ALL EXISTING SERVICES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
10. TEMPORARY LIGHT, POWER AND WATER BY GENERAL CONTRACTOR.
11. ALL CUTTING AND PATCHING FOR MECHANICAL WORK WILL BE THE RESPONSIBILITY OF THIS SUB-CONTRACTOR.
12. PROVIDE TEMPORARY BUILDINGS AND MATERIAL STORAGE AS REQUIRED AND BE RESPONSIBLE FOR ANY LOSS OR DAMAGE THERETO.
13. SUBMIT SAMPLES OF MATERIALS WHEN REQUIRED.
14. SUBMIT ELECTRONIC COPIES OF SHOP DRAWINGS FOR REVIEW COVERING MAJOR MANUFACTURED ITEMS, I.E. FANS, PLUMBING FIXTURES, DX COIL, CONDENSING UNIT, HOT WATER TANK, GRILLES AND DIFFUSERS, CONTROLS ETC.
15. WHERE SUBSTITUTIONS ARE MADE FOR EQUIPMENT SPECIFIED BY NAME OR MODEL NUMBER, BE FULLY RESPONSIBLE FOR CAPACITIES AS WELL AS PHYSICAL FIT OF SUBSTITUTED MATERIALS.
16. SUPPLY AND LOCATE ALL BASES, SUPPORTS, SLEEVES, CURBS, ETC. REQUIRED FOR THIS WORK.
17. UNLESS OTHERWISE NOTED, ALL MOTORS 1/2 HP AND UNDER SHALL BE 115V/60, MOTORS OVER 1/2 HP SHALL BE OF 3 PHASE VOLTAGE AVAILABLE ON PROJECT.
18. SUPPLY PROPER STARTERS WITH OVERLOAD PROTECTION AND DISCONNECT SWITCHES FOR POWERED MECHANICAL EQUIPMENT AND HAND OVER TO ELECTRICAL CONTRACTOR FOR INSTALLATION.
19. ALL POWER WIRING BY ELECTRICAL CONTRACTOR, CONTROL AND INTERLOCK WIRING BY MECHANICAL CONTRACTOR.
20. SUPPLY AND INSTALL ALL NECESSARY ACCESS DOORS FOR MECHANICAL EQUIPMENT INCLUDING ENTERING AND LEAVING SIDES OF ALL COILS, FIRE DAMPERS ETC.
21. PIPE HANGERS SHALL BE CLEVIS SPLIT TYPE WITH MILD STEEL RODS.
22. PROVIDE CONCRETE OR METAL CURBS OR SLEEVES AROUND ALL MECHANICAL ROOM FLOOR PENETRATIONS.
23. ALL DISSIMILAR METAL (STEEL-COPPER, ETC.) SHALL BE SEPARATED USING GASKETS AND INSULATING WASHERS OR WATTS "DI-ELECTRIC" FITTINGS.
24. INSTALL CHROME-PLATED ESCUTCHEONS WHERE BRANCH PIPES PASS THROUGH FINISHED SURFACE.
25. KEEP ACCURATE RECORD OF "AS-BUILT" DRAWINGS AND SUBMIT THESE BEFORE FINAL CERTIFICATE OF COMPLETION.
26. ALL SURFACES MUST BE LEFT CLEAN AND SMOOTH, READY FOR PAINTING BY GENERAL TRADES.
27. IDENTIFY ALL PIPING, USE STENCILS OR COLOUR CODES AND DIRECTIONAL ARROWS.
28. IDENTIFY ALL FANS, STARTERS, REMOTE CONTROL AND ALL OTHER EQUIPMENT AS TO SERVICE BY A BLACK LAMACOID ENGRAVED NAMEPLATE WITH WHITE CORE, FIRMLY AFFIXED WITH SCREWS TO EACH UNIT.
29. PROVIDE FIRE STOPPING AND SMOKE SEALS.
30. ON COMPLETION OF THE WORK, REMOVE FROM THE PREMISES ALL TOOLS, DEBRIS, SURPLUS AND WASTE MATERIALS.
31. AFTER ACCEPTANCE, INSTRUCT OWNER IN EQUIPMENT OPERATION AND PROVIDE HIM WITH OPERATING AND MAINTENANCE MANUALS.
32. THE CONTRACTOR SHALL, BEFORE FINAL PAYMENT IS MADE, GUARANTEE ALL MATERIALS AND WORKMANSHIP.
33. SHOULD ANY DISCREPANCY APPEAR BETWEEN THESE SPECIFICATIONS AND THE DRAWINGS TO CAUSE DOUBT AS TO THE TRUE MEANING AND INTENT OF THE DRAWINGS.
34. ANY ERROR OR INCONSISTENCY IN THE DRAWINGS OR SPECIFICATIONS NOTED AFTER AWARD OF CONTRACT MUST BE REPORTED TO THE ARCHITECT CONSULTANT.
35. THE OMISSION OR INCORRECT MENTION OF WORK, MATERIALS, ETC. THAT ARE INDISPENSABLE TO THE COMPLETED WORK.
36. ALLOW FOR CONNECTIONS TO EXISTING SYSTEMS DURING AFTER HOURS OR WEEKENDS, INCLUDING BUT NOT LIMITED TO PLUMBING AND DRAINAGE, WATER PIPING, HEATING SYSTEMS, ELECTRICAL AND CONTROL CONNECTIONS.

SPRINKLERS – SECTION 15330

- 1. ALTER THE EXISTING SPRINKLER SYSTEM TO SUIT REVISED LAYOUT.
2. THIS IS PERFORMANCE SPECIFICATION ONLY. PREPARE SPRINKLER SHOP DRAWINGS FOR SUBMISSION TO ENGINEER, UNDERWRITERS AND BUILDING DEPARTMENT FOR APPROVAL.
3. SPRINKLER WORK SHALL BEGIN INSIDE BUILDING AT MAINS ON EACH FLOOR OR WHERE INDICATED ON DRAWINGS.
4. SYSTEM SHALL BE COMPLETE WITH ALL NECESSARY PIPING, HANGERS, HEADS, DRIPS, DRAINS, SPARE SPRINKLERS AND CABINETS, ETC.
5. ALL SHUT OFF VALVES AND ISOLATING VALVES SHALL BE SUPPLIED WITH UL LISTED MONITOR SWITCHES FOR ELECTRICAL SUPERVISION OF VALVE.
6. IN GENERAL, SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH "LIGHT HAZARD OCCUPANCY" STANDARDS.
7. ALL HEADS UNLESS NOTED OTHERWISE SHALL BE EQUAL TO GRINNELL "DURO SPEED", LOW HEADS SHALL BE EQUIPPED WITH GUARDS.
8. WHERE SUSPENDED CEILINGS OCCUR, PIPING SHALL BE CONCEALED ABOVE CEILINGS, HEADS SHALL BE CHROME PLATED RECESSED PENDANT TYPE.
9. IN HIGH TEMPERATURE LOCATIONS I.E. ADJACENT TO UNIT HEATERS ETC., PROVIDE HEADS WITH HIGHER TEMPERATURE RATINGS.
10. CONTRACTOR SHALL PAY ALL NECESSARY CHARGES HE INCURS FROM UNDERWRITERS FOR THEIR REVIEW OF THESE DRAWINGS.
11. WHERE CEILINGS ARE RAISED OR LOWERED, ADJUST HEADS TO SUIT NEW CEILING HEIGHTS.
12. WHERE CEILINGS ARE REMOVED AND REPLACED, REMOVE AND REPLACE HEADS AS REQUIRED TO PERMIT EXECUTION OF NECESSARY WORK.

PLUMBING & DRAINAGE INSIDE THE BUILDING – SECTION 15400

- 1. ALL WORK SHALL BE EXECUTED BY LICENSED PLUMBERS.
2. ALL PLUMBING AND DRAINAGE WORK SHALL BE INSTALLED AS REQUIRED BY ONTARIO BUILDING CODE, REVISED TO DATE, AND SHALL MEET THE REQUIREMENTS OF ALL PROVINCIAL AND MUNICIPAL AUTHORITIES HAVING JURISDICTION.
3. INCLUDE ALL PIPING, FITTINGS AND EQUIPMENT SHOWN ON DRAWINGS OR DESCRIBED IN SPECIFICATIONS.
4. CONTRACT EXTENDS AS SHOWN OR/AND DESCRIBED ON THE DRAWINGS.
5. MAKE ALL NECESSARY CONNECTIONS TO EXISTING SERVICES.
6. ALL ABOVE GROUND SANITARY AND STORM DRAINAGE PIPING SHALL BE IPEX SYSTEM 15 PVC-DWV WITH ONE STEP CEMENT.
7. ABOVE GROUND WATER PIPING SHALL BE TYPE "L" COPPER C/W 95/5 SOLDER JOINTS.
8. BURIED DOMESTIC WATER PIPING SHALL BE COPPER TYPE "K" OR CEMENT LINED DUCTILE IRON.
9. ALL ABOVE GROUND VENT PIPING SHALL BE IPEX SYSTEM 15 PVC-DWV WITH ONE STEP CEMENT.
10. BURIED VENT PIPING MAY BE ABS PLASTIC SOLVENT WELD.
11. ALL FIRE PROTECTION PIPING TO BE "THINWALL" PIPE WITH GROOVED FITTINGS.
12. VALVES UP TO 2" (50MM) SHALL BE FULL THROAT BRONZE BALL VALVES.
13. VISIBLE SINK DRAINAGE TRAPS AND SUPPLY PIPING SHALL BE CHROME PLATED.
14. CLEANOUTS SHALL BE INSTALLED AS REQUIRED BY CODE AND WHERE SHOWN AND SHALL SUIT FLOORING MATERIAL.
15. PROVIDE ELECTRONIC OR PRESSURE ACTIVATED TRAP SEAL PRIMERS FOR ALL FLOOR DRAINS.
16. PROVIDE HAMMER ARRESTORS ON DCW AND DHW SUPPLIES TO FIXTURE (OR GROUP OF FIXTURES) AND WHERE REQUIRED.
17. EXISTING FIRE HOSE CABINETS TO REMAIN.
18. SUPPLY AND INSTALL ALL HOT AND COLD WATER, WASTE AND VENT CONNECTIONS REQUIRED FOR ALL PLUMBING FIXTURES.
19. SUPPLY AND INSTALL ALL NECESSARY GAS PRESSURE AND WATER PRESSURE REGULATORS.
20. PROVIDE APPROVED BACKFLOW PREVENTORS ON ALL INSIDE AND OUTSIDE HOSE BIBBS.
21. ALL SPRINKLER INSTALLATIONS SHALL BE INSTALLED AS STIPULATED IN NFPA 13.
22. DOMESTIC COLD AND HOT WATER PIPING SHALL BE INSULATED WITH 1" (25MM) THICK FIBREGLASS PIPE INSULATION.
23. ROOF DRAIN BODIES TO BE INSULATED, AND AREAS EXPOSED TO BE FINISHED WITH CANVAS OR PVC JACKETING.
24. REMOVE OLD INSULATION AND PROVIDE NEW ON ALL STORM WATER LINES.
25. SUPPLY ALL HOT WATER TANKS AS SHOWN ON DRAWINGS.
26. SUPPLY AND INSTALL ALL FIRE EXTINGUISHERS AS REQUIRED BY CODE.
27. SUPPLY AND INSTALL AND PAY ALL CHARGES FOR INSTALLATION OF WATER METER C/W 3 VALVE BYPASS.
28. SEE FIXTURE SCHEDULE FOR PLUMBING FIXTURE TYPES.
29. SUPPLY AND INSTALL WHEEL HANDLE OR SCREW FIXTURES STOP VALVE ON THE HOT AND COLD WATER SUPPLY TO EVERY FIXTURE ON THE JOB.
30. PROTECT ALL FIXTURES UNTIL HANDED OVER TO THE OWNER.
31. ALL EXISTING DRAIN LINES TO BE PRESSURE WASHED AND VIDEO INSPECTED BY PLUMBING CONTRACTOR, PRIOR TO COMMENCEMENT OF WORK.

WARM AIR HEATING, VENTILATING & AIR CONDITIONING – SECTION 15850

- 1. SUPPLY AND INSTALL ALL HEATING, VENTILATION AND AIR HANDLING EQUIPMENT AS SHOWN ON DRAWINGS.
2. SUPPLY AND INSTALL DUCTWORK AS INDICATED ON DRAWING.
3. INSTALL MANUAL BALANCING DAMPERS AT ALL BRANCH TAKEOFFS AND IN OTHER LOCATIONS WHERE NECESSARY FOR SYSTEM BALANCING.
4. FLEXIBLE DUCTS SHALL BE ALUMINUM HELICALLY WOUND SPIRAL DUCT, EQUAL TO FLEXMASTER T/L, MAXIMUM 10 FT. LENGTH.
5. INSTALL UL LABELLED FLEX DAMPERS AND FIRE STOP FLAPS WHERE SHOWN AND WHERE REQUIRED.
6. INSTALL 6" (150MM) APPROVED FLEXIBLE CONNECTOR ON DUCT CONNECTIONS TO RESILIENTLY MOUNTED FANS.
7. WHERE SHOWN, DUCTWORK SHALL BE LINED INTERNALLY WITH (1/2") (1") (12MM) (25MM) FACED FLEXIBLE DUCT LINER.
8. SUPPLY ALL GRILLES AND DIFFUSERS WHERE SHOWN ON DRAWINGS.
9. THE REFRIGERANT LINES SHALL BE SIZED FOR A PRESSURE DROP OF NOT MORE THAN 14 KPA ( 2 PSI).
10. PROVIDE SIGHT GLASSES FOR ALL LIQUID LINES AND SPORLAN LIQUID LINE DRIERS AHEAD OF EACH THERMO EXPANSION VALVE.
11. REFRIGERANT SUCTION LINES SHALL BE INSULATED WITH 3/4" (19MM) THICK ARMAFLEX INSULATION.
12. INCLUDE FOR STARTUP OF ALL NEW EQUIPMENT.
13. CENTRIFUGAL FANS SHALL BE COMPLETE WITH BELT GUARDS WITH TACHOMETER OPENINGS.
14. ALL BACKDRAFT AND ELECTRIC MOTORIZED DAMPERS SHALL BE LOW LEAKAGE TYPE.
15. ALL EXTERIOR DUCTWORK SHALL BE INTERNALLY INSULATED WITH 1 1/2" (12MM) OF COATED FIBREGLASS DUCT INSULATION.
16. EXHAUST AIR DUCTWORK WITHIN 5 FT. (1500MM) OF A WALL OR ROOF, AND ALL OUTSIDE AIR INTAKE DUCTWORK, SHALL BE EXTERNALLY INSULATED WITH 2 1/2" (38MM) THICK FOIL FACED FLEXIBLE FIBREGLASS DUCT INSULATION.
17. SUPPLY AND INSTALL ELECTRIC DUCT HEATERS OF SIZE AND TYPE AS SHOWN ON DRAWINGS.
18. ENERGY RECOVERY UNIT
19. PROVIDE ALL MOTORIZED DAMPERS TO OPEN AND CLOSE AS RESPECTIVE FANS START AND STOP.
20. SUPPLY AND INSTALL ALUMINUM WEATHER LOUVRES WHERE SHOWN.
21. ADJUST ALL FAN SPEEDS TO DELIVER SHOWN AIR QUANTITIES.

CONTROLS – SECTION 15950

- 1. ALL CONTROL WIRING SHALL BE CARRIED BY DIV.15, POWER WIRING SHALL BE BY DIV.16.
2. THIS MECHANICAL CONTRACTOR TO HIRE AND PAY FOR APPROVED CONTROL CONTRACTOR.
3. PROVIDE ALL CONTROLS AND WIRING INCLUDING APPURTENANCES NECESSARY FOR COMPLETE AND OPERATING SYSTEMS.
4. NEW THERMOSTATS SHALL MATCH BASE BUILDING (WITH LOCKABLE VENTILATED TAMPER-PROF COVER)
5. CLEAN AND RECALIBRATE ALL EXISTING THERMOSTATS UPON COMPLETION OF CONSTRUCTION.
6. PROVIDE ALL NECESSARY EMT CONDUIT, FITTINGS AND WIRE TO PROVIDE A COMPLETE AND OPERATING CONTROL SYSTEM.
7. ENERGY RECOVERY SYSTEM SEQUENCE OF OPERATION:
8. PROVIDE CONTROLS SYSTEMS TRAINING FOR CLIENT'S REPRESENTATIVES WHEN SYSTEM HAS BEEN COMPLETED AND VERIFIED AS PER SPECIFICATIONS.

Table with 3 columns: Rev, Description, Date. Row 1: Final Review, 16 July '18. Row 2: Issued for Permit & Tender, 16 July '18.

Toronto Building logo and permit information for 18 197188 BLD 00. Includes 'FOR REFERENCE ONLY' stamp.

SEPARATE PERMITS REQUIRED FOR HVAC & PLUMBING. HVAC AND PLUMBING ARE NOT PART OF THIS PERMIT.

SHARMA & PARTNERS INC. Mechanical and Electrical Engineers. Includes contact info and P.E. A. PROTNIK stamp.

WORKSHOP architecture logo and contact information for Toronto, Ontario.

Davenport Shelter
348 Davenport Road
Toronto, ON
MSR 1K6

Table with 2 columns: PROJECT CODE, DATE. Values: 18 22, 16 July 2018. Includes permit/tender stamp.

Mechanical Specification

Toronto Building RECEIVED 24/Jul/2018 stamp with north arrow and drawing number.



# ELECTRICAL LEGEND

POWER	
SYMBOL	DESCRIPTION
	125V, 15A DUPLEX U-GROUND RECEPTACLE UNLESS OTHERWISE NOTED.
	DUPLEX RECEPTACLE AS ABOVE, CSA 5-20A TYPE.
	SAME AS ABOVE EXCEPT CONNECT TO CONTROLLED CIRCUIT. RECEPTACLE SHALL BE GREY COLOUR.
	DOUBLE DUPLEX RECEPTACLE IN A COMMON COVER PLATE.
	125V, 15A SINGLE RECEPTACLE. VOLTAGE/AMPERAGE AND TYPE AS INDICATED.
	SPECIAL RECEPTACLE. VOLTAGE/AMPERAGE AND TYPE AS INDICATED.
	RECEPTABLES AS ABOVE BUT MOUNTED ABOVE COUNTER OR 42" AFF.
	RECEPTACLE AS ABOVE SUBSCRIPTS DENOTE SPECIAL TYPE AS PER ABBREVIATION LIST.
	15A DUPLEX RECEPTACLE WITH TWO USB CHARGERS, MODEL TR5202USBW BY LEGRAND OR APPROVED EQUAL.
	IG DENOTES ISOLATED GROUND RECEPTACLE WITH DEDICATED GROUND WIRE AND SEPARATE CIRCUIT NEUTRAL.
	125V, 15A DUPLEX RECEPTACLE, SPLIT-WIRED WITH EACH HALF ON SEPARATE CIRCUIT.
	125V, 15A CEILING MOUNTED DUPLEX RECEPTACLE AS SPECIFIED.
	FUSED DISCONNECT SWITCH. SIZE AS NOTE. (EG. 30A/3P/3N WITH 20A FUSES)
	AS ABOVE BUT C/W TIME DELAY FUSES.
	BREAKER. SIZE AS NOTED.
	UNFUSED DISCONNECT SWITCH. SIZE TO SUIT OR AS NOTED. SEE ABBREVIATION FOR OTHER SUBSCRIPTS.
	MOTOR AS INDICATED. INCLUDE FINAL CONNECTION.
	COMBINATION LINE VOLTAGE MOTOR STARTER AND SWITCH.
	LINE VOLTAGE MOTOR STARTER. SEE SPECIFICATION FOR SCOPE OF WORK.
	JUNCTION BOX AS INDICATED.
	120V DIRECT CONNECTION FOR USE AS NOTED. INCLUDE FINAL CONNECTION. 'PL' DENOTES FOR ELECTRONIC PLUMBING FIXTURES.
	SPECIAL DIRECT CONNECTION FOR USE AS NOTE. INCLUDE FINAL CONNECTION.
	WALL MOUNTED FEED TO SYSTEM FURNITURE. POWER AND COMMUNICATIONS RESPECTIVELY. PROVIDE CONNECTION TO FURNITURE.
	PUSHBUTTON FOR USE AS NOTED.
	FLUSH OR SURFACE MOUNTED ELECTRICAL PANEL RESPECTIVELY.
	ELECTRIC HEATER. BASEBOARD/FORCED-AIR RESPECTIVELY. TYPE AS INDICATED.
	TRANSIENT VOLTAGE SURGE SUPPRESSION
	ELECTRIC HEATER DESCRIPTION. LETTER DENOTES TYPE. NUMBER DENOTES WATTAGE.

LIGHTING	
SYMBOL	DESCRIPTION
	FLUORESCENT STRIP LIGHT IN GYVE OR VALENCE. LENGTH SHOWN TO SCALE ON THE DRAWINGS. LETTER DENOTES TYPE.
	FLUORESCENT LUMINAIRE. CEILING OR WALL MOUNTED RESPECTIVELY. LETTER DENOTES TYPE.
	LUMINAIRE AS ABOVE BUT CONNECTED TO NIGHT LIGHT CIRCUIT.
	LUMINAIRE AS ABOVE BUT CONNECTED TO EMERGENCY OR NORMAL & EMERGENCY LIGHT CIRCUITS WITH BY-PASS UNIT - SEE SPEC FOR MORE DETAILS
	CEILING OR WALL MOUNTED LUMINAIRE RESPECTIVELY. LETTER DENOTES TYPE.
	LUMINAIRE AS ABOVE BUT CONNECTED TO NIGHT LIGHT CIRCUIT.
	LUMINAIRE AS ABOVE BUT CONNECTED TO EMERGENCY OR NORMAL & EMERGENCY LIGHT CIRCUITS WITH BY-PASS UNIT - SEE SPEC FOR MORE DETAILS
	CEILING OR WALL MOUNTED ILLUMINATED EXIT SIGN RESPECTIVELY. SINGLE OR DOUBLE FACED AS INDICATED BY FILLED IN PORTION(S) WITH ARROW(S) AS INDICATED.
	SURFACE MOUNTED SINGLE OF DOUBLE EMERGENCY LIGHTING REMOTE HEAD. CEILING OR WALL MOUNTED AS SHOWN.
	EMERGENCY BATTERY UNIT "BU1" C/W LIGHTING HEAD(S) AS SHOWN ON PLAN.
	15A/20A 120V SINGLE POLE TOGGLE SWITCH(ES) WITH ONE, TWO OR THREE-GANG COVERPLATE RESPECTIVELY. SWITCHES RATING TO SUIT LIGHTING LOADS & BREAKER SIZE.
	DIMMER. LUTRON NOVA "T", 120V OR 347V AND CAPACITY TO SUIT LOADS.
	PHOTOCELL.
	OCCUPANCY SENSOR. NUMBER DENOTES TYPE. REFER TO SCHEDULE.

FIRE ALARM	
SYMBOL	DESCRIPTION
	FIRE ALARM SPEAKER/STROBE COMBINATION.
	FIRE ALARM SPEAKER
	FIRE ALARM MANUAL PULL STATION.
	FIRE ALARM MINI HORN IN RESIDENT, SWITCH C/W 10 MINUTES SILENCABLE SWITCH
	FIRE ALARM BELL.
	FIRE ALARM SMOKE DETECTOR
	FIRE ALARM SMOKE/CO DETECTOR WITH SOUNDER BASE
	SELF CONTAINED SMOKE AND CO DETECTOR (NOT CONNECTED TO FIRE ALARM SYSTEM) WITH VISUAL SIGNALING, BATTERY BACK-UP
	FIRE ALARM HEAT DETECTOR, COMBINATION FIXED TEMPERATURE AND RATE-OF-RISE.
	FIRE ALARM HEAT DETECTOR, FIXED TEMPERATURE (EG. 190°F)
	FIRE ALARM DUCT MOUNTED SMOKE DETECTOR C/W REMOTE INDICATOR. S/A: SUPPLY R/A: RETURN MANUFACTURED AND WIRED TO FIRE ALARM SYSTEM BY DIV. 16.
	RECESSED OR SURFACE MOUNTED FIRE ALARM CONTROL PANEL/ANNUNCIATOR AS NOTED. FACP: FIRE ALARM CONTROL PANEL. FAMP: FIRE ALARM ANNUNCIATOR PANEL
	FIRE PROTECTION SYSTEM SWITCH. SUPPLIED AND INSTALLED BY DIV. 15. WIRED TO FIRE ALARM SYSTEM BY DIV. 16. "FS" DENOTES FLOW SWITCH "SV" DENOTES SUPERVISED VALVE. "PS" DENOTES PRESSURE SWITCH.
	CEILING OR WALL MOUNTED FIRE ALARM SYSTEM SPEAKER W BACKBOX

COMMUNICATION / AV SYSTEM	
SYMBOL	DESCRIPTION
	TELEPHONE OUTLET (SEE RISER DIAGRAM WHERE APPLICABLE)
	DATA OUTLET (SEE RISER DIAGRAM WHERE APPLICABLE)
	COMBINATION TELEPHONE/DATA OUTLET. SEE RISER DIAGRAM FOR DETAIL
	OUTLET AS ABOVE BUT MOUNTED ABOVE COUNTER OR 42" AFF.
	SPEAKER (OTHER THAN FIRE ALARM) WITH OUTLET FOR WALL OR CEILING MOUNTED.
	CATV OUTLET. REFER TO SCOPE OF WORK.
	CEILING OR WALL MOUNTED WIRELESS ACCESS POINT
	INTERCOM STATION

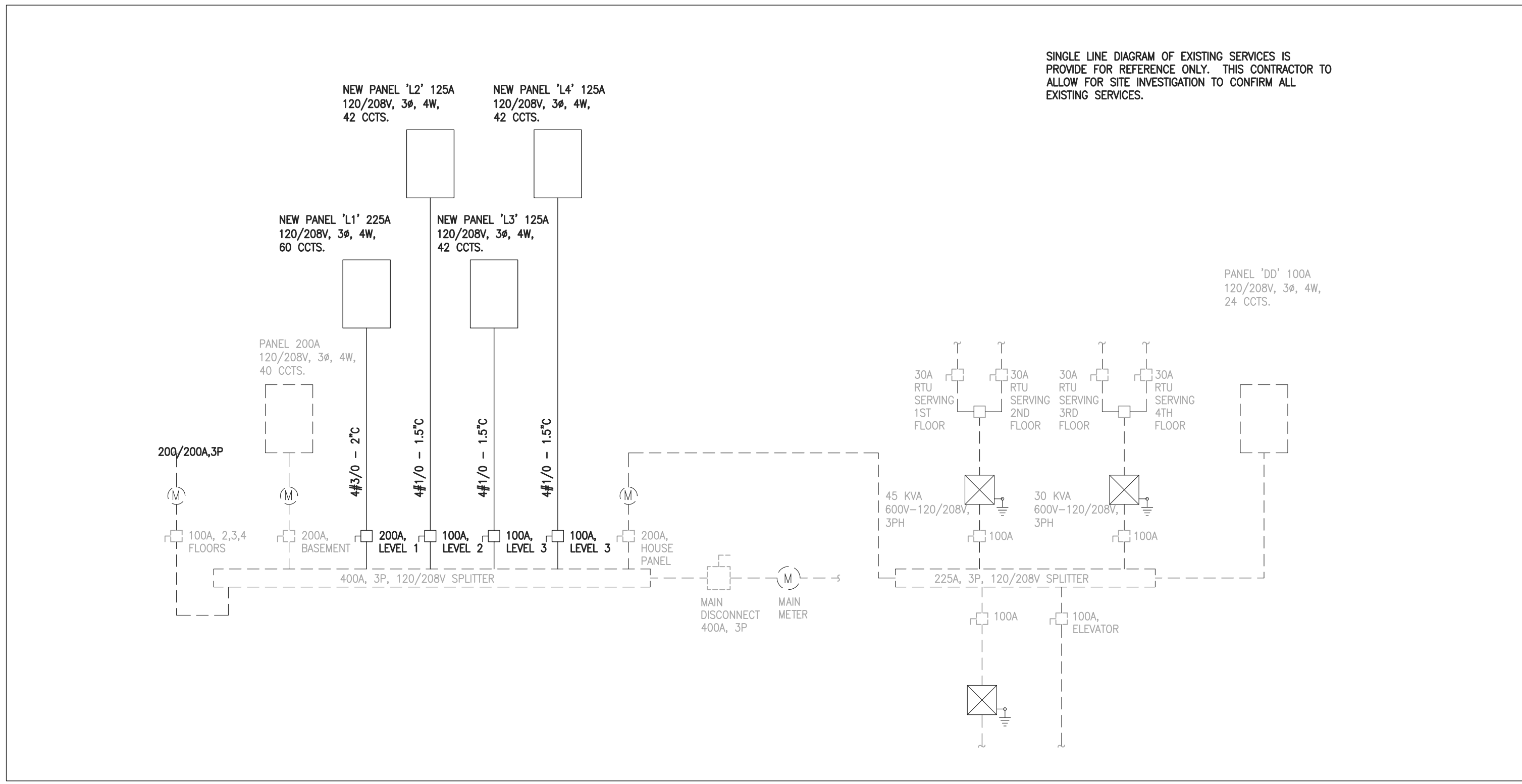
SECURITY	
SYMBOL	DESCRIPTION
	SECURITY SYSTEM, DOOR CONTACT.
	SECURITY SYSTEM, CARD READER
	SECURITY SYSTEM, ELECTRIC STRIKE
	CCTV SYSTEM CAMERA

ABBREVIATIONS	
SYMBOL	DESCRIPTION
	WEATHERPROOF
	GROUND FAULT INTERRUPTER
	MOTORIZED DAMPER
	PANEL "A", CIRCUIT #1.
	BASEBOARD HEATER
	ABOVE FINISHED FLOOR
	TWIST-LOCK
	NEW
	DENOTES EXISTING TO BE RELOCATED
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	RELOCATED POSITION
	CEILING MOUNTED
	ONE DATA OUTLET, '1' DENOTES NUMBER OF OUTLETS
	ONE VOICE OUTLET, '1' DENOTES NUMBER OF OUTLETS
	DETAIL #
	DRAWING WHERE DETAIL IS SHOWN.

ELECTRICAL DRAWING LIST	
NUMBER	DESCRIPTION
E-1	ELECTRICAL LEGEND, DRAWING LIST, DETAILS AND SCHEDULES
E-2	BASEMENT 1 & 2 AND LEVEL 1 - POWER DEMOLITION
E-3	LEVEL 2, 3 AND 4 - POWER DEMOLITION
E-4	BASEMENT 1 & 2 AND LEVEL 1 - LIGHTING DEMOLITION
E-5	LEVEL 2, 3 AND 4 - LIGHTING DEMOLITION
E-6	BASEMENT 1 & 2 AND LEVEL 1 - POWER NEW LAYOUT
E-7	LEVEL 2, 3 AND 4 - POWER NEW LAYOUT
E-8	BASEMENT 1 & 2 AND LEVEL 1 - LIGHTING NEW LAYOUT
E-9	LEVEL 2, 3 AND 4 - LIGHTING NEW LAYOUT
E-10	ELECTRICAL DETAILS
E-11	PANEL SCHEDULES
E-12	ELECTRICAL SPECIFICATION

HAND DRYER SPECIFICATIONS	
HAND DRYERS TO BE PROVIDED BY DIVISION 16 CONTRACTOR. DRYERS TO BE SURFACE MOUNTED AIRBLADE V BY DYSON. ELECTRICAL DATA: 120V, 60HZ, 1,000 W MOTOR, NO HEATER FINISH: SPRAYED NICKEL	
PROVIDE MOUNTING BRACKETS	
- MOUNT DRYER AT 655mm AFF FROM UNDERSIDE	

EMERGENCY BATTERY UNIT SPECIFICATIONS	
<b>BATTERY UNITS</b>	
BATTERY UNIT SHALL BE LUMACELL CAT. #RG24S SERIES WITH CAPACITY AS INDICATED ON DRAWING AND EQUAL BY EMERGLITE, DUALITE OR BECHELL. UNITS SHALL BE FOR OPERATION ON 120 VOLT - 10 YEARS LIFE BATTERY - WITH NUMBER OF HEADS INDICATED ON THE DRAWINGS. UNITS SHALL BE PLUG-IN TYPE WITH SEALED PURE LEAD BATTERIES. THE CHARGER SHALL BE COMPLETELY AUTOMATIC, SOLID STATE TYPE BROWN OUT FEATURE, CAPABLE OF FULLY RECHARGING DISCHARGED BATTERY IN 24 HOURS. TRANSFER DEVICE SHALL AUTOMATICALLY SWITCH LOAD ON AT POWER FAILURE AND OFF ON RETURN OF NORMAL POWER. UNITS SHALL HAVE LOW VOLTAGE DISCONNECT FEATURE. PROVIDE DUPLEX POWER OUTLET FOR EACH BATTERY UNIT.	
<b>REMOTE HEADS "DC"</b>	
1. SINGLE AND DOUBLE REMOTE HEADS SHALL BE MR16, 24V, 6W, LED LAMPS. EMERGENCY LIGHTING REMOTE HEADS SHALL BE WHITE. LUMACELL CAT. #MQM SERIES OR APPROVED EQUAL.	
2. WP - SINGLE AND DOUBLE REMOTE HEADS SHALL BE MR16 24V, DC 12W, EMERGENCY LIGHTING REMOTE HEADS SHALL BE WHITE. WEATHER-PROOF. LUMACELL CAT. #Q-BIC SERIES OR APPROVED EQUAL.	
<b>EXIT SIGN "X"</b>	
SINGLE FACE OR DOUBLE FACE AS PER DRAWING, UNIVERSAL MOUNTED LED SIGN, GREEN RUNNING MAN PICTOGRAM, ALUMINUM HOUSING, LESS THAN 3W LED, 120VAC & 24VDC INPUT. GREEN MAN ON WHITE FACE.	
LUMACELL CAT.# LA SERIES OR APPROVED EQUAL	



1 SINGLE LINE DIAGRAM  
SCALE: N.T.S.

ELECTRIC HEATER SCHEDULE	
TYPE	DESCRIPTION
	208V, 1PH HEAVY DUTY ELECTRIC BASEBOARD HEATER WHITE FINISH C/W TEMPER-PROOF BUILT-IN THERMOSTAT. KILOWATTAGE AS INDICATED ON DRAWING.
	208V, 1PH ELECTRIC FORCED-AIR HEATER, WHITE FINISH C/W BUILT-IN THERMOSTAT. KILOWATTAGE AS INDICATED ON DRAWING.

**NOTES:**

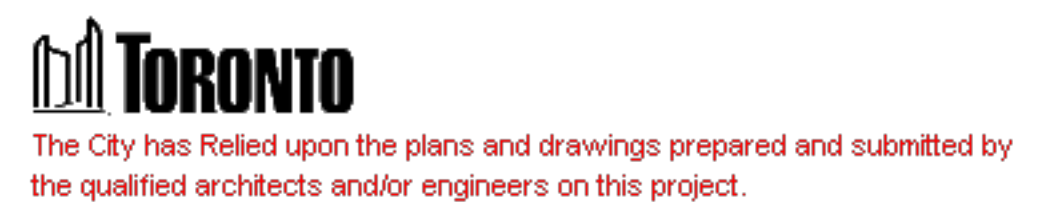
- PRIOR TO REMOVAL OF OLD ELECTRIC HEATERS AND ORDERING NEW HEATERS THIS CONTRACTOR TO VERIFY ON SITE CAPACITY AND VOLTAGE OF EACH AND REPORT BACK TO CONSULTANT TEAM.
- ALL HEATERS TO BE PROVIDED WITH TEMPER PROOF SCREWS

SECURITY AND P.A. SYSTEM	
SECURITY AND P.A. SYSTEM SCOPE OF WORK IS BY OTHERS.	
THIS CONTRACTOR TO COORDINATE WITH SYSTEM PROVIDERS AND PROVIDE POWER SUPPLY (120V) AND EMPTY CONDUITS FOR EACH DEVICE (REFER TO FLOOR PLANS FOR DEVICES LOCATIONS). EMPTY CONDUITS TO BE PROVIDED WITH PULL STRING. CONDUIT SIZE IS 3/4" OR AS PER SYSTEM PROVIDER. ALLOW FOR 2" CONDUIT FROM EACH FLOOR DOWN TO BASEMENT 1 (IT ROOM) FOR EACH SYSTEM.	
THIS CONTRACTOR TO ASSIST SYSTEM PROVIDER IN REMOVING OLD DEVICES AS REQUIRED.	

ADDITIONAL SCOPE OF WORK	
IN ADDITION TO SHOWN ON DRAWINGS ALLOW FOR THE FOLLOWING:	
REMOVAL OF 10 POWER OUTLETS	
REMOVAL OF 5 FIRE ALARM DEVICES	
REMOVAL OF 5 VOICE OUTLETS	
REMOVAL OF 5 DATA OUTLETS	
REMOVAL OF EXISTING 30 M OF 1" C WITH 3#6 WIRING AND PROVISION OF NEW OF SAME LENGTH.	
REMOVAL OF EXISTING 30 M OF 1" C WITH 3 CAT 6 CABLES AND PROVISION OF NEW OF SAME LENGTH.	
ADDITIONAL 50M OF 3#10-20MCM	

- GENERAL NOTES: (APPLY TO ALL DRAWINGS)**
- IN GENERAL, REMOVE ALL EXISTING WIRING WITHIN RENOVATED AREAS. REMOVE DISTRIBUTION PANELS ON LEVEL 1, 2, 3, 4.
  - ELECTRICAL CONTRACTOR TO PROVIDE MOUNTING HARDWARE FOR LIGHT FIXTURES.
  - ENSURE THAT BASE BUILDING DESIGN IS NOT ALTERED.
  - ELECTRICAL CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DISRUPTION CAUSED BY HIS FORCES TO OPERATIONAL BUILDING SERVICES. REPAIR ANY SYSTEM DAMAGED DURING THE EXECUTION OF THE WORK.
  - WHENEVER APPLICABLE: ANY SHUT-DOWN OF BUILDING SERVICES SHALL HAVE THE APPROVAL OF THE CLIENT. COORDINATE WITH THE CLIENT AND THE GENERAL CONTRACTOR TO MINIMIZE DISRUPTION TO THE EVERY OPERATION OF THE BUILDING. IF REQUIRED, CARRY OUT THE WORK AFTER WORKING HOURS OR ON WEEKENDS. INCLUDE ALL ASSOCIATED COST IN CONTRACT.
  - ALL WORK REQUIRED AND/OR SHOWN ON THE DRAWINGS RELATED TO LIFE SAFETY SYSTEMS (IE. FIRE ALARM, ETC.) SHALL BE INCLUDED IN THIS CONTRACT. EMPLOY AND PAY FOR THE SERVICES OF THE SYSTEM PROVIDER WHERE FINAL CONNECTIONS, MODIFICATIONS AND PROVISIONS OF THE NEW DEVICES IN EXISTING SYSTEM CONTROL PANEL IS TO BE DONE (IE. MODULES, RELAYS, SUB-PANELS, ETC.). ENSURE THAT NEW DEVICES ARE COMPATIBLE WITH THE EXISTING SYSTEM. MAINTAIN THE INTEGRITY OF THE EXISTING SUPERVISED CIRCUITS WHEN NEW DEVICES ARE TO BE CONNECTED. THE SYSTEM SHALL BE TESTED AND CERTIFIED FOR PROPER OPERATION UPON COMPLETION OF WORK.
  - THE WORK SHALL BE CARRIED OUT AT ALL TIME IN A MANNER THAT DOES NOT DISTURB CURRENT BUILDING OPERATION. THE PREMISES SHALL BE LEFT IN A SAFE CLEAN CONDITION SUITABLE FOR OCCUPANT'S WORK AT THE BEGINNING OF EACH WORK DAY DURING CONSTRUCTION.
  - REFER TO ARCHITECT'S OR INTERIOR DESIGNER'S DRAWINGS FOR EXACT LOCATIONS OF ELECTRICAL EQUIPMENT AND DEVICES.
  - PROVIDE UPDATED PANEL DIRECTORY FOR EACH EXISTING PANEL. PROVIDE NEW TYPED DIRECTORIES FOR NEW AND EXISTING PANELS.
  - CIRCUIT NUMBERS SHOWN ON PLANS ARE FOR GROUPING PURPOSE ONLY. BALANCE LOADS TO WITHIN 10% ACROSS PHASES.
  - ELECTRICAL DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL AND MECHANICAL DRAWINGS.
  - FOR EXACT LOCATION OF ALL MECHANICAL EQUIPMENT, SEE MECHANICAL DRAWINGS. CO-ORDINATE ALL WORK WITH MECHANICAL CONTRACTOR.
  - ALL EXISTING EQUIPMENT AND DEVICES SHALL REMAIN UNLESS OTHERWISE NOTED.
  - ALLOW CUTTING AND PATCHING AT EXISTING WALLS/CEILING TO RUN CONDUITS/WIRING.
  - ALL CABLING, PATCHES TERMINATION, CABLE TESTING AND IDENTIFICATION, JACK ETC FROM ROOM OUTLETS TO IT ROOM BY THIS CONTRACTOR FOR P/A AND DATA.
  - ALL NEW PROPOSED SURFACE MOUNTED CONDUIT ROUTING TO BE APPROVED BY THE ARCH BEFORE INSTALLATION.
  - REFER TO ARCH INTERIOR ELEVATIONS AND PLANS FOR ALL SURFACE MOUNTED CONDUIT ROUTING.
  - ALL EXPOSED CONDUIT AND BOXES TO BE PAINT FINISH.
  - COORDINATE CONTRACTION SCHEDULE WITH LONG DELIVERY TIME ITEMS.
  - ALL LOCATIONS OF FIRE AND SAFETY DEVICES TO BE COORDINATED WITH ARCHITECT PRIOR TO INSTALLATION

- NOTES RE. VOICE/DATA SYSTEM**
- VOICE AND DATA SYSTEM SHALL BE PROVIDED BY OTHERS.
- THIS ELECTRICAL CONTRACTOR SHALL PROVIDE THE FOLLOWING:
- TELEPHONE OUTLET SHALL BE SINGLE GANG BOX C/W 3/4" TO ZONE CONDUIT.
  - DATA OUTLET SHALL BE SINGLE GANG BOX C/W 3/4" TO ZONE CONDUIT.
  - COMBINATION TELEPHONE/DATA OUTLET SHALL BE SINGLE GANG C/W 3/4" TO ZONE CONDUIT.
  - ALL CONDUITS SHALL BE C/W PULL STRING.
  - PROVIDE ZONE CONDUIT/BOXES FOR VOICE AND DATA CABLING.
  - CEILING PLENUM IS RETURN AIR PLENUM AND ALLOWED FOR FT6 RATING CABLES ONLY.
  - LOCATION AND QUANTITY OF OUTLETS ARE SHOWN ON FLOOR PLAN.



The City has Relied upon the plans and drawings prepared and submitted by the qualified architects and/or engineers on this project.

The issuance of a permit does not imply a complete design review of this project has been performed and does not relieve the owner and designers from the need to comply with the Ontario Building Code and referenced standards where contravention are subsequently noted.

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SRH PROJECT #: 2018-1039

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PROJECT CODE:	SCALE:
18 22	N.T.S.
DATE:	STATUS:
16 July 2018	Permit / Tender

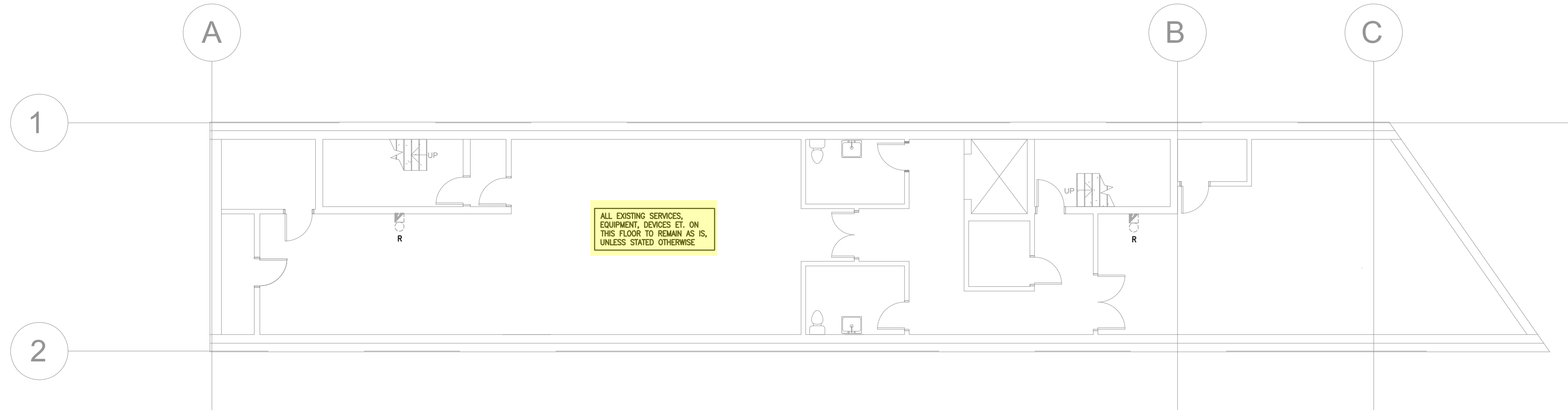
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Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18

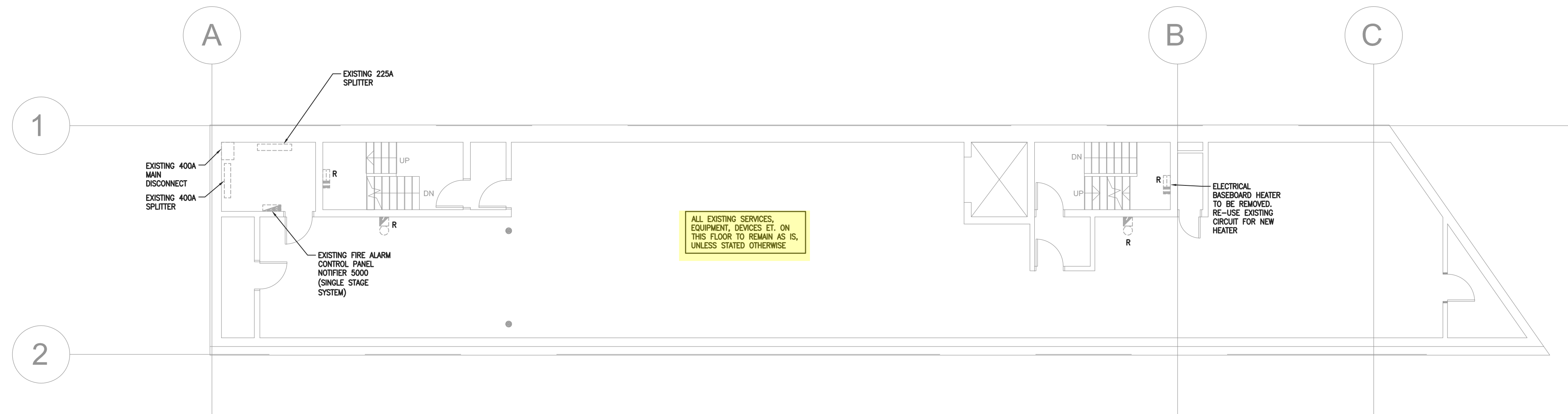


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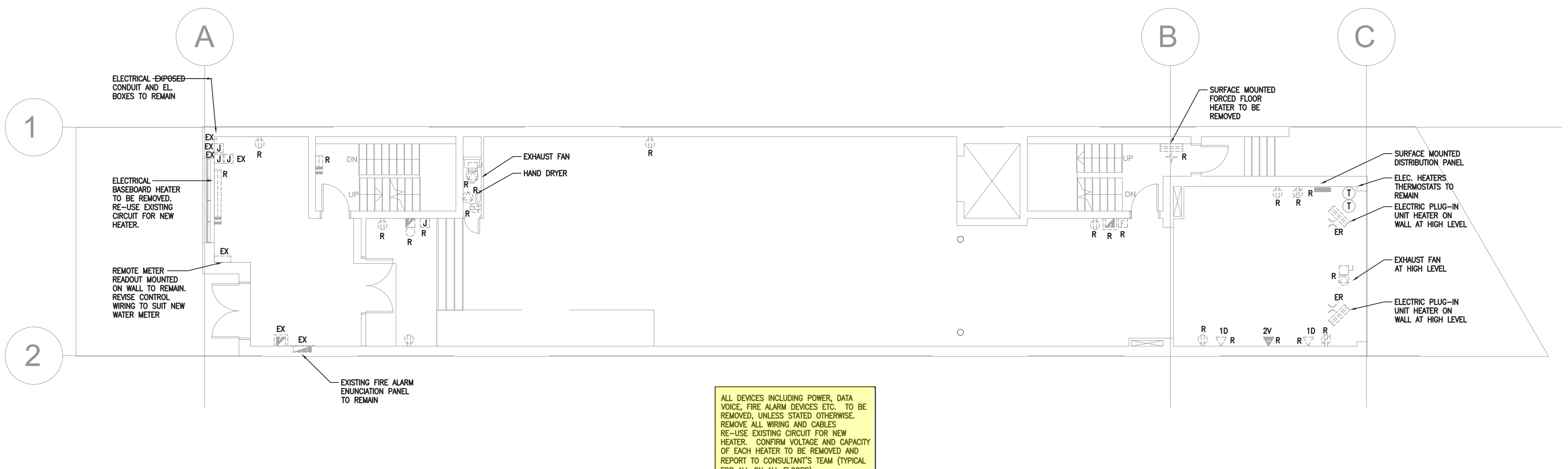
ZONING		
O.B.C.		
FIRE SERVICES		
O.B.C. (S)		



1 BASEMENT 2 – POWER DEMOLITION  
E-2 SCALE: 1:100



2 BASEMENT 1 – POWER DEMOLITION  
E-2 SCALE: 1:100



3 LEVEL 1 – POWER DEMOLITION  
E-2 SCALE: 1:100

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SPR PROJECT # 2018-1039

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PROJECT CODE:	SCALE:
18 22	As indicated
DATE:	STATUS:
16 July 2018	Permit / Tender

Basement 1 & 2 and Level 1  
Power Demolition

Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18



18 197188 BLD 00

ZONING		
O.B.C.		
FIRE SERVICES		
O.B.C. (S)		

SHARMA & PARTNERS INC.  
 Mechanical and Electrical Engineers  
 85 Carlaw Drive,  
 Unit 108  
 Toronto, Ontario  
 M5A 2P8  
 Tel: (416) 291-8822



SPI PROJECT #: 2018-1039

# WORKSHOP architecture

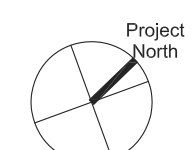
WORKSHOP architecture inc  
 1157 Davenport Road  
 Toronto Ontario M5H 2C4  
 T 416.901.9055 F 416.849.0383  
 www.workshoparchitecture.ca

Davenport Shelter

348 Davenport Road  
 Toronto, ON  
 MSR 1K6

PROJECT CODE:	SCALE:
18_22	As indicated
DATE:	STATUS:
16 July 2018	Permit / Tender

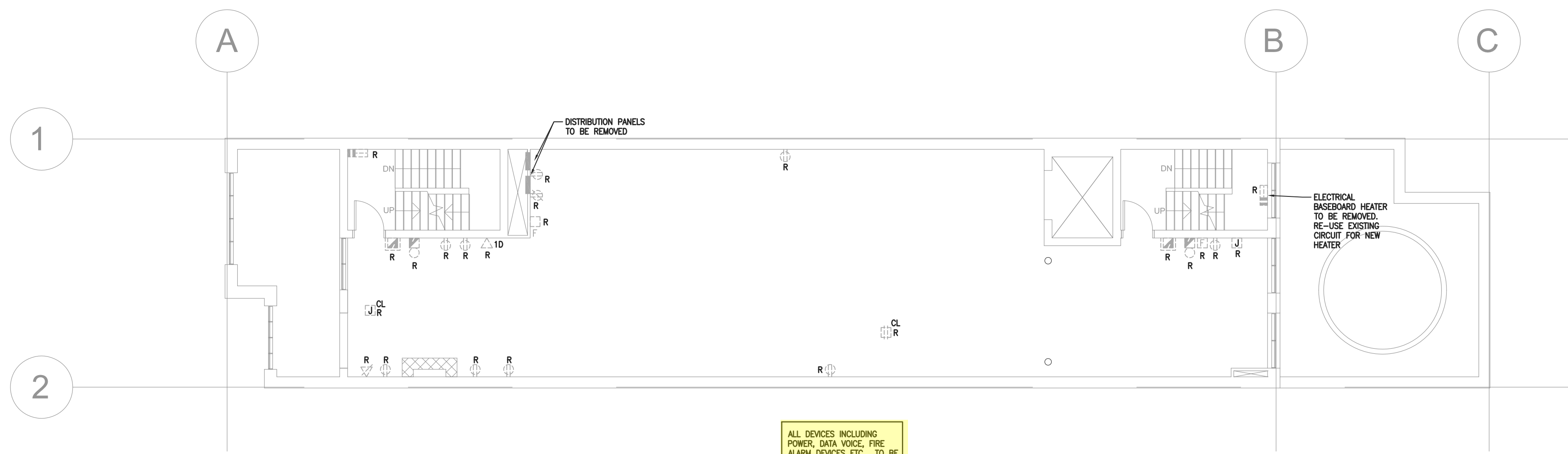
Level 2, 3 & 4  
 Power Demolition



Project North

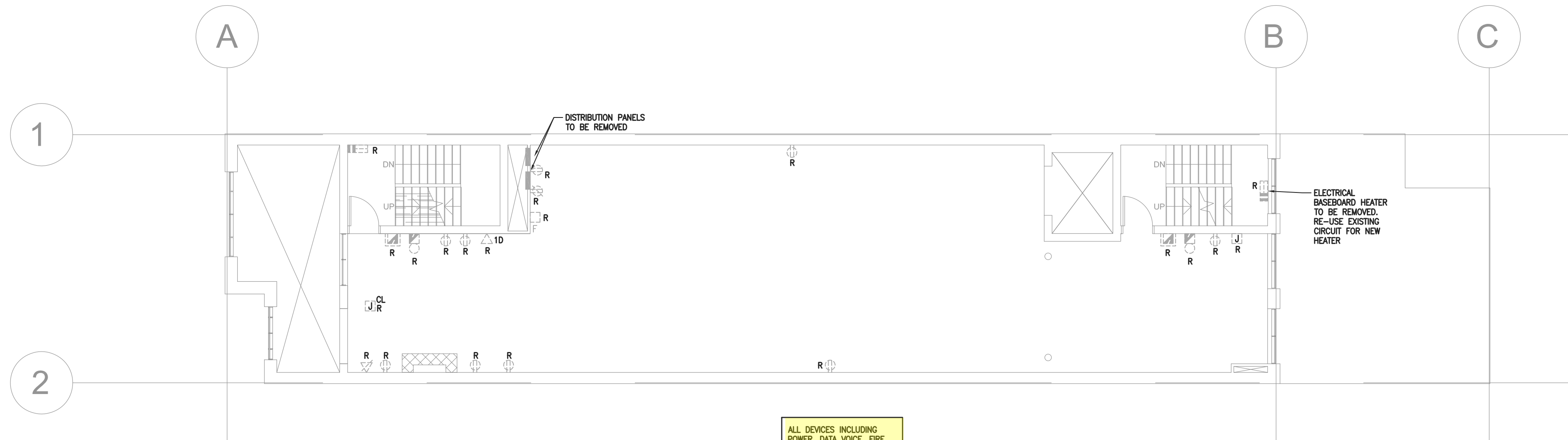
drawing number

E3



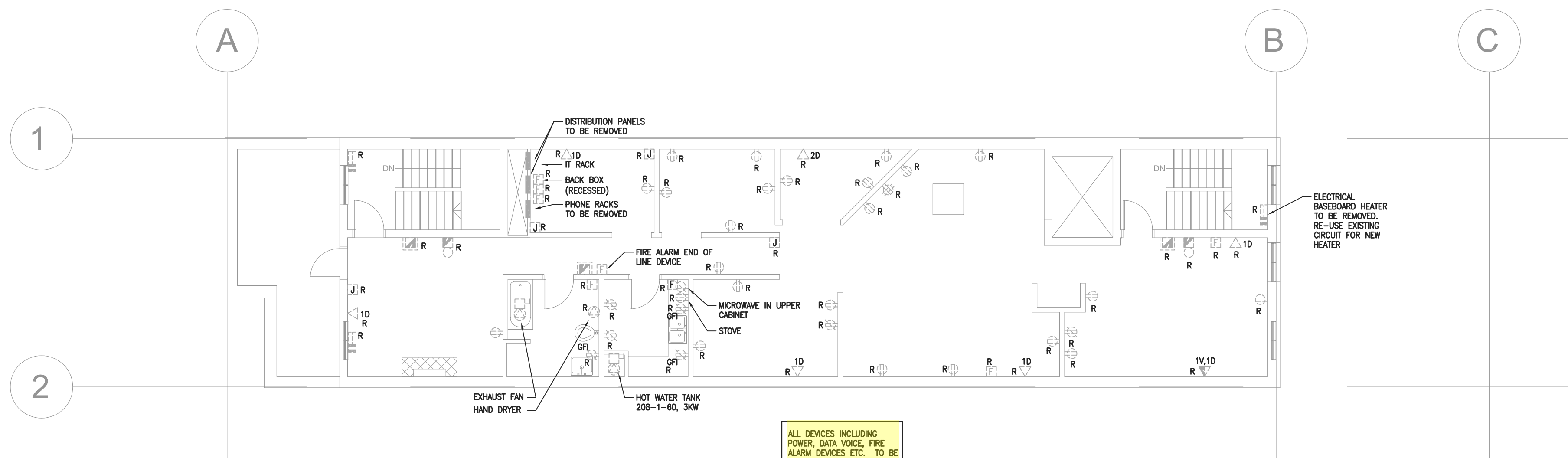
## 1 LEVEL 2 – POWER DEMOLITION

E-3 SCALE: 1:100



## 2 LEVEL 3 – POWER DEMOLITION

E-3 SCALE: 1:100



## 3 LEVEL 4 – POWER DEMOLITION

E-3 SCALE: 1:100

Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18



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## WORKSHOP architecture

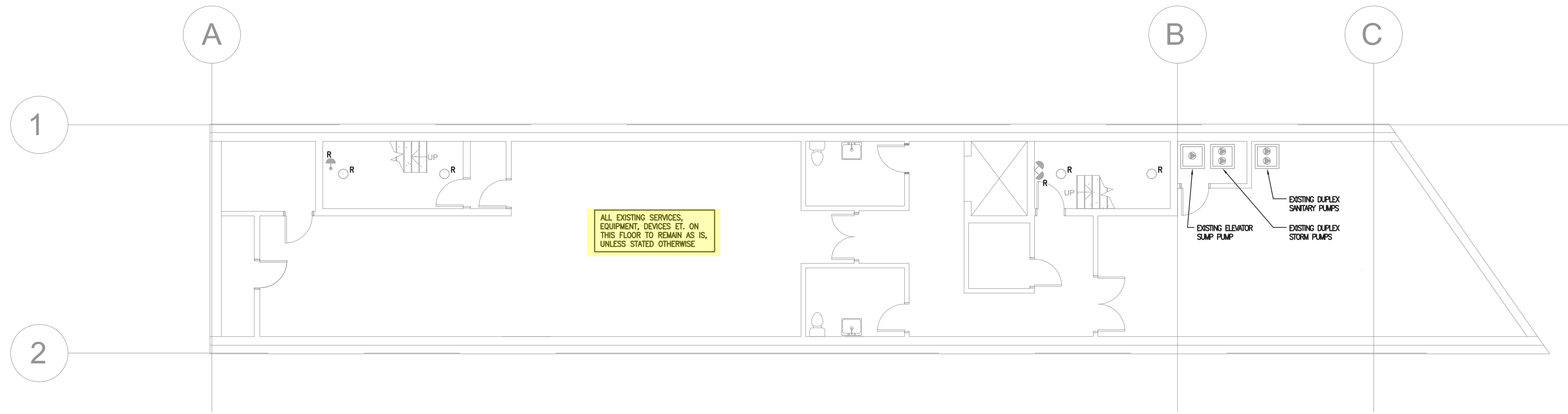
WORKSHOP architecture inc  
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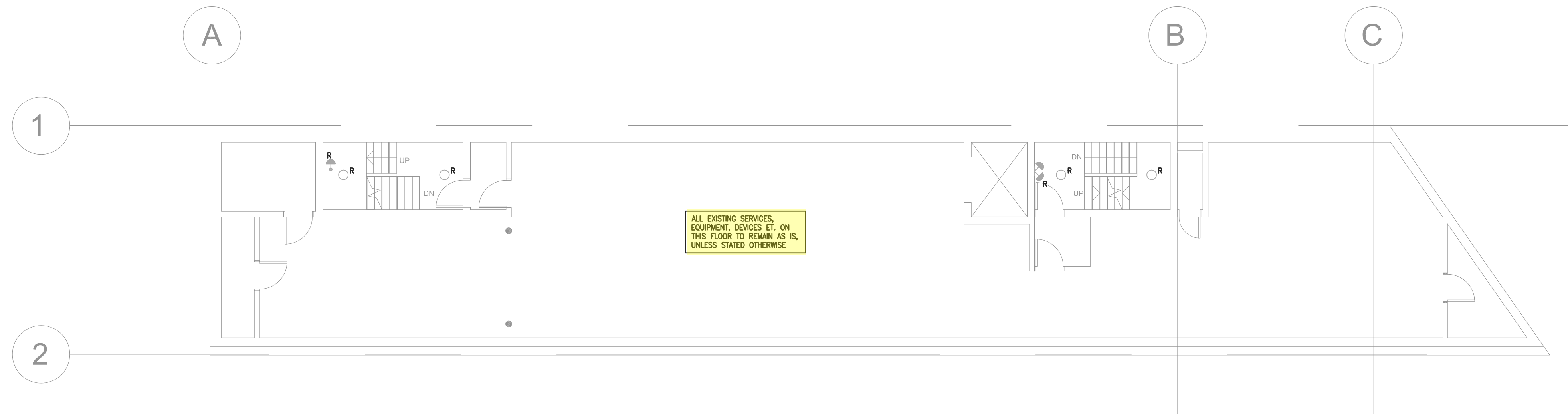
348 Davenport Road  
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PROJECT CODE:	SCALE:
18_22	As indicated
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16 July 2018	Permit / Tender

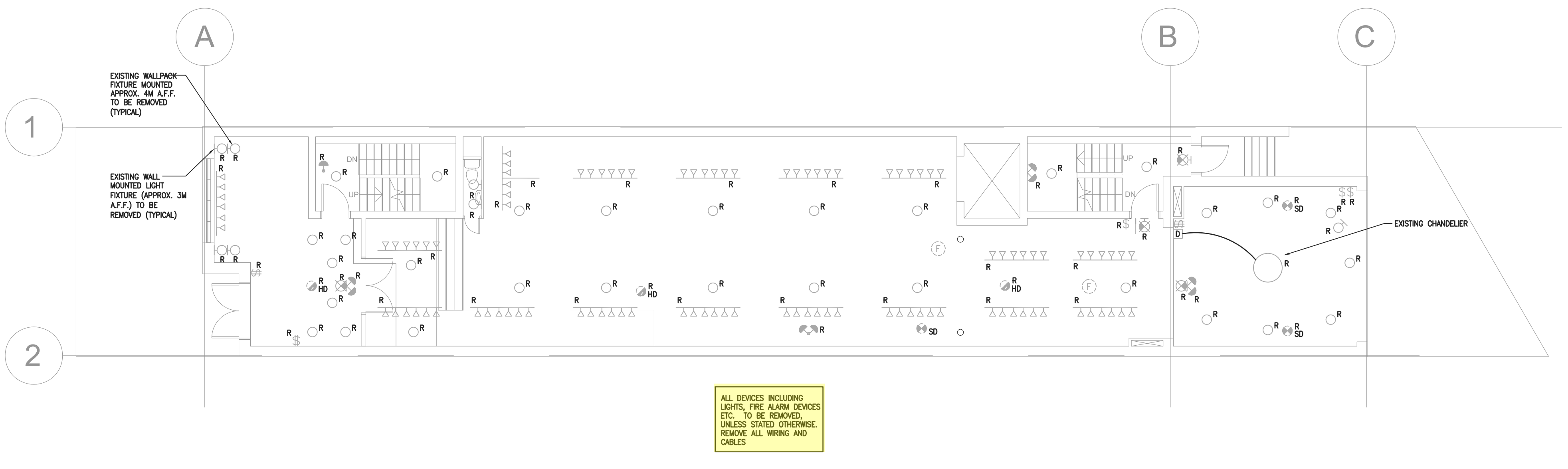
Basement 1 & 2 and Level 1  
 Lighting Demolition



1 BASEMENT 2 – LIGHTING DEMOLITION  
 E-4 SCALE: 1:100



2 BASEMENT 1 – LIGHTING DEMOLITION  
 E-4 SCALE: 1:100



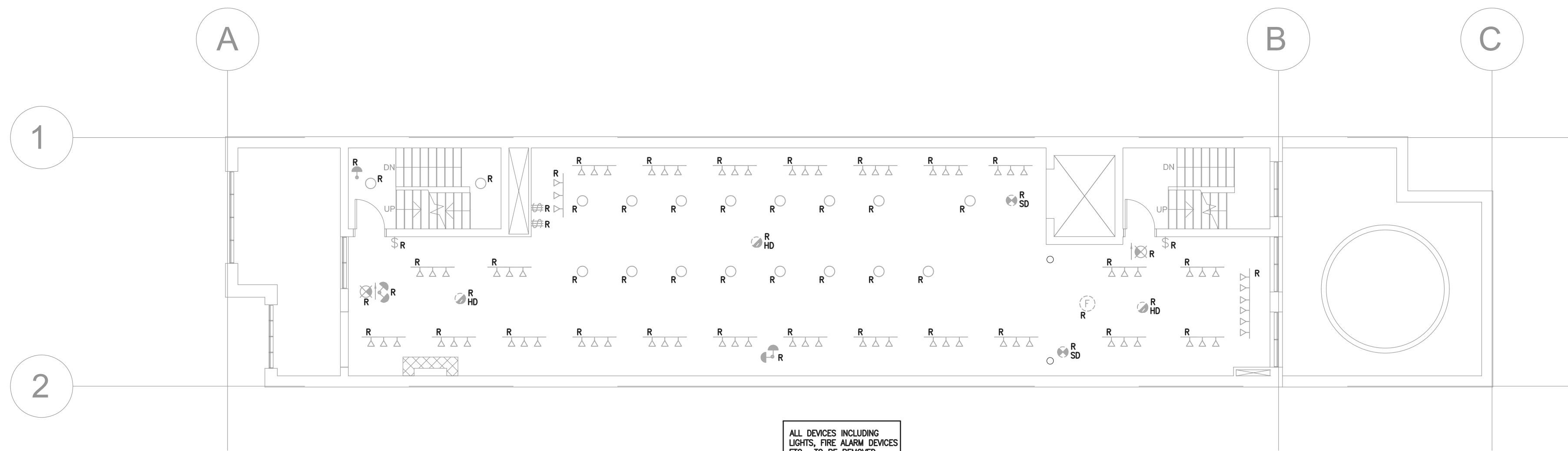
3 LEVEL 1 – LIGHTING DEMOLITION  
 E-4 SCALE: 1:100

Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18



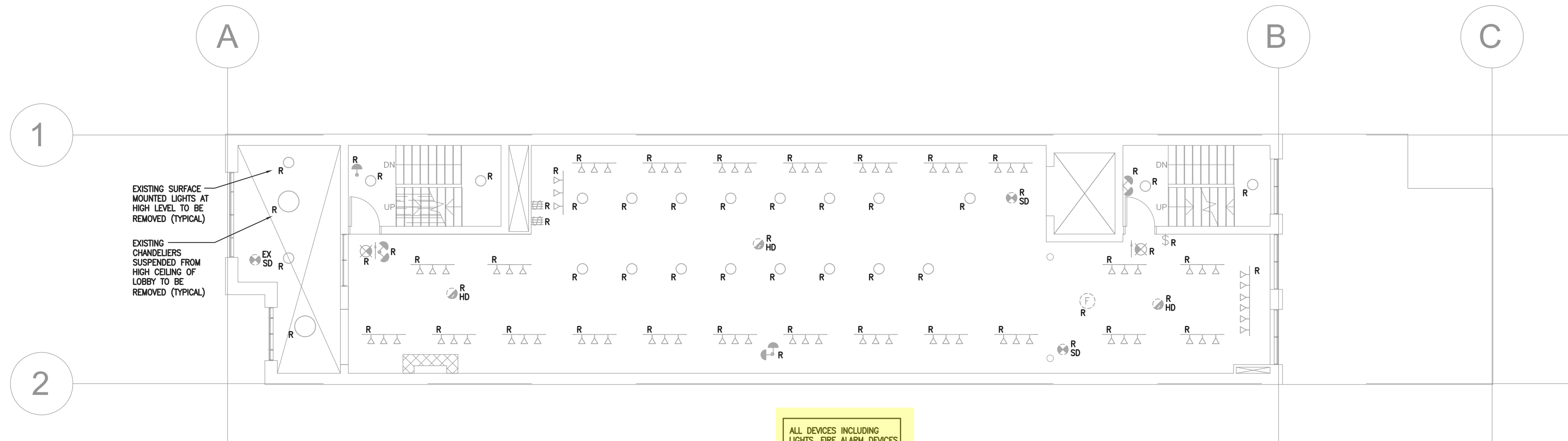
18 197188 BLD 00

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FIRE SERVICES		
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ALL DEVICES INCLUDING LIGHTS, FIRE ALARM DEVICES ETC. TO BE REMOVED, UNLESS STATED OTHERWISE. REMOVE ALL WIRING AND CABLES

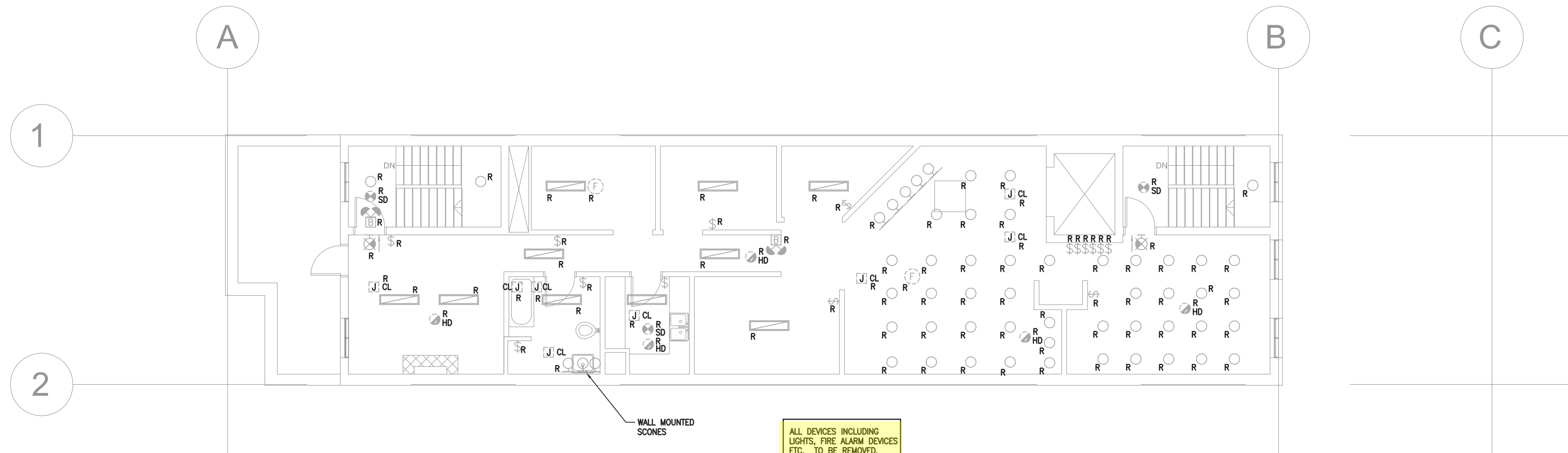
1 LEVEL 2 – LIGHTING DEMOLITION  
E-5 SCALE: 1:100



EXISTING SURFACE MOUNTED LIGHTS AT HIGH LEVEL TO BE REMOVED (TYPICAL)  
EXISTING CHANDELIERS SUSPENDED FROM HIGH CEILING OF LOBBY TO BE REMOVED (TYPICAL)

ALL DEVICES INCLUDING LIGHTS, FIRE ALARM DEVICES ETC. TO BE REMOVED, UNLESS STATED OTHERWISE. REMOVE ALL WIRING AND CABLES

2 BASEMENT 1 – LIGHTING DEMOLITION  
E-5 SCALE: 1:100



WALL MOUNTED SCENES

ALL DEVICES INCLUDING LIGHTS, FIRE ALARM DEVICES ETC. TO BE REMOVED, UNLESS STATED OTHERWISE. REMOVE ALL WIRING AND CABLES

3 LEVEL 1 – LIGHTING DEMOLITION  
E-5 SCALE: 1:100

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SPI PROJECT #: 2018-1039

## WORKSHOP architecture

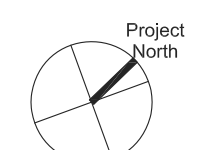
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### Davenport Shelter

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PROJECT CODE:	SCALE:
18 22	As indicated
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16 July 2018	Permit / Tender

Level 2, 3 & 4  
Lighting Demolition



Project North  
drawing number

E-5

Fire alarm systems shall comply with the requirements of the Ontario Building Code. The audibility level of the alarms shall be maintained in all areas of the building. Interior finish and furnishings may have an effect on the decibel level of the fire alarm system.

Audible signal devices forming part of a fire alarm system shall be installed in a building so that alert signals and alarm signals are clearly audible throughout the floor area in which they are installed and shall comply with the applicable sound pressure levels and signal pattern described in Article 3.2.4.20.

A fire alarm system shall be designed to notify the fire department in conformance with Article 3.2.4.8.

Fire alarm systems, including those with voice communication capability, shall be installed in conformance with CANULC-SS24, "Installation of Fire Alarm Systems".

New fire alarm components shall be compatible with remaining devices. Upon completion of work, all existing ancillary systems, devices, smoke control and exhaust systems shall be reconnected and shall function and operate as originally designed to operate.

Fire alarm systems, including those incorporating a voice communication system, shall be provided with an emergency power supply conforming to Sentences 3.2.7.8 (2) to (4).

The sound pressure level in a sleeping room from a fire alarm audible signal device shall be not less than 75 dBA in a building of residential occupancy when any intervening doors between the device and the sleeping room are closed as per 3.2.4.20 (5).

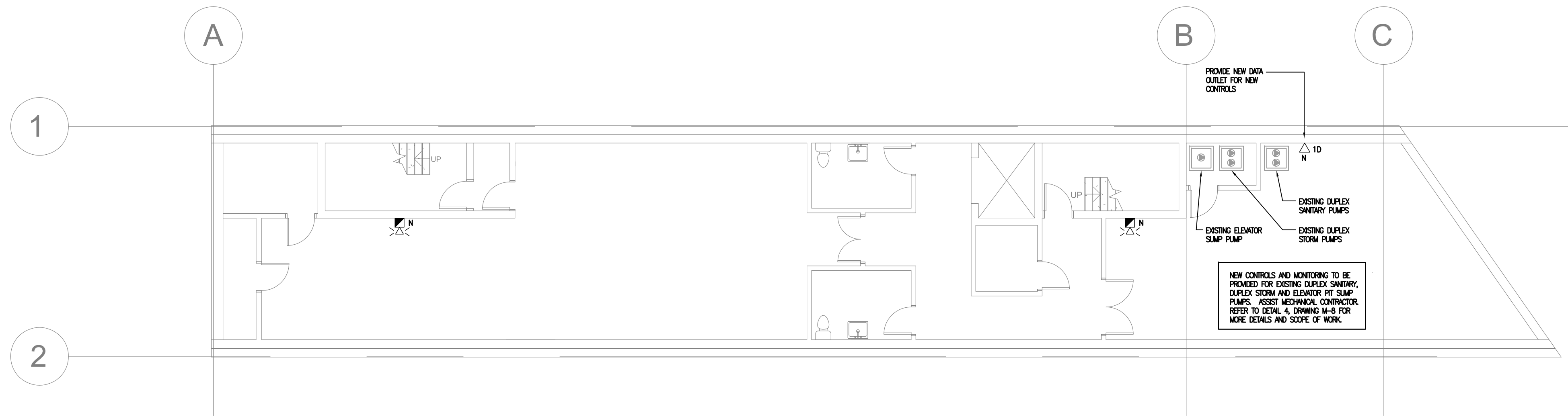
Rev	Description	Date
1	Final Review	16 July '18
2	Issued for Permit & Tender	16 July '18
3	Issued for Addendum EAD-1	30 July '18



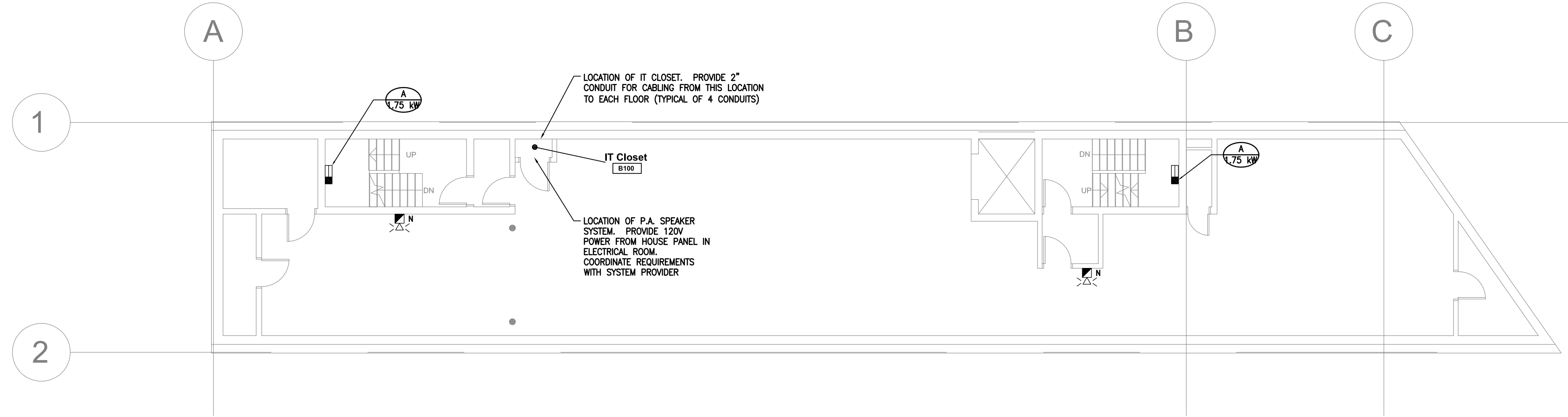
PERMIT REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE

18 197188 BLD 00

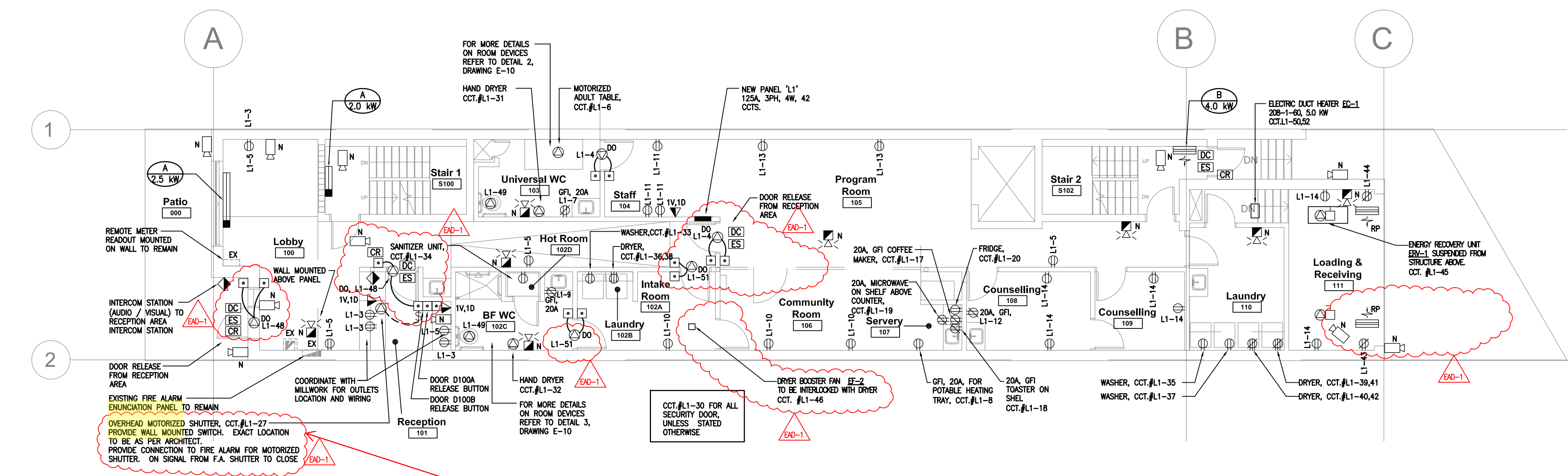
ZONING	Designated Use	Effective Date
O.B.C.	Johnson, David	07/Aug/2018
FIRE SERVICES	Johnson, David	07/08/18
O.B.C. (S)		



1 BASEMENT 2 – POWER NEW LAYOUT  
E-6 SCALE: 1:100



2 BASEMENT 1 – POWER NEW LAYOUT  
E-6 SCALE: 1:100



3 LEVEL 1 – POWER NEW LAYOUT  
E-6 SCALE: 1:100

FIRE SHUTTER TO RELEASE UPON ACTIVATION OF LOCAL SMOKE DETECTOR AS PER 3.1.8.12.(3)

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SPH PROJECT # : 2018-1039

## WORKSHOP architecture

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PROJECT CODE:	SCALE:
18_22	As indicated
DATE:	STATUS:
30 July 2018	Addendum #1

Basement 1 & 2 and Level 1  
Power New Layout

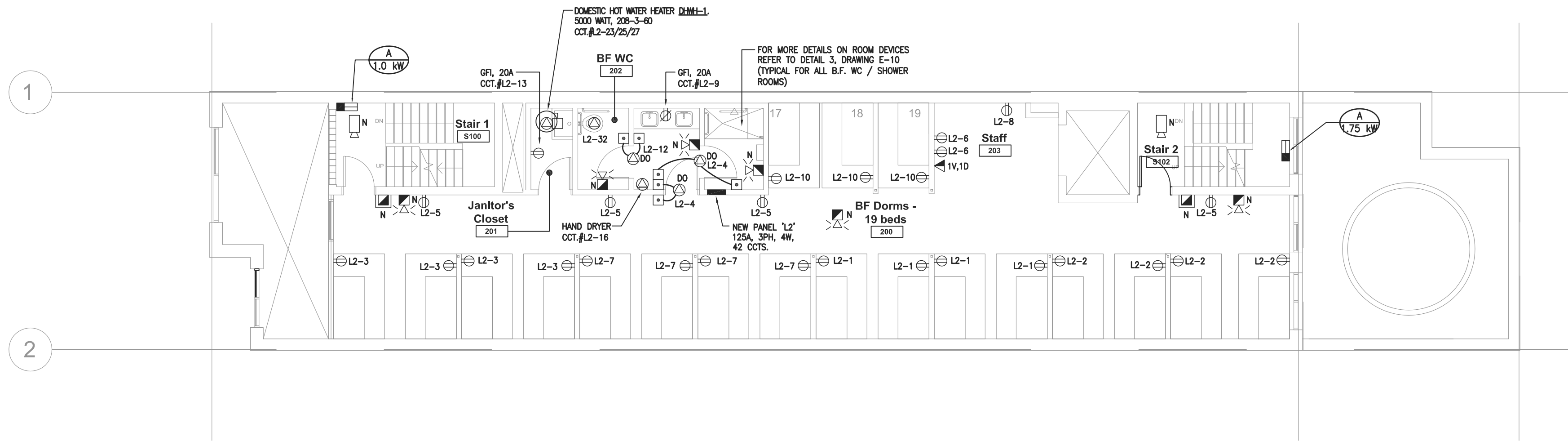
Project North  
drawing number  
**E-6**  
RECEIVED 07/Aug/2018

Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18

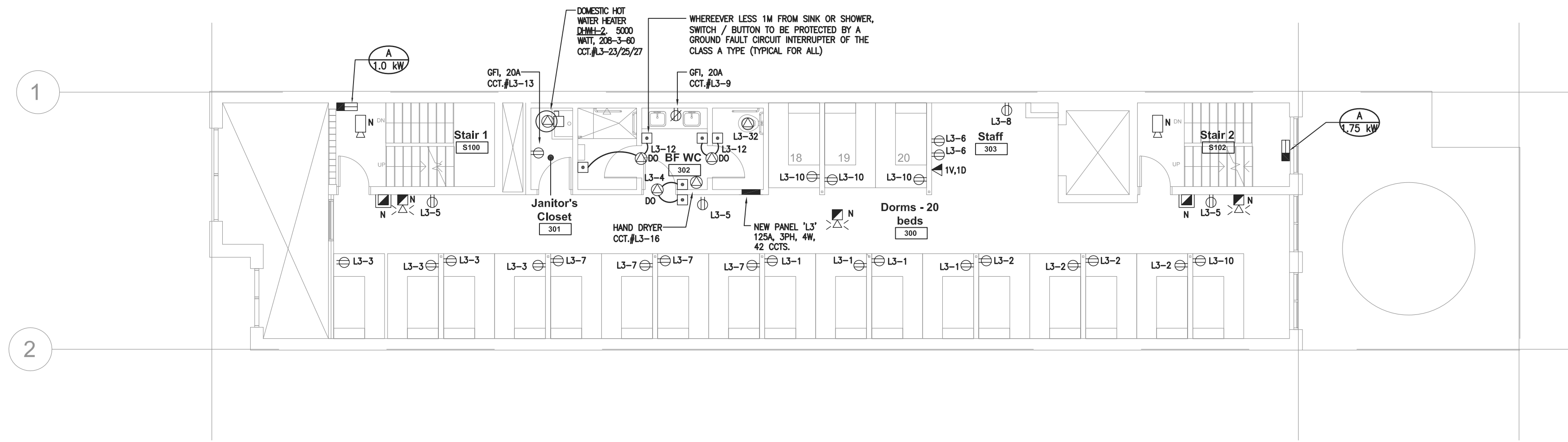
**Toronto Building**  
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 THE ONTARIO BUILDING CODE

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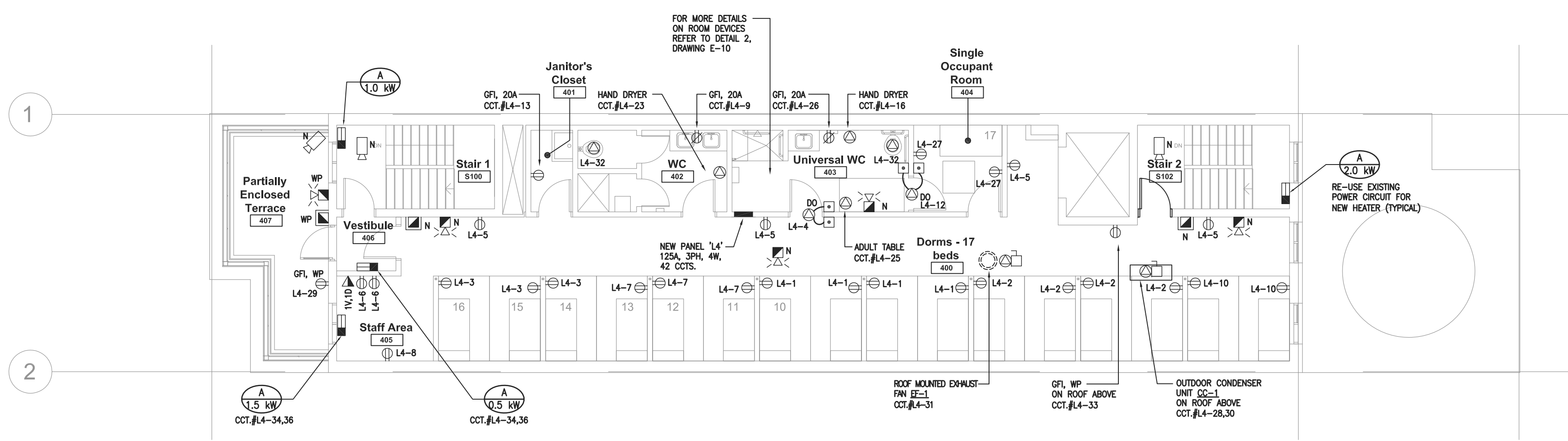
ZONING		
O.B.C.		
FIRE SERVICES		
O.B.C. (S)		



1 LEVEL 2 - POWER NEW LAYOUT  
 E-7 SCALE: 1:100



2 LEVEL 3 - POWER NEW LAYOUT  
 E-7 SCALE: 1:100



3 LEVEL 4 - POWER NEW LAYOUT  
 E-7 SCALE: 1:100

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Level 2, 3 & 4  
 Power New Layout

Rev	Description	Date
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1	Issued for Permit & Tender	16 July '18

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FOR EXIT SIGNS AND  
 EMERGENCY LIGHTING ONLY

ZONING	O.B.C.	Author	Date
		Johnson, David	27/Jul/2018
		Johnson, David	27/Jul/2018

O.B.C. (S)

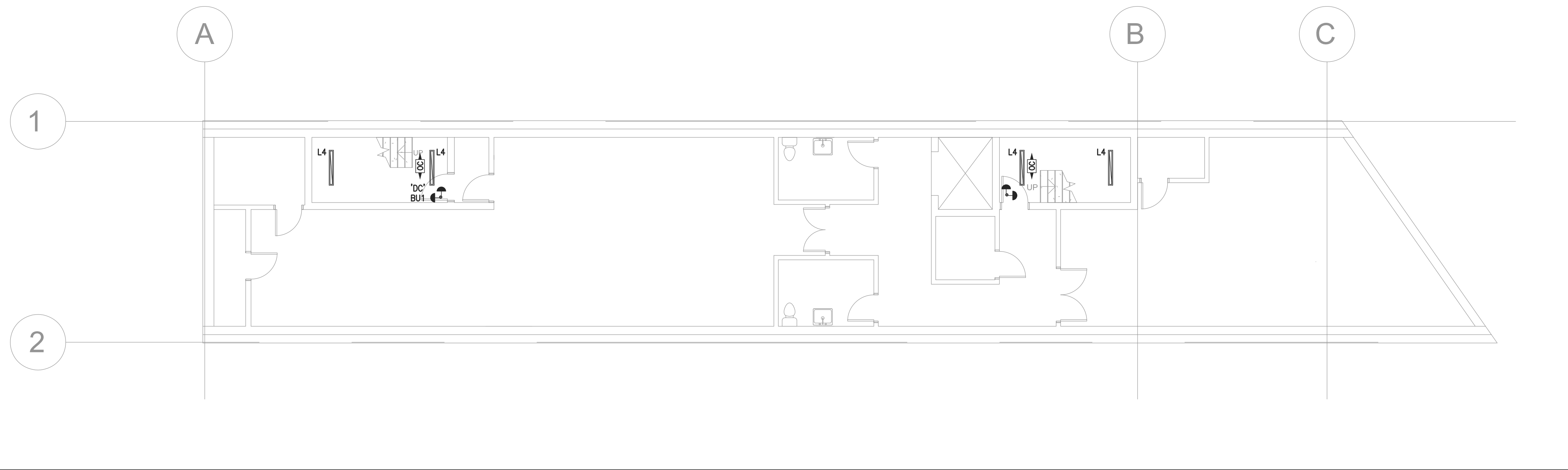


Exit signs shall consist of a green pictogram and white graphic symbol meeting the visibility specifications referred to in ISO 3864-1 and conform to the dimensions indicated in ISO 7010 for the following symbols:  
 (i) E001 emergency exit left;  
 (ii) E002 emergency exit right;  
 (iii) E005 90-degree directional arrow; and  
 (iv) E006 45-degree directional arrow.

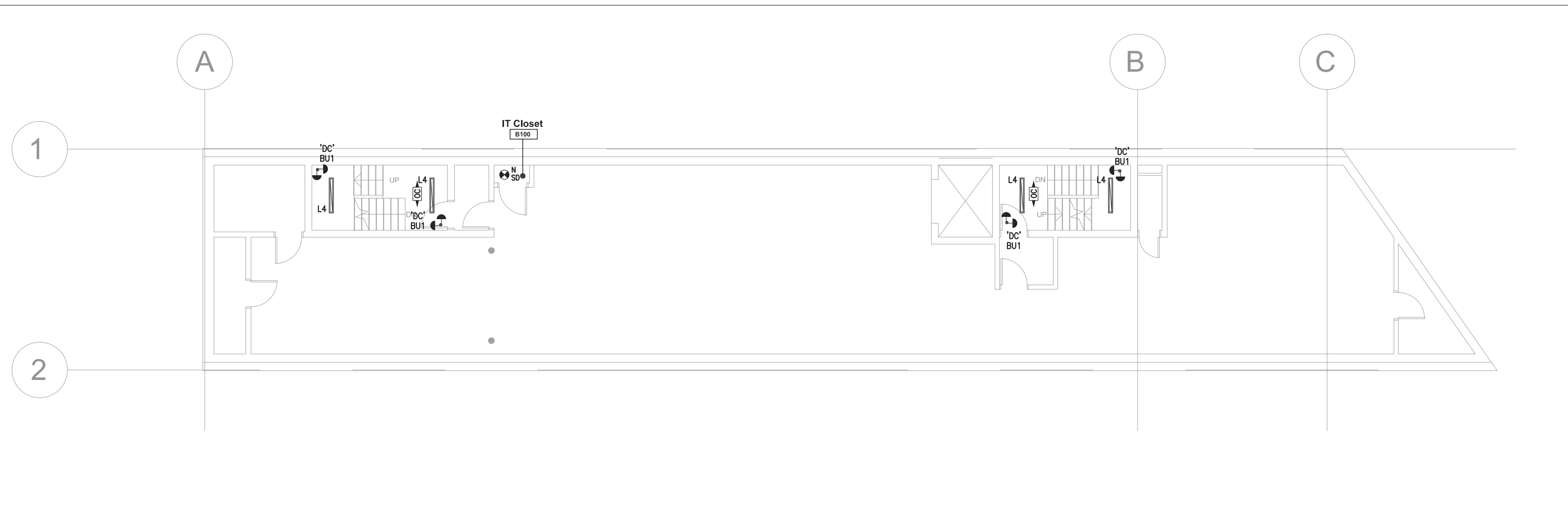


Emergency lights shall be provided along paths of egress as per 3.2.7. or 9.9.12.  
 Emergency lighting shall always be maintained to an average level of illumination of at least 10 lx at floor level.

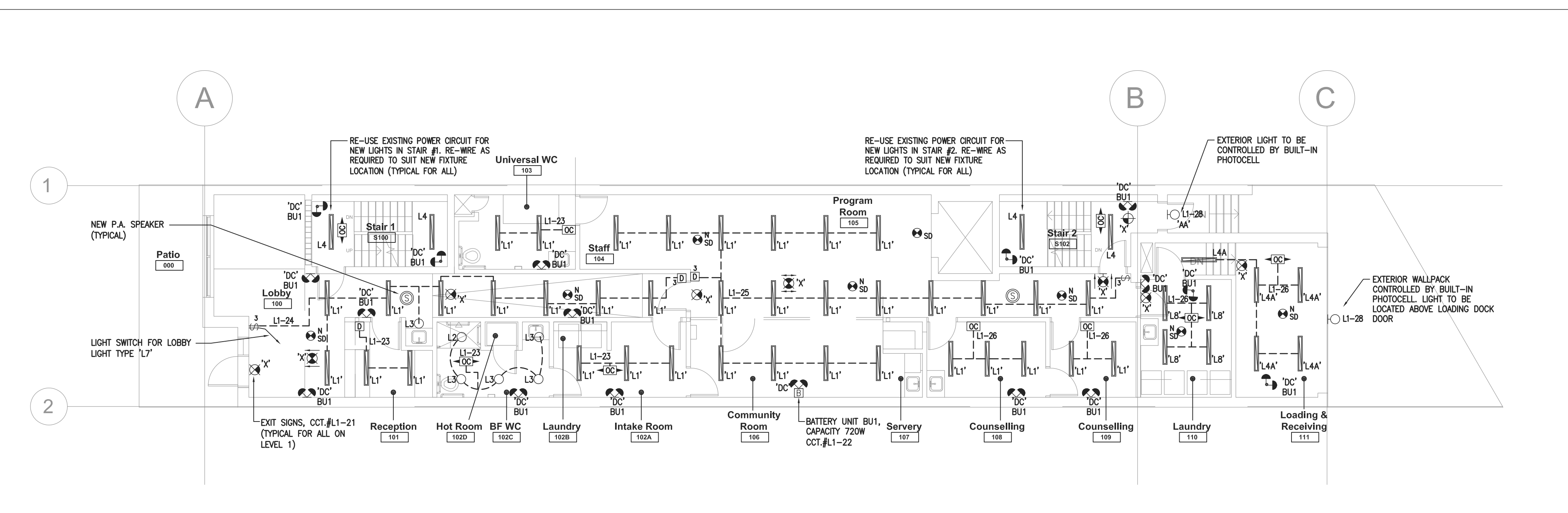
Exit Signs are to be reviewed on site to ensure they are visible along all paths of egress/exits as obstructions by ducts, pipes, etc. may not be obvious on plans. Add, relocate and adjust signs and emergency lighting as required to achieve their intended performance objective. Typical



1 BASEMENT 2 – LIGHTING NEW LAYOUT  
 E-8 SCALE: 1:100



2 BASEMENT 1 – LIGHTING NEW LAYOUT  
 E-8 SCALE: 1:100



3 LEVEL 1 – LIGHTING NEW LAYOUT  
 E-8 SCALE: 1:100

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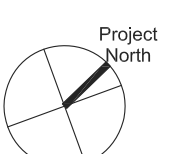
WORKSHOP architecture inc  
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Davenport Shelter

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Basement 1 & 2 and Level 1  
 Lighting New Layout



Project North

drawing number

E-8



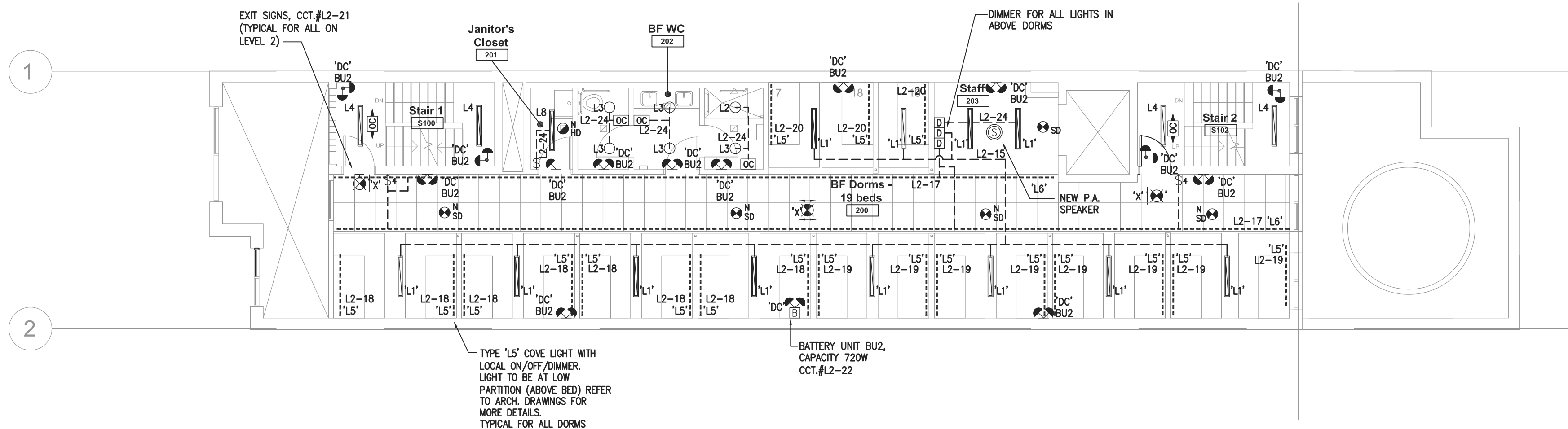
Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18

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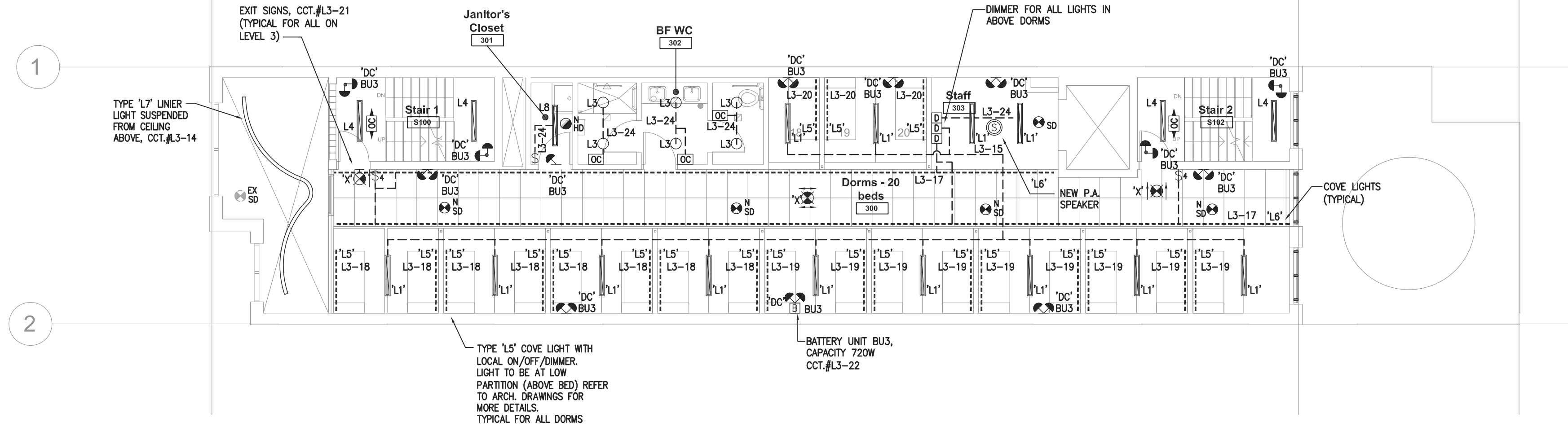
18 197188 BLD 00

FOR EXIT SIGNS AND  
 EMERGENCY LIGHTING ONLY

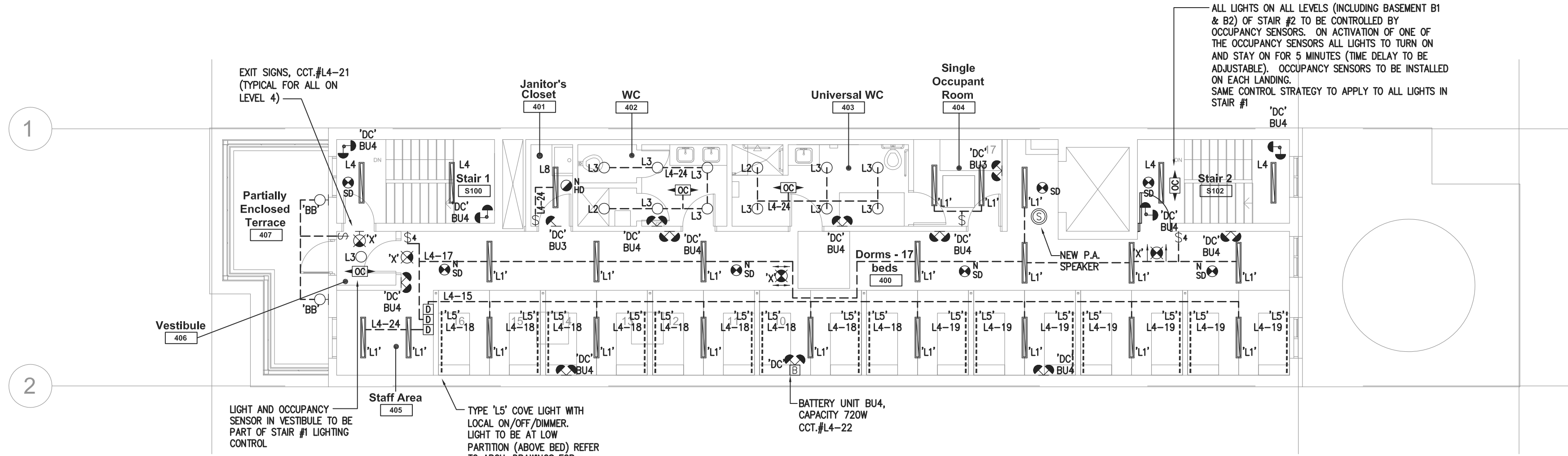
ZONING	O.B.C.	Johnson, David	27/Jul/2018
FIRE SERVICES	Johnson, David	27/Jul/2018	
O.B.C. (S)			



1 LEVEL 2 - LIGHTING NEW LAYOUT  
 E-9 SCALE: 1:100



2 LEVEL 3 - LIGHTING NEW LAYOUT  
 E-9 SCALE: 1:100



3 LEVEL 4 - LIGHTING NEW LAYOUT  
 E-9 SCALE: 1:100



Emergency lights shall be provided along paths of egress as per 3.2.7. or 9.9.12.  
 Emergency lighting shall always be maintained to an average level of illumination of at least 10 lx at floor level.



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 (i) E001 emergency exit left;  
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 (iii) E005 90-degree directional arrow;  
 (iv) E006 45-degree directional arrow.

Exit Signs are to be reviewed on site to ensure they are visible along all paths of egress/exits as obstructions by ducts, pipes, etc. may not be obvious on plans. Add, relocate and adjust signs and emergency lighting as required to achieve their intended performance objective. Typical

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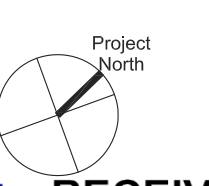
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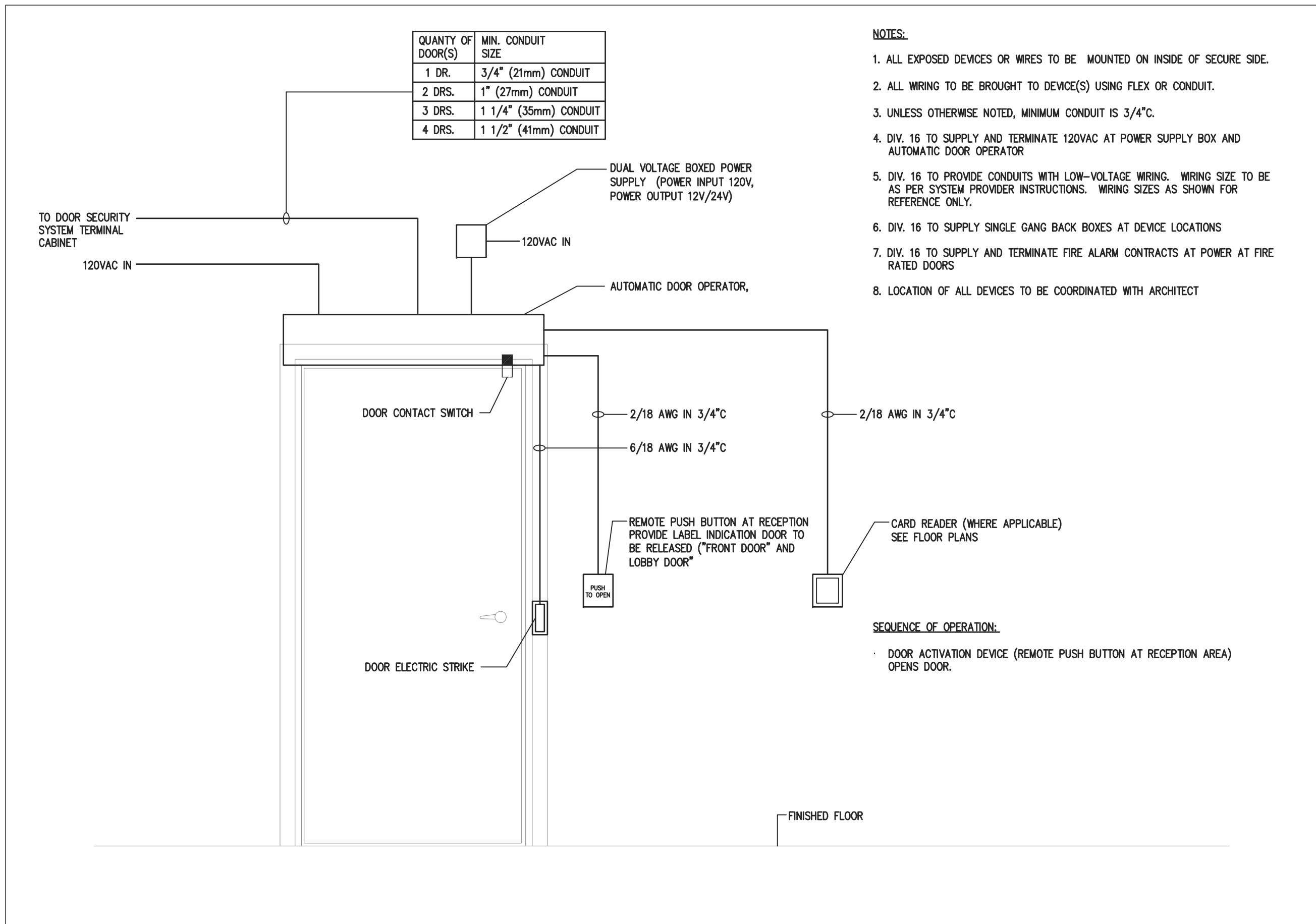
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PROJECT CODE:	SCALE:
18 22	As indicated
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16 July 2018	Permit / Tender

Level 2, 3 & 4  
 Lighting New Layout

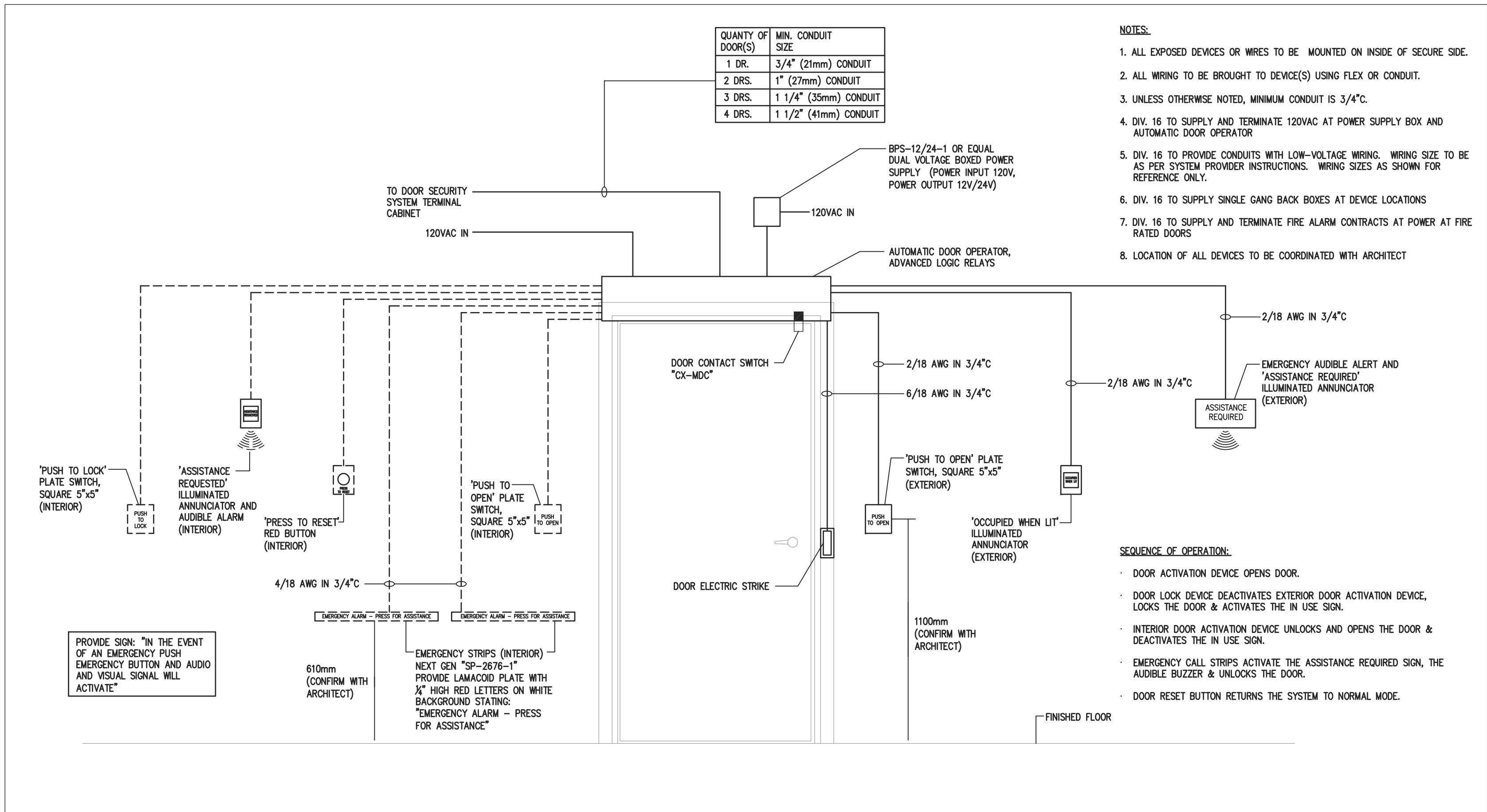


E-9

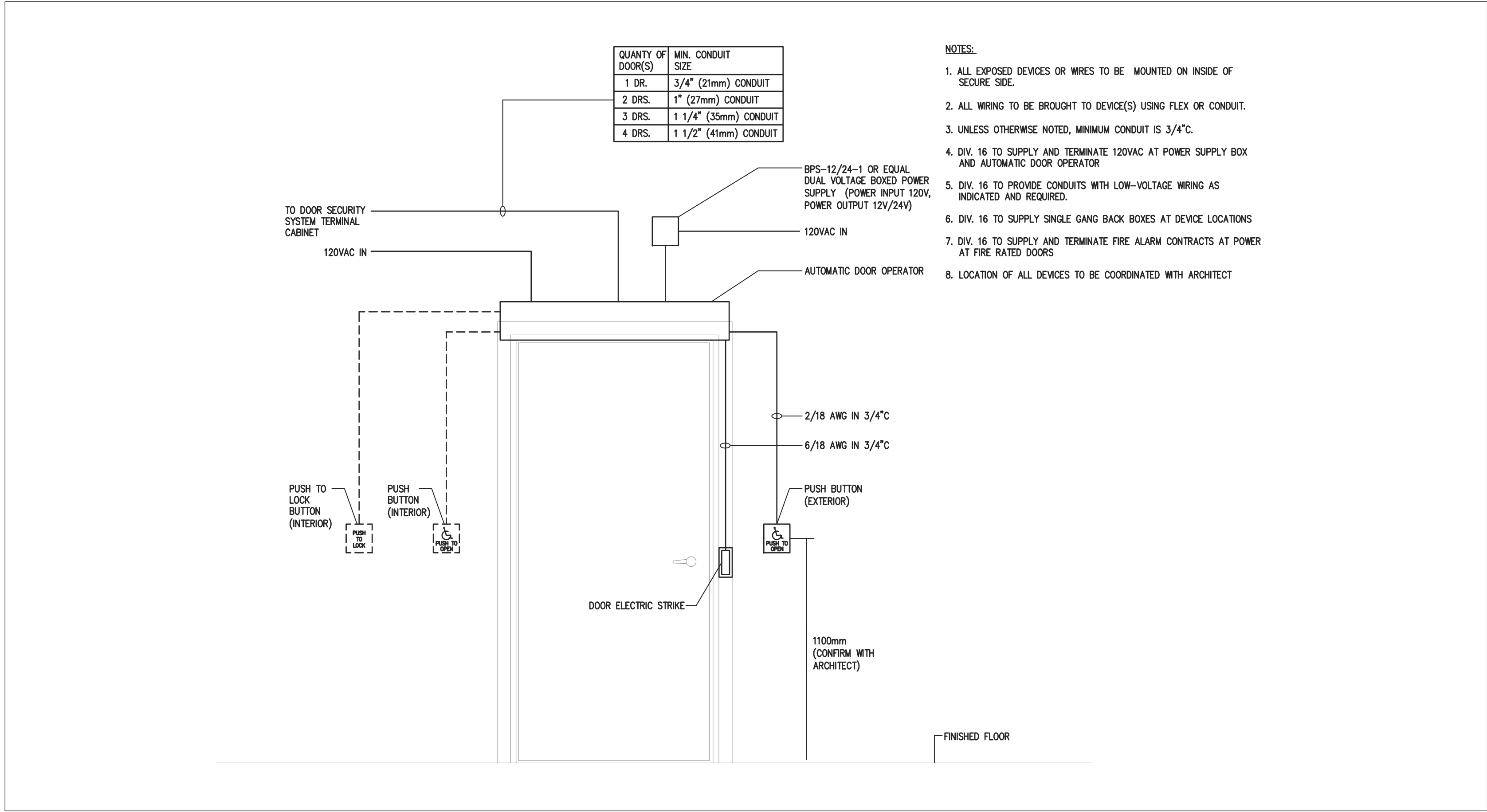


1 SECURITY DOOR DETAIL  
E-10 SCALE: N.T.S.

Electromagnetic locking devices not part of this permit. Separate permit required.  
All doors in means of egress to be readily openable in travelling to an exit without requiring specialized knowledge, keys or special devices.



2 UNIVERSAL WASHROOM DOOR DETAIL  
E-10 SCALE: N.T.S.



3 BARRIER FREE WASHROOM DOOR DETAIL  
E-10 SCALE: N.T.S.

Rev	Description	Date
1	Final Review	16 July '18
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**Toronto Building**  
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PROFESSIONAL ENGINEER  
A. PROTNIK  
PROVINCE OF ONTARIO

SR# PROJECT #: 2018-1039

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PROJECT CODE:	SCALE:
18 22	N.T.S.
DATE:	STATUS:
16 July 2018	Permit / Tender

PANEL L1 120/208V,3PH,4W		TYPE: BOLT-ON MANS: 125 AMPS MOUNTING: RECESSED		LOCATION: LEVEL 1		
LOAD	DESCRIPTION	BREAKER	CIRCUITS	BREAKER	DESCRIPTION	LOAD
--	SPARE	15A	1	2	15A	SPARE
--	RECEPTS, RECEPTION	15A	3	4	15A	DOOR OPERATOR
--	CONVENIENCE RECEPTS	15A	5	6	15A	ADULT TABLE, UNIVERSAL WC
--	GFI RECEPT, UNIVERSAL WC	20A	7	8	20A	GFI, POTABLE HEATING TRAY
--	GFI RECEPT, B.F. WC	20A	9	10	15A	RECEPTS, COMMUNITY ROOM
--	RECEPTS, OFFICE	15A	11	12	20A	GFI RECEPT, CONSULTING ROOM
--	RECEPTS, PROGRAM ROOM	15A	13	14	15A	RECEPT, CONSULTING ROOM
--	SPARE		15	16	15A	RECEPT, LOADING AND RECEIVING
--	GFI, COFFEE MAKER	20A	17	18	20A	GFI, TOASTER
--	MICROWAVE	20A	19	20	15A	FRIDGE
--	EXIT SIGNS	15A	21	22	15A	BATTERY UNIT BU1
--	LIGHTS	20A	23	24	20A	LIGHTS
--	LIGHTS	20A	25	26	20A	LIGHTS
--	MOTORIZED SHUTTER	15A	27	28	15A	EXTERIOR LIGHTS
--	SPACE	--	29	30	15A	DOOR CONTROLS
1KW	HAND DRYER	20A	31	32	20A	HAND DRYER
--	WASHER	15A	33	34	15A	SANITIZER UNIT
--	WASHER	15A	35	36	30A	DRYER
--	WASHER	15A	37	38	2P	DRYER
DRYER		30A	39	40	30A	DRYER
		2P	41	42	2P	DRYER
	RECEPT, HEATER IN LOADING AREA	20A	43	44	20A	RECEPT, HEATER IN LOADING AREA
	ERV-1	20A	45	46	15A	DRYER BOOSTER FAN EF-2
	MECHANICAL CONTROLS	15A	47	48	15A	WATER FOUNTAIN
	PLUMBING	15A	49	50	30A	ELECTRIC DUCT HEATER EC-1
	SPARE	15A	51	52	2P	
	SPARE	15A	53	54	15A	SPARE
	SPARE	15A	55	56	15A	SPARE
	SPARE	15A	57	58	15A	SPARE
	SPARE	15A	59	60	15A	SPARE

NOTE: PROVIDE TEMPER-PROOF LOCKABLE PANEL DOORS

PANEL L2 120/208V,3PH,4W		TYPE: BOLT-ON MANS: 125 AMPS MOUNTING: RECESSED		LOCATION: LEVEL 2		
LOAD	DESCRIPTION	BREAKER	CIRCUITS	BREAKER	DESCRIPTION	LOAD
--	RECEPTS, DORMS	15A	1	2	15A	RECEPTS, DORMS
--	RECEPTS, DORMS	15A	3	4	15A	DOOR OPERATOR
--	CONVENIENCE RECEPTS	15A	5	6	15A	RECEPTS, STAFF ROOM
--	RECEPTS, DORMS	20A	7	8	15A	RECEPTS, STAFF ROOM
--	GFI RECEPT, B.F. WC	20A	9	10	15A	RECEPTS, DORMS
--	SPARE	15A	11	12	12A	DOOR OPERATOR
--	GFI RECEPT, JANITOR'S ROOM	20A	13	14	15A	SPARE
--	LIGHTS	20A	15	16	15A	HAND DRYER
--	LIGHTS	20A	17	18	20A	LIGHTS
--	LIGHTS	20A	19	20	20A	LIGHTS
--	EXIT SIGNS	15A	21	22	15A	BATTERY UNIT BU2
5KW	DHW-H-2	20A	23	24	20A	LIGHTS
		3P	25	26	15A	SPARE
			27	28	15A	SPARE
--	SPACE	--	29	30	15A	SPARE
--	SPACE	--	31	32	15A	PLUMBING
--	SPACE	--	33	34	15A	SPARE
--	SPACE	--	35	36	15A	SPARE
--	SPACE	--	37	38	15A	SPARE
--	SPACE	--	39	40	15A	SPARE
--	SPACE	--	41	42	15A	SPARE

NOTE: PROVIDE TEMPER-PROOF LOCKABLE PANEL DOORS

PANEL L3 120/208V,3PH,4W		TYPE: BOLT-ON MANS: 125 AMPS MOUNTING: RECESSED		LOCATION: LEVEL 3		
LOAD	DESCRIPTION	BREAKER	CIRCUITS	BREAKER	DESCRIPTION	LOAD
--	RECEPTS, DORMS	15A	1	2	15A	RECEPTS, DORMS
--	RECEPTS, DORMS	15A	3	4	15A	DOOR OPERATOR
--	CONVENIENCE RECEPTS	15A	5	6	15A	RECEPTS, STAFF ROOM
--	RECEPTS, DORMS	20A	7	8	15A	RECEPTS, STAFF ROOM
--	GFI RECEPT, B.F. WC	20A	9	10	15A	RECEPTS, DORMS
--	SPARE	15A	11	12	12A	DOOR OPERATOR
--	GFI RECEPT, JANITOR'S ROOM	20A	13	14	15A	LOBBY LIGHT
--	LIGHTS	20A	15	16	15A	HAND DRYER
--	LIGHTS	20A	17	18	20A	LIGHTS
--	LIGHTS	20A	19	20	20A	LIGHTS
--	EXIT SIGNS	15A	21	22	15A	BATTERY UNIT BU3
5KW	DHW-H-2	20A	23	24	20A	LIGHTS
		3P	25	26	15A	SPARE
			27	28	15A	SPARE
--	SPACE	--	29	30	15A	SPARE
--	SPACE	--	31	32	15A	PLUMBING
--	SPACE	--	33	34	15A	SPARE
--	SPACE	--	35	36	15A	SPARE
--	SPACE	--	37	38	15A	SPARE
--	SPACE	--	39	40	15A	SPARE
--	SPACE	--	41	42	15A	SPARE

NOTE: PROVIDE TEMPER-PROOF LOCKABLE PANEL DOORS


PANEL L4 120/208V,3PH,4W		TYPE: BOLT-ON MANS: 125 AMPS MOUNTING: RECESSED		LOCATION: LEVEL 4		
LOAD	DESCRIPTION	BREAKER	CIRCUITS	BREAKER	DESCRIPTION	LOAD
--	RECEPTS, DORMS	15A	1	2	15A	RECEPTS, DORMS
--	RECEPTS, DORMS	15A	3	4	15A	DOOR OPERATOR
--	CONVENIENCE RECEPTS	15A	5	6	15A	RECEPTS, STAFF ROOM
--	RECEPTS, DORMS	20A	7	8	15A	RECEPTS, STAFF ROOM
--	GFI RECEPT, WC	20A	9	10	15A	RECEPTS, DORMS
--	SPARE	15A	11	12	12A	DOOR OPERATOR
--	GFI RECEPT, JANITOR'S ROOM	20A	13	14	15A	SPARE
--	LIGHTS	20A	15	16	15A	HAND DRYER
--	LIGHTS	20A	17	18	20A	LIGHTS
--	LIGHTS	20A	19	20	20A	LIGHTS
--	EXIT SIGNS	15A	21	22	15A	BATTERY UNIT BU4
1KW	HAND DRYER	15A	23	24	20A	LIGHTS
--	ADULT TABLE, UNIVERSAL WC	15A	25	26	15A	GFI RECEPT, UNIVERSAL WC
--	RECEPTS, SINGLE OCCUPANT ROOM	15A	27	28	15A	OUTDOOR CONDENSING UNIT CC-1
--	OUTDOOR RECEPT, GFI, WP	20A	29	30	1P	OUTDOOR CONDENSING UNIT CC-1
--	EXHAUST FAN EF-1	15A	31	32	15A	PLUMBING
--	GFI, WP OUTDOOR RECEPT. ON ROOF	20A	33	34	20A	NEW BASEBOARD HEATERS
--	SPACE	--	35	36	1P	NEW BASEBOARD HEATERS
--	SPACE	--	37	38	15A	SPARE
--	SPACE	--	39	40	15A	SPARE
--	SPACE	--	41	42	15A	SPARE

NOTE: PROVIDE TEMPER-PROOF LOCKABLE PANEL DOORS

LUMINAIRE SCHEDULE	
TYPE 'L1'	RECESSED LINEAR LIGHT (4FT LONG), LED, KOLIKA-L3KOL STANPRO, FOR CEILING TYPE REFER TO ARCH. DRAWINGS. FINISH: WHITE LAMP: LED, 3500K, 4000LM/4FT, VOLTAGE: 120V, DIMMING DRIVER 0-10VDC. LENS: FLUSH SINK, SYMMETRIC MANUFACTURER: STANPRO KOLIKA, CAT#L3KOL-4LS4D OR APPROVED EQUAL
TYPE 'L2'	SAME AS TYPE L3 BUT WATERPROOF
TYPE 'L3'	150mm (6") DIAMETER RECESSED COMPACT LED DOWNLIGHT, FRAME TO SUIT CEILING TYPE (REFER TO ARCH. DRAWINGS), WHITE TRIM RING. FINISH: WHITE LAMP: LED, 3500K, 1800LM, CLEAR LENS VOLTAGE: 120V, DIMMING 0-10V MANUFACTURER: STANPRO, CR6 SERIES OR APPROVED EQUAL CAT# CR61880-WWW/35K-W-L
TYPE 'L4'	SURFACE MOUNTED LINER STRIP, LED, DAY-BRITE BY PHILIPS. FINISH: WHITE LAMP: LED, 4000K, 3000LM/4FT, 23W VOLTAGE: 120V, DIMMING DRIVER 0-10V. MANUFACTURER: PHILIPS CAT#F4FR3035UDZT OR APPROVED EQUAL
TYPE 'L4A'	SAME AS TYPE 'L4' BUT SUSPENDED. PROVIDE AIRCRAFT CABLE KIT WITH. INSTALLATION HEIGHT AS PER ARCHITECT.
TYPE 'L5'	LED SLIM STRIP WITH LENS LED, L2SS5 STANPRO, OVERALL FIXTURE LENGTH 6FT, PROVIDE DIMMER/ON/OFF SWITCH FOR EACH 6FT LONG FIXTURE. FOR INSTALLATION DETAILS TYPE REFER TO ARCH. DRAWINGS. FINISH: WHITE LAMP: LED, 3500K, 3900LM/4FT, 30W VOLTAGE: 120V, DIMMING DRIVER 0-10V. MANUFACTURER: STANPRO CAT#L2SS5-48LS1-W/35K OR APPROVED EQUAL
TYPE 'L6'	LINEAR COVE LIGHT, EW COVE QLX POWERCORE, 12IN (305MM), WIDE BEAM ANGLE, HIGH OUTPUT LINEAR LED COVE LIGHT WITH POLYCARBONATE LENS. LENGTH: TO SUIT COVE LENGTH - REFER TO ARCHITECTURAL DRAWING LUMENS: 235 LUMENS, 3500K POWER: 120V, 6W MAX. MANUFACTURER: PHILIPS LIGHTING CAT# EW COVE QLX POWER CORE SERIES OR APPROVED EQUAL
TYPE 'L7'	CUSTOM SUPER=G MODULE SYSTEM LIGHT FIXTURE BY ZANEEN, SURFACE MOUNTED SHAPE AND LENGTH TO MATCH SHAPE AND LENGTH ASSHOWN ON ARCHITECTURAL DRAWING. PROVIDE ALL COMPONENTS TO ACHIEVE REQUIRED SHAPE, INCLUDE MOUNTING KIT FINISH: AS PER ARCHITECT LAMP: LED, 4000K, 0-10V DIMMING POWER: 120V, MANUFACTURER: ZANEEN SUPER=G MODULE SYSTEM OR APPROVED EQUAL
TYPE 'L8'	RECESSED 1FT X 4FT, LED, L3TSB STANPRO, FOR CEILING TYPE REFER TO ARCH. DRAWINGS. FINISH: WHITE LAMP: LED, 3500K, 4880LM/4FT, 42W VOLTAGE: 120V, DIMMING DRIVER 0-10V. LENS: PRISMATIC ACRYLIC MANUFACTURER: STANPRO CAT#L3TSB-1-LS2A-A/35K OR APPROVED EQUAL
TYPE 'AA'	OUTDOOR CUT-OFF WALL PACK, LED, WP2-L STANPRO, WITH BUILT-IN PHOTOCELL FINISH: BRONZE LAMP: LED, 4000K, 4772LM, 59W VOLTAGE: 120V MANUFACTURER: STANPRO CAT#WP2-LS23-W/40K OR APPROVED EQUAL
TYPE 'BB'	OUTDOOR WALL PACK, LED, BUA-L STANPRO, FINISH: BRONZE LAMP: LED, 4000K, 1674LM, 20W VOLTAGE: 120V MANUFACTURER: STANPRO CAT#BUA-LS1C-W/F OR APPROVED EQUAL
COORDINATE ORDERING AND DELIVERY WITH CONSTRUCTION SCHEDULE DUE TO LONG LEAD DELIVERY TIME ON ANY OF FIXTURES	


OCCUPANCY SENSOR SCHEDULE	
CC	FLUSH WALL MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR SWITCH: - AUTO-ON WITH MANUAL OFF SWITCH. - FITS A STANDARD SWITCH BOX WITH DECORA COVER PLATE. - ADJUSTABLE TIME DELAY BETWEEN 30 SECONDS AND 30 MINUTES. - ADJUSTABLE INTEGRATED NATURAL LIGHT LEVEL SENSOR BETWEEN 2 AND 200 FOOT CANDLES. - 5 YEAR WARRANTY. WATT-STOPPER CAT# DW-100-120-1.
CC	SURFACE CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR, ROOM SENSORS. - UP TO 1000 SQ.FT. COVERAGE. - SENSITIVITY ADJUSTMENT. - ADJUSTABLE TIME DELAY BETWEEN 1 SECONDS TO 30 MINUTES. - 5 YEAR WARRANTY. ARROWS INDICATE ORIENTATION OF TRANSMITTERS. WATT-STOPPER CAT# LMDG-100 SERIES.
NOTES: 1. ADJUST SENSITIVITY OF SENSORS TO SUIT ROOM SIZE AND CONFIGURATION TO PREVENT SENSORS FROM "SEEING" OUTSIDE THE ROOM. 2. ADJUST LIGHT LEVEL SENSORS TO 65 FOOT CANDLES. 3. ADJUST TIME DELAY TO 30 MINUTES. 4. ALLOW IN CONTRACT LABOUR TO ADJUST SENSORS A SECOND TIME TO OWNER'S DIRECTIVES. 5. PROVIDE MINIMUM TWO TIMES SETTING BY WATTS-STOPPER REPRESENTATIVE. 6. COORDINATE WITH WATTS-STOPPER AND ALLOW IN CONTRACTOR TO HIRE WATTS-STOPPER REPRESENTATIVE FOR SETTING, PROGRAM, TRAINING OWNER STAFF, ETC., TO INSURE WATTS-STOPPER CONTROL SYSTEM IN GOOD OPERATIONAL CONDITION.	

Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18

  
PERMIT REVIEWED FOR COMPLIANCE WITH THE ONTARIO BUILDING CODE  
18 197188 BLD 00

ZONING		
O.B.C.		
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PROJECT CODE:	SCALE:
18 22	N.T.S.
DATE:	STATUS:
16 July 2018	Permit / Tender

# ELECTRICAL SPECIFICATION

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## GENERAL ELECTRICAL CONDITIONS – SECTION 16050

- COMPLY WITH GENERAL CONDITIONS OF THE CONTRACT AND DIVISION 15, MECHANICAL SPECIFICATIONS. DIVISION 15 SHALL BE THE PRIME CONTRACTOR.
- THIS SECTION APPLIES TO ALL SECTIONS OF DIVISION 16.
- PROVIDE EACH ITEM MENTIONED OR INDICATED OF QUALITY AND SUBJECT TO QUALIFICATIONS NOTED; PERFORM ACCORDING TO CONDITIONS STATED EACH OPERATION PREScribed; AND PROVIDE THEREOF ALL LABOUR, MATERIAL, EQUIPMENT, INCIDENTALS AND SERVICES REQUIRED TO COMPLETE THE INSTALLATION.
- WORK BY OTHER DIVISIONS
  - PAINTING OF EXPOSED CONDUITS, DUCTS AND UNFINISHED ELECTRICAL EQUIPMENT: UNDER DIVISION 15.
  - CONCRETE WORK – UNDER DIVISION 16.
  - CUTTING AND PATCHING WILL BE BY DIVISION 16. PATCHING SHALL BE OF SAME MATERIAL AS SURROUNDING AREA AND SHALL BE PAINTED OR FINISHED TO MATCH EXISTING.
- MAKE A SET OF WHITE PRINTS AND AS THE JOB PROGRESSES, MARK ON CHANGES MADE THROUGH ANY APPROVED CHANGE ORDER AS WELL AS THE LOCATION OF FEEDERS, CONDUIT RUNS, JUNCTION BOXES, AND ALL CHANGES IN CIRCUITING, LOCATION OF EQUIPMENT, RUNS OF CONDUITS, WIRING, ETC. FROM THAT ORIGINALLY SHOWN, SO THAT ON THE COMPLETION OF THE JOB THE RECORD DRAWINGS WILL SHOW THE EXACT LOCATION AS ACTUALLY INSTALLED. RECORD DRAWINGS SHALL BE KEPT AT THE SITE AND SHALL BE BROUGHT UP TO DATE AS THE WORK PROGRESSES. SUBMIT COMPLETED RECORD DRAWINGS BEFORE FINAL CERTIFICATE OF JOB ACCEPTANCE IS ISSUED.
- THE FOLLOWING DOCUMENTS SHALL BE SUBMITTED TO THE CONSULTANT ON THE COMPLETION OF THE PROJECT AS DESCRIBED ABOVE:
  - ELECTRICAL INSPECTION CERTIFICATE
  - AS\_BUILT DRAWINGS
  - DATA BOOKS
  - GUARANTEE
  - OTHER CERTIFICATES SPECIFIED.
- ALL MATERIAL SHALL BE STORED NEATLY AND OUT OF THE WAY. CLEAN UP DAILY ALL REFUSE CAUSED BY WORK.
- BIND WITHIN A HARD COVERED, LOOSE LEAF BINDER. A COMPLETE SET OF MANUFACTURER'S OPERATING AND MAINTENANCE INSTRUCTIONS SHOWING ALL MAJOR ELECTRICAL EQUIPMENT AND SYSTEMS INCLUDE SHOP DRAWINGS AND DETAIL DRAWINGS. INSTRUCTIONS SHALL BE COMPLETE FOR INSTALLATION, OPERATION AND MAINTENANCE. SPARE PART SUPPLIERS, LISTS AND ADDRESSES SHALL BE INCLUDED. MAKE ANY ADDITIONS AND/OR CORRECTIONS REQUIRED BY THE CONSULTANT AND SUBMIT TWO CORRECT COPIES TO THE CONSULTANT. INSTRUCTIONS SHALL BE REVIEWED WITH THE OPERATING PERSONNEL TO ENSURE A THOROUGH UNDERSTANDING OF THE EQUIPMENT AND ITS OPERATION.
- EXAMINE THE SITE, EXISTING EQUIPMENT AND THE LOCAL CONDITIONS AFFECTING THE WORK UNDER THIS CONTRACT. NO ALLOWANCE WILL BE MADE SUBSEQUENTLY FOR ANY OBVIOUS CONSIDERATIONS OVERLOOKED.
- AFTER THE WORK IS COMPLETE BUT BEFORE FINAL PAYMENT, GIVE THE OWNER A WRITTEN GUARANTEE THAT YOU WILL, AT NO CHARGE TO THE OWNER, REPLACE OR REPAIR ANY DEFECTS IN WORKMANSHIP AND MATERIALS NOT DUE, IN THE OPINION OF THE ARCHITECT TO MISUSE OR NEGLECT. GUARANTEE SHALL COVER A PERIOD OF 12 MONTHS FROM THE DATE OF ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS GUARANTEE SHALL IN NO WAY SUPPLANT ANY OTHER GUARANTEE OR GUARANTEES OF LONGER PERIOD, BUT SHALL BE BINDING ON ALL OTHER WORK NOT OTHERWISE COVERED.
- ALL WORK SHALL COMPLY STRICTLY TO THE REQUIREMENTS OF THE LATEST EDITIONS OF THE CANADIAN ELECTRICAL CSA CODE AS ADOPTED AND AMENDED BY PROVINCIAL REGULATIONS AND THE BUILDING CODE. THESE CODES AND ANY ADDITIONAL REQUIREMENTS OF THE POWER UTILITY SHALL FORM AN INTEGRAL PART OF THIS SPECIFICATION. WHERE DRAWINGS CALL FOR EQUIPMENT, WIRING OR OTHER REQUIREMENTS EXCEEDING THE MINIMUM REQUIREMENTS OF THE CODE, THE DRAWINGS SHALL BE FOLLOWED.
- BEFORE STARTING ANY WORK, SUBMIT THE REQUIRED NUMBER OF COPIES OF THE ELECTRICAL DRAWINGS TO THE POWER AUTHORITY AND ELECTRICAL INSPECTION DEPARTMENT REGIONAL OFFICE, FOR THEIR APPROVAL AND COMMENTS.
- PAY ALL FEES FOR EXAMINATION OF DRAWINGS AND OBTAIN ALL PERMITS REQUIRED AND PAY ALL PERMIT AND INSPECTION FEES.
- ARRANGE FOR INSPECTION OF ALL WORK BY THE POWER AUTHORITY AND INSPECTION DEPARTMENT. ON COMPLETION OF THE WORK, PRESENT TO THE OWNER THE FINAL UNCONDITIONAL CERTIFICATE OF APPROVAL.
- ON AWARD OF CONTRACT, SUBMIT FOR REVIEW LIST OF DELIVERY DATES AND 7 COPIES OF SHOP DRAWINGS FOR ALL EQUIPMENT.
- ALL MATERIALS SHALL BE NEW AND FREE FROM DEFECTS, NOISE AND VIBRATION. ALL EQUIPMENT SHALL BE CSA APPROVED.
- SCHEDULE AND COORDINATE ALL WORK WITH OTHER TRADES. RELOCATE OR REPLACE CONDUIT OR EQUIPMENT WHICH INTERFERES WITH OTHER TRADES DUE TO LACK OF COORDINATION WITH OTHER TRADES.
- THE OWNER SHALL HAVE TEMPORARY USE OF INSTALLATION PRIOR TO FINAL ACCEPTANCE.
- ALL CLAIMS FOR EXTRAS SHALL BE SUPPORTED BY WRITTEN AUTHORIZATION AND SHALL BE SUBMITTED WITH ITEMIZED MATERIAL AND LABOUR COSTS BREAKDOWNS. THE FORMAT OF THE BREAKDOWN SHALL FOLLOW THAT OF THE CHANGE DOCUMENT (I.E. THAT OF THE NOTICE OF CHANGE, SITE INSTRUCTION, CHANGE DIRECTIVE, ETC.). MATERIALS SHALL BE PRICED AT COST INCLUDING ANY DISCOUNT. LABOUR UNITS SHALL BE BASED ON CECA AND NECA LABOUR UNIT TABLES SUITABLE FOR THE TYPE OF WORK INVOLVED. THERE SHALL BE NO EXTRA CLAIM FOR RELOCATION OF ANY EQUIPMENT WITHIN 10 FEET (3M) FROM THE ORIGINAL LOCATION, PROVIDED THAT THE CHANGE IS MADE BEFORE INSTALLATION.
- ALL ELECTRICAL EQUIPMENT MOUNTED AND CONNECTED BY THIS CONTRACTOR, WHETHER SUPPLIED BY HIM OR NOT, SHALL BE IDENTIFIED BY MEANS OF PLASTIC NAMEPLATES.
- WIRING
  - ALL WIRING SHALL BE CONCEALED EXCEPT IN UNFINISHED AREAS AND IN AREAS NOTED WHERE WIRING MAY BE INSTALLED IN SURFACE CONDUITS.
  - RIGID STEEL CONDUITS SHALL BE USED IN:
    - ALL EXPOSED WIRING SUBJECT TO MECHANICAL DAMAGE,
    - ALL AREAS REQUIRED BY CODE.
  - EMT CONDUITS MAY BE USED WHERE PERMITTED BY CODE:
    - EXPOSED WIRING,
    - IN FURRED WALLS.
  - ARMoured FLEXIBLE CABLE TYPE AC90 (BX CABLE) MAY BE USED AS DROP CABLE FROM JUNCTION BOX TO LIGHT FIXTURES, RECEPTACLES AND MOTORS IF RUN IN HOLLOW PARTITIONS OR IN DRY ACCESSIBLE CEILING SPACES. MAXIMUM LENGTH 20FT.
  - FLEXIBLE CONDUIT SHALL BE USED FOR FINAL SHORT CONNECTIONS BETWEEN OUTLET AND ELECTRICAL EQUIPMENT SUCH AS RECESSED FIXTURES, MOTORS, TRANSFORMERS, MOTORIZED EQUIPMENT AND FIXED APPLIANCES. FLEXIBLE CONDUIT IN MECHANICAL ROOMS AND ON THE EXTERIOR WALL SHALL BE PVC JACKETED, LIQUID TIGHT.
  - HOME RUNS OF WIRING TO PANELS SHALL BE IN CONDUITS.
- ALL LOW VOLTAGE AND MULTI CONDUCTOR CABLES SHALL BE INSTALLED IN CONDUIT.
- ALL CONDUCTORS SHALL BE COPPER 600 VOLT GRADE WITH INSULATION TYPE RW90. MINIMUM CONDUCTOR SIZE SHALL BE #12 AWG AND COLOUR CODED. WIRE CONNECTIONS SHALL BE MADE WITH PRESSURE TYPE SOLDERLESS CONNECTORS WITH VINYL INSULATING CAPS AND LOCKING RINGS.
  - MAXIMUM LENGTH FOR 15 AMP, 120/208 VOLT BRANCH CIRCUIT HOME RUNS SHALL BE AS FOLLOWS:

LOAD	#12 AWG	#10 AWG
RECEPTACLE 65 FT (20M)		OVER 65 FT (20M)
LIGHTING 90 FT (27M)		OVER 90 FT (27M)
- UNLESS OTHERWISE NOTED ON THE ARCHITECTURAL AND ELECTRICAL DRAWINGS, MOUNTING HEIGHTS OF EQUIPMENT ABOVE FINISHED FLOOR FROM CENTRE LINE OF THE MOUNTING BOX SHALL BE AS FOLLOWS:
  - TOP OF PANEL BOARD – 78" (1980MM)
  - LIGHT SWITCH – 47" (1200MM)
  - MOTOR STARTER/THERMOSTAT – SAME AS LIGHT SWITCH
  - RECEPTACLE, TELEPHONE, DATA, ETC. – 18" (460MM)
  - RECEPTACLES IN MECHANICAL ROOMS AND OTHER UNFINISHED AREAS – 47" (1200MM)
- IF NUMBER OF CONDUCTORS IN ANY ONE CONDUIT EXCEEDS 6 LINE CONDUCTORS, CONDUCTOR SIZE SHALL BE INCREASED TO ALLOW FOR DERATING AS REQUIRED BY CODE.
- MECHANICAL TRADE WILL SUPPLY ALL STARTERS, CONTROL TRANSFORMERS AND CONTROLS FOR EQUIPMENT SUPPLIED BY THEM AND WILL MOUNT ALL THESE, EXCEPT FOR WALL MOUNTED STARTERS AND WALL MOUNTED LINE VOLTAGE CONTROLS, WHICH SHALL BE MOUNTED BY ELECTRICAL TRADE. ELECTRICAL TRADE SHALL DO ALL POWER WIRING, WHICH IS WIRING THAT CARRIES THE LOAD CURRENT OF THE MOTOR, HEATER, HOT WATER TANK OR OTHER EQUIPMENT SUPPLIED BY MECHANICAL TRADE. MECHANICAL TRADE WILL DO ALL OTHER RELATED WIRING.
- ALL CONDUITS AND OUTLET BOXES SHALL BE SUPPORTED FROM THE BUILDING SURFACES AND SHALL NOT BE SUPPORTED FROM OTHER CONDUITS, DUCTS OR PIPES.
- PROVIDE FIRE STOPS. FIRE STOPS SHALL SEAL OFF ALL FIRE RATED WALLS AND CEILINGS. FIRE STOPS SHALL BE CSA AND UL LISTED AND SHALL BE DESIGNED FOR APPLICATION REQUIRED TO MEET THE VARIOUS FIRE RATED SEPARATIONS. FIRE STOP SHALL BE HILT, TREMSTOP MANUFACTURED BY TREMO, 3M OR EQUAL.

## RACEWAY, ELECTRICAL DEVICES AND CONTROLS – SECTION 16100

- PROVIDE ALL MATERIAL, EQUIPMENT AND LABOUR REQUIRED FOR A COMPLETE AND ADEQUATE INSTALLATION OF ELECTRICAL MATERIALS AS SHOWN ON THE DRAWINGS AND AS DESCRIBED HEREIN.
- SWITCHES SHALL BE UNLESS OTHERWISE INDICATED, PASS & SEYMOUR, WHITE, DECORA TYPE AS FOLLOWS:
  - SPECIFICATION GRADE 15A 20A  
SINGLE POLE 120V 2601-W 2621-W  
3\_WAY 120V 2603-W 2623-W  
4\_WAY 120V 2604-W 2624-W
  - SWITCHES OF EQUAL QUALITY AS MANUFACTURED BY BRYANT, ARROW HART, LEVITON/HUBBLE.
- COVERPLATES FOR RECEPTACLES, LIGHT SWITCHES, TELEPHONE, DATA AND TV OUTLETS SHALL BE SMOOTH THERMOPLASTIC FROM THE SAME MANUFACTURER AS FOR WIRING DEVICES. COLOUR SHALL MATCH COLOUR OF WIRING DEVICES.
- OUTLET BOXES SHALL BE ELECTRO GALVANIZED AND MADE OF CODE GAUGE STEEL. WHERE MORE THAN ONE DEVICE IS SHOWN ON PLAN, A MULTI-GANG BOX SHALL BE USED. OFFSET OUTLET BOXES, SHOWN BACK TO BACK IN PARTITIONS, HORIZONTALLY TO MINIMIZE NOISE TRANSMISSION BETWEEN ADJACENT AREAS. OUTLET BOX FOR DEVICES MOUNTED SIDE BY SIDE OR ONE ABOVE THE OTHER SHALL BE SEPARATED BY A MINIMUM OF ONE INCH (25MM).

## SERVICES AND DISTRIBUTION – SECTION 16400

- PROVIDE ALL MATERIAL, EQUIPMENT AND LABOUR REQUIRED FOR A COMPLETE AND ADEQUATE DISTRIBUTION SYSTEM AS DESCRIBED HEREIN.
- POWER PANELS SHALL CONTAIN CIRCUIT BREAKERS OR FUSIBLE UNITS. FUSIBLE UNITS WILL NOT BE ACCEPTED IN LIEU OF BREAKERS AND VICE VERSA. PANELS SHALL BE AS MANUFACTURED BY SCHNEIDER, OUTLER-HAMMER OR SIEMENS.
- FUSIBLE UNITS SHALL HAVE QUICK-MAKE, QUICK-BREAK MECHANISM AND SHALL BE FRONT OPERATED. UNIT SHALL BE INDIVIDUALLY ENCLOSED WITH INSULATED END BARRIERS. FUSE CLIPS SHALL BE HIGH PRESSURE TYPE SUITABLE FOR AND COMPLETE HRC FUSES.
- CIRCUIT BREAKERS SHALL HAVE AMPACITY AND FRAME SIZE SHOWN ON THE DRAWINGS. BREAKERS SHALL HAVE DEFINITE OFF AND TRIP POSITIONS WITH PROVISIONS FOR PADLOCKING. BREAKERS SHALL BE BOLTED TO THE BUS. TWO AND THREE POLE BREAKERS SHALL HAVE COMMON TRIPS.
- UNLESS OTHERWISE NOTED, TWO AND THREE POLE MOULDED CASE CIRCUIT BREAKERS SHALL HAVE A MINIMUM INTERRUPTING CAPACITY OF 22KA RMS SYMMETRICAL, AND 10KA RMS SYMMETRICAL FOR SINGLE POLE.
- EACH FUSIBLE UNIT OR BREAKER SHALL HAVE A LAMACOD NAMEPLATE ATTACHED WITH CONTACT CEMENT OR SCREWS. NAMEPLATE SHALL CARRY NAME OF EQUIPMENT OR PANEL SERVED BY THE UNIT OR BREAKER.
- DISCONNECT SWITCHES SHALL BE TYPE A, HORSEPOWER RATED, 'SWITCHMATIC' BY FEDERAL PIONEER OR EQUAL BY SQUARE D, OUTLER-HAMMER, SIEMENS.
- FUSES SHALL BE HRC FORM 1. FUSES PROTECTING MOTORS OR TRANSFORMERS SHALL BE TIME DELAY TYPE.
- SUBMIT SHOP DRAWINGS FOR SWITCHBOARD, PANELS, TRANSFORMERS. SUBMIT SHORT CIRCUIT CALCULATIONS AT PANELS AND PROVIDE ALL REQUIRED ADJUSTMENT ON EQUIPMENT TO SUIT.

## SECTION 16450 – LIGHTING

- SUPPLY AND INSTALL ALL LIGHTING FIXTURES, LAMPS, AND ALL REQUIRED ACCESSORIES AS INDICATED ON THE DRAWINGS BY LETTER TYPE AND AS HERINAFTER SPECIFIED.
- SUBMIT SHOP DRAWINGS FOR EACH LIGHTING FIXTURE TYPE.
- REPLACE AND INSTALL WITHOUT EXTRA COST TO THE OWNER:
  - ALL DEFECTIVE OR NOISY BALLASTS OR DRIVERS FOR A PERIOD OF ONE YEAR
  - ANY INCANDESCENT OR LOW VOLTAGE LAMP WHICH FAILS WITHIN 30 DAYS OF TAKEOVER
  - ANY FLUORESCENT OR H.I.D. LAMP WHICH FAILS WITHIN 90 DAYS OF TAKEOVER.
  - LED LIGHTS WITHIN 90 DAYS
- INCANDESCENT LAMPS SHALL BE 130V STANDARD SERVICE TYPE AS MANUFACTURED BY G.E., PHILIPS, OR SYLVANIA, UNLESS OTHERWISE NOTED.
- COMPACT FLUORESCENT LAMPS SHALL BE 3500K TYPE OR AS SPECIFIED WITH CRI OF 82 AS MANUFACTURED BY G.E., PHILIPS OR SYLVANIA. BALLASTS FOR COMPACT FLUORESCENT LAMPS SHALL BE HIGH POWER FACTOR, ELECTRONIC.
- FLUORESCENT T\_8 LAMPS SHALL BE BL/PIN, RAPID START, 3500K WITH CRI OF 85, INITIAL LUMENS OF 3000 FOR F32 T\_8, AS MANUFACTURED BY G.E., PHILIPS, OSRAM, OR SYLVANIA, UNLESS OTHERWISE NOTED.
- BALLASTS FOR FLUORESCENT T\_8 LAMPS SHALL BE HIGH FREQUENCY ELECTRONIC, RAPID START WITH CLASS 'A' SOUND RATING, MINIMUM POWER FACTOR OF 95%, MAXIMUM TOTAL HARMONIC DISTORTION OF 15%, MINIMUM BALLAST FACTOR OF 85%, AND MAXIMUM CREST FACTOR OF 1.7. BALLASTS SHALL MEET ANSI/IEEE SPECIFICATION C62.41 FOR TRANSIENT AND SURGE IMMUNITY, AND FCC PART 18 SUBPART C FOR NON CONSUMER LIMITS FOR EM AND RFI EMISSION. BALLASTS SHALL BE MANUFACTURED TO CERTIFIED BALLAST MANUFACTURERS STANDARDS AND AS MANUFACTURED BY G.E./MOTOROLA, ADVANCE/E.B.T.I, MAGNETEK, FLUOTRONIC (347V ONLY) OR OSRAM.
- DRIVERS FOR LED LIGHTS TO BE DIMMABLE (0-10) WHERE DIMMING CONTROL IS SHOWN
- ALL LIGHTING FIXTURES, INCLUDING THOSE MOUNTED IN SUSPENDED CEILING, TO BE SUPPORTED FROM BUILDING STRUCTURE.
- COORDINATE THE INSTALLATION OF LIGHTING FIXTURE WITH ALL TRADES TO PROVIDE SPACING INTENDED.
- FIXTURES SHALL BE PROPERLY CLEANED AND LEFT CLEAN AND DUST\_FREE. ANY FIXTURE SHOWING MARKS OR SCRATCHES DUE TO HANDLING OR TOOL MARKS SHALL BE REPLACED

## WORKING IN EXISTING BUILDING AND CONTINUITY OF SERVICES – SECTION 16500

- MECHANICAL AND ELECTRICAL ALTERATIONS AND ADDITIONS ARE BEING MADE IN THE EXISTING AREAS AS NOTED ON MECHANICAL DRAWINGS AND SPECIFICATIONS.
- VISIT THE SITE AND EXAMINE THE EXISTING CONDITIONS AND ALL TENDERING DOCUMENTS, DRAWINGS AND SPECIFICATIONS. MAKE ALL NECESSARY ALLOWANCES IN TENDER PRICE FOR REMOVAL, RELOCATION, REROUTING, RECONNECTION OF EXISTING ELECTRICAL EQUIPMENT AND WIRING AS MAY BE NECESSARY FOR THE EXECUTION AND COMPLETION OF THIS PROJECT. NO ALLOWANCE WILL BE MADE LATER FOR ANY EXPENSE INCURRED BY THIS TRADE THROUGH FAILURE TO MAKE THIS EXAMINATION.
- REMOVE AND/OR RELOCATE AND REINSTALL ALL WIRING AND EQUIPMENT AS NECESSARY TO ACCOMMODATE MECHANICAL ALTERATIONS AND ADDITIONS INDICATED ON THE DRAWINGS. WIRING LOCATED IN AREAS BEING ALTERED OR DEMOLISHED, BUT FEEDING OUTLETS OR EQUIPMENT REQUIRED TO REMAIN IN SERVICE SHALL BE REROUTED AS REQUIRED TO MAINTAIN THE CONTINUITY OF THESE SERVICES.
- EXISTING ELECTRICAL EQUIPMENT REMOVED AND INDICATED FOR REUSE SHALL BE CLEANED BEFORE INSTALLATION. ALL UNUSED CONDUIT ENTRANCE OPENINGS SHALL BE SEALED, ALL DEFECTIVE COMPONENTS SHALL BE REPLACED BEFORE REINSTALLATION.
- ALL WIRING SHALL BE RUN CONCEALED WHERE POSSIBLE EXCEPT THAT CONDUITS IN UNFINISHED AREAS AND ON EXISTING WALLS AND CEILING MAY BE INSTALLED ON SURFACE.
- REWORK EXISTING POWER SERVICE AND DISTRIBUTION TO SUIT MECHANICAL EQUIPMENT REVISIONS. PROVIDE NEW POWER PANEL, SPLITTER AND FUSIBLE UNITS, ETC., AS REQUIRED.
- SUPPLY, INSTALL AND MAINTAIN ALL REQUIRED TEMPORARY WIRING TO OCCUPIED AREAS AT ALL TIMES. PROVIDE ADEQUATE PROTECTION TO EXISTING WIRING AND EQUIPMENT SERVING THE EXISTING AND NEW WORK AND PARTICULARLY WHERE WIRING AND ELECTRICAL EQUIPMENT HAVE BECOME EXPOSED TO MECHANICAL INJURY OR MOISTURE IN THE COURSE OF ALTERATIONS OR NEW WORK.
- POWER SHUTDOWN, IF REQUIRED, MUST BE COORDINATED WITH CLIENT'S REPRESENTATIVE.
- CERTAIN ITEMS ARE IDENTIFIED ON THE DRAWINGS AS EXISTING EQUIPMENT TO BE REMOVED. DISCONNECT SAID EQUIPMENT AND MAKE SAFE. OBSOLETE CONDUITS AND CABLES SHALL BE DISCONNECTED FROM THEIR SOURCE OF SUPPLY, CUT BACK TO A SUITABLE POINT.
- ALL UNUSED FUSED SWITCHES AND CIRCUIT BREAKERS SHALL BECOME SPARE. PROVIDE NEW, UP-DATED DIRECTORIES FOR PANELS.
- CERTAIN ITEMS ARE IDENTIFIED ON THE DRAWINGS AS EXISTING EQUIPMENT RELOCATED: DISCONNECT SAID EQUIPMENT FROM ITS PRESENT SOURCE AND AFTER RELOCATION, RECONNECT AND REINSTALL ALL ELECTRICAL COMPONENTS. PROVIDE NEW DISCONNECTS TO SUIT EQUIPMENT RATING.
- ALL EXISTING EQUIPMENT AND MATERIAL NOT REQUIRED IN THE FINAL INSTALLATION SHALL BE CAREFULLY REMOVED AT THE APPROPRIATE TIME AND SHALL BE DISPOSED OF EXCEPT STARTERS FOR MECHANICAL EQUIPMENT BEING HANDED BACK TO THE CLIENT.

## FIRE ALARM SYSTEM – SECTION 16720

- THE FIRE ALARM SYSTEM IS EXISTING.
  - NEW SMOKE DETECTOR, SPEAKERS, HORN/STROBE, PULL STATION AND ALL F.A DEVICES AND ACCESSORIES SHALL BE COMPATIBLE WITH THE EXISTING SYSTEM.
  - COMPLETE INSTALLATION SHALL COMPLY WITH THE REQUIREMENTS OF CAN/ULC-5524 "STANDARD FOR THE INSTALLATION OF FIRE ALARM SYSTEMS" AND SHALL BE VERIFIED TO CAN/ULC-5537 "STANDARD FOR THE VERIFICATION OF FIRE ALARM SYSTEMS". WHERE THE REQUIREMENTS OF THIS SECTION EXCEED THE MINIMUM REQUIREMENTS OF THE ULC STANDARD, THESE SPECIFICATIONS SHALL GOVERN.
    - WRING:
      - SEPARATION OF WIRING SHALL ADHERE TO SUGGESTED WIRING AND INSTALLATION GUIDE OF CAN/ULC-5524.
      - WRING SHALL BE SIZED IN ACCORDANCE WITH CLASS 2 REQUIREMENTS, BUT SHALL BE PROTECTED FROM MECHANICAL INJURY OR OTHER INJURIOUS CONDITIONS SUCH AS MOISTURE, EXCESSIVE HEAT OR CORROSIVE ACTION IN ACCORDANCE WITH CLASS 1 REQUIREMENTS. CONDUCTORS SHALL BE SOLID COPPER. THE MINIMUM SIZE OF ANY CONDUCTOR SHALL BE:
        - FOR ALARM RECEIVING CIRCUIT #18 AWG TWISTED SHIELDED PAIRS, IN NO CASE SHALL THE WIRE RESISTANCE IN THESE CIRCUITS EXCEED 50 OHMS.
        - FOR AUDIBLE SIGNAL CIRCUITS #14 AWG FOR 1 OR 2 CONDUCTORS IN A CABLE, #18 AWG FOR 3 OR 4 CONDUCTORS IN A CABLE. IN NO CASE SHALL THE VOLTAGE DROP TO ANY SIGNAL EXCEED 10%.
      - RATING OF CABLE SHALL BE 90 DEGREES C AND 300 VOLT MINIMUM.
    - WRING SHALL BE INSTALLED IN CONDUIT AND IN ANY CASE SHALL CONFORM TO THE SYSTEM MANUFACTURER'S RECOMMENDATIONS. ALL CONDUITS SHALL BE GROUNDED PER CLASS 1 WRING.
  - VERIFICATION AND CERTIFICATION OF EQUIPMENT:
    - THAT THE TYPE OF EQUIPMENT INSTALLED IS THAT DESIGNATED IN THE SPECIFICATIONS.
    - THAT THE WIRING CONNECTIONS TO ALL EQUIPMENT COMPONENTS SHOW THAT THE INSTALLER UNDERTOOK TO HAVE OBSERVED ULC AND CSA REQUIREMENTS.
  - THAT EQUIPMENT OF THE MANUFACTURER'S MANUFACTURE HAS BEEN INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS, AND THAT ALL SIGNALING DEVICES OF WHATEVER MANUFACTURE HAVE BEEN OPERATED OR TESTED TO VERIFY THEIR OPERATION.
  - THAT THE SUPERVISORY WIRING OF THOSE ITEMS OF EQUIPMENT CONNECTED TO A SUPERVISED CIRCUIT IS OPERATING AND THAT THE GOVERNMENTAL REGULATIONS, IF ANY, CONCERNING SUCH SUPERVISORY WIRING, HAVE BEEN MET TO THE SATISFACTION OF INSPECTING OFFICIALS.
  - THE MANUFACTURER SHALL SUPPLY REASONABLE AMOUNTS OF TECHNICAL ASSISTANCE WITH RESPECT TO ANY CHANGES NECESSARY TO CONFORM TO THE ABOVE. DURING THE PERIOD OF INSPECTION BY THE MANUFACTURER, MAKE AVAILABLE TO THE MANUFACTURER ELECTRICIANS AS DESIGNATED BY THE MANUFACTURER.
- OPEN FLAME AND SMOKE ARE NOT TO BE USED FOR TESTING.
  - COMPLETION OF THE INSPECTING AND WHEN ALL OF THE ABOVE CONDITIONS HAVE BEEN COMPLIED WITH, THE MANUFACTURER SHALL ISSUE TO THE CONSULTANT:
    - A COPY OF THE INSPECTING TECHNICIAN'S REPORT SHOWING LOCATION OF EACH DEVICE AND CERTIFYING THE TEST RESULTS OF EACH DEVICE.
    - A CERTIFICATE OF VERIFICATION CONFIRMING THAT THE INSPECTION HAS BEEN COMPLETE AND SHOWING THE CONDITIONS UPON WHICH SUCH INSPECTION AND CERTIFICATION HAVE BEEN RENDERED.
    - PROOF OF LIABILITY INSURANCE FOR THE INSPECTION.
  - ALL COSTS INVOLVED IN THIS INSPECTION SHALL BE INCLUDED IN THE TENDER PRICE.

Rev	Description	Date
1	Final Review	16 July '18
1	Issued for Permit & Tender	16 July '18

**Toronto Building**  
PERMIT REVIEWED FOR COMPLIANCE WITH  
THE ONTARIO BUILDING CODE

18 197188 BLD 00

ZONING  
O.B.C.  
FIRE SERVICE  
O.B.C. (S)  
**FOR REFERENCE ONLY**

SHARMA & PARTNERS INC.  
*Mechanical and Electrical Engineers*

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SPI PROJECT # : 2018-1039

**WORKSHOP**  
architecture

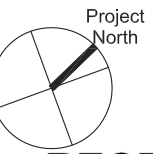
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Davenport Shelter

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PROJECT CODE:	SCALE:
18_22	N.T.S.
DATE:	STATUS:
16 July 2018	Permit / Tender

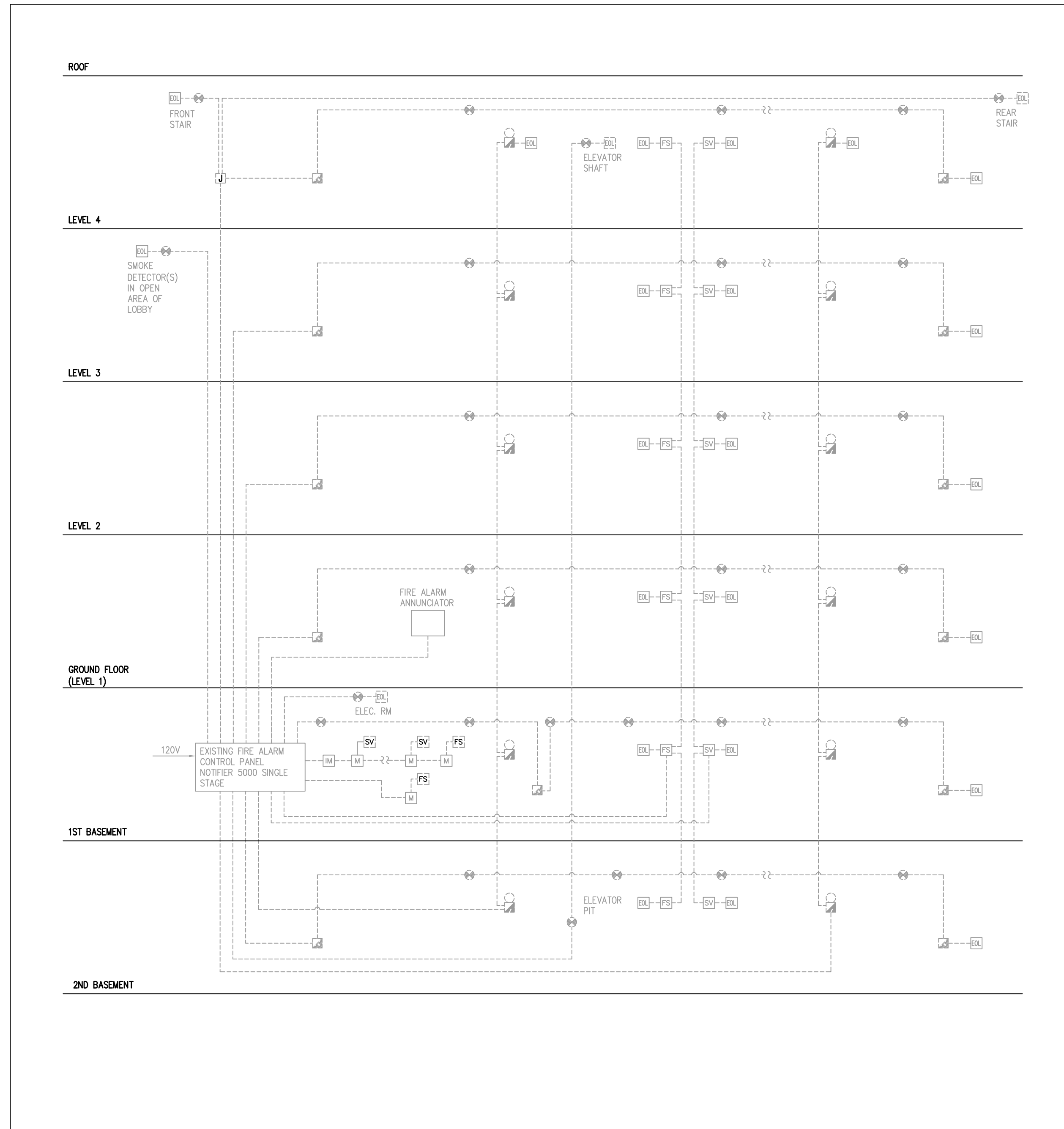
Electrical  
Specification



Project  
North

drawing number

**E-12**

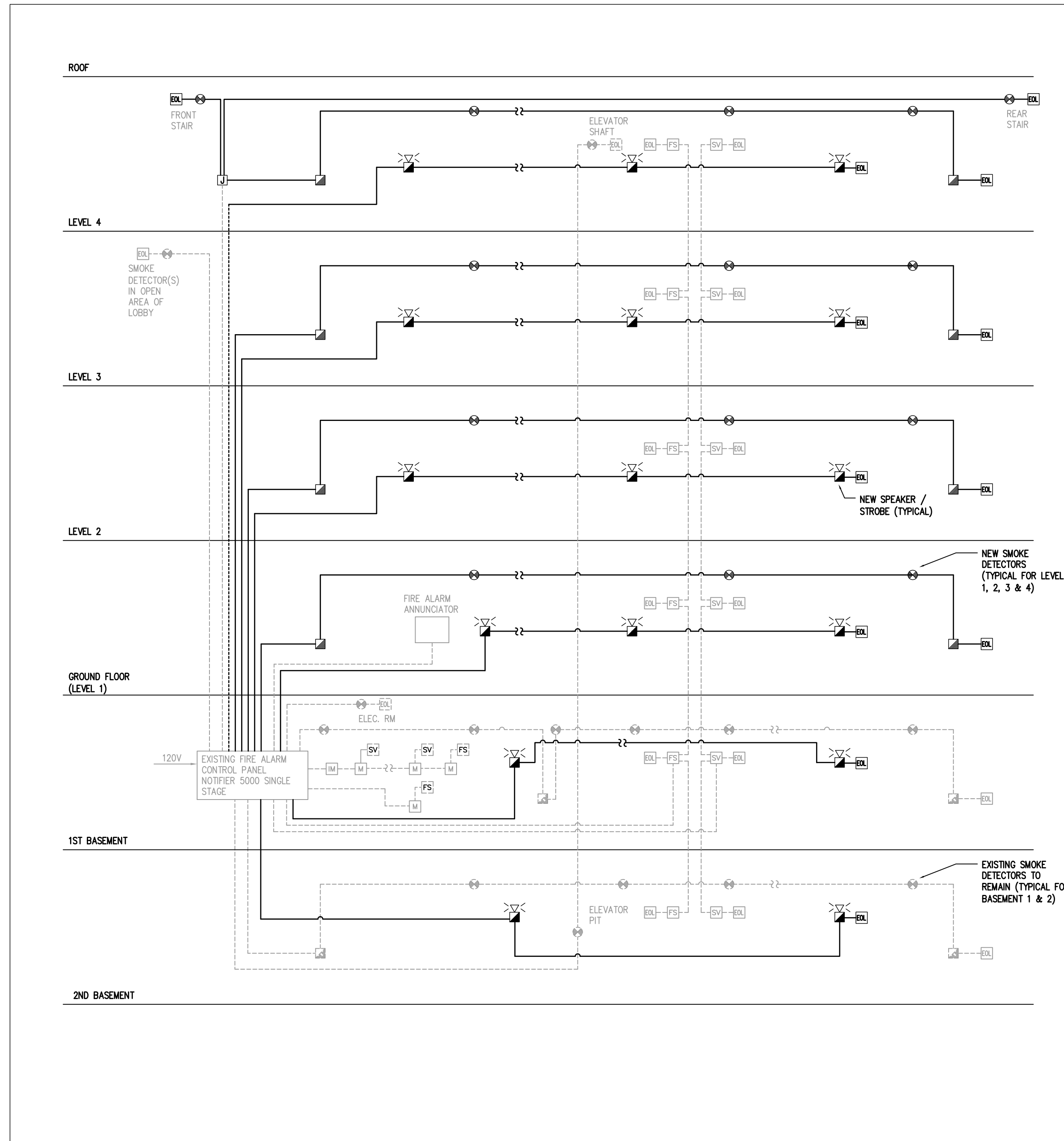


1 FIRE ALARM RISER DIAGRAM - EXISTING  
E-13 SCALE: N.T.S.

**DRAWING LEGEND**

[M]	MODULES
[IM]	ISOLATION / ZONE MODULES
[FS]	FLOW SWITCH
[SV]	SUPERVISED VALVE
[EOL]	END OF LINE DEVICE
—	THIS LINE TYPE DENOTES NEW
---	THIS LINE TYPE DENOTES EXISTING

- NOTES:**
- EXISTING FIRE ALARM DIAGRAM IS PROVIDED FOR REFERENCE ONLY. THIS CONTRACTOR TO ALLOW FOR SITE INVESTIGATION TO CONFIRM WIRING, EXISTING DEVICES ETC.
  - FOR NUMBER AND LOCATION OF DEVICES REFER TO FLOOR PLANS
  - REWIRE EXISTING ZONES WHERE SHOWN OR REQUIRED TO SUIT NEW DEVICES. RE-WIRE CONSTITUTES NEW WIRING FROM NEW DEVICES TO FIRE ALARM PANEL.



2 FIRE ALARM RISER DIAGRAM - NEW LAYOUT  
E-13 SCALE: N.T.S.

**EXISTING FIRE ALARM ZONING SCHEDULE**

NO.	DESCRIPTION
1	2ND BASEMENT
2	1ST BASEMENT
3	GROUND FLOOR (LEVEL 1)
4	LEVEL 2
5	LEVEL 3
6	LEVEL 4
7	FRONT STAIR TOP
8	REAR STAIR TOP
9	3RD FLOOR OPEN AREA SMOKE
10	ELEVATOR SHAFT PIT AND SHAFT
11	ELECTRICAL ROOM BASEMENT 1
12	2ND BASEMENT SPRINKLER FLOW SWITCH
13	1ST BASEMENT SPRINKLER FLOW SWITCH
14	GROUND FLOOR (LEVEL 1) SPRINKLER FLOW SWITCH
15	LEVEL 2 SPRINKLER FLOW SWITCH
16	LEVEL 3 SPRINKLER FLOW SWITCH
17	LEVEL 4 SPRINKLER FLOW SWITCH
18	SPRINKLER MAIN VALVE
19	SPRINKLER CHECK VALVE
20	SPRINKLER LOSS OF PRESSURE (LOW PRESSURE ALARM)
21	FIRE PUMP SUPERVISED VALVE
22	2ND BASEMENT SUPERVISED VALVE
23	1ST BASEMENT SUPERVISED VALVE
24	GROUND FLOOR (LEVEL 1) SUPERVISED VALVE
25	LEVEL 2 SUPERVISED VALVE
26	LEVEL 3 SUPERVISED VALVE
27	LEVEL 4 SUPERVISED VALVE
28	
29	
30	

Rev	Description	Date
1	Final Review	16 July '18
2	Issued for Permit & Tender	16 July '18
3	Issued for Addendum EAD-1	30 July '18



18 197188 BLD 00

ZONING	
O.B.C.	
FIRE SERVICES	
O.B.C. (S)	

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PROJECT CODE: 18 22  
SCALE: N.T.S.

DATE: 30 July 2018  
STATUS: Addendum #1

ISSUED FOR ADDENDUM EAD-1

Fire Alarm System

Project North

drawg number  
**E-13**

TORONTO Building RECEIVED 07/AUG/2018